



## ***Environmental Planning Commission***

***Agenda Number: 4  
Project #: PR-2023-009067  
Case #: RZ-2023-00025  
Hearing Date: September 21, 2023***

### ***Staff Report***

<b><i>Agent</i></b>	ABQ Land Use Consulting, LLC
<b><i>Applicant</i></b>	Rosalie and Andrew S. Green
<b><i>Request</i></b>	<b>Zoning Map Amendment (zone change)</b>
<b><i>Legal Description</i></b>	Tract 11, Alvarado Gardens, Unit 2
<b><i>Location</i></b>	2726 Campbell Rd. NW, between Calle Tranquilo and Trellis Dr. NW
<b><i>Size</i></b>	Approximately 2.5 Acres
<b><i>Existing Zoning</i></b>	R-A
<b><i>Proposed Zoning</i></b>	R-MC

### ***Staff Recommendation***

***APPROVAL of PR-2023-009067, RZ-2023-00025, based on the Findings beginning on Page 21.***

### ***Staff Planners***

***Lorena Patten-Quintana, Senior Planner  
Michael Vos, AICP, Principal Planner***

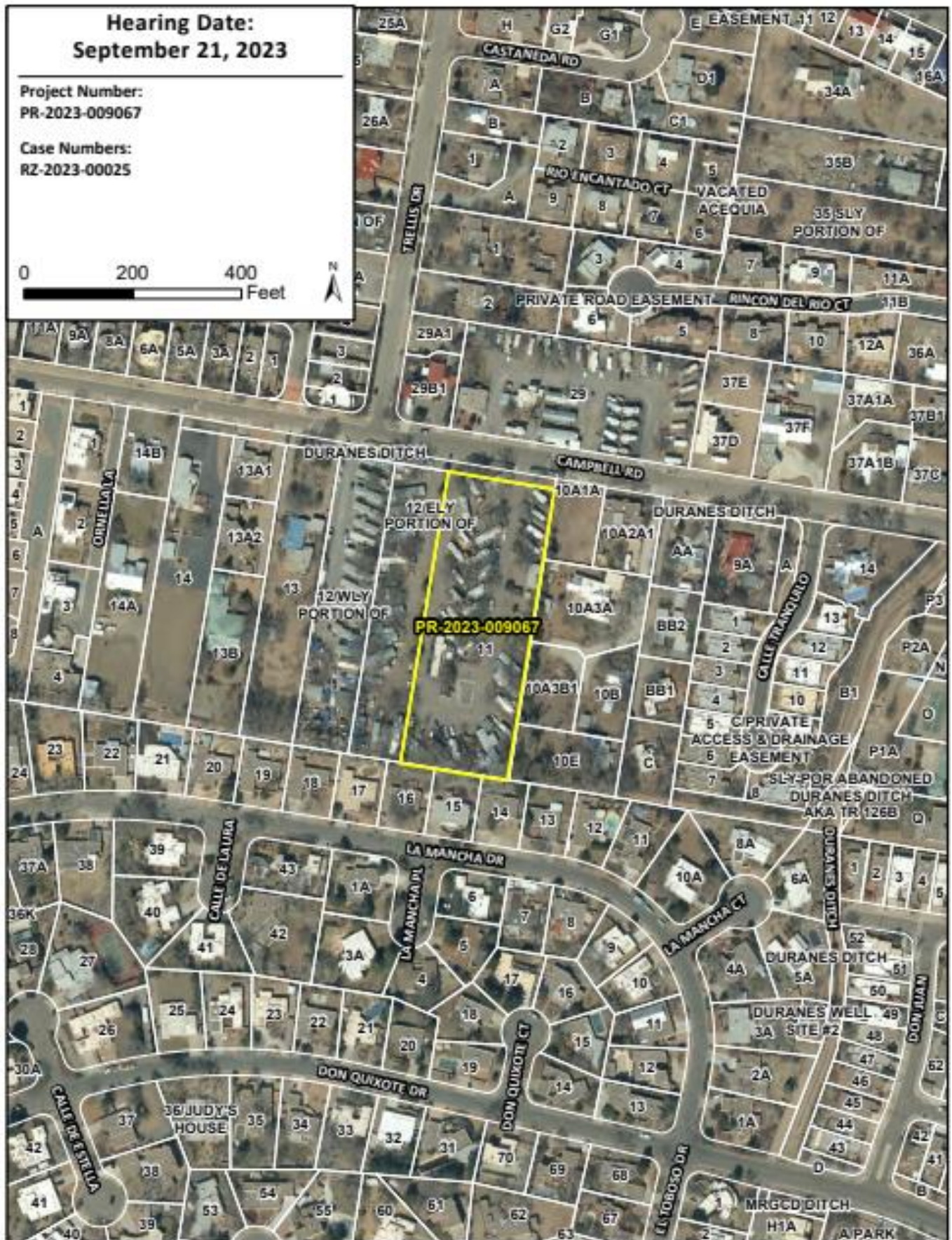
### ***Summary of Analysis***

The request is for a Zoning Map Amendment (zone change) from R-A to R-MC for approximately 2.5 acres. The applicant wants to change the subject site's zoning to R-MC to allow multiple manufactured home dwellings to remain on this one lot as a manufactured home community, in perpetuity. Approval of this request would further stabilize the existing land uses in the area by making the current use conforming to the IDO. It will also provide more transparency by making the zone map more accurate so that it matches the existing use of the land.

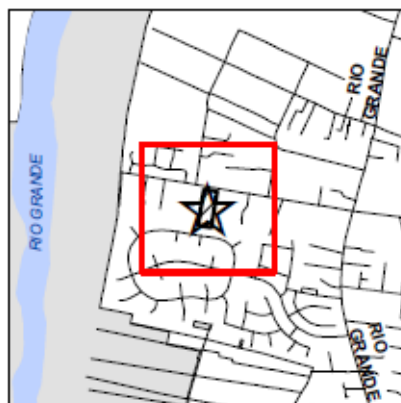
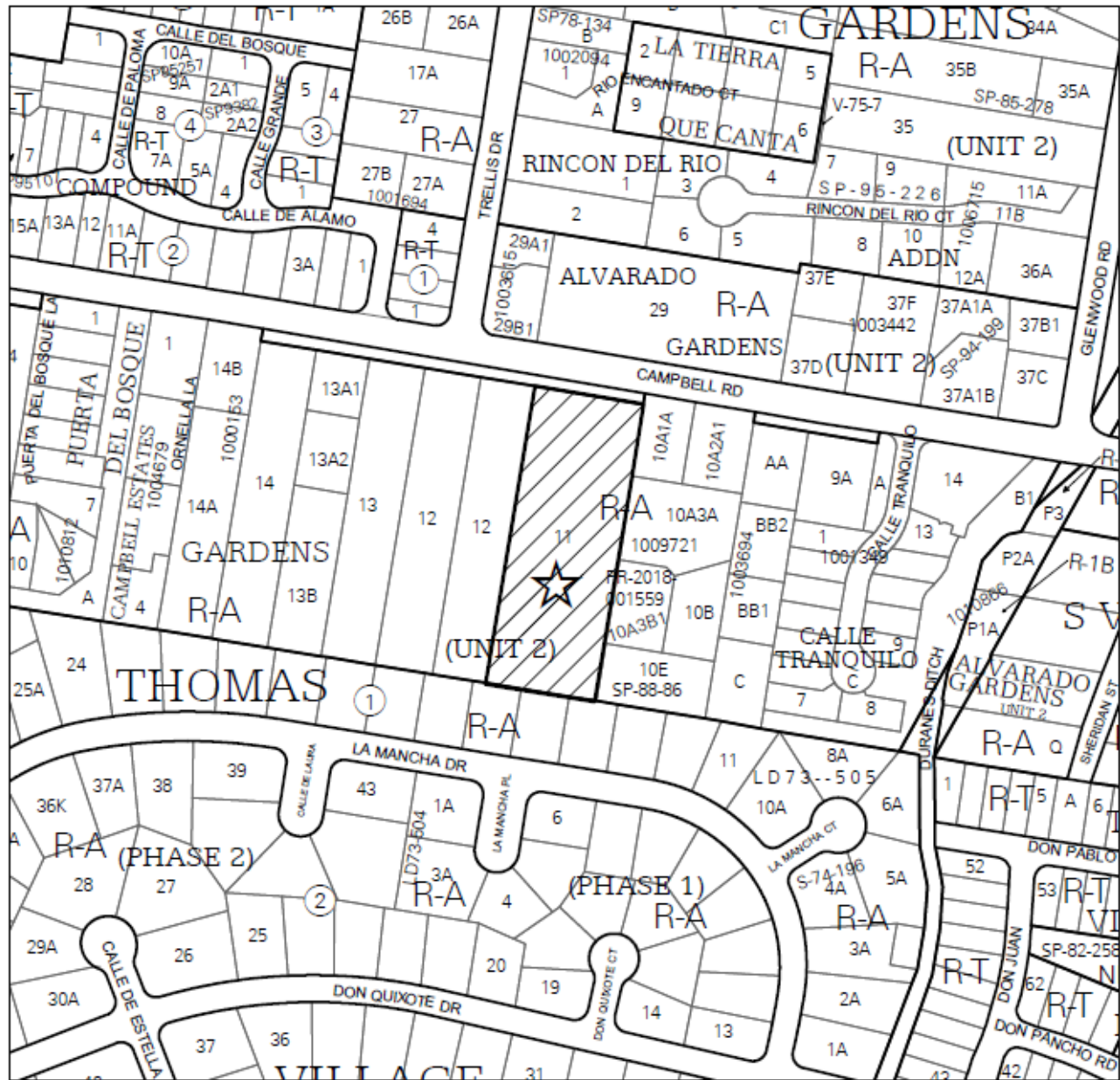
The applicant has adequately justified the request pursuant to the IDO zone change criteria in 14-16-6-7(G)(3). The proposed zoning would be more advantageous to the community overall because it furthers a preponderance of applicable Comprehensive Plan Goals and policies.

The affected neighborhood organizations, Thomas Village, Alvarado Gardens, and the North Valley Coalition were notified as required. Property owners within 100 feet of the subject site were also notified as required. A pre-application meeting was held on July 10, 2023. Staff is unaware of any concerns or opposition to the request.

Staff recommends approval.







### IDO ZONING MAP

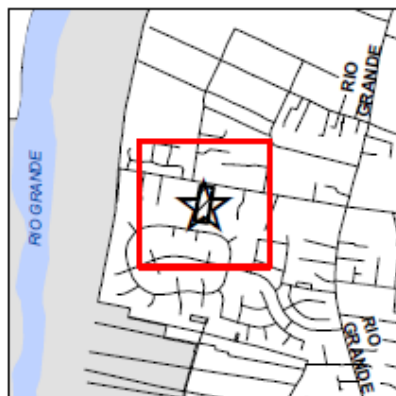
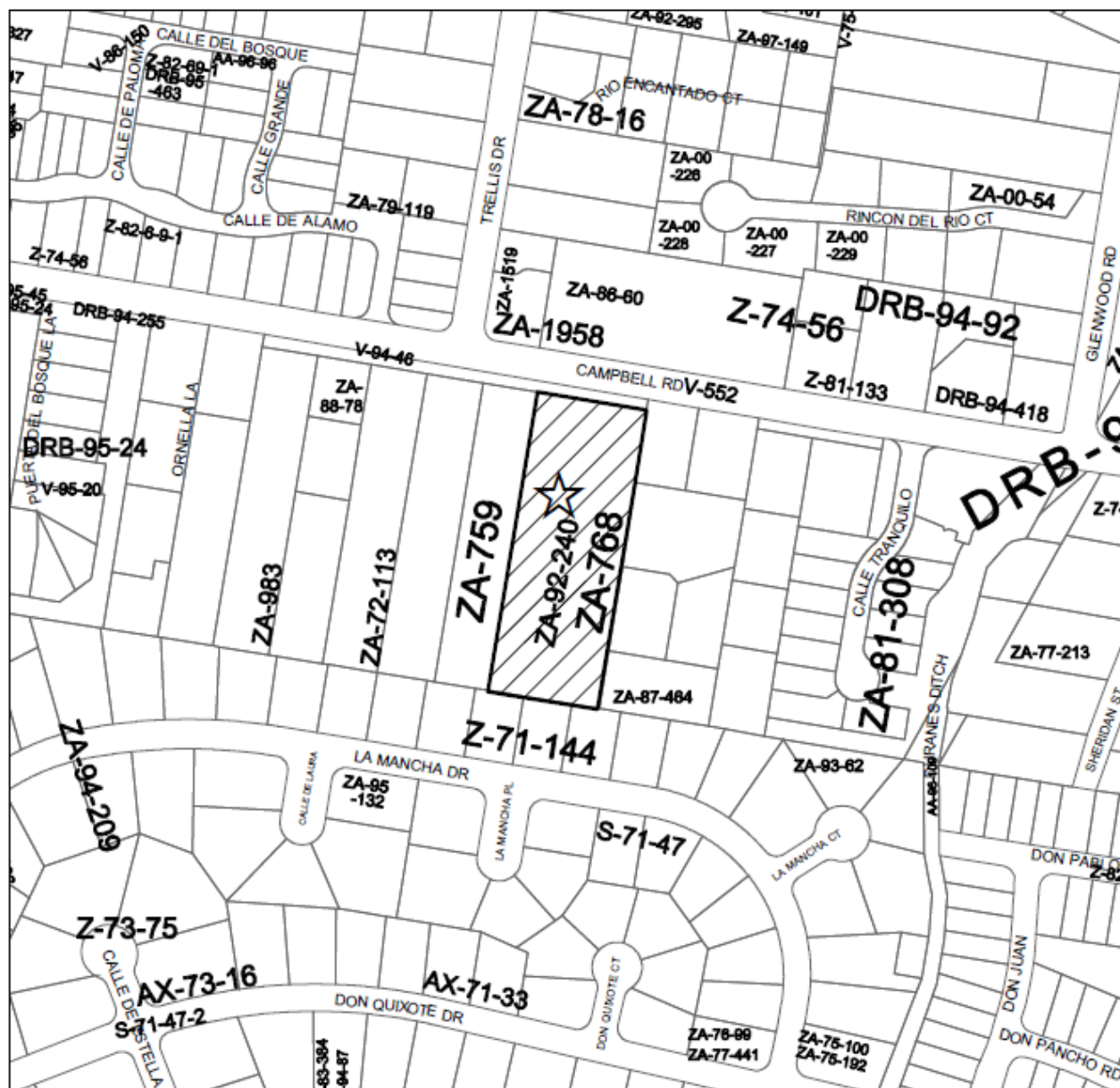
Note: Gray shading  
Indicates County.



1 inch = 250 feet

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## HISTORY MAP

Note: Gray shading indicates County.



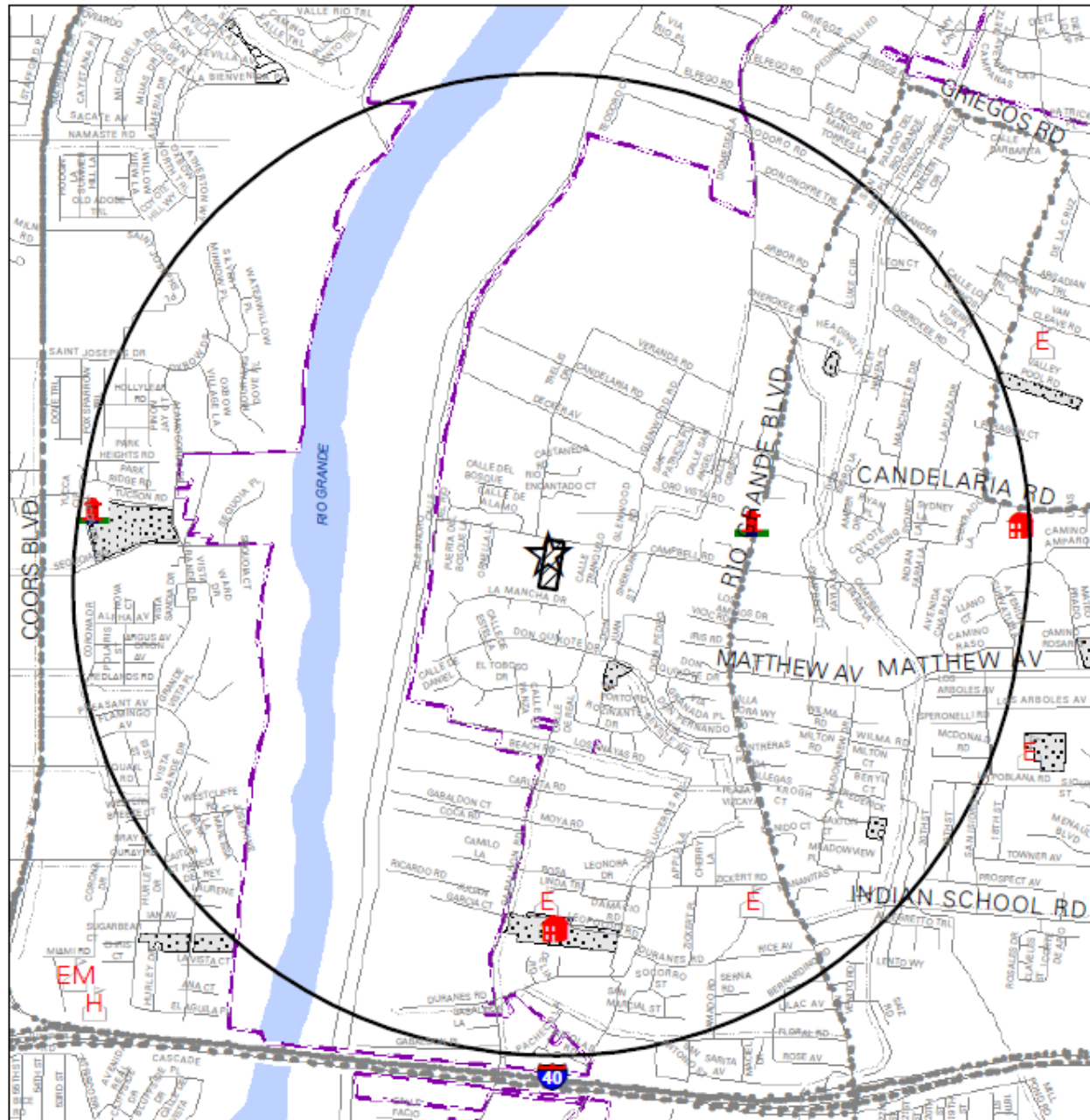
1 inch = 250 feet

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**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |

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## ***I. INTRODUCTION***

***Surrounding zoning, plan designations, and land uses:***

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	R-A	Area of Consistency	Manufactured Home Community
<b><i>North</i></b>	R-A	Area of Consistency	Manufactured Home Community
<b><i>South</i></b>	R-A	Area of Consistency	Low-density residential (single-family)
<b><i>East</i></b>	R-A	Area of Consistency	Low-density residential (single-family) and one vacant lot abutting Campbell Rd.
<b><i>West</i></b>	R-A	Area of Consistency	Manufactured Home Community

### ***Request***

The request is for a zoning map amendment (zone change) for an approximately 2.5-acre site described as Tract 11, Alvarado Gardens Unit 2 (the “subject site”).

