



Environmental Planning Commission

***Agenda Number: 1
Project #: 2020-004193
RZ-2020-000020
Hearing Date: September 10, 2020***

Staff Report

<i>Agent</i>	Tierra West, LLC
<i>Applicant</i>	Thomas Development Co.
<i>Request</i>	Zoning Map Amendment (zone change)
<i>Legal Description</i>	TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A and TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 ATRISCO BUSINESS PARK UNIT 3
<i>Location</i>	Coors Blvd. NW between Bluewater Rd. NW and Los Volcanes Rd. NW
<i>Size</i>	Approx. (~) 8.95 acres
<i>Existing Zoning</i>	NR-BP
<i>Proposed Zoning</i>	MX-M

Staff Recommendation

APPROVAL of
Project # 2020-004193
RZ-2020-000020
based on the Findings beginning on page 20.

***Staff Planner
Terra Reed – Senior Planner***

Summary of Analysis

Request is for a zone change for an approximately 9-acre site on Coors Blvd. NW from NR-BP (Non-residential – Business Park) to MX-M (Mixed-use – Medium Intensity).

The subject site is in an Area of Change and is located on a Major Transit Corridor, as designated by the ABC Comprehensive Plan.

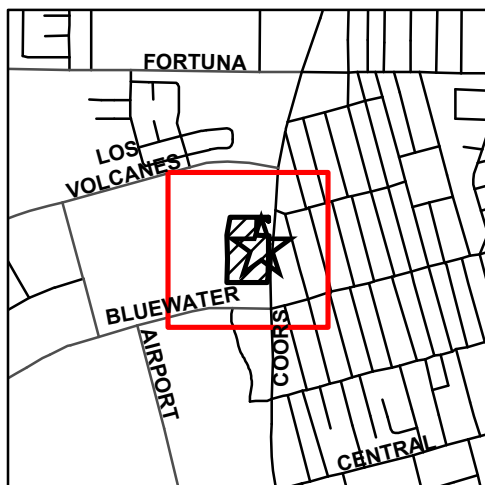
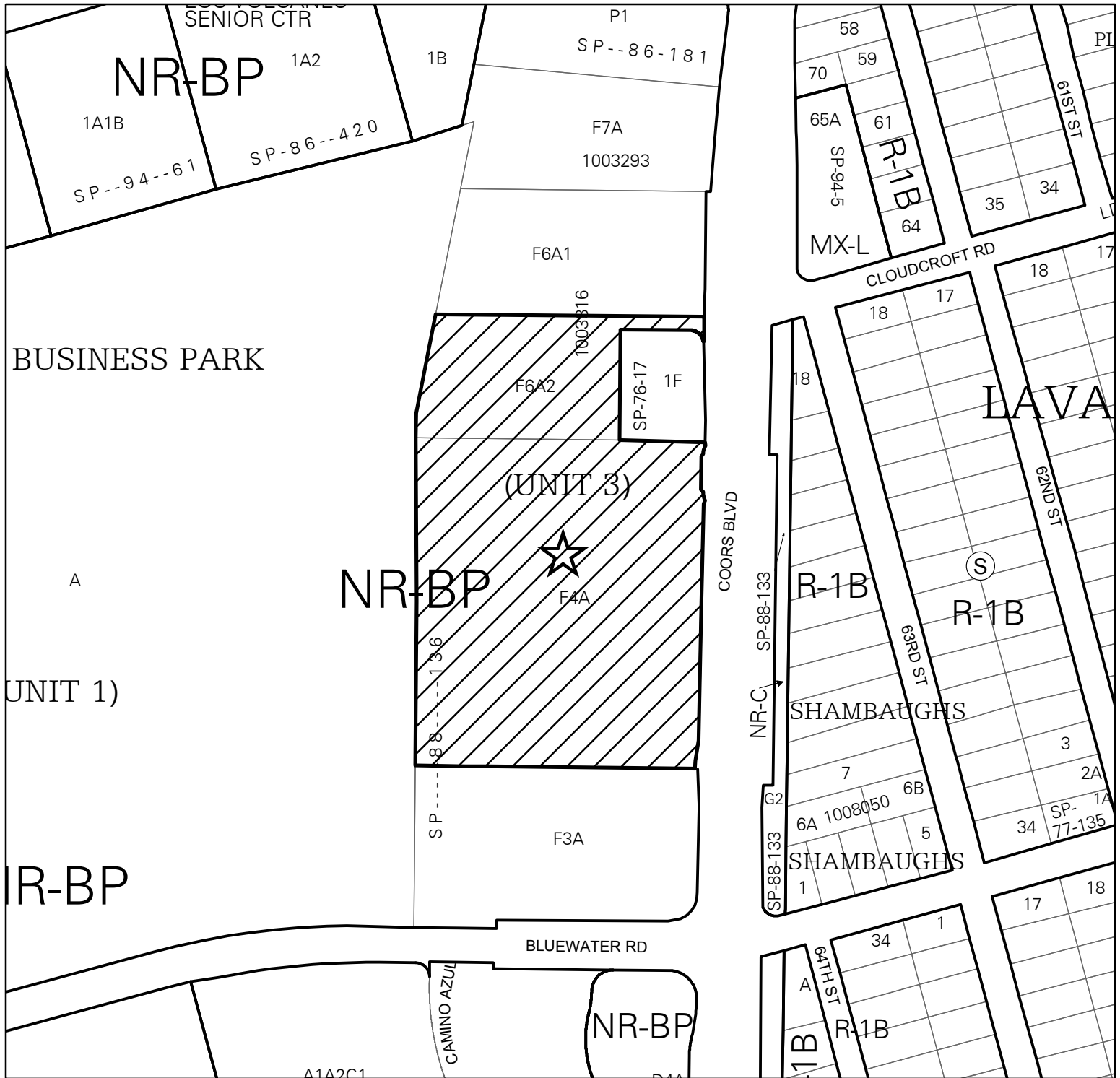
The Zoning Map Amendment has been adequately justified pursuant to the IDO Review and Decision criteria in 6-7(F)(3).

Property owners within 100 ft. of the subject site and affected neighborhood associations were notified as required. One comment in support of the zone change was received.

Staff recommends approval.







IDO ZONING MAP

Note: Gray shading indicates County.



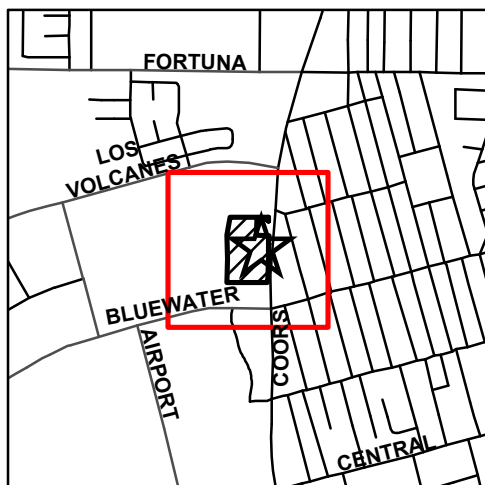
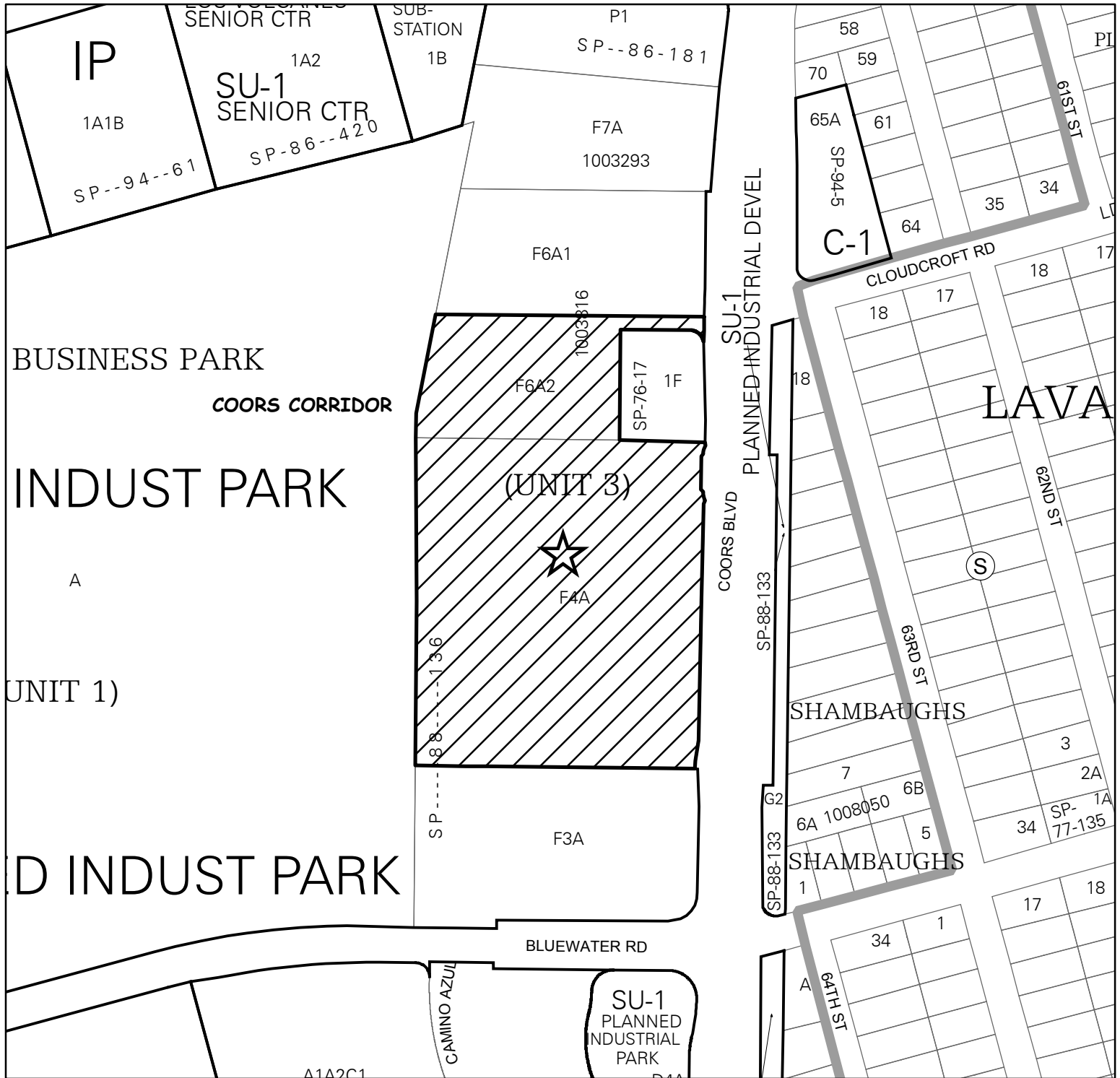
1 inch = 250 feet

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Zone Atlas Page:
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OLD ZONING MAP

Note: Gray shading indicates County.



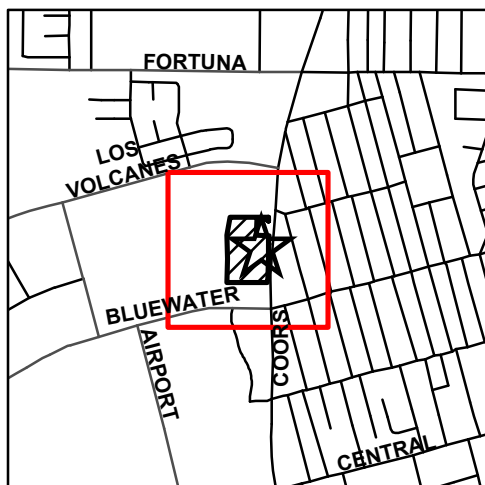
1 inch = 250 feet

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LAND USE MAP

Note: Gray shading indicates County.

Key to Land Use Abbreviations	
LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSV Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



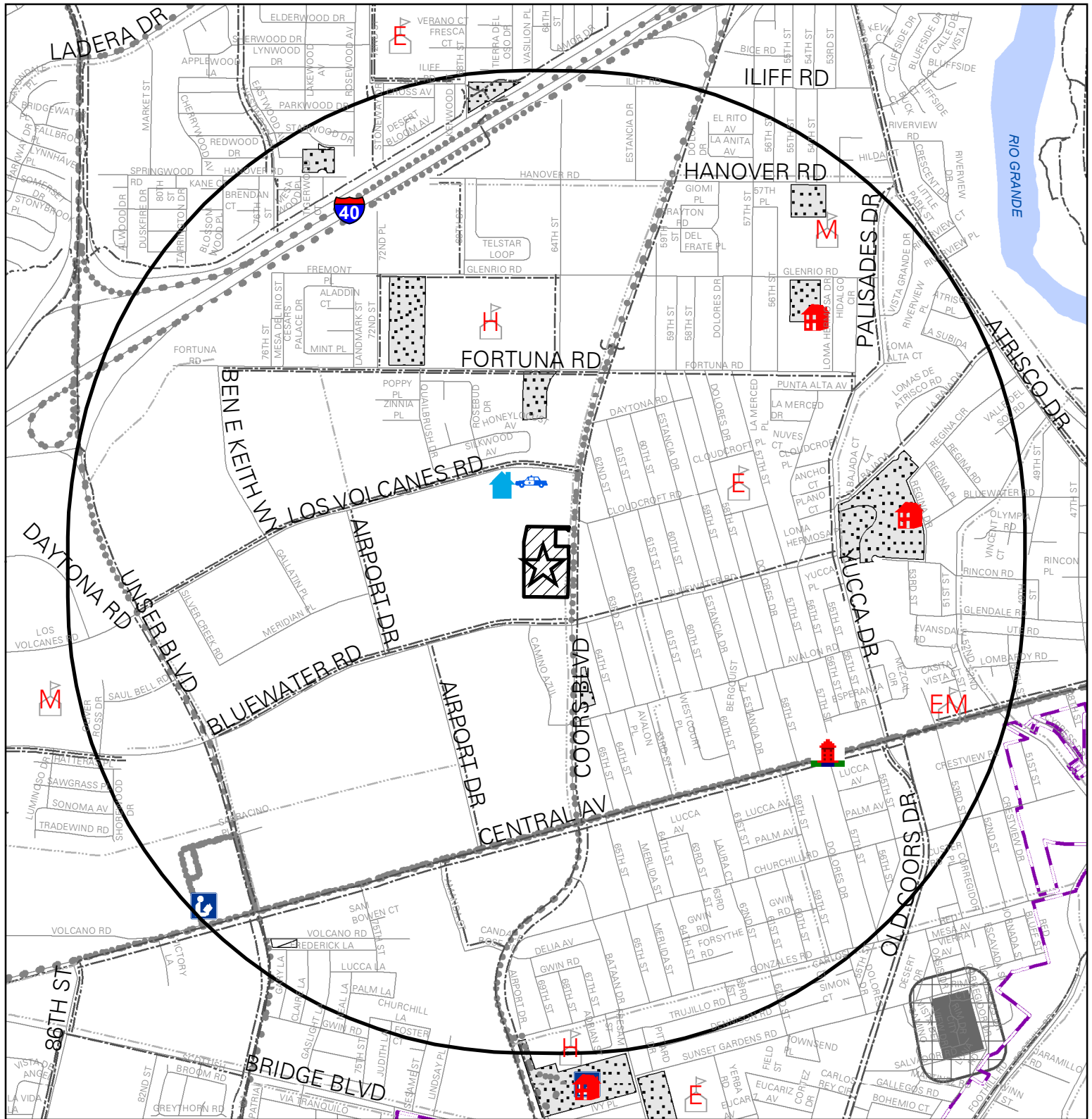
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Public Facilities Map with One-Mile Buffer





















- | | | | |
|--|---|--|---|
|  Community Center |  Fire |  Public School |  Landfill designated by EHD |
|  Multi-Service Center |  Police |  Proposed Bike Facilities |  Landfill Buffer (1000-feet) |
|  Senior Center |  Sheriff |  ABQ Bike Facilities |  Developed City Park |
|  Library |  Solid Waste |  ABQ Ride Route |  Undeveloped City Park |
|  Museum | |  Albuquerque City Limits |  Developed County Park |
| | | |  Undeveloped County Park |

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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	Zoning	Development Area	Land Use
Site	NR-BP	Area of Change	Vacant
	NR-BP		Commercial Retail/ Convenience Store / Community/Senior Center
North		Area of Change	
South	NR-SU	Area of Change	Police Substation
	NR-BP		Commercial/Bank
East	R-ML	Area of Consistency	Multi-family Residential
	R-1B*		Single-family Residential
(across Coors Blvd.)	MX-L	Area of Change	Car Wash
	NR-BP		Commercial Services / Manufacturing / Warehousing
West		Area of Change	
	R-ML		Multi-family Residential

* Note that there is a narrow strip of NR-C zoning along the east side of Coors Blvd., between the right-of-way and the low-density residential development zone R-1B. This narrow strip of NR-C is currently vacant.

Request

This is a request is for a Zoning Map Amendment (zone change) for an approximately 9-acre site made up of two parcels known as TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A and TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 of Atrisco Business Park Unit 3. The subject site is located on the west side of Coors Blvd. NW, between Bluewater Rd. NW and Los Volcanes Rd. NW. The subject site does not have access onto Bluewater Rd. or Los Volcanes Rd as it is in the middle of the block between these two roads.

The subject site is zoned Non-residential – Business Park (NR-BP). The applicant is requesting a zone change to Mixed-use – Moderate Intensity (MX-M). The application includes a description of and an illustrative site plan for a potential development that would include multi-family units, including multi-family units intended for senior living. Any future proposed site plan will be reviewed and decided by the DRB because the site is over 5 acres.

EPC Role

The Environmental Planning Commission (EPC) is hearing this case because the EPC is required to hear all zone change cases, regardless of site size, in the City. In this case, due to the size of the site and its designation as an Area of Change, the EPC is the final decision-

making body unless its decision is appealed. If an appeal is filed, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

The EPC's role is to ensure that the review and decision criteria for a Zoning Map Amendment – EPC (IDO Subsection 14-16-6-7(F)(3)) are met. This includes the applicant's burden to demonstrate that the requested zone district is more advantageous to the community as articulated by the Albuquerque / Bernalillo County Comprehensive Plan (ABC Comp Plan), including implementation of patterns of land use, development density and intensity, and connectivity.

Context

The subject site is within the Atrisco Business Park and located directly abutting Coors Blvd. NW between Bluewater Rd. and Los Volcanes Rd. The subject site is currently vacant. To the north and south of the site along Coors Blvd. are relatively small commercial establishments, including a bank and a Big Lots department store. To the south across Bluewater Rd. is a two-story multi-family development. The Atrisco Business Park extends beyond Unser Blvd. to the west and has been mostly developed with a mix of warehousing, manufacturing, commercial, community buildings, and multi-family development. Across Coors Blvd. to the east is primarily single-family residential neighborhoods, which generally extend eastward all the way to Atrisco Dr. and the Rio Grande.

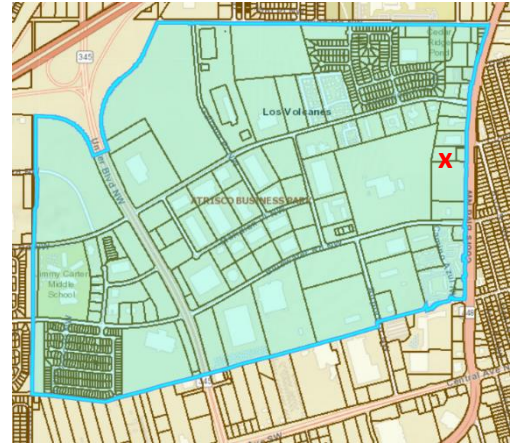
The west side of Albuquerque is developed predominantly with residential uses and, in particular with low-density residential uses, which has led to an imbalance of jobs and housing that exacerbates traffic on the river crossings. The area east of Coors Blvd. and south of Central Ave. is particularly underserved by non-residential retail, service, restaurant, office, and employment uses. Near the subject site, however, the Atrisco Business Park has largely developed with warehousing, manufacturing, distribution, and commercial services uses and Coors Blvd., particularly the west side of the road, has developed with more neighborhood- and regional-serving commercial uses and some multi-family development.

The MRCOG Futures 2040 MTP classifies the Atrisco Business Park as a Reinvestment Center. This designation is for “existing long-time hub of activity but targeted for relatively new redevelopment or additional activity.” This designation aligns with the evolution of Coors Blvd. Previously, this state highway had carried mostly industrial and freight traffic. As the surrounding area has developed and Coors Blvd. has become the primary north-south commuter route on the west side, some freight traffic has moved to Unser Blvd.

Coors Blvd. is designated as a Major Transit Corridor in the ABC Comp Plan with weekday service that runs approximately every 30 minutes. Coors Blvd. has 3 lanes of traffic in each direction with posted speeds of 45 mph. Center medians limit turning movements to major intersections and periodic locations between those intersections. Along Coors Blvd., sidewalks are fairly wide to accommodate people walking and biking; however, vehicle speeds and volumes, as well as a lack of street trees, do not necessarily support biking and walking. To the south, a more recent multi-family development includes street trees, which contribute to a more pleasant walking experience.

History

The site was annexed by the City of Albuquerque in the 1940s. In 1992, the Atrisco Business Park Master Development Plan for IP Uses (industrial park) was approved by the EPC. That plan puts forth standards regarding floor-area ratio, setbacks, architecture, landscaping, parking, screening, lighting, signage, and grading and drainage. The plan was amended in 2004 and 2018 to require edge buffering and to address development of larger lots, respectively. The lots in this application are at the far eastern edge of the Business Park and remain undeveloped and would continue to be controlled by applicable standards in the Master Development Plan if this zone change request is approved (see red X on location map).



Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG) as part of the Metropolitan Transportation Plan (MTP), includes existing roadways and future recommended roadways along with their regional role.

The LRRS designates Coors Blvd. NW as a Regional Principal Arterial. According to the MTP, Regional principal arterials are primarily for long-distance travel, prioritize passenger vehicles, and tend to have higher speeds and more lanes.

The LRRS designates Bluewater Rd. NW and Los Volcanes Rd. NW as Major Collector streets.

Coors Blvd. is the primary freight corridor on the west side of the Rio Grande and there are no truck restrictions. According to the most recent update to the MTP, restrictions to freight movement on Unser north of I-40 “effectively makes Coors Blvd. the sole north-south arterial for freight movements west of the river. Atrisco Vista Blvd, well west of significant commercial development, functions as an arterial route for through movements to markets in far northwest Albuquerque and Rio Rancho.” It is unclear whether these restrictions on Unser impact access to the Atrisco Business Park from Central Ave. or I-40. According to the applicant, the pattern of medians on Coors Blvd. and the increased use of Coors Blvd. by commuters has reduced accessibility to the site, as well as the rest of the Atrisco Business Park, from Coors Blvd.

Comprehensive Plan Corridor Designation

Coors Blvd. is designated as a Major Transit Corridor. This designation is intended for roads that are planned to have frequent transit service. These corridors prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the

Centers they connect. Development along Major Transit Corridors should be transit- and pedestrian-oriented near transit stops, while auto-oriented for much of the Corridor. Building heights and development densities may be higher in Centers along these Corridors but should be stepped back behind the Corridor to respect established neighborhoods.

Trails/Bikeways

The Long Range Bikeway System (LRBS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies existing and proposed trails.

The LRBS shows a Proposed Bicycle Lane on Coors Blvd. NW adjacent to the site, and an Existing Bicycle Lane on both Los Volcanes Rd. and Bluewater Rd., the streets to the north and south of the site. There's also an Existing Bicycle Route on the west side of the block containing the subject site, along Airport Dr. NW.

Transit

ABQ Ride Route #155-Coors serves the subject site along Coors Blvd. This route runs from Gun Club to the Northwest Transit Center, with peak frequencies of 30 minutes weekdays and 45 minutes on Saturdays and Sundays. The subject site is approximately ½-mile north of the ART station at Central and Coors.

Public Facilities/Community Services

Please refer to the Public Facilities Map (see attachments), which shows public facilities and community services located within one mile of the subject site.

The Los Volcanes Senior Center and Child Development Center, as well as an APD sub-station, are just northwest of the subject site along Los Volcanes Rd.

II. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Infill Development: An area of platted or unplatted land that includes no more than 20 acres of land and where at least 75 percent of the parcels adjacent to the proposed development have been developed and contain existing primary buildings.

Mixed-use Development: Properties with residential development and non-residential development on a single lot or premises. For the purposes of this IDO, mixed-use development can take place in the same building (i.e. vertical mixed-use) or separate buildings on the same lot or premises (i.e. horizontal mixed-use).

Zoning

The current zoning, Non-Residential Business Park (NR-BP), accommodates a wide range of nonresidential uses in campus-like settings to buffer potential impacts from surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, light industrial, office, distribution, showroom, processing, and institutional uses.

The proposed zoning, Mixed-use – Moderate Intensity (MX-M), would provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors.

There are two primary differences between the existing zoning and the requested zoning:

- The existing NR-BP zoning allows – permissively or conditionally – some more intense non-residential uses that would not be allowed, or that would require a Conditional Use Approval in the MX-M zone, including but not limited to light manufacturing, warehousing, wholesaling and distribution, outdoor vehicle storage, and salvage yards.
- The proposed MX-M allows a variety of residential permitted uses, not including single-family residential. The only residential use allowed in NR-BP is live-work, and it requires a Conditional Use Approval. MX-M would add townhouses, multi-family, a variety of group living uses, and residential community amenities.

Use-specific Standards

IDO sub-section 14-16-4-3(B)(7)(c): “In any Mixed-use zone district west of the Rio Grande on properties abutting a Major or Premium Transit Corridor, allowable uses in the Commercial category are required along at least 50 percent of the ground floor of the façade facing the Major or Premium Transit Corridor.” This provision is a Use-specific Standard for multi-family residential development, and would require any residential development on the site, as proposed, to be mixed-use and not entirely residential.

Character Protection Overlay zone (CPO)

The site is entirely within the Coors Blvd. CPO – 2, which sets out standards for setbacks, building height and bulk, grading, and signage. Provisions in the CPO would apply to development regardless of the zoning, but are subordinate to any conflicting standards in the prior-approved Atrisco Business Park master plan per IDO Subsection 14-16-1-10(A).

Albuquerque / Bernalillo County Comprehensive Plan (ABC Comp Plan)

The subject site is located in an Area of Change as designated by the ABC Comp Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. The subject site is also located on a Major Transit Corridor as designated by the ABC Comp Plan. Major Transit Corridors are intended for higher density housing and mixed-use development that will support transit service. The Applicant’s justification relies primarily on these types of policies.

The ABC Comp Plan also contains policies that encourage the development of uses that create base jobs and maintenance of existing land zoned for those kinds of uses, particularly on the west side, where there is generally more housing than jobs, which has exacerbated traffic issues on the river crossings. The following policies and sub-policies in particular encourage fostering job growth, particularly by maintaining land that will support such job growth.

- A. POLICY 5.4.2 – West Side Jobs: Foster employment opportunities on the West Side. (addressed by the Applicant, with detailed analysis below)
- B. SUB-POLICY 5.6.2.i: Discourage zone changes from industrial uses to either mixed-use or residential zones. (not addressed by the Applicant)
- C. POLICY 8.1.5 – Available Land: Maintain sufficient land that is appropriately zoned to accommodate projected employment growth in targeted areas. (not addressed by the Applicant)

The existing NR-BP zoning allows a mix of non-residential uses that are generally expected to support base job growth. The requested MX-M zoning retains many of the same non-residential uses, except for the more intense uses like light manufacturing and warehousing. Because many non-residential uses that support base jobs would still be allowed in MX-M, this request does not directly conflict with Policy 5.4.2 or policy 8.1.5. It does, however, conflict with Sub-policy 5.6.2.i. The request may also generally reduce the future opportunities for job growth at this site by allowing residential uses, which may or may not be developed on the subject site.

The goals and policies listed below are cited by the applicant in the zone change justification letter dated June 29, 2020 (see attachment). When a goal or policy is listed and is not applicable, it is because the applicant included it in the zone change justification letter.

Note: A summary of the Applicant’s justification is in indented *italics*; Staff’s analysis is indented **bold** text.

The following policies encourage development, higher density residential uses, and/or mixed-use development near Major Transit Corridors, including referring to Centers and Corridors more generally; near transit stops or stations; and in Areas of Change. A summary of the Applicant’s justification for these types of policies and Staff’s analysis follow the list of policies.

- POLICY 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.
 - SUB-POLICY 5.1.1.c: Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.
 - SUB-POLICY 5.1.1.g: Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.
- POLICY 5.1.10 – Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.
 - SUB-POLICY 5.1.10.a: Encourage higher-density residential developments within ¼ mile of transit stops or stations.
- POLICY 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

- SUB-POLICY 5.6.2.c: Foster a range of housing options at various densities according to each Center or Corridor type.
- SUB-POLICY 5.6.2.d: Encourage higher-density housing and mixed-use developments as appropriate land uses that support transit and commercial retail use.
- GOAL 9.3 – Density: Support increased housing density inappropriate places with adequate services and amenities.
- POLICY 9.3.1 – Centers and Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

The site in question is located on a Major Transit Corridor, less than 200 feet from a bus stop, and ½ mile from an Albuquerque Rapid Transit stop at Central and Coors. It is also in an Area of Change and is an infill site per the IDO definition. The change to MX-M would open the possibility for a number of uses on the infill site including live-work and multi-family dwellings, increasing support for transit ridership.

The zone change allows and encourages a number of uses that facilitate the encouragement of employment density, compact development, and infill in a Major Transit Corridor. The MX-M zoning would also permit a number of higher density residential uses that would be appropriately located along a Major Transit Corridor, near an established Activity Center, and adjacent to other developed uses as a way to discourage the need for development at the urban edge. (See also Applicant justification letter for additional explanations for each individual Policy and Sub-policy).

The request would create more opportunities for development of this infill site, which is along a Major Transit Corridor and in an Area of Change. The subject site is served by public transit, with stops for northbound and southbound transit service at Coors Blvd. and Bluewater Rd. The proposed MX-M zoning would allow for a more diverse range of uses that would support employment opportunities and compact development. MX-M also allows residential uses (mostly multi-family and other higher density uses), which are not allowed by the existing NR-BP zoning. This mix of uses are appropriate in this location along a Major Transit Corridor and IDO Sub-section 14-16-4-3(B)(7)(c) would require that any residential development include some mixed or non-residential uses. The request furthers Policy 5.1.1 and Sub-policies 5.1.1.c and 5.1.1.g, Policy 5.1.10 and Sub-policy 5.1.10.a, Policy 5.6.2 and Sub-policies 5.6.2.c and 5.6.2.d, and Goal 9.3 and Policy 9.3.1.

PLAN ELEMENT 5 – Land Use

SUB-POLICY 5.1.1.d: Encourage the development of multi-unit, multi-story apartments and mixed-use residential buildings in Activity Centers to increase housing density and expand housing options and affordability.

Not applicable – the subject site is not located within an Activity Center.

SUB-POLICY 5.1.1.f: Discourage the development of detached single-family housing as inappropriate use in Centers and along Corridors.

Not applicable – neither the existing nor proposed zoning allows single-family residential.

SUB-POLICY 5.1.10.c: Encourage mixed-use development in Centers and near intersections.

Not applicable – the subject site is not within an Activity Center and is in the middle of the block between Bluewater Rd. and Los Volcanes Rd., so it is not located at an intersection.

POLICY 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from the surrounding neighborhoods.

SUB-POLICY 5.2.1.d: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Policy 5.2.1.d is furthered by this request. The current NR-BP zoning does not allow for any residential uses other than live-work dwellings as a conditional accessory. Limiting any option of residential to one single use and further making it an accessory component. The requested MX-M zoning would allow for a range of income and lifestyle housing options, ranging from multifamily, to townhomes, to group and assisted living facilities to be mixed with commercial development opportunities.

The request would permissively allow residential uses that the current NR-BP zoning does not allow, and would allow various forms of residential development; however, the request does not ensure that those options will be provided or that any residential development would meet a range of incomes or lifestyles. The request furthers Sub-policy 5.2.1.d.

SUB-POLICY 5.2.1.f: Encourage higher density housing as an appropriate use in the following situations:

- i. Within designated Centers and Corridors.
- ii. In areas with good street connectivity and convenient access to transit.
- iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses, and where adequate infrastructure is or will be available.

Policy 5.2.1.f.i through iii. is furthered by this request. The property lies within a Major Transit Corridor and is easily accessible from Coors Blvd, Central Ave, and Interstate-40. With a bus stop located along the Coors frontage of the site, and an Albuquerque Rapid Transit station located on Central Ave less than a ½ mile away, providing convenient access to transit facilities for residential uses that would be allowed under MX-M zoning.

The area surrounding the site provides mixed density patterns, from MX-M to MX-L to R-ML to R-1B and NR-BP. The pattern of the mixture of these zones would be compatible with the proposed MX-M zoning. No major infrastructure would be required to be extended or created due to the proposed development.

The request would permissively allow high density residential uses that the current NR-BP zoning does not allow. The subject site is on a Major Transit Corridor with convenient access to transit. While the site is within the Atrisco Business Park Master Development Plan area, which contains many fairly intense non-residential uses, the development along the west side of Coors in this area includes a mix of multi-family development and smaller-scale commercial development. The subject site is an infill site because it is located in an area that is largely surrounded by developed land. Existing infrastructure and public facilities are in place to serve the subject site. The request furthers Sub-policy 5.2.1.f.

SUB-POLICY 5.2.1.n: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The current NR-BP zoning encourages uses that require daily operations with a large volume of heavy truck traffic entering and exiting a site that is no longer suitable to these types of users. As mentioned in the letter from Maestas & Ward in Appendix B, the site has sat vacant for over three decades. The market has shown that the site is not suitable for a majority of the uses that would be lost in a change from NR-BP to MX-M. Access to, from and within this location would be difficult for heavy trucks. These elements make it more desirable to market the property with a residential aspect to broaden the buyer demographic for the property.

The subject site is vacant and is one of a few vacant sites abutting Coors Blvd. in this area. The applicant has provided documentation explaining why many of the allowed uses in the existing NR-BP zoning are not appropriate for this location, and the development patterns along Coors Blvd. are consistent with the mix of uses and development types that are allowed by the requested MX-M zoning, which may encourage more productive use of the site. The request furthers Sub-policy 5.2.1.n.

POLICY 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

This site is 8.95 acres where 100% of the adjacent lands have been developed out and contain primary buildings, which meets the IDO definition of infill development. No new infrastructure or public facilities would be needed for this proposed development. The Comp Plan also supports infill and more varied housing opportunities more generally. The proposed zone change will help facilitate these long term goals by supporting additional appropriate growth at the subject site.

The subject site is an infill site because it is located in an area that is largely surrounded by developed land. Existing infrastructure and public facilities are in place to serve the subject site. The request furthers Policy 5.3.1.

POLICY 5.3.5 – School Capacity: Discourage zone changes from non-residential to residential or mixed-use zones when affected public schools have insufficient capacity to support anticipated increase of students based on proposed dwelling units.

The zone request to MX-M from NR-BP would promote the opportunity for residential and mixed-use development at this location, which is a location of need for housing

opportunities for low-income families. Where residential uses might impact schools, APS has several options to address that impact, which are outlined in the APS comments. MX-M zoning also promotes residential uses in the form of group assisted living and independent senior living. These are residential facilities that do not have children living in them, thus having no impact on school capacities.

Albuquerque Public Schools (APS) comments indicate that the request would impact 3 area schools. West Mesa, the high school that serves the area, has insufficient capacity to support an increase of students. The MX-M zone would allow a mix of residential and non-residential uses and the request is to change the zoning to a zone that allows residential uses. While future development on the subject site may or may not have the impact estimated by APS depending on the specific type of development planned in the future, the request does not further Policy 5.3.5.

POLICY 5.4.1 – Housing near Jobs: Allow higher-density housing and discourage single-family housing near areas with concentrated employment.

SUB-POLICY 5.4.1.a: Prioritize higher-density housing where services and infrastructure are available.

Policy 5.4.1.a is furthered by this request. By changing from NR-BP to MX-M higher density housing becomes a permissive use. No additional or upgraded infrastructure improvements are required for the development of the site. The subject site is approximately ½ mile in proximity to the West Route 66 Activity Center. The zone change from NR-BP to MX-M facilitates the goal of prioritizing higher-density housing where services and infrastructure are available.

The request would permissively allow high density residential uses that the current NR-BP zoning does not allow. The subject site is largely surrounded by developed land and existing infrastructure and public facilities are in place to serve the subject site. The land to the west of the site is largely developed with industrial uses that concentrate employment opportunities in this area. The request furthers Sub-policy 5.4.1.a.

POLICY 5.4.2 – West Side Jobs: Foster employment opportunities on the West Side.

SUB-POLICY 5.4.2.a: Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

Policy 5.4.2.a is furthered by this zone change request. A change from NR-BP to MX-M would remove 15 permissive uses, many of which rely on freight access, which is not appropriate in this location. If approved, 54 uses in the Civic & Institutional, Commercial, and Industrial categories would still be permissive on the site. Therefore, this request does not reduce the capacity of land zoned for commercial, office, and industrial uses but rather limits it to more appropriate and safe uses at the site in question.

Furthermore, there exist 236 acres of NR-BP zoned land west of this site as well as an additional 1,000 acres regionally that are serving to fulfill this need. These numbers do not include Santolina nor the Upper Petroglyphs where large employment projects are planned

and underway. All of these locations are more appropriate for NR-BP uses.

The request would change the allowed non-residential uses, removing most allowed industrial uses, but would still allow a mix of commercial and office uses that would support job growth on this site on the west side. The request would also allow residential uses where none are currently allowed. Although the requested MX-M zoning does retain some uses that support job growth, the existing zoning is more supportive of those kinds of uses, and the addition of allowed residential uses, if developed on the site, would degrade existing capacity for job growth on this site located west of the Rio Grande. The request does not further Policy 5.4.2 or Sub-policy 5.4.2.a.

POLICY 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

SUB-POLICY 5.6.2.f: Minimize potential negative impacts of development on existing residential uses with respect to noise, stormwater runoff, contaminants, lighting, air quality, and traffic.

Not applicable – while the applicant rightly points out that some NR-BP uses have negative impacts for the single-family residential to the east, there may also be negative impacts of uses allowed in the requested MX-M zone. In either case, those negative impacts would be addressed by IDO design standards and residential protections.

SUB-POLICY 5.6.2.g: Encourage development in areas with a highly connected street grid and frequent transit service.

Policy 5.6.2.g is furthered by this request. The proposed zoning would promote uses of multi-family and group living along a major transit corridor and within ½ mile of an Albuquerque Rapid Transit Stop at Coors Blvd. & Central Ave. as well as a bus stop along the frontage of the property. These types of uses have more of a demand for available public transit services in close proximity.

The request would encourage development on property in an Area of Change and along a Major Transit Corridor with peak weekday service frequencies of 30 minutes and with access to ART premium transit service along Central. The subject site is not an area with a highly connected street grid. The request partially furthers Policy 5.6.2 and Sub-policy 5.6.2.g.

PLAN ELEMENT 9 – Housing

POLICY 9.1.1 – Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

SUB-POLICY 9.1.1.a: Increase the supply of housing that is affordable for all income levels.

Although the proposed MXM zoning does not guarantee housing affordable for all income levels at this location. It does open this market for affordable housing to this site, increasing the chances for new affordable housing not located along urban edges. The current zoning

of NR-BP outright does not allow any residential uses, eliminating the potential for increasing affordable housing.

SUB-POLICY 9.1.1.b: Provide for the development of quality housing for elderly residents.

Similar to 9.1.1.a, the proposed zone at this location does not guarantee quality housing for elderly residents but it does increase the chances to provide that use. The current NR-BP zoning outright would not allow any housing for elderly residents.

SUB-POLICY 9.1.1.i: Provide for the development of multi-family housing close to public services, transit, and shopping.

The proposed zoning does not guarantee multi-family housing but does increase the probability of multi-family housing at a location that is within close proximity to the West Route 66 Activity Center, an Albuquerque Rapid Transit stop near Coors Blvd. & Central Ave, and within walking distance to various shopping locations such as Big Lots, Walgreens, Family Dollar, Smith's Grocery, Albertson's Grocery, and various restaurant establishments.

The request would permissively allow residential uses that the current NR-BP zoning does not allow, and would allow various forms of multi-family and group living residential development. The requested MX-M zone also allows a variety of commercial, office, and other non-residential uses. The Applicant's justification refers to uses on the illustrative site plan provided with the application, which is not under review by the EPC, so the requested zoning does not ensure that those options will be provided or that any residential development would meet a range of incomes or lifestyles as referenced. The subject site is also near public services, transit, and shopping. The request furthers Policy 9.1.1 and Sub-policies 9.1.1.a, 9.1.1.b, and 9.1.1.i.

POLICY 9.1.2 – Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

SUB-POLICY 9.1.2.a: Prioritize support for affordable housing that the market is unable to provide for populations with the lowest income levels and/or special needs.

SUB-POLICY 9.1.2.d: Encourage the development of higher density affordable and mixed income housing in Downtown, near job centers, and along transit corridors.

Not applicable – This request is for a zone change to MX-M that would allow for affordable housing to be developed at the site, but there is no guarantee that this Sub-policy will be met based solely on the zoning.

POLICY 9.2.1: Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context - i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street.

Not applicable – the request would allow residential uses, but the design, quality and materials cannot be guaranteed by a zone change approval and would be addressed through the site plan review process.

POLICY 9.2.2: High Quality: Encourage quality and innovation in new housing design and construction, materials, and energy and water conservation.

Not applicable – the request would allow residential uses, but the design, quality and materials cannot be guaranteed by a zone change approval and would be addressed through the site plan review process.

Master Development Plan

The Atrisco Business Park Master Development Plan for IP Uses, adopted in 1992 and updated in 2018, would maintain influence over the development of these lots following the proposed zone change, if approved.

III. ZONING MAP AMENDMENT (ZONE CHANGE)

Pursuant to section 14-16-6-7(F)(3) of the IDO, Review and Decision Criteria, "An application for a Zoning Map Amendment shall be approved if it meets all of the following criteria."

There are several criteria that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

Note: Applicant's Justification is in indented *italics*. Staff's analysis is in indented **bold**.

- (a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

The subject site is located within an Area of Change and is zoned NR-BP, surrounded by R-ML, R-1B, MX-M and NR-BP zoned properties that have been previously developed. Applicable Goals and Policies listed above would be furthered by a zone map amendment to the subject site from NR-BP to MX-M and would be consistent with the general pattern of development along the major transit corridor and in proximity to the West Route 66 Activity Center.

Consistency with the City's health, safety, and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan goals and policies (and other plans if applicable) and does not significantly conflict with them. The applicant has adequately demonstrated, in a policy-based response, that the request would furthers a preponderance of ABC Comp Plan policies and would be consistent with the City's health, safety, and general welfare. The response to Criterion (a) is sufficient.

- (b) If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that

character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site.
3. A different zone district is more advantageous to the community as articulated by the ABC Com Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The subject site is located wholly in an Area of Change, so this criterion does not apply.

The subject site is located wholly in an Area of Change, so Criterion (b) does not apply.

(c) If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The request meets the sub-criteria #2 and 3 above. The subject site is located wholly in an Area of Change. As development along Coors in this area has developed over the decades, the corridor has shifted more from an originally planned industrial area to more of a mixed-use of commercial/retail/residential uses. This supports sub-criteria 2 above. A zone change from NR-BP to MX-M would encourage development and growth, and would reinforce and strengthen the existing established character of the surrounding residential parcels as supported by the Comp Plan. This supports criteria 3 above as demonstrated by the request. The request furthers numerous Comp Plan goals and policies including supporting growth and development by broadening the market use to the site, preserving the distinct surrounding community by discouraging light manufacturing or controversial adult entertainment uses near neighborhoods, and encouraging infill to a vacant tract of land that has not been desirable with the current zoning.

The subject site is located wholly in an area of Change. The Applicant has provided a description of changes to the character and freight accessibility of Coors Blvd., particularly in the area of the subject site to demonstrate that changed community conditions have made this site undesirable for the types of uses most commonly

associated with NR-BP zoning. The Applicant has also demonstrated, through the policy analysis above, would be more advantageous given that it furthers a preponderance of applicable goals policies. The response to Criterion (c) is sufficient.

- (d) The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

As shown in the use comparisons tables in Appendix C, the zone change would eliminate permissive and conditional uses that would be harmful to adjacent property, the neighborhood, or the community as the proposed zoning is consistent with the immediate surrounding area. These uses that would be eliminated and help maintain a higher level of air quality for the surrounding area are heavy vehicle equipment sales and fueling, freight terminal and dispatch center, salvage yard, helipads, and light manufacturing.

The majority of permissive uses in MX-M are less intense or potentially harmful to adjacent properties than the permissive uses in NR-BP. In addition, IDO Use-specific Standards and Development Standards will help mitigate potential impacts. The response to Criterion (d) is sufficient.

- (e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:

1. Have adequate capacity to serve the development made possible by the change of zone.
2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City- approved Development Agreement between the City and the applicant.

