



Environmental Planning Commission

Staff Report

Agenda Item Number: 9
Project #: PR-2022-007151
Case #: SI-2022-01132
Hearing Date: July 21, 2022

| | |
|--------------------------|--|
| Agent | Tierra West, LLC |
| Applicant | Brandenreed Properties, LLC |
| Request | Site Plan EPC-Major Amendment to allow auto-related uses and services |
| Legal Description | all or a portion of Tract 4, plat of Tracts 1, 2, 3 and 4, Paradise Plaza |
| Location | Unser Blvd. NW, between Crown Rd. NW and Summer Ridge Rd. NW |
| Size | Approximately 2 acres |
| Zoning | MX-L |

Staff Recommendation

APPROVAL of PR-2022-007151, SI-2022-01132, based on the Findings beginning on Page 25 and subject to the Conditions of Approval beginning on page 31.

Staff Planner
Megan Jones, MCRP

Summary of Analysis

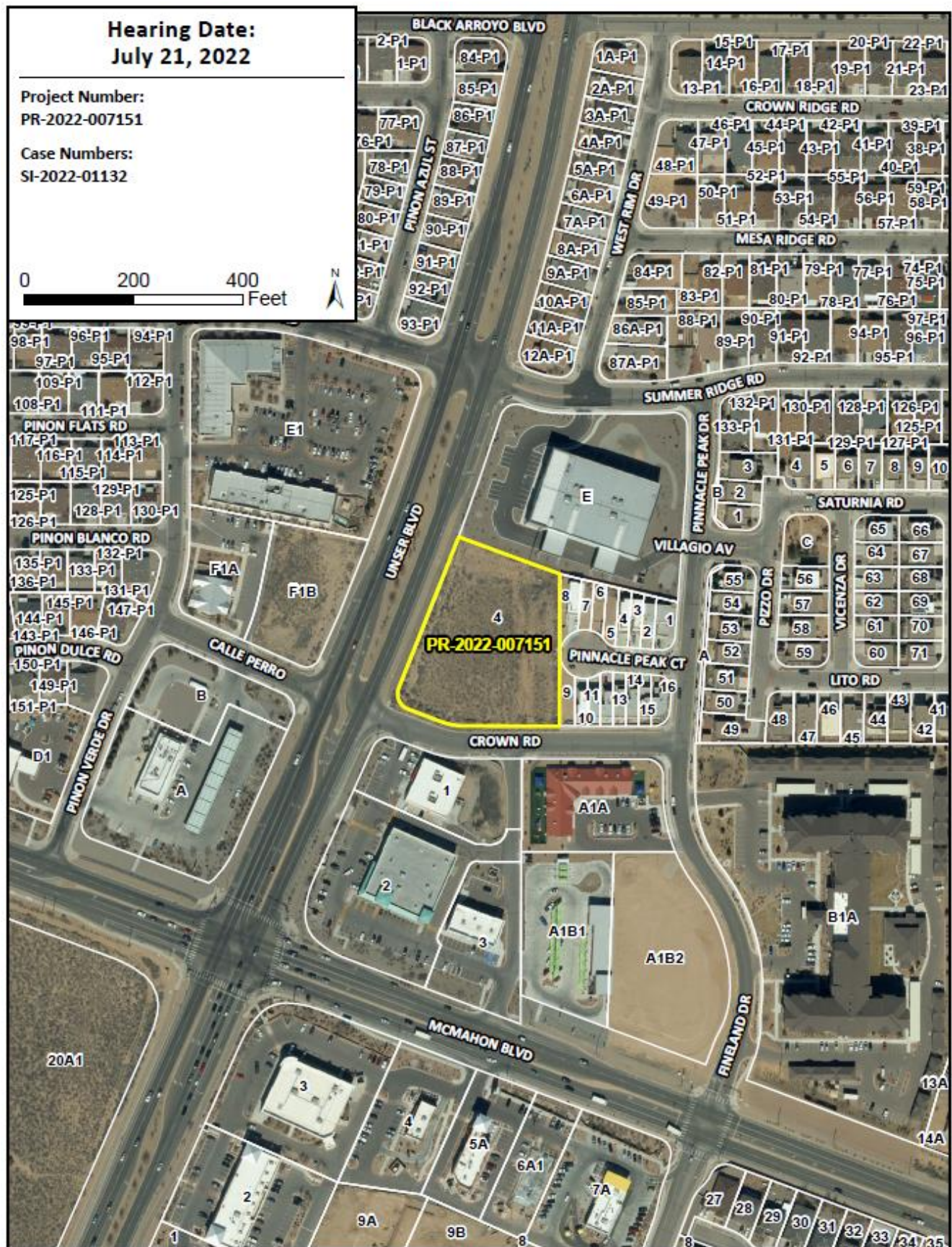
The request is for a Site Plan Major Amendment to the controlling Site Development Plan for Subdivision to allow auto-related uses and services, including drive-up service windows on Tract 4. Additionally, the request would allow the development of an approximately 1,400 SF Light Vehicle Repair Facility. The applicant The EPC is hearing this request because a Pre-IDO approval for Project # 1000936 (NOD dated 2/8/2018) requires that the EPC review and approve any auto-related uses as well as Site Plans for auto-related uses on Tract 4. The subject site would remain in the controlling SPS, which has design parameters, but the future auto oriented use would be allowed.

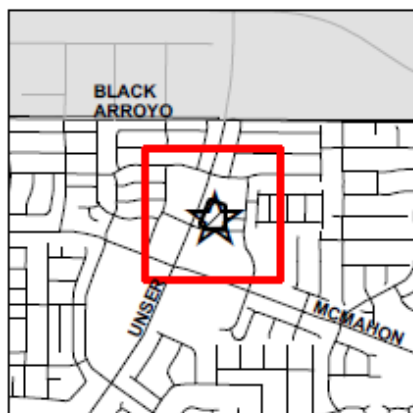
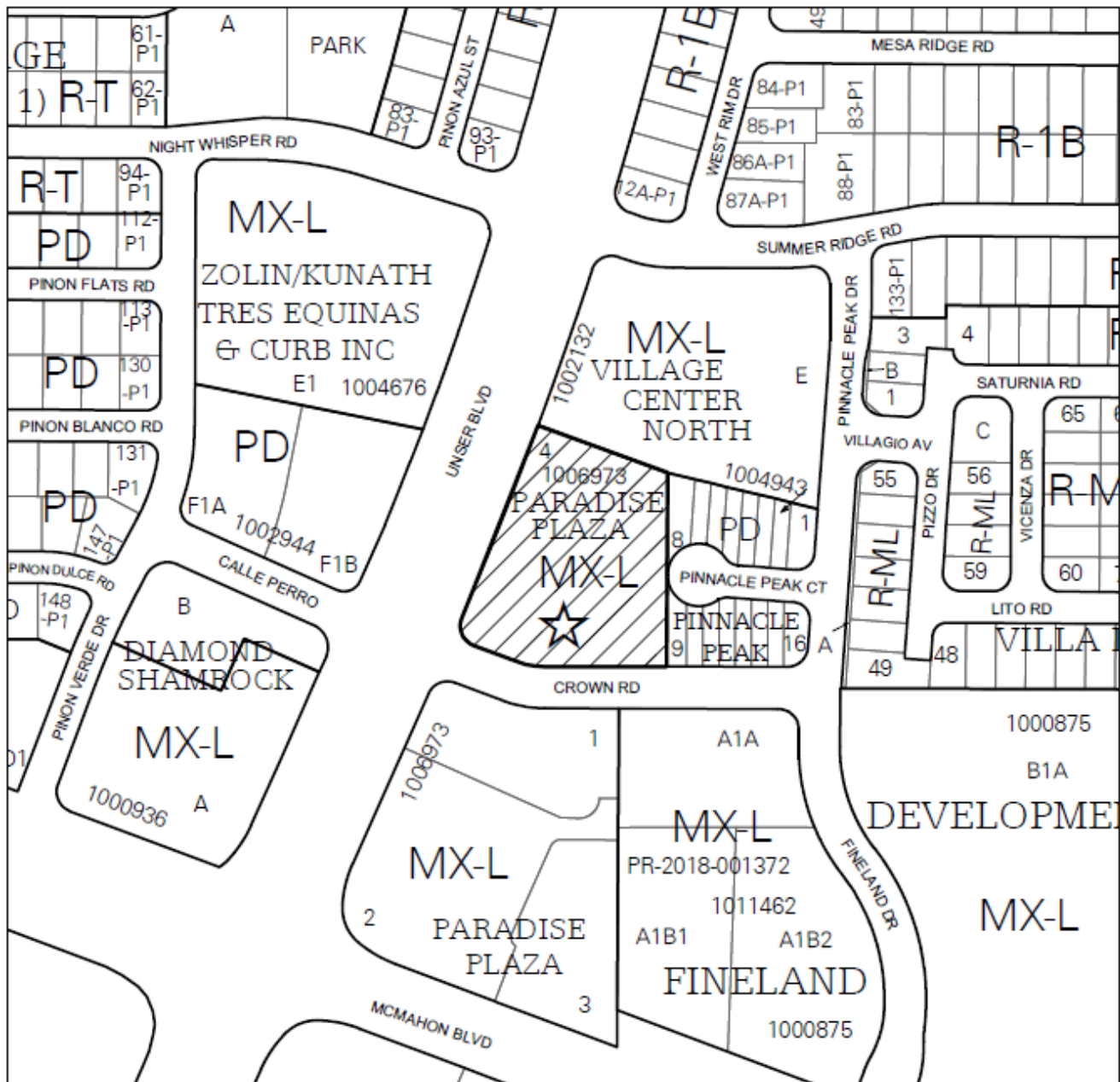
The subject site is in an Area of Change and is not in a designated Center.

The applicant notified the Westside Coalition of Neighborhood Associations and property owners within 100 feet of the subject site as required.

A pre-submittal meeting was not held and a facilitated meeting was not requested. Staff is unaware of any opposition. Staff recommends approval subject to conditions to ensure that requirements are met.







IDO ZONING MAP

Note: Gray shading
Indicates County.



1 inch = 200 feet

Hearing Date:

7/21/2022

Project Number:

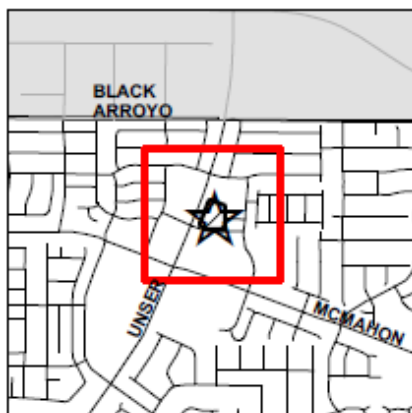
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LAND USE MAP

Note: Gray shading
Indicates County.

| Key to Land Use Abbreviations | |
|----------------------------------|--------------------------------|
| LDRES Low-density Residential | APRT Airport |
| MULT Multi-family | TRAN Transportation |
| COMM Commercial Retail | AGRI Agriculture |
| CMSV Commercial Services | PARK Parks and Open Space |
| OFC Office | DRNG Drainage |
| IND Industrial | VAC Vacant |
| INSMED Institutional / Medical | UTIL Utilities |
| ED Educational | CMTY Community |
| | KAFB Kirtland Air Force Base |

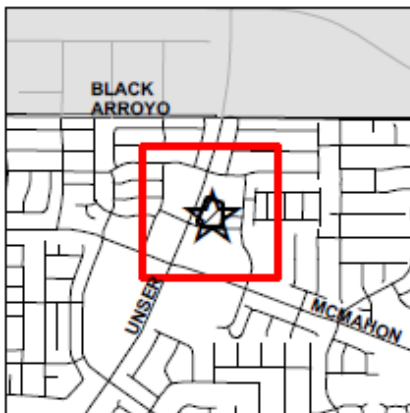
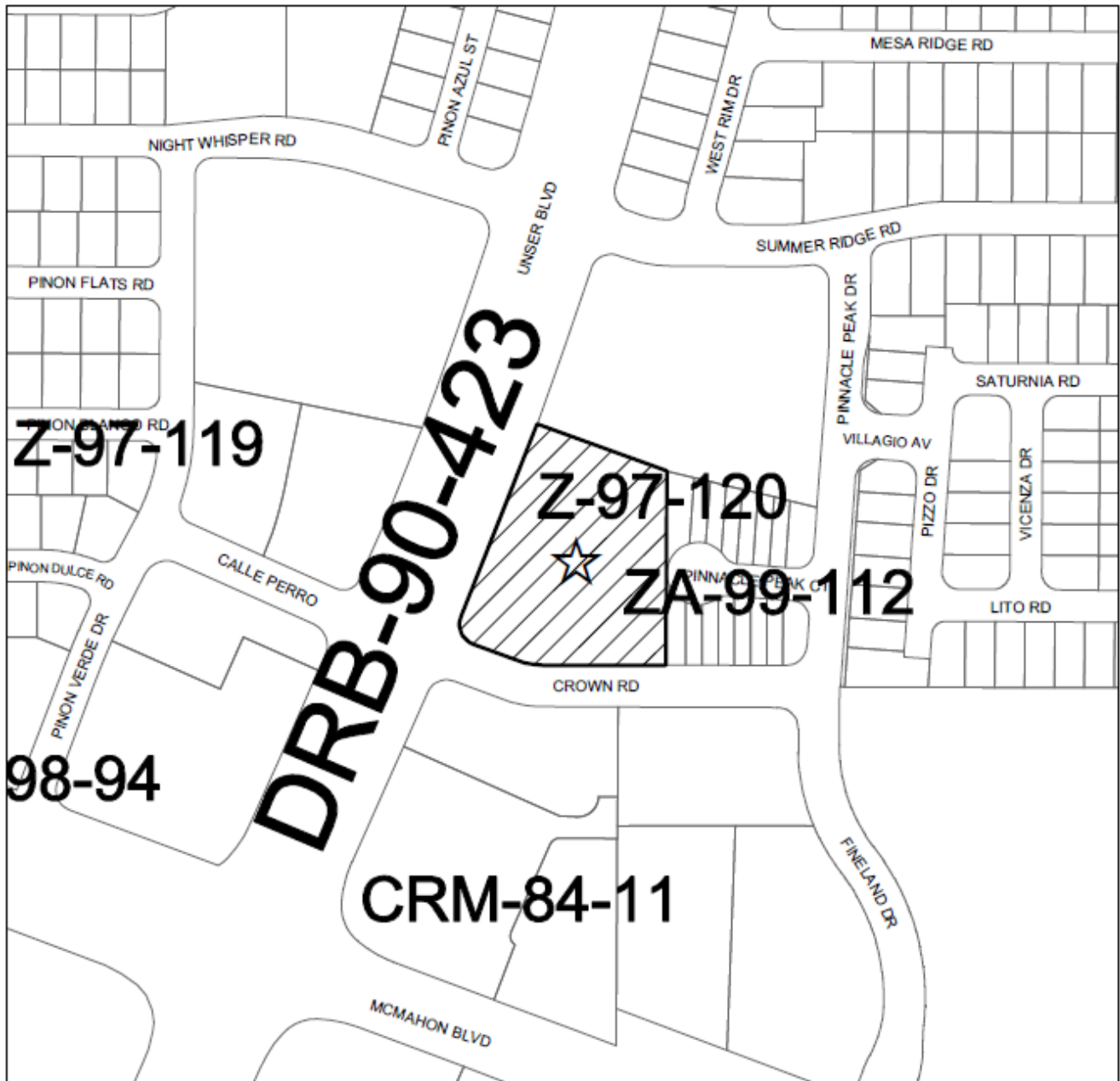


1 inch = 200 feet

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HISTORY MAP

Note: Gray shading
Indicates County.



1 inch = 200 feet

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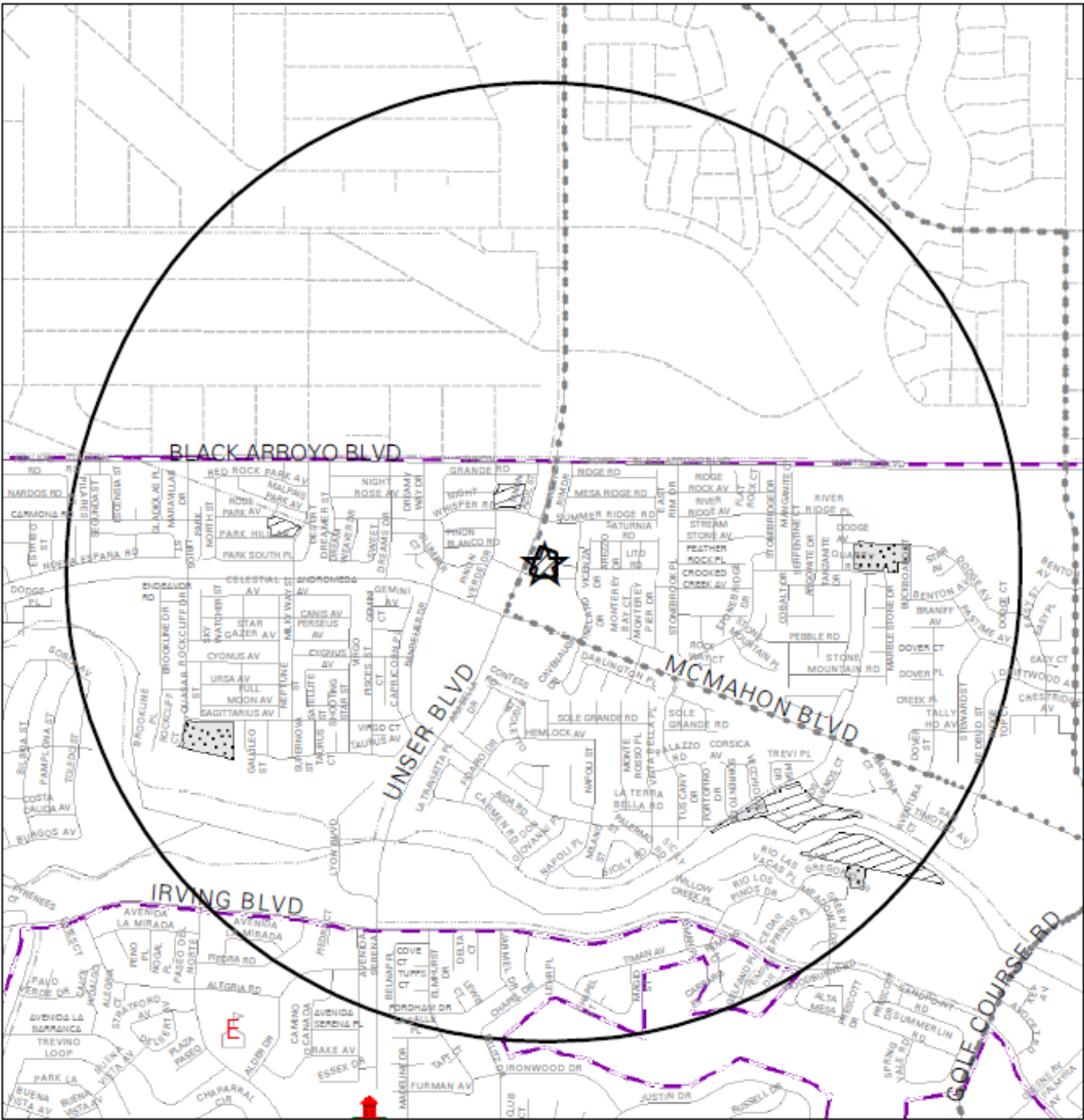
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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

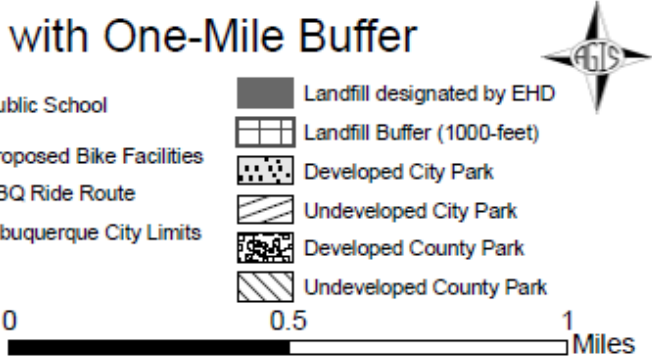


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- 2-Photographs – Existing Conditions
- 3-Zoning
- 4-History
- 5-Applicant Information
- 6-Staff Information
- 7-Notification
- 8-Site Plan
- 9-Site Plan Exhibits

I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

| | Zoning | Comprehensive Plan Area | Land Use |
|--------------|---------------|--------------------------------|---|
| Site | MX-L | Area of Change | Vacant |
| North | MX-L | Area of Change | Commercial Services (self-storage) |
| South | MX-L | Area of Change | Commercial Retail |
| East | PD | Area of Change | Low-density Residential (Dwelling, townhouse) |
| West | PD MX-L | Area of Change | Vacant Commercial Retail |

Request

The request is for a Site Plan EPC - Major Amendment to a Pre-IDO Approval for an approximately 2-acre site legally described as all or a portion of Tract 4, plat of Tracts 1, 2, 3 and 4, Paradise Plaza, located on Unser Blvd. NW, between Crown Rd. NW and Summer Ridge Rd. NW (the “subject site”).

The applicant wishes to amend Tract 4 of the Unser/McMahon Village Center North Site Development Plan for Subdivision, which has design parameters, (SPS) to allow auto-related uses and services, including drive-up service windows. Additionally, the request would allow the development of an approximately 1,400 SF Light Vehicle Repair Facility (a “Take 5 Oil Change”) on a 0.52 acre portion of Tract 4. The subject site would remain in the controlling SPS with design parameters, but the future auto oriented use would be allowed.

Although several Motor Vehicle-related uses are permissive in the MX-L zone district, the EPC is hearing this request because the controlling SPS excludes automobile related retail and service uses and drive-up facilities on the subject site. A related Pre-IDO approval for Project # 1000936 (a zone change NOD dated 2/8/2018) requires EPC review and approval of any auto-related uses and associated Site Plans on Tract 4 (see attachments).

EPC Role

The EPC is hearing this request (SI-2022-01132) because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).

With the approval of Project #1000936, a zone change request for tract 4, the EPC is required to approve changes of use to auto-related uses and services as well as Site Plans for auto-relates uses

and services and drive up service windows on Tract 4 (see Notice of Decision dated February 8, 2018).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to City Council. The City Council would then make the final decision.

Context

The subject site is located in a developed area on Albuquerque's west side on the northeast corner of Unser Blvd. NW and Crown Rd. NW. It is within the boundaries of the Unser/McMahon Village Center North Site Development Plan for Subdivision. Historically, portions of the subject site are included within the boundaries of two site development plans for subdivision: Project #1000936, which contained 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center; and Project # 1000898, which contained 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed-use, and 13 acres outside the Village Center, zoned SU-1 for R-2 (see attachments). Since the subject site has been replatted as Tract 4, it is important to note that it was originally two lots. It is currently approximately 2 undeveloped acres, of the controlling SPS that is nearly built out

The surrounding area is characterized by a variety of land uses-predominately commercial retail, commercial services, low-density residential, with some multi-family to the southeast of the subject site. Abutting to the east of the subject site is a residential townhome development, zoned PD, A 6-foot high CMU wall occupies the property line between the townhomes and subject site. North of the subject site is an indoor self-storage facility. To the south across the access street, Crown Road NW, is an auto parts store. To the west across Unser Blvd., is a veterinary clinic, a small strip mall, and a gas station located at the northwest corner of the Unser Blvd. and McMahon Blvd. intersection. To the south east of the site, across Crown Rd. NW, is a preschool. Further north and east are single-family homes. Further south is a pharmacy with a drive-through.

History

The subject site is within the boundaries of the Unser/McMahon Village Center North Site Development Plan for Subdivision, which has design parameters. The subject site was originally split between two portions of the controlling SPS as Tract J and Parcel F. Project #1000936, which contained 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center was approved in July of 2001. Project # 1000898 which contained 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed-use, and 13 acres outside the Village Center, zoned SU-1 for R-2 was approved in December of 2001 (see attachments). The SPS controls Tract 4 (the subject site), which was approved to exclude all automobile related retail and service uses and drive up facilities on all SU-1 for Mixed-use Development with C-1 uses.

On February 8, 2001, the EPC approved a Zone Map Amendment request on the subject site from SU-1 for Mixed-Use Development with C-1 Permissive uses excluding automobile related retail and service uses and drive-up facilities to SU-1 for C-1 with auto-related uses controlled by project 1000936. The SPS controlled Site Plans for auto-related uses and changes of use to auto-related uses and drive up service windows by requiring EPC review and approval (See Project, 1000936 NOD dated 2/8/2018, attached).

In 2018, a Site Plan for a proposed car was submitted to the City, which was withdrawn and never developed.

No further history on the subject site is known.

Transportation System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Unser Blvd. NW is classified as a regional principal arterial. Crown Rd. NW is a local street.

Comprehensive Plan Designations

The subject site is in an Area of Change as designated by the Comprehensive Plan and is not within a designated Center. It is within the Northwest Mesa Community Planning Assessment Area (CPA). This CPA is a predominantly residential community, adjacent to the volcanoes and volcanic Northwest Mesa Escarpment and overlooking the river and mountains.

The subject site is on Unser Blvd. NW, which is classified as a future Premium Transit Corridor and a Commuter Corridor within the Comprehensive Plan. Premium Transit Corridors are intended to be served eventually by high-quality, high-capacity, high-frequency public transit (e.g. bus rapid transit). These Corridors are planned for mixed-use and transit-oriented development within walking distance from transit stations at strategic locations along the corridor.

Commuter Corridors are higher-speed and higher-traffic volume with routes for people going across town (e.g. limited-access roadways). These Corridors accommodate faster and longer trips for personal vehicles, commuter bus service, and often bicycling. For now, Unser Blvd. is a Commuter Corridor and Central Ave. NW is the only designated Premium Transit Corridor.

Overlay Zones

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

Trails/Bikeways

The Mid-Region Council of Governments (MRCOG) Metropolitan Transit Plan (MTP) Long Range Bikeway System and the City's Bikeways and Trails Facility Plan designate both Unser Boulevard NW and the north side of McMahon Boulevard NW as having a Paved Multiple-Use Trail (a paved trail closed to automotive traffic) and a Bicycle Lane (street with designated bike lane).

Transit

The subject site is well served by transit.

Unser Boulevard NW is a Commuter Corridor that is currently served by the Paseo del Norte Rapid Ride route and the Coors Blvd. (155) Primary route. The Rapid Ride runs for approximately 22 miles north and south on Unser from Northern Blvd. in Rio Rancho to Paseo Del Norte eventually stopping at the Alvarado transportation station downtown. The Coors Blvd route is approximately

22 miles in length running from northern Blvd. in Rio Rancho along Unser Blvd. and turns east down McMahon Blvd. to Coors Blvd. There are parallel Bus Stops for Route 155 at the intersection of Unser Blvd. and Summer Ridge Rd. NW.

Public Facilities/Community Services

Please refer to the Public Facilities Map (Page 6), which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Allowable Use: A land use allowed in a particular zone district by Table 4-2-1 as a primary or accessory use, whether allowed permissively or conditionally. See also Use Definitions for Permissive Use, Conditional use, and Accessory Use.

Areas of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Site-Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or non-residential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO would be determined based on the level of detail provided in the prior approval.

Zoning

The subject site is zoned *MX-L (Mixed-use – Low Intensity Zone District, IDO 14-16-2-4(B))* which was assigned upon the adoption of the Integrated Development Ordinance (IDO) in May 2018, based upon prior zoning and land use designations SU-1 for Mixed Use Development-C-1 permissive uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres); (Mixed Use / Neighborhood Commercial).

The purpose of the MX-L zone district is to provide for neighborhood-scale convenience shopping needs, primarily at intersections of collector streets. Primary land uses include non-destination retail and commercial uses, as well as townhouses, low-density multi-family, and civic and institutional uses to serve the surrounding area, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in IDO Table 4-2-1, pages 143-148 of the IDO.

Pursuant to IDO Table 4-2-1: Allowable Uses, Motor Vehicle-related uses are permitted in the MX-L zone.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation.

The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Applicable Goals and policies are listed below. Staff analysis follows in bold italics.

Chapter 5: Land Use

Goal 5.1- Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is not located in a designated Center, but it is on Unser Blvd. NW, a Commuter Corridor and future Premium Transit Corridor as designated by the Comprehensive Plan. The request would facilitate the development of a Light Vehicle Repair facility that would continue to reinforce the corridor as intended. These Corridors are planned for mixed-use and transit-oriented development as well as faster and longer trips for personal vehicles, commuter bus service, and often bicycling. Additionally, the subject site is located in an Area of Change which allows a use that would benefit the surrounding community. The request is generally consistent with Goal 5.1 Centers and Corridors.

Policy 5. 1. 12: Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited access roadways.

Subpolicy (a): Allow auto-oriented, single-use development, such as strip retail, large retail facilities, and business and institutional campuses along Commuter Corridors.

The subject site is located on Unser Blvd. NW, a Commuter Corridor as designated by the Comprehensive Plan. The request would allow auto-related uses and services on the subject site as well as a Light Vehicle Repair development (an oil change facility) along Unser Blvd., which is consistent with Policy 5.1.12 and Sub-policy a.

Subpolicy (b): Buffer residential land uses adjacent to Commuter Corridors.

The subject site is zoned MX-L and located adjacent to a low-density residential (Dwelling, townhouse) development. The request for auto-related uses and services on the subject site would facilitate the development of an oil change facility. Neighborhood-scale convenience shopping needs at the intersection of collector streets are an intended use of the MX-L zone district. The subject site serves as a buffer between the existing residential land use to the east and Unser Blvd. Commuter Corridor to the west, although the Use Specific Standards for Light Vehicle Repair prohibit vehicle repair within 25' of a lot containing a residential use in any Mixed-Use district. The request is generally consistent with Subpolicy b.

Subpolicy c) Support traffic flow by limiting new curb cuts, encouraging shared access roads, or providing access from perpendicular local roads.

The request would facilitate the development of oil change facility. The subject site would remain within the controlling SPS which has design parameters. The applicant has stated that any proposed curb cuts are to be constructed along Crown Rd. with no new curb cuts along the Unser Blvd. Commuter Corridor, therefor supporting traffic flow by limiting new curb cuts. The request is generally consistent with Subpolicy c.

Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request would continue to foster a community where residents can live work, and shop. The subject site is zoned MX-L, which allows motor vehicle-related uses, which is the proposed future use of the subject site. The Unser Blvd. Premium Transit and Commuter Corridor is planned for mixed-use and transit-oriented development, which adds to the existing commercial services/retail and residential uses surrounding the subject site. The request is generally consistent with Goal 5.2.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Subpolicy (a): Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential while providing a light vehicle repair use to the immediate and surrounding community that is conveniently accessible from surrounding neighborhoods. Furthermore, the subject site is on a future Premium Transit Corridor and a Commuter Corridor with access to existing paved bike trails and sidewalks that have connections to the surrounding neighborhoods. The request is consistent with Policy 5.2.1 and Subpolicy a.

Subpolicy h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

According to the Comprehensive Plan, Areas of Change highlight Corridor Areas where new development and redevelopment are desired. They include vacant land and commercial or industrial areas that would benefit from infill or revitalization. The request would allow the development of an auto-related use and service on a vacant lot that does not currently allow them, but is zoned for them. The applicant is proposing a future Light Vehicle Repair facility, which would be a complementary use to the surrounding area. The request is consistent with Subpolicy h.

Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and designated Premium Transit and Commuter Corridor, which are highlighted infill development locations within the Comprehensive Plan. Any future development on the subject site would be served by existing infrastructure and public facilities. The development of the proposed Light Vehicle Repair facility made possible by the request would promote efficient development patterns and use of land. The request is consistent with Goal 5.3 – Efficient Development Patterns and Policy 5.3.1 – Infill Development

Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side

Subpolicy a): Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

The subject site is located on the West Side of the Rio Grande and is zoned MX-L, allowing commercial and office uses. The request to allow auto-related uses and services on the subject site would allow the development of a Light Vehicle Repair facility adding potential jobs on the West Side. Ensuring that the site allows a use that the land is zoned for fosters an employment opportunity. The request is consistent with Policy 5.4.2 -West Side Jobs and Subpolicy a.

Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired. The request would encourage enable and direct growth to it. The request is consistent with Goal 5.6-City Development Areas.

Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The intent is to direct growth and more intense development to Centers, Corridors, and industrial and business parks. The request would further this policy as it is located on a future Premium Transit and a Commuter Corridor, Unser Blvd. NW, where more intense development and growth is encouraged. The request is consistent with Policy 5.6.2 – Areas of Change.

Subpolicy b): Encourage development that expands employment opportunities.

The Comprehensive Plan highlights Corridors within Areas of Change as areas where growth is desired and where additional residents, services, and jobs can be accommodated in locations ready for new development (Comp Plan pg. 5-23). The request would facilitate the development of a Light Vehicle Repair facility on a future Premium Transit and a Commuter Corridor, Unser Blvd., and in an Area of Change, therefore it is generally consistent with Subpolicy b.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

Subpolicy a: Improve the pedestrian environment through coordinated design of subdivisions, streets, development sites, and buildings

The proposed Site Plan for an approximate 1,400 SF oil change facility follows the design parameters of the controlling SPS as well as standards within the MX-L zone district and DPM, therefore provides pedestrian access points at appropriate locations on the Site Plan. It is located on Unser Blvd. NW, which has a designated multiple-use trail and bus route. The development of the site will ensure sidewalk construction along the frontage of the site generally ensuring pedestrian oriented-development. The request is generally consistent with Goal 7.2, Policy 7.2.1 and Subpolicy a.

Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

Subpolicy a: Design development to reflect the character of the surrounding area and protect and enhance views.

The request is for the review and approval of an auto related use and services as well as a Site Plan for an approximate 1,400 SF oil change facility. The proposed Site Plan is required to follow the design parameters of the controlling SPS as well as standards within the MX-L zone district and DPM. The subject site is approximately 2 undeveloped acres within the Unser/McMahon Village Center, which is nearly built out. By remaining within the controlling SPS and requesting the auto-oriented use, the request would reinforce context-sensitive design of the development and streetscape as well as the distinct character and identity of the surrounding area. The request is consistent with Goal 7.3, Policy 7.3.2 and Subpolicy a.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is located in an Area of Change and on a designated Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request is for auto-related uses and services on the subject site and the development of a Light Vehicle repair facility. The subject site would remain in the controlling Unser/McMahon Village Center North SPS and be required to follow the design guidelines. The request would promote infill that blends in style

with the surrounding structures and the streetscape. The request is consistent with Policy 7.3.4 – Infill.

Chapter 8: Economic Development\

Goal 8.1- Placemaking: Create places where business and talent will stay and thrive.

The request would allow the development of an approximately 1,400 SF oil change facility on a vacant lot within the Unser/McMahon Village Center North SPS. The subject site is located in an Area of Change and along a Premium Transit and Commuter Corridor which are areas highlighted as prime infill locations. The Comprehensive Plan states that infill of vacant land is crucial to economic development and will help provide attractive, well-connected urban places that attract knowledge-based employers and the workforce they need (Comp Plan pg. 8-15). Although, the subject site zoned MX-L with numerous permissive uses, including residential, so there is no guarantee for future business on the subject site. The request is generally consistent with Goal 8.1 – placemaking.

Policy 8.1.1 Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

Subpolicy b: Support a variety of lower-density, lower-intensity services, jobs, and housing outside of Centers.

The subject site is located in the Unser/McMahon Village Center North SPS. The surrounding area is characterized with a variety of mixed uses, commercial service/retail, low density residential, single-family, and multi-family uses. The subject site is zoned MX-L, which allows a variety of uses on the site, but the request would facilitate the development of a Light Vehicle Repair facility that would offer an employment opportunity in an established neighborhood on the West Side, outside of a Center. The request would encourage a small-scale economic development opportunity, therefore generally being consistent with Policy 8.1.1 and Subpolicy b.

Not Applicable

Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

The request would not encourage residential growth or employment and does not promote it. It does not provide job and housing balance by encouraging residential growth near employment. Furthermore, the request would facilitate redevelopment of the subject site into a proposed light vehicle repair use. The request would potentially add jobs within an existing neighborhood west of the Rio Grande, but does not prioritize job growth. Goal 5.4- Jobs-Housing Balance does not apply.

Policy 5.4.2 – West Side Jobs, Subpolicy b: Prioritize employment opportunities within Centers.

The subject site is not located within a designated Center, therefore Subpolicy b does not apply.

Policy 5.4.2 – West Side Jobs, Subpolicy c: Prioritize incentives and support for employers providing base employment on the West Side

The request is the review and approval to allow auto-related uses and services on the subject site. The site is Zoned MX-L, which allows a variety of other land uses in which the subject site could be developed. The request does not provide or prioritize incentives or support for an employer already providing employment on the West Side, therefore, the request does not apply to Subpolicy c.

Policy 8. 1. 2 - Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

Subpolicy a: Maximize opportunities for economic development that furthers social, cultural, and environmental goals.

The request would make auto-related uses and services allowable on the subject site, therefore facilitating auto-oriented development. Although the approval of the proposed Site Plan for an oil change facility would result in a new employment opportunity on a vacant site for new and existing residents in the surrounding area, it does not further social, cultural, and environmental goals. The request does not apply to Policy 8.1.2 or Subpolicy a.

Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)- Site Plan-EPC Review and Decision Criteria

The request is for a Major Amendment of a Pre-IDO approval for the review of auto-related uses and services. IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, would be approved if it meets all of the following criteria:

- 6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.

- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is zoned MX-L. Therefore, the above criterion does not apply.

- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed major amendment is to allow auto-related uses and services on the subject site as well as an approximately 1,400 SF oil change facility. The subject site is within the controlling Unser/McMahon Village Center North SPS, which has design parameters. The proposed site plan made possible by the request would comply with all applicable provisions of the IDO, DPM, and design parameters within the SPS.

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the developer is responsible for mitigating any potential negative impacts to any existing infrastructure.

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The proposed major amendment is to allow auto-related uses and services which would facilitate the development of a Light Vehicle Repair facility on the subject site. The subject site is zoned MX-L in which Motor Vehicle-related uses are already permissive. The applicant has stated that the proposed development would comply with the design parameters within the controlling SPS and the IDO, mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within a Master Development Plan. It is within the boundaries of the Unser McMahon Village Center North Site Development Plan for Subdivision and is zoned MX-L. The request for auto-related uses and services on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(C).

- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

III. SITE PLAN MAJOR AMENDMENTS

Request

The request is for a Major Amendment for an approximately 2-acre site (Tract 4) in the Unser/McMahon Village Center North Site Development Plan for Subdivision (SPS) that would allow:

1. Auto-related uses and services, including drive-up service windows (Motor Vehicle-related uses, per IDO 4-2 Allowable Uses).

The EPC is hearing this request because a Pre-IDO approval for Project # 1000936 (NOD dated 2/8/2018) requires EPC review and approval for changes of use to auto-related uses and services as well as Site Plans for auto-related uses and services and drive up service windows on Tract 4 (see NOD dated 2-8-2018). IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration.

2. An approximately 1,407 square foot Light Vehicle Repair facility (a “Take Five oil change”) on a 0.52-acre portion of tract 4.

The controlling SPS excludes automobile related retail and service uses and drive-up facilities on the subject site. The approval of this request will allow the proposed development of a light vehicle repair facility (see attached Site Plan exhibits).

The applicant has stated that the proposed development made possible by the request would follow the design parameters of the SPS and all applicable provisions and Design Standards for the MX-L zone district of the IDO and DPM.

Staff has crafted conditions of approval to create compliance as needed.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

A. Review of Proposed Site Plan

Site Plan Layout/Configuration

The subject site is currently vacant and the proposed site plan is for an approximately 1,407 square foot, 3 bay automobile drive-thru oil change facility and is comprised of approximately 0.52 acres on the southern portion of the subject site.