The subject site is zoned R-A and is developed with 28 manufactured home dwellings and an assortment of other office and storage buildings. The applicant is requesting a zone change to R-MC (Residential – Manufactured Home Community Zone District), which will bring the non-conforming site, currently a manufactured home community, into compliance with its zoning (see History section for additional information).

### ***EPC Role***

The EPC is hearing this case because the EPC is required to hear all zone change cases, regardless of the site size, in the City. The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

### ***Context***

This subject site is in the North Valley area and is located west of Rio Grande Boulevard, east of the Rio Grande, on the south side of Campbell Road, between Calle Tranquilo and Trellis Drive NW.

The subject site is currently developed with a manufactured home community. There are two other Manufactured Home communities abutting and adjacent to this property – one to the west and one to the north of this lot. They are all currently zoned R-A (Rural and Agricultural Zone District). South and east of the property are single-family residential lots also zoned R-A. Other land uses in the area include single-family dwellings and vacant land. The general vicinity is predominantly zoned R-A.

There is a townhouse subdivision to the north that is zoned R-T. The Rio Grande Nature Center State Park is just beyond that, and it is zoned NR-PO-B (Non-residential – Open Space).

### ***History***

In 1951, the subject site was developed as a mobile home park. The pre-IDO zoning of the subject site, likely established with the first zoning in Albuquerque in 1959, was RA-2, Residential and Agricultural. Case history from 1992 (ZA-92-240) includes a request for expansion of a nonconforming use for an addition to a mobile home the subject site, indicating this prior use is considered legally nonconforming prior to adoption of the IDO in 2018.

The existing mobile home dwellings are not allowed in the R-A zone district. One dwelling would be allowed as a single-family home; however, a development of multiple mobile homes is considered a Manufactured Home Community and is only permissively allowed in the R-MC zone. These dwellings continue to be nonconforming uses because they were in existence prior to when the property was zoned R-A with adoption of the IDO.

The subject site would have qualified to take part in the City-sponsored “Phase 2 Zone Conversions.” The approval records associated with similar properties read: “This property contains a mobile home park that was established legally but is not allowed in the [current] zone, so it is nonconforming. R-MC is the only zone in the IDO that allows mobile home parks, so that is an appropriate zoning conversion.” This property has been used for residential dwellings in mobile homes since 1951, as demonstrated by the Bernalillo County Assessor property records.

### ***Transportation System***

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Campbell Road is classified as a Local Urban Street.

### ***Comprehensive Plan Center and Corridor Designations***

The subject site is not within a Comprehensive Plan Center or Corridor.

### ***Comprehensive Plan Community Planning Area Designation***

The subject site is part of the Near North Valley Community Planning Area (CPA). The Near North Valley Community Planning Area (CPA) spans the area between the Rio Grande and I-25 and between I-40 and Montano. Near North Valley remains semi-rural and rich in history and tradition as agricultural land and open space in the west blends into residential neighborhoods to the east. Large commercial and industrial development is concentrated to the south along I-40 and to the east along I-25.

### ***Overlays***

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).



### ***Trails/Bikeways***

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed routes and trails. There is an existing bike lane (a portion of the street with a designated lane for bicycles) on Campbell Road.

### ***Transit***

There are no adjacent transit services. The nearest transit stop is at Rio Grande Boulevard and Campbell Road NW.

### ***Public Facilities/Community Services***

Please refer to the Public Facilities Map, which shows public facilities and community services located within one mile of the subject site.

## ***II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES***

### ***Integrated Development Ordinance (IDO)***

#### ***Definitions***

Area of Consistency: An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

Dwelling – Mobile Home: A transportable structure that does not meet the construction safety standards of the federal Manufactured Housing Act of 1974.

Manufactured Home: A structure transportable in one or more sections that is built on a permanent chassis, is designed for use with or without a permanent foundation when connected to the required utilities, and meets the construction safety standards of the federal Manufactured Housing Act of 1974. Similar structures that do not meet the construction safety standards of that Act are referred to as mobile homes and are not allowed to be installed in the city.

Nonconforming Use: A use of a structure or land that does not conform to the IDO requirements for land uses in the zone district where it is located, but that was an approved use at the time the use began.

### ***Zoning***

The subject site is zoned R-A [Residential – Rural and Agricultural Zone District, IDO 14-16-2-3(A)] that was assigned upon the adoption of the Integrated Development Ordinance (IDO) on May 17, 2018 based upon the prior zoning of RA-2, Residential/Agricultural. Specific permissive uses are listed in Table 4-2-1: Allowable Uses, IDO pgs. 151-156.

The request is to change the subject site's zoning to R-MC [Residential – Manufactured Home Community Zone District, IDO 14-16-2-3(C)]. The purpose of the R-MC zone district is to accommodate manufactured home communities and to require those communities to incorporate high-quality planning and design. The site is already developed with manufactured homes. Allowable uses in the R-MC zone district are shown in Table 4-2-1, IDO pgs. 151-156.

The R-MC zone is generally consistent with the goals of an Area of Consistency and the subject site is already being used as a manufactured home community.

The R-MC zone will stabilize the existing land uses in the area by making the current use conforming to the IDO. It will also provide more transparency by making the zone map more accurate so that it matches the existing use of the land.

***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Consistency. In Areas of Consistency, the focus is on protecting and enhancing the character of single-family neighborhoods and green spaces. Revitalization and developments that do occur should be at scale and density (or intensity) similar to the immediately surrounding development in order to reinforce the existing character of established neighborhoods.

Goals and policies cited by the Applicant are listed below. Staff analysis follows in bold italics.

Chapter 4: Community Identity

Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

***The request furthers Goal 4.1 because the R-MC zone district will bring the existing nonconforming use into compliance with the IDO and help preserve and protect this longstanding community from potentially harmful uses and match the surrounding residential character of the area.***

Policy 4.1.1 Distinct Communities – Encourage quality development that is consistent with the distinct character of communities.

***The requested R-MC zone would protect the cohesiveness of the neighborhood by bringing the subject site's zoning into compliance with its land use, thus permitting the existing character to continue. The request furthers Policy 4.1.1 – Distinct Communities.***

Policy 4.1.2 - Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

***The request furthers implementation of the ABC Comp Plan, as amended, Policy 4.1.2 by protecting the identity and cohesiveness of the neighborhood. The R-MC zone district standards will ensure the appropriate scale and design of development on this site. The subject site is located in a neighborhood that has had manufactured home communities since its original development. The lot abuts a manufactured home community on one side and faces another one across the street to the north. The request would establish a zone district that better matches the existing land use. The requested R-MC zone district is compatible with surrounding land uses and zoning patterns, which would act to reinforce and strengthen established character and protect identity and cohesiveness in developed neighborhoods.***



Policy 4.1.4 Neighborhoods – Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

*This request helps preserve and protect an existing manufactured home community and residential neighborhood because it aligns the zoning with the existing land use. This change will allow the existing use to remain in place and facilitate improvements should the applicant desire by eliminating the nonconforming use status. The request furthers Policy 4.1.4 – Neighborhoods.*

## Chapter 5: Land Use

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

*The request contributes to efficient development patterns because it allows for and reinforces the same type of housing found on the site as well as north and west of the subject site. By adding more residential development options and bringing the existing use and zoning into compliance with each other, the request helps preserve an existing community and allows for maintenance, improvement, or expansion on this infill site. Allowing this long-standing development to remain on site would ensure the property maximizes the utility of existing infrastructure and public facilities for residential uses. Goal 5.3 is furthered by the request.*

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

*The subject site is within an Area of Consistency. The request furthers Goal 5.6 because aligning the zoning with the existing residential land use ensures the development in and near Areas of Consistency reinforces the character and intensity of the surrounding area, which is mostly residential with only smaller-scale commercial options.*

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

*The request furthers policy 5.6.3 – Areas of Consistency because the subject site and the surrounding areas are located in an Area of Consistency, where the Comprehensive Plan intends and encourages support of zone changes in predominantly single-family residential neighborhoods that help align the appropriate zone with existing land uses. It seeks to ensure that development will reinforce the scale, intensity, and setbacks of the immediately surrounding context. The requested R-MC zoning is consistent with the zoning of properties to the north and west of the subject site and bring the subject site into alignment with the existing use.*

Sub-policy 5.6.3.d – In areas with predominantly single-family residential uses, support zone changes that help to align the appropriate zone with existing land uses.

*The requested R-MC zone matches densities in the area and the existing use of the subject site, and would align the appropriate zone with the existing land use. The request furthers sub policy 5.6.3d.*

Goal 5.7 - Implementation Processes: Employ procedures and processes to effectively and equitably implement the Comp Plan.

*The applicant cites this goal in their justification letter, but all Zoning Map Amendment requests and other development applications utilize the processes in the Integrated Development Ordinance. While Staff agrees that the request furthers Goals and policies of the Comprehensive Plan, as demonstrated by the applicant's justification letter and the analysis in this staff report, based upon a review of the policies associated with this Goal it appears it is intended more to direct staff to employ public engagement procedures, update codes and regulations, and prioritize public investments and other efficiencies in the development process rather than applying the adopted procedures on a case-by-case basis for projects. This Goal is not applicable.*

#### Chapter 9: Housing

Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

*The request furthers Goal 9.1 because aligning the zoning with the existing land use will ensure the continued operation of the manufactured home community, which provides an additional housing option to residents. Additionally, manufactured homes are a more affordable housing option, which helps meet current and future housing needs at a variety of price levels to ensure more balanced housing options in the North Valley and Central Albuquerque CPA.*

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

*The request would support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households by maintaining a sufficient supply and range of housing types. The request furthers Policy 9.1.1 – Housing Options.*

Policy 9.2.1 - Affordability: Provide for mixed-income neighborhoods by encouraging high quality, affordable and mixed income housing options throughout the area.

*The request furthers implementation of the ABC Comp Plan, as amended, Policy 9.2.1, Affordability, by allowing the retention of the existing manufactured home dwellings on the subject site, and maintaining options for mixed-income neighborhoods. The remaining R-A zoning on this block and adjacent blocks provide opportunities for single-family residential development, which is a lower density land use that can serve a variety of incomes. This block*



*would remain stable with its present manufactured home community zoning for lots that are developed with that land use; this is an affordable option for single-family home ownership. And blocks to the northwest provide townhouse housing, which provide a moderately affordable housing type for this neighborhood. The range of dwelling types in this area provide options for households of multiple income levels to live in this area. This request would provide opportunities for this mixed-income neighborhood to maintain high-quality, affordable, and mixed-income housing options in the Near North Valley area.*

***Integrated Development Ordinance (IDO) 14-16-6-7(G)(3)-Review and Decision Criteria for Zone Map Amendments***

Requirements

The review and decision criteria outline policies and requirements for deciding zone change applications. The applicant must provide sound justification for the proposed change and demonstrate that several tests have been met. The burden is on the applicant to show why a change should be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: 1) there was an error when the existing zone district was applied to the property; or 2) there has been a significant change in neighborhood or community conditions affecting the site; or 3) a different zone district is more advantageous to the community as articulated by the Comprehensive Plan or other, applicable City plans.

Justification & Analysis

The Zone Map Amendment justification letter analyzed here was received on August 30, 2023. The subject site is currently zoned R-A (Rural and Agricultural). The applicant would like to change the subject site's zoning to R-MC (Residential – Manufactured Home Community Zone District) in order to bring the site into alignment with its current land use. The subject site is in an Area of Consistency.

The applicant believes that the proposed zoning map amendment (zone change) meets the zone change decision criteria in IDO 14-16-6-7(G)(3) as elaborated in the justification letter. The citation is from the IDO. The applicant's arguments are in *italics*. Staff analysis follows in plain text.

- A. The proposed zone is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

Applicable Citations: Goal 4.1 Community Identity, Policy 4.1.1 Distinct Communities, Policy 4.1.2 Identity and Design, Policy 4.1.4 Neighborhoods, Goal 5.3 Efficient Development Patterns, Goal 5.6 City Development Areas, Policy 5.6.3 Areas of Consistency, Sub-policy 5.6.3(d), Goal 9.1 Housing Supply, Policy 9.1.1 Housing Options, and Policy 9.2.1 Affordability

Non-applicable Citations: Goal 5.7 Implementation Processes

Staff: The applicant's policy-based response adequately demonstrates that the request furthers a preponderance of applicable goals and policies regarding community character, land use, and

housing and does not present any significant conflicts with the Comprehensive Plan. Based upon the applicant's responses, the request clearly reinforces and strengthens the City's health, safety, and morals and general welfare, as well as the character of the area surrounding the subject site. The response to Criterion A is sufficient.

- B. If the subject site is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.
  2. There has been a significant change in neighborhood or community conditions affecting the site.
  3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

*This request will clearly reinforce or strengthen the established character of the surrounding Area of Consistency by matching the zoning with the land use. This use is consistent with the established character of the area, as demonstrated in the land use map and the aerial imagery of the neighborhood, which shows multiple manufactured home communities in the near vicinity thus establishing the characteristic of a neighborhood with both single-family dwellings on one lot and multiple single-family dwellings on a single larger lot.*

*The requested zone map amendment also balances between providing affordable housing vs. the City's need per IDO 5-8(C) to "reduce or eliminate over time any nonconformity." The requested zone change request provides continuity of affordable housing by allowing the existing manufactured home community, which is a form of naturally affordable housing, to remain on the property for the life of the use and not expire at the end of the IDO's time period while not adversely impacting the surrounding area because the use would allow the existing manufactured home use to remain as it is developed, which would not increase any impact or cause harm to any nearby property. There have been no studies or research that demonstrates manufactured home communities adversely impact surrounding area. Rather, they enhance the community when well maintained and well managed by providing a slightly higher density of single-family dwelling that are affordable because the home owners do not have to pay for the price of the land, rather, they are able to rent spaces. This works in a similar fashion to land trusts, which have been demonstrated to be an effective affordable housing strategy.*

*The subject site is located within an "Area of Consistency" as designated by the Comprehensive Plan. This designation protects this area by ensuring uses are compatible in scale and character. The request clearly implements the intent of the Area of Consistency by proposing R-MC, a zone district that is specifically designed for its present use of multiple manufactured home dwellings on one property. If approved, this zone change would better align the use and the zoning, which is consistent with the intent of the ABC Comp Plan and the IDO. This promotes stability, and reinforces*

*the established character of the surrounding Area of Consistency. The proposed use is more advantageous to the community as it implements numerous Community Identity, Land Use, and Housing goals and policies of the Comp Plan. The requested zone also aligns with the existing character and scale of development on this block and in the broader Near North Valley area.*

Staff: The subject site is located wholly in an Area of Consistency. A zone change from R-A to R-MC will reinforce and strengthen the established character of the subject site and surrounding parcels. A different zone district (R-MC) would be more advantageous to the community than the existing zone districts. The request would further Comprehensive Plan goals and policies relating to community character, land use, and housing. The response to Criterion B is sufficient.

