



## ***Environmental Planning Commission***

**Agenda Number: 2**  
**Project #: 2021-005301**  
**Case #: SI-2021-00452**  
**Hearing Date: June 17, 2021**

### ***Staff Report***

<b>Agent</b>	Tierra West LLC
<b>Applicant</b>	Western Hills Investments LLC
<b>Request</b>	<b>Major Amendment to Site Plan –EPC</b>
<b>Legal Description</b>	Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition
<b>Location</b>	On NM 528/Alameda, north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW (3615 NM 528)
<b>Size</b>	Approximately (≈) 2 acres
<b>Zoning</b>	NR-BP

### ***Staff Recommendation***

***DEFERRAL of SI-2021-00452, based on the Findings beginning on p. 26, for a month to the July 15, 2021 EPC hearing.***

***Staff Planner***  
***Catalina Lehner, AICP-Senior Planner***

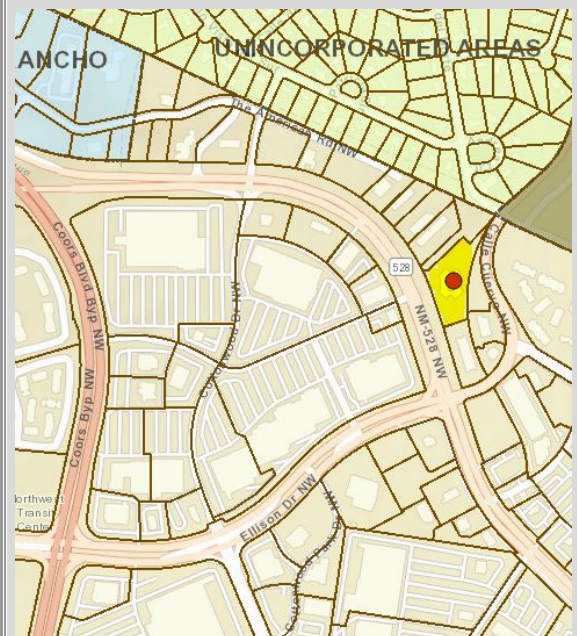
### ***Summary of Analysis***

The request would result in replacement of the controlling site development plan with the proposed site plan. The applicant intends to develop a coffee drive-thru (phase I) and a future restaurant (phase II). The request was deferred for a month at the May 20, 2021 hearing.

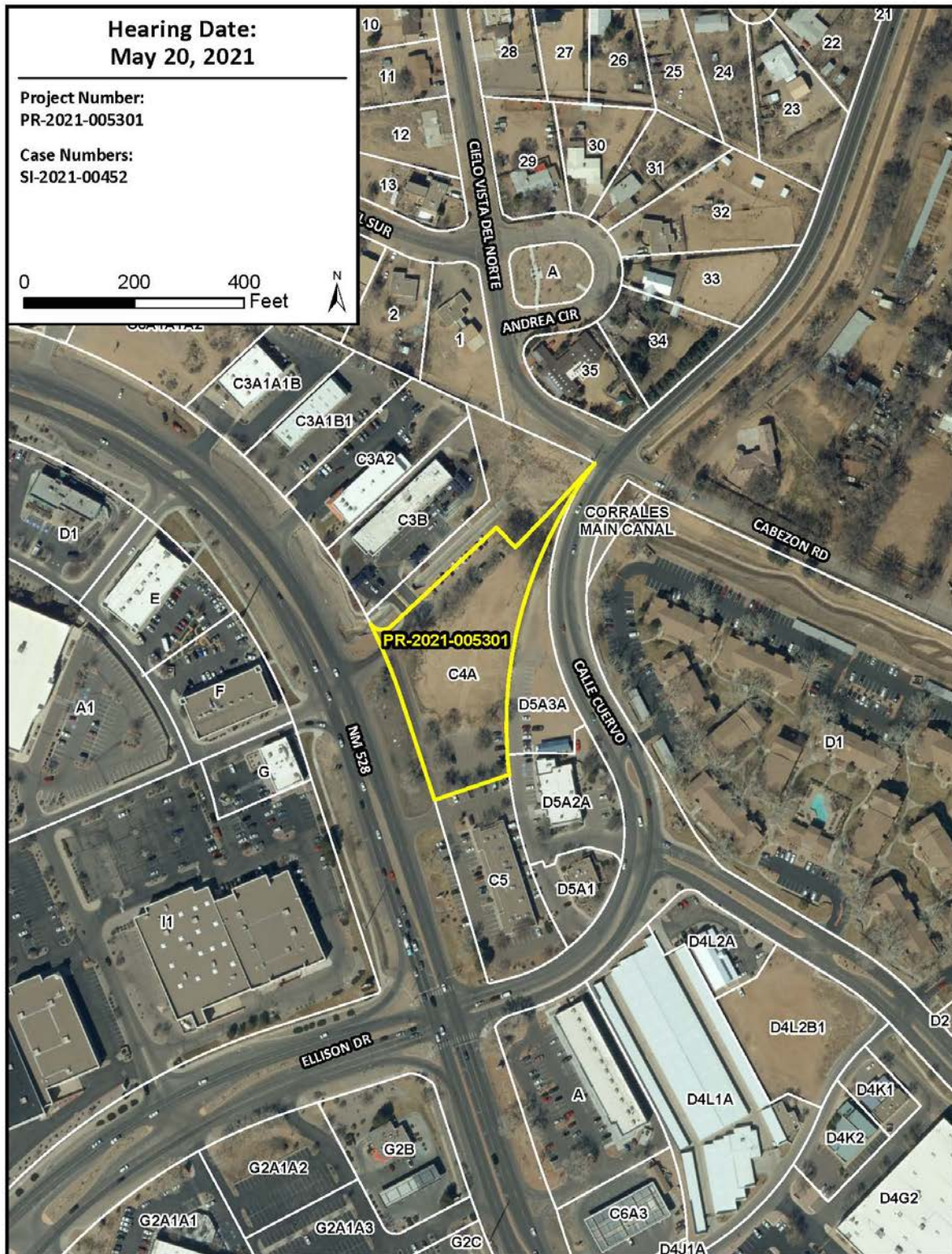
The EPC approved the controlling site development plan in 2017, prior to adoption of the IDO. The prior approval by the EPC remains valid. The proposed amendment would result in replacement of the controlling site development plan. The Site-Plan-EPC criteria apply.

Staff reviewed the proposed site plan using applicable IDO requirements and does not find major conflicts. The applicant notified the affected neighborhood organization, the Westside Coalition, and property owners within 100 feet of the subject site as required.

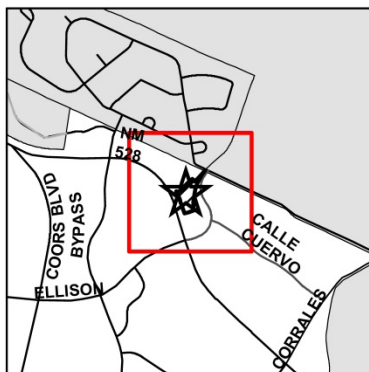
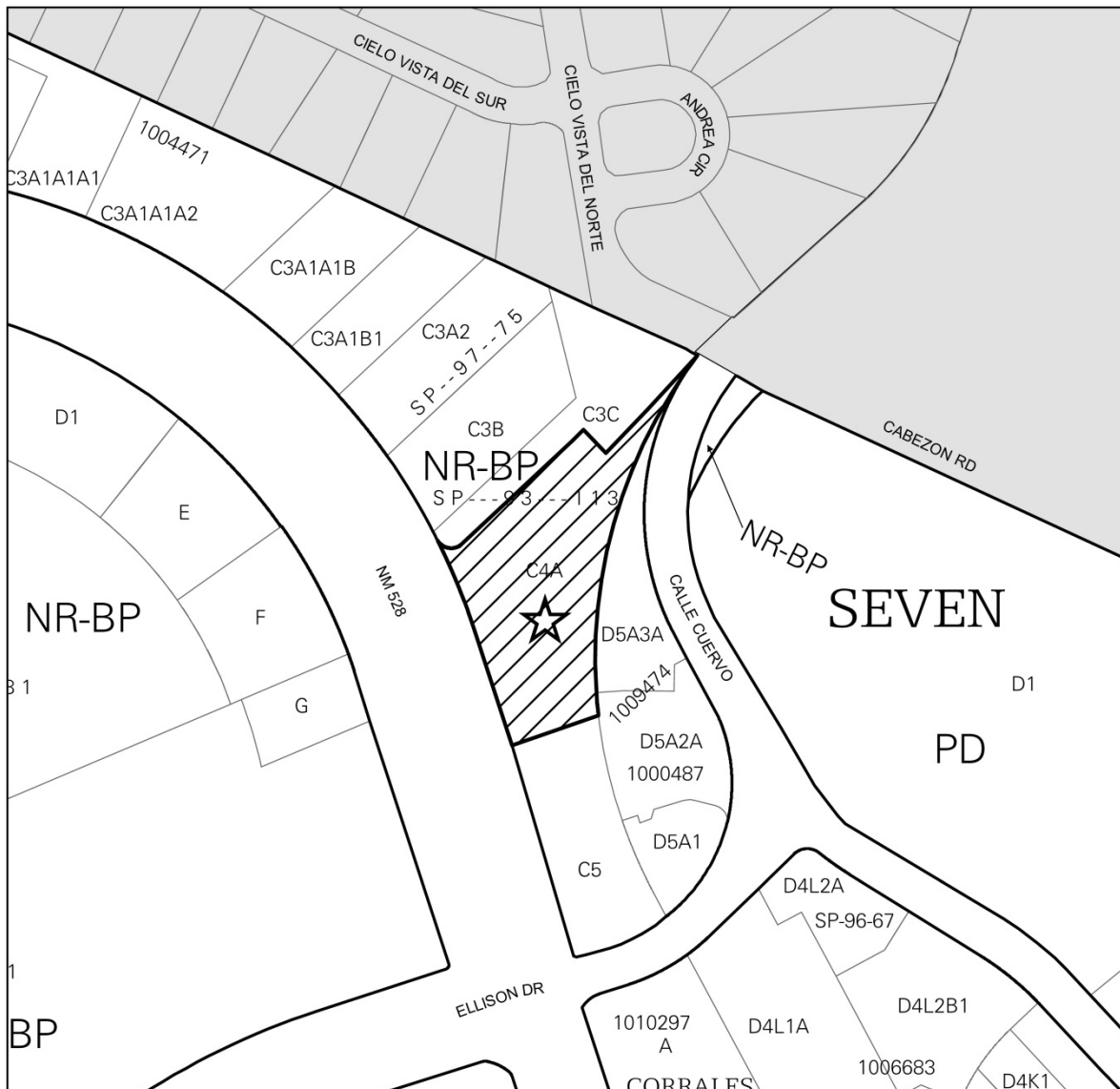
Staff received a phone call and three letters of concern from nearby residents of the Skyview NA, which is in the County. Concerns include traffic volume and queuing, cut-through traffic, and impacts from trash, light, and noise. They would like a deferral in order to meet with the applicant. Staff recommends deferral to allow time for the meeting to occur. If the request is not deferred, Staff will have alternate findings and conditions available.











## IDO ZONING MAP

Note: Gray shading  
indicates County.



1 inch = 220 feet

Hearing Date:

5/20/2021

Project Number:

PR-2021-005301

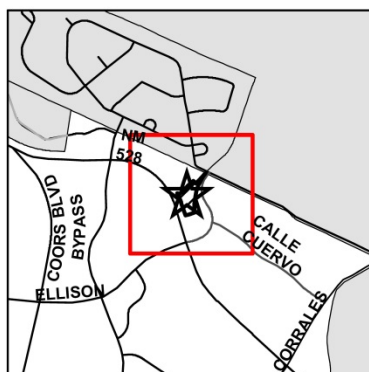
Case Numbers:

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Zone Atlas Page:

A-14





## LAND USE MAP

Note: Gray shading indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base

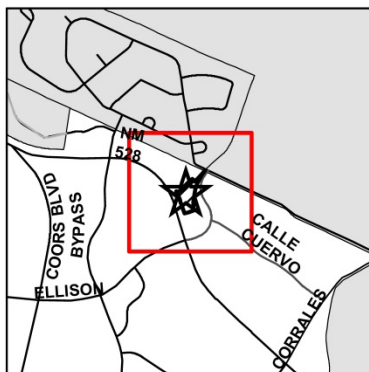
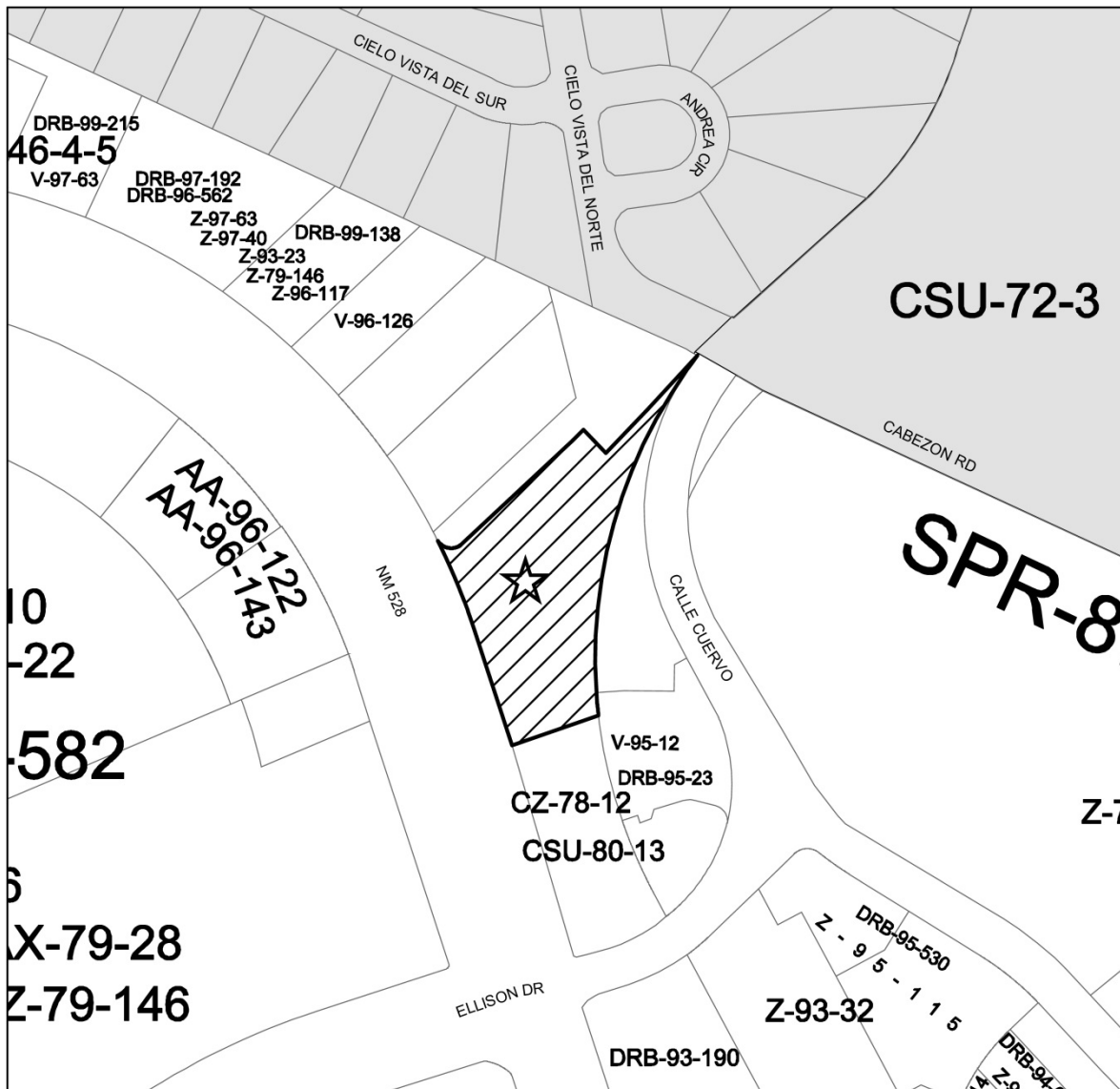