The request meets the sub-criteria #1. The City and ABCWUA existing infrastructure and previously completed public improvements will have adequate capacity to serve the development made possible by the change of zone because the site is located along a developed major transit corridor.

The request furthers this requirement because the City's existing infrastructure and public improvements currently have adequate capacity to serve the subject site. The response to Criterion (e) is sufficient.

- (f) The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

The justification for the zone change request is not based on the property's location on a major street.

The Applicant's justification is not completely based on the subject site's location on Coors

Blvd. SW. The designation of Coors Blvd. as a Major Transit Corridor is an important part of the justification, but that is based in ABC Comp Plan policies that support development on those types of Corridors. The response to Criterion (f) is sufficient.

- (g) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

The zone change request is not based on the cost of land or economic considerations.

Economic considerations are a factor, but the applicant's justification is not based completely or predominately on the cost of land or economic considerations. The main purpose of the request is to allow for uses on the property that are appropriate in an infill site along a Major Transit Corridor. The response to Criterion (g) is sufficient.

- (h) The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

The request meets the sub-criteria #1. The zone change request does not result in a spot zone as the proposed zoning is consistent with the abutting and surrounding zoned properties and is identical in use to the multifamily property located to the south of the subject property. The result is a much more desirable transition and blend with the various adjacent zones.

The request is not a spot zone given the size of the subject site. The requested zoning (MX-M) would be different from the surrounding zoning, but the allowed uses and development types associated with the MX-M zone district would be consistent with the existing development pattern and ABC Comp Plan goals and policies for the location on a Major Transit Corridor. The response to Criterion (h) is sufficient.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

Most reviewing agencies had no or no adverse comments on this application. Three more extensive comments were submitted:

- Long Range Planning comments concurred with most Comp Plan policies cited by the Applicant, while also highlighting the fact that the “request would not prioritize job growth west of the Rio Grande.” The EPC, as a discretionary decision-making body, must weigh policies about prioritizing west side jobs against policies that encourage more mixed-use and residential development on sites along Major Transit Corridors.
- Albuquerque Public Schools gave enrollment estimates based on the application and commented that a residential development at this site would impact three schools, one of which is already struggling with overcrowding.
- PNM, ABCWUA, and NMDOT submitted comments that should be reviewed and addressed as part of the site plan development process for any future development on the site.

Agency comments begin on p. 25 of this report.

Neighborhood/Public

Notified neighborhoods:

- West Mesa Neighborhood Association
- Los Volcanes Neighborhood Association
- South West Alliance of Neighborhoods
- West Side Coalition of Neighborhood Associations

A neighborhood meeting was held on Tuesday July 28th at 6:00 p.m. There were two in-person attendees and three people attended via Zoom. The applicant provided an overview of the request, as well as information about the illustrative site plan of a potential development project that could be approved with the zone change. Overall, based on the notes provided by the Applicant, those in attendance were generally supportive of the proposed project. The only comment staff received from the public was from West Mesa Neighborhood Association, who stated they approved of the proposed zoning change.

V. CONCLUSION

The request is for a Zoning Map Amendment (zone change) for an approximately 9-acre site made up of two parcels known as TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A and TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 of Atrisco Business Park Unit 3. The existing zoning is Non-residential – Business Park (NR-BP) and request is for a zone change to Mixed-use – Moderate Intensity (MX-M).

While the Applicant has provided an illustrative site plan for potential development that is primarily residential, the request is for a zone change from NR-BP to MX-M, a zone that allows a variety of commercial, office, and other non-residential uses, in addition to some higher density

residential uses. This request generally conflicts with some ABC Comp Plan policies that discourage any degradation of entitlements to non-residential uses that support job growth to address the imbalance of jobs and housing on the west side. The requested MX-M zoning would retain a number of non-residential uses, so this zone may still be appropriate in this location; however, the application includes an illustrative plan for potential development that would be almost entirely residential, which does not support the ABC Comp Plan policies about jobs on the west side. The EPC should make its decision based on whether the *zone change*, and not the proposed development, furthers ABC Comp Plan goals and policies, but should consider the possibility that this zone change could allow development that conflicts with certain policies.

On the other hand, there are also many ABC Comp Plan goals and policies that support mixed-use and higher density development along Major Transit Corridors, Areas of Change, and in locations where the infrastructure and surrounding development are compatible with these types of development. The subject site is in a Major Transit Corridor and an Area of Change, and the general development pattern along Coors Blvd. near the site includes smaller, more neighborhood-scale commercial and multi-family development, so the zone change would further these goals and policies.

Considering this discrepancy in goals and policies that apply to the site, there are more ABC Comp Plan goals and policies that would be furthered by the request, but the EPC should consider the implications of weighing goals and policies that support the request due to the context over goals and policies about job growth on the west side.

Overall, a preponderance of the applicable goals and policies in the ABC Comp Plan would be furthered by this zone change and zone change has been adequately justified pursuant to the IDO Review and Decision criteria in 6-7(F)(3) based upon changed community conditions and the proposed zoning being more advantageous to the community than the current zoning.

The affected neighborhood organizations are the West Mesa Neighborhood Association, Los Volcanes Neighborhood Association, South West Alliance of Neighborhoods, and the West Side Coalition of Neighborhood Associations.

As of this writing, Staff has received one comment from the West Mesa Neighborhood Association in support of the request.

Staff recommends approval.

FINDINGS – RZ-2020-00020, September 10, 2020 – Zoning Map Amendment (Zone Change)

1. This is a request is for a Zoning Map Amendment (zone change) for an approximately 8.95-acre site made up of two vacant parcels known as TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A and TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 of the Atrisco Business Park Unit 3 subdivision, located on Coors Blvd NW between Bluewater Rd. and Los Volcanes Rd.
2. The applicant requests a zone change from Non-residential – Business Park (NR-BP) to Mixed-use – Moderate Intensity (MX-M), which would disallow certain industrial uses and allow some residential uses, retaining the majority of non-residential uses currently allowed in the NR-BP zone district.
3. The subject site is within the Atrisco Business Park Master Development Plan for IP Uses.
4. The Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan) and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is within an Area of Change as designated by the ABC Comp Plan.
6. The subject site is on a Major Transit Corridor as designated by the ABC Comp Plan.
7. The request generally furthers the following applicable ABC Comp Plan goals and policies that encourage development, higher density residential uses, and/or mixed-use development near Major Transit Corridors, including referring to Centers and Corridors more generally; near transit stops or stations; and in Areas of Change:
 - A. POLICY 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.
 - SUB-POLICY 5.1.1.c: Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.
 - SUB-POLICY 5.1.1.g: Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.
 - B. POLICY 5.1.10 – Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.
 - SUB-POLICY 5.1.10.a: Encourage higher-density residential developments within ¼ mile of transit stops or stations.
 - C. POLICY 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.
 - SUB-POLICY 5.6.2.c: Foster a range of housing options at various densities according to each Center or Corridor type.
 - SUB-POLICY 5.6.2.d: Encourage higher-density housing and mixed-use developments as appropriate land uses that support transit and commercial retail use.
 - D. GOAL 9.3 – Density: Support increased housing density inappropriate places with adequate services and amenities.

- E. POLICY 9.3.1 – Centers and Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

The request would create more opportunities for development of this infill site, which is along a Major Transit Corridor and in an Area of Change. The subject site is served by public transit, with stops for northbound and southbound transit service at Coors Blvd. and Bluewater Rd. The proposed MX-M zoning would allow for a more diverse range of uses that would support employment opportunities and compact development. MX-M also allows residential uses (mostly multi-family and other higher density uses), which are not allowed by the existing NR-BP zoning. This mix of uses are appropriate in this location along a Major Transit Corridor and IDO Sub-section 14-16-4-3(B)(7)(c) would require that any residential development include some mixed or non-residential uses.

8. The request generally furthers the following applicable ABC Comp Plan policies related to supporting development that encourages complete communities by broadening the options for development:
- A. POLICY 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from the surrounding neighborhoods.
- SUB-POLICY 5.2.1.d: Encourage development that broadens housing options to meet a range of incomes and lifestyles.
 - SUB-POLICY 5.2.1.f: Encourage higher density housing as an appropriate use in the following situations:
 - Within designated Centers and Corridors.
 - In areas with good street connectivity and convenient access to transit.
 - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses, and where adequate infrastructure is or will be available.
 - SUB-POLICY 5.2.1.n: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is on a Major Transit Corridor with convenient access to transit. The existing development pattern along Coors Blvd. in the area around the site includes a mix of multi-family development and smaller-scale commercial development. The request would permissively allow residential uses that the current NR-BP zoning does not allow, and would retain many of the non-residential uses that are more compatible with the existing pattern of development along Coors Blvd.

9. The request generally furthers the following applicable ABC Comp Plan policy related to infill development:
- A. POLICY 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is an infill site because it is located in an area that is largely surrounded by developed land. Existing infrastructure and public facilities are in place to serve the subject site.

10. The request generally furthers the following applicable ABC Comp Plan policy related to housing near jobs and where services and infrastructure are available:

- A. POLICY 5.4.1 – Housing near Jobs: Allow higher-density housing and discourage single-family housing near areas with concentrated employment.
- SUB-POLICY 5.4.1.a: Prioritize higher-density housing where services and infrastructure are available.

The request would permissively allow high density residential uses that the current NR-BP zoning does not allow. The subject site is largely surrounded by developed land and existing infrastructure and public facilities are in place to serve the subject site. The land to the west of the site is largely developed with industrial uses that concentrate employment opportunities in this area.

11. The request partially furthers the following applicable ABC Comp Plan policy related to Areas of Change:

- A. POLICY 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.
- SUB-POLICY 5.6.2.g: Encourage development in areas with a highly connected street grid and frequent transit service.

The request would encourage development on property in an Area of Change and along a Major Transit Corridor with peak weekday service frequencies of 30 minutes and with access to ART premium transit service along Central. The subject site is not an area with a highly connected street grid.

12. The request generally furthers the following applicable ABC Comp Plan policy related to housing options:

- A. POLICY 9.1.1 – Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.
- SUB-POLICY 9.1.1.a: Increase the supply of housing that is affordable for all income levels.
 - SUB-POLICY 9.1.1.b: Provide for the development of quality housing for elderly residents.
 - SUB-POLICY 9.1.1.i: Provide for the development of multi-family housing close to public services, transit, and shopping.

The request would permissively allow residential uses that the current NR-BP zoning does not allow, and would allow various forms of multi-family and group living residential development. The requested MX-M zone also allows a variety of commercial, office, and other non-residential uses. The Applicant's justification refers to uses on the illustrative site

plan provided with the application, which is not under review by the EPC, so the requested zoning does not ensure that those options will be provided or that any residential development would meet a range of incomes or lifestyles as referenced. The subject site is also near public services, transit, and shopping.

13. The applicant has adequately justified the request pursuant to IDO Section 6-7(F)(3) Review and Decision Criteria for Zoning Map Amendments. All of the applicable criteria have been met, as follows:
- (a) Consistency with the City's health, safety, and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan goals and policies (and other plans if applicable) and does not significantly conflict with them. The applicant has adequately demonstrated, in a policy-based response, that the request would furthers a preponderance of ABC Comp Plan policies and would be consistent with the City's health, safety, and general welfare.
 - (b) The subject site is located wholly in an Area of Change, so Criterion (b) does not apply.
 - (c) The subject site is located wholly in an area of Change. The Applicant has provided a description of changes to the character and freight accessibility of Coors Blvd., particularly in the area of the subject site to demonstrate that changed community conditions have made this site undesirable for the types of uses most commonly associated with NR-BP zoning. The Applicant has also demonstrated, through the policy analysis above, would be more advantageous given that it furthers a preponderance of applicable goals policies.
 - (d) The majority of permissive uses in MX-M are less intense or potentially harmful to adjacent properties than the permissive uses in NR-BP. In addition, IDO Use-specific Standards and Development Standards will help mitigate potential impacts.
 - (e) The request furthers this requirement because the City's existing infrastructure and public improvements currently have adequate capacity to serve the subject site.
 - (f) The Applicant's justification is not completely based on the subject site's location on Coors Blvd. SW. The designation of Coors Blvd. as a Major Transit Corridor is an important part of the justification, but that is based in ABC Comp Plan policies that support development on those types of Corridors.
 - (g) Economic considerations are a factor, but the applicant's justification is not based completely or predominately on the cost of land or economic considerations. The main purpose of the request is to allow for uses on the property that are appropriate in an infill site along a Major Transit Corridor.
 - (h) The request is not a spot zone given the size of the subject site. The requested zoning (MX-M) would be different from the surrounding zoning, but the allowed uses and development types associated with the MX-M zone district would be consistent with the existing development pattern and ABC Comp Plan goals and policies for the location on a Major Transit Corridor.

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14. The applicant's policy analysis adequately demonstrates that the request furthers a preponderance of applicable goals and policies in the Comprehensive Plan and does not significantly conflict with it. Based on this demonstration, the proposed zone category would be more advantageous to the community than the current zoning.
15. As of this writing, Staff has received one comment from the West Mesa Neighborhood Association in support of the request.

RECOMMENDATION

APPROVAL of Project #: 2020-004193, RZ-2020-00020, a request for a Zone Map Amendment from NR-BP to MX-M for TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A and TR F-6-A-2 PLAT OF TRACTS F-6-A-1 AND F-6-A-2 of Atrisco Business Park Unit 3, located on Coors Blvd. NW between Bluewater Rd. and Los Volcanes Rd., based on the preceding Findings.



Name
Title

Notice of Decision cc list:

Tierra West LLC, 5571 Midway Park Pl., Albuquerque, NM, 87109, vperea@tierrawestllc.com
La Mame LLC, 4310 Wellesley Dr. NE, Albuquerque, NM, 87107
Thomas Development Co., 413 W. Idaho St., Suite 200, Boise, ID, 83702, tdc@thomasdevelopment.com
West Mesa Neighborhood Association, Dee Silva, ddee4329@aol.com
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CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Long Range Planning

This zoning map amendment request would change the property from a Non-residential Business Park (NR-BP) zone district to one that allows mixed-uses, but for the intent of developing multi-family residential uses. This request is consistent with many applicable goals and policies in the Comprehensive Plan, as cited by the applicant. The request does not address Policy 5.4.2 and sub-policy a, West Side Jobs: Foster employment opportunities on the West Side. This request would not prioritize job growth west of the Rio Grande, because the purpose is to obtain a zone that allows a multi-family development instead of the commercial and industrial uses allowed by the existing zoning.

If approved, the requested MX-M zone requires at least 50 percent commercial uses on the ground floor, pursuant to the use-specific standards for multi-family residential dwellings.

The EPC should carefully consider whether the requested zoning map amendment is appropriate to match other nearby residential and multi-family uses or whether the conflict with the jobs to housing goal and policies would warrant keeping the property zoned NR-BP.

CITY ENGINEER

Transportation Development

No objection to the request.

DEPARTMENT OF MUNICIPAL DEVELOPMENT (DMD)

Transportation Planning

No Comments

PARKS AND RECREATION

No Objection

POLICE DEPARTMENT/PLANNING

TRANSIT DEPARTMENT

- On the Coors Boulevard Major Transit Corridor.
- Fixed Route 155 runs north/south on Coors Boulevard connecting the Northwest Transit Center at Coors and Ellison with a turn-around at Coors and Gun Club.
- There is a stop pair for the 155 at Coors and Cloudcroft Road at the northeastern extremity of the site. Walk distance from the site centroid is only about 650 feet or about 1/8th of a mile.

COMMENTS FROM OTHER AGENCIES

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

No adverse comment to the proposed zone change.

For information only: An Availability Statement is currently being researched for this site. Once executed this statement will dictate the requirements for service.

It is to be noted that an existing waterline transects the site from north to south. Any proposed development shall remain clear of this existing infrastructure and, at a minimum, outside of any public waterline easement that the infrastructure resides within.

ALBUQUERQUE PUBLIC SCHOOLS

- a. EPC Description: RZ-2020-00020 – Zone Map Amendment (Zone Change).
- b. Site Information: Atrisco Business Park Unit 3, Tract F-4-A Plat of Tracts F-3-A, F-4-A, and F-6-A. Tract F-6-A-2 Plat of Tracts F-6-A-1 and F-6-A-2.
- c. Site Location: Located on Coors Blvd. NW between Coors Blvd. and Bluewater Road.
- d. Request Description: This is a request for a zoning amendment from NR-BP (Non-Residential Business Park) to MX-M (Mixed Use, Moderate Intensity) on approximately 8.94 acres for the construction of a multi-family residential development and senior living complex. The multi-family component will consist of 136 units (apartment complex and additional buildings with one-bedroom loft units)
- e. Case comments: The development of residential dwellings has direct impacts to Albuquerque Public Schools. A residential development at this location will have impacts to Susie Rayos Marmon Elementary School, Tres Volcanes Collaborative Community K-8 School, and West Mesa High School. West Mesa High School suffers from overcrowding and development will be a strain on the school.
 - i. Residential Units: **136**
 - ii. Est. Elementary School Students: **35**
 - iii. Est. Middle School Students: **15**
 - iv. Est. High School Students: **15**
 - v. Est. Total # of Students from Project: **65**

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

School Capacity

School	2020-2021 Enrollment Projections	Facility Capacity	Space Available
Susie Rayos Marmon Elementary School	570	660	90
Tres Volcanes Collaborative Community K-8 School	1,152	1,420	268
West Mesa High School	1,802	1800	-2

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

ALL PLANNED ADDITIONS TO EXISTING EDUCATIONAL FACILITIES ARE CONTINGENT UPON TAXPAYER APPROVAL.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse comments.

BERNALILLO COUNTY

No adverse comments to zone change.

MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)

MRMPO has no adverse comments. For Informational purposes:

- Coors Blvd. is an NMDOT limited access facility. Please refer to the State Access Management Manual (SAMM) or contact Acting District 3 Engineer Rick Padilla at 505-934-0354 or Rick.Padilla@state.nm.us with any questions about access control.
- Coors Blvd. is functionally classified as a Principal Arterial roadway in the subject area.
- Bluewater Rd. is functionally classified as a Principal Arterial roadway in the subject area.
- Coors Blvd. is listed as primary transit in the Long Range Transit System.
- Coors Blvd. is listed as part of the National Highway System (NHS).
- Coors Blvd. is an Intelligent Transportation System (ITS) Corridor. Please consult the reviewing agency's Traffic Engineering and/or ITS Department with any questions regarding ITS infrastructure.
- A proposed bike lane is identified in the Long Range Bikeway System (LRBS) on Coors Blvd. in the project area.
- Appendix G of the MTP recommends the following as it relates to the proposed project:

- Adopt mixed-use and higher-density zoning along transit corridors to support ridership
- Encourage a mix of land uses (retail, housing, entertainment, etc.) and multimodal facilities in appropriate locations to encourage shorter and more active trips
- Promote a diverse mix of housing, in cost, unit types, and neighborhood settings

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

NMDOT is requesting that the engineering consultant and contractor coordinate with NMDOT Assistant Traffic Engineer Margaret Haynes at Margaret.haynes@state.nm.us or 505-288-2086 as to discuss the development potential impacts to NM 45 and the need for offsite improvements.

PUBLIC SERVICE COMPANY OF NEW MEXICO

Conditions for approval for Project #2020-004193 (RZ-2020-00020) Zoning Map Amendment (Zone Change) Located on Coors Blvd. NW between Coors Blvd. and Bluewater Rd NW)

1. An existing underground distribution line is located along the west side and north lot line side of the subject site. It is the applicant's obligation to abide by any conditions or terms of those easements.
2. The developer shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.
3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.
4. It is necessary that the applicant coordinate with PNM regarding proposed tree species, the height at maturity and tree placement, sign location and height, and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric transmission and/or distribution lines along the subject site. PNM's standard is for trees to be planted outside the PNM easement.

SITE PHOTOS



Looking south toward and across the subject site from the Los Volcanes Senior Center parking lot north of the subject site. The land immediately past this fence is part of the Thomas & Betts parcel – the subject site is slightly farther south in the photo.

Looking north across the subject site from the Bank of Albuquerque parking lot south of the subject site





Looking northeast across the subject site from the Bank of Albuquerque parking lot south of the subject site.

Looking west across the subject site from the east side of Coors Blvd.



ATTACHMENTS

HISTORY

ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN AMENDMENT
DEVELOPMENT STANDARDS FOR COMPLEXES LARGER THAN 40 ACRES

GENERAL

For complexes larger than 40 acres, the following design standards will apply. Larger sites greater than 40 acres will have main buildings which range from 150,000 square feet to over 1,000,000 square feet with usually a half mile to a mile of property boundary and as such bring an important economic impact to the community. These structures usually have higher building heights and lengths of runs as well as large areas for storage of equipment and vehicles not open to the general public or visible from streets on which they front. The purpose of these development standards is to provide guidance to ensure a quality character and visual appearance for large complexes that would be unduly burdened by the standards that are applicable and appropriate for smaller complexes. These standards address the issues of landscape, signage, architectural objectives and utilities for complexes larger than 40 acres. These standards are to be used as a supplement to the Comprehensive City Zoning Code, and other pertinent City ordinances including but not limited to the Water Conservation Landscaping and Water Waste Ordinance and Street Tree Ordinance. Design standards previously stated in this master plan that are not specifically noted within this section for complexes larger than 40 acres shall apply.

LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

A minimum of fifteen percent (15%) of the net site area shall be devoted to landscape materials and/or naturalized areas with an emphasis placed on areas with street-side exposure or areas with high visibility. Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials. High water use turf is limited to a maximum of ten percent (10%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama are encouraged. Turf areas should be located at the most prominent visual points such as vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and/or wildflowers shall be top dressed with straw and crimped. Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6" x 6" concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.

Street trees shall be provided as follows: One (1) tree is required for each twenty seven and one half linear feet (27.5 LF) of street frontage including any driveways, which includes a 10% deviation from the IDO requirement as approved by the Environmental Planning Commission. Other than this deviation, all regulations in IDO Section 14-15-5-6, Landscaping, Buffering and Screening apply. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than an eighty foot (80') gap between groupings, and shall have a 70:30 min of deciduous to evergreen trees.

In addition to the street trees one (1) tree is required for every one-hundred and fifty linear feet (150 LF) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street auto-parking areas shall have one (1) tree for each (10) parking stalls with no stall being more than one hundred feet (100) from the trunk of a tree. A parking lot tree is defined as being within the interior of or within ten feet (10) of the outside curb or perimeter of the auto-parking lot. Auto-parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy-five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet (25'). A landscape strip of not less than ten feet (10') shall be maintained between an auto-parking area and the street right of way.

As a minimum a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant size at time of installation shall be as follows: larger canopy shade trees shall have a 2" caliper or be 10 to 12 feet in height; accent trees shall have a 1-1/2" caliper or 8 to 10 feet in height; shrubs and groundcovers shall be a one gallon container and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material including trees, shrubs, groundcovers and wildflowers, etc. shall be maintained by the owner in a having attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

PLANT PALETTE-Street Trees

Netleaf Hackberry - *Celtis reticulata*
Desert Willow - *Chilopsis linearis*
Smoke tree - *Cotinus coggygria*
New Mexico Olive - *Forestiera neomexicana*
Alligator Juniper - *Juniperus deppeana* (females only due to Pollen Ordinance)
Honey Mesquite - *Prosopis glandulosa*
Screwbean Mesquite - *Prosopis pubescens*

LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element it another site feature which contribute to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixture and standard shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.
- Street light standards may range from 30 to 40 feet above the roadway.
- The height of auto / employee parking area lights may range from 20 to 30 feet.
- The height of truck yard area lights may range from 30 to 50 feet.
- Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, typed and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and to complement the visual character of the development. The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner
- Free-standing signs shall be designed so they do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each 750 linear feet of street frontage of each premise which has at least 200 linear feet of street frontage.
- Wall signs shall not exceed 6% of the facade area, inclusive of door and window openings.

Building identification sign, tenant signs, and directional signs make up the total signage package.

BUILDING IDENTIFICATION SIGNS

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 100 square feet in total area each. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

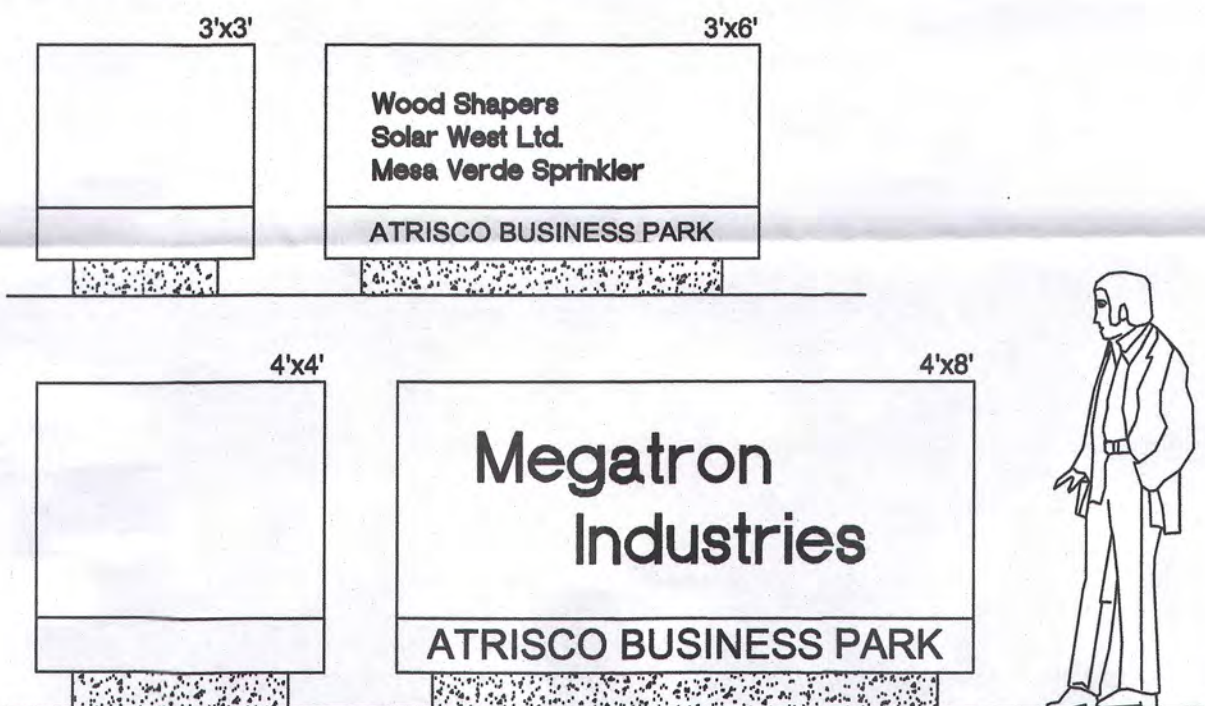
Signage for multi-tenant buildings shall identify the buildings number, complex name and/or address. The individual business will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

TENANT SIGNS

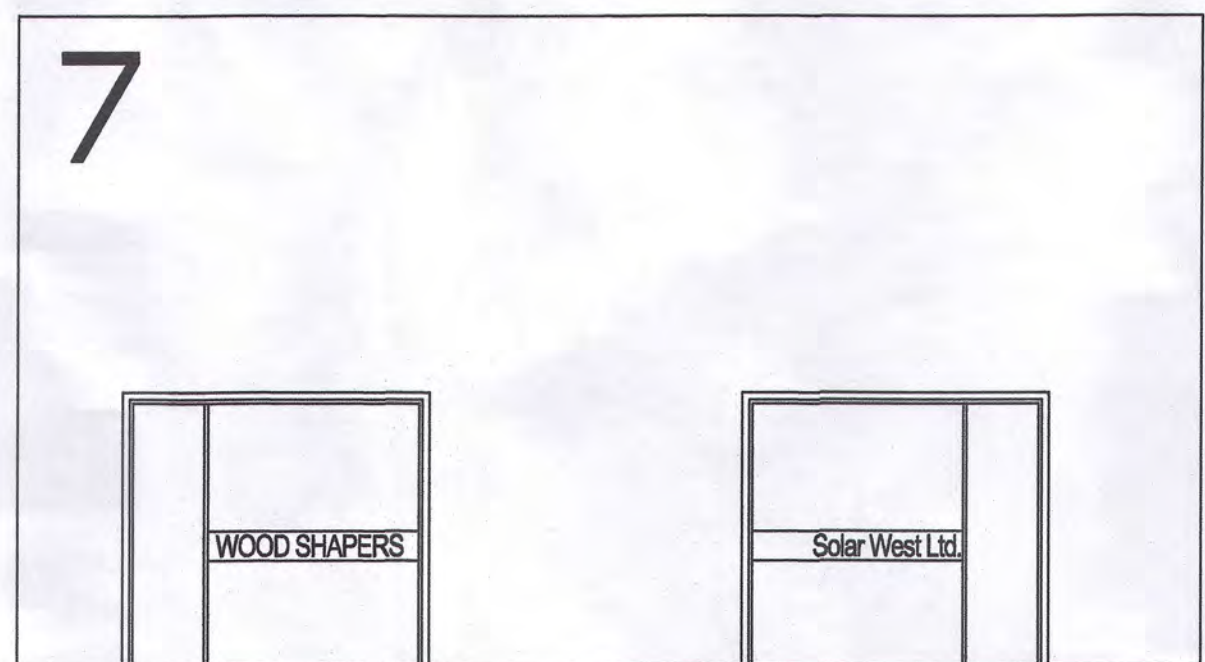
Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. Signage may be printed directly on the wall surface and individual letters may be attached to the building.

DIRECTIONAL SIGNS

Directional signs are used to direct visitors to individual businesses located within the complex or building or as way finding tools to direct pedestrian or vehicular traffic within the complex. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.



BUILDING IDENTIFICATION SIGNS
THESE SIGNS



DIRECTIONAL SIGNS
THESE SIGNS

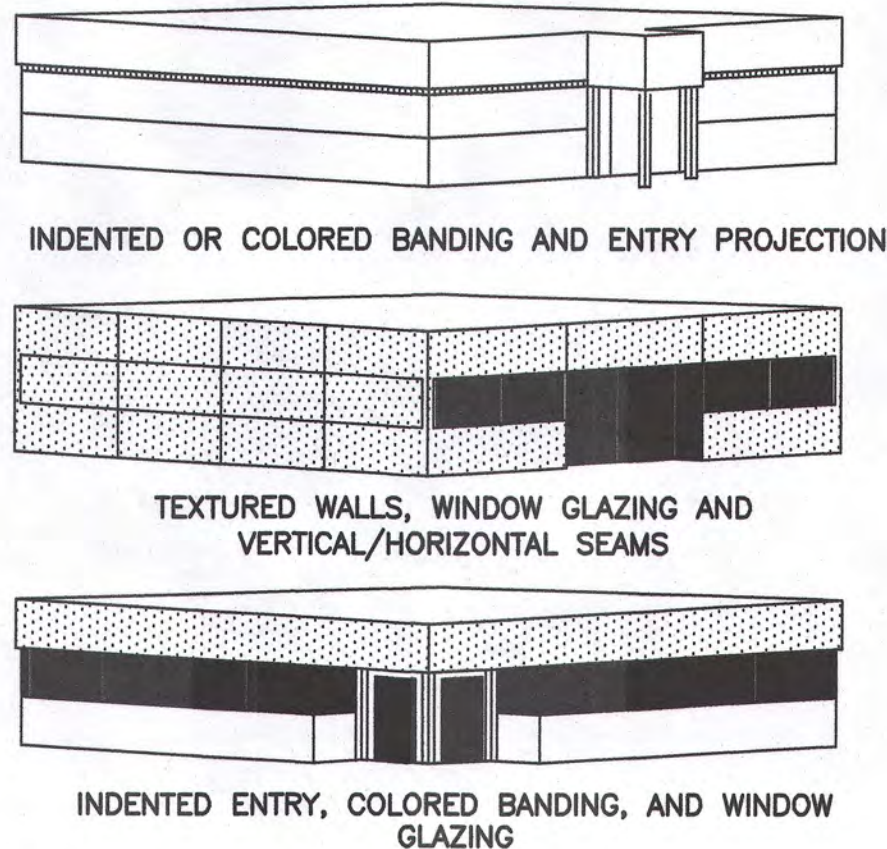
ARCHITECTURAL OBJECTIVES

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project but recognizing the need for uniformity in these larger than normal structures and sites.

Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with other buildings within the complex.

All buildings shall conform to the following requirements:

- All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- Buildings design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures within the complex. Pre-engineered metal buildings are allowed for accessory structures. Metal skin may be considered as a finished building material.
- Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
 - Employ variety in structural forms that create visual character and interest
 - Entries to industrial structures should portray quality appearances while being architecturally tied into the overall mass and building composition.
 - Windows and doors are key elements of any structure's form. In the larger building format however they can lose the scale to the building. They should be used for interior space but other articulation can be employed such as the use of recessed openings helping provide depth and contrast on elevation planes.
 - Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
 - The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of facade where feasible.
 - Straight, simple wall lines and light colored wall materials are acceptable where required for energy efficient construction of cold storage facilities.

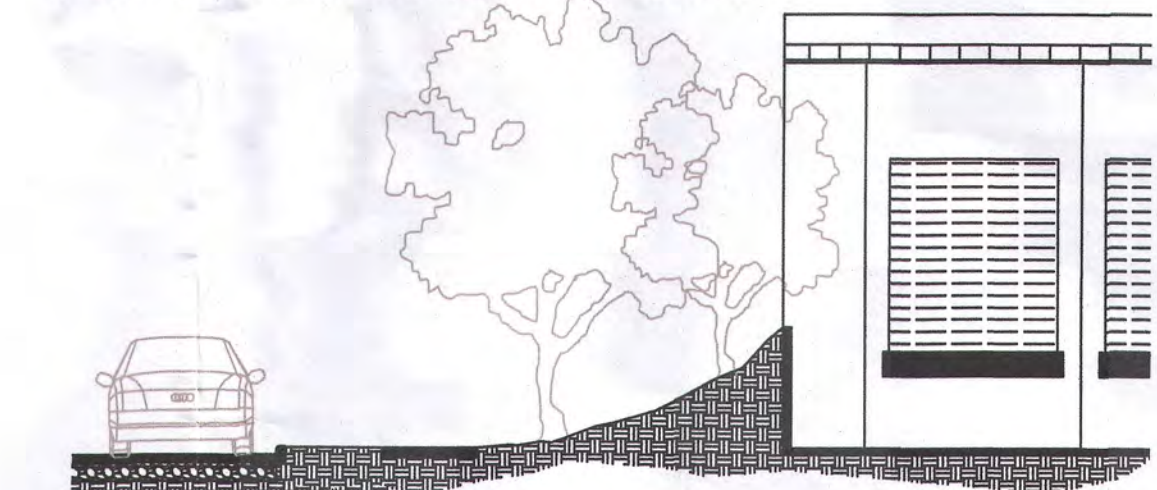


Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project but recognizing the need for uniformity in these larger than normal structures and sites.

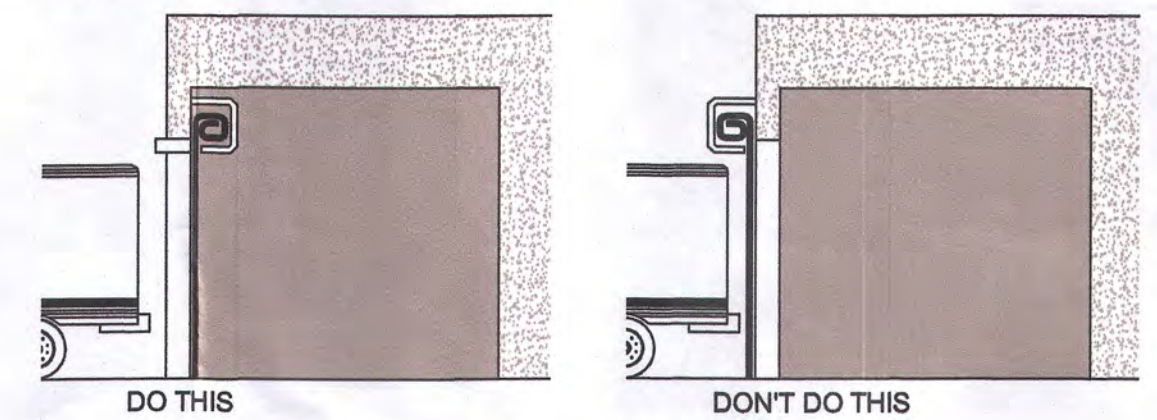
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with other buildings within the complex.

All buildings shall conform to the following requirements:

- Design elements which are undesirable and should be avoided include:
 - Highly reflective surfaces at the ground story.
 - Exposed, untreated precision block walls.
 - Galvanized chain link fence or barbed wire.
 - Attached mansard roofs on small portions of the roofline.
 - Materials with high maintenance requirements. Wood facings are expressly prohibited.
- Wall materials should be chosen that will withstand abuse by vandals or accidental damage by machinery and are easily repaired.
- The use of berms in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

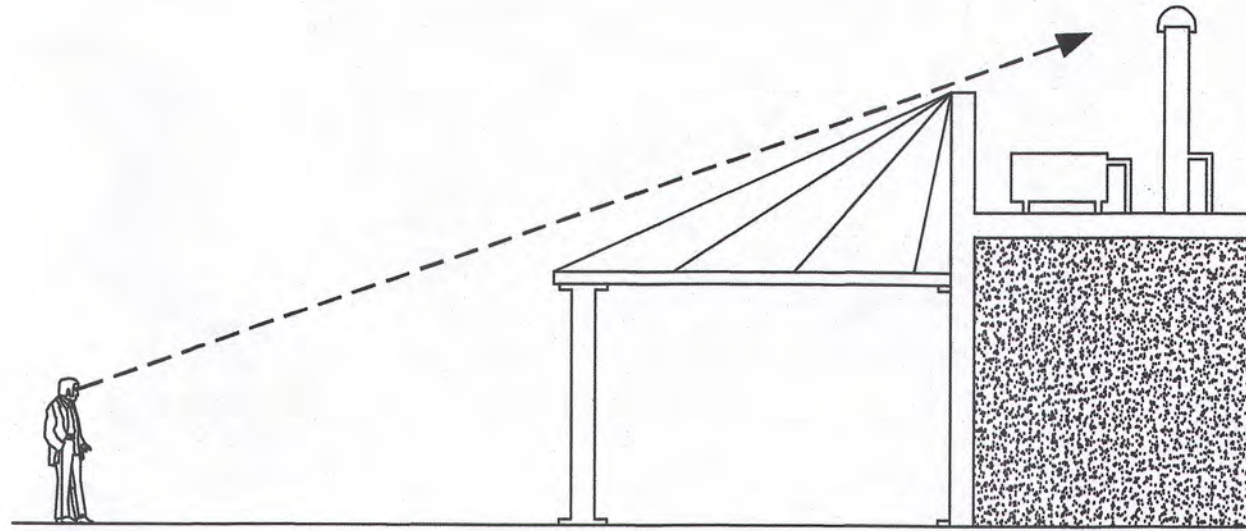


H>Loading docks that face adjacent fronting City streets should be avoided where possible. If unavoidable, dock doors for loading docks that face adjacent fronting City streets shall be located on the inside of buildings to keep clean, uncluttered appearance from the exterior.



I. Design elements for roofs shall be as follows:

- If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring, where feasible.
- Roof top equipment shall be screened from the public view by materials of the same nature as the same building's basic materials, where feasible.

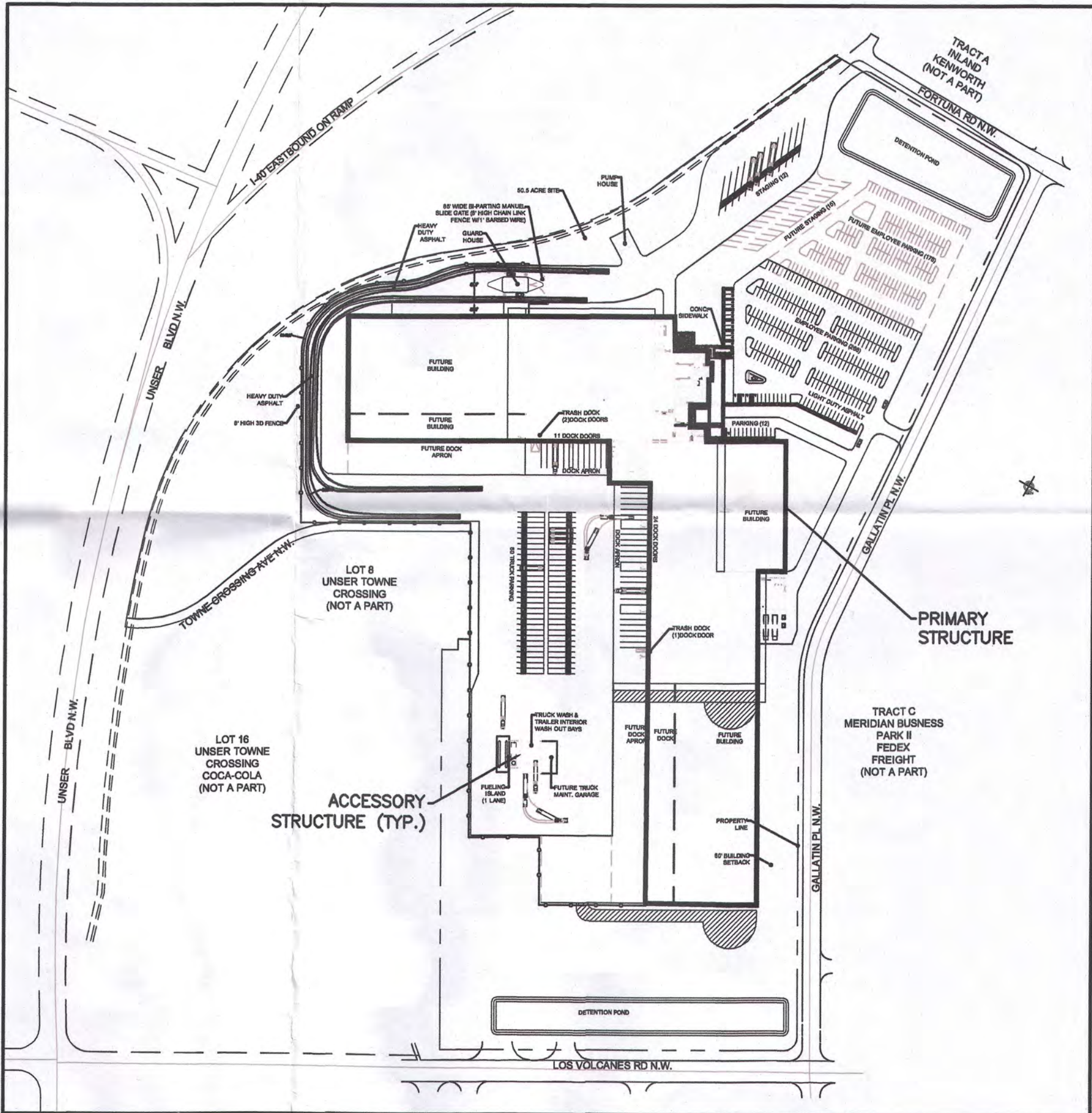


- Corrugated metal, highly reflective surfaces and illuminated roofing are not permitted.
- The roof design should be considered an integral part of the overall architectural design theme.
- Concertina and/or barbed wire are not permitted on the roof.
- Straight, simple roof lines and exposed refrigeration piping and equipment are acceptable where required for energy efficient construction of cold storage facilities.