- C. If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets any of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.
  2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
  3. A different zone district is more advantageous to the community as articulated by the Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Staff: The subject site is located wholly in an Area of Consistency, so this Criterion does not apply.

- D. The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

*The requested zoning will not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community. Rather, the requested zone district would reduce the number of potentially impactful uses at this location. The present manufactured home community land use is not allowed in the R-A zone district, while it is permissive in the requested R-MC zone district. This is the only land use that is allowed permissively in the requested zone but not allowed in the current zone. Because this is an existing land use that likely predated zoning in the City, and it is a complementary use to provide the full range of housing options and levels of affordability in the area, this use will not be harmful to the adjacent property, the neighborhood, or the community. The following list summarizes uses allowed 1) permissively in R-MC but not the R-A zone, 2) uses allowed in both R-MC and R-A, and 3) uses allowed in the R-A zone district but not allowed in the R-MC zone district.*

*Permissive Uses within R-MC vs. R-A Zone Districts*

1. *R-MC Zone Only: The R-MC allows one use that is not allowed in the R-A zone, which is Dwelling, mobile home. This is because some manufactured home communities still have mobile homes, and this is the only zone appropriate for that use.*
2. *Both Zones: Manufactured homes are considered to be Dwelling, single-family detached, which*

is a use allowed in both zones. The R-MC zone allows more than one manufactured home per lot. There are several uses in the category of Telecommunications, Towers, and Utilities that are permissive in both zones.

3. R-A Zone Only: The R-A zone allows multiple additional uses that are not allowed in the R-MC zone. These include cluster development, community and residential facility, small, parks and open space, religious institution, community garden, equestrian facility, and general agriculture. These agricultural uses are not appropriate to be found in Manufactured Home Communities.

*Excerpt of Table 4-2-1: Allowable Uses that shows only permissive uses in R-MC and R-A zones.*

Use	R-MC	R-A
Dwelling, single-family detached	P	P
Dwelling, mobile home	P	
Dwelling, cluster development		P
Dwelling, cottage development	P	P
Community residential facility, small		P
Parks and open space		P
Religious institution		P
Community garden	P	P
Equestrian facility		P
General agriculture		P
Nursery		P
Residential community amenity, indoor	P	P
Residential community amenity, outdoor	P	P
Drainage facility	P	P
Electric utility	P	P
Major utility, other	P	P
Solar energy generation	P	P

Further, Use-specific Standards are another tool built into the Uses portion of the IDO that serve to protect adjacent properties from potential adverse impacts that some uses may have. Use-specific Standards are written with the intent to mitigate any potential incompatibilities between land uses allowed in different zones, and are often triggered by proximity to different zone districts or land uses. Typically Use-specific standards are crafted to protect the residential use from nearby non-residential uses. In this case, there is an existing single-family residential use (manufactured home community) that is within a neighborhood of other existing manufactured home communities and also single-family residential dwellings built on their own lot. The R-MC has Use-specific standards for Dwelling, Mobile Home (4-3(B)(2)) that would mitigate any potential adverse impacts on the community. These include applying the provisions of Subsection 14-16-2-3(C) (Residential – Manufactured Home Community Zone District (R-MC)) to the dwelling type and also requiring notice to the resident if the land owner intends to change the land use or zone. This protects the affordable housing residents. I must note that this manufactured home community does not have any mobile homes on the site, as far as I understand. However, if there were mobile homes that I am unaware of, these use specific standards would apply and already apply to that use via Sub section



*14-16-4-3(B)(2)(b). These Use-specific Standards protect the residents and potential residents of this property; they do not have any bearing or impact on the adjacent community.*

*If approved, the additional standards and requirements of the R-MC zone found in IDO Section 14-16-2-3(C) will apply to the property. These standards include minimum space size, setbacks, density, etc., that will actually protect the character of the area and establish setbacks from adjacent properties. Under the R-A zoning, only the R-A setbacks and heights apply, which apply to the lot as a whole, not the individual spaces within a lot that is zoned R-MC.*

*Finally, the Nonconformities section of the IDO also provides protections against potential adverse impacts of the R-MC zone on the abutting R-A lots, neighborhood and community – this is found in Section 6-8 and 6-8(C)(7), specifically. This section of the IDO explains that mobile home dwellings must have skirting on the dwelling and be served by a paved street. Because we are not aware of any mobile home dwellings in this manufactured home community, this section of the IDO is of limited relevance as pertains to the existing use of the property. The overall Nonconformities section regulations related to Authority to Continue, Repair and Maintenance, Expansion of Nonconforming Use, and Change in Nonconforming use protect the existing development if this zone change were to be denied. However, without the appropriate zoning, the property owner will have reduced capacity to borrow against the property (as a nonconforming use) for repairs and maintenance or to sell the property to another owner who wants to continue the same use. The risk of this is that the property could be prevented from investments in the quality of the development, and also put it at risk for losing the existing affordable, manufactured home land use and instead being sold as a large lot for a single-family dwelling. If the R-A zone remains on this lot, a new owner could evict the current tenants, and only be required to notify any mobile home dwelling tenants pursuant to the rules and requirements in 14-16-2-3(C)(3)(g). Because this property does not have the R-MC zoning, the residents who live in manufactured home dwellings are not required to receive to the same notification. This is inconsistent and conflicts with the intent of these notification requirements and the intent of the IDO to maintain a range of housing types. The intent of the owner is to maintain this use, and to grant the residents of this community the increased protections of being in a R-MC zone bestow. If the lot remains R-A, the Standard in IDO Subsection 14-16-2-3(C)(3)(g) will not apply to the property:*

**2-3(C)(3)(g)** In cases where the owner of a manufactured home community intends to change the use or rezone the property to a zone district other than R-MC, which will result in expiration or termination of resident occupancy, the owner shall mail each resident written notice of their intent not less than 18 months prior to the rezoning of the property.

*This would conflict with the intent of the Comp Plan, as amended, and the intent of the IDO, and the intent of Housing Forward, a City plan to increase the number of housing units in the city. There is no benefit to the neighborhood, community, or city that would be gained by retaining the R-1 zoning for this lot.*

**Staff:** The applicant is requesting a change to R-MC which will make the current manufactured home community use of the property conforming. The proposed Residential – Manufactured Home

Community zone district is limited to low-density residential land uses and a few accessory uses that are compatible with a neighborhood, such as residential amenities, day care facilities, and small retail. The only permissive use in the R-MC zone district that is not also permissive in the existing and surrounding R-A zone district is Dwelling, mobile home. As an existing use on the subject site, as well as on neighboring properties, this use is not considered harmful to adjacent property, the neighborhood, or the community. Further Use-specific Standards will control future changes to the subject site and the manufactured home use, thus minimizing any potential harmful impacts. The response to Criterion D is sufficient.

- E. The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:
1. Have adequate capacity to serve the development made possible by the change of zone.
  2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
  3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
  4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City- approved Development Agreement between the City and the applicant.

*The City's existing infrastructure and public improvements will adequately serve the residential manufactured home use allowed under the proposed R-MC zone district. The subject site is already developed with 28 manufactured home dwellings. According to the R-MC zone district standards, and if you set aside 10% of the lot for circulation, up to 39 dwellings could occupy this site (minimum lot size is 2,500 SF per dwelling). This property has the capacity to increase by up to 11 additional dwelling units. If more dwellings are added in the future, the minor increase in density would not impact the capacity of existing infrastructure and public improvements. Therefore, criterion 1 of this element is satisfied by existing infrastructure and public improvements.*

Staff: The City's existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the zone change (Criterion 1). The response to Criterion E is sufficient.

- F. The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

*The subject site is not located on a major street; it is located on a road identified as a local road in the City of Albuquerque's GIS street database and as shown in the Advanced Map Viewer. It is also not identified as a major street in the Mid-Region Council of Governments Long Range Roadway System Map, which means it is classified as a local street (the default for streets not identified in the classification map). Because the property is not located on a major street, the justification for this request is not based on the property's location on a major street.*

Staff: The justification is not based on the property's location on a major street. Campbell Road is classified as a local street. The response to Criterion F is sufficient.

- G. The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

*The justification for this request is not based on the cost of land or economic considerations. The zone change request is intended to address nonconforming uses at this site, and allow the property owner to continue to use their property in a way that is consistent with other manufactured home communities and adjacent properties. The request's consistency with adopted goals and policies is the primary justification for the zone map amendment request.*

Staff: The justification for the R-MC zone is not based completely or predominantly on the cost of land or economic considerations. Rather, the applicant has demonstrated that the request is to bring the property's zoning into alignment with its use and is more advantageous to the community. The response to Criterion G is sufficient.

- H. The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:
1. The subject property is different from surrounding land because it can function as a transition between adjacent zone districts.
  2. The subject property is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
  3. The nature of structures already on the subject property makes it unsuitable for the uses allowed in any adjacent zone district.

*This Zone Map Amendment request also clearly facilitates implementation of the ABC Comp Plan, as demonstrated in the analysis of the Comp Plan Goals and policies in this justification letter; the request furthers the preponderance of applicable goals and policies. In this way, the request helps to implement the Comp Plan. This spot zone is also justified based on Criterion #3.*

*This request would apply a zone district different from surrounding zone districts to one small area or one premises, i.e. create a "spot zone." This spot zone is justified based on Criterion #3 because the nature of the structures already on the subject property make the site unsuitable for the uses allowed in its present R-A zone district. This property contains a mobile home park that was established legally in 1951 but is not allowed in the current R-A zone, so it is nonconforming. R-MC is the only zone in the IDO that allows mobile home parks, so that is an appropriate zoning district for this property. If this zone map amendment is not approved, the consequence is that it will have to terminate operation in 25 years, according to the nonconforming regulations, IDO Section 6-8(C)(7)(b), which state: "A nonconforming use of land and incidental structures consisting of a mobile home development may remain for the life of the structures, which shall never be more than 30 years [after adoption of the IDO in 2018]" We do not believe that would be*

*in the best interests of the residents, the property owner, and the larger community which needs a variety in housing types and levels of affordability.*

Staff: The request creates a spot zone because there is no other R-MC zone district applicable to any other surrounding property. The request to apply the R-MC zone to the subject site is only for one lot; however, the applicant has demonstrated that the request clearly facilitates realization of the Comprehensive Plan through their policy analysis and the nature of the structures already on the property make it unsuitable for the uses allowed in any adjacent zone district. As described, the site contains a mobile home park that predates both the IDO and the establishment of zoning in Albuquerque. These homes are only allowed in the R-MC zone district and are not permitted in any other zone. Therefore, the requested spot zone is appropriate. The response to Criterion H is sufficient.

### **III. AGENCY & NEIGHBORHOOD CONCERNS**

#### ***Reviewing Agencies***

City departments and other interested agencies reviewed this application. Few comments were received, and those received were generally informational in nature.

#### ***Neighborhood/Public***

The Alvarado Gardens and Thomas Village Neighborhood Associations as well as the North Valley Coalition were notified as required. Property owners within 100 feet of the subject site were notified as required. As of this writing, Staff has not received any comments in support or opposition to the request.

### **IV. CONCLUSION**

The request is for a Zoning Map Amendment (zone change) from R-A to R-MC for approximately 2.5 acres. The applicant wants to change the subject site's zoning to R-MC to allow multiple manufactured home dwellings to remain on this one lot as a manufactured home community, in perpetuity. Approval of this request would further stabilize the existing land uses in the area by making the current use conforming to the IDO. The subject site is in an Area of Consistency.

The Applicant has adequately justified the zoning map amendment based upon the proposed zoning being more advantageous to the community than the current zoning, and because it would further a preponderance of applicable goals and policies in the Comprehensive Plan that strengthens and reinforces the surrounding Area of Consistency.

As of this writing, Staff has not received any comments in support or opposition to the request.

Staff recommends approval.



***FINDINGS – PR-2023-009067, RZ-2023-00025, September 21, 2023, - Zoning Map Amendment (Zone Change).***

1. The request is for a zoning map amendment (zone change) for an approximately 2.5-acre site described as Tract 11, Alvarado Gardens Unit 2 (the “subject site”) located at 2726 Campbell Rd. NW, between Calle Tranquilo NW and Trellis Dr. NW, west of Rio Grande Boulevard.
2. The subject site is zoned R-A and is developed with 28 manufactured home dwellings and an assortment of other office and storage buildings.
3. The applicant is requesting a zone change to R-MC (Residential – Manufactured Home Community Zone District), which will bring the non-conforming use of the subject site, currently a manufactured home park, into compliance with its zoning.
4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.

The subject site is in an Area of Consistency as designated by the Comprehensive Plan and is in the Near North Valley Community Planning Area (CPA). The subject site is not within a Comprehensive Plan Center or Corridor.

5. The request furthers the following Goal and Policies from Chapter 4: Community Identity:
  - A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

The request furthers Goal 4.1 because the R-MC zone district will bring the existing nonconforming use into compliance with the IDO and help preserve and protect this longstanding community from potentially harmful uses and match the surrounding residential character of the area.

- B. Policy 4.1.1 Distinct Communities – Encourage quality development that is consistent with the distinct character of communities.

The requested R-MC zone would protect the cohesiveness of the neighborhood by bringing the subject site’s zoning into compliance with its land use, thus permitting the existing character to continue. The request furthers Policy 4.1.1 – Distinct Communities.

- C. Policy 4.1.2 - Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request furthers implementation of the ABC Comp Plan, as amended, Policy 4.1.2 by protecting the identity and cohesiveness of the neighborhood. The R-MC zone district standards will ensure the appropriate scale and design of development on this site. The subject site is

located in a neighborhood that has had manufactured home communities since its original development. The lot abuts a manufactured home community on one side and faces another one across the street to the north. The request would establish a zone district that better matches the existing land use. The requested R-MC zone district is compatible with surrounding land uses and zoning patterns, which would act to reinforce and strengthen established character and protect identity and cohesiveness in developed neighborhoods.

- D. Policy 4.1.4 Neighborhoods – Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

This request helps preserve and protect an existing manufactured home community and residential neighborhood because it aligns the zoning with the existing land use. This change will allow the existing use to remain in place and facilitate improvements should the applicant desire by eliminating the nonconforming use status. The request furthers Policy 4.1.4 – Neighborhoods.

6. The request furthers the following Goals and Policies from Chapter 5: Land Use:

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request contributes to efficient development patterns because it allows for and reinforces the same type of housing found on the site as well as north and west of the subject site. By adding more residential development options and bringing the existing use and zoning into compliance with each other, the request helps preserve an existing community and allows for maintenance, improvement, or expansion on this infill site. Allowing this long-standing development to remain on site would ensure the property maximizes the utility of existing infrastructure and public facilities for residential uses. Goal 5.3 is furthered by the request.

- B. Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is within an Area of Consistency. The request furthers Goal 5.6 because aligning the zoning with the existing residential land use ensures the development in and near Areas of Consistency reinforces the character and intensity of the surrounding area, which is mostly residential with only smaller-scale commercial options.

- C. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request furthers policy 5.6.3 – Areas of Consistency because the subject site and the surrounding areas are located in an Area of Consistency, where the Comprehensive Plan intends and encourages support of zone changes in predominantly single-family residential neighborhoods that help align the appropriate zone with existing land uses. It seeks to ensure that

development will reinforce the scale, intensity, and setbacks of the immediately surrounding context. The requested R-MC zoning is consistent with the zoning of properties to the north and west of the subject site and bring the subject site into alignment with the existing use.

- D. Sub-policy 5.6.3.d – In areas with predominantly single-family residential uses, support zone changes that help to align the appropriate zone with existing land uses.

The requested R-MC zone matches densities in the area and the existing use of the subject site, and would align the appropriate zone with the existing land use. The request furthers sub policy 5.6.3d.

7. The request furthers the following Goal and Policy from Chapter 9: Housing:

- A. Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

The request furthers Goal 9.1 because aligning the zoning with the existing land use will ensure the continued operation of the manufactured home community, which provides an additional housing option to residents. Additionally, manufactured homes are a more affordable housing option, which helps meet current and future housing needs at a variety of price levels to ensure more balanced housing options in the North Valley and Central Albuquerque CPA.

- B. Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request would support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households by maintaining a sufficient supply and range of housing types. The request furthers Policy 9.1.1 – Housing Options.

- C. Policy 9.2.1 Affordability: Provide for mixed-income neighborhoods by encouraging high quality, affordable and mixed income housing options throughout the area.

The request furthers implementation of the ABC Comp Plan, as amended, Policy 9.2.1, Affordability, by allowing the retention of the existing manufactured home dwellings on the subject site, and maintaining options for mixed-income neighborhoods. The remaining R-A zoning on this block and adjacent blocks provide opportunities for single-family residential development, which is a lower density land use that can serve a variety of incomes. This block would remain stable with its present manufactured home community zoning for lots that are developed with that land use; this is an affordable option for single-family home ownership. And blocks to the northwest provide townhouse housing, which provide a moderately affordable housing type for this neighborhood. The range of dwelling types in this area provide options for households of multiple income levels to live in this area. This request would provide opportunities for this mixed-income neighborhood to maintain high-quality, affordable, and mixed-income housing options in the Near North Valley area.