Use Specific Standards for Light Vehicle Repair (IDO section 14-16-4-3(D)(19)) prohibit vehicle repair within 25 feet in any direction of any Residential zone district or lot containing a residential use in any Mixed-use zone district. The oil change facility is located over 160-feet from the residential townhome development adjacent to the subject site to the east, making it permissive.

In addition to the 1,407 SF building, the Site Plan includes two vehicular access points, parking, curb and gutter, sidewalks, lighting, signage, and landscaping.

Pedestrian, Bicycle and Transit Access

The subject site is well served by transit. Unser Boulevard NW is a Commuter Corridor that is currently served by the Paseo del Norte Rapid Ride route and the Coors Blvd. (155) Primary route. The Rapid Ride runs for approximately 22 miles north and south on Unser from Northern Blvd. in Rio Rancho to Paseo Del Norte eventually stopping at the Alvarado transportation station downtown. The Coors Blvd route is approximately 22 miles in length running from northern Blvd. in Rio Rancho along Unser Blvd. and turns east down McMahon Blvd. to Coors Blvd. There are parallel Bus Stops for Route 155 at the intersection of Unser Blvd. and Summer Ridge Rd. NW.

There is adequate sidewalk infrastructure along the boundaries of the subject site, which provide walkability from the nearby businesses, residential neighborhoods, and bus stops. Unser Boulevard NW and the north side of McMahon Boulevard NW as having a Paved Multiple-Use Trail (a paved trail closed to automotive traffic) and a Bicycle Lane (street with designated bike lane).

The Site Plan includes a 6' proposed sidewalk along Crown Rd. NW which includes one ADA public access pathway from Crown Rd. NW and one ADA parking access pathway from the parking lot to the oil change facility. There are two parallel ADA curb ramps at a vehicular access point along Crown Rd. NW.

Vehicular Access, Circulation and Parking

The subject site does not have existing driveways along Crown Rd. NW or Unser Blvd. NW. The site plan proposes two new access points off of Crown Rd. NW. One entrance is located on the south eastern side of the building with access to a parking lot and 3 drive up service bays. One exit is located on the south western side of the building for vehicles leaving the service station.

Table 5-5-1, parking for Light Vehicle Repair use requires 1 spaces/1,000 SF GFA. The new proposed development is required to provide 2 parking spaces and 1 ADA parking space. The site plan includes 8 parking spaces including one van accessible ADA space.

Required bicycle parking per the IDO Table 5-5-5 is 3 spaces or 10% of required off-street parking spaces, whichever is greater. The existing site development plan is in compliance with this requirement and includes a bike rack on the south east side of the building, near the proposed entrance to the oil change facility

Landscaping, Buffering and Screening

IDO section 14-16-5-6 requires that a minimum of 15 percent of the net lot area of each development shall contain landscaping. The proposed development is located on 0.52 acres or 22,591 SF of the subject site. The required landscape area is 3,175 SF and proposed landscaping provided on the Site Plan is 12, 688 SF. The proposed site plan is in compliance with IDO landscaping calculation requirements.

The Landscape Plan shows the proposed location and type of trees and ground cover being provided.

A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas.

Landscape Area Coverage:

- Required landscaped area (15%): 3,175 SF
- Proposed landscaped area: 12, 688 SF
- Required ground-level plant coverage (75%): 9,516 SF
- Provided ground-level plant coverage: 15,846 SF

Walls and Fences

There is existing privacy fencing (a 6' CMU block wall) along the eastern boundary of the subject site around the townhome development.

The request includes a 42" minimum wrought iron fence around a proposed landscape/pond on the eastern edge of the subject site.

The request includes a proposed dumpster enclosure on the north eastern side of the site. The enclosure is an 8' Masonry wall and gate.

Building Design & Architecture

The applicant has followed the Unser/McMahon Village Center North SPS design parameters as well as the IDO development standards for building design; heights, setbacks, colors, materials, etc. for this request.

Signage

The applicant has stated that all signage will comply with the design standards within IDO section 14-16-5-12.

Grading & Drainage Plan

The proposed site plan proposes to install a 2,178 SF retention pond on the western most portion of the 0.52-acre portion of the subject site and a second 1,370 SF retention pond along the eastern most portion of the 0.52-acre portion of the subject site.

All drainage generally flows across the site from east to west. Grading is ADA compliant.

Utility Plan

The applicant provided a Master Utility Plan showing any existing overhead utilities, sanitary sewer lines, eater lines, and storm sewer lines.

PNM notes that they have facilities abutting and/or in easements along the Crown Rd and Unser Blvd frontages and along the east side of the site. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.

The ABCWUA noted that the subject site exists outside of the Water Utility Authority adopted service area and within previously designated NMUI service area. Additional Water Authority approval may be required.

B. Design Parameters for Unser/McMahon Village Center North Site Plan for Subdivision

With the EPC's approval of the request, the auto-oriented use would become permissive on the subject site and the subject site would remain subject to the controlling SPS. The proposed Site Plan is required to follow the design parameters of the SPS.

The applicant is following all SPS design parameters and the City of Albuquerque's IDO development requirements for the Site Plan Major Amendment request. The Design Parameters state, "Where there is conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply." The controlling site development plan for subdivision was implemented before the adoption of the IDO; therefore, some IDO zoning requirements are more stringent than the controlling site plan. The SPS standards must be in compliance to receive site plan approval.

SPS Design Parameters include General Site Design standards that address the issues of:

- landscape
- setbacks
- pedestrian amenities
- screening
- lighting
- signage
- architecture

In addition to the SPS Design Parameters, the proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval. The site plan and related drawings were received June 6, 2022. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Staff has reviewed the proposed Site Plan and associated drawings and has crafted few conditions of approval to meet applicable design standards within the SPS and IDO.

V. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application. Few but notable agency comments were received. Agency Comments received were based upon the initial application submittal on June 9, 2022. Staff has based the analysis on a revised project letter submitted on July 14, 2022.

APD has provided comments based on Crime Prevention through Environmental Design, which should be applied to any future development.

The ABCWUA (Water Authority) and PNM offered standard comments which will become more important as future plans are reviewed.

Agency Comments begin on page 33 of this report.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected, registered neighborhood organization is the Westside Coalition of Neighborhoods Associations which was notified as required. Property owners within 100 feet of the subject site were also notified, as required (see attachments).

A pre-submittal neighborhood meeting was offered and a facilitated meeting was offered with no requests or no known objections. As of this writing, Staff has not received any comments in support or opposition to the request.

VI. CONCLUSION

The applicant proposes a Major Amendment to the controlling Unser/McMahon Village Center North Site Plan for Subdivision for an approximately 2-acre site legally described as all or a portion of Tract 4, plat of Tracts 1, 2, 3 and 4, Paradise Plaza, located on Unser Blvd. NW, between Crown Rd. NW and Summer Ridge Rd. NW (the "subject site").

The applicant wishes to amend Tract 4 of the SPS to allow auto-related uses and services, including drive-up service windows on the subject site. Additionally, the request would allow the development of an approximately 1,400 SF Light Vehicle Repair Facility (a "Take 5 Oil Change") on a 0.52 acre portion of Tract 4. The subject site would remain in the controlling SPS with design parameters, but the future auto oriented use would be allowed.

Although several Motor Vehicle-related uses are allowable in the MX-L zone district, the EPC is hearing this request because the controlling SPS excludes automobile related retail and service uses and drive-up facilities on the subject site. A Pre-IDO approval for Project # 1000936 (NOD dated 2/8/2018) requires EPC review and approval for changes of use to auto-related uses and services as well as Site Plans for auto-relates uses and services and drive up service windows on Tract 4 (see attached NOD).

The subject site is zoned MX-L (Mixed-use – Low Intensity). It is located on a future Premium Transit and a Commuter Corridor and is in an Area of Change as designated by the Comprehensive Plan.

The request is generally consistent with applicable Comprehensive Plan goals and. Generally, not finding any conflicts with the IDO or other regulations, Staff recommends approval of the auto-oriented use and associated Site Plan, subject to conditions needed to improve compliance.

FINDINGS – SI-2022-01132, EPC-Major Amendment, July 21, 2022

1. The request is for a Site Plan EPC-Major Amendment of a Pre IDO-Approval for an approximately 2-acre site legally described as all or a portion of Tract 4, plat of Tracts 1, 2, 3 and 4, Paradise Plaza, located on Unser Blvd. NW, between Crown Rd. NW and Summer Ridge Rd. NW (“the subject site”).
2. The subject site is zoned MX-L (Mixed-use – Low intensity), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned SU-1 for Mixed Use Development-C-1 permissive uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres).
3. The subject site is within the controlling Unser/McMahon Village Center North Site Development Plan for Subdivision, which has design parameters (SPS).
4. Historically, portions of the subject site are included within the boundaries of two site development plans for subdivision: Project #1000936, which contained 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center; and Project # 1000898, which contained 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed-use, and 13 acres outside the Village Center, zoned SU-1 for R-2.
5. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).
6. With the approval of Project #1000936/17EPC-40069, a zone change request for Tract 4, the EPC is the required approving body for changes of use to auto-related uses and drive up service windows as well as Site Plans for auto-relates uses and services and drive up service windows on Tract 4 (see Notice of Decision dated February 8, 2018).
7. The applicant wishes to amend Tract 4 of the SPS to allow auto-related uses and services, including drive-up service windows and the development of an approximately 1,400 SF Light Vehicle Repair Facility (a “Take 5 Oil Change”).
8. The subject site would remain in the controlling SPS with design parameters, but the future auto oriented use would be allowed.
9. The subject site is located in an Area of Change as designated by the Comprehensive Plan and is part of the Northwest Mesa Community Planning Area (CPA). It is not in a designated Center.
10. The subject site is located on a Commuter Corridor and future Premium Transit Corridor, Unser Blvd. NW.

11. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
12. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Centers and Corridors from Chapter 5: Land Use
 - A. Goal 5.1- Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is not located in a designated Center, but it is on Unser Blvd. NW, a Commuter Corridor and future Premium Transit Corridor as designated by the Comprehensive Plan. The request would facilitate the development of a Light Vehicle Repair facility that would continue to reinforce the corridor as intended. These Corridors are planned for mixed-use and transit-oriented development as well as faster and longer trips for personal vehicles, commuter bus service, and often bicycling. Additionally, the subject site is located in an Area of Change which allows a use that would benefit the surrounding community.

- B. Policy 5. 1. 12: Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited access roadways.

Subpolicy a): Allow auto-oriented, single-use development, such as strip retail, large retail facilities, and business and institutional campuses along Commuter Corridors.

The subject site is located on Unser Blvd. NW, a Commuter Corridor as designated by the Comprehensive Plan. The request would allow auto-related uses and services on the subject site as well as a Light Vehicle Repair development (an oil change facility) along Unser Blvd.

- C. Policy 5.1.12, Subpolicy b): Buffer residential land uses adjacent to Commuter Corridors.

The subject site is zoned MX-L and located adjacent to a low-density residential (Dwelling, townhouse) development. The request for auto-related uses and services on the subject site would facilitate the development of an oil change facility. Neighborhood-scale convenience shopping needs at the intersection of collector streets are an intended use of the MX-L zone district. The subject site serves as a buffer between the existing residential land use to the east and Unser Blvd. Commuter Corridor to the west, although the Use Specific Standards for Light Vehicle Repair prohibit vehicle repair within 25' of a lot containing a residential use in any Mixed-Use district.

- D. Subpolicy c) Support traffic flow by limiting new curb cuts, encouraging shared access roads, or providing access from perpendicular local roads.

The request would facilitate the development of oil change facility. The subject site would remain within the controlling SPS which has design parameters. The applicant has stated

that any proposed curb cuts are to be constructed along Crown Rd. with no new curb cuts along the Unser Blvd. Commuter Corridor, therefor supporting traffic flow by limiting new curb cuts

13. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Complete Communities from Chapter 5: Land Use

- A. Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together

The request would continue to foster a community where residents can live work, and shop. The subject site is zoned MX-L, which allows motor vehicle-related uses, which is the proposed future use of the subject site. The Unser Blvd. Premium Transit and Commuter Corridor is planned for mixed-use and transit-oriented development, which adds to the existing commercial services/retail and residential uses surrounding the subject site.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Subpolicy (a): Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential while providing a light vehicle repair use to the immediate and surrounding community that is conveniently accessible from surrounding neighborhoods. Furthermore, the subject site is on a future Premium Transit Corridor and a Commuter Corridor with access to existing paved bike trails and sidewalks that have connections to the surrounding neighborhoods.

14. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Efficient Development Patterns and Infill from Chapter 5: Land Use and Chapter 7: Urban Design

- A. Policy 5.2.1 Subpolicy h: infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

According to the Comprehensive Plan, Areas of Change highlight Corridor Areas where new development and redevelopment are desired. They include vacant land and commercial or industrial areas that would benefit from infill or revitalization. The request would allow the development of an auto-related use and service on a vacant lot that does not currently allow them, but is zoned for them. The applicant is proposing a future Light Vehicle Repair facility, which would be a complementary use to the surrounding area.

- B. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and designated Premium Transit and Commuter Corridor, which are highlighted infill development locations within the Comprehensive Plan. Any future development on the subject site would be served by existing infrastructure and public facilities. The development of the proposed Light Vehicle Repair facility made possible by the request would promote efficient development patterns and use of land.

- C. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired. The request would encourage enable and direct growth to it. The request is consistent with Goal 5.6-City Development Areas.

- D. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The intent is to direct growth and more intense development to Centers, Corridors, and industrial and business parks. The request would further this policy as it is located on a Premium Transit and Commuter Corridor, Unser Blvd. NW, where more intense development and growth is encouraged.

- E. Policy 5.6.2, Subpolicy b): Encourage development that expands employment opportunities.

The Comprehensive Plan highlights Corridors within Areas of Change as areas where growth is desired and where additional residents, services, and jobs can be accommodated in locations ready for new development (Comp Plan pg. 5-23). The request would facilitate the development of a Light Vehicle Repair facility on a future Premium Transit and a Commuter Corridor, Unser Blvd., and in an Area of Change.

- F. Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is located in an Area of Change and on a designated Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request is for auto-related uses and services on the subject site and the development of a Light Vehicle repair facility. The subject site would remain in the controlling Unser/McMahon Village Center North SPS and be required to follow the design guidelines. The request would promote infill that blends in style with the surrounding structures and the streetscape.

15. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 7: Urban Design

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

Subpolicy a: Improve the pedestrian environment through coordinated design of subdivisions, streets, development sites, and buildings

The proposed Site Plan for an approximate 1,400 SF oil change facility follows the design parameters of the controlling SPS as well as standards within the MX-L zone district and DPM, therefore provides pedestrian access points at appropriate locations on the Site Plan. It is located on Unser Blvd. NW, which has a designated multiple-use trail and bus route. The development of the site will ensure sidewalk construction along the frontage of the site generally ensuring pedestrian oriented-development.

- B. Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

Subpolicy a: Design development to reflect the character of the surrounding area and protect and enhance views.

The request is for the review and approval of an auto related use and services as well as a Site Plan for an approximate 1,400 SF oil change facility. The proposed Site Plan is required to follow the design parameters of the controlling SPS as well as standards within the MX-L zone district and DPM. The subject site is approximately 2 undeveloped acres within the Unser/McMahon Village Center, which is nearly built out. By remaining within the controlling SPS and requesting the auto-oriented use, the request would reinforce context-sensitive design of the development and streetscape as well as the distinct character and identity of the surrounding area.

16. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Economic Development and Employment from Chapter 5: Land Use and Chapter 8: Economic Development.

- A. Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side

Subpolicy a): Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

The subject site is located on the West Side of the Rio Grande and is zoned MX-L, allowing commercial and office uses. The request to allow auto-related uses and services on the subject site would allow the development of a Light Vehicle Repair facility adding potential jobs on the West Side. Ensuring that the site allows a use that the land is zoned for fosters an employment opportunity.

B. Goal 8.1- Placemaking: Create places where business and talent will stay and thrive.

The request would allow the development of an approximately 1,400 SF oil change facility on a vacant lot within the Unser/McMahon Village Center North SPS. The subject site is located in an Area of Change and along a Premium Transit and Commuter Corridor which are areas highlighted as prime infill locations. The Comprehensive Plan states that infill of vacant land is crucial to economic development and will help provide attractive, well-connected urban places that attract knowledge-based employers and the workforce they need (Comp Plan pg. 8-15). Although, the subject site zoned MX-L with numerous permissive uses, including residential, so there is no guarantee for future business on the subject site.

C. Policy 8.1.1 Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

Subpolicy b: Support a variety of lower-density, lower-intensity services, jobs, and housing outside of Centers.

The subject site is located in the Unser/McMahon Village Center North SPS. The surrounding area is characterized with a variety of mixed uses, commercial service/retail, low density residential, single-family, and multi-family uses. The subject site is zoned MX-L, which allows a variety of uses on the site, but the request would facilitate the development of a Light Vehicle Repair facility that would offer an employment opportunity in an established neighborhood on the West Side, outside of a Center. The request would encourage a small-scale economic development opportunity.

17. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a)** As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b)** The subject site is zoned MX-L; therefore, this criterion does not apply.
- C. 14-16-6-6(J)(3)(c)** The proposed major amendment is to allow auto-related uses and services on the subject site as well as an approximately 1,400 SF oil change facility. The subject site is within the controlling Unser/McMahon Village Center North SPS, which has design parameters. The proposed site plan made possible by the request would comply with all applicable provisions of the IDO, DPM, and design parameters within the SPS.

- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the developer is responsible for mitigating any potential negative impacts to any existing infrastructure.
 - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The proposed major amendment is to allow auto-related uses and services which would facilitate the development of a Light Vehicle Repair facility on the subject site. The subject site is zoned MX-L in which Motor Vehicle-related uses are already permissive. The applicant has stated that the proposed development would comply with the design parameters within the controlling SPS and the IDO, mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan. It is within the boundaries of the Unser McMahon Village Center North Site Development Plan for Subdivision and is zones MX-L. The request for auto-related uses and services on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(C).
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.
18. The affected, registered neighborhood organization is the Westside Coalition of Neighborhood Associations which was notified as required. Property owners within 100 feet of the subject site were also notified, as required.
19. A pre-submittal neighborhood meeting and a facilitated meeting were offered, but not held.
20. The applicant should coordinate with ABCWUA, PNM, and Albuquerque Police Department regarding comments provided for Crime Prevention through Environmental Design (CEPTED) at the time of building permit submittal.
21. As of this writing, Staff is not aware of any support or opposition to the request.

RECOMMENDATION – PR-2022-007151, SI-2022-01132, July 21, 2021

APPROVAL with conditions of Project # 2022-007151, SI-2022-01132, a Site EPC-Major Amendment for a Pre-IDO Approval for all or a portion of Tract 4, plat of Tracts 1, 2, 3 and 4, Paradise Plaza, located on Unser Blvd. NW, between Crown Rd. NW and Summer Ridge Rd. NW based on the preceding Findings and subject to the Conditions of Approval.

CONDITIONS OF APPROVAL – SI-2022-01132

1. The EPC delegates final sign-off authority of this site plan to the Site Plan- Administrative Process as per IDO Section 14-16-6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

2. The applicant shall coordinate with the Staff planner prior to submitting for building permit.
 3. Landscape Plan:
 - A. Provide dimensions for all plant beds, distances between trees, etc.
 - B. Show all curb cuts pursuant to IDO section 14-16-5-6(C)(13).
 - C. Show curb notches to correspond to curb notch location on the Grading and Drainage plan
 - D. Show LS beds depressed below grade
 4. Lighting:
 - A. Show locations of light poles on the site plan.
 - B. Provide light pole detail indicating height, color, and finish.
 5. Signage:
 - A. Signage area calculations shall be provided.
 - B. Building mounted signs shall not exceed 6% of façade area. Oil change logo sign shall be reduced from 6.5% to 6% of façade area
 - C. Add sign details to elevations for the Take 5 logo sign, oil change sign/ stay in your car sign and remove sign package (shows different dimensions).
 6. Conditions from PNM:
 - A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - B. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.
-
- C. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

Megan Jones

**Megan Jones, MCRP
Current Planner**

Notice of Decision CC list:

Brandenreed Properties LLC, Danny Brandenburg, zack.holland@durbandevelopment.com
Tierra West LLC, rb@tierrawestllc.com

Westside Coalition of Neighborhood Associations, Rene Horvath, aboard111@gmail.com

Westside Coalition of Neighborhood Associations, Elizabeth Haley, elizabethhaley@gmail.com

Legal, Dking@cabq.gov

EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

Long Range Planning

No comments were provided.

CITY ENGINEER

Transportation Development Review Services

Hydrology

New Mexico Department of Transportation (NMDOT)

Department of Municipal Development (DMD)

Traffic Engineering Operations (Department of Municipal Development)

Street Maintenance (Department of Municipal Development)

ABC WATER UTILITY AUTHORITY (ABCWUA)

- a. No adverse comment to the site's major amendment.
- b. For information only:
 - i. Please request for availability for the site as soon as development is known. The request can be made at the link: <https://www.abcwua.org/info-for-builders-availability-statements/>. The request shall include a City Fire Marshal approved Fire 1 Plan, a zone map showing the site location, and the proposed Utility Plan.
 - ii. Site exists outside of the Water Utility Authority adopted service area and within previously designated NMUI service area. Additional Water Authority approval may be required.

SOLID WASTE MANAGEMENT DEPARTMENT

No comment at this time.

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)

There are PNM facilities abutting and/or in easements along the Crown Rd and Unser Blvd frontages and along the east side of the site.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.

Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a ten-foot clear area around them to allow for access and maintenance.

Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

ABO RIDE

No comment.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

Parks and Recreation (PRD)

Open Space Division (OSD)

City Forester

Police Department/Planning/Crime Prevention Through Environmental Design (CPTED)

- Ensure adequate lighting throughout the project – exterior lighting on the service bays, storage areas and refuse disposal/dumpster areas.
- Ensure natural surveillance and clear lines of sight throughout the project. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the building to the street and the street to the building. Consider limiting marketing displayed on the windows and glass doors to improve visibility.
- Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.
- Maintain landscaping for visibility; trees should be trimmed to a canopy of six (6) feet and bushes should be trimmed to three (3) feet.

- Limit and clearly delineate access to the property; i.e. Employee Parking, Customer Entrance, Employee-only areas.
Provide signage that clearly directs the customer to the appropriate entrance.
- Ensure controlled access to the building through use of adequate door and lock systems.
- Control access between customer areas and employee-only areas.
- Consider video surveillance systems to monitor the retail space, including entrance and exit points, parking lots, and any sensitive areas such as cash handling and the storage areas. Utilize video surveillance to enhance visibility to areas of reduced natural surveillance.
- Ensure that addresses are posted and clearly visible.
- Create a clear transition from public to semi-public to semi-private to private space throughout the project.
- Install No Trespassing signs that cite the City Ordinance so that they are visible immediately upon entering the property.

Fire Department/Planning

Comments from Other Agencies

ALBUQUERQUE PUBLIC SCHOOLS

No comments.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse Comments.

COUNTY OF BERNALILLO

PLANNING AND DEVELOPMENT SERVICES

No adverse comments.

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

No adverse comment. Unser Blvd. is functionally classified as a Principal Arterial.

BERNALILLO COUNTY PUBLIC WORKS/TRANSPORTATION PLANNING

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PETROGLYPH NATIONAL MONUMENT

AVIATION DEPARTMENT

KIRTLAND AIR FORCE BASE



Figure 1: Looking NE from the southern edge of the subject site at an adjacent townhome development and a self-storage facility.

Figure 2: photo of sign posting and subject site on Crown Rd. NW



Figure 3: Development across Crown Rd. NW, south of the Subject Site.



Figure 4: Looking SE from the subject site at an adjacent pre-school on Crown Rd. and Finland Dr. NW.

Figure 5: Looking at commercial development across Unser Blvd. NW, west of the subject site.



HISTORY

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

February 8, 2018

Hotsy Equipment Company
Attn: Robert Reed
2211 Candelaria Rd NE
ABQ, NM 87102

Project# 1000936
17EPC-40069 Zone Map Amendment (Zone Change)

LEGAL DESCRIPTION:

The above action for all or a portion of Lot 4, Paradise Plaza, zoned SU-1 for Mixed Use Development-C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (maximum 4.5 acres) to C-1, located on the east side of Unser Blvd. NW between Crown Rd. NW and Summer Ridge Rd. NW, containing approximately 2 acres. (A-11)

Staff Planner: Cheryl Somerfeldt

PO Box 1293

Albuquerque

On February 8, 2018 the Environmental Planning Commission (EPC) voted to APPROVE Project NM 87103 1000936, 17EPC-40069, a Zone Map Amendment (Zone Change), based on the following findings.

FINDINGS:

www.cabq.gov

1. This is a request for a Zone Map Amendment (zone change) for Tract 4, Paradise Plaza, located on the east side of Unser Boulevard NW between Crown Road NW and Summer Ridge Road NW, north of McMahon Boulevard NW and containing approximately 2 acres.
2. The subject site is zoned SU-1 for Mixed Uses detailed in Project #1000936, which is SU-1 for Mixed Use Development C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on-premise consumption (maximum 4.5 acres). Automobile related retail and service uses, such as a car wash, are excluded and are not allowed by the subject site's zoning.
3. The request is to change the zoning to the SU-1 for C-1 with auto-related uses controlled by project 1000936. Site Development Plan for Subdivision will control auto-related uses and changes of use to auto-related uses and drive up service windows by requiring EPC review and approval.
4. The Site Development Plan for Subdivision shall create two separate lots and will be delegated to planning staff for approval.

OFFICIAL NOTICE OF DECISION

Project #1000936

February 8, 2018

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5. The Site Development Plan for Subdivision will have the following note: “The Site Development Plan for Subdivision Amendment shall be delegated to planning staff. Future Site Development Plans for Building Permit shall be delegated to planning staff with the exception of Site Development Plans for auto-related uses and changes of use to auto-related uses and drive up service windows, which shall require EPC review and approval.”
6. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, the Unser Boulevard Design Overlay Zone, the Unser/McMahon Site Development Plan for Subdivision Design Standards and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The subject site is designated an Area of Change within the 2017 Albuquerque/Bernalillo County Comprehensive Plan. The following goals and policies apply:
 - The request generally furthers Policy 4.1.1. While the request will continue the auto-oriented character in the immediate area, the objective of this policy is to consider the distinct character of the nearby residential communities as well. The Design Standards of the existing Site Development Plan for Subdivision is expected to provide additional standards for site plan, architectural design, and landscape buffers that encourage quality development consistent with the distinct character of the larger community.
 - Policy 4.2.2 is generally furthered because the applicant notified the public as required and the agent has spoken with adjacent property owners as mentioned above. A facilitation meeting was not conducted; therefore neighborhood association and community comments are not a part of the written record. Staff has received no written or spoken comments in support or opposition to the request.
 - Policies 5.1.12 a) and 5.1.12 b) are furthered because auto-oriented development will be permitted on a Commuter Corridor with higher speed and higher traffic volume for people crossing town. The request maintains the existing Site Development Plan for Subdivision which requires a 10-foot landscape buffer between commercial and residential uses. In addition, the process of EPC Site Plan review for auto-oriented uses, including the intended car wash, will require EPC review and the option to suggest additional controls such as building orientation to shield the adjacent townhome owners.
 - Policy 5.2.1 is furthered because the request will encourage commercial development located in an existing commercial zone and on Unser Boulevard NE which is a designated commuter corridor. In addition, use of this vacant lot will offer an additional local conveniently accessible commercial service that should assist to minimize trips outside of the neighborhood. This development is considered infill on an under-utilized lot because most of the surrounding properties in this community are developed, and annexation occurred long ago.
 - Because the request is for the SU-1 for C-1 zone, the Design Standards will encourage quality commercial development and compatibility of the architecture and site plan in form and scale to the immediately surrounding development for this visible property located on a commuter corridor. The request will encourage infill development with complementary commercial uses.

OFFICIAL NOTICE OF DECISION

Project #1000936

February 8, 2018

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- Policy 5.3.1 is furthered because the request will maximize the utility of the existing infrastructure and public facilities, and efficiently use the land by permitting auto-oriented uses on a commuter corridor intended for high vehicular use.
 - Policy 5.6.4 is generally furthered because although the SU-1 for C-1 zone would permit an auto-related use which is different in intensity from residential, the Site Plan for Subdivision Design Standards and the Zoning Code will require setbacks and buffering; and Site Plan review will encourage a layout to protect the character and integrity of the existing residential area abutting the subject site to the east.
 - Policy 5.6.2 b), Policy 5.6.2 e), and Policy 5.6.2 g) are furthered because the property is located in an Area of Change and therefore, growth will occur in an area where expected and desired. The property is located on a commuter corridor where infrastructure and community services already exist or are currently being developed.
 - Policy 5.6.2 f) is partially furthered because potential auto-oriented uses such as a car wash could negatively impact the existing abutting residential uses on the eastern property line with respect to noise from sprayers, vacuums, etc. Since Site Plans for auto-oriented uses will be subject to EPC review and approval, Site Plan improvements could increase quality and minimize potential negative impacts.
 - Policy 5.6.4 is generally furthered because although the SU-1 for C-1 zone would permit an auto-related use, the Site Plan for Subdivision Design Standards and the Zoning Code will require setbacks and buffering; and Site Plan review will encourage a layout to protect the character and integrity of the existing residential area abutting the subject site to the east.
8. The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP) and adjacent to the north of the McMahon / Unser Neighborhood Center. The following policy applies:
- The request furthers the WSSP Objective 8 (page 15) because it encourages job opportunities and business growth on the West Side.
 - The request furthers WSSP Policy 1.3 (page 39) because the subject site is not in a strip development and the request will keep commercial development along a commercial commuter corridor adjacent to a Neighborhood Center.
 - WSSP Policy 1.15 (page 41) does not apply because the subject site is not technically within the boundaries of the Neighborhood Center.
9. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:
- A. The request is consistent with the health safety, morals, and general welfare of the City because it is generally consistent with the goals and policies of the Comprehensive Plan, which was created to protect the health, safety, morals, and general welfare of the City.

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Project #1000936

February 8, 2018

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- B. The request achieves land use stability because the project is on a vacant parcel in a location where the neighborhood expects commercial services. The location will assist with stabilizing the neighborhood by developing local services and jobs, and minimizing trips outside of the neighborhood. Unser Boulevard NW and McMahon Boulevard NW are Commuter Corridors as designated by the Comprehensive Plan. Unser Boulevard NW is planned to be a Premium Transit Corridor. Pedestrian friendliness should be considered for all development in this corridor in expectation of the planned transit system, and this can be implemented through the EPC site plan review for auto-oriented uses Site Plan for Building Permit.
- C. The subject request is not in significant conflict with adopted elements of the Comprehensive Plan, the West Side Strategic Plan, the Unser Boulevard Design Overlay Zone, or the Unser/McMahon Village Center North Site Plan for Subdivision. Please refer to Findings 5 and 6 for further analysis of applicable policies.
- D. The applicant stated that the existing zoning is inappropriate because the requested zone is more advantageous to the community. The existing zone was established in 1998 and the site has not been developed thus far according to the existing zone which excludes auto-oriented uses. Comprehensive Plan Policies support the development of parcels on commuter corridors with auto-oriented uses. Comprehensive Plan Policies also support developing vacant parcels on the West Side with commercial development over residential in order to provide more services and employment opportunities to existing residential neighborhoods. Furthermore, West Side neighborhoods are typically opposed to putting a further burden on schools and traffic with additional residential development. The SU-1 zone designation and Site Development Plan for Subdivision will apply Design Standards requiring buffers, landscaping, and architectural cohesiveness.
- E. Permissive uses in the C-1 zone are low intensity and expected to provide commercial services at a neighborhood scale. The applicant has stated that C-1 zone uses were discussed with the surrounding property owners, and that the neighborhood supported the development showing that the requested zone change would not be harmful. Staff does not currently have a record of conversations with property owners or neighborhood associations because a facilitated meeting did not occur, and staff has not been contacted with comments in support or opposition. In this case, a public hearing does not appear to be a priority for the community.

The applicant intends to add a statement to the Site Development Plan for Subdivision that Site Development Plans for auto-oriented uses and drive-up service windows shall require EPC review and approval. The SU-1 zone applies Design Standards which include a 10-foot landscape buffer between a change in uses as well as architectural and landscape cohesion, which will assist with minimizing harm to adjacent property, the neighborhood, or the community.

- F. The request will not require major or unprogrammed capital expenditures by the City.
- G. While cost of land is typically a factor, it is not the determining factor for the proposal because the requested zone will be more advantageous to the community by generally furthering the preponderance of Comprehensive Plan and West Side Strategic Plan applicable goals, policies, and objectives.

OFFICIAL NOTICE OF DECISION

Project #1000936

February 8, 2018

Page 5 of 6

- H. While location on commuter corridor supports the requested zone to include C-1 permissive auto-oriented uses, it is not the only justification. The request has also been shown to be more advantageous to the community in allowing the development of a vacant property and providing local services and jobs in accordance with Comprehensive Plan policies.
 - I. The request for SU-1 for C-1 zoning will create a spot zone. The applicant justifies the spot zone by demonstrating that the proposed zone change will clearly facilitate realization of applicable goals, policies, and objectives in the Comprehensive Plan and West Side Strategic Plan with regard to providing local commercial services and employment on the West Side and focusing auto-oriented uses on commuter corridors.
 - J. The subject site is of sufficient depth so that it is not a strip of land along a street and would not create strip zoning.
10. The affected homeowner's association, Villa De Villagio, and the affected neighborhood organization, the Westside Coalition of Neighborhood Associations, were notified as required as were property owners within 100-feet of the subject site. A facilitated meeting was not requested nor conducted. Staff has not received any comments in support or opposition.

CONDITIONS OF APPROVAL

- 11. Per email from the agent Consensus Planning, dated 01/31/2018, the following will be noted on the Site Development Plan for Subdivision:
"The Site Development Plan for Subdivision Amendment shall be delegated to planning staff. Future Site Development Plans for Building Permit shall be delegated to planning staff with the exception of Site Development Plans for auto-related uses and changes of use to auto-related uses and drive up service windows, which shall require EPC review and approval."
- 12. The applicant shall obtain final sign-off of the associated site development plan for building permit within six months of the zone change. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

OFFICIAL NOTICE OF DECISION

Project #1000936

February 8, 2018

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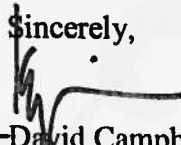
APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **FEBRUARY 23, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced applications.

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

Sincerely,


for David Campbell
Planning Director

DC/CS

cc: Hotsy Equipment Compan, Attn: Robert Reed, 2211 Candelaria Rd NE, ABQ, NM 87107
Consensus Planning, Inc., 302 Eight St. NW, ABQ, NM 87102
Villa De Villagio HOA, James Morrow, 10848 Como Dr. NW, ABQ, NM 87114
Villa De Villagio HOA, Susie Sollien, P.O. Box 93488, ABQ, NM 87199
Westside Coalition of Neigh. Assoc., Harry Hendriksen, P.O. Box 6270, ABQ, NM 87197
Westside Coalition of Neigh. Assoc., Gerald Worrall, 1039 Pinatubo Pl. NW, ABQ, NM 87120

ZONING

Please refer to IDO Section 14-16-2-4(B) for the MX-L Zone District

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| Administrative Decisions | Decisions Requiring a Public Meeting or Hearing | Policy Decisions |
|---|---|--|
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Annexation of Land (Form Z) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| | | |
| | | Appeals |
| | | <input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A) |

APPLICATION INFORMATION

| | | |
|---|-----------|---|
| Applicant: Brandenreed Properties LLC Attn: Danny Brandenburg | | Phone: 704-319-8343 |
| Address: 2211 Candelaria Rd NE | | Email: zack.holland@durbandevelopment.com |
| City: Albuquerque | State: NM | Zip: 87107 |
| Professional/Agent (if any): Tierra West, LLC | | Phone: 505-858-3100 |
| Address: 5571 Midway Park Place NE | | Email: rrb@tierrawestllc.com |
| City: Albuquerque | State: NM | Zip: 87109 |
| Proprietary Interest in Site: Owner | | List all owners: |

BRIEF DESCRIPTION OF REQUEST

Request approval of a Major Amendment - EPC

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

| | | |
|---|-----------------------|------------------------------|
| Lot or Tract No.: TR 4 PLAT OF TRACTS 1, 2, 3 & 4 | Block: | Unit: |
| Subdivision/Addition: PARADISE PLAZA | MRGCD Map No.: | UPC Code: 101106638341510104 |
| Zone Atlas Page(s): A-11-Z | Existing Zoning: MX-L | Proposed Zoning: MX-L |
| # of Existing Lots: 1 | # of Proposed Lots: 2 | Total Area of Site (acres): |

LOCATION OF PROPERTY BY STREETS

| | | |
|---|------------------------|----------------------|
| Site Address/Street: UNSER BLVD NW ABQ NM 87114 | Between: UNSER BLVD NW | and: MCMAHON BLVD NW |
|---|------------------------|----------------------|

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000936, 1000898,

| | |
|----------------------------------|---|
| Signature: | Date: 6/9/2022 |
| Printed Name: Ronald R. Bohannon | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
|-----------------------|--------|------|--------------|--------|------|
| | | | | | |
| | | | | | |
| | | | | | |
| Meeting/Hearing Date: | | | Fee Total: | | |
| Staff Signature: | | | Date: | | |
| | | | Project # | | |

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☐ SITE PLAN – EPC

☐ MASTER DEVELOPMENT PLAN

☒ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

☒ Completed neighborhood meeting request form(s)

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(1)

☒ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

☒ Office of Neighborhood Coordination notice inquiry response

N/A Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

N/A Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

☒ Completed Site Plan Checklist

☒ Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only)

☒ Site Plan or Master Development Plan

☒ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☐ VARIANCE – EPC

____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

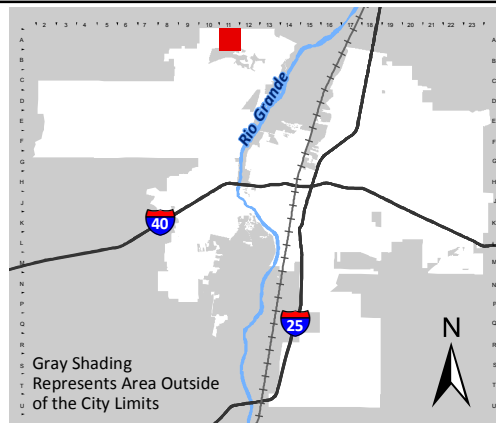
Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.



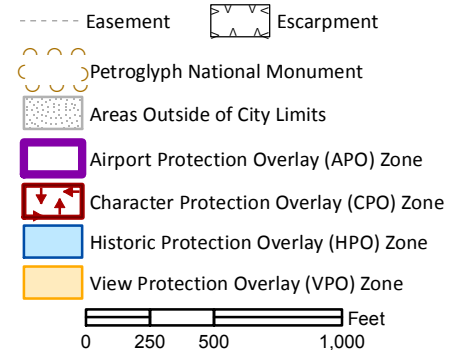
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-11-Z



May 17, 2022

Mr. Tim MacEachen, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE:

**MAJOR AMENDMENT TO SITE PLAN – EPC
NORTHEAST CORNER OF UNSER BLVD AND CROWN RD
ALBUQUERQUE, NM 87114.
TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131 AC
ZONE ATLAS PAGE: A-11-Z**

Dear MR. MacEachen:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of
BRANDENREED PROPERTIES LLC ATTN: DANNY BRANDENBURG
pertaining to any and all submittals made to the City of Albuquerque for the above-
referenced site.