UTILITIES

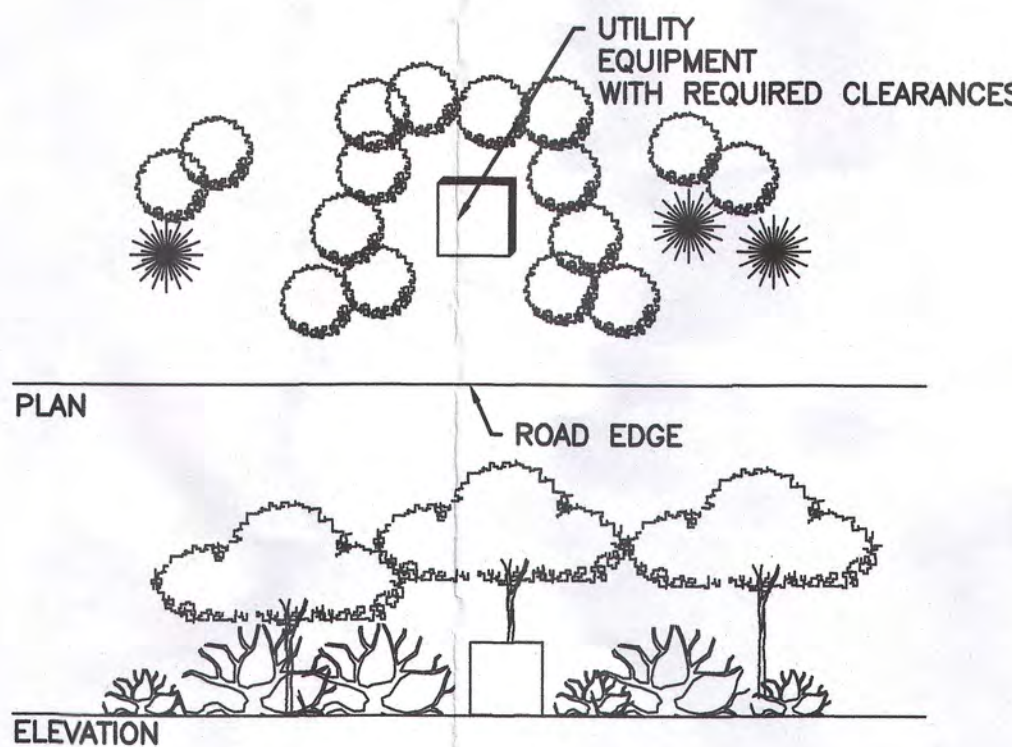
To ensure the overall aesthetic quality of the Atrisco Business Park:

- All electric distribution lines within the Park shall be placed underground.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures may be used only in areas within a complex that are not easily visible from adjacent City roadways.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



TYPICAL SITE OVER 40 ACRES

SITE DATA		PARKING SPACES REQUIRED: 500	
NET SITE AREA: 80.00 acres		SPACES PROVIDED: 519	
BUILDING AREA: 500,000 SF		LANDSCAPE AREA REQUIRED: 300,010 SF	
		AREA PROVIDED: 305,000 SF	



SITE DEVELOPMENT PLAN
FILE #: PR-2018-001361
Consistent w/EPC
approval of
September 13, 2018
APPROVED BY: [Signature] DATE: 01 Apr 2019

ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN
MAJOR AMENDMENT
FOR SITES OVER 40 ACRES

PROJECT NO 2018-001361;
EPC APPROVAL-SEPTEMBER 13, 2019

ATRISCO BUSINESS PARK

MASTER DEVELOPMENT PLAN FOR IP USES

ADMINISTRATIVE AMENDMENT	
FILE # 12-10146	PROJECT # 1003483
no buffering & fencing adj. to resid. zone	
APPROVED BY	DATE
1/14/13	

December 20, 2012 - Administrative Amendment to clarify and revise language regarding the required landscaped buffer adjacent to residential zoning, defining locations where chain link fencing is allowed, and defining locations where security fencing is allowed.

EPC Case No. Z-92-57

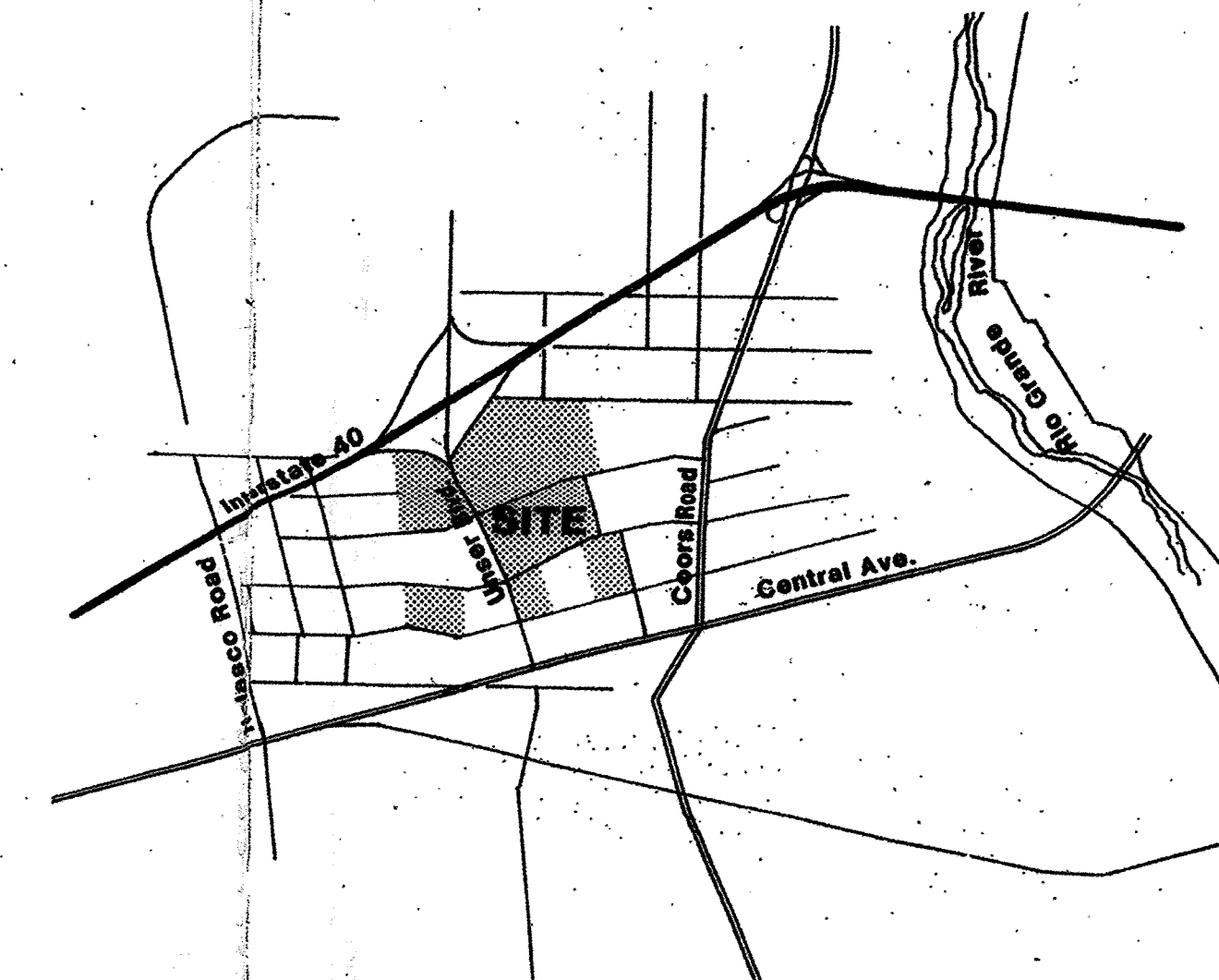
Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.

3. A minimum 20 foot landscape buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading or trash receptacles may be located adjacent to the residential zoning. The landscape buffer shall be consistent with the requirement as stated on Sheet 3, Landscape Standards, Bullet #12. A solid 6 foot high opaque wall or fence shall be required along any property line abutting and separating a residential zone from an industrial zone (chain link fence with slats shall not constitute acceptable screening).

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

Project Team Directory

Prepared For:

Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102
(505) 765-2036

Prepared By:

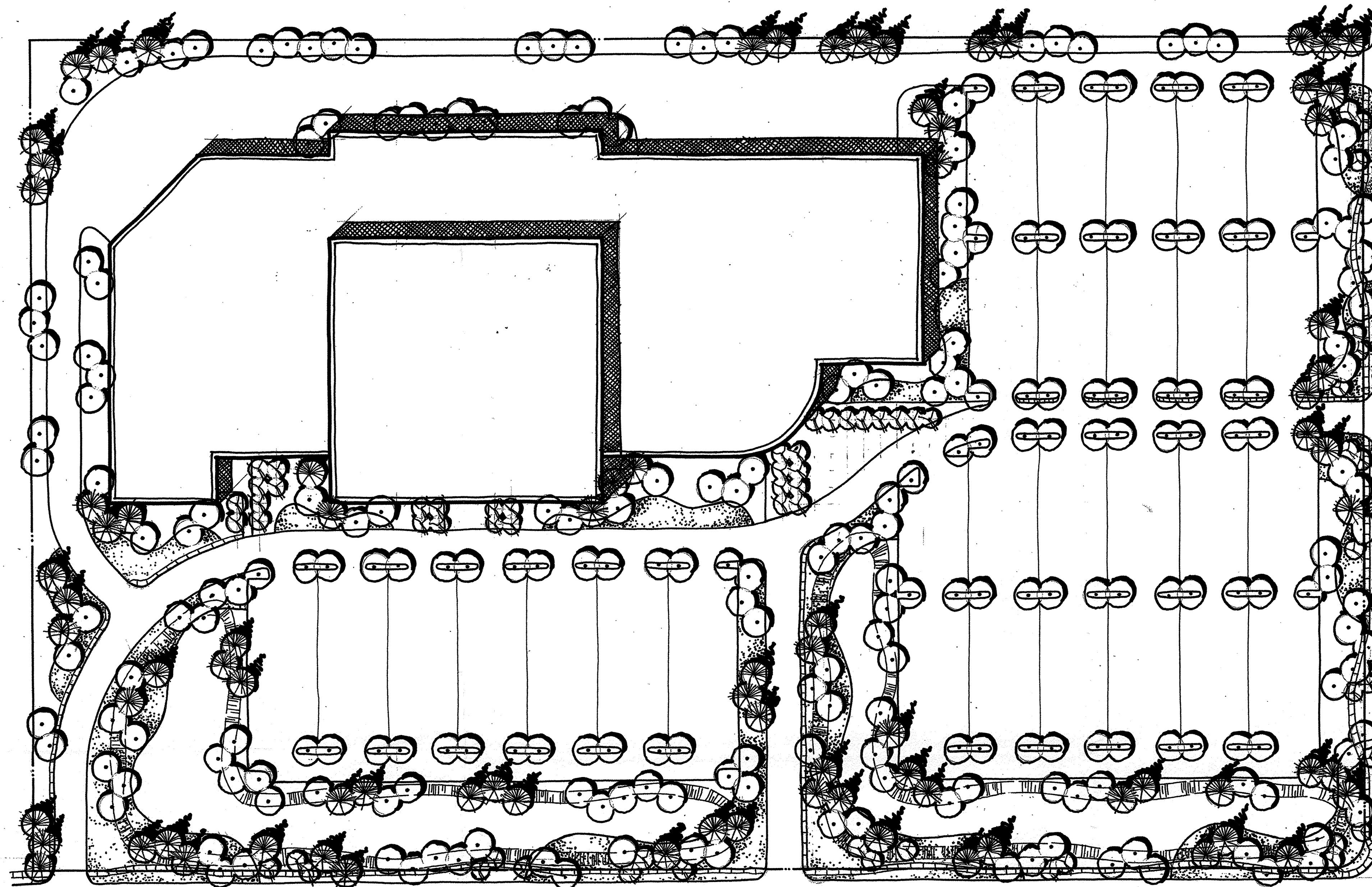
Development/Real Estate Consultant
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9309 Avenida de la Luna NE
Albuquerque, New Mexico 87111
(505) 828-0552

Planning/Landscape Architecture
Consensus Planning, Inc.
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Albuquerque, New Mexico 87102
(505) 764-9801

Civil Engineer
Easterling & Associates, Inc.
10131 Coors Road NW, Suite H-7
Albuquerque, New Mexico 87114
(505) 898-8021

ADMINISTRATIVE AMENDMENT	
File # 04-00823	Project # 1003483
Developer Standards Adjustment	
APPROVED BY	DATE
6/11/04	

October 28, 1992



TYPICAL 20 ACRE SITE

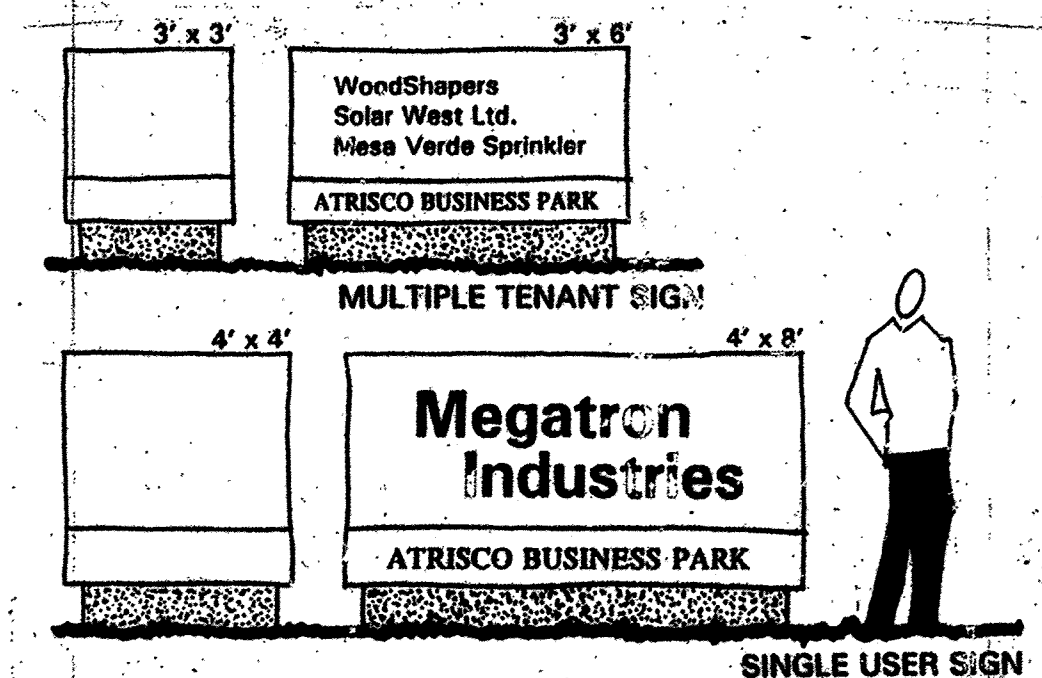
SITE DATA

Net Site Area:	911,250 s.f. (20.9 ac)
Building Area:	273,375 s.f. (.3 FAR)
Parking Spaces Required:	840 (20 hdp)
Parking Spaces Provided:	903 (20 hdp)
Landscape Area Required:	182,250 s.f.
Landscape Area Provided:	255,570 s.f.

The following are general guidelines for signage design and placement:

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- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

DEVELOPMENT SKETCHES

ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102

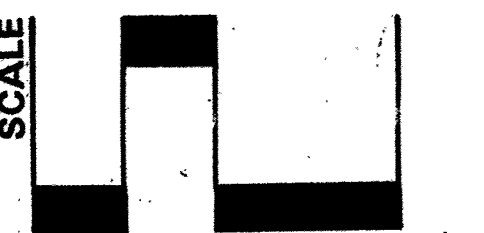
Prepared By: Garrett Group, Inc.
9309 Avenida de la Luna NE
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Consensus Planning, Inc.
610 Gold SW, Suite 216
Albuquerque, New Mexico 87102

Easterling & Associates, Inc.
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Albuquerque, New Mexico 87114



October 28, 1992



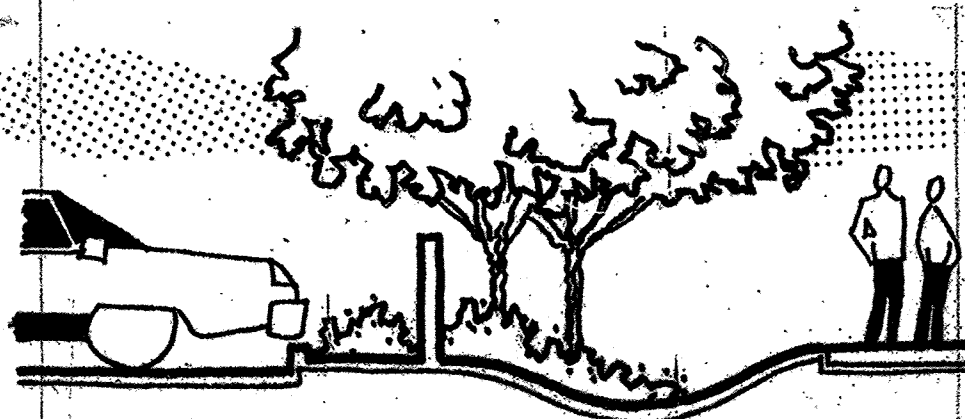
Sheet 4 of 10

SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

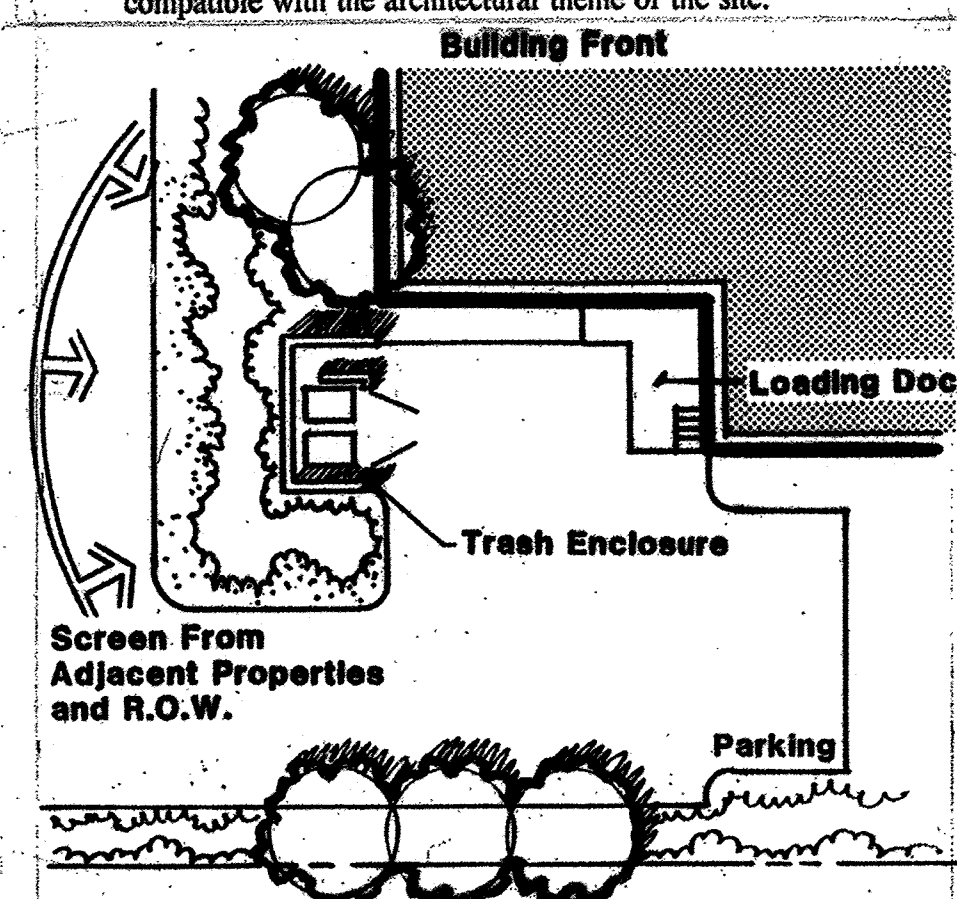
The following are standards to ensure effective screening of negative elements:

Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berming. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

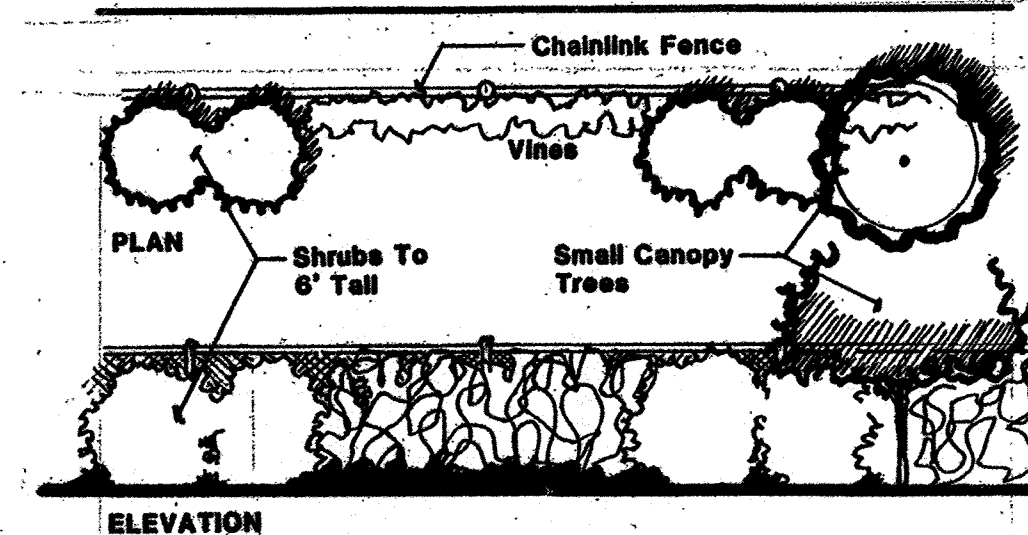
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.



No refuse collection areas shall be allowed between any street and building front.

When security fencing is required along a public right-of-way, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. Chain link fencing is not permitted adjacent to a public right-of-way. Chain link fencing is permitted along the rear and side property lines between industrial zoned properties and is also permitted within the interior portion of the property provided it is set back a minimum of 20 feet from a property line abutting a residential zone.

The use of barbed or concertina wire is not permitted on the top of fences or walls except as required for security purposes. Barbed or concertina wire may not be used within 20 feet of a property line abutting a residential zone.



LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

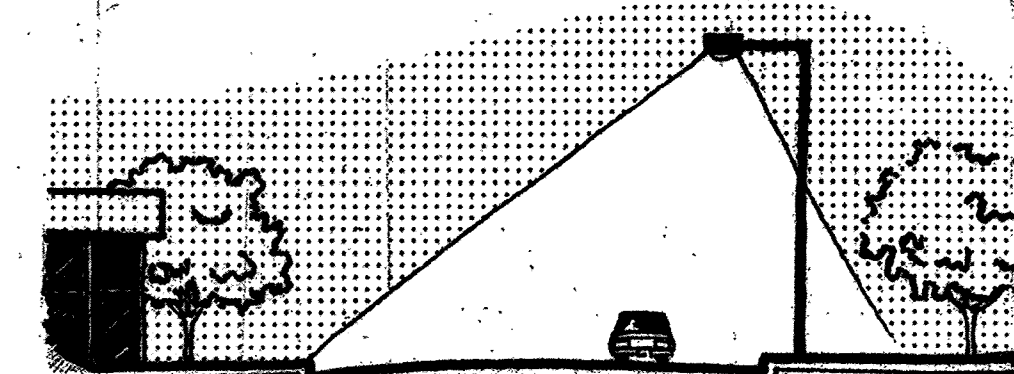
The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

ATRISCO BUSINESS PARK

MASTER DEVELOPMENT PLAN FOR IP USES

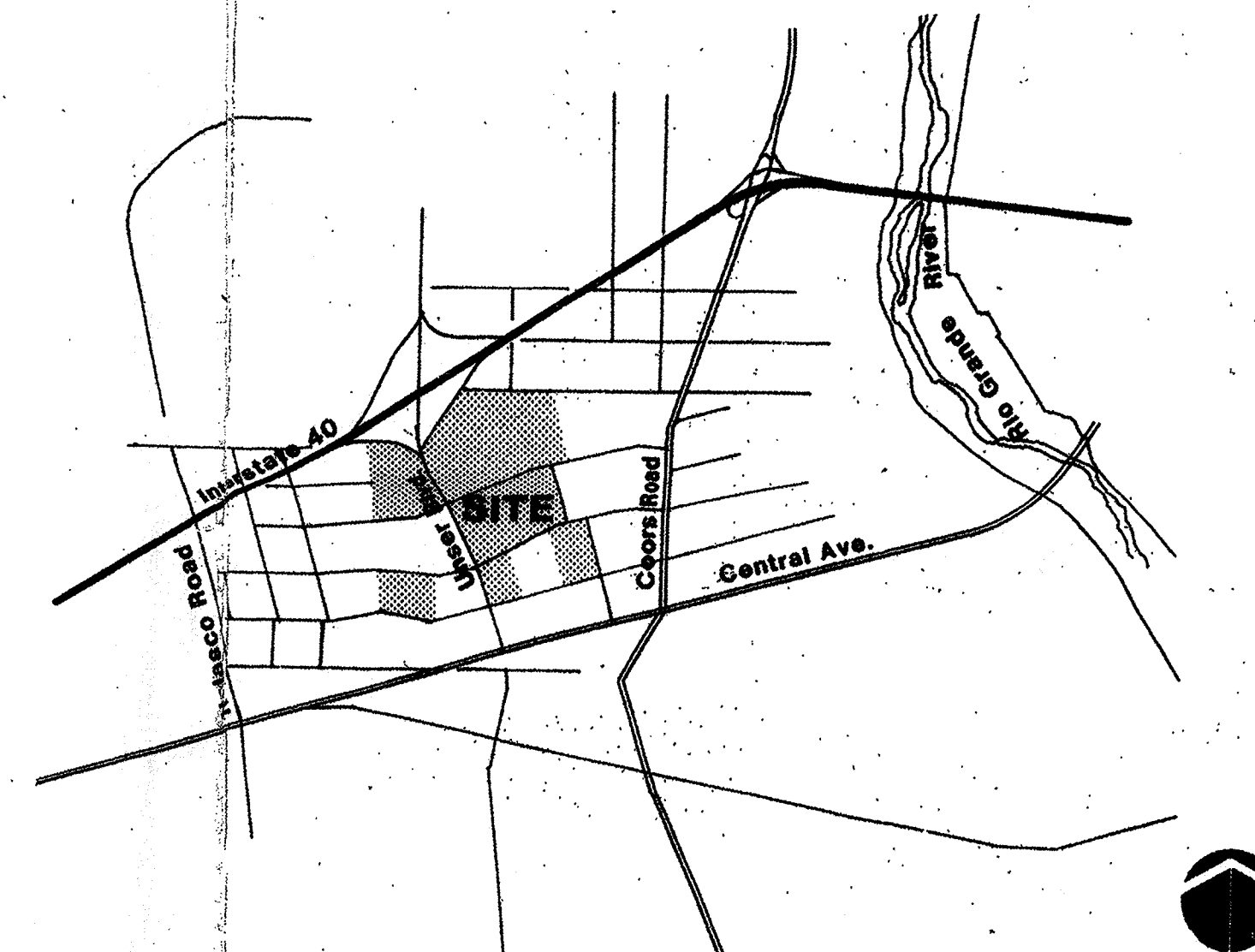
EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

Project Team Directory

Prepared For:

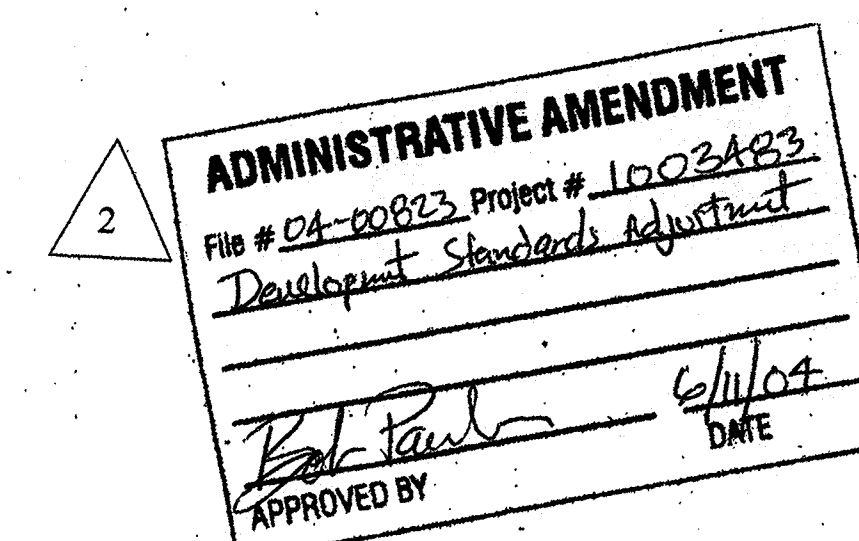
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303 Roma Avenue NW
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(505) 765-2036

Prepared By:

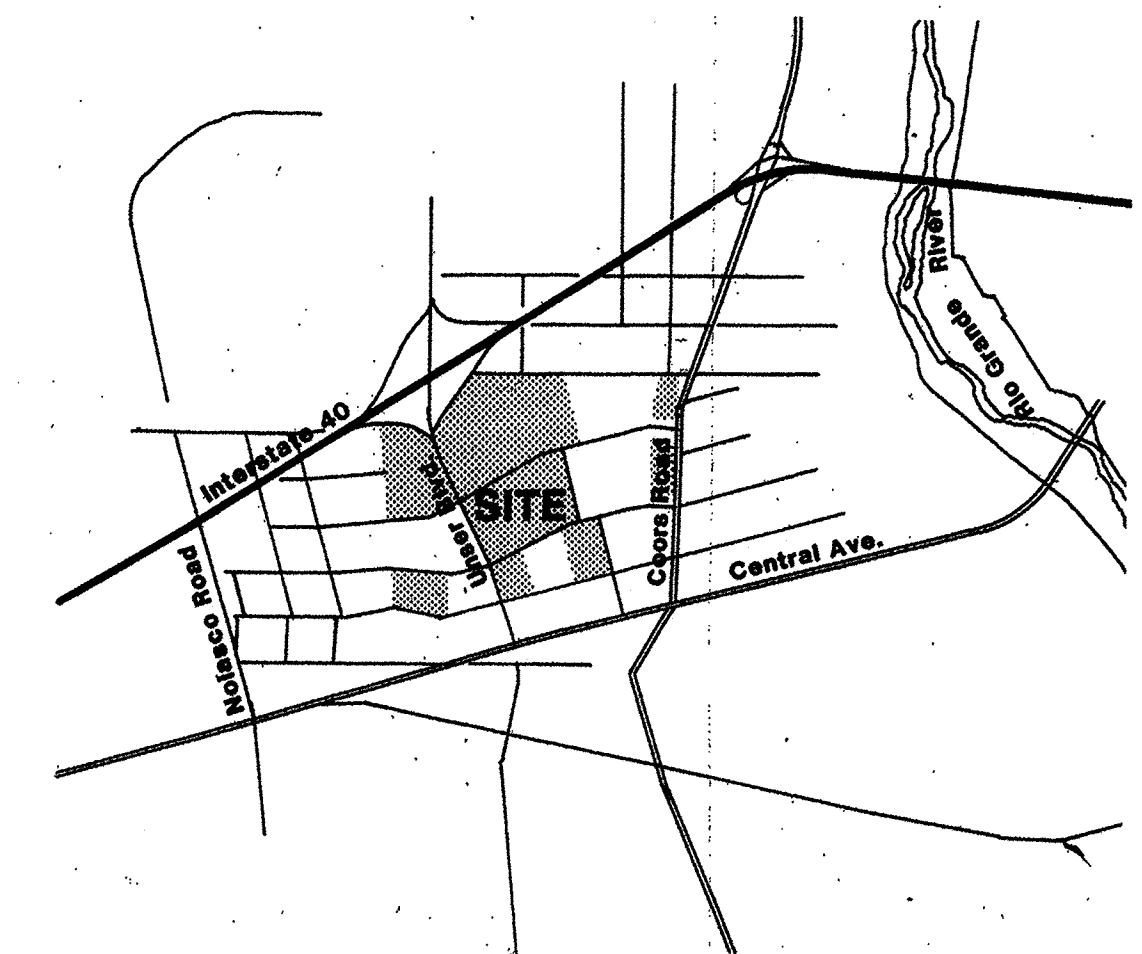
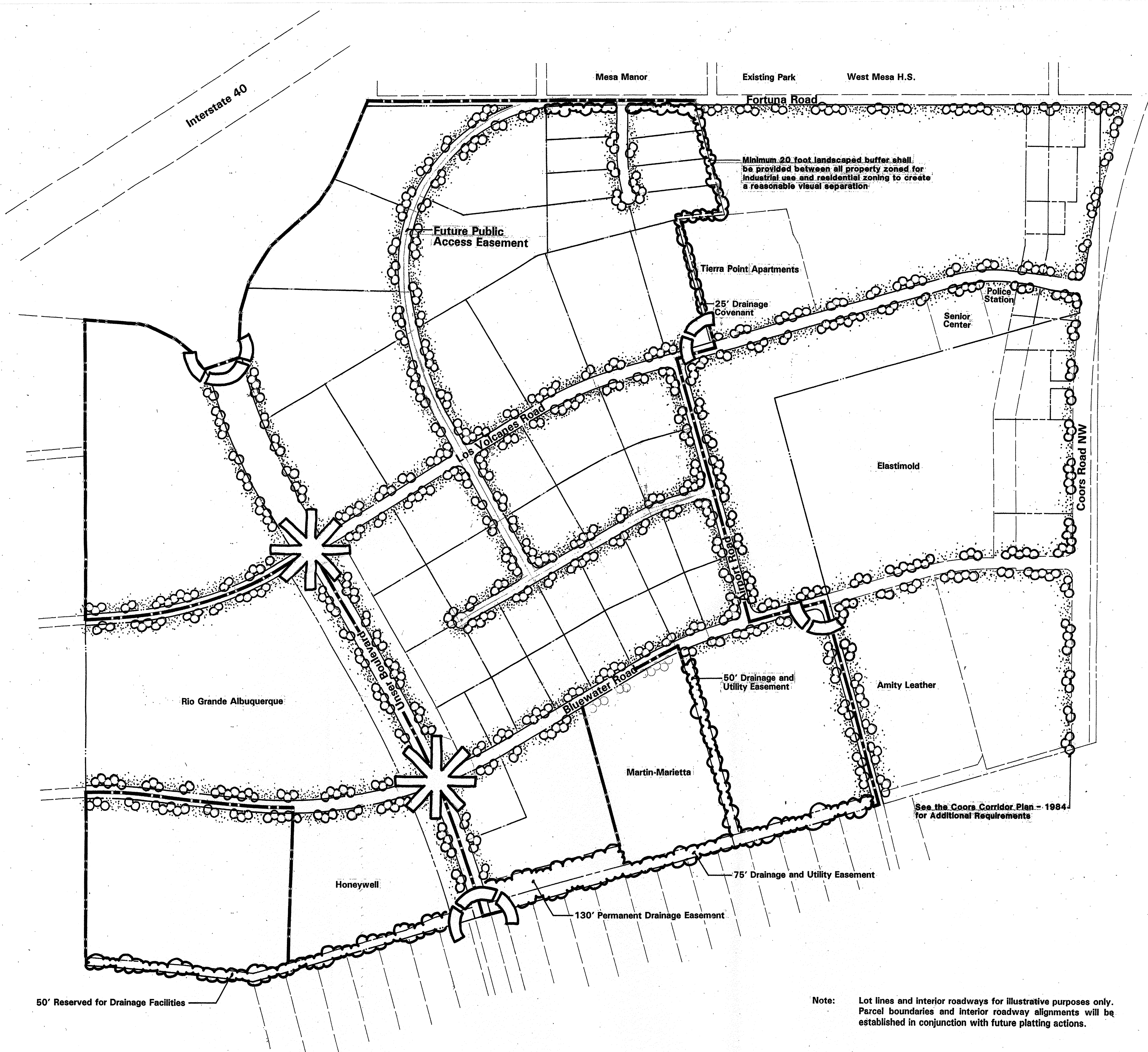
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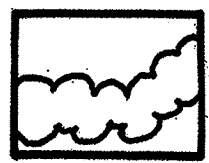


October 28, 1992



SITE VICINITY

LEGEND

-  PROJECT ENTRY
-  MAJOR INTERSECTION
-  STREETScape
-  OPEN SPACE

LANDSCAPE DEVELOPMENT PLAN

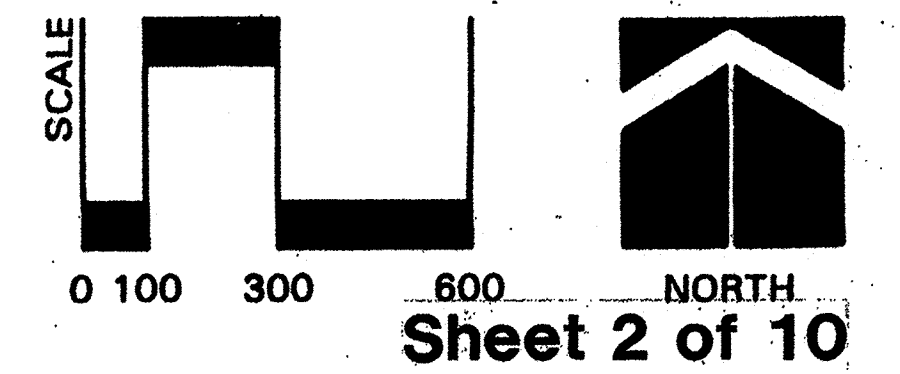
ATRISCO BUSINESS PARK

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DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide a framework to ensure a high quality character and visual appearance. These standards address the issues of landscape, setbacks, screening, lighting, signage, and drainage that will create the visual image for Atrisco Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code, and other pertinent City ordinances, including but not limited to, the Water Conservation Landscaping and Water Waste Ordinance, and Street Tree Ordinance. These standards apply to all properties within the Atrisco Business Park.

LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Atrisco Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials is extremely important as landscape elements are a strong unifying element for a project of this size. Site landscape concepts should be sensitive to water use, and create landscapes which meet environmental, aesthetic, and maintenance concerns.

LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

A minimum of twenty percent (20%) of the net site area shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

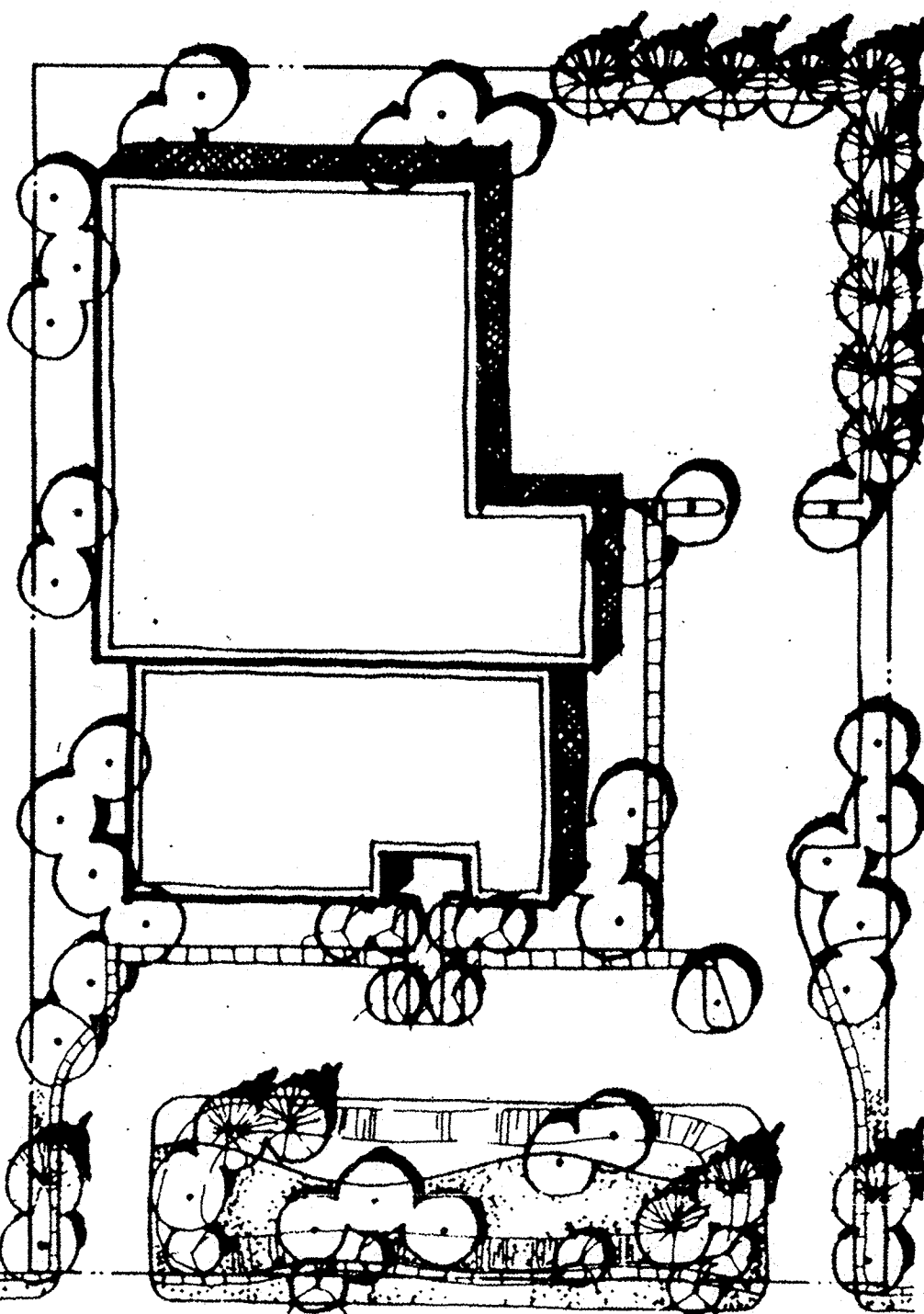
Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

High water use turf is limited to a maximum of twenty percent (20%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama, are encouraged. Turf areas should be located at the most prominent visual points, such as, vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and/or wildflowers shall be top dressed with straw, and crimped.

Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6" x 6" concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.



Street trees shall be provided as follows: One (1) tree is required for each twenty-five linear feet (25 LF) of street frontage, including any driveways. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than a fifty foot gap between groupings, and shall have a 70:30 mix of deciduous to evergreen trees.

In addition to the street trees, one (1) tree is required for every forty linear feet (40 LF) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one (1) tree for each ten (10) parking stalls with no stall being more than one hundred feet (100') from the trunk of a tree. A parking lot tree is defined as being within the interior of, or within ten feet (10') of the outside curb or perimeter of the parking lot. Parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy-five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet (25').

A landscape strip of no less than ten feet (10') shall be maintained between a parking area and the street right of way.

As a minimum, a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant sizes at time of installation shall be as follows: large canopy shade trees shall have a 2" caliper, or be 10 to 12 feet in height; accent trees shall have a 1-1/2" caliper, or be 8 to 10 feet in height; shrubs and groundcovers shall be a one gallon container; and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

1. PLANT PALETTE

Street Trees

Fraxinus spp. Ash varieties
Gleditsia triacanthos spp. Honeylocust varieties
Platanus acerifolia London Plane Tree
Pinus nigra Austrian Pine
Pyrus spp. Flowering Pear varieties

General Use Trees, Shrubs & Groundcovers

Refer to the Albuquerque Plant List provided as a supplement to the Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Locally acquired or low pollen producing plants are required per City ordinance.

TYPICAL 2.5 ACRE SITE

SITE DATA

Net Site Area 112,000 s.f. (2.5 ac)
Building Area 33,600 s.f. (.3 FAR)
Parking Spaces Required: 33 (2 hdep)
Parking Spaces Provided: 42 (2 hdep)
Landscape Area Required 22,400 s.f.
Landscape Area Provided 34,780 s.f.

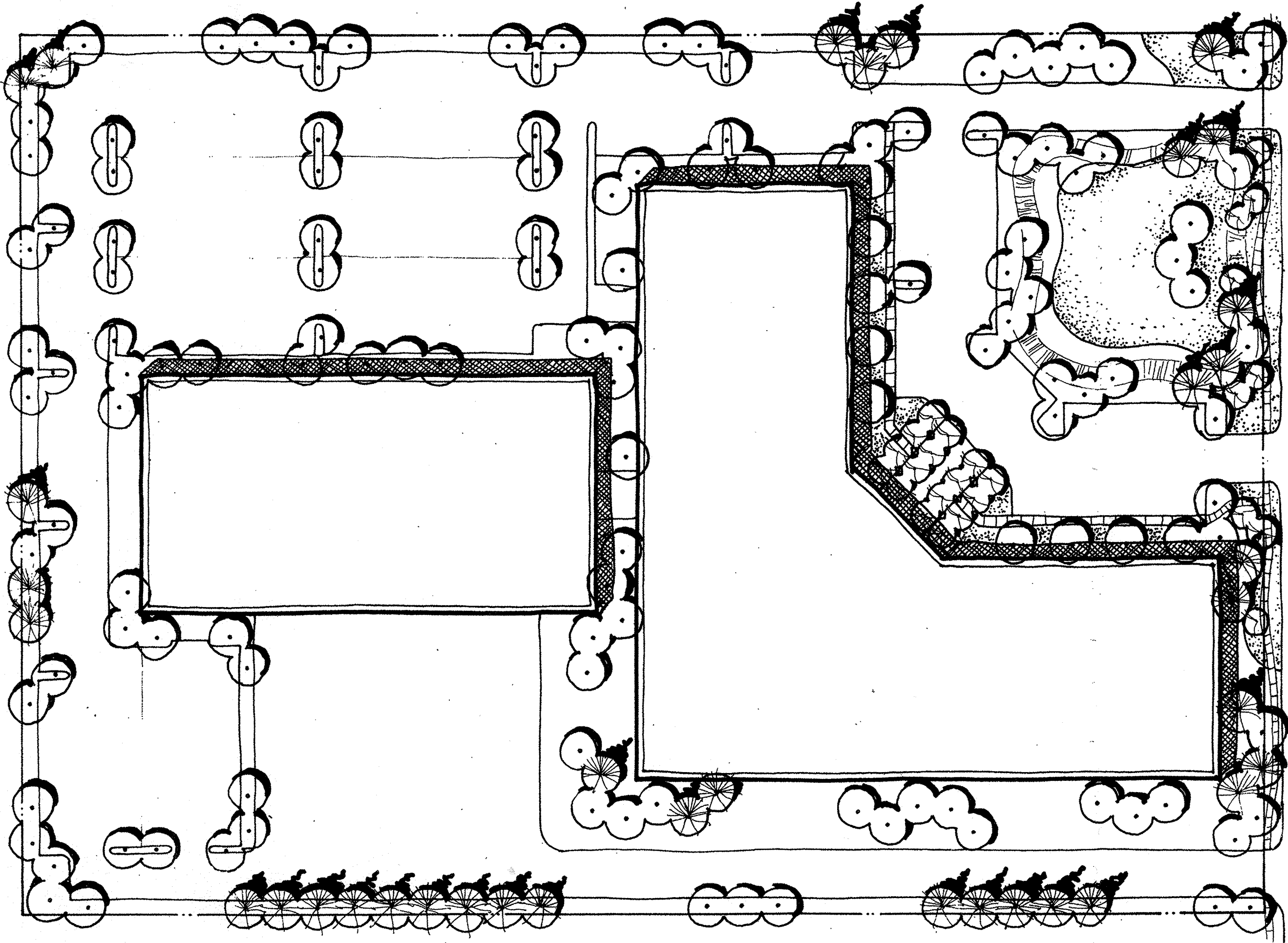
2. COORS CORRIDOR PLAN EXCEPTIONS

Setbacks

Setbacks along Coors Boulevard shall be in conformance with the Coors Corridor Plan.

