



***Environmental
Planning
Commission***

Staff Report

***Agenda Number: 3
Project #: PR-2022-007219***

Case #: SI-2022-01478 &

VA-2022-00235

Hearing Date: September 15, 2022

<i>Agent</i>	Consensus Planning Inc.
<i>Applicant</i>	Titan Development
<i>Request</i>	1. Major Amendment - EPC 2. Variance- EPC
<i>Legal Description</i>	Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center
<i>Location</i>	located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE
<i>Size</i>	Approximately 6.5 acres
<i>Existing Zoning</i>	MX-M

Staff Recommendation

APPROVAL of SI-2022-01478 & VA-2022-00235, based on the Findings beginning on p.23.

***STAFF PLANNER
Leroy Duarte, Planner***

Summary of Analysis

The request is for a Site Plan Major Amendment to the controlling Site Development Plan for Subdivision to facilitate future development of 102 multi-family dwelling units and a variance of 9.5 feet to the 15-foot landscape edge buffer on the western side of the property on the 6.5-acre site. The proposed development exceeds the thresholds for minor amendment. Therefore, the request is a major amendment and is subject to approval by the original approving body-EPC.

The applicant has shown that the request meets IDO major amendment criteria in 14-16-6-4(Y)(3) and EPC variance criteria 14-16-6-6(N)(3). The proposed major amendment fulfills site plan-EPC criteria would be more advantageous to the community overall because it furthers a preponderance of applicable Comprehensive Plan Goals and policies and there are no major conflicts.

The subject site is in an Area of Change and is located along the Montgomery Major Transit Corridor. It is not located in an Activity Center.

There were no affected neighborhood organizations to be notified. Property owners were notified as required. As of this writing, Staff has not been contacted and there is no known opposition. Staff recommends approval subject to conditions.



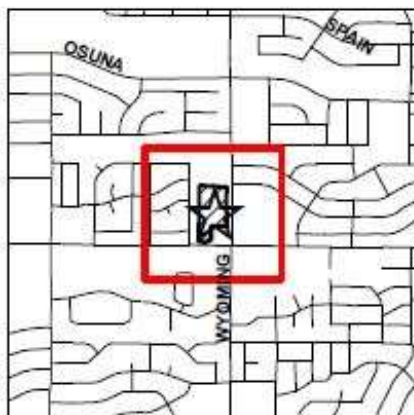
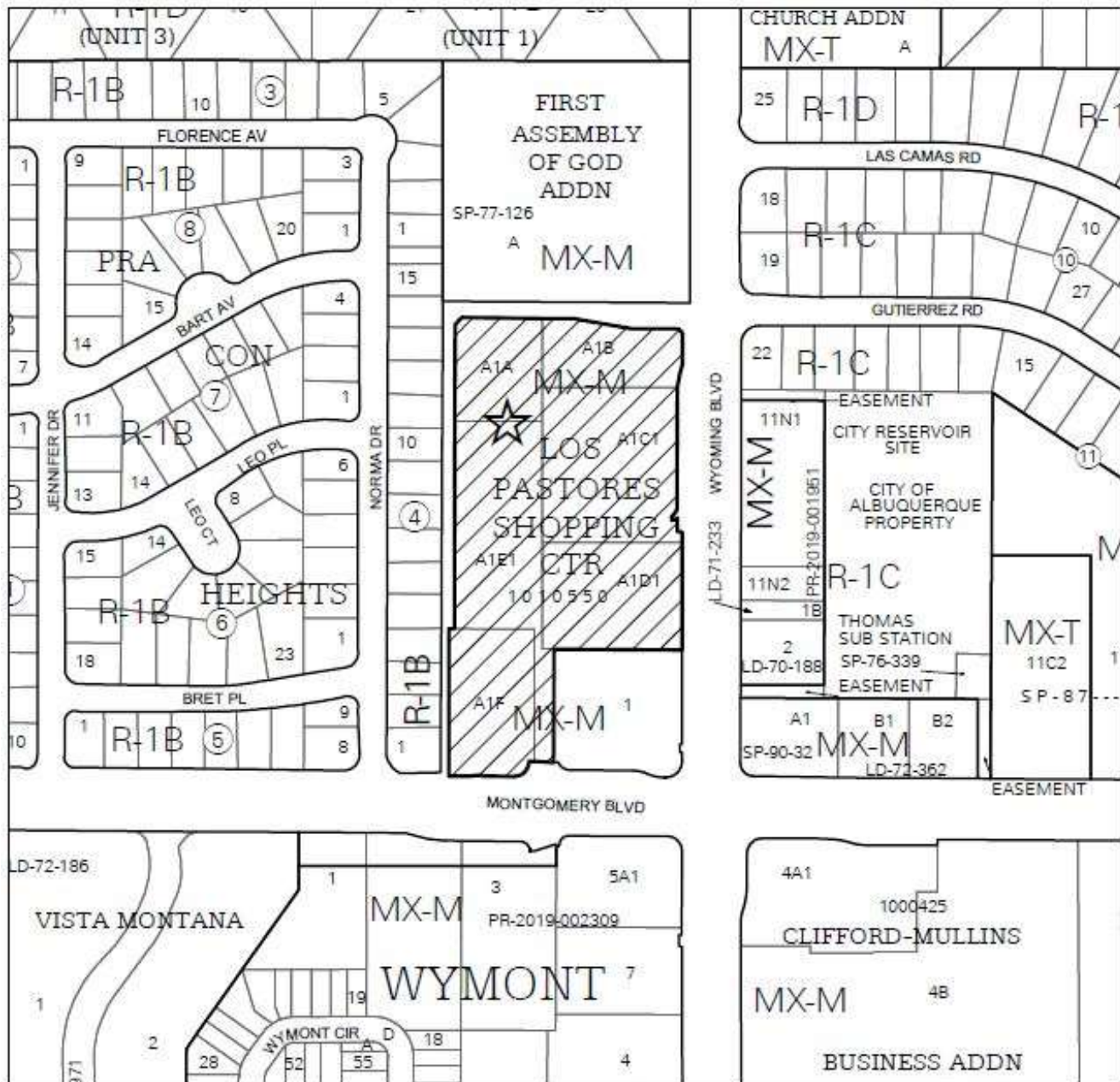
Table of Contents

I. Introduction.....	9
II. Analysis of Applicable Ordinances, Plans, and Policies.....	11
III. Site Plan Major Amendment.....	17
IV. Variance-EPC.....	22
V. Conclusion.....	22
VI. Conclusion.....	18
Findings and Recommendation.....	20
Agency Comments.....	23

Attachments

- 2-Photographs – Existing Conditions
- 3-History
- 4-Zoning
- 5-Applicant Information
- 6-Staff Information
- 7-Notification





IDO ZONING MAP

Note: Gray shading indicates County.



1 inch = 250 feet

Hearing Date:

9/15/2022

Project Number:

PR-2022-007219

Case Numbers:

SI-2022-01478

Zone Atlas Page:

F-19



LAND USE MAP

Note: Gray shading
Indicates County.

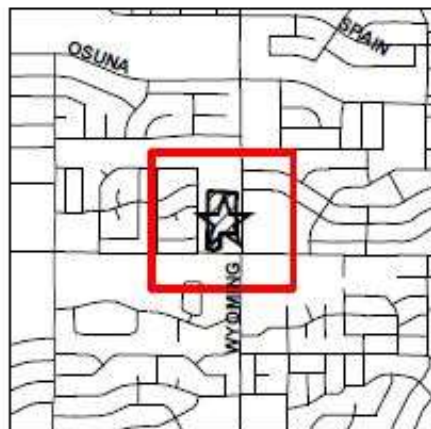
Key to Land Use Abbreviations	
LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSV Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



1 inch = 250 feet

Hearing Date:
9/15/2022
Project Number:
PR-2022-007219
Case Numbers:
SI-2022-01478

Zone Atlas Page:
F-19



HISTORY MAP

Note: Gray shading indicates County.



1 inch = 250 feet

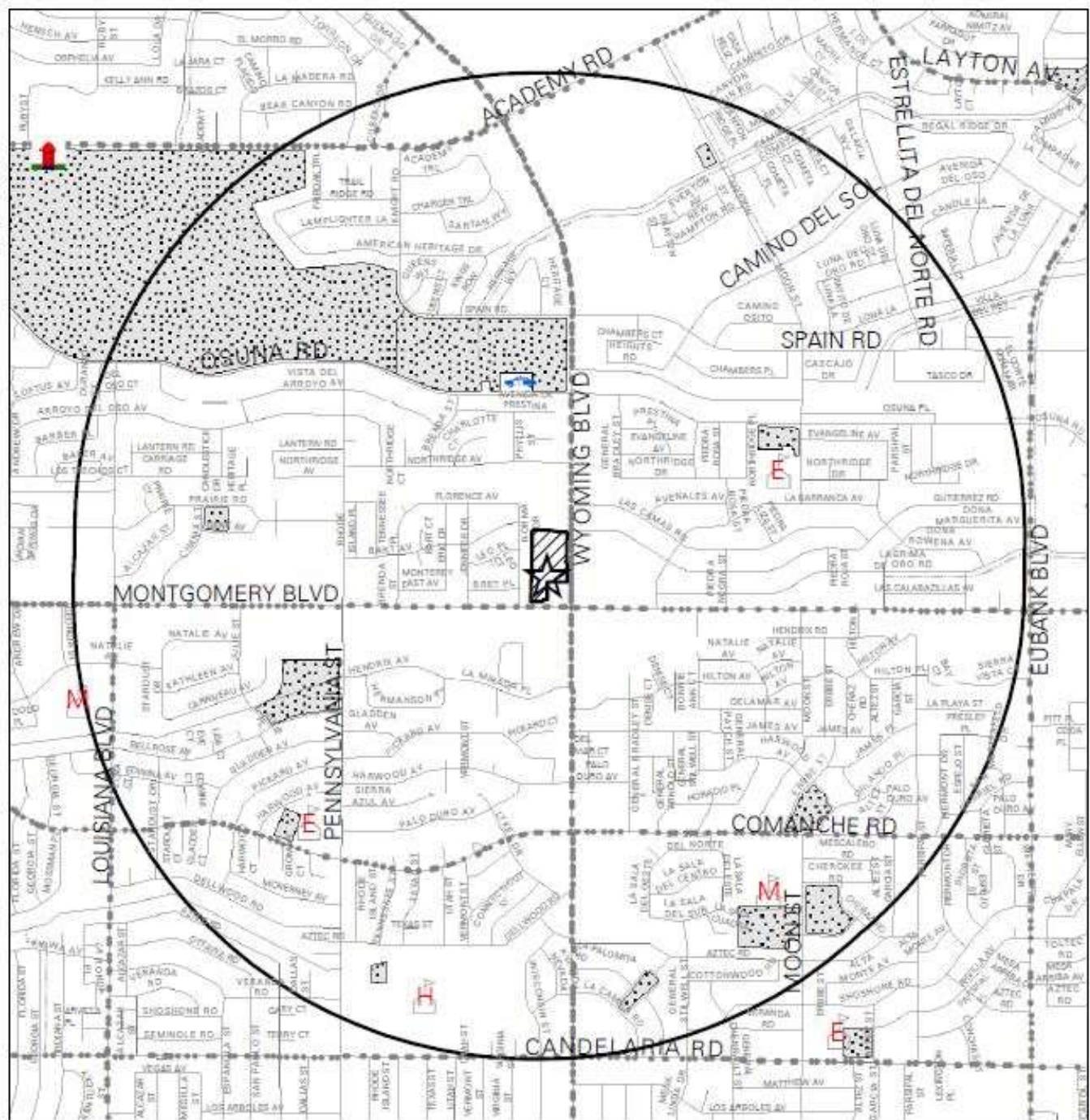
Hearing Date:
9/15/2022

Project Number:

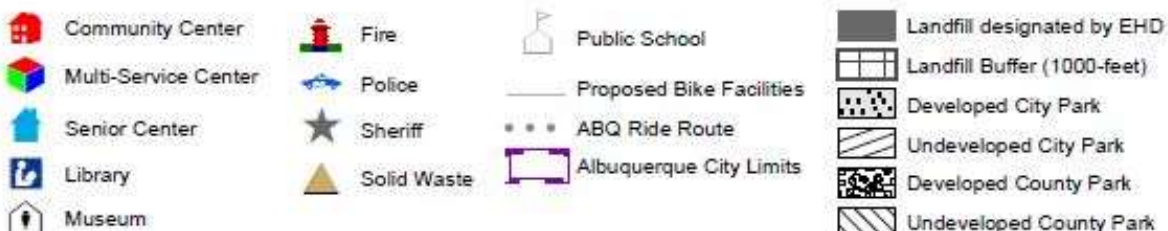
PR-2022-007219

Case Numbers
SI-2022-01478

Zone Atlas Page:
F-19



Public Facilities Map with One-Mile Buffer



I. INTRODUCTION*Surrounding zoning, plan designations, and land uses:*

	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>Site</i>	MX-M	Area of Change	Vacant
<i>North</i>	MX-M	Area of Change	Religious Institution
<i>South</i>	MX-M	Area of Change	Commercial Retail/ Vacant
<i>East</i>	MX-M	Area of Change	Commercial Services
<i>West</i>	R-1B	Area of Consistency	Dwelling, Single-family detached

Request

The request is for a Major Amendment to the controlling Site Development Plan for Subdivision for an approximately 6.5-acre site legally described as Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center (the subject site), and a Variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE (“the smaller subject site”). The subject smaller site is currently zoned MX-M and is vacant.

The applicant requests: 1) to amend the Site Development Plan for Subdivision to facilitate future development of 102 multi-family dwelling units in two three-story buildings, and 2) a 9.5-foot variance required to the 15-foot landscape buffer in 14-16-5-6(E)(2). The request exceeds the thresholds for minor amendment. Therefore, the request is a major amendment and is subject to approval by the original approving body-EPC.

EPC Role

The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).

The City Planning Department staff shall review the application and forward a recommendation to the EPC 14-16-6-6-(N)(2).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to City Council. The City Council would then make the final decision.

Context

The subject site is partially developed. Tracts A-1-A and A-1-E-1 are vacant with the western edge fronting an alley way and single-family development. South lies commercial retail and service uses along Montgomery Boulevard. North of the subject site is a religious institution and single-family

development. East of the vacant parcels across Los Pastores Shopping Center are commercial retail use and farther to the east are single family neighborhoods.

History

A subdivision plan, containing the subject site, was originally approved in December 1962 and subdivided the subject site into three separate tracts (S-1214). The existing C-2 zoning was established for the subject site in November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions.

The EPC approved a Site Development Plan for Subdivision Amendment for the Los Pastores Shopping Center site on January 14, 2016 (15EPC-40032). The requested amendment subdivided the undeveloped portions of the subject site into 5 separate pad sites / tracts, and established design standards for the entire subdivision plan area.

Roadway System

The Long-Range Roadway System map, produced by the Mid-Region Council of Governments (MRCOG) identifies the functional classifications of roadways. Montgomery Boulevard and Wyoming Boulevard are identified as Regional Principal Arterial roadways.

Comprehensive Plan Designations

The Comprehensive Plan currently designates Montgomery as a Major Transit Corridor and Wyoming as a Multi-Modal Transit Corridor.

The subject site is located within an Area of Change.

The subject site is part of the North Albuquerque Community Planning Area (CPA). Characterized by breathtaking vistas and high desert setting, it has developed primarily as low-density, large lot subdivisions, with retail and institutional uses along corridors.

Overlay Zones

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO) identifies existing and proposed routes and trails.

There are no existing or proposed bike routes or trails along the subject site.

Transit

The Fixed Route 31 runs north-south on Wyoming. Fixed Route 5 runs east-west on Montgomery. The Commuter Route 98 connects the Northwest Transit Center (NWTC) to Kirtland Air Force Base primarily using Alameda and Wyoming. Scheduled service has been suspended in favor of "on-demand" service.

Fixed Route 31 and Commuter Route 98 share stop-pairs on either side of Montgomery. The Fixed Route 5 has two stop-pairs, on either side of Wyoming Boulevard.

Public Facilities/Community Services

Please refer to the Public Facilities Map, which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES**Integrated Development Ordinance (IDO)***Definitions*

Adjacent: Those properties that are abutting or separated only by a street, alley, trail, or utility easement, whether public or private.

Corridor: A street and adjoining land designated in the ABC Comp Plan, as amended, as one of 5 Corridor types designated based on travel modes and development intensity, excluding Commuter Corridors. See also Measurement Definitions for Corridor Area.

Major Transit Corridor: A Corridor designation from the Comprehensive Plan. See also Measurement Definitions for Corridor Area.

Infill Development: An area of platted or un-platted land that includes no more than 20 acres of land, that has a public water main and a public sewer main fronting the property within the City right-of-way, and where at least 75 percent of the adjacent lots are developed and contain existing primary buildings.

Low-density Residential Development: Properties with residential development of any allowable land use in the Household Living category in Table 4-2-1 other than multi-family dwellings. Properties with small community residential facilities are also considered low-density residential development. Properties that include other uses accessory to residential primary uses are still considered low-density residential development for the purposes of this IDO. See also Dwelling Definitions for Dwelling, Cluster Development; Dwelling, Cottage Development; Dwelling, Live-work; Dwelling, Single-family Detached; Dwelling, Townhouse; and Dwelling, Two-family Detached (Duplex); Manufactured Home, and Other Uses Accessory to Residential Primary Uses.

Multi-family Residential Development: Publicly or privately-owned land that is maintained for active or passive recreational use and for the use and enjoyment of the general public or the residents or occupants of a development. This use includes areas consisting of vegetative landscaping and/or areas improved for outdoor sports and recreation. Structural improvements are generally limited to those that facilitate the use of the land as a park. Incidental activities and structures include, but are not limited to, playgrounds, maintenance facilities, swimming pools, restrooms and dressing rooms, concessions, caretaker's quarters, and parking.

Dwelling, Multi-family: A building, multiple buildings, or a portion of a building located on a single lot, containing 3 or more dwelling units, each of which is designed for or occupied by one family only, with separate housekeeping and cooking facilities for each, and that does not meet the definition of a townhouse dwelling. Within mixed-use development, a building containing 2 or more dwelling units is considered multi-family. See also Development Definitions for Multi-family.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading

areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Zoning

The subject site is currently zoned MX-M Mixed-use Medium Intensity, IDO 14-16-2-4(C) which was assigned upon the adoption of the IDO. The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in Table 4-2-1.

Pursuant to IDO Table 4-2-1: Allowable Uses, Dwelling, multifamily is permitted in the MX-M zone followed by Use Specific Standards 4-3(B)(8).

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. In Areas of Change, growth should be directed and is desired. Areas of change focus on new urban-scale developments that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development (Comprehensive Plan, 5-23).

Goals and policies below were included by the applicant in the justification letter. Staff finds them applicable and lists them below * denotes policy added by staff. Staff analysis follows in bold italic text.

Chapter 4: Community Identity

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would facilitate future infill development that would ensure the appropriate scale of multi-family dwellings that are permissible in the MX-M zone. The location of the proposed development is located within the Los Pastores Shopping Center which offers a mix of commercial retail and services. Furthermore, design standards and IDO development standards would ensure building design that would protect neighboring residential developments through landscape buffers and building height design. However, the variance is to reduce the landscape buffer making the development closer than what it would originally be. The request is partially consistent with Policy 4.1.2- Community Identity.

Chapter 5: Land Use

Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request would facilitate development that would grow as a community by adding 102 multi-family dwelling units to the area that would be connected by Montgomery Boulevard- a Major Transit Corridor and Wyoming- a Multi-Modal Transit Corridor that are well served by public transportation and run along activity and employment centers. The request is consistent with Goal 5.1- Centers & Corridors.

Sub-Policy (g)- 5.1.1 Desired Growth: Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.

The request would encourage residential infill through the development of 102 multi-family dwelling units within the Los Pastores Shopping Center Site Development Plan for Subdivision. The request would be adjacent to the Montgomery Major Transit Corridor and Wyoming Multi-Modal Transit Corridor. The request is consistent with Sub-Policy(g) 5.1.1- Desired Growth.

Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

The request would foster corridors that prioritize high-frequency transit service with pedestrian-oriented development through a future infill development. The future development would be located in the Los Pastores Shopping Center that offers a mix of commercial services and retail that would be accessible through the Major Transit Corridor (Montgomery Boulevard) and Multi-Modal Transit Corridor (Wyoming Boulevard) which have high-frequency transit service. The request is consistent with Policy 5.1.10- Major Transit Corridors.

Policy 5.1.11 Multi-Modal Corridors: Design safe Multi-Modal Corridors that balance the competing needs of multiple modes of travel and become more mixed-use and pedestrian-oriented over time.

The area would become more mixed-use and pedestrian friendly over time because the request would facilitate multi-family development within the Los Pastores Shopping Center Site Development Subdivision where commercial services and retail currently exists and would become pedestrian-oriented over time due to the infill of multi-family dwelling units. The request is generally consistent with Policy 5.1.11- Multi-modal Corridors.

Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential. Furthermore, the subject site is along a Major Transit Corridor (Montgomery Boulevard) and a Multi-Modal Transit Corridor (Wyoming Boulevard) with access to existing paved sidewalks that have connections to the surrounding neighborhoods. The request is consistent with Policy 5.2.1- Land Uses.

Sub-Policy (d)- 5.2.1 Land Use: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The request would facilitate the development of multi-family dwelling units that would target/capture middle-income renters who do not qualify for low-income housing or cannot afford market rate housing, thus broadening the range of housing options to meet a range of incomes and lifestyles. The request is consistent with Sub-Policy(d) 5.2.1- Land Use.

Sub-Policy (n)- 5.2.1 Land Use: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is located along a Major Transit Corridor, the request would encourage a productive use of what currently exists as an under-utilized lot to facilitate the development of approximately 102 multi-family dwelling units. The multi-family development would provide housing and would be more beneficial to the community than its current state. The request is consistent with Sub-Policy(n) 5.2.1- Land Use.

Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate future development on vacant land that would support the public good by providing a housing option that would maximize the existing infrastructure already in place within the Los Pastores Shopping Center and also utilize public facilities and transportation that is along the subject site. The request is consistent with Goal 5.3- Efficient Development Patterns.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense development along a Major Transit and Multi-Modal Transit Corridor, where change is desired. A multi-family development would create a mix of uses and growth within the Los Pastores Shopping Center. The request is consistent with Policy 5.6.2 – Areas of Change.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request would facilitate development of multi-family dwelling units that would increase walkability in all environments and promote pedestrian-oriented development due to its location and proximity to commercial retail and services within the Los Pastores Shopping Center Site Development. The request is consistent with Policy 7.2- Pedestrian-Accessible Design.

*Policy 7.3.4- Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located..

The subject site is located in an Area of Change and along a designated Major Transit Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request would facilitate multi-family development. The subject site would remain in the controlling Los Pastores Shopping Center Site Plan for Subdivision and be required to follow the design standards. The request would promote infill that blends in style with the surrounding development. The request is consistent with Policy 7.3.4- Infill.

Chapter 9: Housing

Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

The request would facilitate development of multi-family dwelling units that would ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels serving middle-class which would benefit from the proximity to public transit, retail, and employment opportunities within the site. The request is partially consistent with Goal 9.1- Supply.

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request would facilitate development of multi-family dwelling units that would support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households by targeting middle-class tenants and a variety of bedroom unit options which vary based on income and household size. The request is consistent with Policy 9.1.1 Housing Options.

Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

The request would facilitate development of multi-family dwelling units that would provide housing for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options specifically to the subject site, which consists of commercial retail and services, but would also be surrounded by single-family development to the east and west of the site. The request is consistent with Policy 9.1.2 Affordability.

Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)-Site Plan-EPC Review and Decision Criteria

The request is for a Major Amendment of a Pre-IDO approval to facilitate multi-family development. IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, would be approved if it meets all of the following criteria:

- 6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.

- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is zoned MX-M. Therefore, the above criterion does not apply. The Site Development Plan for Subdivision includes design standards. When design standards are silent the IDO standards will be followed.

- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed major amendment is to facilitate development of approximately 102 multi-family dwelling units. The subject site is within the controlling Site Development Plan for Subdivision Los Pastores Shopping Center, which has design standards. The request would comply with all applicable provisions of the IDO (when design standards are silent), DPM, and Los Pastores Design Standards.

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the future development made possible by this request. The applicant has stated that the request is in an infill location and surrounded by fully built-out infrastructure. Should any additional improvements be needed, the applicant has stated the developer would take responsibility.

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The applicant has demonstrated that the request would not negatively impact the surrounding area based on the responses to applicable Comp Plan Goals and Policies. The proposed major amendment would facilitate the development of approximately 102 multi-family dwelling units on the subject site. The subject site is zoned MX-M in which multi-family dwellings are already permissive. The proposed development would comply with the design standards the controlling Site Development Plan for Subdivision and the IDO landscape buffer provisions and height stepdown requirements (when standards are silent), mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within a Master Development Plan. It is within the boundaries of the Los Pastores Shopping Center Site Development Plan for Subdivision and is zoned MX-M. The request to facilitate the development of approximately 102 multi-family dwelling units on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(C). The future development would meet applicable design standards and IDO standards when the design standards are silent.

- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion,

noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

III. SITE PLAN MAJOR AMENDMENTS

Request

The request is for a Major Amendment to an approximately 6.5-acre site known as the Los Pastores Shopping Center Site Development Plan for Subdivision (SPS) that would allow:

1. Future multi-family development of 102 dwelling units.

The controlling Los Pastores Shopping Center Site Plan for Subdivision intended uses are for office, retail, and restaurants within the subject site. The approval of this request would allow the proposed development of approximately 102 multi-family dwelling units (see attached Site Plan exhibits).

The applicant has stated that the proposed development made possible by the request would follow the design standards of the Los Pastores Shopping Center Site Plan for Subdivision and all applicable provisions and Design Standards for the MX-M zone district of the IDO and DPM when design standards are silent.

Staff has crafted conditions of approval to create compliance as needed.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

A. Review of Proposed Site Plan

Site Plan Layout/Configuration

The subject site is currently vacant and the proposed site plan is for approximately 102 multi-family dwelling units comprised of approximately 2.2 acres on the western portion of the subject site.

Use Specific Standards for Dwelling, Multi-family (IDO section 14-16-4-3(B)(7)) In other areas, this use shall meet the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening).

1. This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least 1 tree per second floor dwelling unit; no additional trees are required for additional dwelling units on the third or higher floors.
2. Twenty-five (25) percent of the net lot area shall contain landscaping; playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.

3. Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 70 percent of the landscape area.

Pedestrian, Bicycle and Transit Access

The subject site is well served by transit. Montgomery Boulevard NE is a Major Transit Corridor that is currently served by 5- Montgomery-Carlisle Commuter. Wyoming Boulevard NE is a Multi-Modal Transit Corridor that is served by 98-Wyoming Commuter and bus route 31.

There is adequate sidewalk infrastructure along the boundaries of the subject site, which provide walkability from the nearby businesses, residential neighborhoods, and bus stops.

Vehicular Access, Circulation and Parking

The site plan proposes two new access points off of the existing alley to the north and within the shopping center to the east. The main entrance faces east of the subject site along and a secondary access point located on the north side of the site along the alley way.

Table 5-5-1, parking for multi-family dwelling use requires 1.5 spaces/ per dwelling unit. The new proposed development is required to provide 153 spaces. The site plan includes 116 parking spaces including three van accessible ADA spaces and one regular ADA space.

Required bicycle parking shall comply with IDO standards.

Landscaping, Buffering and Screening

IDO section 14-16-5-6 requires that a minimum of 15 percent of the net lot area of each development shall contain landscaping. The proposed development is located on 88,150 SF of the subject site (Gross Lot Area) and with a building area of 16,784 SF (Building Area). The required landscape area is 15% of Gross Lot Area- Building Area (88,150 SF-16,785 SF = 71,366 SF x .15= 10,705 SF) proposed landscaping provided on the Site Plan is 14,165 SF. The proposed site plan follows IDO landscaping calculation requirements and exceeds requirement.

The Landscape Plan shows the proposed location and type of trees and ground cover being provided.

A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas.

Landscape Area Coverage:

- Required landscaped area (15%): 10,705 SF
- Proposed landscaped area (20%):14,165 SF

Vegetation Area Coverage:

- Required vegetation area (75% of LAN): 8,029 SF
- Proposed landscaped area (547% of LAN):58,550 SF

Ground Level Area Coverage:

- Required ground level area (25%): 2,007 SF
- Proposed ground level area (61%): 4,878SF

Street Trees:

- Required: 22
- Proposed: 22

Landscape Buffer:

- Trees Required: 28
- Trees Proposed: 28
- Shrubs Required: 84
- Shrubs Proposed: 84

Parking Lot Trees (1 per 1st and 2nd Floor Unit:

- Required: 68
- Proposed: 68

Walls and Fences

Per design standards, no site wall shall exceed 8 feet in height. Site walls shall be constructed of stucco over CMU, split face block, brick, stone, curved interlock blocks, tubular steel, wrought iron bars, or other grill work. The finish of walls and fences shall be attractive and compatible with the building materials of adjacent buildings on the site.

The request includes four proposed dumpster enclosures..

Building Design & Architecture

The applicant has followed the Los Pastores Shopping Center Site Plan for Subdivision design standards for building design; heights, setbacks, colors, materials, etc. for this request.

Signage

The applicant has stated that all signage will comply with the Los Pastores Shopping Center design standards and will use IDO section 14-16-5-12 when standards are silent.

Grading & Drainage Plan

All drainage generally flows across the site from west to east into an existing sediment pond and drainage is also connected to existing storm drain located on east of the site on Tract-A-1-D. Grading is ADA compliant.

AMAFCA stated the site will have to show it will conform with the approved Drainage Management Plan for the Los Pastores Shopping Center.

Utility Plan

The applicant provided a Master Utility Plan showing any existing overhead utilities, sanitary sewer lines, eater lines, and storm sewer lines.

PNM notes that there are facilities abutting and/or in easements along the Montgomery Blvd frontage, the western edge of the site, and within the site. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat. Any perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Also any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C) (10) as applicable.

B. Design Standards for Los Pastores Shopping Center Site Plan for Subdivision

The applicant is following all Los Pastores Shopping Center Site Plan for Subdivision design standards and the City of Albuquerque's IDO development requirements (when design standards are silent) for the Site Plan Major Amendment request. The Design Standards state, "Where there is conflict between City

Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.” The controlling site development plan for subdivision was implemented before the adoption of the IDO; therefore, some IDO zoning requirements are more stringent than the controlling site plan. The design standards must be in compliance to receive site plan approval.

Design Standards include General Site Design standards that address the issues of:

- Setbacks and Height Limitations
- Parking
- Pedestrian Connections and Amenities
- Landscaping
- Walls, Fences, and Screening
- Utilities
- Architecture
- Lighting
- Signage

In addition to the design standards, the proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval. The site plan and related drawings were received August 23, 2022.

Staff has reviewed the proposed Site Plan and associated drawings and has crafted few conditions of approval to meet applicable design standards within the Los Pastores Shopping Center Site Plan for Subdivision and IDO.

IV. VARIANCE- EPC

Integrated Development Ordinance (IDO) 14-16-6-6(N)(3)-Variance - EPC Review and Decision Criteria

The request is for a variance of 9.5 feet to the 15-foot landscape edge buffer on the western side of the property on the 6.5-acre site. IDO Section 14-16-6-6(N)(3) states that an application for a Variance – EPC shall be approved if it meets all of the following criteria:

1. There are special circumstances applicable to a single lot that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, physical characteristics, natural forces, or by government actions for which no compensation was paid. Such special circumstances of the lot either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or economic return on the property, or practical difficulties result from strict compliance with the minimum standards.

