



Environmental Planning Commission

Staff Report

Agenda Number: 1
Project #: PR-2021-005439
Case #: RZ-2021-00016
Hearing Date: June 17, 2021

Agent	Modulus Architects
Applicant	Deepesh Kholwadwala c/o Sun Capital Hotels
Request	Zoning Map Amendment (zone change)
Legal Description	Lot 2-A-1-B-2-B-3, Lot 2-A-1-B-2-B-2, Lot 3-A-1-A, ABQ West Unit 2
Location	Between Paseo del Norte NW and Eagle Ranch Road NW (High Assets Way NW)
Size	Approximately 4.9 acres
Existing Zoning	NR-C
Proposed Zoning	MX-M

Staff Recommendation

APPROVAL of RZ-2021-00016, based on the Findings beginning on Page 24.

Staff Planner
Silvia Bolivar, PLA, ASLA

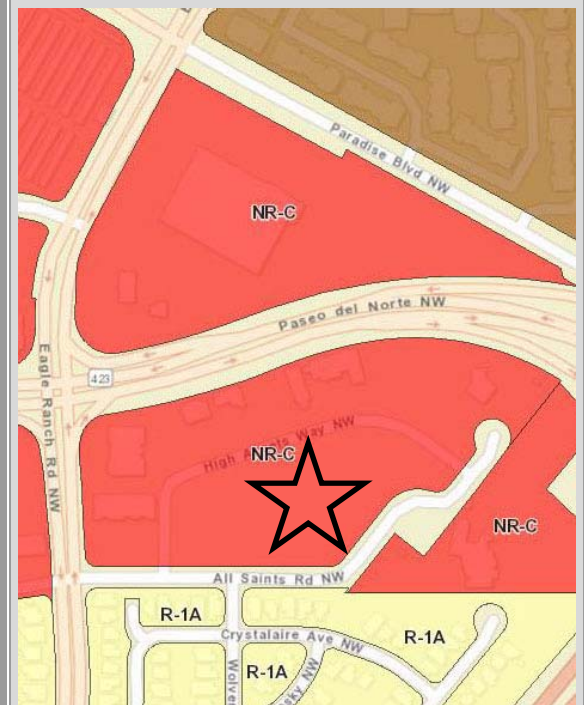
Summary of Analysis

The request is for a zoning map amendment from NR-C to MX-M for Lots 2-A-1-B-2-B-3, 2-A-1-B-2-B-2, and 3-A-1-A, ABQ West Unit 2, located on High Assets Way NW, between Paseo del Norte NW and Eagle Ranch Road NW (the “subject site”). The applicant wants to change the subject site’s zoning to MX-M in order to develop three vacant lots into a 40-unit assisted living facility and a 100-unit independent living facility. The subject site is in an Area of Change.

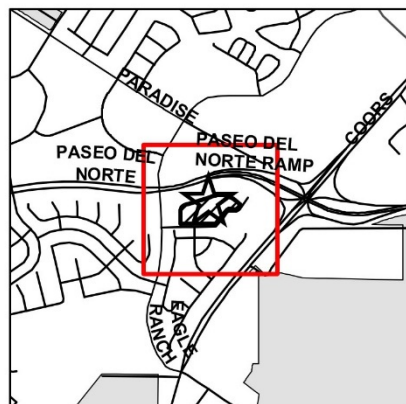
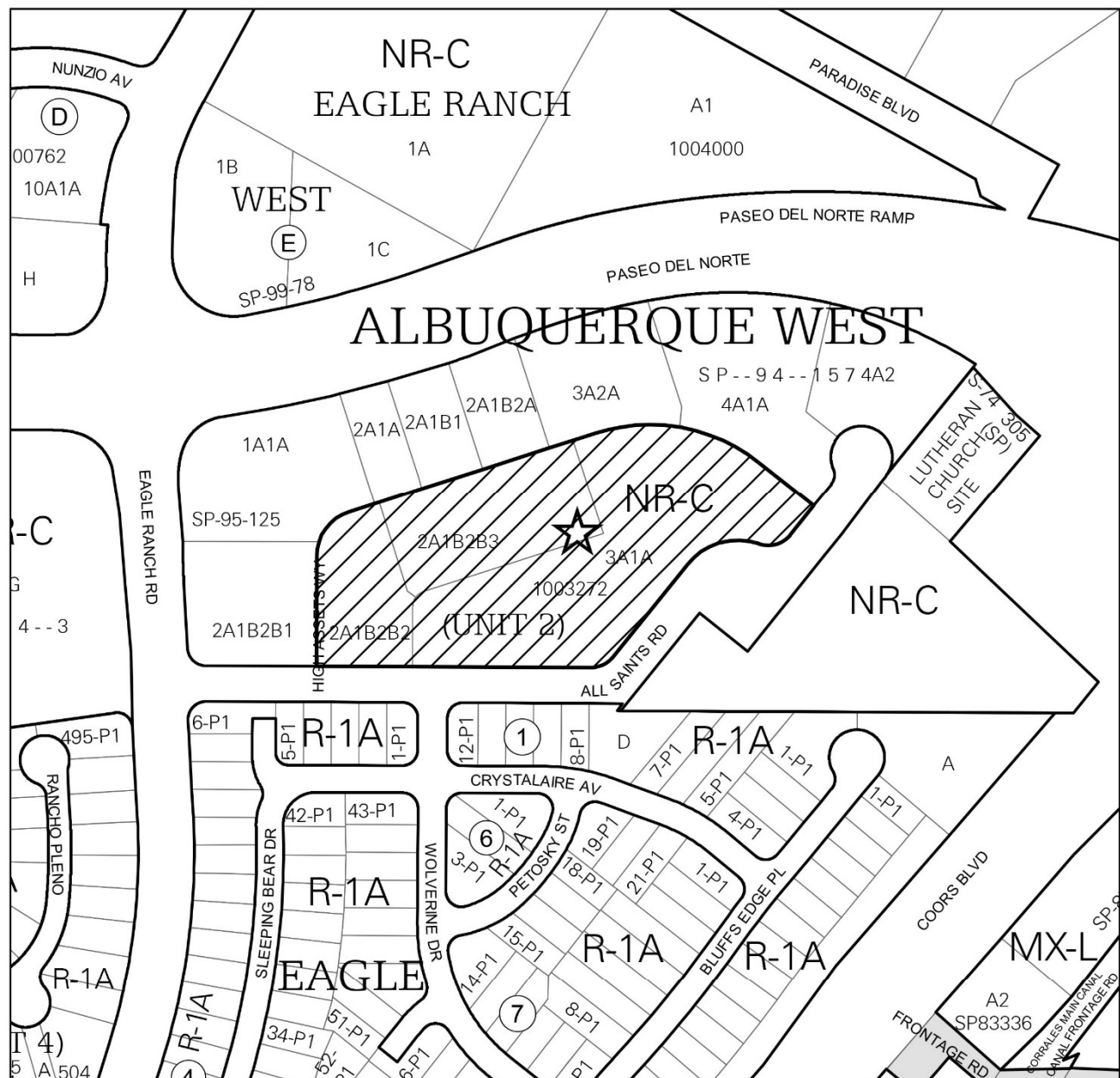
The applicant has adequately justified the request pursuant to the IDO zone change criteria in 14-16-6-7(G)(3). The proposed zoning would be more advantageous to the community overall because it furthers a preponderance of applicable Comprehensive Plan Goals and policies.

The affected neighborhood organizations are the Westside Coalition of Neighborhood Associations, Taylor Ranch Neighborhood Association, and the Eagle Ridge Homeowners Association. Property owners within 100 feet of the subject site were also notified as required. A pre-application meeting was not requested.

Staff recommends approval.







IDO ZONING MAP

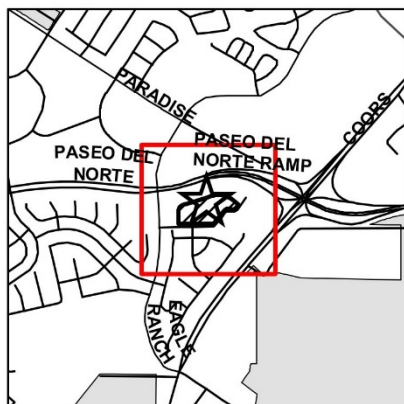
Note: Gray shading indicates County.



1 inch = 225 feet

Hearing Date:
6/17/2021
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LAND USE MAP

Note: Gray shading
indicates County.

Key to Land Use Abbreviations

LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSG Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base

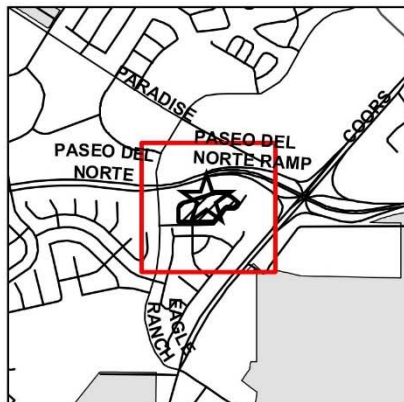
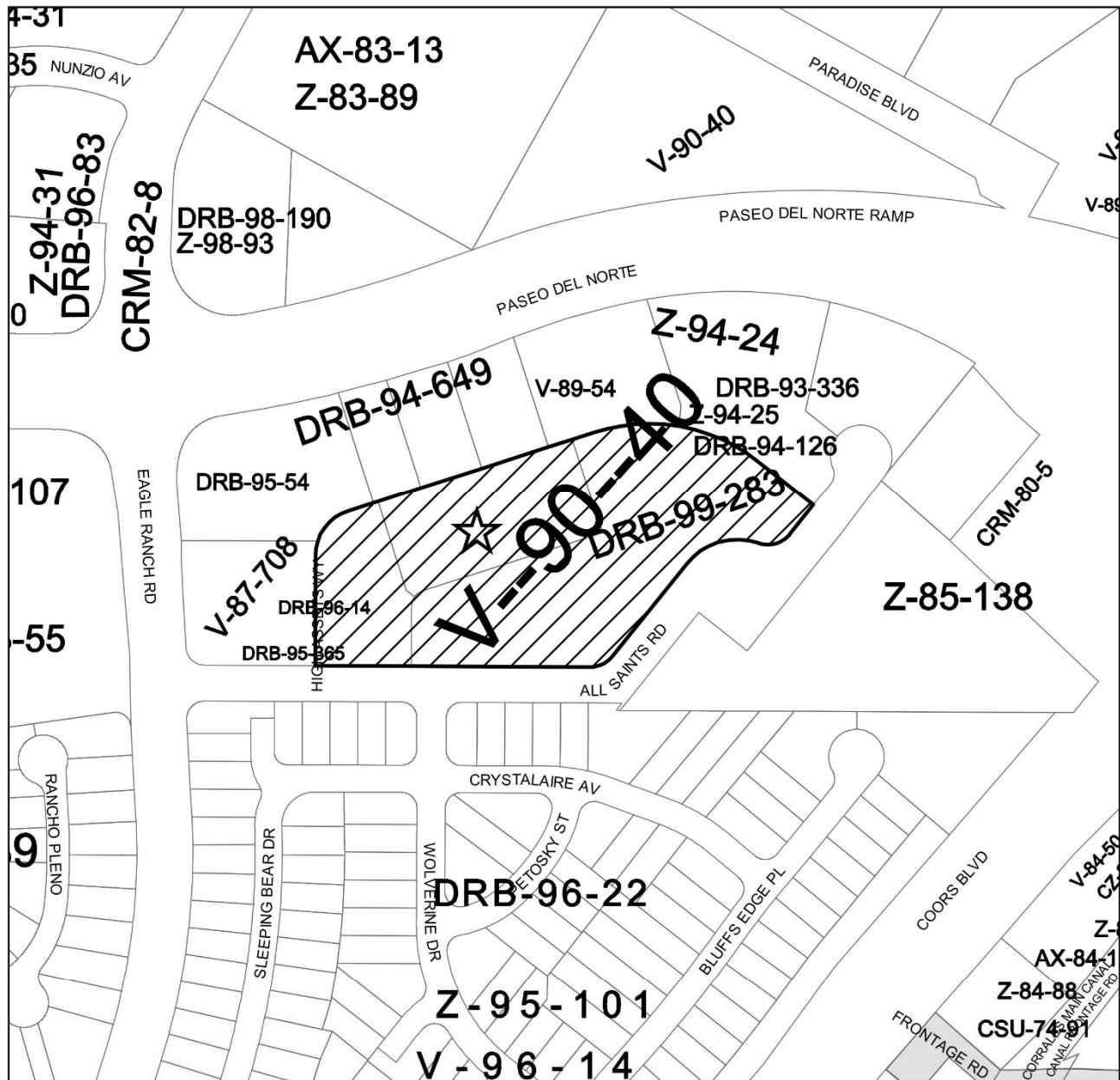


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HISTORY MAP

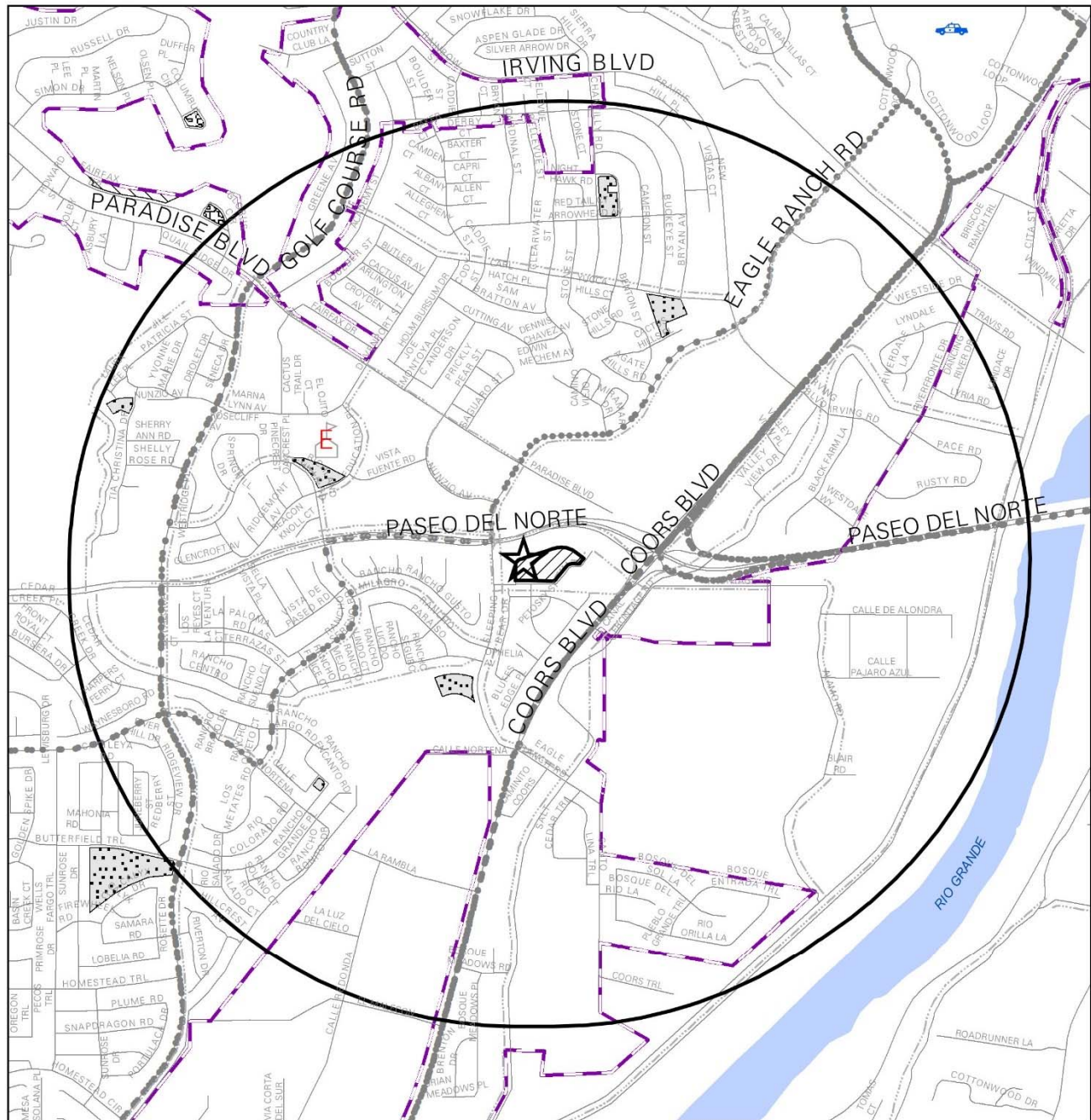
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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |



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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area	Land Use
Site	NR-C	Area of Change	Vacant
North	NR-C/MX-M	Area of Change	Vacant, office, institutional/medical
South	R-1A	Area of Consistency	Single-Family Residential
East	NR-C	Area of Change	Vacant/PNM Facility/religious institution
West	NR-C/R-1A	Area of Change/Consistency	Commercial, retail services, single-family

Request

The request is for a zoning map amendment (zone change) for an approximately 4.9-acre site legally described as Lots 2-A-1-B-2-B-3, 2-A-1-B-2-B-2, and 3-A-1-A, ABQ West Unit 2 (the “subject site”).

The subject site consists of three vacant lots located on High Assets Way NW, zoned NR-C (Non-Residential – Commercial Zone District). The applicant is requesting a zone change to MX-M (Mixed-Use – Medium Intensity Zone District). However, uses permitted by the MX-M zone will facilitate future development of the three vacant lots into a 40-unit assisted living facility and a 100-unit independent living facility if the zoning map amendment is approved.

EPC Role

The EPC is hearing this case because the EPC is required to hear all zone change cases, regardless of the site size, in the City. The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

Context

The subject site, which is vacant, is approximately 4.9-acres, zoned NR-C, and in an Area of Change. The area is characterized by a mix of uses but, to the south of the subject site, the area is mostly single-family dwellings zoned R-1A, and in Areas of Consistency. To the west are commercial and retail services along with single-family dwellings that are in Areas of Change/Areas of Consistency. There are vacant lots and medical services immediately to the north zoned NR-C with MX-M zoning to the north of Paseo del Norte. East of the subject site is a PNM Electric Facility and a religious institution zoned NR-C. The subject site is within the boundaries of the Northwest Mesa Community Planning Area (CPA).

History

The subject site lies in an area that was annexed on June 25, 1985 (Ordinance 33-1985).

Case history for the subject site includes project number 1003272. On May 18, 2006 the EPC voted to approve project number 1003272, the request was for approval of a site development plan for subdivision for a 10-acre parcel, zoned SU-1 PDA to include C-3 uses. The requested was delegated to the DRB which approved the request on July 26, 2006.

Transportation System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

All Saints Road NW and High Assets Way NW are classified as local urban streets, Eagle Ranch Road is classified as an urban minor arterial.

Comprehensive Plan Corridor Designation

Paseo del Norte is classified as a Premium Transit Corridor as designated by the Comprehensive Plan. The subject site is near Coors Corridor.

Comprehensive Plan Community Planning Area Designation

The subject site is part of the Northwest Mesa Community Planning Area (CPA). The Northwest Mesa is a predominantly residential community, adjacent to volcanoes and volcanic Northwest Mesa Escarpment and overlooking the river and mountains. Corrales and Rio Rancho border this area to the north.

Design/Character Considerations for the Northwest Mesa include: suburban subdivisions with wide streets and landscape buffers and large building setbacks; walls lining minor arterial and collector streets to separate residential development; proximity to the Rio Grande and Petroglyph National Monument, and volcanic Northwest Mesa Escarpment; views of the volcanoes and escarpment to the west and the Rio Grande and mountains to the east; shopping centers set back from the street with parking in front.

Overlays

The subject site is within the boundaries of the Coors Boulevard Character Protection Overlay Zone, CPO-2 (14-16-3-4(C)). The Coors Boulevard CPO-2 standards include building height and bulk, grading, landscaping in setbacks along Coors Boulevard, outdoor lighting, and architectural design and details.

The subject site is not within a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed routes and trails.

All Saints Road NW is part of the 50-Mile Activity Loop as per the Bikeways and Trails Facility Plan. Paseo del Norte has a proposed paved trail, Eagle Ranch Road NW has a bike route, where cars and bicycles share the street and Coors Boulevard has a buffered lane bike path.

Transit

Commuter Route 94 runs north-south on Eagle Ranch Road NW. Service has been suspended due to COVID-19. Paseo del Norte, a Premium Transit Corridor has no station areas yet mapped. The nearest active routes are the Fixed Routes 96 and 155, running north-south on Coors Boulevard.

A stop-pair for Routes 96 and 155 are located on either side of Eagle Ranch at its' intersection with Coors Boulevard approximately 3,125 feet from the subject site. Ride Route 155-(Coors Commuter) runs north-south, has 32 stops departing from Southern & Unser and ending at Coors & Gun Club. Ride Route 790 (Blue Line) – has 11 stops departing from Central at Yale and ending at the NW Transit Center. Service begins at 6:45 am and ends at 8:02 pm with service Tuesdays – Saturdays.

Public Facilities/Community Services

Please refer to the Public Facilities Map (Page 6), which shows public facilities and community services located within one mile of the subject site.

Walk Score/Transit Score/Bike Score

The Walk Score for the subject site is 35 out of 100 (car dependent – most errands require a car), transit score 30 (some transit – a few nearby public transportation options), and a bike score of 60 (bikeable – some bike infrastructure).

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Assisted Living Facility: An establishment containing a combination of housing, supportive services, personalized assistance, and health care services designed to respond to the individual needs of those who need help with activities of daily living or memory care services, but not including skilled nursing care. Such facilities may include separate bedrooms or living quarters, a central or private kitchen, dining, recreational, and other residential accessory uses.

Center and Corridor Definitions:

Corridor: A street and adjoining land designated in the ABC Comp Plan, as amended, as one of the 5 Corridor types designated based on travel models and development intensity, excluding Commuter Corridors.

Premium Transit (PT) Corridor: A Corrido designation from the Comprehensive Plan.

Infill Development: An area platted or un-platted land that includes no more than 20 acres of land and where at least 75 percent of the adjacent lots are developed and contain existing primary buildings.

Electric Utility: A facility used or designed to provide electricity services to the city or part of the city as regulated as a public utility by the New Mexico Public Regulation Commission and that is included in the Facility Plan for Electric System Transmission and Generation, as amended.

Independent Living Facility: Multi-family residential development accessory to either an assisted living facility or nursing home as part of a continuing care community that allows residents to transfer to higher levels of care as needed. Independent living units may be designed and constructed as part of a central building containing multi-family dwelling units along with other levels of care or as attached or detached units similar to low-density residential development. Such facilities may include a central or private kitchen, dining, recreational, and other residential accessory uses.

Low-density Residential Development: Properties with residential development of any allowable land use in the Household Living category in Table 4-2-1 other than multi-family dwellings. Properties with small community residential facilities are also considered low-density residential development. Properties that include other uses accessory to residential primary uses are still considered low-density residential development for purposes of the IDO.

Zoning

The subject site is zoned NR-C [Non-Residential – Commercial Zone District, IDO 14-16-2-5(A)] that was assigned upon the adoption of the Integrated Development Ordinance (IDO) on May 17, 2018 based upon the prior land use of SU-1 (PDA to include C-3 uses). The previous generalized category was for commercial uses.

The purpose of the NR-C zone district is to accommodate medium-scale retail, office, commercial, and institutional uses, particularly where additional residential development is not appropriate or not desired because of a deficit of jobs or services in relation to housing units in the area. Primary land uses include a wide spectrum of retail and commercial uses intended to serve both neighborhood and area-wide needs, as well as some light industrial uses. Specific permissive uses are listed in Table 4-2-1: Allowable Uses, IDO pgs. 143-148.

The request is to change the subject site's zoning to MX-M [Mixed-Use – Medium Intensity Zone District, IDO 14-16-2-4(C)] . The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Specific permissive uses are listed in Table 4-2-1: Allowable Uses, IDO pgs. 143-148.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change policies allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation.

The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Applicable Goals and policies are listed below. Staff analysis follows in bold italics.

Chapter 4: Community Identity

Policy 4.1.4 – Neighborhoods – Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

Although the subject site is not located in an area considered a traditional community, the request would enhance, protect, and preserve neighborhoods as key to long-term health and vitality by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) and the NR-C zoning to the north. Liquor retail is a permissive use in NR-C but becomes a conditional use in MX-M and the zone map amendment made possible by the request would provide further protection from that use being developed adjacent to existing single-family dwellings and religious institutions. Further development under the MX-M zone would be subject to applicable IDO standards that would serve to protect and preserve neighborhoods. The request furthers Policy 4.1.4 – Neighborhoods.

Chapter 5: Land Use

Subpolicy 5.1.10a – Encourage higher-density residential development within ¼ mile of transit stops and stations.

The subject site is not within ¼ mile of a transit stop or station therefore this subpolicy is not applicable. The nearest transit stop is on Coors Boulevard NW that services Ride Routes 96 and 155. A stop-pair for Routes 96 and 155 are located on either side of Eagle Ranch at its' intersection with Coors Boulevard approximately 3,125 feet from the subject site. Future residents would have to walk along All Saints Road NW, Eagle Ranch Road NW, and then Coors Boulevard NW in order to access the nearest transit stop. Subpolicy 5.110a is not applicable.

Subpolicy 5.1.10b – Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

If the proposed zone map amendment is approved, the subject property would minimize negative impacts on nearby neighborhoods because it would function as a transition between adjacent zone districts by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) and the NR-C zoning and Transit Corridors to the north. Subpolicy 5.1.10b is furthered.

Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The area is not necessarily considered a distinct community as the area is a mix of uses (residential, commercial, institutional/medical). However, the requested MX-M zone will permit for the development of future uses under the MX-M zone that could generally contribute to the health of the community through increased land use diversity and would be accessible from surrounding community. Policy 5.2.1 – Land Uses is furthered.

Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient land use of land to support the public good.

The surrounding areas are mostly developed, even though the subject site is not. The area is served by existing infrastructure and public facilities, so the development made possible by the request would generally promote efficient development patterns and use of land. The request furthers Goal 5.3 – Efficient Development Patterns.

Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an area with existing infrastructure and public facilities. The surrounding properties are already developed with a mix of uses and development of the subject site would support additional growth, while maintaining existing infrastructure. The request furthers policy 5.3.1 – Infill Development.

Policy 5.3.2 – Leapfrog Development - Discourage growth in areas without existing infrastructure and public facilities.

The request would facilitate mixed use development where infrastructure and public facilities already exist and thereby discourage growth in areas without existing infrastructure and public facilities. The request furthers Policy 5.3.2 – Leapfrog Development.

Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers this Goal because the subject site is in an Area of Change and the requested MX-M zone would offer an efficient development process for the subject site, thereby directing growth where it is expected and desired as well as reinforcing the intensity of the area. The request furthers Goal 5.6 – City Development Areas.

Subpolicy 5.6.2b – Encourage development that expands employment opportunities.

The request furthers this sub-policy because the MX-M zoning would facilitate group living and institutional development and help expand employment opportunities in the area. Some of the employment opportunities provided by the MX-M zoning would include civic/institutional uses, offices and services along with group living uses. The request furthers sub policy 5.6.2b.

Subpolicy 5.6.2g – Encourage development where adequate infrastructure and community services exist.

The subject site is located in an area with adequate infrastructure and community services and the zone change would facilitate development of more community services. The request furthers sub policy 5.6.2g.

Subpolicy 5.6.2h – Encourage development in areas with a highly concentrated street grid and frequent transit service.

The subject site is located in an area without a highly concentrated street grid but with frequent transit service (ABQ Ride Routes 94, 96, 155 and 790). However, access to transit service in the area is not easily accessed from the subject site. Sub policy 5.6.3h is not furthered.