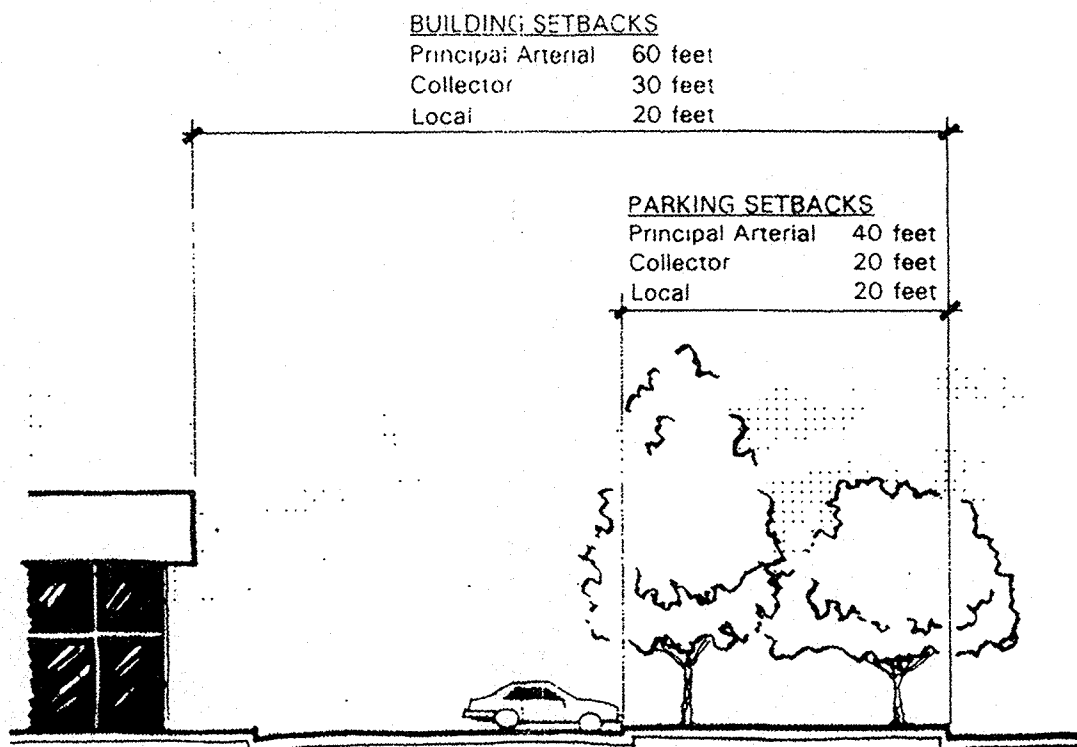
Signage

Freestanding signage along Coors Boulevard shall be in conformance with the Coors Corridor Plan with pole mounted signs prohibited.



SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Atrisco Business Park.



Building Setbacks

Based on the defined street classifications, the minimum building setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	60 feet
Collector	30 feet
Local	20 feet

To act as a buffer between uses, buildings shall be set back a minimum of ten feet at both the side and rear yard locations. These setback areas shall be landscaped according to the Landscape Standards.

Parking Area Setbacks

Based on the defined street classifications, the minimum parking area setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	40 feet
Collector	20 feet
Local	20 feet

SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of the Atrisco Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street.

Properties adjacent to Unser Boulevard shall have a 6 foot wide sidewalk with a minimum landscaped area of 12 feet between the back of curb and the sidewalk. All other collector and major local streets within the site shall have 4 foot wide sidewalks. It is recommended that the sidewalk meander in a fluid rhythm. A Sidewalk Variance is required to meander the sidewalk and the layout of the sidewalk should be coordinated with the location of other site functions such as retention basins, street lighting, fire hydrants, etc. If the sidewalk meanders outside of the right-of-way, additional right-of-way or a public sidewalk easement would be required.

In addition to the required sidewalks, the City of Albuquerque has established a bikeway network which identifies several routes through the site (Albuquerque Metropolitan Bicycle Map, April 1992). Along Unser Boulevard, from I-40 to Bluewater Road, a paved bicycle trail is required per City standards. The City is also in the planning stage for developing a recreational trail along I-40. The final alignment of this trail shall be either within the existing easement along the I-40 right-of-way or through the Business Park connecting north to Fortuna Road. Bike routes are planned for Unser Boulevard from Bluewater Road continuing south to Central, along Bluewater from Unser to Coors Road, and along Airport Road from Bluewater south to Central Avenue. Bike routes provide for the shared use of the street by automobiles and bicyclists. Generally, the routes will be marked with identifying signage.

TYPICAL 10 ACRE SITE

SITE DATA

Net Site Area 448,000 s.f. (10.3 ac)
Building Area 134,400 s.f. (.3 FAR)
Parking Spaces Required: 371 (12 hdep)
Parking Spaces Provided: 376 (12 hdep)
Landscape Area Required 89,600 s.f.
Landscape Area Provided 112,325 s.f.

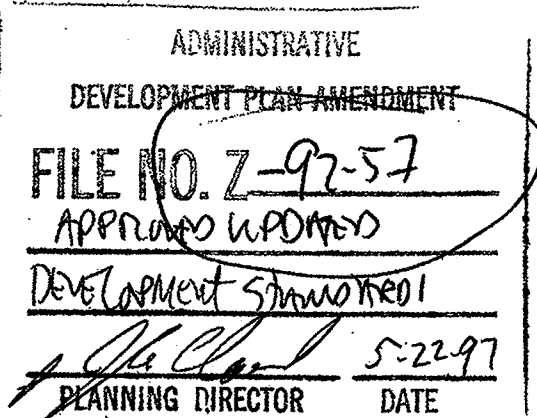
DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For:

Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102

Prepared By:

AA-97-45

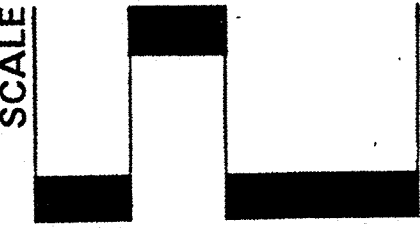


CONSENSUS
October 28, 1992
Revised April 28, 1997
Revised May 19, 1997

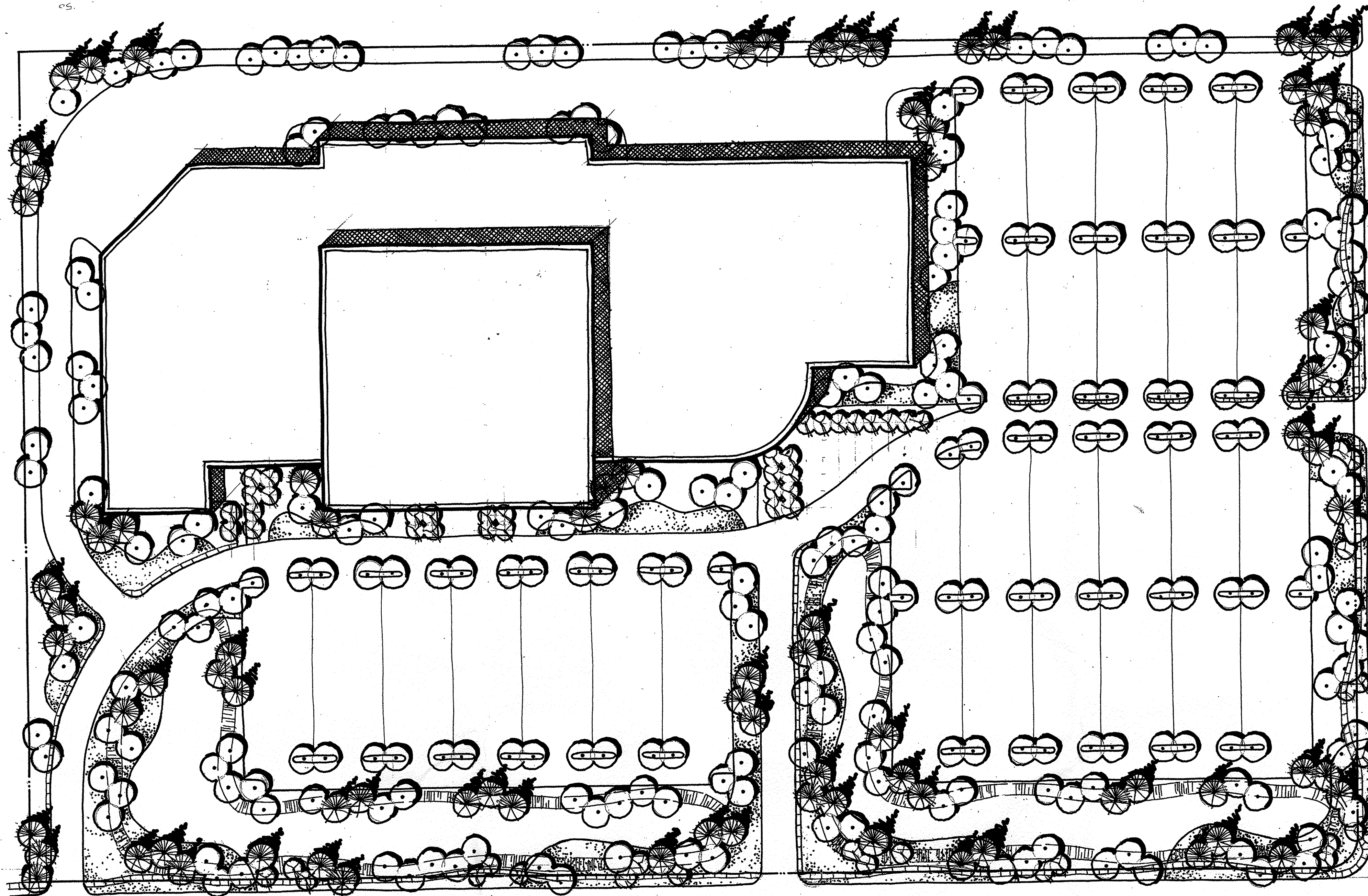
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Sheet 3 of 10



TYPICAL 20 ACRE SITE

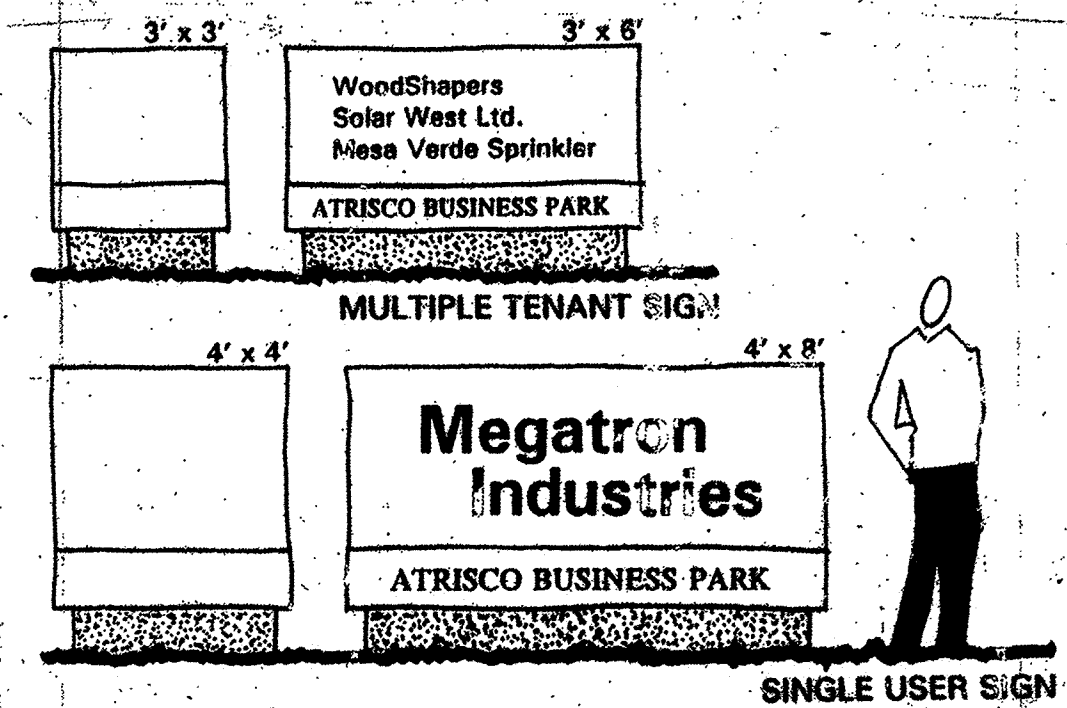
SITE DATA

Net Site Area:	911,250 s.f. (20.9 ac)
Building Area:	273,375 s.f. (.3 FAR)
Parking Spaces Required:	840 (20 hdp)
Parking Spaces Provided:	903 (20 hdp)
Landscape Area Required:	182,250 s.f.
Landscape Area Provided:	255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

DEVELOPMENT SKETCHES

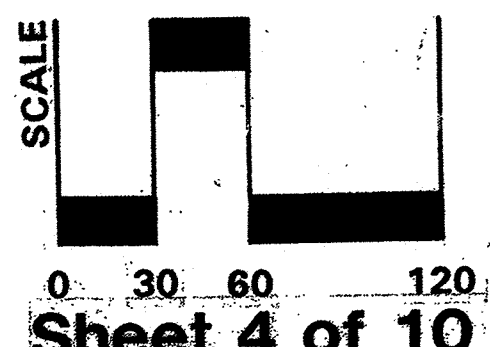
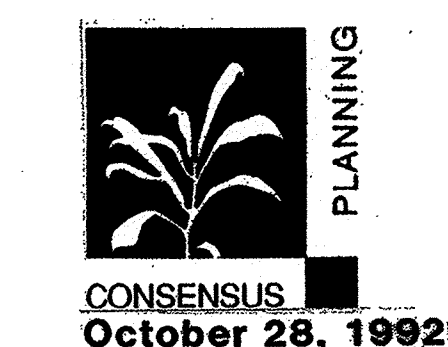
ATRISCO BUSINESS PARK

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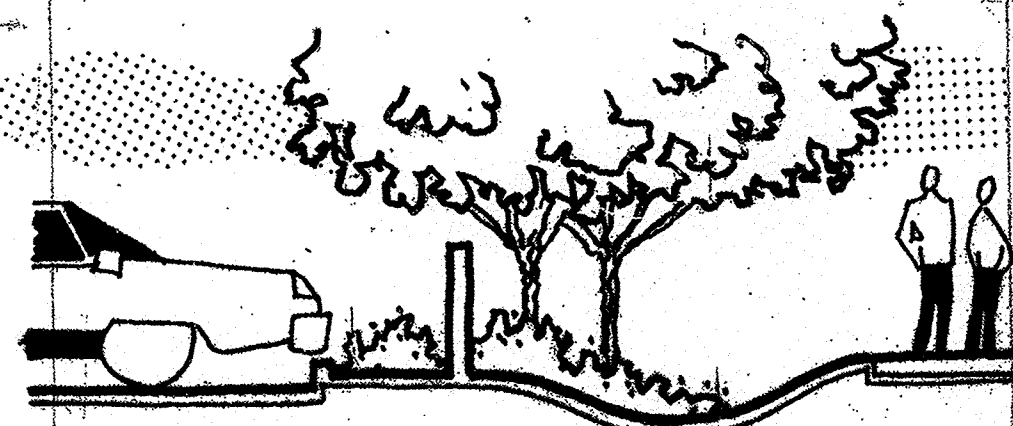


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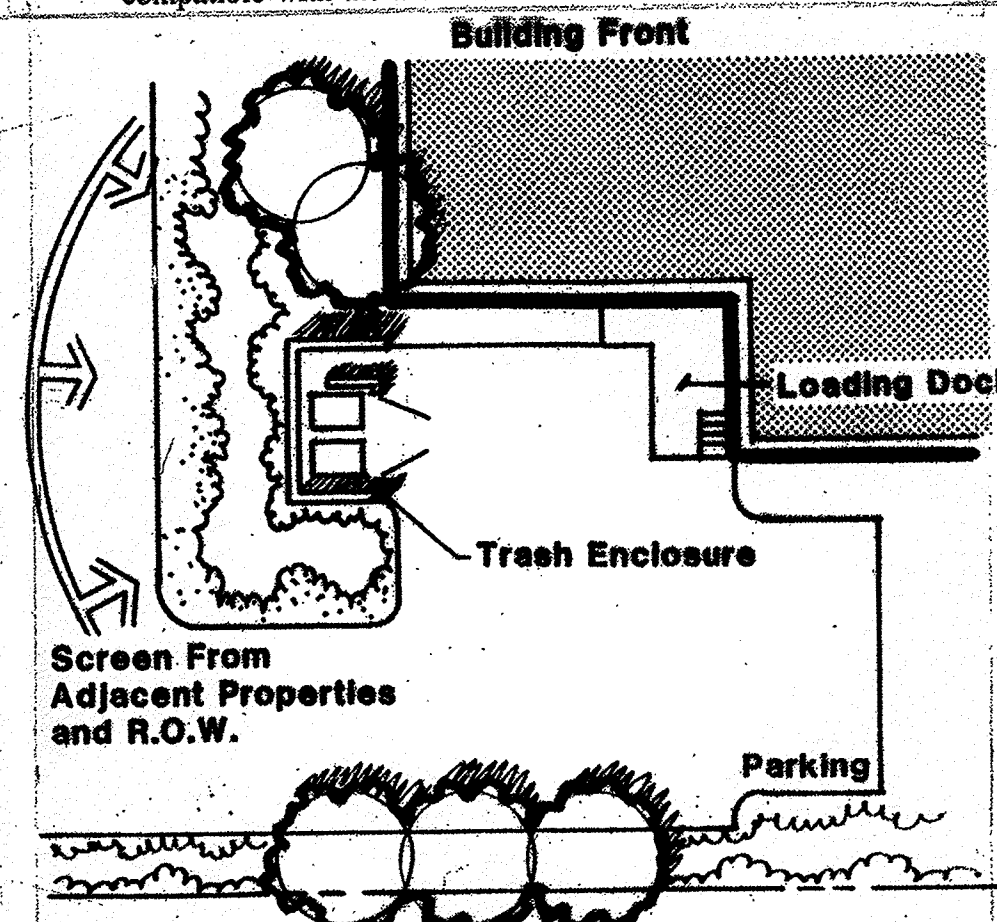
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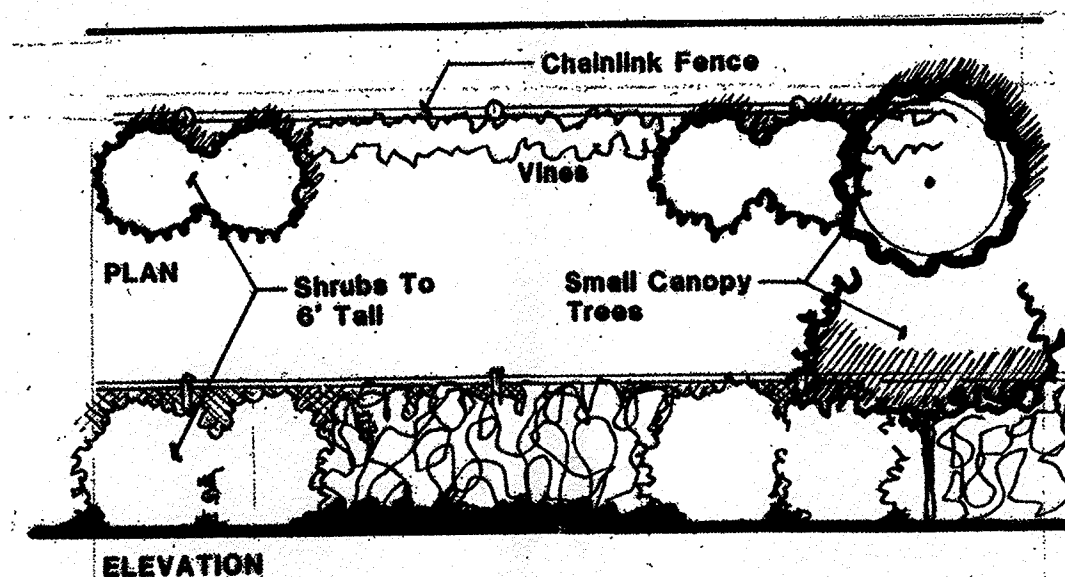
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The use of barbed or concertina wire is not permitted on the top of fences or walls.



LIGHTING STANDARDS

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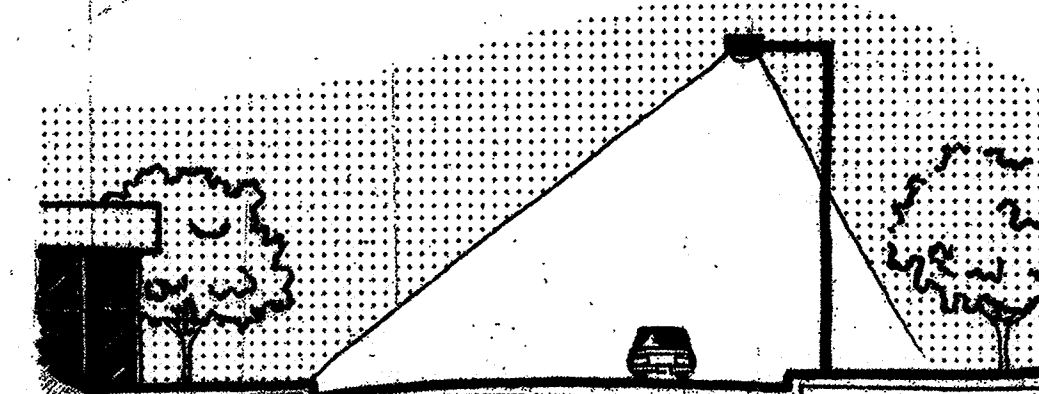
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SIGNAGE STANDARDS

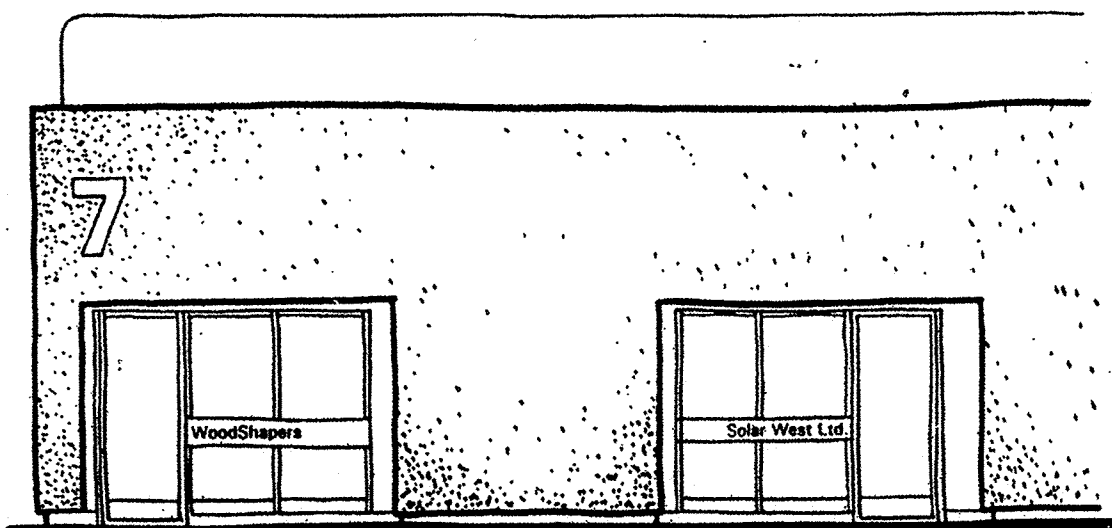
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SIGNAGE (cont.)

Signage for multi-tenant buildings shall identify the building number, complex name and/or address. The individual businesses will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

Tenant Signs

Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. No signage may be printed directly on the wall surface and no individual letters may be attached to the building.



MULTIPLE USER TENANT SIGN

Directional Signs

Directional signs are used to direct visitors to individual businesses located within the complex or building. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.

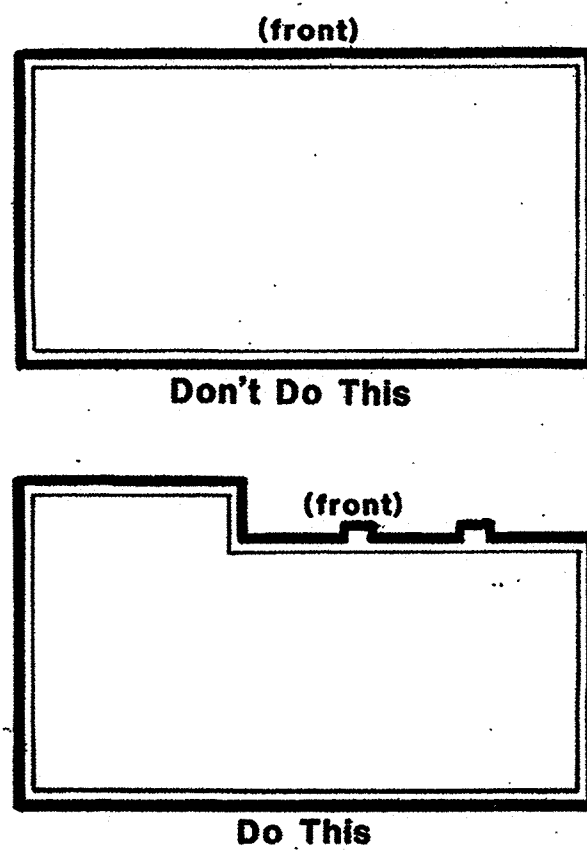
ARCHITECTURAL OBJECTIVES

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project.

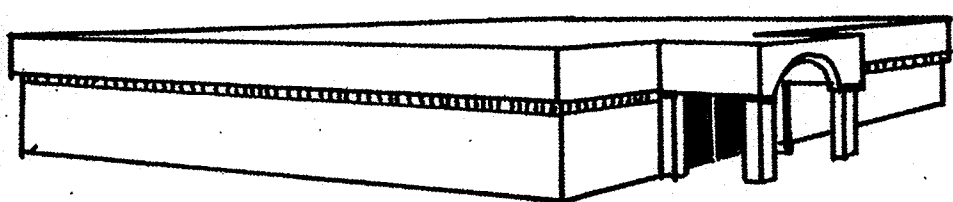
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with adjoining projects.

All buildings shall conform to the following requirements:

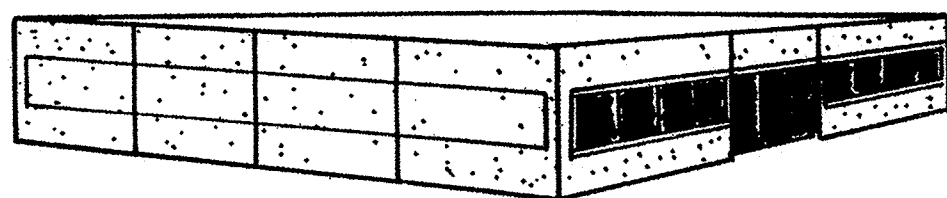
- All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. Pre-engineered metal buildings with masonry or equivalent skin applied to all facades are allowed. Metal skin is not considered a finished building material.
- Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
 - Employ variety in structural forms that create visual character and interest.
 - Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3' minimum offset, fenestration, material change, etc.).



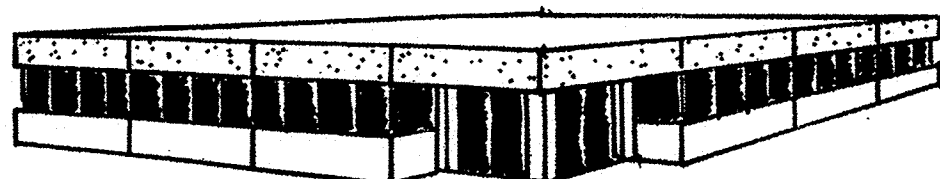
- Entries to industrial structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from



Indented or colored banding and entry projection

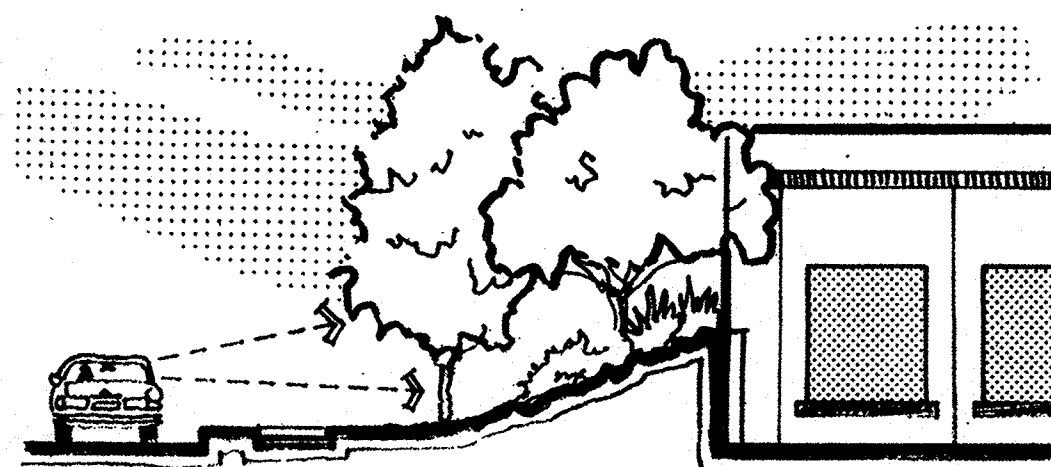


Textured walls, window glazing, and vertical/horizontal seams

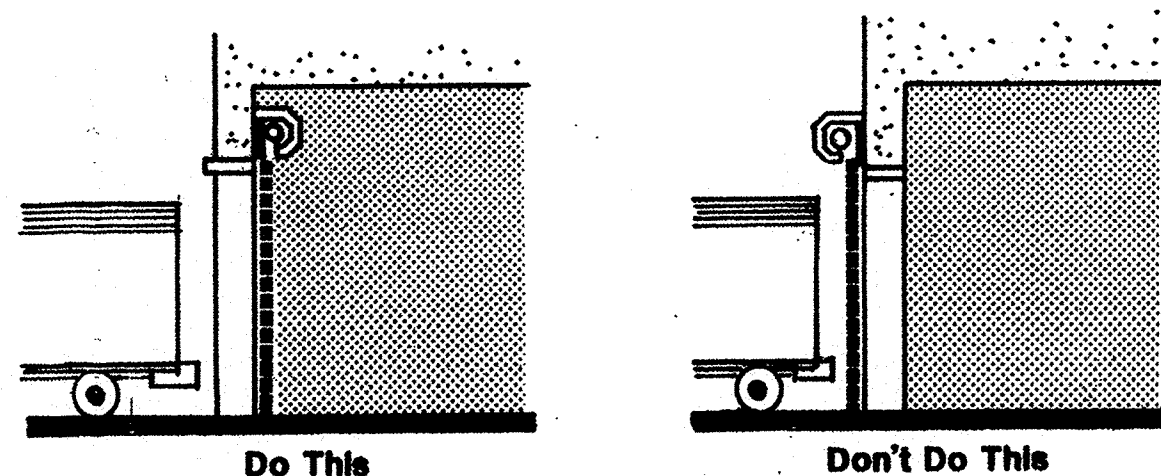


Indented entry, colored banding, and window glazing

- monotonous expanses of facade.
 - Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.
- Design elements which are undesirable and should be avoided include:
 - Highly reflective surfaces at the ground story.
 - Exposed, untreated precision block walls.
 - Chain link fence or barbed wire.
 - Metal used as the main architectural feature.
 - Attached mansard roofs on small portions of the roofline.
 - Materials with high maintenance requirements. Wood facings are expressly prohibited.
 - Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
 - Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.



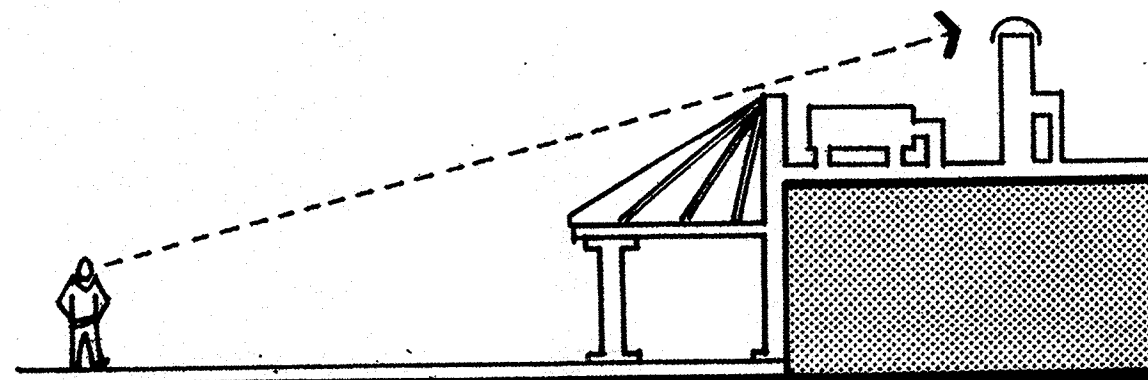
- Dock doors for loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior.



- Design elements for roofs shall be as follows:

- If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

- All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

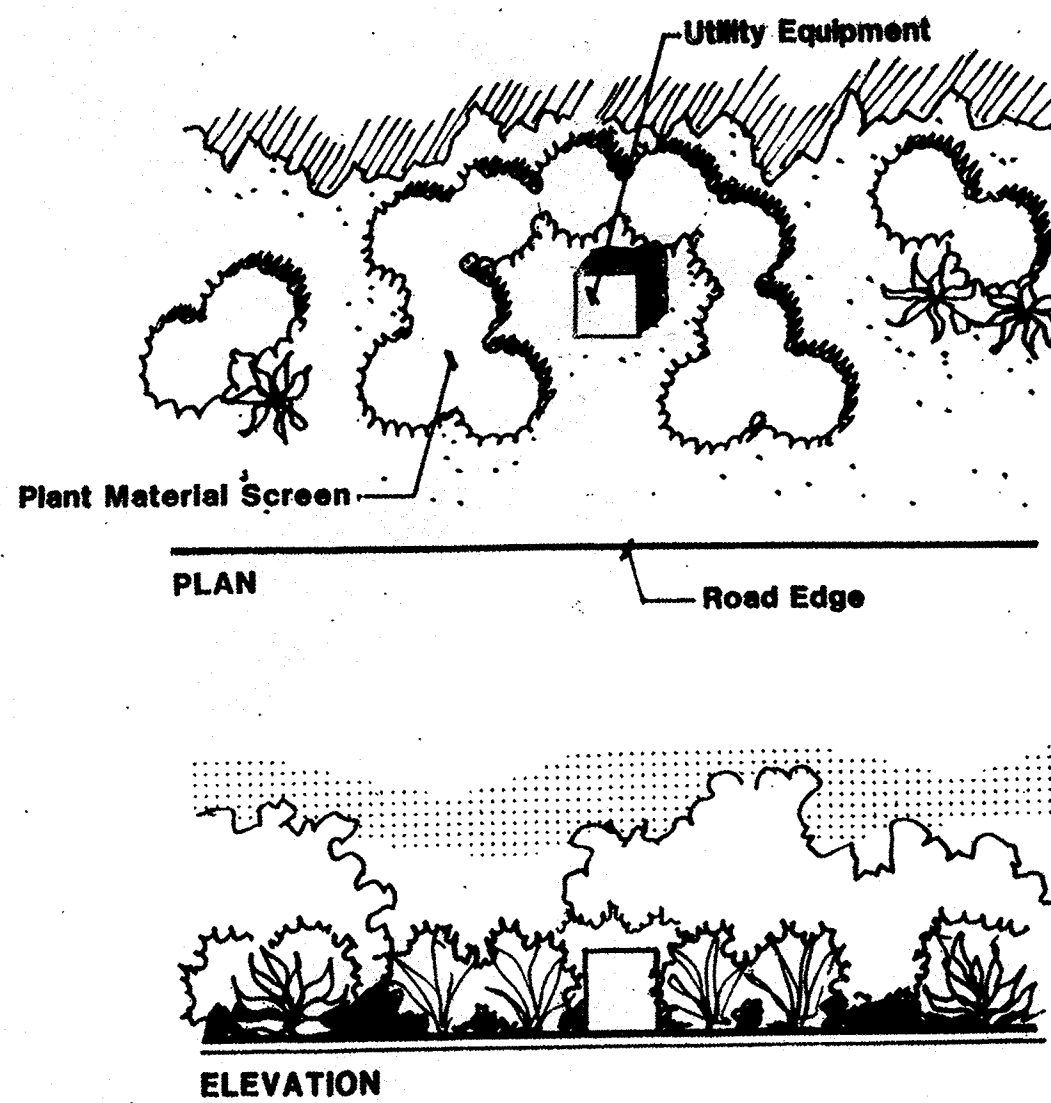


- Corrugated metal, highly reflective surfaces, and illuminated roofing are not permitted.
- The roof design should be considered an integral part of the overall architectural design theme.
- Concertina and/or barbed wire are not permitted on the roof.

UTILITIES

To ensure the overall aesthetic quality of the Atrisco Business Park:

- All electric distribution lines within the Park shall be placed underground.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures is prohibited.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



MASTER DEVELOPMENT PLAN CHECKLIST

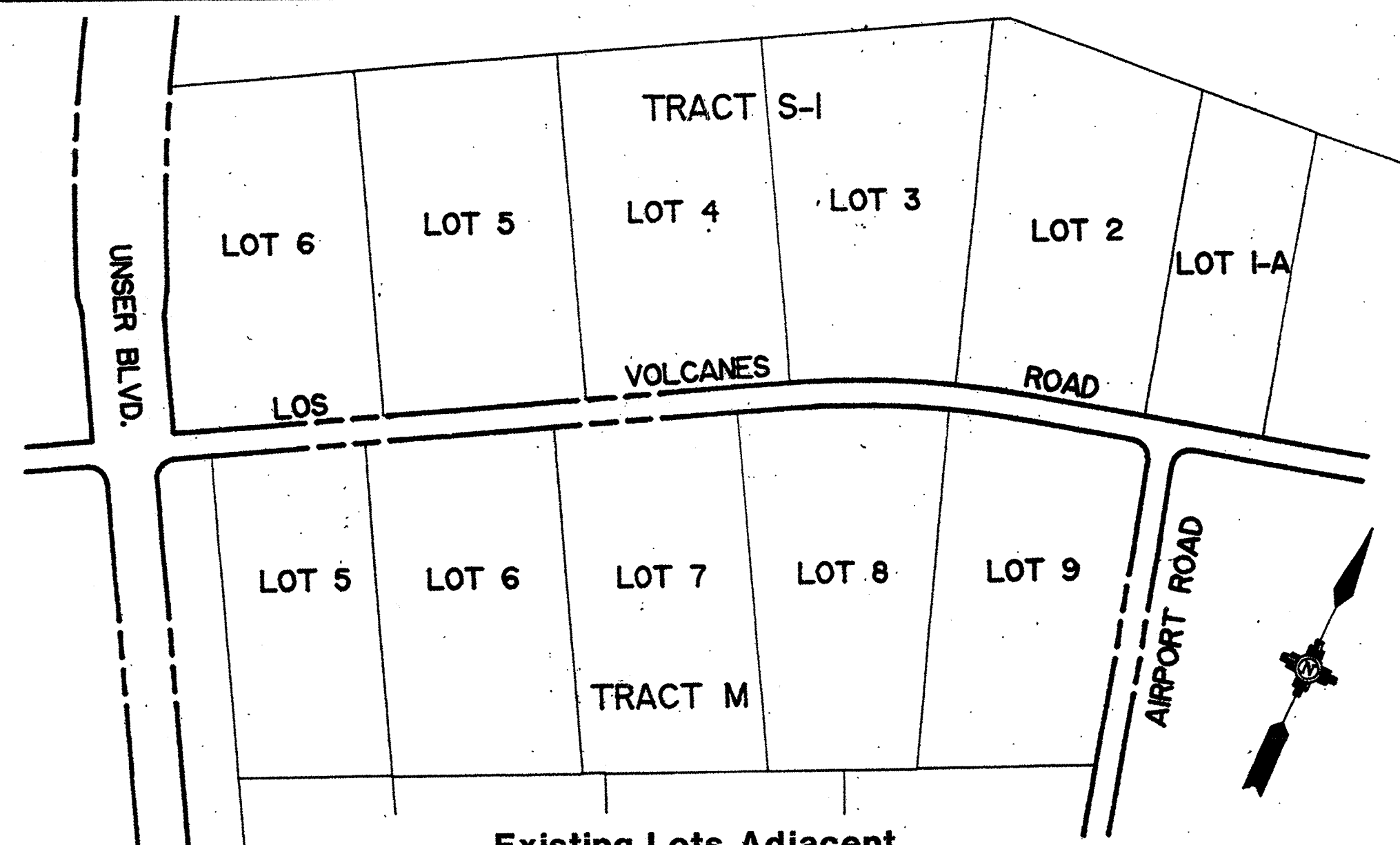
The City of Albuquerque Environmental Planning Commission shall delegate individual site plan and development review to the Development Review Board (DRB) based upon this checklist. The following conditions must be complied with prior to site plan approval by DRB:

- Compliance with the Master Development Plan
- | | Reference Sheet No. |
|-------------------------------|---------------------|
| 1) Intensity/Floor Area Ratio | |
| Maximum: Average .3 | 3, 4 of 10 |
| 2) Setbacks | 3 of 10 |
| 3) Architecture | 5 of 10 |
| 4) Landscaping | 3 of 10 |
| 5) Parking | 3, 4 of 10 |
| 6) Lighting | 4 of 10 |
| 7) Signage | 4, 5 of 10 |
| 8) Screening/Refuse/Storage | 4 of 10 |
| 9) Grading and Drainage | 6, 8, 9 of 10 |

If site plan proposals are not in substantial compliance with the Master Development Plan (i.e. FAR/intensity, Land Use Mix, and Design Criteria), amendment of the Master Development Plan by the Environmental Planning Commission may be required.

- Public Infrastructure

- The DRB shall review and approve an infrastructure list as outlined in the Master Development Plan (sheet 5 of 10).



Existing Lots Adjacent to Los Volcanes Road

- Traffic and Air Quality Analyses

- Conformance with Master Development Plan and Traffic/Air Quality Analysis (dated August 1992 - JHK & Associates, notes on sheet 1 of 10, and subsequent traffic/air quality analysis revisions).

Note: The following assumptions were used in preparation of the above traffic and air quality analyses:

- The timing for development was assumed to be:

Year	Floor Area Ratio
2000	.1
2010	.2
Buildout	.3

- The Traffic Study assumed the Long Range Major Street Plan network for the year 2000 and 2010.

INFRASTRUCTURE REQUIREMENTS

In order to obtain a Building Permit within the 1992 Atrisco Business Park Development Master Plan Area, applicants must meet with the Development Review Board (DRB) to develop an Infrastructure List which identifies the type, extent, and standards for construction of improvements. The Chairman of the DRB shall produce the Infrastructure List or a letter stating that no infrastructure is required. Approved financial guarantees for required infrastructure shall be provided to the City Of Albuquerque before issuance of a building permit. The work order process will provide for inspection and acceptance of the infrastructure by the City of Albuquerque.

The Infrastructure List will be developed in accordance with the following:

Water and Sanitary Sewer: Water and sanitary sewer facilities required for the proposed development of a lot shall conform to the City of Albuquerque Water and Sewer Extension Policy in effect at the time of development.