The applicant has expressed the impacted landscaping buffer and the subject properties' narrowness would make it challenging to develop with all the standards required by the IDO, DPM, and other city laws. The space available for the proposed development and landscaping would be constrained when all the design standards are applied.

The applicant has explained the IDO's criteria for the landscape buffer and neighborhood perimeter were not in place when the constrained lots in question were platted. The alley remains 20 feet wide along the property to the south and a smaller dedication was accepted on the north side of the site, the property owner was required to dedicate an additional 10 feet to the alley along the west side of the property in order to create a 30-foot-wide alley on this edge when the existing site development plan was approved in 2016.

The applicant has expressed the necessity to provide an additional 10 feet toward a paved lane on the west side of the site. The required buffer width would limit the design and widths or the parking required by the IDO. Granting the request would provide the required dimensions in order for the development to proceed.

2. The Variance will not be materially contrary to the public safety, health, or welfare.

The applicant has demonstrated the public safety, health, or welfare would not be materially harmed by the variance request. The alley would remain a 20-foot right-of-way as along the property to the south, and the variance would not permit any portion of the future development to be built closer to the single-family development west of the subject site. The future development would be separated by more than 35 feet when the alley width is applied, which would satisfy the IDO's requirement for use separation. To further screen the future development from the adjacent single-family development, the applicant would implement necessary buffer trees inside the remaining landscape buffer.

3. The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

The applicant has demonstrated the variance request would not have a significant negative effect on the infrastructure improvements or surrounding properties. Existing infrastructure would support the future multi-family development. Any new development that might have a negative impact on traffic, flooding, or other factors would not be permitted under the variance. Due to the increased alley width that has produced the unique conditions relevant to the property, the effective width of the landscape buffer would continue to be greater. The remaining landscape space would be planted in accordance to the IDO's requirements, and a separation of more than 35 feet would remain.

4. The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.

This variance request would not materially undermine the intent and purpose of the IDO or MX-M zone districts. The request would not eliminate the landscape buffer or the related plantings, but reduce it consistent with the amount of additional right-of-way dedication that was required. The proposed development and the adjacent single-family lot exceed 35 feet, which is the minimum distance required by the IDO if there were no alley on the western edge.

5. The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

The variance request if approved would be the minimum necessary in order to avoid exceptional hardships and practical difficulties. The requested deviations are required for the proposed development to meet all other development standards.

V. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other agencies reviewed this application. The Albuquerque Police Department provided significant comments regarding public safety that staff found to be very informative. PNM also provided comments. Agency comments begin on p.34.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. 9. There were no affected neighborhood organizations. Property owners within 100 feet of the subject site were also notified as required.

As of this writing, Staff has not been contacted and is not aware of any opposition.

V. CONCLUSION

The applicant proposes a Major Amendment from the Site Development Plan for Subdivision for an approximately 6.5-acre site legally described as Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, and a Variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE (the “subject site”).

The applicant wishes to amend Tracts A-1-A and A-1-E-1 of the Site Plan for Subdivision to facilitate development of approximately 102 multi-family dwelling units on the subject site and a Variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1. The subject site would remain in the controlling Site Plan for Subdivision with the existing design standards.

The subject site is zoned MX-M (Mixed-use – Medium Intensity). It is located at the intersection of a Major Transit Corridor and a Multi-Modal Transit Corridor and is in an Area of Change as designated by the Comprehensive Plan. The request is generally consistent with applicable Comprehensive Plan goals

The were no affected neighborhood organizations to be notified. Property owners within 100 feet of the subject site were also notified as required. Staff is not aware of any support or opposition as of this writing.

Staff recommends approval for the request subject to conditions and approval of the variance request.

FINDINGS – SI-2022-01478, September 15, 2022 – EPC Major Amendment

1. The request is for a Site Plan EPC-Major Amendment of a Pre IDO-Approval for an approximately 6.5-acre site legally described as all or a portion of Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE zoned MX-M.
2. The subject site is within the controlling Los Pastores Shopping Center Site Development Plan for Subdivision (project#1010550), which has design standards. The subject site would remain in the Los Pastores controlling Site Development Plan for Subdivision but will adopt IDO standards when design standards are silent.
3. The controlling Los Pastores Shopping Center Site Plan for Subdivision intended uses are for office, retail, and restaurants within the subject site. The approval of this request would allow the proposed development of approximately 102 multi-family dwelling units (see attached Site Plan exhibits).
4. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).
5. The subject site is in an area that the Comprehensive Plan designated an Area of Change. It is located along a Major Transit Corridor and Multi-Modal Transit Corridor but is not located in a Center as designated by the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following, additional goals and policies from Comprehensive Plan Chapter 5: Land Use:
 - A. Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request would facilitate development that would grow as a community by adding 102 multi-family dwelling units to the area that would be connected by Montgomery Boulevard- a Major Transit Corridor and Wyoming- a Multi-Modal Transit Corridor that are well served by public transportation and run along activity and employment centers.
 - B. Sub-Policy (g)- 5.1.1 Desired Growth: Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.

The request would encourage residential infill through the development of 102 multi-family dwelling units within the Los Pastores Shopping Center Site Development Plan for Subdivision. The request would be adjacent to the Montgomery Major Transit Corridor and Wyoming Multi-Modal Transit Corridor.
 - C. Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

The request would foster corridors that prioritize high-frequency transit service with pedestrian-oriented development through the infill development of 102 multi-family dwelling unit. The proposed development would be located in the Los Pastores Shopping Center that offers a mix of commercial services and retail that would be accessible through the Major Transit Corridor (Montgomery Boulevard) and Multi-Modal Transit Corridor (Wyoming Boulevard) which have high-frequency transit service.

- D. Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential. Furthermore, the subject site is along a Major Transit Corridor (Montgomery Boulevard) and a Multi-Modal Transit Corridor (Wyoming Boulevard) with access to existing paved sidewalks that have connections to the surrounding neighborhoods.

- E. Sub-Policy (d) 5.2.1- Land Use: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The request would facilitate the development of multi-family dwelling units that would target/capture middle-income renters who do not qualify for low-income housing or cannot afford market rate housing, thus broadening the range of housing options to meet a range of incomes and lifestyle.

- F. Sub-Policy(n) 5.2.1-Land Uses: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is located along a Major Transit Corridor, the request would encourage a productive use of what currently exists as an under-utilized lot to facilitate the development of approximately 102 multi-family dwelling units. The multi-family development would provide housing and would be more beneficial to the community than its current state.

- G. Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate future development on vacant land that would support the public good by providing a housing option that would maximize the existing infrastructure already in place within the Los Pastores Shopping Center and also utilize public facilities and transportation that is along the subject site.

- H. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense development along a Major Transit and Multi-Modal Transit Corridor, where change is desired. A multi-family development would create a mix of uses and growth within the Los Pastores Shopping Center.

8. The request is consistent with the following policy from Comprehensive Plan Chapter 7: Urban Design:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request would facilitate development of multi-family dwelling units that would increase walkability in all environments and promote pedestrian-oriented development due to its location and proximity to commercial retail and services within the Los Pastores Shopping Center Site Development.

- B. Policy 7.3.4- Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is located in an Area of Change and along a designated Major Transit Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request would facilitate multi-family development. The subject site would remain in the controlling Los Pastores Shopping Center Site Plan for Subdivision and be required to follow the design standards. The request would promote infill that blends in style with the surrounding development.

9. The request is consistent with the following policy from Comprehensive Plan Chapter 9: Housing:

- A. Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request would facilitate development of multi-family dwelling units that would support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households by targeting middle-class tenants and a variety of bedroom unit options which vary based on income and household size.

- B. Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

The request would facilitate development of multi-family dwelling units that would provide housing for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options specifically to the subject site, which consists of commercial retail and services, but would also be surrounded by single-family development to the east and west of the site.

10. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M. Therefore, the above criterion does not apply. The Site Development Plan for Subdivision includes design standards, when design standards are silent the IDO standards will be followed.
- C. 14-16-6-6(J)(3)(c) The proposed major amendment is to facilitate development of approximately 102 multi-family dwelling units. The subject site is within the controlling Site Development Plan for Subdivision Los Pastores Shopping Center, which has design standards. The request would comply with all applicable provisions of the IDO (when design standards are silent), DPM, and Los Pastores Design Standards.

- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the request is in an infill location and surrounded by fully built-out infrastructure. Should any additional improvements be needed, the applicant has stated the developer would take responsibility.
 - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on the responses to applicable Comp Plan Goals and Policies. The proposed major amendment would facilitate the development of approximately 102 multi-family dwelling units on the subject site. The subject site is zoned MX-M in which multi-family dwellings are already permissive. The proposed development would comply with the design standards the controlling Site Development Plan for Subdivision and the IDO landscape buffer provisions and height stepdown requirements (when standards are silent), mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan. It is within the boundaries of the Los Pastores Shopping Center Site Development Plan for Subdivision and is zoned MX-M. The request to facilitate the development of approximately 102 multi-family dwelling units on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(C). The future development would meet applicable design standards and IDO standards when the design standards are silent.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.
11. No affected neighborhood organizations were required to be notified. Property owners within 100 feet of the subject site were notified as required.
12. As of this writing, Staff has not been contacted and is unaware of any opposition.

RECOMMENDATION – PR-2022-007219, SI-2022-01478, September 15, 2022

APPROVAL of Project #: 2022-007219, Case #: SI-2022-01478, a Site EPC-Major Amendment for a Pre-IDO Approval for Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE based on the preceding Findings and subject to the following conditions of approval.

CONDITIONS OF APPROVAL – SI-2022-01298

1. The EPC delegates final sign-off authority of this site plan to the Site Plan-DRB Process as per IDO Section 14-16-6-6(I)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff planner prior to submitting for building permit 14-16-6-6(I)(2).
3. Major Amendment: the applicant shall provide an updated top sheet of the controlling site plan for subdivision with a note and a text box explaining the major amendment.
4. Site Plan:
 - A. Address parking calculations, proposed spaces and required spaces do not equal each other.
 - B. Note that development shall comply with the Design Standards and IDO.
 - C. Label all crossing on site plan.
5. Pedestrian Access:

All pedestrian crossings must comply with design standards and be labeled on site plan.
6. Refine enclosure:
 - A. Enclosure shall not exceed 8 feet in height (design standards)
 - B. A site plan approved for access by the Solid Waste Department will be required.
7. Landscape Plan:
 - A. Revise calculations regarding the proposed number of total trees and total required trees do not equal one-another.
 - B. Dimension tree spacing.
8. Walls and fences:
 - A. #15 Parking Screening CMU retaining wall shall not exceed a height of 3 feet.
 - B. Walls shall not exceed a height of 8’.
9. Lighting:
 - A. Show locations of light poles on the site plan.
 - B. Provide light pole detail indicating height, color, and finish.
 - C. Lighting shall comply with design standards.
10. Signage:

Signage area calculations shall be provided.
11. Conditions from PNM:
 - A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.

- C. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C) (10) as applicable.

12. Condition from AMAFCA:

Site will have to show it conforms with the approved Drainage Management Plan for the Los Pastores Shopping Center.

RECOMMENDATION – PR-2022-007219, SI-2022-01478, September 15, 2022

APPROVAL of Project #: 2022-007219, Case #: SI-2022-01478, a Site EPC-Major Amendment for a Pre-IDO Approval for Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE based on the preceding Findings and subject to the following conditions of approval.

FINDINGS – VA-2022-00235, September 15, 2022 – Variance- EPC

1. The request is for a variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 Los Pastores Shopping Center, located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE,
2. The subject site is zoned MX-M (Mixed-use – Medium intensity), a zoning designation received upon adoption of IDO in May 2018.
3. The subject site is within the controlling Los Pastores Shopping Center Site Development Plan for Subdivision (project#1010550), which has design standards. The subject site would remain in the Los Pastores controlling Site Development Plan for Subdivision but will adopt IDO standards when design standards are silent.
4. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration.
5. The subject site is in an area that the Comprehensive Plan designated an Area of Change. It is located along a Major Transit Corridor and Multi-Modal Transit Corridor but is not located in a Center as designated by the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request meets the Variance-EPC Review & Decision Criteria in IDO Section 14-16-6-6(N)(3)(a) as follows:

14-16-6-6(N)(3)(a)(1) The applicant has expressed the impacted landscaping buffer and the subject properties' narrowness would make it challenging to develop with all the standards required by the IDO, DPM, and other city laws. The space available for the proposed development and landscaping would be constrained when all the design standards are applied.

The applicant has explained the IDO's criteria for the landscape buffer and neighborhood perimeter were not in place when the constrained lots in question were platted. The alley remains 20 feet wide along the property to the south and a smaller dedication was accepted on the north side of the site, the property owner was required to dedicate an additional 10 feet to the alley along the west side of the property in order to create a 30-foot-wide alley on this edge when the existing site development plan was approved in 2016.

The applicant has expressed the necessity to provide an additional 10 feet toward a paved lane on the west side of the site. The required buffer width would limit the design and widths or the parking required by the IDO. Granting the request would provide the required dimensions in order for the development to proceed.

14-16-6-6(N)(3)(a)(2) The applicant has demonstrated the public safety, health, or welfare would not be materially harmed by the variance request. The alley would remain a 20-foot right-of-way as along the property to the south, and the variance would not permit any portion of the proposed development to be built closer to the single-family development west of the subject site. The proposed development would be separated by more than 35 feet when the alley width is applied, which would satisfy the IDO's requirement for use separation. To further screen the proposed development from the adjacent single-family development, the applicant would implement necessary buffer trees inside the remaining landscape buffer.

14-16-6-6(N)(3)(a)(3) The applicant has demonstrated the variance request would not have a significant negative effect on the infrastructure improvements or surrounding properties. Existing infrastructure would support the proposed multi-family development. Any new development that might have a negative impact on traffic, flooding, or other factors would not be permitted under the variance. Due to the increased alley width that has produced the unique conditions relevant to the property, the effective width of the landscape buffer would continue to be greater. The remaining landscape space would be planted in accordance to the IDO's requirements, and a separation of more than 35 feet would remain.

14-16-6-6(N)(3)(a)(4) This variance request would not materially undermine the intent and purpose of the IDO or MX-M zone districts. The request would not eliminate the landscape buffer or the related plantings, but reduce it consistent with the amount of additional right-of-way dedication that was required. The proposed development and the adjacent single-family lot exceed 35 feet, which is the minimum distance required by the IDO if there were no alley on the western edge.

14-16-6-6(N)(3)(a)(5) The variance request if approved would be the minimum necessary in order to avoid exceptional hardships and practical difficulties. The requested deviations are required for the proposed development to meet all other development standards.

8. No affected neighborhood organizations were required to be notified. Property owners within 100 feet of the subject site were notified as required.

9. As of this writing, Staff has not been contacted and is unaware of any opposition.

RECOMMENDATION – PR-2022-007219, VA-2022-00235, September 15, 2022

APPROVAL of Project #: 2022-007219, Case#:VA-2022-01478, a Variance of 9.5 feet to the 15-foot minimum landscape edge buffer requirement for all or a portion of Tracts A-1-A and A-1-E-1 located at 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE based on the preceding Findings.

Leroy Duarte

***Leroy Duarte
Current Planner***

Notice of Decision CC list:

Legal, dking@cabq.gov

EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

No adverse comments

Long Range Planning

Metropolitan Redevelopment

No adverse comments

Transportation Development Review Services

No adverse comments.

CITY ENGINEER

Hydrology

Transportation Development Services

PR- 2022-007219, SI-2022-01478

Site Plan - Major Amendment

Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

Please provide a Traffic Circulation Layout (TCL) to Transportation for review and approval.

MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION

No Comments.

POLICE DEPARTMENT/PLANNING

PR-2022-007219 Residential Project Northwest Corner Wyoming/Montgomery

Regarding the above referenced EPC case, I respectfully submit the following comments:

Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways, parking, and common areas such as the clubhouse.

Ensure natural surveillance and clear lines of sight throughout the property. Natural surveillance requires a space free from natural and physical barrier (i.e. open picket vs. solid fences).

Establish a clear line of sight from the parking areas to the buildings and from the buildings the parking areas.

Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.

Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.

Ensure adequate locking devices (i.e. deadbolt locks) on residential units.

Ensure that addresses are posted and clearly visible.

Ensure eye-viewers on primary and secondary entrance doors to residential units.

Limit and clearly delineate access to the property; i.e. Resident Parking and Visitor Parking.

Clearly delineate public, semi-public, semi-private, and private space throughout the project.

Consider video surveillance systems to monitor the building(s), including entrance and exit points, parking lots, office, clubhouse, etc. Utilize video surveillance to enhance visibility to areas of reduced natural surveillance.

Install No Trespassing signs that cite the City Ordinance so that they are visible immediately upon entering the property.

If you have any questions regarding these CPTED recommendations, please call me at 768-2006. I am available to do an on-site security survey after the project is complete.

SOLID WASTE MANAGEMENT DEPARTMENT

Project # PR-2022-007219 SI-2022-01478- Site Plan- Major Amendment---The traffic circulation pattern will have to be altered, refuse drivers will not exit against traffic flow. Are trash chutes or vertical compactors being proposed at this location, if so who will haul the dumpsters from trash room to the trash enclosure? A site plan approved for access by the Solid Waste Department will be required. Where will the recycle be disposed of?

TRANSIT DEPARTMENT

ABQ RIDE supports this request as it replaces fallow commercial land with a residential project more likely to create ridership.

PARKS AND RECREATION

ABC WATER UTILITY AUTHORITY (ABCWUA)

1. No adverse comment to site plan.

2. For information only:

a. Please submit a request for availability when development is known to the following link:

<https://www.abcwua.org/info-for-builders-availability-statements/>

ALBUQUERQUE PUBLIC SCHOOLS

1. Project #2022-007219

- a. EPC Description: SI-2022-01478—Site Plan—Major Amendment.
- b. Site Information: Los Pastores Shopping Center, Tracts A-1-A and A-1-E-1.
- c. Site Location: 4615 Wyoming Blvd. NE, between Montgomery Blvd. NE and Northridge Ave NE.
- d. Request Description: Major amendment for a multi-family residential development and a Variance (landscape edge buffer on west side).
- e. APS comments: Residential development at this location will impact the following APS schools: Comanche Elementary School, Cleveland Middle School, and Sandia High School. At present, Comanche Elementary School operates at enrollment near capacity and development will be a strain on the school.
 - i. Residential Units: **102**
 - ii. Est. Elementary School Students: **26**
 - iii. Est. Middle School Students: **11**

iv. Est. High School Students: **11**

v. Est. Total # of Students from Project: **48**

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

School Capacity

School	2021-2022 (40 th Day) Enrollment	Facility Capacity	Space Available
Comanche Elementary School	336	339	3
Cleveland Middle School	585	700	115
Sandia High School	1,740	1,900	160

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse comments. This site will have to show it will conform with the approved Drainage Management Plan for the Los Pastores Shopping Center.

COUNTY OF BERNALILLO

No adverse comments.

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)

PR-2022-0072191

MRCOG has no adverse comment.

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

MRMPO has no adverse comments.

PUBLIC SERVICE COMPANY OF NEW MEXICO***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)******MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

No adverse comments.

PNM COMPANY

There are PNM facilities abutting and/or in easements along the Montgomery Blvd frontage, the western edge of the site, and within the site.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any related Plat.

Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a ten-foot clear area around them to allow for access and maintenance.

Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

AVIATION DEPARTMENT***KIRTLAND AIR FORCE BASE***

No adverse comments.



Figure 1: Sign posting looking west from shopping center to the subject site.



Figure 2: Looking north from subject site.



Figure 3: Looking south from within subject site.



Figure 4: Looking west from within subject site.



Figure 5: Looking east from within subject site.

HISTORY

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

January 15, 2016

W & M Company
ATTN: Bill Gunther
8220 La Mirada Rd NE, Suite 300
ABQ, NM 87109

Project# 1010550
15EPC-40032 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A-1 Redivision of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way, zoned C-2, located on Wyoming Blvd. NE, between Montgomery Blvd. NE & Osuna Rd. NE, containing approximately 6.75 acres. (F-19)

Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque

On January 14, 2016, the Environmental Planning Commission (EPC) voted to APPROVE Project #1010550/15EPC-40032, a Site Development Plan for Subdivision, based on the following findings and conditions:

New Mexico 87103

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision Amendment for Tract A-1, Re-division of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way located on Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE and containing approximately 6.75 acres.
www.cabq.gov
2. The subject site is zoned C-2 (SC). The proposed amendments will subdivide the undeveloped portions of the subject site into five separate pad sites and establish necessary access and utility easements. Updated design standards are also proposed that would apply to the entire 6.75 acre shopping center site. This is a quasi-judicial matter.
3. A subdivision plan was originally approved in December 1962 and subdivided the subject site into three separate tracts (S-1214). The existing C-2 zoning was established for the subject site in

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 2 of 8

November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions.

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

5. The Site Development Plan for Subdivision Amendment furthers the following relevant Comprehensive Plan policies:

A. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action is appropriately located adjacent to and nearby a cluster of other C-2 zoned lots, the intensity of which will not negatively impact existing residential development in the area. Carrying capacities are also appropriate for the area. Therefore, the request furthers Policy II.B.5.d.

B. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The portion of the site that is proposed to be subdivided into 5 new pad sites is vacant and is contiguous to existing urban facilities and services and the integrity of existing neighborhoods will be ensured. The request furthers Policy II.B.5.e.

C. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The applicant envisions additional commercial uses for the subject site. The subject site is located near adjacent to and nearby a cluster of other C-2 zoned lots which are configured to complement nearby residential areas. The proposed design standards proposed by the applicant generally meet the requirements of the Zoning Code and will serve to minimize any potential adverse impacts on residential environments. Therefore, the request furthers Policy II.B.5.i.

D. Policy II.B.5.j.: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.

New commercial development that results from the proposed subdivision action will be located within an existing commercially zoned area, within a larger area-wide shopping center site at the intersection of Wyoming and Montgomery Blvd. which are designated minor arterial streets. Route

#31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd. Therefore, the request furthers Policy II.B.5.j.

- E. Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The subject site is adjacent to two minor arterials and will be designed to minimize any harmful effects of traffic on nearby established residential neighborhoods. Transportation Staff provided comments that, when addressed, would help minimize harmful effects of traffic. The TIS form indicates that a traffic study is not required. The request furthers Policy II.B.5k.

- F. Policy II.B.5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The proposed design standards would require quality building materials and articulation, and would result in "modern" style buildings that would generally create quality. The request furthers Policy II.B.5l-quality design/new development.

6. The applicant requests that future site development plans for building permit for each tract be delegated to DRB for review and final sign-off.
7. The EPC has complete discretion over whether DRB delegation will be approved.
8. Design standards must be clear and provide sufficient direction with regard to the design and pad site layout direction for future requests for Site Development Plans for Building Permit.
9. The proposed design guidelines do not warrant delegation to DRB as they do not provide sufficient design and pad site layout direction for future requests for Site Development Plans for Building Permit.
10. The Loma Del Rey Neighborhood Association and District 7 Coalition of Neighborhood Associations as well as property owners within 100' of the subject were notified of this request. A facilitated meeting was not recommended by the Office of Neighborhood Coordination.
11. Staff received written public comments from the property owner directly north of the subject site stating that they were not in agreement with the proposed request for a site development plan for subdivision amendment, future improvements to the existing 20' public alley that will be required by the Traffic Engineering Department, as well as the potential for alcohol sales to take place on the subject site.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 4 of 8

12. At the November 12, 2015 public hearing, the EPC voted to continue the Site Development Plan for Subdivision Amendment request for 60 days to the January 14, 2016 public hearing to allow time for a facilitated meeting to occur and for Planning Staff to conduct additional research regarding a previously vacated alley on the subject site.
13. A facilitated meeting was held during the continuance period. The surrounding neighborhood associations generally support the proposal. While the Church proposed that the City require another shopping center access farther south, expressed concerns regarding overflow parking onto their lot from future shopping center users and raised the possibility of having a half-wall on their southwest boundary to discourage overflow parking on their site.
14. Facilitated meeting attendees agreed to meet again on January 6 at 2 PM to continue the discussion of the use of the alley and traffic routing options as well as review alternative site design layouts from the applicant to attempt to address the church's concerns.
15. Staff notes that the scheduling of this meeting will not allow enough time for a finalized facilitator meeting report to be issued for inclusion in the Supplemental Staff Report prior to the EPC case distribution on Thursday January 7, 2016.
16. The attorney representing Legacy Church (Steve Smothermon) presented a Notice of Decision for File # Z-77-165 / V-77-41 and claimed that the existing 20' public alley that bisects the subject site and the Church's property should have been vacated in 1977.
17. Additional staff research has confirmed that File # Z-77-165 / V-77-41 did result in the vacation and relocation of an existing alley on the subject site that met the following conditions
 - A. Submittal of a summary plat which combines the northerly portion with the balance of the parcel;
 - B. Relocation of the alley in accordance with the Traffic Engineering requirements.
18. A summary plat that combined the northerly portion with the balance of the parcel and relocated the alley approximately 100' north of its previous location in accordance with Traffic Engineering requirements was approved on May 10, 1978 (SP-78-297 / D8-127) and recorded with the Bernalillo County Clerk on May 22, 1978. The replat to vacate the alley dedicated the right-of-way for the subject alley.
19. The existing 20' public alley that bisects the subject site and the Church property to the north is located in accordance with the appropriate EPC N.O.D. for File # Z-77-165 / V-77-41 dated November 21, 1977.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 5 of 8

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Conditions of Approval for Design Standards Section:
 - A. All references made within the site development plan for subdivision to applicable sections of the City of Albuquerque Comprehensive Zoning Code shall list/identify the full corresponding name of that section of the Zoning Code within the design standards section.
 - B. Section II – Setbacks & Building Height Limitations shall be revised to state that building heights are regulated by Section 14-16-2-15(C)(1) – Office & Institution Zone which allows a maximum building height of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.
 - C. Section III – Parking shall be revised to include a note stating that all off-street parking areas shall comply with all First Flush Drainage Ordinance requirements as well as a section outlining conformance with Designated Disabled Parking Space requirements.
 - D. Section IV.(a)(ii) – Pedestrian Connections & Amenities shall be revised to reference the correct 6.75 total site acreage. It currently reads that the site contains a total of 5 acres.
 - E. The title for Section VI – Walls & Fences shall be revised to read "Walls, Fences & Screening", provide more detail regarding specific materials to be used for trash enclosures, and item l. be revised to cite the specific city Drainage Ordinance number.
 - F. Section VIII – Architecture shall be revised to include information outlining the proposed FAR for the subject site as required by the Zoning Code.
 - G. Section X.(f) – Signage shall be revised to reflect the Zoning Code requirements of Section 14-16-3-2(B)(4) which states that only one free-standing sign for every 300 linear feet of frontage along an arterial is allowed.
 - H. The Conceptual Drainage Plan shall be revised to include drainage details for the southwesterly portion of Tract A-1 and the southeasterly portion of Tract A-1.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 6 of 8

4. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
6. Conditions of Approval – Water Utility Authority, Utility Services:
 - An availability statement is required and can be made at the following link: http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire flow requirements from the fire marshal.
 - The Utility Plan indicates public sanitary sewer onsite. This will not be acceptable.
7. Conditions of Approval – City Engineer, Transportation Development:
 - Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 - Developer shall finalize and follow the requirements as per the approved Traffic Impact Study.
 - Additional right-of-way must be dedicated to widen the existing alley to provide two-way traffic along the west of the property and to provide for an adequate entrance from Wyoming Blvd.
 - The existing access (located on the SE corner of the property) to the Bank parcel needs to be modified to be perpendicular to the roadway.
8. Conditions of Approval – City Engineer, Hydrology Development:
 - EPC project # 1010550; A full G&D plan review meeting the following criteria and other criteria stated in the Development Process Manual Chapter 22 and the design guidelines given in Standard Specifications will be required before grading can commence.
9. Conditions for Approval for Project – Public Service Company of New Mexico:
 - As individual pad sites develop, coordination with PNM will be necessary regarding proposed tree species, the height at maturity and tree placement along the western boundary of the property in order to ensure sufficient safety clearances and to avoid interference between trees and the existing distribution facilities.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JANUARY 29, 2016**. The date of the EPC's decision is not included in the 15-day period for filing an

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 7 of 8

appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

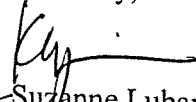
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/VQ

cc: Tierra West, LLC, 5571 Midway Park Pl. NE, ABQ, NM 87109
Brian A. Eagan, Loma Del Rey NA, 8416 Hilton Ave NE, Apt. 4B, ABQ, NM 87111

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 8 of 8

William E. Burk, III, Loma Del Rey NA, 9617 La Playa NE, ABQ, NM 87111
Janice Arnold-Jones, Dist. 7 Coalition of NA's, 7713 Sierra Azul NE, ABQ, NM 87110
Lynne Martin, Dist. 7 Coalition of NA's, 1531 Espejo NE, ABQ, NM 87112
Richard Leverick, 5120 San Francisco NE, ABQ, NM 87109

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Box 1293, Albuquerque, NM 87103

Date November 21, 1977

NOTIFICATION OF DECISION

M-M Company
300 San Mateo, N.E., Suite 500
Albuquerque, New Mexico 87108

Attention: Vance Mauney

File: 7-77-165, V-77-41

Location: Tract 2, Los Pastores Shopping Center
and a parcel of land in the NE/4 SE/4 SE/4, Sec.
31, T11N, R4E; and the vacation of the east-
west alley immediately north of Los Pastores
Shopping Center.

At their meeting of November 17, 1977, the Environmental Planning Commission approved the above mentioned requests, thereby changing the zoning to C-2 and vacating the alley subject to the following conditions: 1. Submittal of a summary plat which combines the northerly portion with the balance of the parcel; 2. Relocation of the alley in accordance with the Traffic Engineer's requirements.

If you wish to appeal this decision, you may do so by 12-2-77 in the manner described below. A non-refundable filing fee of \$25 is required at the time of application.

A. Appeal to Planning Commission. Any person aggrieved with any determination of the City staff acting under the Subdivision Ordinance may appeal to the Planning Commission by submitting written application on the Planning Department form to the Planning Department within 15 days after the date of the staff's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard and decided by the Planning Commission within 60 days of its filing.

B. Appeal to City Council. Any person aggrieved with any determination of the Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 5 days of the Planning Commission's decision (such 5 day period to be determined as in A. above). The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinance have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

You will receive notice if another person files an appeal. If there is no appeal you can receive building permits any time after the appeal deadline quoted above provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the referenced application(s).

Sincerely,



Bea Gutierrez
Board Secretary

cc: Charles Goy, 4612 Norma Dr., N.E. 87109

Property Management

ALB 87102

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Box 1293, Albuquerque, NM 87103

Date November 21, 1977

NOTIFICATION OF DECISION

M-M Company
300 San Mateo, N.E., Suite 500
Albuquerque, New Mexico 87108

Attention: Vance Mauney

File: 7-77-165, V-77-41

Location: Tract 2, Los Pastores Shopping Center
and a parcel of land in the NE/4 SE/4 SE/4, Sec.
31, T11N, R4E; and the vacation of the east-
west alley immediately north of Los Pastores
Shopping Center

At their meeting of November 17, 1977, the Environmental Planning Commission approved the above mentioned requests, thereby changing the zoning to C-2 and vacating the alley subject to the following conditions: 1. Submittal of a summary plat which combines the northerly portion with the balance of the parcel; 2. Relocation of the alley in accordance with the Traffic Engineer's requirements.