DANNY BRANDENBURG

Print Name

Danny Brandenburg

Signature

managing partner

Title

5/20/22

Date

PRE-APPLICATION MEETING NOTES

PA#: 22-036 Notes Provided (date): 2/21/22

Site Address and/or Location: UNSER BLVD NW, ALBUQUERQUE 87114 TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA

Pre-application notes are for informational purposes only and are non-binding. They do not constitute an approval of any kind. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request Commercial Development. Vehicle Service Station (Drive-through oil change)

Basic Site Information

Current Use(s): Vacant Size (acreage): 1.82

Zoning: MX-L Overlay Zone(s): N/A

Comprehensive Plan Designations

Corridor(s): Unser Blvd Premium Transit

Development Area: Area of Change Near Major Public Open Space (MPOS)?: N/A

Center: N/A

Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc.
<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Light Vehicle Repair & Drive-through or Drive up facility

Use Specific Standards: Light Vehicle Repair 4-3(D)(19) & Drive-through or Drive-up Facility 4-3(F)(4)

Applicable Definition(s): **Drive-through or Drive-up Facility** Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle fueling, to offer goods and services directly to customers waiting in motor vehicles. See also *Car Wash* and *Vehicle Definitions* for *Light Vehicle Fueling*.

Light Vehicle A vehicle that has a gross vehicle weight rating of less than 10,000 pounds, including but not limited to automobiles, light trucks, sport utility vehicles, vans, boats, recreational vehicles, trailers, motorcycles, mopeds, scooters, and ATVs.

Light Vehicle Repair Any facility providing vehicle repair, service, or maintenance of light vehicles.

Vehicle Service and Maintenance Services for a vehicle that are part of regular maintenance, including but not limited to battery charging, tire repairs, and oil and fluid changes.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

Process

Decision Type(s) (see IDO Table 6-1-1): Site Plan EPC-Major Amendment 6-6(L)

Specific Procedure(s)*: 14-16-6-6(L)(2)

**Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: EPC Is this a PRT requirement? Yes

Handouts Provided

- | | | | |
|--|--|--|---|
| <input type="checkbox"/> Zoning Map Amendment | <input checked="" type="checkbox"/> Site Plan Amendments | <input checked="" type="checkbox"/> Site Plan- EPC | <input type="checkbox"/> Site Plan- DRB |
| <input type="checkbox"/> Site Plan- Admin | <input type="checkbox"/> Variance-ZHE | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Site History/Research | <input type="checkbox"/> Transportation | <input type="checkbox"/> Hydrology | <input type="checkbox"/> Fire |

If you have additional questions, please contact Staff at planningprt@cabq.gov or at (505) 924-3860. Please include the PA# with your inquiry.

Additional Notes:

- MX-L adjacent to PD for low density residential use.
 - Please see: 4-3(D)(19)(d) Any building that contains painting or vehicle repair is prohibited within 25 feet in any direction of any Residential zone district or lot containing a residential use in any Mixed-use zone district.
 - This does not mean that you cannot develop the site as intended, just that the actual oil change facility (building) must be located at least 25 feet from the residential development to the east of the subject site.
- 1000898 Site Plan for subdivision for 17 acres approved in 2001
 - The requirements of the controlling site plan for subdivision are applicable and require the applicant to go to site plan EPC major amendment. The site plan in its entirety is for 17 acres and although the site is on a 1.8-acre tract within the subdivision, the site plan needs to be amended for the tract to be “removed” from the controlling site plan for subdivision in order to be developed as intended.
 - The site plan for subdivision lists the site as Parcel F for C-1 uses, which exclude automobile related uses including drive up facilities. Unless you would like to amend the site plan, I would recommend removing the tract from the site plan.
 - See site plan here:
http://data.cabq.gov/government/planning/DRB/1000898/1000898_Approved%20Plans/1000898_UNSER-MCMAHON%20VILLAGE%20CENTER%20NORTH_PLANS_Yes_.pdf
 - Please see attached handouts for Site Plan EPC and Amendments
- Please see development standards for MX-L zone 5-9(D) PARKING, DRIVE-THROUGH OR DRIVE-UP FACILITIES, AND LOADING
- Please see 5-11(E)(2)(b) Urban Centers, Activity Centers, and Main Street and Premium Transit Areas, since the site is within a Premium Transit area. And 5-1(D)(2) Urban Center, Main Street, and Premium Transit Areas for dimensional standards
 - You can find a link to the IDO in the attached handout.



TIERRA WEST, LLC

July 14, 2022

Mr. Tim MacEachen, Chair
Environmental Planning Commission
600 Second NW
Albuquerque, NM 87102

**RE: EPC-MAJOR AMENDMENT TO THE UNSER/MCMAHON VILLAGE CENTER NORTH
SITE PLAN FOR SUBDIVISION TO ALLOW FOR AUTOMOBILE RELATES USES FOR
TRACT 4 COMPRISED OF 1.8131 AC.
LEGAL/ADDRESS: TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT
1.8131 AC. UNSER BLVD NW ALBUQUERQUE 87114
ZONE ATLAS PAGE: A-11-Z**

Dear Chair, MacEachen:

Request

Tierra West LLC on behalf of BRANDENREED PROPERTIES LLC ATTN: DANNY BRANDENBURG requests approval of an EPC major amendment to the Unser/McMahon Village Center North (UMVCN) Site Plan for Subdivision comprised of approximately 37.6 acres to allow auto-related uses on Tract 4 comprising of 1.81 acres located on the northeast corner of Unser Blvd and Crown Rd, Albuquerque, NM 87114. The request also includes the review and approval of the proposed EPC Site Plan. The intent of this request is to allow for auto-related uses which would allow the construction of a future Light Vehicle Repair station on approximately 0.52 acres of Tract 4. The future development shall follow the design guidelines of the current site plan for subdivision as well as the current Integrated Development Ordinance (IDO) requirements.

A notice of decision dated February 8, 2018 (Project # 10000936) amended the UMVCN Site Plan for Subdivision to allow auto-related uses with the condition of approval (#11) that requires the Environmental Planning Commission (EPC) to review and approve all future site plans for auto-related uses, changes of use to auto-related uses and drive-up service window uses on Tract 4. Prior to that amendment the controlling site plan for subdivision prohibited all automobile uses. Attached respectfully is the EPC Site Plan for the proposed Oil Change Facility for review and approval and the amended UMVCN Site Plans for Subdivision with changes clouded.

Site Location

The Unser/McMahon Village Center North Site Plan for Subdivision is in northwest area in Albuquerque, NM 87114 on the northeast corner of Unser Blvd and McMahon Blvd and is comprised of roughly 37.6 acres. The site plan for subdivision is comprised of a mix of developments such as single-family homes, town homes and commercial developments and is legally described as LOTS 1 THROUGH 95 VILLA DE VILLAGIO SUBDIVISION (A REPLAT OF TRACT G VILLAGE CENTER NORTH SUBDIVISION) CONT 13.0 AC, LOTS 1 THROUGH 16 PINNACLE PEAK TOWNHOMES CONT 1.3619 AC, TRACT E PLAT OF TRACT E (BEING A REPLAT OF TRACT A-1 OF VILLAGE CENTER NORTH SUBDIVISION AND TRACT C OF VILLAGE CENTER NORTH BULK LAND PLAT) CONT 2.6110 AC, TRACT 4 PLAT OF TRACTS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131 AC, TRACT E-1 PLAT OF TRACT E-1 LANDS OF ZOLIN/KUNATH TRESESQUINAS & CURB INC (BEING A REPLAT OF TR A-2-A RIDGEVIEWVILLAGE UNIT 1 & TR E LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, TRACT

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

F-1-B PLAT OF TRACTS F-1-A & F-1-B LANDS OF ZOLIN/KUNATHTRES ESQUINAS LLC & CURB INC CONT .9611 AC, TRACT F-1-A PLAT OF TRACTS F-1-A & F-1-B LANDS OF ZOLIN/KUNATHTRES ESQUINAS LLC & CURB INC CONT .9142 AC, TRACT B PLAT OF TRS A & B DIAMOND SHAMROCK SUBDCONT .6888 AC, TRACT A PLAT OF TRS A & B DIAMOND SHAMROCK SUBDCONT 1.7772 AC, TRACT D-1 BULK LAND PLAT TRACTS H-1 & D-1 LANDS OF ZOLIN/KUNATH TRES ESQUINAS LLC & CURB INC CONT 1.6100 AC, TRACT A PLAT FOR RIDGEVIEW VILLAGE UNIT 2 BEING A REPLAT OF TRACTS A-1-A, B 1-A & B-2-A OF THE PLAT FOR RIDGEVIEW VILLAGE UNIT 1 & TRACT B-3 OF THE CORRECTION PLAT NO 1 AND LOTS 102-162 P-1 PLAT FOR RIDGEVIEW VILLAGE UNIT 2 BEING A REPLAT OF TRACTS A-1-A, B 1-A, & B-2-A OF THE PLAT FOR RIDGEVIEW VILLAGE UNIT 1 & TRACT B-3 OF THE CORRECTION.

The proposed project site is comprised of approximately 1.81 acres and is legally described as TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA, located on the northeast corner of Unser Blvd and Crown Rd Albuquerque, NM 87114 and is currently owned by BRANDENREED PROPERTIES LLC ATTN: DANNY BRANDENBURG (The "subject site").

Context

The subject site is a part of the controlling Unser/McMahon Village Center North Site Plan for Subdivision comprised of roughly 37.6 acres. The approved site plan for subdivision was approved by EPC prior to the adoption of the IDO. At time of approval the subject site was zoned "SU-1 for Mixed Use Development C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sale for on-premises consumption".

Tract 4 (the subject site) is currently vacant and post IDO implementations the zoning designation is Mixed-Use – Low Intensity (MX-L). According to the IDO the proposed use for the subject site is characterized as Light Vehicle Repair and is a permissive use listed under the MX-L zone designation allowable land use table. However, the current controlling site plan for subdivision requires any auto related uses to be reviewed and approved by the EPC.

The surrounding area is characterized by commercial uses located to the south, west and north of the subject site and residential uses to the east zoned as Planned Development (PD) and Multi-Family Low Density (R-ML). The subject site is located within an area of change and is located along a commuter corridor (Unser Blvd). The subject site does not lie in public open space, center or any overlay zones as defined by the ABC Comp Plan.

History

The Unser/McMahon Village Center North Site Plan for Subdivision was approved by the Development Review Board (DRB) in 2001 because it was consistent with the site plan approved by the Environmental Planning Commission (EPC) on January 18th, 2001, under file #1000898 and is comprised of roughly 37.6 acres.

In 2018 plans were submitted to the City of Albuquerque for a car wash to be located in the subject site. On February 8, 2018 the EPC voted to approve project 1000936, 17EPC-40069, A Zone Map Amendment (Zone Change), the request was for a Zone Map Amendment for the subject site to change the zoning from "SU-1 for Mixed Use Development C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package

liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sale for on-premise consumption" to the "SU-1 for C-1 uses with auto-related uses" controlled by project 1000936. The site plan for subdivision would then control auto-related uses and any changes of use to auto-related uses and drive-up service windows would require EPC review and approval. However, Despite the zoning approval the car wash was never developed.

Currently the approved UMVCN site plan for subdivision area has been built out up to 90% with majority being residential developments and some commercial uses. The UMVCN site plan for subdivision was developed with only 1.81 acres remaining. With the approval of EPC to allow auto related uses the proposed development is a new Oil Change Facility known as "Take 5 Oil Change"

Proposed Site Plan

With the approval of the major amendment and EPC Site Plan the subject site is proposed to contain a future Light Vehicle Repair use known as "Take 5 Oil Change" which is roughly 1,400 square foot, 3 bay automobile drive-thru service station. The development provides quick oil changes and other maintenance services similar to others such as "Jiffy Lube" and "Valvoline". The proposed site design goal is to follow all UMVCN site plan for subdivision design parameters and the City of Albuquerque's IDO development requirements to ensure the health, safety, and wellbeing of the community. The oil change facility is a necessary service to the surrounding community. Since WW2 the choice of city transportation has been predominantly automotive travel and with increasing population growth services such as these are overall a benefit to the community. The proposed location is advantages to the surrounding area and city. According to public geographical information systems data (GIS) similar uses are not encountered within a mile radius. Therefore, the development is likely to reduces overall total vehicles miles traveled and additionally the subject site is located west of the Rio Grande River which aids in reducing overall congestion over the river crossings.

The amendment will not result in violating the ABC comp plan goals and policies as shown in the justification section of this letter and because post IDO implementation the site was zoned MX-L and the proposed future use is intended to be light vehicle repair which is a permissive use under the Allowable Uses table for MX-L zoning. The IDO defines "Light Vehicle Repair" as any facility providing vehicle repair services or maintenance of light vehicles. The UMVCN site plan for subdivision currently prohibits auto-related uses such as oil changes facilities unless approved by EPC. With the approval of the major amendment the UMVCN site plan for subdivision will be amended to state that it allows auto-related uses on the subject site.

Transportation System

The Long-Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role. The LRRS map classifies Unser Blvd as a Regional Principal Arterial Road and Crown Rd as a Local Urban Street. According to the Institute of Transportation Engineers (ITE) traffic trip generation manual 11 edition the proposed "Take 5 Oil Change" shall not alter commuter traffic patterns but will capture the pass-by trips already going past the site. The subject site is proposed to be accessed from Crown Rd only and the existing infrastructure will be sufficient to serve the "Take 5 Oil Change" Facility and the developer plans to construct 6 ft wide sidewalk along the southern boundary which will connect to the existing trail along the western boundary.

Vehicle Access, Circulation and On-Site Parking

As mentioned above, access into the site will be from Crown Rd, there are no existing driveways along either Crown Rd or Unser Blvd, therefore, the proposed improvements are two new driveways along Crown Rd designed per the city of Albuquerque Development Process Manual (DPM) most current version. Pedestrian access in and out of the site shall comply with the current ADA requirements. Proposed curb ramps shall include detectable warning surfaces. Direct ADA access shall be provided from both city Right-of-Way and the proposed handicap parking spot. A cross access agreement shall be recorded prior to the recording of the plat to provide access to the balance of the property.

Pedestrian sidewalk infrastructure is proposed along the southern frontage of the subject site per section 14-16-5-3 of the IDO and shall conform to the DPM standards. The sidewalk intends to connect to the existing infrastructure already in place along Crown Rd and Unser Blvd. The proposed sidewalk is 6 ft as required by the DPM. On-site walkways shall be made from concrete per the DPM.

On-site parking spaces were calculated using table 5-5-1 of the IDO Section 14-16-5-5. The proposed development is categorized as Light Vehicle Repair per the IDO. The proposed use requires one parking space per every 1,000 square feet of gross structure floor area. The calculations are provided on the site plan and the parking provided satisfies the minimum parking spaces. The "Take 5 Oil Change" proposed site contains 7 parking spaces and requires 2 spaces.

Landscaping, Buffering and Screening

The attached landscape plan provides site landscaping that meets the landscape requirements of the City of Albuquerque Requirements in section 14-16-5-6 of the IDO. The city requires 15 percent of the net lot area to be landscaped. The approximate required amount of landscaping is 3,175 square feet and based on the attached landscaping plan the site meets the minimum requirement with 12,688 square feet of provided landscaped area. Additionally, the required landscaping areas are utilized to manage storm water runoff and will meet the current Drainage Ordinance for managing and retaining the 90th percentile storm event. Runoff is conveyed via curb cuts along the outer curb of the site.

Drainage

The grading and drainage design will comply with the latest standards of the Development Process Manual (DPM) and will incorporate low impact development principles. The proposed conceptual drainage plan will meet the current ordinance for the 90th percentile storm runoff. Landscape beds shall be used as means of managing and conveying the storm water runoff.

Signage

All signage shall comply with the design standards set forth by the IDO section 14-16-5-12. Any proposed signs future and current shall not confuse traffic and shall not be located within the clear sight triangle. The prohibited signs are any rotating, pulsating, oscillating beacons of light, searchlights, HID strobe lights, or any sign with audible device.

Comprehensive Plan Major Site Development Plan Amendment Justification

The Comprehensive Plan Goals and Policies listed below provide justification for EPC to support the request.

This request furthers the following Comprehensive Plan Goals and Policies.

Comprehensive Plan Goal 5.1- Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Policy 5.1.12: Commuter Corridors: Allow auto-oriented development along Commuter Corridors that higher-speed and higher-traffic volume routes for people going across town, often as limited access roadways.

(a) Allow auto-oriented, single-use development, such as strip retail, large retail facilities, and business and institutional campuses along Commuter Corridors.

Response: The request would facilitate growth along an existing designated Commuter corridor known as Unser Blvd. The proposed project furthers this policy because it would allow the construction of a new light vehicle repair facility which brings good and services to commuters already using the transportation system. Additionally, the proposed EPC Site Plan does not propose additional Curb Cuts along Unser Blvd which is a limited access roadway.

(b) Buffer residential land uses adjacent to Commuter Corridors.

Response: The request would continue to provide a buffer between the high-volume, high speed commuter roadway and residential zone districts adjacent to the subject site. The proposed project furthers this policy because the proposed development meets the uses that are permissive under the existing zone designation MX-L. As the MX-L zone designation generally serves as a buffer between the high-speed commuter roadways and residential developments. The purpose of the MX-L zone district according to the IDO is to provide neighborhood scale convenience shopping needs, primarily at intersections of collector streets and serves as a buffer to residential land uses.

(c) Support traffic flow by limiting new curb cuts, encouraging shared access roads, or providing access from perpendicular local roads.

Response: The request does not propose any new curb cuts within the adjacent high speed commuter corridor Unser Blvd. Curb cuts along high-speed roads tend to cause safety concerns and create traffic congestion. Therefore, any proposed curb cuts are to be constructed along Crown Rd which is a lower speed local roadway and will minimize negative impacts to traffic flow.

Comprehensive Plan Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

Policy 5.2.1: Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from the surrounding neighborhoods.

(a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

Response: The request supports communities where surrounding residents can live, work, learn, shop, and play together. The proposed project allows for a greater

mix of uses that are conveniently placed and that are accessible by the surrounding community. Although the primary use of the development would be auto-related the proposed development provides good and services that are necessary to the surrounding residents. According to geographical information systems no similar use is located within a mile radius and with the development being implemented it would contribute to cut down on total vehicle miles traveled.

(b) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

Response: The request is an infill development that adds complementary uses and is compatible in form and scale to the immediate surrounding area. The proposed project furthers this policy because it would be developing a vacant lot that is already surrounded by a growing residential developments and commercial uses. Additionally, the proposed development would reduce the need for long distance travel and further assists reducing congestion in other major roads.

Comprehensive Plan Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

Response: The request supports additional growth in areas with existing infrastructure and public facilities. The proposed project furthers this policy because it would take advantage of the existing infrastructure around the subject site. The proposed development shall efficiently utilize existing utilities, public transportation infrastructure and drainage infrastructure. Large scale infrastructure improvement projects are not required to develop the subject site. Additionally, any required infrastructure improvements shall be the responsibility of the developer.

Comprehensive Plan Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

Policy 5.4.2: West Side Jobs: Foster employment opportunities on the West Side

(a) Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

Response: The request further balances jobs and housing by allowing growth near employment centers and prioritizing job growth west of the Rio Grande River. The proposed project furthers this policy because it does not change the existing zoning of the subject site and is maintained as MX-L and SU-1 for C1 uses per the UMCN site plan for subdivision. Additionally, the proposed development promotes job growth west of the Rio Grande River minimizing congestion over the river crossings.

(b) Prioritize employment opportunities within Centers.

Response: The request prioritizes employment opportunities within centers although the proposed project is not located within a defined ABC Comprehensive Plan center however, it is located within a cluster of semi-large commercial

developments fostering current and future employment opportunities to the near surrounding residential community.

(c) *Prioritize incentives and support for employers providing base employment on the West Side.*

Response: The request creates base employment on the West Side. The proposed project furthers this policy because it removes the old requirements that limits developments in the dedicated commercial area of the UMVCN site plan for subdivision. The limitations of the site plan for subdivision do not further this policy and by allowing a larger array of uses this incentivizes businesses to develop these areas which promotes job and economic growth.

Comprehensive Plan Goal 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2: Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]

(a) *Use Figure 5-6 created according to the methodology described in Section 5.1.2.5, to determine where Areas of Change policies apply.*

Response: The request generally encourages direct growth to an area of change where it is expected and desired and ensures the development in the near areas reinforces the character and intensity of the surrounding area. The proposed project provides direct growth and more intense developments where change is encouraged. According to Figure 5-6 the of the ABC Comp Plan the subject site is located within an area of change therefore the area of change policies applies.

(b) *Encourage development that expands employment opportunities.*

Response: The request generally encourages the expansion of employment opportunities. The proposed project furthers this policy because it allows the construction of a new quick oil change facility that requires skilled workers and helps expand employment opportunities. Additionally, the existing controlling site plan limits the types of allowable developments in the area and does not further this policy and by allowing the removal of the limiting requirements the policy is furthered.

Comprehensive Plan Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-Oriented development in urban contexts, and increase pedestrian safety in auto-oriented context.

Policy 7.2.1: Walkability: Ensure convenient and comfortable pedestrian travel. [ABC]

a) *Improve the pedestrian environment through coordinated design of subdivisions, streets, development sites, and buildings.*

Response: Currently, this vacant site contains a multiple use trial along Unser Blvd however no pedestrian access is provided along Crown Rd to the south. Developments within the MX-L zone will require sidewalk construction along the property's street frontage, which shall be provided with the approval of the amendment. Further development of this site will continue to create better

pedestrian connectivity to surrounding properties and fill a longstanding void of this vacant lot. This request will allow residents in the community to have more community necessities where they currently lack. This will in turn promote safe walking opportunities to more convenient locations within their community. The development of this site encourages a pedestrian-friendly community despite being primarily an auto oriented use.

Comprehensive Plan Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

POLICY 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

a) Design development to reflect the character of the surrounding area and protect and enhance views.

Response: The request reinforces the sense of place and embraces the character of the adjacent community by utilizing the existing UMVCN site plan for subdivisions site design parameter which includes but is not limited to buffering, landscape, screening, setbacks, access, circulation and many more. Where the site plan for subdivision is silent on a particular requirement the development shall comply with the development requirements of the IDO. Additionally, construction plans are reviewed by various city department to ensure the site is in compliance with current city standards.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

Response: The request provides infill that enhances the built environment or shall blend in style and building materials with surrounding structures and the streetscape of the block by designing future development to the IDO and DPM standards and requirements for the MX-L zone district but would also conform to the UMVCN site plan for subdivision design parameter and in which design guidelines are provided for details such as building materials and colors.

Comprehensive Plan Goal 8.1- Placemaking: Create places where business and talent will stay and thrive.

POLICY 8.1.1 Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

b) Support a variety of lower-density, lower-intensity services, jobs, and housing outside of Centers.

Response: The request would facilitate the creation of a place where all business and talent would stay and thrive. The addition of more uses to this existing commercial destination, such as allowing auto-related uses creates necessary services and brings jobs to the community. The proposed project also supports a variety of lower-density, lower-intensity service jobs that are outside of ABC comp plan defined centers.

Policy 8.1.2 – Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

a) Maximize opportunities for economic development that furthers social, cultural, and environmental goals.

Response: The request would facilitate developments in the subject site that would generally foster a greater robust, resilient, and diverse economy by creating opportunities for neighborhood scale general retail and services in an area of change and infill location. This type of development would also encourage economic development that would improve quality of life for area residents by offering work, live, and shop opportunities. The proposed project additionally maximizes opportunities for economic development that furthers social, cultural, and environmental goals by allowing to increase the potential types of allowed uses that are allowed within the general area.

IDO Section 6-6(J)(3) - Review and Decision Criteria for Site Plan EPC

The justification presented below addresses the Site Plan for EPC request requirements pursuant to IDO Section 6-6(J)(3).

We feel the site plan request Site Plan – EPC is justified under IDO Subsection 14-16-6-6(J)(3)

- 6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp, as amended.
Response: The request is consistent with the ABC Comp Plan as demonstrated in the goals and policies-based analysis described above.
- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.
Response: This site is not subject to any terms and conditions related to special use or PD zoning or any related development agreements and/or regulations.
- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.
Response: the proposed development will comply with the previously approved site plan for subdivision design parameters as well as all current City Goals and Policies as implemented by the regulations and standards of the IDO, DPM and all other adopted City codes and regulations.
- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.
Response: The proposed development will not burden the existing public infrastructure and will mitigate any unforeseen issues by the developer. Additionally, the request will be reviewed by all the city of Albuquerque engineering department which are charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve the proposed

development. The developer shall be responsible for mitigating and potential negative impacts to any of the above systems as required.

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.
Response: The proposed development will not negatively impact the surrounding area. Additionally, the future, proposed development will be required to comply with the decisions making bodies- the EPC and the city of Albuquerque development requirements. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The Albuquerque development process ensures infrastructure is addressed so that a proposed development will not burden the surrounding area.
- 6-6(J)(3)(f) If the subject site is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards application in the zone district the subject property is in.
Response: The proposed site is not located within a Master Development Plan and shall meet all relevant zone district standards and requirements. The request is to allow the light vehicle repair facility that is consistent with current IDO zoning requirements and would be subject to the site plan design parameters and current IDO and DPM standards and requirements.
- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.
Response: The subject site is not located within a railroad and/or spur area.

Closing

We are requesting EPC approve the major amendment for the remaining 1.81 acres on Tract 4 to allow auto related uses. The intent of this request is to allow for a future Light Vehicle Repair use on a portion of Tract 4 which would allow the construction of an Oil Change Facility. Additionally, the Proposed EPC Site Plan shall follow the design guidelines of the current site plan for subdivision as well as the current Integrated Development Ordinance (IDO) requirements. We are requesting EPC also approve the EPC Site Plan. We believe we have shown that the approval of the request aligns with the major applicable goals and policies of the ABC Comprehensive Plan and is advantageous to the surrounding community and neighborhood. Through the exhibits and discussion of development patterns on the West Side, including available lands for development, we demonstrated that due to the large amount of available land that is geared towards development of industrial and employment centers on the West side, both in the City and Bernalillo County, this property would not adversely impact or reduce opportunities for employment in this area and will not jeopardize the health, safety, and wellbeing of the surrounding community.

We respectfully request approval of the proposed EPC major amendment. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Ron R. Bohannon', with a stylized, cursive script.

Ronald R. Bohannon, P.E.

cc: Zack Holland

JN: 2022007
RRB/ln

STAFF INFORMATION

June 27, 2022

TO: Ron Bohannon, Tierra West LLC

FROM: Megan Jones, Current Planner

City of Albuquerque Planning Department

TEL: (505) 924-3352

RE: Project #2022-007151/SI-2022-01132, MA Unser/McMahon Oil Change

I reviewed the proposed major amendment to the controlling site development plan for subdivision for 1.81 acres of Unser/McMahon Village Center North SPS. I would like to discuss the request and have a few questions and some suggestions to help clarify the submittal. I am available for questions about the process and requirements. Please provide the following:

⇒ A decision on how you would like to move forward with your request

By 5 pm on Wednesday June 29, 2022

⇒ A revised project letter, based on your request moving forward (electronic)

⇒ A revised controlling site development plan for subdivision (electronic)

by 5 pm on Monday, July 4, 2022.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. My understanding is that the request is to allow for a Light Vehicle Repair Use for an oil change facility, but the controlling SPS prohibits automobile related uses and services. You have 2 options moving forward:
 - a. In the original PRT you received you were given direction that the best route would be to request a major amendment to the controlling site development plan for subdivision to remove Tract 4, which would allow the development of an oil change facility.
 - b. In my current and more extensive research of the site, I have located a Notice of Decision (case #1000936, see attached) from February 2018, which is a pre-IDO approval. This approval (See finding #3) would allow the EPC to review and approve all auto-related uses on Tract 4.

- c. Both options require EPC review and approval, although option 2 for the review and approval of the use may be more straight-forward if you are planning on following the design guidelines of the Site Plan for Subdivision regardless. Please let me know how you would like to move forward.
- C. The applicant has stated in the justification letter that the new development would follow design guidelines of the Unser/McMahon Site Plan for Subdivision since only 1.81 acres remain undeveloped. Please confirm and make this clear in your letter.
- D. Legal description: Tract 4 plat of tracts 1, 2, 3 & 4 Paradise Plaza located on Unser Blvd NW, between Crown Rd. NW and Summer Ridge Rd. NW within the Unser/McMahon Village Center North, approximately 17 acres.
 - a. If removing the site from the approved SPS, you need to include the legal description for the entire site plan for subdivision (17 acres), since that is what you are amending even though you are just requesting to remove Tract 4 (1.81 acres).
 - b. If amending out of the SPS, you need to state that you are requesting Tract 4 comprising 1.81 acres to be removed from the existing SPS, not 0.52 acres, although this is the portion of the tract that you will be developing, it has not been subdivided. If remaining in the SPS, but requesting the auto-related use, Tract 4 for 1.81 acres is sufficient.
- E. Is there anything you'd like to tell me about the proposed major amendment?

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing for July is the 21st. Final staff reports will be available about one week prior, on July 14th.
- C. I will email you a copy of the agency comments once they are received and will forward any late ones to you.

3) Notification & Neighborhood Issues:

Notification requirements for a zone change are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 378). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.

- A. It appears that all notification offering the pre-application facilitated meeting is complete.
- B. It looks like a pre-application facilitated meeting was not requested. Is that correct?
- C. **The sign posting period is 15 days prior and after the EPC hearing date from Wednesday July 6, 2022 to August 5, 2022.**
- D. Have any neighborhood representatives or members of the public contacted you so far?

E. Are you aware of any neighborhood concerns?

5) Case Background and Process:

- A. One existing site plan controls the subject site- a site plan for subdivision approved by the EPC.
- B. Case #1000396 from 2018 was a zone change which allows EPC review and approval of automobile related uses on Tract 4.

6) Project Letter:

I have some redline mark-ups from an initial review of the project letter. I can send these to you in electronic format rather than write them all out here. The following are more general comments:

- A. In general, the project letter is off to a good start. I have a few revisions to the project overview and policies.
- B. Please revise the letter to state that the request is for 1.81 acres (Tract 4), not 0.52 acres. Although this is the portion of the tract that you will be developing, it is not subdivided.
- C. Please expand on the request for a major amendment to remove Tract 4 OR to allow an automobile-related use. You will need to revise the letter based on your request moving forward. You state that the request will require the subject site to remain a part of the design guidelines, but if you remove it from the site plan, this will not be a requirement. If you remain a part of the SPS, it will be. What is the intention?
- D. Please change wording to properly state that the site plan will follow the existing design guidelines, even if it is removed from the SPS, if that is the intention.
- E. Under context, please elaborate on why the MA is needed even though the subject site is properly zoned for the intended use. Please use Light Vehicle Repair use as the terminology for the oil change facility throughout the letter.
- F. Please add more site history if possible. The approved zone changes for Tract 4?
- G. Please remove the sections for the Proposed Site Plan & listing out how Design Standards are being met; transportation system, vehicle access, landscape, drainage, signage. The EPC nor Current Planning staff will be reviewing or approving the proposed site plan and this will just be confusing. I will also be removing the proposed site plans from your application for final submission to the EPC.

7) Justification Criteria, goals & policies:

- A. The task in a zone change justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.
- B. Please note: Responding to the zone change criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:

- i. answering the questions in the customary way (see examples).
 - ii. using conclusory statements such as “because_____”.
 - iii. re-phrasing the requirement itself in the response, and
 - iv. choosing an option when needed to respond to a requirement.
- C. You are off to a good start, but please expand on all policies and goals provided. You state that the goal/policy is furthered, but not how or why they align with the request.
- D. Please add a few more goals and policies that may align with the request. Chapters, 4 Community Identity, 6 Transportation, and 8 Economic development would be good to look at.

8) Site Plan for Subdivision:

A. The subject site (Tract 4) is part of controlling site development plan for subdivision (SPS) (Project #1000898). If removing Tract 4 from the SPS, any action that would affect the existing SPS would affect the entire boundary of 17 acres. If you are just requesting a review of the use, only Tract 4 applies because the NOD and pre-IDO approved findings are only for Tract 4 (1.81 acres).

B. Please provide a revised copy of the controlling SPS. A note will need to be included on the top sheet describing the current request, whichever is chosen. ie- explaining that in July 2022, the EPC approved a major amendment request to allow Tract 4 to be removed from the controlling site development plan for subdivision OR the EPC approved a major amendment request to allow automobile relates uses and services on Tract 4 in July 2022.

June 29, 2022

TO: Luis Noriega & Ron Bohannon, Tierra West LLC

FROM: Megan Jones, Current Planner

City of Albuquerque Planning Department

TEL: (505) 924-3352

RE: Project #2022-007151/SI-2022-01132, MA Unser/McMahon Oil Change

I reviewed the proposed major amendment to the controlling site development plan for subdivision for 1.81 acres of Unser/McMahon Village Center North SPS. I would like to discuss the request and have a few questions and some suggestions to help clarify the submittal. I am available for questions about the process and requirements. Please provide the following:

⇒ A revised project letter, based on your request moving forward (electronic)

⇒ A revised controlling site development plan for subdivision (electronic)

by 5 pm on Monday, July 4, 2022.

1) Request

- A. The request is a major amendment to the existing Unser/McMahon Village Center Site Plan for Subdivision to allow for automobile related uses and services for an oil change facility, but the controlling SPS prohibits automobile related uses and services.
 - a. The Notice of Decision (case #1000936, see attached) from February 2018, is a pre-IDO approval. This approval (See finding #3) requires the EPC to review and approve all auto-related uses on Tract 4.
- B. The applicant has stated in the justification letter that the new development would follow design guidelines of the Unser/McMahon Site Plan for Subdivision since only 1.81 acres remain undeveloped. Please confirm and make this clear in your letter.
- C. Legal description: Tract 4 plat of tracts 1, 2, 3 & 4 Paradise Plaza located on Unser Blvd NW, between Crown Rd. NW and Summer Ridge Rd. NW within the Unser/McMahon Village Center North, approximately 17 acres.
 - a. We need to include the legal description for the entire site plan for subdivision (17 acres), since that is what you are amending even though you are just requesting the use on Tract 4 (1.81 acres).

2) Project Letter:

- A. In your first paragraph please state that this is a major amendment to the Unser/McMahon Village Center North Site Plan FOR SUBDIVISION.
- B. Please change the terminology within your letter to read: The controlling site plan for subdivision prohibits automobile related uses on Tract 4. A notice of Decision dated February 8, 2018 (Project # 1000936) requires the Environmental Planning Commission (EPC) to review and approve all automobile retail and service uses on the Tract 4.
- C. Please change the PROPOSED SITE PLAN section to PROPOSED FUTURE USE. You can keep the short paragraph you have existing, but explain that this is the proposed future development with the approval of the request. Please give information on the proposed use (Light Vehicle Repair) for a future oil change facility and the current zoning from the IDO and how this would change the existing site plan for subdivision.
- D. Please do not include any construction documents or site plans other than maybe one exhibit of the proposed site plan within your letter under proposed use. Since this is not a request to review a site plan we do not want to take the commission down the wrong path.

3) Site Development Plan Major Amendments – 6-6(J)(3) Review and Decision Criteria

- A. The task in a justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.
- B. Responding to the review and decision criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
 - i. answering the questions in the customary way (see examples).
 - ii. using conclusory statements such as “because _____”.
 - iii. re-phrasing the requirement itself in the response, and
 - iv. choosing an option when needed to respond to a requirement.
- C. Please move the Comprehensive Plan Major Site Development Plan Amendment Justification under the Review and Decision Criteria under your response to Criterion A.
- D. In your responses to the review and decision criteria, please focus on the request for the automobile related use on Tract 4 as well as your responses to the goals and policies.
- E. Please, elaborate on goals and policy explanations and be as detailed and concise as you can be through the use of “because” and “how” statements.

F. Please read through your responses to the criteria and be confident that you have provided sound justification for the proposed amendment/expansion.

8) Site Plan for Subdivision:

A. The subject site (Tract 4) is part of controlling site development plan for subdivision (SPS) (Project #1000898). any action that would affect the existing SPS would affect the entire boundary of 17 acres. If you are just requesting a review of the use, only the use on Tract 4 is being reviewed because the NOD and pre-IDO approved findings are only for Tract 4 (1.81 acres).

B. Please provide a hard-copy of the controlling SPS. A note will need to be included on the top sheet describing the current request, In July 2022 the EPC approved a major amendment request to allow automobile relates uses and services on Tract 4.

NOTIFICATION

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Wednesday, May 18, 2022 4:43 PM
To: Yvanna Escajeda
Subject: Unser Blvd NW & Crown Rd NW Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_A-11-Z.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

| Association Name | First Name | Last Name | Email |
|---|------------|-----------|--|
| Westside Coalition of Neighborhood Associations | Rene | Horvath | aboard111@gmail.com |
| Westside Coalition of Neighborhood Associations | Elizabeth | Haley | elizabethkayhaley@gmail.com |

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of**
webmaster@cabq.gov

Sent: Wednesday, May 18, 2022 3:19 PM

To: Office of Neighborhood Coordination <yescajeda@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Yvanna Escajeda

Telephone Number

5058583100

Email Address

yescajeda@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131 AC

Physical address of subject site:

Unser Blvd NW Albuquerque 87114

Subject site cross streets:

Unser Blvd NW & Crown Rd NW

Other subject site identifiers:

This site is located on the following zone atlas page:

A-11-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: May 23, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Unser Blvd NW Albuquerque, NM 87114
Location Description TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131AC
2. Property Owner* BRANDENREED PROPERTIES LLC
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Master plan amendment to allow the construction of a light vehicle service station

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☐ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☒ Environmental Planning Commission (EPC)

Date/Time*: JULY 21, 2022 9:00am

Location*³: City of Albuquerque Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Tierra West, LLC / 5571 Midway Park Place NE Albuquerque, NM 87109/ 505-858-3100/ Luis Noriega

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ A-11-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s) NA

Explanation*:

NA

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development***:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 1.8131 acres
 2. IDO Zone District MX-L
 3. Overlay Zone(s) [if applicable] NA
 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Rene Horvath Westside Coalition of NA [Other Neighborhood Associations, if any]
Elizabeth Haley Westside Coalition of NA

⁶ Available here: <https://tinyurl.com/idozoningmap>



TIERRA WEST, LLC

May 20, 2022

Ms. Rene Horvath
Westside Coalition of Neighborhood Associations
5515 Palomino Dr NW
Albuquerque, NM 87120

**RE: EPC SITE PLAN AMENDMENT
UNSER/MCMAHON VILLAGE CENTER NORTH
NORTHEAST CORNER OF UNSER BLVD AND CROWN RD
ALBUQUERQUE, NM 87114
(UPC# 101106638341510104)**

Dear Ms. Horvath:

Tierra West, LLC, on behalf of BRANDENREED PROPERTIES LLC and the developer, will be submitting to the city of Albuquerque an Environmental Planning Commission (EPC) application to amend the Unser/McMahon Village Center North Site Master Plan (October 2001). The intent of the site plan amendment is to remove roughly 0.52 acres from the Master Plan as shown on the attached site plan to allow the construction of a light vehicle service station.

The proposed development is roughly 1,400 square foot 3 bay drive-thru service station. The development provides quick oil changes and other maintenance services similar to others such as Jiffy Lube and Valvoline. The site design goal is to follow all the city of Albuquerque's development requirements to ensure the health, safety, and wellbeing of the community, as well as to work with the individual needs and or concerns of the surrounding neighborhoods.

You are being contacted as you are listed on the neighborhood and/or Homeowner Associations record managed by city of Albuquerque Office of Neighborhood Coordination (ONC) and may be an interested party, under the provisions of the city of Albuquerque Integrated Development Ordinance (IDO) for this proposed project. As part of the city of Albuquerque's Ordinance procedure, if you choose to request a meeting, a notified association representative must respond back to the applicant within two week (14 days) from receiving the written notice.

If you have any questions on the city process or the proposed application, please contact me or the city of Albuquerque Environmental Planning Commission Section Manager at (505) 924-3337.