8. The Applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3) – Review and Decision Criteria for Zoning Map Amendments, as follows:
- A. Criterion A: The applicant’s policy-based response adequately demonstrates that the request furthers a preponderance of applicable goals and policies regarding community character, land use, and housing and does not present any significant conflicts with the Comprehensive Plan. Based upon the applicant’s responses, the request clearly reinforces and strengthens the City’s health, safety, and morals and general welfare, as well as the character of the area surrounding the subject site.
  - B. Criterion B: The subject site is located wholly in an Area of Consistency. A zone change from R-A to R-MC will reinforce and strengthen the established character of the subject site and surrounding parcels. A different zone district (R-MC) would be more advantageous to the community than the existing zone districts. The request would further Comprehensive Plan goals and policies relating to community character, land use, and housing.
  - C. Criterion C: The subject site is located wholly in an Area of Consistency, so this Criterion does not apply.
  - D. Criterion D: The applicant is requesting a change to R-MC which will make the current manufactured home community use of the property conforming. The proposed Residential – Manufactured Home Community zone district is limited to low-density residential land uses and a few accessory uses that are compatible with a neighborhood, such as residential amenities, day care facilities, and small retail. The only permissive use in the R-MC zone district that is not also permissive in the existing and surrounding R-A zone district is Dwelling, mobile home. As an existing use on the subject site, as well as on neighboring properties, this use is not considered harmful to adjacent property, the neighborhood, or the community. Further Use-specific Standards will control future changes to the subject site and the manufactured home use, thus minimizing any potential harmful impacts.
  - E. Criterion E: The City’s existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the zone change (Criterion 1).
  - F. Criterion F: The justification is not based on the property’s location on a major street. Campbell Road is classified as a local street.
  - G. Criterion G: The justification for the R-MC zone is not based completely or predominantly on the cost of land or economic considerations. Rather, the applicant has demonstrated that the request is to bring the property’s zoning into alignment with its use and is more advantageous to the community.
  - H. Criterion H: The request creates a spot zone because there is no other R-MC zone district applicable to any other surrounding property. The request to apply the R-MC zone to the subject site is only for one lot; however, the applicant has demonstrated that the request clearly facilitates



realization of the Comprehensive Plan through their policy analysis and the nature of the structures already on the property make it unsuitable for the uses allowed in any adjacent zone district. As described, the site contains a mobile home park that predates both the IDO and the establishment of zoning in Albuquerque. These homes are only allowed in the R-MC zone district and are not permitted in any other zone. Therefore, the requested spot zone is appropriate.

9. The applicant's policy analysis adequately demonstrates that the request furthers a preponderance of applicable Goals and policies in the Comprehensive Plan and does not significantly conflict with them. Based on this demonstration, the proposed zone category would generally be more advantageous to the community than the current zoning.
10. The affected neighborhood organizations are Thomas Village, Alvarado Gardens, and North Valley Coalition, which were notified of this application. Property owners within 100 feet of the subject site were also notified as required.
11. A neighborhood meeting was not requested by any of the notified neighborhood associations.
12. As of this writing, Staff has not received any comments in support or opposition to the request.

***RECOMMENDATION – PR-2023-009067, RZ-2023-00025, September 21, 2023.***

**APPROVAL of PR-2023-009067, Case # RZ-2023-00025, a Zoning Map Amendment from R-A to R-MC for an approximately 2.5-acre site legally described as Tract 11, Alvarado Gardens Unit 2 located at 2726 Campbell Road NW, between Calle Tranquilo NW and Trellis Drive NW, based on the preceding Findings.**

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*Lorena Patten-Quintana*

**Lorena Patten-Quintana  
ZHE Senior Planner**

*Michael Vos*

**Michael Vos, AICP  
Principal Planner**

Notice of Decision cc list:

cc: ABQ Land Use Consulting LLC, Carl Garcia, carl@abqlanduse.com  
Rosalie and Andrew Green, crmgabq@yahoo.com  
Rondall Jones, Thomas Village NA  
Richard Meyners, Thomas Village NA  
Diana Hunt, Alvarado Gardens NA  
Michael Dexter, Alvarado Gardens NA  
Peggy Norton, North Valley Coalition  
Doyle Kimbrough, North Valley Coalition

## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Enforcement***

No comments were provided.

#### ***Long Range Planning***

No comments were provided.

### ***CITY ENGINEER***

#### ***Transportation Development Review Services***

No comments were provided.

#### ***Hydrology Development***

No comments were provided.

#### ***New Mexico Department of Transportation (NMDOT)***

No comments were provided.

#### ***Department of Municipal Development (DMD)***

No comments were provided.

#### ***Traffic Engineering Operations (Department of Municipal Development)***

No comments were provided.

#### ***Street Maintenance (Department of Municipal Development)***

No comments were provided.

#### ***ABC WATER UTILITY AUTHORITY (ABCWUA)***

No adverse comment.

For informational purposes only:

- a. Existing mobile home park currently has an active account for water and wastewater service from ABCWUA.
- b. Future redevelopment and new requests seeking water and sanitary sewer service from ABCWUA on this lot shall require an Availability Statement.

#### ***SOLID WASTE MANAGEMENT DEPARTMENT***

No comment provided.

#### ***ABQ RIDE***

No comment.

**ENVIRONMENTAL HEALTH DEPARTMENT**

**Air Quality Division**

No comments were provided.

**Environmental Services Division**

No comments were provided.

**Parks and Recreation**

No comments were provided.

**Planning and Design** No comments were provided.

**Open Space Division** No comments were provided.

**City Forester** No comments were provided.

**Police Department/Planning/Crime Prevention Through Environmental Design (CPTED)**

No comments were provided.

**FIRE DEPARTMENT/Planning**

No comments were provided.

**Comments from Other Agencies**

**ALBUQUERQUE PUBLIC SCHOOLS**

APS Comments: Existing residential use at this location continues to impact Griegos Elementary School, Garfield Middle School, and Valley High School.

- a. Residential Units: 36
- b. Est. Elementary School Students: 10
- c. Est. Middle School Students: 4
- d. Est. High School Students: 4
- e. Est. Total # of Students from Project: 18

School Capacity

<b>School</b>	<b>2022-2023 (40<sup>th</sup> Day) Enrollment</b>	<b>Facility Capacity</b>	<b>Space Available</b>
<b>Griegos Elementary School</b>	<b>240</b>	<b>338</b>	<b>98</b>
<b>Garfield Middle School</b>	<b>315</b>	<b>666</b>	<b>351</b>
<b>Valley High School</b>	<b>1,040</b>	<b>1,869</b>	<b>829</b>

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long-term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short-term solution)
  - Schedule changes
    - Double sessions
    - Multi-track year-round
  - Other
    - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short-term solution)
  - Boundary Adjustments/Busing
  - Grade reconfiguration
- Combination of the above strategies

**All Planned additions to existing educational facilities are contingent upon taxpayer approval.**

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)***

No adverse comments.

***COUNTY OF BERNALILLO***

No comments were provided.

***PLANNING AND DEVELOPMENT SERVICES***

No comments were provided.

***MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)***

No adverse comments.

***BERNALILLO COUNTY PUBLIC WORKS/TRANSPORTATION PLANNING***

No comments were provided.

***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)***

No comments were provided.

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

No comments were provided.

***PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)***

There are PNM facilities and/or easements along the Campbell Rd frontage and both the east and west sides of the site. It is the applicant's obligation to determine if existing utility easements or rights of way are located on or adjacent to the property and to abide by any conditions or terms of those easements. Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM. Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat. Typical electric utility easement widths vary depending on the type of facility. On site transformers should have a five-foot clear area on the sides and rear and ten feet in front to allow for access and maintenance. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.





**Figure 1:** Front of the subject site viewed from Campbell Road (provided by Agent).

**Figure 2:** Mobile home within the subject site on the west side of the property (provided by Agent).



**Figure 3:** Looking north along east side drive on the subject site (provided by Agent).





**Figure 4:** View of mobile home on east side of the subject site near the rear (south end) of the property (provided by Agent).

**Figure 5:** View to the north across Campbell Road looking at adjacent property with similar a similar use.



**Figure 6:** View of abutting mobile home property to the west of the subject site.

## ZONING

Please refer to IDO Section 14-16-2-3(A) for the existing R-A Zone District and IDO Section 14-16-2-3(C) for the proposed R-MC Zone District.

## HISTORY



NOTICE OF PUBLIC HEARING  
ZONING HEARING EXAMINER  
CITY OF ALBUQUERQUE

Notice is hereby given that the Zoning Hearing Examiner, Roberto Albertorio, Esq., City of Albuquerque, will hold a public hearing in the Council/Commission Chambers, 2nd Level, City/County Government Center, One Civic Plaza, on Wednesday, September 23, 1992, beginning at 9:00 a.m. for the purpose of considering the following:

ZA-92-235 Raymond M. Geier requests a variance to allow a separation of less than 10 feet between a dwelling and an accessory building on Lot 11, Block 12, Country Club Addition, zoned R-1, and located at 803 Cedar NE (K-15).

ZA-92-236 Charles M. Powers requests a variance to allow reversion of an accessory structure (shed) within 10 feet of a dwelling and 5 feet from another accessory structure on Lots 11 and 12, Block 12, Country Club Addition, zoned SU-2/TH, and located at 1421 Orchard Place NW (J-14).

ZA-92-237 Edward and Susan Strain requests a conditional use to allow an 8 foot high fence in a setback area where height is limited to 5 feet high on Lot 2, Block 6, El Dorado Heights Addition, zoned R-1, and located at 4108 Tracy NE (J-22).

ZA-92-238 Raymond N. Lucero requests a conditional use to allow a carport in the front yard setback area on Lots 15 B, Block 6, Valley Garden South Replat A, zoned R-1, and located at 4512 Valley Garden SW (Q-11).

ZA-92-239 Richard W. Clayton requests a variance of 4 feet to allow an accessory structure 6 feet from a dwelling on Lot 4, Block 8, Lauenwood Addition, Unit 1 B, zoned R-D, and located at 7121 Redwood Drive NW (H-10).

ZA-92-240 Cathy Green requests a expansion of a non-conforming use for a 16' x 20' addition to a mobile home on Lot 11, Alvarado Gardens Addition, zoned RA-2, and located at 2728 Campbell Road NW (G-12).

ZA-92-242 Glen Effertz and Melinda Garcia requests a conditional use to allow an accessory living quarters on Lot 218, MCGD Map No. 39, zoned R-1, and located at 2918 Mountain Road NW (J-12).

ZA-92-243 The Central Delectessen, Barry Soprano, requests a variance of 3 parking spaces for an additional 12 seats added for an outdoor dining area on Lot 7, Block 2, Monte Vista Addition, zoned SU-2/CCR, and located at 3114 Central SE (K-10).

ZA-92-244 Laverne M. Broad requests a variance to allow a sign greater than 3 square feet in area on Lot 181, MRGCD Map No. 181, zoned H-1, and located at 2039 South Plaza NW (J-13).

ZA-92-245 American Furniture Company requests a conditional use to allow uses or activities in a tent of Block A-1-A1, American Square Addition, zoned C-2, and located at 353 Hanna NE (H-15).

ZA-92-246 American Furniture Company requests a conditional use to allow uses or activities in a tent on Lot 3, J.R. Nance Addition, zoned M and located at 801 Comanche NE (G-15).

ZA-92-247 Reginald Sawyer requests a variance to the size of non-wall sign on Tract 219, MRGCD Map 38, zoned H-1, and located at 415 Romero NW (J-13).

ZA-92-248 Victor A. Sisk requests a conditional use to allow a carport in the front yard setback area on Lot 2, Jaines Park Addition, zoned R-1, and located at 1332 Wylie NE (J-16).

ZA-92-249 Fred's Bread and Bag Aaron Hendon, requests a variance of 3 parking spaces for an additional 12 seats added for outdoor dining on Lot 8, Block 11, Monte Vista Addition, zoned SU-2/CCR, and located at 3009 Central NE (K-16).

ZA-92-250 Richard Fuller Himes requests a conditional use to allow an addition temporary real estate sales office on Lot 44, La Mesa Del Oeste Addition, zoned R-D, and located at 6 Tierra Vista NW (H-10).

ZA-92-251 La Hacienda Restaurant Theodore Garcia requests a variance to the number and size of signs to allow a free standing within 150 feet of the Plaza Real Tract B, MRGCD Map No. 38, U of Casa De Armp, zoned H-1, located at 302 San Felipe NW (J-14).

ZA-92-252 Steve Padilla requests a variance to the rear yard setback on Lot 1, Block 2, Bear Creek Village Unit 2, zoned R-3, and located at 6628 Casa Loma NE (E-14).

PLEASE NOTE: THIS IS A PUBLIC HEARING. REQUESTS WILL NOT BE HEARD UNTIL 1:30 P.M. INTERESTED PARTIES NEED NOT BE PRESENT AT THAT TIME.

STATE OF NEW MEXICO  
County of Bernalillo

SS

Thomas J. Smithson being duly sworn declares and says that he is National Advertising manager of the Albuquerque Journal, and that this newspaper is duly qualified to publish legal notices or advertisements within the meaning of Section 3, Chapter 167, Session Laws of 1937, and that payment therefore has been made or assessed as court costs; that the notice, a copy of which is hereto attached, was published in said paper in the regular daily edition,

for..... times, the first publication being on the..... day of....., 1992, and the subsequent consecutive publications on..... 1992.

*Bernadette Gutierrez*  
Sworn and subscribed to before me, a Notary Public in and for the County of Bernalillo and State of New Mexico, this..... day of....., 1992.  
PRICE..... \$93.97

Statement to come at end of month.

CLA-22-A (R-12/92)

ACCOUNT NUMBER..... C 80583

ZA-92-253 Michael C. McCormick requests a variance to the fence height requirements in the front and side yard setback areas and a variance to the front yard setback area for a covered patio on Lots 61B2A, 61B2B1C1, 61B2B1B, 61B2B101, Block 5, Edward Krough Addition, zoned R-1, and located at 1537 Meadow View NW (H-13).

ZA-92-254 Salvador Soils requests a conditional use for an accessory living quarters on Lot 3, Block 15, La Mesa Extension Addition, zoned R-1, and located at 405 Alcazar NE (K-19).

ZA-92-255 Dixie Cantrell requests a conditional use for a family day care home to provide care for more than 6 children on Lot 11, Block 16, Stardust Skies Addition, zoned R-1, and located at 7117 Delwood NE (G-19).

ZA-92-256 Gerard and Patricia Mohrman requests a conditional use for an accessory living quarters on Lot 12, Country Club Addition, zoned R-1, and located at 611 Cedar NE (J-15).

ZA-92-257 Judy Rolistin requests a conditional use for health care counseling on Lot 11, Block 8, Desert Terrace Addition Unit 2, zoned R-1, and located at 4600 Sherwood NE (F-18).

ZA-92-258 Alwoods requests a variance to the height and size restrictions for freestanding sign on Lot 8, Block 1, Alwoods Subdivision, zoned C-3, and located at 4701 San Mateo NE (F-17).

ZA-92-259 Mark D. and Jeanine Nelson requests a conditional use for a carport in the front yard setback area on Lot 1, Boulevard Acres, zoned RA-2, and located at 2524 Elfigo Road NW (F-13).

ZA-92-260 Double Rainbow, Barbetain, requests a variance of 8 parking spaces for an additional 18 seats added for outdoor dining on Lot 11, Block 49, Monte Vista Addition, zoned SU-2/CCR, and located at 3410 Central Avenue SE (K-16).

ZA-92-261 Patricia J. Ortiz requests a conditional use to allow an addition on a dwelling unit in a C-1 zone on Lot 138 A-3, Alp Addition, zoned C-1, and located at 1201 Aztec NW (G-14).

ZA-92-262 Samuel Weston, DBA: Cafe Zurich Inc. requests a variance of 1 parking spaces for an additional 4 seats added for outdoor dining area on Lot 13, Block 4, Monte Vista Addition, zoned SU-2/CCR, and located at 3613 Central Avenue NE (K-16).

ZA-92-263 Dallas Pottinger requests a conditional use for a solid wall or fence in the front yard setback area, 6 feet high on Lot 10, Block 4, Oxhar Heights, zoned R-1, and located at 1817 Glorietta NE (J-20).

ZA-92-264 Dolores Coleman requests a conditional use to allow a carport in the front yard setback area on Lot 25, Block 71, Bel Air Addition, zoned R-1, and located at 2922 La Veta NE (H-18).

ZA-92-265 Amy Harris requests a conditional use for a family day care home to provide care for more than 6 children on Lot 20, Block 1, zoned RA-2, and located at 5214 Garden Park NW (G-14).

ZA-92-266 Rio Bravo Brew Pub requests a conditional use for product processing (microbrewery) on Lots 15 and 16, Block 10, Original Town Site of Albuquerque, zoned SU-3, and located at 307 Central NW (K-14).

ZA-92-267 ERISA Mortgage Co., Inc. and First National Bank of Albuquerque requests a variance to the off street parking requirements on Lot A-2A, Block 2, Airport Industrial Park, zoned M-1, and located at 2445 Alamo SE (M-16).