Chapter 8 – Economic Development

Policy 8.1.2 – Resilient Economy – Encourage economic development efforts that improve the quality of life for new and existing residents and foster a robust, resilient and diverse economy.

The mix of uses allowed in the MX-M zone would facilitate the nearby community that is mostly residential to be more diverse in its' use and service offerings. The request furthers Policy 8.1.2 – Resilient Economy.

Chapter 9 – Housing

Policy 9.1.1 – Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The request is for a zone map amendment, not a site plan review therefore Staff is unable to determine if in fact the proposed development would support the development and conservation of housing for a variety of income levels. Policy 9.1.1. – Housing Options is not furthered.

Policy 9.3.1 – Centers & Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

The subject site is located south of Paseo del Norte, a Premium Transit Corridor but it is highly unlikely that the request would capture growth and relieve development pressure as the request is for a zone map amendment to MX-M to allow a mix of uses that would allow the community to be more diverse in use and service offerings. Policy 9.3.1 – Centers & Corridors is not furthered.

Staff adds the following:

Policy 5.4.2 – West Side Jobs: Foster employment opportunities on the West Side.

This policy is furthered because the request would foster employment opportunities on the West Side as the MX-M zone would allow for the proposed development of the subject site and expand and offer more services than what is currently available in the area. The services required by the proposed development would add to the jobs in the area which could be filled by West Side residents. Policy 5.4.2 – West Side Jobs is furthered.

Integrated Development Ordinance (IDO) 14-16-6-7(G)(3)-Review and Decision Criteria for Zone Map Amendments

Requirements

The review and decision criteria outline policies and requirements for deciding zone change applications. The applicant must provide sound justification for the proposed change and demonstrate that several tests have been met. The burden is on the applicant to show why a change should be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: 1) there was an error when the existing zone district was applied to the property; or 2) there has been a significant change in neighborhood or community conditions affecting the site; or 3) a different zone district is more advantageous to the community as articulated by the Comprehensive Plan or other, applicable City plans.

Justification & Analysis

The Zone Map Amendment justification letter analyzed here, received on June 26, 2021, is a response to Staff's request for a revised justification letter (see attachment). The subject site is currently zoned NR-C (Non-Residential – Commercial Zone District) but is currently vacant. The applicant would like to change the subject site's zoning to MX-M (Mixed-Use – Medium Intensity Zone District) in order to develop the vacant lots with a 40-unit assisted living facility and a 100-unit independent living facility. The subject site is in an Area of Change.

The applicant believes that the proposed zoning map amendment (zone change) meets the zone change decision criteria in IDO 14-16-6-7(G)(3) as elaborated in the justification letter. The citation is from the IDO. The applicant's arguments are in *italics*. Staff analysis follows in plain text.

- A. The proposed zone is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comprehensive Plan, as amended, and other applicable plans adopted by the City. Refer to the in-depth analysis of the applicable Goals and Policies.

Staff: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan Goals and Policies (and other plans if applicable) and does not significantly conflict with them.

Applicable Citations: Policy 4.1.4 – Neighborhoods, Subpolicy 5.1.10b, Policy 5.2.1 – Land Uses, Goal 5.3 – Efficient Development Patterns, Policy 5.3.1 – Infill Development, Policy 5.3.2 – Leapfrog Development, Goal 5.6 – City Development Areas, Subpolicy 5.6.2(b), Subpolicy 5.6.2(g), Policy 8.1.2 – Resilient Economy.

Non-Applicable Citations: Subpolicy 5.1.10(a), Subpolicy 5.6.2(h), Policy 9.1.1 – Housing Options, Policy 9.3.1 – Centers & Corridors.

Other Applicable Citations: Policy 5.4.2 – West Side Jobs.

The applicant's policy-based response adequately demonstrates that the request furthers a preponderance of applicable Goals and policies regarding neighborhoods, infill and efficient development patterns and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and morals and general welfare. The response to Criterion A is sufficient.

- B. If the subject site is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.
 2. There has been a significant change in neighborhood or community conditions affecting the site.
 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The subject property is not located partially or completely in an Area of Consistency (as shown in the ABC Comprehensive Plan, as amended). As a result, the above criterion is not applicable as the proposed amendment is wholly in an Area of Change as shown on the ABC Comprehensive Plan.

Staff: The subject site is located wholly in an Area of Change, so this Criterion does not apply.

- C. If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets any of the following criteria: There was typographical or clerical error when the existing zone district was applied to the property.
1. There was a typographical or clerical error when the existing zone district was applied to the property.
 2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The subject property is located wholly in an Area of Change (as shown in the ABC Comprehensive Plan, as amended) and this justification along with the application has demonstrated that the existing zoning is inappropriate because it meets criteria 3. A different zone district would be more advantageous to the community because many of the ABC Comprehensive Plan goals and policies have been furthered as articulated in the “Policy Analysis” section above. This proposed zone change will allow for the implementation of development and implementation of patterns of land use that are consistent with the Comprehensive Plan conditions and will promote connectivity and continued pedestrian travel along Local Urban streets as a destination for employment and needed services. This request will allow for an opportunity to develop additional housing in an area that has a desire for the proposed uses. This request will facilitate residential uses that were once permissive on this site. Lastly, it will be an infill project on a site with existing infrastructure and public amenities within an Area of Change, within a Premium Transit Corridor and partially within a Major Transit Corridor.

Staff: The subject site is located wholly in an Area of Change and the applicant is referring to sub-criterion 3, that a different zone district is more advantageous to the community as articulated by the Comprehensive Plan, including implementation of patterns of land use, development density and intensity, and connectivity. The applicant has adequately justified the request by stating it will provide for an opportunity to develop a different type of housing and services in an area that consists predominantly of single-family dwellings. The request would further Comprehensive Plan Goals and policies relating to land use, efficient development patterns, infill development, and economic development. The response to Criterion C is sufficient.

- D. The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

The requested zoning does not include permissive uses that would be harmful to adjacent properties, the neighborhood or the community. The permissive uses between the NR-C zoning designation and the MX-M zoning designation do not have harmful uses, rather the major difference is the introduction of residential uses. For discussion, provided below is a side-by-side analysis of the new permissive uses under the MX-M zoning district.

Table 2. Side-by-Side Analysis of New Permissive Uses

New Permissive Uses under MX-M Zone	Existing IDO Use Status (NR-C Zoning)	Related IDO Development Standards That May Apply (Specific Use Standards 16-16-4-3)
Dwelling, townhouse	Not Permissive	4-3(B)(5)
Dwelling, live-work	Not Permissive	4-3(B)(5)
Dwelling, multi-family	Not Permissive	4-3(B)(7)

Assisted living facility or nursing home	Not Permissive	No use specific standards associated
Community residential facility, small	Not Permissive	4-3(B)(8)
Community residential facility, large	Not Permissive	4-3(B)(8)
Dormitory	Not Permissive	4-3(B)(9)
Group home, small	Not Permissive	4-3(B)(9)
Group home, medium	Not Permissive	4-3(B)(9)
Group home, large	Not Permissive	4-3(B)(9)
Community Center or library	Conditional Primary	4-3(C)(1)
Residential community amenity, indoor	Not Permissive	4-3(D)(10)
Residential community amenity, outdoor	Permissive Accessory	No use specific standards associated
Park-and-ride lot	Conditional Primary	4-3(D)(44)

Dwelling, townhouse; dwelling, live-work; dwelling, multi-family; assisted living facility or nursing home; community residential facility, small; community residential facility, large; dormitory; group home, small; group home, medium; group home, large; and residential community amenity, indoor are newly permissive uses that are not allowed in the NR-C zone district. There are no permissive uses that could be construed as having possible harmful impacts to adjacent properties, the neighborhood, or the community, since the surrounding properties are commercial and residential uses. The MX-M zone allows for both residential and commercial uses and has less impactful commercial uses than the existing NR-C zone. The uses that would become permissive are residential uses and residential amenities that are outlined above and will be nonconsequential. The Use Specific Standards associated with these uses will help mitigate any potential harmful impacts that are unforeseen, though none are expected.

Future development of this property and the proposed uses will have to go through a rigorous approval process with the City of Albuquerque to ensure it complies with IDO and the DPM. At that time the public will be fully engaged. It will also insure that the uses will comply with City ordinances regulating noise, odors, vibration, glare, heat, and other special nuisance conditions affecting other properties as well as use-specific standards. Development on the subject site under the MX-M zone district would be subject to IDO requirements including neighborhood edges (14-16-5-9), the mixed-use zone dimensional standards (Table 5-1-2), buffer landscaping (14-16-5-6-(E)), and building design standards (14-16-5-11). These would help ensure appropriate scale and location of development and character of building design. The Use- Standards include precautionary measures such as distance requirements, size restrictions, design standards,

screening requirements and various other measures. The MX-M zone will allow for residential uses to become permissive allowing the vacant site to develop per original EPC/DRB approved plans.

The MX-M zone will allow for the proposed Assistant Living Facility and the Independent Living Facility to be developed on the site. The project will consist of a 40 Unit Assisted Living Facility and a 100 Unit Independent Living Facility, all of which was approved by the City in 2006. We are not asking for anything that has not already been approved for this site. The market is showing a recent interest in housing for elderly people, such as communities of homes for active seniors and assisted living apartments. City and County housing efforts focus on addressing the needs of low- and moderate-income individuals and households of special needs populations, who have difficulty securing housing they can afford and/or that accommodates their disabilities or other special needs. This request will help in the efforts to create an affordable living situation for the elderly population that the City is currently trying to address.

The Use-Specific Standards and newly permissive uses will not cause any adverse effects on the surrounding community, rather, they will bring life to this vacant site and provide community/city necessities and employment opportunities. This zone change will be beneficial to the surrounding area.

Staff: The applicant compared the existing NR-C zoning and the proposed MX-M zoning. Uses that would become permissive under the MX-M zone, which are not currently allowed, are townhouse, live-work to higher density multi-family, assisted living community residential facility, dormitory, group homes, and outdoor residential community amenity outdoor and indoor. Some conditional uses would be a community center or library along with a park-and-ride lot (see table).

The applicant discussed each use that would become permissive if the request is approved. Adding group living (uses not allowed in the NR-C zone) to the area would generally not be considered harmful. The area is mostly characterized by single-family dwellings south of the subject site and it would be advantageous to the existing residents for the future services to be located in close proximity. The Comprehensive Plan and the IDO generally encourage a variety of land uses. The response to Criterion D is sufficient.

- E. The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:
1. Have adequate capacity to serve the development made possible by the change of zone.
 2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
 3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
 4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City- approved Development Agreement between the City and the applicant.

The City's existing infrastructure and public improvements, including but not limited to its' street, trail, and sidewalk systems meet requirements (1) because the City's existing infrastructure and public improvements currently have adequate capacity to serve the development made possible by the zone change. The existing infrastructure includes but is not limited to water, sewer, roadways, and storm facilities. As a result, the development does not require a major or new city service expansion, as it is also an infill site.

However, it is fully understood that development of this property may require upgraded infrastructure, both public and /or private to adequately service the needs of the development. Although specific improvements are unknown at this time, the applicant has sufficient resources to guarantee any work needed via the Infrastructure Agreement process with the City of Albuquerque.

Staff: The City's existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the zone change (Criterion 1) . The response to Criterion E is sufficient.

- F. The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

The justification for the Zoning Map Amendment provided herein is not based on the property's location along a major street. The property is located along two Local Urban Streets (High Assets Way NW and All Saints Road NW). These streets do not constitute as major streets. Major streets are classified as arterials and collectors. The justification is based on a preponderance of applicable Goals and policies of the Comprehensive Plan as outlined in the "Policy Narrative". The policy analysis revealed that this request is consistent with the health, safety, and general welfare of the City.

This request will encourage development of this large vacant site and will be a great infill project that will support the public good. This zone change seeks to provide the opportunity to develop the site into an Assisting Living facility along with an Independent Living Facility that are in demand in the surrounding area and the City as a whole. This location would be a viable place for the proposed uses to stay, expand, and thrive. Lastly, the city's existing infrastructure and public improvements currently have adequate capacity to serve the development made possible by the zone change.

Staff: Staff agrees that the Applicant's justification is not completely based on the property's location on a major street. The property is located on High Assets Way NW and All Saints Road NW that are classified as local urban streets. The response to Criterion F is sufficient.

- G. The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

The justification is not based completely or predominantly on the cost of land or other economic considerations and are not the determining factors for this zone change request. The justification is based on an in-depth analysis of the applicable Goals and Policies the Comprehensive Plan

demonstrated above. There are a variety of different and applicable Goals and Policies that are consistent with the health, safety, and general welfare of the City. The subject site under the MX-M will allow for growth within established corridors, encourage development that broadens housing options to meet a range of incomes and lifestyles, and support additional growth in areas with existing infrastructure and public facilities. However, the economics associated with the development of the vacant site are and should be important factors to both the applicant and the City since it will efficiently upgrade public infrastructure while also upgrading the community as a whole.

Staff: Economic considerations are always a factor, but the Applicant's justification for the MX-M zone is not based completely or predominantly on the cost of land or economic considerations. Rather, the applicant has demonstrated that the request furthers a preponderance of applicable Comprehensive Plan Goals and policies and therefore would generally be more advantageous to the community than the existing zoning. The response to Criterion G is sufficient.

- H. The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:
1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
 2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
 3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

The Zone Map Amendment does apply a zone different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone"). The requested MX-M zoning will clearly facilitate implementation of the ABC Comp Plan as amended and qualifies under criteria (1) in that the site can function as a transition between the adjacent zone districts. This is because many of the ABC Comp Plan Goals and Policies have been furthered as articulated in the "Policy Analysis" section above. This proposed zone change will allow for the implementation of development and implementation of patterns of land use that are consistent with the ABC Comp Plan conditions. It also qualifies because the surrounding area is a mixed community with both residential and commercial zone districts/uses and the MX-M zone is an appropriate transition between the NR-C zone and R-1 zone. The MX-M zone will protect the neighborhood to the south (R-1A) in a greater way than the existing NR-C zone does. The permissive uses under the MX-M zone are greatly limited and are not considered harmful unlike the NR-C zoning. This in turn will benefit the surrounding neighborhoods functioning as a transition between adjacent zone districts. The R-1A zoning is classified as a protected lot and the NR-C zoning allows for more intense commercial uses as opposed to the MX-M zoning, which contains a mix of permissive residential and commercial uses that will be less harmful to the surrounding community.

It is more appropriate for moderate-intensity retail, commercial, institutional and moderate-density residential uses to develop on a site where additional residential uses are desired. The site is along two Local Urban Streets and it is more appropriate to have lower intense uses because it is not a major street that can take the heavy commercial traffic flow. Local streets are intended to carry low traffic volumes. The MX-M zoning and the proposed uses would be in line with the local street classification as opposed to the existing zoning that only contains commercial uses that have the potential to bring in large traffic volumes. The lower zoning designation will benefit the surrounding single-family neighborhoods and mitigate the traffic volumes on the two Local Urban Streets.

The proposed zoning has less intense permissive commercial uses, as a result decreasing the negative impacts on the surrounding neighborhoods. This will in turn minimize the negative impacts that the existing zoning and uses would have had on the neighborhood to the south of the site. This zone change will be beneficial to the surrounding area.

Staff: The request will create a spot zone because it will apply a zone different from the surrounding zone district. The request for the zone map amendment meets Criterion 1 because the subject property can function as a transition between adjacent zone districts by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) and the NR-C zoning to the north. The response to Criterion H is sufficient.

III. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application. Few comments were received. Agency comments are found on Pages 29-31.

Neighborhood/Public

The Westside Coalition of Neighborhood Associations, Taylor Ranch Neighborhood Association, and the Eagle Ridge Homeowners Association were required to be notified, which the applicant did (see attachments). Property owners within 100 feet of the subject site were also notified, as required (see attachments). A neighborhood meeting was not requested by any of the notified neighborhood associations.

As of this writing, Staff has not received any comment in support or opposition to the request.

IV. CONCLUSION

The request is for a Zoning Map Amendment (zone change) from NR-C to MX-M for Lot 2-A-1-B-2-B-3, Lot 2-A-1-B-2-B-2, and Lot 3-A-1-A, ABQ West Unit 2, located on High Assets Way NW, between Paseo del Norte NW and Eagle Ranch Road NW, approximately 4.9 acres (the “subject site”). The applicant wants to change the subject site’s zoning to MX-M in order to develop the three, vacant lots with a 40-unit assisting living facility and a 100-unit independent living facility. The subject site is in an Area of Change.

The Applicant has adequately justified the zoning map amendment based upon the proposed zoning being more advantageous to the community than the current zoning, and because it would further a preponderance of applicable Goals and policies in the Comprehensive Plan.

The affected neighborhood organizations are the Westside Coalition of Neighborhood Associations, Taylor Ranch Neighborhood Association, and the Eagle Ridge Homeowners Association. Property owners within 100 feet of the subject site were also notified as required. A neighborhood meeting was not requested by any of the notified neighborhood associations.

As of this writing, Staff has not received any comment in support or opposition to the request.

Staff recommends approval.

FINDINGS – RZ-2021-00016, June 17, 2021 - Zoning Map Amendment (Zone Change).

1. The request is for a Zoning Map Amendment (zone change) for an approximately 4.9-acre site legally described as Lot 2-A-1-B-2-B-3, Lot 2-A-1-B-2-B-2, and Lot 3-A-1-A, ABQ West Unit 2, located on High Assets Way NW, between Paseo del Norte NW and Eagle Ranch Road NW (the “subject site”).
2. The subject site is zoned NR-C (Non-Residential – Commercial Zone District) which was converted from the former zoning of SU-1 (PDA to include C-3 uses).
3. The applicant is requesting a zone change to MX-M (Mixed-Use – Medium Intensity Zone District) in order to facilitate future development of three vacant lots into a 40-unit assisted living facility and a 100-unit independent living facility although other uses would become permissive in the MX-M zone.
4. The subject site is in an Area of Change as designated by the Comprehensive Plan and is in the Northwest Mesa Community Planning Area (CPA).
5. The subject site is located within the Paseo Del Norte, Premium Transit Corridor as designated by the Comprehensive Plan. The subject site is within the boundaries of the Coors Boulevard Character Protection Overlay Zone, CPO-2.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers the following Goals and Policies from Chapter 4: Community Identity:
 - A. Policy 4.1.4 – Neighborhoods - Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

Although the subject site is not located in an area considered a traditional community, the request would enhance, protect, and preserve neighborhoods as key to long-term health and vitality by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) and the NR-C zoning to the north. Liquor retail is a permissive use in NR-C but becomes a conditional use in MX-M and the zone map amendment made possible by the request would provide further protection from that use being developed adjacent to existing single-family dwellings and religious institutions. Further development under the MX-M zone would be subject to applicable IDO standards that would serve to protect and preserve neighborhoods
8. The request furthers the following Goals and Policies from Chapter 5: Land Use:
 - A. Subpolicy 5.1.10b: Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

If the proposed zone map amendment is approved, the subject property would minimize negative impacts on nearby neighborhoods because it would function as a transition between adjacent zone districts by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) NR-C zoning and Transit Corridors to the north.

- B. Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The area is not necessarily considered a distinct community as the area is a mix of uses (residential, commercial, institutional/medical). However, the requested MX-M zone will permit for the development of future uses under the MX-M zone that could generally contribute to the health of the community through increased land use diversity and would be accessible from surrounding community.

- C. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient land use of land to support the public good.

The surrounding areas are mostly developed, even though the subject site is not. The area is served by existing infrastructure and public facilities, so the development made possible by the request would generally promote efficient development patterns and use of land.

- D. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an area with existing infrastructure and public facilities. The surrounding properties are already developed with a mix of uses and development of the subject site would support additional growth, while maintaining existing infrastructure.

- E. Policy 5.3.2 – Leapfrog Development - Discourage growth in areas without existing infrastructure and public facilities.

The request would facilitate mixed use development where infrastructure and public facilities already exist and thereby discourage growth in areas without existing infrastructure and public facilities.

- F. Policy 5.4.2 – West Side Jobs: Foster employment opportunities on the West Side.

This policy is furthered because the request would foster employment opportunities on the West Side as the MX-M zone would allow for the proposed development of the subject site and expand and offer more services than what is currently available in the

area. The services required by the proposed development would add to the jobs in the area which could be filled by West Side residents.

9. The request furthers the following Goals and Policies from Chapter 5: Land Use, pertaining to Areas of Change:

- A. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers this Goal because the subject site is in an Area of Change and the requested MX-M zone would offer an efficient development process for the subject site, thereby directing growth where it is expected and desired as well as reinforcing the intensity of the area. .

- B. Sub-Policy 5.6.2b – Encourage development that expands employment opportunities.

The request furthers this sub-policy because the MX-M zoning would facilitate group living and institutional development and help expand employment opportunities in the area. Some of the employment opportunities provided by the MX-M zoning would include civic/institutional uses, offices and services along with group living uses.

- C. Sub-Policy 5.6.2g – Encourage development where adequate infrastructure and community services exist.

The subject site is located in an area with adequate infrastructure and community services and the zone change would facilitate development of more community services.

10. The request furthers the following Goals and Policies from Chapter 8: Economic Development:

- A. Policy 8.1.2 – Resilient Economy – Encourage economic development efforts that improve the quality of life for new and existing residents and foster a robust, resilient and diverse economy.

The mix of uses allowed in the MX-M zone would facilitate the nearby community that is mostly residential to be more diverse in its' use and service offerings.

11. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(F)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- A. Criterion A: The applicant's policy-based response adequately demonstrates that the request furthers a preponderance of applicable Goals and policies regarding neighborhoods, infill and efficient development patterns and does not present any significant conflicts with the

Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and morals and general welfare.

- B. Criterion B: The subject site is located wholly in an Area of Change, so this Criterion does not apply.
- C. Criterion C: The subject site is located wholly in an Area of Change and the applicant is referring to sub-criterion 3, that a different zone district is more advantageous to the community as articulated by the Comprehensive Plan, including implementation of patterns of land use, development density and intensity, and connectivity. The applicant has adequately justified the request by stating it will provide for an opportunity to develop a different type of housing and services in an area that consists predominantly of single-family dwellings. The request would further Comprehensive Plan Goals and policies relating to land use, efficient development patterns, infill development, and economic development.
- D. Criterion D: The applicant compared the existing NR-C zoning and the proposed MX-M zoning. Uses that would become permissive under the MX-M zone, which are not currently allowed, are townhouse, live-work to higher density multi-family, assisted living community residential facility, dormitory, group homes, and outdoor residential community amenity outdoor and indoor. Some conditional uses would be a community center or library along with a park-and-ride lot (see table).

The applicant discussed each use that would become permissive if the request is approved. Adding group living (uses not allowed in the NR-C zone) to the area would generally not be considered harmful. The area is mostly characterized by single-family dwellings south of the subject site and it would be advantageous to the existing residents for the future services to be located in close proximity. The Comprehensive Plan and the IDO generally encourage a variety of land uses.
- E. Criterion E: The City's existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the zone change (Criterion 1) . The response to Criterion E is sufficient.
- F. Criterion F: The applicant's justification is not completely based on the property's location on a major street. The property is located on High Assets Way NW and All Saints Road NW that are classified as local urban streets.
- G. Criterion G: Economic considerations are always a factor, but the Applicant's justification for the MX-M zone is not based completely or predominantly on the cost of land or economic considerations. Rather, the applicant has demonstrated that the request furthers a preponderance of applicable Comprehensive Plan Goals and policies and therefore would generally be more advantageous to the community than the existing zoning.
- H. Criterion H: The request will create a spot zone because it will apply a zone different from the surrounding zone district. The request for the zone map amendment meets Criterion 1 because the subject property can function as a transition between adjacent zone districts by allowing a mix of uses that can serve as a transition between the low-density residential zoning found south of the subject site (R-1A) and the NR-C zoning to the north.

12. The applicant's policy analysis adequately demonstrates that the request furthers a preponderance of applicable Goals and policies in the Comprehensive Plan and does not significantly conflict with them. Based on this demonstration, the proposed zone category would generally be more advantageous to the community than the current zoning.
13. The affected neighborhood organizations are the Westside Coalition of Neighborhood Associations, Taylor Ranch Neighborhood Association, and the Eagle Ridge Homeowners Association. Property owners within 100 feet of the subject site were also notified as required.
14. A neighborhood meeting was not requested by any of the notified neighborhood associations.
15. As of this writing, Staff has not received any comments in support or opposition to the request.

RECOMMENDATION - RZ-2021-00016, June 17, 2021

APPROVAL of Project #: 2021-005439, Case #RZ-2021-00016, a zone change from NR-C to MX-M for Lot 2-A-1-B-2-B-3, Lot 2-A-1-B-2-B-2, and Lot 3-A-1-A, ABQ West Unit 2, located on High Assets Way NW, between Paseo del Norte NW and Eagle Ranch Road NW, based on the preceding Findings.

Silvia Bolivar

**Silvia Bolivar, PLA, ASLA
Current Planner**

Notice of Decision cc list:

cc: Deepesh Kholwadwala c/o Sun Capital Hotels, 8901 Adams Street, Suite A, Albuquerque, NM 87109
Modulus Architects, Inc. rokoye@modulusarchitects.com
Westside Coalition of Neighborhood Associations, Elizabeth Haley ekhaley@comcast.net
Westside Coalition of Neighborhood Associations, Rene Horvath aboard111@gmail.com
Taylor Ranch NA, Diana Shea secretary@tma.org
Taylor Ranch NA, Rene Horvath aboard111@gmail.com
Eagle Ridge Homeowners Association, Samantha Anderson sam@bluedoorhomes.net
Eagle Ridge Homeowners Association, Melanie McLaughlin melanie@bluedoorhomes.net
Legal, kmorrow@cabq.gov
EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Long Range Planning

No comments were provided.

Transportation Development Review Services

Hydrology Development

New Mexico Department of Transportation (NMDOT)

No adverse comments at this time.

Department of Municipal Development

No adverse comments.

Traffic Engineering Operations (Department of Municipal Development)

Street Maintenance (Department of Municipal Development)

RECOMMENDED CONDITIONS FROM THE CITY ENGINEER:

None.

Water Utility Authority

No adverse comment for the proposed site change.

Prior to entering DRB, an availability statement must be requested. The request can be made at the following link http://www.abcwua.org/Availability_Statements.aspx. Request shall include a Fire Marshal approved Fire 1 Plan, zone map showing the site location, proposed water demand, expected sanitary sewer outfall, and a Utility Plan. Please note that the Site Plan shall show domestic water, sanitary sewer, and proposed fire protection.

PNM

There are existing PNM facilities abutting the site and/or in easements within the edges of the site along all street frontages of High Assets Wy and All Saints Rd NW. Any relocation or alteration of existing PNM facilities is at the property owner's expense.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at www.pnm.com/erequest for PNM to review.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

Parks and Recreation

No comments.

Planning and Design

Open Space Division

City Forester

Police Department/Planning/Crime Prevention/Crime Free Program

No comments at this time.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division –

If the Amendment is approved, a site plan to scale approved for access by the Solid Waste Department will have to be required.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

Commuter Route 94 runs north-south on Eagle Ranch Road. Route service has been suspended due to COVID-19. The nearest active routes are the Fixed Routes 96, and 155, running north-south on Coors Boulevard.

Comments from Other Agencies

BERNALILLO COUNTY PUBLIC WORKS/TRANSPORTATION PLANNING

No adverse comments.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No adverse comments to

ALBUQUERQUE PUBLIC SCHOOLS

1. Project #2021-005439

Site is approximately one-half mile from Petroglyph Elementary School.