If you wish to appeal this decision, you may do so by 12-2-77 in the manner described below. A non-refundable filing fee of \$25 is required at the time of application.

A. Appeal to Planning Commission. Any person aggrieved with any determination of the City staff acting under the Subdivision Ordinance may appeal to the Planning Commission by submitting written application on the Planning Department form to the Planning Department within 15 days after the date of the staff's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard and decided by the Planning Commission within 60 days of its filing.

B. Appeal to City Council. Any person aggrieved with any determination of the Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision (such 15 day period to be determined as in A. above). The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinance have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

You will receive notice if another person files an appeal. If there is no appeal you can receive building permits any time after the appeal deadline quoted above provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the referenced application(s).

Sincerely,

Bea Gutierrez

Bea Gutierrez
Board Secretary

cc: Charles Goy, 4612 Norma Dr., N.E. 87109

Property Management

M-m Co., 420 Sandia Super Block - 87102

Letter of
Advice

19
OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Box 1293, Albuquerque, NM 87103

Date: June 15, 1978

M-M Company
300 San Mateo, N.E., Suite 500
Albuquerque, N.M. 87108

CERTIFICATION OF ZONING

File Z- 77-165

Date of Final Action: 11-17-77

Location: Portions of Tract A, Los Pastores
Shopping Center Addition (SP-78-297)
(Formerly Tract 2, Los Pastores Shopping Center
Addition and an unplatted parcel in NE/4 SE/4
SE/4, Sec. 31, T11N, R4E)

The Environmental Planning Commission ruled favorably on your request to amend the zone map as it applies to the above cited property.

- ☒ The possible appeal period having expired, the zoning on the above cited property is now changed to C-2 for those portions of the above-mentioned property formerly zoned P-1.
- ☐ The possible appeal period has expired, but the zoning on the above cited property is NOT CHANGED to
until the following requirements are met, as specified in the decision of the Commission:

If such requirements are not met within six months after the date final City approval is voted, the approval is void; however, the Planning Director or his designated representative may extend this time limit up to an additional six months.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of this case does not constitute approval of plans for a building permit. You should take two copies of your plans to the Building & Inspection Division of the City to initiate a building permit.

Sincerely,

Phil Garcia
Principal Planner

Z CERTIFICATION

For the Planning Director

cc: Graphics
Zoning

ZONING

Please refer to IDO Section 14-16-2-3(C) for the MX-M Zone District

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Titan Development		Phone: (505) 998-0163
Address: 6300 Riverside Plaza Lane #200		Email: jrogers@titan-development.com
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: vos@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Contract Purchaser		List all owners: Mauney Investments, LLC

BRIEF DESCRIPTION OF REQUEST

Major Amendment for a multi-family residential development and a Variance - EPC of 9.5 feet to the 15-foot landscape edge buffer requirement on the west side of the property.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tracts A-1-A and A-1-E-1	Block:	Unit:
Subdivision/Addition: Los Pastores Shopping Center	MRGCD Map No.:	UPC Code: 101906148904940508 101906148807440507
Zone Atlas Page(s): F-19	Existing Zoning: MX-M	Proposed Zoning: No Change
# of Existing Lots: 2 (of 6 in overall site plan)	# of Proposed Lots: 1 (5 in overall site plan)	Total Area of Site (acres): 6.5 acres in total

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4615 Wyoming Blvd NE Between: Montgomery Blvd NE and: Northridge Ave NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2022-007219, Project #1010550, Z-77-165, and Z-1238

Signature:	Date: 8/4/22
Printed Name: Michael Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☐ SITE PLAN – EPC

☐ MASTER DEVELOPMENT PLAN

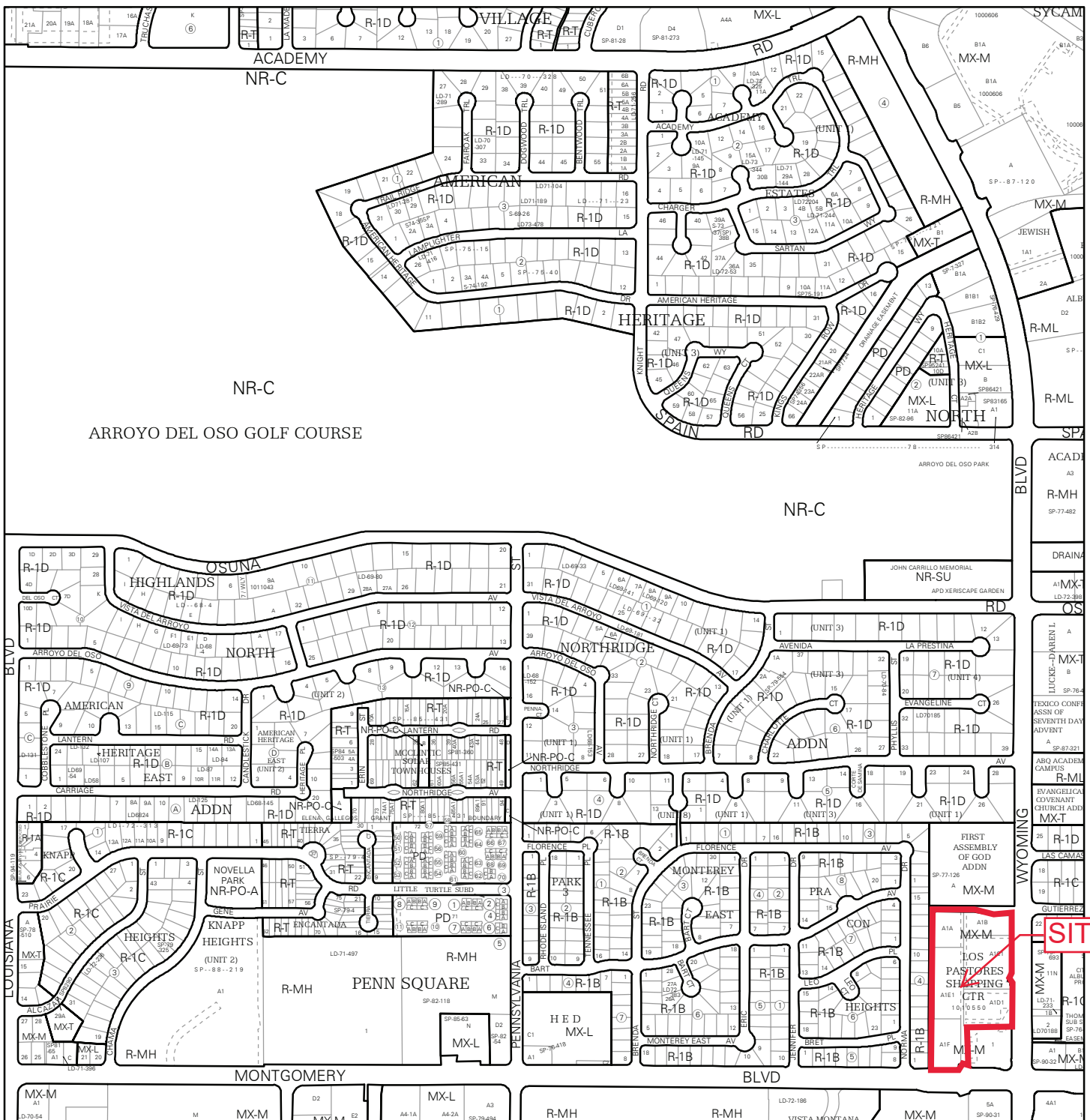
☒ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

- ☒ Interpreter Needed for Hearing? No if yes, indicate language: _____
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable
- ☐ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
- ☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ☐ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ☐ Completed neighborhood meeting request form(s)
 - ☐ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Sign Posting Agreement
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(1)
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - ☒ Office of Neighborhood Coordination notice inquiry response
 - ☒ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
- ☐ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- ☒ Completed Site Plan Checklist
- ☒ Scaled Site Plan or Master Development Plan and related drawings
 - Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
- ☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only)
- ☒ Site Plan or Master Development Plan
- ☐ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.
- ☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

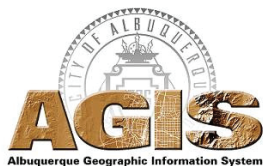
☒ VARIANCE – EPC

- ☒ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).
Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

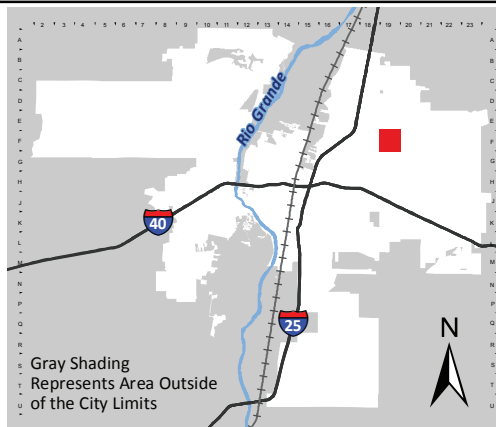


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

August 3, 2022

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

To whom it may concern:

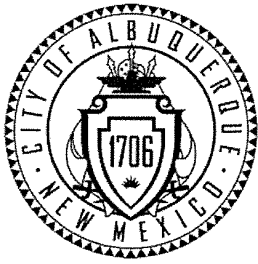
The purpose of this letter is to authorize Titan Development, Consensus Planning, Tierra West, and Humphrey's & Partners Architects to act on behalf of Mauney Investments, LLC for a Major Amendment to a Site Plan – EPC and related applications for platting and development of a multi-family residential project to be located near the northwest corner of Wyoming Boulevard NE and Montgomery Boulevard NE. This letter does not authorize Titan Development, Consensus Planning, Tierra West, or Humphrey's & Partners Architects to execute and approve any final plat, site plan, variance application, or vacation without Mauney Investments, LLC's further consent or joinder.

The property is legally described as Tracts A-1-A and A-1-E-1, Los Pastores Shopping Center, which is part of a larger subdivision that also includes TRACTS A-1-B, A-1-C-1, and A-1-D-1, Los Pastores Shopping Center.

Sincerely,

 *Marc Mauney* 08/03/22

Managing Member
Mauney Investments, LLC



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Administrative Officer
July 2, 2015

Robert J. Perry, Chief

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): Z-1238 (1963), Z-77-165 (1977)

Case Number(s):

Agent: Tierra West, LLC

Applicant:

Legal Description: Tract A-1, Los Pastores Shopping Center

Zoning: C-2

Acreage: 5.75 Acres

Zone Atlas Page: F-19

CERTIFICATE OF NO EFFECT: Yes ☒ No ☐

CERTIFICATE OF APPROVAL: Yes ☐ No ☐

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

SITE VISIT: YES, July 2, 2015. Tract extensively graded and large areas covered by 3 to 4 feet of modern fill.

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .*

MFSchmader

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist



August 4, 2022 (Updated August 31, 2022)

Tim MacEachen, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Approval of a Major Amendment and Variance for the Los Pastores Shopping Center

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Chairman:

The purpose of this letter is to request approval of a Major Amendment to the Site Plan for the Los Pastores Shopping Center, which was approved by the Environmental Planning Commission (EPC) in January 2016 (Site Plan for Subdivision). The Starbucks within the larger shopping center was approved by the EPC in November 2016. The subject site is legally described as Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, and A-1-F, Los Pastores Shopping Center, containing approximately 6.5 acres (See Figure 1) and is zoned MX-M (Mixed-use Medium Intensity).

The Applicant submitted a Sketch Plan to the Development Review Board, which determined it was most appropriate to pursue this Major Amendment request to the controlling Site Development Plan. The Environmental Planning Commission is hearing this case as a Major Amendment to the pre-IDO approval based on comments received from the DRB and in order to combine two lots within the previous Site Development Plan for Subdivision into one parcel for the development. Major amendments return to the original decision-making body via the most similar process per IDO Section 14-16-6-4(Z).

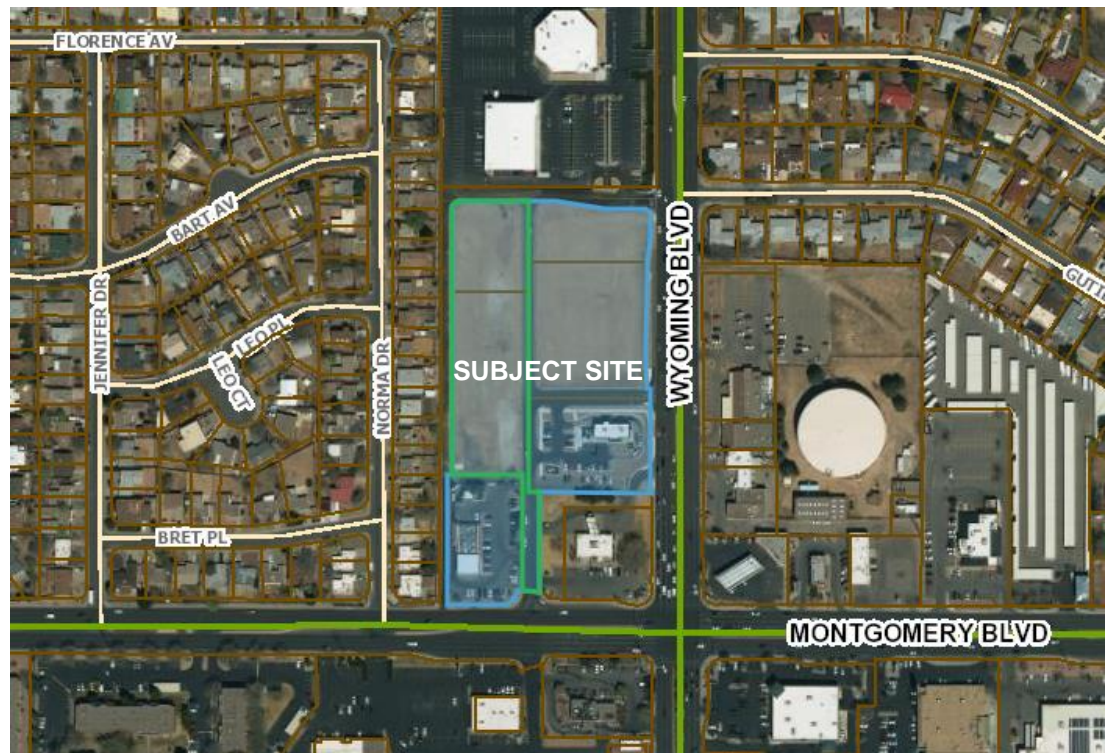


Figure 1. Vicinity map showing the overall shopping center site in blue and area of amendment in green.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



PROJECT CONTEXT

History

A subdivision plan was originally approved for the subject property in 1962, and C-2 zoning was established in November 1977. This zoning converted to the existing MX-M zone upon enactment of the Integrated Development Ordinance in 2018.

On January 14, 2016, the Environmental Planning Commission approved Project #1010550, a Site Development Plan for Subdivision for the Los Pastores Shopping Center, the prior approval for the subject property. Subsequent to this approval, an adjacent property within the overall Site Development Plan for Subdivision boundary was approved for development of the Starbucks restaurant in November 2016.

Existing Conditions and Land Use

The subject site lies within the North Albuquerque Community Planning Area of the Comprehensive Plan and is designated as an Area of Change. Montgomery Boulevard is a designated Major Transit Corridor and Wyoming Boulevard is a Multi-Modal Corridor. ABQ Ride Routes 5 and 31 pass the site with stops on Montgomery Boulevard and Wyoming Boulevard and peak frequencies of 25 and 45 minutes, respectively. Wyoming Boulevard also has a Commuter Route 98. The nearest bicycle facilities are along Osuna Road to the north of the subject site.

Located at the intersection of two Principal Arterial roadways, the area surrounding the subject site includes numerous commercial uses, and the property located to the south across Wyoming Boulevard is currently undergoing a significant redevelopment with new townhouses, restaurants, retail, and a medical clinic. A shopping center, Walgreen’s, and Target are located southeast of the site, and a carwash has been built to the east within the last few years. Immediately to the west of the site is a single-family residential neighborhood, and additional low-density residential uses are located in the surrounding area beyond the denser and more intense uses surrounding the major intersection.

Zoning

All the properties surrounding the Wyoming Boulevard and Montgomery Boulevard intersections are zoned MX-M (Mixed-use Moderate Intensity). Parcels with MX-L (Low Intensity) and MX-T (Transition) zoning are located south and east of the site. Single-family neighborhoods adjacent to these higher-intensity uses consist of a variety of R-1B, R-1C, and R-1D zoning and lot sizes. Large multi-family residential developments to the west and southwest are zoned R-MH (High Density) with some additional R-ML (Low Density) zoning also in the vicinity.

TABLE 1. Surrounding Zoning & Land Use		
NORTH	MX-M, MX-T, R-ML and R-1D	Religious institution, multi-family, and single-family residential
EAST	MX-M, MX-T, and R-1C	Commercial retail, services, utilities, and single-family residential
SOUTH	MX-M, MX-T, R-MH, and R-1C	Commercial retail, services, multi-family residential, and ongoing redevelopment
WEST	R-1B	Single-family residential

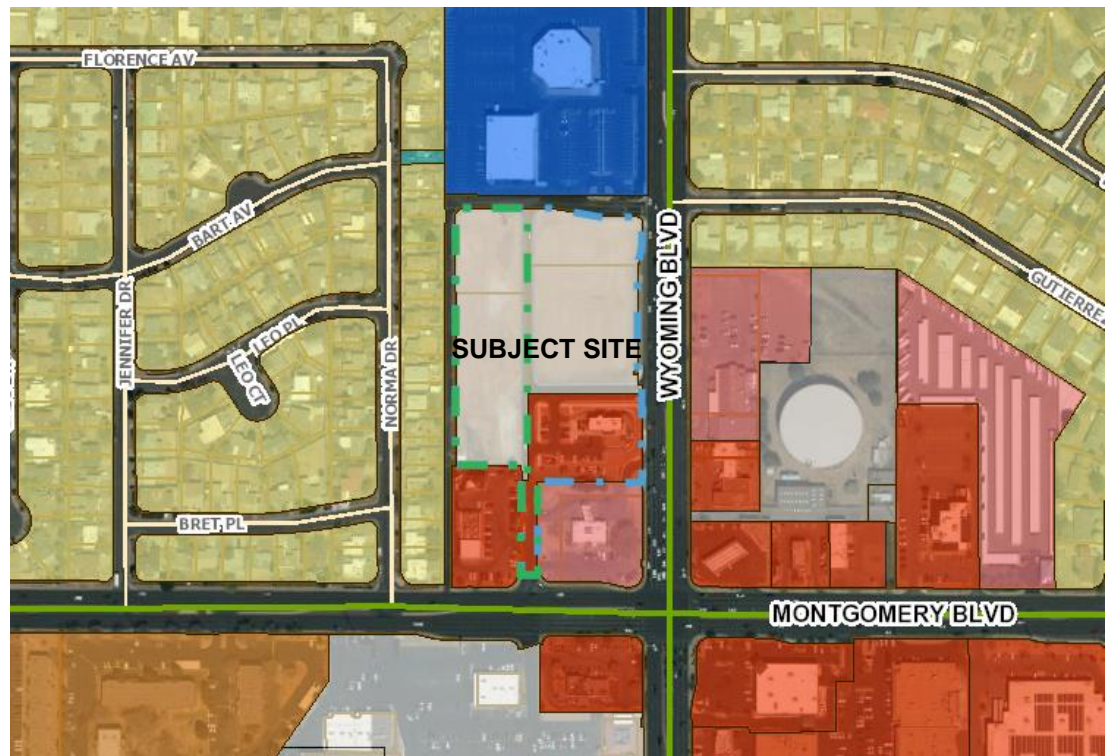


Figure 2. Land use context with the proposed multi-family property outlined in green, overall site in blue dashed line.

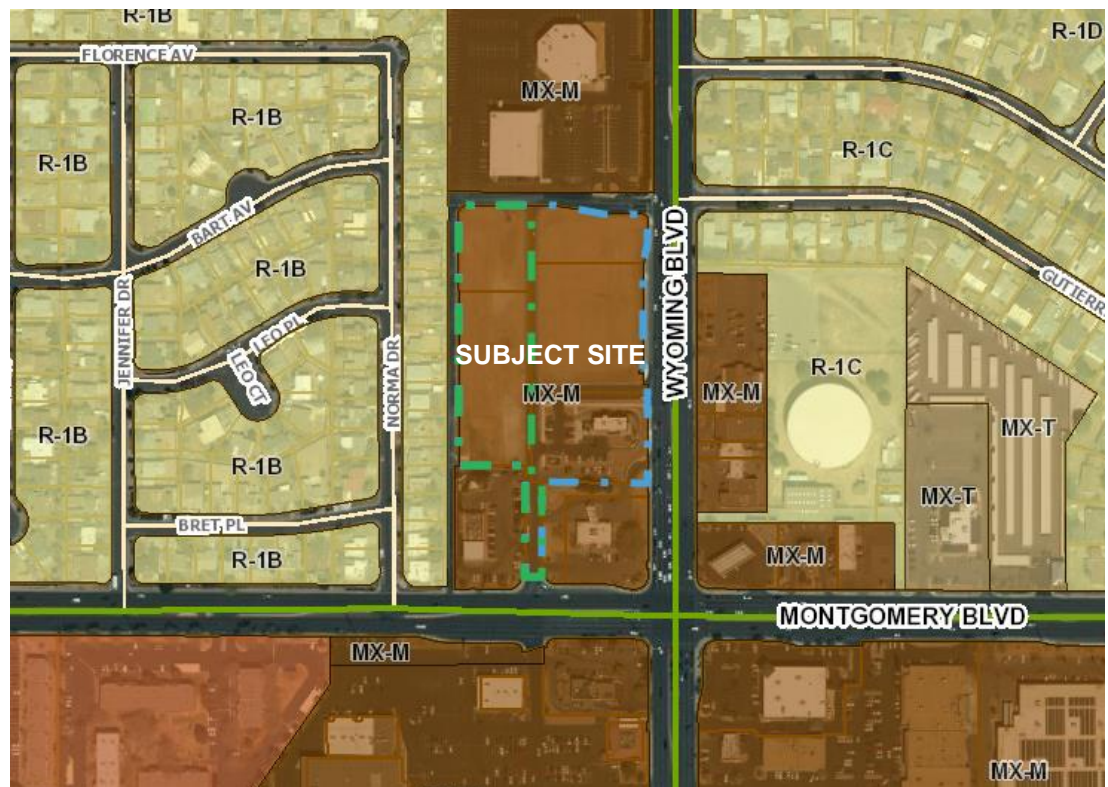


Figure 3. Existing zoning with the proposed multi-family property outlined in green, overall site in blue dashed line.

SUMMARY OF REQUEST

The Applicant, Titan Development, is requesting approval of the following two requests:

1. Major Amendment to the 2016 Site Development Plan for a 102-unit multi-family residential development consisting of two three-story buildings and a clubhouse along with associated parking, landscaping, and site improvements. This development is combining two lots that were previously shown on the Site Development Plan for Subdivision, which is a reason the DRB suggested pursuing this Major Amendment request to combine those lots for a single use, while remaining within the overall Site Development for Subdivision and maintaining its design standards for the development as a whole.
2. Variance – EPC of 9.5 feet to the 15-foot minimum landscaped edge buffer on the west side of the property to allow for adequate access, parking, building height, and separation for the proposed multi-family community.

PROPOSED DEVELOPMENT

The proposed multi-family development will be located on approximately 2.2 acres of the original 6.5-acre shopping center site. The proposed multi-family development consists of 102 dwelling units in two three-story buildings setback at least 100 feet from the residential subdivision to the west in compliance with the Neighborhood Edge requirements of the IDO regarding building height stepdown.

The parking lot for the proposed development is located on the west side of the site between the proposed buildings and an existing alleyway, which provides a buffer to the adjacent single-family residential homes. An additional landscape buffer area with trees, as required by the IDO is provided between the parking lot and alley. A Variance – EPC is being requested to this landscape buffer width due to the narrowness of the property, as well as previous city requirements to dedicate additional right-of-way to the alley above and beyond typical alley widths, which also contribute to the separation intended by the IDO. The landscape buffer as written in the IDO is intended to provide distance and landscaping opportunities from higher intensity developments from single family neighborhoods. In this specific instance, there is a 30-foot alleyway buffering the single family from the site, and the landscaping onsite will include significant trees, shrubs, and turf within the remaining 5.5' to 7.5' of landscaping area remaining after approval of the variance request.

It is the Applicant's intent with this project to provide much-needed housing options to an important transit and economic hub for the city. This part of Albuquerque houses many crucial middle-income workers who have few options for quality housing at an attractive price point. This multi-family community will be the first of its kind in Albuquerque targeting the "missing middle" by offering efficiently sized units with quality amenities at a more affordable rental rate. Located a convenient distance from public transit and major arterial roads, this project will enhance middle-income renter access to the jobs, shopping opportunities, and public services/amenities that are central to their lifestyle.

JUSTIFICATION

As this letter and the submitted Site Plan demonstrates, the proposed Major Amendment and Variance – EPC comply with the IDO requirements and should be approved. Multi-family residential development is a permissive use in the underlying MX-M zone and adding new housing to this long vacant site will add to the positive momentum happening in this area of Albuquerque.



Per IDO Section 14-16-6-4(Z)(1)(b) Major Amendments, the proposed amendment shall follow the procedures for the most closely equivalent decision in the IDO. For this project, which was originally approved by the EPC, the Site Plan – EPC process and decision-making criteria are the most closely equivalent procedures within the IDO. It is the Applicant’s intent for this project to follow the Design Standards from the previous approval for the Los Pastores Shopping Center with the Major Amendment, however the Applicant reserves the right to request adjustments should staff find a conflict between the project and those standards as allowed through the Major Amendment process. These design standards notwithstanding, the Major Amendment is to combine two lots from the prior subdivision layout into one parcel for the proposed development. This request meets the Site Plan – EPC criteria as described below.

SITE PLAN CRITERIA

The Site Plan – EPC request complies with the criteria outlined in IDO Section 14-16-6-6(J)(3) as follows:

6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Applicant Response: *The Site Plan is consistent with the Comp Plan by furthering the following Goals and Policies:*

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Applicant Response: *The project furthers this goal and policy because it locates an appropriately scaled multi-family residential development near the intersection of two Principal Arterial Roadways that have good transit access for residents. Adding more affordable residential density near this intersection will positively support the existing and future businesses in the area. While, adding multi-family residential expands the mix of uses in this infill location, as encouraged by this policy, the design of the site has also been carefully considered to respect and minimize impacts to surrounding neighbors. The building design will comply with the Los Pastores Shopping Center and IDO requirements, and the location of the building to the east side of the property reduces the height impacts to the maximum extent possible and is compliant with zoning requirements.*

Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Applicant Response: *The project furthers this goal because it adds critical residential density along a Major Transit Corridor (Montgomery Boulevard) and a Multi-modal Corridor (Wyoming Boulevard). This density, at an affordable price point, supports the multi-modal transportation network, particularly transit along Montgomery Boulevard, which connects residents to many employment, shopping, and recreational opportunities.*

Policy 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

Applicant Response: The subject site is located adjacent to both a Major Transit Corridor (Montgomery Boulevard) and a Multi-Modal Corridor (Wyoming Boulevard). This policy is furthered because the creation of new residential infill housing along this corridor helps capture our regional growth along a designated Corridor. Addition of this housing will support transit ridership in a key location within Albuquerque, which helps accommodate population growth within a sustainable development pattern.

g) Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.

Applicant Response: The subject site is located adjacent to both a Major Transit Corridor (Montgomery Boulevard) and a Multi-Modal Corridor (Wyoming Boulevard). This sub-policy is furthered because the proposed Site Plan – EPC adds residential infill along these two designated Comprehensive Plan Corridors and supports transit ridership through appropriate urban-scale density.

Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

c) Encourage mixed-use development in Centers and near intersections.

Applicant Response: Montgomery Boulevard is a Major Transit Corridor, and the proposed redevelopment of the site provides for multi-family residential development within a shopping center site that includes commercial uses, including a Starbucks and McDonald's restaurants thus creating a more mixed-use environment near an important intersection. Additional density will bring more riders to the existing transit services within an easy walking distance of several bus stops. More riders will help encourage higher frequency service.

Policy 5.1.11 Multi-Modal Corridors: Design safe Multi-Modal Corridors that balance the competing needs of multiple modes of travel and become more mixed-use and pedestrian-oriented over time.

Applicant Response: The subject site was originally subdivided in 1962 and zoned in 1977. While the existing Site Development Plan was approved in 2016, the request furthers this policy because the addition of multi-family residential through this Major Amendment adds to the mixed-use character of the area and supports the transition of this area of Wyoming and Montgomery Boulevards to a more pedestrian-oriented development pattern.

Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Applicant Response: Policy 5.2.1 is furthered by the request because the addition of the proposed residential project to the shopping center site will broaden housing options by providing an additional modestly priced rental option to the Albuquerque market. This development is occurring on a site that is largely vacant and under-utilized with only the Starbucks restaurant being constructed since the site plan approval in 2016. This

development will offer greater choices to existing and future residents in transportation, work areas, and lifestyles; therefore, it supports the creation of a healthy, sustainable, and distinct community.

d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Applicant Response: This request furthers this sub-policy because it is proposing an appropriately dense multi-family residential development with efficient unit sizes and amenities in order to target a “missing middle” of rental housing. This project will capture middle-income renters that other new, highly-amenitized apartment projects may not, or income-restricted housing that they make too much to qualify for.

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

Applicant Response: The existing shopping center property has long been vacant. The surrounding area largely developed between 1961 and 1996 according to historical aerial imagery, but this site has not fully developed with only the Starbucks being built on a portion of the larger site between 2016 and 2018. Approval of this Site Plan request furthers this sub-policy by encouraging the productive use of these vacant lots and may spur additional development for the remainder.

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Applicant Response: The project furthers this goal by promoting a denser development pattern in an area with existing infrastructure. The 2016 Site Development Plan brought infrastructure improvements with utilities and storm drainage into the site and paved the surrounding alleyways and shared drive aisles. Approval of the current request will take advantage of these existing improvements, as well as support a high density of people that will support surrounding businesses and transit service on Montgomery Boulevard, which ultimately supports the public good.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Applicant Response: The request furthers this policy by providing for the development of a site designated as an Area of Change along two different corridors. The proposed development provides for additional housing at a different scale and density than much of what is within the surrounding area, which is intended in Areas of Change per sub-policy 5.6.2.b. There is adequate existing infrastructure, including a highly connected street grid and frequent transit on both Montgomery Boulevard and Wyoming Boulevard to support this request for development, and as described elsewhere significant infrastructure improvements have previously been made to serve this site so it is appropriate for this development to locate on the subject property per sub-policies 5.6.2.g and 5.6.2.h.

Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Applicant Response: The requested Site Plan enhances the walkability of housing options in this area by providing sidewalks and enhancing landscaping in this mostly commercial area. Existing commercial and retail will be accessible on foot, and the increased density from a multi-family community will also encourage future growth of businesses who can take advantage of an increased local population.

Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

Applicant Response: The requested Site Plan will provide housing targeting the “missing middle” of rental options not serviced by existing Class A or affordable housing initiatives. This classically under-served market segment will benefit from the closeness to public transit, major arterial roadways, jobs, and retail options at this site. The efficient units and high-quality amenities will provide a unique blend of qualities that will make this project the first of its kind in Albuquerque.