Sincerely,

Ronald R. Bohannon, P.E.

cc: Rene Horvath, Westside Coalition of Neighborhood Associations
Elizabeth Haley, Westside Coalition of Neighborhood Associations

Enclosure/s: Approved Master Plan, Proposed Site Plan, Zone Atlas Page

JN: 2022007
RRB/ln

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: May 23, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: elizabethkayhaley@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Unser Blvd NW Albuquerque, NM 87114
Location Description TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131AC
2. Property Owner* BRANDENREED PROPERTIES LLC
3. Agent/Applicant* [if applicable] Tierra West, LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Master plan amendment to allow the construction of a light vehicle service station

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☐ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☒ Environmental Planning Commission (EPC)

Date/Time*: JULY 21, 2022 9:00am

Location*³: City of Albuquerque Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Tierra West, LLC / 5571 Midway Park Place NE Albuquerque, NM 87109/ 505-858-3100/ Luis Noriega

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ A-11-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s) NA

Explanation*:

NA

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development***:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 1.8131 acres
 2. IDO Zone District MX-L
 3. Overlay Zone(s) [if applicable] NA
 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Rene Horvath Westside Coalition of NA [Other Neighborhood Associations, if any]
Elizabeth Haley Westside Coalition of NA

⁶ Available here: <https://tinyurl.com/idozoningmap>



TIERRA WEST, LLC

May 20, 2022

Ms. Elizabeth Haley
Westside Coalition of Neighborhood Associations
6005 Chaparral Circle NW
Albuquerque, NM 87114

**RE: EPC SITE PLAN AMENDMENT
UNSER/MCMAHON VILLAGE CENTER NORTH
NORTHEAST CORNER OF UNSER BLVD AND CROWN RD
ALBUQUERQUE, NM 87114
(UPC# 101106638341510104)**

Dear Ms. Haley:

Tierra West, LLC, on behalf of BRANDENREED PROPERTIES LLC and the developer, will be submitting to the city of Albuquerque an Environmental Planning Commission (EPC) application to amend the Unser/McMahon Village Center North Site Master Plan (October 2001). The intent of the site plan amendment is to remove roughly 0.52 acres from the Master Plan as shown on the attached site plan to allow the construction of a light vehicle service station.

The proposed development is roughly 1,400 square foot 3 bay drive-thru service station. The development provides quick oil changes and other maintenance services similar to others such as Jiffy Lube and Valvoline. The site design goal is to follow all the city of Albuquerque's development requirements to ensure the health, safety, and wellbeing of the community, as well as to work with the individual needs and or concerns of the surrounding neighborhoods.

You are being contacted as you are listed on the neighborhood and /or Homeowner Associations record managed by city of Albuquerque Office of Neighborhood Coordination (ONC) and may be an interested party, under the provisions of the city of Albuquerque Integrated Development Ordinance (IDO) for this proposed project. As part of the city of Albuquerque's Ordinance procedure, if you choose to request a meeting, a notified association representative must respond back to the applicant within two week (14 days) from receiving the written notice.

If you have any questions on the city process or the proposed application, please contact me or the city of Albuquerque Environmental Planning Commission Section Manager at (505) 924-3337.

Sincerely,

Ronald R. Bohannon, P.E.

cc: Rene Horvath, Westside Coalition of Neighborhood Associations
Elizabeth Haley, Westside Coalition of Neighborhood Associations

Enclosure/s: Approved Master Plan, Proposed Site Plan, Zone Atlas Page

JN: 2022007
RRB/ln

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☐ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: _____

Location*³: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
- _____

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Jaimie Garcia

From: Microsoft Outlook
To: aboard111@gmail.com; elizabethkayhaley@gmail.com
Sent: Monday, May 23, 2022 1:08 PM
Subject: Relayed: [#2022007] Unser Drive-Thru Oil Change - EPC Site Plan

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

aboard111@gmail.com (aboard111@gmail.com)

elizabethkayhaley@gmail.com (elizabethkayhaley@gmail.com)

Subject: [#2022007] Unser Drive-Thru Oil Change - EPC Site Plan

7020 3160 0000 3388 9219

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

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OFFICIAL USE

| | |
|---|----------------|
| Certified Mail Fee | |
| \$ | <u>3.75</u> |
| Extra Services & Fees (check box, add fees at appropriate rate) | |
| <input checked="" type="checkbox"/> Return Receipt (hardcopy) | \$ <u>3.05</u> |
| <input type="checkbox"/> Return Receipt (electronic) | \$ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ |
| <input type="checkbox"/> Adult Signature Required | \$ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ |

Postmark
Here

| | |
|-------------------|-------------|
| Postage | |
| \$ | <u>1.56</u> |
| Total Postage and | |
| \$ | <u>8.36</u> |
| Sent To | |

Ms. Rene Horvath
 Westside Coalition of Neighborhood
 Associations
 5515 Palomino Dr NW
 Albuquerque, NM 87120

Street and Apt. No.,
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 3160 0000 3388 9202

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OFFICIAL USE

| | |
|---|----------------|
| Certified Mail Fee | |
| \$ | <u>3.75</u> |
| Extra Services & Fees (check box, add fees at appropriate rate) | |
| <input checked="" type="checkbox"/> Return Receipt (hardcopy) | \$ <u>3.05</u> |
| <input type="checkbox"/> Return Receipt (electronic) | \$ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ |
| <input type="checkbox"/> Adult Signature Required | \$ |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ |

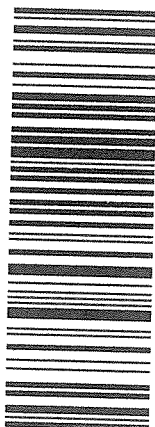
Postmark
Here

| | |
|-------------------|-------------|
| Postage | |
| \$ | <u>1.56</u> |
| Total Postage and | |
| \$ | <u>8.36</u> |
| Sent To | |

Ms. Elizabeth Haley
 Westside Coalition of Neighborhood
 Associations
 6005 Chaparral Circle NW
 Albuquerque, NM 87114

Street and Apt. No.
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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7020 3160 0000 3388 9233

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Domestic Mail Only
For delivery information, visit our website at www.usps.com
OFFICIAL USE

PS Form 3800, April 2013 PSN 7530-02-000-9047 See Reverse for Instructions

| | |
|--|---------|
| City, State, ZIP+4 [®] | |
| Street and Apt. No. | |
| Sent To | |
| Total Postage and Postage | \$ 1.50 |
| Extra Services & Fees (check box, add fee if appropriate) | \$ 8.75 |
| <input checked="" type="checkbox"/> Certified Mail Fee | |
| <input type="checkbox"/> Return Receipt (hardcopy) | |
| <input type="checkbox"/> Return Receipt (electronic) | |
| <input type="checkbox"/> Certified Mail Restricted Delivery | |
| <input type="checkbox"/> Adult Signature Required | |
| <input type="checkbox"/> Adult Signature Restricted Delivery | |
| Postmark | Here |

Ms. Rene Horvath
Westside Coalition of Neighborhood Associations
5515 Palomino Dr. NW
Albuquerque, NM 87120

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Ms. Rene Horvath
Westside Coalition of Neighborhood Associations
5515 Palomino Dr. NW
Albuquerque, NM 87120

9590 9402 5966 0062 6447 30

2. Article Number (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

- A. Signature
- ☒ X
- ☐ Agent
- ☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

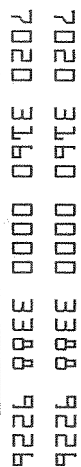
- D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express [®] |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail TM |
| <input type="checkbox"/> Certified Mail [®] | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Return Receipt for Merchandise |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation TM |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |

7020 3160 0000 3388 9233

restricted Delivery



CONSIDER: COMPLETE THIS SECTION

Write your name and address on the reverse so that we can return the card to you.

Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Ms. Elizabeth Haley
Westside Coalition of Neighborhood
Associations
6005 Chaparral Circle NW
Albuquerque, NM 87114



9590 9402 6860 1104 3472 62

Article Number (Transfer from service label)

7020 3160 0000 3388 9226

Restricted Delivery

Domestic Return Receipt

| | |
|--|------------------------------------|
| COMPLETE THIS SECTION ON DELIVERY | |
| A. Signature | <input type="checkbox"/> Agent |
| X | <input type="checkbox"/> Addressee |
| B. Received by (<i>Printed Name</i>) | C. Date of Delivery |
| D. Is delivery address different from item 1? <input type="checkbox"/> Yes | |
| If YES, enter delivery address below: <input type="checkbox"/> No | |

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery | |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |

☐ Registered Mail™

Delivery

☐ Signature Confirmation

Restricted Delivery

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Tuesday, June 7, 2022 9:12 AM
To: Yvanna Escajeda
Subject: Unser Blvd NW & Crown Rd NW Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_A-11-Z.pdf

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please note that there are **NO** neighborhood associations to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination

Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of**
webmaster@cabq.gov
Sent: Tuesday, June 7, 2022 6:51 AM
To: Office of Neighborhood Coordination <yescajeda@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Yvanna Escajeda

Telephone Number

5058583100

Email Address

yescajeda@tierrawestllc.com

Company Name

Tierra West LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131 AC

Physical address of subject site:

Unser Blvd NW Albuquerque 87114

Subject site cross streets:

Unser Blvd NW & Crown Rd NW

Other subject site identifiers:

This site is located on the following zone atlas page:

A-11-Z

Captcha

x

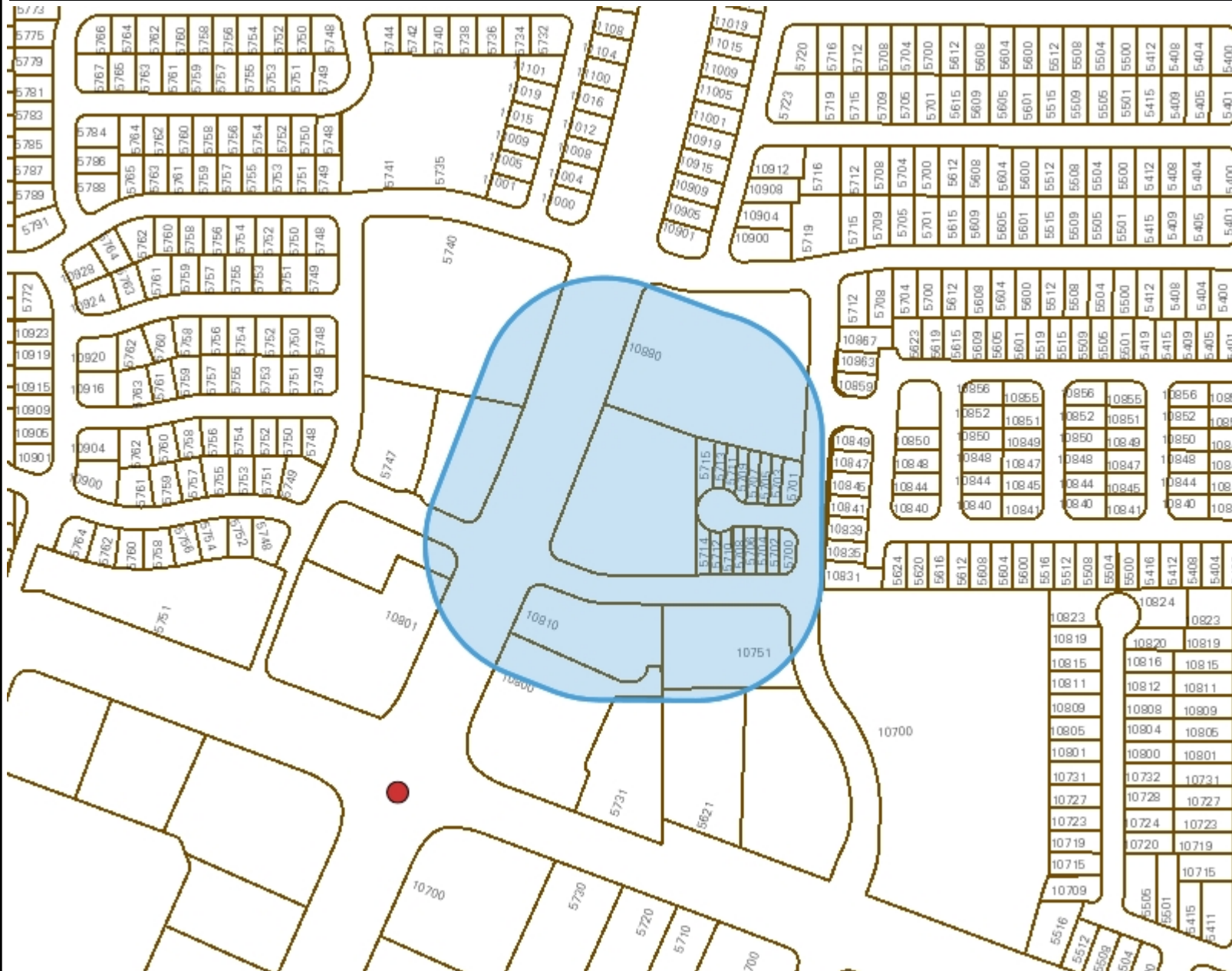


Unser Blvd & Crown Rd NW



Legend

■ Bernalillo County Parcels



601 0 300 601 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
6/6/2022 © City of Albuquerque

1: 3,606

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Buffer: 255ft
ROW: Unser, 155ft

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice*: June 8, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: AFFINITY AT ALBUQUERQUE LLC

Mailing Address*: 120 W CATALDO AVE SUITE 100 SPOKANE, WA. 99201-3211

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Unser Blvd. NW Albuquerque, NM.
Location Description TR 4 Plat of TRS 1,2,3, and 4 Paradise Plaza
2. Property Owner* Brandenreed Properties, LLC.
3. Agent/Applicant* *[if applicable]* Tierra West, LLC.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*

☐ Zoning Map Amendment

☒ Other: EPC Site Plan

Summary of project/request¹*:

Master Plan Amendment to allow the construction of a light vehicle service station.

5. This application will be decided at a public hearing by*:

☒ Environmental Planning Commission (EPC)

☐ City Council

This application will be first reviewed and recommended by:

☒ Environmental Planning Commission (EPC)

☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Date/Time*: July 21, 2022 9:00 AM

Location*²: City of Albuquerque Zoom meeting

¹ Attach additional information, as needed to explain the project/request.

² Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found³:

Tierra West, LLC./ 5571 Midway Park Place NE. Albuquerque, NM. 87109/ 505-858-3100/ Luis Noriega

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ A * 11 * Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

N/A

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

NA

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 1.8131 acres
 2. IDO Zone District MX-L
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435

KIMBRO PAT & DELORES
405 DARTMOUTH DR SE
ALBUQUERQUE NM 87106-2223

SEGO GARRET & KAYCIE
5703 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854

GEORGE JENNIFER & SALAZAR ANGELO
5705 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854

EGENES HANS NICKLAUS
4008 BRYAN AVE NW
ALBUQUERQUE NM 87114-5214

SHAFFER JASON A & VANEZA R
1475 CHEYENNE RIDGE DR
EL PASO TX 79912-8164

AFFINITY AT ALBUQUERQUE LLC
120 W CATALDO AVE SUITE 100
SPOKANE WA 99201-3211

ENTRADA DEVELOPMENT LTD CO
4101 INDIAN SCHOOL RD NE SUITE 400
ALBUQUERQUE NM 87110

CHAHAL GULJAR SINGH & SURINDER K &
KAUR BALJINDER
5701 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854

H & C REAL ESTATE LLC ATTN: JOHN
HEIDRICH
2052 CALLE PAJARO AZUL NW
ALBUQUERQUE NM 87120-3102

BOJORQUEZ BRENDA & GALINDO
GERARDO
9727 SAMIA ST NW
ALBUQUERQUE NM 87114-5999

GUTIERREZ ALEXIS
5710 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4852

ROADRUNNER REAL ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435

ZIA TRUST INC CUSTODIAN JASON A
SHAFFER IRA C/O ROADRUNNER REAL
ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435

ROAD RUNNER REAL ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945

PARRA NICOLE
5707 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854

HAJJAR CHARLES C TRUSTEE UNSER
REALTY TRUST
30 ADAMS ST
MILTON MA 02186-3412

SINGH BASANT & DHILLON SANDEEP
KAUR
5709 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854

CAPLING CHARLOTTE ANN MONTOYA &
MONTOYA BENJAMIN JOHN &
MONTOYA RICHARD A ETAL
PO BOX 309
SANTA FE NM 87504-0309

MAK REALTYMEDTECH HOLDINGS LLC
C/O WALGREEN CO ATTN: TAX DEPT
PO BOX 901
DEERFIELD IL 60015-0901

STUART ANDERSON PROPERTIES LLC
7683 SE 27TH ST PMB 364
MERCER ISLAND WA 98040-2804

BRANDENREED PROPERTIES LLC ATTN:
DANNY BRANDENBURG
2211 CANDELARIA RD NE
ALBUQUERQUE NM 87107-2040

DIAMOND SHAMROCK STATIONS INC
ATTN: CIRCLE K STORES INC
PO BOX 52085
PHOENIX AZ 85072-2085

GUARDIAN STORAGE II LLC
PO BOX 71870
SALT LAKE CITY UT 84171-0870

LBJ ENTERPRISES LLC
5601 HWY 95 NO SUITE 730
LAKE HAVASU CITY AZ 86404-8551

KIDZ ACADEMY PRESCHOOL REAL
ESTATE LLC C/O KEITH GRIEGO
10751 FINELAND DR NW
ALBUQUERQUE NM 87114-1952

C3D LLC & VILIA FALCONE LLC &
GRAYLAND CORPORATION & SPRING
FRANK L & ETAL
PO BOX 35640
ALBUQUERQUE NM 87176-5640

DIAMOND SHAMROCK STATIONS INC
ATTN: CIRCLE K STORES INC
PO BOX 52085
PHOENIX AZ 85072-2085

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

AFFINITY AT ALBUQUERQUE LLC
120 W CATALDO AVE SUITE 100
SPOKANE WA 99201-3211



TERRA *WEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SINGH BASANT & DHILON SANDEEP
KAUR
5709 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854



TIERRA *WEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SHAFFER JASON A & VANEZA R
1475 CHEYENNE RIDGE DR
EL PASO TX 79912-8164



TERRA West. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SEGO GARRET & KAYCIE
5703 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854



TERRA *WEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435



STERRA West LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROADRUNNER REAL ESTATE LLC
106 INDUSTRIAL PARK LP NE
RIO RANCHO NM 87124-1435



TERRA West. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROADRUNNER REAL ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945



TERRA *West*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROAD RUNNER REAL ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MAK REALTYMEDTECH HOLDINGS LLC
C/O WALGREEN CO ATTN: TAX DEPT
PO BOX 901
DEERFIELD IL 60015-0901



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

PARRA NICOLE
5707 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LBJ ENTERPRISES LLC
5601 HWY 95 NO SUITE 730
LAKE HAVASU CITY AZ 86404-8551



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

KIDZ ACADEMY PRESCHOOL REAL
ESTATE LLC C/O KEITH GRIEGO
10751 FINELAND DR NW
ALBUQUERQUE NM 87114-1952



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HAIJAR CHARLES C TRUSTEE UNSER
REALTY TRUST
30 ADAMS ST
MILTON MA 02186-3412



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

H & C REAL ESTATE LLC ATTN: JOHN
HEIDRICH
2052 CALLE PAJARO AZUL NW
ALBUQUERQUE NM 87120-3102



TERRA West LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GUTIERREZ ALEXIS
5710 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4852



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GUARDIAN STORAGE II LLC
PO BOX 71870
SALT LAKE CITY UT 84171-0870



TERRA *MEST*.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GEORGE JENNIFER & SALAZAR ANGELO
5705 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854



TIERRA *MEST.* LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DIAMOND SHAMROCK STATIONS INC
ATTN: CIRCLE K STORES INC
PO BOX 52085
PHOENIX AZ 85072-2085



TIERRA *West*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ENTRADA DEVELOPMENT LTD CO
4101 INDIAN SCHOOL RD NE SUITE 400
ALBUQUERQUE NM 87110



TERRA *West*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

EGENES HANS NICKLAUS
4008 BRYAN AVE NW
ALBUQUERQUE NM 87114-5214



TERRA West. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DIAMOND SHAMROCK STATIONS INC
ATTN: CIRCLE K STORES INC
PO BOX 52085
PHOENIX AZ 85072-2085



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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAHAL GULJAR SINGH & SURINDER K &
KAUR BALINDER
5701 PINNACLE PEAK CT NW
ALBUQUERQUE NM 87114-4854



TERRA *West*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CAPLING CHARLOTTE ANN MONTTOYA &
MONTTOYA BENJAMIN JOHN &
MONTTOYA RICHARD A ETAL
PO BOX 309
SANTA FE NM 87504-0309



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ZIA TRUST INC CUSTODIAN JASON A
SHAFFER IRA C/O ROADRUNNER REAL
ESTATE LLC
PO BOX 65945
ALBUQUERQUE NM 87193-5945



TERRA *West*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

C3D LLC & VILIA FALCONE LLC &
GRAYLAND CORPORATION & SPRING
FRANK L & ETAL
PO BOX 35640
ALBUQUERQUE NM 87176-5640



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BRANDENREED PROPERTIES LLC ATTN:
DANNY BRANDENBURG
2211 CANDELARIA RD NE
ALBUQUERQUE NM 87107-2040



TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BOJORQUEZ BRENDA & GALINDO
GERARDO
9727 SAMIA ST NW
ALBUQUERQUE NM 87114-5999



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

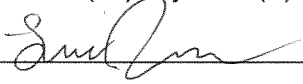
4. TIME

Signs must be posted from 07.06.2022 To 08.05.2022

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

07.05.2022
(Date)

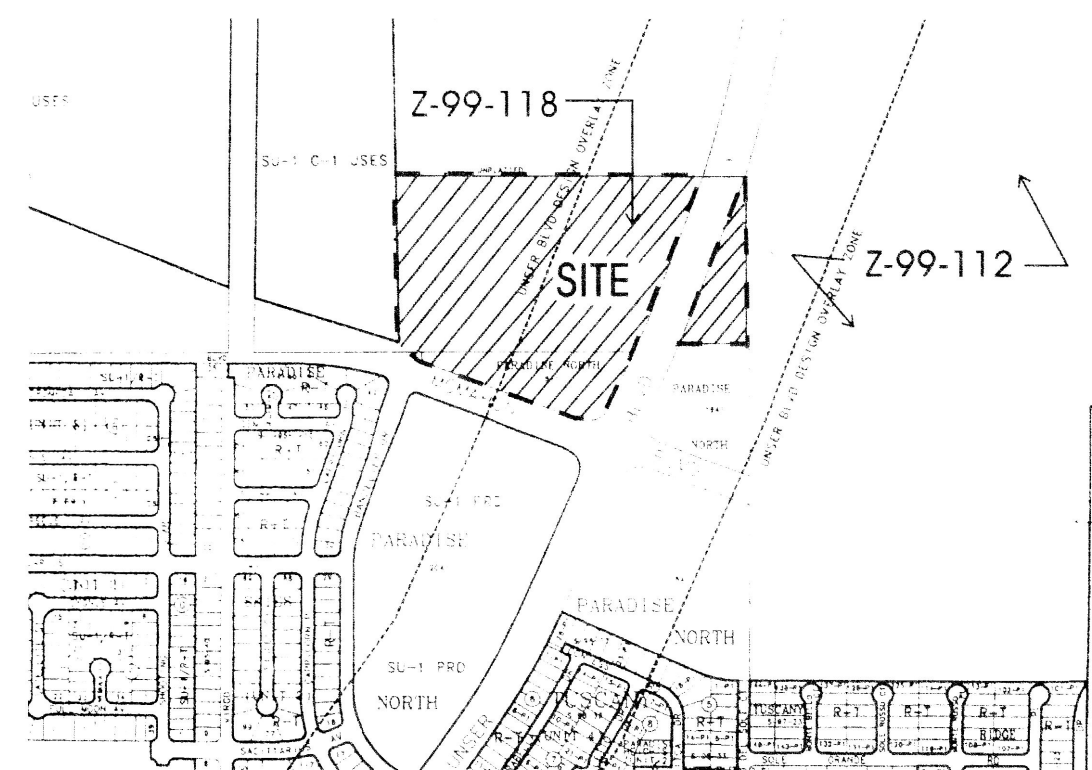
I issued 2 signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: 2022-007151/ SI-2022-01132

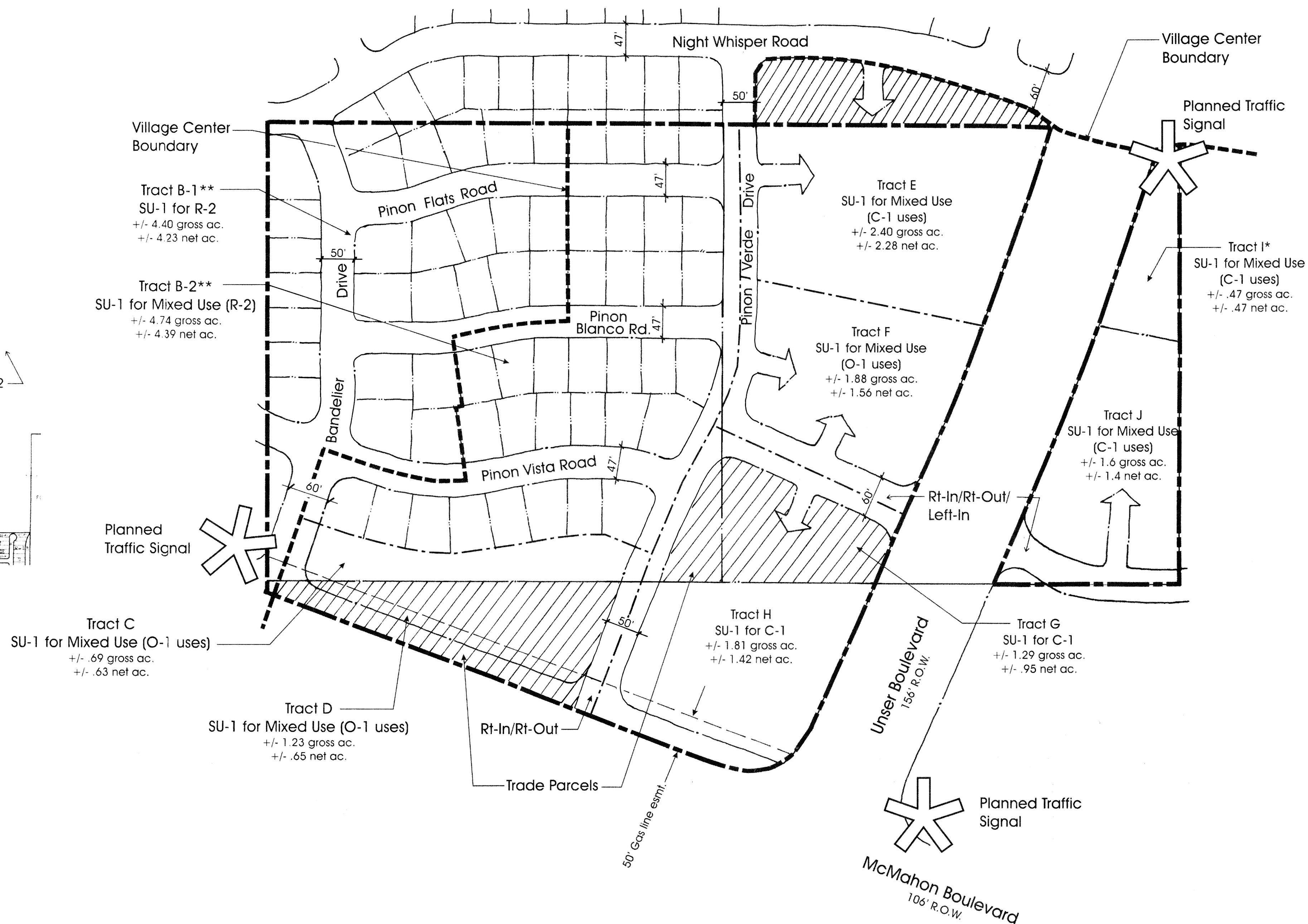
CONTROLLING SITE DEVELOPMENT PLAN FOR
SUBDIVISION

PROPERTY COVERED BY
THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
20.6 GROSS ACRES

30' ACCESS POINTS



SITE VICINITY



SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center.

Kunath/Zolin (Z-97-119)
Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on September 18, 1997 and January 18, 2001 as follows:

- SU-1 for Mixed Use Development: 13.2 acres
 - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres);
 - O-1 Permissive and Conditional Uses; and
 - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 4.4 acres

Tres Esquinas (Z-97-47)
Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on April 17, 1997 as follows:

SU-1 for C-1 Permissive Uses: 3.0 acres

Pedestrian and Vehicular Ingress and Egress:
Trails: There are proposed trails along Unser and McMahon Boulevards per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood west of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: Bicycle trails are planned along Unser and McMahon Boulevards west and south of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: As property develops within this portion of the Village Center, coordination shall with the City Transit Department regarding placement of transit stops in order to provide access and service to this area.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

APPROVALS - PROJECT #1000936

EPC Application #00110-00000-01639/00128-00000-01640

DRB Application #01450-00000-00888

THIS SITE PLAN FOR SUBDIVISION IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

PROJ 1000936
7/27/01
Planning Department
7/25/01
Transportation Department
7/25/01
City Engineer
7/25/01
Utility Development
7/25/01
Parks and Recreation Department
7/25/01

GENERAL NOTES:

1) In order to achieve the goals of this plan, a plat is required that implements the proposed land trades between this property and the property to the south and east, and establishes zone boundaries. The purpose of this trade is to provide each landowner with a developable tract with reasonable access.

2) The SU-1 for R-2 zoned area (Tract B-1) and the residential portion of the SU-1 for Mixed Use area (Tract B-2) are delegated to the Development Review Board if they are developed at RT densities or less (per R-T zoning regulations), as determined by the Environmental Planning Commission's Notice of Decision dated January 18, 2001.

| Tract | Land Use | Gross Acres |
|----------------------|----------|-------------|
| B-2 | R-2 | 4.75 |
| C | O-1 | .70 |
| D | O-1 | 1.23 |
| E | C-1 | 2.40 |
| F | O-1 | 1.88 |
| G | C-1 | 1.29 |
| H | C-1 | 1.82 |
| I* | C-1 | .47 |
| J | C-1 | 1.63 |
| TOTAL VILLAGE CENTER | | 16.2 |

*Tract I is proposed to be traded with an equal sized parcel in Z-99-112. Tracts D and G are proposed as a trade.

**Tracts B-1 and B-2 are zoned SU-1 for R-2 uses and SU-1 for Mixed Use, respectively. Tract B-2 fulfills the required residential component of the SU-1 for Mixed Use area (minimum 35%), as approved by the Environmental Planning Commission. The illustrated residential lots are a permissive use in both zones.

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For: Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, IL 60047

Prepared By: Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

July 18, 2001

Sheet 1 of 3

Scale: 1" = 100'



DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. These additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119, Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the Westside Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

- General Standards:
- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berming. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.
- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

- Guidelines:
- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



environment.

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
 - be compatible with one another
 - create a sense of arrival
 - provide strong visual impact
 - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be considered.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation

Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and facilitate for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-1 zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Guidelines:

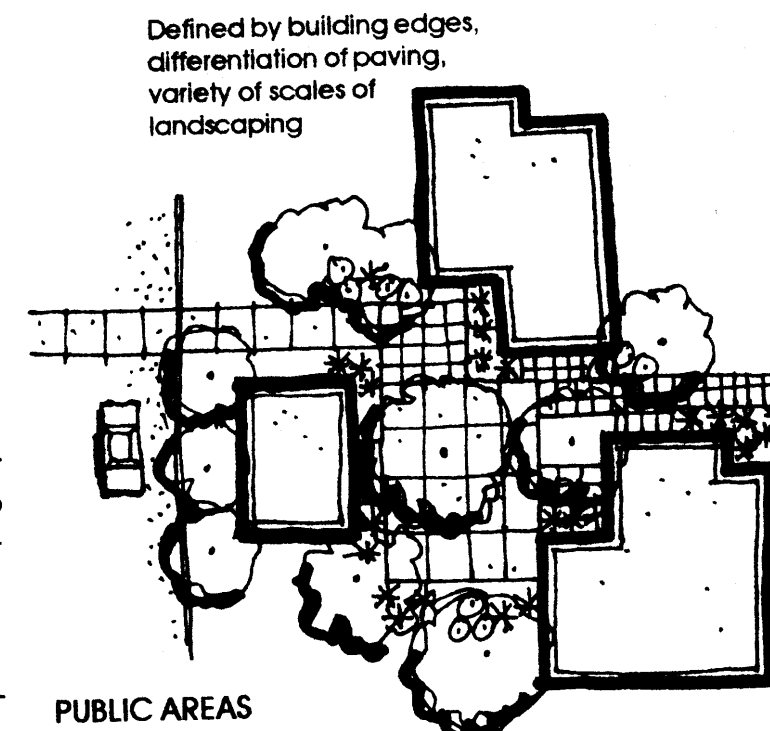
- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.



- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site storage areas is essential to limit their adverse visual impact on surrounding developments. The guidelines orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of the following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

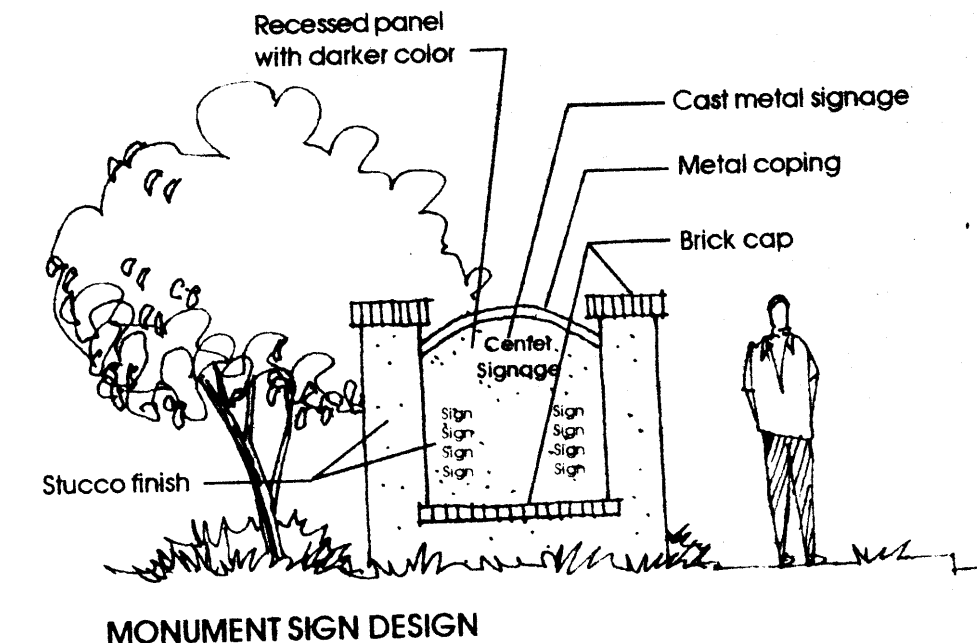
- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights
- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

- have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3

LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- The maximum height for lighting fixtures shall be:
- 16 feet high for walkways and entry plazas
 - 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

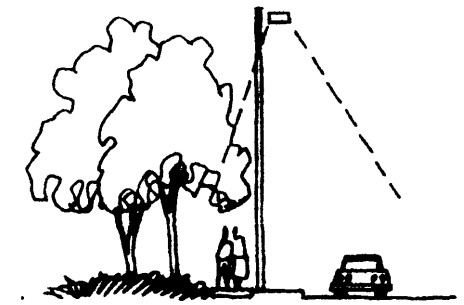
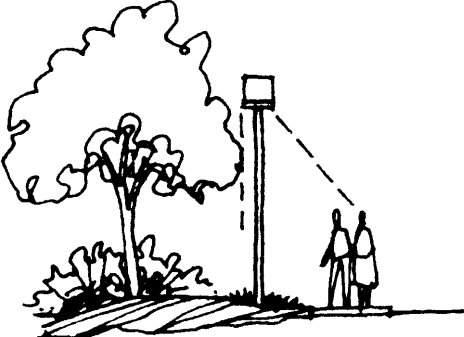
Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambiance of the Village Center.



LIGHTING

Facades

Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Roofs & Parapets

Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

UTILITIES

Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

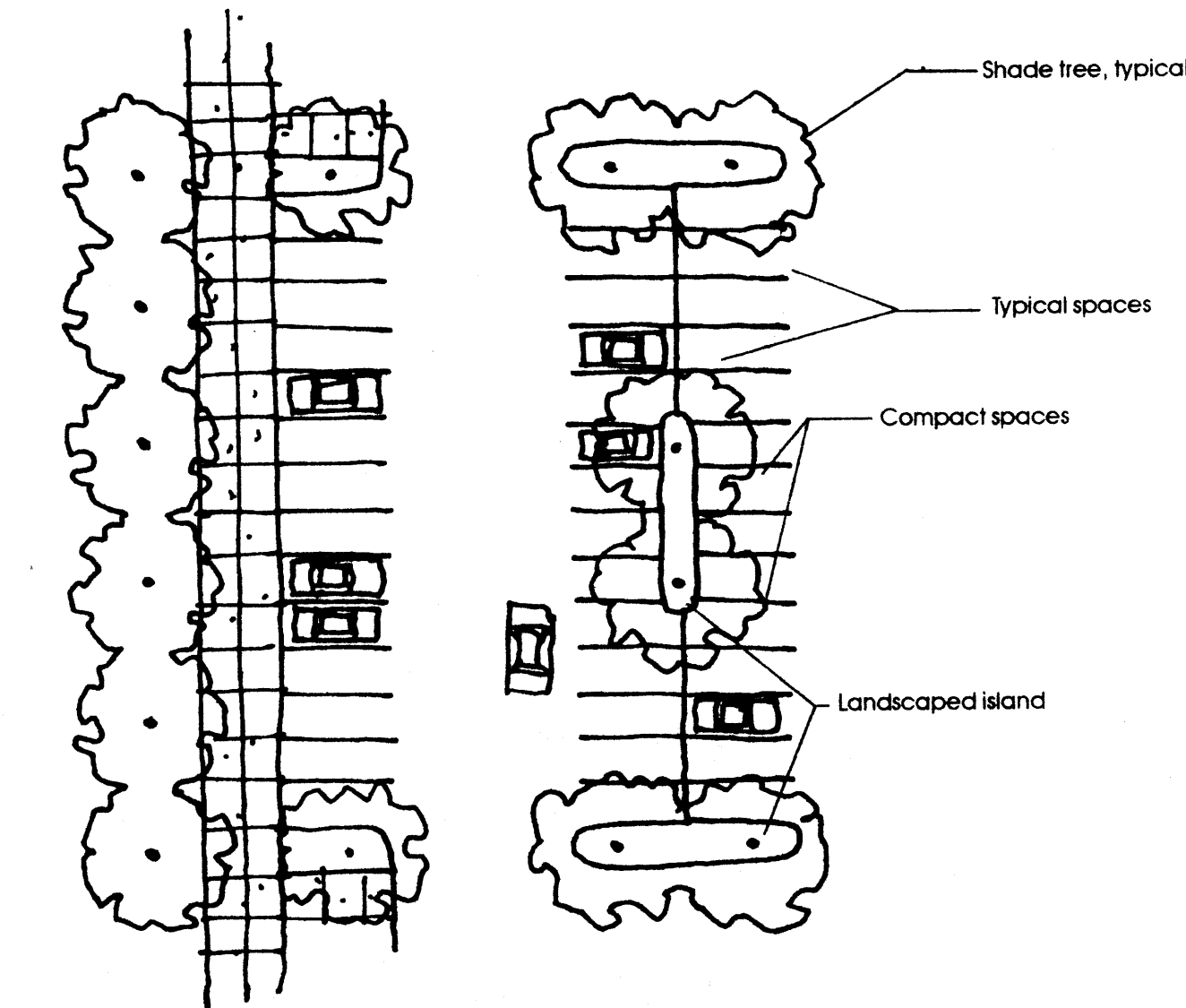
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of previous filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- | | |
|-------------------------|---|
| • Trees | 2 inch caliper, or 10 to 12 feet in height |
| • Shrubs & Groundcovers | 1 gallon |
| • Turf Grasses | provide complete ground coverage within one growing season after installation |

The following street trees shall be used at the respective locations:

- | | |
|-----------------------------|-----------------------------------|
| • Unser & McMahon Boulevard | Ash sp., Honey Locust sp. |
| • Internal Streets | Golden Raintree, Chinese Pistache |

R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

Circulation

Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

Setbacks

Standards

- Buildings shall have a maximum setback of 70 feet.