Streets: Where the lot is adjacent to platted streets which have not been constructed at the time the lot is to develop: One-half (1/2) or a maximum of 24' width of the permanent street section including curb, gutter and sidewalk along the full frontage of the lot and one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter extending to the nearest paved street. In the case of Lots 1-A and 2 through 6 of Tract S-1 and Lots 5 through 9 of Tract M, of Unit 2, Atrisco Business Park adjacent to Los Volcanes Road (see map above), the first lot to develop shall require construction of one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter from Unser Boulevard east to Airport Road. At such time that fifty-percent (50%) of these lots are developed, the City may require construction of the full permanent street section including curb and gutter from Unser east to Airport Road. Where the lot may include or is adjacent to future streets proposed in the current "Long Range Major Street Plan for the Albuquerque Urban Area", Dedication of the right-of-way for the planned street and one-half (1/2) or a maximum of 24' width of the street section including curb, gutter and sidewalk along the full frontage of the lot. If the lot fronts a street on both sides, then construction of both sides of the street to a maximum of 48' wide is required.

Drainage: Completion of that portion of the downstream public storm drain system defined in the 1992 Master Drainage Plan for the Atrisco Business Park and any subsequent amendments which is required to convey developed drainage from the developing lot. Where the planned storm drain system is intended to serve property upstream of the developing lot, the storm drain shall be extended to the furthest upstream boundary of the developing lot.

LAND USE MIX

The following land use mix will control development within the Atrisco Business Park:

	%	Acres
Light Industrial	35.0	123
Distribution Warehouse	20.0	70
Office/Admin.	22.5	78
Office/Warehouse	12.5	44
R & D/Pilot Mfg.	5.0	17
Other (Commercial)	5.0	17
	100.0%	349

Note: Variation from the above mix (greater than 15% of the acreage per land use) may require a re-assessment of the traffic and air quality analyses and possible re-analysis.

DEVELOPMENT SKETCHES

ATRISCO

BUSINESS

PARK

Prepared For:

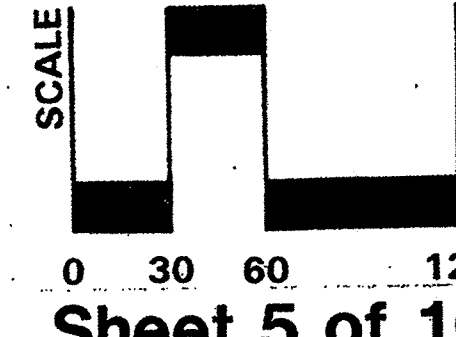
Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102

Prepared By:

Garrett Group, Inc.
9309 Avenida de la Luna NE
Albuquerque, New Mexico 87111

Consensus Planning, Inc.
610 Gold SW, Suite 216
Albuquerque, New Mexico 87102

Easterling & Associates, Inc.
10131 Coors Road NW, Suite H-7
Albuquerque, New Mexico 87114





LEGEND

DRAINAGE BASIN BOUNDARY ————

DRAINAGE BASIN ID NUMBER (XXX.X)

ANALYSIS POINT (XX)

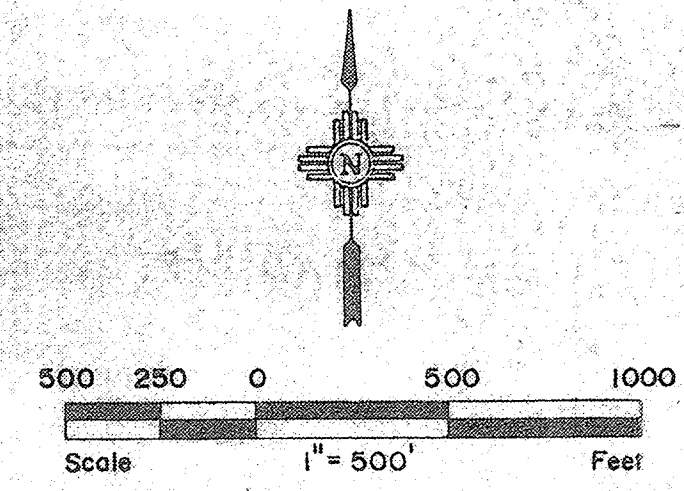
PROPOSED CHANNEL ————

PROPOSED STORM DRAIN ————

EXISTING STORM DRAIN ————

CONSERVATION TREATMENT [Pattern]

THIS BASE MAP WAS PRODUCED BY COMPOSITING THE CONTOURS GENERATED BY BOHANNAN-HUSTON, INC., ALBUQUERQUE, NEW MEXICO, FOR THE 1983 FEMA FLOODWAY MAPS AND 1991 RECTIFIED AERIAL PHOTOGRAPHY.



- GENERAL NOTES**
- CONSERVATION TREATMENT CONSISTING OF SMALL DITCHES AND DIKES IS PROPOSED FOR ALL ON-SITE UNDEVELOPED LOTS. THE PROPOSED DITCH/DIKES SHOULD BE DESIGNED TO INTERCEPT AND RETAIN STORM WATER AND SEDIMENT ON EACH LOT IN THE EVENT OF THE 100 YEAR 10 DAY STORM. AS LOTS ARE DEVELOPED, THE CONSERVATION TREATMENT WILL BE REPLACED WITH PERMANENT ON-SITE DETENTION PONDS.
 - REFER TO THE REPORT FOR THE MASTER DRAINAGE PLAN FOR THE ATRISCO BUSINESS PARK FOR COMPLETE AHYMO ANALYSIS SUMMARY TABLES AND INPUT DATA.

ANALYSIS POINT	SIDE	STREET FLOW						STORM DRAIN FLOW					
		AHYMO HYD #	Q ₁₀₀ (cfs)	SLOPE (ft./ft.)	FLOW DEPTH (ft.)	d ₁₀₀	V ₁₀₀ (fps)	AHYMO HYD #	Q ₁₀₀ (cfs)	DIA. (ft.)	SLOPE (ft./ft.)		
L	BOTH	170.30	6.3	0.015	0.31	0.35	2.5	--	--	--	--	--	--
M	WEST	170.45	0	0.017	0	0	0	170.44	21.5	37.1	30"	0.010	
N	WEST	170.54	0	0.020	0	0	0	170.53	21.5	37.1	36"	0.015	
O	BOTH	170.60	9.2	0.014	0.34	0.39	2.7	--	--	--	--	--	--
P	EAST	170.94	0	0.018	0	0	0	--	--	--	--	--	--
P	WEST	170.95	0	0.019	0	0.50	4.2	170.92	75.0	92.0	42"	0.008	
Q	EAST	171.11	3.6	0.011	0.33	0.37	2.3	--	--	--	--	--	--
Q	WEST	171.02	3.8	0.011	0.34	0.55	2.4	170.97	74.3	92.5	42"	0.009	
R	--	--	--	--	--	--	--	172.05	0	192.3	C.B.C.	0.005	
S	EAST	171.14	0	0.008	0	--	--	--	--	--	--	--	--
S	WEST	171.04	0	0.008	--	--	--	172.03	140.3	310.0	72"	0.001	
AA	BOTH	200.40	6.6	0.009	0.34	0.38	2.0	--	--	--	--	--	--
BB	BOTH	200.51	8.6	0.005	0.39	0.46	1.7	--	--	--	--	--	--
CC	BOTH	210.31	9.1	0.005	0.40	0.47	1.7	--	--	--	--	--	--
DD	BOTH	210.70	5.2	0.003	0.36	0.41	1.3	--	--	--	--	--	--
EE	--	--	--	--	--	--	--	210.62	17.1	29.4	48"	0.003	
FF	BOTH	220.10	5.5	0.004	0.36	0.41	1.6	211.13	15.2	26.7	48"	0.003	
GG	BOTH	220.70	4.2	0.004	0.32	0.38	1.5	220.72	22.3	38.4	48"	0.004	
HH	BOTH	230.31	11.3	0.008	0.40	0.47	2.3	220.73	21.0	19.5	48"	0.004	
II	--	--	--	--	--	--	--	230.51	13.1	24.9	30"	0.006	
JJ	--	--	--	--	--	--	--	230.82	19.7	40.6	30"	0.010	
KK	--	--	--	--	--	--	--	230.84	45.2	66.6	48"	0.050	
LL	--	--	--	--	--	--	--	270.23	112.1	231.8	54"	0.021	
MM	--	--	--	--	--	--	--	280.31	116.3	244.3	72"	0.010	
NN	--	--	--	--	--	--	--	290.12	119.0	262.2	72"	0.005	
OO	--	--	--	--	--	--	--	290.21	123.5	273.0	72"	0.006	
PP	BOTH	210.91	8.9	0.003	0.43	0.50	1.4	--	--	--	--	--	--
QQ	BOTH	210.51	9.4	0.005	0.40	0.49	1.7	--	--	--	--	--	--
RR	--	--	--	--	--	--	--	230.32	27.5	49.3	48"	0.020	

NOTE: STREET FLOW DEPTHS IN OFF-SITE AREAS WERE NOT ANALYZED IN AREAS WHERE THE STORM DRAIN HAS THE CAPACITY TO CARRY ALL OF THE FLOW FROM THE UPSTREAM STREET.

INTERIM CONDITION DRAINAGE BASIN DATA									
BASIN I.D. NUMBER	ASSUMED LAND USE	AREA (AC)	RUNOFF		ANALYSIS FLOW RATE		Q ₁₀₀ (cfs)	DIA. (ft.)	SLOPE (ft./ft.)
			Q ₁₀₀ (cfs)	V ₁₀₀ (Ac-Ft)	Q ₁₀₀ (cfs)	RELEASE (cfs)			
120.X	Existing - U.	129.9	106.9	5.12	106.9				
130.X	Existing - U.	183.4	159.4	7.57	159.4				
140.X	Existing - U.	55.5	78.0	2.16	78.0				
150.X	Existing - U.	92.7	77.3	3.39	77.3				
160.1	Existing - U.	33.1	47.2	1.32	0				
160.2	Existing - P.D.	22.4	59.7	2.00	22.4				
170.1	Existing - U.	40.5	57.9	1.62	0				
170.7	Developed	55.0	220.5	8.11	56.6				
180.1	Existing - U.	21.6	30.9	0.86	0				
200.1	Existing - U.	133.2	201.2	5.31	0				
210.1	Existing - U.	47.9	67.7	1.91	0				
210.6	Existing - U.	44.8	63.2	1.79	0				
220.2	Existing - U.	20.0	77.8	3.49	2.0				
220.3	Existing - U.	28.6	6.1	0.28	0				
220.6	Developed	12.7	49.2	2.21	1.3				
230.1	Existing - P.D.	1.2	3.8	0.14	3.8				
230.2	Existing - P.D.	3.3	10.9	0.40	10.9				
230.5	Existing - U.	4.2	6.5	0.18	6.5				
230.8	Existing - P.D.	7.2	15.8	0.53	15.8				
240.1	Existing - P.D.	21.3	58.7	2.66	21.3				
240.2	Existing - P.D.	8.0	25.7	1.32	8.0				
240.3	Existing - P.D.	5.1	12.9	0.58	5.1				
240.4	Existing - P.D.	14.8	42.5	2.26	14.8				
250.1	Existing - P.D.	15.8	33.2	1.65	15.8				
250.2	Existing - P.D.	5.0	14.9	0.60	5.0				
260.1	Existing - U.	25.5	33.1	1.10	25.5				
270.1	Existing - P.D.	14.2	21.3	0.64	14.2				
280.1	Existing - P.D.	4.2	6.6	0.20	4.2				
290.1	Existing - P.D.	20.1	28.8	0.85	20.1				

U = UNDEVELOPED
P.D. = PARTIALLY DEVELOPED

UNSER DIVERSION CHANNEL									
ANALYSIS POINT	AHYMO HYD #	Q ₁₀₀ (cfs)	CHANNEL FLOW		FLOW DEPTH (ft.)		V ₁₀₀ (fps)	V ₁₀₀ (fps)	
			AVG. SLOPE (ft./ft.)	Q ₁₀₀ (cfs)	d ₁₀₀	d ₁₀₀			
A	120.60	5.6	27.1	--	--	--	--	--	--
B	120.61	19.7	122.2	0.015	0.35	1.01	4.99	9.27	
C	130.72	46.8	280.5	0.015	0.59	1.59	6.81	11.93	
D	130.73	46.9	281.5	0.024	0.51	1.40	14.01	14.01	
E	140.11	53.0	324.7	0.010	0.71	1.91	6.20	10.76	
F	150.11	61.4	398.0	0.004	1.00	2.65	4.76	8.13	
G	160.13	61.0	387.0	0.007	0.85	2.30	5.75	9.98	
H	160.22	76.2	407.5	0.007	0.86	2.38	6.16	10.10	
I	120.51	17.3	106.9	--	--	--	--	--	
J	130.71	27.2	159.4	--	--	--	--	--	

**ATRISCO BUSINESS PARK
MASTER DRAINAGE PLAN
OVERALL DRAINAGE PLAN
INTERIM CONDITION**

EASTERLING & ASSOCIATES, INC.
CONSULTING ENGINEERS
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(505) 898-8021 FAX (505) 898-8501

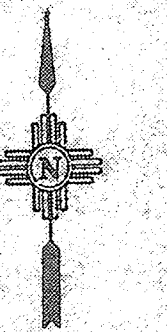
DESIGNED BY: V.S.F. DRAWN BY: D.E.C./C.L.B. CHECKED BY: C.M.E.
JOB NO. 3321 DATE SEPT., 1992

Sheet 6 of 10

LEGEND

DRAINAGE BASIN BOUNDARY	---
DRAINAGE BASIN ID NUMBER	XXX.X
ANALYSIS POINT	XX
PROPOSED CHANNEL	---
PROPOSED STORM DRAIN	---
EXISTING STORM DRAIN	---
FUTURE DETENTION POND	FS
FUTURE STREET BASIN	XX.X

THIS BASE MAP WAS PRODUCED BY COMPOSITING THE CONTOURS GENERATED BY BOHANNAN-HUSTON, INC., ALBUQUERQUE, NEW MEXICO, FOR THE 1985 FEMA FLOODWAY MAPS AND 1991 RECTIFIED AERIAL PHOTOGRAPHY.



Scale 1" = 500' Feet

GENERAL NOTES

- FUTURE PONDS ARE SHOWN SCHEMATICALLY ON THIS PLAN ONLY TO REPRESENT THAT CONTROL OF THE FLOW FROM THE UPSTREAM WATERSHED IS REQUIRED. LOCATION AND CONFIGURATION OF ACTUAL DETENTION PONDS SHALL BE APPROPRIATE FOR THE TYPE OF DEVELOPMENT WHICH OCCURS IN THE WATERSHED TO BE CONTROLLED.
- REFER TO THE REPORT FOR THE MASTER DRAINAGE PLAN FOR THE ATRISCO BUSINESS PARK FOR COMPLETE AHYMO ANALYSIS SUMMARY TABLES AND INPUT DATA.

KEYED NOTES

- FOR THE PURPOSE OF ANALYSIS TRACT "S-1" AND TRACT "M" WERE MODELED AS SINGLE BASINS WITH SINGLE DETENTION PONDS. IF PROPERTY DEVELOPERS PER CURRENT SUBDIVISION, EACH LOT WILL REQUIRE A DETENTION POND AS ILLUSTRATED. ALL LOTS WITHIN THESE LARGE TRACTS ARE SUBJECT TO A MAXIMUM ALLOWABLE 100 YEAR PEAK DISCHARGE OF 0.1 CFS/ACRE.
- TO FACILITATE POSSIBLE FUTURE SUBDIVISION, SOME ESTIMATED FUTURE STREET AREAS WERE INCLUDED IN THE AHYMO MODELING OF THE SYSTEM.

ANALYSIS POINT	SIDE	STREET FLOW					STORM DRAIN FLOW				
		AHYMO HYD #	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	SLOPE (ft./ft.)	FLOW DEPTH (ft.)	AHYMO HYD #	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	DIA. (ft.)	SLOPE (ft./ft.)
L	BOTH	170.30	6.3	9.8	0.015	0.31	170.44	41	41.0	30"	0.010
M	WEST	170.45	9.6	33.7	0.017	0.41	170.53	50.6	74.7	36"	0.015
N	WEST	170.54	0	0	0.020	0					
O	BOTH	170.80	9.2	14.3	0.014	0.34	170.92	92.0	92.0	48"	0.008
P	EAST	170.94	0	8.6	0.018	0	170.92	92.0	92.0	48"	0.008
	WEST	170.95	12.4	48.0	0.019	0.44					
Q	EAST	171.11	3.6	8.6	0.011	0.33	170.97	92.4	92.9	48"	0.009
	WEST	171.02	11.72	56.6	0.011	0.47	172.05	168.7	193.6	C.B.C.	0.005
R											
S	EAST	171.14	0	0.6	0.008	0	172.03	310.0	310.0	72"	0.001
	WEST	171.04	0	20.6	0.008						
AA	BOTH	200.41	17.8	28.4	0.008	0.46					
BB	BOTH	200.51	16.7	28.3	0.005	0.48	200.62	12.4	18.3	30"	0.005
CC	BOTH	210.31	16.0	27.7	0.005	0.47	210.43	16.4	31.1	36"	0.005
DD	BOTH	210.70	5.2	8.2	0.003	0.36					
EE											
FF	BOTH	220.10	5.5	8.7	0.004	0.36	211.12	48.1	78.4	48"	0.003
GG	BOTH	220.70	4.2	6.7	0.004	0.32	220.72	55.9	89.3	48"	0.004
HH	BOTH	230.31	12.7	19.0	0.008	0.41	220.73	54.6	86.3	48"	0.004
II							230.51	5.0	6.5	24"	0.006
JJ							230.82	27.1	38.4	30"	0.010
KK							230.84	83.3	133.1	48"	0.050
LL		270.22	0.0	16.0	0.029	0	270.23	190.3	269.2	54"	0.021
MM							280.31	201.5	287.3	72"	0.010
NN							290.12	221.7	315.6	72"	0.005
OO							290.21	226.8	323.7	72"	0.006
PP	BOTH	210.91	8.9	14.6	0.003	0.43					
QQ	BOTH	210.51	16.1	30.0	0.005	0.40					
RR							230.32	60.8	99.8	48"	0.020

NOTE: STREET FLOW DEPTHS IN OFF-SITE AREAS WERE NOT ANALYZED IN LOCATIONS WHERE THE STORM DRAIN HAS THE CAPACITY TO CARRY ALL OF THE FLOW FROM THE UPSTREAM STREET. DUE TO MINOR LOSSES, MUCH OF THE STORM DRAIN WILL OPERATE UNDER PRESSURE FLOW.

DEVELOPED CONDITION DRAINAGE BASIN DATA

BASIN ID NUMBER	ASSUMED LAND USE/ZONING	AREA (AC)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	MAX. ALLOWED Q ₁₀₀ RELEASE (cfs)
120.0	IP	66.0	254.6	9.18	85.8
130.0	IP	44.7	172.9	6.23	58.2
140.0	IP	95.0	365.6	13.22	123.5
150.0	IP	25.3	97.8	3.52	32.8
160.1	IP	33.0	127.9	4.61	43.0
160.2	IP	22.4	86.6	3.12	29.1
170.1	IP	40.5	162.7	5.98	47.2
170.7	IP	55.0	220.5	8.11	56.6
180.1	IP	21.6	79.0	2.81	79.0
200.1	IP	133.2	513.4	23.19	13.3
200.2	Future Street	2.7	10.2	0.45	10.2
200.3	Future Street	4.9	18.0	0.82	18.0
200.6	IP	4.5	17.4	0.78	0.5
210.1	IP	47.9	185.7	8.34	4.8
210.2	Future Street	5.0	18.1	0.84	18.1
210.4	IP	7.5	29.1	1.30	0.7
210.6	IP	44.8	173.8	7.80	4.5
211.1	IP	7.5	29.1	1.30	0.8
220.2	IP	20.0	77.8	3.49	2.0
220.3	IP	28.6	111.1	4.98	2.9
220.4	Future Street	1.2	4.4	0.19	4.4
220.5	IP	20.0	77.8	3.49	2.0
220.6	C-2	12.7	49.2	2.21	1.3
230.1	C-2	1.2	4.5	0.20	3.8
230.2	C-2	3.3	12.9	0.58	10.9
230.5	C-2	4.2	16.6	0.74	6.5
230.8	C-2	7.2	28.1	1.26	15.8
240.1	IP	21.3	81.2	3.58	11
240.2	IP	8.0	25.7	1.32	11
240.3	C-2	5.1	20.1	0.90	11
240.4	Church	14.8	42.5	2.26	11
250.1	C-2, RT	15.8	62.0	2.77	11
250.2	R-1, C-2	5.0	14.9	0.60	11
260.1	C-2, O-1	25.5	97.1	4.28	11
270.1	Mobile Home Park	14.2	54.2	2.39	11
280.1	RA-1	4.2	16.1	0.71	6.6
290.1	Residential	20.1	67.5	2.79	28.8

1 The aggregate peak Q₁₀₀ from basins 240.1, 240.2, 240.3, 240.4, 240.5, 240.6, 250.1, 250.2, 260.1, and 270.1 shall not exceed 146 cfs at the point of discharge to the Coors Connection Storm Drain.

2 Basin modeled to verify capacity for future public streets.

UNSER DIVERSION CHANNEL

ANALYSIS POINT	AHYMO HYD #	Q ₁₀ (cfs)		AVG. SLOPE (ft./ft.)	FLOW DEPTH (ft.)		V ₁₀ (fps)	V ₁₀₀ (fps)
		Q ₁₀	Q ₁₀₀		d ₁₀	d ₁₀₀		
A	120.02	86.9	87.4	0.015	0.84	0.84	8.36	8.36
D	130.02	146.5	146.1	0.024	0.98	0.98	11.53	11.53
E	140.02	268.7	268.4	0.010	1.75	1.75	10.26	10.26
F	150.02	300.2	300.3	0.004	2.33	2.33	7.58	7.58
G	160.12	343.3	343.3	0.007	2.16	2.16	9.63	9.63
H	160.22	372.3	372.4	0.007	2.25	2.25	9.84	9.84

ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN OVERALL DRAINAGE PLAN FULLY DEVELOPED CONDITION

EASTERLING & ASSOCIATES, INC.
CONSULTING ENGINEERS
1031 Coors Rd., NW, Suite H-718
ALBUQUERQUE, NEW MEXICO 87114
(505) 896-8021 FAX (505) 896-8501

DESIGNED BY: V.S.F. DRAWN BY: C.L.B. CHECKED BY: C.M.E.
JOB NO. 3321 DATE SEPT., 1992

Sheet 7 of 10

HYDROLOGY

TYPICAL SITE HYDROLOGY										
CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q ₁₀ (CFS)	Q ₁₀₀ (CFS)	V ₁₀ (AC-FT)	V ₁₀₀ (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)
		A	B	C	D					
UNDEVELOPED	10.0	100	0	0	0	2.3	12.9	0.07	0.37	1.00
DEVELOPED	10.0	0	15	10	75	23.8	38.1	0.82	1.68	1.00
UNDEVELOPED	2.5	100	0	0	0	0.6	3.2	0.17	0.09	0.25
DEVELOPED	2.5	0	15	10	75	6.0	9.5	0.21	0.42	0.25
										APPROX. POND VOLUME* REQUIRED (AC-FT)
										1.25
										0.4

*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

TYPICAL 10 ACRE SITE

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 1.25 AC.FT.
VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.29 AC.FT.
 ΔV 24 HOUR - 10 DAY STORM = $((3.67-2.66) + 12) \times (10.0 \times 0.75) = 0.63$ AC.FT.
 $0.29 + 0.63 = 0.92$ AC.FT. < 1.25 AC.FT.

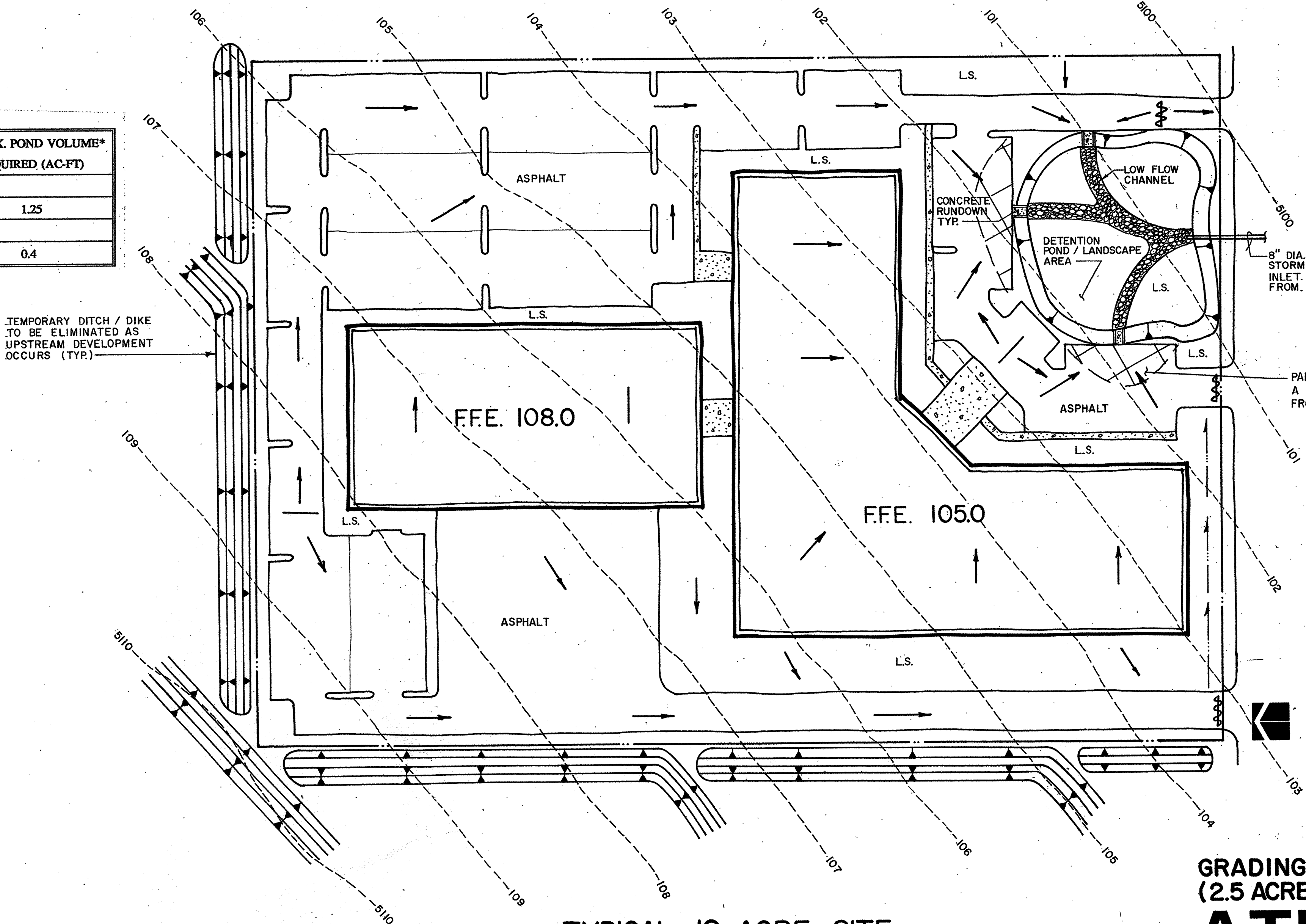
CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

TYPICAL 2.5 ACRE SITE

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 0.4 AC.FT.
VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.08 AC.FT.
 ΔV 24 HOUR - 10 DAY STORM = $((3.67-2.66) + 12) \times (2.5 \times 0.75) = 0.16$ AC.FT.
 $0.08 + 0.16 = 0.24$ AC.FT. < 0.4 AC.FT.

CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

TEMPORARY DITCH / DIKE TO BE ELIMINATED AS UPSTREAM DEVELOPMENT OCCURS (TYP.)



TYPICAL 10 ACRE SITE

NOTES

- THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
- THE MAXIMUM ALLOWABLE STORM WATER DISCHARGE RATES FROM SITES EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
 - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
 - SMALL AREAS OF THE SITE MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING.
 - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE SITE SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
 - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
 - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE SITE.
- POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
- LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS	5094	5094
SPOT ELEVATIONS	5088	5088
DRAINAGE AREA BOUNDARY		
DRAINAGE DIVIDE		
WATER BLOCK		
DIRECTION OF FLOW		
ASPHALT PAVING	ASPHALT	ASPHALT
LANDSCAPING	L.S.	L.S.
CONCRETE	CONCRETE	CONCRETE
SWALE		
PROPERTY LINE		

**CONCEPTUAL
GRADING AND DRAINAGE PLAN
(2.5 ACRE AND 10 ACRE SITES)**

**ATRISCO
BUSINESS
PARK**

Prepared For:

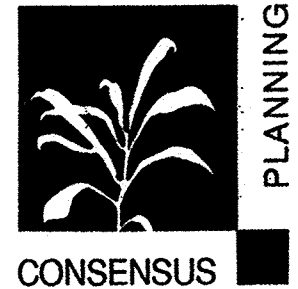
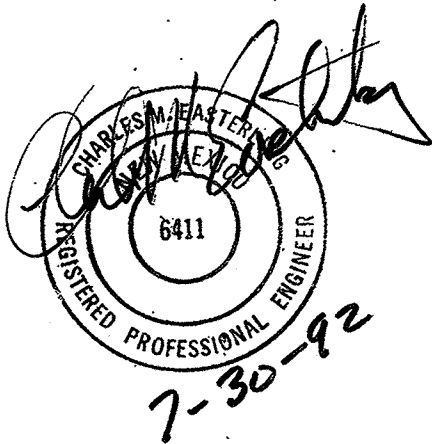
Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102

Prepared By:

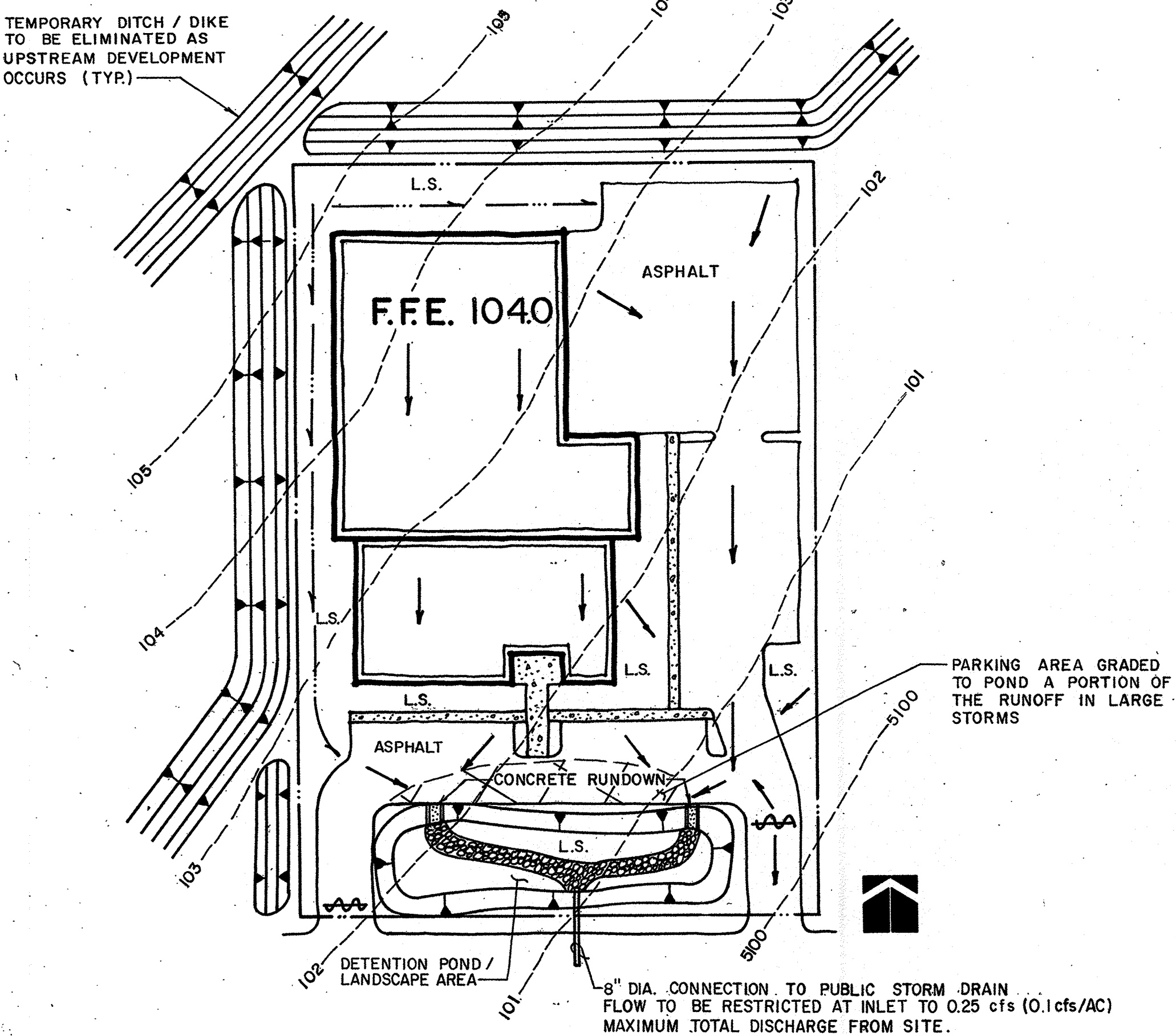
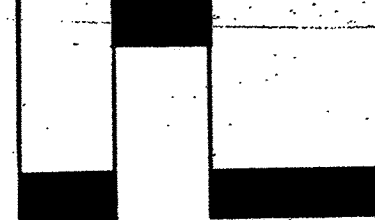
Garrett Group, Inc.
9309 Avenida de la Luna NE
Albuquerque, New Mexico 87111

Consensus Planning, Inc.
610 Gold SW, Suite 216
Albuquerque, New Mexico 87102

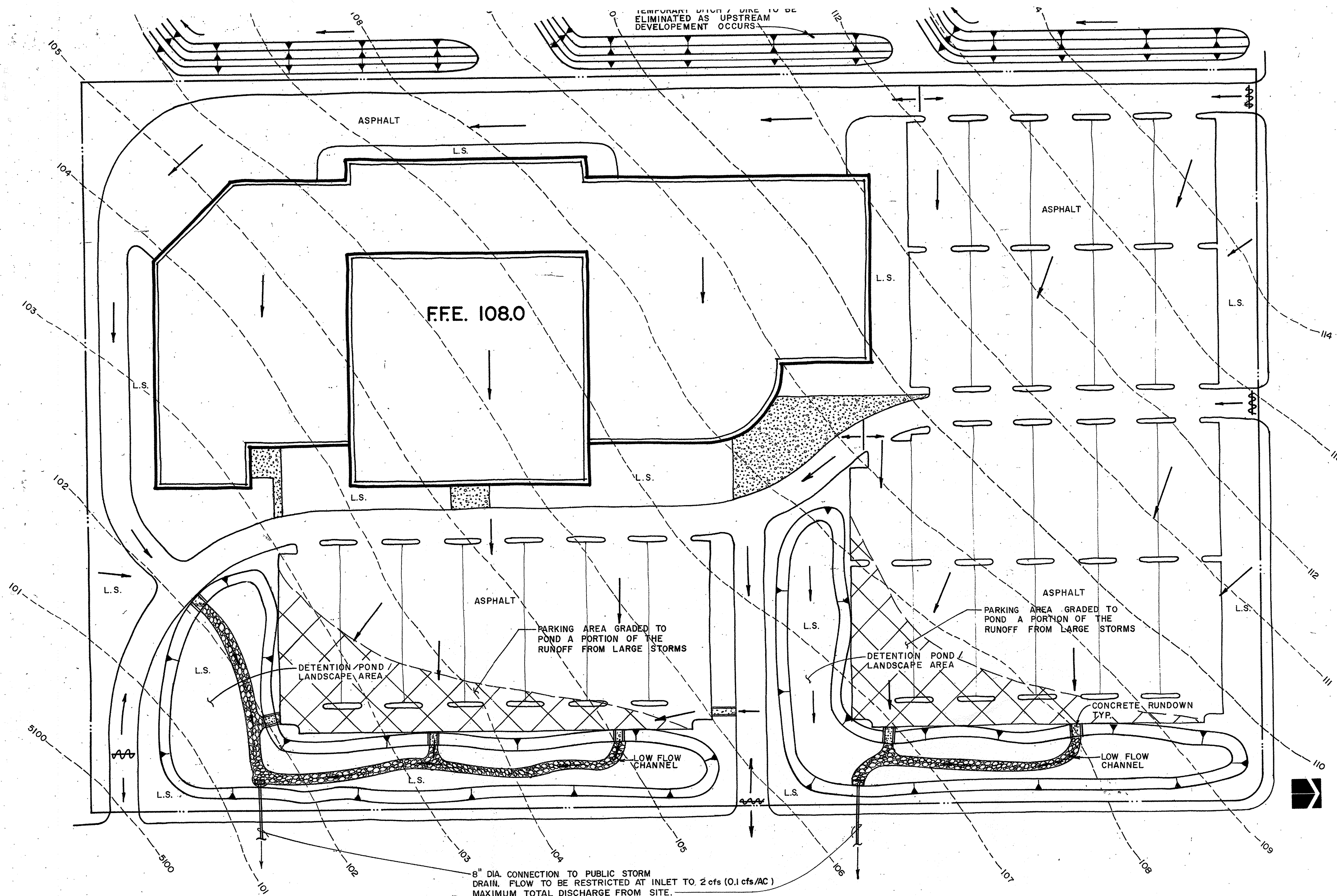
Easterling & Associates, Inc.
10131 Coors Road NW, Suite H-7
Albuquerque, New Mexico 87114



DATE: JULY, 1992



TYPICAL 2 1/2 ACRE SITE



TYPICAL 20 ACRE SITE

HYDROLOGY

TYPICAL SITE HYDROLOGY

CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q ₁₀ (CFS)	Q ₁₀₀ (CFS)	V ₁₀ (AC-FT)	V ₁₀₀ (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)	APPROX. POND VOLUME* REQUIRED (AC-FT)
		A	B	C	D						
UNDEVELOPED	20.0	100	0	0	0	4.7	25.7	0.13	0.73	2.0	
DEVELOPED	20.0	0	15	10	75	47.6	76.2	1.64	3.36	2.0	2.5

*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

TYPICAL 20 ACRE SITE

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 2.5 AC. FT.
VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.62 AC. FT.
 ΔV 24 HOUR - 10 DAY STORM = $(3.67 - 2.66) + 12(20.0 \times 0.75) = 1.26$ AC. FT.
 $0.62 + 1.26 = 1.88$ AC. FT. < 2.5 AC. FT.

CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS	5094	5094
SPOT ELEVATIONS	5088	5088
DRAINAGE AREA BOUNDARY		
DRAINAGE DIVIDE		
WATER BLOCK		
DIRECTION OF FLOW		
ASPHALT PAVING	ASPHALT	ASPHALT
LANDSCAPING	L.S.	L.S.
CONCRETE	CONCRETE	CONCRETE
SWALE		
PROPERTY LINE		

NOTES

- THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
- THE MAXIMUM ALLOWABLE 100 YEAR STORM WATER DISCHARGE RATES FROM LOTS EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
 - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
 - SMALL AREAS OF LOTS LOCATED ON THE UPHILL SIDE OF A STREET MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING. THIS PROVISION IS SUBJECT TO THE FOLLOWING CRITERIA.
 - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE LOT SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
 - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
 - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE LOT.
- POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
- LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

CONCEPTUAL GRADING AND DRAINAGE PLAN (20 ACRE SITE)

ATRISCO BUSINESS PARK

Prepared For:

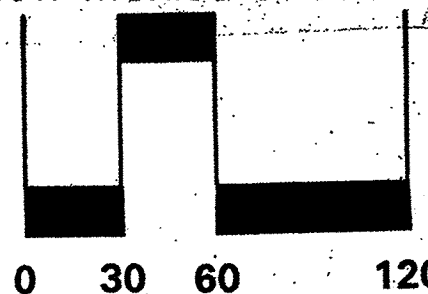
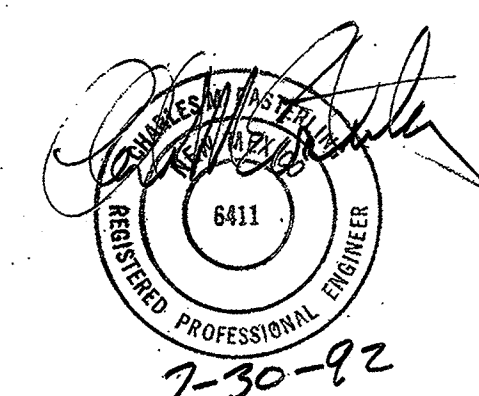
Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102

Prepared By:

Garrett Group, Inc.
9309 Avenida de la Luna NE
Albuquerque, New Mexico 87111

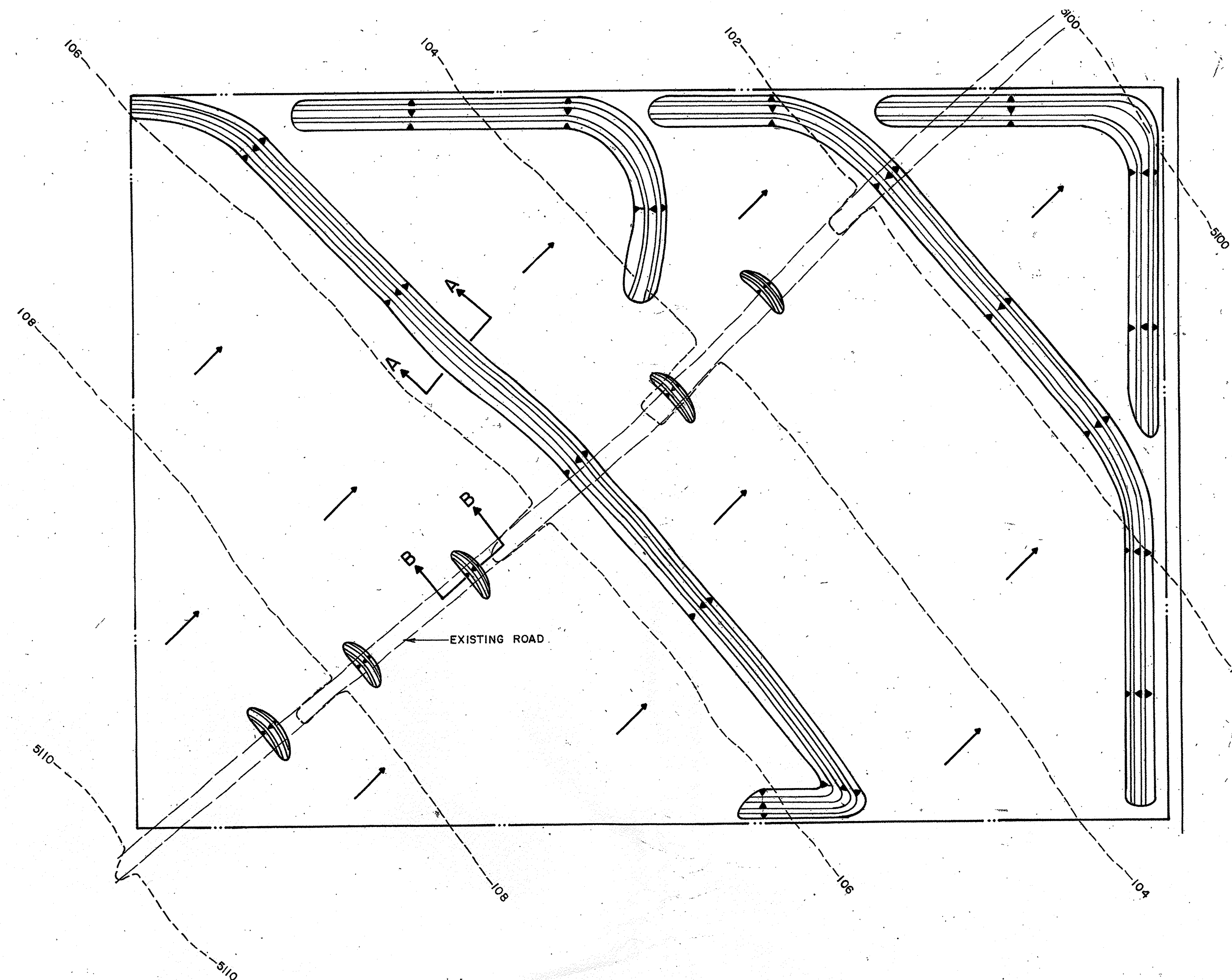
Consensus Planning, Inc.
610 Gold SW, Suite 216
Albuquerque, New Mexico 87102

Easterling & Associates, Inc.
10131 Coors Road NW, Suite H-7
Albuquerque, New Mexico 87114

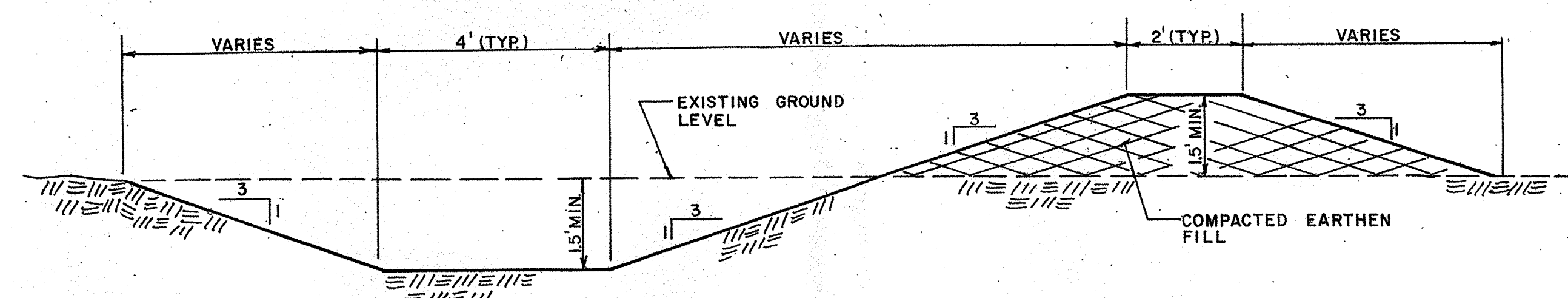


DATE: JULY, 1992

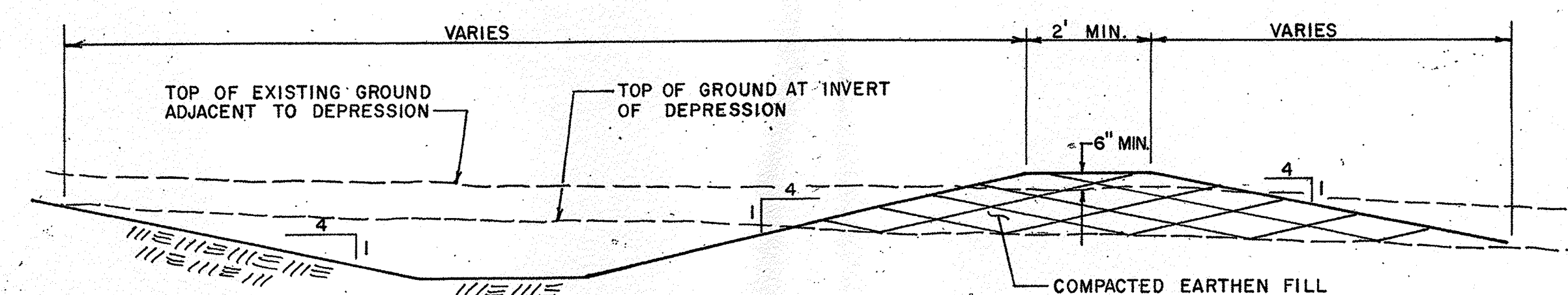
Sheet 9 of 10



TYPICAL 10 ACRE SITE



DITCH / DIKE RETENTION STRUCTURE SECTION A-A
SCALE: 1" = 2'



ROAD AND GULLY PLUG SECTION B-B
SCALE: 1" = 2'

CONCEPTUAL
GRADING AND DRAINAGE PLAN
(INTERIM CONDITIONS)

ATRISCO BUSINESS PARK

Prepared For:

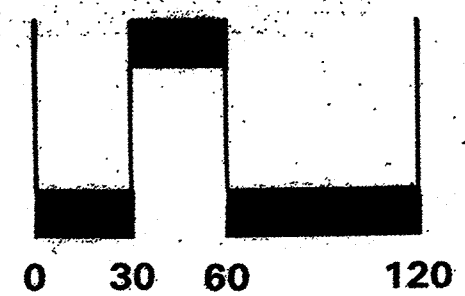
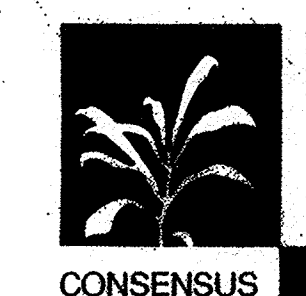
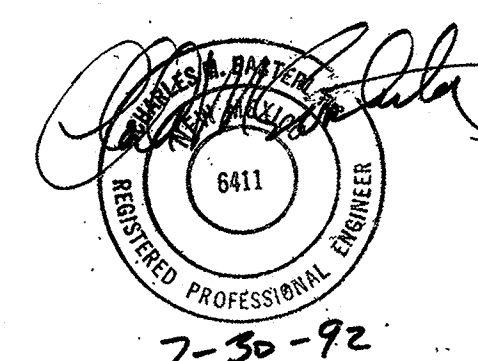
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DATE: JULY, 1992

Sheet 10 of 10

ZONING

Please refer to IDO Subsection 14-16-2-5(B) for the NR-BP zone district and IDO Subsection 14-16-2-4(C) for the MX-M zone district.

APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input checked="" type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: La Mame, LLC		Phone:
Address: 4310 Wellesley NE		Email:
City: Albuquerque	State: NM	Zip: 87107
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: vperea@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

EPC- Zoning Map Amendment

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: F-4-A Plat of TRS F-3-A, F-4-A & F-6-A & TR F-6-A-2 Plat of Tracts F-6-A-1 and F-6-A-2	Block:	Unit: Unit 3
Subdivision/Addition: Atrisco Business Park	MRGCD Map No.:	UPC Code: 101005846905940606 101005847201840605
Zone Atlas Page(s): J-10-Z	Existing Zoning: NR-BP	Proposed Zoning: MX-M
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 8.94 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Coors Blvd NW	Between: Coors Blvd NW	and: Bluewater Rd NW
------------------------------------	------------------------	----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000173, V-87-78, Z-84-47-3

Signature: <i>Ronald R. Bohannon</i>	Date: 7/30/2020
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
RZ-2020-00020	ZMA	\$970			

Meeting/Hearing Date: September 10, 2020	Fee Total: \$970
Staff Signature: Vanessa A Segura	Date: 7/30/2020 Project # PR-2020-004193

Form Z: Policy Decisions

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ **INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)**

- N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Traffic Impact Study (TIS) form (*not required for Amendment to IDO Text*)
- ☒ Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (*not required for Amendment to IDO Text*) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

☐ **ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN**

☐ **ADOPTION OR AMENDMENT OF FACILITY PLAN**

- ___ Plan, or part of plan, to be amended with changes noted and marked
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☐ **AMENDMENT TO IDO TEXT**

- ___ Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3)
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

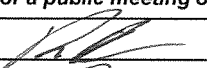
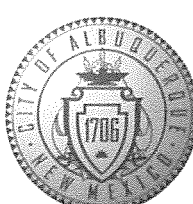
☒ **ZONING MAP AMENDMENT – EPC**

☐ **ZONING MAP AMENDMENT – COUNCIL**

- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☒ Sign Posting Agreement

☐ **ANNEXATION OF LAND**

- ___ Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*
- ___ Petition for Annexation Form and necessary attachments
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)
- ___ Board of County Commissioners (BCC) Notice of Decision

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 7/30/2020
Printed Name: <u>Ronald R. Bohannon</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: PR-2020-004193	Case Numbers RZ-2020-00020
	
Staff Signature: <u>Vanessa A Segura</u>	
Date: 7/30/2020	

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Thomas Development Co. DATE OF REQUEST: 5/26/20 ZONE ATLAS PAGE(S): J-10-Z

CURRENT:

ZONING NR-BP

PARCEL SIZE (AC/SQ. FT.) 8.95 AC

LEGAL DESCRIPTION:

LOT OR TRACT # Tr F-4-A & Tr F-6-A-2 BLOCK #

SUBDIVISION NAME Atrisco Business Park, Unit 3

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☒: From NR-BP To MX-M

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☒ AMENDMENT ☐

BUILDING PERMIT ☒ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 128 - Multi-Family Bldg
80 - Senior Living Bldg

BUILDING SIZE: 83,140 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Vinny Perea, PE, Tierra West DATE 5/26/20

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3991

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

Minimum peak hour traffic volumes do not meet the COA peak hour thresholds for a TIS.
Coors Blvd. and Bluewater NW.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

M. Perea, P.E.

TRAFFIC ENGINEER

5/26/2020

DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

Revised January 20, 2011

7/29/2020

Mr. Dan Serrano, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **ZONE MAP AMENDMENT-EPC APPROVAL**
TR F-4-A & F-6-A-2 PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z

Dear Mr. Serrano:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of La Mame, LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Richard Brunacini

Print Name

DocuSigned by:



8A72E9A26EE6467...

Signature

manager

Title

7/29/2020

Date



413. W. Idaho Street, Suite 200
Boise, Idaho 83702
(208) 343-8877
FAX (208) 343-8900
E-Mail: tdc@thomasdevelopment.com

August 17, 2020

Mr. Dan Serrano, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **ZONE MAP AMENDMENT-EPC APPROVAL**
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 AND TR F-
6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z

Dear Mr. Serrano:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Thomas Development Co. pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Thomas C. Mannschreck

Print Name

Signature

President, Thomas Development Co.

Title

August 17, 2020

Date

TCM:mdl

August 21, 2020

Mr. Dan Serrano, Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: ZONING MAP AMENDMENT- EPC
SAN ROQUE/LA SERENA
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP J-10-Z**

Dear Chairman Serrano:

Tierra West, LLC on behalf of Thomas Development Co., requests approval of a Zoning Map Amendment (Zone Change) for the above referenced sites from Non-Residential Business Park (NR-BP) to Mixed Use – Moderate (MX-M).

Site Location & History

The development site is located on the west side of Coors Boulevard NW and north of Bluewater Rd NW and consists of approximately 8.95 acres. The site is bordered on the north by a Big Lots store, to the south Bank of Albuquerque, and on the west a large 40 acre electrical component manufacturer known as Thomas and Betts. To the east of the property across Coors Blvd is R-1B residential. The subject property is currently undeveloped vacant land and is part of the platted Atrisco Business Park. The current zoning of NR-BP is designated to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts from surrounding uses and adjacent areas. (pg. 42 IDO)

Context: Westside Jobs Housing Balance

The comprehensive plan (5-7) states that along with ensuring adequate land on the West Side for future employment opportunities more options for higher-density housing that can be better served by transit and located closer to jobs and services are important strategies in addressing the jobs-housing imbalance and improving the quality of life for West Side residents.

To facilitate the type of sustainable development that addresses the housing imbalance we need to focus on not only bringing the proper commercial developments to the west side but also the type of mixed-use development that is going to work in conjunction with the very business parks and commercial developments that we are promoting.

The requested change from NR-BP to MX-M facilitates that overarching narrative as well as the specific policy goal by making higher density housing a permissive use at a location immediately. Furthermore MX-M by its very nature and definition is a zone type that promotes the balance sought by this area of the comprehensive plan.

In terms of ensuring adequate capacity for employment development, it should be noted that there exists 236 Acres of NR-BP zoned land west of this site as well as an additional 1,000 acres regionally that are serving to fulfill this need. It is also worth noting that these numbers

do not include Santolina or the Upper Petroglyphs where large employment projects are planned and underway. Lastly, the NR-BP and MX-M share a combined 54 identical uses that are not residential in nature, thus this request does not diminish employment opportunities on the west side.

Context

The Site is located in an Area of Change and is located along a Major Transit Corridor as designated by the IDO. The site is approximately ¼ mile north of the designated West Route 66 Activity Center. An area of change is defined as an area where growth and development is encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

The proposed development will include residential developments for multi-family living and senior living. The senior living component, known as La Serena, will be a 3-story 25,455 square foot building with 72 units. The multi-family living component, known as San Roque, will be a 4-story 42,835 square foot building with 118 units. There will also be 7 detached buildings for garages and 1-bedroom lofts above, the 7 buildings will have a total of 18 dwelling units. Site amenities for each of these developments will include libraries, fitness centers, common space areas, secure resident parking, community gardens, solarium, and dog play yard. A current site plan of the proposed development is attached with this letter for your visual reference. Both the multi-family and the senior living components of this development is geared towards affordable housing and has been thoroughly studied to be as such per the local median incomes and standard market renters rates for the metropolitan area.

The site is currently undeveloped. Changing from NR-BP to MX-M use would allow the site to be constructed in such a manner that all commercial activities and uses would be located along the main floors immediately adjacent to Coors Blvd. These uses include but are not limited to office spaces, business centers for residents, gym and workout facilities, and leasing offices. The operator would propose gated access to the premises. At this time consideration for non-tenant amenities being considered include but are not limited to a salon, coffee shop, and convenient store; providing for a true mixed use component.

While not located within the designated Route 66 Westside activity center, the proximity to the activity center combined with the housing options that are tailored to both seniors and affordability are completely within the spirit of what the Comprehensive Plan is trying to accomplish with desired growth being targeted in Centers and corridors.

Notice to Associations and Neighboring Property Owners

Property owners within 100 ft and the affected neighborhood associations, West Mesa neighborhood association, Los Volcanes neighborhood association, Southwest Alliance of Neighborhoods, and the Westside coalition of Neighborhood Associations were all notified as required. An informational pre-application neighborhood meeting at the Legacy Church

located on Central Ave. was held on the evening of Thursday, July 28th, 2020 for in person and virtual Zoom meeting discussions with interested neighbors.

Traffic Impact and On-Site Parking

The property location is adjacent to Coors Blvd, a major transit corridor. A zone change from NR-BP to MX-M is considered a down zone and therefore should have a reduced traffic impact than the original zoning. As shown in Exhibit A (Truck Turn Movement Exhibit), heavy truck operations generally associated with NR-BP present an unnecessary health and safety risk for all transit activities on Coors due to the access constraints in and out of the site.

Drainage and Landscaping

Topography is generally flat across the site, with minor slopes from northwest to southeast where it ponds in a low point near the southeast corner of the site, excess drainage flows onto Coors Blvd. There, the excess runoff is captured by an existing storm drain that conveys the flow north into the existing diversion channel near Interstate-40. This site lies within the Atrisco Business Park Master Plan, where peak discharge of the site is limited to 0.1 cfs/acre. The proposed drainage concept will convey onsite developed flows from east to west to an onsite drainage detention pond along the west property line of the site. This pond will tie into the existing storm drain located at the northwest corner of the property, the detention pond and outlet will be sized accordingly to meet the 0.1 cfs/acre peak discharge rate as required by the Atrisco Business Park Master Plan.

The landscape plan when developed would provide site landscaping that meets the landscape requirements of the City of Albuquerque. Landscape buffers are also designed to meet the requirements of the City Zoning Code as well as the Coors Character Protection Overlay Zone. Plants shown on the plan will be low to medium water use, thereby promoting water conservation while creating an attractively landscaped site.

Zoning Map Amendment Justification

We feel the zone change request from NR-BP to MX-M is justified under IDO Subsection 14-16-6-7(F.)

The Comprehensive Plan Goals and Policies listed below provide justification for EPC to support the zone change and site plan request.

This request furthers the following Comprehensive Plan Goals and Policies.

Comprehensive Plan Goal 5.1- Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Policy 5.1.1: Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

(c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

Response: The request furthers the 5.1.1.c by facilitating a use category that will allow for compact development and infill along a Major Transit Corridor. The tables in Appendix C highlight;

- i. New uses allowed under MX-M
- ii. Uses allowed under both MX-M and NR-BP
- iii. Uses allowed in NR-BP that would no longer be allowed in MX-M.

As can be seen from the tables in Appendix C, the zone change when considered in perpetuity, still allows and encourages a number of uses that facilitates the encouragement of employment density, compact development, and infill in Centers and Corridors.

The MX-M zoning would also permit a number of higher density residential uses, that would be appropriately located near an established Activity Center and adjacent to other developed uses as a way to discourage the need for development at the urban edge.

(d) Encourage the development of multi-unit, multi-story apartments and mixed use residential buildings in Activity Centers to increase housing density and expand housing options and affordability.

Response: This request partially furthers 5.1.1.d The MX-M zone allows the development of multi-unit and multi-story apartments in Activity Centers. While not located within the defined activity center, the site is located within walking distance (½ mile) of the Route 66 West Side activity center. The MX-M designation would facilitate the ability for the market to offer expanded housing options and affordability in the immediate vicinity of the Route 66 West Side Activity Center.

(f) Discourage the development of detached single-family housing as inappropriate use in Centers and along corridors.

Response: The request furthers policy 5.1.1.f as single-family detached housing is not an allowable use in MX-M zoning per table 4.2 in the IDO.

(g) Encourage residential infill in neighborhoods adjacent to Centers and Corridors to support transit ridership.

Response: The request partially furthers policy 5.1.1.g. The site in question is adjacent to an established neighborhood, located on a major transit corridor, and is an infill site. The change to MX-M would open the possibility for a number of uses on the infill site including live-work and multi-family dwellings, increasing support for transit ridership.

Per the IDO definitions, Infill Development is an area of platted or unplatted land that includes no more than 20 acres of land and where at least 75% of the parcels adjacent to the proposed development have been developed and contain existing primary buildings, which is the case at the subject site.

The site in question is located less than 200 feet from a Bus Stop located along a major transit corridor and ½ mile from an Albuquerque Rapid Transit stop at Central and Coors. This immediate proximity to transit services, including a premium transit corridor, furthers 5.1.1.g.

Policy 5.1.10: Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.

(a) Encourage higher-density residential developments within ¼ mile of transit stops or stations.

Response: Policy 5.1.10.a is furthered by this request. The change from NR-BP to MX-M would allow for the possibility of higher density residential to be located within ¼ mile of a transit stop. Actual distance is approximately 200 feet.

(c) Encourage mixed-use development in Centers and near intersections.

Response: Policy 5.1.10.c is partially furthered by this request. The change from NR-BP to MX-M would allow for a mixed use development to be located near the intersection of Coors and Central (½ mile) the Route 66 West Side Activity Center.

Comprehensive Plan Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

Policy 5.2.1: Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from the surrounding neighborhoods.

(d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Response: Policy 5.2.1.d is furthered by this request. The current NR-BP zoning does not allow for any residential uses other than live-work dwellings as a conditional accessory. Limiting any option of residential to one single use and further making it an accessory component. The requested MX-M zoning would allow for a range of income and lifestyle housing options, ranging from multi-family, to townhomes, to group and assisted living facilities to be mixed with commercial development opportunities.

(f) Encourage higher density housing as an appropriate use in the following situations:

i. Within designated Centers and Corridors.

ii. In areas with good street connectivity and convenient access to transit.

iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses, and where adequate infrastructure is or will be available.

Response: Policy 5.2.1.f.i through iii. is furthered by this request. The property lies within a Major Transit Corridor and is easily accessible from Coors Blvd, Central Ave, and Interstate-40. With a bus stop located along the Coors frontage of the site, and an Albuquerque Rapid Transit station located on Central Ave less than a ½ mile away, providing convenient access to transit facilities for residential uses that would be allowed under MX-M zoning.

The area surrounding the site provides mixed density patterns, from MX-M to MX-L to R-ML to R-1B and NR-BP. The pattern of the mixture of these zones would be compatible with the proposed MX-M zoning. Appropriate and required infrastructure is already in place and readily available to the site. No major infrastructure would be required to be extended or created due to the proposed development.

(n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

Response: Policy 5.2.1.n is partially furthered by this request. The current zoning of NR-BP encourages uses pertaining more towards light manufacturing, warehousing, and wholesale distribution. These uses require daily operations with a large volume of heavy truck traffic entering and exiting a site that is no longer suitable to these types of users. As mentioned in the letter from Maestas & Ward in Appendix B, the site has sat vacant on the market for over three decades. The market has shown that these types of industrial/warehousing users require site selection that provides easier and closer access to Interstate-40. The site is not suitable for a majority of the uses that would be lost in a change from NR-BP to MX-M (reference tables appendix C) due to its existing conditions of access from Coors Blvd. Vehicles both entering and exiting the site would have to travel through a shared drive aisle with the Bank of Albuquerque to the south or a private access road north of the site.

As shown in the exhibit, Appendix A, heavy truck turn movements through these access points would be extremely tight and would require exiting trucks to cross three lanes of traffic to make a right-turn movement. These elements make it more desirable to market the property with a residential aspect to broaden the buyer demographic for the property.

Comprehensive Plan Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Response: Per the IDO, infill development is considered to be 20 acres of land or less where at least 75% of the adjacent area is developed and contains primary buildings. This site is 8.95 acres where 100% of the adjacent lands have been developed out and contain primary buildings. This property is the last undeveloped property along the Coors Blvd corridor in this immediate area that can utilize the public transit and community center facilities associated with this area. No new infrastructure or public facilities would be needed for this proposed development.

The comprehensive plan (5-6) acknowledges that "The challenge from both a regional and environmental perspective is to encourage infill development that provides a viable alternative to suburban sprawl and reduces pressure in rural and single family neighborhoods". It further goes on to state that a successful strategy will "support opportunities for high-quality, affordable infill, which tend to be rare." This zone

change will help facilitate these long term goals by supporting additional appropriate growth at the subject site.

Policy 5.3.5: School Capacity: Discourage zone changes from non-residential to residential or mixed-use zones when affected public schools have insufficient capacity to support anticipated increase of students based on proposed dwelling units.

Response: The zone request to MX-M from NR-BP would promote the opportunity for residential and mixed-use development at this location, which is a location of need for housing opportunities for low-income families. However, in our experience on previous residential projects, we have worked closely with Albuquerque Public Schools to alleviate issues and concerns relating to school capacity. APS has looked closely into school capacities within the districts of residential development to see how the development will impact those schools. To help address concerns of overcrowding, APS looks into the following options:

- Construct new schools
- Add portables
- Lease facilities
- Use of other public facilities
- Schedule changes
- Float teachers
- Boundary adjustments
- Grade reconfiguration

It is also worth mentioning that MX-M zoning also promotes residential uses in the form of group assisted living and independent senior living. These are residential facilities that do not have children living in them, thus having no impact on school capacities.

Comprehensive Plan Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

Policy 5.4.1: Housing near Jobs: Allow higher density housing and discourage single-family housing near areas with concentrated employment.

(a) Prioritize higher-density housing where services and infrastructure are available.

Response: Policy 5.4.1.a is furthered by this request. By changing from NR-BP to MX-M higher density housing becomes a permissive use. No additional or upgraded infrastructure improvements are required for the development of the site. The subject site is approximately ½ mile in proximity to the West Route 66 Activity Center. The zone change from NR-BP to MX-M facilitates the goal of prioritizing higher-density housing where services and infrastructure are available.

Policy 5.4.2: West Side Jobs: Foster employment opportunities on the West Side

(a) Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth

Response: Policy 5.4.2.a is furthered by this zone change request. A change from NR-BP to MX-M results in;

- 15 NR-BP Uses being removed from being permissive on the site. A majority of these uses rely on heavy truck operations. And as shown in Exhibit A (Truck Turn Exhibit) these types of heavy truck operations are not appropriate for this site and are in direct conflict with public health and safety based on the unsafe turning movements that would be required.
- 54 NR-BP Uses in the categories of Civic & Institutional, Commercial, and Industrial are still permissive on the site, this results in 78% of the already zoned NR-BP uses still being available under the MX-M. Therefore this Zone Change request does not reduce the capacity of land zoned for commercial, office, and industrial use but rather limits it to more appropriate and safe uses at the site in question.

Furthermore as described in the letter from NAI Maestas & Ward (Exhibit B), there exists 236 Acres of NR-BP zoned land west of this site as well as an additional 1,000 acres regionally that are serving to fulfill this need. It is also worth noting that these numbers do not include Santolina nor the Upper Petroglyphs where large employment projects are planned and underway. All of the locations referenced above are far more likely to be developed with NR-BP specific uses as;

- They have the required acreage to support large trailer storage.
- They are much more practical from a logistics and operations perspective in regards to freeway access
- They can be developed without significant traffic and safety conflicts in regards to heavy truck use.
- Are not being developed across the street from single family residential.

Comprehensive Plan Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near the Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2: Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

c) Foster a range of housing options at various densities according to each Center or Corridor type.

Response: Policy 5.6.2.c is furthered by this request. The change from NR-BP to MX-M allows 16 new permissive uses, 6-9 of which are housing options of various appropriate densities suited to be located on a Major Transit Corridor.

d) Encourage higher-density housing and mixed use developments as appropriate land uses that support transit and commercial retail use.

Response: Policy 5.6.2.d is furthered by this request. The change from NR-BP to MX-M facilitates the encouragement of higher density housing and mixed use development. The project site is ¼ mile from a transit stop and the MX-M designation would allow for higher density housing to be mixed with commercial retail components in future developments.

f) Minimize potential negative impacts of development on existing residential uses with respect to noise, stormwater runoff, contaminants, lighting, air quality, and traffic.

Response: Policy 5.6.2.d is furthered by this request. The change from NR-BP to MX-M would allow for negative impacts of certain permissive NR-BP uses such as Adult Entertainment, Adult Retail, Helipad, Recycling drop-off bin facility, contractor yards, and self storage to be removed while still allowing less disruptive uses highlighted in Appendix C to still be used.

For example within the NR-BP zone a 65' tall self storage facility could be built in similar fashion to the facility at Coors and I-40 where the EPC has been presented at length the lighting problems and grievances this has caused with neighborhoods in the same vicinity.

h) Encourage development in areas with a highly connected street grid and frequent transit service.

Response: Policy 5.6.2.h is furthered by this request. The proposed zoning would promote uses of multi-family and group living along a major transit corridor and within ½ mile of an Albuquerque Rapid Transit Stop at Coors Blvd & Central Ave. as well as a bus stop along the frontage of the property. These types of uses have more of a demand for available public transit services in close proximity.

g) Encourage development where adequate infrastructure and community services exist.

Response: Policy 5.6.2.g is furthered by this request. MX-M zoning at this site would allow for broader marketing to include multi-family and group living residential that is currently not allowed under the NR-BP zoning. The proposed site for potential development would not facilitate any additional public infrastructure upgrades, all required services and community services can adequately support this development.

Comprehensive Plan Goal 9.1 Supply: Ensure a sufficient supply and range of high quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

Policy 9.1.1- Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

a) Increase the supply of housing that is affordable for all income levels.

Response: The request partially furthers this policy. Although the proposed MX-M zoning does not guarantee housing affordable for all income levels at this location. It does open this market for affordable housing to this site, increasing the chances for new affordable housing not located along urban edges. The current zoning of NR-BP outright does not allow any residential uses, eliminating the potential for increasing affordable housing.

b) Provide for the development of quality housing for elderly residents.

Response: The request partially furthers this policy. Similar to 9.1.1.a, the proposed zone at this location does not guarantee quality housing for elderly residents but it

does increase the chances to provide that use. The current NR-BP zoning outright would not allow any housing for elderly residents.

i) Provide for the development of multi-family housing close to public services, transit, and shopping.

Response: The request partially furthers this policy. The proposed zoning does not guarantee multi-family housing but does increase the probability of multi-family housing at a location that is within close proximity to the West Route 66 Activity Center, an Albuquerque Rapid Transit stop near Coors Blvd & Central Ave, and within walking distance to various shopping locations such as Big Lots, Walgreens, Family Dollar, Smith's Grocery, Albertson's Grocery, and various restaurant establishments.

Policy 9.1.2- Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable, and mixed income housing options throughout the area.

a) Prioritize support for affordable housing that the market is unable to provide for populations with the lowest income levels and/or special needs.

Response: The area where this proposed zoning is located, near Coors and Central and on a major transit corridor, is predominantly of a demographic of lower income individuals and families. Affordable housing availability has been dwindling in the metro area as demand has been increasing. This property does not currently allow any residential uses, as it is zoned NR-BP. Going to MX-M would allow multi-family and senior group living uses that can be geared towards affordable housing rates, opening the market for these types of uses to come to an area of need for this type of housing.

d) Encourage the development of higher density affordable and mixed income housing in Downtown, near job centers, and along transit corridors.

Response: The area where this property is located is along a Major Transit Corridor however does not allow high density residential uses. The request of zone change to MX-M would give more opportunity for higher density affordable residential use along a Major Transit Corridor.

Comprehensive Plan Goal 9.2 Sustainable Design: Promote housing design that is sustainable and compatible with the natural and built environment.

Policy 9.2.1- Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context - i.e. urban, suburban, or rural - with appropriate densities, site design, and relationship to the street.

Response: The area that this proposed development is located is near Coors and Central and on a major transit corridor. The density of the proposed development is more than appropriate based on the proximity to adjacent transit, employment areas, and relationship to Coors Blvd.

Policy 9.2.2 High Quality: Encourage quality and innovation in new housing design and construction, materials, and energy and water conservation.

Response: The proposed development will provide quality class A product to low-income residents, moderate-income residents, and to senior citizens that would not be possible at this location with the current NR-BP zone designation. As mentioned previously the quality of housing proposed is typically out of reach for the targeted tenant based on typical rents.

The high quality items included in this development that may not be typical for affordable housing includes but is not limited to: individual washer and dryers in each unit, 9' ceilings, personal balconies, community gardens, community spaces, community dog run area, library, fitness center, office space, community clubhouse and kitchen, gated and secure parking areas

At this time, energy conservation in the form of Solar or Photovoltaic are being explored for inclusion in the development if such an approach proves to be viable. Strategies for energy and water conservation, acoustic isolation, and natural daylighting techniques will be incorporated to promote sustainability and a heightened resident experience.

Comprehensive Plan Goal 9.3 Density: Support increased housing density in appropriate places with adequate services and amenities.

Policy 9.3.1 Centers and Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

Response: The request furthers the above listed goal and policy by changing to a zone that allows medium to high intensity residential uses along a designated Major Transit Corridor, this reduces the future need and demand of these types of developments occurring at the urban edge while facilitating the proper density for sites along a major transit corridor. The current zoning of NR-BP does not allow for any residential uses.

IDO Section 6-7(F)(3) - Review and Decision Criteria for Zoning Map Amendments

The justification presented below addresses the zone change request requirements pursuant to IDO Section 6-7(F)(3).

6-7(F)(3)(a)

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

Response: The subject site is located within an Area of Change and is zoned NR-BP, surrounded by R-ML, R-1B, MX-M and NR-BP zoned properties that have been previously developed. Applicable Goals and Policies listed above would be furthered by a zone map amendment to the subject site from NR-BP to MX-M and would be consistent with the general

pattern of development along the major transit corridor and in proximity to the West Route 66 Activity Center.

6-7(F)(3)(b)

If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site.
3. A different zone district is more advantageous to the community as articulated by the ABC Com Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response: The subject site is located wholly in an Area of Change, so this criterion does not apply.

6-7(F)(3)(c)

If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response: The request meets the sub-criteria #2 and 3 above. The subject site is located wholly in an Area of Change. As development along Coors in this area has developed over the decades, the corridor has shifted more from an originally planned industrial area to more of a mixed-use of commercial/retail/residential uses. This supports sub-criteria 2 above. A zone change from NR-BP to MX-M would encourage development and growth, and would reinforce and strengthen the existing established character of the surrounding residential parcels as supported by the Comp Plan. This supports criteria 3 above as demonstrated by the request. The request furthers numerous Comp Plan goals and policies including supporting growth and development by broadening the market use to the site, preserving the distinct surrounding community by discouraging light manufacturing or controversial adult entertainment uses near neighborhoods, and encouraging infill to a vacant tract of land that has not been desirable with the current zoning.

6-7(F)(3)(d)

The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

Response: As shown in the use comparisons tables in Appendix C, the zone change would eliminate permissive and conditional uses that would be harmful to adjacent property, the neighborhood, or the community as the proposed zoning is consistent with the immediate surrounding area. These uses that would be eliminated and help maintain a higher level of air quality for the surrounding area are heavy vehicle equipment sales and fueling, freight terminal and dispatch center, salvage yard, helipads, and light manufacturing.

6-7(F)(3)(e)

The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meets 1 of the following requirements:

1. Have adequate capacity to serve the development made possible by the change of zone.
2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

Response: The request meets the sub-criteria #1. The City and ABCWUA existing infrastructure and previously completed public improvements will have adequate capacity to serve the development made possible by the change of zone because the site is located along a developed major transit corridor.

6-7(F)(3)(f)

The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

Response: The justification for the zone change request is not based on the property's location on a major street.

6-7(F)(3)(g)

The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

Response: The zone change request is not based on the cost of land or economic considerations.

6-7(F)(3)(h)

The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

- 1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.**
- 2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.**
- 3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.**

Response: The request meets the sub-criteria #1. The zone change request does not result in a spot zone as the proposed zoning is consistent with the abutting and surrounding zoned properties and is identical in use to the multifamily property located to the south of the subject property. The result is a much more desirable transition and blend with the various adjacent zones.

Summary

The zone change presented in this request has shown to be substantially aligned with the major applicable goals of the Comprehensive Plan, in addition the individual policy justifications have demonstrated that the MX-M is much more advantageous to the surrounding community and neighborhood as a whole. Through the exhibits and discussion of development patterns on the west side, including available lands for development, we have clearly demonstrated that due to the large amount of available land that is geared towards development of industrial and employment centers on the west side, both in the City and Bernalillo County, this property would not adversely impact or reduce opportunities for employment in this area.

The proposed zoning, also helps to facilitate numerous other policies by providing for an increase in mixed-use housing opportunities for area residents within immediate proximity to job opportunities, activity centers, and transit facilities. The NR-BP uses removed by this zone change have clearly been shown to have an adverse impact on the health, safety, sense of place, and quality of life of the neighboring community. Of the 72 allowable NR-BP uses, 54 are still retained by this zone change request, maintaining the original vision of the planned area while furthering and strengthening numerous Comprehensive Plan goals and policies. Moving from an NR-BP zone to an MX-M zone would not adversely impact traffic along a major transit corridor. The change in zoning would allow for practical and achievable access and traffic patterns that would not jeopardize public safety based on the current existing conditions seen along the Coors corridor. As noted in the letter, many of the NR-BP uses that would no longer be allowed present these types of conflicts and would be mitigated by an approved zone change.

We respectfully request approval of the proposed zone change from Non-Residential Business Park (NR-BP) to Mixed Use – Medium Intensity (MX-M), which allows for more development opportunity for a site that has sat vacant on the market for over three decades.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Bohannon', written in a cursive style.

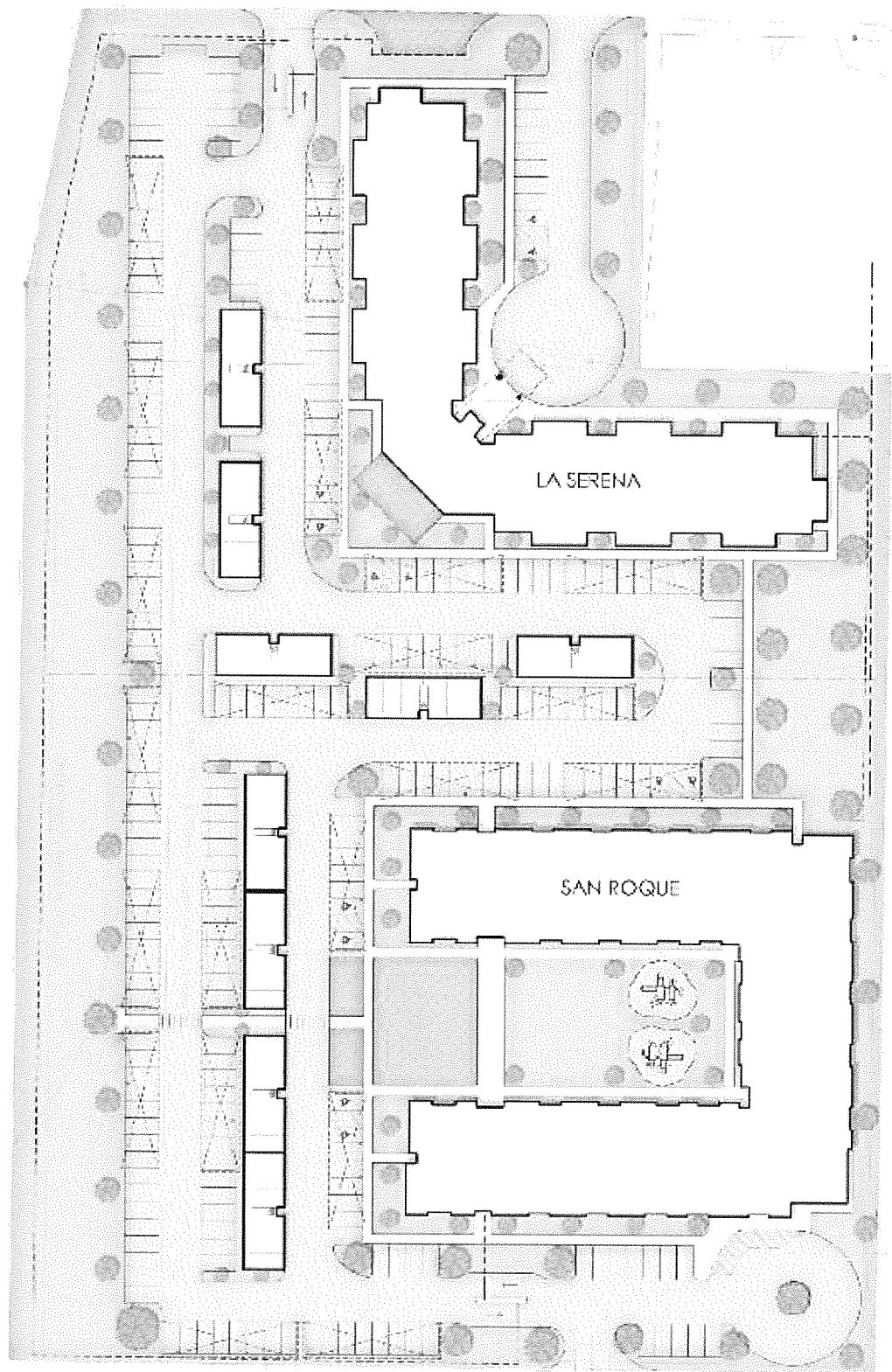
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Tom Mannschreck, Thomas Development, Co.
Barbara Mannschreck, Thomas Development, Co.
Michelle Landay, Thomas Development, Co.
Ben White, erstad Architects

JN: 2020010.00

RRB/vp/db/jg



COORS BOULEVARD N.W.

PROPOSED SITE PLAN

Appendix A

Heavy Truck Turn Movements

Appendix A - Truck Turn Movements



Appendix B

NAI Maestas & Ward Support Letter

Appendix B



August 19, 2020

To: Dan Serrano, Chair, Environmental Planning Commission
From: Jim Wible/Keith Meyer – NAI Maestas & Ward

Re: Project #2020-004193 – Zone Map Amendment

Dear Chairman Serrano,

The site under consideration is currently zoned NR-BP and previously was zoned SU-1 for Planned Industrial Park uses prior to implementation of the IDO.

As land and industrial commercial real estate brokers with a combined 32 years' experience, we are involved in evaluations for development of land parcels on a daily basis. The subject site was chosen for this proposed use because we believe the character of the neighborhood along Coors Boulevard has changed from Industrial Park to retail and residential uses. We believe this because we have sold over 200 Acres of Industrial Land in the past five years, including 4 acres under contract on Airport Road less than a half mile away, and Leased over 1,000,000/SF of Industrial property during the same time frame, including the new 70,000/SF Bunzl facility on Bluewater, and our industrial clients would not consider this parcel for their industrial uses.

We would ask that the EPC commission members consider the following when evaluating this case as it relates to the requested zone change.

- The subject site has been available for industrial uses for at least three decades with no takers
- Industrial development is taking place further west than this site, and moving in a westerly direction. There is approximately 236 acres of NR-BP zoned land west of this proposed site still available. There is also over 1,000 acres of master planned land near or around Atrisco Vista Boulevard in the County.
- Objections we have heard as to why the subject property has not developed as an industrial site center around the poor truck access to I-40
- Large parcels have developed where large truck access is easier along the Unser Blvd. corridor
- Coors Blvd has developed with retail and residential uses and the resultant heavy automotive traffic. This can create conflicts with industrial trucking uses
- The number of traffic signals to get to this site from I-40 versus alternative industrially zoned sites along Unser and 98th Street makes this site less desirable for industrial park uses.
- NR-BP uses are now requiring significant trailer parking because of the recently enacted trucking rules restricting driver hours. This Class A multifamily

development provides a much more attractive streetscape on Coors where retail and other single family residential uses exist.

- Based on our experience, if the situation were reversed, and we were trying to take an MX-M zoned parcel to NR-BP uses on this site, we believe the neighborhood associations would be vehemently opposed to having an intense industrial use fronting on Coors, whereas they have written letters of support for this use.
- A Class A multifamily development also serves as an excellent buffer between the existing single family residential and retail uses and the industrial uses.
- Future industrial development is moving further west as witnessed by the move of Federal Express and the Amazon Fulfillment Center to Atrisco Vista Boulevard. We are also working with an Albuquerque Economic Development opportunity that would consume 60+ acres off of Atrisco Vista in the next two years.
- While the City has indicated they do not want to convert land designated for jobs to housing west of the river, there is a demonstrated shortage of affordable housing, especially Class A affordable housing, city wide.

Based on this, we hope you will concur that these changed conditions that lead to the rezoning of this site into a Senior and Affordable Family Housing development is the highest and best use for the site and the community.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Keith Meyer".

Keith Meyer, CCIM, SIOR

A handwritten signature in black ink, appearing to read "Jim Wible".

Jim Wible, CCIM

Appendix C

Use Comparison Tables

Appendix C

New Permissive Uses with ZC

Zone District >>	MX-M	NR-BP
RESIDENTIAL USES		
Household Living		
Dwelling, townhouse	P	
Dwelling, live-work	P	CA
Dwelling, multi-family	P	
Group Living		
Assisted living facility or nursing home	P	
Community residential facility, small	P	
Community residential facility, medium	P	
Community residential facility, large	P	
Group home, small	P	
Group home, medium	P	
Sorority or fraternity	P	
COMMERCIAL USES		
Residential community amenity	P	
Residential community amenity	P	
General retail, medium	P	C
Grocery store	P	
Liquor retail	P	C
CIVIC AND INSTITUTIONAL USES		
Community center or library	P	C

Total New Uses Added: 16

Appendix C

Allowable Uses Not Changed by the Zone Change

Zone District >>	MX-M	NR-BP
CIVIC AND INSTITUTIONAL USES		
Adult or child day care facility	P	P
Elementary or middle school	P	P
High school	P	P
Hospital	P	P
Museum or art gallery	P	P
Parks and open space	P	P
Religious institution	P	P
Sports field	P	P
University or college	P	P
Vocational school	P	P
COMMERCIAL USES		
Outdoor Recreation and Entertainment		
Drive-in theater	C	C
Retail Sales		
Bakery goods or confectionery shop	P	P
Farmers' market	P	P
General retail, small	P	P
Pawn shop	P	P
Transportation		
Park-and-ride lot	P	P
Transit facility	P	P
Agriculture and Animal-related		
Community garden	P	P
Veterinary hospital	P	P
Other pet services	P	P

Zone District >>	MX-M	NR-BP
COMMERCIAL USES (contd)		
Food, Beverage, and Indoor Entertainment		
Auditorium or theater	P	P
Bar	P	P
Catering service	P	P
Health club or gym	P	P
Nightclub	P	P
Restaurant	P	P
Tap room or tasting room	P	P
Other indoor entertainment	P	P
Lodging		
Hotel or motel	P	P
Motor Vehicle-related		
Car wash	P	P
Light vehicle fueling station	P	P
Light vehicle repair	P	P
Light vehicle sales and rental	P	P
Paid parking lot	P	P
Parking structure	P	P
Offices and Services		
Bank	P	P
Club or event facility	P	P
Commercial services	P	P
Medical or dental clinic	P	P
Mortuary	P	P
Office	P	P

Zone District >>	MX-M	NR-BP
COMMERCIAL USES (contd)		
Personal and business services, small	P	P
Personal and business services, large	P	P
Research or testing facility	P	P
INDUSTRIAL USES		
Manufacturing, Fabrication, and Assembly		
Artisan manufacturing	P	P
Telecommunications, Towers, and Utilities		
Solar energy generation	P	P
Utility, electric	P	P
Utility, other major	P	P
Wind energy generation	A	A
Architecturally integrated	A	A
Co-location	A	A
Freestanding	P	P
Roof-mounted	A	A
Public utility co-location	A	A

Total Uses Not Changed: 54

Appendix C

No Longer Conditional with ZC

Zone District >>	MX-M	NR-BP
CIVIC AND INSTITUTIONAL USES		
Daytime gathering facility		C
Overnight shelter		C
COMMERCIAL USES (contd.)		
Outdoor Recreation and Entertainment		
Amphitheater		C
Transportation		
Freight terminal or dispatch center		C
Railroad yard		C
COMMERCIAL USES		
Agriculture and Animal-related		
General agriculture		C
Motor Vehicle-related		
Heavy vehicle and equipment sales, rental, fueling, and repair		C
Outdoor vehicle storage		C
INDUSTRIAL USES		
Waste and Recycling		
Salvage yard		C

Total Uses No Longer Conditional: 9

Appendix C

No Longer Permissive with ZC

Zone District >>	MX-M	NR-BP
COMMERCIAL USES		
Agriculture and Animal-related		
Kennel	C	P
Food, Beverage, and Indoor Entertainment		
Adult entertainment		P
COMMERCIAL USES (contd.)		
Outdoor Recreation and Entertainment		
Other outdoor entertainment	A	P
Retail Sales		
Adult retail		P
Building and home improvement materials store	C	P
General retail, large	C	P
Transportation		
Helipad	CA	P
INDUSTRIAL USES		
Manufacturing, Fabrication, and Assembly		
Light manufacturing		P
Telecommunications, Towers, and Utilities		
Geothermal energy generation	A	P
Waste and Recycling		
Recycling drop-off bin facility	A	P
Wholesaling and Storage		
Warehousing	C	P
Wholesaling and distribution center	C	P

Zone District >>	MX-M	NR-BP
COMMERCIAL USES (contd)		
Offices and Services		
Blood services facility	C	P
Construction contractor facility and yard		P
Self-storage	C	P

Total Uses No Longer Permissive: 15

Still Conditional: 17

Appendix D

West Mesa Neighborhood Association Support Letter

Appendix D



President, Steven M Budenski
Vice President, Mike Quintana
Treasurer, Dee Silva
Secretary, Alex Klebenow

Neighborhood Association
Pride In Pride in Community

August 10, 2020

The West Mesa Neighborhood Association (WMNA) is a community-based organization that began in 1996 as the "Lavaland Vecinos." We have been extensively involved with the safety, beautification and growth in the Southwest Mesa- Interstate 40 (1-40) south and the Rio Grande River west-for most of this time. We have also been involved to bringing more amenities and enhancements to this community. Our area encompasses nearly 3,300 residential homes and more than 100 businesses that we strive to enrich and engage our neighborhood with the focus of "PRIDE IN COMMUNITY".