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

Applicant Response: The requested Site Plan furthers this goal and policy by providing new, high-quality rental multi-family in the Northeast Heights of Albuquerque. In particular, the proposed development is intended to be available to middle income households in a way that is not well represented in the market, thus helping ensure a greater balance of housing options for people of a variety of income levels and types of residents and households.

Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

Applicant Response: The proposed Major Amendment to the shopping center Site Plan to include multi-family residential furthers this policy by expanding the available housing types in the Northeast Heights of Albuquerque. Targeting the “missing middle” of rental options not serviced by existing Class A or affordable housing initiatives, this project creates a high-quality mixed-income housing option. The orientation of the project meeting the Neighborhood Edge stepdown requirement and a separate height limitation called for in the Los Pastores Shopping Center design standards ensures that the proposed development maintains the scale of the existing neighborhoods nearby, particularly to the west, while simultaneously encouraging a greater diversity of housing, thus furthering sub-policy 9.1.2.c.

6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Applicant Response: The property is not zoned NR-SU or PD. However, the previous Site Development Plan for Subdivision includes design standards in addition to those of the IDO, which apply to the subject property. Such special development regulations include a modified height stepdown provision near single-family residential, maximum floor area ratio, and “modern” building design. The Applicant has met or intends to meet these requirements from the prior approval as shown in the proposed drawings.

Such standards include a height limit of 26 feet within 85 feet of the R-1 properties to the west. The project does not have any buildings within this 85-foot area and is setback more than 100 feet to comply with the IDO provision limiting height to 30 feet within that larger setback area.

The Site Development Plan for Subdivision allows a Floor Area Ratio (FAR) maximum of 1.0 and the proposed development complies with a FAR of approximately 0.78.

6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: *As mentioned above, there are design standards associated with the prior approval. The Applicant intends to comply with those standards in addition to the IDO standards, which apply either by reference to the zoning code in the prior approval or because the prior approval is silent. The proposed development complies with the applicable provisions of the IDO for the MX-M (Mixed-use Moderate Intensity) zone district. Multi-family residential development is a permissive use under the existing zoning designation. The proposed buildings meet the dimensional standards of the IDO, including special Neighborhood Edge provisions related to building height within 100 feet of single-family residential. With approval of the accompanying Variance – EPC the Applicant believes they comply with all applicable IDO requirements.*

6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Applicant Response: *The City's existing infrastructure has adequate capacity for the proposed development. A traffic scoping form was submitted for review by the City Traffic Engineer, and no further study was necessary as the site does exceed the established thresholds. The subject site is in an infill location and is surrounded by fully built-out roadways that include adequate water, sewer, and storm drainage for the proposed development. Any water or sewer extensions, storm drainage installation, or roadway improvements that are required due to this redevelopment will be completed by the developer.*

6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Applicant Response: *The application mitigates significant adverse impacts through the location of the proposed structures on the east side of the subject lots, which places them in*



compliance with the height stepdown requirements of the IDO's Neighborhood Edge provisions. The proposed landscape buffer on the west side of the site will be well planted to reduce the impacts to those neighbors, and along with the existing alleyway provides a significant transition to between the properties of greater than 35 feet to the proposed parking lot.

6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: *The property is not located within any approved Master Development Plan area, so this criterion does not apply.*

6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Applicant Response: *The site is not located in the Railroad and Spur Area and no cumulative impact analysis is required, so this criterion does not apply.*

VARIANCE JUSTIFICATION

As part of this Site Plan – EPC request, the Applicant is also seeking approval of a Variance – EPC to allow for a reduction of the required landscaped edge buffer from 15 feet to a minimum of 5.5 feet (a reduction of 9.5 feet total). It is the Applicant's intent to provide 7.5 feet of landscape buffer area, but this request is based upon the potential for additional Fire Marshal requirements regarding width of the fire access. Approval of the Fire 1 plan by the Fire Marshal will dictate the final buffer width. This variance request is due to the narrowness of the property in the east-west direction, which severely limits the potential layouts of any buildings and parking on the property, as well as a previous right-of-way dedication for the alley on the west side of the property beyond typical standards, which contributed to this lot width deficiency.

As explained below, this request meets the criteria for a variance and is justified because of special circumstances applicable to the subject site that are not self-imposed and pose an extraordinary hardship and practical difficulties on development of the site.

Per IDO Section 6-6(N)(3)(a), an application for a Variance – EPC shall be approved if it meets all of the following criteria:

1. There are special circumstances applicable to a single lot that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, physical characteristics, natural forces, or by government actions for which no compensation was paid. Such special circumstances of the lot either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or economic return

on the property, or practical difficulties result from strict compliance with the minimum standards.

Applicant Response: *As described above, the subject properties are extremely narrow, which makes them difficult to develop with all the required elements from the IDO, DPM, and other city regulations, the impacted landscaped buffer notwithstanding. The eastern edge of the property is encumbered by a shared access easement for the entire shopping center, and city regulations stipulate minimum widths of pedestrian walkways, drive aisles for emergency access, and depth of parking stalls. Considering all these factors simultaneously leaves limited space for the proposed buildings and landscaping areas. The Applicant has made every effort to comply with these various requirements by orienting the buildings in the north-south direction as far to the eastern edge of the lot as practical and maximizing the IDO allowances for compact parking stalls within the parking lot.*

The narrow lots in question were platted prior to the creation of the neighborhood edge and landscape buffer requirements in the IDO. Further, when the existing site plan was approved by the City in 2016, the property owner was required to dedicate an additional 10 feet to the alley along the west side of the property to create a 30-foot-wide alley on this edge, even though the alley remains 20 feet wide along the McDonald's property immediately to the south and a lesser dedication was accepted on the north side of the site.

The requirement to provide an additional 10 feet toward a paved alley on the west side of the site constitutes a special circumstance to the subject property not shared with any other properties in the same zone district or vicinity and is the result of government action. Typical alleys throughout Albuquerque are only 16 to 20 feet wide, and modern drive aisles are only slightly wider than that. Requiring 30 feet from these lots was excessive and creates an extraordinary hardship on the property owner and Applicant by limiting the reasonable use of the property when paired in conjunction with the new rules that further take away real estate from productive use. These special circumstances also create practical difficulties as strict compliance with the landscape buffer standard along with requirements for parking, sidewalks, building code and design considerations, and others are extremely challenging and limiting upon the property.

2. The Variance will not be materially contrary to the public safety, health, or welfare.

Applicant Response: *The variance will not be materially contrary to the public safety, health, or welfare. The variance will not allow any part of the proposed development to be constructed closer to the single-family residential homes to the west than if the alley was left as a 20-foot right-of-way as it is along the McDonald's property to the south. When combined with the alley width, the effective buffer between the proposed parking lot and the homes is over 35 feet, which meets the intent of the IDO for separation between uses. Further, the Applicant will still plant the required buffer trees within the remaining landscape buffer to screen the parking and multi-family development from the neighboring yards.*

3. The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.



Applicant Response: The variance will not cause material adverse impacts on surrounding properties or infrastructure improvements. The proposed multi-family residential use is allowed by the underlying zoning and infrastructure is available to serve this development, so the variance will not allow a type of development not otherwise permitted. The variance will not allow for any additional development that creates greater traffic impacts, flooding, or any other adverse impacts. As described above, the effective width of the landscape buffer will remain larger due to the increased alley width that has created the special circumstances applicable to the property. A separation of over 35 feet will remain and the leftover landscape area will continue to be planted as required by the IDO.

4. The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.

Applicant Response: The variance will not materially undermine the intent and purpose of the IDO or the MX-M zone district. It will not allow any uses that are not allowed by the underlying zoning, and it will help facilitate the approval and construction of moderately priced rental housing for middle-income families and individuals, which is appropriate in this location and supportive of the Comprehensive Plan. The request does not eliminate the landscape buffer or the related plantings, but rather it reduces it consistent with the amount of additional right-of-way dedication that was required of the property owner along the alley in 2016. When combined, the separation between this development and the neighboring single-family lots is over 35 feet, which exceeds the minimum distance separation required by the IDO had an alley not exist along this edge.

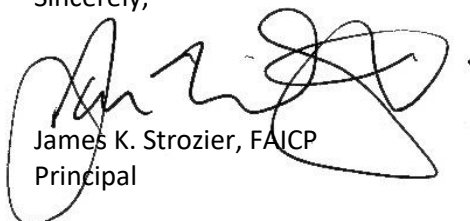
5. The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

Applicant Response: The variance is the minimum necessary to avoid extraordinary hardship and practical difficulties. The requested variance is necessary for the placement of the buildings, parking lot with drive aisle, and sidewalks as shown on the accompanying Site Plan – EPC.

CONCLUSION

Based on all the information provided, on behalf of Titan Development, we respectfully request approval of both the proposed Site Plan for development of a 102-unit multi-family development and the associated Variance – EPC reducing the required landscape buffer to a minimum of 5.5 feet.

Sincerely,



James K. Strozier, FAICP
Principal



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Montgomery and Wyoming
Project Title: Apartments **Building Permit #:** _____ **Hydrology File #:** _____
Zone Atlas Page: F-19-Z **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR A-1-E-1 SUBDIVISION TRACTS A-1-C-1, A-1-D-1, & A-1-E-1
City Address: 4615 WYOMING BLVD NE ALBUQUERQUE NM
Applicant: Tierra West LLC **Contact:** Ron Bohannon
Address: 5571 Midway Park Pl NE, Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** rrb@tierrawestllc.com

Development Information

Build out/Implementation Year: 2023 **Current/Proposed Zoning:** MX-M
Project Type: New: (x) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()
Proposed Use (mark all that apply): Residential: (x) Office: () Retail: () Mixed-Use: ()
Describe development and Uses:
~~120~~-Unit Apartment Complex development including a clubhouse and pool.
102 Units, 3 stories

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

Facility

Building Size (sq. ft.): 2,200 Clubhouse SF GFA
Number of Residential Units: 102 Units
Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____
Expected Number of Employees (if known):* 3
Expected Number of Delivery Trucks/Buses per Day (if known):* _____
Trip Generations during PM/AM Peak Hour (if known):* ITE-11th ed. 221-Multifamily Housing (Mid-rise)
AM-7Enter/26Exit PM-24Ent/16Exit
Driveway(s) Located on: Street Name Wyoming Blvd
Adjacent Roadway(s) Posted Speed: Street Name Montgomery Blvd Posted Speed 40 mph
Street Name Wyoming Blvd Posted Speed 40 mph

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 37,301 (2216 TAQA) Volume-to-Capacity Ratio: .25-.50
COG ID# 15086 (if applicable)

Adjacent Transit Service(s): Bus Route 98 Nearest Transit Stop(s): Bus Stop Route 98 along Wyoming

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Current Bicycle Infrastructure Developed along Arterial Roadways
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalk along adjacent roadways

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:



TRAFFIC ENGINEER

7/20/2022

DATE

Submittal

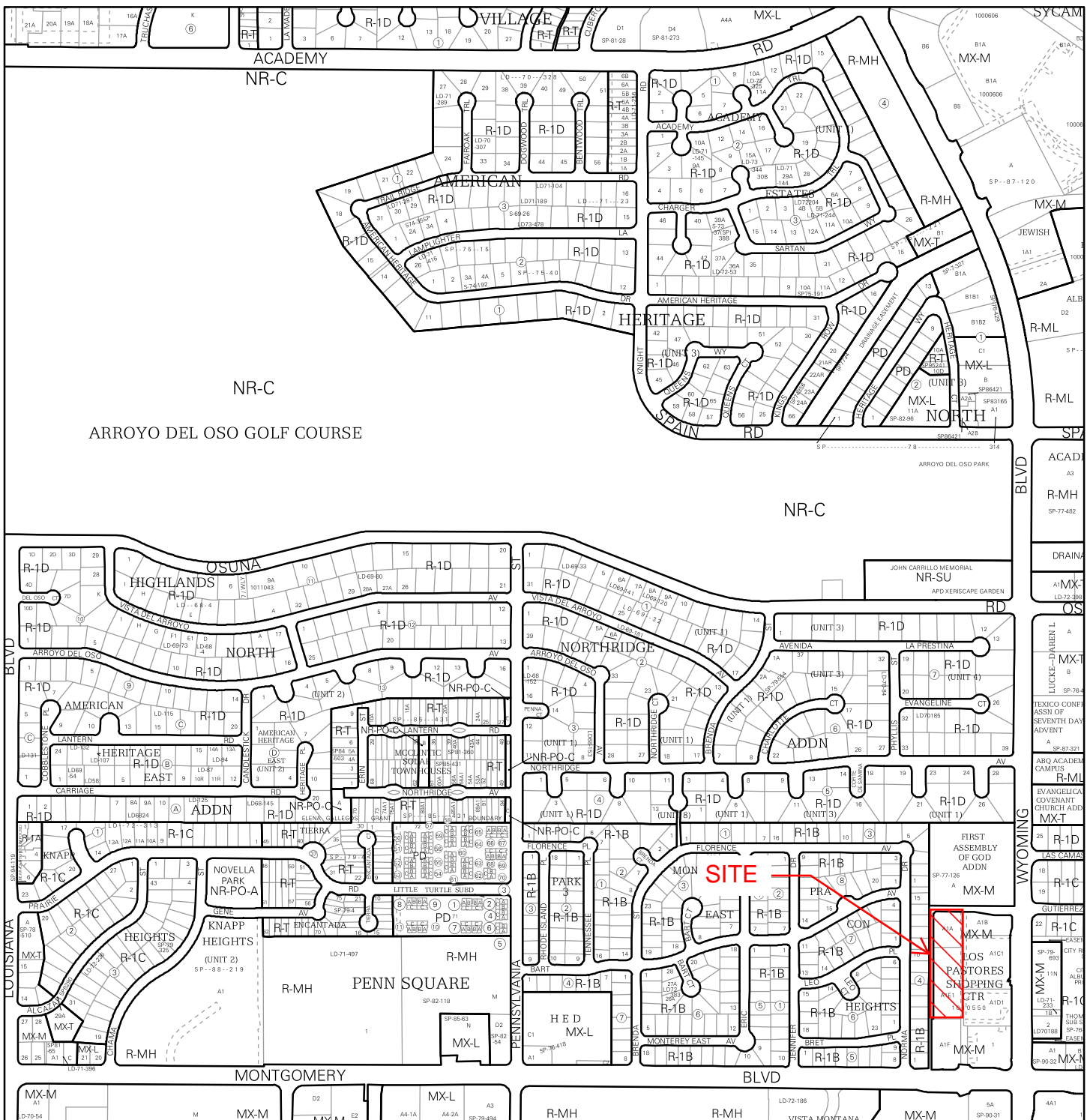
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

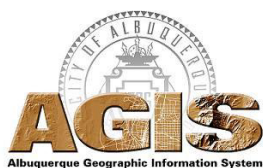
Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

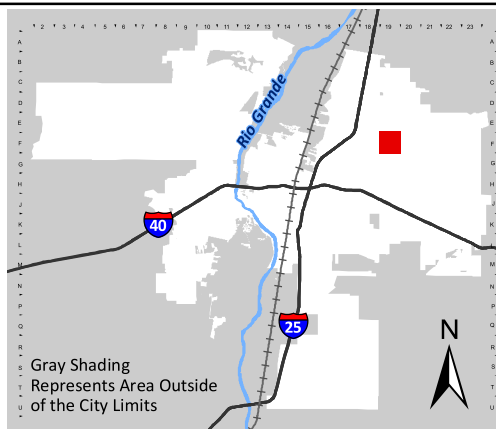


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-19-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet

Multifamily Housing (Mid-Rise)

Not Close to Rail Transit (221)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 30

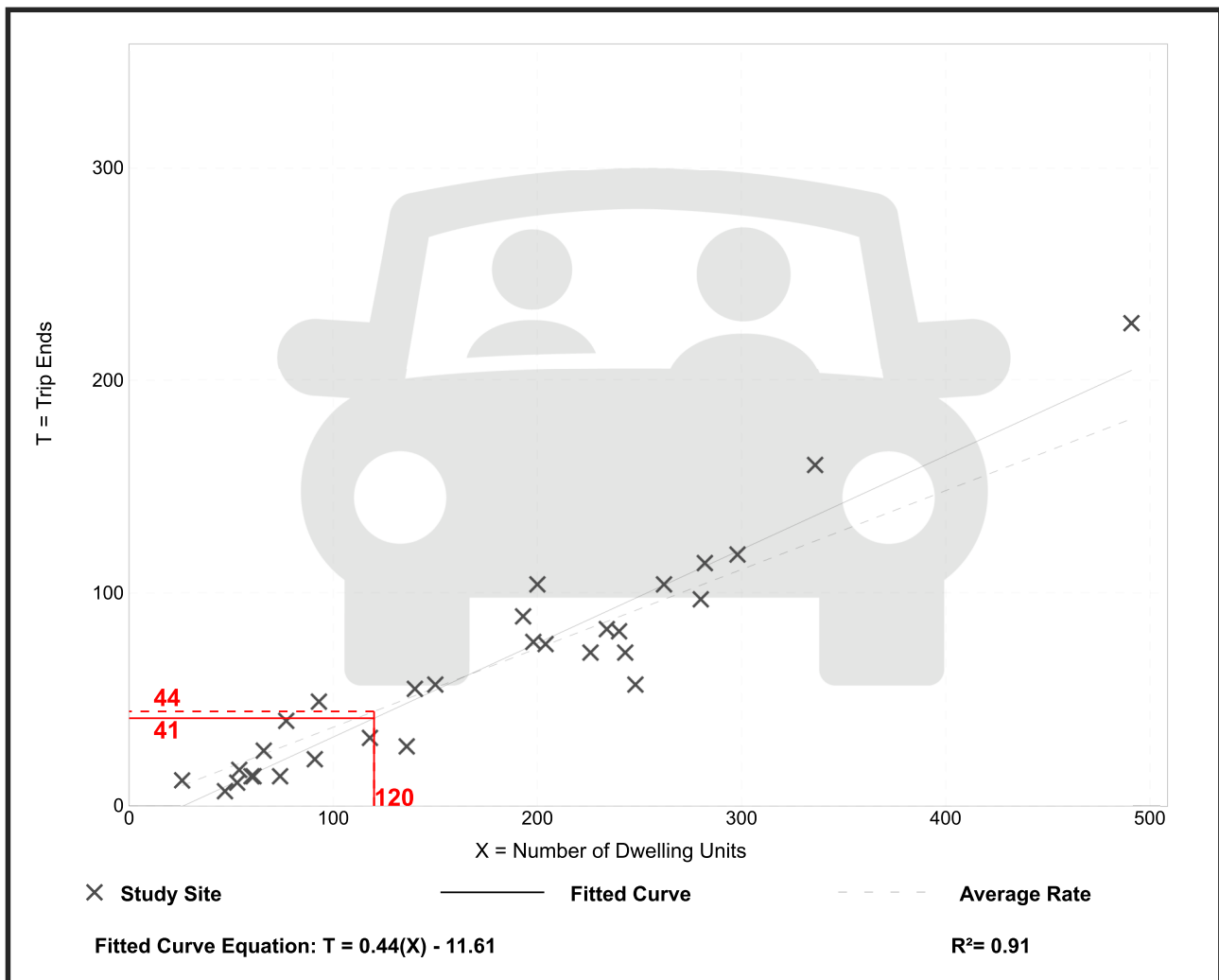
Avg. Num. of Dwelling Units: 173

Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.37	0.15 - 0.53	0.09

Data Plot and Equation



Multifamily Housing (Mid-Rise) Not Close to Rail Transit (221)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 31

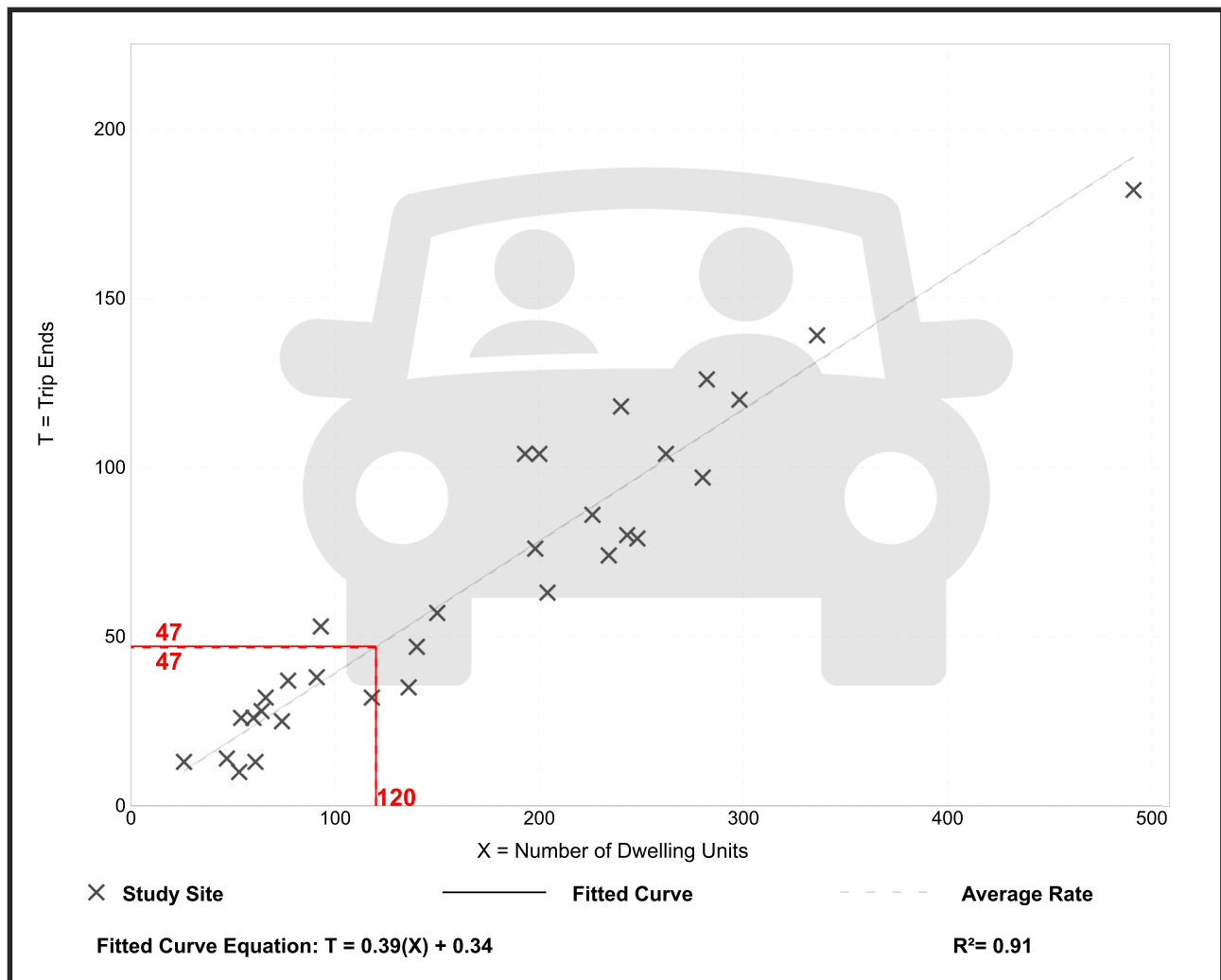
Avg. Num. of Dwelling Units: 169

Directional Distribution: 61% entering, 39% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.39	0.19 - 0.57	0.08

Data Plot and Equation



DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION
David G. Gutierrez, PE, Senior Engineer | 505-924-3695 dggutierrez@cabq.gov

DRB Project Number: 2022-007219 Hearing Date: 06/29/2022
Project: 4615 Wyoming Blvd. NE Agenda Item No: 6

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology will need an approved grading and drainage plan completed by a New Mexico registered professional Civil Engineer for the proposed site plan.

RESOLUTION/COMMENTS:

Water:

Code Enforcement:

Parks:

Transportation:

Planning:

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____



**Development Review Board (DRB)
Review Comments
Utility Development Section
Reviewer: Blaine Carter, P.E.
Phone: 505.415.9188**

DRB Project No: PS-2022-00128	Date: 06/29/2022	Item No: #6
Zone Atlas Page: F-19	Legal Description: Lot(s) TRACT A-1-E-1/TRACT A-1-A, LOS PASTORES SHOPPING CENTER Location: 4615 WYOMING BVDL NE BETWEEN and MONTGOMERY BLVD NE	
Request For: PS-2022-00128 – SKETCH PLAN		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Request an availability/serviceability statement online at the following link:
http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire marshal requirements. An executed statement must be obtained prior to approval.
2. Utility Plan:
 - a. Provide a utility plan that indicates the location of proposed services.
 - b. Show existing public water and public sewer mains and any associated easements on the utility plan.
 - c. Dimension the public water and public sewer easements on the utility plan.
 - d. Coordinate with NM 811 to field locate and survey the existing public water and sewer infrastructure. If existing infrastructure is not within the existing easements, dedicate additional easement to provide the minimum widths over the actual pipe locations.

- e. There shall be no trees, parallel fences/sidewalks/curbs, or structures within the public water and public sewer easement.
- 3. Infrastructure List:
 - a. The improvements required in the Availability Statement shall be incorporated into the infrastructure list.
- 4. Information Only:
 - a. It appears water and sewer are available at the southwest corner. The portion of alley south of this project is only 20 feet.
 - b. This project is within the adopted service area.
 - c. Pro rata is not owed for this property.
 - d. Easements:
 - i. Include all public water and/or sanitary sewer easements on the plat, including those that are adjacent to the subject property's boundaries. Surveyor shall field verify the location of existing public water and/or sanitary sewer infrastructure to determine if existing public water and/or sanitary sewer easements are sufficient. If the easement(s) does not exist, a new easement shall be granted. The width of the easement shall be the standard width, unless specified by the Water Authority.
 - ii. Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20' is required for a single utility and 25' for water and sewer both within the same easement. Easements for standard sized water meters need to be 5'x5' and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35'x35' easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@cabq.gov

DATE: 6/29/2022

AGENDA ITEM NO: 6

DRB PROJECT NUMBER:

PR-2022-007219

PS-2022-00128 – SKETCH PLAN

PROJECT NAME:

TIERRA WEST, LLC agent for **MAUNEY INVESTMENTS, LLC** requests the aforementioned action(s) for all or a portion of: **TRACT A-1-E-1/TRACT A-1-A, LOS PASTORES SHOPPING CENTER** zoned **MX-M, located at 4615 WYOMING BLVD NE BETWEEN and MONTGOMERY BLVD NE** containing approximately 2.1979 acre(s). (F-19)

PROPERTY OWNERS: MAUNEY INVESTMENTS LLC

REQUEST: SKETCH PLAN REVIEW AND COMMENT

COMMENTS:

1. Property is zoned MX-M, and must meet all dimensional standards of IDO section 5-1(D), Table 5-1-2, as well as Specific Use Standards for Multi-Family Dwellings, as per IDO section 4-3(B)(7).
2. Property is located in an Area of Change, and is adjacent to an Area of Consistency with R-1B zoning to the West. This proximity stipulates the following Landscape and Building Design requirements:
 - A fifteen (15) foot Landscape Buffer on the West side, as per IDO 5-6(E)(5), Area of Change next to Area of Consistency Table 5-6-5, and as described in IDO 5-6(E)(2), Development next to Low Density Residential Zone Districts.
 - Drop down to a maximum 30 foot height within 100 feet of protected district, as per IDO 5-9(C)(1).
3. Property is located within 660 ft of the Montgomery Blvd Major Transit Corridor, with allowance of 20% reduction Parking Credits as per IDO 5-5(C)(5)(a).
4. Must follow parking requirements as per IDO 5-5, Parking and Loading, and Table 5-5-1, which requires 1.5 spaces per Dwelling Unit (DU) prior to credits. With the 20% reduction noted above, that would reduce it to 1.2 spaces per DU required. Please show calculations for reduction to 1.15 spaces per DU, as shown on Site Plan, citing all credits utilized.
5. In addition to the IDO sections cited above, this development must meet all requirements of IDO 14-16-5, Development Standards, and should review sections 5-3 Access & Connectivity, 5-7 Walls & Fencing, 5-8 Outdoor and Site Lighting, 5-9 Neighborhood Edges, 5-11 Building Design, and 5-12 Signs.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2022-007219
4615 Wyoming

AGENDA ITEM NO: 6

SUBJECT: Sketch

ENGINEERING COMMENTS:

1. Transportation will need an approved Traffic Circulation Layout prior to approval. Sidewalk and access will be reviewed as part of TCL.
2. Please complete a Traffic Scoping Form to determine if a TIS will be required for this property.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: June 29, 2022

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT REVIEW BOARD

Planning - Case Comments

HEARING DATE: 6/29/22 -- **AGENDA ITEM:** #6

Project Number: PR-2022-007219

Application Number: PS-2022-00128

Project Name: 4615 Wyoming

Request: Sketch Plan: Proposal for 102-unit multi-family residential development

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- For Platting actions, utility signatures, AMAFCA signatures and DXF File approval from AGIS are all required prior to the acceptance of the application file and the placement on a DRB agenda. Project and application numbers are needed on all Plan sheets.
- The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items on Form S or P as a part of the application process and obtain the required signatures for platting or site plans.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico.
Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions. Re-plating action cannot increase any existing nonconformity or create a new nonconformity.
- Future development must meet all applicable standards and provisions of any previously approved Site Plan. Changes to any previously approved Site Plan may require minor/major amendments. If none exist and/or where silent, all development must meet standards and provisions of IDO and the DPM. *Provide additional detail.
- For the Multi-Family Use please reference the following IDO sections that directly

**(See additional comments on next page)*

pertain to this project:

- Table III – Provisions for ABC Comp Plan Centers & Corridors, MT-Major Transit. The property is within 660 feet of Montgomery, a Major Transit corridor
 - 4-3-B-7 Multi-Family Use Specific Standards.
 - 5-1 Dimension Standards for MX-M. 5-1-G Exceptions and Encroachments. Provide Open Space calculations.
 - 5-2 Site Design, Climate and Geographic analysis. Provide documentation and detail for analysis.
 - 5-3 Access & Connectivity, provide clarification on existing easements and modifications.
 - 5-5 Parking & Loading, table 5-5-1. 5-5-B-4 Allowed Vehicles, 5-5-C-4 Unlisted Uses, 5-5-D Motorcycle, 5-5-E Bicycle. Clarify shared parking agreements.
 - 5-6 Landscaping, Buffering, and Screening. 5-6-C Minimum Landscaping, 5-6-D Required Street Trees, 5-6-D-2 Additional Landscaping, 5-6-Edge Buffer Landscaping including 5-6-E-2 and 5-6-E-5, 5-6-F Parking Lot Landscaping, 5-6-G-3 Loading, Service and Refuse areas. Provide clarification on how standards are being met.
 - 5-7 Walls/Fences, table 5-7-1. Multifamily exception per 5-7-D-3-C.
 - 5-9 Neighborhood Edge requirements when developing next to a protected lot.
 - 5-11-E Building and façade design. Provide elevations and detail.
 - 7-1 Dwelling and development definitions.
- No dimensions are shown on the sketch plan regarding buffers. Please confirm that a 15-foot landscape buffer is provided adjacent to the single family development (not counting the alley). (See the IDO references below for two provisions that each identify a 15-foot buffer is required.)