ZA-92-268 J. Ann Redhead, dba: Rodeo Prop. requests a variance to the landscaping requirements on Tract 4, MRGCD Map No. 39, zoned C-2, and located at 4430 Central SW (K-12).

ZA-92-269 Joe Sanchez requests a conditional use to allow a carport in the front yard setback area on Lot 10, Block 6, Ridge Park Addition, zoned R-1, and located at 1412 Quinoy NE (J-17).

ZA-92-270 Maisha Gurule requests a conditional use to allow a carport in the front yard setback area on Lot 3, Block 68, Bel-Air Addition, zoned R-1, and located at 2825 McAfee NE (H-18).

ZA-92-271 Parcel Delivery of Albuquerque requests height variance of 11 feet 2 inches on Lot 3-A-2, Block 1, Sunport Park Addition, zoned I-P, and located at 1401 Fliteway SE (M-15).

ZA-92-272 Kevin Cuthyham requests a variance to the rear yard setback area on Tract 261, Rosemont Addition, zoned R-1, and located at 1135 10th Street NW (J-13).

ZA-92-273 Eloy R. Vera requests a conditional use to allow outdoor activity and display in a C-2 zone on Lot 1, Block 4, Zimmerman Addition, zoned C-2, and located at 4800 Central SW (K-12).

ZA-92-274 The Ives Perez requests a variance to the rear yard setback area of 10 feet and a variance to the side yard setback area of 2.5 feet on Lots 11 and 12, Block 5, John Baron Burg Park Addition, zoned R-1, and located at 916 20th Street NW (H-13).

ZA-92-275 Designer Homes, Inc. requests a variance of 2 feet for a driveway, a variance to allow 5 feet between structures and a variance to the lot size on Lot 4, Ladera Heights Addition, zoned R-1, and located at 6531 St. Joseph's NW (G-10).

ZA-92-276 Designer Homes, Inc. requests a variance of 2 feet for a driveway, a variance to allow 5 feet between structures and a variance to the lot size on Lot 5, Ladera Heights Addition, zoned R-1, and located at 6531 St. Joseph's NW (G-10).

ZA-92-277 Designer Homes, Inc. requests a variance of 3,000 square feet to the lot size requirements on Lot 5, Ladera Heights Addition, zoned R-1, and located at 6535 St. Joseph's NW (G-10).

ZA-92-278 Designer Homes, Inc. requests a variance of 3,000 square feet to the lot size requirements on Lot 7, Ladera Heights Addition, zoned R-1, and located at 6801 St. Joseph's NW (G-10).

ZA-92-279 Joan Tollerson requests a conditional use for a second kitchen within a house on Lot 68 A 3, MRGCD Map No. 34, North 12th Street Addition, zoned R-1, and located at 1411 Candelaria NW (G-13).

ZA-92-280 Kevin Moro requests a conditional use for product processing (finishing room) on Lots 4 and 5, Block 23, Albuquerque Highland Addition, zoned C-2, and located at 5401 Lomas NE (J-18).

ZA-92-281 Dr. Jorge Wermly requests a variance to the rear yard setback area for a pool house on Lot 14, Block 8, Altura Subdivision, zoned R-1, and located at 4417 Altura NE (J-17).

ZA-92-283 Richard Schaik requests a variance to lot size requirements on Lot 44 A, Block 1, Close Acres Addition, zoned R-1, and located at 2721 Sioux NE (H-13).

ZA-92-284 Michael A. Gonzales requests a conditional use to allow for storage of household goods on Lot 107-A-3, MRGCD Amended Map No. 40, zoned SU-2/CCR, and located at 910 4th Street SW (K-14).

ZA-92-285 Frederic G. Comeau requests a conditional use to allow dwelling unit in a C-2 zone on Lot 1, Block 24, Heights Reservoir Addition, zoned C-1, and located at 729 San Mateo NE (K-17).

Journal: September 9, 1992

1 pg.

Rest of file

Missing as

OF 6-13-2000

RA.

## APPLICANT INFORMATION





Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input checked="" type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Andrew S. Green		Phone: 505-239-4254
Address: 2726 Campbell Rd NW		Email: crmgabq@yahoo.com
City: Albuquerque	State: NM	Zip: 87104
Professional/Agent (if any): ABQ Land Use Consulting LLC - Carl Garcia		Phone: 505-306-6289
Address: 6300 Riverside Plaza Ln NW Ste 100		Email: carl@abqlanduse.com
City: Albuquerque	State: NM	Zip: 87120
Proprietary Interest in Site: Agent		List all owners: Andrew S. Green

### BRIEF DESCRIPTION OF REQUEST

Zone map amendment from R-A to R-MC for an existing mobile home park.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 11	Block: 0000	Unit: 2
Subdivision/Addition: Alvarado Gardens Unit 2	MRGCD Map No.:	UPC Code: 101206029618940720
Zone Atlas Page(s): G-12	Existing Zoning: R-A	Proposed Zoning: R-MC
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 2.5 Acres

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2726 Campbell Rd NW	Between: Calle Tranquillo NW	and: Garden Road Trailer Ct NW
--	------------------------------	--------------------------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Carl Garcia</i>	Date: 8/4/2023
Printed Name: Carl Garcia	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

## Form Z: Policy Decisions

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ **INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)**

- ☒ Interpreter Needed for Hearing? NO if yes, indicate language: \_\_\_\_\_
- ☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Traffic Impact Study (TIS) form (not required for Amendment to IDO Text)
- ☒ Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (not required for Amendment to IDO Text) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

☐ **ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN**

☐ **ADOPTION OR AMENDMENT OF FACILITY PLAN**

- \_\_\_ Plan, or part of plan, to be amended with changes noted and marked
- \_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable
- \_\_\_ Required notices with content per IDO Section 14-16-6-4(K)(6)
- \_\_\_ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- \_\_\_ Proof of emailed notice to affected Neighborhood Association representatives
- \_\_\_ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☐ **AMENDMENT TO IDO TEXT**

- \_\_\_ Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked
- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3)
- \_\_\_ Required notices with content per IDO Section 14-16-6-4(K)(6)
- \_\_\_ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- \_\_\_ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☒ **ZONING MAP AMENDMENT – EPC**

☐ **ZONING MAP AMENDMENT – COUNCIL**

- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☒ Sign Posting Agreement

☐ **ANNEXATION OF LAND**

- \_\_\_ Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*
- \_\_\_ Petition for Annexation Form and necessary attachments
- \_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)
- \_\_\_ Board of County Commissioners (BCC) Notice of Decision

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

Signature: Carl Garcia

Date: 8/4/2023

Printed Name: Carl Garcia

☐ Applicant or ☒ Agent

**FOR OFFICIAL USE ONLY**

Project Number:

Case Numbers

-

-

-

Staff Signature:

Date:



## PRE-APPLICATION REVIEW NOTES

PA#: 23-055 Notes Provided (date): 7-10-23

Site Address and/or Location: 2726 Campbell Rd. NW

Pre-application notes are for informational purposes only and are non-binding and do not constitute any type of approval and are not certificates of zoning. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

**Request Zone map amendment from R-A to R-MC for existing mobile home park.**

### Basic Site Information

Current Use(s): Dwelling-Mobile Home Size (acreage): 2.5

Zoning: R-A Overlay Zone(s): NA

### Comprehensive Plan Designations

Corridor(s): NA

Development Area: Consistency Near Major Public Open Space (MPOS)?: NA

Center: NA

### Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc.  
<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): NA. Existing use is Dwelling Mobile Home

Use Specific Standards: 4-3(B)(2)

Applicable Definition(s):

#### **Dwelling, Mobile Home**

A transportable structure that does not meet the construction safety standards of the federal Manufactured Housing Act of 1974. For the purposes of this IDO, this definition includes transportable structures built prior to June 15, 1976, when the Act went into effect.

#### **Zone District**

One of the zone districts established by this IDO and the boundaries of such zone districts shown on the Official Zoning Map. Zoning regulations include the Use Regulations, Development Standards, and Administration and Enforcement provisions of this IDO.

#### **Residential Zone District**

Any zone district categorized as Residential in Part 14-16-2 of this IDO. For the purposes of any Use-specific Standard in Section 14-16-4-3, this includes any lot zoned Planned Development (PD) with a Site Plan approved prior to the adoption of this IDO that allows one or more residential uses and that is developed on lots with residential development that make up at least 50 percent of the site plan area.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

## Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

## Process

Decision Type(s) (see IDO Table 6-1-1): 6-7(G) Policy Decision - Zoning Map Amendment

Specific Procedure(s)\*: 6-7(G)(2) pg 516

*\*Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: EPC Is this a PRT requirement? No

## Handouts Provided

- |  |   |  |   |
|--|---|--|---|
| <input checked="" type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Site Plan Amendments | <input type="checkbox"/> Site Plan- EPC  | <input type="checkbox"/> Site Plan- DHO |
| <input type="checkbox"/> Site Plan- Administrative       | <input type="checkbox"/> Variance-ZHE         | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision    |
| <input type="checkbox"/> Site History/Research           | <input type="checkbox"/> Transportation       | <input type="checkbox"/> Hydrology       | <input type="checkbox"/> Fire           |

*If you have additional questions after reviewing these notes, or would like to schedule a follow up call or meeting, please contact Staff at [planningprt@cabq.gov](mailto:planningprt@cabq.gov). Please include the PA# with your inquiry.*

## Additional Notes:

- The R-A zone designation was assigned upon the adoption of the IDO in 2018. Several voluntary zone change opportunities were offered to property owners during that time. The site was converted and became non-conforming. Nonconforming mobile home dwellings are not allowed after 5 years.
  - Please see IDO section **6-8(C)(7) Mobile Home Dwellings** for more information on nonconforming Mobile Home Dwellings (IDO pg. 526).
- A zone change to R-MC would create a spot zone, but would remedy a nonconforming use on the subject site. Please see Review and Decision Criteria for a ZMA.
- The applicant offered to reach out to the adjacent property owners to the west of the subject site to discuss requesting a zone change for their nonconforming properties as well. Re-zoning all three tracts would create consistency and remedy non-conforming uses in the neighborhood.
  - These sites also contain mobile homes at 2734 and 2802 Campbell Rd. NW



**ABQ Land Use Consulting LLC**  
Planning & Zoning Process Specialists

**AGENT AUTHORIZATION FORM**

Address: 2726 Campbell Rd NW, Albuquerque, NM 87104

City: Albuquerque State: NM Zip: 87104

Lot(s): 11 Block: 0000

Subdivision: Alvarado Gardens Unit 2

UPC: 101206029618940720

Legal Description: \*11 ALVARADO GARDENS UNIT 2

Acres: 2.5

Description of request: Zone map amendment - EPC

The registered property owner(s) of subject property do hereby authorize ABQ Land Use Consulting LLC – Carl Garcia and/or representatives to act on my/our behalf in all matters relating to this application. We certify that all information submitted in this application is true and accurate to the best of our knowledge.

Property Owner 1: Andrew S. Green

Property Owner 2: \_\_\_\_\_

Property Owner(s) Address (if different from above): 10312 Dayflower Dr. NW,  
Albuquerque NM 87114

Phone 1: 505-239-4254 (cell)

Phone 2: 505-897-1470 (hm)

Email 1: CRMGABQ@yahoo.com

Email 2: green.andy@comcast.net

Signature 1: Andrew S. Green Date: 7-14-23

Signature 2: \_\_\_\_\_ Date: \_\_\_\_\_



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: G-12 DRB#: \_\_\_\_\_ EPC#: Not yet assigned Work Order#: \_\_\_\_\_

Legal Description: \*11 ALVARADO GARDENS UNIT 2

City Address: 2726 Campbell Rd NW, Albuquerque, NM 87104

Applicant: ABQ Land Use Consulting LLC Contact: Carl Garcia

Address: 6300 Riverside Plaza Ln NW Ste 100, Alb, NM 87120

Phone#: 505-306-6289 Fax#: \_\_\_\_\_ E-mail: carl@abqlanduse.com

### Development Information

Build out/Implementation Year: 1951 Current/Proposed Zoning: R-A to R-MC

Project Type: New: ( ) Change of Use: ( ) Same Use/Unchanged: (X) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: (X) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses:

Existing mobile home park zoned R-A. Proposing zone map amendment to R-MC, use to remain unchanged.

Days and Hours of Operation (if known): Typical residential development hours

### Facility

Building Size (sq. ft.): Mobile home units vary in size

Number of Residential Units: 28

Number of Commercial Units: 0

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* Normail residential visitors

Expected Number of Employees (if known):\* 0

Expected Number of Delivery Trucks/Buses per Day (if known):\* Normail residential delivery trucks

Trip Generations during PM/AM Peak Hour (if known):\* Unknown

Driveway(s) Located on: Street Name Campbell Rd NW

Adjacent Roadway(s) Posted Speed: Street Name Campbell 25 mph Posted Speed

Street Name Posted Speed

## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Local Urban  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: NA  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: \_\_\_\_\_ Volume-to-Capacity Ratio: \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): No Nearest Transit Stop(s): Rio Grande Blvd and Campbell Rd NW

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Bicycle lanes on Campbell Rd  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing sidewalks on Campbell Rd but not in mobile home park.

## Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

## TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒ Borderline [ ]

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

 P.E.

7/5/2023

TRAFFIC ENGINEER

DATE



## **Submittal**

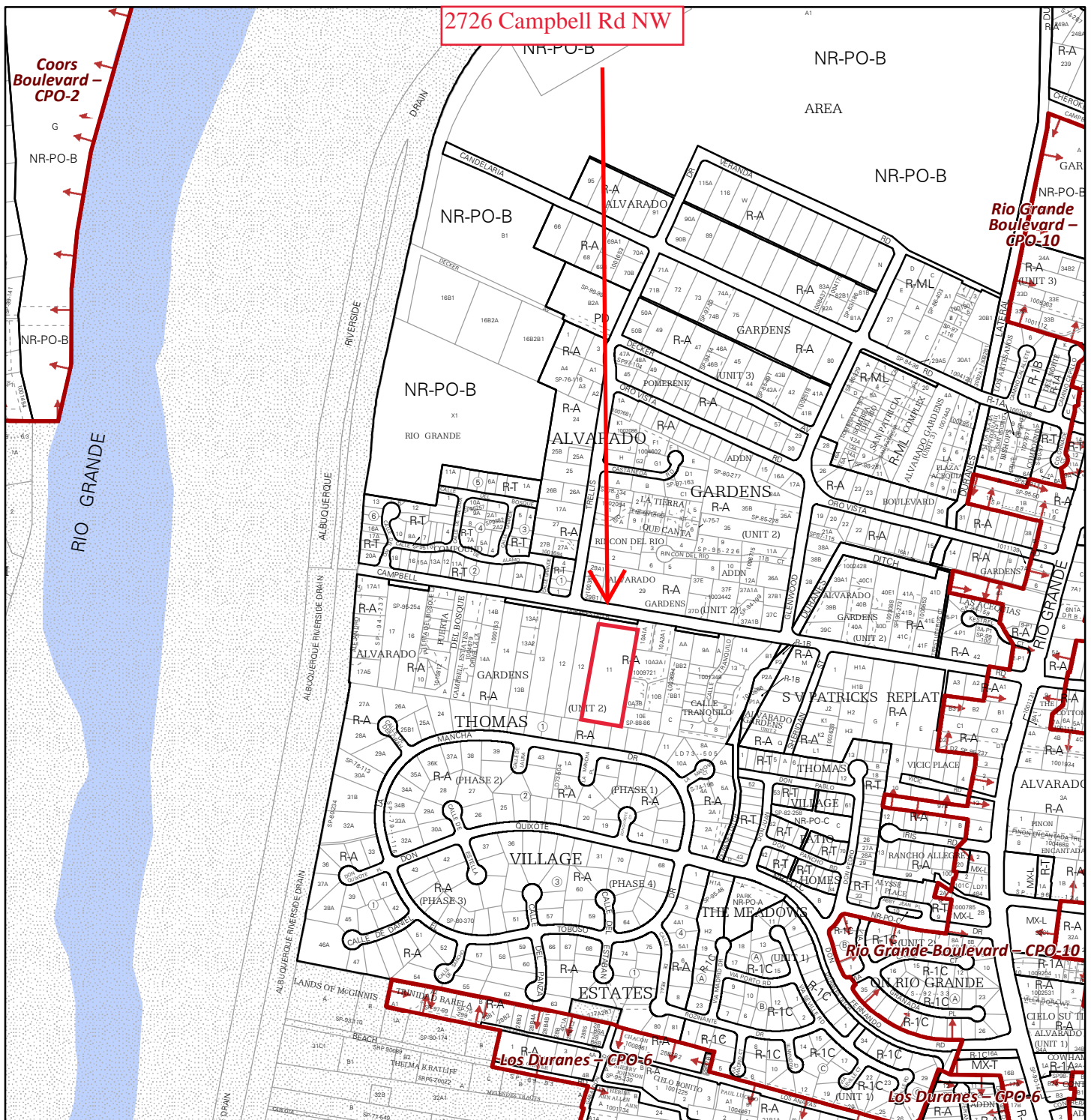
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

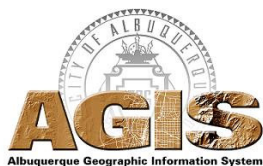
Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

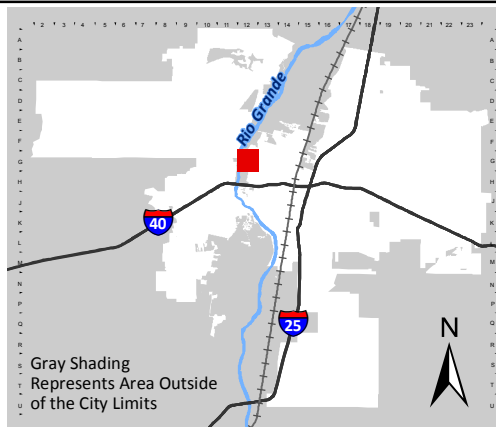


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**G-12-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet



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## Planning & Zoning Process Specialists

August 5, 2023

David Shaffer, Chair  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: Zoning Map Amendment for 2726 Campbell Rd. NW, Albuquerque, NM 87104

Dear Mr. Chair and EPC Commissioners,

On behalf of the applicant, Andrew Green, I respectfully submit to the EPC this Zone Map Amendment request for 2726 Campbell Rd. NW, a 2.5-acre property described as 11 Alvarado Gardens, Unit 2. This letter will describe how this request for a zone change from R-A to R-MC is consistent with the public health, safety, and welfare and how approval of the request would implement ABC Comprehensive Plan Goals and Policies. This letter will further justify this request as being consistent with the review and decision criteria specified in the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3).