Perimeter Walls, Screening & Fences

Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

Signage & Graphics

Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

Architectural Design

Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

Landscape

Guidelines

- Street tree types are not restricted to those required within the Village Center.

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

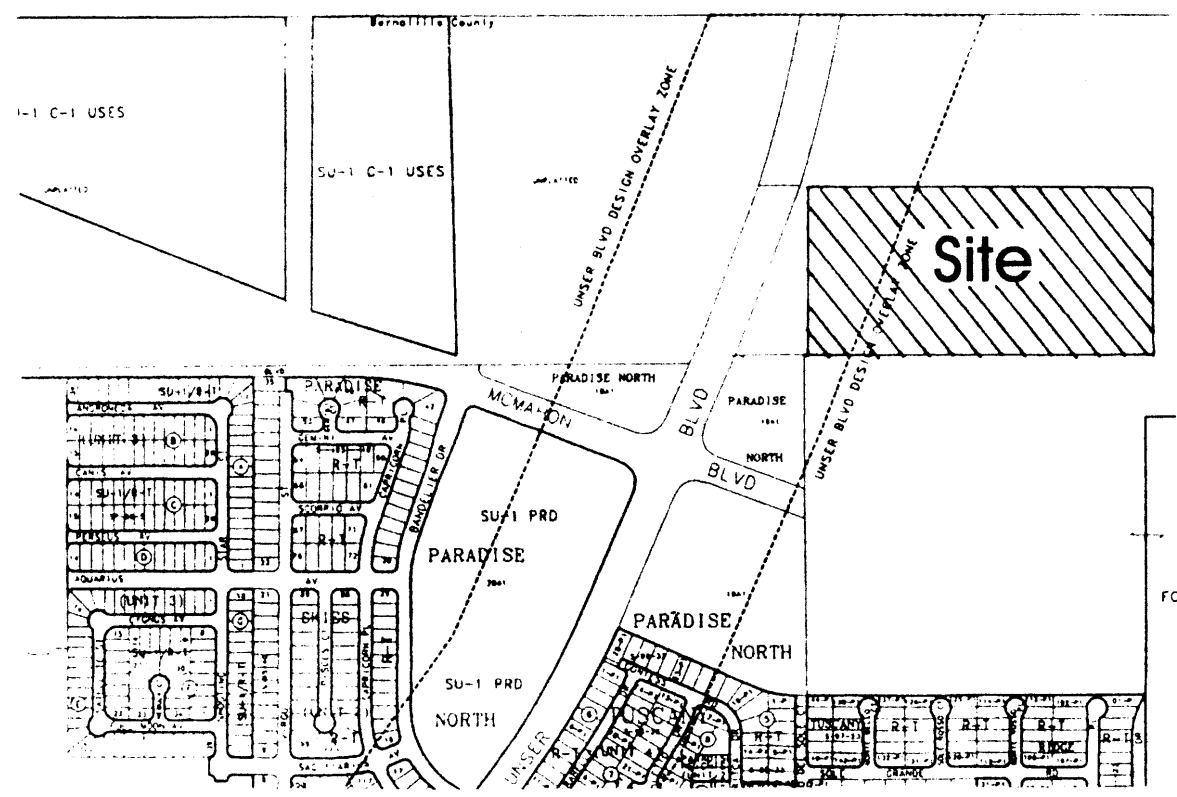
Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 3 of 3



SITE VICINITY

SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed Use, and 13 acres outside the Village Center, zoned SU-1 for R-2.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on January 18, 2001 (00110-00000-01623) as follows:

- SU-1 for Mixed Use Development: 4.0 acres
 - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 1.4 acres);
 - O-1 Permissive and Conditional Uses; and
 - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).
- SU-1 for R-2: 13.0 acres

Pedestrian and Vehicular Ingress and Egress:

Trails: There is a proposed trail along Unser Boulevard per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood east of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: A bicycle trail is planned along Unser Boulevard west of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: A major transit stop is proposed at the eastern edge of the Village Center per Westside/McMahon Land Use and Transportation Guide. This location will have excellent access to the Village Center and the R-2 neighborhood to the east.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

Note: The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point south of Parcel F, east of Unser Boulevard.

SITE PLAN FOR SUBDIVISION

Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
PO Box 372
Cedar Crest, NM 87008

Prepared By:

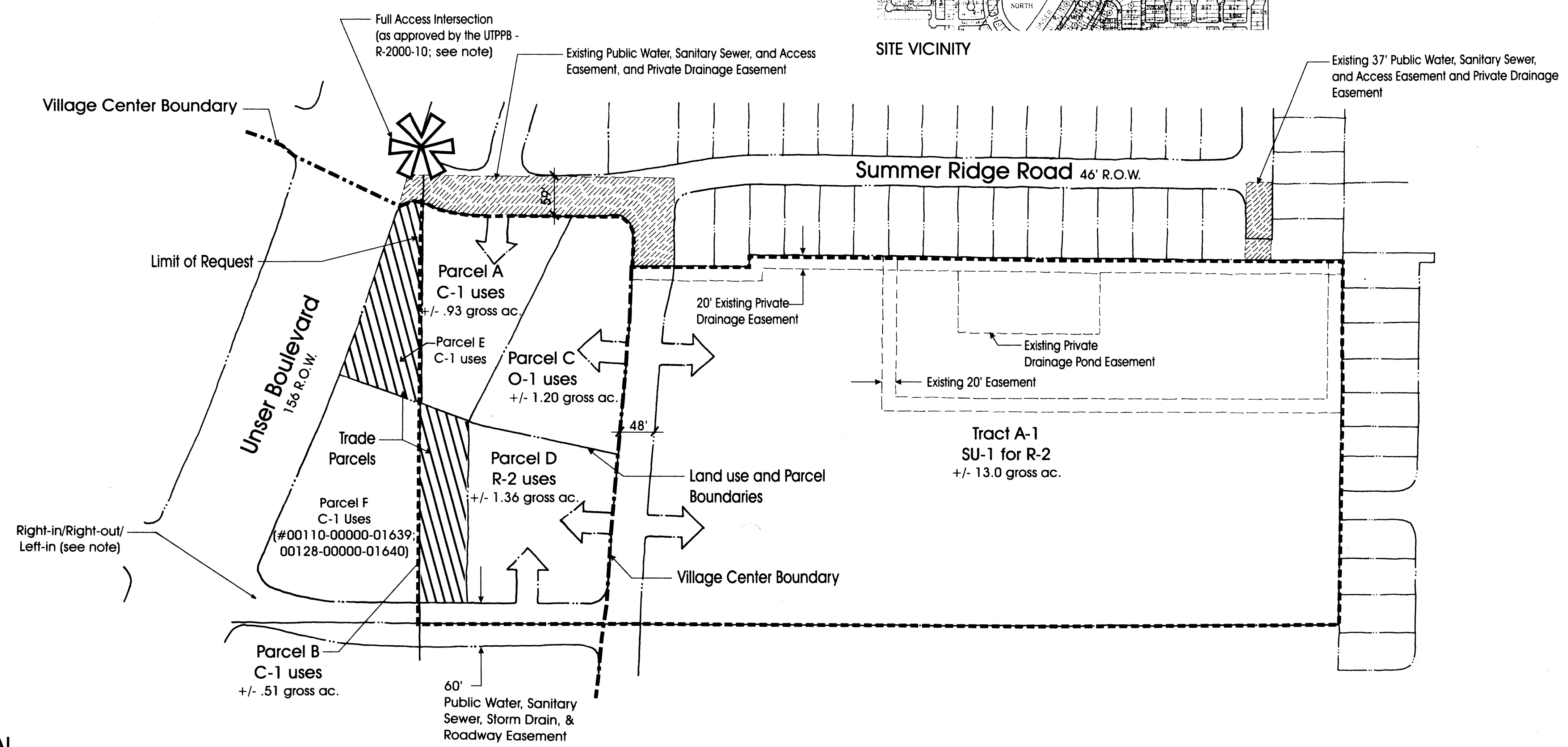
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

October, 2001

Sheet 1 of 3

PROPERTY COVERED BY
THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
17.0 GROSS ACRES

30' ACCESS POINTS



APPROVAL

Project #1000898; EPC 00128-00000-01514; DRB 01450-00000-01599
THIS SITE PLAN FOR SUBDIVISION IS CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| | |
|---------------------------------|----------|
| Planning Department | Date |
| <i>Paul D. D...</i> | 12/20/01 |
| Transportation Department | Date |
| <i>Bradley D. Bingham</i> | 12-14-01 |
| City Engineer | Date |
| <i>Roger A. H...</i> | 11/14/01 |
| Utility Development | Date |
| <i>Adrienne E. Car...</i> | 11-14-01 |
| Parks and Recreation Department | Date |

Note: In order to achieve the goals of this site plan, a plat shall be required that implements the proposed land trades between this property and the property to the west. The purpose of this trade is to provide each landowner with a developable parcel with reasonable access.

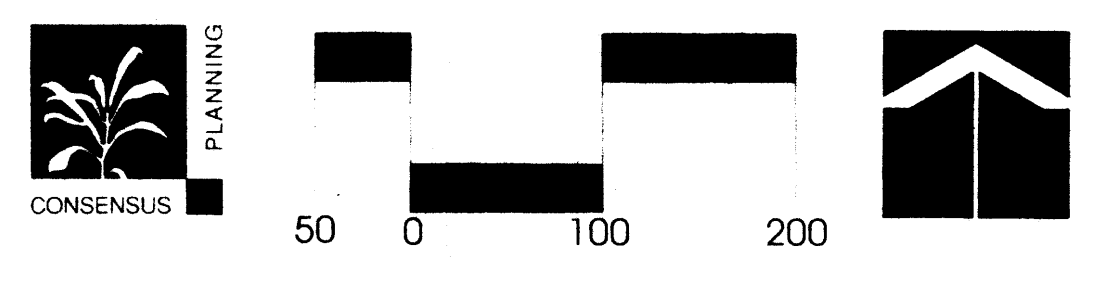
| Parcel | Land Use | Gross Acres |
|----------------------|----------|-------------|
| A | C-1 | .93 |
| B* | C-1 | .51 |
| C | O-1 | 1.20 |
| D | R-2 | 1.36 |
| TOTAL VILLAGE CENTER | | 4.00 |

*Parcel B is proposed to be traded with an equal size parcel in #00110-00000-01639; 00128-00000-01640.

Parcels A and E, and Parcels B and F will be replatted in order to be combined prior to development of these parcels.

In order to provide access to all tracts, the plat shall establish cross-lot blanket access and public utility easements for all tracts. There will be no direct access to Unser Boulevard (see note regarding UTPPB Resolution 2000-10).

Scale: 1" = 100'



DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119, Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the Westside Strategic Plan.

Each category is organized in terms of Standards (Items which are required) and Guidelines (Items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General

Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.

- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly



SHADED PEDESTRIAN AREAS

environment.

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
 - be compatible with one another
 - create a sense of arrival
 - provide strong visual impact
 - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation

Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactilely for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-1 zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Guidelines:

- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

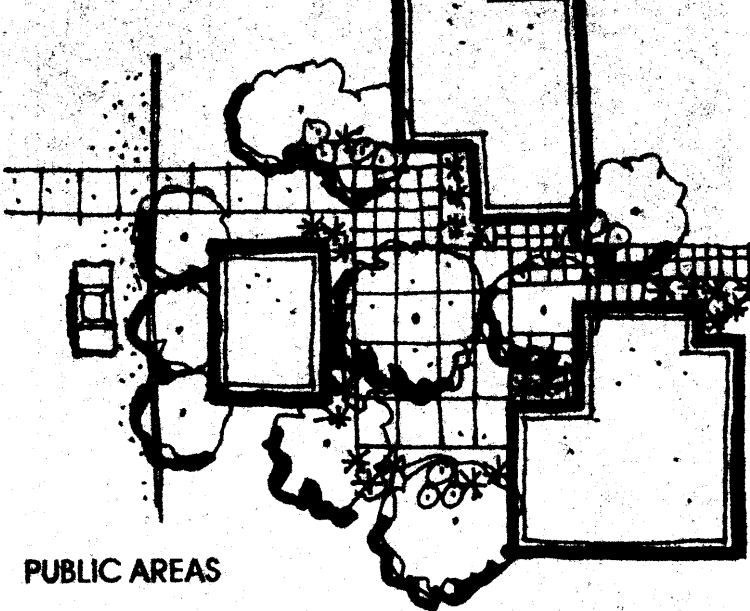
Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Defined by building edges, differentiation of paving, variety of scales of landscaping



PUBLIC AREAS

- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

Signage SHALL NOT:

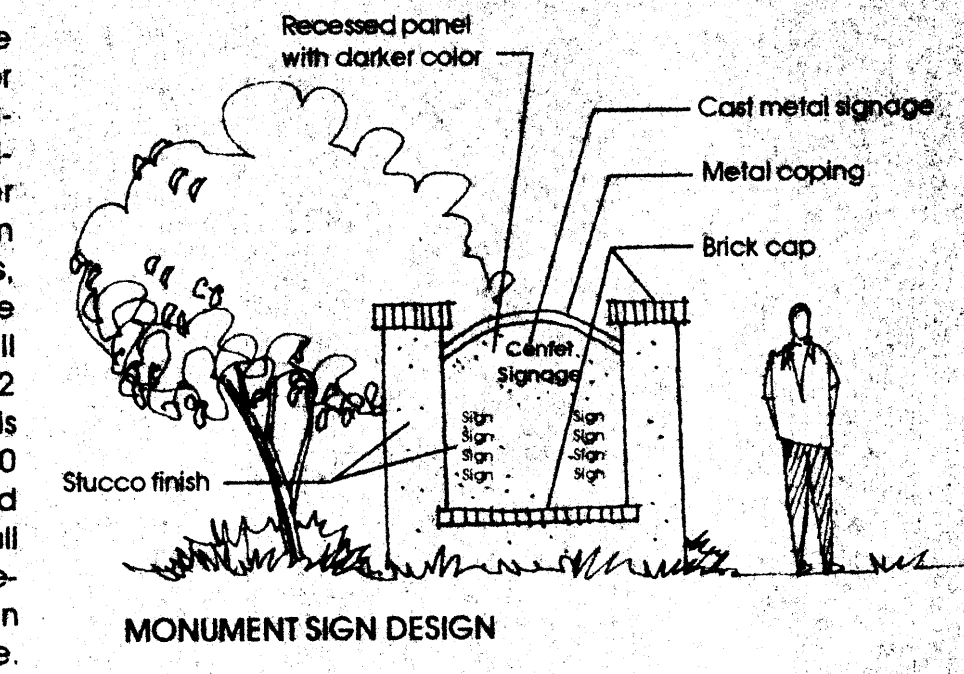
- use moving parts, makes audible sounds, or have blinking or flashing lights

- overhang into the public right-of-way, property line, or extend above the building roof line

- Intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument village signs are

allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



MONUMENT SIGN DESIGN

- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

- have a significant contrast between the background and the text (If the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
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Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3

LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

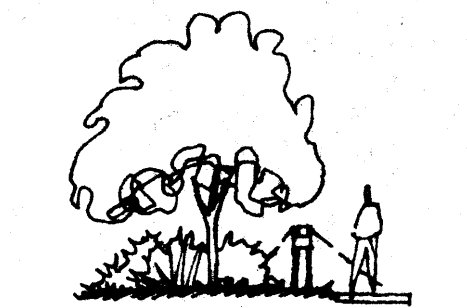
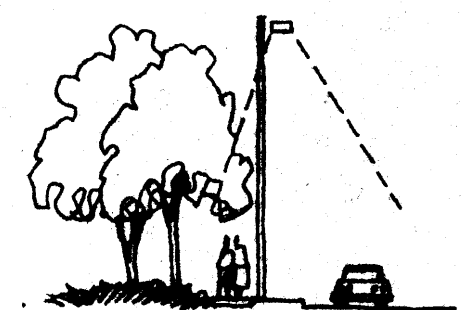
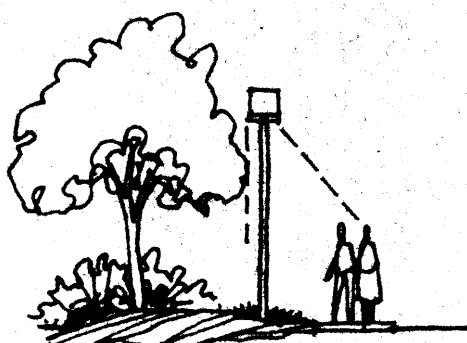
Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall to be feature lighted to enhance the identity of the building and the appealing ambiance of the Village Center.



LIGHTING

Facades

Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Roofs & Parapets

Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

UTILITIES

Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

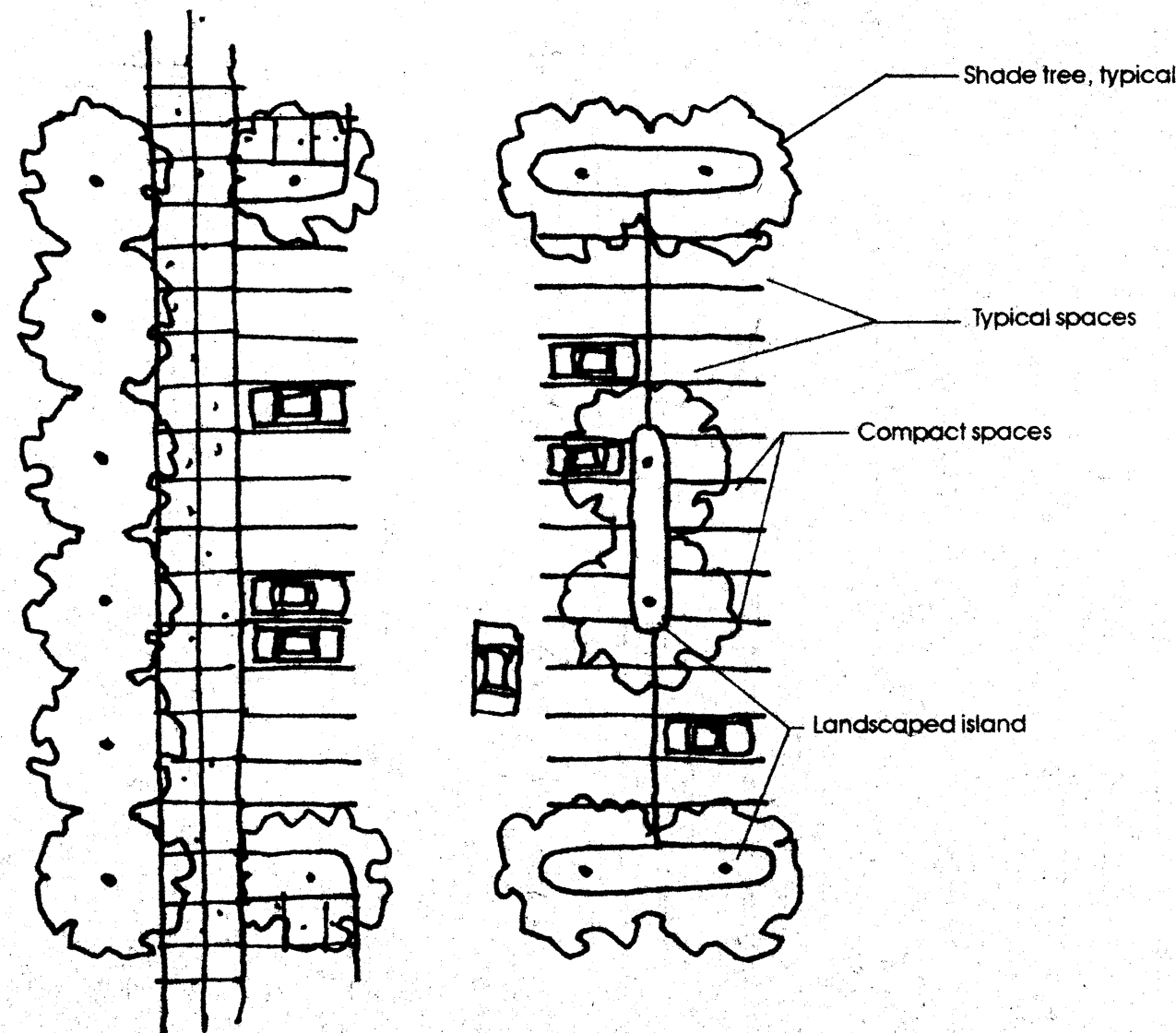
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- Trees: 2 inch caliper, or 10 to 12 feet in height
- Shrubs & Groundcovers: 1 gallon.
- Turf Grasses: provide complete ground coverage within one growing season after installation

The following street trees shall be used at the respective locations:

- Unser & McMahon Boulevard: Ash sp., Honey Locust sp.
- Internal Streets: Golden Raintree, Chinese Pistache

R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

Circulation

Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

Setbacks

Standards

- Buildings shall have a maximum setback of 70 feet.

Perimeter Walls, Screening & Fences

Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

Signage & Graphics

Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

Architectural Design

Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

Landscape

Guidelines

- Street tree types are not restricted to those required within the Village Center.

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
924 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

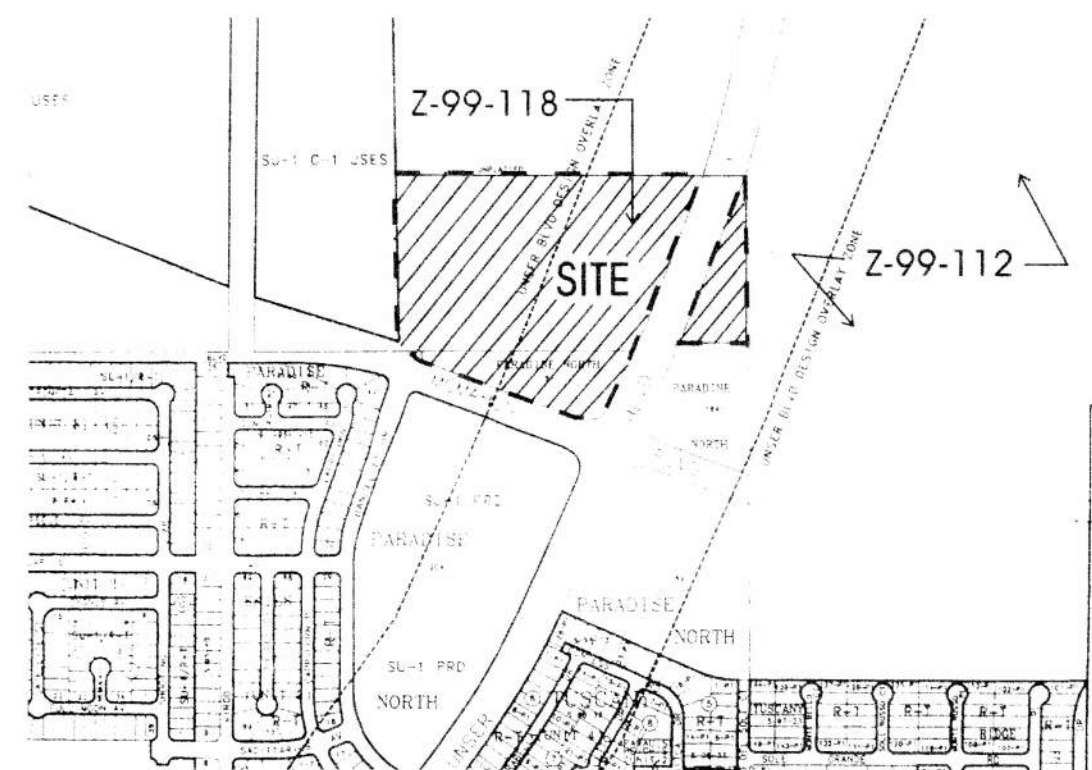
June 26, 2001

Sheet 3 of 3

SITE PLAN MAJOR AMENDMENT

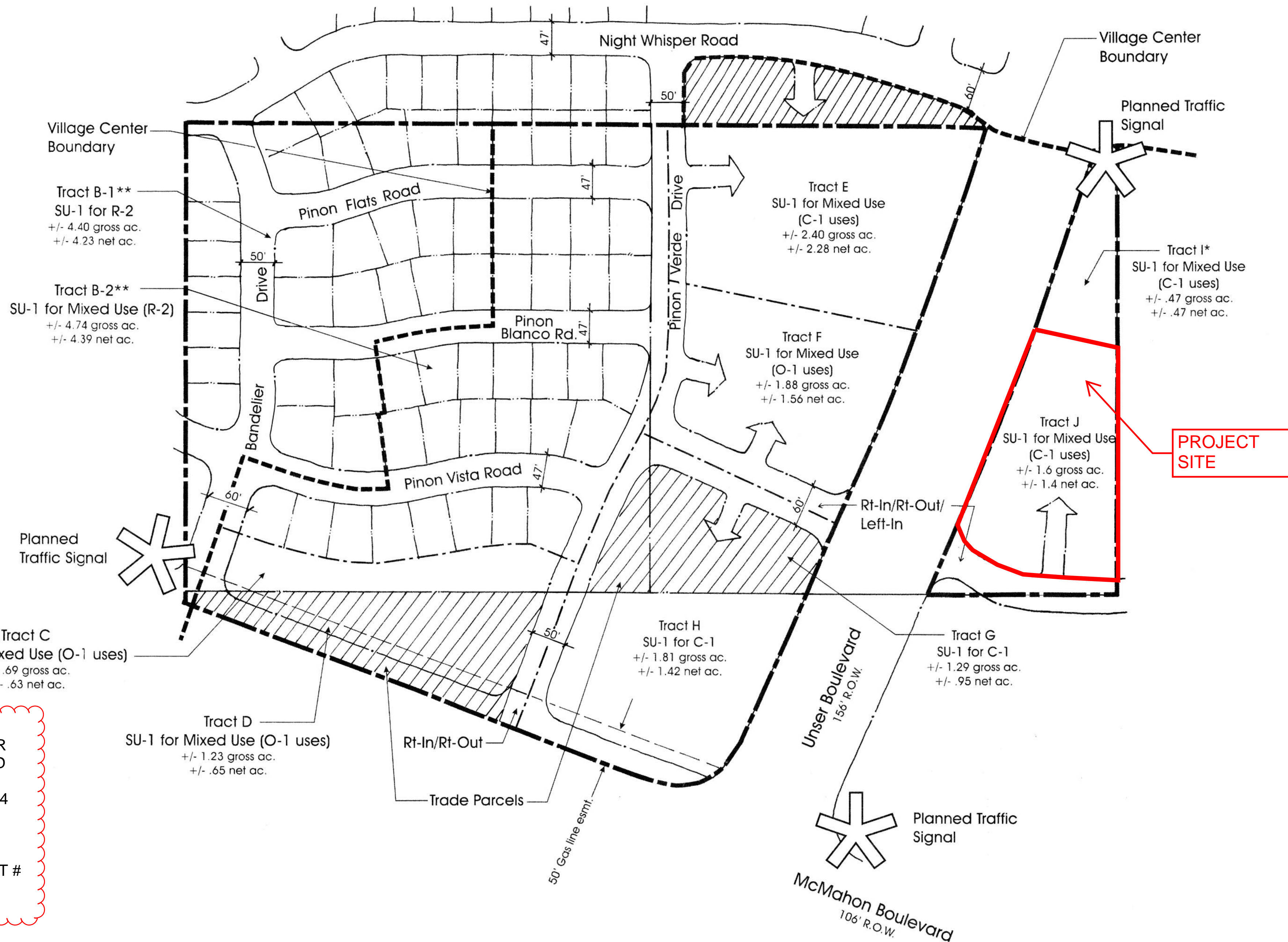
PROPERTY COVERED BY
THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
20.6 GROSS ACRES

30' ACCESS POINTS



SITE VICINITY

NOTE: IN JULY OF 2022 EPC VOTED TO APPROVE A MAJOR AMENDMENT REQUEST TO ALLOW AUTOMOBILE RELATED USES AND APPROVED THE EPC SITE PLAN OF AN APPROXIMATE 1,400 SF OIL CHANGE FACILITY ON TRACT 4 AS DEPICTED ON THIS SHEET "PROJECT SITE". THE APPROVAL IS BASED ON THE 2018 NOTICE OF DECISION THAT REQUIRES THE EPC TO REVIEW AND APPROVE FUTURE SITE PLANS FOR THE REQUESTED USE (PROJECT # 1000936)



APPROVALS - PROJECT #1000936

EPC Application #00110-00000-01639/00128-00000-01640

DRB Application #01450-00000-00888

THIS SITE PLAN FOR SUBDIVISION IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| | |
|---------------------------------|---------|
| Planning Department | 7/27/01 |
| Transportation Department | 7-25-01 |
| City Engineer | 7/25/01 |
| Utility Development | 7/25/01 |
| Parks and Recreation Department | 7/25/01 |

GENERAL NOTES:

1) In order to achieve the goals of this plan, a plat is required that implements the proposed land trades between this property and the property to the south and east, and establishes zone boundaries. The purpose of this trade is to provide each landowner with a developable tract with reasonable access.

2) The SU-1 for R-2 zoned area (Tract B-1) and the residential portion of the SU-1 for Mixed Use area (Tract B-2) are delegated to the Development Review Board if they are developed at RT densities or less (per R-T zoning regulations), as determined by the Environmental Planning Commission's Notice of Decision dated January 18, 2001.

| Tract | Land Use | Gross Acres |
|----------------------|----------|-------------|
| B-2 | R-2 | 4.75 |
| C | O-1 | .70 |
| D | O-1 | 1.23 |
| E | C-1 | 2.40 |
| F | O-1 | 1.88 |
| G | C-1 | 1.29 |
| H | C-1 | 1.82 |
| I* | C-1 | .47 |
| J | C-1 | 1.63 |
| TOTAL VILLAGE CENTER | | 16.2 |

*Tract I is proposed to be traded with an equal sized parcel in Z-99-112. Tracts D and G are proposed as a trade.

**Tracts B-1 and B-2 are zoned SU-1 for R-2 uses and SU-1 for Mixed Use, respectively. Tract B-2 fulfills the required residential component of the SU-1 for Mixed Use area (minimum 35%), as approved by the Environmental Planning Commission. The illustrated residential lots are a permissive use in both zones.

SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center.

Kunath/Zolin (Z-97-119)

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on September 18, 1997 and January 18, 2001 as follows:

SU-1 for Mixed Use Development: 13.2 acres

- C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres);

- O-1 Permissive and Conditional Uses; and

- R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 4.4 acres

Tres Esquinas (Z-97-47)

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on April 17, 1997 as follows:

SU-1 for C-1 Permissive Uses: 3.0 acres

Pedestrian and Vehicular Ingress and Egress:

Trails: There are proposed trails along Unser and McMahon Boulevards per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood west of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: Bicycle trails are planned along Unser and McMahon Boulevards west and south of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: As property develops within this portion of the Village Center, coordination shall with the City transit Department regarding placement of transit stops in order to provide access and service to this area.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
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Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

July 18, 2001

Sheet 1 of 3

Scale: 1" = 100'



DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119, Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the Westside Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berming. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.
- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly



environment.

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
 - be compatible with one another
 - create a sense of arrival
 - provide strong visual impact
 - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be considered.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation

Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactility for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-1 zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Guidelines:

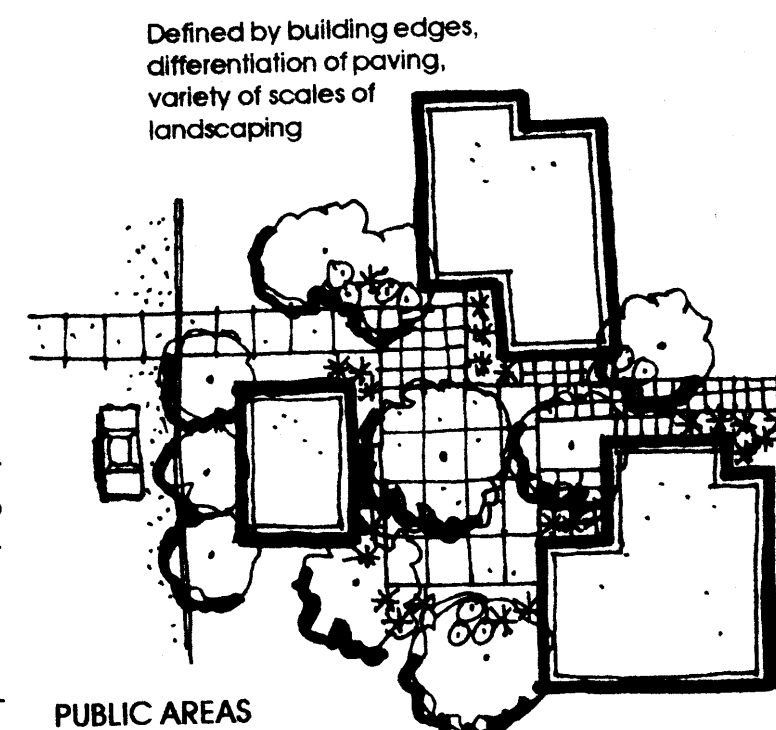
- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.



- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

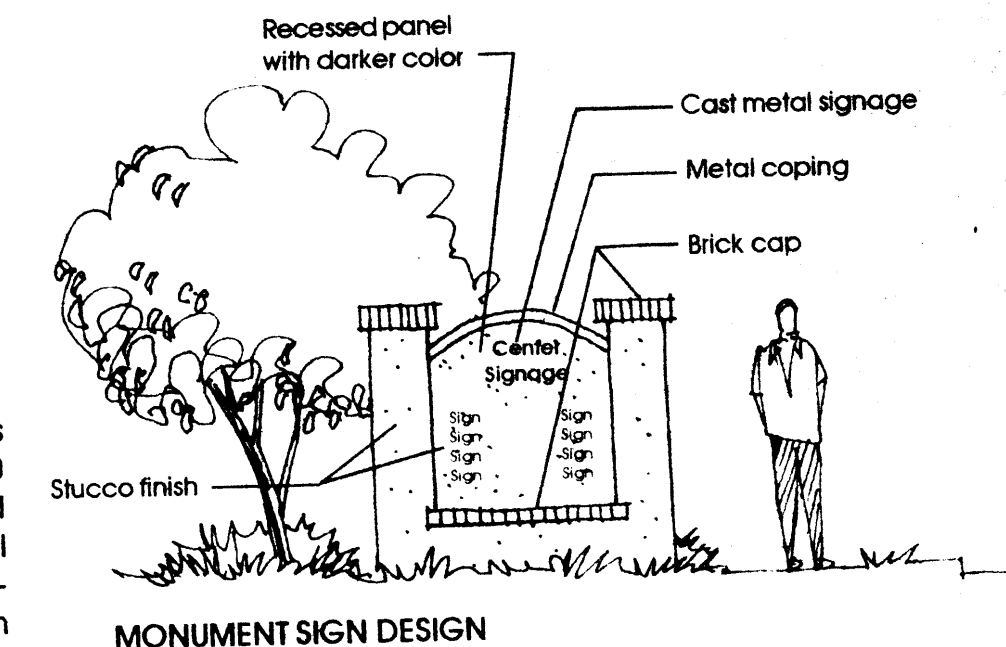
- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights

- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

- have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3

LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- The maximum height for lighting fixtures shall be:
- 16 feet high for walkways and entry plazas
 - 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

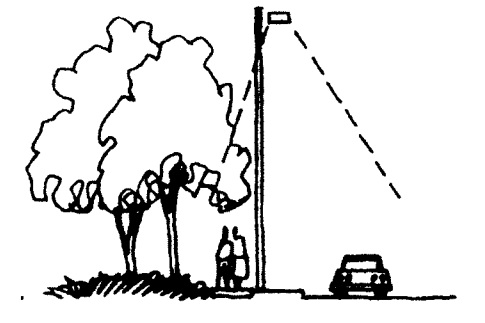
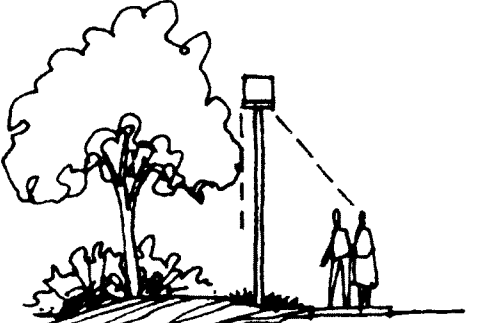
Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambience of the Village Center.



LIGHTING

Facades

Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Roofs & Parapets

Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

UTILITIES

Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

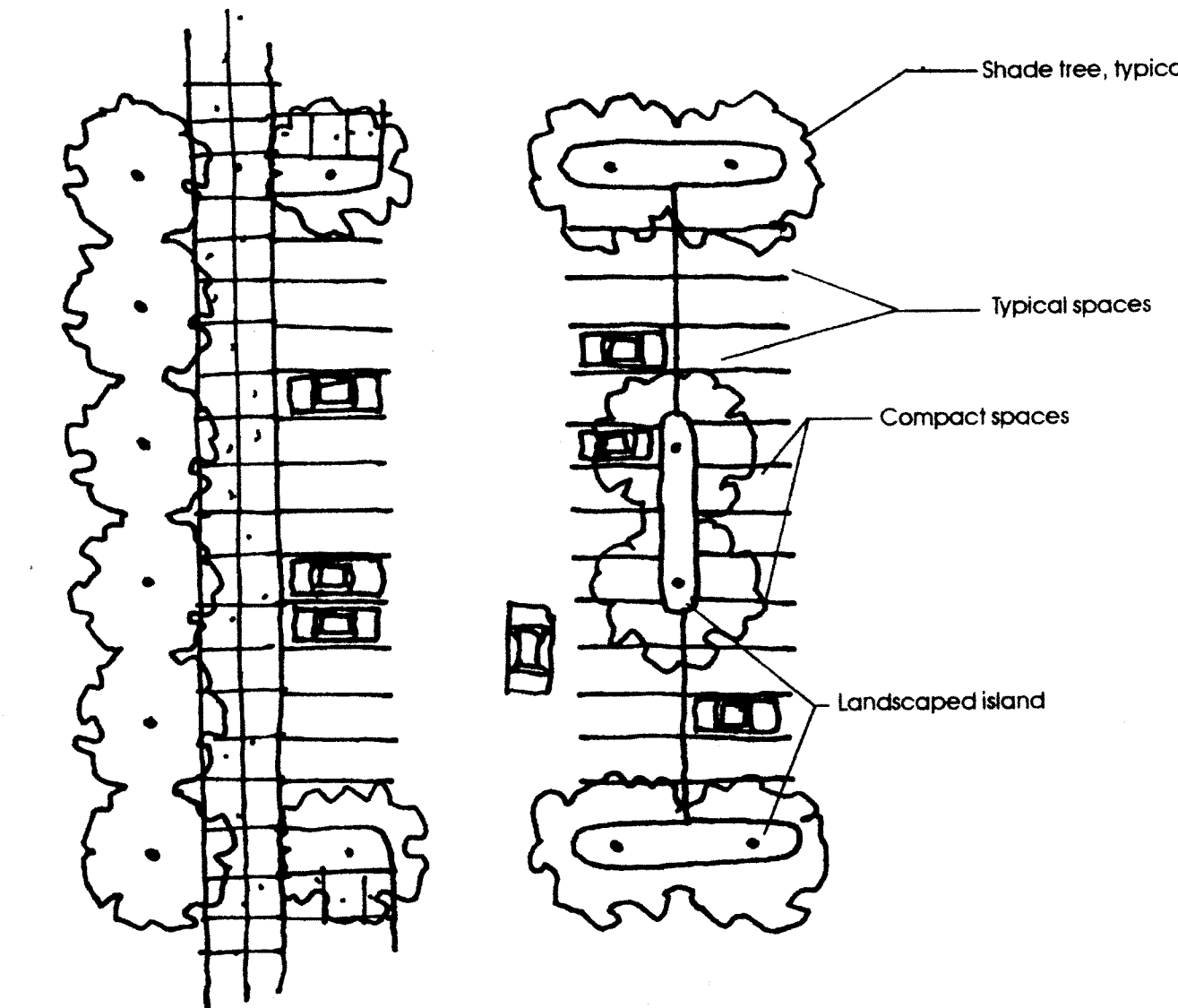
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- | | |
|-------------------------|---|
| • Trees | 2 inch caliper, or 10 to 12 feet in height |
| • Shrubs & Groundcovers | 1 gallon |
| • Turf Grasses | provide complete ground coverage within one growing season after installation |

The following street trees shall be used at the respective locations:

- | | |
|-----------------------------|-----------------------------------|
| • Unser & McMahon Boulevard | Ash sp., Honey Locust sp. |
| • Internal Streets | Golden Raintree, Chinese Pistache |

R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

Circulation

Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

Setbacks

Standards

- Buildings shall have a maximum setback of 70 feet.