5-6(E)(2) Development Next to Low-density Residential Zone Districts

Where **multi-family, mixed-use**, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-1, R-MC, or R-T zone district, a buffer shall be provided along the lot line, as specified for the relevant area below.

5-6(E)(5) Area of Change Next to Area of Consistency

Where a lot in an Area of Change is abutting or across an alley from a lot in an Area of Consistency (per City Development Areas in the ABC Comp Plan, as amended), the following standards shall apply on the lot in the Area of Change, regardless of the proposed land use on that lot.

Table 5-6-5: Edge Buffer – Development Area Summary ^[1]			
Lot in Area of Change Next to	Specific Standards	General Buffering	Buffering in DT-UC-MS-PT
Area of Consistency in R-A, R-1, R-MC, or R-T	14-16-5-6(E)(2)	Landscaped buffer area ≥15 ft.	Wall, fence, or vegetative screen ≥6 ft.
Area of Consistency in R-ML or R-MH	14-16-5-6(E)(3)	Landscaped buffer area ≥20 ft.	
Area of Consistency in Mixed-use, NR-C, or NR-PO	14-16-5-6(E)(4)	Landscaped buffer area ≥25 ft.	
[1] See subsections 14-16-5-6(E)(5)(a), 14-16-5-6(E)(5)(b), and 14-16-5-6(E)(5)(c) for the complete buffer standards for Development Areas.			

- It is recommended that the developer buffer the multi-family from the adjacent commercial developments with something like trees?
- The 3-story proposed building height must be setback 100 feet from the property line shared with the single-family residential. See the IDO provision below.

5-9(C) BUILDING HEIGHT STEPDOWN

5-9(C)(1) General Requirement

On Regulated Lots, any portion of a primary or accessory building within 100 feet of the nearest Protected Lot property line shall step down to a maximum height of 30 feet.

- Comply with the standards for Multi-Family Development in 5-11(D) and the Use Specific Standards in 4-3(B)7:
 - Twenty-five (25) percent of the net lot area shall contain landscaping; playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.
 - Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 70 percent of the landscape area.

- The proposed development is located within a Site Plan for Subdivision which was approved per 1010550 / 15EPC-40032 by the EPC and approved for final sign off by the DRB on June 1, 2016. The proposed multi-family residential development will either require a Major Site Plan Amendment – EPC to amend the past EPC approval (with DRB Final Sign-off) or will require a Site Plan – DRB due to more than 50 multi-family residential units being proposed. Staff will have to look further into past approvals and determine the next step for the proposed development. Staff will note that both possible actions are major actions requiring EPC and/or DRB approval.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb/Jolene Wolfley/Jay Rodenbeck
Planning Department

DATE: 06/28/22



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

PR-2022-007219

PS-2022-00128 – SKETCH PLAN

TIERRA WEST, LLC agent for MAUNEY INVESTMENTS, LLC requests the aforementioned action(s) for all or a portion of: TRACT A-1-E-1/TRACT A-1-A, LOS PASTORES SHOPPING CENTER zoned MX-M, located at 4615 WYOMING BLVD NE BETWEEN and MONTGOMERY BLVD NE containing approximately 2.1979 acre(s). (F-19)

PROPERTY OWNERS: MAUNEY INVESTMENTS LLC

REQUEST: SKETCH PLAN REVIEW AND COMMENT

06-29-2022

This property is currently in a gap area, and residents would not be within a 10-minute walk to a park; therefore, a play area would be beneficial if possible.

STAFF INFORMATION

August 23, 2022

TO: Michael Voss, Consensus Planning
FROM: Leroy Duarte- Current Planner
City of Albuquerque Planning Department
TEL: (505) 924-3352
RE: Los Pastores Shopping Center

I've completed a first review of the proposed major amendment. I would like to discuss the request and have a few revisions to the justification letter. I'm available to answer questions about the process and requirements. Please provide the following:

⇒ A revised Major Amendment & Variance justification letter pursuant to the major amendment criteria (one PDF copy) by:

Monday, August 29, 2022.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though We've done our best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. It is our understanding that you are submitting a Major Amendment, please explain if you plan on keeping the design standards already set in place or will be adopting IDO development standards.
- C. This is what we have for the legal descriptions:

Tracts A-1-A and A-1-E-1 Subdivision Tracts A-1-A, A-1-B, A-1-C-1, A-1-D-1, A-1-E-1, A-1-F Los Pastores Shopping Center

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing for September 15, 2022. Final staff reports will be available one week prior, on September 08, 2022.
- C. Agency comments will be distributed as staff receives them. I will email you a copy of the comments.

3) Notification & Neighborhood Issues:

Notification requirements for a major amendment are explained in Section 14-16-6-4(K), Public Notice. The required notification consists of: i) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.

- A. **The sign posting period is 15 days prior and after the EPC hearing date from Wednesday August 31, 2022 to September 30, 2022.**

4) Project Letter:

- A. Please provide a separate justification letter for each subject site.
- B. Letter should demonstrate how the Major Amendment meets the IDO decision criteria, 6-4(Z)(1)(b) and Variance-EPC 6-6(N) is met.

5) Major Amendment - Overview:.

- A. The task in a Major Amendment justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. **Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.**
- B. Intro elaborate if you are adopting IDO standards or keeping Los Pastores Design Standards, and why it is a major amendment rather than just citing section.
- C. Policy 4.1.2: How will multi-family protect the identity of the surrounding neighborhoods when housing types vary (multifamily vs. single family).
- D. Goal 5.1: Justification letter lists Goal, policy 5.1.1 and sub-policies c & g. Respond to each goal policy and sub-policy individually, or remove sub-policies and highlight how they fit within the policy. It is better to have quality over quantity. Response is too short.
- Policy 5.1.11: Expand on policy and sub-policy individually or remove sub-policy a.
- E. Policy 5.2: Expand on Policy and sub-policies individually or remove them. Response is too short.
- F. Goal 5.3: Too vague elaborate more on Goal.
- G. Goal 5.6: If sub-policies fit then policies apply, removed sub-policies and highlight them for your policy response.
- H. Policy 9.1.2: If sub-policies fit then policies apply, removed sub-policies and highlight them for your policy response.
- 6-6(J)(3)(C): Design standards are already in place for this Site Plan subdivision. Will you be adopting the IDO standards or keeping existing design standards?

6-6(N)(3)(a)

1. List the efforts that were made and briefly describe them.

Conclusion: List the variance as well.

NOTIFICATION

From: [Office of Neighborhood Coordination](#)
To: [Michael Vos](#)
Subject: 4615 Wyoming NE_Neighborhood Meeting Inquiry_EPC
Date: Friday, July 8, 2022 12:30:24 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

As of Friday, June 8, 2022, there are **NO** recognized neighborhood associations to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Friday, July 08, 2022 10:56 AM

To: Office of Neighborhood Coordination <vos@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Tracts A-1-A and A-1-E-1, LOS PASTORES SHOPPING CENTER

Physical address of subject site:

4615 WYOMING BLVD NE

Subject site cross streets:

Wyoming and Montgomery

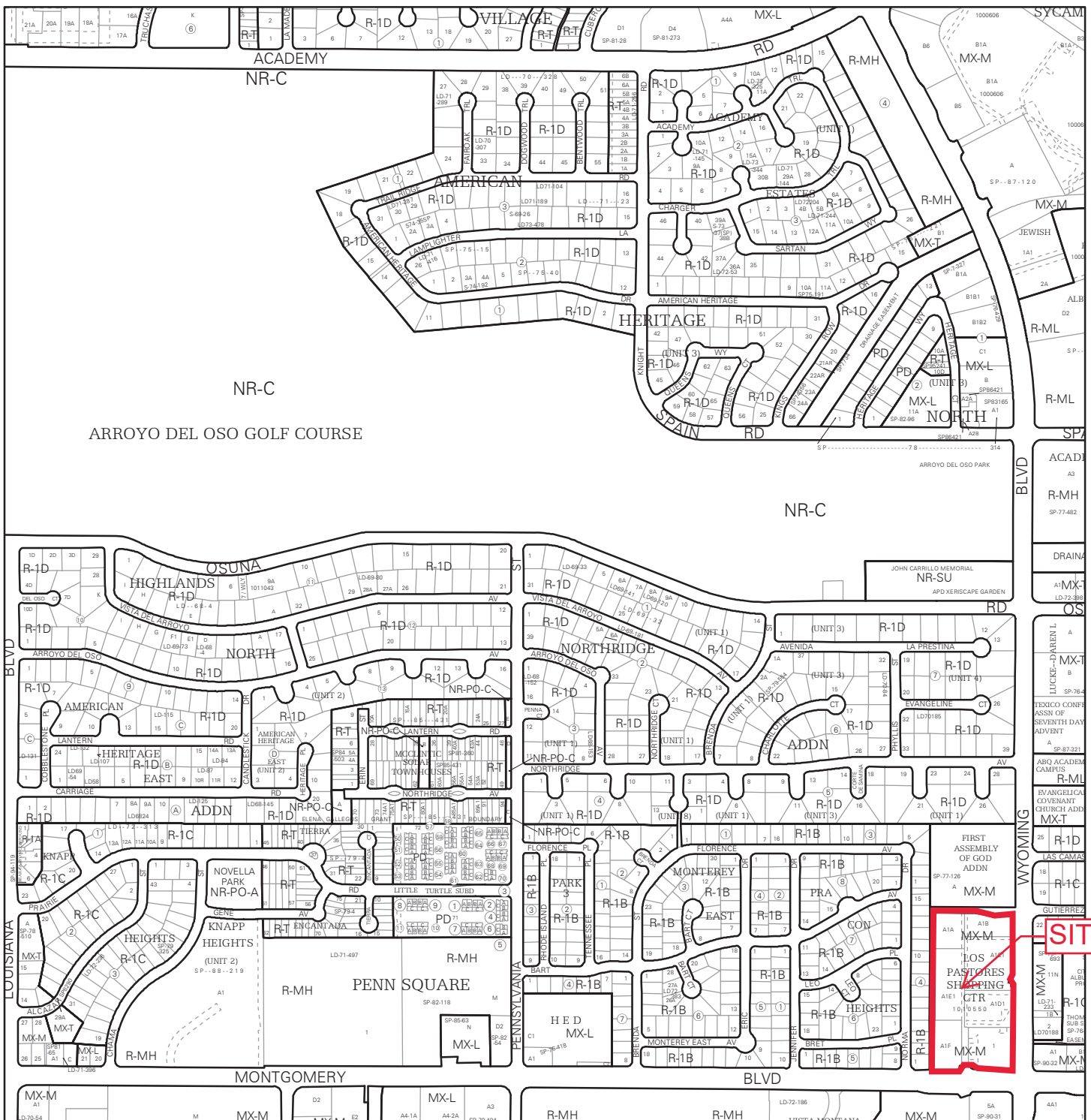
Other subject site identifiers:

Northwest corner of the intersection

This site is located on the following zone atlas page:

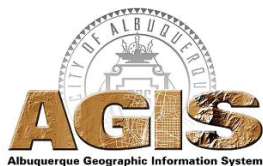
F-19

Captcha

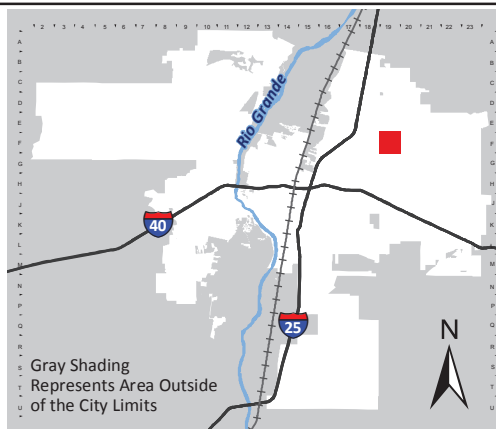


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-19-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

8/4/22

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2022-007219

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 4601, 4615, 4625, 4631, 4635 Wyoming Blvd NE Public Notice Inquiry Sheet Submission
Date: Wednesday, August 3, 2022 12:23:55 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[IDOZoneAtlasPage_F-19-Z_Site.pdf](#)

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please note that there are **NO** neighborhood associations to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov

Sent: Wednesday, August 3, 2022 8:08 AM

To: Office of Neighborhood Coordination <vos@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Michael Vos

Telephone Number

(505) 764-9801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

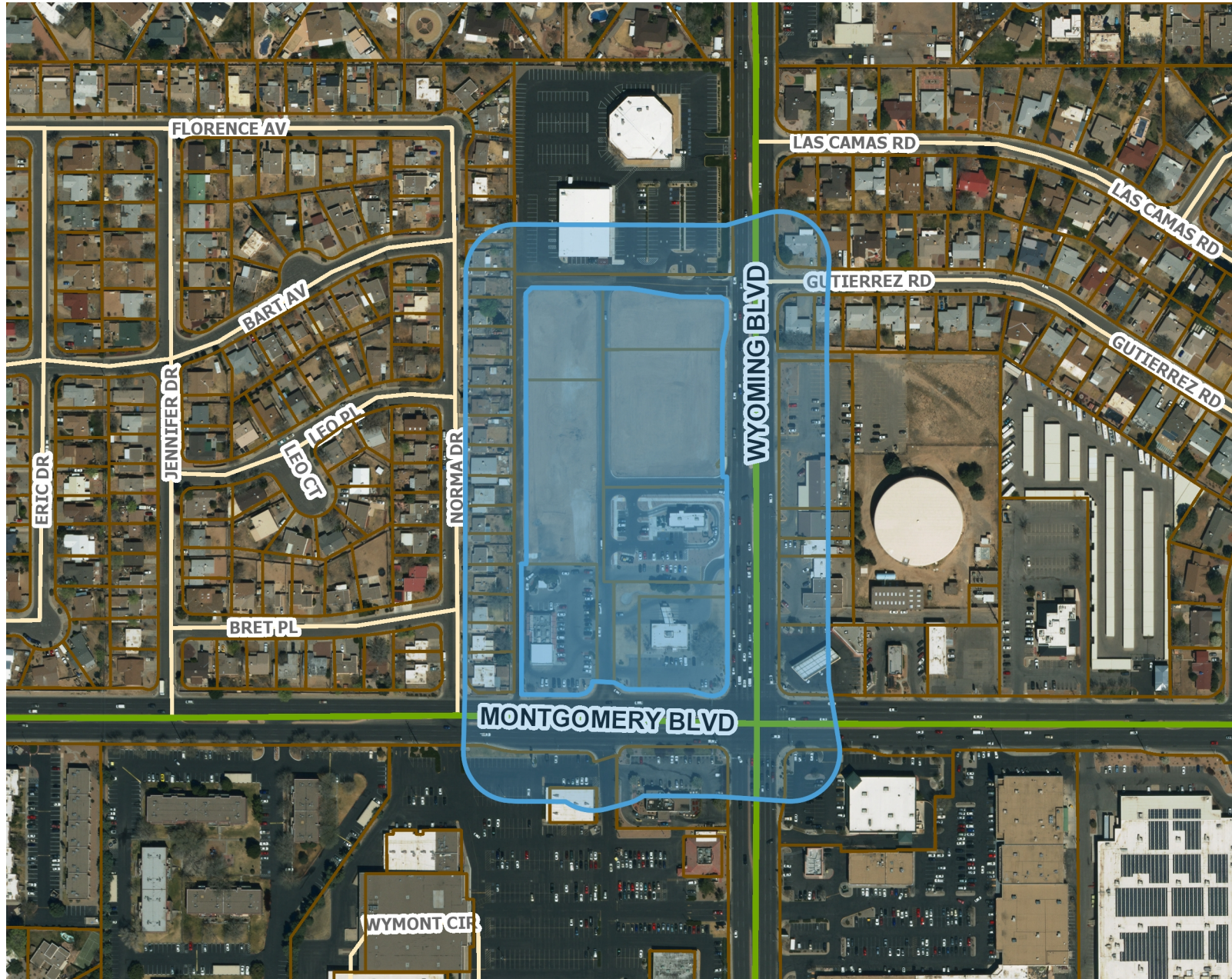
State

NM

ZIP



Wyoming and Montgomery 100-foot Buffer Map



Legend

- Bernalillo County Parcels
- Primary Streets
 - Freeway
 - Principal Arterial
 - Minor Arterial
 - Local Streets
- BN and SF Railroad
- Other Streets
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

Prepared by Consensus Planning 8/4/22

601 0 301 601 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
8/4/2022
© City of Albuquerque

1: 3,607

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUSADD2	Legal Description	Acres
101906147303941226	ARGUELLO FRANK R JR & VICENTE ARGUELLO	PO BOX 65595	ALBUQUERQUE NM 87193-5595	4520 NORMA DR NE	ALBUQUERQUE NM 87109	* 006 004PRA CON HTS	0.1377
101906147305141224	ARRINGTON ARMSTEAD	49 SAN FERNANDEZ RD	LOS LUNAS NM 87031-7645	4604 NORMA DR NE	ALBUQUERQUE NM 87109	* 008 004PRA CON HTS SUB	0.1377
101906147309341217	BRADY KEVIN B TRUSTEE BOBBY J BRADY RVT	4708 NORMA DR NE	ALBUQUERQUE NM 87109-1740	4708 NORMA DR NE	ALBUQUERQUE NM 87109	* 015 004PRA CON HEIGHTS SUB DIV	0.1377
101906147302741228	CASUL CASSANDRA	4512 NORMA DR NE	ALBUQUERQUE NM 87109-1739	4512 NORMA DR NE	ALBUQUERQUE NM 87109	* 004 004PRA CON HTS SUB	0.1377
101906147303441227	CONWELL WAYNE ROY & CONWELL CARLA GAIL GRAY	4516 NORMA DR NE	ALBUQUERQUE NM 87109-1736	4516 NORMA DR NE	ALBUQUERQUE NM 87109	* 005 004PRA CON HTS SUB	0.1377
102006101011030835	CORDOVA KENNETH P RVL	8400 LAS CAMAS RD NE	ALBUQUERQUE NM 87111-2339	8400 LAS CAMAS RD NE	ALBUQUERQUE NM 87111	* 018 0100 J GUTIERREZ LOWER TERR	0.202
101906147306341222	DARK HORSE INVESTMENTS INC C/O LYTLE KENNETH & JEANETTE	4612 NORMA DR NE	ALBUQUERQUE NM 87109-1738	4612 NORMA DR NE	ALBUQUERQUE NM 87109	* 010 004PRA CON HTS SUB	0.1377
101906147300941231	DRISCOLL JOHN & CATHLEEN	3005 CASA DEL NORTE DR NE	ALBUQUERQUE NM 87111-5614	4500 NORMA DR NE	ALBUQUERQUE NM 87109	* 001 004PRA CON HTS SUB	0.1492
101906147304541225	EUBANK JESSICA	4600 NORMA DR NE	ALBUQUERQUE NM 87109-1738	4600 NORMA DR NE	ALBUQUERQUE NM 87109	* 007 004PRA CON HEIGHTS SUBDIVISION	0.1377
101906051250811208	G & L INVESTMENTS CO INC	317 6TH ST NW	ALBUQUERQUE NM 87102	8330 MONTGOMERY BLVD NE	ALBUQUERQUE NM 87109	LT 5-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA S	0.8506
102006101403430130	GODORI INVESTMENTS LLC	2270 WYOMING BLVD NE	ALBUQUERQUE NM 87112-2675	4508 WYOMING BLVD NE	ALBUQUERQUE NM 87111	* 01B LAND DIVISION LT 1 TR 11A BLK 11 O J GUTIERRE	0.1722
102006101402630105	GODORI INVESTMENTS LLC	2270 WYOMING BLVD NE	ALBUQUERQUE NM 87112-2675	4516 WYOMING BLVD NE	ALBUQUERQUE NM 87111	* 002 011REPL OF TRACT 11-A OFIMIANO J GUTIERREZ	0.4
102006100903530132	GODORI INVESTMENTS LLC	2270 WYOMING BLVD NE	ALBUQUERQUE NM 87112-2675	4516 WYOMING BLVD NE	ALBUQUERQUE NM 87111	TR 11-N-2 BLK 11 PLAT OF TRACTS 11-N-1 & 11-N-2, BI	0.2085
102006101608130126	GORELICK DAVID C & SWANWICK ANNA F	8404 GUTIERREZ RD NE	ALBUQUERQUE NM 87112	8404 GUTIERREZ RD NE	ALBUQUERQUE NM 87111	* 021 0110 J GUTIERREZ LOWER TERRACE ADDN	0.1584
101906147306941221	HARRIS MARY D	4616 NORMA DR NE	ALBUQUERQUE NM 87109-1738	4616 NORMA DR NE	ALBUQUERQUE NM 87109	* 011 004PRA CON HTS SUB	0.1377
101906147308741218	HICE ELMER D	5223 PURCELL DR NE	ALBUQUERQUE NM 87111-3760	4704 NORMA DR NE	ALBUQUERQUE NM 87109	* 014 004PRA CON HTS SUB	0.1377
101906150011240510	LEGACY CHURCH INC	7201 CENTRAL AVE NW	ALBUQUERQUE NM 87121	4701 WYOMING BLVD NE	ALBUQUERQUE NM 87109	TRACT A FIRST ASSEMBLY OF GOD ADD CONT 4.28 AC	4.28
101906147310241216	LOPEZ FRANK G & PATRICIA D HOSTETTER-LOPEZ	4712 NORMA DR NE	ALBUQUERQUE NM 87109	4712 NORMA DR NE	ALBUQUERQUE NM 87109	* 001 003PRA CON HTS SUB	0.1377
101906147302141229	MAESTAS MANUEL	1278 E PAR TEE LN	IDAHO FALLS ID 83401-4242	4508 NORMA DR NE	ALBUQUERQUE NM 87109	* 003 004PRA CON HTS SUB	0.1377
101906150301740503	MATTEUCCI PAUL J ETUX ETAL C/O THOMSON PROPERTY TAX SERVICE	PO BOX 2609	CARLSBAD CA 92018	8333 MONTGOMERY BLVD NE	ALBUQUERQUE NM 87109	ALL OF TRACT 1 EXC THE NLY PORT & EXC THOSE PORT	0.7715
101906151103640504	MAUNEY INVESTMENTS LLC	PO BOX 90453	ALBUQUERQUE NM 87199-0453	4601 WYOMING BLVD NE	ALBUQUERQUE NM 87109	TR A-1-D-1 SUBDIVISION TRACTS A-1-C-1, A-1-D-1 & A-	1.1084
101906148904940508	MAUNEY INVESTMENTS LLC	PO BOX 90453	ALBUQUERQUE NM 87199-4981	4615 WYOMING BLVD NE	ALBUQUERQUE NM 87109	TR A-1-E-1 SUBDIVISION TRACTS A-1-C-1, A-1-D-1, & A	1.5271
101906151105940505	MAUNEY INVESTMENTS LLC	PO BOX 90453	ALBUQUERQUE NM 90453-0453	4625 WYOMING BLVD NE	ALBUQUERQUE NM 87109	TR A-1-C-1 SUBDIVISION TRACTS A-1-C-1, A-1-D-1 & A-	1.5519
101906151007740506	MAUNEY INVESTMENTS LLC	PO BOX 90453	ALBUQUERQUE NM 87199-0453	MONTGOMERY BLVD NE	ALBUQUERQUE NM 87109	TR A-1-B SUBDIVISION TRACTS A-1-A, A-1-B, A-1-C, A-1	0.6524
101906148807440507	MAUNEY INVESTMENTS LLC	PO BOX 90453	ALBUQUERQUE NM 87199-0453	MONTGOMERY BLVD NE	ALBUQUERQUE NM 87109	TR A-1-A SUBDIVISION TRACTS A-1-A, A-1-B, A-1-C, A-1	0.6708
101906149201840502	MAUNEY INVESTMENTS LLC & ETAL C/O RYAN LLC	PO BOX 2609	CARLSBAD CA 92018-2609	N/A	ALBUQUERQUE NM 87109	A NLY PORTION OF TR 1 & AN ELY PORTION OF THE SL'	0.388
101906148701640509	MCDONALDS CORPORATION C/O CONQUISTADORES INC	PO BOX 92500	ALBUQUERQUE NM 87199-2500	8315 MONTGOMERY BLVD NE	ALBUQUERQUE NM 87109	TR A-1-F SUBDIVISION TRACTS A-1-A, A-1-B, A-1-C, A-1	0.9264
101906147308141219	MOYA JOHN	4700 NORMA DR NE	ALBUQUERQUE NM 87109-1740	4700 NORMA DR NE	ALBUQUERQUE NM 87109	* 013 004PRA CON HTS SUB	0.1377
101906147307641220	NEFF TISA	4620 NORMA DR NE	ALBUQUERQUE NM 87109-1738	4620 NORMA DR NE	ALBUQUERQUE NM 87109	* 012 004PRA CON HTS SUB	0.1377
102006101709730802	REPICHOWSKI BRANDON E & RACHEL E	8405 GUTIERREZ RD NE	ALBUQUERQUE NM 87111	8405 GUTIERREZ RD NE	ALBUQUERQUE NM 87111	* 020 0100 J GUTIERREZ LOWER TERR	0.1515
101906147305741223	SOLANO GENIO STEVE	4608 NORMA DR NE	ALBUQUERQUE NM 87109	4608 NORMA DR NE	ALBUQUERQUE NM 87109	* 009 004PRA-CON HTS	0.1102
101906147301641230	STEADMAN RICHARD EARL & JOSEPHINE ELEANOR	4504 NORMA DR NE	ALBUQUERQUE NM 87109-1736	4504 NORMA DR NE	ALBUQUERQUE NM 87109	* 002 004PRA CON HTS SUB	0.1377
102006101008130127	TEMMASSO CHRISTIAN	8400 GUTIERREZ RD NE	ALBUQUERQUE NM 87111-2317	8400 GUTIERREZ RD NE	ALBUQUERQUE NM 87111	* 022 0110 J GUTIERREZ LOWER TERRACE ADDN	0.198
102006101609730801	VALDEZ JUAN A SR	10001 WELLINGTON ST NE	ALBUQUERQUE NM 87111	8401 GUTIERREZ RD NE	ALBUQUERQUE NM 87111	* 019 0100 J GUTIERREZ LOWER TERR	0.202
102006100805230128	VIA REAL ESTATE LLC	13105 DOVER AVE	LUBBOCK TX 79424-8451	4516 WYOMING BLVD NE	ALBUQUERQUE NM 87111	TR 11-N-1 BLK 11 PLAT OF TRACTS 11-N-1 & 11-N-2, BI	1.0307
102006101601330102	WESTERN REFINING RETAIL LLC ATTN: PROPERTY TAX DEPT	PO BOX 592809; TX1-047	SAN ANTONIO TX 78259-019C	8401 MONTGOMERY BLVD NE	ALBUQUERQUE NM 87111	LOT A-1 REDIVISION OF LOT A BLK 11 (NOW COMPRISI	0.6007
102006002050822117	WG ALBUQUERQUE NM MONTGOMERY LANDLORD LLC C/O WALGRE	PO BOX 1159	DEERFIELD IL 60015-6002	8400 MONTGOMERY BLVD NE	ALBUQUERQUE NM 87111	LOT 4-A-1 PLAT OF LOTS 4-A-1 AND 4-B CLIFFORD-MUI	1.4502
10190604804702040411	WYMONT LLC	409 NM HWY 528 NE	RIO RANCHO NM 87124-0000	4315 WYOMING BLVD NE	ALBUQUERQUE NM 87109	(LAND ONLY) LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1	15.1868
101906048047020404B5	WYMONT LLC	409 NM HWY 528 NE	RIO RANCHO NM 87124-0000	8220 MONTGOMERTY BLVD NE	ALBUQUERQUE NM 87109	(BLDG ONLY) LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1	0

ARGUELLO FRANK R JR & VICENTE
ARGUELLO
PO BOX 65595
ALBUQUERQUE NM 87193-5595

ARRINGTON ARMSTEAD
49 SAN FERNANDEZ RD
LOS LUNAS NM 87031-7645

BRADY KEVIN B TRUSTEE BOBBY J
BRADY RVT
4708 NORMA DR NE
ALBUQUERQUE NM 87109-1740

CASUL CASSANDRA
4512 NORMA DR NE
ALBUQUERQUE NM 87109-1739

CONWELL WAYNE ROY & CONWELL
CARLA GAIL GRAY
4516 NORMA DR NE
ALBUQUERQUE NM 87109-1736

CORDOVA KENNETH P RVLTL
8400 LAS CAMAS RD NE
ALBUQUERQUE NM 87111-2339

DARK HORSE INVESTMENTS INC C/O
LYTLE KENNETH & JEANETTE
4612 NORMA DR NE
ALBUQUERQUE NM 87109-1738

DRISCOLL JOHN & CATHLEEN
3005 CASA DEL NORTE DR NE
ALBUQUERQUE NM 87111-5614

EUBANK JESSICA
4600 NORMA DR NE
ALBUQUERQUE NM 87109-1738

G & L INVESTMENTS CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102

GODORI INVESTMENTS LLC
2270 WYOMING BLVD NE
ALBUQUERQUE NM 87112-2675

GORELICK DAVID C & SWANWICK
ANNA F
8404 GUTIERREZ RD NE
ALBUQUERQUE NM 87112

HARRIS MARY D
4616 NORMA DR NE
ALBUQUERQUE NM 87109-1738

HICE ELMER D
5223 PURCELL DR NE
ALBUQUERQUE NM 87111-3760

LEGACY CHURCH INC
7201 CENTRAL AVE NW
ALBUQUERQUE NM 87121

LOPEZ FRANK G & PATRICIA D
HOSTETTER-LOPEZ
4712 NORMA DR NE
ALBUQUERQUE NM 87109

MAESTAS MANUEL
1278 E PAR TEE LN
IDAHO FALLS ID 83401-4242

MATTEUCCI PAUL J ETUX ETAL C/O
THOMSON PROPERTY TAX SERVICES
PO BOX 2609
CARLSBAD CA 92018

MAUNEY INVESTMENTS LLC
PO BOX 90453
ALBUQUERQUE NM 87199-0453

MAUNEY INVESTMENTS LLC & ETAL
C/O RYAN LLC
PO BOX 2609
CARLSBAD CA 92018-2609

MCDONALDS CORPORATION C/O
CONQUISTADORES INC
PO BOX 92500
ALBUQUERQUE NM 87199-2500

MOYA JOHN
4700 NORMA DR NE
ALBUQUERQUE NM 87109-1740

NEFF TISA
4620 NORMA DR NE
ALBUQUERQUE NM 87109-1738

REPICHOWSKI BRANDON E & RACHEL E
8405 GUTIERREZ RD NE
ALBUQUERQUE NM 87111

SOLANO GENIO STEVE
4608 NORMA DR NE
ALBUQUERQUE NM 87109

STEADMAN RICHARD EARL &
JOSEPHINE ELEANOR
4504 NORMA DR NE
ALBUQUERQUE NM 87109-1736

TOMMASO CHRISTIAN
8400 GUTIERREZ RD NE
ALBUQUERQUE NM 87111-2317

VALDEZ JUAN A SR
10001 WELLINGTON ST NE
ALBUQUERQUE NM 87111

VIA REAL ESTATE LLC
13105 DOVER AVE
LUBBOCK TX 79424-8451

WESTERN REFINING RETAIL LLC ATTN:
PROPERTY TAX DEPT
PO BOX 592809; TX1-047
SAN ANTONIO TX 78259-0190

WG ALBUQUERQUE NM
MONTGOMERY LANDLORD LLC C/O
WALGREEN CO RE PROPERTY TAX DEPT
PO BOX 1159
DEERFIELD IL 60015-6002

WYMONT LLC
409 NM HWY 528 NE
RIO RANCHO NM 87124-0000

anning, Inc.
reet NW
NM 87102

WYMONT LLC
409 NM HWY 528 NE
RIO RANCHO NM 87124-0000

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES
ZIP 871 02 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
reet NW
NM 87102