### **Project Request**

The applicant proposes to rezone approximately 2.5-acre site from R-A (Rural and Agricultural) to R-MC (Residential – Manufactured Home Community). The property presently is developed with 28 manufactured home dwellings and an assortment of other office and storage buildings. If approved, the request would allow multiple manufactured home dwellings to remain on this one lot as a manufactured home community, in perpetuity. Currently, they are considered non-conforming uses because only one manufactured home (a type of single-family dwelling) is allowed per lot. The IDO requires this use to be terminated 30 years after adoption of the 2018 IDO if the property does not obtain R-MC zoning. If the request for R-MC zoning is approved, this request would further stabilize the existing land uses in the area by making the current use conforming to the IDO. It will also provide more transparency by making the zone map more accurate so that it matches the existing use of the land.

### **Site Context**

This site is in the North Valley area and is located west of Rio Grande Blvd, east of the Rio Grande, abutting and south of Campbell Rd., and north of Don Fernando Rd. (identified with a turquoise outline in the maps below). The subject site is not within a Comprehensive Plan Center or Corridor, and it is not within a design or historic overlay zone. The property is within the Near North Valley Community Planning Area, which is an area that remains semi-rural and rich in history and tradition as agricultural land and open space in the west blends into residential neighborhoods to the east.

There are no transit routes that directly pass by the property, and there are no trails or bikeways that abut the property. There is a Major Public Open Space – the Rio Grande Center Nature Park – located northwest of the property. This location is within walking distance of that State Park as well as the Paseo del Bosque Trail, and the Rio Grande State Park.



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There are two other Manufactured Home communities abutting and adjacent to this property – one to the west and one to the north of this lot. They are all currently zoned R-A (Rural and Agriculture). South and east of the property are single-family residential lots also zoned R-A (see site context map below).

### **Site Context Map**



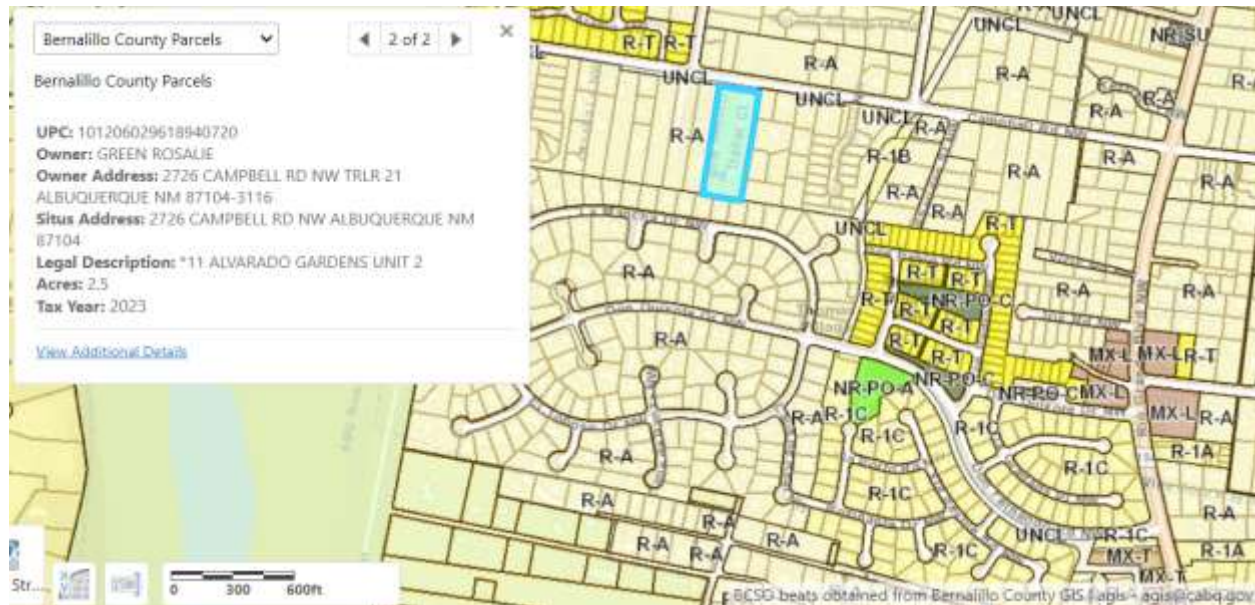
### **IDO Zoning Map & Property Ownership**





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**Land Use Map** (this outline shows the subject site AND the abutting mobile home community, both of which have the same land use. The lot directly north also has the mobile home community land use)



### Site History & Zoning

The Bernalillo County Assessor's records for the Real Property Attributes (shown below) demonstrate this development was built in 1951. This entire area was zoned R-A with adoption of the City's original zoning code in 1959. Because the mobile home community pre-dates establishment of zoning, they are considered "nonconforming uses."

IDO Definition:

#### Nonconforming Use

A use of a structure or land that does not conform to the IDO requirements for land uses in the zone district where it is located, but that was an approved use at the time the use began.

This request is to establish a zone district for the subject site that reflects the existing and historic use of the property. The existing manufactured home dwellings are not allowed in the R-A zone. One dwelling would be allowed as a single-family home; however, a development of multiple manufactured is considered a Manufactured Home Community, and is only permissively allowed in the R-MC zone. These dwellings are nonconforming uses because they were in existence prior to when the property was zoned R-A with adoption of the IDO in 2018. This use was originally established on the lot in 1951, as indicated in the Bernalillo County Assessor property records. This means that the use predated establishment of zoning in Albuquerque.



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Description	
Location Address	2726 CAMPBELL RD NW
City	ALBUQUERQUE
State	NM
Zip Code	87104
Property Description	*11 ALVARADO GARDENS UNIT 2
Public Improvement District	
Tax Increment Development Districts	
Document #	
Document #:	2021135889 102121 SW - ENTRY BY TB 122021 CODED BY LV 111921 (REF)
Real Property Attributes	
Primary Building SQ FT	820
Year Built	1951
Lot Size (Acres)	2.5
Land Use Code	MOBILE HOME PARK
Style	STANDARD

The Manufactured Home Community land use is consistent with what is developed on the lot to the north and the east. Other land uses in the area include single-family dwellings and vacant land. The general vicinity is predominantly zoned R-A but there is a townhouse subdivision to the north that is zoned R-T. The Rio Grande Nature Center State Park is just beyond that and it is zoned NR-PO-B (Non-residential – Open Space).

**TABLE 1. SURROUNDING ZONING & LAND USE**

	Zoning	Land Use
<b>North</b>	R-A	Manufactured Home Community
<b>South</b>	R-A	Low-density residential (single-family)
<b>East</b>	R-A	Low-density residential (single-family) and one vacant lot abutting Campbell Rd.
<b>West</b>	R-A	Manufactured Home Community

The subject site qualified to take part in the City-sponsored “Phase 2 Zone Conversions.” The approval records associated with similar properties read: “This property contains a mobile home park that was established legally but is not allowed in the [current] zone, so it is nonconforming. R-MC is the only zone in the IDO that allows mobile home parks, so that is an appropriate zoning conversion.” This property has been used for residential dwellings in manufactured homes since 1951, as demonstrated by the Bernalillo County Assessor property records. Because the land use predates city zoning, it is by default a nonconforming use. Approval of a zone map amendment is the remedy for bringing nonconforming uses into conformance with the zoning code (IDO). Therefore, the R-MC is the most appropriate zone for this property. We believe that this property is in the same situation as other manufactured home communities that took part in the Phase 2 Zone Conversions and should be granted the R-MC zone that matches the existing land use. This letter provides the required justification for that request.





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### Neighborhood Outreach

The Applicant has followed all notification procedures required in Table 6-1-1 of the IDO. The following Neighborhood Associations were emailed an offer for a Neighborhood Meeting on July 24, 2023; none of the following Neighborhood Associations responded to this offer:

- Alvarado Gardens NA
- Thomas Village NA
- North Valley Coalition- Stated that they defer to the local neighborhood association

Public Notice of the application submittal was mailed to all property owners within 100 feet of the property, excluding right-of-way, and was emailed to the above listed Neighborhood Associations on July 21, 2023. A sign was posted on the property prior to application submittal to notify anyone that may be driving or walking past the property. Evidence of these three required notifications is provided with the application. The required published and web posting notice will be performed by the Planning Department after submittal of this application.

### Zone Map Amendment Justification

This request for a Zoning Map Amendment is a policy-based decision made by the EPC. This request complies with the eight review and decision criteria outlined in Section 14-16-6-7(G)(3) of the Integrated Development Ordinance (IDO), and is justified as follows: *[Applicant response in italics]*

14-16-6-7(G)(3)(a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

*The proposed Zoning Map Amendment meets criteria 6-7(G)(3)(a) by maintaining the health, safety, and general welfare of the City, which is demonstrated by the following policy analysis that demonstrates approval of the R-MC zone would clearly facilitate implementation of the ABC Comp Plan, as amended, as demonstrated through the analysis of the following Comprehensive Plan goals and policies:*

#### Chapter 4: Community Identity

**Goal 4.1 - Character:** Enhance, protect, and preserve distinct communities.

*The requested Zoning Map Amendment clearly facilitates implementation of the ABC Comp Plan, as amended, Goal 4.1 because the R-MC zone district will bring the existing nonconforming use into compliance with the IDO. Establishing the correct zone to match this land use will aid in the preservation and protection of this community from potentially harmful uses and match the surrounding residential character of the larger neighborhood.*

**Policy 4.1.1 - Distinct Communities:** Encourage quality development that is consistent with the distinct character of communities.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 4.1.1, Distinct Communities. The requested R-MC zone would protect the cohesiveness of the*



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*neighborhood by bringing the site's zoning into compliance with its land use, and in doing so, allow the existing character to be maintained.*

**Policy 4.1.2 - Identity and Design:** Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

*The requested Zone Map Amendment clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 4.1.2 by protecting the identity and cohesiveness of the neighborhood. The R-MC zone district standards will ensure the appropriate scale and design of development on this size. The subject site is located in a neighborhood that has had manufactured home communities since its original development (according to historic aerial photography). The lot abuts a mobile home community on one side and faces another one across the street to the north. The R-A zone allows more uses than the requested R-MC zone, including Religious institution and Community residential facility. The request would establish a zone district that better matches the existing land use. The requested R-MC zone district is compatible with surrounding land uses and zoning patterns, which would act to reinforce established character and protect identity and cohesiveness in developed neighborhoods.*

**Policy 4.1.4 – Neighborhoods:** Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 4.1.4, Neighborhoods, by protecting neighborhoods as a key to our long-term health and vitality. This request helps preserve and protect an existing manufactured home community and residential neighborhood because it aligns the zoning with the existing land use. This change will allow the existing use to remain in place and facilitate improvements to the property by eliminating the nonconforming use status, which is a barrier to investing in the property. Many banks will not loan funds for land that does not have the appropriate zone, even if the use has an official non-conforming status. This limits the amount of reinvestment and redevelopment that can occur prior to remedying the nonconforming use status.*

#### **Chapter 5: Land Use**

**Goal 5.3 – Efficient Development Patterns:** Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Goal 5.3, Efficient Development Patterns. This request promotes development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land by allowing the current land use to remain on site and it would remove the nonconforming status of this land use. The existing manufactured home community has a road and utilities developed to serve the homes on site. The requested zone map amendment would allow the property owner to continue invest in their property by ensuring there is no time limit on this development.*



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*This request clearly facilitates implementation of this policy by allowing continued use of this property for multiple single-family dwellings, which is an efficient use of land, infrastructure, and public facilities. The request contributes to maintaining a sustainable community with efficient development patterns by allowing this use to continue into the future indefinitely, which would incentivize the owner to continue to invest in and maintain the current site infrastructure and utilities.*

*Allowing this long-standing development to remain on site would ensure the property maximizes the utility of existing infrastructure and public facilities for residential uses.*

**Goal 5.6 City Development Areas:** Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Goal 5.6, City Development Areas by ensuring that development in Areas of Consistency reinforces the character and intensity of the surrounding area. The subject site is within an Area of Consistency. The request furthers Goal 5.6 because aligning the zoning with the existing residential land use ensures the development in and near Areas of Consistency reinforces the character and intensity of the surrounding area, which is mostly residential with only smaller-scale commercial options. Maintaining the current land use will reinforce the existing character of this neighborhood.*

**Policy 5.6.3 - Areas of Consistency:** Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 5.6.3, Areas of Consistency by protecting and enhancing the character of existing single-family neighborhoods, areas outside of Centers and Corridors, and Major Public Open Space. If approved it would allow the existing single-family residential manufactured home community to remain at this location. This protects and enhances the character of the single-family neighborhood by stabilizing the existing land use and allowing improvements to the subject site. Because this use has been in existence for 72 years, allowing it to continue uninterrupted will protect the character of this neighborhood. The requested zone district would protect, reinforce, and enhance the character of existing single-family neighborhoods in Areas of Consistency.*

*This request would extend the existing R-MC zone district to an adjacent property with the same land use. The proposed zoning for the subject site would resolve the existing nonconforming land use and better match the existing land use with zoning. The requested R-MC zone district would be more healthy, stable, and sustainable for this location than its present R-A zone district. The request would maintain the characteristics of distinct communities through establishing zoning that is consistent with established residential development.*



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**Sub-policy 5.6.3(d):** In areas with predominantly single-family residential uses, support zone changes that help to align the appropriate zone with existing land uses.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, sub policy 5.6.3(d). The requested R-MC zone and the existing land uses match residential development densities in the area and will maintain the existing residential use of the subject site.*

**Goal 5.7 - Implementation Processes:** Employ procedures and processes to effectively and equitably implement the Comp Plan.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Goal 5.7 by employing an established procedure – the Zone Map Amendment process – to implement the Goals and policies of the Comp Plan, as demonstrated in this justification letter. The requested Zone Map Amendment follows an established IDO procedure to address mismatches of land use and zoning and create greater zoning and land use compatibility between properties in neighborhoods. The requested R-MC zone district would support efforts to effectively and equitably implement the Comp Plan.*

#### **Chapter 9: Housing**

**Goal 9.1 - Housing Supply:** Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Goal 9.1 because it would allow for an existing residential use to remain on the subject site as a conforming use in the R-MC zone district. This will provide a stable source of housing, similar in scale and character to existing communities in the area. This community provides additional housing options for area residents. Manufactured homes are a more affordable housing option, which helps meet current and future housing needs at a variety of price levels to ensure more balanced housing options in the North Valley and Central Albuquerque CPA.*

**Policy 9.1.1 - Housing Options:** Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 9.1.1 because it would allow for redevelopment and investment in the existing manufactured home community. This will help conserve housing for a variety of income levels and types of residents and households by maintaining affordable dwellings at this location. This helps to maintain a sufficient supply and range of housing options in the area. This request would support the conservation of housing for a variety of income levels and types of residents and households in the Near North Valley CPA.*

**Policy 9.2.1 - Affordability:** Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.



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*The request clearly facilitates implementation of the ABC Comp Plan, as amended, Policy 9.2.1, Affordability, by allowing the retention of the existing manufactured home dwellings on the subject site, which maintains options for mixed-income neighborhoods. The remaining R-A zoning on this block and adjacent blocks provide opportunities for single-family residential development, which is a lower density land use that can serve a variety of incomes. This block would remain stable with its present manufactured home community zoning for lots that are developed with that land use; this is an affordable option for single-family home ownership. And blocks to the northwest provide townhouse housing, which provides a moderately affordable housing type for this neighborhood. The range of dwelling types in this area provide options for households of multiple income levels to live in this area. This request would provide opportunities for this mixed-income neighborhood to maintain high-quality, affordable, and mixed-income housing options in the Near North Valley area.*