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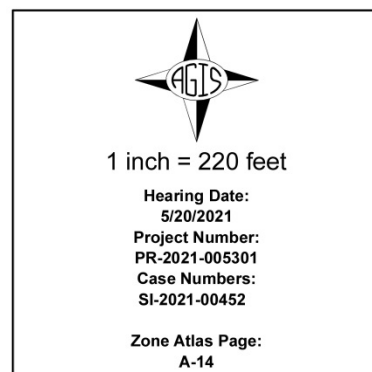
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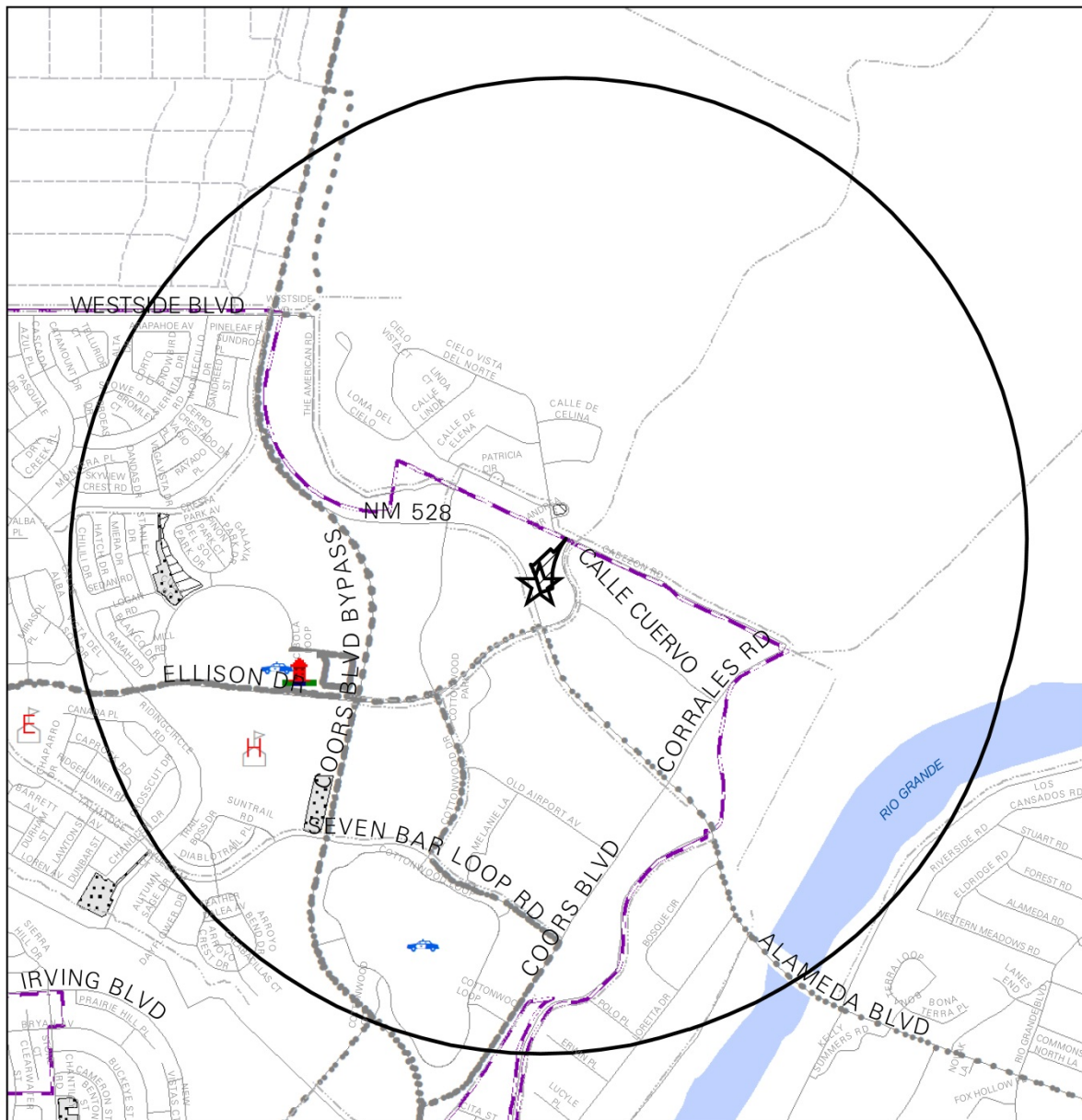


## HISTORY MAP

Note: Gray shading  
indicates County.







**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Undeveloped City Park       |
| Library              | Solid Waste | Albuquerque City Limits  | Developed County Park       |
| Museum               |             |                          | Undeveloped County Park     |



0 0.5 1 Miles

Project Number: PR-2021-005301



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## **I. INTRODUCTION**

	<b>Zoning</b>	<b>Comprehensive Plan Area</b>	<b>Land Use</b>
<b>Site</b>	NR-BP	Consistency	Vacant (formerly had an office building)
<b>North</b>	NR-BP	Consistency	AMAFCA (drainage), car wash, auto parts retail
<b>South</b>	NR-BP	Consistency	Strip office building (various small businesses)
<b>East</b>	NR-BP, PD	Consistency	Undeveloped/Parking, Large Apartment Complex, County Subdivision
<b>West</b>	NR-BP	Change	NM 528, fast-food, various commercial uses

### **Request**

The request is for a Major Amendment to an existing site development plan for the approximately 2-acre subject site, legally described as Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition (the “subject site”). The subject site is located at 3615 NM 528, which is north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW and northeast of Cottonwood Mall. The request was deferred for a month at the May 20, 2021 public hearing to allow additional time to clarify the proposed site plan and to ensure that the yellow signs were posted in the appropriate timeframe.

The EPC originally approved the controlling site development plan in March 2017, for the same geographic boundaries and the present-day subject site (see also History section of this report). Pursuant to IDO Section 14-16-1-10(A), prior approvals remain valid. The small, round office building that occupied the subject site was recently demolished.

The applicant proposes to develop a coffee drive-thru (Phase I) and a future drive-thru fast-food restaurant (Phase II). Like much of the land in the area, the subject site is zoned NR-BP (Non-Residential Business Park Zone District).

Amendment procedures are found in IDO Section 14-16-6-4(Y). Because the request constitutes a wholesale replacement of the controlling site development plan, it exceeds the thresholds for Minor Amendment in Table 6-4-5 of the IDO. Therefore, the request is for a Major Amendment and a new Site Plan-EPC. The Site Plan-EPC criteria in IDO Section 14-16-6-6(J) apply.

### **EPC Role**

The Environmental Planning Commission (EPC) is hearing this case pursuant to the IDO Section 14-16-6-4(Y), Amendments of Prior Approvals, which addresses applications for amendments to site development plans approved prior to the effective date of the IDO.



The request exceeds the thresholds for a Minor Amendment, and therefore is being considered pursuant to Section 14-16-6-4(Y)(3), which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. In this case, the EPC approved the existing site development plan for the subject site in 2017, prior to the effective date of the IDO in 2018.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J). This is a quasi-judicial matter.

### ***Context***

The approximately 2 acre subject site is bounded by NM Highway 528 on the west and a narrow, vacant lot on the east that appears to be used for parking. Across NM 528 to the west is the designated Cottonwood Employment Center, which contains various commercial uses of different sizes. To the north and south of the subject site are other lots of the Seven Bar Ranch subdivision; most are smaller than the subject site.

North of the subject site is an AMAFCA drainage area called Octopus Pond. Further north is a chain car wash and a retail auto parts store. To the northeast is a subdivision of homes on large lots in the County, and a bit further northeast is the Village of Corrales. East of the subject site is part of the narrow lot mentioned, which is bounded by Calle Cuervo Rd. NW, across from which is a large apartment complex. South of the subject site is a single-story, strip office building with various small users.

### ***History/Background***

#### ***Background and Sector Plan***

The subject site was part of the approximately 745-acre annexation of Seven Bar Ranch, which was finalized in the summer of 1981 and established zoning of SU-1 for Planned Development Areas to include commercial, residential, industrial, office, and institutional uses (AX-79-28/Z-79-146). An approximately 20,000 sf, two-story circular office building was constructed on the subject site, most likely in the 1980s.

The subject site was included in the Seven Bar Sector Development Plan (SBSDP), a Rank III sector plan that covered approximately 1,100 acres on the City's northwest mesa that was bounded approximately by Coors Blvd., McMahon Blvd., Alameda Rd., and NM 528 and Corrales Rd. The SBSDP was first adopted on April 1, 1985 (Enactment 74-1985) and was subsequently revised in 1990 and 1994. In 1985, only Cibola High School was developed. The SBSDP was a revision of the original Seven-Bar Ranch SDP, adopted by the DRB in 1982, which is considered the original SDP for the area.

The sector plan contained Goals, policies, and a land use plan that classified land into six categories. The subject site was part of a larger grouping, with 12 other tracts, known as Tract V (see Exhibit 3- Land Use Plan). Tracts T2, T3, V, and W were zoned SU-2/SU-1 for IP Uses (approximately 186 acres) and were envisioned as a business park/industrial/office sub-area of Seven Bar. Note that the Seven Bar Town Center is approximately 6 acres that is today

encompassed by Cottonwood Mall, which is across the street from the subject site. Upon adoption of the Integrated Development Ordinance in May 2018, the SBSDP was rescinded along with the other sector development plans.

*Recent History and Process*

For several years, the subject site continued with the office building on it until the building was demolished sometime after 2016. In October 2016, the EPC approved Project #1010999/ 16EPC-40050 (see attachment), a request for a site development plan for subdivision with design standards, for the subject site. The intention was to subdivide the subject site into two tracts and redevelop it with a restaurant use and a retail use. However, sign-off from the Development Review Board (DRB) was not obtained and therefore, under the former pre-IDO system, there was no approved site development plan.

In March 2017, the EPC approved a site development plan for building permit for the subject site that showed a national chain deli and a future retail pad Project #1010999/16EPC-40079 (see attachment). Final sign-off from the DRB was also not obtained.

However, the IDO is in effect at the time of submittal of the current request and its process differs from the former process with respect to existing approvals. Final DRB sign-off is no longer required to complete a site plan approval. Rather, IDO Table 6-4-3: Permit Approvals and Expirations includes Site Plan-EPC as a category and specifies that an EPC-approved site plan expires in seven years from its approval date.

The EPC approved the 2017 case on March 9. Plus the required 15-day appeal period, the date of final approval of the controlling site development plan for the subject site is March 24, 2017. Therefore, the controlling site development plan will expire on March 24, 2024—seven years after its final approval.

***Comprehensive Plan Designations***

The subject site is designated an Area of Consistency by the Comprehensive Plan. The subject site is not located in a designated activity center; although Cottonwood Center is west of the subject site, across NM 528. Cottonwood Center is a designated Employment Center, which contains Cottonwood Mall, and is a designated Area of Change.

The Comprehensive Plan designates NM 528 (Alameda Blvd. NW) as a Commuter Corridor. Commuter Corridors are intended for long-distance trips across town by automobile, including limited-access streets.

***Roadway System***

The Long Range Roadway System (2040 LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), includes existing roadways and proposed roadways.

The LRRS map classifies NM Highway 528 as a Regional Principal Arterial. Other streets near the subject site are classified as local roads.

### ***Trails/Bikeways***

The Long Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed bicycle and trail facilities. A bicycle lane is proposed on NM 528 north of Ellison Rd. NW, and along Ellison Rd. NW as it approaches NM 528.

### ***Transit***

The subject site is near the Alameda Commuter Corridor, but is not on a transit route. ABQ RIDE service in the Cottonwood area basically ends at Alameda (NM 528) and Ellison Rd. NW. The Blue Line (Route 790-Westside to UNM) and the Cross-town Commuter (Route 96) both end there (note that the Crosstown Commuter route is not currently operating. The Northwest Transit Center, at Coors Bypass and Ellison Rd. NW, is approximately 3300 feet southwest from the subject site.

### ***Public Facilities/Community Services***

Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services within one mile of the subject site.

## **II. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES**

### ***Integrated Development Ordinance (IDO)***

#### ***Definitions***

Area of Consistency: An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

Drive-through or Drive-up Facility: Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle fueling, to offer goods and services directly to customers waiting in motor vehicles. See also *Car Wash* and *Vehicle Definitions* for *Light Vehicle Fueling*.

Infill Development: An area of platted or unplatted land that includes no more than 20 acres of land and where at least 75 percent of the adjacent lots are developed and contain existing primary buildings.

Pedestrian-scale Lighting: Lighting in pedestrian areas not to exceed 16 feet in height that allows people to see and be seen from a distance of 40 to 60 feet.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in



the IDO will be determined based on the level of detail provided in the prior approval.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

#### *Zoning*

The subject site is zoned NR-BP [Non-Residential Business Park Zone District, IDO 14-16-2-5(B)], which was assigned upon adoption of the IDO as a conversion from the former zoning-SU-1 for IP Uses (Special Use Zone for Industrial Park uses).