School Capacity

School	2019-2020 Enrollment	Facility Capacity	Space Available
Petroglyph Elementary School	689	660	-29
James Monroe Middle School	1,029	1,135	106
Cibola High School	1,904	2,160	256

MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)

MRMPO has no adverse comments.

For informational purposes:

- A proposed paved trail is identified in the Long Range Bikeway System on All Saints Rd in the project area.
- Paseo del Norte & Coors Blvd are identified as Rapid ride routes in the Long Range Transit Network:
 - o **The Long Range Transit Network** is an aspirational transit network that is not fiscally constrained and captures how the AMPA's overall transit network could feasibly grow in the region. This transit network is akin to the Long Range Roadway System and the Long Range Bicycle System. This transit network is expansive and includes routes that serve areas that are not dense and that have less frequent service. Therefore, it includes more defined types of service, ranging from Bus Rapid Transit (BRT) and Rapid Ride, to Primary, Secondary, and Tertiary bus routes. **The LRTN was modeled with peak headways of 7-15 minutes for the BRT and Rapid Ride services**, 15 minutes for primary routes, 25 minutes for secondary routes and 35 minutes for tertiary routes.
- Appendix G of *Connections 2040* (MTP) recommends the following as it relates to the subject request:
 - o Promote a healthy jobs housing balance west of the river through preserving commercially zoned land, site-readiness programs, etc.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT



**Figure 1: Subject site, facing south,
standing on High Assets Way NW**

**Figure 2: Facing east, standing on
High Assets Way NW**



**Figure 3: Electric Facility, east of the
subject site.**



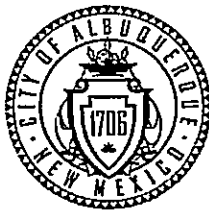
Figure 4: R-1A zoning, south of the subject site – standing on All Saints Road NW

Figure 5: NR-C zoning, west of the subject site.



Figure 6: Facing east on All Saints Road NW – posted sign

HISTORY



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 19, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003272
06EPC-00283 EPC Site Development Plan-
Subdivision

Dwayne Pino
P.O. Box 568i83
Albuq. NM 87187

LEGAL DESCRIPTION: for all or a portion of
Lots 2-A-1-B-2, 3-A, 4-A-1, **Albuquerque West,**
Unit 2, zoned SU-1 for PDA to include C-3 Uses,
located on the south side of PASEO DEL
NORTE NW, between EAGLE RANCH ROAD
NW and COORS BLVD. NW, containing
approximately 10 acres. (C-13) Stephanie
Shumsky, Staff Planner

On May 18, 2006 the Environmental Planning Commission voted to approve Project 1003272/06EPC-00283, a request for approval of a site development plan for subdivision, for Lot(s) 2-A-1-B-2, 3-A, 4-A-1, Albuquerque West, Unit 2, zoned SU-1 PDA to Include C-3 Uses with Exclusions, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request for approval of a site development plan for subdivision is for an approximately 10-acre parcel, zoned SU-1 PDA to Include C-3 Uses with Exclusions, located on Eagle Ranch Road NW between Paseo del Norte NW and All Saints Road NW.
2. The subject site is zoned SU-1 PDA to Include C-3 Uses with Exclusions. The exclusions include tire capping/retreading, contractor's yard, equipment rental, bulk fuel storage or sales, auto dismantling, and outdoor building material storage or sales unless incidental to retail sales and adequately screened. In addition to the uses excluded by the zoning, the applicant proposes to exclude the following uses: antenna, manufacturing (of some products), adult amusement establishment or adult store, automotive engine manufacturing, sheet metal working, ice plant wholesale, kennel, warehousing, bottling, railroad right-of-way and incidental facilities, and cold storage plant.
3. The request furthers goals and policies of the Comprehensive Plan:

- a. The Established Urban Area goal and policies are furthered:
 - i. The goal and policies a, and d are furthered because the zoning for the subject site allows for a full range of land uses and the proposed layout and design standards will accommodate many uses and building types. The design will be complementary to existing surrounding uses. The subject site is an undeveloped parcel in the midst a developed area. The site is contiguous to urban facilities and services and the design standards proposed will provide a complementary interface between the development and the residential neighborhood to the south.
 - ii. Policies e and i are furthered because attempts to minimize any adverse effects on the adjacent residential area are addressed in the design standards and include the shielding of lights, landscaping, screen walls, and pedestrian connections.
 - iii. Policy g is furthered because Eagle Ranch Road is planned to have a bike lane. The developer is required to construct this bike lane and the proposed development will have connection to it.
 - iv. Policies j and k are furthered because the subject site is in close proximity to the Coors/Paseo Activity Center and is zoned to allow a variety of commercial uses. The proposed design standards provide an array of techniques that can be used to minimize effects of the development and provide a buffer between the adjacent roadways and the neighborhood.
 - v. Policies l and m are furthered because the proposed design standards allow for quality in building design, layout and materials. The proposed architectural style and building layout is appropriate to the plan area and is similar to other developments within and in close proximity to the Coors Corridor. While building heights of 3.5 stories are allowed vistas and views will not be blocked because of the site's topography. Taller buildings may be sited on the eastern portion of the site, which is lower than the western portion of the site.
- b. The subject site is not located in a designated activity center but it is in close proximity to the Coors/Paseo Community Activity Center. The Activity Center goal and policies a, b and f because development on the subject site will provide a transition from the intense uses within the activity center to the less intense uses of the residential neighborhood to the south. The proposed design standards allow for a site layout that provides a pedestrian and neighborhood friendly interface to the neighborhood. In addition, the layout and site design of the development may increase the walkability of the entire area since it will provide destination points for nearby residents.
- c. The request furthers the Air Quality goal and policies b, d and i because the allowed uses will provide employment opportunities and reduce the need to drive across the river for services and jobs. Area residents will have an opportunity to walk and bike to the development instead of driving. In addition, the proposed design standards limit parking and focus on the enhancement of pedestrian walkways and access.
- d. The request furthers the Noise goal and policy a because development on the subject site will provide a buffer between Paseo del Norte and the residential neighborhood to the south.

- e. The request furthers the Developed Landscape goal and policy d because the proposed design standards allow for a variety of architectural elements while providing a consistent design theme. Limitations on signage and lighting help to reduce any adverse visual impacts and a consistent landscape theme and planting material selection help to provide visual interest and lower the potential for blowing dust and erosion.
 - f. The request furthers the Community Identity and Urban Design goal and policies d and e because the design standards provide for an identifiable development that relates well with surrounding development. The allowed uses can act as a transition between the more intense uses of Paseo del Norte and the activity center to the north and the less intense uses of the residential area to the south. The development will relate well to adjacent roadways because sidewalks and pedestrian connections are proposed and the intent of the site layout is to have the parking areas toward the center of the site with buildings on the outside. The buildings will have pedestrian connection to the building entrances, patios and covered entranceways.
 - g. The Water Management goal and policy a are furthered because various water harvesting techniques will be utilized to capture wastewater. The use of low-water use landscaping will help to conserve water as well.
 - h. The Transportation and Transit goal and policies g and o are furthered because the primary roadways adjacent to the site are designated as principal arterials/enhanced transit corridors and the allowed uses are appropriate for these types of roadways. Pedestrian connections to Eagle Ranch Road are proposed and the zoning allows commercial uses, which are needed in this area of the community. Peak hour demands on the transportation system may be reduced because local residents can walk or bicycle to the site.
 - i. The Economic Development goal and policies a and g are furthered because the allowed uses will provide employment opportunities for area residents and will provide places for residents to shop and seek services. Employment, service and commercial uses are needed on the west side in order to contribute to the jobs/housing balance.
4. The request furthers goals, objectives and policies of the West Side Strategic Plan:
- a. Goal 12 and Objectives 1 and 8 are furthered because a variety of employment, service and retail uses are allowed under the current zoning. Many potentially adverse uses are excluded in order to make the development more neighborhood friendly. Employment opportunities will be created and will require employees with a variety of skills and abilities. Development of the site with a mix of uses will result in a reduction in the number of cross-metro trips and may result in an increase in pedestrian and bicyclist activity in the area. The eventual development of the site will relate to Eagle Ranch Road via pedestrian connections, which residents can then utilize to travel to the activity center to the north.
 - b. Policy 1.1 is furthered because the site is adjacent to the Coors/Paseo Community Activity Center and Taylor Ranch Community area and provides a transition from the intense uses within the activity center to the low intensity residential area to the south.
 - c. Policies 1.5 and 1.14 are furthered because pedestrian and bicycle connections will be provided that connect the subject site to the activity center and transit bus stops.

- d. Taylor Ranch Community policies 3.12 and 3.16 are furthered because the subject site is located at the intersection of two major roadways and because the zoning allows for a mix of commercial and public uses that are appropriate within the Taylor Ranch Community.

5. The request furthers goals and policies of the Coors Corridor Plan:

- a. Land Use and Intensity of Development policies 3, 5, and 7 are furthered or partially furthered by this request because the Plan recommends commercial uses for the subject site and the site's zoning allows for a variety of these uses. The development intensity allowed by the zoning and site design guided by the design standards provides the framework for appropriate development adjacent to the two primary arterials. Policy 7 is partially furthered because clustered development is not specified as a design standard.
- b. Visual Impressions policies 2 and 3 are furthered because the development will not infringe upon views along the Coors Corridor. The design standards ensure that future development will be compatible with surrounding development and will be consistent in its architectural theme throughout the site.
- c. Several Site Planning and Architecture policies are furthered by this request:
 - i. Policy 2 is furthered because the design standards indicate that the bulk of each building will be scaled back and internal to the lots and the edges will be more human-scaled along the sidewalks. Covered awnings and porticos will easily identify building entrances. Pedestrian walkways will lead to building entrances and will connect to the adjacent sidewalks and roadways.
 - ii. Policy 4 is furthered because the design standards provide for thoughtful landscape design with low-water use plants and water harvesting techniques..
 - iii. Policy 5 is furthered because parking spaces will be limited to the minimum required by the Zoning Code plus 10%. The off street parking areas will be landscaped, broken up into smaller segments and will be placed internal to the site.
 - iv. Policies 7 and 8 are furthered because separate vehicular and pedestrian access will be provided from adjacent roadways and a bike lane will be constructed along Eagle Ranch Road. Bicyclists will have easy access to the site and bike racks will be provided throughout the site.
 - v. Policy 9 is furthered because site lighting will be appropriate to the scale of development, will not be excessive or glare onto adjacent property (residential or commercial). Low level, pedestrian scaled lighting will be used along pedestrian walkways and other accent lighting will be utilized on buildings and in plazas and common areas.
 - vi. Policy 10 is furthered because of the consistent design theme proposed in the design standards. The contemporary southwest architecture, with modern and traditional elements, will contribute to the variety of existing architectural styles in the surrounding area, while not mimicking them, and will contribute to the visual attractiveness of the Coors Corridor.

6. Pursuant to the annexation agreement approved for the subject site (F/S O-186) the following shall be delegated to the Development Review Board:

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- a. All platting and replatting.
 - b. Site development plans for building permit provided that:
 - i. The proposed uses are either residential or among those first listed as permissive in the C-1 or O-1 zones, and;
 - ii. Structures do not exceed 2.5 stories in height, and;
 - iii. 15% of the paved areas are landscaped and buffer landscaping is in accordance with section 40.J of the Comprehensive Zoning Ordinance (now part of the Landscape Requirements of the Zoning Code);
 - iv. The F.A.R. does not exceed .50
 - c. Approval of a Site Development Plan for Subdivision pursuant to the City Zoning Ordinance, and all site development plans for building permit other than those listed above are to be reviewed by the Environmental Planning Commission. However, if a Site Development Plan for Subdivision is approved by the EPC, all subsequent site development plans for building permits shall be delegated to the Development Review Board.
7. All previous platting and the creation of the existing three lots was completed at the DRB. Therefore, there are no conditions or findings to reference. The applicant is proposing to reconfigure the existing three lots into seven new lots and includes design standards to ensure that future development has a consistent architectural theme, is pedestrian oriented, and includes a compatible mix of uses.
 8. Eagle Ranch Road is proposed to contain on-street bicycle lanes as designated on the Long Range Bikeway System map.
 9. The City Engineer may require up to six (6) additional feet of right-of-way on Eagle Ranch Road to accommodate the designated bicycle lane.
 10. Residential Uses were originally contemplated for a use within this zoning when the original ordinance was proposed. Due to the recent elimination of residential uses as a conditional uses in the C-3 zone (O-05-127), residential uses are currently prohibited on the site under the existing zoning. A zone change to a residential zone category designation must occur in order to allow residential uses on the subject site.
 11. The proposed design standards comply with or are more restrictive than Zoning Code regulations. The recommended conditions of approval will ensure that the site develops to meet the intent and spirit of the Zoning Code and other City Plans and Policies.
 12. The Paradise Hills Civic Association and the Piedras Marcadas Neighborhood Association as well as property owners within 100' of the subject site were notified of this request. A facilitated meeting was held on Thursday March 6, 2006. There is neighborhood support for this request. There is no known neighborhood or other opposition. The facilitated meeting report indicates that the residents want a contemporary/modern/urban type of development architecture and layout that incorporates southwest elements but does not mimic traditional southwest architecture.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall meet with the staff planner prior to DRB application submittal to ensure that all conditions of approval are met.
3. Conditions from the City Engineer, Municipal Development, Water Authority and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. A Traffic Impact Study (TIS) has been submitted and reviewed by Transportation Staff. However, an update may be required depending on a revised trip generation.
 - d. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - e. Site plan shall comply and be designed per DPM Standards.
 - f. Platting must be a concurrent DRB action.
 - g. Dedication of an additional 6 feet of right-of-way along Eagle Ranch Road as required by the City Engineer to provide for on-street bicycle lanes.
 - h. Construction of the bicycle lane along Eagle Ranch Road adjacent to the subject property, as designated on Long Range Bikeways System map.
 - i. No Direct access to Paseo Del Norte will be permitted.
4. Condition from Solid Waste Management Department's Refuse Division: Site plan shall comply with all SWMD ordinances and requirements.
5. Conditions from the Fire Department:
 - a. Fire hydrants shall be installed to provide adequate flow and distance requirements prior to any material being delivered to building sites.

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- b. Buildings 30 feet or taller require road width to be minimum 26 feet wide unobstructed access for ladder apparatus
 - c. Commercial buildings 30 feet or taller require 26 feet wide unobstructed access to three sides of each structure.
 - d. Buildings 30 feet or taller must conform to NFPA 13 Fire sprinklers with standpipe connections.
 - e. Roadways used for Fire Department Access 32 feet wide or less must be striped fire lane along one side.
6. Two free-standing monument signs are allowed to identify the project. One on Eagle Ranch Road and one on Paseo del Norte. Only building-mounted signage is allowed on individual lots.
7. A zone change is required to allow residential uses.
8. PNM requires phase to ground clearances be maintained for all transmission lines, no more than 2' of fill be placed at mid span locations. Ground elevations must be maintained at all pole structure locations. PNM must have access to all portions of the right-of-way road including all pole structures and substations within the proposed development. No tall streetlights or signs allowed beneath or in close proximity of the transmission lines. PNM must review and approve all current and proposed road crossings within the development.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 2, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

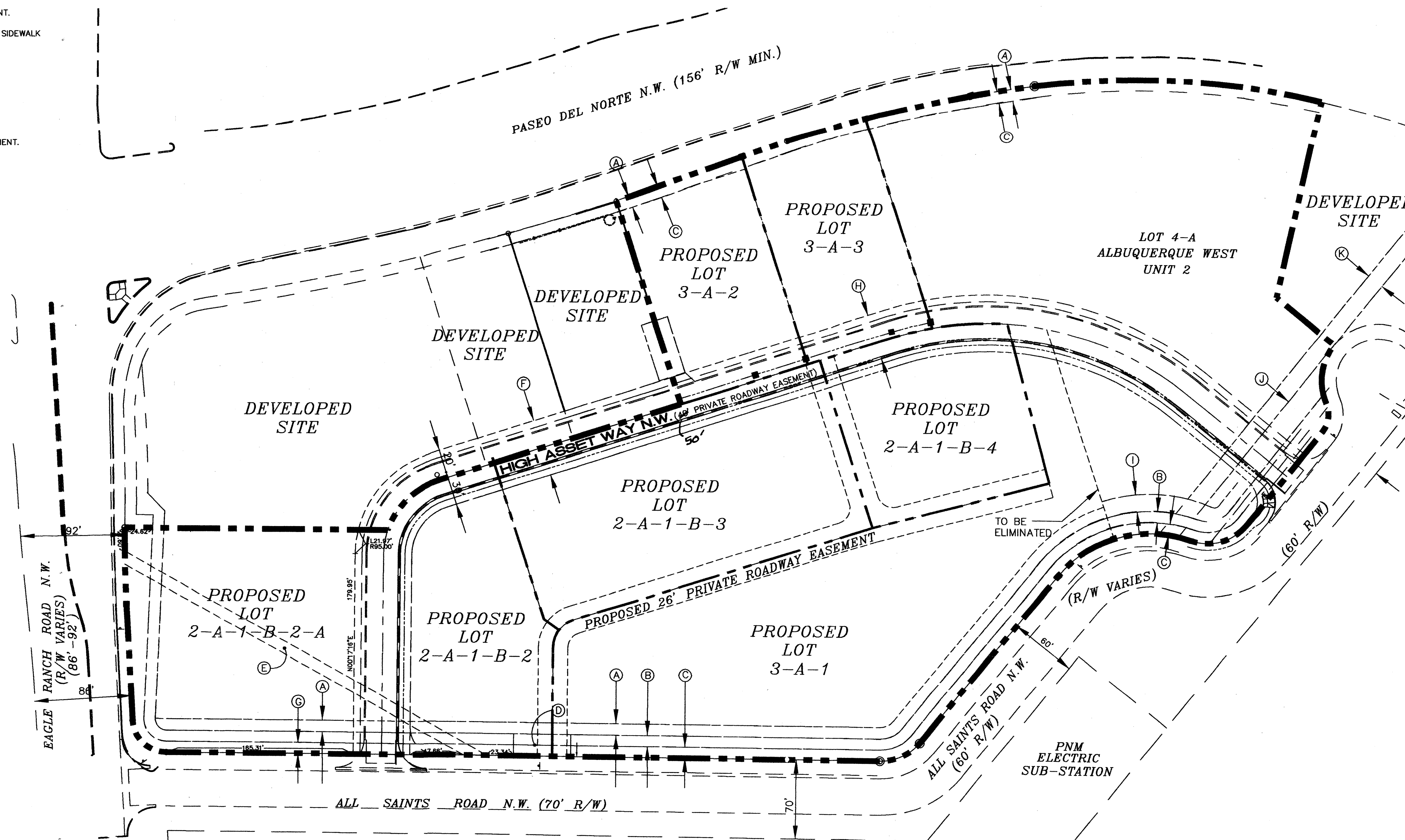
Sincerely,


Richard Dineen
Planning Director

RD/SS/ac

cc: Consensus Planning, 302 8th St. NW, Albuquerque, NM 87102
Larry Weaver, Paradise Hills Civic Assoc., 6001 Unitas Ct. NW, Albuquerque, NM 87114
Tom Anderson, Paradise Hills Civic Assoc., 10013 Plunkett Dr. NW, Albuquerque, NM 87114
Gerri Warner, Piedras Marcadas NA, 8715 Tia Christina NW, Albuquerque, NM 87114
Zora Gordley, Piedras Marcadas NA, 8615 Tia Christina NW, Albuquerque, NM 87114
Jeff Melvin, Rancho Sereno NA, 4115 Grande NW, Albuquerque, NM 87120
Sander Rue, Rancho Sereno NA, 7500 Rancho Solano Ct. NW, Albuquerque, NM 87120
Bill Jack Rodgers, Taylor Ranch NA, 8308 Cedar Creek Dr. NW, Albuquerque, NM 87120
Robert Wood, Taylor Ranch NA, 6500 Carney Ave. NW, Albuquerque, NM 87120

- (A) EXISTING 10' NMUI EASEMENT.
- (B) EXISTING WATER & SANITARY SEWER EASEMENT.
- (C) EXISTING 10' PUBLIC UTILITY EASEMENT.
- (D) EXISTING 50.59'X20' DRAINAGE EASEMENT.
- (E) EXISTING 10' DRAINAGE & UTILITY EASEMENT.
- (F) EXISTING 50' PRIVATE ACCESS, DRAINAGE, SIDEWALK AND UTILITY EASEMENT.
- (G) EXISTING 10' PUBLIC UTILITY EASEMENT.
- (H) EXISTING 40' PRIVATE ACCESS, DRAINAGE, SIDEWALK AND UTILITY EASEMENT.
- (I) EXISTING 15' NMUI EASEMENT.
- (J) EXISTING 100' PNM EASEMENT.
- (K) EXISTING 15' UNDERGROUND UTILITY EASEMENT.



This site plan will conform to all the requirements contained in the City of Albuquerque Comprehensive Zoning Code. Additional standards above and beyond the requirements contained in the Zoning Code are found in the Design Standards (Sheet 2).

The site is located within the Albuquerque West Unit 2 Subdivision and consists of approximately 9.2 acres and is comprised of three separate parcels. The legal description for each parcel is:

Lot 2-A-1-B-2, consisting of approximately 4.4460 acres;
 Lot 3-A, consisting of approximately 2.6685 acres;
 Lot 4-A-1, consisting of approximately 2.1252 acres;

Lot 2-A-1-B-2	Lot 2-A-1-B-2-A
Lot 2-A-1-B-3	Lot 3-A-2
Lot 2-A-1-B-4	Lot 3-A-3 (.5 to 1.0 acre)
Lot 3-A-1	

The zoning for the site is as follows:
Lots 2-A-1-B-2-A, 3-A-2, 2-A-3, and 4-A, the zoning is SU-1 for C-3 permissive and conditional uses, with exclusions as listed on Sheet 2, Design Guidelines.
Lots 2-A-1-B-2, 2-A-1-B-3, 2-A-1-B-4 and 3-A-1, the zoning is SU-1 for C-3 permissive and conditional uses with exclusions as listed on Sheet 2, Design Guidelines; and restricted uses as governed by the R-2 zone.

VEHICULAR ACCESS - High Asset Way NW will provide vehicular access to the site, a fully developed private road. High Asset Way NW can be accessed off of All Saints Road NW. There will be no vehicular access from Paseo del Norte.

STREET(S) - Existing - Paseo Del Norte (north): 156' min. R/W
Eagle Ranch Rd. (west): 86'-92' R/W
All Saints Rd. (south): 60'-70' R/W
All adjacent roadways are public and in place.

Proposed - High Assets Way NW (private road)
Road is fully developed and bisects the said tracts.

PEDESTRIAN ACCESS - Pedestrians will be provided direct access through the development from entryways off of High Asset Way NW and All Saints Road NW. Pedestrian access shall be provided by sidewalks constructed within the Public R.O.W for All Saints Road NW and the Private Road easement of High Asset Way NW. Pedestrians will have clear access to all building entrances.

BICYCLE ACCESS - According to the Long Range Bikeway System Map, there are several proposed or existing bike facilities in the area. Eagle Ranch Road is proposed for a bike lane, which connects to an existing bike lane on Paradise Boulevard. Although there is no direct access to the lane on Coors. Irving Boulevard contains a lane that connects to Coors Boulevard for North-South travel.

TRANSIT ACCESS - There is no direct transit service to the site. The closest stop is located at Eagle Ranch Road and Irving Boulevard, served by the Route 94.

INTERNAL CIRCULATION - Internal roads will be designed and built in compliance with the DPM even though High Asset Way is a private street. For vehicular access, there will be driveways that access each lot. Pedestrian circulation will be facilitated through a network of sidewalks that lead from the parking areas to the use or dwelling unit. Shared access and drive aisles between the lots are required.

UTILITY - Public utilities are in place within the private roadway limits and are covered by a public utility easement for water and sanitary sewer.

Maximum Building Height: Allowable building heights shall conform to the provisions found in the Zoning and Special Use Parameters, approved by Council Bill F/S O-186, Enactment No. 33-1985, Exhibit A. This Bill allows buildings to be 3.5 stories on all tracts. Each story shall not exceed 13 feet in height for a maximum total of 52 feet. The top ½-story is allowed 13 feet in height, but shall not exceed 50% of the floor area of the floor below it.

Minimum Building Setbacks: The minimum setback for all buildings shall be setback in accordance with the Albuquerque Zoning Code as follows:

Non-Residential

- a. Front Yard: 5 Feet
- b. Side Yard: 0 Feet
- c. Corner Side Yard 5 Feet
- d. Rear Yard: 0 Feet
- e. A setback of 11 feet shall be required from the junction of a driveway or alley and a public sidewalk or planned public sidewalk. Buildings will be pulled forward as much as possible.

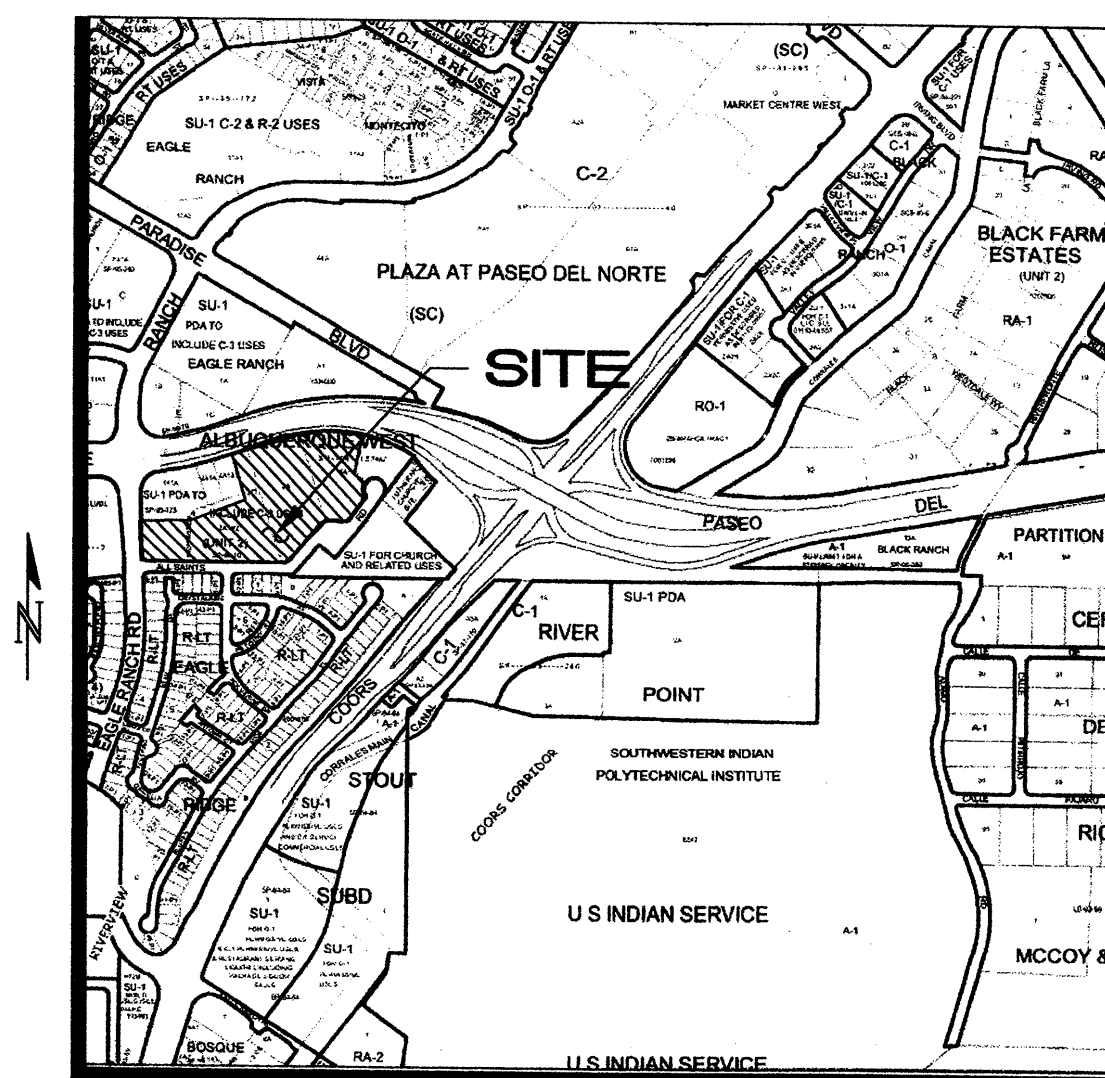
Residential

- a. Front Yard: 10 Feet, maximum will be 30'.
- b. Side Yard: 5 Feet
- c. Corner Side Yard: 10 Feet
- d. Rear Yard: 15 Feet

*Maximum Floor Area Ratio: Range of .5-1.0

Parking Areas:
Parking will be provided in compliance with 14-16-3-1 of the City of Albuquerque Zoning Code. The maximum amount of parking will be the minimum allowed plus 10%.