14-16-6-7(G)(3)(b) If the subject property is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would **clearly reinforce or strengthen the established character of the surrounding Area of Consistency** and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:

1. There was a typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site.
3. **A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).**

*This request will **clearly reinforce or strengthen the established character of the surrounding Area of Consistency** by matching the zoning with the land use. This use is consistent with the established character of the area, as demonstrated in the land use map and the aerial imagery of the neighborhood, which shows multiple manufactured home communities in the near vicinity thus establishing the characteristic of a neighborhood with both single-family dwellings on one lot and multiple single-family dwellings on a single larger lot.*

*The requested zone map amendment also balances between providing affordable housing vs. the City's need per IDO 5-8(C) to "reduce or eliminate over time any nonconformity." The requested zone change request provides continuity of affordable housing by allowing the existing manufactured home community, which is a form of naturally affordable housing, to remain on the property for the life of the use and not expire at the end of the IDO's time period while not adversely impacting the surrounding area because the use would allow the existing manufactured home use to remain as it is developed, which would not increase any impact or cause harm to any nearby property. There have been no studies or research that demonstrates manufactured home communities adversely impact surrounding area. Rather, they enhance the community when well maintained and well managed by providing a slightly higher density of single-family dwelling that are affordable because the home owners do not have to pay*





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*for the price of the land, rather, they are able to rent spaces. This works in a similar fashion to land trusts, which have been demonstrated to be an effective affordable housing strategy.*

*The subject site is located within an "Area of Consistency" as designated by the Comprehensive Plan. This designation protects this area by ensuring uses are compatible in scale and character. The request clearly implements the intent of the Area of Consistency by proposing R-MC, a zone district that is specifically designed for its present use of multiple manufactured home dwellings on one property. If approved, this zone change would better align the use and the zoning, which is consistent with the intent of the ABC Comp Plan and the IDO. This promotes stability, and reinforces the established character of the surrounding Area of Consistency. The proposed use is more advantageous to the community as it implements numerous Community Identity, Land Use, and Housing goals and policies of the Comp Plan. The requested zone also aligns with the existing character and scale of development on this block and in the broader Near North Valley area.*

14-16-6-7(G)(3)(c) If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets any of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

*The subject site is not located within an Area of Change, so the review and decision criterion 6-7(G)(3)(c) does not apply to this request.*

14-16-6-7(G)(3)(d) The requested zoning does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-Specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

*The requested zoning will not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community. Rather, the requested zone district would reduce the number of potentially impactful uses at this location. The present manufactured home community land use is not allowed in the R-A zone district, while it is permissive in the requested R-MC zone district. This is the only land use that is allowed permissively in the requested zone but not allowed in the current zone. Because this is an existing land use that likely predated zoning in the City, and it is a complementary use to provide the full range of housing options and levels of affordability in the area, this use will not be harmful to the adjacent property, the neighborhood, or the community.*

*The following list summarizes uses allowed 1) permissively in R-MC but not the R-A zone, 2) uses allowed in both R-MC and R-A, and 3) uses allowed in the R-A zone district but not allowed in the R-MC zone district.*



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#### **Permissive Uses within R-MC vs. R-A Zone Districts**

1. **R-MC Zone Only:** The R-MC allows one use that is not allowed in the R-A zone, which is Dwelling, mobile home. This is because some manufactured home communities still have mobile homes, and this is the only zone appropriate for that use.
2. **Both Zones:** Manufactured homes are considered to be Dwelling, single-family detached, which is a use allowed in both zones. The R-MC zone allows more than one manufactured home per lot. There are several uses in the category of Telecommunications, Towers, and Utilities that are permissive in both zones.
3. **R-A Zone Only:** The R-A zone allows multiple additional uses that are not allowed in the R-MC zone. These include cluster development, community and residential facility, small, parks and open space, religious institution, community garden, equestrian facility, and general agriculture. These agricultural uses are not appropriate to be found in Manufactured Home Communities.

*Excerpt of Table 4-2-1: Allowable Uses that shows only permissive uses in R-MC and R-A zones.*

Use	R-MC	R-A
Dwelling, single-family detached	P	P
Dwelling, mobile home	P	
Dwelling, cluster development		P
Dwelling, cottage development	P	P
Community residential facility, small		P
Parks and open space		P
Religious institution		P
Community garden	P	P
Equestrian facility		P
General agriculture		P
Nursery		P
Residential community amenity, indoor	P	P
Residential community amenity, outdoor	P	P
Drainage facility	P	P
Electric utility	P	P
Major utility, other	P	P
Solar energy generation	P	P

*Further, Use-specific Standards are another tool built into the Uses portion of the IDO that serve to protect adjacent properties from potential adverse impacts that some uses may have. Use-specific Standards are written with the intent to mitigate any potential incompatibilities between land uses allowed in different zones, and are often triggered by proximity to different zone districts or land uses.*

*Typically Use-specific standards are crafted to protect the residential use from nearby non-residential uses. In this case, there is an existing single-family residential use (manufactured home community) that is within a neighborhood of other existing manufactured home communities and also single-family residential dwellings built on their own lot. The R-MC has Use-specific standards for Dwelling, Mobile*





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*Home (4-3(B)(2)) that would mitigate any potential adverse impacts on the community. These include applying the provisions of Subsection 14-16-2-3(C) (Residential – Manufactured Home Community Zone District (R-MC)) to the dwelling type and also requiring notice to the resident if the land owner intends to change the land use or zone. This protects the affordable housing residents. I must note that this manufactured home community does not have any mobile homes on the site, as far as I understand. However, if there were mobile homes that I am unaware of, these use specific standards would apply and already apply to that use via Sub section 14-16-4-3(B)(2)(b). These Use-specific Standards protect the residents and potential residents of this property; they do not have any bearing or impact on the adjacent community.*

*If approved, the additional standards and requirements of the R-MC zone found in IDO Section 14-16-2-3(C) will apply to the property. These standards include minimum space size, setbacks, density, etc., that will actually protect the character of the area and establish setbacks from adjacent properties. Under the R-A zoning, only the R-A setbacks and heights apply, which apply to the lot as a whole, not the individual spaces within a lot that is zoned R-MC.*

*Finally, the Nonconformities section of the IDO also provides protections against potential adverse impacts of the R-MC zone on the abutting R-A lots, neighborhood and community – this is found in Section 6-8 and 6-8(C)(7), specifically. This section of the IDO explains that mobile home dwellings must have skirting on the dwelling and be served by a paved street. Because we are not aware of any mobile home dwellings in this manufactured home community, this section of the IDO is of limited relevance as pertains to the existing use of the property. The overall Nonconformities section regulations related to Authority to Continue, Repair and Maintenance, Expansion of Nonconforming Use, and Change in Nonconforming use protect the existing development if this zone change were to be denied. However, without the appropriate zoning, the property owner will have reduced capacity to borrow against the property (as a nonconforming use) for repairs and maintenance or to sell the property to another owner who wants to continue the same use. The risk of this is that the property could be prevented from investments in the quality of the development, and also put it at risk for losing the existing affordable, manufactured home land use and instead being sold as a large lot for a single-family dwelling. If the R-A zone remains on this lot, a new owner could evict the current tenants, and only be required to notify any mobile home dwelling tenants pursuant to the rules and requirements in 14-16-2-3(C)(3)(g). Because this property does not have the R-MC zoning, the residents who live in manufactured home dwellings are not required to receive to the same notification. This is inconsistent and conflicts with the intent of these notification requirements and the intent of the IDO to maintain a range of housing types. The intent of the owner is to maintain this use, and to grant the residents of this community the increased protections of being in a R-MC zone bestow. If the lot remains R-A, the Standard in IDO Subsection 14-16-2-3(C)(3)(g) will not apply to the property:*

- 2-3(C)(3)(g) In cases where the owner of a manufactured home community intends to change the use or rezone the property to a zone district other than R-MC, which will result in expiration or termination of resident occupancy, the owner shall mail each resident written notice of their intent not less than 18 months prior to the rezoning of the property.



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*This would conflict with the intent of the Comp Plan, as amended, and the intent of the IDO, and the intent of Housing Forward, a City plan to increase the number of housing units in the city. There is no benefit to the neighborhood, community, or city that would be gained by retaining the R-1 zoning for this lot.*

14-16-6-7(G)(3)(e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet any of the following criteria:

1. Have adequate capacity to serve the development made possible by the change of zone.
2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement (IIA).
4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

*The City's existing infrastructure and public improvements will adequately serve the residential manufactured home use allowed under the proposed R-MC zone district. The subject site is already developed with 28 manufactured home dwellings. According to the R-MC zone district standards, and if you set aside 10% of the lot for circulation, up to 39 dwellings could occupy this site (minimum lot size is 2,500 SF per dwelling). This property has the capacity to increase by up to 11 additional dwelling units. If more dwellings are added in the future, the minor increase in density would not impact the capacity of existing infrastructure and public improvements. Therefore, criterion 1 of this element is satisfied.*

14-16-6-7(G)(3)(f) The applicant's justification for the Zoning Map Amendment is not completely based on the property's location on a major street.

*The subject site is not located on a major street; it is located on a road identified as a local road in the City of Albuquerque's GIS street database and as shown in the Advanced Map Viewer. It is also not identified as a major street in the Mid-Region Council of Governments Long Range Roadway System Map, which means it is classified as a local street (the default for streets not identified in the classification map). Because the property is not located on a major street, the justification for this request is not based on the property's location on a major street.*

6-7(G)(3)(g) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

*The justification for this request is not based on the cost of land or economic considerations. The zone change request is intended to address nonconforming uses at this site, and allow the property owner to continue to use their property in a way that is consistent with other manufactured home communities and adjacent properties. The request's consistency with adopted goals and policies is the primary justification for the zone map amendment request.*



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14-16-6-7(G)(3)(h) The Zoning Map Amendment does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a “spot zone”) or to a strip of land along a street (i.e. create a “strip zone”) unless the requested zoning will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

1. The subject property is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The subject property is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. **The nature of structures already on the subject property makes it unsuitable for the uses allowed in any adjacent zone district.**

*This Zone Map Amendment request also clearly facilitates implementation of the ABC Comp Plan, as demonstrated in the analysis of the Comp Plan Goals and policies in this justification letter; the request furthers the preponderance of applicable goals and policies. In this way, the request helps to implement the Comp Plan. This spot zone is also justified based on Criterion #3.*

*This request would apply a zone district different from surrounding zone districts to one small area or one premises, i.e. create a “spot zone.” This spot zone is justified based on Criterion #3 because the nature of the structures already on the subject property make the site unsuitable for the uses allowed in its present R-A zone district. This property contains a mobile home park that was established legally in 1951 but is not allowed in the current R-A zone, so it is nonconforming. R-MC is the only zone in the IDO that allows mobile home parks, so that is an appropriate zoning district for this property. If this zone map amendment is not approved, the consequence is that it will have to terminate operation in 25 years, according to the nonconforming regulations, IDO Section 6-8(C)(7)(b), which state: “A nonconforming use of land and incidental structures consisting of a mobile home development may remain for the life of the structures, which shall never be more than 30 years [after adoption of the IDO in 2018]...” We do not believe that would be in the best interests of the residents, the property owner, and the larger community which needs a variety in housing types and levels of affordability.*

### Conclusion

We respectfully request that City of Albuquerque Environmental Planning Commission approve this Zoning Map Amendment for R-MC (Residential– Manufactured Home Community) from R-A (Rural and Agricultural). The Applicant believes this amendment further stabilizes the residential character of the area, maintains affordable housing options, and ensures the goals and policies of the Comprehensive Plan are implemented. All of the application requirements have been satisfied and they are documented in this application.

For the reasons identified in this project letter and the provided justification of the request for a Zone Map Amendment– EPC, we respectfully request that the Environmental Planning Commission consider and approve this request for R-MC zoning at 2726 Campbell Rd. NW.



## ABQ Land Use Consulting LLC

### Planning & Zoning Process Specialists

If you have any questions or need any additional information, please feel free to contact me at (505) 310-2400 or via email at [carl@abqlanduse.com](mailto:carl@abqlanduse.com).

Sincerely,

Carl Garcia  
ABQ Land Use Consulting, LLC

## Attachments:

### IDO Definitions

#### Dwelling, Single-family Detached

A residential building used for occupancy by 1 household that is not attached to any other dwelling unit through shared side or rear walls, floors or ceilings, or corner points. See also *Manufactured Home* and *Development Definitions for Low-density Residential*.

#### Manufactured Home

A structure transportable in one or more sections that is built on a permanent chassis, is designed for use with or without a permanent foundation when connected to the required utilities, and meets the construction safety standards of the federal Manufactured Housing Act of 1974. Similar structures that do not meet the construction safety standards of that Act are referred to as mobile homes and are not allowed to be installed in the city. For the purposes of this IDO, manufactured homes are considered single-family detached dwellings. See also *Dwelling Definitions for Dwelling, Mobile Home* and *Dwelling, Single-family Detached*.

### 4-3(B)(2) Dwelling, Mobile Home

- 4-3(B)(2)(a) If the mobile home dwelling is located in an R-MC district, the provisions of Subsection 14-16-2-3(C) (Residential – Manufactured Home Community Zone District (R-MC)) apply. Changes of use in or rezoning of a subject property that will result in expiration or termination of resident occupancy require notice pursuant to Subsection 14-16-2-3(C)(3)(g) (R-MC Zone District Standards).
- 4-3(B)(2)(b) If the mobile home dwelling is located in any other zone district, the provisions of Subsection 14-16-6-8(C)(7) apply.

### 6-8(C)(7) Mobile Home Dwellings

- 6-8(C)(7)(a) A single mobile home dwelling on an individual lot outside of the R-MC zone district is a nonconforming use and shall be removed within 5 years.
- 6-8(C)(7)(b) A nonconforming use of land and incidental structures consisting of a mobile home development may remain for the life of the structures, which shall never be more than 30 years, but only if all of the following provisions apply.



## ABQ Land Use Consulting LLC

### Planning & Zoning Process Specialists

1. This use does not cease operation for a period of 1 year.
  2. Any private street system servicing the mobile home dwellings is paved at least to a standard approved by the City Engineer according to the applicable standards of this IDO and related DPM standards and criteria, even though there may be no new subdivision.
  3. Mobile home dwellings are skirted with materials similar in appearance and durability to the siding of the mobile home, or the unit is situated at ground level, within 2 years of the use becoming nonconforming.
- 6-8(C)(7)(c) Any additional development on a lot that includes 1 or more mobile home dwellings shall conform to the regulations in this IDO.
- 6-8(C)(7)(d) For changes of use or rezoning of developments that include mobile homes that will result in expiration or termination of resident occupancy, the standards in Subsection 14-16-2-3(C)(3)(g) (R-MC Zone District Standards) apply, regardless of the zone district the development is in.

#### **2-3(C)(3) District Standards**

- 2-3(C)(3)(a) Manufactured and mobile homes that are not installed on a permanent foundation shall be skirted with materials similar in color, texture, and appearance to the siding of the manufactured or mobile home.
- 2-3(C)(3)(b) Anchorages and tie-downs constructed to comply with Articles 14-1 and 14-3 of ROA 1994 (Uniform Administrative Code and Technical Codes and Uniform Housing Code) shall be provided on each manufactured home space or lot to prevent overturning or uplift of the manufactured home.
- 2-3(C)(3)(c) Motor vehicles that are not parked inside a building shall be operative and not partially or completely dismantled.
- 2-3(C)(3)(d) Carports, patios, decks, and accessory buildings may be located in side and rear setback areas of individual manufactured or mobile home sites. In such development, accessory buildings may not be located in any setbacks, usable open space, or landscape buffers required for the manufactured home community.
- 2-3(C)(3)(e) Storage sheds, accessory buildings, and carports shall be constructed of suitable weather-resistant materials.
- 2-3(C)(3)(f) All yard areas and other open spaces not otherwise paved or occupied by structures shall be landscaped and maintained.
- 2-3(C)(3)(g) In cases where the owner of a manufactured home community intends to change the use or rezone the property to a zone district other than R-MC, which will result in expiration or termination of resident occupancy, the owner shall mail each resident written notice of their intent not less than 18 months prior to the rezoning of the property.
- 2-3(C)(3)(h) See Subsection 14-16-6-8(C)(7) for nonconformity provisions for mobile home dwellings and developments.





# ABQ Land Use Consulting LLC

## Planning & Zoning Process Specialists

### 2-3(C)(2) Use and Development Standards

Table 2-3-5: R-MC Zone District Dimensional Standards Summary		
<i>See Table 5-1-1 for complete Dimensional Standards</i>		
Site Standards		
A	Lot size, minimum	2,500 sq. ft. / space
B	Lot width, minimum	40 ft. / space
C	Usable open space, minimum	400 sq. ft. / space
Setback Standards		
D	Front, minimum	15 ft.
E	Side, minimum	Interior: 5 ft. Street side of corner lots: 10 ft.
F	Rear, minimum	10 ft.
Building Height		
G	Building height, maximum	26 ft.