The purpose of the NR-BP zone district is to accommodate a wide range of non-residential uses in a campus-like setting to buffer potential impacts on surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, light industrial, distribution, showroom, processing, and institutional uses. Specific permissive uses are listed in Table 4-2-1: Allowable Uses, IDO p. 143.

The applicant is proposing to develop two drive-through restaurants. Restaurant is a permissive use in the NR-BP zone district; applicable Use-Specific Standards (USS) are found in IDO 14-16-4-3(D)(8). A drive-through or drive-up facility is an accessory use in NR-BP; applicable use-specific standards are found in IDO 14-16-4-3(F)(4).

#### *Use-Specific Standards*

Staff reviewed the USS for both uses. The USS for a restaurant, found in 16-4-3(D)(8)(a through f), mostly has requirements that don't apply to the proposed Site Plan-EPC. Most relevant are (b)- compliance with stormwater quality requirements, and (d) waste enclosures must include a sanitary sewer drain.

The USS in 14-16-4-3(F)(4) for drive-thru facilities mostly list where the use is not allowed. However, (F)(4)(a) regarding maximum order board area and orientation, applies. Two order boards are shown on the building's eastern elevation; they comply with the relevant USS.

#### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The 2017 Albuquerque/Bernalillo County Comprehensive Plan contains overarching Guiding Principles, Goals, and Policies that embody a vision for development and service provision in the City and County.

The subject site is located in an area that the Comprehensive Plan has designated an Area of Consistency. Areas of Consistency are generally protected by policies that limit and mitigate impacts of new development and re-development, which should be compatible in scale and character with the surrounding area (Comprehensive Plan, p. 5-23).

Applicable Goals and policies are listed below, followed by Staff analysis ***bold italic*** text. Pursuant to IDO 14-16-6-6(J)(3)(a), the purpose of policy analysis of a proposed site plan-EPC is to determine if it is consistent with the Comprehensive Plan.

\* indicates a Goal or policy chosen by the applicant (see attachment).

*Chapter 5: Land Use*

\*Policy 5.1.12-Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

Subpolicy c: Support traffic flow by limiting new curb cuts, encouraging shared access of driveways and business access roads, or providing access from perpendicular local roads.

*The request would facilitate auto-oriented development along a designated commuter corridor- NM 528/Alameda Blvd., which is a high-volume traffic route for people going to and from Rio Rancho. Development of auto-oriented uses, such as the future restaurants with drive-thru facilities, is generally intended along such corridors. Access to the subject site is via two, existing driveways; new curb cuts are not proposed. The request is generally consistent with Policy 5.1.12- Commuter Corridors and Subpolicy c.*

\*Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

*The request would provide additional restaurant options in the area, though their drive-thru nature would generally not facilitate creation of healthy and sustainable communities because such uses promote automobiles- not walking or bicycling. The area is characterized by various chain retail uses and is not distinct in that regard; however, the neighborhood to the east has existed since the 1960s and is distinct. The future uses would be conveniently accessible from NM 528, but not from the residential uses to the east due to the lack of vehicular and pedestrian access. The request is generally inconsistent with Policy 5.2.1-Land Uses.*

\*Subpolicy a: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

*The request would result in redevelopment of the subject site. For the reasons above, the request is generally inconsistent with Subpolicy a.*

\*Subpolicy h: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

*The request would result in infill development that would add another drive-thru use to an area that already has many, so therefore it would not be complementary. The form and scale would be generally compatible with surrounding development. The request is partially consistent with Subpolicy h.*

Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

*The request would facilitate re-development of a site already served by existing infrastructure and public facilities, thereby maximizing the utility of both. Using infrastructure and land this way generally supports the public good because it is more efficient than adding infrastructure and/or developing land on the urban fringe. The request is generally consistent with Goal 5.3- Efficient Development Patterns.*

Policy 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

*The subject site is located in an already-developed area that has existing infrastructure and public facilities and the request would support additional growth. Therefore, the request is generally consistent with Policy 5.3.1-Infill Development.*

\*Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

*The subject site is in a commercial area and across the street from a designated Employment Center. The future development of two small, restaurant uses would bring some service jobs to the Westside, in though it would not create balance by encouraging residential growth near employment that is already there. The request is partially consistent with Goal 5.4- Jobs-Housing Balance.*

\*Policy 5.4.2- West Side Jobs: Foster employment opportunities on the West Side.

*The future development of two small, restaurant uses would help foster some employment opportunities on the Westside, so the request is generally consistent with Policy 5.4.2- West Side Jobs.*

\*Subpolicy a: Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth.

*Subpolicy a does not apply. The request for a Site Plan-EPC does not have to do with capacity of land zoned for commercial, office, and industrial uses. The NR-BP zoning is already established.*

\*Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

*The subject site is in an Area of Consistency, where growth is intended to reinforce the character and intensity of the surrounding area. The area is developed with mostly commercial uses, but also has some office, multi-family, and a large-lot County subdivision nearby. The request would facilitate development generally compatible with the intensity of other development along the Commuter Corridor, which includes fast-food, restaurants and retail of various sizes (including big-box). However, the future development would be less intense than the uses to the west, which is consistent with the subject site's location north of a small-scale office building and west of the large-lot subdivision. The request is generally consistent with Goal 5.6- City Development Areas.*



Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

*The subject site is outside of the designated Employment Center to the west, but is along a designated Commuter Corridor (NM 528). Development in Areas of Consistency is intended to be compatible with surrounding uses in terms of scale, location, and character. Surrounding uses include a wide variety of sizes and scales of commercial retail, a small office building, a multi-family use, and a large-lot County subdivision. The request would be generally consistent with the character of the uses around it, although it would create a concentration of drive-thru uses in a relatively small area and could affect the established neighborhood. The request is partially consistent with Policy 5.6.3-Areas of Consistency.*

#### Chapter 6: Transportation

\*Goal 6.2- Multi-Modal System: Encourage walking, biking, and transit, especially at peak-hour commuting times, to enhance access and mobility for people of all ages and abilities.

*The addition of more drive-thru uses, which are auto-oriented by nature, along a Commuter Corridor would generally discourage walking, biking, and transit usage. Though the on-site pedestrian connections are compliant and would hopefully facilitate walking to and within this destination, peak-hour commuting times already have high traffic volume that complicates the use of alternative transportation and generally complicates mobility. The request is inconsistent with Goal 6.2- Multi-Modal System.*

\*Policy 6.2.3- Pedestrian & Bicycle Connectivity: Provide direct pedestrian and bicycle access to and circulation within Centers, commercial properties, community facilities, and residential neighborhoods.

*The subject site is a commercial property. Direct pedestrian and bicycle access is provided via connection to the established sidewalk, and pathways help facilitate non-vehicular circulation and safety. However, this is only available from the NM 528 side of the property. Bicycle and pedestrian access from the west is difficult due to lack of safe crossings of NM 528/Alameda, and there is no connection to facilitate non-vehicular travel from the residential uses to the east. The request is partially consistent with Policy 6.2.3- Pedestrian & Bicycle Connectivity.*

\*Subpolicy a: Design streets, streetscapes, and sidewalks to enhance pedestrian and bicyclist mobility for commuting, recreation, and activities of daily living.

\*Subpolicy b: Preserve and maintain pedestrian, biking, and equestrian opportunities on neighborhood streets, in alleys, and along acequias.

*Subpolicy a and Subpolicy b do not apply. The request provides required sidewalks, but isn't really about designing streets and streetscapes (a). The subject site is not located on a neighborhood street, alley, or acequias.*

\*Policy 6.2.8 Auto Network: Prioritize automobile travel on Commuter Corridors and balance it with other travel modes on other streets.0

*The request would result in development of two drive-thru uses, which are auto-oriented by definition and would prioritize automobile travel along this designated Commuter Corridor. However, there would be no balancing of the request with other travel modes on other streets. The request is partially consistent with Policy 6.2.8- Auto Network.*

\*Subpolicy a: Provide continuous, safe, and convenient vehicular circulation to achieve and maintain smooth traffic flow at steady, moderate speeds.

*The request would generally provide continuous and convenient vehicular circulation, though it is possible that traffic flow and speeds could be impacted by the introduction of two, new auto-oriented uses in an area that already has many. The request is partially consistent with Subpolicy a.*

\*Subpolicy b: On Commuter Corridors and other auto-oriented arterials, provide convenient access to auto-oriented uses, minimize conflicts with pedestrians and cyclists, and provide safe and convenient pedestrian crossings.

*The request would provide convenient access to the future auto-oriented uses from the west, but not from the east. The proposed pathways and pedestrian crossings of contrasting material would be generally safe and convenient from the west, but not the east. The request is partially consistent with Subpolicy b.*

#### Chapter 7: Urban Design

\*Goal 7.3- Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

*The request is generally designed to be similar to the context to the west, which is a wide variety of chain commercial uses, but is different than the context to the south (Territorial style office building) and to the east (residential uses). The request is partially consistent with Goal 7.3- Sense of Place.*

\*Policy 7.3.2- Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

\*Subpolicy a: Design development to reflect the character of the surrounding area and protect and enhance views.

*Policy 7.3.2 and Subpolicy a do not apply. The request would facilitate development of relatively small uses and wouldn't employ design strategies that recognize and embrace character differences among communities. Nor would the request be particularly reflective of the character of the surrounding area and enhance views.*

\*Goal 7.4- Context Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.

*The parking facility (lot) is designed to provide three times the amount of required parking (24 spaces provided, 8 required) for a use that does not have sit-down service. The excess parking*

*is shown in the location of a stand of mature trees, which would be removed. This generally does not match the development context to the east or to the south and is not context-sensitive to most of the area. The request is inconsistent with Goal 7.4-Context Sensitive Parking.*

\*Policy 7.4.1-Parking Strategies: Provide parking options, optimize parking efficiencies, and plan for parking as essential infrastructure.

\*Subpolicy b: Encourage shared parking.

*The subject site is approximately 2 acres, so isn't really large enough to include planning parking as essential infrastructure or to provide various parking options. The request does not optimize parking efficiencies because Phase I is so over parked. Since two tracts would be created, with separate owners, they may or may not want to share parking and the lots are designed to be far from each other. The request is inconsistent with Policy 7.4.1 and Subpolicy b.*

\*Policy 7.4.3- Off-Street Parking Design: Locate off-street parking to respond appropriately for each Center and Corridor per Tables 7-3 and 7-4.

*The Development Process Manual (DPM) has several tables in Chapters 7-3 and 7-4, and appears to not have specific guidance regarding parking design along Commuter Corridors. The information pertains mostly to roadway design, so Policy 7.4.3 does not apply.*

\*Subpolicy b: Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.

*The request is inconsistent with Subpolicy b because it would remove established trees and replace them with parking in excess of the requirement, and would use impervious surfacing. Additional trees in the proposed buffers would benefit the site.*

\*Subpolicy c: Ensure safe pedestrian pathways in parking areas that connect to building entrances, adjacent roadways, and adjacent sites.

The request is generally consistent with Subpolicy c because it shows pedestrian pathways, and delineated crosswalks, that connect to building entrances and the adjacent roadway.

\*Goal 8.1- Placemaking: Create places where business and talent will stay and thrive.

*The approximately 2-acre subject site is too small to contribute to creating a place (such as a business park or Employment Center) that could encourage business and talent to stay and thrive. Goal 8.1-Placemaking does not apply.*

\*Policy 8.1.2- Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.



*In a limited way, the request would encourage economic development efforts and generally contribute to a more robust and diverse economy. A new service in the area could have a positive impact, but the resulting potential for increased traffic and noise in an already busy area could adversely affect existing residents. The request is partially consistent with Policy 8.1.2- Resilient Economy.*

\*Subpolicy c: Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

*The request would result in some job creation and would constitute general support for a development project that would hire local residents. Again, it would be on a limited scale due to the subject site's small size. The request is partially consistent with Subpolicy c.*

### III. SITE PLAN- MAJOR AMENDMENT

#### *Site Plan-EPC Review & Decision Criteria*

IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, will be approved if it meets all of the following criteria:

6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

*As demonstrated by the policy analysis (see above), overall the request is generally consistent with applicable Comprehensive Plan Goals and policies despite some instances of conflict. Conditions of approval can be applied to address the inconsistencies to the greatest extent possible.*

6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

*The subject site is not zoned NR-SU or PD. The controlling site plan (2017) contains design standards (special regulations). As part of the request the applicant is asking to be allowed to develop the subject site pursuant to the IDO and not according to the design standards- which would be vacated if the request is approved.*

6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

*With implementation of conditions of approval, the site plan will comply with applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM), particularly those pertaining to transportation and grading and drainage.*

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

*The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems have sufficient capacity to serve a proposed development.*

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

*The future, proposed development will be required to comply with the decisions of two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not adversely impact the surrounding area.*

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

*Not applicable. The subject site is not a part of a Master Development Plan.*

- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

*Not applicable. The subject site is not in a designated Railroad and Spur Area.*

### ***Request***

The request is for a Major Amendment to a controlling site development plan with design standards that the EPC approved in March 2017, prior to the effective date of the IDO (May 17, 2018). Pursuant to IDO Section 14-16-1-10(A), prior approvals remain valid. The small office building that occupied the subject site was recently demolished.

The geographic boundaries of the controlling site development plan and the proposed site plan are the same. Though called a Major Amendment, the request would repeal and replace the controlling site development plan and design standards with the proposed site plan and the regulations of the IDO.

The applicant proposes to develop a 950 sf coffee drive-thru (phase I) and a future, 3,350 sf drive-thru restaurant (phase II). The subdivision to create two tracts would occur later at the DRB. An area near the subject site's northeastern corner is reserved for a future wireless telecommunications facility (WTF), aka a cell tower. WTFs are decided administratively and are not a part of the EPC process.

The proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations. Staff has crafted conditions of approval to address instances of non-compliance or lack of clarity. The Site Plan will need to be reviewed and approved by the DRB subsequent to EPC approval to address infrastructure and subdivision matters.

***Use-Specific Standards***

The Use-Specific Standards (USS) in 14-16-4-3(D)(8)- Restaurant and in 14-16-4-3(F)(4)- Drive-Thru or Drive-Up Facility, apply. Staff has reviewed these and recommends a condition to ensure compliant size and location of any order boards pursuant to 14-16-4-3(F)(4)(a).

***Site Plan Layout/Configuration***

The proposed, Phase I restaurant (drive-thru coffee) is located near the subject site's NW corner and the Phase II restaurant is SE of it. Clarification is needed regarding the legend; two symbols are used to mean two different things.