Perimeter Walls, Screening & Fences

Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

Signage & Graphics

Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

Architectural Design

Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

Landscape

Guidelines

- Street tree types are not restricted to those required within the Village Center.

SITE PLAN FOR SUBDIVISION
Unser/McMahon
Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

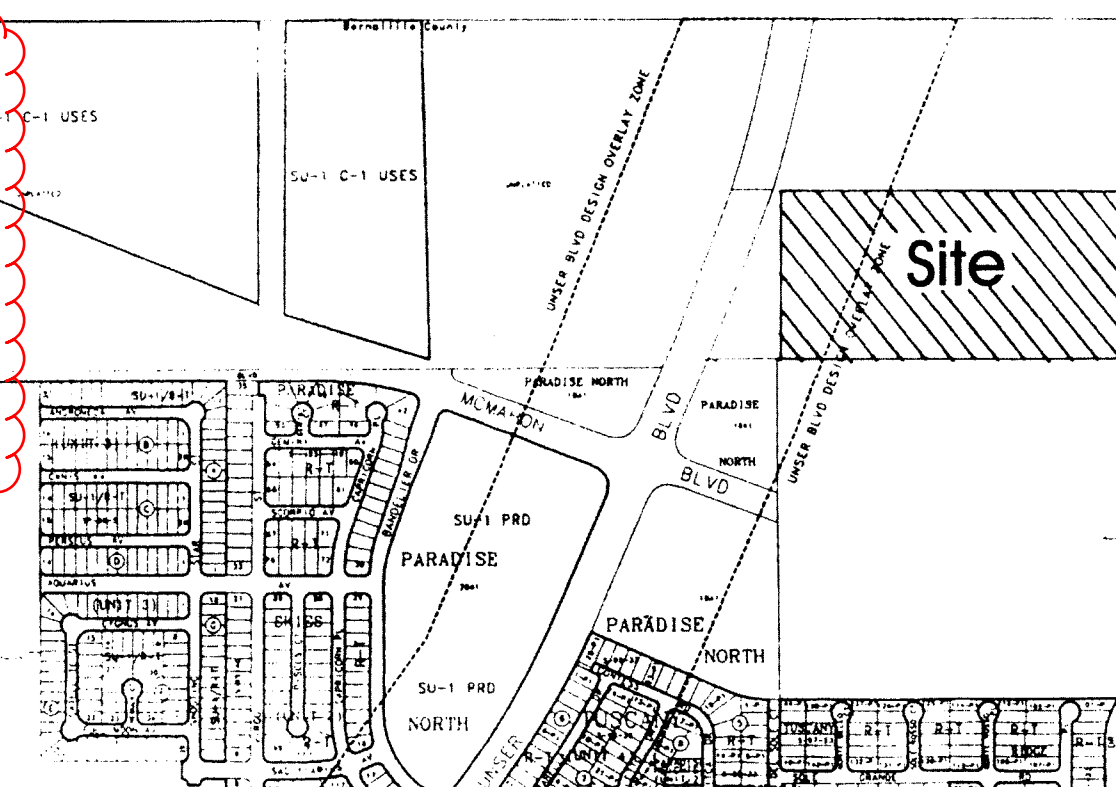
June 26, 2001

Sheet 3 of 3

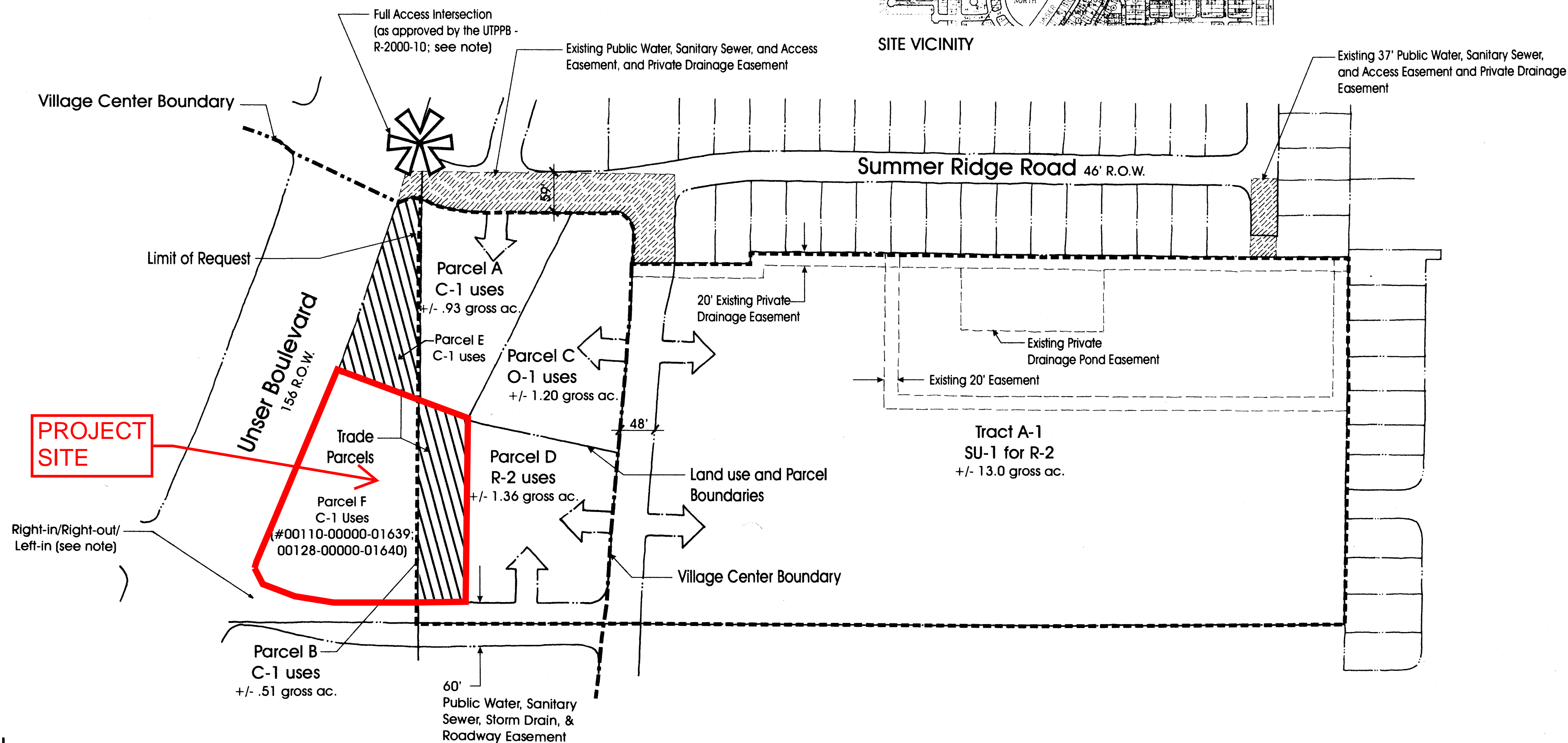
PROPERTY COVERED BY
THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
17.0 GROSS ACRES

30' ACCESS POINTS

NOTE: IN JULY OF 2022 EPC VOTED TO APPROVE A MAJOR AMENDMENT REQUEST TO ALLOW AUTOMOBILE RELATED USES AND APPROVED THE EPC SITE PLAN OF AN APPROXIMATE 1,400 SF OIL CHANGE FACILITY ON TRACT 4 AS DEPICTED BELOW "PROJECT SITE". THE APPROVAL IS BASED ON THE 2018 NOTICE OF DECISION THAT REQUIRES THE EPC TO REVIEW AND APPROVE FUTURE SITE PLANS FOR THE REQUESTED USE (PROJECT # 1000936)



SITE VICINITY



APPROVAL

Project #1000936 EPC 00128-00000-01514; DRB 01450-00000-01599
THIS SITE PLAN FOR SUBDIVISION IS CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| | |
|---------------------------------|----------|
| Planning Department | 12/20/01 |
| Transportation Department | 12-14-01 |
| City Engineer | 11/14/01 |
| Utility Development | 11-14-01 |
| Parks and Recreation Department | |

Note: In order to achieve the goals of this site plan, a plat shall be required that implements the proposed land trades between this property and the property to the west. The purpose of this trade is to provide each landowner with a developable parcel with reasonable access.

| Parcel | Land Use | Gross Acres |
|----------------------|----------|-------------|
| A | C-1 | .93 |
| B* | C-1 | .51 |
| C | O-1 | 1.20 |
| D | R-2 | 1.36 |
| TOTAL VILLAGE CENTER | | 4.00 |

*Parcel B is proposed to be traded with an equal size parcel in #00110-00000-01639; 00128-00000-01640.

Parcels A and E, and Parcels B and F will be replatted in order to be combined prior to development of these parcels.

In order to provide access to all tracts, the plat shall establish cross-lot blanket access and public utility easements for all tracts. There will be no direct access to Unser Boulevard (see note regarding UTPPB Resolution 2000-10).

SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed Use, and 13 acres outside the Village Center, zoned SU-1 for R-2.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on January 18, 2001 (00110-00000-01623) as follows:

- SU-1 for Mixed Use Development: 4.0 acres
 - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 1.4 acres);
 - O-1 Permissive and Conditional Uses; and
 - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 13.0 acres

Pedestrian and Vehicular Ingress and Egress:

Trails: There is a proposed trail along Unser Boulevard per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood east of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: A bicycle trail is planned along Unser Boulevard west of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: A major transit stop is proposed at the eastern edge of the Village Center per Westside/McMahon Land Use and Transportation Guide. This location will have excellent access to the Village Center and the R-2 neighborhood to the east.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

Note: The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point south of Parcel F, east of Unser Boulevard.

SITE PLAN FOR SUBDIVISION

Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
PO Box 372
Cedar Crest, NM 87008

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

October, 2001

Sheet 1 of 3



Scale: 1" = 100'



DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119, Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the Westside Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General

Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.

- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly



SHADED PEDESTRIAN AREAS

environment.

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
 - be compatible with one another
 - create a sense of arrival
 - provide strong visual impact
 - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation

Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactilely for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-T zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Guidelines:

- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

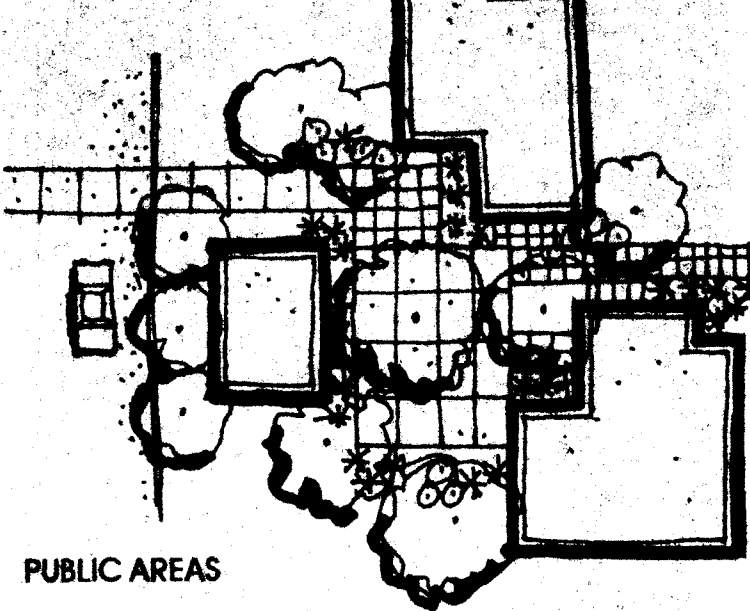
Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Defined by building edges, differentiation of paving, variety of scales of landscaping



PUBLIC AREAS

- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of Interior roads.

Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

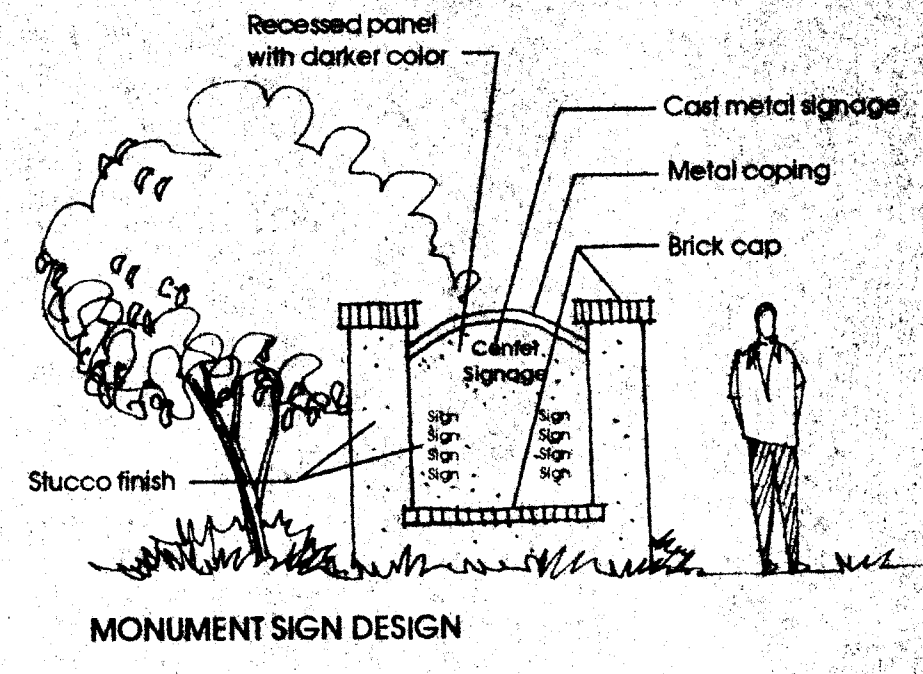
Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights

- overhang into the public right-of-way, property line, or extend above the building roof line

- Intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



MONUMENT SIGN DESIGN

- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

- have a significant contrast between the background and the text (If the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3

LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- The maximum height for lighting fixtures shall be:
- 16 feet high for walkways and entry plazas
 - 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

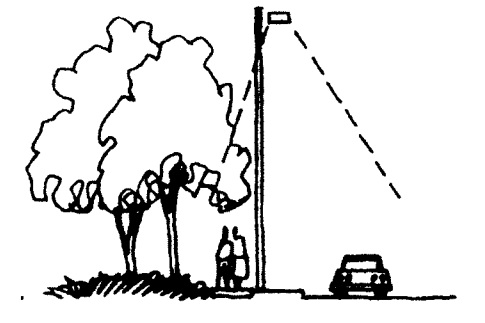
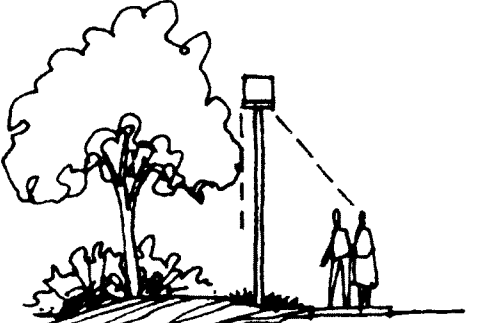
Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambience of the Village Center.



LIGHTING

Facades

Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Roofs & Parapets

Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

UTILITIES

Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

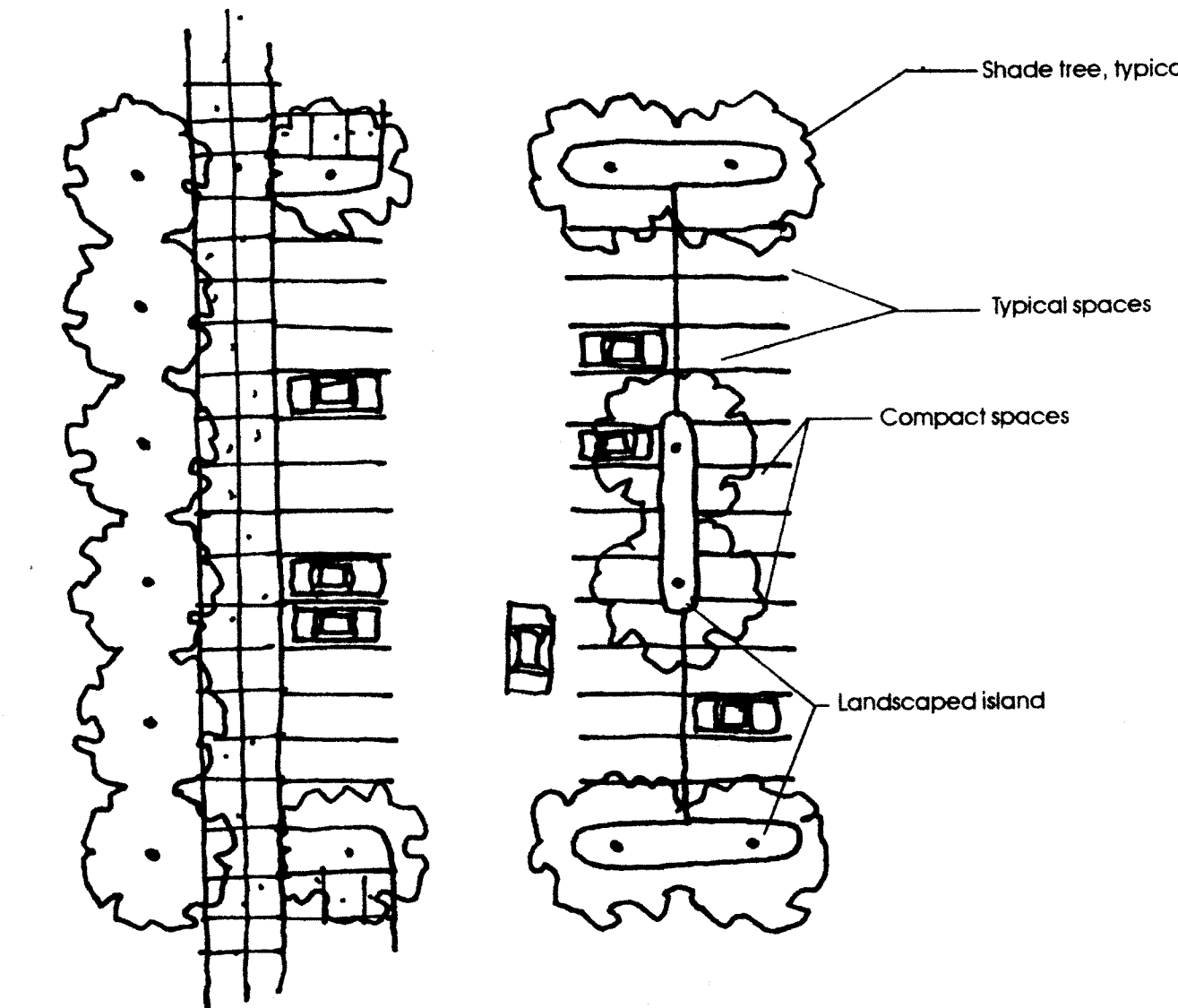
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- | | |
|-------------------------|---|
| • Trees | 2 inch caliper, or 10 to 12 feet in height |
| • Shrubs & Groundcovers | 1 gallon |
| • Turf Grasses | provide complete ground coverage within one growing season after installation |

The following street trees shall be used at the respective locations:

- | | |
|-----------------------------|-----------------------------------|
| • Unser & McMahon Boulevard | Ash sp., Honey Locust sp. |
| • Internal Streets | Golden Raintree, Chinese Pistache |

R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

Circulation

Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

Setbacks

Standards

- Buildings shall have a maximum setback of 70 feet.

Perimeter Walls, Screening & Fences

Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

Signage & Graphics

Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

Architectural Design

Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

Landscape

Guidelines

- Street tree types are not restricted to those required within the Village Center.

SITE PLAN FOR SUBDIVISION
Unser/McMahon
Village Center North

Prepared For:

Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, Ill. 60047

Prepared By:

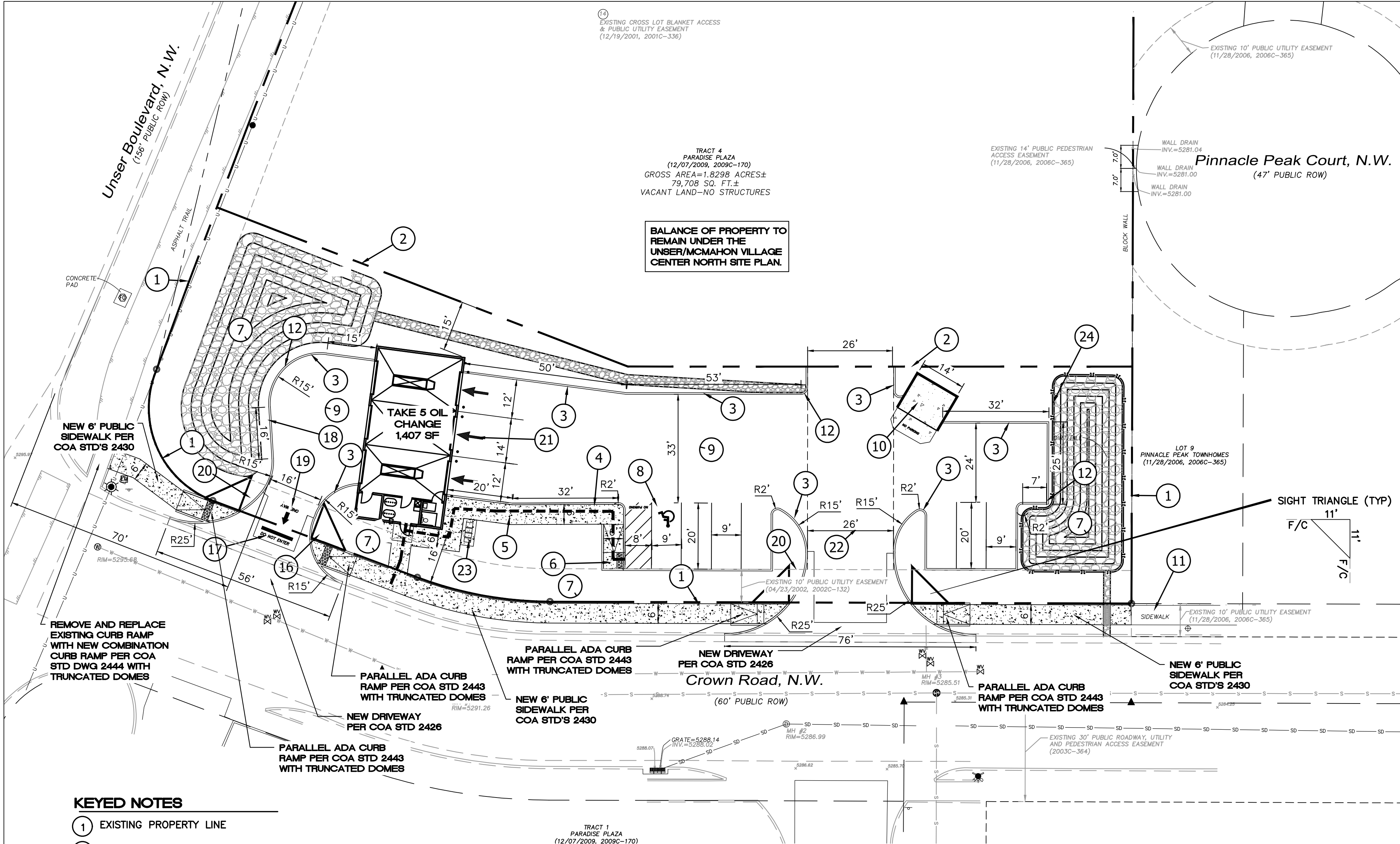
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

June 26, 2001

Sheet 3 of 3

SITE PLAN

\\TWNAS\Z_Drive\2022\202207\Unser Drive-Thru Oil Change\dwg\EPC\202207_SPE.dwg Jun 09, 2022 -- 7:15am



KEYED NOTES

- ① EXISTING PROPERTY LINE
- ② PROPOSED PROPERTY LINE
- ③ HEADER CURB (SEE DETAIL, SHEET C2.1)
- ④ TURN DOWN CURB (SEE DETAIL, SHEET C2.1)
- ⑤ SIDEWALK PER COA STD 2430 (SEE DETAIL, SHEET C2.1)
- ⑥ DETAIL B - PARALLEL CURB RAMP PER COA STD #2443 (SEE DETAIL, SHEET C2.1)
- ⑦ LANDSCAPE AREA
- ⑧ ADA PARKING ONLY WITH SIGN (SEE DETAIL, SHEET C2.1)
- ⑨ NEW ASPHALT PAVING (SEE DETAIL SHEET C2.1)
- ⑩ REFUSE ENCLOSURE (SEE DETAIL SHEET C2.2)
- ⑪ EXISTING SIDEWALK
- ⑫ CURB NOTCH (SEE DETAIL, SHEET C2.1)
- ⑬ ADA PUBLIC ACCESSIBLE PATHWAY - - - - -
- ⑭ ADA PARKING ACCESSIBLE PATHWAY - - - - -
- ⑮ NOT USED
- ⑯ "DO NOT ENTER" SIGN (SEE DETAIL SHEET C2.2)
- ⑰ "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C2.2)
- ⑱ "ONE WAY" R6-1R SIGNAGE (SEE DETAIL, SHEET C2.2)
- ⑲ "ONE WAY" STRIPING (SEE DETAIL, SHEET C2.2)
- ⑳ "STOP" SIGN (SEE DETAIL, SHEET C2.2)
- ㉑ TRAFFIC FLOW ARROW (SEE DETAILS SHEET C2.2)
- ㉒ PROPOSED 26" INGRESS/EGRESS EASEMENT TO BE GRANTED DURING PLATTING ACTION.
- ㉓ BIKE RACKS (SEE DETAIL SHEET C2.1)
- ㉔ 42" (MINIMUM) WROUGHT IRON FENCE WITH MAINTENANCE GATE TO BE INSTALLED AROUND PERIMETER OF POND.

NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
4. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS
6. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
7. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC.
8. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
9. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
10. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.

INDEX TO DRAWINGS

- | | |
|---------|-----------------------------------|
| C1. | SITE PLAN-EPC |
| C2.1 | CONSTRUCTION DETAILS |
| C2.2 | CONSTRUCTION DETAILS |
| LS-100 | LANDSCAPE PLAN |
| LS-101 | IRRIGATION PLAN |
| LS-102 | LANDSCAPE DETAILS |
| C4. | CONCEPT BASIN MAP |
| C5. | CONCEPT GRADING AND DRAINAGE PLAN |
| C6. | MASTER UTILITY PLAN |
| A2.101 | STRUCTURE ELEVATIONS |
| SIGNAGE | FRONT ELEVATION |
| SIGNAGE | REAR ELEVATION |
| SIGNAGE | SIDE A ELEVATION |
| SIGNAGE | SIDE B ELEVATION |
| SHEET 1 | GOVERNING SITE PLAN |
| SHEET 2 | GOVERNING SITE PLAN |
| SHEET 3 | GOVERNING SITE PLAN |

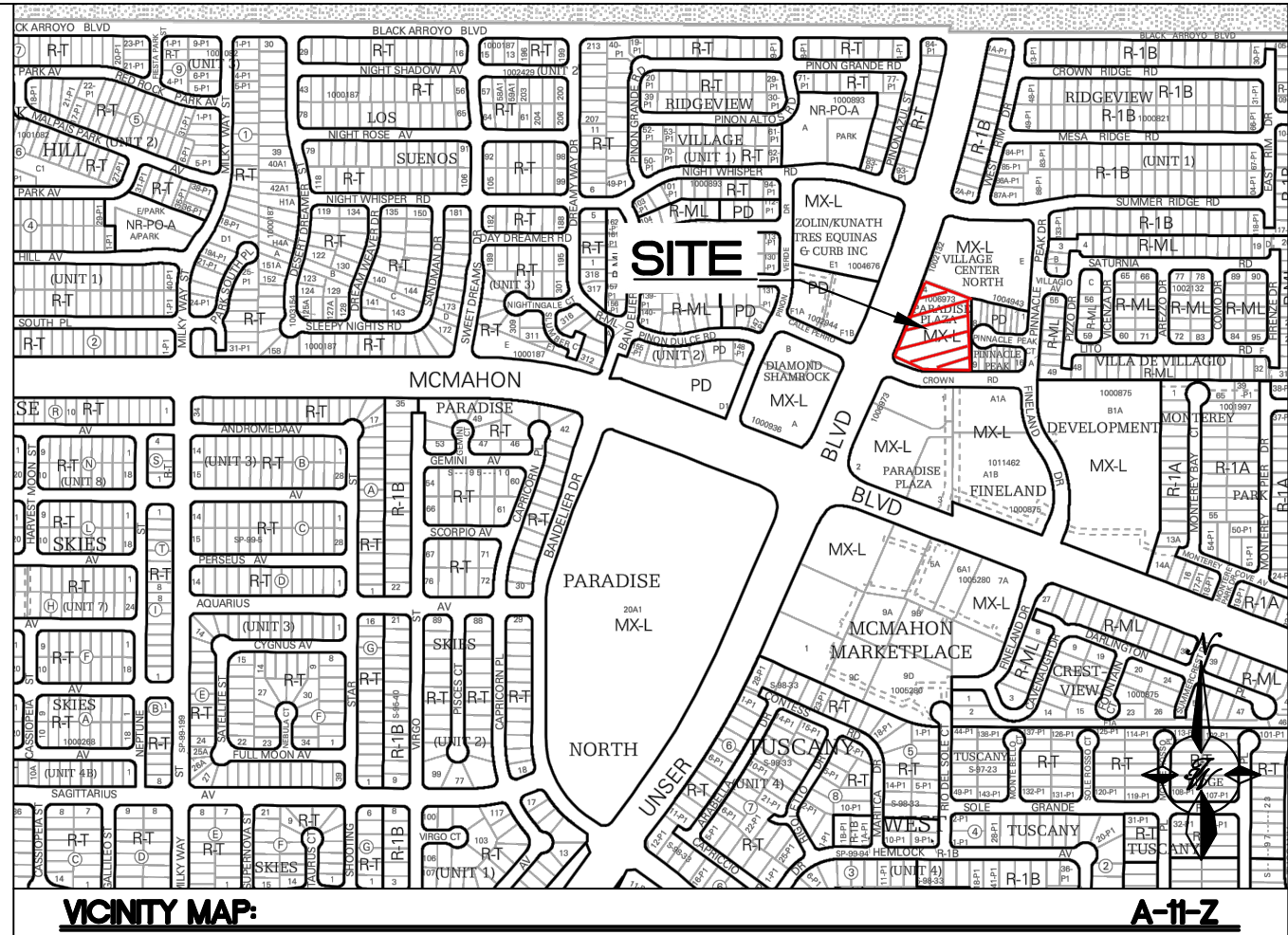
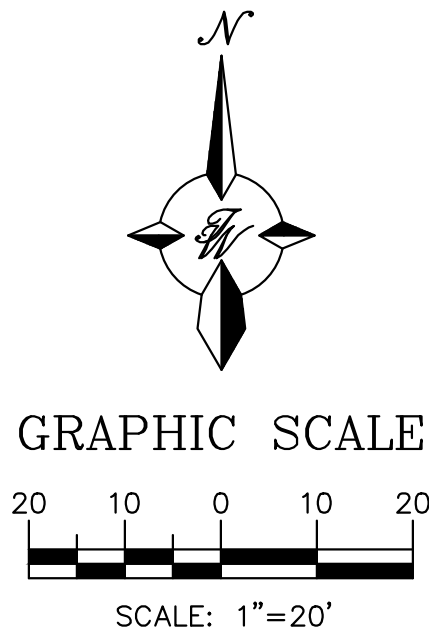
SITE DATA

TAKE 5 OIL CHANGE

IDO ZONING: MX-L
PROPOSED USAGE: LIGHT VEHICLE REPAIR
LOT AREA: 22,591 SF (0.52 ACRE)
BUILDING AREA: 1,407 SF
PARKING: SPACES REQUIRED: 2
(1 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED: 8
(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED: 1
HC PARKING: SPACES PROVIDED: 1
(1 VAN ACCESSIBLE)
BICYCLE PARKING REQUIRED: 3 SPACES (3 SPACES PER SITE)
BICYCLE PARKING PROVIDED: 3 SPACES
LANDSCAPE AREA REQUIRED: 3,175 SF
LANDSCAPE AREA PROVIDED: 12,688 SF

LEGEND

- | | |
|--|------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | SIDEWALK |
| | SCREEN WALL |
| | RETAINING WALL |
| | STREET LIGHTS |
| | GUARD RAIL |
| | STRIPING |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | EXISTING LANE |
| | EXISTING STRIPING |



VICINITY MAP:

A-11-Z

LEGAL DESCRIPTION:

TR 4 PLAT OF TRS 1, 2, 3 + 4 PARADISE PLAZA CONT 1.8131 AC

PROJECT NUMBER:

APPLICATION NUMBER:




This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

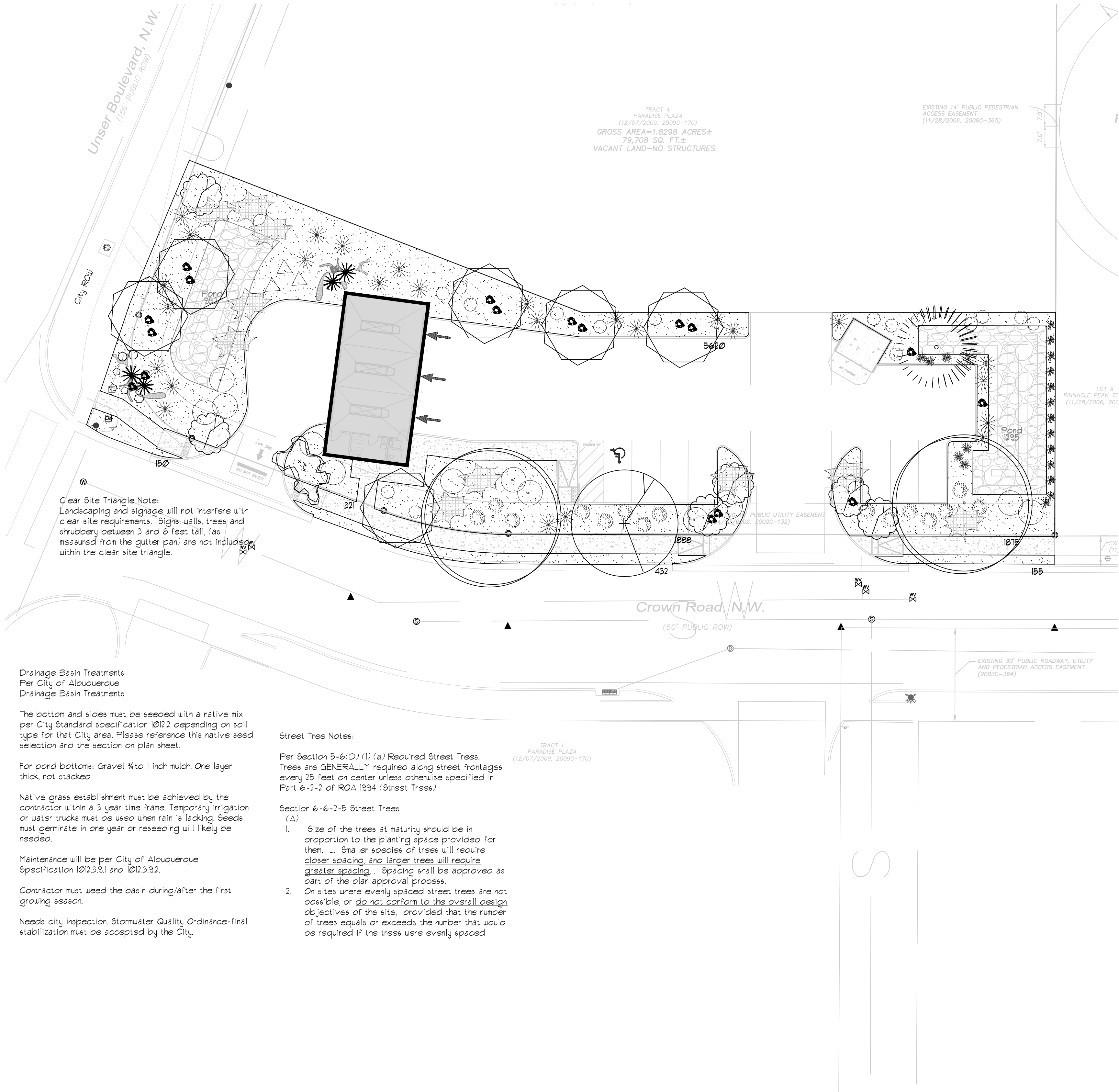
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|--|------|
| Traffic Engineer, Transportation Division | Date |
| ABCWUA | Date |
| Parks & Recreation Department | Date |
| City Engineer/Hydrology | Date |
| Code Enforcement | Date |
| *Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

| | | |
|---|---|---------------------------------------|
| <div>ENGINEER'S SEAL</div> | <div>TAKE 5 OIL CHANGE</div> <div>ALBUQUERQUE, N.M.</div> | <div>DRAWN BY</div> <div>RMG</div> |
| <div><div>RONALD R. BOHANNAN P.E. #7868</div></div> | | <div>DATE</div> <div>06/08/2022</div> |
| | <div>SITE PLAN - EPC</div> | <div>2022007_SPE</div> |
| | <div><div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE</div><div>ALBUQUERQUE, NM 87109</div><div>(505) 858-3100</div><div>www.tierrawestllc.com</div></div></div> | <div>SHEET #</div> <div>C1</div> |
| <div><div>06/09/2022</div><div>RONALD R. BOHANNAN P.E. #7868</div></div> | <div>JOB #</div> <div>2022007</div> | |



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

| | | | | | |
|---|--------|--|------|------|----|
| 1 | 2" cal | Chinese Pistache <i>Pistacia chinensis</i> | 1225 | 1225 | M+ |
| 2 | 2" cal | Honey Locust <i>Gleditsia triacanthos</i> | 2025 | 4050 | M |
| 1 | 6 - 8' | Austrian Pine <i>Pinus nigra</i> | 625 | 625 | M |
| 1 | 15 Gal | Crape Myrtle <i>Lagerstroemia indica</i> Tree Form, 18+ft. at Maturity Red | 400 | 400 | M |
| 4 | 4 - 6' | Palm Yucca <i>Yucca faxoniana</i> Note: Install 3 Boulders and 150sf cobble accent | 36 | 144 | L |
| 6 | 15 Gal | Oklahoma Redbud <i>Cercis reniformis</i> | 144 | 864 | L |
| 6 | 15 Gal | Desert Willow <i>Chilopsis linearis</i> | 625 | 3150 | M |

Shrubs & Groundcovers

| | | | | | | |
|----|-------|--|------|-----|------|----------|
| 15 | 5 Gal | India Hawthorne <i>Raphiolepis indica</i> | 3x6 | 36 | 540 | M |
| 13 | 5 Gal | Karl Foerster Grass <i>Calamagrostis acutiflora</i> 'Karl Foerster' | 25x3 | 9 | 117 | M |
| 3 | 5 Gal | Deep Blue Lavender <i>Lavender angustifolia</i> 'Hidcote' | 2x3 | 9 | 27 | M |
| 3 | 5 Gal | Butterfly Bush <i>Buddleia davidii</i> | 5x1 | 49 | 147 | M |
| 6 | 5 Gal | Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> 'Hamelin' | 3x3 | 9 | 54 | M |
| 10 | 5 Gal | Buffalo Juniper <i>Juniperus sabina</i> 'Buffalo' | 1x12 | 144 | 1440 | M |
| 3 | 5 Gal | Autumn Sage <i>Salvia greggii</i> | 2x3 | 9 | 27 | M |
| 16 | 5 Gal | Fern Bush <i>Chamaebatia</i> <i>millefolium</i> | 4x6 | 36 | 576 | L |
| 10 | 5 Gal | Knock Out Roses <i>Rosa</i> 'Knock Out' | 3x4 | 12 | 120 | L |
| 27 | 5 Gal | Red Yucca <i>Hesperaloe parviflora</i> | 3x6 | 36 | 972 | L |
| 12 | 5 Gal | Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low' | 3x8 | 64 | 768 | L |
| 17 | 2-3cf | Boulders Bury 1/3 | | | 4788 | Shrub Co |
| 41 | | Landscape Gravel / Filter Fabric Amoretto Brown or Equal 3/4" - 1 1/2" Fractured | | | | |
| 1 | | Pond Treatment, See Pond Notes | | | | |

LANDSCAPE NOTES:
Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.