## STAFF INFORMATION

August 24, 2023

TO: ABQ Land Use Consulting, LLC – Carl Garcia  
FROM: Robert Messenger, AICP, Senior Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3837  
RE: PR-2023-009067 RZ-2023-00025 ZMA – EPC, 2726 Campbell Rd. NW

---

I've completed a first review of the proposed zone change request. I have a few questions and several suggestions that will help strengthen the justification. I am available to answer questions about the process and requirements. Please provide the following:

- ⇒ A revised zone change justification letter by **5 pm on Wednesday, August 30, 2023.**
- ⇒ Note: If you have trouble with this deadline, please let me know.

1) Introduction/General:

- A. Additional items may arise as the case progresses. If so, I will inform you immediately.
- B. This is what I have for the legal description: 11 Alvarado Gardens, Unit 2.

2) Key Issues/Project Request:

- A. The request is for a zone map amendment from R-A to R-MC, which would create a “spot zone”. Therefore, the justification letter must satisfy Criterion H “clearly facilitates”.
- B. There is a balance between providing affordable housing vs. the City’s need per IDO 5-8(C) to “reduce or eliminate over time any nonconformity”. Show how the zone change request provides continuity of affordable housing while not adversely impacting the surrounding area.

3) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-and-commissions/environmental-planning-commission/>
- B. Timelines and EPC calendar: the EPC public hearing for September is the 21<sup>st</sup>. Final staff reports will be available one week prior, on September 14<sup>th</sup>.
- C. Please visit the link above to find copies of Staff reports that will serve as examples of zone changes.
- D. Note that, if a zone change request is denied, you cannot reapply again for one year.
- E. Agency comments will be distributed as they come in. I will email you a copy of all the comments compiled and will forward any late comments to you.

#### 4) Notification & Neighborhood Issues:

- A. Have any property owners within 100 feet of the subject property or members of the public contacted you? Are you aware of any concerns?

#### 5) Zone Map Amendment (zone change)- Concepts & Research:

- A. Responding to the criteria of IDO 14-16-6-7(G)(3) is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
- i. answering the questions in the customary way (see examples)
  - ii. using conclusory statements such as “because\_\_\_\_\_”
  - iii. re-phrasing the requirement itself in the response.
  - iv. choosing an option when needed to respond to a requirement.

- B. Refer to the link provided below for examples of Zone Map Amendments staff reports:

<https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

#### 6) Zone Map Amendment (zone change)- Section by Section:

Please incorporate the following to provide a strengthened, improved response to 14-16-6-7 (G)(3):

- A. 6-7(G)(3)(a): Because the test for Criterion A “is consistent with” is a weaker test than what’s required by Criterion H, the Response to Criterion A needs to be redone. Please rewrite response to Criterion A to address the higher test of “clearly facilitate implementation of the ABC Comp Plan, as amended”
- B. 6-7(G)(3)(b): The response only answered the second part of the test, which is to “demonstrate that the existing zoning is inappropriate.” Strengthen to include a response to part one of the two-part test, which is the “clearly reinforce or strengthen” test.
- C. 6-7(G)(3)(c): Sufficient.
- D. 6-7(G)(3)(d): Strengthen by noting the Use-Specific Standards for Dwelling, Mobile Home [4-3(B)(2)], District Standards [2-3(C)(3)], and Nonconformities [6-8 generally, and 6-8(C)(7), specifically].
- E. 6-7(G)(3)(e): Sufficient.
- F. 6-7(G)(3)(f): Sufficient, but make concise.
- G. 6-7(G)(3)(g): Sufficient.
- H. 6-7(G)(3)(h): Sufficient, but place narrative about “clearly facilitate implementation” first and then note which one of the three responses (#3, in this case) applies.

## NOTIFICATION



Office of Neighborhood Coordination

to me ▾

Jul 3, 2023, 9:59 AM (3 days ago)

☆ ↶ ⋮

**PLEASE NOTE:**

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	Association Website	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Thomas Village NA			Rondall	Jones	<a href="mailto:rejones7@msn.com">rejones7@msn.com</a>	3117 Don Quixote Court NW	Albuquerque	NM	87104	5059348799	
Alvarado Gardens NA	<a href="mailto:president@alvaradoneighborhood.com">president@alvaradoneighborhood.com</a>	<a href="https://alvaradoneighborhood.com">https://alvaradoneighborhood.com</a>	Michael	Dexter	<a href="mailto:medexter49@gmail.com">medexter49@gmail.com</a>	3015 Calle San Ysidro NW	Albuquerque	NM	87107	5052897648	
Alvarado Gardens NA	<a href="mailto:president@alvaradoneighborhood.com">president@alvaradoneighborhood.com</a>	<a href="https://alvaradoneighborhood.com">https://alvaradoneighborhood.com</a>	Diana	Hunt	<a href="mailto:president@alvaradoneighborhood.com">president@alvaradoneighborhood.com</a>	2820 Candelaria Road NW	Albuquerque	NM	87107	5053635913	
Thomas Village NA			Richard	Meyners	<a href="mailto:abgmeyners@gmail.com">abgmeyners@gmail.com</a>	3316 Calle De Daniel NW	Albuquerque	NM	87104		5052427319
North Valley Coalition	<a href="mailto:nvcabq@gmail.com">nvcabq@gmail.com</a>	<a href="http://www.bit.ly/nvcabqweb">www.bit.ly/nvcabqweb</a>	Peggy	Norton	<a href="mailto:peggynorton@yahoo.com">peggynorton@yahoo.com</a>	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	<a href="mailto:nvcabq@gmail.com">nvcabq@gmail.com</a>	<a href="http://www.bit.ly/nvcabqweb">www.bit.ly/nvcabqweb</a>	Doyle	Kimbrough	<a href="mailto:newmexmba@aol.com">newmexmba@aol.com</a>	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441363

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 7/7/2023

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: See attached Neighborhood association contact list

Name of NA Representative\*: See attached Neighborhood association contact list

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached Neighborhood association contact list

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: carl@abqlanduse.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

To be determined upon neighborhood association request

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2726 Campbell Rd NW, Albuquerque, NM  
Location Description \_\_\_\_\_
2. Property Owner\* Rosalie Green
3. Agent/Applicant\* [if applicable] ABQ Land Use Consulting LLC - Carl Garcia
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☐ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☒ Zoning Map Amendment
- ☐ Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Proposed zone map amendment from R-A to R-MC

5. This type of application will be decided by<sup>\*</sup>: ☐ City Staff  
OR at a public meeting or hearing by:  
☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)  
☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)  
☐ City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
carl@abqlanduse.com or 505-306--6289

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> G-12
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

NA

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>: ☒ Yes ☐ No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.\*
- ☐ b. Access and circulation for vehicles and pedestrians.\*
- ☐ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development\***:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:

- a. Area of Property [typically in acres] 2.5 Acres
- b. IDO Zone District R-A
- c. Overlay Zone(s) [if applicable] None
- d. Center or Corridor Area [if applicable] None

2. Current Land Use(s) [vacant, if none] Existing mobile home park since 1951

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: See attached Neighborhood association contact list [Other Neighborhood Associations, if any]

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

2726 Campbell Rd NW - Zone map amendment - meeting request

External

Inbox x



Carl Garcia <carl@abqlanduse.com>

to: rejones7, medexter49, president, abqrmeyners, Peggy, Newmexmba, nvcabq, bcc: me

Mon, Jul 24, 8:58 PM (11 days ago)



Hello,

My name is Carl Garcia with ABQ Land Use Consulting LLC and I re  
In 2018 when the IDO was adopted, the subject property was incorre  
The EPC meeting will be held September 21, 2023 starting at 8:40am.  
Please see attached documents.  
If you would like to meet to discuss this request or have any question

Respectfully,

Carl Garcia

ABQ Land Use Consulting LLC

[abqlanduse.com](http://abqlanduse.com)

[carl@abqlanduse.com](mailto:carl@abqlanduse.com)

505-310-2400

from: Carl Garcia <carl@abqlanduse.com>

to: rejones7@msn.com,  
medexter49@gmail.com,  
president@alvaradoneighborhood.com,  
abqrmeyners@gmail.com,  
Peggy Norton <peggynorton@yahoo.com>,  
Newmexmba <newmexmba@aol.com>,  
nvcabq@gmail.com

bcc: Carl Garcia <carl@abqlanduse.com>

date: Jul 24, 2023, 8:58 PM

subject: 2726 Campbell Rd NW - Zone map amendment - meeting request

mailed-by: abqlanduse.com

m R-A to R-MC.

zone for a mobile home park. There are no other requests with this application.

4 Attachments • Scanned by Gmail





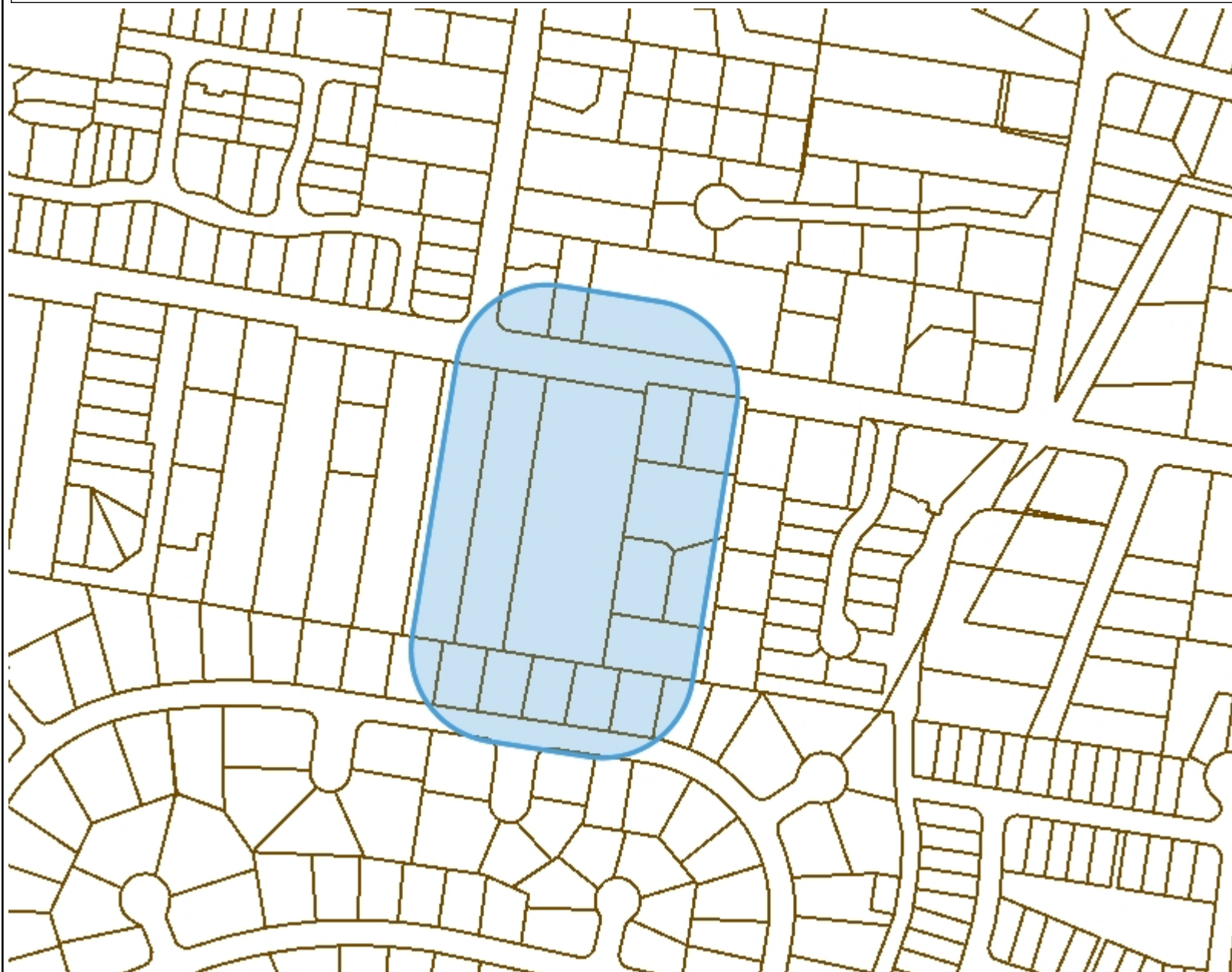


## 2726 Campbell Rd NW



### Legend

■ Bernalillo County Parcels



### Notes

Buffer: 180 Ft.  
ROW: Campbell Rd NW; 80 Ft.

580 0 290 580 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
7/6/2023 © City of Albuquerque

1: 3,480

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

BLOUNT BARBARA K & GOLDSTEIN  
MARJORIE TRUSTEES BLOUNT-  
GOLDSTEIN RVT  
3201 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3013

DUTCHER CRISTOPHER L & KRISTI E  
3105 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3018

FDM PRODUCTIONS LLC  
3121 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3018

FDM PRODUCTION LLC  
3213 CAMILO LN NW  
ALBUQUERQUE NM 87104-2836

HOPKINS LYNN  
3128 LA MANCHA PL NW  
ALBUQUERQUE NM 87104-3012

GOLDBERG DAVID N & FABRI MARY R  
3104 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3019

MISUREK ROBERT & ANITA  
3108 LA MANCHA PL NW  
ALBUQUERQUE NM 87104-3012

TEKIN ANNIE E & KENNETH R JR  
TRUSTEES TEKIN TRUST  
2704 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3108

PADILLA RANDY M & CHRISTINE Y  
2802 CAMPBELL RD NW TRLR 10  
ALBUQUERQUE NM 87104-3132

ROSS JULIE A TR BALDONI TRUST  
2721 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3100

REDDY DAVID & DUFFY BETTY MARIE  
LVT  
2712 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3108

MELENDRES ARTHUR D & DIANA L  
3109 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3018

FDM PRODUCTIONS LLC  
3125 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3018

WARD PATRICK D & DETORIE DEBORAH  
A & KRAEMER WILLIAM L & MARY LOU  
1800 CAMINO RASO NW  
ALBUQUERQUE NM 87107-2617

MCMANUS JEAN LESLIE  
2739 CAMPBELL RD NW  
ALBUQUERQUE NM 87104

BALDONI MARION T & EMILY  
2725 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3100

DAVIES ANNE ROSEMARY TRUSTEE  
DAVIES RVT  
2708 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3108

BICKELMAN CAROL J & HUERTA SHARON  
L  
2700 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-3108

LEARMONTH BLAKE & BLACKMON  
KATHERINE  
11116 DEAR LODGE PL SE  
ALBUQUERQUE NM 87123-3795

KINNEY KATHRYN J  
2706 CAMPBELL RD NW  
ALBUQUERQUE NM 87104-0000

MCKINNON ELEANOR A  
3117 LA MANCHA DR NW  
ALBUQUERQUE NM 87104-3018

GREEN ROSALIE  
2726 CAMPBELL RD NW TRLR 21  
ALBUQUERQUE NM 87104-3116

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 7/7/2023

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Name of NA Representative\*: See attached Neighborhood association contact list

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached Neighborhood association contact list

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: carl@abqlanduse.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

To be determined upon neighborhood association request

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2726 Campbell Rd NW, Albuquerque, NM  
Location Description \_\_\_\_\_
2. Property Owner\* Rosalie Green
3. Agent/Applicant\* [if applicable] ABQ Land Use Consulting LLC - Carl Garcia
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☐ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☒ Zoning Map Amendment
- ☐ Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Proposed zone map amendment from R-A to R-MC

5. This type of application will be decided by<sup>\*</sup>: ☐ City Staff  
OR at a public meeting or hearing by:  
☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)  
☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)  
☐ City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
carl@abqlanduse.com or 505-306--6289

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> G-12
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:

- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

NA

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>: ☒ Yes ☐ No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.\*
- ☐ b. Access and circulation for vehicles and pedestrians.\*
- ☐ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development\***:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:

- a. Area of Property [typically in acres] 2.5 Acres
- b. IDO Zone District R-A
- c. Overlay Zone(s) [if applicable] None
- d. Center or Corridor Area [if applicable] None

2. Current Land Use(s) [vacant, if none] Existing mobile home park since 1951

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: See attached Neighborhood association contact list [Other Neighborhood Associations, if any]

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



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TRUSTEES TEKIN TRUST  
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WARD PATRICK D & DETORIE DEBORAH  
A & KRAEMER WILLIAM L & MARY LOU  
1800 CAMINO RASO NW  
ALBUQUERQUE NM 87107-2617

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LVT  
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DAVIES RVT  
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PADILLA RANDY M & CHRISTINE Y  
2802 CAMPBELL RD NW TRLR 10  
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# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION
- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.

B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.

C. No barrier shall prevent a person from coming within five feet of the sign to read it.
2. NUMBER
- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.

B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.
3. PHYSICAL POSTING
- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.

B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.
4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL
- A. The sign is not to be removed before the initial hearing on the request.

B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

*Carl Garcia*

\_\_\_\_\_  
(Applicant or Agent)

7/2/2023

\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

PROJECT NUMBER: \_\_\_\_\_