The northern end of the subject site contains an area for a future wireless telecommunications facility (WTF), or cell tower. The existing trees are shown as remaining. WTFs in the City are reviewed administratively by the Planning Department Director's Designee for wireless and are required to comply with the regulations in IDO 14-16-4-3(E)(12), as well as Federal regulations.

*Section 14-16-5-1 Dimensional Standards:* The subject site is zoned NR-BP. Table 5-1-3, Non-Residential Zone District Dimensional Standards, contains setback requirements. The minimum setbacks of the NR-BP zone (20' front, 10' side, 10' rear) are met except for the side setback on the eastern side of the Phase I building, which scales as 9'.

Note: Section 14-16-5-2, Site Design and Sensitive Lands, does not apply.

***Vehicular Access, Circulation, and Parking***

NM 528/Alameda at this location is controlled by the City. It runs north-southish along the subject site's western boundary, though there is an approximately 66 foot buffer between it and the subject site. The existing vehicular entrances, near the subject site's NW corner and SW corner, will be utilized.

*14-16-5-3 Access and Connectivity:* Access and Connectivity regulations are largely controlled by the Development Process Manual (DPM) and administered by the DRB. All driveways and access points shall be constructed to meet DPM standards.

An existing sidewalk is shown near the subject site's NW corner and would extend southward in the area between the subject site and NM 528. A new sidewalk interior to the subject site would run north-south and would connect to the existing sidewalk at two points, via crosswalks leading

to the buildings. Another pathway is provided in the parking lot of the Phase I building to help separate vehicular and pedestrian traffic.

The walkways required in front of buildings are provided [14-16-5-3(D)(3)(b)]. The crosswalks now comply with 14-16-5-3(D)(3)(c)- Materials to Alert Motorists, for safety purposes.

*14-16-5-5 Parking and Loading:* Parking calculations are shown on the first sheet (C-1). Required parking was calculated using the rate for Restaurant, which is 8 spaces/1000 sf. For the Phase I building, 8 spaces are required. 24 are provided. For the Phase II building, 27 spaces are required and provided. 2 handicap spaces (included in parking total) and 2 motorcycle spaces (in addition to parking total) are provided for each building.

A bicycle rack is provided at each building, within 50 feet of the main entrance as required by 14-16-5-5(EP(4)(b)). Each bike rack will be 6 feet long and have approximately 4 spaces.

*14-16-5-5(I) Vehicle Stacking:* Vehicle stacking spaces are required to be integrated into the site layout and not interfere with site access points [14-16-5-5(I)(a)]. Restaurants require a minimum of 6 stacking spaces (at least 20 feet long, unless specified otherwise by the DPM or the Traffic Engineer). The site layout for Phase I and Phase II meets these minimum requirements.

### ***Pedestrian, Bicycle, and Transit Access***

Pedestrian walkways are proposed around the buildings, as crosswalks, and into the parking lot of the Phase I building. The required width of pedestrian walkways is found in Table 5-3-1. For buildings less than 10,000 sf, walkways must be at least 8 feet wide. The walkway in front of the main entrance of the Phase I building scales out as 6 feet. The width of the crosswalk to the Phase II building is 10 feet, but the walkway to the Phase I building is 8 feet. Staff suggests making this 10 feet and labeling it.

A pedestrian access point near the subject site's eastern point would improve access for neighbors, as suggested by Bernalillo County's agency comments. A bicycle lane is proposed on NM 528 north of Ellison Rd. NW, and along Ellison Rd. NW as it approaches NM 528.

The subject site is located along a Commuter Corridor and not on a transit route. Service in the Cottonwood area basically ends at Alameda/Ellison. The best access to transit is at the Northwest Transit Center, approximately 3300 feet to the west-southwest.

### ***Landscaping***

A variety of evergreen and deciduous trees and shrubs, and some grasses, are proposed. The existing, mature trees in the NM 528 buffer, near the future cell tower area, and along the subject site's southern side would be preserved, but the row of existing trees near the car wash entrance (Phase I building area) and in the existing parking lot (now the Phase II building area) would not be. No turf is proposed.

*General Landscaping Requirements:* Pursuant to Section 14-16-5-6(C)(2), the minimum landscaping requirement is 15% of the net lot area. The landscaping calculations need to be



revised to use the gross lot area specified on the main site plan (Sheet C-1), which is 86,684 sf. Minus 4,300 sf of buildings, the net lot area is 82,384 sf. 15% of the net lot area is 12,358 sf.

Additional landscaping needs to be added to achieve the minimum requirement. Approximately 9,700 sf of landscaping coverage is provided and 12,358 sf is required. Staff suggests adding landscaping to the area near the proposed detention pond to help screen the pond and the drive-thru lanes. The landscaping is required to comply with minimum plant sizes at installation pursuant to 14-16-5-6(C)(6).

*Parking Lot Landscaping:* Parking lot trees are required at the rate of 1 tree for every 10 required parking spaces. 24 spaces are required for the Phase I building and 27 spaces for the Phase II building, resulting in a minimum of three trees in each parking lot area. Sufficient trees are provided. No parking space is more than 100 feet from a tree trunk, as required.

*Stormwater Management Features:* A note indicates that landscape beds are to be depressed below grade, as required pursuant to 14-16-5-6(C)(13), but curb notches and a curb notch detail need to be provided.

#### ***Walls/Fences***

No walls or fences are proposed. Neighbors have expressed concern about possible trash from the subject site, so perhaps a wall or fence can be considered. Also, the proposed detention pond is depressed by about three feet and may benefit from screening.

#### ***Lighting***

Light poles are proposed in the parking lot areas. Pursuant to IDO 14-16-5-8(E)(3)(a), pedestrian scale lighting (not to exceed 16 feet) is required to illuminate pedestrian walkways and bicycle paths. The light pole detail shows a 16 foot tall, aluminum light pole to be painted bronze, which complies.

#### ***Elevations/Architecture***

All non-residential development is required to comply with the standards in 14-16-5-11(E). Elevations are included for the Phase I building, but not for the future, Phase II building, which appears to not have a user at this time.

Pursuant to 14-16-5-11(E)(2), architectural features are required every 40 feet if the façade faces the street. Both buildings are located internal to the site, however. The proposed Phase I building is approximately 46 feet long. Horizontal measurements need to be indicated.

The elevations labeled with cardinal directions for clarity. It appears that the NE elevation is the one with the drive-thru window and that the NW elevation is the one with the walk-up window. The walk-up window is covered by a canopy finished in stone veneer, which will be visible from the street.

The Phase I building is 24 feet tall and made of cement plaster and cement siding in a tan color, with the franchise dark blue on the tallest portion of the building. Stone veneer and grey metal

awnings provide accents.

### ***Signage***

Building-mounted signage is proposed on each façade of the Phase I building. The signage with the name is approximately 20 sf and the logo sign is approximately 12 sf. Colors and materials need to be specified on the elevations.

### ***Grading & Drainage Plan***

Water generally flows from west to east across the subject site, though it is relatively flat (elevations range from 5,025 feet to 5,020 feet). Curb notches for water harvesting need to be shown and match those shown on the landscaping plan.

The subject site is not located in a flood plain, though two drainage facilities are relevant. A detention pond exists on the eastern side of the subject site. Three concrete run-downs are also on the eastern side. The tract adjacent north is owned by AMAFCA and contains another detention pond (the Octopus Pond). The existing AMAFCA drainage easement needs to be shown on the site plan.

### ***Utility Plan***

Both buildings will connect to the existing sewer line that runs along NM 528. The existing water lines run near the subject site's western side and both buildings will connect to water there. The existing fire hydrant near the middle of the subject site's western side will be relocated near the site's SW corner.

## ***IV. AGENCY & NEIGHBORHOOD CONCERNS***

### ***Reviewing Agencies***

Several agency comments were received. Transportation Development staff noted that a Traffic Impact Study (TIS) will be required when the Phase II restaurant comes through the process.

Other comments were about shared access, sidewalks, and curbing. The Albuquerque- Bernalillo County Water Utility Authority (ABCWUA) commented that the availability statement is current and that, more significantly, private easements may be needed for the existing water and sewer lines.

The Policy Department offered several CEPTED (Crime Prevention Through Environmental Design) comments, including ensuring adequate lighting, preserving clear sight lines, and controlling access. A clearer transition between private space and semi-public space would be beneficial.

Bernalillo County Transportation Staff noted the lack of access to Calle Cuervo Rd. NW, which makes it harder for the residential uses nearby to access the subject site. The Albuquerque Metropolitan Area Flood Control Agency (AMAFCA) noted that coordination is needed regarding the abutting AMAFCA facility (the Octopus Pond) and that a license or agreement

may be required. The existing AMAFCA easement needs to be shown on the site plan. Agency comments begin on p. 34 of this report.

***Neighborhood/Public***

Notification requirements are found in Table 6-6-1 and are further explained in 14-16-6-4(K), Public Notice. The affected neighborhood organization is the Westside Coalition of Neighborhoods, which the applicant notified as required. The applicant also notified property owners within 100-feet of the subject site as required (see attachments). A pre-submittal neighborhood meeting was neither requested nor held.

The large-lot subdivision west of the subject site and in the unincorporated County, which has existed since the 1960s, has residents who are members of the Skyview Neighborhood Association (NA). A couple of members saw the yellow sign and became aware of the request, although the yellow sign was not posted at the time of the site visit (May 7, 2021). After the case was deferred to the June hearing, the applicant ensured that the yellow signs were posted to meet the posting requirement of at least 15 days prior to the hearing date.

Staff received a phone call from a NA representative, who expressed concern about traffic generated by the proposed project, that queuing could extend into the street, the potential for cut-through traffic into the neighborhood, noise from outdoor speakers, and trash collecting in the Octopus pond detention area and possibly blowing into the neighborhood.

Staff received written comments from four residents of the subdivision (see attachments), who echoed these concerns. One neighbor requests mitigation of noise and a wall to mitigate trash blowing into the neighborhood. The other mentions additional concerns regarding light pollution and impacts to wildlife, and provides a detailed explanation of how the traffic pattern would cut-through the area. This neighbor would like the project to be deferred in order to meet with the applicant in a post-submittal facilitated meeting. They are not opposed to the development per se, but would like it to be respectful of the nearby environment.

Staff received a letter from the President and Treasurer of the Skyview NA (see attachment). They point out that traffic is busy at all times of the day, and traffic is one of their major concerns- especially since the other coffee-drive thru locations have traffic and safety issue due to queuing. They are also concerned about impacts from lighting and speakers, and request mitigation of these and a wall to contain any trash generated. They would like more trees to help mitigate the development and are concerned about the future cell tower site at the northern end of the subject site.

**V. CONCLUSION**

This request for a Major Amendment to a controlling site development plan, with design standards, would result in its replacement with the proposed site plan and IDO regulations. The subject site is zoned NR-BP (Non-Residential Business Park zone), which allows a wide variety of commercial uses permissively.

The applicant proposes to develop a 950 sf coffee drive-thru (Phase I) and an approximately

3,350 sf drive-thru restaurant (Phase II) The Site-Plan-EPC criteria apply. A Traffic Impact Study (TIS) would be required when the Phase II restaurant comes through the process.

Staff reviewed the proposed site plan using IDO requirements and does not find major conflicts. Instances of non-compliance and lack of clarity, as well as mitigation, can be addressed through implementation of conditions of approval. The request will also be reviewed by the Development Review Board (DRB) for infrastructure issues and for creation of the two lots through a minor subdivision action.

The applicant notified the affected neighborhood organization, the Westside Coalition, and property owners within 100 feet of the subject site as required. The established subdivision to the northeast is in the County; residents are members of the Skyview NA. They are concerned about queuing, traffic, cut-through traffic, and impacts of trash, noise, light, on them and the nearby environment. They would like a facilitated meeting to learn more about the project and discuss mitigation possibilities.

Staff recommends deferral of a month to allow the desired meeting to occur. Should the applicant disagree with the deferral idea and/or if the EPC decides not grant the deferral, Staff will provide alternative findings and conditions of approval.

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***FINDINGS –SI-2021-05301, June 17, 2021-Site Plan-EPC, Major Amendment***

1. The request is for a Major Amendment to an existing site development plan for an approximately 2-acre site, legally described as Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition and addressed as 3615 NM528 (the “subject site”).
2. The subject site is located north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW, and across the street from the Cottonwood Employment Center, in an Area of Consistency. NM State Hwy 528/Alameda Rd., a Regional Principal Arterial and designated Commuter Corridor, abuts the subject site to the west.
3. The applicant proposes to re-develop the subject site with two restaurants with drive-thru facilities. Phase I includes a 950 sf coffee drive-thru and Phase II includes a 3,350 sf restaurant with a drive-thru. The office building that occupied the subject site was recently demolished.
4. The subject site is zoned NR-BP [Non-Residential Business Park Zone District, IDO 14-16-2-5(B)]. Zoning prior to adoption of the Integrated Development Ordinance (IDO) was SU-1 for IP Uses (Special Use Zone for Industrial Park uses); the subject site was part of the larger Seven Bar Sector Development Plan area. Restaurant is a permissive use in the NR-BP zone district; applicable use-specific standards are found in IDO 14-16-4-3(D)(8). A drive-through or drive-up facility is an accessory use in NR-BP; applicable use-specific standards are found in IDO 14-16-4-3(F)(4).
5. The request exceeds the thresholds for a Minor Amendment and is being considered pursuant to IDO Section 14-16-6-4(Y)(1)(b)1, which states that Major Amendments shall be reviewed by the original decision-making body. The EPC approved the controlling site development plan in 2017, prior to effective date of the IDO. Pursuant to IDO Section 14-6-4(P)(2), the decision-making body may impose conditions necessary to bring the application into compliance with IDO requirements.
6. The request covers the same geographic boundaries as the controlling site development plan and would replace it with a new Site Plan-EPC. The request would subsequently go to the Development Review Board (DRB) for a minor subdivision action to create the two lots and to address infrastructure issues.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(H)(3) as follows:
  - A. 6-6(H)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.



As demonstrated by the policy analysis, overall the request is generally consistent with applicable Comprehensive Plan Goals and policies despite some instances of conflict. Conditions of approval can be applied to address the inconsistencies to the greatest extent possible.

- B. 6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not zoned NR-SU or PD. The controlling site plan (2017) contains design standards (special regulations). As part of the request the applicant is asking to be allowed to develop the subject site pursuant to the IDO and not according to the design standards- which would be vacated if the request is approved.

- C. 6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With implementation of conditions of approval, the site plan will comply with applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM), particularly those pertaining to transportation and grading and drainage.

- D. 6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems have sufficient capacity to serve a proposed development.

- E. 6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The future, proposed development will be required to comply with the decisions of two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not adversely impact the surrounding area.