* As established by Annexation Ordinance, Council Bill No. F/S 0-186, Enactment No. 33-185.



SITE VICINITY

PROJECT NUMBER: 1003272
Application Number: ~~06EPC-00203~~ 06DRB-00941

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 18, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

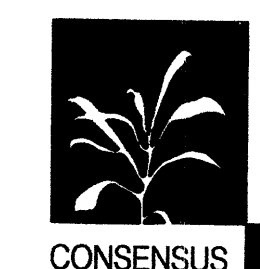
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	7-26-06
William G. Baker	7/26/06
Water Utility Department	Date
Christine Randolph	8/2/06
Parks and Recreation Department	Date
R. J. 25	7/26/06
City Engineer	Date
N/A	
* Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
Malone	07/26/06
DRB Chairperson, Planning Department	Date

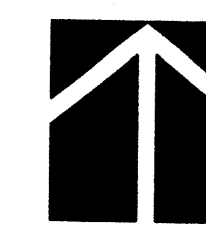
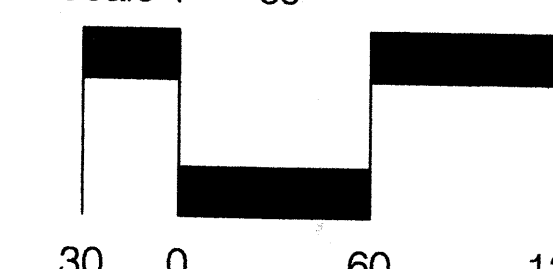
SITE DEVELOPMENT PLAN FOR SUBDIVISION ALBUQUERQUE WEST UNIT II

Prepared for:
Ameri Contractors, LLC
P.O. Box 56883
Albuquerque, NM 87187

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



Scale 1" = 60'



non

July 24, 2006

Sheet 1 of 2

PROJECT # 1003672
Inc. 102

Design Standards for Albuquerque West Unit 2

A. Site Plan Submittals

Approval of a site development plan for subdivision pursuant to the City Zoning Ordinance, and all site development plans for building permit other than those listed below are to be reviewed by the Environmental Planning Commission. However, if a site development plan for subdivision is approved by EPC, all subsequent site development plans for building permits shall be delegated to the Development Review Board.

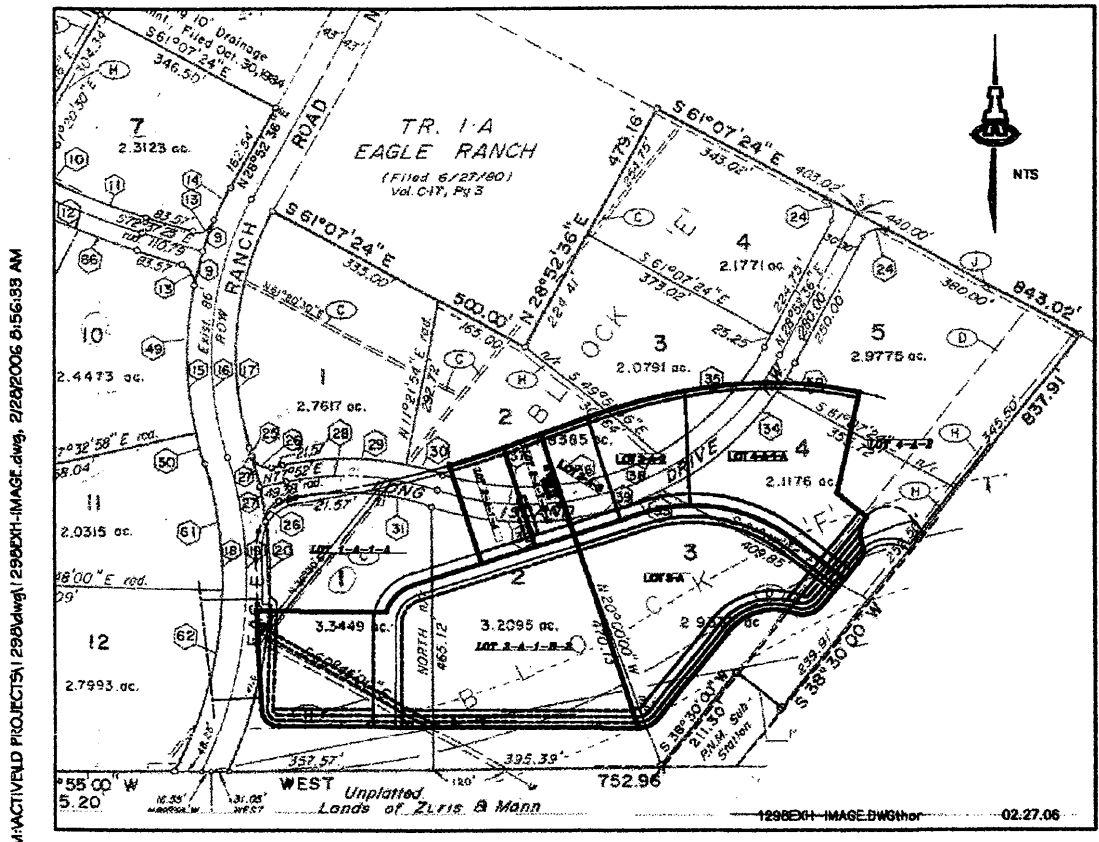
B. Site

The site covered by these Guidelines consists of approximately 9.2 acres of undeveloped land bounded by Paseo del Norte NW to the North, Eagle Ranch Road NW to the West, All Saints Road NW to the south, and Coors Boulevard NW to the East. The subject site is comprised of the following lots, Lot 2-A-1-B-2, Albuquerque West Unit 2; Lot 3-A, Albuquerque West Unit 2; and Lot 4-A-1-A, Albuquerque West Unit 2.

The lots listed above were listed on the original annexation plat as the following:

Lot #	Block #	FAR	Building Height
2	E	1.0	6 stories
3	E	1.0	6 stories
1	F	0.8	3.5 stories
2	F	0.8	3.5 stories
3	F	0.8	3.5 stories
4	F	1.0	6 stories
5	F	1.0	6 stories

The graphic below shows the subject site overlayed on the original platting in order to clarify how the subject site corresponds to the original lots and blocks.



C. Land Use Concept

The land use concept seeks to create a truly integrated mixed-use development that contains office/commercial/retail and high density residential that is both pedestrian and transit friendly. The site design seeks to create a development characterized by a pleasing outdoor environment. The internal street network and pedestrian connectivity will create a cohesive community identity. New development will be designed to be compatible with the natural landscape and the built environment. These design guidelines also complement the Fountain Hills development located immediately to the north. As a result, such guidelines relating to color and architectural style are consistent with design guidelines that have been approved for the Fountain Hills project.

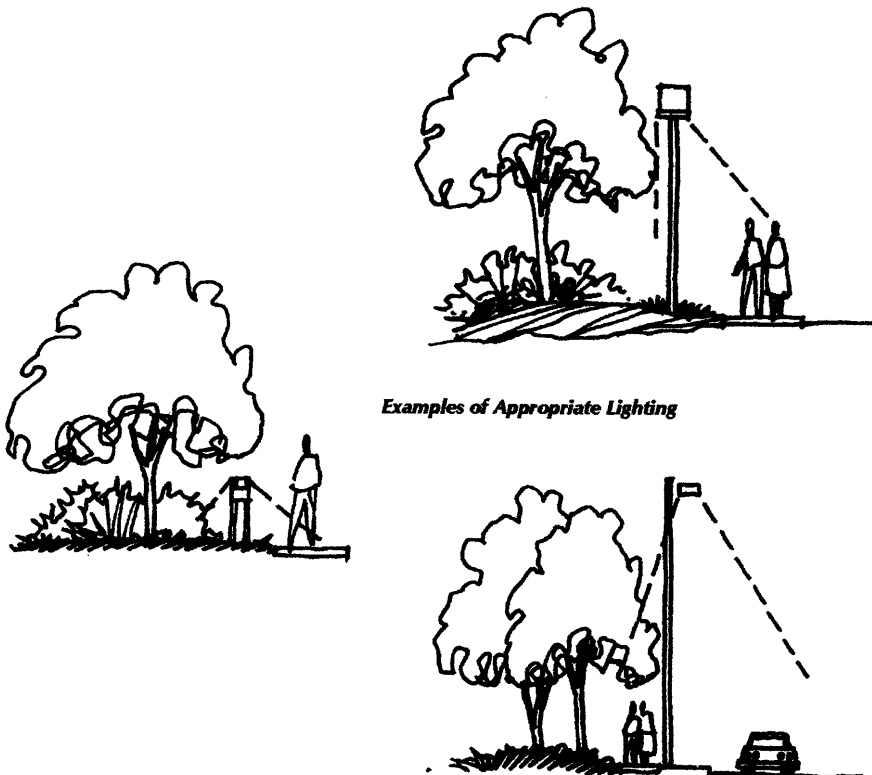
D. Zoning and Proposed Uses

Per Council Bill F/S O-186, Enactment Number 33-1985, the zoning of the site has been established as SU-1 for C-3 permissive and conditional uses. Exclusions identified in the Council Bill include the following:

- Tire recapping or retreading
- Contractors yard
- Equipment rental
- Bulk fuel storage or sales/Gasoline service stations
- Automobile dismantling
- Outdoor building material storage unless incidental to retail sales and adequately screened

In addition to the uses listed in the Council Bill, the following uses will also be excluded from developing on the site:

- Antenna (without height limitation)
- Building/structure sub assembly
- Drive-in, drive-thru restaurants
- Metal stamps, tool, and die making
- Welding as principal activity
- Plumbing, assembling only (plumbers office permitted)
- Signs, commercial advertising structures
- Adult amusement establishment or adult store
- Automotive engine manufacturing
- Sheet metalworking
- Ice plant wholesale
- Kennel
- Warehousing
- Bottling
- Railroad right-of-way and incidental facilities
- Cold storage plant



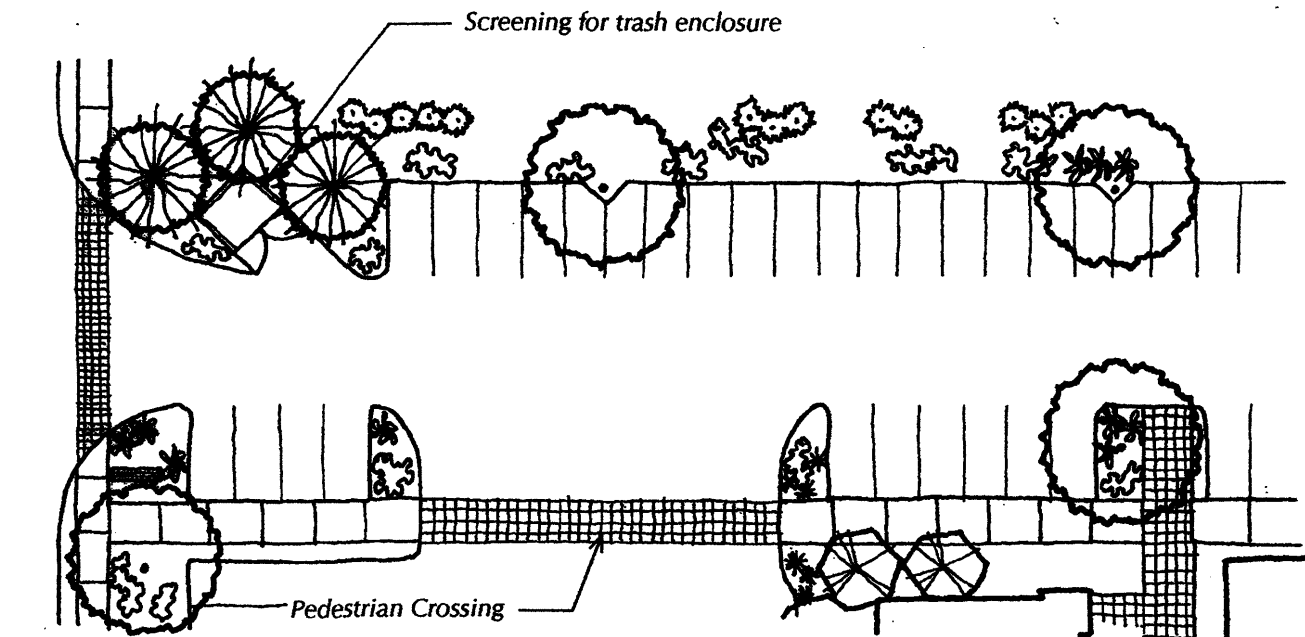
E. General Design Criteria Applicable to All Sites

1. Utilities

All new power and telephone lines shall be underground.

2. Buffering

- Landscape buffers shall be utilized between the edge of the frontage of properties and all public and private roadways. The landscape buffers shall include trees spaced a minimum of 25 feet on center and include a minimum of 25% coniferous trees.
- Project edges along Paseo del Norte, Eagle Ranch Road NW, and All Saints Road NW shall include a minimum of 10-foot landscape setback from the property line.
- A minimum of a 10-foot landscaped buffer shall be provided between all commercial and residential areas, unless integrated vertically.
- A landscape buffer shall be provided around the perimeter of each lot where adjacent to a roadway or residentially zoned area, except where the building is directly adjacent to a sidewalk and/or pedestrian walkway.



3. Parking Lot Design and Landscaping

- The number of parking spaces, including bicycle parking, shall be provided in accordance with the City Comprehensive Zoning Code. The minimum number of parking spaces is the maximum allowed plus 10%.
- Motorcycle parking spaces shall be provided as per City Comprehensive Zoning Code Section 14-16-3-1.
- All parking spaces shall be set back a minimum of 10 feet from any private drive easements or property lines, except where a reciprocal parking and access agreement has been recorded between properties.
- Adequate stacking distance at street entrances shall be provided to avoid circulation conflicts within the project site.
- Where possible, parking areas with greater than 100 spaces shall be split into several areas to avoid large expanses of parking lot.
- One tree shall be planted per every ten parking spaces.
- 75% of the parking area trees shall be deciduous and have a mature height of at least 25 feet.
- Parking areas adjacent to Paseo del Norte, Eagle Ranch Boulevard NW, and All Saints Road shall be screened by walls and/or landscaping with a minimum height of 72". Barrier curbs shall be provided around all landscape areas in parking lots to protect the landscaping from vehicles. The barriers shall have water run-off openings to allow surface drainage into landscape areas to promote water harvesting.
- Wall material shall consist of integrally colored concrete, rammed earth, concrete masonry, stacked stone, or stuccoed masonry block, and shall be complimentary to adjacent exterior buildings.

4. Site Landscaping and Irrigation

- Landscaping shall comply with the Albuquerque Landscaping and Water Waste Ordinance and Pollen Control Ordinance.
- A minimum of 15% of the site shall be landscaped, excluding building area.
- Live plant materials shall cover a minimum of 80% of all landscape areas.
- Landscape headers shall be used to separate turf and bedding areas. Headers may be concrete, brick or similar materials.
- An automatic, underground irrigation system shall be installed for all landscape areas. The system shall be designed to avoid over spraying. The system shall have centralized computer controls. Backflow prevention devices shall be provided in accordance with applicable City requirements.
- Turf areas shall be irrigated by an underground drip irrigation system. Pop-up sprinklers shall not be allowed. Trees, shrubs and ground covers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire system shall be designed to maximize water efficiency.
- The irrigation system shall be selected to allow potential use with treated water systems (non-potable) when available.
- Minimum plant material sizes shall be as follows:
 - 1) Canopy Trees 2" caliper, balled and burlapped
 - 2) Evergreen Trees 8' minimum height
 - 3) Accent Trees 15 gallon, balled and burlapped
 - 4) Shrubs 1-gallon minimum
 - 5) Ground Covers 1-gallon minimum
- A maximum of 20% of all landscape areas may be low water use turf.

5. Site Lighting

- Site lighting shall comply with the requirements of the City Comprehensive Zoning Code, Section 14-16-3-9. Lights shall not shine on adjacent residential property.
- Fixture mounting height shall be appropriate to the project and environment. Low bollard-type lighting is required for pedestrian walkways, where possible. Mounting height of lights in parking lots shall not exceed 20 feet. When within 100 feet of a residential zone, the mounting height of lights shall not exceed 16 feet.
- Exterior lighting should be designed as an integral part of the architecture and landscaping of the project.
- Lighting fixtures shall have to shielding to minimize light spillage on to adjacent properties and public rights-of-way.
- Sodium and cobalt lighting fixtures shall not be permitted.

6. Architectural Theme and Design

These design standards shall apply to commercial/office and residential development. The theme of development for Albuquerque West Unit 2 is to be Contemporary Southwest. All buildings constructed in Albuquerque West Unit 2 will be developed under this style. This theme is characterized by innovative and progressive uses of southwestern materials and forms that are encouraged to create a context appropriate site with distinctive appeal. Expressive massing is encouraged to create an activity center with a unique identity. Building articulation shall be detailed in accordance with Modern and current methods rather than referencing traditional techniques. Mimicking distinct historical styles such as Pueblo Revival, Territorial, Northern New Mexico, or Tuscan should be avoided although contemporary interpretations of traditional elements are acceptable. Buildings throughout the site shall be designed to create an integrated whole that is contextually related, although not continuous with, buildings in the vicinity.

- All buildings shall achieve a sense of human scale by use of such devices as wall insets, portals, balconies, and window projections. Columns, arcades, corner articulation, overhangs, awnings, gutters and scuppers, breezeways, and shall should be designed and detailed to provide human scale and visual interest and all building elements and facades shall be comparably detailed.
- Building footprints should be staggered to create visual character and interest. Long, unarticulated facades shall be avoided.
- Plazas and patios shall be created by offsetting building masses.
- The use of trellis, awnings, and similar coverings should be used to pedestrian travel paths.
- Roofs that overhang entry points and patio/plaza areas are encouraged to provide shelter for users.
- All buildings shall incorporate energy conservation measures in the design. If solar heat collector panels and similar equipment is used, it shall be designed to be a visually integral part of the building.
- Parapet walls shall be architecturally integrated into the building and shall not appear as unrelated visual elements.
- All mechanical equipment and flat roofs shall be screened from public view. The screening shall be integral to the architecture of the building. Where parapets are used, the parapet shall be taller than all equipment it is meant to screen. Ground-mounted equipment is preferable to roof-mounted equipment.
- Building entries should be protected from the elements and provide a "sense of entry". Feature lighting of the entrance is encouraged.
- Building colors shall consist of the following (or variations thereof):

Field Stucco Colors:		
Sandalwood	Soft Tan	Driftwood (tan)
Light Brown	Warm Gray	

Accent Stucco Colors:		
Green Slate	Silver Blue	Dark Red
Orange/Brown	Steel Gray	Terra-cotta
Brick Red	Medium Blue	Brown Slate

- Materials that cause excessive glare or reflection shall not be used.
- Projects containing more than one building should provide a variety in building height and massing. Lower buildings shall be located adjacent to roadways with larger buildings toward the interior.
- Trademark and franchise style buildings are prohibited.
- The finish on each building facade shall be consistent on each side.
- Building massing and rooflines will be designed in a way that avoids long, blank facades and uniform rooflines.

7. Signage

Signage shall be consistent with the Coors Corridor Plan and applicable City Comprehensive Zoning Code regulations as follows:

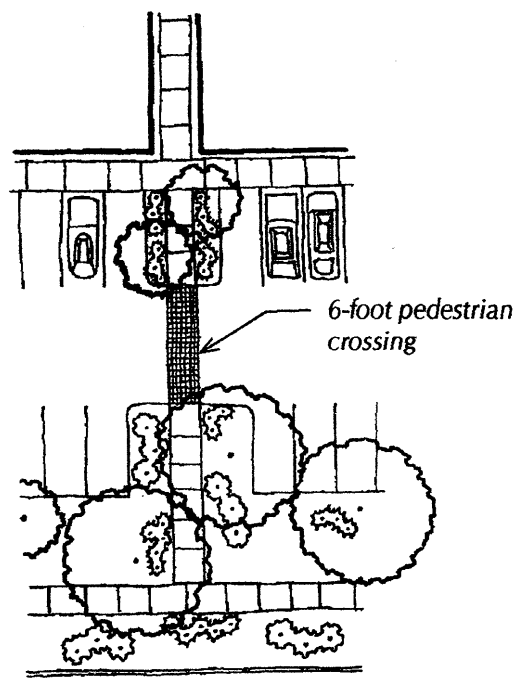
- Freestanding Signs**
 - Monument signs height and sign face regulations shall comply with the City of Albuquerque Zoning Code.
 - One free-standing monument sign is allowed on Eagle Ranch Road and Paseo del Norte to identify the project. Individual lots shall not have free-standing or monument signs. Only building-mounted signage is allowed on individual lots.
 - Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires, or similar devices.
 - No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
 - Signs shall not overhang into the public right-of-way or extend above the parapet roof line.
 - Off-premise signs and portable signs are prohibited.
 - Lettering on a freestanding sign shall not exceed nine (9) inches in height.
 - Monument signs shall not be internally lit. Low level uplighting is permitted provided it is in compliance with the Night Skies Ordinance.
- Building Mounted Signs**
 - Building-mounted signage shall identify the name and business of the occupant or those who are offering the premises for sale or lease.
 - No building-mounted sign shall intrude upon any structural features, including windows, columns, moldings, or decorative features.
 - Building mounted signage shall not exceed 6% of the area of the façade to which it is applied if there is no free-standing or monument sign on the premises, or 5% of the area of the façade if there is such a free-standing monument sign on the premises.
 - Lettering on building mounted signs shall not exceed 24 inches in height.
 - No internally lit building mounted signs shall be permitted.
 - Building mounted signs may be back lit or illuminated with building mounted down lighting.
 - Lighting of building mounted signage facing the south, towards the Eagle Ridge subdivision, shall not be permitted.

8. Walls and Screening

- The use of screening, buffering, and/or walls shall be utilized for parking lots, loading areas, refuse collection, and delivery/storage areas in order to limit their adverse impact on the property.
- All mechanical equipment shall meet the screening requirements of the City Comprehensive Zoning Code, Section 14-16-3-1 (E) (4).
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site. Multiple lots shall share solid waste refuse enclosures where possible to avoid an excess of refuse enclosures and associated screen walls.

9. Walls and Fencing

- Visually permeable fences and walls up to six (6) feet high are permitted. The first 42 inches of the wall may be solid.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to transit, bike trails, and other properties.
- The maximum height of retaining walls shall be 6 feet. Areas requiring more retainage shall be terraced.



10. Site Design

- Cross access easements shall be provided between adjoining properties.
- Outdoor patio spaces with shade trees and/or shade structures are required.
- Sidewalks along public rights-of-way shall be 6-feet wide.
- Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways, including the route from Eagle Ranch Road to the development, in addition to the proposed public sidewalk. The use of asphalt for pedestrian trails and connections is prohibited.
- All primary pedestrian paths shall be designed to be ADA accessible.
- Private walkways may be soft surface, with a minimum width of 4 feet.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross-vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms, or pavers of various sizes.

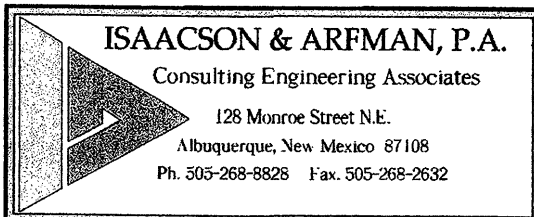
11. Additional Residential Standards

- In addition, the following standards apply to any residential development that occurs on the site:
- Individual dwelling units should be apparent in form to reduce the scale of the building and increase the sense of individuality.
 - Open courtyard designs are encouraged.
 - Balconies, patios and entrances should relate to pedestrian pathways and streets. Entrances should be articulated with the use of low walls, gateways, garden courtyards and similar features.
 - Dwelling units are allowed to be located above retail and office uses.
 - Useable outdoor space shall be provided for any residential use.
 - Street Edge for Residential Development
- In addition to the setbacks required under the general site design criteria, a combination of decorative fences, walls and/or landscaping shall be provide adjacent to streets to provide a secure residential environment. The perimeter treatment shall be designed such that street views to and from the property are not overly impeded. The perimeter treatment shall be compatible with adjacent development.