I attended a zone change meeting with Zoom from Thomas Development, erstad Architects, and Tierra west Derek Bohannon derek@volopervidi.com 505-858-3100. These companies came to get feedback from local residents and businesses in the area of Coors and Bluewater Northwest. North of Bank of Albuquerque Bank open land west side of Coors for current zoning change has limits to what can be built on this land for two affordable multifamily and senior living housing apartments. These apartments will begin building Feb 2021 which 14 months to be completed.

Current zoning is Nonresidential business park (NR_BP) no household living or groups living permissible uses. So, no apartments allowed with current zoning of which a change must be done to MX-M Mixed -use moderate Intensity 74 units 3 stories; 117 units 4 stories. Member on zoom stated the colors are too dark and to lighten them stated by Rene. The unit's names were 1) La Serna 3 floors, 2) San Rogue 4 floors. In addition, were 1) community rooms and centers, courtyards and play areas. Combined -Individual garages, dog play yard, community gardens; solar and WIFI included; overall apartments were above standards and Members attended has approved zoning changes to MX-M.

This letter will be emailed to the suzannasanchez@cabq.gov. as approved by NA.by email.

Our goals for upcoming year 2020 with the help of businesses donations is to improve and maintain families and children in our community outreach. We will provided the following activities in WMNA; a Halloween Party on Halloween Day in October; APS donation Title ! Homeless in November, and blankets for homeless street families' in November/December for our community. With your help and your donations of, we hope to further these programs. We would like to thank you in advance for your generosity.

Respectfully,

Steven Budenski
President, West Mesa Neighborhood Association
Home address: 5732 La Anita Ave NW
Albuquerque, New Mexico 87105-
Cell (505) 489-1218; Stevenbudenski@gmail.com

Mike Quintana, VP, westmesa63@gmail.com, 505-933-0277
Alex Klebenow, Secretary, LaVoce@aol.com, (505) 980-6869
Dee Silva, Treasurer, Ddee4329@aol.com, 505-362-7737

STAFF INFORMATION

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval. Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

Official Use only		
PA#: _____	Received By: _____	Date: _____
APPOINTMENT DATE & TIME: _____		

Applicant Name: RON BOHANNAN Phone#: 505-858-3100 Email: RRB@TIERRAWESTLLC.CO

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 7.04 Existing Zoning: NR-BP Proposed Zoning: MX-M

Previous case number(s) for this site: V-87-78 Z-84-47-3

Applicable Overlays or Mapped Areas: CPO - CHARACTER PROTECTION OVERLAY ZONE (3-4) COORS BLVD CPO-

Residential – Type and No. of Units: TBD

Non-residential – Estimated building square footage: _____ No. of Employees: _____

Mixed-use – Project specifics: _____

LOCATION OF REQUEST:

Physical Address: ATRISCO BUSINESS PARK UNIT3 Zone Atlas Page (Please identify subject site on the map and attach) J10Z

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

THE OWNER FOR THE PROPERTY HAS A POTENTIAL USER THAT WOULD LIKE TO CONSTRUCT

MULTIFAMILY PROJECT. THE PROPERTY IS ZONED NR-BP

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

WHAT WOULD BE THE PROCESS TO APPLY FOR A ZONE CHANGE TO MX-M? IS THIS AN AREA OF

CONSISTENCY OR CHANGE AND WHAT OTHER IDO CRITERIA IS NEEDED FOR THE ZONE CHANGE?

Linda

- Area of Change
- Review & Decision Criteria
- CPO
- Atresco Business Park Master Plan
- Default & IDO West Side Lake/Housing Balance
- West Side Public & SWAN
- Major vs. Premium Transit

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. **PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

PA#: <u>20-055</u>	Received By: <u>Diya Enell</u>	Date: <u>2-25-2020</u>
APPOINTMENT DATE & TIME: <u>Monday, March 2, 2020 @ 2:00 PM</u>		

Applicant Name: RON BOHANNAN Phone#: 505-858-3100 Email: RRB@TIERRAWESTLLC.COM

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 7.04 Existing Zoning: NR-BP Proposed Zoning: MX-M
Previous case number(s) for this site: V-87-78 Z-84-47-3
Applicable Overlays or Mapped Areas: CPO - CHARACTER PROTECTION OVERLAY ZONE (3-4) COORS BLVD CPO-2
Residential - Type and No. of Units: TBD
Non-residential - Estimated building square footage: _____ No. of Employees: _____
Mixed-use - Project specifics: _____

LOCATION OF REQUEST:

Physical Address: ATRISCO BUSINESS PARK UNIT3 Zone Atlas Page (Please identify subject site on the map and attach) J10Z

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

THE OWNER FOR THE PROPERTY HAS A POTENTIAL USER THAT WOULD LIKE TO CONSTRUCT MULTIFAMILY PROJECT. THE PROPERTY IS ZONED NR-BP

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

WHAT WOULD BE THE PROCESS TO APPLY FOR A ZONE CHANGE TO MX-M? IS THIS AN AREA OF
CONSISTENCY OR CHANGE AND WHAT OTHER IDO CRITERIA IS NEEDED FOR THE ZONE CHANGE?

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-055 Date: 3/2/20 Time: 2pm

Address: Atrisco Business Park Unit 3

AGENCY REPRESENTATIVES AT MEETING:

Planning: Linda Rumpf LRumpf@cabq.gov 924-3342

Code Enforcement: Carl Garcia

Fire Marshall: _____

Transportation: _____

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Potential multifamily project

SITE INFORMATION:

Zone: NR-BP → MX-M Size: 7.04 AC

Use: Multifamily (proposed) Overlay Zone: CPO 2 / Cross Blvd.

Comp Plan Area Of: Change Comp Plan Corridor: Major Transit

Comp Plan Center: _____ MPOS or Sensitive Lands: _____

Parking: S-5, p. 225 MR Area: _____

Landscaping: S-6, p. 251 Street Trees: S-6(D)(1) p. 258

Use Specific Standards: Table 4-2-1 p 130, 4-3(B)(7) Multifamily p 134

Dimensional Standards: S-1, p. 189, Table S-1-2, p. 194

*Neighborhood Organization/s: Los Volcanes NA, WestSide Coalition, SWAN

*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.

PROCESS:

Type of Action: Zone Map Amendment

Review and Approval Body: ERC Is this PRT a requirement? yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-055 Date: 3/2/20 Time: 2pm

Address: Atrisco Business Park Unit 3

NOTES: Area of Change CPO-2

Zone change NR-BP → MX-M

• 6-7(F) Zoning Map Amendment - EPC, p. 426

• 6-7(F)(3) Review + Decision Criteria, p 427

Dwelling definitions, p. 459

?-Apartments? yes

CPO-2 3-4(C) Coors Blvd., p 70

• MX-M Summary, p. 27

• Atrisco Business Park Master Development Plan

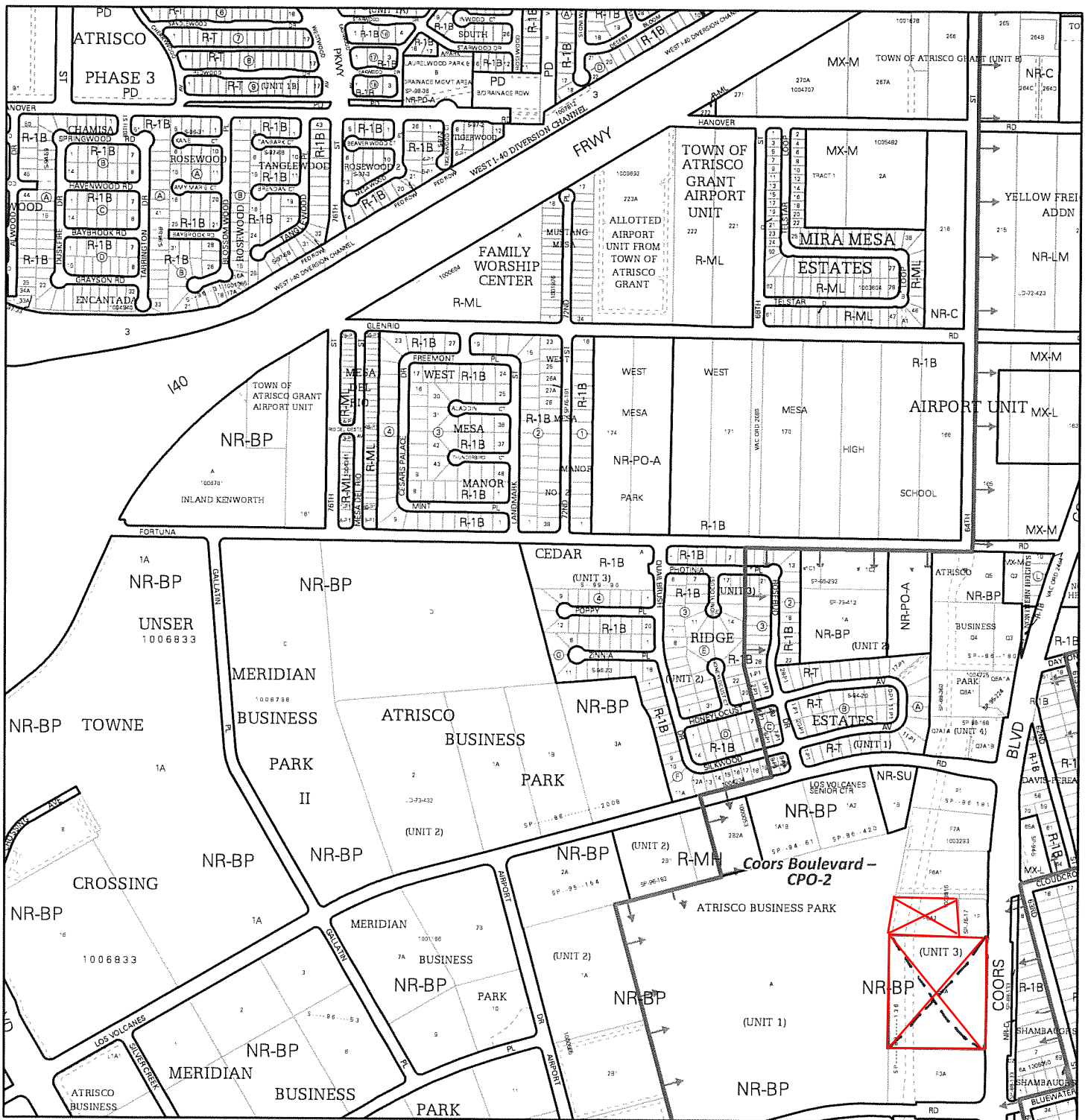
- is silent on residential / use IDO

• West Side - see jobs housing Balena - Comp Plan

p. 2-6

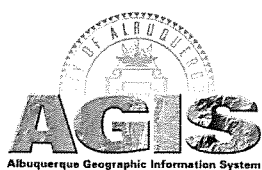
Major Transit / MX-M - check the IDO

p. 5-7

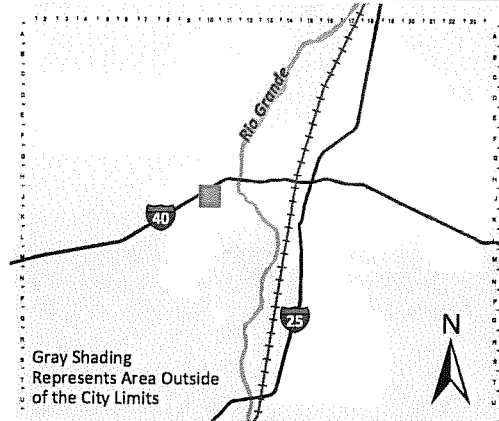


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

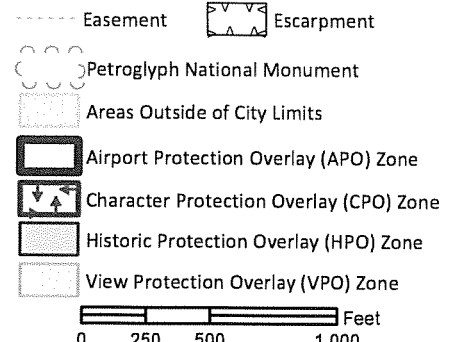
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
J-10-Z



TO: Vinny Perea and Ron Bohannon, Tierra West, LLC
FROM: Terra Reed, Senior Planner
City of Albuquerque Planning Department
PHONE: (505) 924-3475
DATE: Monday, August 17, 2018
RE: Project #2020-004193, Zone Change – Atrisco Business Park

I have reviewed your application, including the justification letter for the proposed Zone Map Amendment (zone change). This letter includes some suggestions that may help clarify and strengthen the justification that you have provided. Please provide an updated justification letter by **close of business on Friday, August 21** so that I can address any changes in my staff report. If this deadline is a problem, please let me know as soon as possible. If you can provide a Word document or digital PDF in addition to a signed and scanned copy, that would be great.

To confirm, we have a scheduled Zoom meeting on **Wednesday, August 19 at 2:00 pm** to review this letter and any questions you may have.

General Comments:

- A zone change request should be based on whether the zone change, and specifically the *proposed zoning* (use entitlements and any applicable IDO development standards), meets the criteria in Subsection 14-16-6-7(F)(3). Your justification relies heavily on the proposed project, which should not be the basis of the EPC's determination. You should instead focus on justifying whether the proposed zoning (MX-M) is more appropriate than the current zoning (NR-BP) given the location, surrounding development, etc. You may briefly describe the proposed development in your letter, but the justification should be more about the zoning than that development. Further, when you do reference the proposed development, it is inappropriate to call it a mixed-use development. Per IDO definitions, multi-family residential with services just for residents (gyms, shared spaces, etc.) is not mixed-use; it is residential.
- There are a lot of typographical and grammatical errors throughout the letter, which can make your justifications difficult to follow. I recommend reviewing the letter for typos, grammar, and consistency before resubmitting.
- APS has identified that the addition of residential uses at this site may impact already strained school capacity, particularly for West Mesa High School. You may want to acknowledge that impact, which is true for most residential development west of the river, in your application.
- The request also may be seen as in direct opposition to Comp Plan Policy 5.4.2 West Side Jobs. While the Comp Plan does encourage higher density housing near jobs, as opposed to low-density residential, the proposed project directly proposes reducing land capacity for base employment and the clustering of job opportunities in business

parks. You may want to address that concern and underline the opportunities for employment that would still exist under the proposed zoning.

- As a heads up, if EPC approves the zone change, you may need to replat the site to combine the two lots, the development standards in the Atrisco Business Park Master Development Plan will apply to development on the site, you will need an Archaeological Certificate per Subsection 6-5(A)(1).

Process Comments:

As noted in my email on Friday, your application is incomplete as submitted with relation to notice requirements. It is your responsibility as an applicant to confirm whether the buffer map used to determine what property owners need to be noticed is correct or not. If we do not receive proof that the notice was sent to all property owners within 100 ft. of the subject property, it may be necessary to defer this application to a future hearing date.

In addition, there are some additional issues with your notice that you need to address and should note for future applications:

- Your notice and justification letters say that the application is on behalf of Thomas Development Co. Your application includes an authorization letter from La Mame, LLC, the property owner, but not Thomas Development Co. **Please clarify in your updated justification letter who this application is being submitted on behalf of and provide a letter of authorization from Thomas Development Co., as they are referenced in your notice letters.**
- A request for a Neighborhood Meeting should make it very clear from the beginning that it is a request for a Neighborhood Meeting, as required by Subsection 14-16-6-4(C) of the IDO. The letter refers instead to 14-16-6-4(K), which is the public notice requirement, and it isn't clear until later in the letter that you are offering a Neighborhood Meeting. This is somewhat misleading to recipients.
- In the email notice that you sent to Neighborhood Association representatives, you refer to Subsection 14-16-6-4(K) as "Mailed Public Notice". 6-4(K) is about public notice generally and this is email, not mail. It would be more accurate to refer to Subsection 14-16-6-4(K)(4), which is the email requirement.

Information regarding the EPC process, including the calendar and staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

The EPC public hearing for September 2020 is the 10th. Final staff reports will be available one week prior, on September 3rd or 4th.

Zone Map Amendment (zone change) – Justification and Policy Analysis

Please see the notes below for your consideration in revising the justification letter.

- Most of the policies you list are generally appropriate, but your justification is based on the proposed development and not the proposed zoning. Please revise your justifications to address the proposed zoning and not the proposed development.
- Policies that refer to quality design are not appropriate to justify a zone change. The zone change criteria are not based on the proposed development, but on the entitlements associated with the proposed zoning.
- I recommend addressing the specific sub-policies in your justification instead of trying to justify a policy and all listed sub-policies in explanation. Sometimes this works, but in most cases, it makes your justification difficult to follow and you often fail to address all of the sub-policies that you list.
- R-270-1980 was repealed and replaced with IDO Subsection 14-16-6-7(F). Your letter (p. 3) should refer to this subsection of the IDO, not to R-279-1980. Also, any reference to the City Zoning Code should instead refer to the IDO – the Zoning Code was repealed when the IDO was adopted.
- You reference Section 2.4 of the Comprehensive Plan. Section 2 of the Comp Plan is narrative content about growth and development and does not include goals or policies. Your policy justification should be based on adopted goals and policies, not narrative.
- In two instances, you list cross-references to other policies (Policies 5.4.1.c and 7.3.5.c) as policies that this application furthers. You later reference those listed policies, which is fine, but you shouldn't list the cross-references in your application.

Policies in Chapter 4

Comprehensive Plan Chapter 4 is intended to protect existing/established neighborhoods. This property is not in a neighborhood, so these goals and policies do not apply to this property.

Policies in Chapter 5

In general, these policies are mostly appropriate, unless specified otherwise below, but your justification needs to refer to why the *proposed zoning* supports these policies.

- Policy 5.1.1: Desired Growth
 - Action 5.1.1.4 is not appropriate – this project is not a public-private project. In general Actions in the Comp Plan are directed toward City departments and partner agencies and do not apply to most private development projects.
 - Note that the Rapid Ride on Central Ave. was replaced with ART.
- Policy 5.2.1: Land Uses
 - Nothing about the proposed zoning requires future development to be affordable or Class A. You need to focus on the proposed zoning.
- Policy 5.6.2: Areas of Change
 - Make sure that you address all sub-policies that you list in your response (or respond to each sub-policy individually).
 - In this section, you include a table of uses allowed in each zone that aren't allowed in the other. Please review this list to ensure that it is complete and accurate. Many of the listed uses are inconsistent with IDO terminology; you

inconsistently acknowledge whether MX-M allows a use conditionally, which is misleading; and you reference live-work in both categories.

Policies in Chapter 7

These policies and the associated justification focus solely on the proposed uses and site layout rather than the zone change. Your justification needs to refer to why the *proposed zoning* supports these policies, which in most cases it doesn't. Unless you can justify the proposed zoning, you should not reference these policies.

Policies in Chapter 9

In general, these policies are mostly appropriate, unless specified otherwise below, but your justification needs to refer to why the *proposed zoning* supports these policies.

- Policy 9.1.2: Affordability
 - This justification is entirely dependent on the proposed development and your claim that the rents will be “affordable.” This is not an appropriate policy justification for a zone change because the zoning does not require that any development provide affordable housing.

IDO Section 6-7(F)(3) - Review and Decision Criteria for Zoning Map Amendments

6-7(F)(3)(a):

- Strengthen the policy justification above to support this criterion.
- It is not entirely accurate to say that the property is surrounded by R-ML. There is R-ML zoning in the area, but the property is surrounded by NR-BP, with R-1 adjacent across Coors and R-ML and R-MH in the surrounding area.
- In the last sentence of this paragraph, you refer to Commuter Corridors. Coors is a Major Transit Corridor, not a Commuter Corridor. It is also unclear why you refer to Efficient Development goals and policies in particular, when you list other goals and policies above.

6-7(F)(3)(b): Fine.

6-7(F)(3)(c):

- Fine, but please specify up front which of the 3 sub-criteria you are addressing.
- While it is true that MX-M may be appropriate in this location, you need to address why MX-M is *more advantageous* to the community than NR-BP in this location.

6-7(F)(3)(d):

- This is generally fine; however, you should state all of the uses that would become allowable with the proposed zoning (the table earlier in your letter may be more appropriate here) and directly address whether those uses might be harmful to surrounding properties (or why they are not).
- You state that MX-M would be “more predictable” than NR-BP, which is not true. The uses allowed in NR-BP are just as predictable as MX-M.

6-7(F)(3)(e): Fine, but please specify up front which of the 4 sub-criteria you are addressing.

6-7(F)(3)(f): Fine.

6-7(F)(3)(g): Fine.

6-7(F)(3)(h):

- Because of the size of the property, we might not necessarily consider this a spot zone, but the lots you are requesting a zone change for only abut lots zoned NR-BP with commercial development. For this reason, you need to more clearly justify in this letter why the MX-M zone is *more appropriate* than the existing NR-BP zoning.
- The EPC is not reviewing the site plan for this project. All the EPC is considering at this point is the proposed zone change.

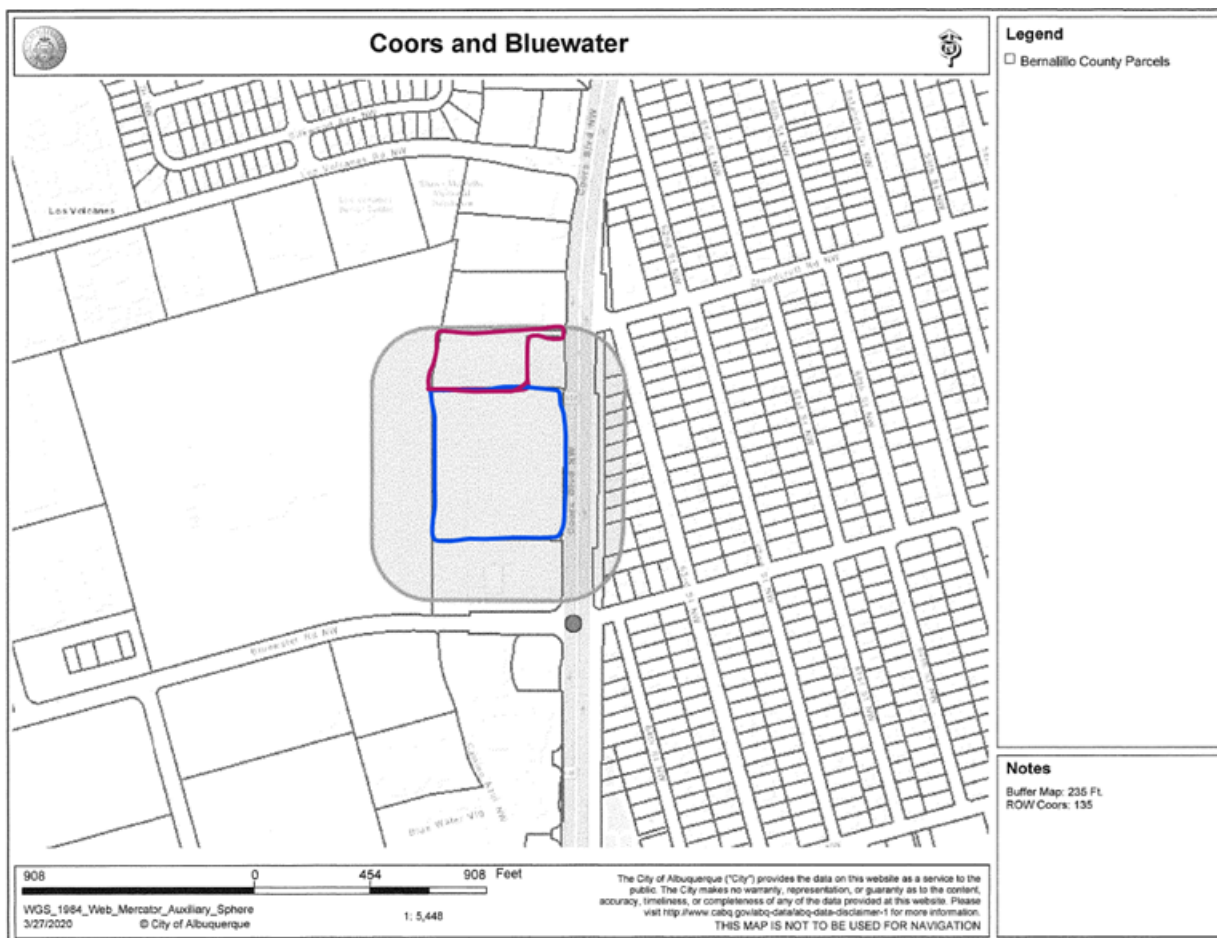
Reed, Terra L.

From: Reed, Terra L.
Sent: Friday, August 14, 2020 11:02 AM
To: 'Vinny Perea'
Cc: Bolen, Rebecca A.
Subject: Notice for PR-2020-004193

Importance: High

Vinny,

I've been digging into your application and noticed an issue with the property owner notice. The buffer map that you requested only includes one of the two parcels in the application (see below – the buffer is only for the property in blue, but the application includes the parcel outlined in red). You will need to resubmit a request for a buffer map for BOTH parcels and send notice of your application to any additional property owners included in the revised buffer. It looks like it may only be a couple of additional properties, but I will need you to send me proof of those additional letters being sent out by the time we meet next Wednesday for your application to be considered complete.



Please let me know if you have any other questions.

Thank you,



TERRA L REED

long range senior planner

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e treed@cabq.gov

cabq.gov/planning

Reed, Terra L.

From: Reed, Terra L.
Sent: Tuesday, August 18, 2020 12:20 PM
To: 'Vinny Perea'
Cc: Bolen, Rebecca A.; Ron Bohannon; Derek Bohannon (Derek@volopervidi.com)
(Derek@volopervidi.com); Kristl Walker; Jaimie Garcia
Subject: RE: [#2020010] PR#2020-004193 - project memo

Vinny,

I hate to do this after you just did some additional notification, but there have been some internal discussions about the expectations for notice given the circumstances around COVID-19. We are working on getting this information onto the Planning Department's website for consistency for all applicants, but you will need to re-notice everyone (Neighborhood Associations and all property owners within 100 ft.) with a letter that includes the Zoom information for the meeting, which I have provided below. This includes the email notice to NA representatives.

In addition, when you post your sign, you need to make sure that the Zoom link, Meeting ID, at least 2 Zoom phone numbers, and the "Find Your Local Number" link (the information highlighted in yellow, below) are written on the sign or on something attached to the sign in a manner that is legible from 3 ft. away. Please provide me with a timestamped photo of your posted sign(s) when they are put up.

Please provide documentation that all of this notice is provided at least 15 days prior to the hearing (next Wednesday, August 26th) so that we can ensure that all legal notice requirements are covered. Also, please note that you will need to do the same for your other case – I believe Shawn will be communicating that information to you – and plan to continue this practice for the duration of the time that we are holding hearings via Zoom. In the future, you will likely need to contact City staff to get the Zoom information for your notice letters/emails. We are working to provide information on how to do that on the website.

EPC - September 10, 2020

Join Zoom Meeting

<https://cabq.zoom.us/j/95170033733>

Meeting ID: 951 7003 3733

One tap mobile

+13017158592,,95170033733# US (Germantown)

+13126266799,,95170033733# US (Chicago)

Dial by your location

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 346 248 7799 US (Houston)

+1 646 558 8656 US (New York)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 951 7003 3733

Find your local number: <https://cabq.zoom.us/j/95170033733>

Thank you,



TERRA L REED

long range senior planner

she | her | hers

o 505.924.3475

e treed@cabq.gov

cabq.gov/planning

From: Vinny Perea <vperea@tierrawestllc.com>

Sent: Monday, August 17, 2020 3:52 PM

To: Reed, Terra L. <treed@cabq.gov>

Cc: Bolen, Rebecca A. <rbolen@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>; Derek Bohannon (Derek@volopervidi.com) <Derek@volopervidi.com>; Kristl Walker <kwalker@tierrawestllc.com>; Jaimie Garcia <jgarcia@tierrawestllc.com>

Subject: RE: [#2020010] PR#2020-004193 - project memo

Terra,

For the additional neighbor notifications, attached are the following:

- Neighborhood notification letter for the additional 100-ft buffer neighbors.
- The proof of mailing for the additional 100-ft buffer neighbors that were not included in the initial submittal package.
- ONC Email for NA list update – there are no changes to the NA's from the original submittal package.
- 100 ft Buffer Request Email from Diego Ewell – the email includes the updated buffer map and the updated list of property owners. This doesn't include the Sonntag Enterprises address that you listed below but we did include that letter to send out.

Let us know if you have any questions regarding the recent neighborhood notifications.

Thanks,

Vinny Perea, PE

Civil Engineer



5571 Midway Park Pl, NE

Albuquerque, NM 87109

(505)858-3100

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The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.

From: Reed, Terra L. [<mailto:treed@cabq.gov>]
Sent: Monday, August 17, 2020 3:12 PM
To: Vinny Perea
Cc: Bolen, Rebecca A.; Ron Bohannon; Derek Bohannon (Derek@volopervidi.com) (Derek@volopervidi.com); Kristl Walker; Jaimie Garcia
Subject: RE: [#2020010] PR#2020-004193 - project memo

Vinny,

Glad to hear you are working on the notice. I was looking over the original properties and noticed that the original list did not include SONNTAG ENTERPRISED INC, which is the property owner for 469 63rd st. Can you make sure that property owner is noticed as well if you haven't already caught it in the updated map?

Please don't forget to send me a copy of the updated buffer map with the proof of mailing for whatever additional notice you end.

Thanks,
Terra

From: Vinny Perea <vperea@tierrawestllc.com>
Sent: Monday, August 17, 2020 2:15 PM
To: Reed, Terra L. <treed@cabq.gov>
Cc: Bolen, Rebecca A. <rbolen@cabq.gov>; Ron Bohannon <rrb@tierrawestllc.com>; Derek Bohannon (Derek@volopervidi.com) (Derek@volopervidi.com) <Derek@volopervidi.com>; Kristl Walker <kwalker@tierrawestllc.com>; Jaimie Garcia <jgarcia@tierrawestllc.com>
Subject: RE: [#2020010] PR#2020-004193 - project memo

Thank you Terra,

We will begin reviewing the comments and have reached out to Thomas Development Co. for an agent authorization letter. We are also working on sending out the remaining neighborhood letters from the updated 100-ft buffer we received from ONC, those should be going out later this afternoon and I will send you that documentation once they have been mailed.

We look forward to discussing this project with you on Wednesday for our Zoom meeting.

Thanks,

Vinny Perea, PE
Civil Engineer



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From: Reed, Terra L. [<mailto:treed@cabq.gov>]
Sent: Monday, August 17, 2020 1:27 PM
To: Vinny Perea
Cc: Bolen, Rebecca A.
Subject: PR#2020-004193 - project memo

Vinny,

Please see attached project memo, which provides some feedback and recommendations for your justification letter. We will be happy to answer any questions you have at our meeting on Wednesday.

In addition to the issue with your property owner notice, we noticed that there is an inconsistency in your application. You provided an authorization letter from La Mame, LLC, but all of your public notice and your justification letter say that the application is on behalf of Thomas Development Co. Please provide an authorization letter from Thomas Development Co. with your updated notice documentation by the time of our meeting on Weds.

Please provide an updated justification letter by COB on Friday, August 21.

Let me know if you have any questions before we meet on Wednesday.

Thank you,



TERRA L REED
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cabq.gov/planning

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NEIGHBORHOOD MEETING
AND COMMENTS

San Roque/La Serena Zone Map Amendment - Summary of Neighborhood Meeting

- Meeting located at Legacy Church in Student Center meeting room, 7201 Central Ave, NW Albuquerque, NM 87121.
- Meeting Began around 6:00 PM in the evening.
- There were 2 attendees in-person, 3 attendees via Zoom meeting.
- Discussions began with introductions of Thomas Development, Co. and associated development team partners.
- PowerPoint presentation discussion of the following:
 - Site Location
 - Proposed Site Development Plan and uses
 - Discussion of Thomas development Co. history in the Albuquerque metro area
 - Discussion of building floor plans, color/material render designs, and site amenities.
 - Discussion of current zoning comparing and contrasting to proposed zoning.
 - Time, location, and date of EPC Hearing.
- Questions from attendees concerning the proposed development were as follows:
 - One neighbor requested for the developer to consider lighter shades of brown and gray tones to one of the buildings as presented in the PowerPoint. Developer explained they will explore lighter tone colors for that particular building.
 - One neighbor mentioned concerns about one of the buildings close proximity to the Coors Blvd right-of-way line. Response to the neighbor was that the building meets the 15' landscape buffer that fronts Coors Blvd, per the IDO overlay zone requirements and that buildings closer to the right-of-way line is promoted since this is a Major Transit Corridor area.
- Overall feeling from attendees was supportive of the development and zone change request to a site they believed would never be developed.
- Meeting adjourned around 7:15 PM.

San Roque/La Serena
Neighborhood Meeting Agenda

Location: Legacy Church – 7201 Central Ave NW, Albuquerque, NM 87121

Date/Time – Tuesday, July 28th 6pm-8pm

1. Meeting Introductions (10 minutes)
 - a. Thomas Development
 - b. Erstad Architects
 - c. Tierra West
2. PowerPoint Presentation (45 minutes – 1 hour)
 - a. Project Overview - TDC
 - i. Who Is Thomas Development and their track record
 - ii. Management of the units & its track record
 - iii. How long is the project going to be held by Thomas Development
 - iv. How building these units helps the jobs in the area
 - v. Affordable Housing Units what it means & why this location
 - vi. Senior Living why this location
 - b. Zone Change Proposal and Changes – T-W
 - i. Site location, existing conditions
 - ii. Proposed development summary
 - iii. Existing Zoning – requirements
 - iv. Proposed Zoning – requirements
 - c. Site and Proposed Building Design - eA
 - i. Site
 1. Two buildings – site arrangement
 2. Access points
 3. Carports, Garages/loft units
 4. Site Amenities
 - ii. San Roque
 1. 4-story, 117 units, 2's & 3's, family apartments
 2. Unit arrangement, balconies, central courtyard
 3. Primary entrance, Community rooms
 4. 'commercial' presence along Coors Blvd – activity along street
 5. Fourth floor roof deck
 6. Contemporary NM style, stucco, stone veneer, trellises, balcony railings
 - a. Offset massing and height, provides variety, breaks down scale
 - b. warm earth tones, textures and accent colors for visual interest

iii. La Serena

1. 3-story, 74 units, 1's & 2's, senior apartments 55+
2. Unit arrangement, private balconies
3. Entrance, drop-off
4. Central community rooms – spill out to patio
5. Amenities incl. fitness room, library, top floor solarium w/ balcony
6. Traditional style w/ stucco, clay tile roof, stone veneer, decorative tile, steel railings and trellises

3. EPC Hearing Date & Time – T-W (5 minutes)

4. Next Steps, Timeline – TDC (5 minutes)

5. Questions/Comments from Public – All (30 minutes)

6. Meeting Adjourned

- a. Please Sign-In



TIERRA WEST, LLC

15 day Notice

July 15, 2020

Ms. Dee Silva
West Mesa NA
313 63rd Street NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Silva:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mail Public Notice, we are notifying you as a Neighborhood Association that Tierra West, LLC will be submitting an application for Zone Map Amendment - EPC approval to be reviewed and decided by the Environmental Planning Commission.

Zone Map Amendment

Tierra West LLC on behalf of Thomas Development Co, is seeking a zone map amendment through the EPC process for the property located at 441 & 457 Coors Blvd NW, on the west side of Coors Boulevard NW and north of Bluewater Rd NW and consists of approximately 8.95 acres. The legal descriptions of which are Tracts F-4-A and F-6-A-2 PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3. Currently the zoning is Non-Residential Business Park (NR-BP) and we are seeking a change to Mixed Use-Moderate (MX-M) zone.

The intent of the development is to offer affordable housing for 136 multi-family living units as well as 72 units geared towards affordable independent senior living. The development stakeholders are looking forward to meeting with the community to ensure that a shared vision for this property is reached before moving forward with the required EPC hearing.

All parties involved are both aware and very sensitive to the current situation we collectively find ourselves in as it relates to COVID-19 and the measures, both voluntary and mandated, that are being taken to move forward successfully as a community. We are willing to and intend to move forward with a neighborhood meeting that will follow the government-mandated regulatory health orders to assure that everyone will be able to express their thoughts on the development while practicing social distancing measures.

Following the EPC process for Zone Map Amendment will be application submittals to the Development Review Board for a lot line adjustment, vacation of public drainage easement, and Site Plan for Building Permit. We will send out notification letters to you for those application submittals when we get to that period, but would be willing to answer any questions regarding those DRB applications during a meeting for the EPC Zone Map Amendment.

Per the IDO, you have 15 days from 07/15/2020 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com

opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on 7/30/2020 to be heard by the Environmental Planning Commission on 9/10/2020.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov of 505-924-3955.

If you don't feel that facilitated meeting is needed but have questions, please contact Derek R Bohannon, Ronald R. Bohannon or Vinny Perea at Tierra West from the contact information provided below.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Derek Bohannon,
5571 Midway Park Place NE
Albuquerque, NM 87109
derek@volopervidi.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Mr. Steven Budenski
West Mesa NA
5732 La Anita Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
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Mr. Steven Budenski
July 15, 2020
Page 2

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Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Derek Bohannon,
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derek@volopervidi.com
505-858-3100

Vinny Perea, PE
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vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

cc: Dee Silva, West Mesa NA
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Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
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Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Mr. Max Garcia
Los Volcanes NA
6619 Honeylocust Avenue NW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Garcia:

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Per the IDO, you have 15 days from 07/15/2020 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com

opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on 7/30/2020 to be heard by the Environmental Planning Commission on 9/10/2020.

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If you don't feel that facilitated meeting is needed but have questions, please contact Derek R Bohannon, Ronald R. Bohannon or Vinny Perea at Tierra West from the contact information provided below.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Derek Bohannon,
5571 Midway Park Place NE
Albuquerque, NM 87109
derek@volopervidi.com
505-858-3100

Vinny Perea, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Mr. Ted Trujillo
Los Volcanes NA
6601 Honeylocust Avenue NW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

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Sincerely,



Ronald R. Bohannon, P.E.

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Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Mr. Jerry Gallegos
SWAN Coalition
5921 Central Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Gallegos:

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Mr. Jerry Gallegos
July 15, 2020
Page 2

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Sincerely,



Ronald R. Bohannon, P.E.

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
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Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Mr. Johnny Pena
SWAN Coalition
5921 Central Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Pena:

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Mr. Johnny Pena
July 15, 2020
Page 2

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Sincerely,



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Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Ms. Elizabeth Haley
Westside Coalition NA
6005 Chaparral Circle NW
Albuquerque, NM 87114

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
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Sincerely,



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Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg



TIERRA WEST, LLC

July 15, 2020

Ms. Renee Horvath
Westside Coalition of NA
5515 Palomino Drive NW
Albuquerque, NM 87120

**RE: ZONE MAP AMENDMENT-EPC APPROVAL
TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
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Ms. Renee Horvath
July 15, 2020
Page 2

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Johnny Pena, SWAN Coalition
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Rene Horvath, Westside Coalition NA

JN:
RRB/vp/jg

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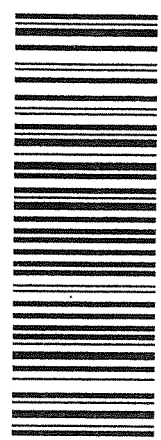
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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$.50
Total Postage and Fees	\$ 6.90
Sent To	Dee Silva
Street and Apt. No.	West Mesa NA
City, State, ZIP+4 [®]	313 63 rd Street NW Albuquerque, NM 87105

PS Form 3800, Apr 2009

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$.50
Total Postage and Fees	\$ 6.90
Sent To	Jerry Gallegos
Street and Apt. No.	SWAN Coalition
City, State, ZIP+4 [®]	5921 Central Avenue NW Albuquerque, NM 87105

PS Form 3800, Apr 2009

TIERRA //EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TIERRA //EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

Jaimie Garcia

From: Carmona, Dalaina L. <dcarmona@cabq.gov>
Sent: Wednesday, July 15, 2020 11:52 AM
To: Jaimie Garcia
Subject: Coors Blvd NW and Bluewater Rd NW Neighborhood Meeting Inquiry
Attachments: IDOZoneAtlasPage_J-10-Z.PDF

Dear Applicant:

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip
West Mesa NA	Dee	Silva	ddee4329@aol.com	313 63rd Street NW	Albuquerque	NM	87105
West Mesa NA	Steven	Budenski	stevenbudenski@gmail.com	5732 La Anita Avenue NW	Albuquerque	NM	87105
Los Volcanes NA	Max	Garcia	max_garcia@msn.com	6619 Honeylocust Avenue NW	Albuquerque	NM	87121
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105
South West Alliance of Neighborhoods (SWAN Coalition)	Johnny	Pena	johnnyepena@comcast.net	5921 Central Ave. NW	Albuquerque	NM	87105
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Tuesday, July 14, 2020 2:05 PM

To: Office of Neighborhood Coordination <jgarcia@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Jaimie Garcia

Telephone Number

505-858-3100

Email Address

jgarcia@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

R F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 CONT 7.0487
AC M/L

Physical address of subject site:

Subject site cross streets:

Coors Blvd NW and Bluewater Rd NW

Other subject site identifiers:

This site is located on the following zone atlas page:

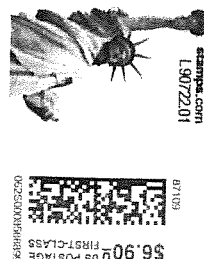
J-10-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

MIERRA / EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



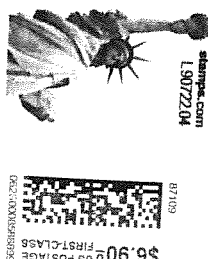
7018 0040 0000 5421 5845
7018 0040 0000 5421 5845



MIERRA / EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



7018 0040 0000 5421 5395
7018 0040 0000 5421 5395



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Street and Apt. No.
6005 Chaparral Circle NW

Sent To
Elizabeth Haley

Total Postage and Fees \$ 6.90

Postage \$ 5.50

Extra Services & Fees (check box, add fees as appropriate) \$ 2.85

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Associations
Rene Horvath

Total Postage and Fees \$ 6.90

Postage \$ 5.50

Extra Services & Fees (check box, add fees as appropriate) \$ 2.85

☐ Adult Signature Restricted Delivery
☐ Adult Signature Required
☐ Certified Mail Restricted Delivery
☐ Certified Mail (electronic)
☒ Return Receipt (hardcopy)
☒ Return Receipt (electronic)

Certified Mail Fee \$ 3.55

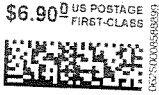
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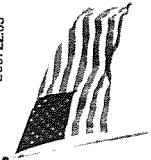
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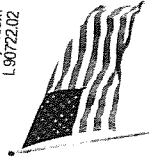
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Johnny Pena
5921 Central Ave NW
Albuquerque, NM 87105

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Steven Budenski
West Mesa NA
5732 La Anita Avenue NW
Albuquerque, NM 87105

MIERRA //EST, LLC
5571 MIDWAY PARK PLACENE
ALBUQUERQUE NM 87109

MIERRA //EST, LLC
5571 MIDWAY PARK PLACENE
ALBUQUERQUE NM 87109

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Ted Trujillo
Los Volcanes NA
6601 Honeylocust Avenue NW
Albuquerque, NM 87121

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Total Postage and
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Max Garcia
6619 Honeylocust Avenue
Albuquerque, NM 87121

MERRA /EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MERRA /EST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

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Sent To: Steven Budenski
Street and Apt. No.: West Mesa NA
City, State, Zip+4: 5732 La Anita Avenue NW
Albuquerque, NM 87105

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☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
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Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Ted Trujillo
Street and Apt. No.: Los Volcanes NA
City, State, Zip+4: 6601 Honeylocust Avenue NW
Albuquerque, NM 87121

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☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Max Garcia
Street and Apt. No.: 6619 Honeylocust Avenue NW
City, State, Zip+4: Albuquerque, NM 87121

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☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Rene Horvath
Street and Apt. No.: Westside Coalition of Neighborhood
City, State, Zip+4: Associations
5515 Palomino Drive NW
Albuquerque, NM 87120

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☐ Adult Signature Restricted Delivery \$

Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Elizabeth Hailey
Street and Apt. No.: 6005 Chapparral Circle NW
City, State, Zip+4: Albuquerque, NM 87114

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☐ Certified Mail Restricted Delivery \$
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Sent To: Jerry Gallegos
Street and Apt. No.: SWAN Coalition
City, State, Zip+4: 5921 Central Avenue NW
Albuquerque, NM 87105

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Sent To: Johnny Pena
Street and Apt. No.: 5921 Central Ave NW
City, State, Zip+4: Albuquerque, NM 87105

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☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Dee Silva
Street and Apt. No.: West Mesa NA
City, State, Zip+4: 313 63rd Street NW
Albuquerque, NM 87105

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☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage: \$ 3.55

Total Postage and Fees: \$ 6.40

Sent To: Dee Silva
Street and Apt. No.: West Mesa NA
City, State, Zip+4: 313 63rd Street NW
Albuquerque, NM 87105

PS Form 3800, A

Reed, Terra L.