- F. 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Not applicable. The subject site is not a part of a Master Development Plan.

- G. 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Not applicable. The subject site is not in a designated Railroad and Spur Area.

9. The request is generally consistent with the following, applicable Comprehensive Plan Goals and policies from Chapter 5- Land Use:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency, where growth is intended to reinforce the character and intensity of the surrounding area. The area is developed with mostly commercial uses, but also has some office, multi-family, and a large-lot County subdivision nearby. The request would facilitate development generally compatible with the intensity of other development along the Commuter Corridor, which includes fast-food, restaurants and retail of various sizes (including big-box). However, the future development would be less intense than the uses to the west, which is consistent with the subject site's location north of a small-scale office building and west of the large-lot subdivision.

- B. Policy 5.1.12-Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

Subpolicy c: Support traffic flow by limiting new curb cuts, encouraging shared access of driveways and business access roads, or providing access from perpendicular local roads.

The request would facilitate auto-oriented development along a designated commuter corridor- NM 528/Alameda Blvd., which is a high-volume traffic route for people going to and from Rio Rancho. Development of auto-oriented uses, such as the future restaurants with drive-thru facilities, is generally intended along such corridors. Access to the subject site is via two, existing driveways; new curb cuts are not proposed.

- C. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate re-development of a site already served by existing infrastructure and public facilities, thereby maximizing the utility of both. Using infrastructure and land

this way generally supports the public good because it is more efficient than adding infrastructure and/or developing land on the urban fringe.

- D. Policy 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an already-developed area that has existing infrastructure and public facilities and the request would support additional growth.

- E. Policy 5.4.2- West Side Jobs: Foster employment opportunities on the West Side.

The future development of two small, restaurant uses would help foster some employment opportunities on the Westside.

10. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 5- Land Use:

- A. Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

The subject site is in a commercial area and across the street from a designated Employment Center. The future development of two small, restaurant uses would bring some service jobs to the Westside, in though it would not create balance by encouraging residential growth near employment that is already there. The request is partially consistent with Goal 5.4- Jobs-Housing Balance.

- B. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of the designated Employment Center to the west, but is along a designated Commuter Corridor (NM 528). Development in Areas of Consistency is intended to be compatible with surrounding uses in terms of scale, location, and character. Surrounding uses include a wide variety of sizes and scales of commercial retail, a small office building, a multi-family use, and a large-lot County subdivision. The request would be generally consistent with the character of the uses around it, although it would create a concentration of drive-thru uses in a relatively small area and could affect the established neighborhood. The request is partially consistent with Policy 5.6.3-Areas of Consistency.

11. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 6- Transportation:

- A. Policy 6.2.3- Pedestrian & Bicycle Connectivity: Provide direct pedestrian and bicycle access to and circulation within Centers, commercial properties, community facilities, and residential neighborhoods.

The subject site is a commercial property. Direct pedestrian and bicycle access is provided via connection to the established sidewalk, and pathways help facilitate non-vehicular circulation and safety. However, this is only available from the NM 528 side of the property. Bicycle and pedestrian access from the west is difficult due to lack of safe crossings of NM 528/Alameda, and there is no connection to facilitate non-vehicular travel from the residential uses to the east. The request is partially consistent with Policy 6.2.3- Pedestrian & Bicycle Connectivity.

- B. Policy 6.2.8 Auto Network: Prioritize automobile travel on Commuter Corridors and balance it with other travel modes on other streets.

The request would result in development of two drive-thru uses, which are auto-oriented by definition and would prioritize automobile travel along this designated Commuter Corridor. However, there would be no balancing of the request with other travel modes on other streets. The request is partially consistent with Policy 6.2.8- Auto Network.

- C. Subpolicy a: Provide continuous, safe, and convenient vehicular circulation to achieve and maintain smooth traffic flow at steady, moderate speeds.

The request would generally provide continuous and convenient vehicular circulation, though it is possible that traffic flow and speeds could be impacted by the introduction of two, new auto-oriented uses in an area that already has many. The request is partially consistent with Subpolicy a.

- D. Subpolicy b: On Commuter Corridors and other auto-oriented arterials, provide convenient access to auto-oriented uses, minimize conflicts with pedestrians and cyclists, and provide safe and convenient pedestrian crossings.

The request would provide convenient access to the future auto-oriented uses from the west, but not from the east. The proposed pathways and pedestrian crossings of contrasting material would be generally safe and convenient from the west, but not the east. The request is partially consistent with Subpolicy b.

12. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 7- Urban Design:

- A. Goal 7.3- Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request is generally designed to be similar to the context to the west, which is a wide variety of chain commercial uses, but is different than the context to the south (Territorial style office building) and to the east (residential uses). The request is partially consistent with Goal 7.3- Sense of Place.

- B. Subpolicy 5.2.1h: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request would result in infill development that would add another drive-thru use to an area that already has many, so therefore it would not be complementary. The form and scale would be generally compatible with surrounding development. The request is partially consistent with Subpolicy h.

13. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 8- Economic Development:

- A. Policy 8.1.2- Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

In a limited way, the request would encourage economic development efforts and generally contribute to a more robust and diverse economy. A new service in the area could have a positive impact, but the resulting potential for increased traffic and noise in an already busy area could adversely affect existing residents. The request is partially consistent with Policy 8.1.2- Resilient Economy.

- B. Subpolicy 8.1.2c: Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The request would result in some job creation and would constitute general support for a development project that would hire local residents. Again, it would be on a limited scale due to the subject site's small size. The request is partially consistent with Subpolicy c.

14. The request is generally inconsistent with the following, applicable Comprehensive Plan Goals and policies:

- A. Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would provide additional restaurant options in the area, though their drive-thru nature would generally not facilitate creation of healthy and sustainable communities because such uses promote automobiles- not walking or bicycling. The area is characterized by various chain retail uses and is not distinct in that regard; however, the neighborhood to the east has existed since the 1960s and is distinct. The future uses would be conveniently accessible from NM 528, but not from the residential uses to the east due to the lack of vehicular and pedestrian access. The request is generally inconsistent with Policy 5.2.1-Land Uses.

- B. Subpolicy 5.2.1a: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would result in redevelopment of the subject site. For the reasons above, the request is generally inconsistent with Subpolicy a.

- C. Goal 6.2- Multi-Modal System: Encourage walking, biking, and transit, especially at peak-hour commuting times, to enhance access and mobility for people of all ages and abilities.

The addition of more drive-thru uses, which are auto-oriented by nature, along a Commuter Corridor would generally discourage walking, biking, and transit usage. Though the on-site pedestrian connections are compliant and would hopefully facilitate walking to and within this destination, peak-hour commuting times already have high traffic volume that complicates the use of alternative transportation and generally complicates mobility. The request is inconsistent with Goal 6.2- Multi-Modal System.

- D. Goal 7.4- Context Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.

The parking facility (lot) is designed to provide three times the amount of required parking (24 spaces provided, 8 required) for a use that does not have sit-down service. The excess parking is shown in the location of a stand of mature trees, which would be removed. This generally does not match the development context to the east or to the south and is not context-sensitive to most of the area. The request is inconsistent with Goal 7.4-Context Sensitive Parking.

- E. Policy 7.4.1-Parking Strategies: Provide parking options, optimize parking efficiencies, and plan for parking as essential infrastructure and Subpolicy 7.4.1b: Encourage shared parking.

The subject site is approximately 2 acres, so isn't really large enough to include planning parking as essential infrastructure or to provide various parking options. The request does not optimize parking efficiencies because Phase I is so over parked. Since two tracts would be created, with separate owners, they may or may not want to share parking and the lots are designed to be far from each other. The request is inconsistent with Policy 7.4.1 and Subpolicy b.

- F. Subpolicy 7.4.3b: Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.

The request is inconsistent with Subpolicy b regarding off-street parking design because it would remove established trees and replace them with parking in excess of the requirement, and would use impervious surfacing. Additional trees in the proposed buffers would benefit the site.

15. The registered neighborhood organization is the Westside Coalition of Neighborhoods, which the applicant notified as required. The applicant also notified property owners within 100-feet of the subject site's boundaries as required. The Skyview Neighborhood Association, which is in unincorporated Bernalillo County, was not on the list from the Office of Neighborhood Coordination (ONC) and was not required to be notified. Yellow signs were posted as required more than 15 days prior to the June 17 hearing date.

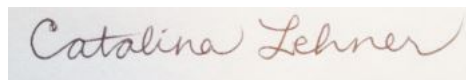


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16. Staff received a phone call and written comments from four residents of the subdivision northeast of the subject site. Neighbors are concerned about new traffic generated, queuing extending into the street, cumulative impacts, cut-through traffic into the neighborhood, noise from outdoor speakers, and trash collecting in the detention area and possibly blowing into the neighborhood. Neighbors would like the request to be deferred so they can have a post-submittal facilitated meeting, obtain details about the project, and discuss mitigation possibilities.

***RECOMMENDATION - SI-2021-005301, June 17, 2021***

**DEFERRAL of Project #2021-005301, Case #SI-2021-00452, a Major Amendment to a controlling site development plan, for an approximately 2 acre site, located on NM 528/Alameda, north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW (3615 NM 528), zoned NR-BP, for a month to the July 15, 2021 EPC hearing based on the preceding Findings.**

---



***Catalina Lehner, AICP***  
***Senior Planner***

***Notice of Decision CC list:***

Tierra West LLC, [rb@tierrawestllc.com](mailto:rb@tierrawestllc.com)  
Westside Coalition of NAs, Harry Hendriksen, [hlhen@comcast.com](mailto:hlhen@comcast.com)  
Westside Coalition of NAs, Rene Horvath, [aboard111@gmail.com](mailto:aboard111@gmail.com)  
Kevin Morrow, [kmorrow@cabq.gov](mailto:kmorrow@cabq.gov)

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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Enforcement***

#### ***Long Range Planning***

### ***CITY ENGINEER***

#### ***Transportation Development Services***

- A combination of the two restaurants shall require a Traffic Impact Study. Any infrastructure that would be required as part of the study shall be placed onto an infrastructure list.
- A shared access agreement shall be established between the lots.
- 6-foot public sidewalk on Alameda Boulevard is required along the frontage of the property.
- Provide all sidewalk widths on plan. A 6-foot ADA pathway shall be established from the main building to the right-of-way and from the handicapped spots to the main building.
- Use keyed notes to call out all curb ramps on the plans. Provide curb, curb ramp, and sidewalk details. The sidewalk detail shall indicate a 2% maximum cross-slope.
- Call out curb on the plan, and call out all curb radii. A minimum 6" to 8" high curb is required for separation between parking and sidewalk or landscaped islands.
- The bike rack for the Dutch Brothers shall not obstruct the ADA pathway. Provide dimensioning for the bicycle spaces and adjacent pathway to make sure this will work.
- Label "No Parking" at the back of the van accessible aisles, and dimension all van accessible aisles on the site plan.

#### ***Hydrology Development***

#### ***New Mexico Department of Transportation (NMDOT)***

NMDOT does not have any comments at this time.

### ***DEPARTMENT OF MUNICIPAL DEVELOPMENT (DMD)***

#### ***Transportation Planning***

No Comments

#### ***Traffic Engineering Operations (Department of Municipal Development)***

#### ***Street Maintenance (Department of Municipal Development)***

***ABC WATER UTILITY AUTHORITY (ABCWUA)***

1. Availability Statement #200927 exists for this property. It is dated 10/21/2020 and is valid for one year from issuance.
  - a. The availability statement indicated a coffee shop as well as a future building. The DRB submittal indicated a coffee shop, as well as a cell tower and future commercial development. The submitted plat shows the coffee shop on proposed Tract 1 and the proposed cell tower and future commercial development proposed Tract 2.
  - b. The request for availability statement indicated the required fire flow was 1,500 gpm and it is assumed this is for the coffee shop. Development on proposed Tract 2 will require its own availability statement.
2. A utility plan has been submitted by the agent for preliminary review and comment.
  - a. The availability statement suggests utilizing the existing sanitary sewer service. The adjacent sewer main is an 18" Abestos Concrete and is generally unsuitable for routine direct connection. Each proposed lot shall have separate private sanitary sewer services.
  - b. Indicate if the existing water services are to be used. Per the availability statement, any unused water services and/or fire lines shall be removed. An infrastructure list will be required to include the removal of these unused water services and/or fire lines.
  - c. It appears private easements may be needed to service the Dutch Brothers parcel from the existing water and sewer main. Please field verify the location of existing private water and/or private sanitary sewer services to determine if private service easements are needed to preserve the existing service(s) for the newly created lots. The width of the private service easement shall be determined by the engineer or surveyor.

***ENVIRONMENTAL HEALTH DEPARTMENT***

***Air Quality Division***

***Environmental Services Division***

***PARKS AND RECREATION***

***Planning and Design-*** Reviewed, no comments.

***Open Space Division***

***City Forester***

***POLICE DEPARTMENT/Planning***

Regarding the above referenced EPC case, I respectfully submit the following comments:

- Ensure adequate lighting throughout the project.
- Ensure natural surveillance and clear lines of sight throughout the project. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the building(s) to the street and parking lot(s) and the street and parking lot(s) to the building(s).

- Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.
- Limit and clearly delineate access to the property; i.e. Deliveries, Employee Parking, Customer Parking.
- Provide signage that clearly directs customers to the appropriate entrance(s).
- Ensure controlled access to the building through use of adequate door and lock systems.
- Control access between customer areas and employee only areas.
- Consider video surveillance systems to monitor building entrances, including entrance and exit points, parking lots, and any sensitive areas such as cash handling and/or storage areas.
- Ensure that addresses are posted and clearly visible.
- Create a clear transition from public to semi-public to semi-private to private space throughout the project.
- Install *No Trespassing* signs that cite the City Ordinance so that they are visible immediately upon entering the property.

If you have any questions regarding these CPTED recommendations, please call me at 768-2006. I am also available to do an on-site security survey after the project is complete.

***SOLID WASTE MANAGEMENT DEPARTMENT***

No comments at this time.

***FIRE DEPARTMENT/Planning***

***TRANSIT DEPARTMENT***

The subject site is proximate to the Alameda Commuter Corridor. Not on a route. ABQ RIDE service in the Cottonwood area basically ends at Alameda and Ellison. The best access to transit is represented by the Northwest Transit Center at Coors Bypass and Ellison Road, approximately 3300 feet west-southwest from the site requiring a crossing of Alameda without benefit of a pedestrian crossing. Land uses are not conducive to transit service. No Comment.

***COMMENTS FROM OTHER AGENCIES***

***BERNALILLO COUNTY***

No adverse comment to major amendment to site plan. BCPWD suggests providing onsite pedestrian access to the neighborhoods that connect to Calle Cuervo NW.