Design Standards Albuquerque West Unit 2

Prepared by:
Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102

Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108



June 29, 2006

SHEET 2 OF 2

ZONING

Please refer to IDO Sub-section 14-16-2-5(A) for the Non-Residential – Commercial Zone District (NR-C)

Please refer to IDO Sub-section 14-16-2-4(C) for the Mixed-Use – Medium Intensity Zone District (MX-M)

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input checked="" type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Deepesh Kholwadwala c/o Sun Capital Hotels		Phone: 505-238-9381
Address: 8901 Adams St. Suite A		Email: deepesh@suncapitalhotels.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Modulus Architects, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: awilliamson@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Agent	List all owners: ZIA TRUST INC CUSTODIAN JASON A SHAFFER IRA	

BRIEF DESCRIPTION OF REQUEST

Amend the current zoning from MX-M to NR-C.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LT 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A	Block:	Unit:
Subdivision/Addition: ABQ WEST UNIT 2	MRGCD Map No.:	UPC Code: 101306407821630903, 101306405622330910, 101306403521030911
Zone Atlas Page(s): C-13-Z	Existing Zoning: NR-C	Proposed Zoning: MX-M
# of Existing Lots: 3	# of Proposed Lots: 3	Total Area of Site (acres): 4.079 Acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: HIGH ASSETS ABQ NM 87120	Between: Paseo del Norte NW	and: Eagle Ranch RD NW
---	-----------------------------	------------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1003272/06EPC-00203/06DRB-00941 (Zone Map C-13) Assisted Living

Signature: Regina Okoye	Date: 5/6/21
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

Form Z: Policy Decisions

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ **INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)**

☒ N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Traffic Impact Study (TIS) form (*not required for Amendment to IDO Text*)

☒ Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (*not required for Amendment to IDO Text*) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

☐ **ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN**

☐ **ADOPTION OR AMENDMENT OF FACILITY PLAN**

___ Plan, or part of plan, to be amended with changes noted and marked

___ Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable

___ Required notices with content per IDO Section 14-16-6-4(K)(6)

___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

___ Proof of emailed notice to affected Neighborhood Association representatives

___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☐ **AMENDMENT TO IDO TEXT**

___ Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked

___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3)

___ Required notices with content per IDO Section 14-16-6-4(K)(6)

___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☒ **ZONING MAP AMENDMENT – EPC**

☐ **ZONING MAP AMENDMENT – COUNCIL**

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable

☒ Required notices with content per IDO Section 14-16-6-4(K)(6)

☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

☒ Sign Posting Agreement

☐ **ANNEXATION OF LAND**

___ Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*

___ Petition for Annexation Form and necessary attachments

___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)

___ Board of County Commissioners (BCC) Notice of Decision

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Regina Okoye

Date: 5/6/21

Printed Name: Regina Okoye

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

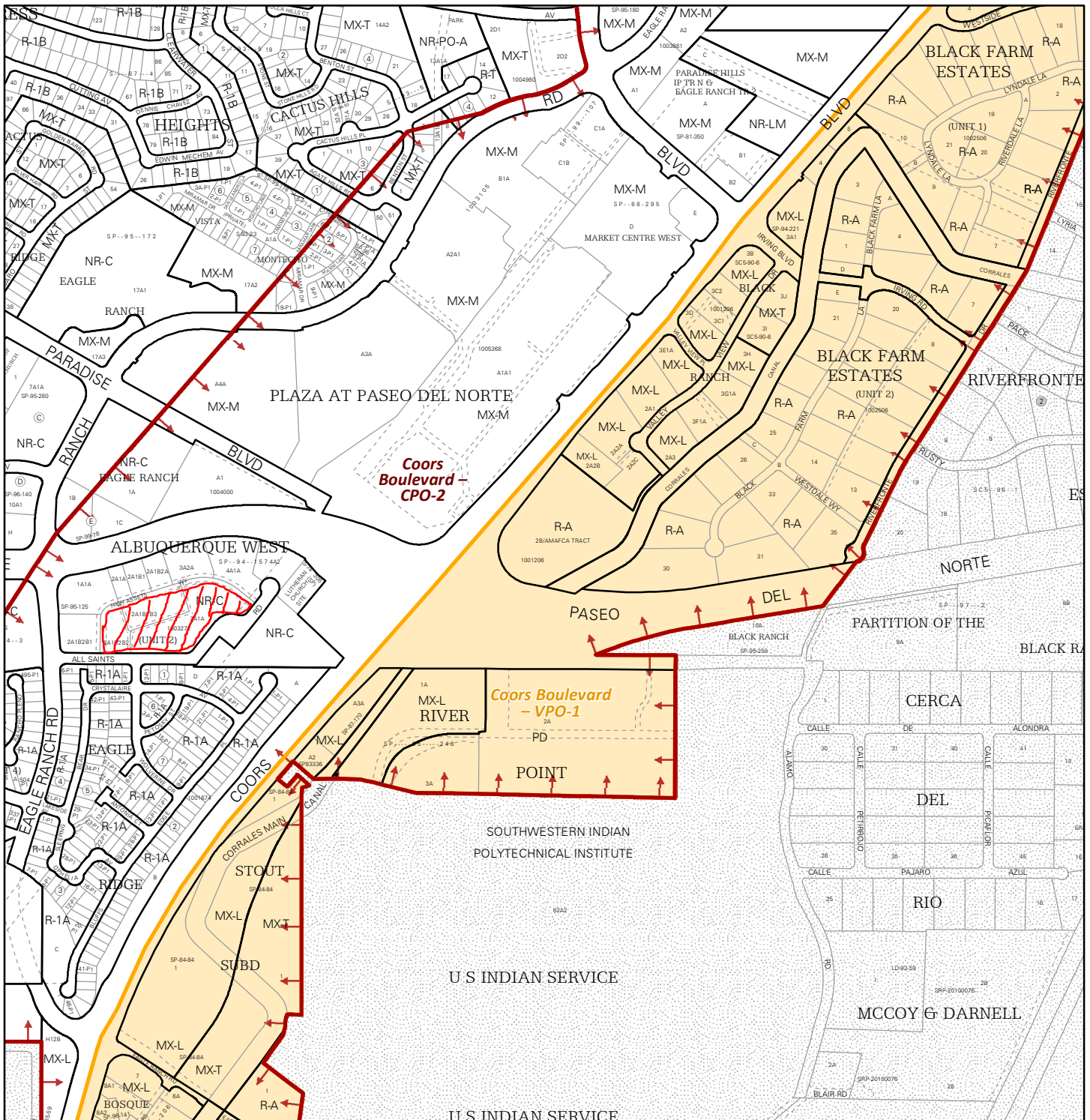
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Staff Signature:

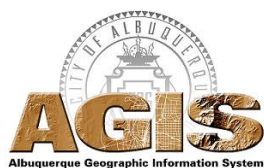
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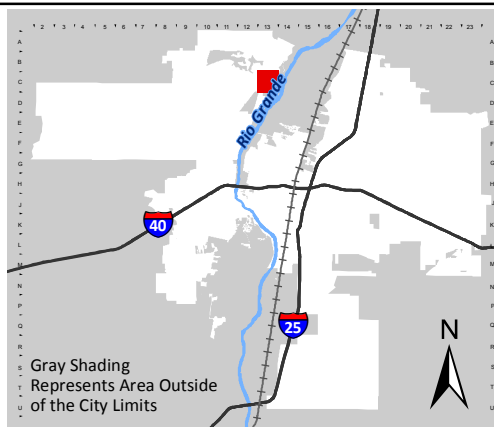


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-13-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet

City of Albuquerque
Environmental Planning Commission
Plaza Del Sol, 600 Second Street NW
Albuquerque, NM 87102

**RE: AGENT AUTHORIZATION NOTICE – ZONE MAP AMENDMENT REQUEST – SEC OF PASEO DEL NORTE
AND EAGLE RANCH – ALBUQUERQUE, NEW MEXICO 87120**

To Whom It May Concern,

Sun Capital Hotels c/o Deepesh Kholwadwala hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at the SEC of Paseo Del Norte and Eagle Ranch, Albuquerque NM, 87120 and legally described as:

LT 2-A-1-B-2-B-3 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A
ALBUQUERQUE WESTUNIT TWO CONT 1.2161 AC

LT 2-A-1-B-2-B-2 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A
ALBUQUERQUE WESTUNIT TWO CONT .7995 AC

LT 3-A-1-A PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A
ALBUQUERQUE WESTUNIT TWO CONT 2.8677 AC

This authorization is valid until further written notice from Sun Capital Hotels or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Environmental Planning Commission.

Sincerely,



Deepesh Kholwadwala
c/o Sun Capital Hotels
deepesh@suncapitalhotels.com

City of Albuquerque
Environmental Planning Commission
Plaza Del Sol, 600 Second Street NW
Albuquerque, NM 87102

**RE: AGENT AUTHORIZATION NOTICE – ZONE MAP AMENDMENT REQUEST – SEC OF PASEO DEL NORTE
AND EAGLE RANCH – ALBUQUERQUE, NEW MEXICO 87120**

To Whom It May Concern,

Zia Trust Inc. Custodian Jason A Shaffer IRA hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at the SEC of Paseo Del Norte and Eagle Ranch, Albuquerque NM, 87120 and legally described as:

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ALBUQUERQUE WESTUNIT TWO CONT 1.2161 AC

LT 2-A-1-B-2-B-2 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A
ALBUQUERQUE WESTUNIT TWO CONT .7995 AC

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ALBUQUERQUE WESTUNIT TWO CONT 2.8677 AC

This authorization is valid until further written notice from Zia Trust Inc. Custodian Jason A Shaffer IRA or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Environmental Planning Commission.

Sincerely,



Zia Trust Inc. Custodian Jason A Shaffer IRA
6301 Indian School RD NE Suite 890
Albuquerque NM, 87193



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: _____

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: **C-13-Z** DRB#: _____ EPC#: 1003272/06EPC-00203/06DRB-00941 (Zone Map C-13) Assisted Living Work Order#: _____

Legal Description: LT 3-A-1-A PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WEST UNIT TWO CONT 2.8677 AC
LT 2-A-1-B-2-B-3 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WEST UNIT TWO CONT 1.2161 AC
LT 2-A-1-B-2-B-2 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WEST UNIT TWO CONT .7995 AC

Development Street Address: 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW

Applicant: Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 Fax#: _____

E-mail: rokoye@modulusarchitects.com

Development Information

Build out/Implementation Year: _____ Current/Proposed Zoning: NR-C/MX-M

Project Type: New: () Change of Use: ☒ Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: ☒ Office: () Retail: () Mixed-Use: ()

Describe development and Uses:

Zone Map Amendment from NR-C to MX-M.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 40 Unit Assisted Living (19,500 sq. ft.) and 100 Unit Independent Living (83,000 sq. ft.)

Number of Residential Units: 40 Unit Assisted Living (19,500 sq. ft.) and 100 Unit Independent Living (83,000 sq. ft.)

Number of Commercial Units: N/A

Traffic Considerations

ITE #252 Senior Adult Housing-Attached

ITE #254 Assisted Living

ITE Trip Generation Land Use Code _____

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* #252-AM 8 trips, PM 12 trips; #254-AM 19 trips, PM 24 trips

Driveway(s) Located on: Street Name Proposed on: ALL SAINTS RD NW Total AM 27 trips, PM 36 trips

Adjacent Roadway(s) Posted Speed: Street Name ALL SAINTS RD NW Posted Speed not listed
Street Name HIGH ASSETS WY NW Posted Speed not listed

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: HIGH ASSETS WY NW – Local Urban Streets
ALL SAINTS RD NW - Local Urban Streets
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City
Eagle Ranch - 18800

Adjacent Roadway(s) Traffic Volume: Paseo Del Norte - 47500 Volume-to-Capacity Ratio (v/c):
(if applicable)

Adjacent Transit Service(s): Near Major Transit Corridor Nearest Transit Stop(s): Bus Stop Route 96,155

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Proposed Bike Route on ALL SAINTS RD NW
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: none

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:

M. P. E.

4/19/2021

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Linda Rumpf at lrumpf@cabq.gov

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email to awilliamson@modulusarchitects.com)

Address: Eagle Ranch RD & All Saints RD NW (4811 All Saints RD NW)

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST:

Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center, both of which were
approved on by the EPC/DRB Project #100327/06EPC-00203/06DRB-00941 IN 2006

SITE INFORMATION:

Zone: NR-C to MX-M

Size: 4.079 acres

Use: Vacant

Overlay zone: (CPO) - Character Protection Overlay
Zone (3-4)-Coors Boulevard – CPO-2

Comp Plan Area of: Change

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: Taylor Ranch NA; Westside Coalition of NAs

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained
from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: *See Zoning Comments

Review and Approval Body: * Is this a PRT requirement? See Table 6-1-1

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Download Forms & Applications

<https://www.cabq.gov/planning/online-forms>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

Your Questions

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

The Subject site is zoned NR-C, however, the site has an approved EPC/DRB Site Plan for Building Permit. Is this

Site Plan for Building Permit and its associated uses still Valid? What is the controlling regulation governing this

site? Would the SU-1 plan for C-3 permissive and conditional uses transition to the C-3 equivalent of the IDO?

What is the process moving forward for an approval of the uses listed in my PRT request?

Do I need a Zone Map Amendment?

Do I follow the approved design standards or the IDO?

If I do need a Zone Map Amendment, and assuming it is approved, what is the approval process for the Site Plan?

- Not valid
- Site Plan for Subdivision – DRB
- No because the zones are not permissive in NR-C
- Process – 6-7(G) Zoning Map Amendment
- Yes
- Design standards per the new Site Plan – DRB
- 6-6(I) Site Plan – DRB will follow the Zoning Map Amendment

Zoning Comments

The Site Plan for Subdivision has expired.

3-4(C) CPO-2

Area of Change

Calculated AGIS: 2.8677 acres

NR-C

Assisted Living Facility is not permissive in NR-C.

Definition

Assisted Living Facility

An establishment containing a combination of housing, supportive services, personalized assistance, and health care services designed to respond to the individual needs of those who need help with activities of daily living or memory care services, but not including skilled nursing care. Such facilities may include separate bedrooms or living quarters, a central or private kitchen, dining, recreational, and other residential accessory uses. See also *Nursing Home*, *Independent Living Facility*, and *Other Use Accessory to a Residential Primary Use*.

Independent Living Facility is not permissive in NR-C. 4-3(F)(10). Permissive Accessory in MX-M or MX-H.

Definition

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

Independent Living Facility

Multi-family housing accessory to either an assisted living facility or nursing home as part of a continuing care community that allows residents to transfer to higher levels of care as needed. Independent living units may be designed and constructed as part of a central multi-family building along with other levels of care or as attached or detached units similar to low-density residential development. Such facilities may include a central or private kitchen, dining, recreational, and other residential accessory uses. See also *Assisted Living Facility*, *Nursing Home*, and *Other Use Accessory to Residential Primary Use*.

PROCESS: 6-4(X) Expiration of Approvals

6-6(I) Site Plan – DRB

6-7(G) Zoning Map Amendment

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

For additional information contact Nilo Salgado (924-3630) or Jeanne Wolfenbarger (924-3991)

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
2. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

Platting and Public Infrastructure Requirements for Roadways

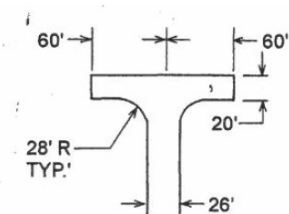
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

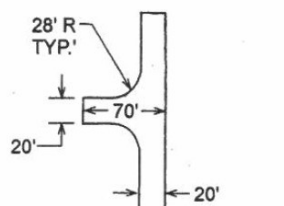
PA# 21-048 Date: 4/16/21 Time: N/A (sent via email)

Address: Eagle Ranch RD & All Saints RD NW

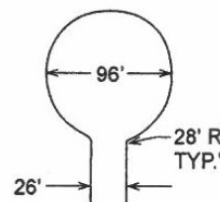
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
6. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
7. If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD

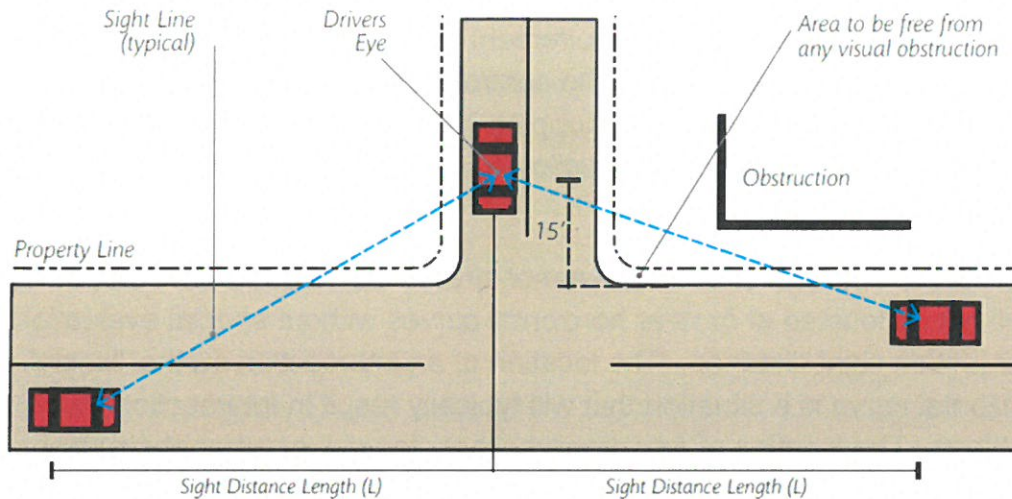


ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD



96' DIAMETER
CUL-DE-SAC

8. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
9. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.

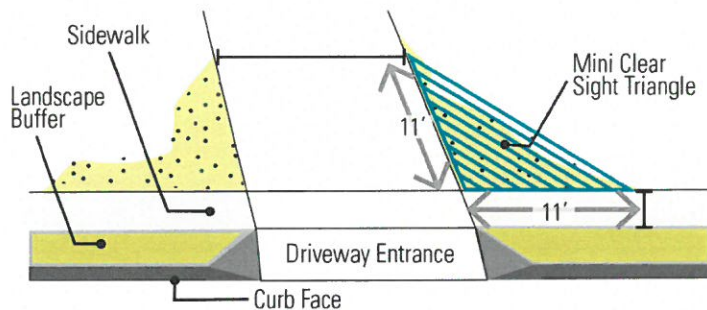
Figure 3.9.5-2 Intersection Sight Distance**Table 3.9.5-2 Minimum Intersection Sight Distance**

Speed Limit (mph)	Minimum Intersection Sight Distance (ft)					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12' Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230	200	240	200	250	200
25	280	240	300	240	320	240
30	340	290	360	290	380	290
35	390	340	420	340	440	340
40	450	390	480	390	500	390
45	500	430	530	430	570	430
50	560	480	590	480	630	480

3.9.5.4 Mini Clear Sight Triangle

Driveways need to maintain the mini sight triangle as shown in Figure 3.9.5-3. This triangle starts at the sidewalk and measures 11 feet on a side.

Figure 3.9.5-3 Mini Clear Sight Triangle



3.9.5.5 Visibility for Site Entrances and Driveways

Site entrances and driveways shall be designed to preserve the clear sight triangle free of visual obstruction as described in section 3.9.5.3 and 3.9.5.4 above.

3.9.5.6 Sight Distance Note

The following note is required in all site plans: Landscaping, signage, walls, fences, trees, and shrubbery between three (3') and eight feet (8') tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

3.9.5.7 Objects Permitted in the Clear Sight Triangle

Objects, that may be located in the sight triangle, include, but are not limited to, hydrants, utility poles, utility junction boxes, and traffic control devices provided these objects are located to minimize visual obstruction. Objects under eight inches (8") wide may be allowed.



Mr. Tim MacEachen
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

May 26, 2021

**RE: ZONE MAP AMENDMENT – EPC
SEC OF PASEO DEL NORTE AND EAGLE RANCH – ALBUQUERQUE, NEW MEXICO 87120**

**LEGAL DESCRIPTION: LOT 2-A-1-B-2-B-3, LOT 2-A-1-B-2-B-2 AND LOT 3-A-1-A OF ALBUQUERQUE
WEST UNIT TWO 4.9 ACRES**

Dear Mr. Chairman,

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Sun Capital Hotels, hereafter referred to as “Applicant” and Zia Trust Inc., hereafter referred to as the “Property Owner.” The agent is requesting approval of a Zone Map Amendment for three (3) parcels legally described above. The parcels (the “subject site”) are +/- 4.9 acres in size, zoned Non-Residential Commercial (NR-C) zone district and are located at the SEC of Paseo del Norte and Eagle Ranch along All Saints RD NW and High Assets WY NW.

The purpose of this letter is to provide the very pertinent background, policy analysis and justification for the proposed Zone Map Amendment request. This request is for a Zone Map Amendment from NR-C to Mixed-Use Medium Intensity (MX-M) zone district. The site is currently vacant and undeveloped. The MX-M zone is appropriate for this location and would allow the site to be developed in a manner more consistent with the previous approved uses and with the goals and policies of the ABC Comprehensive Land Use Plan.

PROPOSAL

This Zone Map Amendment request seeks to re-zone the subject property from NR-C to MX-M. This request will permit the vacant site to develop into an Assisted Living Facility and Independent Living Facility. The Independent Living Facility is anticipated for those age 55+ and there is no age restriction proposed for the Assisted Living Facility. These uses will be in line with historic approvals of the site. The MX-M zone district is more in line with developing the vacant site than the current NR-C zoning and is more advantageous to the community as articulated by the ABC Comp Plan goals and policies (*in italics*) and are furthered by the proposed zone change (**in bold**) noted in the “Policy Analysis” portion of this letter.



The MX-M zone will allow for the uses that were once approved. The site previously had an approved EPC/DRB Site Plan for Building Permit, however, due to unforeseen conditions, the approved plan did not get developed within the allotted timeframe required by the City. “The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors.” This request is in line with the definition above. This community is characterized with a mixture of commercial and residential zonings and uses. Residential uses are appropriate for this location.

SUBJECT SITE BACKGROUND

This site is within an area of change, partially within the boundary of the Coors Blvd. Major Transit Corridor and fully within the Paseo del Norte Premium Transit Corridor. The site is along two Local Urban Streets (High Assets WY NW and All Saints RD NW). The vacant site is within the Coors Blvd. Character Protection Overlay Zone (CPO-2). The subject site is also located within the North West Mesa Community Planning Area.

On May 18, 2006, the EPC voted to approve Project number: 1003272, a request for a Site Development Plan for Subdivision that included Design Standards. The request also included a Site Plan for Building Permit that included a 40 Unit Assisted Living Facility and a 100 Unit Independent Living Facility. This request was delegated to the DRB. The DRB approved this request on July 26, 2006 (Application No.: 06DRB-00941).

PROPOSED USES

The MX-M zone will allow for the proposed Assisted Living Facility and the Independent Living Facility to be developed on the subject site. The project will consist of a 40 Unit Assisted Living Facility and a 100 Unit Independent Living Facility, all of which was approved by the City in 2006. We are not asking for anything that has not already been approved for this site. These uses are defined as the following within the Integrated Development Ordinance (IDO):

- **Assisted Living Facility:** An establishment containing a combination of housing, supportive services, personalized assistance, and health care services designed to respond to the individual needs of those who need help with activities of daily living or memory care services, but not including skilled nursing care. Such facilities may include separate bedrooms or living quarters, a central or private kitchen, dining, recreational, and other residential accessory uses.
- **Independent Living Facility:** Multi-family residential development accessory to either an assisted living facility or nursing home as part of a continuing care community that allows residents to transfer to higher levels of care as needed. Independent living units may be designed and constructed as part of a central building containing multifamily dwelling units along with other levels of care or as attached or detached units similar to low-density residential development. Such facilities may include a central or private kitchen, dining, recreational, and other residential accessory uses.



The market is showing a recent interest in housing for elderly people, such as communities of homes for active seniors and assisted living apartments. City and County housing efforts focus on addressing the needs of low- and moderate-income individuals and households of special needs populations, who have difficulty securing housing they can afford and/or that accommodates their disabilities or other special needs. This request will aid in those efforts to create an affordable living situation for the elderly population that the City is currently trying to address. The newly permissive uses will not cause any adverse effects on the surrounding community, rather, they will bring life to this vacant site and provide community/city necessities and employment opportunities. This zone change will be beneficial to the surrounding area.

LAND USE CONTEXT

The surrounding areas are developed with a wide range of land uses (See Table 1 and Figure 1). The surrounding area, as shown below, contains a mix of residential, commercial, retail, office, and institutional uses.

Table 1: Surrounding Zoning & Land Use

SITE	IDO ZONING	LAND USE
SUBJECT SITE	NR-C	Vacant
NORTH	NR-C, MX-M	Vacant, Office, Institutional/Medical, Commercial, Multi-family
EAST	NR-C	Vacant, PNM Facility, Religious Institution
SOUTH	R-1A	Single-family Residential
WEST	NR-C, R-1A	Commercial, Retail Services, Single-family Residential

Figure 3. Subject Site (Highlighted in Blue)

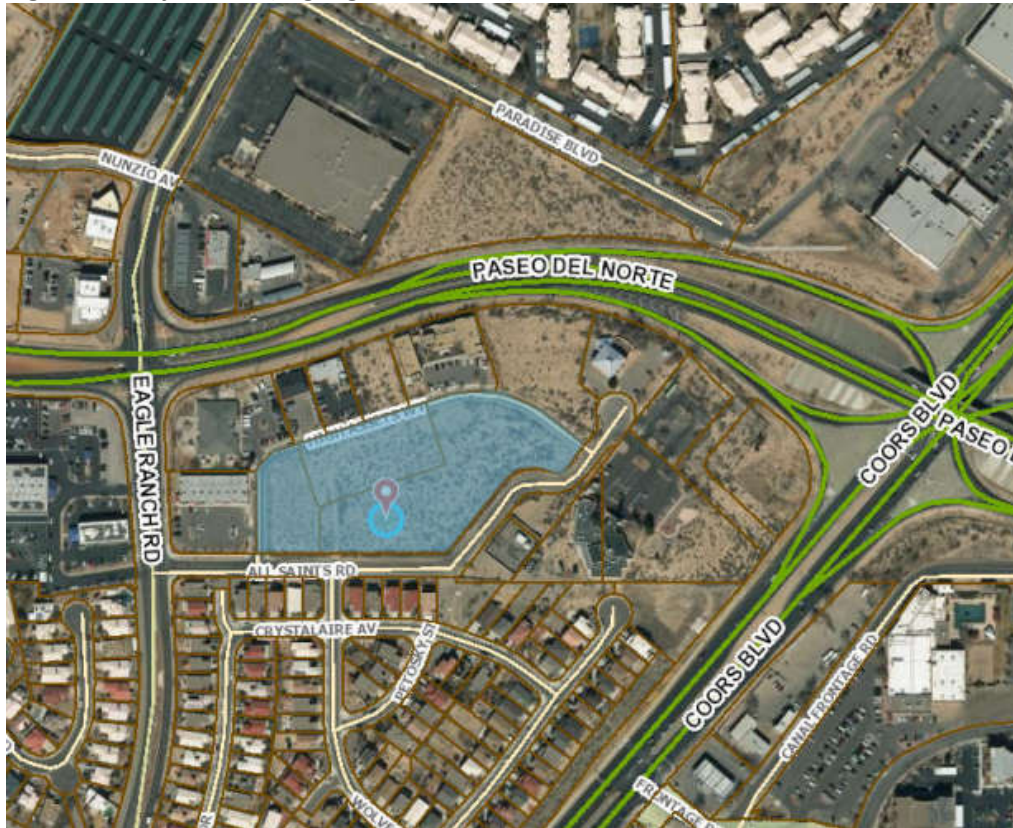




Figure 4: Subject Site Undeveloped Land (North View)



Figure 5: Subject Site Undeveloped Land (East View)





Figure 6: Subject Site Undeveloped Land (West View)



Figure 7: Subject Site Undeveloped Land (South View)





POLICY ANALYSIS

6-7(G) ZONING MAP AMENDMENT – EPC

6-7(G)(3) Review and Decision Criteria

An application for a Zoning Map Amendment shall be approved if it meets all of the following criteria:

- 6-7(G)(3)(a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

Response:

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comprehensive Plan, as amended, and other applicable plans adopted by the City. Below is the in-depth analysis of the applicable Goals and Policies:

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

CHAPTER 4: CHARACTER

Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. [ABC]

Response:

This request furthers Policy 4.1.4 because the MX-M zoning will enhance, protect, and preserve the neighborhood to the south because it will have less intense uses associated with the zone as compared to the existing NR-C zone. The characteristic of the community is a mixture of commercial and residential uses. There are commercial uses to the north, east and the west and there are residential uses to the south and the west of the subject site. The requested zoning will have newly permissive mixed uses that will be comparable to the immediate surrounding developments. The MX-M zone will act as a transition from the NR-C zone to the R-1A zone. The MX-M zone will protect the area by decreasing the intensity of the permissive commercial uses on site that are adjacent to single-family homes. It will also decrease the amount of traffic on the abutting Local Collector Roads (All Saints RD and High Asset WY). The requested MX-M uses will be consistent with the surrounding adjacent zone districts and uses. This request furthers Policy 4.1.4.