WG ALBUQUERQUE NM
MONTGOMERY LANDLORD LLC C/O
WALGREEN CO RE PROPERTY TAX DEPT
PO BOX 1159
DEERFIELD IL 60015-6002

FIRST-CLASS

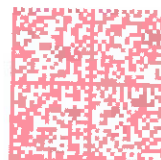


US POSTAGE^{IM}PITNEY BOWES
ZIP 871 02 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
treet NW
NM 87102

WESTERN REFINING RETAIL LLC ATTN:
PROPERTY TAX DEPT
PO BOX 592809; TX1-047
SAN ANTONIO TX 78259-0190

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES
ZIP 871 02 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

unning, Inc.
eet NW
NM 87102

TOMMASO CHRISTIAN
8400 GUTIERREZ RD NE
ALBUQUERQUE NM 87111-2317

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

unning, Inc.
eet NW
NM 87102

REPICHOWSKI BRANDON E & RACHEL E
8405 GUTIERREZ RD NE
ALBUQUERQUE NM 87111

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

unning, Inc.
et NW
NM 87102

MCDONALDS CORPORATION C/O
CONQUISTADORES INC
PO BOX 92500
ALBUQUERQUE NM 87199-2500

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

unning, Inc.
eet NW
NM 87102

MATTEUCCI PAUL J ETUX ETAL C/O
THOMSON PROPERTY TAX SERVICES
PO BOX 2609
CARLSBAD CA 92018



Planning, Inc.
treet NW
NM 87102

LEGACY CHURCH INC
7201 CENTRAL AVE NW
ALBUQUERQUE NM 87121



Planning, Inc.
treet NW
NM 87102

GORELICK DAVID C & SWANWICK
ANNA F
8404 GUTIERREZ RD NE
ALBUQUERQUE NM 87112



Planning, Inc.
Street NW
NM 87102

EUBANK JESSICA
4600 NORMA DR NE
ALBUQUERQUE NM 87109-1738

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

Planning, Inc.
Street NW
NM 87102

CORDOVA KENNETH P RVLT
8400 LAS CAMAS RD NE
ALBUQUERQUE NM 87111-2339

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

Planning, Inc.
Street NW
NM 87102

BRADY KEVIN B TRUSTEE BOBBY J
BRADY RVT
4708 NORMA DR NE
ALBUQUERQUE NM 87109-1740

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

anning, Inc.
reet NW
NM 87102

VIA REAL ESTATE LLC
13105 DOVER AVE
LUBBOCK TX 79424-8451

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
reet NW
NM 87102

STEADMAN RICHARD EARL &
JOSEPHINE ELEANOR
4504 NORMA DR NE
ALBUQUERQUE NM 87109-1736

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
reet NW
NM 87102

NEFF TISA
4620 NORMA DR NE
ALBUQUERQUE NM 87109-1738

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
treet NW
, NM 87102

MAUNEY INVESTMENTS LLC & ETAL
C/O RYAN LLC
PO BOX 2609
CARLSBAD CA 92018-2609

FIRST-CLASS



US POSTAGE IMPITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
treet NW
, NM 87102

MAESTAS MANUEL
1278 E PAR TEE LN
IDAHO FALLS ID 83401-4242

FIRST-CLASS



US POSTAGE IMPITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
reet NW
NM 87102

HICE ELMER D
5223 PURCELL DR NE
ALBUQUERQUE NM 87111-3760

FIRST-CLASS



US POSTAGE IMPITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
Street NW
NM 87102

ARRINGTON ARMSTEAD
49 SAN FERNANDEZ RD
LOS LUNAS NM 87031-7645



Planning, Inc.
Street NW
ie, NM 87102

CONWELL WAYNE ROY & CONWELL
CARLA GAIL GRAY
4516 NORMA DR NE
ALBUQUERQUE NM 87109-1736



Planning, Inc.
Street NW
NM 87102

DRISCOLL JOHN & CATHLEEN
3005 CASA DEL NORTE DR NE
ALBUQUERQUE NM 87111-5614



ning, Inc.
et NW
M 87102

GODORI INVESTMENTS LLC
2270 WYOMING BLVD NE
ALBUQUERQUE NM 87112-2675

FIRST-CLASS



US POSTAGE IMIPITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
reet NW
NM 87102

ARGUELLO FRANK R JR & VICENTE
ARGUELLO
PO BOX 65595
ALBUQUERQUE NM 87193-5595

FIRST-CLASS



US POSTAGE IMIPITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
Street NW
e, NM 87102

CASUL CASSANDRA
4512 NORMA DR NE
ALBUQUERQUE NM 87109-1739

FIRST-CLASS



US POSTAGE IMIPITNEY BOWES



ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
eet NW
NM 87102

DARK HORSE INVESTMENTS INC C/O
LYTLE KENNETH & JEANETTE
4612 NORMA DR NE
ALBUQUERQUE NM 87109-1738

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
reet NW
NM 87102

G & L INVESTMENTS CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

anning, Inc.
eet NW
NM 87102

HARRIS MARY D
4616 NORMA DR NE
ALBUQUERQUE NM 87109-1738

FIRST-CLASS



US POSTAGE^{IMP}PITNEY BOWES
ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

inning, Inc.
et NW
NM 87102

LOPEZ FRANK G & PATRICIA D
HOSTETTER-LOPEZ
4712 NORMA DR NE
ALBUQUERQUE NM 87109

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

inning, Inc.
et NW
NM 87102

MAUNEY INVESTMENTS LLC
PO BOX 90453
ALBUQUERQUE NM 87199-0453

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

inning, Inc.
et NW
NM 87102

MOYA JOHN
4700 NORMA DR NE
ALBUQUERQUE NM 87109-1740

FIRST-CLASS



US POSTAGE^{IM}PITNEY BOWES



ZIP 87102
02 7H
0006057985

\$ 000.81⁰

AUG 04 2022

Planning, Inc.
Street NW
e, NM 87102

SOLANO GENIO STEVE
4608 NORMA DR NE
ALBUQUERQUE NM 87109

FIRST-CLASS



US POSTAGE^{IMI} PITNEY BOWES

ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

Planning, Inc.
Street NW
ie, NM 87102

VALDEZ JUAN A SR
10001 WELLINGTON ST NE
ALBUQUERQUE NM 87111

FIRST-CLASS



US POSTAGE^{IMI} PITNEY BOWES

ZIP 87102 \$ 000.81⁰
02 7H
0006057985 AUG 04 2022

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC (Major Amendment) and Variance - EPC

Decision-making Body: Environmental Planning Commission (EPC)

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No *No recognized Associations

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 4615 Wyoming Boulevard NE

Name of property owner: Mauney Investments, LLC

Name of applicant: Titan Development (Agent: Consensus Planning, Inc.)

Date, time, and place of public meeting or hearing, if applicable:

September 15, 2022 at 8:30 AM. See Zoom information on next page.

Address, phone number, or website for additional information:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

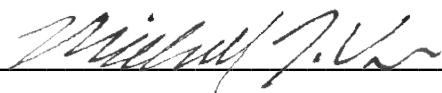
☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) August 4, 2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☒ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

September 15, 2022 EPC Hearing Zoom Information

To join online with video: <https://cabq.zoom.us/j/2269592859>

To call in: (301) 715-8592

Meeting ID: 226 959 2859

Additional information, the staff report, and meeting agenda can be found online approximately one week before the hearing on the following website:

<https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: August 4, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 4615 Wyoming Boulevard NE
Location Description Northwest corner of Montgomery Boulevard and Wyoming Boulevard
2. Property Owner* Mauney Investments, LLC
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / Titan Development
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☒ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

Major Site Plan Amendment for a 102-unit multi-family residential development and
a variance of 9.5 feet from the 15-foot landscape edge buffer requirement along the west alley

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☐ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☒ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: September 15, 2022 at 8:30 AM via Zoom

Location*²: Join Zoom Meeting: <https://cabq.zoom.us/j/2269592859>

To call in: (301) 715-8592 Meeting ID: 226 959 2859
Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ F-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s) ☒ Variance(s) ☐ Waiver(s)

Explanation*:

a variance of 9.5 feet from the 15-foot landscape edge buffer requirement is proposed along the alley on the west side of the project. A 10-foot dedication was previously made to the alley (30 feet total), so less land is available for the landscaping.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No recognized associations were nearby to be notified per the Office of Neighborhood Coordination.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☒ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 6.5 total acres in the shopping center; 2.3 for proposed project.
 2. IDO Zone District Mixed-Use Moderate Intensity (MX-M)
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] Major Transit (Montgomery) and Multi-Modal (Wyoming)
- Current Land Use(s) [vacant, if none] Vacant project site; McDonald's and Starbucks within overall shopping center site to remain.

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

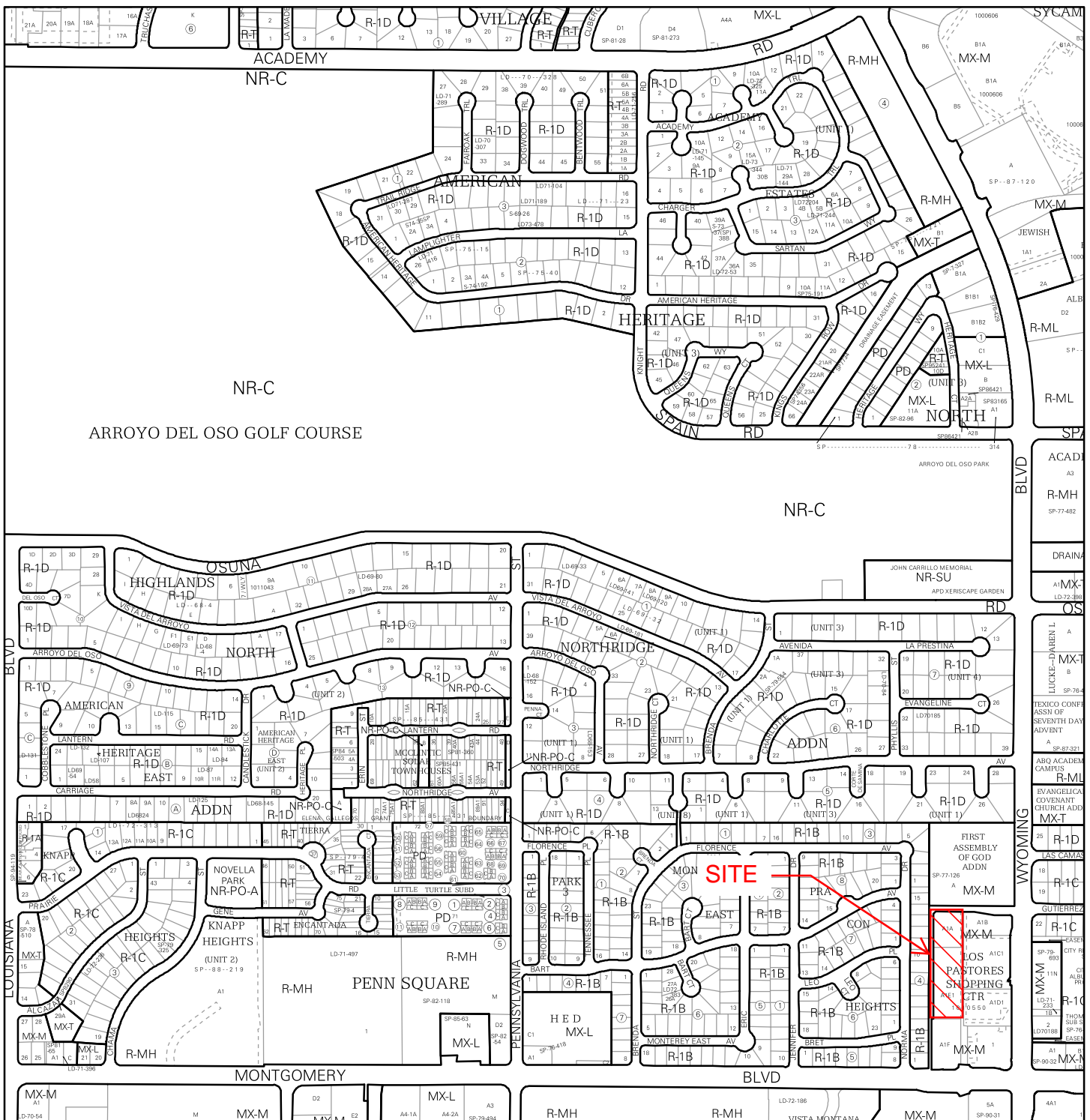
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

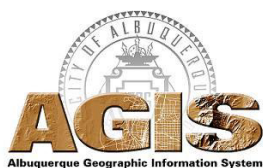
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

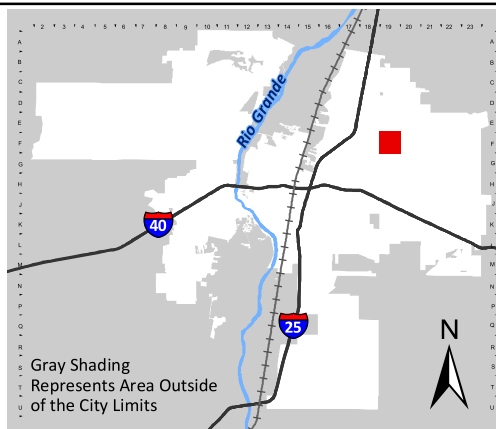


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-19-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet

SITE PLAN REDUCTIONS

GENERAL NOTES

A. APPLICABLE PLANS: REFER TO DESIGN GUIDELINES, SHEET 3 OF 4 AND 4 OF 4 OF PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. PRIMARY DEVELOPMENT SIGN
4. FULL ACCESS
5. RIGHT-IN / RIGHT-OUT / LEFT-IN ACCESS
6. RIGHT-OUT ONLY ACCESS
7. EXISTING ACCESS TO BE CLOSED. ALTERNATE EQUAL ACCESS TO BE PROVIDED WITH PROPOSED ALLEY IMPROVEMENTS.
8. PROPOSED 10'-0" ALLEY DEDICATION
9. PROPOSED 10'-0" PRIVATE UTILITY EASEMENT
10. PROPOSED 20'-0" WATERLINE EASEMENT TO ABCWUA

SITE DATA

LEGAL DESCRIPTION:
TRACT A-1 REDIVISION OF TR A (NOW COMPRISING TRS A1 & A2)
LOS PASTORES SHOPPING CENTER EXC SLWY PORT & PORT OUT
TO R/W CONT 5.77 AC +/-
Acres: 6.75

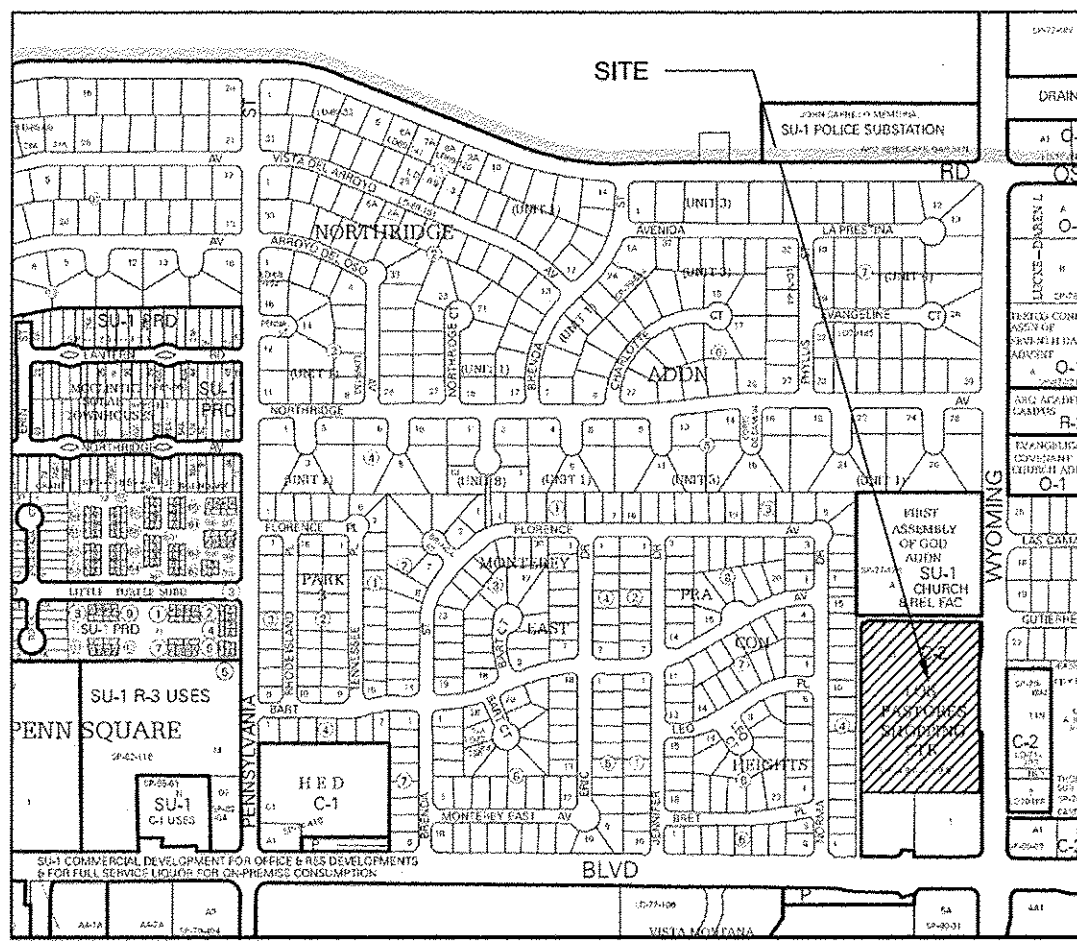
ZONE:
C-2

MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS
BUILDING SETBACKS: SEE DESIGN STANDARDS
PROPOSED USES: RETAIL, RESTAURANT, OR OFFICE
MAXIMUM FAR: 1.0

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED
- PROPOSED ALLEY IMPROVEMENTS

LEGEND



VICINITY MAP

Zone Atlas Map F-19 - Z

FORMER PROJECT NUMBER:

PROJECT NUMBER: 1010550

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
DATE 6-1-16

ABCWUA
DATE 06/01/16

PARKS AND RECREATION DEPARTMENT
DATE 6/1/16

CITY ENGINEER
DATE 6-1-16

SOLID WASTE MANAGEMENT
DATE 6-1-16

DRB CHAIRPERSON, PLANNING DEPARTMENT

GUTIERREZ ROAD NE

C-2 ZONING

SU-1 ZONING

20'-0" PUBLIC ALLEY

PROPOSED ALLEY IMPROVEMENTS

PROPOSED ALLEY DEDICATION

LOT 4
0.7073 AC

LOT 3
0.7224 AC

LOT 2
1.5691 AC

LOT 5
1.6165 AC

LOT 1
1.1386 AC

TRACT A-1
0.9316 AC

A PORTION OF
TRACT 1
0.3678 AC

A PORTION OF
TRACT 1
0.7895 AC

EXISTING
MCDONALD'S

EXISTING
BANK

MONTGOMERY BOULEVARD NE
112' ROW - VARIES

C-2 ZONING

A4 SITE PLAN

1" = 50'-0"

0 50' 100'

TRANSPORTATION NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.

2. THERE WILL BE ADDITIONAL RIGHT OF WAY DEDICATED AT THE FAR NORTH ENTRANCE ALONG THE PUBLIC ALLEY

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the property, and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office, retail and restaurant amenities to the NW corner of Montgomery and Wyoming. Intended uses includes an office building, with retail, and restaurant establishments along Wyoming Boulevard.

- Goals:
 - Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome.
- Existing buildings adjacent to Montgomery will remain.
- Buildings proposed for this site to comply with C-2 regulations in the City of Albuquerque Code of Ordinances 14-16-2-17 C-2 Community Commercial Zone.
- All Design Standards are intended to meet or exceed the requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

There is no lot size requirement for a lot in C-2 zone. Maximum FAR is 1.0.

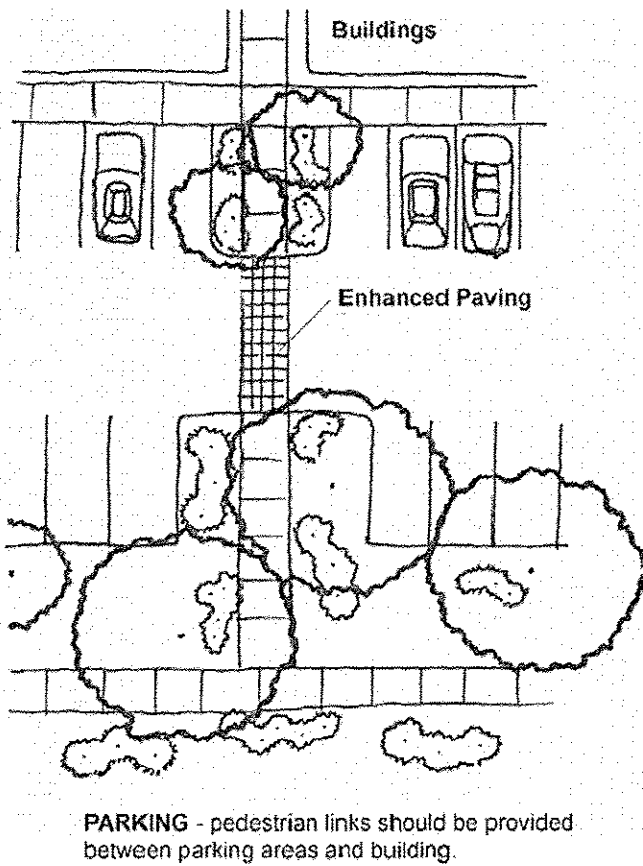
- All building setbacks shall be compliant with the C-2 zoning requirements in the City of Albuquerque Code of Ordinances 14-16-2-17 C-2 Community Commercial Zone, except as noted below.
 - Building heights are regulated by the City of Albuquerque Code of Ordinances Section 14-16-2-15(C)(1) O-1 Office and Institution Zone which allows a maximum building height of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.
 - Buildings on lots along Wyoming Boulevard shall be setback not more than 90 feet from the public right-of-way in order to limit the amount of parking between the buildings and the street.
- Landscape setbacks shall conform to the requirements of the City of Albuquerque's Code of Ordinances Section 14-16-3-10 Landscaping Regulations, except as noted below.
 - Parking areas along Wyoming Boulevard shall be setback 15 feet from the public right-of-way to provide space for screening of parked cars through the use of plant materials or low walls. Where parking areas or driveways are not parallel with the street, the setback shall be an average of at least 15 feet.
- Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private nodes for building tenants.

III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention shall be given to parking area design. To lessen its visual impact, parking shall be broken into a series of smaller areas, and views of parking from off-site shall be interrupted with screening materials.

- Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1 Off-Street Parking Regulations.
 - Parking areas shall be designed to include a 6 foot wide minimum pedestrian connection to buildings.
 - Parking shall be placed behind buildings or screened from surrounding neighborhoods by means of 2.5 to 3 foot high walls and / or landscaping. Walls shall be architecturally cohesive with surrounding buildings.

- Bicycle parking shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1(B) Off-Street Parking Regulations.
 - To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- Building orientation shall allow for clear visibility of the main entry from parking areas and pedestrian connections.
- Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
 - All off-street parking areas shall comply with all First Flush Drainage Ordinance requirements.
 - Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.
- All designated disabled parking spaces shall conform to the City of Albuquerque Code of Ordinances Section 14-16-3-1 (F)(9)(a)-(c) Off-Street Parking Regulations.



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- Pedestrian connections within parking lots shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1(H) Off-Street Parking Regulations.
 - Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter.
 - Parking areas shall include pedestrian connections to all buildings within the approximately six and three quarter (6.75) acre site.
 - Shade provided with trees or shade structures shall be provided at pedestrian connections to enhance the pedestrian experience.
- A minimum 200 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurant establishments may be combined into one with a total area equal to 200 square feet per establishment.
 - Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per the City of Albuquerque's Code of Ordinances Section 14-16-3-18(C)(4) General Building and Site Design Regulations.
 - Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.



PEDESTRIAN AREAS - should include shade trees

V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- Street trees shall be provided as per the Street Tree Ordinance of the City of Albuquerque's Code of Ordinances Section 6-6-2-1 et seq., Street Tree Ordinance.
- A minimum of 15% of the net site area shall be devoted to landscape materials.
- Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- Minimum plant material sizes at the time of installation shall be:
 - Canopy Trees - 2" Caliper
 - Evergreen Trees - 10' Minimum height
 - Accent Trees - 2" Caliper
 - Shrubs and Groundcovers - 1 gallon minimum
- Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- Landscape beds shall be at grade to promote water harvesting.
- Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES

Accolade Elm
Afghan Pine
Austrian Pine
Chinese Pistache
Escarpment Oak
Japanese Pagoda Tree
Modesto Ash
Purple Robe Locust

Ulmus hybrid "Accolade"
Pinuseldarica
Pinusnigra
Pistaciachinensis
Quercus fusiformis
Sophora japonica
Fraxinusvelutina "Modesto"
Robinia pseudoacacia "Purple Robe"

Raywood Ash
Rio Grande Cottonwood
Texas Red Oak

SMALL TREES

Chaste Tree
Desert Willow
Golden Rain Tree
New Mexico Olive
Oklahoma Redbud
Sensation Maple

Vitexagnus-castus
Chilopsislinearis
Koeleruteriapaniculata
Forestieraneomexicana
Cercisreniformis
Acer negundo "Sensation"

SHRUBS

Apache Plume
Bird of Paradise
Blue Rubber Rabbittbrush
Buffalo Juniper
Creeping Mahonia
Damianita
Dark Knight Blue Mist Spirea

Black Knight Butterflybush

Dwarf Fragrant Sumac
Fernbush
Littleleaf Mountain Mahogany
Moonlight Scotch Broom
Pawnee Buttes Western Sand Cherry

Thompson Broom

Threelaf Sumac
Turpentine Bush
Winter Gem Boxwood

GRASSES

Blonde Ambition Blue Grama Grass
Blue Avena Grass
Deergrass
Giant Sacaton
Indian Grass
Karl Foerster Feather Reed Grass

Native Wonder Grass Blend

Mexican Feathergrass
Prairie Dropseed
The Blues Bluestem

Variegated Reed Grass

ACCENTS

Beargrass
Broadleaf Yucca
Desert Spoon
Parry's Agave
Prickly Pear Cactus
Red Yucca

PERENNIALS

Autumn Sage varieties
Blanketflower species
Butterfly Weed
Catmint species
Germander species
Desert Zinnia
Whirling Butterfly species
Hyssop species
Lavender species
May Night Sage
Penstemon species
Poppy Mallow
Rocky Mountain Columbine
Tickseed species
Turkish Speedwell
Yarrow species

VINES

Chinese Wisteria
Trumpet Vine

Fallugiaparadoxa
Caesalpinigiagilliesii
Ericamerianauscosus "Blue"
Juniperus
Mahonia repens
Chrysactiniamexicana
Caryopteriscylanensis "Dark Knight"

Buddleia davidii "Black Knight"

Rhusaromatica "Gro-low"
Chamaebatiarimillefolium
Cercocarpusintricatus
Cytisusscoparius "Moonlight"
Prunusbessyii "Pawnee Buttes"

Baccharis hybrid "Starn Thompson"

Rhus trilobata
Ericamerialaricifolia
Buxus japonica "Winter Gem"

Bouteloua "Blond Ambition"
Helictotrichon sempervirens
Muhlenbergiarigens
Sporoboluswrightii
Sorghastrum nutans
Calamagrostisacutiflora "Karl Foerster"

50% Buchloedactyloides/
50% Boutelougracilis

Nasellatenuissima
Sporobolusheterolepis
Schizachyrium scoparium
"The Blues"
Calamagrostisacutiflora
"Overdam"

Nolinamicrocarpa
Yuccabaccata
Dasylirion wheeleri
Agave parryi
Opuntia engelmannii
Hesperaloe parviflora

Salvia greggii varieties
Gaillardia species
Asclepias species
Nepeta species
Teucrium species
Zinnia grandiflora
Gauralindheimeri varieties
Agastache species
Lavandula species
Salvia nemerosa
Penstemon species
Callirhoe involucrata
Aquilegia caerulea
Coreopsis species
Veronica liwanensis
Achillea species

Wisteria chinensis
Campsis radicans

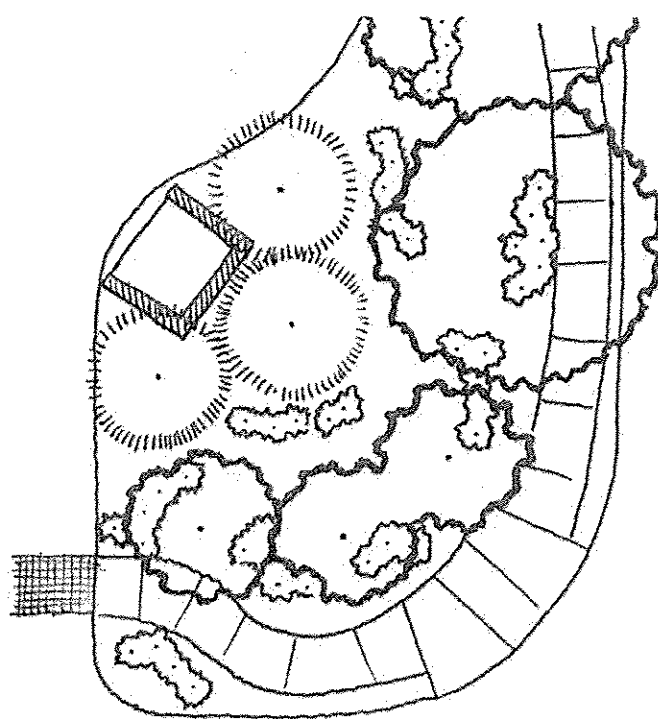
VI. WALLS, FENCES & SCREENING

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, shall be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping. These walls shall be architecturally cohesive with surrounding buildings.
- Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
 - Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.

DESIGN STANDARDS (continued)

- ii. Trash enclosures shall be constructed utilizing materials such as stucco over concrete masonry units (CMU), split face block, brick, or stone.
- iii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
- iv. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- c. Walls and fences shall be at least as tall as the objects they are intended to screen and shall not exceed 8 feet high.
- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.
- e. All mechanical equipment shall meet the screening requirements of the City of Albuquerque's Code of Ordinances Section 14-16-3-18(C)(6) General Building and Site Design Regulations.
 - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- f. Walls and fences shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-19 General Hieght and Design Regulations for Walls, Fences, and Retaining Walls.
- g. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- i. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. tubular steel, wrought iron bars, or other grill work
- j. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- k. The site slopes slightly from Wyoming Blvd. to the west to provide a fairly level site.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.
 - ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
 - iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- l. Grading and Drainage plans must comply with the City of Albuquerque's Code of Ordinances Section 14-5-2 Drainage Control, & Development Process Manual Volume II, Chapter 22 Drainage, Flood Control, and Erosion Control.
 - i. All measures shall be taken to provide public safety at pond locations.
 - ii. Site ponding shall be integrated with the landscape plan.