For information purposes: Although the project is very close to Bernalillo County road, Cielo Vista del Norte, the project site plan does not show vehicular access to Calle Cuervo NW.



***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY***

Storm water drainage connection to the AMAFCA Facility (Octopus Pond) will require coordination with AMAFCA. A License Agreement or Turnkey Agreement may be required.

The existing AMAFCA drainage easement needs to be shown on the site plan. Any improvements within that Easement will require coordination with AMAFCA and License Agreement.

***ALBUQUERQUE PUBLIC SCHOOLS***

No adverse impacts.

***MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)***

MRMPO has no adverse comments. For informational purposes:

- NM HWY 528 is functionally classified as an Existing Principal Arterial in the project area.
- A proposed bicycle lane is identified in the Long Range Bikeway System on NM HWY 528 in the project area.
- NM HWY 528 is an Intelligent Transportation System (ITS) Corridor. Please consult the reviewing agency's Traffic Engineering and/or ITS Department with any questions regarding ITS infrastructure.

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

There are existing, underground PNM facilities within the site along the northwest side. Any relocation or alteration of existing PNM facilities is at the property owner's expense.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding this proposed project. Submit a service application at [www.pnm.com/erequest](http://www.pnm.com/erequest) for PNM to review.





**Figure 1:** Looking north at the Phase I area while standing on the subject site.

**Figure 2:** Looking south, at an office building, while standing on the Phase II part of the subject site.



**Figure 3:** Looking east while standing on the subject site towards Calle Cuervo Rd. and the apartments.



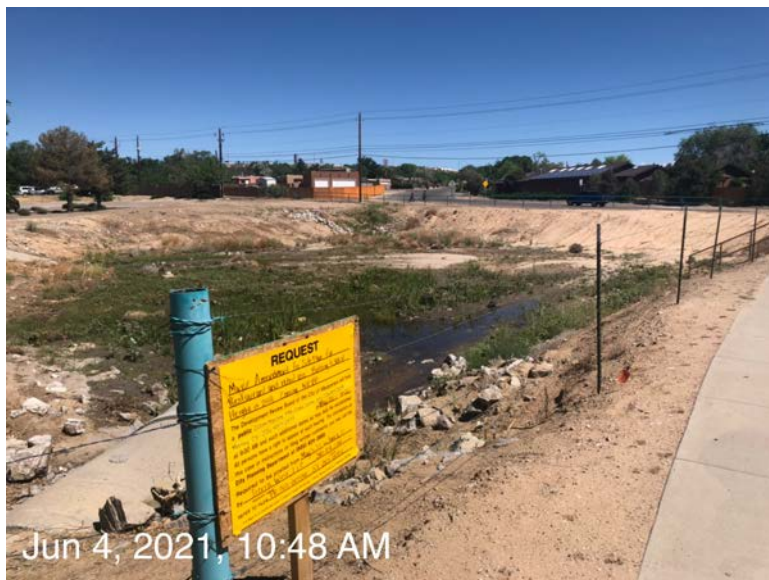


Figure 4: Looking west at NM 528/ Alameda Rd. while standing on the subject site.

Figure 5: Looking NW where the Phase I area entrance would be, while standing on the subject site.



Figure 6: Looking north at the detention pond, while standing on the tip of the subject site.



## HISTORY

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

May 21, 2021

Western Hills Investments LLC  
PO Box 45688  
Rio Rancho, NM 87114

Project #2021-005301  
SI-2021-00452—Major Amendment Site Plan-EPC

### LEGAL DESCRIPTION:

Tierra West, agent for Western Hills Investments LLC, requests the above action for Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition, zoned NR-BP, located north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW, at 3615 NM 528 NW, approximately 2.0 acres (A-14)  
Staff Planner: Catalina Lehner

On May 20, 2021, the Environmental Planning Commission (EPC) voted to DEFER Project # 2021-005301/SI-2021-00452, a Major Amendment to a Site Plan-EPC, for one month to the June 17, 2021 public hearing. Pursuant to IDO 14-16-6-4(N)(5)(a), written findings in support of a deferral decision are not required.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **June 4, 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

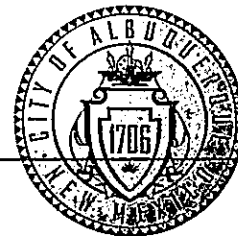
for Brennon Williams  
Planning Director

BW/CL

cc: Tierra West LLC, [rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)  
Westside Coalition of NAs, Harry Hendriksen, [hlhen@comcast.com](mailto:hlhen@comcast.com)  
Westside Coalition of NAs, Rene Horvath, [aboard111@gmail.com](mailto:aboard111@gmail.com)  
Legal, [kmorrow@cabq.gov](mailto:kmorrow@cabq.gov)  
EPC file



# CITY OF ALBUQUERQUE



## PLANNING DEPARTMENT

### URBAN DESIGN & DEVELOPMENT DIVISION

600 2nd Street NW, 3rd Floor, 87102

P.O. Box 1293, Albuquerque, NM 87103

Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

March 10, 2017

66 Architect LLC  
Attn: Clint Wilsey  
2041 S. Plaza St. NW  
Albuquerque, NM 87104

**Project #1010999**  
16EPC-40079 Site Development Plan for Building Permit

### LEGAL DESCRIPTION:

The above action for Lot C-4-A, Seven Bar Ranch, zoned SU-1 for IP Uses, located on Highway 528, between Ellison Dr. NW and Cottonwood Dr. NW, containing approximately 2 acres. (A-14)  
Staff Planner: Maggie Gould

On March 9, 2017 the Environmental Planning Commission (EPC) voted to APPROVE Project 1010999/16EPC-40079, a Site Development Plan for Building Permit, based on the following findings:

### FINDINGS:

Albuquerque

NM 87103

www.cabq.gov

1. This is a request for a Site Development Plan for Building Permit for Tract C-4-A -1, Seven Bar Ranch located on NM Highway 528, between Ellison Dr. NW and Calle Cuervo Rd. NW and containing approximately 1.2 acres.
2. The applicant is proposing to demolish the existing 20,000 square foot vacant building on the subject site and build a 3,898 square foot restaurant with drive up service window.
3. The subject site is zoned SU-1 for IP Uses. The proposed use is permissive under the existing zoning designation for the subject site.
4. Staff was unable to locate any historical site development plan information for the existing 20,000 square foot, two-story vacant building within the Planning Department archives.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Seven Bar Ranch Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is located within the Seven Bar Ranch Neighborhood Center and Seven Bar Regional Center as designated by the West Side Strategic Plan.

## OFFICIAL NOTICE OF DECISION

Project #1010999

March 9, 2017

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7. The Seven Bar Ranch Neighborhood Center is intended to contain most retail needs of the residents of the eastern portion of the Seven Bar Community.
8. The Seven Bar Regional Center is intended to serve as a major employment center, and contain a significant amount of commercial services, professional services and employment. Anticipated Seven Bar Regional Center regional uses include: Regional retail, services, higher density housing, and public / institutional.
9. The request furthers the Established Urban Area goal of the Comprehensive Plan:
  - A. Goal of the Established Urban Area is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

The request furthers the Established Urban Area goal because it will contribute to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community. This Established Urban Area goal is also re-stated within the Planning Policies and Goals section on page 4 of the Seven Bar Ranch Sector Development Plan.

- B. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action generally furthers Policy II.B.5.d. because the site is located adjacent to similarly zoned lots developed with similar uses. The site is not directly adjacent to residential development and the site design does not direct traffic into those areas. The proposed use will increase traffic to the area, but is allowed under the existing zoning.

- C. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers Policy II.B.5.e. because the subject site is contiguous to existing urban facilities and services. The integrity of existing neighborhoods will be ensured because the subject site is not directly adjacent to residential development and proposed Site Development Plan for Building Permit is required to adhere to the EPC approved design standards contained within Place Site Development Plan for Subdivision.



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Project #1010999

March 9, 2017

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- D. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers Policy II.B.5.i. because the applicant is proposing a new commercial use for the subject site. The subject site is located adjacent to other commercial /industrial zoned lots which are configured to complement nearby residential areas. The site is not directly adjacent to residential development, but is close enough to provide opportunities for employment and service.

10. The request furthers the following West Side Strategic Plan policies:

- A. Policy 3.1: The Cottonwood Mall area shall be designated as the West Side's Regional Center. The boundaries of the Regional Center are shown on page 33. Development appropriate to a Regional Center, including the largest commercial and highest density development of anywhere on the West Side, shall occur in this location.
- B. Policy 3.3: Development of the Regional Center shall be inclusive of mixed-uses, and multi-modal transportation systems. Connections to transit systems and bicycle/pedestrian linkages must be provided with all new development. The City will continue discussion regarding location of a transit center within the Regional Center.

The request furthers WSSP Policies 3.1 and 3.3 because the proposed commercial service and retail uses are appropriate to a Regional and Neighborhood Center as defined by the WSSP. The proposed uses are also intended to serve the retail needs of the residents of the eastern portion of the Seven Bar Community. The subject site is also located near a transit route (Bus Route 98 – Wyoming Commuter).

11. The request furthers the following Seven Bar Ranch Sector Development plan sections and goals:
- A. Location and Setting: "The Sector Plan [Seven Bar Ranch SDP] is the northwestern hub of the transportation network mesa and should consequently serve as an area of relatively intense land use providing services to the less intense development areas which surround it".
- B. Goal A2: "The goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment."

The request furthers the intent of the SBRSDP by proposing commercial service and retail uses that are appropriate to the sector development plan area that will serve the lower intensity residentially developed parcels surrounding the subject site. The request also furthers

OFFICIAL NOTICE OF DECISION

Project #1010999

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SBRSDP Goal A2 by seeking to implement the Established Urban Area goal of contributing to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community.

12. The Westside Coalition of Neighborhood Associations as well as property owners within 100 feet of the subject site were all notified of this request as required.
13. Planning Staff received a phone call regarding the requested action from a neighboring property owner. The owner was not opposed to the project, but was opposed to granting any kind of shared access easement to the site. A facilitated meeting was not recommended or held, and there is no known opposition to this request.
14. The applicant is encouraged to dedicate parking spaces for drive up customers waiting for orders to ensure that the queueing of the drive thru does not impede site access.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant will demonstrate that the existing trees along Alameda Boulevard meet the street tree ordinance or will add trees to meet these requirements. The required trees may be clustered or spaced to protect the existing trees. The landscape plan will show existing trees.
4. City Engineer Conditions of Approval:
  1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

OFFICIAL NOTICE OF DECISION

Project #1010999

March 9, 2017

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2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
  2. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
  3. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
  4. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
  5. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.
  6. Identify all existing access easements, driveway widths and radii. Some dimensions are missing.
  7. ADA truncated domes (detectable warning surfaces) should be adjacent to vehicular pathways at the end of ADA access ramps.
5. Public Service Company of New Mexico Conditions of Approval:
1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
  2. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

OFFICIAL NOTICE OF DECISION

Project #1010999

March 9, 2017

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6. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
7. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
8. Prior to final DRB sign off for Site Development plan for Building Permit all easements and maintenance agreements will be addressed.
9. Keyed Note 10 will be removed unless a shared access easement is recorded prior to DRB sign off.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MARCH 24, 2017**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

**SITE DEVELOPMENT PLANS:** Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

OFFICIAL NOTICE OF DECISION

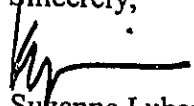
Project #1010999

March 9, 2017

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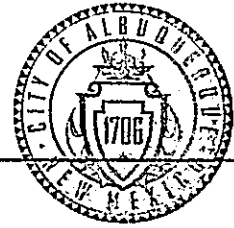
Sincerely,

  
Suzanne Lubar  
Planning Director

SL/MG

cc: 66 Architect LLC, Attn: Clint Wilsey, 2041 S. Plaza St. NW, ABQ, NM 87104  
Westside Coalition of NAs, Harry Hendriksen, 10592 Rio Del Sole Ct. NW, ABQ, New Mexico 87114  
Westside Coalition of NAs, Rene Horvath, 5515 Palomino Dr. NW, ABQ, New Mexico 87120

# CITY OF ALBUQUERQUE



## PLANNING DEPARTMENT

### URBAN DESIGN & DEVELOPMENT DIVISION

600 2nd Street NW, 3rd Floor, 87102

P.O. Box 1293, Albuquerque, NM 87103

Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

October 14, 2016

66 Architect, LLC  
Clint Wilsey  
2041 S. Plaza St. NW  
ABQ, NM 87104

Project# 1010999  
16EPC-40050 Site Development Plan for Subdivision

### LEGAL DESCRIPTION:

The above action for all or a portion of Tract C-4-A, Plat of Tracts C3A, C3B, C3C and C4A, Seven Bar Ranch, zoned SU-1 for IP Uses, located on NM Highway 528, between Ellison Dr. NW, and Cabezón Rd. NW, containing approximately 2 acres.

(A-14) Staff Planner: Vicente Quevedo

PO Box 1293

On October 13, 2016 the Environmental Planning Commission (EPC) voted to APPROVE Project #1010999/16EPC-40050, a Site Development Plan for Subdivision, based on the following findings and Albuquerque subject to the following conditions:

### FINDINGS:

NM 87103

1. This is a request for a Site Development Plan for Subdivision for Tract C-4-A, Plat of Tracts C3A, C3B, C3C and C4A, Seven Bar Ranch located on NM Highway 528, between Ellison Dr. NW and Calle Cuervo Rd. NW and containing approximately 2 acres.
2. The applicant is proposing to demolish the existing 20,000 square foot vacant building on the subject site, subdivide the property into two lots and redevelop the subject site for retail and restaurant uses.
3. The subject site is zoned SU-1 for IP Uses. The applicant states that future tenants on the subject site will include recognizable national and local chain restaurant and retail businesses. The proposed uses are permissive under the existing zoning designation for the subject site.
4. Staff was unable to locate any historical site development plan information for the existing 20,000 square foot, two-story vacant building within the Planning Department archives.

www.cabq.gov

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5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Seven Bar Ranch Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is located within the Seven Bar Ranch Neighborhood Center and Seven Bar Regional Center as designated by the West Side Strategic Plan.
7. The Seven Bar Ranch Neighborhood Center is intended to contain most retail needs of the residents of the eastern portion of the Seven Bar Community.
8. The Seven Bar Regional Center is intended to serve as a major employment center, and contain a significant amount of commercial services, professional services and employment. Anticipated Seven Bar Regional Center regional uses include: Regional retail, services, higher density housing, and public / institutional.
9. The request furthers the Established Urban Area goal of the Comprehensive Plan:
  - A. Goal of the Established Urban Area is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

The request furthers the Established Urban Area goal because it will contribute to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community. This Established Urban Area goal is also re-stated within the Planning Policies and Goals section on page 4 of the Seven Bar Ranch Sector Development Plan.
10. The request furthers the following West Side Strategic Plan policies:
  - A. Policy 3.1: The Cottonwood Mall area shall be designated as the West Side's Regional Center. The boundaries of the Regional Center are shown on page 33. Development appropriate to a Regional Center, including the largest commercial and highest density development of anywhere on the West Side, shall occur in this location.
  - B. Policy 3.3: Development of the Regional Center shall be inclusive of mixed-uses, and multi-modal transportation systems. Connections to transit systems and bicycle/pedestrian linkages must be provided with all new development. The City will continue discussion regarding location of a transit center within the Regional Center.