CHAPTER 5: LAND USE

5.1.1.4 Promote ongoing public-private cooperation necessary to create private market conditions that support intensified development of jobs and housing in Transit Corridors. [ABC]

Response:

The subject property is located fully within a Premium Transit Corridor and partially within a Major Transit Corridor on Albuquerque's Westside. The ability to develop the property in the future is crucial in order to provide a mix of uses to include the desired residential uses, employment and needed services necessary to create opportunities to live, learn and work and reduce the need to leave the Westside. The location is most appropriate to accommodate development in an infill location, in Transit Corridors listed above, and thus discourage the need for development at the urban edge. This request furthers 5.1.1.4.

POLICY 5.1.10

a) Encourage higher-density residential developments within ¼ mile of transit stops or stations.

Response:

The subject site is within ¼ mile of transit stops (Bus Stop Route 94, 96 and 155) furthering Policy 5.1.10(a). The MX-M zoning will introduce residential uses to the site. The proposed new permissive residential uses will constitute as higher-density residential developments. As a result, this request will encourage higher-density residential developments within ¼ mile of three different transit stops. This request furthers Policy 5.1.10(a).

b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas

Response:

This zone change will act as a transition between the commercial zoning (NR-C) and the residential zoning (R-1A) partially within a Major Transit Corridor and fully within a Premium Transit Corridor, furthering Policy 5.1.10 (b). The MX-M zone will minimize the negative impacts that the existing zoning and uses would have had on the neighborhood to the south of the site. The proposed zoning has less intense permissive commercial uses and will have no negative impacts on the surrounding neighborhoods. This zone change will be beneficial to the surrounding area. This request furthers Policy 5.1.10(b).

POLICY 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. [ABC]



Response:

This request will allow for a mixture of non-residential and residential uses that will help create a healthy, sustainable and distinct community in an area of change because the characteristics of the community will be maintained. The characteristic of the community is a mixture of commercial and residential uses. There are commercial uses to the north, east and the west and there are residential uses to the south and the west of the subject site. The requested zoning will have newly permissive mixed uses that will be comparable to the immediate surrounding developments. The mix of uses that will become permissive on site will be conveniently accessible from the surrounding neighborhood as there are two main streets (Eagle Ranch RD and Paseo del Norte) that are in close proximity to the subject site. The main roads allow for get accessibly for the surrounding neighborhoods. Eagle Ranch RD feeds into the subject sites' abutting road (All Saints RD NW) creating accessibility to the subject site. The MX-M zoning will facilitate infill development in a form that is scaled appropriate for the neighborhoods because of the IDO dimensional standards tied to the zone. The mixed use viability of the property is necessary to maintain productive use of the property and avoid the continued existence of an under-utilized property. This request furthers Policy 5.2.1.

GOAL 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good

Response:

This request furthers Goal 5.3 because it will promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good. The subject site is adjacent to existing residential and commercial developments; therefore, the requested MX-M zone and the newly permissive uses will maximize an efficient, development pattern of residential and commercial uses on an infill property, supporting the public good. If the subject site were to remain NR-C zoning, it would have a negative impact on the existing infrastructure as the site is along two Local Urban Streets and it is more suitable to have more intense uses because it is not a major street that can take the heavy commercial traffic flow. Local streets are intended to carry low traffic volumes. This request furthers Goal 5.3.

POLICY 5.3.1

Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

Response:

This request will support additional growth in an area of change with existing infrastructure and public facilities because the property is well serviced by existing infrastructure and other public facilities including access roads, water and sewage. This request furthers Policy 5.3.1.

POLICY 5.3.2

Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities. [ABC]



Response:

This request furthers Policy 5.3.2 by allowing for development in an area where there is existing infrastructure and public facilities that will fully support the development. The site is not located at the urban fringe furthering Policy 5.3.2.

GOAL 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development is and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Response:

This request furthers Goal 5.6 because the subject property is located in an Area of Change and will direct growth and more intense mixed use developments to include residential development to this corridor where change is encouraged and residential uses are desired. The proposed zone change and newly permissive residential uses will encourage growth and future development in an area with adequate infrastructure. The development of this site will provide employment and additional residential opportunities in the area. The characteristic of the community is a mixture of commercial and residential uses. There are commercial uses to the north, east and the west and there are residential uses to the south and the west of the subject site. The site is adjacent to an Area of Consistency and this amendment will reinforce the character and intensity of the surrounding area because the provisions that are set in place in both the IDO and the DPM. The IDO and the DPM will minimize potential negative impacts to the existing protected areas by creating a buffer and/or transition. This request is also less intense than the existing NR-C zone uses which will further protect the adjacent neighborhoods. This request furthers Goal 5.6.

POLICY 5.6.2

(b): Encourage development that expands employment opportunities.

Response:

This request will encourage development that expands employment opportunities because the development of this site will create jobs within an existing developed area with a mix of residential and non-residential uses. The designation of the MX-M zoning will allow for the site to develop, while expanding employment opportunities in this area of change. The site has stayed undeveloped under the existing NR-C zoning designation. This request will introduce residential uses to this site allowing for more flexibility in developing the land per market demands and historical uses. This request furthers Policy 5.6.2.

g) Encourage development where adequate infrastructure and community services exist.



Response:

This request will encourage development where adequate infrastructure and community services (preschool, schools and a park) exists because the development of this vacant site will be an infill project that has all the necessary infrastructure to support the new uses. There is a preschool adjacent to the site, a school across from Paseo del Norte and a park roughly 0.25 miles away from the subject site. This request furthers Policy 5.6.2 (g).

h) Encourage development in areas with a highly connected street grid and frequent transit service.

Response:

This request will encourage development in an area with a highly connected street grid and frequent transit services (Bus Stop Route 94, 96 and 155) because this site is highly accessible to the surrounding neighborhoods and is connected to a major street (Eagle Ranch RD NW). There are two main streets (Eagle Ranch RD and Paseo del Norte) that are in close proximity to the subject site. The main roads allow for easy accessibility for the surrounding neighborhoods. Eagle Ranch RD feeds into the subject site's abutting road (All Saints RD NW) creating accessibility to the subject site. This request furthers Policy 5.6.2 (h).

CHAPTER 8: ECONOMIC DEVELOPMENT

POLICY 8.1.2

Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy. [ABC]

Response:

This request will encourage economic development efforts that will improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy by providing additional community needs. The MX-M zone district will introduce residential uses to this site allowing for more flexibility in developing the land per market demands and historical uses. By converting to the MX-M zone district it will make possible the proposed Assisted Living Facility and the Independent Living Facility, adding to this community. The development of this site will provide jobs and needed services which will improve the life for new and existing residents and contribute to a diverse and vibrant economy by developing this large vacant site with growth that is consistent with and enhances the character of the existing community. Future development of the property has the capability to promote local hiring, promote higher wages and the facilities will contribute to the economic base of the community and region. This will then in turn improve the quality of life for new and existing residents and foster a robust, resilient, and diverse economy. This type of economic development is best suited for infill locations supported by commercial corridors (Eagle Ranch and Paseo del Norte). This subject site encompasses all aspects of successful economic development and furthers Policy 8.1.2.



CHAPTER 9: HOUSING

POLICY 9.1.1

Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households. [ABC]

Response:

This request furthers Policy 9.1.1 because supporting the development, improvement, and conservation of housing for a variety of income levels and types of residents and households proactively takes into account existing housing gaps as well as the needs of people who might live in the region in the future. The market is showing a recent interest in housing for older people, such as communities of homes for active seniors and assisted living apartments. City and County housing efforts focus on addressing the needs of low-income and moderate-income individuals and households of special needs populations, who have difficulty securing housing they can afford and/or that accommodates their disabilities or other special needs. This request will help in the efforts to create an affordable living situation for the elderly population that the city is currently trying to address. This request further Policy 9.1.1.

POLICY 9.3.1

Centers & Corridors: Encourage higher density, multi-unit housing and mixed-use development in Downtown, Urban, Activity, and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas. [ABC]

Response:

Although the site is not within an Activity Center, it is less than a mile for the existing Coors/Paseo del Norte Activity Center, fully within the boundaries of a Premium Transit Corridor and partially with the boundaries of a Major Transit Corridor. This request will capture growth within this area and will relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas. The proposed uses will be beneficial and an appropriate housing option within this area of the city. This request furthers Policy 9.3.1.

As demonstrated in the policy narrative above, the proposed zone change would further a preponderance of Goals and Policies found in the ABC Comprehensive Plan and would clearly facilitate the desired goals of the Comp Plan which provides a framework to guide private development land use decisions, and decision-makers as they contemplate new plans affecting the whole community.

6-7(G)(3) Review and Decision Criteria, Continued

- 6-7(G)(3)(b) If the subject property is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:



1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site.
3. A different zone district is more advantageous to the community as articulated by the ABC Com Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response:

The subject property is not located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended). As a result, the above criterion are not applicable as the proposed amendment is wholly in an Area of Change as shown on the ABC Comp Plan.

6-7(G)(3)(c) If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Com Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response:

The subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and this justification along with the application has demonstrated that the existing zoning is inappropriate because it meets criteria (3). A different zone district would be more advantageous to the community because many of the ABC Comp Plan goals and policies have been furthered as articulated in the "Policy Analysis" section above. This proposed zone change will allow for the implementation of development and implementation of patterns of land use that are consistent with the ABC Comp Plan conditions and will promote connectivity and continued pedestrian travel along two Local Urban Streets as a destination for employment and needed services. This request will allow for an opportunity to develop additional housing in an area that has a desire for the proposed uses. This request will facilitate residential uses that were once permissive on this site. Lastly, it will be an infill project on a site with existing infrastructure and public amenities within an Area of Change, fully within a Premium Transit Corridor and partially within a Major Transit Corridor.

6-7(G)(3)(d) The requested zoning does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.



Response:

The requested zoning does not include permissive uses that would be harmful to adjacent properties, the neighborhoods or the community. The permissive uses between the NR-C zoning designation and the MX-M zoning designation do not have harmful uses, rather the major difference is the introduction of residential uses. For discussion, provided below is a side-by-side analysis of the new permissive uses under the MX-M zoning district.

Table 2. Side-by-Side Analysis of New Permissive Uses

New Permissive Uses under MX-M Zone	Existing IDO Use Status (NR-C Zoning)	Related IDO Development Standards That May Apply (Specific Use Standards 16-16-4-3)
Dwelling, townhouse	Not Permissive	4-3(B)(5)
Dwelling, live-work	Not Permissive	4-3(B)(5)
Dwelling, multi-family	Not Permissive	4-3(B)(7)
Assisted living facility or nursing home	Not Permissive	No use specific standards associated
Community residential facility, small	Not Permissive	4-3(B)(8)
Community residential facility, large	Not Permissive	4-3(B)(8)
Dormitory	Not Permissive	4-3(B)(9)
Group home, small	Not Permissive	4-3(B)(9)
Group home, medium	Not Permissive	4-3(B)(9)
Group home, large	Not Permissive	4-3(B)(9)
Community Center or library	Conditional Primary	4-3(C)(1)
Residential community amenity, indoor	Not Permissive	4-3(D)(10)
Residential community amenity, outdoor	Permissive Accessory	No use specific standards associated
Park-and-ride lot	Conditional Primary	4-3(D)(44)

Dwelling, townhouse; dwelling, live-work; dwelling, multi-family; assisted living facility or nursing home; community residential facility, small; community residential facility, large; dormitory; group home, small; group home, medium; group home, large; and residential community amenity, indoor are newly permissive uses that are not allowed in the NR-C zone



district. There are no permissive uses that could be construed as having possible harmful impacts to adjacent properties, the neighborhood, or the community, since the surrounding properties are commercial and residential uses. The MX-M zone allows for both residential and commercial uses and has less impactful commercial uses than the existing NR-C zone. The uses that would become permissive are residential uses and residential amenities that are outlined above and will be nonconsequential. The Use Specific Standards associated with these uses will help mitigate any potential harmful impacts that are unforeseen, though none are expected.

Future development of this property and the proposed uses will have to go through a rigorous approval process with the City of Albuquerque to ensure it complies with IDO and the DPM. At that time the public will be fully engaged. It will also insure that the uses will comply with City ordinances regulating noise, odors, vibration, glare, heat, and other special nuisance conditions affecting other properties as well as use-specific standards. Development on the subject site under the MX-M zone district would be subject to IDO requirements including neighborhood edges (14-16-5-9), the mixed-use zone dimensional standards (Table 5-1-2), buffer landscaping (14-16-5-6-(E)), and building design standards (14-16-5-11). These would help ensure appropriate scale and location of development and character of building design. The Use-Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements and various other measures. The MX-M zone will allow for residential uses to become permissive allowing the vacant site to develop per original EPC/DRB approved plans.

The MX-M zone will allow for the proposed Assistant Living Facility and the Independent Living Facility to be developed on the site. The project will consist of a 40 Unit Assisted Living Facility and a 100 Unit Independent Living Facility, all of which was approved by the City in 2006. We are not asking for anything that has not already been approved for this site. The market is showing a recent interest in housing for elderly people, such as communities of homes for active seniors and assisted living apartments. City and County housing efforts focus on addressing the needs of low- and moderate-income individuals and households of special needs populations, who have difficulty securing housing they can afford and/or that accommodates their disabilities or other special needs. This request will help in the efforts to create an affordable living situation for the elderly population that the City is currently trying to address.

The Use-Specific Standards and newly permissive uses will not cause any adverse effects on the surrounding community, rather, they will bring life to this vacant site and provide community/city necessities and employment opportunities. This zone change will be beneficial to the surrounding area.

- 6-7(G)(3)(e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet the following requirements:
1. Have adequate capacity to serve the development made possible by the change of zone.
 2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.



3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

Response:

The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meets requirement (1) because the City's existing infrastructure and public improvements currently have adequate capacity to serve the development made possible by the zone change. The existing infrastructure includes but it not limited to water, sewer, roadways, and storm facilities. As a result, the development does not require major or new city service expansion, as it is also an infill site.

However, it is fully understand that development of this property may require upgraded infrastructure, both public and/or private to adequately service the needs of the development. Although specific improvements are unknown at this time, the applicant has sufficient resources to guarantee any work needed via the Infrastructure Agreement process with the City of Albuquerque.

- 6-7(G)(3)(f) The applicant's justification for the Zoning Map Amendment is not completely based on the property's location on a major street.

Response:

The justification for the Zoning Map Amendment provided herein is not based on the property's location along a major street. The property is located along two Local Urban Streets (High Assets WY NW and All Saints RD NW). These streets do not constitute as major streets. Major streets are classified as arterial or collector. The justification is based on a preponderance of applicable Goals and Policies of the ABC Comp Plan as outlined in the "Policy Narrative". The policy analysis revealed that this request is consistent with the health, safety, and general welfare of the City.

This request will encourage development of this large vacant site and will be a great infill project that will support the public good. This zone change seeks to provide the opportunity to develop the site into an Assisted Living Facility along with an Independent Living Facility that are in demand in the surrounding area and the City as a whole. This location would be a viable place for the proposed uses to stay, expand, and thrive. Lastly, the city's existing infrastructure and public improvements currently have adequate capacity to serve the development made possible by the zone change.

- 6-7(G)(3)(g) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

Response:

This justification is not based completely or predominantly on the cost of land or other economic considerations and are not the determining factors for this zone change request. The



justification is based on an in-depth analysis of the applicable Goals and Policies of the ABC Comp Plan demonstrated above. There are a variety of different and applicable Goals and Policies that are consistent with the health, safety, and general welfare of the City. The subject site under MX-M will allow for growth within established corridors, encourage development that broadens housing options to meet a range of incomes and lifestyles, and support additional growth in areas with existing infrastructure and public facilities. However, the economics associated with the development of the vacant site are and should be important factors to both the applicant and the City since it will efficiently upgrade public infrastructure while also upgrading the community as a whole.

- 6-7(G)(3)(h) The Zoning Map Amendment does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a “spot zone”) or to a strip of land along a street (i.e. create a “strip zone”) unless the requested zoning will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:
1. The subject property is different from surrounding land because it can function as a transition between adjacent zone districts.
 2. The subject property is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
 3. The nature of structures already on the subject property makes it unsuitable for the uses allowed in any adjacent zone district.

Response:

The Zone Map Amendment does apply a zone different from surrounding zone districts to one small area or one premises (i.e. create a “spot zone”). The requested MX-M zoning will clearly facilitate implementation of the ABC Comp Plan as amended and qualifies under criteria (1) in that the site can function as a transition between the adjacent zone districts. This is because many of the ABC Comp Plan Goals and Policies have been furthered as articulated in the “Policy Analysis” section above. This proposed zone change will allow for the implementation of development and implementation of patterns of land use that are consistent with the ABC Comp Plan conditions. It also qualifies because the surrounding area is a mixed community with both residential and commercial zone districts/uses and the MX-M zone is an appropriate transition between the NR-C zone and R-1 zone. The MX-M zone will protect the neighborhood to the south (R-1A) in a greater way than the existing NR-C zone does. The permissive uses under the MX-M zone are greatly limited and are not considered harmful unlike the NR-C zoning. This in turn will benefit the surrounding neighborhoods functioning as a transition between adjacent zone districts. The R-1A zoning is classified as a protected lot and the NR-C zoning allows for more intense commercial uses as opposed to the MX-M zoning, which contains a mix of permissive residential and commercial uses that will be less harmful to the surrounding community.

It is more appropriate for moderate-intensity retail, commercial, institutional and moderate-density residential uses to develop on a site where additional residential uses are desired. The site is along two Local Urban Streets and it is more appropriate to have lower intense uses because it is not a major street that can take the heavy commercial traffic flow. Local streets



are intended to carry low traffic volumes. The MX-M zoning and the proposed uses would be in line with the local street classification as opposed to the existing zoning that only contains commercial uses that have the potential to bring in large traffic volumes. The lower zoning designation will benefit the surrounding single-family neighborhoods and mitigate the traffic volumes on the two Local Urban Streets.

The proposed zoning has less intense permissive commercial uses, as a result decreasing the negative impacts on the surrounding neighborhoods. This will in turn minimize the negative impacts that the existing zoning and uses would have had on the neighborhood to the south of the site. This zone change will be beneficial to the surrounding area.

CONCLUSION

This request is for a Zone Map Amendment (Zone Change) for approximately +/-4.9-acre property located in the North West Mesa Community Planning Area, in an Area of Change, fully within a Premium Transit Corridor (Paseo del Norte), partially within a Major Transit corridor (Coors Blvd.) and wholly within the Coors Blvd. CPO-2 overlay zone. The current zoning request is to allow for the development of an Assisted Living Facility and an Independent Living Facility under the MX-M zone district. Future development permissive by the MX-M zone will further multiple Goals and Policies of the ABC Comprehensive Plan and will serve as an excellent development opportunity.

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meetings were requested on the behalf of these neighborhood associations. There were also no inquiring emails or phone calls received. The approval of this request for a Zone Map Amendment to the MX-M zone district for the subject property will ensure that this site remains a viable project, primed for development. The development with the proposed uses will upgrade the site for the surrounding community, while bringing in additional needed services with the City as a whole.

The future development of the site will be subject to MX-M zoning and subject to the IDO requirements including neighborhood edges (14-16-5-9), the mixed-use zone dimensional standards (Table 5-1-2), buffer landscaping (14-16-5-6-(E)), and building design standards (14-16-5-11). These requirements would help ensure appropriate scale and location of development and character of building design. Use-specific Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements, and various other measures.

Additionally, future development of this subject site must still go through a review with the City of Albuquerque to ensure compliance and adherence to the standards of the IDO as well as the DPM. This request will not have any negative effects on the surrounding community or its' residents. This request will introduce residential uses to this site allowing for more flexibility in developing the land per market demands and historical uses.

The agent and applicant respectfully request that the EPC support this Zone Map Amendment with an approval.

Sincerely,

Regina Okoye



Modulus Architects, Inc.
100 Sun Ave NE, Suite 600
Albuquerque, New Mexico 87109
Office: 505.338.1499 ext. 1003
Email: rokoye@modulusarchitects.com

STAFF INFORMATION

May 20, 2021

TO: Regina Okoye
Project Entitlements Manager
Modulus Architects

FROM: Silvia Bolivar, PLA, ASLA/ SB
Current Planner
City of Albuquerque Planning Department

RE: PROJECT #2021-005439/RZ-2021-00016, 4821 All Saints Rd NW, 9130 High
Assets Way NW, 4811 All saints Rd NW
Zone Map Amendment

I am the Staff planner reviewing your application for project #2021-005439, RZ-2021-00016, a zone map amendment (zone change) for the subject properties located on High Assets Way NW, between Paseo del Norte NW and Eagle Ranch Road NW. The zone change is from NR-C to MX-M to allow the development of three vacant lots into a 40-unit assisted living facility and a 100-unit independent living facility. A facilitated meeting has not been requested. Staff has not heard from any interested parties as of the writing of this memo.

Although I have done by best for this review, additional items may arise as the case progresses. If so, I will inform you immediately. After review of the application material including the justification letter, the following comments are provided and changes or additions requested.

The response to many of the Goals and policies need to be expanded in order to justify the proposed zone map amendment while others listed are not furthered. Remember that the justification letter for the proposed zone map amendment needs to justify how the MX-M benefits the community/area/neighborhood, not the proposed use because what if the development of the property falls through again?

Please submit a revised zoning change justification letter pursuant to the zone change criteria (one copy) by the end of the day on Friday, April 28, 2021. If you have difficulty with this deadline please let me know.

1. Introduction

- A. The legal descriptions for the properties need to be consolidated into one legal description, verify the acreage, and add the acreage. My calculations differ from the 4.079 acres listed in the application and throughout your justification letter.

- B. I have the applicant listed as Deepesh Kholwadwala c/o Sun Capital Hotels and Zia Trust Inc. listed as the property owner.

2. Topics & Questions

- A. As per your email of May 14, 2021, the independent living facility will be for those age 55+ and there will be no age restriction at the assisted living facility. Several agencies wanted to clarify the age requirement, specifically APS as several schools in the area could be impacted due to the proposed zone map amendment.

3. Process

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

- B. Timelines and EPC calendar: EPC Public Hearing June 17, 2021. Final staff reports will be available on June 10, 2021.
- C. Note that, if a zone change request is denied, you cannot reapply again for one year.
- D. Once Agency comments are distributed I will email you a copy and will forward any late comments to you.

4. Notification & Neighborhood Issues

Notification requirements for a zone change are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 378). The required notification consists of: 1) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.

- A. The pre-submittal neighborhood meeting notification required pursuant to 14-16-6-4(C) appears to be correct and complete.
- B. A facilitated meeting has not been requested. Have any neighborhood representatives or members of the public contacted you with comments or concerns since April 6, 2021?

5. Subject Site Background

You state that the site is largely within the boundary of the Coors Blvd., a Major Transit Corridor (Lot 3-A-1A only) but according to my calculations only 40' feet of Lot 3-A-1A is within the transit corridor. I would suggest removing largely from your analysis.

6. Permitted Uses

This section does not belong in the introductory portion of the justification letter. I would suggest you move this section to the Review and Decision Criteria – Criterion D and consolidate this response along with what you have listed for Criterion D.

Paragraph 3, page 3 lists: “This zone could constitute as a spot zone but will act....” . The requested MX-M zone does constitute a spot zone but will act as a transition zone. I would suggest you redo this paragraph. You list R-1B but the properties south of the subject site are R-1A, please correct this paragraph and make sure that you reference R-1A throughout your letter for consistency.

Paragraph 4, last sentence. How will the development of this land be compatible in scale and character with the surrounding area when the request is only for a zone map amendment, not a site plan review?

7. Land Use Context – Table 1

The IDO Zoning information listed in Table 1 is incorrect and needs to be revised. For clarity, the zoning should be listed as it appears in the Zoning Advanced Map Viewer. For example, to the north of the subject site you list MX-M first and then NR-C when in fact they need to be listed in reverse. The NR-C is in close proximity to the subject site while MX-M is located further north and across from Paseo Del Norte.

<u>Site</u>	<u>IDO Zoning</u>	<u>Land Use</u>
North	NR-C, MX-M	Vacant, office, institutional/medical, commercial, multi-family
East	NR-C	Vacant, PNM facility, religious institution
South	R-1A	Single-family residential – (There is no NR-C)
West	NR-C, R-1A	Commercial, retail services, single-family residential

Figures 1-7 are not necessary but it is up to you if you want to keep them or not .

8. Zone Map Amendment (Zone Change) – Justification and Policy Analysis

Criterion A - Please see comments listed under each Goal or policy as the arguments/response need to be strengthened in order to justify the request.

Goals and Policies in Chapter 4 – Community Identity

Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring appropriate scale and location of development, mix of uses, and character of building design.

What is the identity of the surrounding neighborhoods? How would the cohesiveness of the neighborhoods be protected? Can some of the zoning standards be articulated as to how those regulations protect the identity and cohesiveness of the neighborhoods? Simply listing IDO requirements is not enough to adequately justify this policy.

The scale and location could be appropriate depending on the character of the building design – however, there is no site plan review requirement for the site to ensure a contextually appropriate design that fits in with the established character (yet to be defined) of the neighborhood.

Policy 4.1.4 – Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

The response to this policy needs to be completely redone. How is this a traditional community? You state that the requested MX-M will be consistent with the surrounding adjacent districts but in fact a spot zone is being created by the proposed MX-M. Your response should list how the MX-M is appropriate for the site, not the proposed uses. The zone map amendment needs to justify how MX-M will benefit the area, not how the proposed use will.

Your response lists that “it will act as a transition from the NR-C zone to the R-1B zone”. Please correct R-1B to R-1A

Goals and Policies/Actions in Chapter 5 – Land Use

Action 5.1.1.4-Promote ongoing public-private cooperation necessary to create private market conditions that will support intensified development of jobs and housing in Transit Corridors. Policy 5.1.10-Major Transit Corridors-Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development. a) Encourage higher-density residential developments within ¼ mile of transit stops and stations. Subject/Site/Background.

Your response to 5.1.1.4 lists, “the property is located in a Premium Transit Corridor and partially within a Major Transit Corridor”, the response for Policy 5.1.10 lists, “a majority of the subject site is within the Coors Blvd Major Transit Corridor”. The subject site background lists that the site is “largely within the boundary of the Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)”.

The responses for the background/actions/policies conflict with one another. You need to pick one adverb to describe the location of the subject site within the Corridors and reference it throughout the document in order to provide consistency. Only 40’ of lot 3-A-1-A is within the Coors Boulevard Transit Corridor.

Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service within pedestrian-oriented development.

Subpolicy 5.1.10(a) – Encourage higher-density residential developments within ¼ mile of transit stops or stations.

More needs to be listed in the overall response to Policy 5.1.10 and subpolicy a. What high-frequency transit service are you referring to for Policy 5.1.10? You need to strengthen your argument by listing the transit service you are referring to. Again, the request is about MX-M, not the uses for the site.

For subpolicy (a) what transit stops or stations are within ¼ mile? For clarity please separate the policy response from the subpolicy response.

Subpolicy 5.1.10(b) – Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

Please review your answer as you have R-1B zoning listed when it should be R-1A. Which Transit Corridor are you referring to as it has to be listed in your response.

Goal 5.2 – Complete Communities: Foster communities where residents can live, work, shop and play together.

How would the proposed zone map amendment to MX-M allow for the continuance of a mixed-use community with commercial and residential uses? The MX-M is creating a spot zone and the nearest MX-M is located north, past Paseo Del Norte. What range of amenities are you referring to? If you intend to use this Goal you must refer to how the residents will live, work, learn, shop and play together in order to justify this important Goal.

Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

How will a distinct community be created and how will a mix of uses be accessible to surrounding neighborhoods? Again, the request is only for a Zoning Map Amendment so there is no site plan to review as it is not a requirement to determine if the development will be accessible from surrounding neighborhoods.