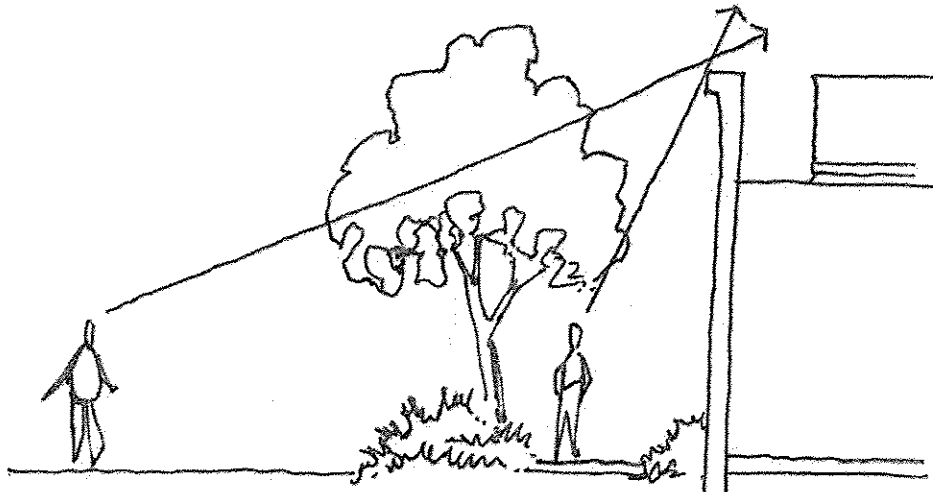


REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architctural design of buildings and site features shall demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-18 General Building and Site Design Regulations.
- b. The maximum FAR (Floor Area Ratio) for all tracts within this development is 1.0.
- c. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings.
 - ii. All buildings shall be "modern" in design.
 - iii. Historical references to traditional New Mexico styles shall be a modern interpretation of those styles. Literal duplications of historic buildings are prohibited.
 - iv. Generic franchise architecture is prohibited.
- d. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.
- e. Materials
 - i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate.
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 1. Metal wall panels
 2. Porcelain tile
 3. Natural stone panels
 4. Concrete
 5. Rammed earth
 6. Glass

7. Stucco or Exterior Insulation & Finish System
8. Brick or decorative concrete masonry units

- iii. The following external building materials shall be prohibited:

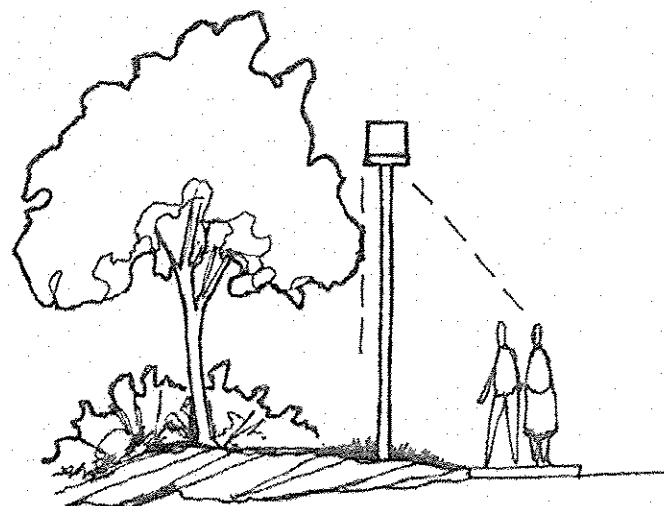
1. Engineered wood paneling
2. Vinyl or plastic siding
3. Plain concrete masonry units

- iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
- v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
- vi. Colors shall include light to medium earth tones with accent colors in limited areas.
 1. No more than one accent color shall be used per building.
 2. The use of contrasting colors for shade elements or awnings is encouraged.

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and night-time appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall comply with The City of Albuquerque's Code of Ordinances Section 14-16-3-9 Area Lighting Regulations.
- b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- c. All free-standing lights shall be of consistent design throughout the site.
- d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- e. Lighting plan details shall be located on Site Development Plans for Building Permit
- f. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- g. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- h. Pedestrian lighting shall not exceed 12 feet in height.
- i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- j. Exterior elevations of buildings fronting the public right-of-way

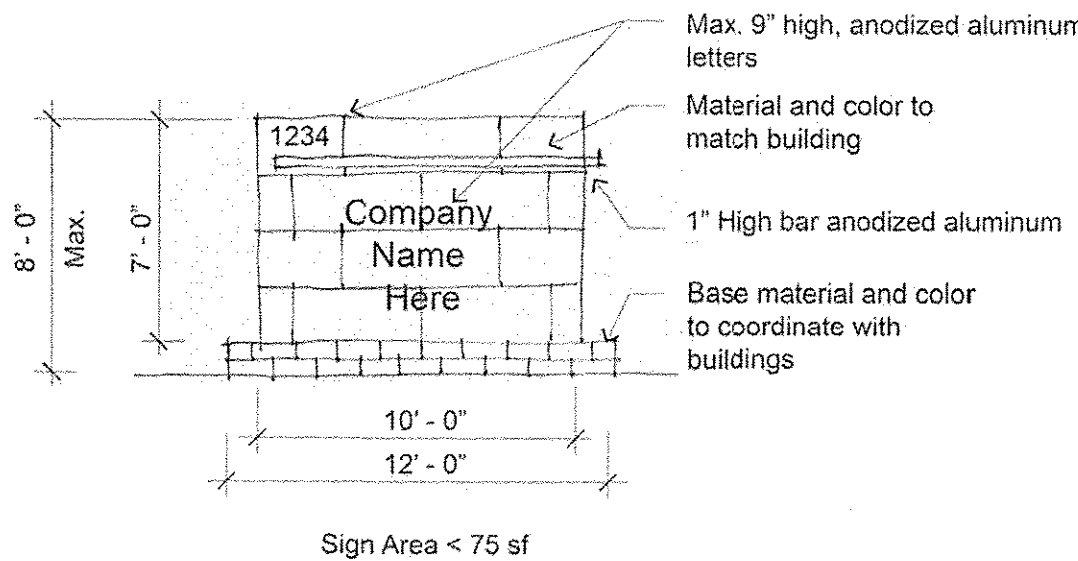


LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

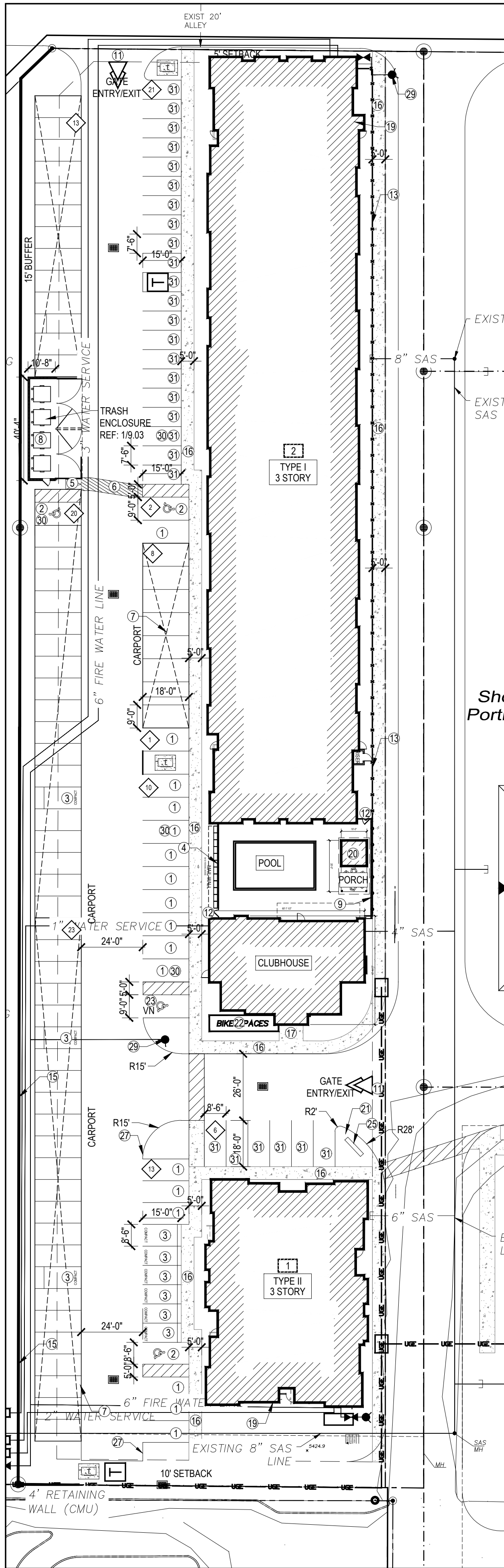
X. SIGNAGE

Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

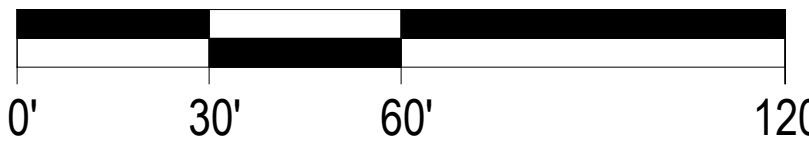
- a. Signage shall comply with the the City of Albuquerque's Code of Ordinances Section 14-16-3-5 General Sign Regulations.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-2(B)(4) Shopping Center Regulations. Freestanding monument signs shall be limited to one on-premise sign per 300 feet of street frontage on arterial or collector streets.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.



SIGNAGE - should be coordinated with building and forms.



SCALE: 1" = 30' - 0"



SYMBOL LEGEND

SETBACK LINE	ACCESSIBLE PARKING SPACE
PROPERTY LINE	VAN ACCESSIBLE SPACE
EASEMENT	FIRE HYDRANT
GAS LINE	PARKING SPACES PER BAY
WATER LINE	TRANSFORMER
BUILDING TYPE	
BUILDING NUMBER	

LIGHTING LEGEND

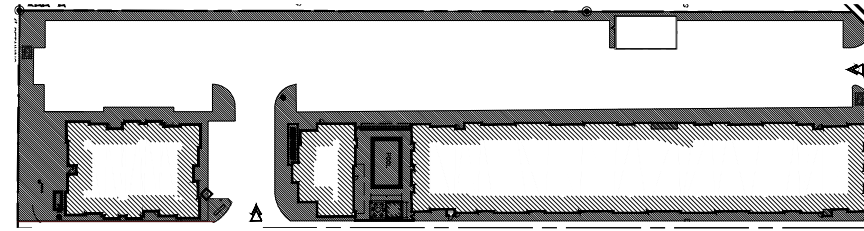
WALL-MOUNTED LIGHTS MUST BE MOUNTED BETWEEN 6 FEET AND 15 FEET ABOVE GRADE PER IDO, SECTION 5-8(D)(8)	CARPORT LIGHT FIXTURE
---	-----------------------

KEYNOTES

- 9'-0" x 18'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 3/A9.03.
- 9'-0" x 18'-0" ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 2/A9.01.
- 8'-6" x 15'-0" COMPACT PARKING SPACE WITH 2' OVERHANG, TYPICAL.
- 8" CMU MAIL WALL, REF. 10/A9.02
- ACCESSIBLE CURB RAMP, SEE DETAIL 4/A9.01.
- 5' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DETAIL 6-9/A9.01.
- TRASH ENCLOSURE SURROUNDED BY 8" CMU WITH STUCCO, WALL PAINTED TO MATCH BUILDINGS.
- 8' HEIGHT, 8" CMU WALL, REF. 10/A9.02
- RESIDENT ONLY REMOTE CONTROL ENTRY VEHICULAR GATE. KNOX
- ENTRY/EXIT VEHICULAR GATE. REF. 09/A9.02
- PEDESTRIAN ENTRY GATE. REF. 07/A9.02
- 6" WROUGHT IRON PERIMETER VIEW FENCE. REF. 04/A9.02
- CMU/WROUGHT IRON COMBO PERIMETER FENCE.
- 3'-4" HEIGHT, CMU RETAINING WALL.
- 5'-0" SIDEWALK, CONNECTING TO PUBLIC WAYS, TYPICAL ON SITE AND CONNECTING BUILDINGS.
- 9'-4" SIDEWALK, CONNECTING TO CLUBHOUSE
- EXISTING STREET.
- FIRE RISER LOCATION, SEE BUILDING PLANS, ALL BUILDINGS SHALL HAVE PIV.
- POOL EQUIPMENT ROOM
- KNOXBOX
- BIKE SPACES
- VAN ACCESSIBLE PARKING SPACE
- EV CHARGING SPACE
- MONUMENT SIGN. REF. 08/A9.02
- 5'-0" SIDEWALK AT RIGHT-OF-WAY
- 6" CURB
- FLARED RAMP, SEE DETAIL 10a/A9.01
- HYDRANT
- EV PARKING SPACE
- 7'-6" x 15'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 3/A9.03.

DEVELOPMENT DATA

IDO: MX-M
PER TABLE 2-4-5: ZONE DISTRICT
SETBACKS PROVIDED: REQUIRED: 5 FEET PROVIDED: 5 FEET
FRONT SETBACK: 5 FEET
SIDE SETBACK: 0 FEET
REAR SETBACK: 15 FEET
BUILDING HEIGHT:
ALLOWED: 48 FEET
PROVIDED: 37'-7" FEET



PROVIDED SITE OPEN USEABLE SPACE

OPEN USABLE SPACE REQUIRED AND PROVIDED						
UNIT NAME	UNIT TYPE	# OF UNITS	OPEN SPACE REQ. PER TABLE 5-1-1 CITY'S IDO	TOTAL REQ.SQ. FT.	BALCON Y SQ.FT.	PROVIDED BALCONY SQ.FT.
S1	1BR/1BA	24	225	5,400	15	360
S1-alt	1BR/1BA	12	225	2,700	15	180
A1	1BR/1BA	56	225	12,600	44	2,464
A2	2BR/2BA	4	285	1,140	43	172
B1	2BR/2BA	6	285	1,710	88	528
TOTAL OPEN SPACE REQUIRED				23,550		
PROVIDED BALCONY PRIVATE OPEN SPACE						3,704
PROVIDED SITE OPEN SPACE						18,320
TOTAL PROVIDED						22,024

SITE NOTES

- DEVELOPMENT AND USE OF THIS SITE MUST CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND U.N.O.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND WILL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, GAS METERS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- SIDEWALK SLOPES SHALL NOT EXCEED 5%. CROSS SLOPES NOT TO EXCEED 2%. (REF. CIVIL) SHOULD SLOPES EXCEED 5% WALK WILL BE CONSIDERED A RAMP AND BE REQUIRED TO HAVE HANDRAILS ON EACH SIDE AS WELL AS LEVEL LANDINGS AT THE TOP AND BOTTOM OF RAMP FOR A DISTANCE OF 60" BEYOND THE EXTENT OF THE RAMP.
- ALL ACCESSIBLE BUILDING ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 66" PERPENDICULAR TO THE DOOR INCLUDING AN 18" MANEUVERING CLEARANCE ON PULL SIDE OF DOOR.
- NO EXPOSED CONDUIT, PIPING, ETC. IS ALLOWED ON THE EXTERIOR FACE OF THE BUILDING.
- PROVIDE 18" MANEUVERING CLEARANCE ON PULL SIDE OF ALL PEDESTRIAN GATES, MAINTAIN GROUND SLOPE AT 2%.
- A 42" HIGH GUARDRAIL, MEASURED FROM FINISH FLOOR OF WALKING SURFACE, SHALL BE PLACED ALONG WALKING SURFACE MORE THAN 30" ABOVE THE ADJACENT GRADING.
- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
- ALL PUBLIC INFRASTRUCTURE WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.
- SIDEWALKS IN RIGHT-OF-WAY SHALL BE 5 FEET WIDE PER NEW DMP STANDARDS.

DEVELOPMENT DATA

ALLASO WYOMING							22135
UNIT TABULATION - 3 STORY RESIDENTIAL							8/4/22
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	BED COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
S1	1br/1ba	367	24	24	24%	8,808	35%
S1-alt	1br/1ba	367	12	12	12%	4,404	
A1	1br/1ba	536	56	56	55%	30,016	
A2	2br/2ba	687	4	8	4%	2,748	4%
B1	2br/2ba	783	6	12	6%	4,698	
TOTALS			102	112	100%	50,674	

UNIT AVERAGE NET SF : 497

* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

PROJECT DATA

UNIT AVERAGE NET SF : 497 S.F.

ACREAGE: 2.02 GROSS ACRES

DENSITY: 50 UNITS/ACRE

PARKING: PER TABLE 5-5-1 REQUIRED PARKING FOR MULTI-FAMILY DWELLING IS 1.5 SPACES /DWELLING UNIT = 153 SPACES FOR 102 UNITS.

REQUIRED	153	SPACES
PROVIDED	116	SPACES
SURFACE PARKING	22	SPACES
SURFACE COMPACT	26	SPACES
SURFACE ADA	3	SPACES
CARPORTS	58	SPACES
CARPORTS/COMPACT	5	SPACES
CARPORT ADA	1	SPACE
EV STANDARD	1	SPACE
	1.14	SPACES/UNIT
	1.37	SPACES/BED

BUILDING SQ.FT.

BLDG	OCCUPANCY	AREA			
		1ST FLR	2ND FLR	3RD FLR	TOTAL
BLDG I	R-2	17,101	17,122	17,122	51,345
BLDG II	R-2	5,125	5,125	5,125	15,375
CLUBHOUSE	A	2,107			2,107
POOL ROOM	U	100			100
TOTAL		24,433	22,247	22,247	68,927

PROJECT NUMBER: PR-2019-002761

Application Number: SI-2021-00256

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

Date

ABCWUA

Date

Parks and Recreation Department

Date

City Engineer/Hydrology

Date

Code Enforcement

Date

* Environmental Health Department (conditional)

Date

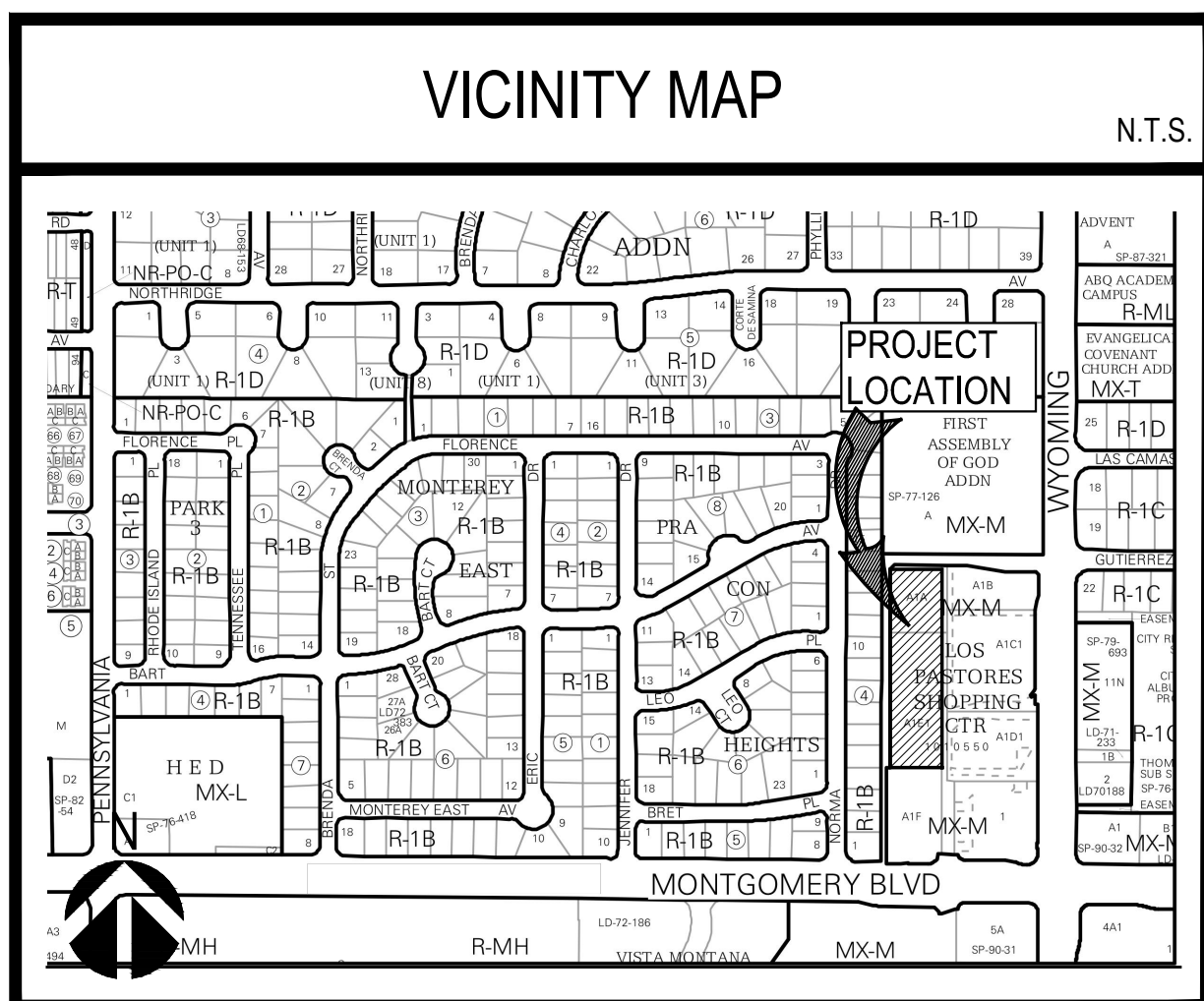
Solid Waste Management

Date

DRB Chairperson , Planning Department

Date

*Environmental Health, if necessary



Designed by:	XCH	
Drawn by:	VS	
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved
The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM

TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX

DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK · NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI · LONDON · MONTEVIDEO · MEXICO CITY · TORONTO

www.humphreys.com



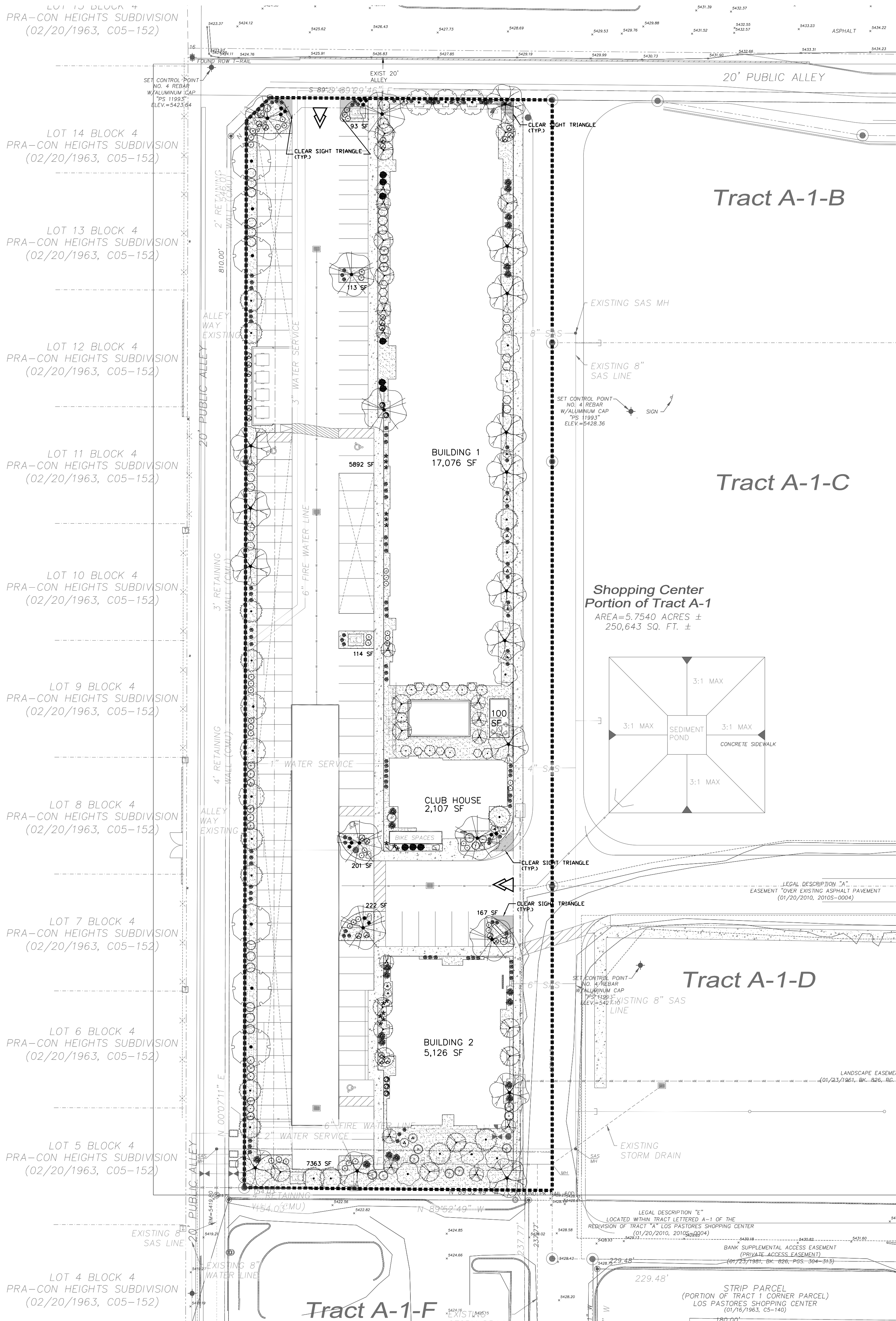
SHEET CONTENTS:
SITE PLAN

SHEET NO.

A1.01

22135

Z:\SW\PROJECTS\2023\08\Allaso Wyoming\CAD\Res\Consultation\Allaso Wyoming Landscape 2023.08.04.dwg 8/3/2023 11:37:28 PM DWG TO PDF.plt



SITE DATA

GROSS LOT AREA 88,150 SF
BUILDING AREA 16,784 SF
NET LOT AREA (NET.) 71,366 SF

LANDSCAPE AREA (LAN.)

REQUIRED 10,705 SF (15% OF NET.)
PROPOSED 14,165 SF (20% OF NET.)

VEGETATION COVERAGE (VEG.)

REQUIRED 8,029 SF (75% OF LAN.)
PROPOSED 58,550 SF (547% OF LAN.)

GROUND-LEVEL PLANTS COVERAGE

REQUIRED 2,007 SF (25% OF VEG.)
PROPOSED 4,878 SF (61% OF VEG.)

STREET TREES (1 PER 25 LF)

REQUIRED 22
PROPOSED 22

LANDSCAPE BUFFER

TREES REQUIRED 28
PROPOSED 28
SHRUBS REQUIRED 84
PROPOSED 84

PARKING LOT TREES (1 PER 10 PARKING SPACES)

REQUIRED 8
PROPOSED 8

DWELLING UNIT TREES (1 PER 1ST AND 2ND FLOOR UNIT)

REQUIRED 68
PROPOSED 68

TOTAL
REQUIRED 126 TREES
PROPOSED 85 TREES

GENERAL LANDSCAPE NOTES

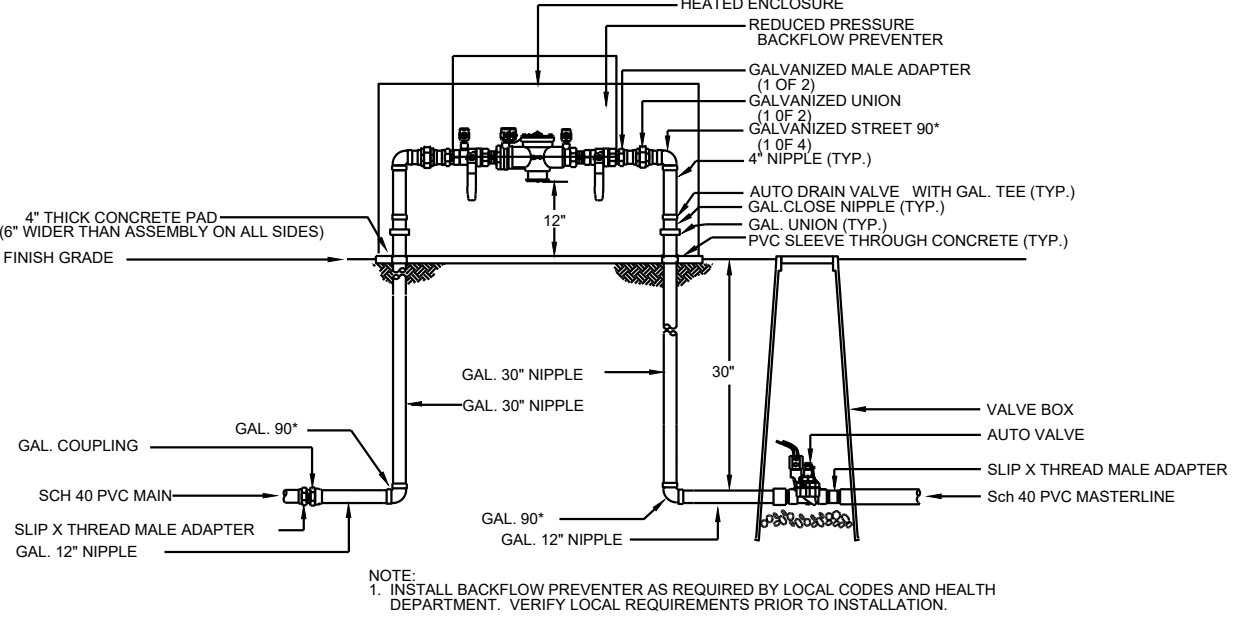
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b) WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT. FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED. PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANS) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	6	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177
	6	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590
	13	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	15' X 15'	177
	8	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826
	6	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177
	15	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491
	16	VITEA AGNUS-CASTUS / CHASTE TREE	24"BOX	20' X 20'	314
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	15	PINUS CEMBOIDES EDULIS / PINYON PINE	6" B&B	30' X 20'	314
SUBTOTAL			53,672 SF		
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	10	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
	4	YUCCA BACCATA / BANANA YUCCA	5 GAL	4' X 5'	20
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	12	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	47	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	58	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	15	BERBERIS THUNBERGH 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13
	11	CAESALPINIA GALLIESII / YELLOW BIRD OF PARADISE	5 GAL	10' X 10'	79
	5	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7
	11	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7
	15	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28
	17	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13
	9	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20
	12	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERGAE
	14	CEROCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOCONY	5 GAL	6' X 6'	28
	19	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13
	21	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38
	25	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13
	22	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY	5 GAL	6' X 4'	13
SUBTOTAL			4,878 SF		
TOTAL			58,550 SF		

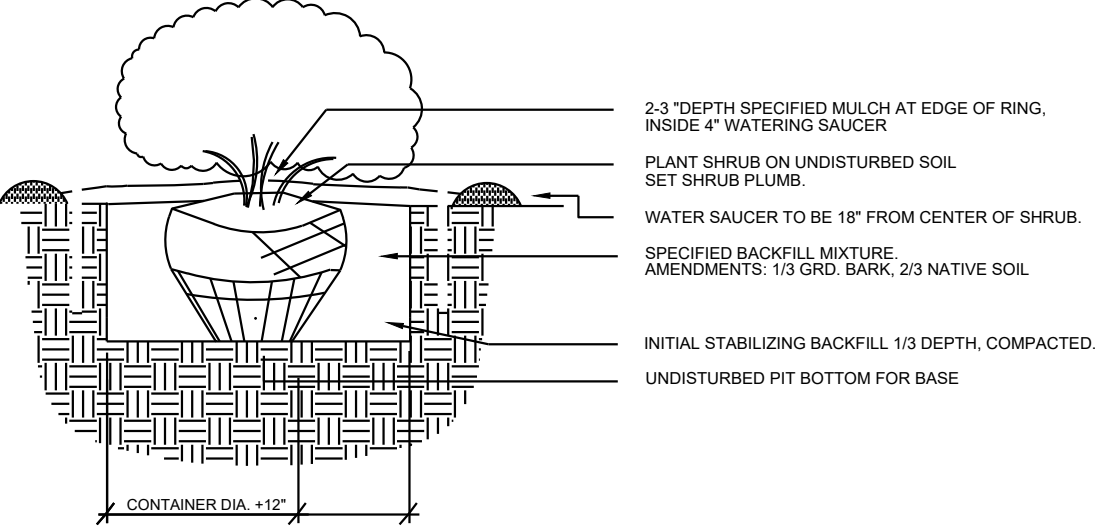
MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	7
SYMBOL	DESCRIPTION	
	GRAVEL	
	PROPERTY LINE	



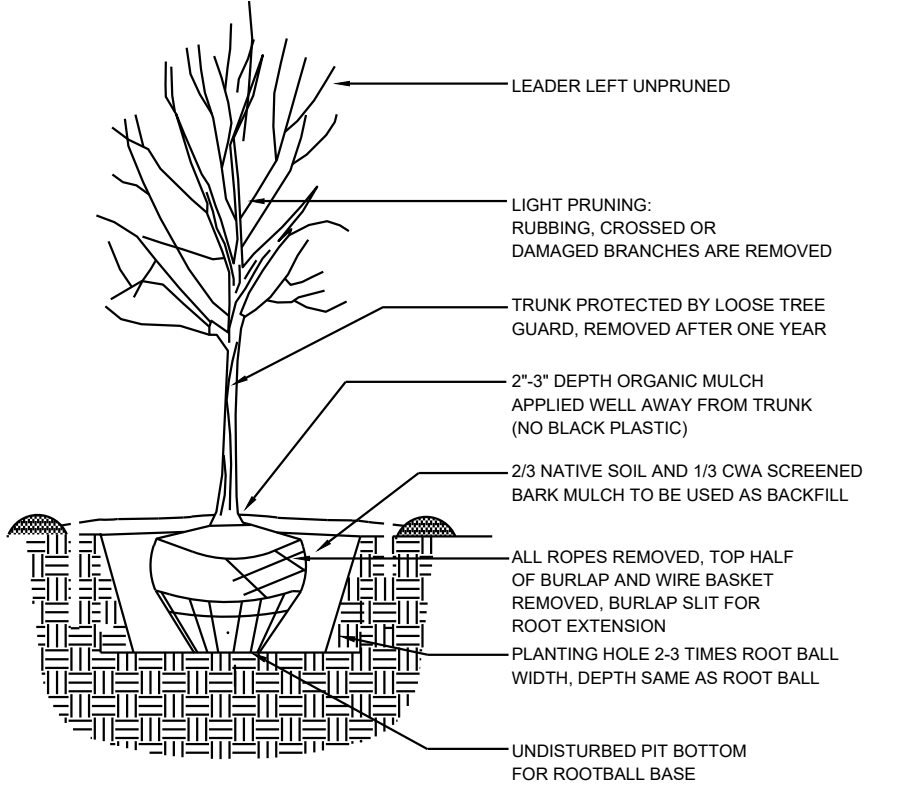
1 RP BACKFLOW/MASTER VALVE DETAIL

N.T.S.