From: Sanchez, Suzanna A.
Sent: Tuesday, August 25, 2020 9:23 AM
To: Reed, Terra L.
Subject: FW: zoning changes approved Tierra West LLC

When I requested a project number, Mr. Budenski gave me the information below. Does this go with your case?

From: steve budenski [mailto:stevenbudenski@gmail.com]
Sent: Monday, August 10, 2020 2:55 PM
To: Sanchez, Suzanna A.
Subject: Re: zoning changes approved Tierra West LLC

zone map amendment-epc approval

TY F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO
BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-2
IDO SECTION 14-16-6-4 (D)

On Mon, Aug 10, 2020 at 2:28 PM Sanchez, Suzanna A. <suzannasanchez@cabq.gov> wrote:

Do you have a project #?

From: steve budenski [mailto:stevenbudenski@gmail.com]
Sent: Monday, August 10, 2020 1:30 PM
To: Sanchez, Suzanna A.
Cc: Derek Bohannon; Alex Klebenow
Subject: zoning changes approved Tierra West LLC

Hi Suzanna,

West Mesa NA approved zoning changes to build on property.

steven budenski

president

505-489-1218

=====
This message has been analyzed by Deep Discovery Email Inspector.

NOTIFICATION

Note that the applicant was required to re-notice for this project to include the Zoom login information for the EPC Hearing. This appendix includes all notice sent by the applicant and is organized to include the most recent notice first.



TIERRA WEST, LLC

August 20, 2020

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

To Whom It May Concern:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

The Zoom EPC Hearing will be held on Thursday, September 10th at 8:30 AM. Below is the link and dial-in information to be able to attend this hearing.

Join Zoom Meeting:

<https://cabq.zoom.us/j/95170033733>

Meeting ID: 961 7003 3733

Dial-In Information:

+1-301-715-8592

+1-312-626-6799

Find your local number: <https://cabq.zoom.us/j/95170033733>

EPC agendas and staff reports are generally published a week before the hearing date. If you would like to review the agenda and/or the staff report when they become available, they can be found on the following COA website link:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>


If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Mr. Steven Budenski
West Mesa NA
5732 La Anita Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Budenski:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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Dial-In Information:
+1-301-715-8592
+1-312-626-6799

Find your local number: <https://cabq.zoom.us/u/aeCzG8gSxl>

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<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Mr. Ted Trujillo
Los Volcanes NA
6601 Honeylocust Avenue NW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Trujillo:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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Dial-In Information:

+1-301-715-8592

+1-312-626-6799

Find your local number: <https://cabq.zoom.us/u/aeCzG8gSxI>

EPC agendas and staff reports are generally published a week before the hearing date. If you would like to review the agenda and/or the staff report when they become available, they can be found on the following COA website link:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



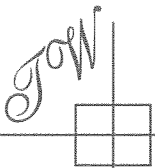
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Ms. Dee Silva
West Mesa NA
313 63rd Street NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Silva:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

The Zoom EPC Hearing will be held on Thursday, September 10th at 8:30 AM. Below is the link and dial-in information to be able to attend this hearing.

Join Zoom Meeting:
<https://cabq.zoom.us/j/95170033733>

Meeting ID: 961 7003 3733

Dial-In Information:
+1-301-715-8592
+1-312-626-6799

Find your local number: <https://cabq.zoom.us/u/aeCzG8gSxl>

EPC agendas and staff reports are generally published a week before the hearing date. If you would like to review the agenda and/or the staff report when they become available, they can be found on the following COA website link:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



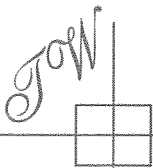
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Mr. Max Garcia
Los Volcanes NA
6619 Honeylocust AvenueNW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Garcia:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



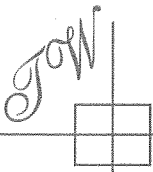
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Mr. Johnny Pena
SWAN Coalition
5921 Central Ave. NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Pena:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



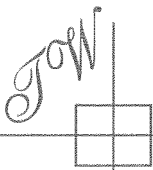
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Ms. Rene Horvath
Westside Coalition of NA
5515 Palomino Drive NW
Albuquerque, NM 87120

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Horvath:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Ms. Elizabeth Haley
Westside Coalition of NA
6005 Chaparral Circle NW
Albuquerque, NM 87114

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Haley:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

August 20, 2020

Mr. Jerry Gallegos
SWAN Coalition
5921 Central Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
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AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Gallegos:

We recently sent you a neighborhood notification letter in regards to an application we have submitted to the Environmental Planning Commission for the subject property for a zone map amendment request. The zone map amendment will be for changing from NR-BP to MX-M. Due to the given circumstances of the COVID-19 health and safety precautions, this Environmental Planning Commission hearing will be held virtually via a public Zoom meeting. There will be no in-person attendance allowed to the hearing.

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5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierreastllc.com

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg

TIERRA WEST, LLC

Jerry Gallegos
SWAN Coalition
5921 Central Ave. NW
Albuquerque, NM 87105

stamps.com
L9072621



TIERRA WEST, LLC

Elizabeth Haley
Westside Coalition of NA
6005 Chaparral Circle NW
Albuquerque, NM 87114

stamps.com
L9072624



TIERRA WEST, LLC

Rene Horvath
Westside Coalition of NA
5515 Palomino Drive NW
Albuquerque, NM 87120



TIERRA WEST, LLC

Steven Budenski
West Mesa NA
5732 La Anita Avenue NW
Albuquerque, NM 87105



TIERRA WEST, LLC

LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NO SUITE 730
LAKE HAVASU CITY AZ 86404-8551



TIERRA WEST, LLC

CRANK FRANKY COORS CAR WASH INC
800 EL ALHAMBRA CIR NW
LOS RANCHOS DE ALBUQUERQUE NM
87107



TIERRA WEST, LLC

CASTILLO GERARDO R & ROSALIA
457 63RD ST NW
ALBUQUERQUE NM 87105-1413



TIERRA WEST, LLC

LA MAME LLC
4310 WELLESLEY DR NE
ALBUQUERQUE NM 87107



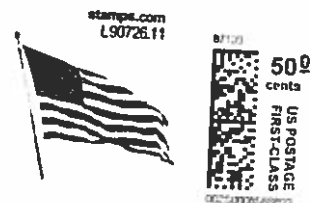
TIERRA WEST, LLC

NELSON LARRY & DOLORES
929 COORS BLVD SW
ALBUQUERQUE NM 87121



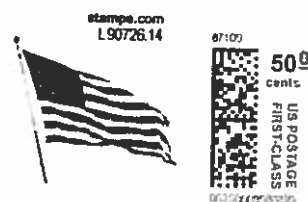
TIERRA WEST, LLC

ANTHEM OIL LLC
4421 IRVING BLVD NW UNIT 3
ALBUQUERQUE NM 87114-5919



TIERRA WEST, LLC

ANAYA JOSEPH J & MARY E
461 63RD ST NW
ALBUQUERQUE NM 87105



TIERRA WEST, LLC

VEGA RAUDEL & LEONORILDA
5414 PUNTA ALTA AVE NW
ALBUQUERQUE NM 87105

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L90726.17



TIERRA WEST, LLC

CRES - BOKF NA ATTN: PROPERTY TAX
ADMINISTRATOR
1 WILLIAMS CENTER FLOOR 11
TULSA OK 74192-0140

stamps.com
L90726.20



TIERRA WEST, LLC

WESTERN ALBUQ LAND HOLDINGS LLC
C/O GARRETT DEV CORP/JEFF
GARRETT
6900 E. CAMELBACK ROAD, SUITE 607
SCOTTSDALE AZ 85251-0000

stamps.com
L90726.23



TIERRA WEST, LLC

CASTILLO GERARDO & ROSALIA
457 63RD ST NW
ALBUQUERQUE NM 87105-1413



TIERRA WEST, LLC

CASTILLO GERARDO R & ROSALIE
457 63RD ST NW
ALBUQUERQUE NM 87105-1413



TIERRA WEST, LLC

LOZANO JOSE J
7813 RANCHWOOD DR NW
ALBUQUERQUE NM 87120-4029



TIERRA WEST, LLC

465COORSALBQ LLC
PO BOX 219
SAN BRUNO CA 94066-0219



TIERRA WEST, LLC

429 63RD STREET NW LLC
1806 CONITA REAL AVE SW
ALBUQUERQUE NM 87105



TIERRA WEST, LLC

MARTINEZ JESUS & MARY R
441 63RD ST NW
ALBUQUERQUE NM 87105



TIERRA WEST, LLC

SENA TRINIDAD & DOLORES
433 63RD ST NW
ALBUQUERQUE NM 87105-1413

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TIERRA WEST, LLC

AMERACE CORPORATION
6625 BLUEWATER RD NW
ALBUQUERQUE NM 87105

estamps.com
L90726.19



TIERRA WEST, LLC

Sonntag Enterprise Inc.
469 63rd St.

estamps.com
L90726.01



TIERRA WEST, LLC

GUTIERREZ MARY ANN
426 63RD ST NW
ALBUQUERQUE NM 87105-1414



TIERRA WEST, LLC

JARAMILLO TOM B
2020 S PLAZA ST NW
ALBUQUERQUE NM 87104-1400



TIERRA WEST, LLC

LA MAME LLC
4310 WELLESLEY NE
ALBUQUERQUE NM 87107



TIERRA WEST, LLC

MANRIQUEZ SALVADOR
6323 BLUEWATER RD NW
ALBUQUERQUE NM 87105-1918



TIERRA WEST, LLC

AKRATOS LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109-3450

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TIERRA WEST, LLC

Ted Trujillo
Los Volcanes NA
6601 Honeylocust Avenue NW
Albuquerque, NM 87121

stamps.com
L90726.09



TIERRA WEST, LLC

Dee Silva
West Mesa NA
313 63rd Street NW
Albuquerque, NM 87105

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L90726.12



87108



50[¢]

US POSTAGE
FIRST-CLASS

TIERRA WEST, LLC

Max Garcia
Los Volcanes NA
6619 HoneyLocust Avenue NW
Albuquerque, NM 87121

stamps.com
L90726.15



87109



50[¢]

US POSTAGE
FIRST-CLASS

TIERRA WEST, LLC

Johnny Pena
SWAN Coalition
5921 Central Ave. NW
Albuquerque, NM 87105

stamps.com
L90726.18



87109



50[¢]

US POSTAGE
FIRST-CLASS

From: [Carmona, Dalaina L.](#)
To: [Kristi Walker](#)
Subject: Coors Blvd NW and Bluewater Rd NW Public Notice Inquiry
Date: Monday, August 17, 2020 10:45:07 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image007.png](#)
[IDOZoneAtlasPage_J-10-Z.PDF](#)

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
West Mesa NA	Dee	Silva	ddee4329@aol.com	313 63rd Street NW	Albuquerque	NM	87105	5053627737	
West Mesa NA	Steven	Budenski	stevenbudenski@gmail.com	5732 La Anita Avenue NW	Albuquerque	NM	87105	5054891218	
Los Volcanes NA	Max	Garcia	max_garcia@msn.com	6619 Honeylocust Avenue NW	Albuquerque	NM	87121	5054012280	
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
South West Alliance of Neighborhoods (SWAN Coalition)	Johnny	Pena	johnnyepena@comcast.net	5921 Central Ave. NW	Albuquerque	NM	87105	5053213551	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department

1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Friday, August 14, 2020 10:25 AM

To: Office of Neighborhood Coordination <kwalker@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Kristl Walker

Telephone Number

505-858-3100

Email Address

kwalker@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park Pl

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 CONT 7.0487 AC M/L

Physical address of subject site:

Coors Blvd NW

Subject site cross streets:

Coors Blvd NW and Bluewater Rd NW

Other subject site identifiers:

This site is located on the following zone atlas page:

J-10-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.

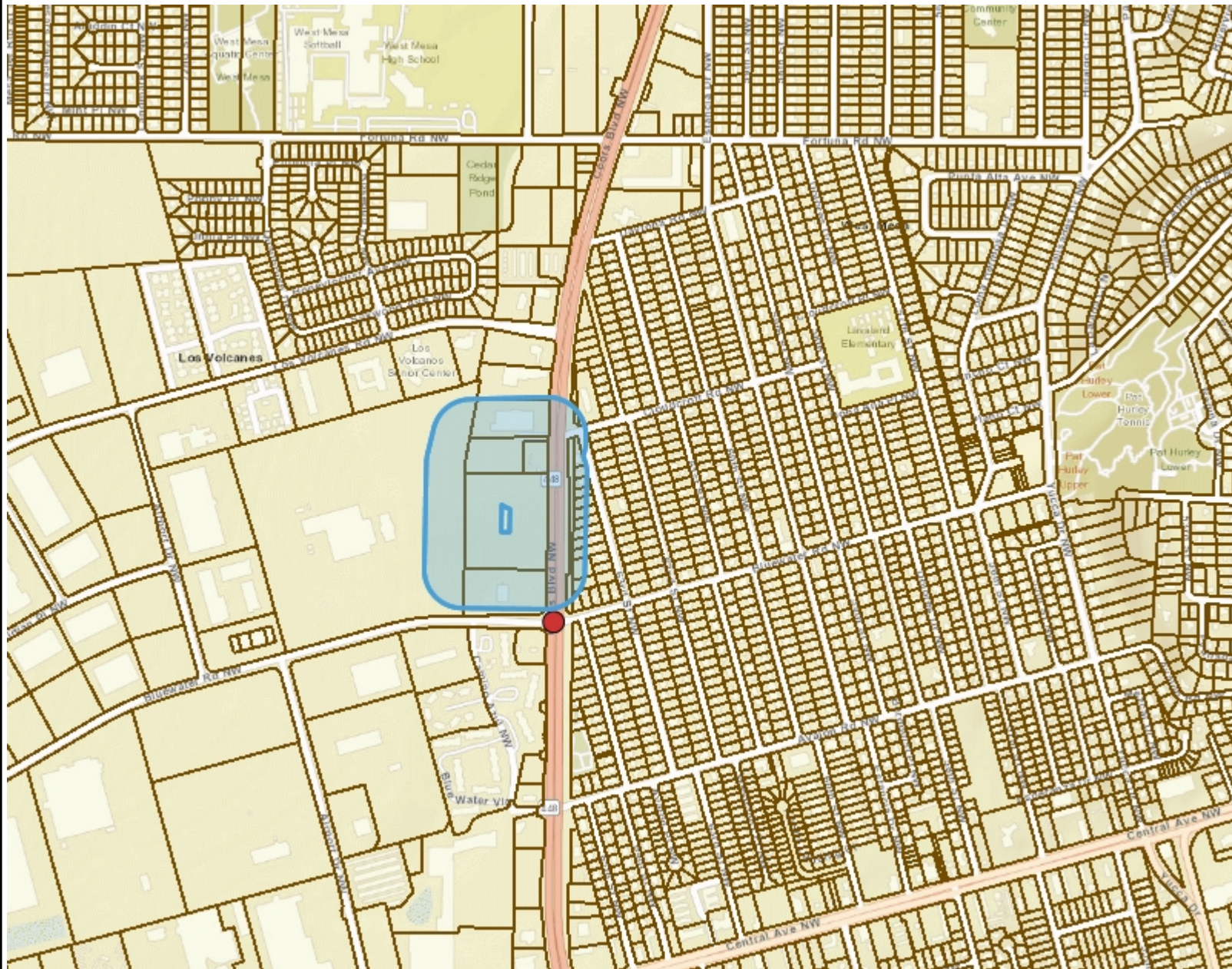


Coors and Bluewater



Legend

■ Bernalillo County Parcels



Notes

Buffer: 235 Ft.
ROW Coors: 135 Ft.

1,816 0 908 1,816 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
8/14/2020 © City of Albuquerque

1: 10,896

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

MARTINEZ JESUS & MARY R
441 63RD ST NW
ALBUQUERQUE NM 87105

LOZANO JOSE J
7813 RANCHWOOD DR NW
ALBUQUERQUE NM 87120-4029

GUTIERREZ MARY ANN
426 63RD ST NW
ALBUQUERQUE NM 87105-1414

CASTILLO GERARDO & ROSALIA
457 63RD ST NW
ALBUQUERQUE NM 87105-1413

CASTILLO GERARDO R & ROSALIA
457 63RD ST NW
ALBUQUERQUE NM 87105-1413

JARAMILLO TOM B
2020 S PLAZA ST NW
ALBUQUERQUE NM 87104-1400

CASTILLO GERARDO R & ROSALIE
457 63RD ST NW
ALBUQUERQUE NM 87105-1413

429 63RD STREET NW LLC
1806 CONITA REAL AVE SW
ALBUQUERQUE NM 87105

LA MAME LLC
4310 WELLESLEY NE
ALBUQUERQUE NM 87107

NELSON LARRY & DOLORES
929 COORS BLVD SW
ALBUQUERQUE NM 87121

465COORSALBQ LLC
PO BOX 219
SAN BRUNO CA 94066-0219

MANRIQUEZ SALVADOR
6323 BLUEWATER RD NW
ALBUQUERQUE NM 87105-1918

LA MAME LLC
4310 WELLESLEY DR NE
ALBUQUERQUE NM 87107

SENA TRINIDAD & DOLORES
433 63RD ST NW
ALBUQUERQUE NM 87105-1413

AMERACE CORPORATION
6625 BLUEWATER RD NW
ALBUQUERQUE NM 87105

ANTHEM OIL LLC
4421 IRVING BLVD NW UNIT 3
ALBUQUERQUE NM 87114-5919

AKRATOS LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109-3450

LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NO SUITE 730
LAKE HAVASU CITY AZ 86404-8551

ANAYA JOSEPH J & MARY E
461 63RD ST NW
ALBUQUERQUE NM 87105

CRES - BOKF NA ATTN: PROPERTY TAX
ADMINISTRATOR
1 WILLIAMS CENTER FLOOR 11
TULSA OK 74192-0140

CRANK FRANKY COORS CAR WASH INC
800 EL ALHAMBRA CIR NW
LOS RANCHOS DE ALBUQUERQUE NM
87107

VEGA RAUDEL & LEONORILDA
5414 PUNTA ALTA AVE NW
ALBUQUERQUE NM 87105

WESTERN ALBUQ LAND HOLDINGS LLC
C/O GARRETT DEV CORP/JEFF
GARRETT
6900 E. CAMELBACK ROAD, SUITE 607
SCOTTSDALE AZ 85251-8044



TIERRA WEST, LLC

August 17, 2020

**RE: PROPERTY OWNER NOTIFICATION
ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS
PARK UNIT 3 AND TR F-6-A-2 PLAT OF TRS F-6-A-1 &
F-6-A-2 ATRISCO BUSINESS PARK UNIT 3
ZONE ATLAS MAP: J-10-Z**

To whom it may concern:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) (2) Mailed Public Notice**, we are notifying you as a nearby property owner that Tierra West, LLC has submitted an application(s) for Thomas Development Co. per Table 6-1-1 to be reviewed and decided by the Reviewing body/Decision-maker per Table 6-1-1. We have submitted a zoning map amendment request to the Environmental Planning Commission.

Environmental Planning Commission - Zone Map Amendment

Tierra West LLC on behalf of Thomas Development Co, is seeking a zone map amendment through the EPC process for the property located at 441 & 457 Coors Blvd NW, on the west side of Coors Boulevard NW and north of Bluewater Rd NW and consists of approximately 8.95 acres. The legal descriptions of which are Tract F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 and Tract F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK UNIT 3. Currently the zoning is Non-Residential Business Park (NR-BP) and we are seeking a change to Mixed Use-Moderate (MX-M) zone.

The intent of the development is to offer affordable housing for 136 multi-family living units as well as an additional 72 units geared towards affordable independent senior living. The development stakeholders are looking forward to meeting with the community to ensure that a shared vision for this property is reached before moving forward with the required EPC hearing.

Due to the updated meeting policies and guidelines regarding COVID-19 an online zoom meeting will take the place of the normal Environmental Planning Commission hearing that is held at Plaza Del Sol. The public hearing for this request will be on September 10, 2020 at 8:30 am.

The agenda for the Environmental Planning Commission meeting is posted on the City website. The agenda includes information on accessing the EPC meeting. Meeting details and agendas will be available on the City of Albuquerque's website link below:

www.cabq.gov/planning

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,

A handwritten signature in black ink, appearing to read 'Ronald R. Bohannon', written over a horizontal line.

Ronald R. Bohannon, P.E.

JN: 2020010

RRB/vp/jg

TIERRA WEST, LLC

LBJ ENTERPRISES LLC
5601 HIGHWAY 95 NO SUITE 730
LAKE HAVASU CITY AZ 86404-8551



TIERRA WEST, LLC

CRANK FRANKY COORS CAR WASH INC
800 EL ALHAMBRA CIR NW
LOS RANCHOS DE ALBUQUERQUE NM
87107



5571 Midway Park Place NE
Albuquerque, NM 87109

Jan
TIERRA WEST, LLC

AKRATOS LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109-3450



5571 Midway Park Place NE
Albuquerque, NM 87109

Jan
TIERRA WEST, LLC

JARAMILLO TOM B
2020 S PLAZA ST NW
ALBUQUERQUE NM 87104-1400



TIERRA WEST, LLC

Sonntag Enterprised Inc.
469 63rd St
Albuquerque, NM 87105





TIERRA WEST, LLC

July 30, 2020

Ms. Dee Silva
West Mesa NA
313 63rd Street NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Silva:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) (2) Mailed Public Notice**, we are notifying you as a Neighborhood Association Representative that Tierra West, LLC will be submitting an application(s) for Thomas Development Co. per Table 6-1-1 to be reviewed and decided by the Reviewing body/Decision-maker per Table 6-1-1. We intend to submit the zoning map amendment to the Environmental Planning Department.

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On July 15, 2020 a Neighborhood Association letter was sent certified mail per the mailed public notice procedure under the Integrated Development Ordinance under the **Subsection 14-16-6-4(K) (2)**. Please accept this letter as an update to the previous notice.

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5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Ms. Dee Silva
July 30, 2020
2

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg

From: Jaimie Garcia
Sent: Thursday, July 30, 2020 11:02 AM
To: 'ddee4329@gmail.com'; 'stevenbudenski@gmail.com';
'max_garcia@msn.com'; nedcarla@live.com;
jgallegoswccd@gmail.com; johnnyepena@comcast.net;
'ekhaley@comcast.net'; aboard111@gmail.com
Cc: Vinny Perea; Ron Bohannon; Kristl Walker
Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC
Submittal- Zone Map Amendment

July 30, 2020

To: ddee4329@gmail.com; stevenbudenski@gmail.com; max_garcia@msn.com;
nedcarla@live.com; jgallegoswccd@gmail.com; johnnyepena@comcast.net;
ekhaley@comcast.net; aboard111@gmail.com

**RE: NEIGHBORHOOD ASSOCIATION EMAIL NOTIFICATION
ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT
3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Trujillo:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) (2) Mailed Public Notice**, we are notifying you as a Neighborhood Association Representative that Tierra West, LLC will be submitting an application(s) for Thomas Development Co. per Table 6-1-1 to be reviewed and decided by the Reviewing body/Decision-maker per Table 6-1-1. We intend to submit the zoning map amendment to the Environmental Planning Department.

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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

CC: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition

Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg

Respectfully,

Jaimie N. Garcia
Project Coordinator
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
505-858-3100 Office
505-858-1118 Fax
jgarcia@tierrawestllc.com

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Jaimie Garcia

From: Microsoft Outlook
To: Ron Bohannon
Sent: Thursday, July 30, 2020 11:07 AM
Subject: Delivered: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

Ron Bohannon (rrb@tierrawestllc.com)

Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



RE: [#2020010]
2020010/Coors ...

w/ attachment

* Please Note the email letter was sent without the attachment, resent email with attachment 2nd time, ~~we~~ we have provided proof of Both emails submitted to neighborhoods. (with attachment & without attachment) Thx.
Jaimie
7/30

Jaimie Garcia

From: Microsoft Outlook
To: Vinny Perea
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Delivered: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

Vinny Perea (vperea@tierrawestllc.com)

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



[#2020010]
2020010/Coors ...

w/o attachment

Jaimie Garcia

From: Microsoft Outlook
To: Vinny Perea
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Subject: Delivered: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

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Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



RE: [#2020010]
2020010/Coors ...

w/attachment

Jaimie Garcia

From: Microsoft Outlook
To: Kristl Walker
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Delivered: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal-
Zone Map Amendment

Your message has been delivered to the following recipients:

Kristl Walker (kwalker@tierrawestllc.com)

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



[#2020010]
2020010/Coors ...

w/o attachment

Jaimie Garcia

From: Microsoft Outlook
To: Kristl Walker
Sent: Thursday, July 30, 2020 11:06 AM
Subject: Delivered: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

Kristl Walker (kwalker@tierrawestllc.com)

Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



RE: [#2020010]
2020010/Coors ...

w/ attachment.

Jaimie Garcia

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-4.serverdata.net>
To: aboard111@gmail.com; ddee4329@gmail.com; jgallegoswccdg@gmail.com; stevenbudenski@gmail.com; ekhaley@comcast.net; johnnyepena@comcast.net
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Relayed: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

aboard111@gmail.com

ddee4329@gmail.com

jgallegoswccdg@gmail.com

stevenbudenski@gmail.com

ekhaley@comcast.net

johnnyepena@comcast.net

w/o attachment

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



Message Headers

Jaimie Garcia

From: Mail Delivery System <MAILER-DAEMON@exrmf-va-1-3.serverdata.net>
To: aboard111@gmail.com; ddee4329@gmail.com; jgallegoswccdg@gmail.com; stevenbudenski@gmail.com; ekhaley@comcast.net; johnnyepena@comcast.net
Sent: Thursday, July 30, 2020 11:07 AM
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aboard111@gmail.com

ddee4329@gmail.com

jgallegoswccdg@gmail.com

stevenbudenski@gmail.com

ekhaley@comcast.net

johnnyepena@comcast.net

w/attachment

Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



Message Headers

Jaimie Garcia

From: postmaster@outlook.com
To: nedcarla@live.com
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Delivered: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal-
Zone Map Amendment

Your message has been delivered to the following recipients:

nedcarla@live.com

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



[#2020010]
2020010/Coors ...

w/o attachment

Jaimie Garcia

From: postmaster@outlook.com
To: nedcarla@live.com
Sent: Thursday, July 30, 2020 11:07 AM
Subject: Delivered: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

nedcarla@live.com

Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



RE: [#2020010]
2020010/Coors ...

w/attachment

Jaimie Garcia

From: postmaster@outlook.com
To: max_garcia@msn.com
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Delivered: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

max_garcia@msn.com

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



[#2020010]
2020010/Coors ...

w/o attachment

Jaimie Garcia

From: postmaster@outlook.com
To: max_garcia@msn.com
Sent: Thursday, July 30, 2020 11:08 AM
Subject: Delivered: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

max_garcia@msn.com

Subject: RE: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



RE: [#2020010]
2020010/Coors ...

w/ attachment

Jaimie Garcia

From: Microsoft Outlook
To: Ron Bohannon
Sent: Thursday, July 30, 2020 11:02 AM
Subject: Delivered: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment

Your message has been delivered to the following recipients:

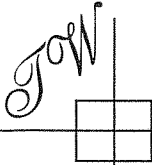
Ron Bohannon (rrb@tierrawestllc.com)

Subject: [#2020010] 2020010/Coors Blvd NW and Bluewater Rd NW - EPC Submittal- Zone Map Amendment



[#2020010]
2020010/Coors ...

w/o attachment



TIERRA WEST, LLC

July 30, 2020

Mr. Steven Budenski
West Masa NA
5732 La Anita Avenue NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Budenski:

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Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Mr. Steven Budenski

July 30, 2020

2

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www.cabq.gov/planning

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Mr. Max Garcia
Los Volcanes NA
6619 Honeylocut Ave. NW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Garcia:

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1-800-245-3102
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Mr. Max Garcia
July 30, 2020
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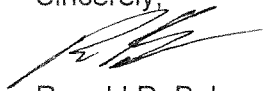
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Sincerely,



Ronald R. Bohannon, P.E.

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Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Mr. Ted Trujillo
Los Volcanes NA
6601 Honeylocust Avenue NW
Albuquerque, NM 87121

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Trujillo:

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tierrawestllc.com

Mr. Ted Trujillo
July 30, 2020
2

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5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



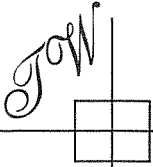
Ronald R. Bohannon, P.E.

Enclosure/s

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Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Mr. Jerry Gallegos
SWAN Coalition
5921 Central Ave. NW
Albuquerque, NM 87105

RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z

Dear Mr. Gallegos:

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Mr. Jerry Gallegos
July 30, 2020
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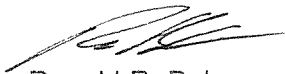
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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

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Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Mr. Johnny Pena
SWAN Coalition
5921 Central Ave. NW
Albuquerque, NM 87105

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Mr. Pena:

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1-800-245-3102
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Mr. Johnny Pena
July 30, 2020
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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

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Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Dee Silva, West Mesa NA
Steven Budenski, West Mesa NA
Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Ms. Elizabeth Haley
Westside Coalition
6005 Chaparral Circle NW
Albuquerque, NM 87114

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Haley:

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tierrawestllc.com

Ms. Elizabeth Haley
July 30, 2020
2

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505-858-3100

Vinny Perea
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Albuquerque, NM 87109
vperea@tierrawestllc.com
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Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

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Max Garcia, Los Volcanes NA
Ted Trujillo, Los Volcanes NA
Jerry Gallegos, SWAN Coalition
Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg



TIERRA WEST, LLC

July 30, 2020

Ms. Rene Horvath
Westside Coalition of NA
5515 Palomino Dr. NW
Albuquerque, NM 87120

**RE: ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
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UNIT 3
ZONE ATLAS MAP: J-10-Z**

Dear Ms. Horvath:

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Ms. Rene Horvath
July 30, 2020
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Sincerely,



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Enclosure/s

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Johnny Pena, SWAN Coalition
Elizabeth Haley, Westside Coalition NA
Rene Horvath, Westside Coalition NA

JN: 2020010

RRB/vp/jg

Jaimie Garcia

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Wednesday, July 15, 2020 11:52 AM
To: Jaimie Garcia
Subject: Coors Blvd NW and Bluewater Rd NW Neighborhood Meeting Inquiry
Attachments: IDOZoneAtlasPage_J-10-Z.PDF

Dear Applicant:

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip
West Mesa NA	Dee	Silva	ddee4329@aol.com	313 63rd Street NW	Albuquerque	NM	87105
West Mesa NA	Steven	Budenski	stevenbudenski@gmail.com	5732 La Anita Avenue NW	Albuquerque	NM	87105
Los Volcanes NA	Max	Garcia	max_garcia@msn.com	6619 Honeylocust Avenue NW	Albuquerque	NM	87121
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105
South West Alliance of Neighborhoods (SWAN Coalition)	Johnny	Pena	johnnyepena@comcast.net	5921 Central Ave. NW	Albuquerque	NM	87105
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Tuesday, July 14, 2020 2:05 PM

To: Office of Neighborhood Coordination <jgarcia@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Jaimie Garcia

Telephone Number

505-858-3100

Email Address

jgarcia@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

R F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 CONT 7.0487
AC M/L

Physical address of subject site:

Subject site cross streets:

Coors Blvd NW and Bluewater Rd NW

Other subject site identifiers:

This site is located on the following zone atlas page:

J-10-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.



TIERRA WEST, LLC

July 30, 2020

RE: PROPERTY OWNER NOTIFICATION
ZONE MAP AMENDMENT-EPC
COORS BLVD NW AND BLUEWATER RD NW
TR F-4-A PLAT OF TRS F-3-A, F-4-A, F-6-A ATRISCO BUSINESS PARK UNIT 3
AND TR F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK
UNIT 3
ZONE ATLAS MAP: J-10-Z

To whom it may concern:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) (2) Mailed Public Notice**, we are notifying you as a nearby property owner that Tierra West, LLC will be submitting an application(s) for Thomas Development Co. per Table 6-1-1 to be reviewed and decided by the Reviewing body/Decision-maker per Table 6-1-1. We intend to submit the zoning map amendment to the Environmental Planning Department.

Environmental Planning Commission - Zone Map Amendment

Tierra West LLC on behalf of Thomas Development Co, is seeking a zone map amendment through the EPC process for the property located at 441 & 457 Coors Blvd NW, on the west side of Coors Boulevard NW and north of Bluewater Rd NW and consists of approximately 8.95 acres. The legal descriptions of which are Tract F-4-A PLAT OF TRS F-3-A, F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3 and Tract F-6-A-2 PLAT OF TRS F-6-A-1 & F-6-A-2 ATRISCO BUSINESS PARK UNIT 3. Currently the zoning is Non-Residential Business Park (NR-BP) and we are seeking a change to Mixed Use-Moderate (MX-M) zone.

The intent of the development is to offer affordable housing for 136 multi-family living units as well as an additional 72 units geared towards affordable independent senior living. The development stakeholders are looking forward to meeting with the community to ensure that a shared vision for this property is reached before moving forward with the required EPC hearing.

Due to the updated meeting policies and guidelines regarding COVID-19 an online zoom meeting will take the place of the normal Environmental Planning Commission hearing that is held at Plaza Del Sol. The public hearing for this request will be on September 10, 2020 at 8:30 am.

The agenda for the Environmental Planning Commission meeting is posted on the City website. The agenda includes information on accessing the EPC meeting. Meeting details and agendas will be available on the City of Albuquerque's website link below:

www.cabq.gov/planning

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Vinny Perea
5571 Midway Park Place NE
Albuquerque, NM 87109
vperea@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

JN: 2020010

RRB/vp/jg

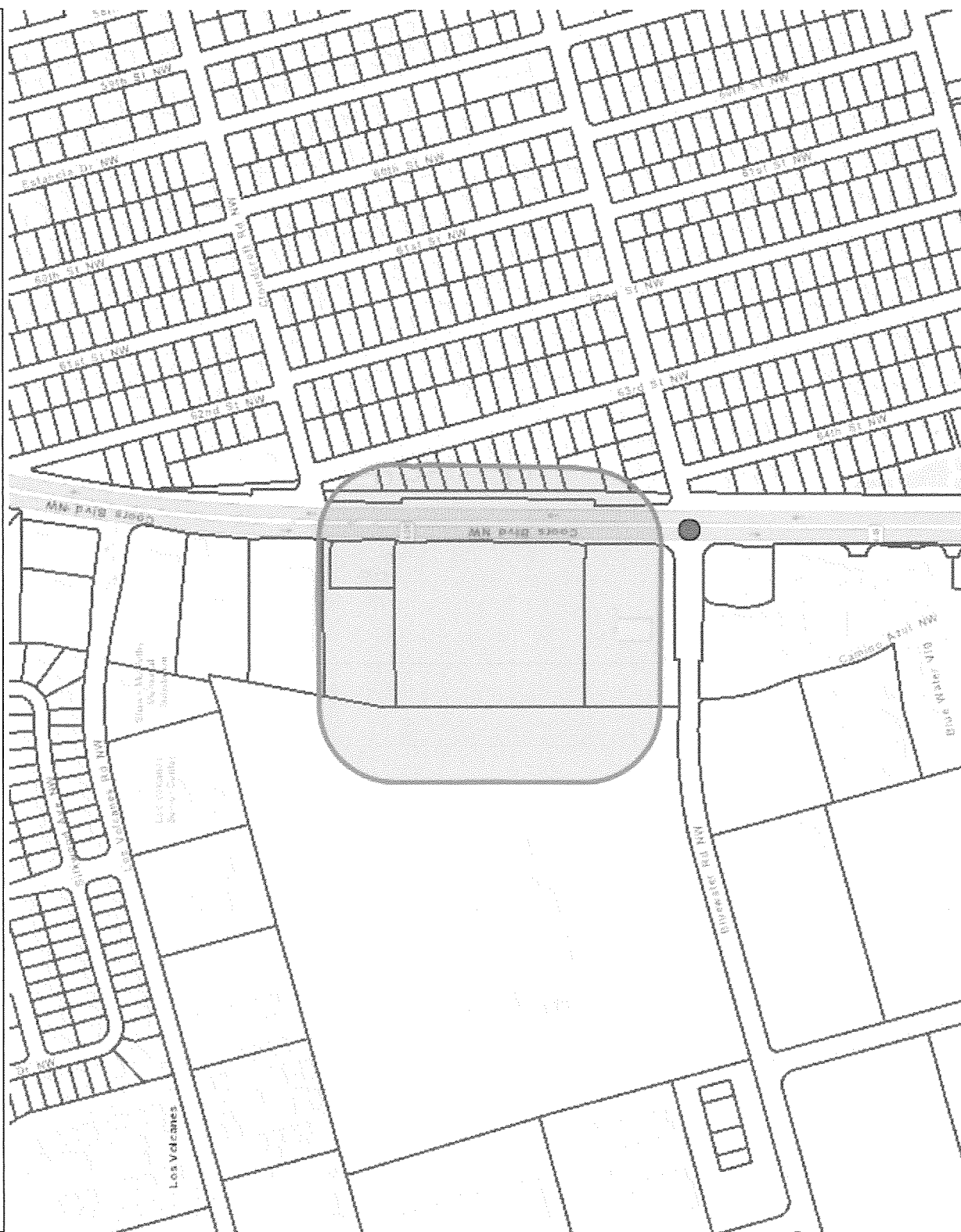


Legend

- ☐
- Bernalillo County Parcels

Notes

Buffer Map: 235 Ft.
ROW Coors: 135



908	0	454	908 Feet
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WGS_1984_Web_Mercator_Auxiliary_Sphere
3/27/2020 © City of Albuquerque

1: 5,448

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

MARTINEZ JESUS & MARY R
441 63RD ST NW ✓
ALBUQUERQUE NM 87105

LOZANO JOSE J ✓
7813 RANCHWOOD DR NW
ALBUQUERQUE NM 87120-4029

GUTIERREZ MARY ANN ✓
426 63RD ST NW ✓
ALBUQUERQUE NM 87105-1414

CASTILLO GERARDO & ROSALIA ✓
457 63RD ST NW ✓
ALBUQUERQUE NM 87105-1413

CASTILLO GERARDO R & ROSALIA
457 63RD ST NW ✓
ALBUQUERQUE NM 87105-1413 ✓

CASTILLO GERARDO R & ROSALIE
457 63RD ST NW ✓
ALBUQUERQUE NM 87105-1413

429 63RD STREET NW LLC
1806 CONITA REAL AVE SW ✓
ALBUQUERQUE NM 87105

LA MAME LLC
4310 WELLESLEY NE ✓
ALBUQUERQUE NM 87107

NELSON LARRY & DOLORES
929 COORS BLVD SW ✓
ALBUQUERQUE NM 87121 ✓

465COORSALBQ LLC ✓
PO BOX 219 ✓
SAN BRUNO CA 94066-0219

MANRIQUEZ SALVADOR ✓
6323 BLUEWATER RD NW ✓
ALBUQUERQUE NM 87105-1918

LA MAME LLC ✓
4310 WELLESLEY DR NE ✓
ALBUQUERQUE NM 87107

SENA TRINIDAD & DOLORES ✓
433 63RD ST NW ✓
ALBUQUERQUE NM 87105-1413

AMERACE CORPORATION
6625 BLUEWATER RD NW ✓
ALBUQUERQUE NM 87105 ✓

ANTHEM OIL LLC ✓
4421 IRVING BLVD NW UNIT 3
ALBUQUERQUE NM 87114-5919

ANAYA JOSEPH J & MARY E
461 63RD ST NW ✓
ALBUQUERQUE NM 87105 ✓

CRES - BOKF NA ATTN PROPERTY TAX
ADMINISTRATOR ✓
1 WILLIAMS CENTER FLOOR 11
TULSA OK 74192-0140

VEGA RAUDEL & LEONORILDA ✓
5414 PUNTA ALTA AVE NW ✓
ALBUQUERQUE NM 87105

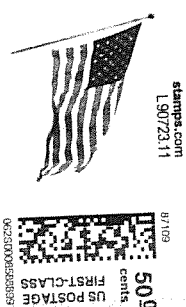
WESTERN ALBUQ LAND HOLDINGS LLC
% GARRETT DEV CORP/JEFF GARRETT
6900 E. CAMELBACK ROAD, SUITE 607
SCOTTSDALE AZ 85251-8044 ✓

MIERRA //EST, LLC
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ALBUQUERQUE NM 87109

465COORSALBQ LLC
PO BOX 219
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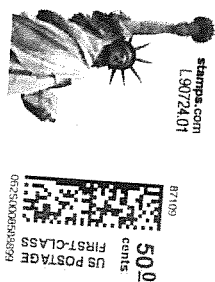
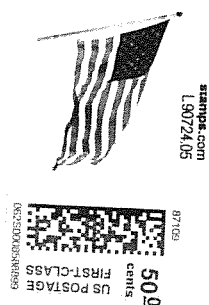


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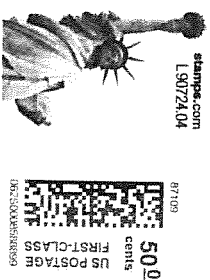


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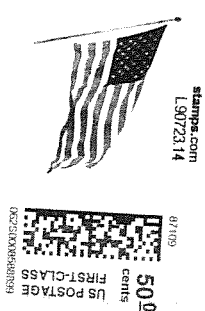


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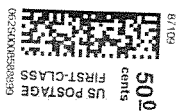
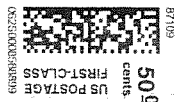


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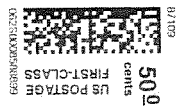
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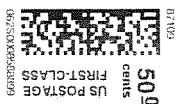


5571 MIDWAY PARK PLACE NE
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CASTILLO GERARDO R & ROSALIE
457 63RD ST NW
ALBUQUERQUE NM 87105-1413



stamps.com
L90723.20



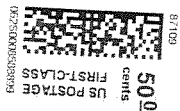
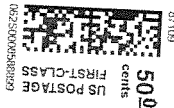
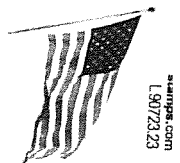
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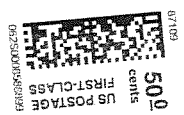
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ALBUQUERQUE NM 87109

CRES - BOKF NA ATTN PROPERTY TAX
ADMINISTRATOR
1 WILLIAMS CENTER FLOOR 11
TULSA OK 74192-0140



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

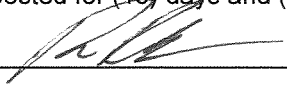
4. TIME

Signs must be posted from August 26, 2020 To September 10, 2020

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

7/30/2020
(Date)

I issued 1 signs for this application, 7/30/2020, Vanessa A Segura
(Date) (Staff Member)

PROJECT NUMBER: PR-2020-004193

REQUEST
COORS BLVD & BLUEWATER RD, EPC
ZONE MAP AMENDMENT
APPLICANT: **TIERRA NEST LLC** (505) 824-3333
PROJECT: **20-2020-00020**
The **ENVIRONMENTAL** is **ANNE HE CORN** of the City of Albuquerque will hold
a **Public Hearing** on the **Request for Zone Map Amendment**
at **Plaza Del Sol Building 600, 2nd St. NW, on September 10, 2020**
at **4:00 PM** and such additional dates as may duly be established.
All persons have a right to appear at such hearing. For information on
this case or instructions on filing written comments, you may call the
City Planning Department at (505) 824-3860.
Required to be posted from **August 24, 2020 to September 10, 2020**
by **TIERRA NEST LLC** (505) 824-3333
REFER TO FILE # **20-2020-00020**
It is illegal to place any advertisement posted in violation of these rules. Violation may result in a fine of \$500.00. Revised Ordinance of Albuquerque NM 2014