All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractors expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractors expense.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractors expense.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Shrubs to receive (12) 1/2 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polypipe with flush caps at each end.

Trees and shrubs shall be on separate valves, no exceptions. Trees and shrubs zoned together shall be removed and replaced at the Contractors expense.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

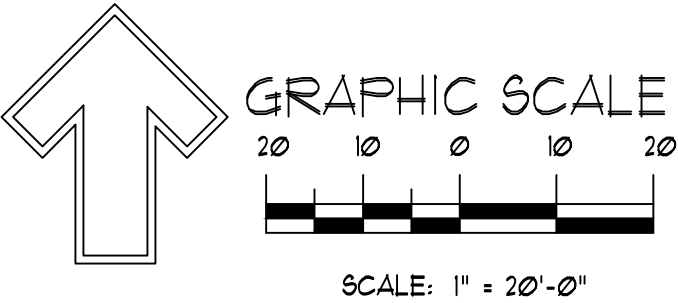
Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

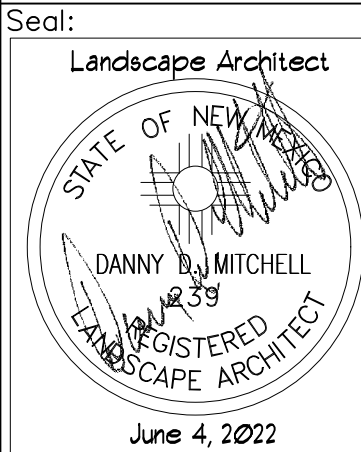
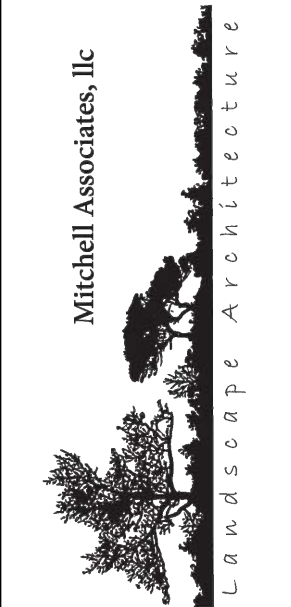
Water and Power source for irrigation system shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

| | |
|---|-------|
| TOTAL LOT AREA (sf) | 22511 |
| TOTAL BUILDING AREA (sf) | -1407 |
| TOTAL LOT AREA (sf) | 2164 |
| LANDSCAPE REQUIREMENT | X .15 |
| TOTAL LANDSCAPE REQUIRED (15%) | 3175 |
| TOTAL ON-SITE LANDSCAPE PROVIDED | 12688 |
| TOTAL LIVE PLANT COVER REQUIRED (75%) | 9516 |
| TOTAL LIVE PLANT COVER PROVIDED | 15846 |



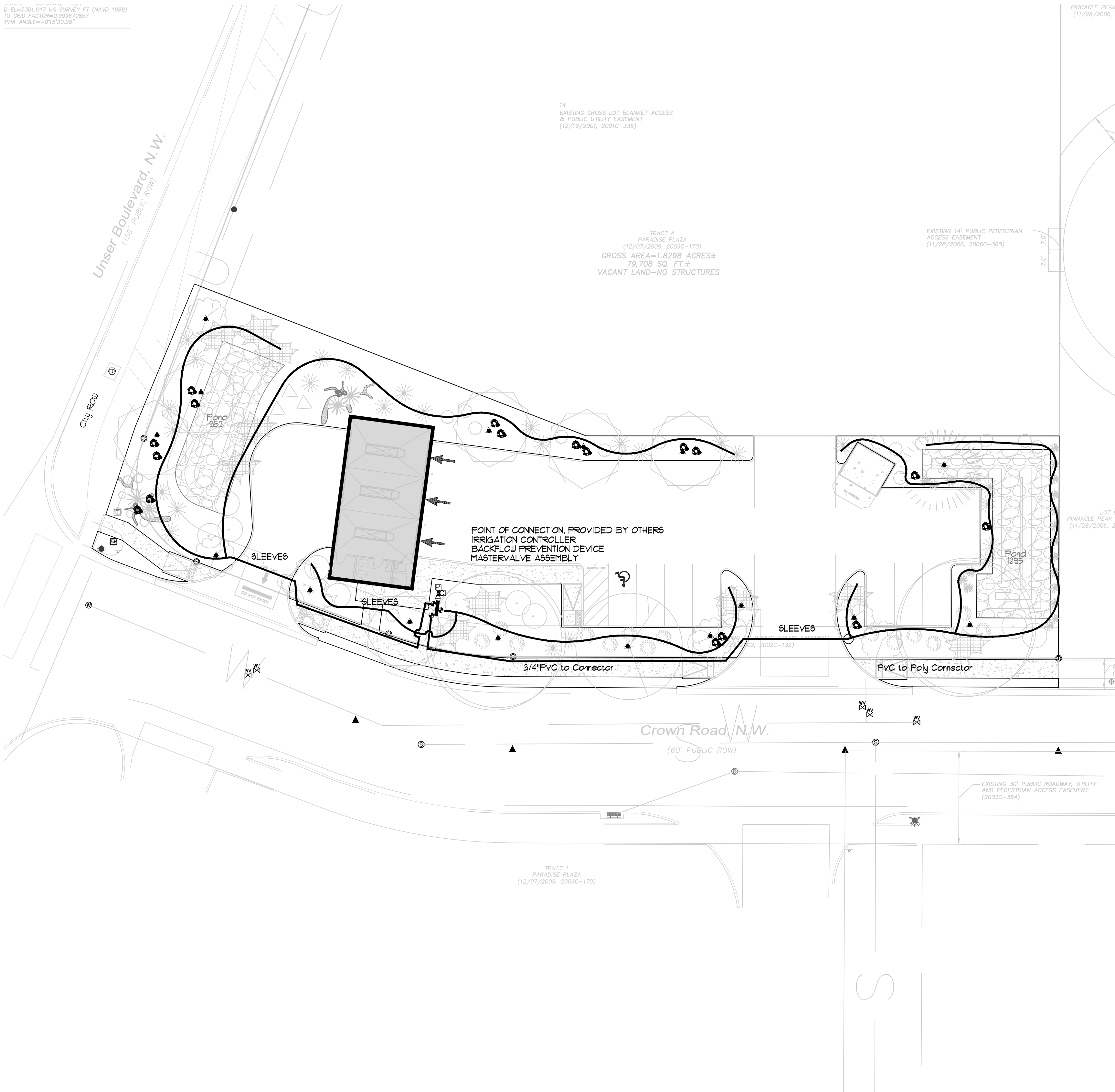
Unser Oil Change
Unser Blvd. and Crown Road NW
Albuquerque, NM 87130



DRAWING NO:
LS-100

| DESIGNED BY: D. Mitchell | REVISED BY: | REVISIONS |
|---------------------------------------|-------------|-----------|
| Drawn By: dm | Date: | Comment |
| Approved By: | Date: | |
| Date: | | |
| NEW MEXICO ONE CALL | | |
| STATEWIDE - 811 OR | | |
| 1-800-321-ALERT (2537) | | |
| www.nmonecall.org | | |
| Call two working days before you dig. | | |
| File ID: | | |

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PNA ANGLE=-075.30.20"



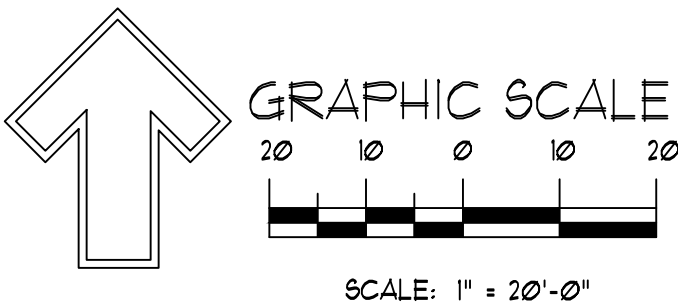
IRRIGATION LEGEND

| COMPONENT | MANUFACTURER | SIZE / NOTES |
|---|------------------|---|
| POINT OF CONNECTION, PROVIDED BY OTHERS | SEE CIVIL PLANS | |
| IRIGATION CONTROLLER | HUNTER | Smart Controller |
| BACKFLOW PREVENTION DEVICE | FEBCO (OR EQUAL) | 1" / Freeze Protection Required |
| MASTERYALVE ASSEMBLY | HUNTER | 1" / 18" DEPTH |
| MAINLINE | Sch 40 PVC | 1" / 18" DEPTH |
| ELECTRIC ZONE VALVE | HUNTER | 3/4" W/ Y Filter & Pressure Regulator |
| SLEEVES | Class 200 PVC | 2 SIZES LARGER THAN PIPE TO BE SLEEVED. |
| PVC to Drip Zones | Polyline | |
| Drip Line, Shrub Drip Emittor Line | RAINBIRD, | SEE DETAIL |
| NETAFIM SPIRAL TREE IRRIGATION | | |

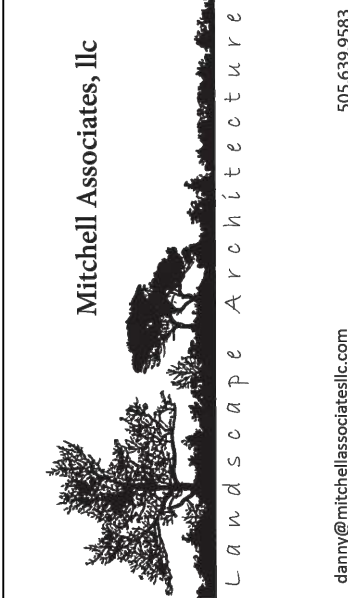
Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL LINES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

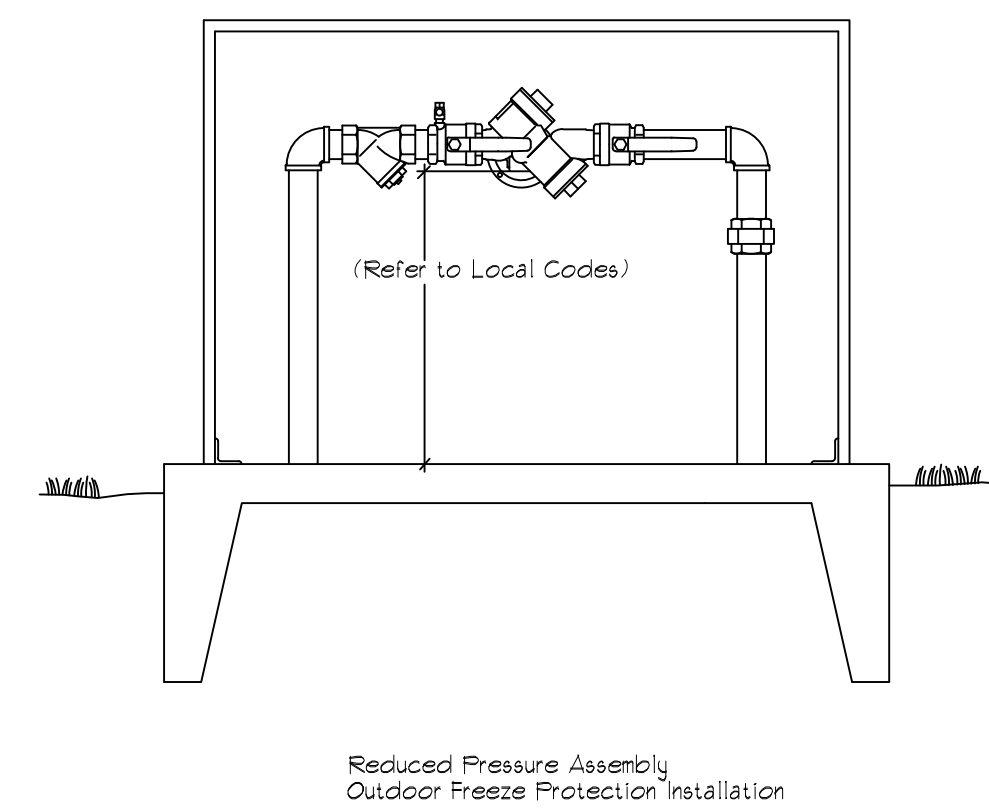


Unser Oil Change Unser Blvd. and Crown Road NW Albuquerque, NM 87130



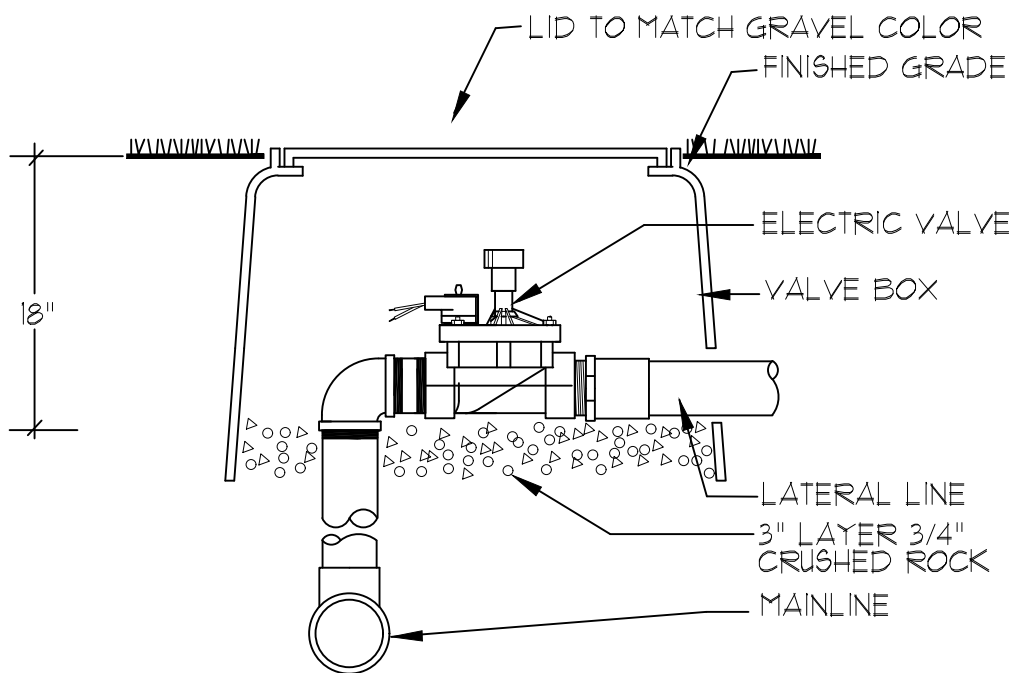
DRAWING NO:
LS-101

| DESIGNED BY | D.Mitchell | REVISIONS |
|---------------------------------------|------------|-----------|
| DRAWN BY | dm | Comment |
| APPROVED BY | | Date: |
| DATE: | | |
| NEW MEXICO ONE CALL | | |
| STATEWIDE - 811 OR | | |
| 1-800-321-ALERT (2537) | | |
| www.nmonecall.org | | |
| Call two working days before you dig. | | |
| File ID: | | |



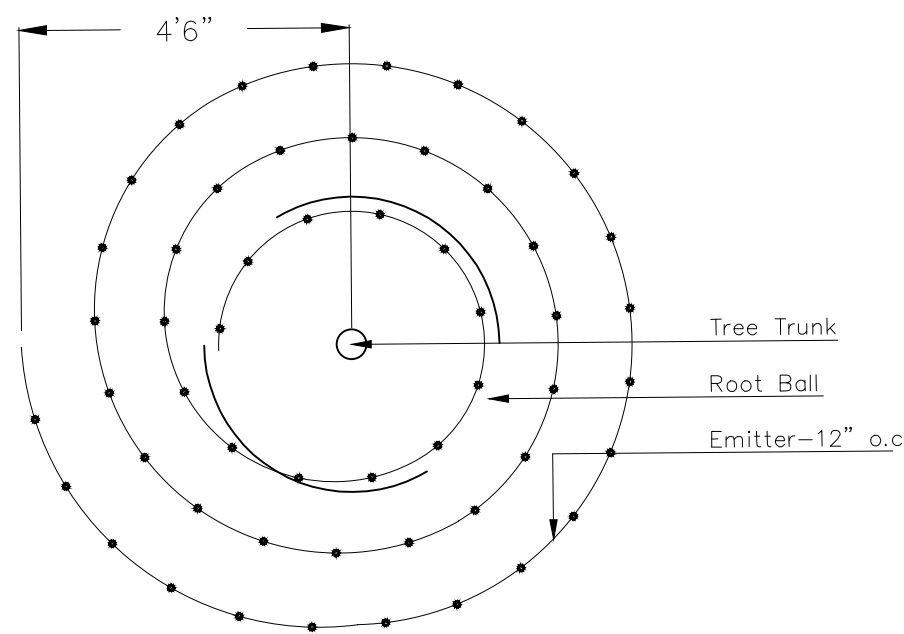
RPA, HOTBOX TYP.

N.T.S.



ELECTRIC VALVE ASSEMBLY

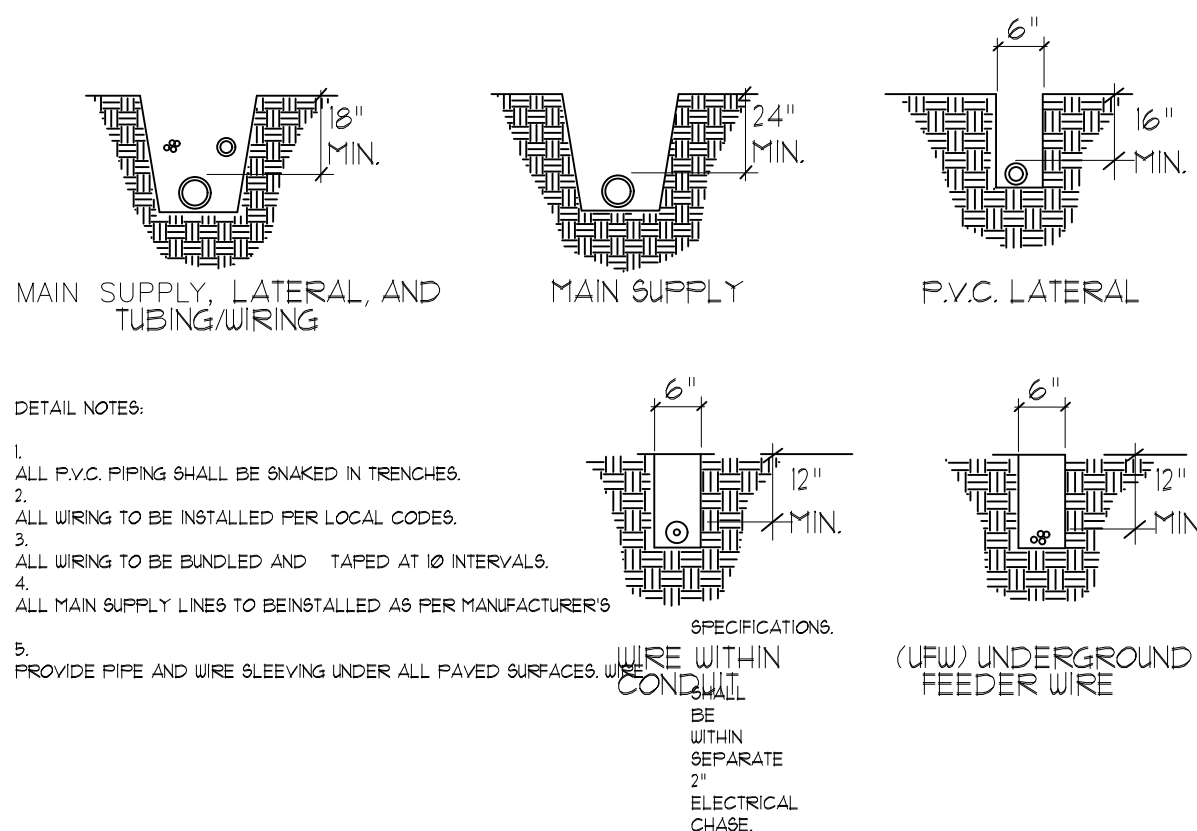
N.T.S.



Netafim Spiral Detail

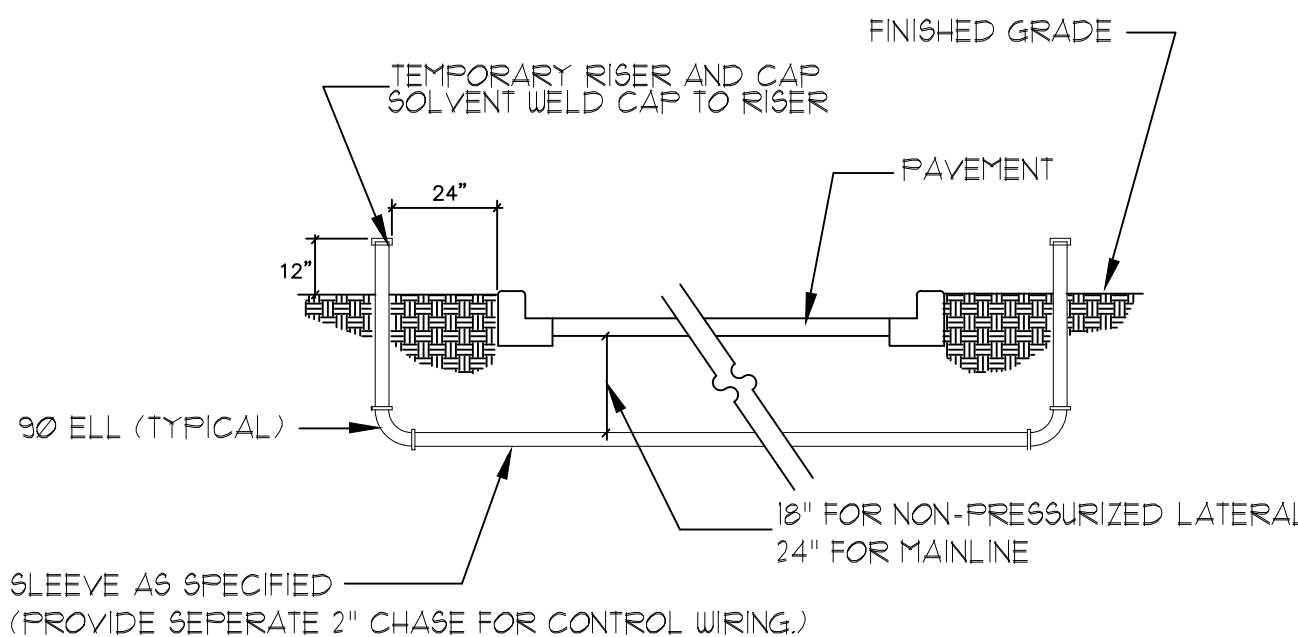
NETAFIM DETAIL

N.T.S.



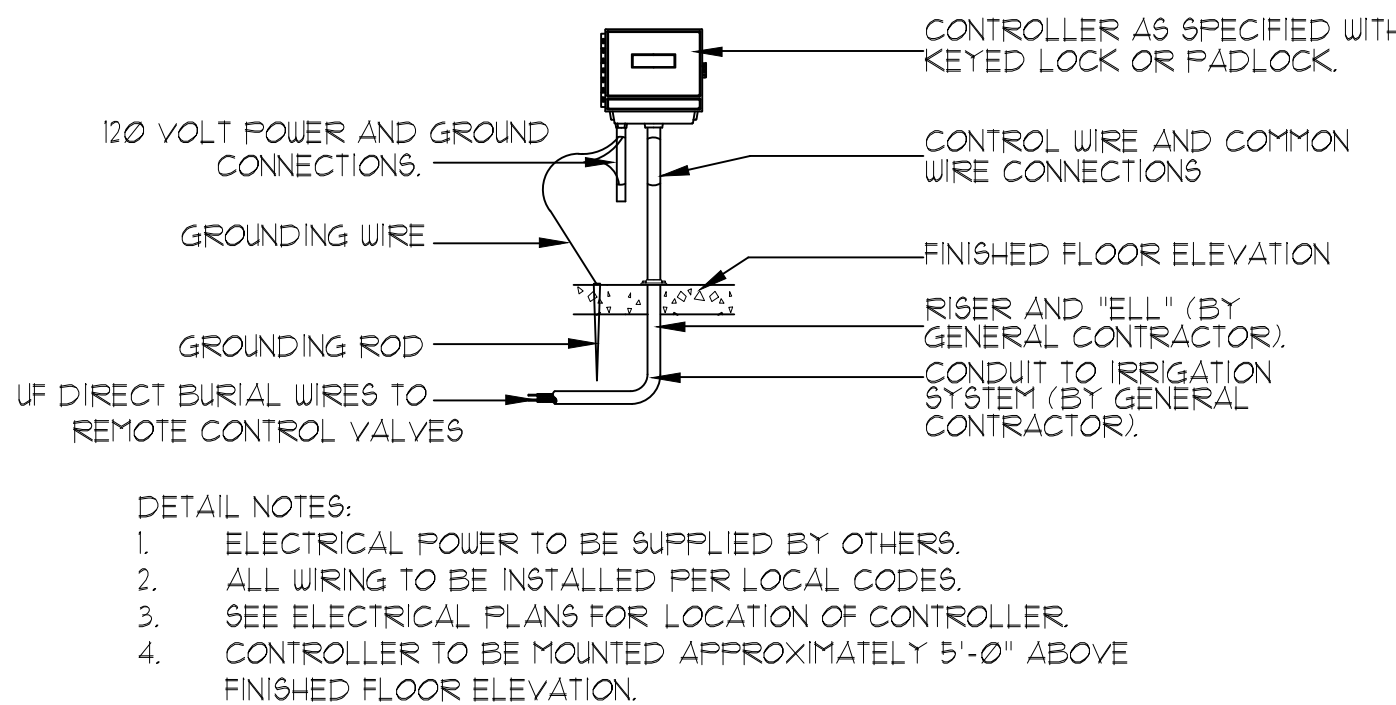
TRENCHING DETAIL

N.T.S.



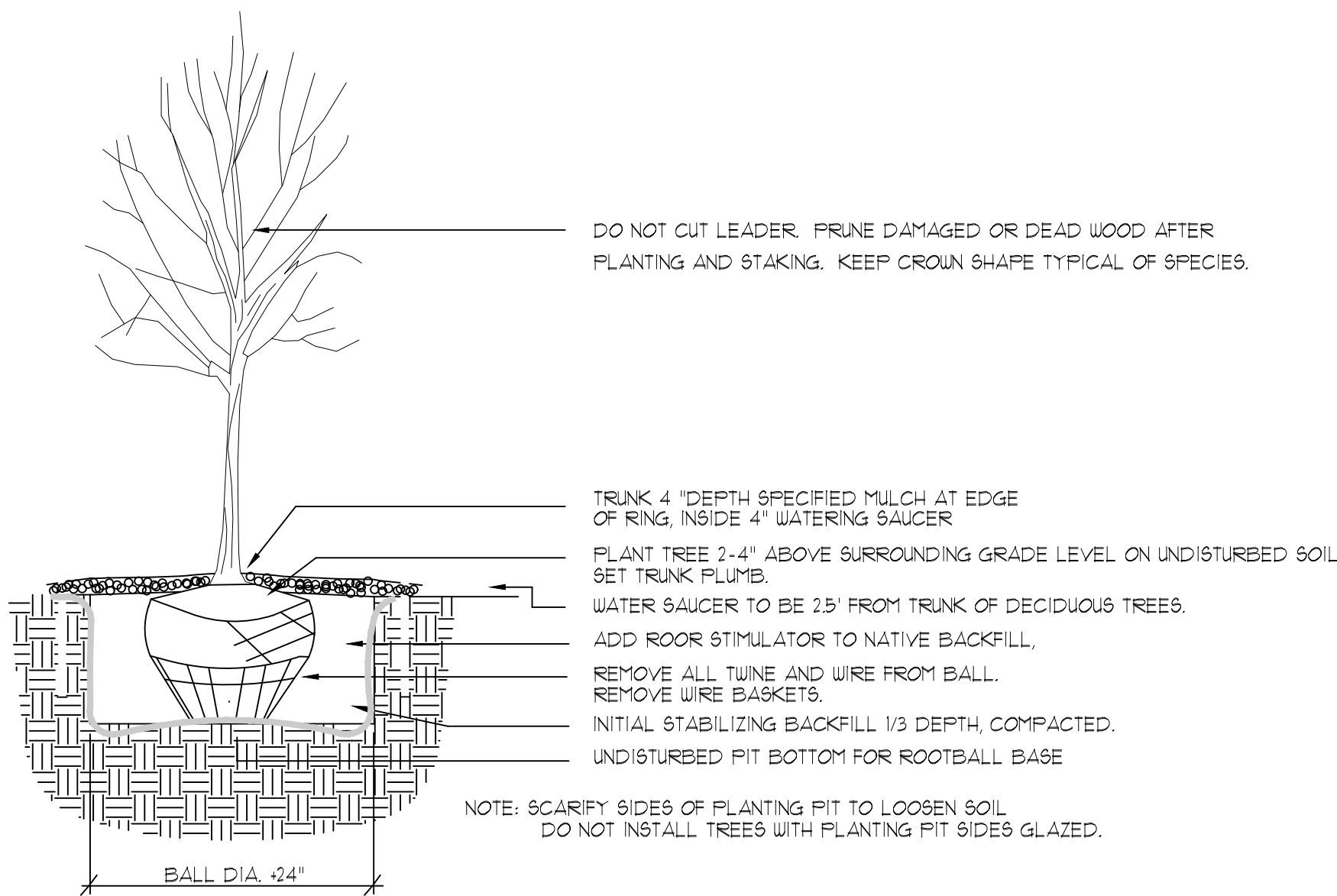
SLEEVE INSTALLATION DETAIL

N.T.S.



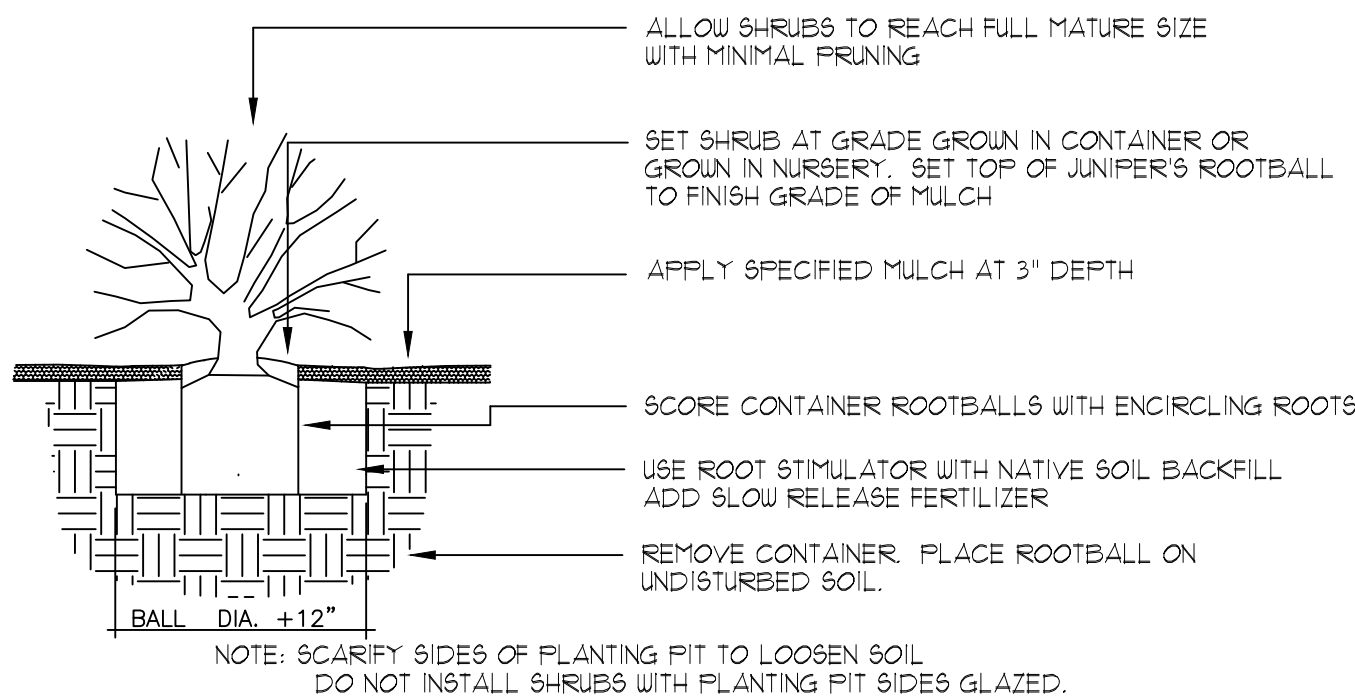
CONTROLLER DETAIL

N.T.S.



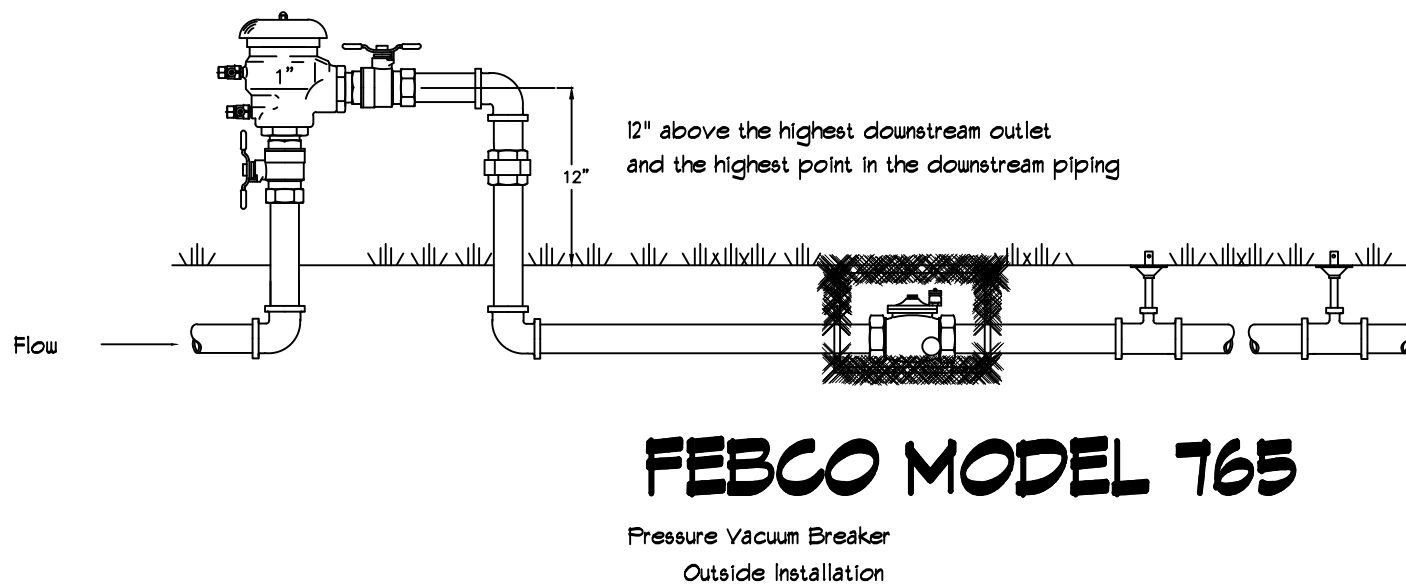
TREE PLANTING DETAIL

N.T.S.



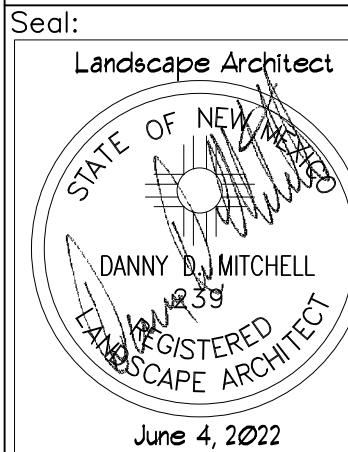
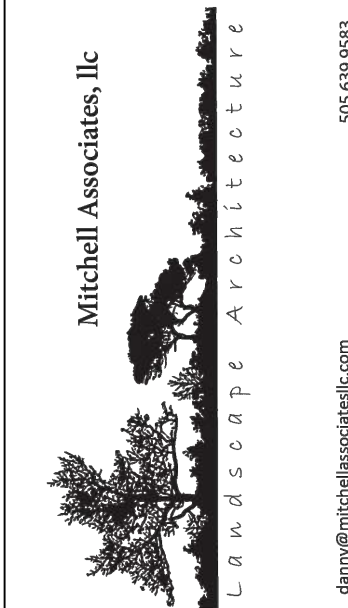
SHRUB PLANTING DETAIL

N.T.S.