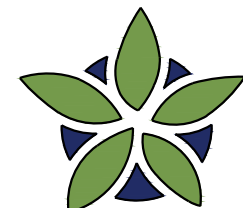
2 SHRUB PLANTING DETAIL

N.T.S.



3 TREE PLANTING DETAIL

N.T.S.



YELLOWSTONE
LANDSCAPES

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 8/4/2022

Revisions:

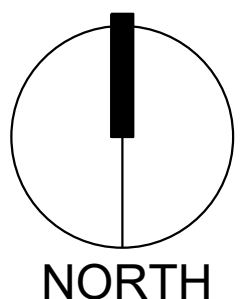
- ▲
- ▲
- ▲
- ▲

Drawn by: PL

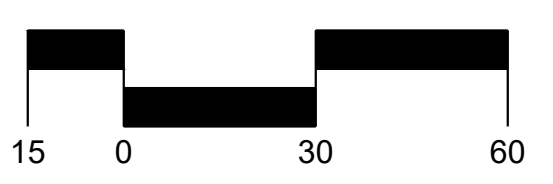
Reviewed by: CM

Allaso Wyoming

Albuquerque, New Mexico



Scale: 1" = 30'

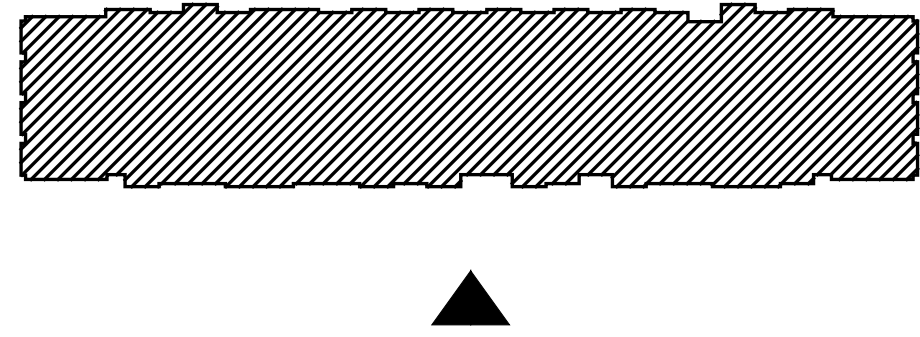


Sheet Title:

Landscape Plan

Sheet Number:

LS-01



MATERIAL KEY NOTES

- 1

STUCCO
- 2

METAL RAILING
- 3

METAL AWNING
- 4

VINYL WINDOWS
- 5

METAL TRIM
- 6

METAL SCREEN
- 7

WALL SIGNAGE LIMIT TO
15% FACADE AREA PER
TABLE 5-12.5 IDO

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved

The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM

TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK ·
NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI ·
LONDON · MONTEVIDEO · MEXICO CITY · TORONTO



SHEET CONTENTS:
BLDG. TYPE I OVERALL
REAR ELEVATION

SHEET NO.

A4.11

22135



1 BLDG TYPE I - REAR ELEVATION
SCALE: 1/16" = 1'-0"

MATERIAL KEY NOTES

- 1

STUCCO
- 2

METAL RAILING
- 3

METAL AWNING
- 4

VINYL WINDOWS
- 5

METAL TRIM
- 6

METAL SCREEN
- 7

WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12-5 IDO

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved

The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM

TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX

DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK · NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI · LONDON · MONTEVIDEO · MEXICO CITY · TORONTO

www.humphreys.com



SHEET CONTENTS:
BLDG. TYPE I
REAR & SIDE ELEVATIONS

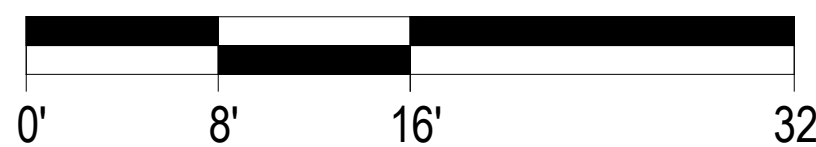
SHEET NO.

A4.11

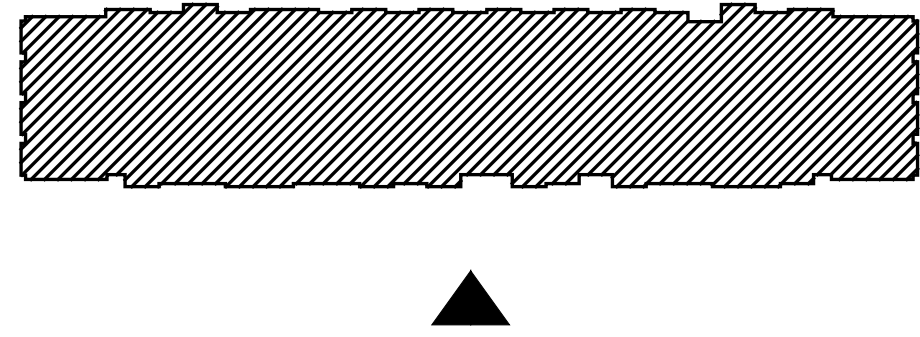
22135



SCALE: 1/8" = 1'-0" (24"x36" SHEET)



1 BLDG. TYPE I - PARTIAL REAR ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL KEY NOTES

- 1

STUCCO
- 2

METAL RAILING
- 3

METAL AWNING
- 4

VINYL WINDOWS
- 5

METAL TRIM
- 6

METAL SCREEN
- 7

WALL SIGNAGE LIMIT TO
15% FACADE AREA PER
TABLE 5-12-5 IDO

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved

The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM
TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK ·
NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI ·
LONDON · MONTEVIDEO · MEXICO CITY · TORONTO



SHEET CONTENTS:
BLDG. TYPE I OVERALL
FRONT ELEVATION

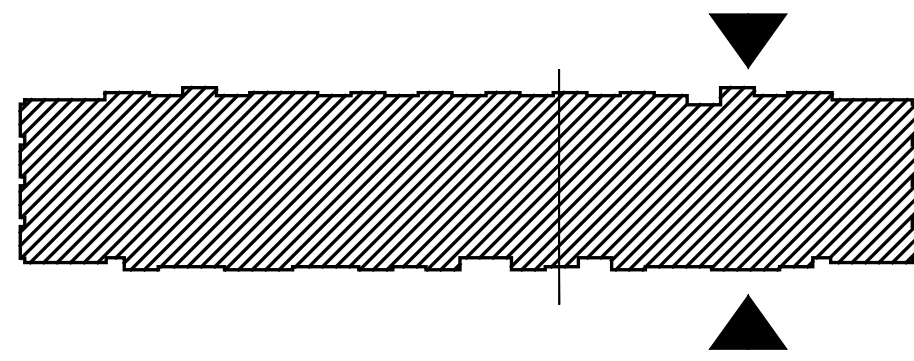
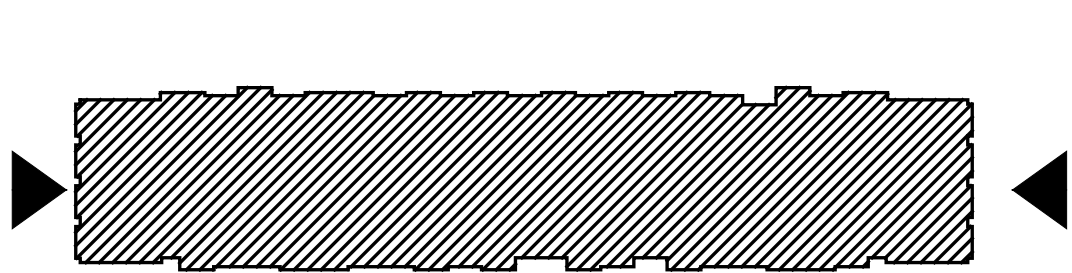
SHEET NO.

A4.12

22135



1 BLDG TYPE I - FRONT ELEVATION
SCALE: 1/16" = 1'-0"

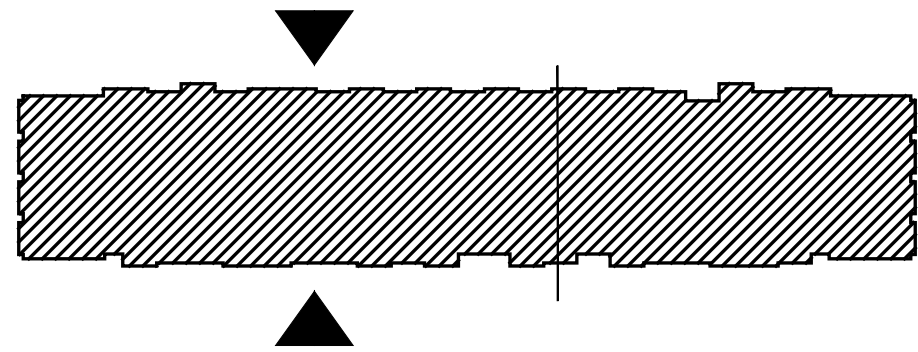


MATERIAL KEY NOTES

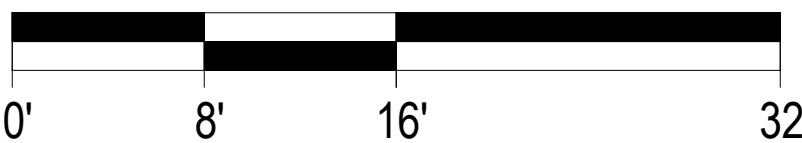
- | | |
|-----|--|
| 1 | STUCCO |
| 2 | METAL RAILING |
| 3 | METAL AWNING |
| 4 | VINYL WINDOWS |
| 5 | METAL TRIM |
| 6 | METAL SCREEN |
| 2 7 | WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12.5-IDO |



2 BLDG. TYPE I - PARTIAL FRONT ELEVATION
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0" (24"x36" SHEET)



1 BLDG. TYPE I - PARTIAL FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved
The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



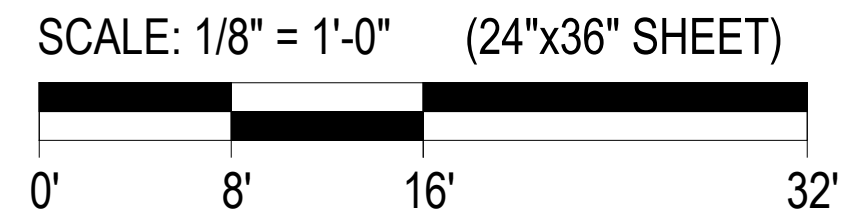
ALLASO WYOMING
ALBUQUERQUE, NM
TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.
5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK · NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI · LONDON · MONTEVIDEO · MEXICO CITY · TORONTO
www.humphreys.com

SHEET CONTENTS:
BLDG. TYPE I
FRONT ELEVATION

SHEET NO.
A4.12
22135



1 BLDG. TYPE II - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 BLDG. TYPE II - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES

- | | |
|---|--|
| 1 | STUCCO |
| 2 | METAL RAILING |
| 3 | METAL AWNING |
| 4 | VINYL WINDOWS |
| 5 | METAL TRIM |
| 6 | METAL SCREEN |
| 7 | WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12-5 IDO |

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P. All Rights Reserved
The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING
ALBUQUERQUE, NM
TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

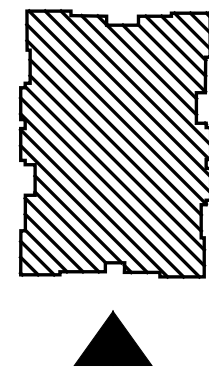
5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK ·
NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI ·
LONDON · MONTEVIDEO · MEXICO CITY · TORONTO
www.humphreys.com



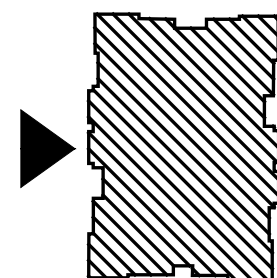
SHEET CONTENTS:
BLDG. TYPE II
FRONT & SIDE ELEVATIONS

SHEET NO.

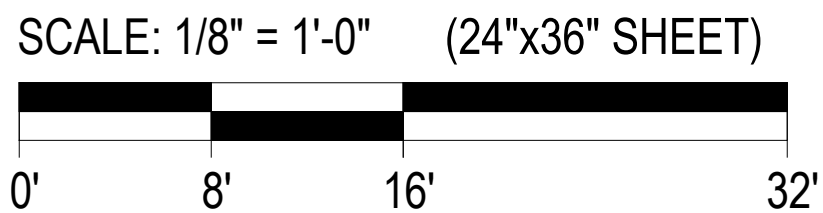
A4.21



2 BLDG. TYPE II - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 BLDG. TYPE II - REAR ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL KEY NOTES

- | | |
|---|--|
| 1 | STUCCO |
| 2 | METAL RAILING |
| 3 | METAL AWNING |
| 4 | VINYL WINDOWS |
| 5 | METAL TRIM |
| 6 | METAL SCREEN |
| 7 | WALL SIGNAGE LIMIT TO 15% FACADE AREA PER TABLE 5-12-5 IDO |

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved

The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM

TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK ·
NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI ·
LONDON · MONTEVIDEO · MEXICO CITY · TORONTO



SHEET CONTENTS:
BLDG. TYPE II
FRONT & SIDE ELEVATIONS

SHEET NO.

A4.22

MATERIAL KEY NOTES

- 1

STUCCO
- 2

METAL RAILING
- 3

METAL AWNING
- 4

VINYL WINDOWS
- 5

METAL TRIM
- 6

METAL SCREEN
- 7

WALL SIGNAGE LIMIT TO
15% FACADE AREA PER
TABLE 5-12.5 IDO

Designed by:	XCH	
Drawn by:		
Architect of Record:	RM	
Date Plotted:	07/18/2022	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction		
Revisions:		
#	DATE	COMMENTS

©2022 by Humphreys & Partners Architects, L.P. All Rights Reserved

The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



ALLASO WYOMING

ALBUQUERQUE, NM
TITAN DEVELOPMENT

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD · SUITE 300 · DALLAS, TEXAS 75240
(972) 701 - 9636 · (972) 701 - 9639 FAX
DALLAS · CHARLOTTE · CHICAGO · DENVER · NEW ORLEANS · NEW YORK ·
NEWPORT BEACH · ORLANDO · SCOTTSDALE · CHENNAI · HANOI ·
LONDON · MONTEVIDEO · MEXICO CITY · TORONTO



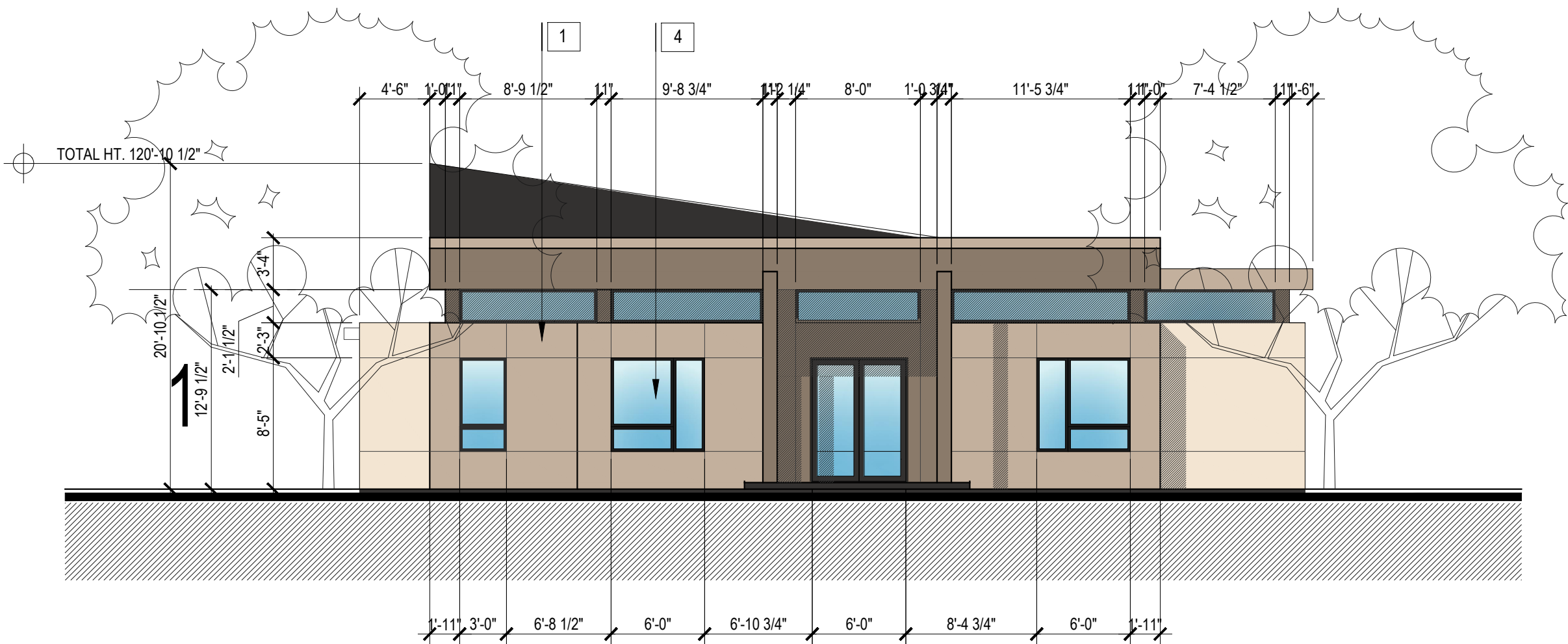
SHEET CONTENTS:

CLUBHOUSE
ELEVATIONS

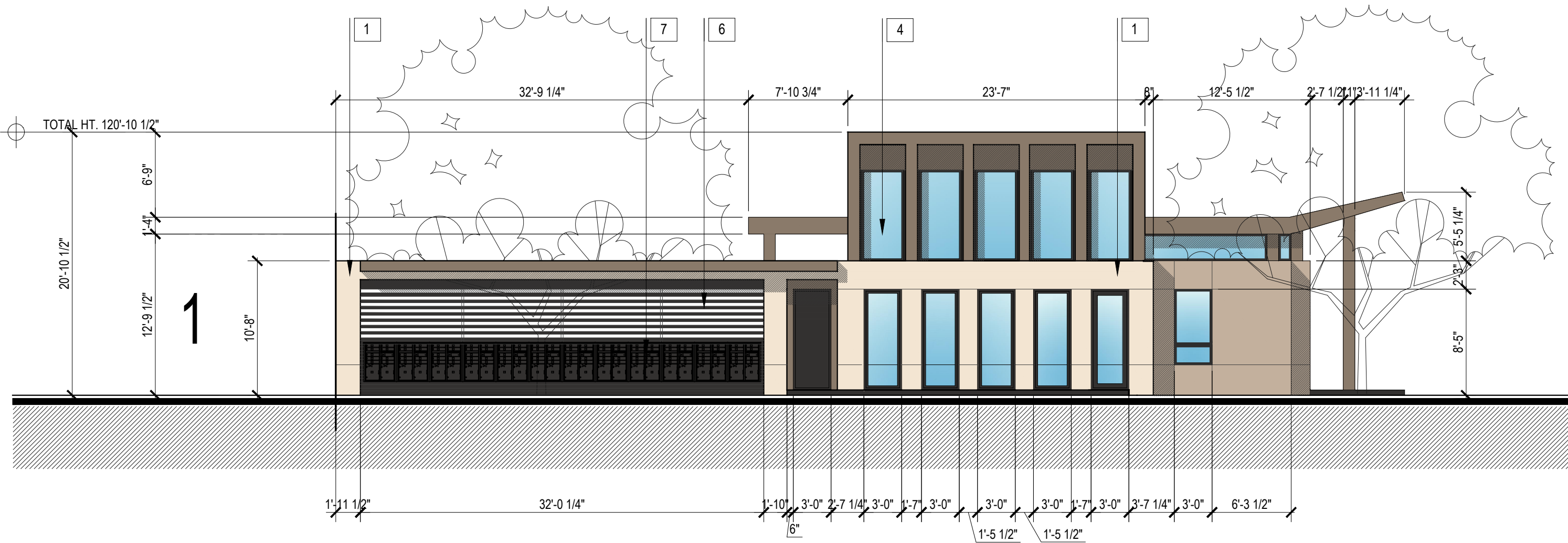
SHEET NO.

A8.10

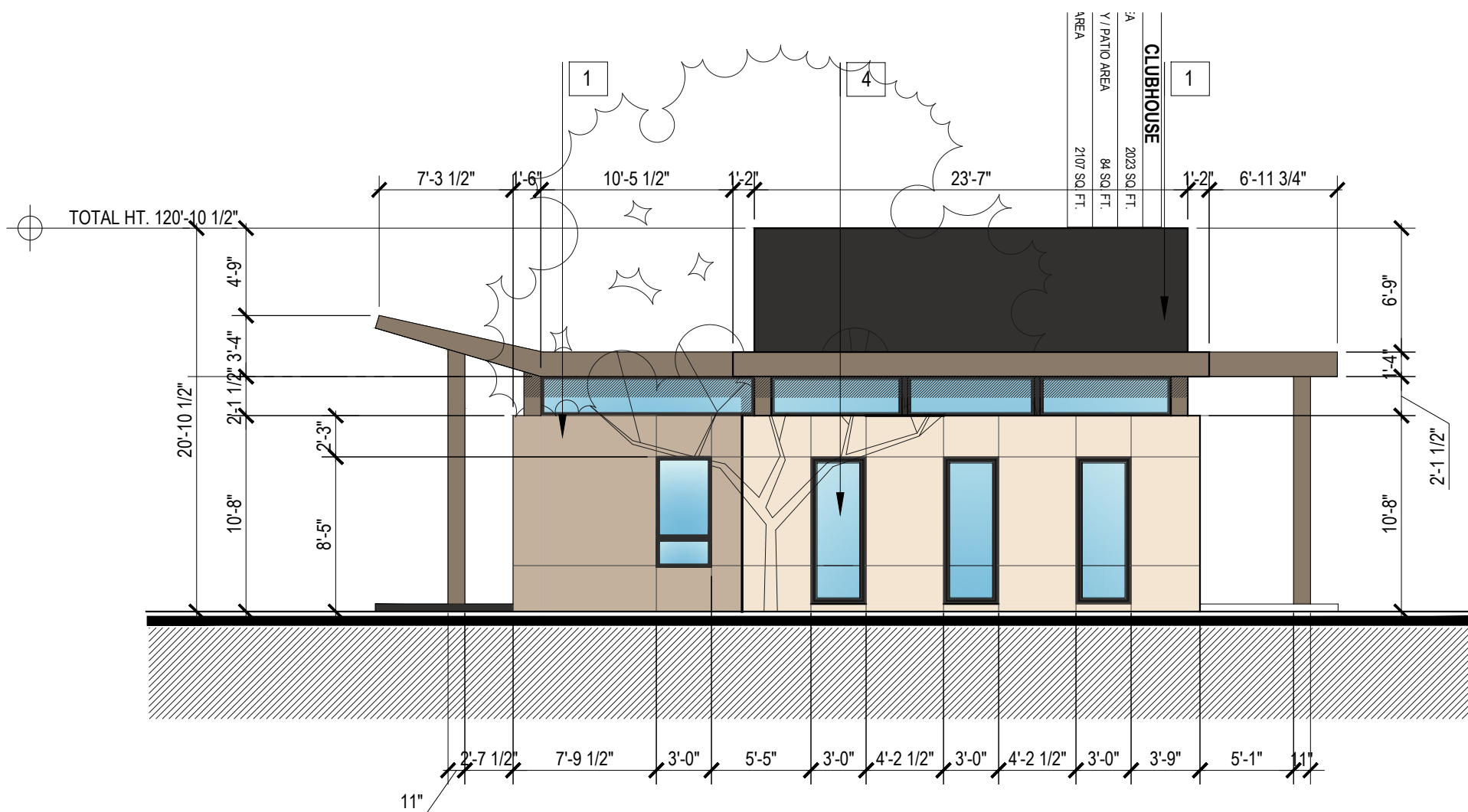
22135



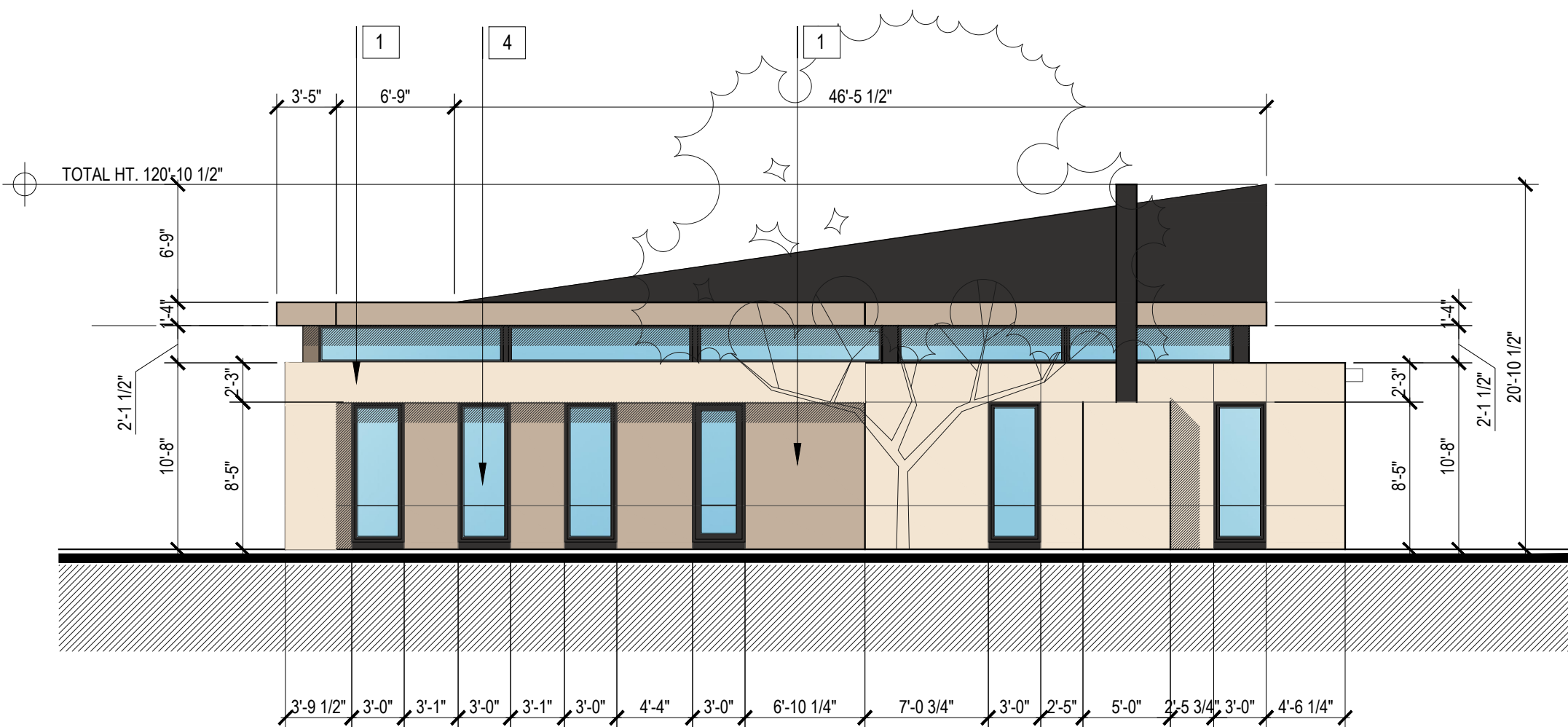
4 CLUBHOUSE- FRONT ELEV
SCALE: 1/8" = 1'-0"



3 CLUBHOUSE & MAILBOXES- LEFT ELEV
SCALE: 1/8" = 1'-0"



2 CLUBHOUSE- RIGHT ELEV
SCALE: 1/8" = 1'-0"



1 CLUBHOUSE- REAR ELEV
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" (24"x36" SHEET)