The request furthers WSSP Policies 3.1 and 3.3 because the proposed commercial service and retail uses are appropriate to a Regional and Neighborhood Center as defined by the WSSP. The proposed uses are also intended to serve the retail needs of the residents of the eastern portion of

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the Seven Bar Community. The subject site is also located near a transit route (Bus Route 98 – Wyoming Commuter).

11. The request furthers the following Seven Bar Ranch Sector Development plan sections and goals:

- A. Location and Setting: “The Sector Plan [Seven Bar Ranch SDP] is the northwestern hub of the transportation network mcsa and should consequently serve as an area of relatively intense land use providing services to the less intense development areas which surround it”.
- B. Goal A2: “The goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.”

The request furthers the intent of the SBRSDP by proposing commercial service and retail uses that are appropriate to the sector development plan area that will serve the lower intensity residentially developed parcels surrounding the subject site. The request also furthers SBRSDP Goal A2 by seeking to implement the Established Urban Area goal of contributing to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community.

12. The applicant has included design standards as part of the Site Development Plan for Subdivision plan set.

13. The applicant is requesting delegation of future Site Development Plans for Building Permit to the Development Review Board (DRB) for final sign-off.

14. The EPC has complete discretion over whether DRB delegation will be approved.

15. Design standards must be clear and provide sufficient direction with regard to the design and pad site layout for future requests for Site Development Plans for Building Permit.

16. The proposed design guidelines do not warrant delegation to DRB as they do not provide sufficient design and pad site layout for future requests for Site Development Plans for Building Permit.

17. The Westside Coalition of Neighborhood Associations as well as property owners within 100 feet of the subject site were all notified of this request as required.

18. Planning Staff has not received any correspondence or phone calls regarding the requested action. A facilitated meeting was not recommended or held, and there is no known opposition to this request.



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19. The Planning Department received agency comments from the New Mexico Department of Transportation (NMDOT) stating that the section of NM HWY 528 adjacent to the subject site became part of the City of Albuquerque's roadway network in 2011. NM DOT also stated that their office does not have any permit paperwork regarding the existing shared driveways on the subject site.

## CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. All future Site Development Plans for Building Permit will be subject to approval by the EPC.
4. The zoning designation listed in the Site Data Section on Sheet A-1 currently reads "SU-1 / IP", and shall be amended to read "SU-1 for IP Uses".
5. The Design Guidelines on Sheet A-2 shall be amended according to the following:
  - a. All citations / referenced sections of the Zoning Code contained within the Design Standards must include the title / descriptor of that Zoning Code section.
  - b. Section V.h. (Walls, Fences & Screening) currently reads "The use of razor ribbon, razor wire, barbed wire, chain link fencing.....", and shall be amended to read "The use of razor ribbon, razor wire, barbed wire, chain link fencing.....".
  - c. Section IX.a. (Signage) currently reads "Signage shall comply with Section 12-16-3-5.....", and shall be amended to read "All signage on the subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25) (Industrial Park Zone). Per these requirements, one free-standing sign is permitted for each street frontage, or joint sign premises, which has at least 200 feet of street frontage. This would allow a single, 26' foot high, 100 square foot sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Highway 528 may be used as building mounted signage area."

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6. City Engineer Conditions of Approval:

- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

7. Public Service Company of New Mexico Conditions of Approval:

1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Mike Moyer  
PNM Service Center  
4201 Edith Boulevard NE  
Albuquerque, NM 87107  
Phone: (505) 241-3697

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

8. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
9. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
10. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
11. A cross-access and parking agreement shall be recorded prior to the recording of the plat.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by October 28, 2016. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

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October 13, 2016

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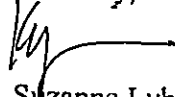
For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

  
for Suzanne Lubar  
Planning Director

SL/VQ

cc: 66 Architect, LLC, Clint Wilsey, 2041 S. Plaza St. NW, ABQ, NM 87104  
Harry Hendriksen, Westside Coalition of NA's, 10592 Rio Del Sole Ct NW, ABQ, NM 87114-2701  
Rene Horvath, Westside Coalition of NA's, 5515 Palomino Dr. NW, ABQ, NM 87120



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CITY COUNCIL  
June 22, 1981  
AS-79-28, Z-79-146  
AC-81-7

PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 12-4-80 (CONTINUED)

The applicant is requesting Master Plan, annexation and zoning approval. The area will be annexed in two phases. Phase One encompasses the area not presently utilized by the airport. Phase Two will be submitted for annexation whenever the airport is phased out. At this stage the request is for Master Plan approval for the entire 1118 acres; annexation and establishment of SU-1 zoning for Phase I with the following breakdown of uses:

Residential	431 acres at a density of 3.4 to 7.2 du/ac.
Commercial	50 acres Major Commercial Center and 10 acres Speciality Commercial
Employment/Office Park	42 acres
Hospital	8 acres
Town Center	6 acres
TOTAL	739 acres

Not included in this acreage are the rights-of-way for Coors Road, Corrales Road and SR 528.

With the exception of the Speciality Commercial Use, Town Center, Hospital and most of the Employment/Office sites, all proposed uses in accordance with this Master Plan have been approved by the County Planning Commission. The 50 acre Major Commercial Center has also been approved by the County Commission subject to approval of a detailed development plan.

Master Plan:

The Master Plan was prepared at the request of staff. It reflects and incorporates recommendations made by City staff and City Council. Except for certain details, the Plan could readily be expanded to comply with the proposed Sector Development Plan Manual. The Northwest Mesa Guide Plan suggests that a Sector Development Plan be prepared for this area even though it is not within the Developing Urban Area. It is staff's understanding that the applicant is willing to prepare a Sector Plan prior to approval of detailed SU-1 development plans.

Road Network:

The by-pass road or future principal arterial as shown on the Plan serves as the major separator between residential and non-residential uses. The loop road, which includes a bikeway, connects four neighborhood parks and greenbelt corridor. As noted, the precise configuration and design of the principal arterial intersections with Coors Road, SR 528 will be determined after more detailed traffic and circulation analysis. Transportation Department states that functional classifications and proposed rights-of-way be identified and that the intersection of Seven Bar By-Pass with N.M. 528 provide right-of-way for future implementation of major channelization and/or other traffic control features. Also, that continuation of a bikeway on Corrales Road and north of N.M. 528 be shown. Coors Road drainage and design frontage uses must comply with Coors Corridor Study now in process of development.

Drainage:

Drainage plans are inadequate as submitted. Plans in accordance with Sector Development Plan Manual will address this matter.

Land Use:

Proposed residential uses and densities (average gross density of 3.4-7.2 du/ac) are in accordance with established Urban Area designation (3-9 du/ac). Lower density residential is adjacent to similarly platted Paradise Hills and Las Calabacillas Arroyo with medium (7-12 du/ac) to high density (13-25 du/ac) adjacent to the principal arterial. The Town Center proposed for community or social uses such as library, police station, etc. is appropriately situated. The hospital site is situated adjacent to compatible office uses. The 50 acre major commercial center reflects conceptual plans previously approved by Bernalillo County and is in conformance with the Northwest Mesa Guide Plan.

The need for 206 acres of Employment/Office Park use has not been justified. The major portion of this use or 164 acres is included in the Phase II annexation. Assuming development of a Sector Plan which can require that market trends and anticipated market areas be analyzed, such justification could be provided. A portion of Tract V has been approved and is presently developed with office uses. Staff has no objection to the proposed uses for Tracts U and V totaling 27 acres. Consideration of Tract U, north of the Shopping Center, for Employment/Office Park is questionable in light of the need to buffer properties to the north. The Shopping Center Site Plan should be reviewed prior to establishment of any specific zoning in this area. It is uncertain at this time what amount of land might be required for a future drainage channel, roadway and buffer. A somewhat similar statement can also be made for the 10 acre Speciality Commercial use on the east side of Corrales Road. These areas could be zoned RA-2 as a holding zone at least until the Shopping Center Site Plan is finalized.

FINDINGS:

1. Taylor Ranch and Eagle Ranch annexation requests have been withdrawn by the applicant and therefore cannot be considered at this time.
2. Approval of the Seven Bar Ranch Master Plan is requested plus annexation and establishment of SU-1 zoning for uses in accordance with Phase I of the Master Plan.
3. Tracts A thru J proposed for residential use have been approved by the County Planning Commission.



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CITY COUNCIL  
June 22, 1981  
AX-79-28, Z-79-146  
AC-81-7

PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 12-4-80 (CONTINUED)

FINDINGS:

4. Tract T has been approved by the Board of County Commissioners for a 50 acre Shopping Center subject to approval of a detailed site development plan. A portion of Tract T has also been approved and developed with office uses.
5. Proposed gross residential densities of 3.4 to 7.2 du/ac are in accordance with Established Urban Area densities outlined in the Metropolitan Centers and Urban Areas Plan.
6. Appropriateness and/or justification for 206 acres of Employment/Office Park uses has not been provided.
7. Establishment of Employment/Office Park zoning and Speciality Commercial zoning for Tracts U and S should be deferred until the Shopping Center Plan is reviewed. A low density residential zone such as RA-2 should be considered.
8. Additional detailed studies of drainage, traffic and market analysis should be submitted in accordance with the Sector Development Plan Manual.

RECOMMENDATIONS:

- A. CONCEPTUAL APPROVAL OF THE MASTER PLAN IS RECOMMENDED.
- B. ANNEXATION AND ESTABLISHMENT OF SU-1 ZONING FOR EACH USE AS SHOWN IN PHASE I IS RECOMMENDED, EXCEPT FOR TRACTS U AND S WHICH ARE RECOMMENDED FOR RA-2 ZONING.
- C. SUBMITTAL OF A SECTOR DEVELOPMENT PLAN APPLICATION IN ACCORDANCE WITH THE SECTOR DEVELOPMENT PLANNING MANUAL PRIOR TO SUBMITTAL OF ANY SU-1 DEVELOPMENT PLAN IS RECOMMENDED.

ENVIRONMENTAL PLANNING COMMISSION ACTION, 12-4-80:

The Environmental Planning Commission deferred this request indefinitely.

COMMENTS FROM OTHER DEPARTMENTS, 4-16-81:

Water Resources  
ANAFCA  
City Engineer

"See attached memo."  
"See attached memo."  
"Complete drainage study has not been formally submitted for review and approval. It is essential that the study encompass treatments of existing drainage courses existing and future drainage structures under Coors Boulevard, discharge of runoff unto lands east of Coors Boulevard, and internal site drainage. Specified drainage improvements must be included in the development of the parcels of land."  
"Arterial and collector streets must conform with the Long Range Major Street Plan."  
"All collector, minor and principle arterial streets must conform to the latest major street plan which the UTPPB is currently considering."  
"No adverse comments. Subject to detailed drainage plan."  
"Defer pending adoption of the Northwest Mesa Guide Plan. Drainage problems -- no clear definition of how it will be taken care of."  
"See Human Services."

Transportation  
Traffic Engineer

Environmental Health  
Human Services

Neighborhood Coordination

ADDITIONAL PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 4-16-81:

Attached are the following documents and/or correspondence submitted by the applicant and others since the last hearing on December 4, 1980. They are self-explanatory and have been submitted in response to issues and funding discussed at previous hearings of the Environmental Planning Commission or City Council.

- A. Revised Master Plan
- B. Rationale for proposed Employment/Office Park Land
- C. Traffic Characteristics at Seven Bar Ranch
- D. Seven-Bar Ranch Water and Sewer Services
- E. Northwest Mesa Arterial System Network Evaluation (Oral presentation of system limited to Seven-Bar to be presented by COG)
- F. Adcock Study-Fiscal Impact of Annexation of Eagle Ranch, Seven-Bar, and Intel site (with addendum for Seven-Bar only)
- G. Council Bill H-4, Memorial setting forth policies for the Planning and Development of land in the vicinity of the intersection of NM 528 and Coors Road N.W. (with comment from ANAFCA)



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CITY COUNCIL  
June 22, 1981  
AZ-79-28, Z-79-146  
AC-81-7

ADDITIONAL PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 4-16-81 (CONTINUED):

The following findings and recommendations were presented by staff at the December 4, 1980 hearings:

1. Taylor Ranch and Eagle Ranch annexation requests have been withdrawn by the applicant and therefore cannot be considered at this time.
2. Approval of the Seven Bar Ranch Master Plan is requested plus annexation and establishment of SU-1 zoning for uses in accordance with Phase I of the Master Plan.
3. Tracts A thru J proposed for residential use have been approved by the County Planning Commission.
4. Tract T has been approved by the Board of County Commissioners for a 50 acre Shopping Center subject to approval of a detailed site development plan. A portion of Tract V has also been approved and developed with office uses.
5. Proposed gross residential densities of 3.4 to 7.2 du/ac are in accordance with Established Urban Area densities outlined in the Metropolitan Centers and Urban Areas Plan.
6. Appropriateness and/or justification for 206 acres of Employment/Office Park uses has not been provided.
7. Establishment of Employment/Office Park zoning and Speciality Commercial zoning for Tracts U and S should be deferred until the Shopping Center Plan is reviewed. A low density residential zoned such as RA-2 should be considered.
8. Additional detailed studies of drainage, traffic and market analysis should be submitted in accordance with the Sector Development Plan Manual.

RECOMMENDATION:

- A. CONCEPTUAL APPROVAL OF THE MASTER PLAN IS RECOMMENDED.
- B. ANNEXATION AND ESTABLISHMENT OF SU-1 ZONING FOR EACH USE AS SHOWN IN PHASE I IS RECOMMENDED, EXCEPT FOR TRACTS U AND S WHICH ARE RECOMMENDED FOR RA-2 ZONING.
- C. SUBMITTAL OF A SECTOR DEVELOPMENT PLAN APPLICATION IN ACCORDANCE WITH THE SECTOR DEVELOPMENT PLANNING MANUAL PRIOR TO SUBMITTAL OF ANY SU-1 DEVELOPMENT PLAN IS RECOMMENDED.