FEBCO MODEL 765

Pressure Vacuum Breaker
Outside Installation



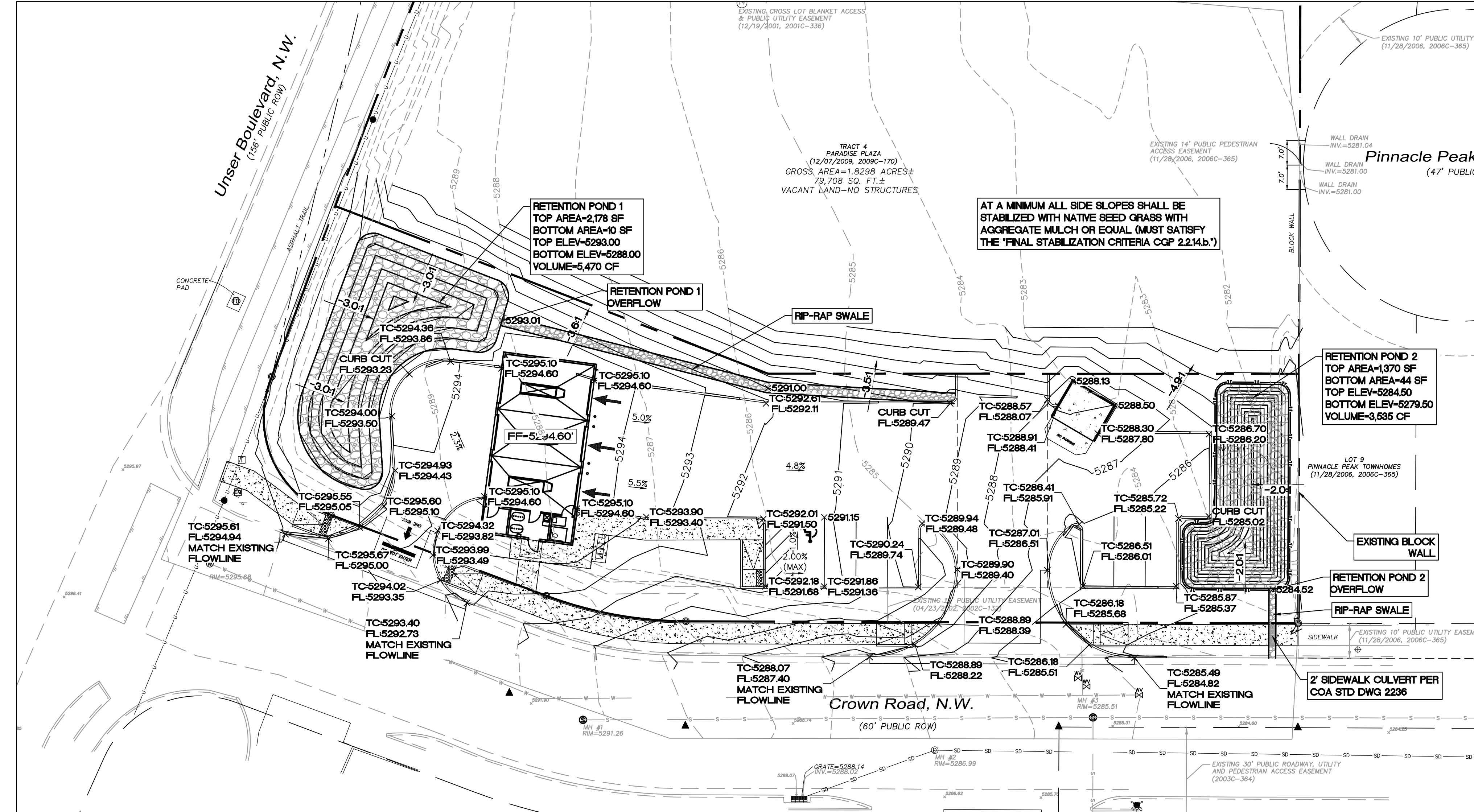
DRAWING NO:
L9-101

Unser Oil Change
Unser Blvd. and Crown Road NW
Albuquerque, NM 87130

Landscape Details

| DESIGNED BY: D. Mitchell | | REVISIONS | |
|---|----|-----------|---------|
| Drawn By: | dm | Date: | Comment |
| Approved By: | | | |
| Date: | | | |
| NEW MEXICO ONE CALL TOLL FREE 1-800-331-ALERT (2537) www.nmonecall.org Call two working days before you dig. | | | |
| File ID: | | | |

\\TWNAS\Z_Drive\2022\2022007 Unser Drive-Thru Oil Change\dwg\EPIC\2022007_0RE.dwg Jun 09, 2022 -- 7:18am



LEGEND

| | |
|--|----------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | PROPOSED SIDEWALK |
| | RETAINING WALL |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CONCRETE SIDEWALK |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |

SPOT ELEVATION LEGEND

TC= TOP OF CURB
FL= FLOW LINE
FF= FINISHED FLOOR

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER "SO-19")

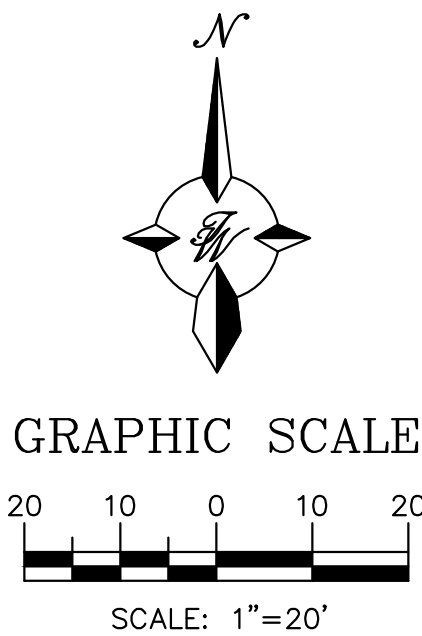
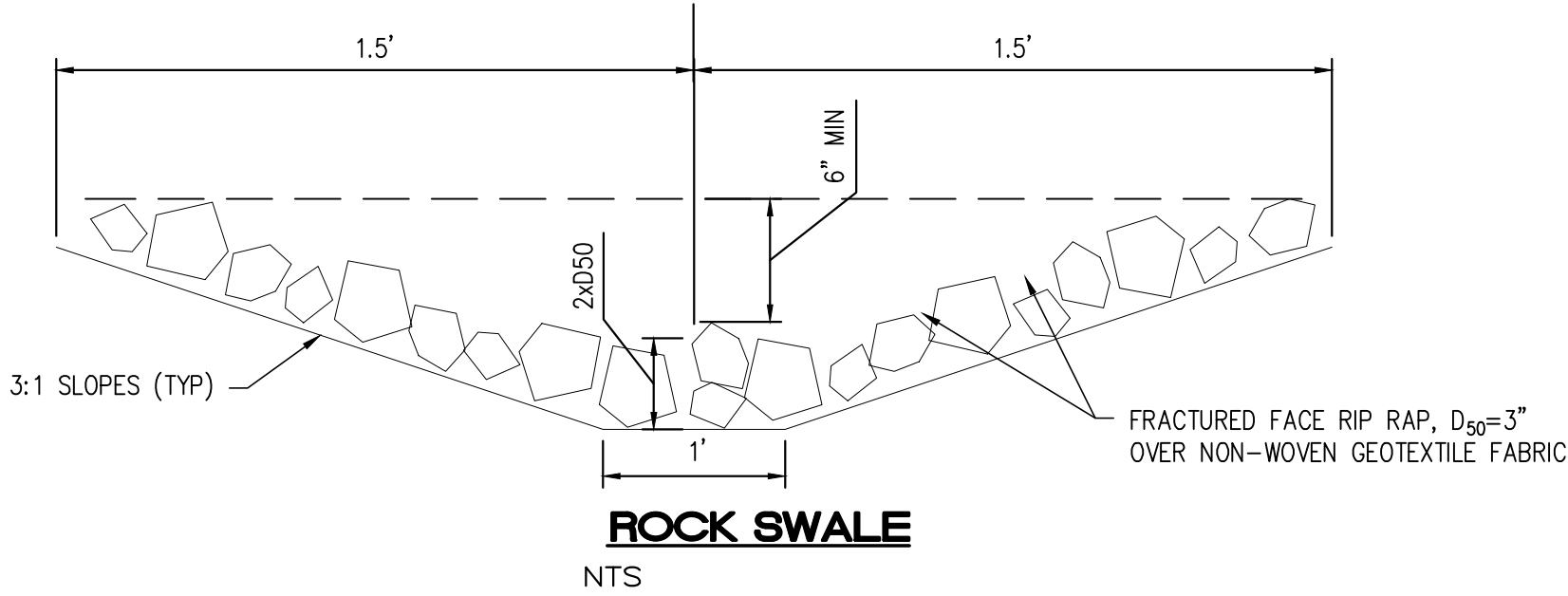
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

MAINTENANCE SCHEDULE

Responsible Party: Property Operator(s).

Access to storm water quality elements: All access to the storm water quality elements shall be accessible from the paved areas within the site. There is no restricted access to the location of both the surface and sub-surface elements.

| REGULAR MAINTENANCE | FREQUENCY |
|---|-------------|
| LITTER MANAGEMENT | |
| Pick up all litter at site and in Landscape areas and remove from site | Daily |
| INLETS AND OUTLETS | |
| Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures. | Monthly |
| HARD SURFACES | |
| Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required. | As required |
| OCCASIONAL TASKS | FREQUENCY |
| INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS | |
| Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt. | Yearly |
| POND VEGETATION | |
| Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site. | As required |
| SILT MANAGEMENT | |
| Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and over-seed. Protect surface from siltation and manage main area of basin for design function or appearance. | Yearly |
| REMEDIAL WORK | FREQUENCY |
| Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required. | Yearly |



| | | |
|----------------------------------|--|----------------------|
| | ENGINEER'S SEAL | DRAWN BY RMG |
| | TAKE 5 OIL CHANGE ALBUQUERQUE, N.M. | DATE 06/08/2022 |
| | CONCEPTUAL GRADING & DRAINAGE PLAN | 2022007_0RE |
| | TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # C5 |
| RONALD R. BOHANNAN P.E. #7868 | | JOB # 2022007 |

\\TINAS_V_Drive\2022\2022007 User Drive-Thru Oil Change.dwg (PC\2022007_MUE.dwg Jun 09, 2022 - 7:18am

A.G.R.S. MONUMENT "90_A11"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,533,206.142 US SURVEY FEET
E=1,506,571.019 US SURVEY FEET
PUBLISHED EL=5301.647 US SURVEY FT (NAVD 1985)
GROUND TO GRID FACTOR=0.999670857
DELTA ALPHA ANGLE=-0°15'30.20"

EXISTING 10' PUBLIC UTILITY EASEMENT
(04/23/2002, 2002C-132)

EXISTING CROSS LOT BLANKET ACCESS
& PUBLIC UTILITY EASEMENT
(12/19/2001, 2001C-339)

TRACT 4
PARADISE PLAZA
(12/07/2009, 2009C-170)
GROSS AREA=1.8298 ACRES±
79,708 SQ. FT.±
VACANT LAND-NO STRUCTURES

LOT 8
PINNACLE PEAK TOWN
(11/28/2006, 2006C-)

EXISTING 14' PUBLIC PEDESTRIAN
ACCESS EASEMENT
(11/28/2006, 2006C-365)

WALL DRAIN
INV.=5281.04
WALL DRAIN
INV.=5281.00
WALL DRAIN
INV.=5281.00

LOT 9
PINNACLE PEAK TOWN
(11/28/2006, 2006C-)

EXISTING
11/28

TRACT 1
PARADISE PLAZA
(12/07/2009, 2009C-170)

LEGEND

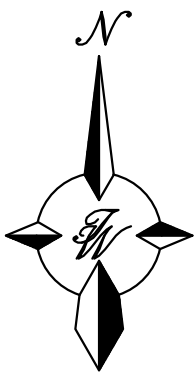
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING SCREEN WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EX. 8" SAS
- EX. WL
- EX. RCP
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE

GENERAL UTILITY NOTES:

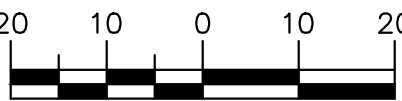
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.

KEYED NOTES

- EXISTING FIRE HYDRANT TO REMAIN
- 1" WATER METER, SERVICE LINE AND BOX PER ABCWUA STANDARD DETAILS
- NEW 1" WATER SERVICE LINE FROM SOUTH OF SITE
- NEW SANITARY SERVICE MANHOLE TAP INV= 5280.70 (CONTRACTOR TO VERIFY INV AND LOCATION)
- NEW 4" SANITARY SEWER SERVICE LINE @ 2%
- CLEAN OUTS PER UPC
- BACKFLOW PREVENTOR FOR DOMESTIC WATER SERVICE INSTALLED WITH HOT BOX




GRAPHIC SCALE

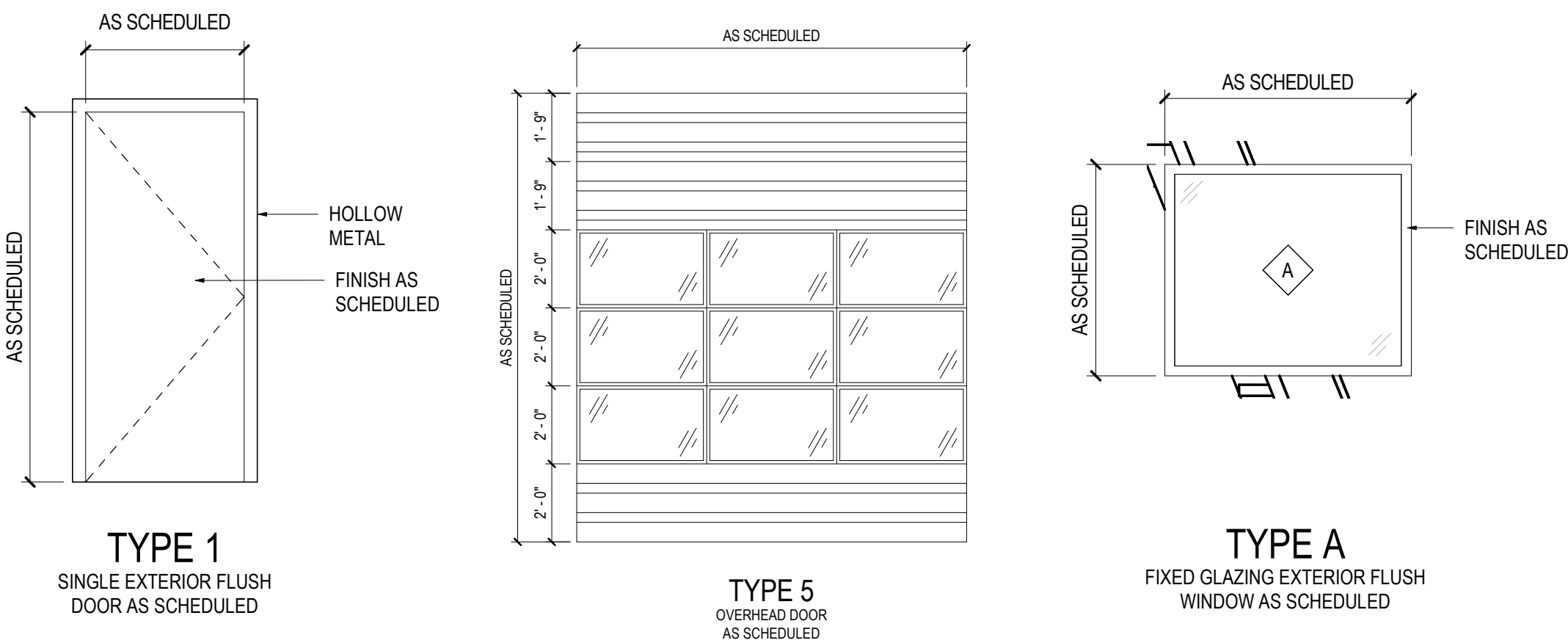


SCALE: 1"=20'

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

| | | | |
|--|---|--|----------------------|
| <div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN P.E. #7868</div></div> | TAKE 5 OIL CHANGE ALBUQUERQUE, N.M. | | DRAWN BY RMG |
| | MASTER UTILITY PLAN | | DATE 06/08/2022 |
| | | | 2022007_MUE |
| | <div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div> | | SHEET # C6 |
| | | | JOB # 2022007 |



| Window Schedule | | | | |
|-----------------|--|---------|---------|--|
| Type Mark | Description | Width | Height | Type Comments |
| A | FIXED GLASS - DOUBLE PANE, LOW-E GLASS, TINTED | 4' - 8" | 4' - 0" | ANODIZE / DARK BRONZE EXTERIOR - PAINT GRAY INTERIOR |

| EXTERIOR FINISH SCHEDULE | | | |
|--------------------------|--|-------|-------------------------------------|
| NO. | AREA | COATS | COLOR |
| 1 | EIFS MAIN COLOR | - | MATCH SW COLOR #7693, STONEBRIAR |
| 2 | EIFS ACCENT BAND | - | MATCH SW COLOR #7678, COTTAGE CREAM |
| 3 | EIFS WAINSCOT | - | MATCH SW COLOR #6097, STURDY BROWN |
| 4 | COPING / CORNICE | - | MATCH SW COLOR #6871, POSITIVE RED |
| 5 | EIFS SECONDARY COLOR | - | MATCH SW COLOR #6871, POSITIVE RED |
| 6 | TOWER - ROOF AND GUTTER PRE-FINISHED STANDING SEAM | - | MATCH SW COLOR #6871, POSITIVE RED |
| 7 | TOWER - FASCIA PRE-PRIMED LP SMARTSIDE TRIM | 2 | MATCH SW COLOR #6871, POSITIVE RED |
| 8 | TOWER - SOFFIT PRE-PRIMED LP SMARTSIDE VENTED SOFFIT | 2 | MATCH SW COLOR #7678, COTTAGE CREAM |

SHEET NOTES

- 01 LIGHT FIXTURE (TYPICAL) - REFER TO ELECTRICAL DWGS.
- 02 "V" JOINT IN EIFS - REFER TO DETAIL 10 / A4.201 FOR MORE INFORMATION
- 03 OIL CHANGE SIGN (37 S.F.) SHOWN FOR REFERENCE ONLY
- 04 PREFINISHED GALV. METAL COPING TO MATCH FINISH 4
- 05 A.C. UNIT LOUVER - COLOR DARK BRONZE
- 06 PREFINISHED METAL OVERFLOW SCUPPER (COLOR - DARK BRONZE)
- 07 PREFINISHED METAL DOWNSPOUT & LEADERHEAD (COLOR - DARK BRONZE)
- 08 1X2 SPLASHBLOCK OR CONNECT TO STORM DRAIN (COORDINATE WITH CIVIL)
- 09 6" ROUND PIPE BOLLARD TYPICAL - COLOR TO MATCH FINISH 5
- 10 EF-2 W/ THERMOSTAT & GRAVITY LOUVER
- 11 BATH FAN WALL CAP
- 12 12X12 INTAKE LOUVER - COLOR TO MATCH FINISH 1
- 13 ELECTRICAL METER / PANEL - PAINT DARK BRONZE
- 14 PAINT DOOR & FRAME TO BE SW #6076 - TURKISH COFFEE
- 15 PROVIDE SNOW GUARDS TO ROOF AS REQUIRED BY CODE.

Take 5 Oil Change

Unser Blvd
Albuquerque, NM 87109



Gensler

2575 E Camelback Rd
Suite 175
Phoenix, AZ 85016
United States

Tel 602.523.4900
Fax 602.523.4949



Structural Engineer
1307 W. Morehead Street
Suite 205
Charlotte, NC 28208
Telephone 980.999.6122



MEP Engineer
709 Catawba Street
Belmont, NC 28012
Telephone 704.399.3943

GENERAL NOTES

△ Date Description

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.016

Description

BUILDING ELEVATIONS

Scale

1/4" = 1'-0"



A2.101

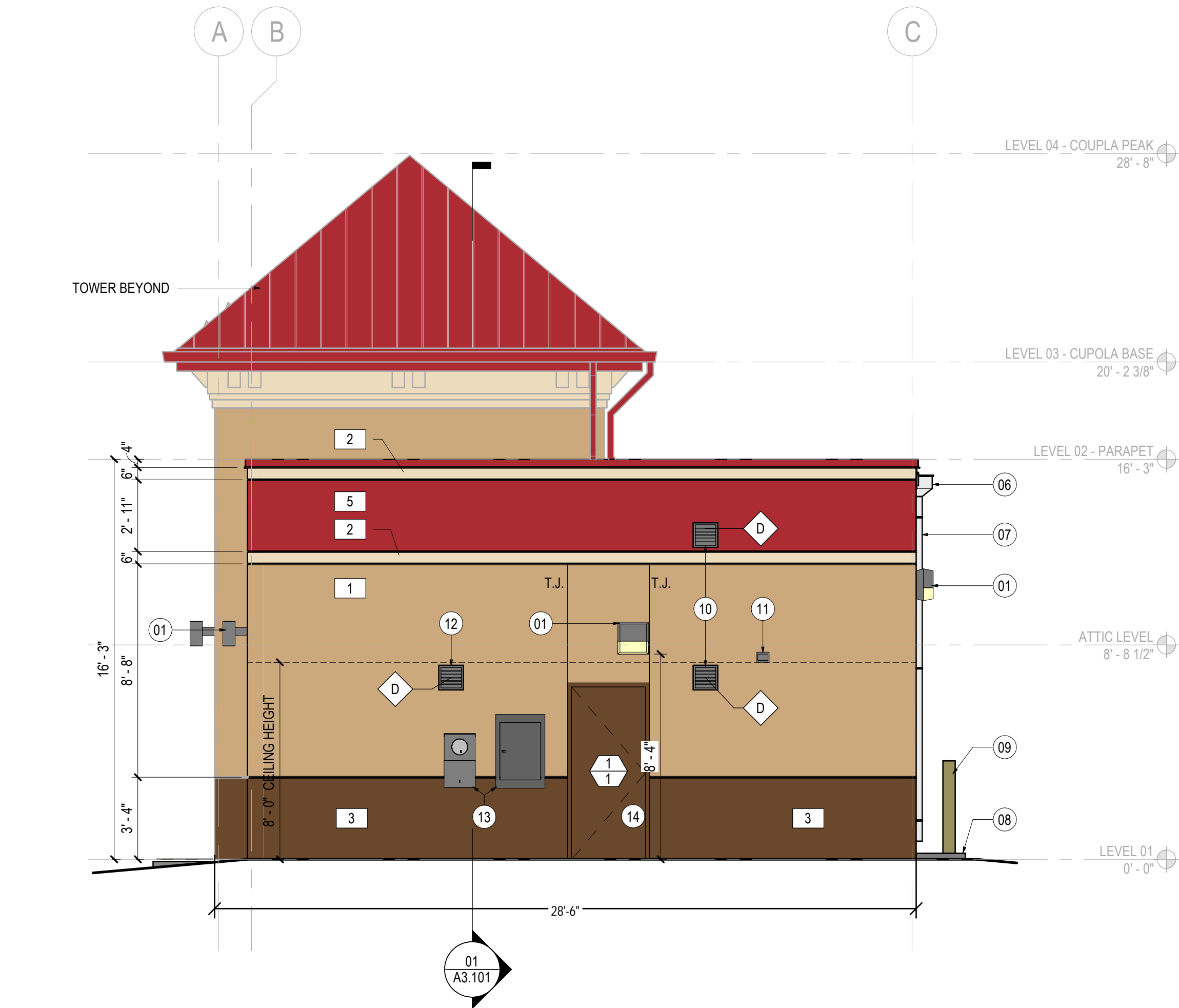
© 2022 Gensler

03 NORTH - ELEVATION

SCALE: 1/4" = 1'-0"

01 EAST - ELEVATION

SCALE: 1/4" = 1'-0"



04 SOUTH - ELEVATION

SCALE: 1/4" = 1'-0"



02 WEST - ELEVATION

SCALE: 1/4" = 1'-0"



TIERRA WEST, LLC

June 8, 2021

Mr. Tim MacEachen, Chair
Environmental Planning Commission
600 Second NW
Albuquerque, NM 87102

**RE: SENSITIVE LANDS ANALYSIS
UNSER/MCMAHON VILLAGE CENTER NORTH
LEGAL/ADDRESS: TR 4 PLAT OF TRS 1, 2, 3 & 4 PARADISE PLAZA CONT
1.8131 AC. UNSER BLVD NW ALBUQUERQUE 87114
ZONE ATLAS PAGE: A-11-Z**

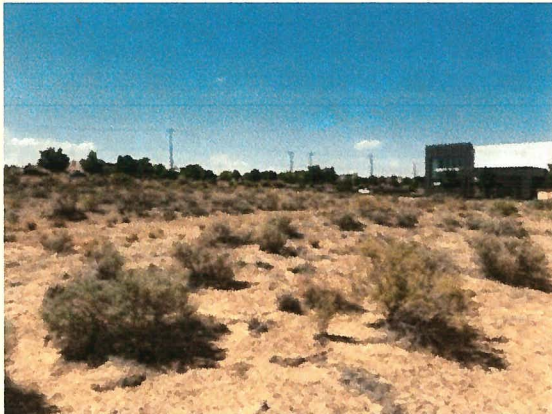
Dear Chair, MacEachen:

This report outlines the constraints identified within the proposed subdivision being comprised of Tract 4 within the Unser and McMahon area (the "subject site"). The subject site is a roughly 1.8-acre mixed commercial development site, located on the northeast corner of Unser Blvd and Crown Road, Albuquerque NM 87114. The subject site is zoned Mixed-Use Low Intensity (MX-L), and lies west of the Rio Grande River. The site is currently vacant with desert shrubs and grassed with minor to no previous grading.

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land and EPC applications, documenting the following below:

| Item: | Presence: | Commentary: |
|-------------------------------------|-------------------------------|---|
| Floodplains and Flood Hazard | Area of minimal flood hazard. | The site is an area with minimal flood risk. |
| Steep Slopes | None | The overall site is not in an area with steep slopes |
| Unstable Soils | None | Based on USDS Web Soil Survey Data, the site soils are mainly sandy. |
| Wetlands (Constant supply of water) | None | No areas of standing water present on site. |
| Arroyo | None | No Arroyos were identified. |
| Irrigation Facilities | None | No irrigation facilities were identified. |
| Escarpment | None | No areas of escarpment were identified. |
| Large stands of mature trees | None | No trees present. |
| Archeological sites | None | No archaeological issues have been uncovered. The site is less than 5 acres. |

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com



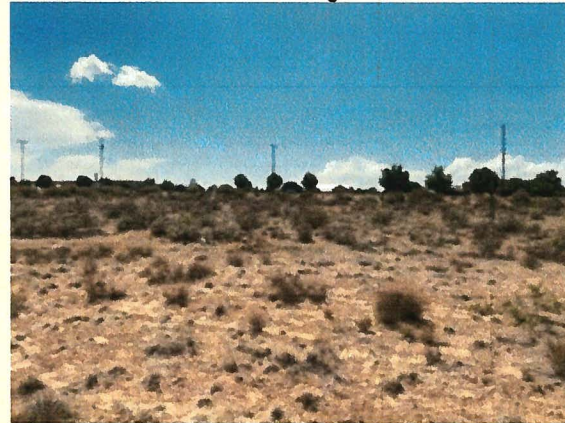
Looking North



Looking East



Looking South



Looking West

The sensitive lands analysis has found that none of the above features have been determined to be constraining the development of the site. Additionally, no above features have been determined to be present on this site or have negative impacts as identified in the various documents supporting our findings of no sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Bohannon".

Ronald R. Bohannon, P.E

CC: Zack Holland

JN: 2022007
RRB/ln

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved ☐ Achieved in Part ☐ Evaluated Only ☐
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved ☐ Achieved in Part ☐ Evaluated Only ☐
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved ☐ Achieved in Part ☐ Evaluated Only ☐

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

5. Design should allow for natural ventilation as much as possible.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

8. North facing windows are encouraged as they require little to no shading.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

9. Any west facing building entries and windows should mitigate solar effects.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved ☐

Achieved in Part ☐

Evaluated Only ☐

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved ☐ Achieved in Part ☐ Evaluated Only ☐

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved ☐ Achieved in Part ☐ Evaluated Only ☐

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved ☐ Achieved in Part ☐ Evaluated Only ☐

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved ☐ Achieved in Part ☐ Evaluated Only ☐

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.

Signature of Project Architect/License No.

Jon Gambrill
Licensed Architect / New Mexico
#005423

Signature of Project Landscape Architect/License No.

SITE PLAN EXHIBITS

FRONT ELEVATION

TAKE 5

OIL CHANGE

10__ Unser Blvd NW
Albuquerque, NM 87114

INITIAL LAYOUT: June 6, 2022

REVISIONS:

I
II
III
IV
V



Underwriters Laboratories Inc. •
UL File #E225670

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reproductions thereof are the property
of Signs Unlimited, Inc. and
may not be reproduced, published,
changed or used in any way without
written consent.

Sq. Ft. Signage:

73.78

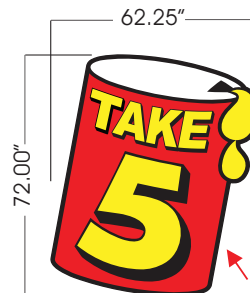
Signage Allowance:

154.17 Sq. Ft.

(15% of Wall Area)



26.19 Sq. Ft.
QTY: 1



+/- 20 Degree
Angle on Can



380.75"

OIL CHANGE • STAY IN YOUR CAR

47.59 Sq. Ft.
QTY: 1

IMPOSED IMAGERY

SPECIFICATIONS

ILLUMINATED

CHANNEL LETTERS

Quantity:

See above

Size:

As in drawing

Trim:

1"

Trim Color:

Black

Return Color:

Black

Face Color:

Yellow

Face:

1/8" Acrylic

Letter Interior:

Gloss White

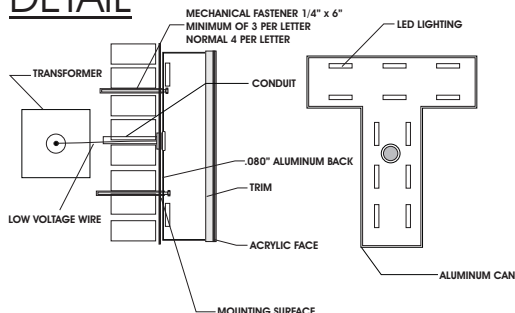
Illumination:

LED

Mounting:

Studded Letters

DETAIL



NOTES:

• IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER.

IF NOT ELECTRICAL HANDLED BY OWNER/GC

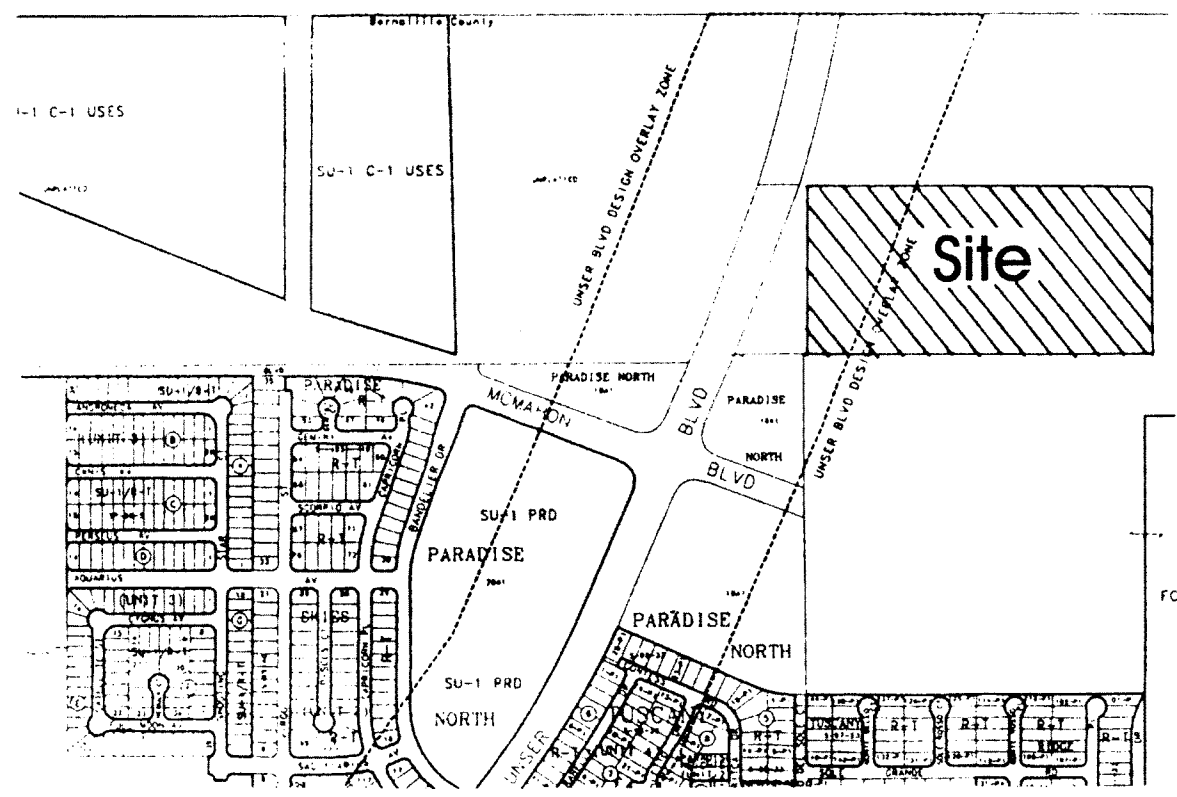
• IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER

• REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

Owner/Landlord Approval _____

SIGNS UNLIMITED
communicate your identity

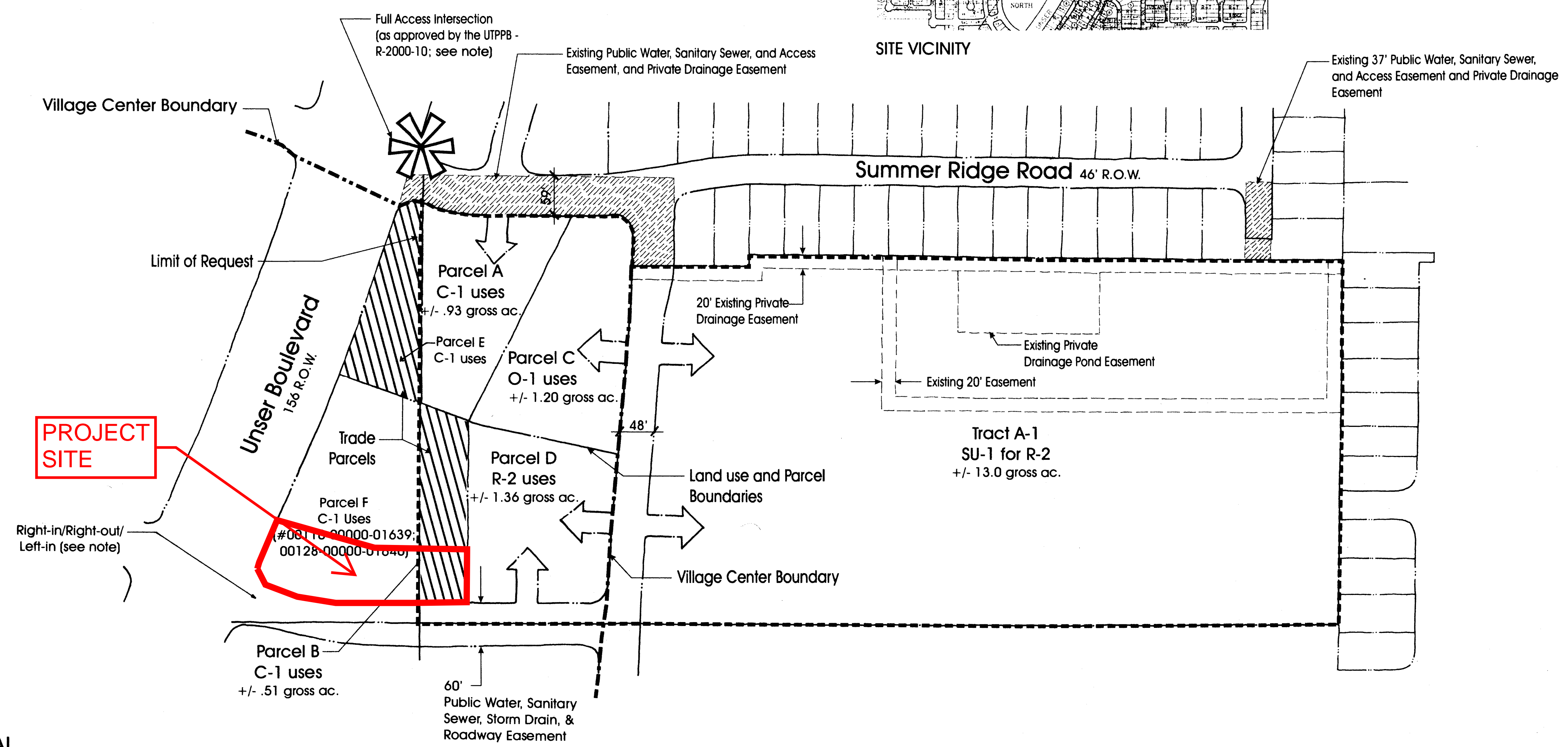
6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322



SITE VICINITY

PROPERTY COVERED BY
THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
17.0 GROSS ACRES

30' ACCESS POINTS



APPROVAL

Project #1000898, EPC 00128-00000-01514; DRB 01450-00000-01599
THIS SITE PLAN FOR SUBDIVISION IS CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

| | |
|---------------------------------|----------|
| Planning Department | Date |
| <i>Paul D. Dore</i> | 12-14-01 |
| Transportation Department | Date |
| <i>Bradley D. Bingham</i> | 11/14/01 |
| City Engineer | Date |
| <i>Roger A. Huen</i> | 11-14-01 |
| Utility Development | Date |
| <i>Adrienne E. Carls</i> | 11-14-01 |
| Parks and Recreation Department | Date |

Note: In order to achieve the goals of this site plan, a plat shall be required that implements the proposed land trades between this property and the property to the west. The purpose of this trade is to provide each landowner with a developable parcel with reasonable access.

| Parcel | Land Use | Gross Acres |
|----------------------|----------|-------------|
| A | C-1 | .93 |
| B* | C-1 | .51 |
| C | O-1 | 1.20 |
| D | R-2 | 1.36 |
| TOTAL VILLAGE CENTER | | 4.00 |

*Parcel B is proposed to be traded with an equal size parcel in #00110-00000-01639; 00128-00000-01640.

Parcels A and E, and Parcels B and F will be replatted in order to be combined prior to development of these parcels.

In order to provide access to all tracts, the plat shall establish cross-lot blanket access and public utility easements for all tracts. There will be no direct access to Unser Boulevard (see note regarding UTPPB Resolution 2000-10).

SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 4.0 acres within the Unser/McMahon Village Center, zoned SU-1 for Mixed Use, and 13 acres outside the Village Center, zoned SU-1 for R-2.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on January 18, 2001 (00110-00000-01623) as follows:

- SU-1 for Mixed Use Development: 4.0 acres
 - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 1.4 acres);
 - O-1 Permissive and Conditional Uses; and
 - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 13.0 acres

Pedestrian and Vehicular Ingress and Egress:

Trails: There is a proposed trail along Unser Boulevard per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood east of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: A bicycle trail is planned along Unser Boulevard west of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: A major transit stop is proposed at the eastern edge of the Village Center per Westside/McMahon Land Use and Transportation Guide. This location will have excellent access to the Village Center and the R-2 neighborhood to the east.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

Note: The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Summer Ridge Road and the limited access point south of Parcel F, east of Unser Boulevard.

SITE PLAN FOR SUBDIVISION

Unser/McMahon Village Center North

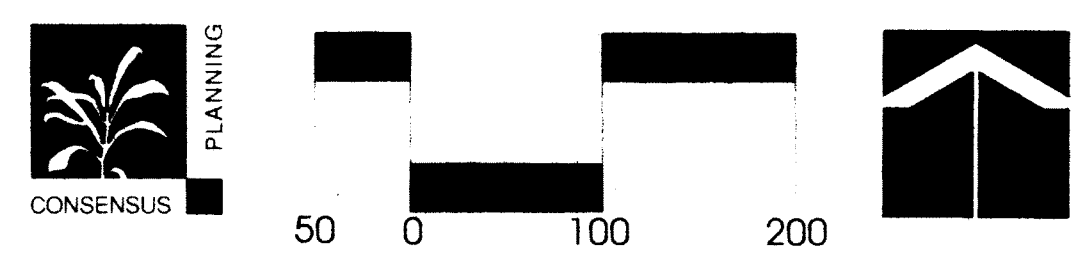
Prepared For: Unser/McMahon Group
PO Box 372
Cedar Crest, NM 87008

Prepared By: Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

October, 2001

Sheet 1 of 3

Scale: 1" = 100'



PROJ 1000898