Subpolicy 5.2.1h – Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

Again, how do we know that the residential infill will be compatible in form and scale when we do not have a site plan to review? I believe this subpolicy is not fulfilled. However, Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities is more appropriate to the request.

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public utilities and the efficient use of land to support the public good.

In order to strengthen your argument, include how the current NR-C zoning could impact existing infrastructure and public utilities if the subject site were to be developed under the current zoning.

Policy 5.3.1 – Infill Development – Support additional growth in areas with existing infrastructure and public facilities.

The response to Policy 5.3.1 is adequate.

Policy 5.3.2 – Leapfrog Development: Discourage growth in areas without existing infrastructure and public utilities.

The response to Policy 5.3.2 is adequate.

Goal 5.6 – City Development Areas – Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development is and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Again, what is the character of the surrounding area that you are referring to? There is no site plan to review so there is no way to determine if high-quality future development will take place. Please redo this paragraph.

Policy 5.6.2 – Areas of Change – Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Subpolicy 5.6.2(b) – Encourage development that expands employment opportunities?

Please separate the Policy response from the subpolicy (b) response. Remember that the response is about MX-M, not the proposed facilities.

Subpolicy g – What community services are you referring to?

Subpolicy h – Please list the frequent transit service you are referring to.

Goals and Policies from chapter 8: Economic Development

Policy 8.1.1 – Diverse Places: Foster a range of interesting places and contexts with different development intensities, uses, and building scale to encourage economic development opportunities.

This policy is not fulfilled. What is so interesting about having an assisted living facility and an independent living facility in a neighborhood? Again, no need to list the building scale because we do not know what that will be at this point in time.

Policy 8.1.2 – Encourage economic development efforts that improve the quality of life for new and existing residents and foster a robust, resilient, and diverse economic.

The response to Policy 8.1.2 is adequate.

Goals and Policies from Chapter 9 - Housing

Policy 9.1.1 – Housing Options – Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

The response to Policy 9.1.1 – Housing Options is adequate.

Policy 9.1.2 – Affordability - Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area.

This policy is not adequate for the proposed zone map amendment. Again, we do not have a site plan to review to determine the “high quality” part of the policy. How do we know that the development made possible by the proposed zone map amendment will be affordable and that mixed income housing options will be provided?

Policy 9.2.1 – Compatibility – Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and

responses to its' development context – i.e. – urban, suburban, or rural – with appropriate densities, site design and relationship to the street.

This policy is not furthered. What is the neighborhood character? What compatibility is being maintained with surrounding land uses? There is no information as to site design and relationship to the street as the request is only for a zoning map amendment.

Policy 9.3.1 – Centers & Corridors: Encourage higher-density, multi-unit housing and mixed-use development in Downtown, Urban, Activity and Village Centers, and along Premium and Major Transit Corridors to capture growth, relieve development pressure at the edge of the urban footprint, and maintain low densities in rural areas.

Your response is adequate.

Criterion B. Your response is appropriate.

Criterion C. Your response is appropriate but please redo-the last sentence based on the findings of your revised justification letter as it pertains to Premium Transit Corridors/Major Transit Corridors.

Criterion D. Please refer to the comments throughout this project memo to rework this Criterion.

Criterion E. Your response is appropriate and meets the criteria listed.

Criterion F. The first paragraph in your response is more than adequate therefore paragraphs two and three may be deleted as they are unnecessary.

Criterion G. Your response is appropriate however please correct the last sentence that has a significant typo as I believe you meant to list “public”.

Criterion H. Your response is not adequate. This Criterion is a two-part test and clearly facilitates needs to be listed in your response. The request will clearly facilitate _____ and will function as a transition because _____ .

9. Revise conclusion based on the comments listed above.

Thank you.

NOTIFICATION

Regina Okoye

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Friday, April 30, 2021 3:03 PM
To: Regina Okoye
Subject: 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW Public Notice Inquiry
Attachments: IDOZoneAtlasPage_C-13-Z.PDF

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
Taylor Ranch NA	Diana	Shea	secretary@trna.org	5113 Spinning Wheel Road NW	Albuquerque	NM	87120	5059343308	5058986633
Taylor Ranch NA	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
Eagle Ridge Homeowners Association	Samantha	Anderson	sam@bluedoorhomes.net	3791 Southern SE	Rio Rancho	NM	87124		5053894316
Eagle Ridge Homeowners Association	Melanie	McLaughlin	melanie@bluedoorhomes.net	3791 Southern SE	Rio Rancho	NM	87124		5053894316

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can’t answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Friday, April 30, 2021 12:32 PM
To: Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
Environmental Planning Commission
If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name
Regina Okoye
Telephone Number
15052677686
Email Address
ROKOYE@MODULUSARCHITECTS.COM
Company Name
Modulus Architects
Company Address
100 Sun Ave NE Suite 600
City
Albuquerque
State
NM
ZIP
87109

Legal description of the subject site for this project:
LT 2-A-1-B-2-B-2 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2,2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WESTUNIT TWO CONT .7995 AC

LT 2-A-1-B-2-B-3 PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2,2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WESTUNIT TWO CONT 1.2161 AC

LT 3-A-1-A PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2,2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WESTUNIT TWO CONT 2.8677 AC
Physical address of subject site:
4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW

Subject site cross streets:
SEC of Paseo Del Norte and Eagle Ranch
Other subject site identifiers:
This site is located on the following zone atlas page:
C-13-Z

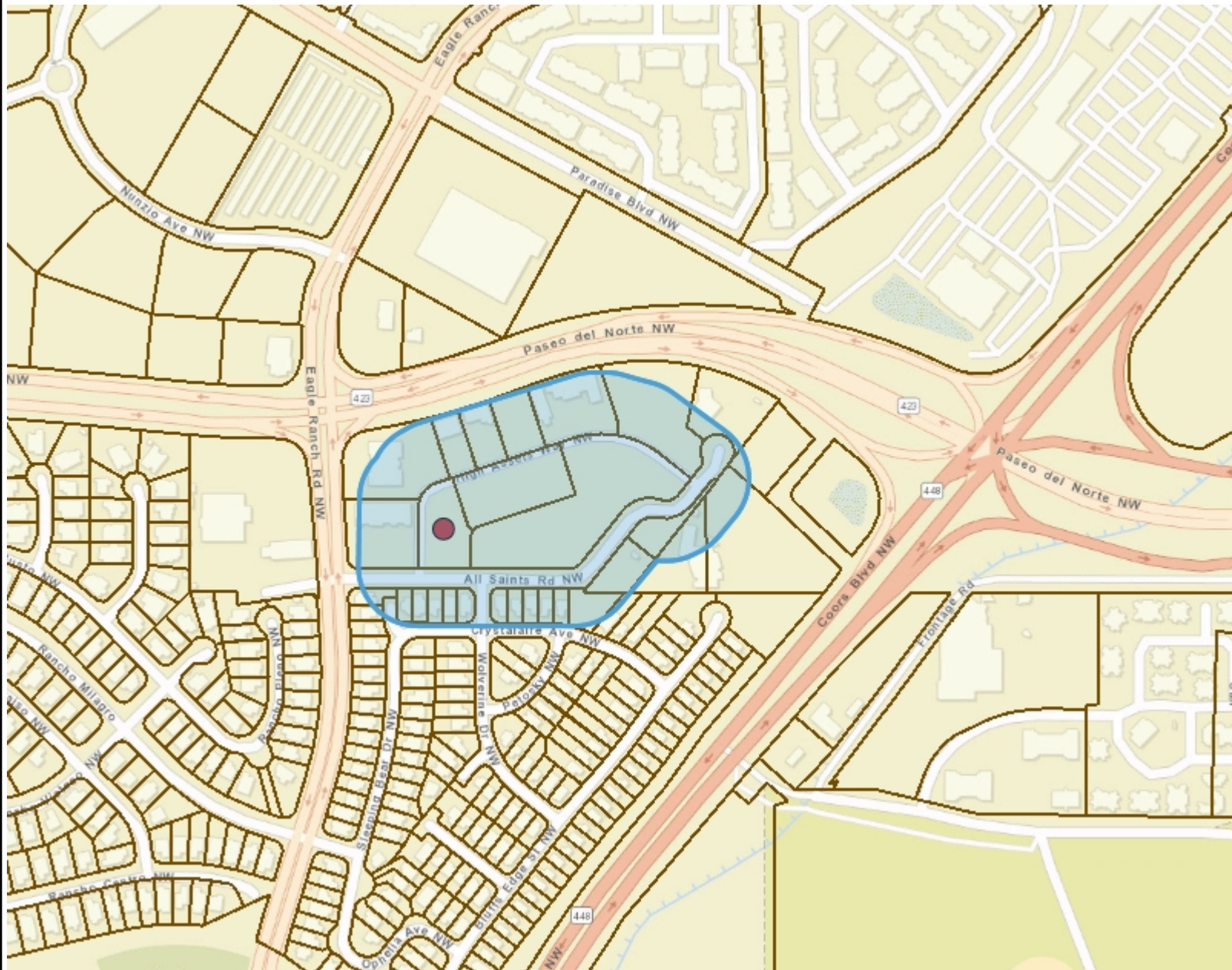


All Saints RD



Legend

□ Bernalillo County Parcels



Notes

Buffer: 175 Ft.
ROW All Saints RD: 75 Ft.

871 0 436 871 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
4/30/2021 © City of Albuquerque

1: 5,227

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

GIDWANI MANESH & BHAVIKA
3847 CRYSTALAIRES DR NW
ALBUQUERQUE NM 87120-4964

DELGADO GABRIEL & RIOS CHERISH
3823 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120

ANYANONU STEPHEN CO & LESLIE K
3839 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964

ALL SAINTS LUTHERAN CHURCH
4800 ALL SAINTS RD NW
ALBUQUERQUE NM 87114

GROOVY PROPERTIES LLC
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111

KCP RE LLC C/O SCHWARTZ KALES
ACCOUNTANCY CORP
6310 SAN VICENTE BLVD SUITE 250
LOS ANGELES CA 90048-5447

SUMPTER RODNEY
3851 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909

ROMERO GEOFFREY R & MICHAEL J &
MARY BARTHELEMY
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111

LEASE TOM G & SONDRAL E
1330 CHIHUAHUA RD
RIO RANCHO NM 87144

WOOD WARREN J
3855 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909

JACKL ADVERTISING LLC
PO BOX 67517
ALBUQUERQUE NM 87193-7517

ABELLA JOSE L
3831 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120

TACHAU PAUL & LINDA
12 COYOTE HILLS LN
SANTA FE NM 87505-8174

SMITH LUCAS
3843 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964

PUBLIC SERVICE CO OF NM
ALVARADO SQUARE
ALBUQUERQUE NM 87158

BROBST DOUG F & SARAH E
72335 BAJADA TRL
PALM DESERT CA 92260-6287

TITAN INVESTMENTS LLC
PO BOX 94088
ALBUQUERQUE NM 87199-4088

VOORBROOD FRANCESCA E & CUENCA
DANIEL A
3863 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909

NGUYEN BAO & JACQUELINE
3835 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964

SAPPHIRE LLC
4011 BARBARA LP SE
RIO RANCHO NM 87124-1039

MV INDUSTRIES REAL ESTATE LLC
2920 STANFORD DR NE
ALBUQUERQUE NM 87107-1807

ZIA TRUST INC CUSTODIAN SHAFFER
JASON A IRA
6301 INDIAN SCHOOL RD NE SUITE 890
ALBUQUERQUE NM 87110

EXPRESSIONS OF LIFE INC
9151 HIGH ASSETS WAY NW
ALBUQUERQUE NM 87120-5802

COOKSEY JENNIFER LYNN
3867 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909

R J SCHAEFER ENTERPRISES C/O HIGH
ASSETS
10457 OWENS CIR
WESTMINSTER CO 80021-3764

WESTSIDE COALITION OF NA
ELIZABETH HALEY
6005 CHAPARRAL CIRCLE NW
ALBUQUERQUE NM 87114

WESTSIDE COALITION OF NA
RENE HORVATH
5515 PALOMINO DR NW
ALBUQUERQUE NM 87120

TAYLOR RANCH NA
DIANA SHEA
5113 SPINNING WHEEL RD NW
ALBUQUERQUE NM 87120

TAYLOR RANCH NA
RENE HORVATH
5515 PALOMINO DR
ALBUQUERQUE NM 87120

EAGLE RIDGHE HOMEOWNERS ASSOC
SAMANTHA ANDERSON
3791 SOUTHER SE
RIO RANCHO NM 87124

EAGLE RIDGE HOMEOWNERS ASSOC
MELANIE MCLAUGHLIN
3791 SOUTHERN SE
RIO RANCHO NM 87124



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Zoning Map Amendment - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW

Name of property owner: ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA

Name of applicant: Deepesh Kholwadwala c/o Sun Capital Hotels

Date, time, and place of public meeting or hearing, if applicable:

June 17, 2021, 8:30am, VIA Zoom

Address, phone number, or website for additional information:

Planning Department at devhelp@cabq.gov or call 505-924-3860

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☐ Drawings, elevations, or other illustrations of this request.

☒ Summary of pre-submittal neighborhood meeting, if applicable. N/A

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okaya (Applicant signature) 5/5/21 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

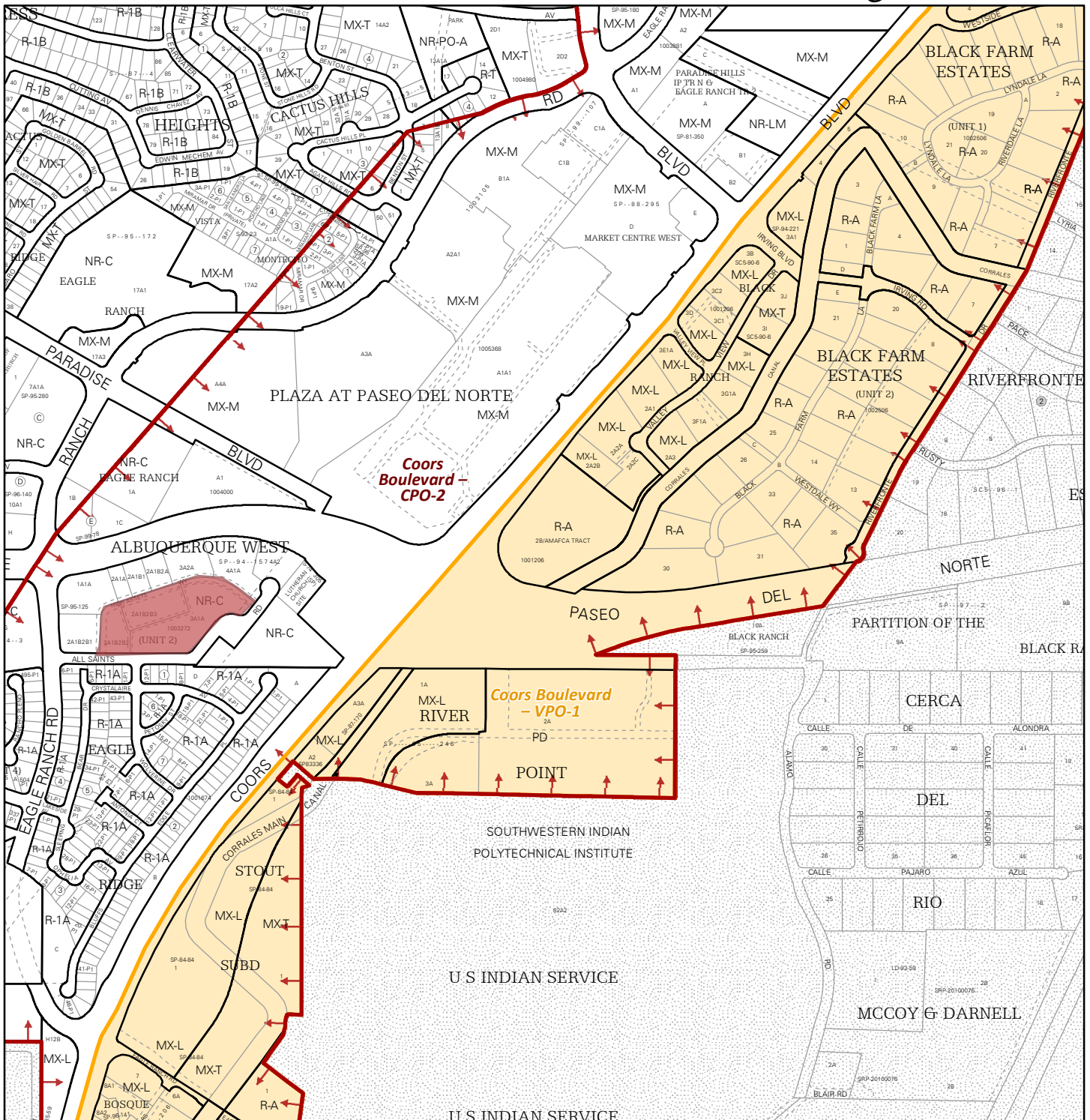
**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

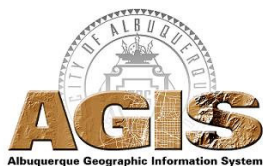
Provide a site plan that shows, at a minimum, the following:

- ☐ a. Location of proposed buildings and landscape areas.
- ☐ b. Access and circulation for vehicles and pedestrians.
- ☐ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

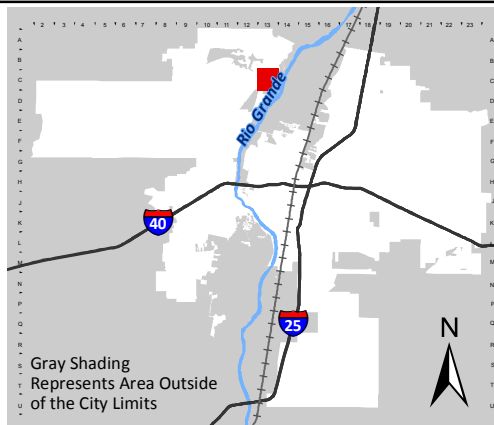


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



City Address: 4811 ALL SAINTS RD NW

County Address: HIGH ASSETS

4/30/2021

www.cabq.gov/gis

City of Albuquerque Property Report

Ownership Data from [Bernalillo County Assessor](#)

(County Assessor's data for tax year 2018)

Owner Name: ZIA TRUST INC CUSTODIAN JASON A SHAFFER IRA

Owner Address: 6301 INDIAN SCHOOL RD NE SUITE 890, ALBUQUERQUE NM 87193

UPC: 101306407821630903

Tax Year: 2018 **Tax District:** A1A

Legal Description: LT 3-A-1-A PLAT FOR LOTS 2-A-1-B-2-B-1, 2-A-1-B-2-B-2, 2-A-1-B-2-B-3, 3-A-1-A, 3-A-2-A & 4-A-1-A ALBUQUERQUE WESTUNIT TWO CONT 2.8677 AC

Property Class: V **Document Number:** 2009084569 072109 WD -

Acres: 2.87

City Zoning and Services

IDO Zone District: NR-C

IDO District Definition: Commercial

Old Zoning Designation: SU-1

Old Zoning Description: PDA TO INCLUDE C-3 USES

Land Use: 15 | Vacant

Lot: 3A1A **Block:** 0000 **Subdivision:** ABQ WEST UNIT 2

Police Beat: 621 **Area Command:** NORTHWEST

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [C13](#) (opens in new window)

City Neighborhood Association: Taylor Ranch NA

Residential Trash Pickup:

Political Districts

City Council District: [5 - Cynthia D. Borrego](#)

County Commission District: 1 - Debbie O'Malley

NM House of Representatives: Daymon B. Ely

NM Senate: Harold James Pope Jr.

School Districts

Elementary: PETROGLYPH

Middle: LBJ

High School: VOLCANO VISTA

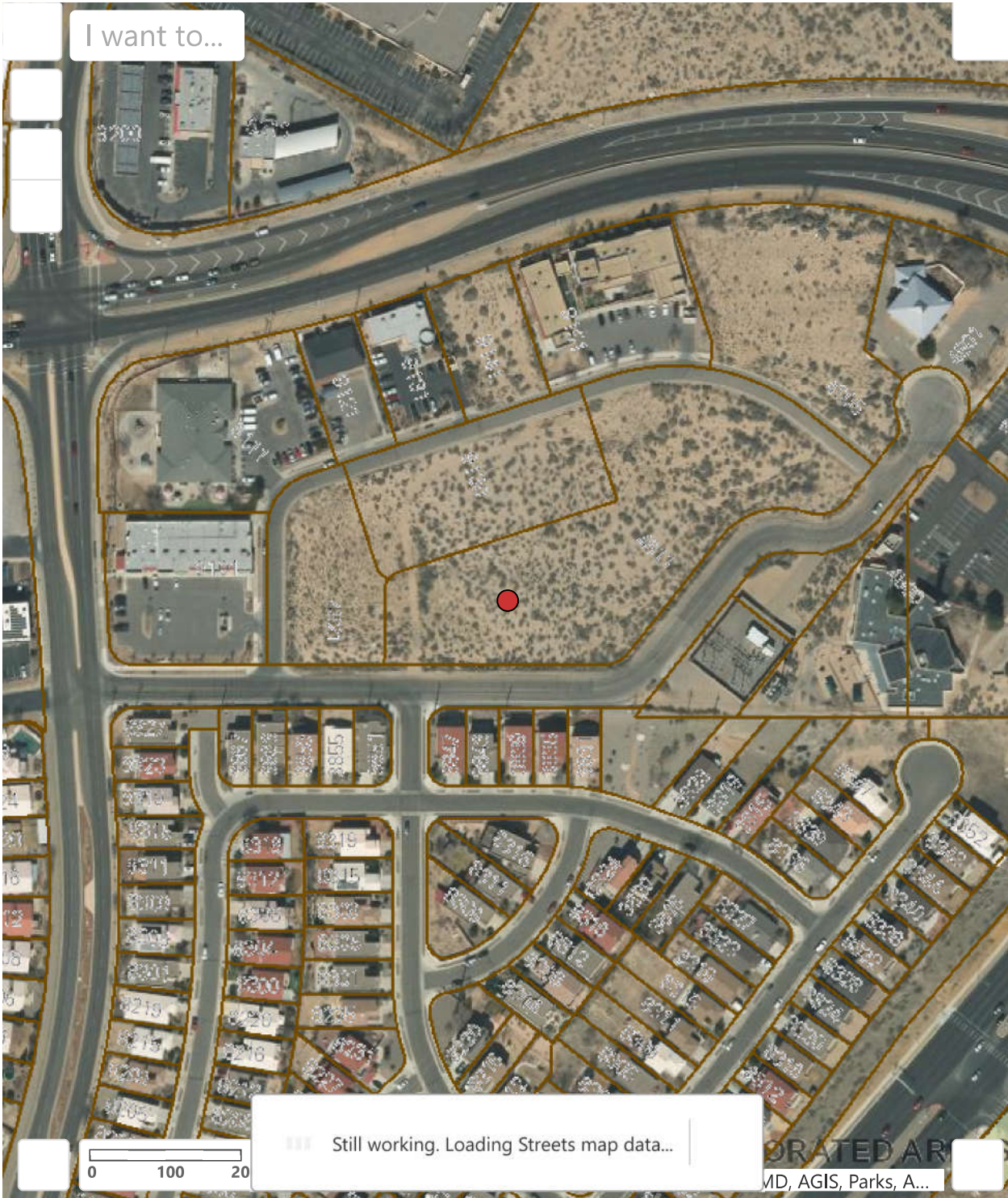
FEMA Flood Zone: X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email ccherne@cabq.gov

Run another Search [here](#)

This report was created by the GIS group of DTI. Please send comments to GIS@cabq.gov.
Please wait while the map loads below...

I want to...



Still working. Loading Streets map data...

0 100 200

ORATED AR
MD, AGIS, Parks, A...



May 5, 2021

RE: PUBLIC NOTICE OF EPC ZOOM VIDEO CONFERENCE

To Whom It May Concern,

Modulus Architects, Inc. on behalf of Zia Trust (Property Owner) and Sun Capital Hotels (Applicant) will submit an application to the Environmental Planning Commission (EPC) for an approval of a Zone Map Amendment from the current Non-Residential Commercial (NR-C) to Mixed-Use Medium Intensity Zone District (MX-M). Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center. We have proposed the following:

MX-M vs. NR-C

MX-M Purpose:
The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in Table 4-2-1.
NR-C Purpose:
The purpose of the NR-C zone district is to accommodate medium-scale retail, office, commercial and institutional uses, particularly where additional residential development is not appropriate or not desired because of a deficit of jobs or services in relation to housing units in the area. Primary land uses include a wide spectrum of retail and commercial uses intended to serve both neighborhood and area-wide needs, as well as some light industrial uses. Allowable uses are shown in Table 4-2-1.

Follow link below name "Integrated Development Ordinance (IDO)" to see allowable uses shown in Table 4-2-1 (page 143-148).

Project or Development Proposal

SEC of Paseo Del Norte and Eagle Ranch Albuquerque, NM 87120
Modulus Architects, Inc.

Contact Information

Regina Okoye, Entitlements Project Manager
Modulus Architects, Inc.
100 Sun Ave NE, Suite 600
Albuquerque, NM 87109
Office (505) 338-1499 ext. 1003
rokoye@modulusarchitects.com

Property Owner:

Zia Trust

Applicant:

Sun Capital Hotels

Due to COVID-19 this meeting is a Public Zoom Video Conference that will be held on June 17, 2021. Members of the public may attend via the web at this address:

Join Zoom Meeting

<https://cabq.zoom.us/j/2269592859>

Meeting ID: 226 959 2859

One tap mobile

+12532158782,,2269592859# US (Tacoma)

+13462487799,,2269592859# US (Houston)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 226 959 2859

Find your local number: <https://cabq.zoom.us/u/abeuj1Ao7>

If you have any questions or need additional information regarding this matter, you can contact Modulus Architects (agent) or the City Planning Department at the following information:

Planning Department at devhelp@cabq.gov or call 505-924-3860

Useful Links

Integrated Development Ordinance (IDO)

[IDO-2019-Effective-2020-11-02.pdf \(cabq.gov\)](#)

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Regina Okoye, Entitlements Project Manager

Modulus Architects, Inc.

100 Sun Ave NE, Suite 600

Albuquerque, NM 87109

Office (505) 338-1499 ext. 1003

rokoye@modulusarchitects.com

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed/Emailed to a Neighborhood Association

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA, Eagle Ridge Neighborhood Association (NA)*: Homeowners Association

Elizabeth Haley, Rene Horvath, Diana Shea, Samantha Anderson
Name of NA Representative*: Melanie McLaughlin

ekhaley@comcast.net, aboard111@gmail.com
Email Address* or Mailing Address* of NA Representative¹: secretary@trna.org, sam@bluedoorhomes.net, melanie@bluedoorhomes.net

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS
1. Subject Property Address* RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request²*: _____

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel.
This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: June 17, 2021, 8:30am

Location*³: VIA Zoom

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 4.079 Acres
2. IDO Zone District NR-C
3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Westside Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]

Taylor Ranch NA

Eagle Ridge Homeowners Association

⁶ Available here: <https://tinurl.com/idozoningmap>

Regina Okoye

From: Regina Okoye
Sent: Wednesday, May 5, 2021 10:46 AM
To: 'ekhaley@comcast.net'; 'aboard111@gmail.com'; 'secretary@trna.org'; 'sam@bluedoorhomes.net'; 'melanie@bluedoorhomes.net'
Cc: Angela Williamson
Subject: Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association
Attachments: CABQ-Official_public_notice_form-2019.pdf; IDOZoneAtlasPage_C-13-Z.PDF; Address Report — City of Albuquerque.pdf; 04 - Neighborhod Letters EPC - Neighborhood Notice.pdf

Tracking:	Recipient	Delivery
	'ekhaley@comcast.net'	
	'aboard111@gmail.com'	
	'secretary@trna.org'	
	'sam@bluedoorhomes.net'	
	'melanie@bluedoorhomes.net'	
	Angela Williamson	Delivered: 5/5/2021 10:46 AM

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA): Westside Coalition of Neighborhood Associations, Taylor Ranch NA, Eagle Ridge Homeowners Association

Name of NA Representative: Elizabeth Haley, Rene Horvath, Diana Shea, Samantha Anderson, Melanie McLaughlin

Email Address or Mailing Address of NA Representative: ekhaley@comcast.net, aboard111@gmail.com, secretary@trna.org, sam@bluedoorhomes.net, melanie@bluedoorhomes.net

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1.

Subject Property Address:

4821 All Saints Rd NW, 9130High Assets Wy NW, 4811 All Saints Rd NW
- Location Description:

SEC of Paseo del Norte and Eagle Ranch
2.

Property Owner:

Zia Trust Inc Custodian Shaffer Jason A IRA
3.

Agent/Applicant [if applicable]:

Modulus Architects, Inc./Deepesh Kholwadwala c/o Sun Capital Hotels
4.

Application(s) Type per IDO Table 6-1-1 [mark all that apply]:

Conditional Use Approval
Permit _____ (Carport or Wall/Fence - Major)
Site Plan
Subdivision: Minor Plat (Minor or Major)
Vacation _____ (Easement/Private Way or Public Right-of-way)
Variance
Waiver
Zoning Map Amendment
Other: _____
Summary of project/request:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public meeting or hearing by:

Zoning Hearing Examiner (ZHE)
Development Review Board (DRB)
Landmarks Commission (LC)
Environmental Planning Commission (EPC)
City Council

Date/Time: June 17, 2021 @ 8:30 am
Location: Via Zoom

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>
To contact staff, email devhelp@cabq.gov or call the Planning Department at (505) 924-3860

6. Where more information about the project can be found:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s): C-13-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards will be requested for this project: N/A
Deviation(s)
Variance(s)
Waiver(s)
Explanation: _____
- 4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1: **X YES** NO

Summary: Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners AssociationDere notified of this request. No meeting was requested on behalf of the neighborhood associations.

Additional Information:

- 1. From the IDO Zoning Map:
 - a. Area of Property [typically in acres]: 4.079 acres
 - b. IDO Zone District Planned development: NR-C
 - c. Overlay Zone(s): Coors Blvd. CPO-2
 - d. Center or Corridor Area: Premium Transit Corridor – Paseo del Norte; Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- 2. Current Land Use(s) [vacant, if none]: Vacant

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations withing 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or (505) 924-3955.

Useful Links

Integrated Development Ordinance (IDO)
<https://ido.abc-zone.com/>

IDO Interactive Map
<https://tinyurl.com/IDOzoningmap>

cc: Westside Coalition of NA
Taylor Ranch NA
Eagle Ridge Homeowners Assoc.

- 1 Pursuant to IDO Subsection 14-16-6-4{K}{1}{a}. email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.
- 2 If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.
- 3 Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information or discussion of concerns and opportunities.

A Message to our Clients and Colleagues: *“During the New Mexico Public Health Order restrictions, Modulus Architects will continue to provide exemplary service & design uninterrupted. Our office will remain open as we are considered an essential business but we will be following all CDC guidelines to protect our employees, clients and colleagues.”*

ASHLEA R. STEWART, OFFICE MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600
Albuquerque, NM 87109
Office 505.338.1499 (Ext. 1008)
Mobile + Text 505.717.9679



****PLEASE NOTE THAT WE HAVE MOVED! OUR NEW ADDRESS IS: 100 SUN AVE. NE SUITE 600, ALB. NM, 87109****

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: GIDWANI MANESH & BHAVIKA

Mailing Address*: 3847 CRYSTALAIRES DR NW ALBUQUERQUE NM 87120-4964

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architects/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: DELGADO GABRIEL & RIOS CHERISH

Mailing Address*: 3823 CRYSTALAIR AVE NW ALBUQUERQUE NM 87120

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
2. IDO Zone District NR-C
3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ANYANONU STEPHEN CO & LESLIE K

Mailing Address*: 3839 CRYSTALAIRE AVE NW ALBUQUERQUE NM 87120-4964

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request^{1*}:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found^{*3}:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ALL SAINTS LUTHERAN CHURCH

Mailing Address*: 4800 ALL SAINTS RD NW ALBUQUERQUE NM 87114

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: GROOVY PROPERTIES LLC

Mailing Address*: 4801 ALL SAINTS RD NW ALBUQUERQUE NM 87120-3111

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Policy Decisions Mailed to a Property Owner**

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

KCP RE LLC C/O SCHWARTZ KALES ACCOUNTANCY

Property Owner within 100 feet*: CORP

Mailing Address*: 6310 SAN VICENTE BLVD SUITE 250 LOS ANGELES CA
90048-5447

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL

1. Subject Property Address* SAINTS RD NW

Location Description SEC of Paseo Del Norte and Eagle Ranch

2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA

3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels

4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: SUMPTER RODNEY

Mailing Address*: 3851 CRYSTALAIRES AVE NW ALBUQUERQUE NM 87120-4909

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architects/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found^{*3}:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ROMERO GEOFFREY R & MICHAEL J & MARY BARTHELEMY

Mailing Address*: 4801 ALL SAINTS RD NW ALBUQUERQUE NM 87120-3111

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
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NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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IDO Interactive Map

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: LEASE TOM G & SONDR A E

Mailing Address*: 1330 CHIHUAHUA RD RIO RANCHO NM 87144

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
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- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: WOOD WARREN J

Mailing Address*: 3855 CRYSTALAIRES AVE NW ALBUQUERQUE NM 87120-4909

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architects/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

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This application will be first reviewed and recommended by:

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Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

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Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
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☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
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 - Current Land Use(s) [vacant, if none] Vacant
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NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: JACKL ADVERTISING LLC

Mailing Address*: PO BOX 67517 ALBUQUERQUE NM 87193-7517

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

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Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} C-13-Z
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☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

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1. Area of Property [typically in acres] 4.079 Acres
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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ABELLA JOSE L

Mailing Address*: 3831 CRYSTALAIR AVE NW ALBUQUERQUE NM 87120

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
 - Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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[Note: Items with an asterisk (*) are required.]

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Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: TACHAU PAUL & LINDA

Mailing Address*: 12 COYOTE HILLS LN SANTA FE NM 87505-8174

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

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☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

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☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

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Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

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Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

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Additional Information:

From the IDO Zoning Map⁵:

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NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: SMITH LUCAS

Mailing Address*: 3843 CRYSTALAIRES AVE NW ALBUQUERQUE NM 87120-4964

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architects/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

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To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

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☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
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4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: PUBLIC SERVICE CO OF NM

Mailing Address*: ALVARADO SQUARE ALBUQUERQUE NM 87158

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

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☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

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☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

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1. Zone Atlas Page(s)⁴ C-13-Z
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Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
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- Current Land Use(s) [vacant, if none] Vacant
-

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Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: BROBST DOUG F & SARAH E

Mailing Address*: 72335 BAJADA TRL PALM DESERT CA 92260-6287

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

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☒ Environmental Planning Commission (EPC)

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This application will be first reviewed and recommended by:

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Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

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2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
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Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
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Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: TITAN INVESTMENTS LLC

Mailing Address*: PO BOX 94088 ALBUQUERQUE NM 87199-4088

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
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Explanation^{*}:

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Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: VOORBROOD FRANCESCA E & CUENCA DANIEL A

Mailing Address*: 3863 CRYSTALAIR AVE NW ALBUQUERQUE NM 87120-4909

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
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☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
 - Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: NGUYEN BAO & JACQUELINE

Mailing Address*: 3835 CRYSTALAIR AVE NW ALBUQUERQUE NM 87120-4964

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request^{1*}:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: SAPPHIRE LLC

Mailing Address*: 4011 BARBARA LP SE RIO RANCHO NM 87124-1039

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
2. IDO Zone District NR-C
3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: MV INDUSTRIES REAL ESTATE LLC

Mailing Address*: 2920 STANFORD DR NE ALBUQUERQUE NM 87107-1807

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
2. IDO Zone District NR-C
3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA

Mailing Address*: 6301 INDIAN SCHOOL RD NE SUITE 890 ALBUQUERQUE NM 87110

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
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 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: EXPRESSIONS OF LIFE INC

Mailing Address*: 9151 HIGH ASSETS WAY NW ALBUQUERQUE NM 87120-5802

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

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☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
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 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
 - Current Land Use(s) [vacant, if none] Vacant
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NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: COOKSEY JENNIFER LYNN

Mailing Address*: 3867 CRYSTALAIRES AVE NW ALBUQUERQUE NM 87120-4909

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL SAINTS RD NW
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architects/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found^{*3}:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 4.079 Acres
 2. IDO Zone District NR-C
 3. Overlay Zone(s) [if applicable] Coors Blvd. - CPO-2
Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: 5/5/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: R J SCHAEFER ENTERPRISES C/O HIGH ASSETS

Mailing Address*: 10457 OWENS CIR WESTMINSTER CO 80021-3764

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

- 4821 ALL SAINTS RD NW, 9130 HIGH ASSETS WY NW, 4811 ALL
1. Subject Property Address* SAINTS RD NW
Location Description SEC of Paseo Del Norte and Eagle Ranch
 2. Property Owner* ZIA TRUST INC CUSTODIAN SHAFFER JASON A IRA
 3. Agent/Applicant* [if applicable] Modulus Architcets/Deepesh Kholwadwala c/o Sun Capital Hotels
 4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

☒ Zoning Map Amendment

☐ Other: _____

Summary of project/request¹*:

I am very pleased to send this letter to let you know that I have been hired by the property owner to pursue a Zone Map Amendment for this property. The purpose of this is to allow for development of this 4.079-acre parcel. This request is for a zone change from NR-C to MX-M. Our project consists of a 40 unit Assisted Living Center and a 100 Unit Independent Living Center.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: June 17, 2021, 8:30am

Location*²: VIA Zoom

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}: N/A

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Westside Coalition of Neighborhood Associations, Taylor Ranch NA and Eagle Ridge Homeowners Association were notified of this request. No meeting was requested on behalf of the neighborhood associations.

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

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Premium Transit Corridor - Paseo del Norte
 4. Center or Corridor Area [if applicable] Coors Blvd. Major Transit Corridor (Lot 3-A-1A only)
- Current Land Use(s) [vacant, if none] Vacant
-

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Useful Links

Integrated Development Ordinance (IDO):

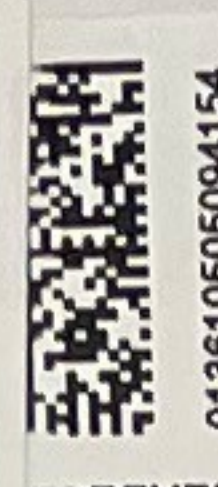
<https://ido.abc-zone.com/>

IDO Interactive Map

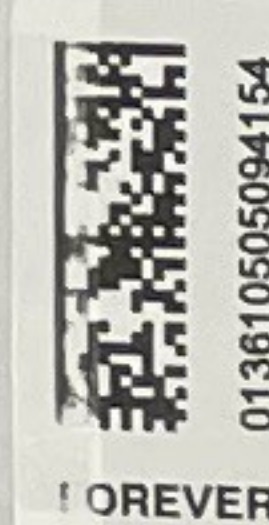
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

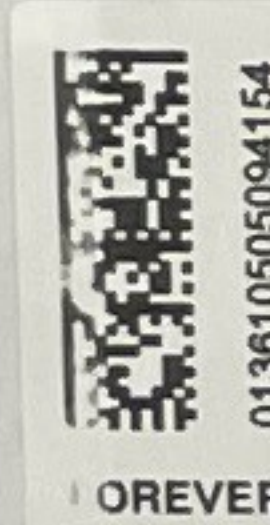


ZIA TRUST INC CUSTODIAN SHAFFER
JASON A IRA
6301 INDIAN SCHOOL RD NE SUITE 890
ALBUQUERQUE NM 87110



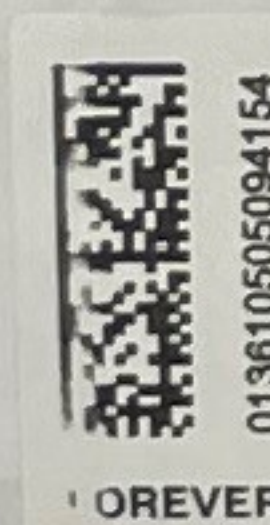
MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

TITAN INVESTMENTS LLC
PO BOX 94088
ALBUQUERQUE NM 87199-4088



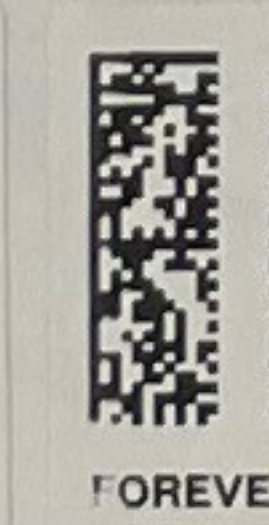
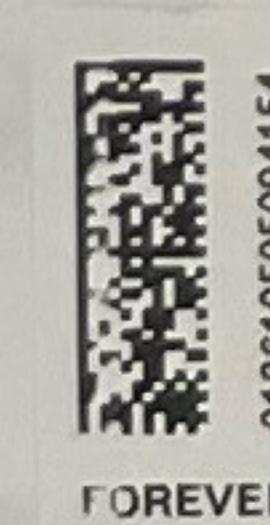
MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

PUBLIC SERVICE CO OF NM
ALVARADO SQUARE
ALBUQUERQUE NM 87158



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

SMITH LUCAS
3843 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

JACKL ADVERTISING LLC
PO BOX 67517
ALBUQUERQUE NM 87193-7517

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

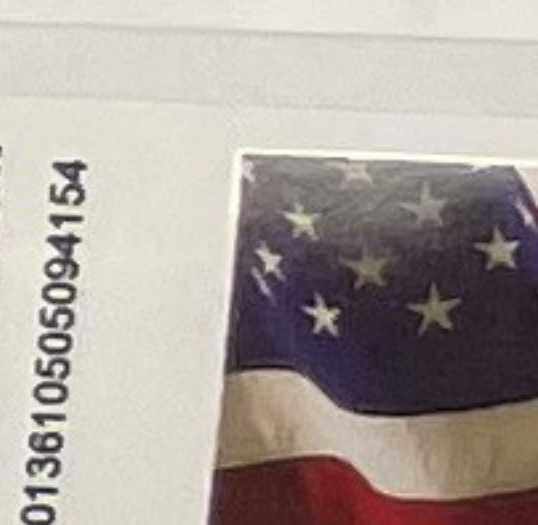


COOKSEY JENNIFER LYNN
3867 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909



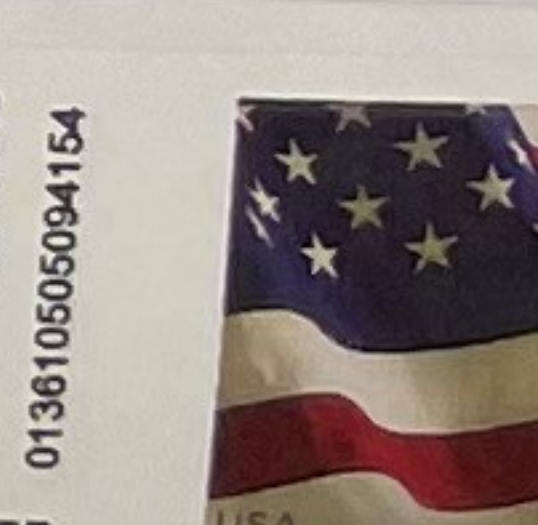
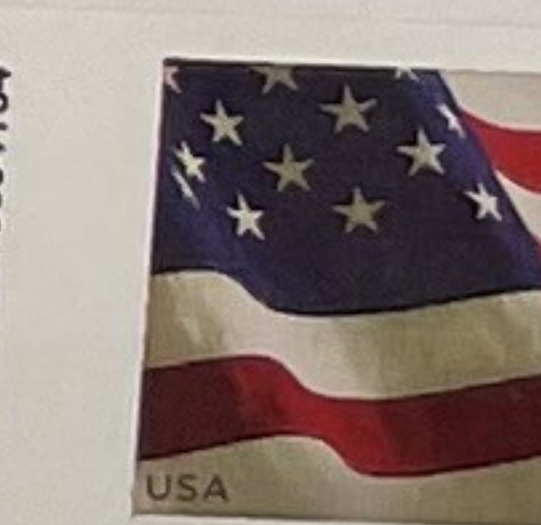
MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

NGUYEN BAO & JACQUELINE
3835 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964



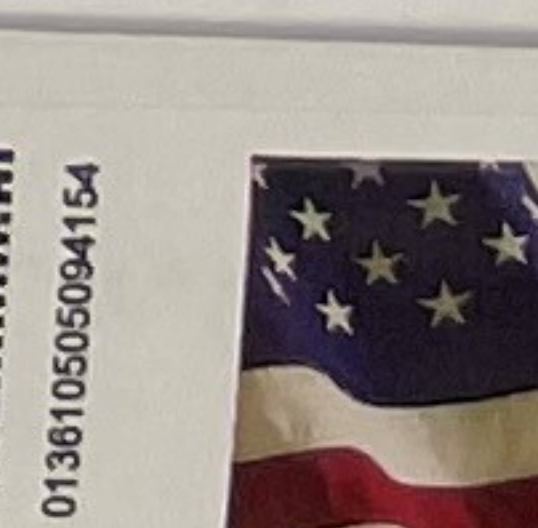
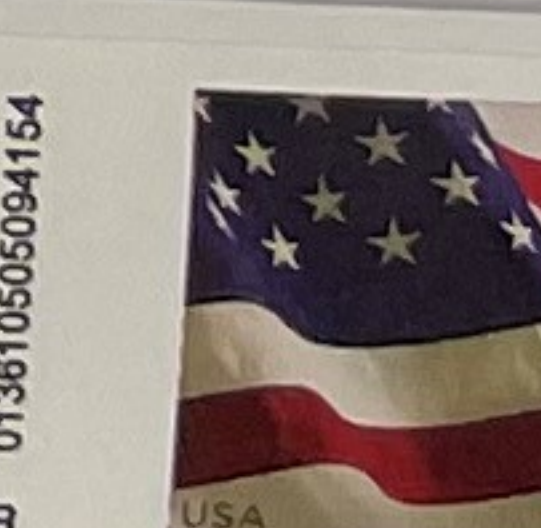
MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

VOORBROOD FRANCESCA E & CUENCA
DANIEL A
3863 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4909



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

ABELLA JOSE L
3831 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

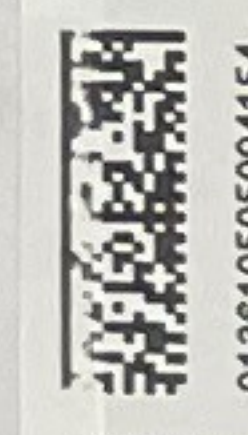
TACHAU PAUL & LINDA
12 COYOTE HILLS LN
SANTA FE NM 87505-8174

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



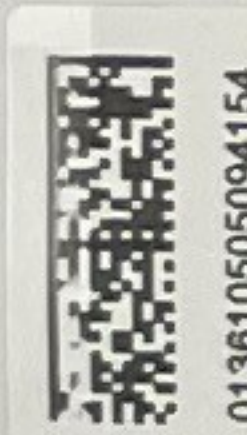
SAPPHIRE LLC
4011 BARBARA LP SE
RIO RANCHO NM 87124-1039

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



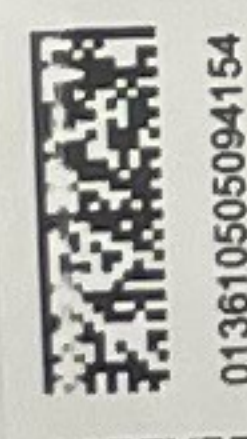
SUMPTER RODNEY
3851 CRYSTALAIR AVE NW
ALBUQUERQUE NM 87120-4909

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



GROOVY PROPERTIES LLC
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



ALL SAINTS LUTHERAN CHURCH
4800 ALL SAINTS RD NW
ALBUQUERQUE NM 87114

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



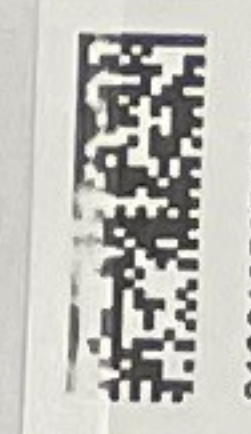
EAGLE RIDGE HOMEOWNERS ASSOC
MELANIE MCLAUGHLIN
3791 SOUTHERN SE
RIO RANCHO NM 87124

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



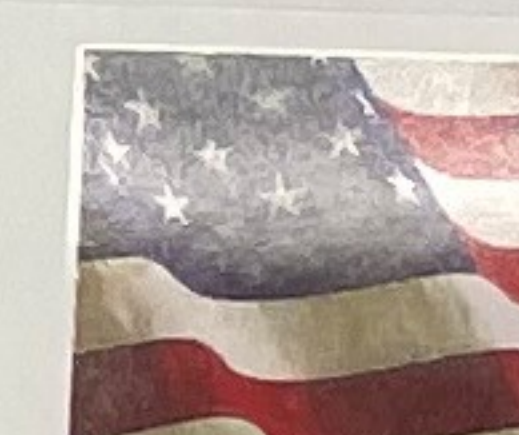
WOOD WARREN J
3855 CRYSTALAIR AVE NW
ALBUQUERQUE NM 87120-4909

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



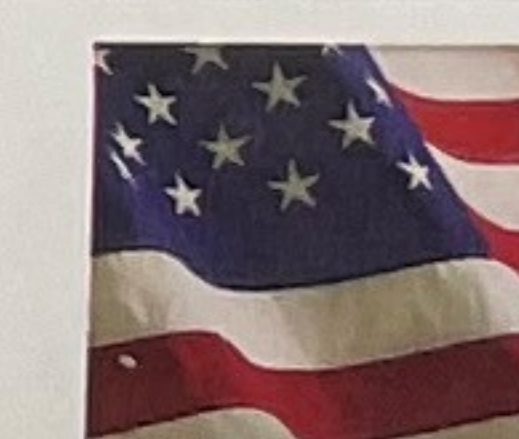
ROMERO GEOFFREY R & MICHAEL J &
MARY BARTHELEMY
4801 ALL SAINTS RD NW
ALBUQUERQUE NM 87120-3111

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



LEASE TOM G & SONDR A
1330 CHIHUAHUA RD
RIO RANCHO NM 87144

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



KCP RE LLC C/O SCHWARTZ KALES
ACCOUNTANCY CORP
6310 SAN VICENTE BLVD SUITE 250
LOS ANGELES CA 90048-5447

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

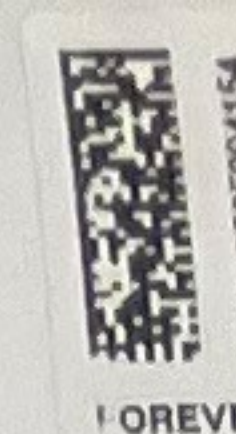
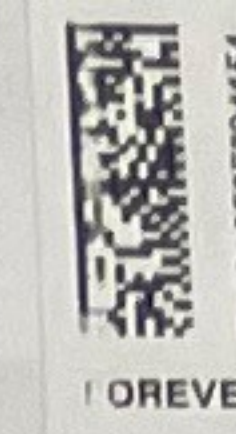


BROBST DOUG F & SARAH E
72335 BAJADA TRL
PALM DESERT CA 92260-6287

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

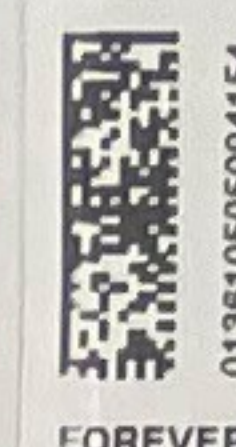


R J SCHAEFER ENTERPRISES C/O HIGH
ASSETS
10457 OWENS CIR
WESTMINISTER CO 80021-3764

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109

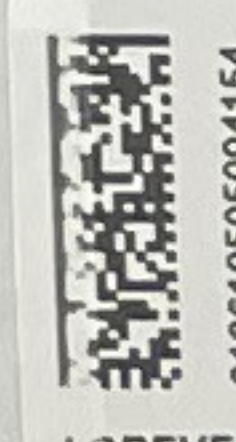


EAGLE RIDGHE HOMEOWNERS ASSOC
SAMANTHA ANDERSON
3791 SOUTHER SE
RIO RANCHO NM 87124

EXPRESSIONS OF LIFE INC
9151 HIGH ASSETS WAY NW
ALBUQUERQUE NM 87120-5802

MV INDUSTRIES REAL ESTATE LLC
2920 STANFORD DR NE
ALBUQUERQUE NM 87107-1807

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



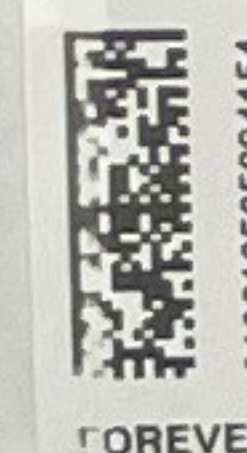
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100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



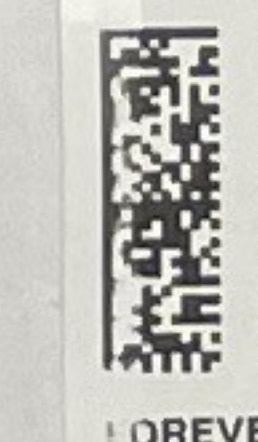
WESTSIDE COALITION OF NA
RENE HORVATH
5515 PALOMINO DR NW
ALBUQUERQUE NM 87120

TAYLOR RANCH NA
RENE HORVATH
5515 PALOMINO DR
ALBUQUERQUE NM 87120

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



WESTSIDE COALITION OF NA
ELIZABETH HALEY
6005 CHAPARRAL CIRCLE NW
ALBUQUERQUE NM 87114

TAYLOR RANCH NA
DIANA SHEA
5113 SPINNING WHEEL RD NW
ALBUQUERQUE NM 87120

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



ANYANONU STEPHEN CO & LESLIE K
3839 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120-4964

DELGADO GABRIEL & RIOS CHERISH
3823 CRYSTALAIRES AVE NW
ALBUQUERQUE NM 87120

MODULUS ARCHITECTS INC.
100 SUN AVENUE NE, SUITE 600
ALBUQUERQUE, NM 87109



GIDWANI MANESH & BHAVIKA
3847 CRYSTALAIRES DR NW
ALBUQUERQUE NM 87120-4964



ACADEMY

6255 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109-9998
(800) 275-8777

05/05/2021

09:43 AM

Product	Qty	Unit Price	Price
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Forever® Postage Stamp	62	\$0.55	\$34.10
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Grand Total: \$34.10

Credit Card Permitted \$34.10

Card Name: VISA

Account #: XXXXXXXXXX1521

Approval #: 04761G

Transaction #: 781

Receipt #: 000781

AID: A0000000031010

AL: VISA CREDIT

PIN: Not Required

CAPITAL ONE VISA

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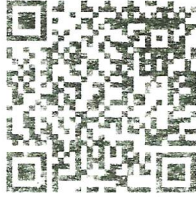
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JFN: 340128-9552

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