Based on the revised Master Plan, West Mesa Guide Plan and Council Bill No. M-4; some of these findings should be modified as underlined:

4. Council Bill No. M-4 adopted the following policy: "A. Retailing shall be confined to (1) a regional shopping center site of not more than 50 acres, in addition to but separate from existing neighborhood center located generally north of the intersection of New Mexico Route 528 and Coors Road N.W.; (2) the already approved 13 acres west of the intersection of New Mexico Route 528 and Coors Road N.W. and 1.4 acres south of the intersection; and (3) very small amounts of retailing which may appropriately be integrated into residential and employment/office complexes to service people living or working immediately in the vicinity."
6. "B. Appropriate areas may be planned for employment/office park, but the nearly 200 acres shown on the proposed area master plan seem excessive; and should not be approved unless the applicant makes a convincing showing that there is a market for so much office land in this vicinity and that such a magnitude of office development will not unduly burden transportation and other public systems." Number of acres has been reduced from 206 acres to 164 acres. Only 21 acres are included in the Phase I annexation.
7. The Employment/Office Park zone for Tract U has been replaced with SU-1 (Special Use for Planned Residential Development Area) with no specific land use noted. Council Bill M-4 recommends that tract S be developed with "one story development consisting of offices and restaurants (but no drive-up windows or drive-in restaurants)."
8. Master drainage plan must be prepared to include: (a) dedication of required drainage easements within the subject area, (b) firm right-of-way dedication for Calabacillas Arroyo, Cabezon channel; necessary outfalls east of Coors Road and provision for construction of required culverts on Coors Road. Traffic analysis of the Arterial System Network for this area to be presented by Council of Governments. Market analysis to be presented with submittal of the Regional Shopping Center Site Plan and at submissio of Phase II annexation for the Employment/Office Park.
9. The required annexation agreement must be prepared prior to submittal to City Council.

RECOMMENDATION:

1. Approval of Phase I of the Seven-Bar Ranch Master Plan and conceptual approval of Phase II as shown on Page 11 of the revised Master Plan.
2. Annexation of Phase I encompassing approximately 745 acres plus existing rights-of-way for State Road 528 from the Coors/Corrales intersection northwesterly to the Bernalillo County/Sandoval County lines, Corrales Road from the Coors/Corrales intersection southeasterly to the Corrales acequia and Coors Road from the Coors/Montano intersection northwest to Cabezon Road.
3. Establishment of SU-1 zoning for each parcel in Phase I of the revised Master Plan with the condition that Tract S be developed in accordance with Council Bill No. M-4.
4. No site development plans to be considered until provisions are made for dedication of required drainage easements, public rights-of-way for roads and/or utilities on or off the Master Plan area.



ENVIRONMENTAL PLANNING COMMISSION ACTION, 4-16-81: Loken, Barker, Sutton, Sanchez, Smith, Martin, Gregory, Wolfe and Burleson)

COMMISSIONER MARTIN AND COMMISSIONER SANCHEZ ABSTAINED DUE TO CONFLICTS OF INTEREST. COMMISSIONER BARKER STATED THAT HE HAD A POSSIBLE CONFLICT OF INTEREST AND REQUESTED THAT THE CHAIRMAN DETERMINE WHETHER OR NOT HE SHOULD ABSTAIN FROM DISCUSSION AND VOTING ON THIS MATTER. IT WAS THE UNANIMOUS OPINION OF THE COMMISSION THAT COMMISSIONER BARKER PARTICIPATE IN DISCUSSION AND VOTING ON THIS ISSUE.

Persons Speaking in Favor of the Request: John Salazar, applicant, presented the history of the request and stated that the request had been deferred several times in order to resolve several issues. These issues are:

1. The question of a River Crossing needed to be resolved and has been.
2. A by-pass has been incorporated into the plan to resolve questions of heavy traffic congestion.
3. The question of utilities has been resolved as New Mexico Utilities has indicated that they can provide water and sewer service to the site. The City Annexation Policy was reviewed and amended.
4. The revenue expense considerations was dealt with by the Adcock Study which concluded that on balance this project would be a net benefit to the City in terms of economic considerations.
5. A new master plan has been prepared in order to deal with concerns that had been raised, including the revisions that were made to show the area that was not being annexed at this time in order to show what was going to happen to this area once it had been annexed.
6. The Northwest Mesa Guide Plan has been adopted and enacted by the City Council. Also, Council Memorial M-4 has been adopted dealing with commercial development at the northwest corner of Coors and Corrales.

Steve Ross, PDR Planning Firm, presented the overview of the Master Plan and the land uses. He addressed several issues that have been resolved:

1. The roadway network that this plan includes has evolved in response to a variety of regional issues, specifically the issue of congestion at the intersection of Coors and Highway 528, the River Crossing Study, and also the circulation studies that have been carried out this past year.
2. In reference to the concerns regarding the amount of office/employment park acreage proposed, this number has been reduced from 207 acres to 164 acres at this point. This development is scheduled for Phase II, and is not proposed for annexation and zoning at this time.
3. The By-Pass or Relief Route connects Highway 528 on the north to Coors Road on the east will relieve many of the traffic concerns, including the concerns regarding the office development. There was a drainage plan submitted three years ago, however, it will be amended to relate in detail to the revised master plan. AMAFCA submitted a letter expressing support of the drainage plan as it now stands.
4. In reference to the question of water and sewer, Paul Noland, Water Resources Department, submitted a letter indicating the willingness of the City of Albuquerque Water Resources Department to authorize New Mexico Utilities Co. to provide water and sewer services to this project, until such time that it is reasonable and feasible for the City of Albuquerque to take over these facilities.
5. In reference to the commercial development at the corner of Highway 528 and Coors Road, the adoption of Memorial M-4 has provided a framework that is a basis for an appropriate and thoughtful approach for development of commercial acreage at that intersection. M-4 places a number of responsibilities on the developer relative to quality development, to views, access and traffic. The developer is committed to living up to those responsibilities.

Kelly Carpenter, Bohannon-Huston, presented the traffic analysis. She presented the following points relating to traffic:

1. West Side Boulevard would be built at the far north end of the project, which is designated as a minor arterial on the Long Range Major Street Plan.
2. Traffic will be able to move from Ellison Road out to Golf Course Road if they have north bound or south bound destinations.
3. In addition, traffic from the north and the south side internal to the development will be able to use Ellison Road to exit out to Golf Course and come down south and connect up with other east-west streets and eventually out to Coors or Jaser. Some traffic will gravitate to the intersection of 528 and Coors, however, if they have a southbound or westbound or northbound destination, they will not necessarily travel through this intersection.



ENVIRONMENTAL PLANNING COMMISSION ACTION, 4-16-81 (CONTINUED)

Herb Denish, agent, stated that he had been working exclusively on the water and sewer issues of the master plan. Mr. Denish introduced Paul Roland, Director of Water Resources Department, who reiterated that the Water Resources Department was cooperating with New Mexico Utilities Co. in order to provide water and sewer to Seven Bar Ranch.

Speaking in Opposition to the Request: Mayor Dunlap, Corrales; Lewis Hopkins, Baja Corrales Representative on the Coors Corridor Study Team; Jay Monkford, Baja Corrales Community Association; Pat McClernon, Star Route Box 1191, Corrales; Bill Tappen; Stanley Handmaker, President of the Viva Corrales Citizens Committee; Lee Peifer, agent for Viva Corrales; Bill Bramin, Alban Hills Neighborhood Association presented the following concerns:

1. The Village of Corrales has been consistently in opposition to the size and location of the shopping center. However, their opposition has evolved to include opposition to the entire development due to its intensity and size and therefore, the traffic impacts on the area.
2. Mayor Dunlap quoted the COG Traffic Study for this area, and summarized that the impact of the Seven Bar Development would mean that the Coors/528 Intersection would have a traffic volume equal to today's traffic on I-25, I-40, Louisiana or Menaul.
3. The applicant's argument that people will live and work in this area, is not valid because the experience of other cities is that this does not happen in reality.
4. The developer should be bonded in the amount of \$5,000,000 as a condition of annexation, to insure that Memorial 4 is implemented.
5. Another concern of the Village is the question of Fire Fighting services. Presently the area is served by the Corrales Valley Independent Fire District and the New Mexico Utilities Company. The present shopping center is served by only one fire hydrant. It is possible that the utility system will run dry if there is pumping from two hydrants. If the Village of Corrales is called upon to provide mutual aid in case of fire, they should be compensated for this service.
6. Coors Road should be designed so that it can be expanded if and when required to a full scale freeway, including frontage roads, interchanges, etc.
7. There should be a grade separation crossing at Ellison and Highway 528, as within the past year there have been 6 fatalities at this intersection, mostly high school students.
8. It is inappropriate to place intense commercial zoning, i.e. the shopping center, next to A-2 zoning, which is one dwelling unit for every two acres. This is not a consistent planning principle.
9. The purpose of annexation is to control growth. However, since there are two communities that border each other, the question becomes one of boundary decisions. The simpler boundary would lessen the overlap of jurisdiction.
10. Public enemy number one is urban sprawl. It is inconsistent for the City Planning Division to support the annexation of this property, when it has in the past supported urban infill.
11. This annexation is premature. If this shopping center is not developed for whatever reason, it will present considerable risks in amortizing the debt on the extension of the water and sewer to service the residential development which has already been committed.
12. This area was downzoned to A-2. The concern of the Planning Commission at that time was that this area was worthy of protection.
13. The main issue is consistency and the reliance of the public on a public body's remaining consistent.
14. There is a dispute on the question of whether the proposed site for the shopping center is designated on the Comprehensive Plan as rural and open or as Established Urban. There are several references that contradict each other on the designation for this area.
15. It is true that the City Annexation Policies have been amended. However, it is not true that these amendments eliminated the need for contiguity. The latest Annexation policies is divided into two sections. One deals with land that is designated Rural and Open in the Comprehensive Plan. (The opponents are in litigation at this time to determine whether or not this area is in fact designated as Rural and Open and believe that the decision will be in their favor.) If it is, the latest City Annexation Policy still requires that land in those area of a 10% contiguity to the City.
16. Even if it is determined that the area is Established Urban, then the Annexation Policy states that the land must be contiguous to "some extent." The word "contiguous" means adjacency and relationship. In a number of courts cases, it has been stated that when land to be annexed is connected to existing municipalities only by narrow strips of land that it is not contiguous.



ENVIRONMENTAL PLANNING COMMISSION ACTION, 4-16-87 (CONTINUED)

17. It is inappropriate and extraordinary for the Commission to approve such a large area for SU-1 zoning. The applicant should be required to submit a detailed sector plan establishing zoning and densities.
18. Alban Hills Residents are opposed to annexation to the City of Albuquerque and are concerned that approval of the annexation of Seven Bar Ranch will make it feasible for the City to do so.

In Rebuttal to the above points of Opposition: Mr. Salazar summarized the position of the applicant as follows:

1. Mr. Salazar introduced several Exhibits for the record, a Base Master Plan and the overlay, an aerial map and a sketch of the landscape buffer. The landscape buffer would be placed between the shopping center and the Village of Corrales and would be made up of 200 feet of landscaped parking area, the buffer itself which is 100 feet with landscaping, the Skyview Channel, with a 10' berm of landscaping, all required by Memorial 4 from City Council. Therefore, the Center will be invisible to anybody just north of Cabelon Road.
2. The suggestion of a Bond of \$5,000,000 is a totally unreasonable suggestion. The Black Family has struggled to be sensitive to its neighbors in this development in all aspects, visual, noise, traffic, etc. It is unreasonable for the applicant of the particular request to be required to solve the regional problems. Why should the Black Family be required to solve the problems created by the growth of Rio Rancho?
3. In regards to the question of fire protection, New Mexico Utilities is furnishing the water for this development. If the area is short of water at this time, then new lines will be placed in the area. Whatever needs to be done to handle this concern will be done.
4. The traffic studies have shown that the shopping center is not the culprit with regard to the traffic problem. The shopping center peak for traffic is different from the peak going to and from work.
5. The question of development of a freeway is possibly a legitimate consideration that should be addressed. It is a regional consideration that should be addressed in a different form at a different time.
6. The bulk of the development of the Office/Employment uses is proposed for Phase II and the concerns dealing with this should be addressed at that time.
7. In terms to the comments regarding the location of the shopping center, it is clear from the deliberations by the City Council that this body felt that the northwest corner was the most appropriate location for the center.

Also, in regards to the Northwest Mesa Plan, it was determined that this corner would be the best location for a shopping center due to the fact that it was the intersection of two highways. It is more logical to place the shopping center where the people are, then it is to move people to shopping centers.

Commission Concerns:

1. There is concern regarding the Employment/Office Park densities and potential traffic generation and should be given tentative approval only.
2. The traffic problems that will be created by the shopping center and the entire development are not insurmountable problems given the proper attention.
3. Because of Council Bill Memorial 4, the shopping center is no longer an issue. The Council has given some specific guidelines and also designated the area and the size.
4. There is concern regarding the amount of land that is designated for Special Use zoning. There should be some zoning designation that would be appropriate to assign to this area.
5. There is concern that because the plan has been revised so completely that a new drainage plan will be required.
6. Section 5 should be not be annexed at this time.
7. The buffer zone between the residential area and the shopping center should be provided on site. The 300' buffer zone is more than is provided in many other places throughout the City.
8. Leap-frog annexations are a serious deterrent to the in-fill policy. However, this plan is appropriate, especially considering the mandate of M-4, the location of the industry, etc.
9. The developer is applauded for striving to make this community a self-sufficient community, in terms of providing jobs, commercial areas, as well as residential areas.
10. The Commission's approach to the problem has been one of dealing and coping with the problems as they are presenting themselves, rather than not annexing and dealing with the problems five years from now. This area should be fitted into the urban fabric and systems at this time.
11. The traffic situation and its impact will occur whether or not this area is annexed, therefore, and it would be more appropriate to bring the area under City auspices and deal with these problems.

LTR/STMT

STMT



CITY COUNCIL  
June 22, 1981  
AX-79-28, Z-79-146  
AC-81-7

ENVIRONMENTAL PLANNING COMMISSION ACTION, 4-15-81 (CONTINUED):

FINDINGS:

1. This Master Plan provides a chance to do some significant master planning around a major employer and a designated Urban Center within the Comprehensive Plan in accordance with the Coors Corridor Study.
2. The Plan is extremely sensitive to open space and those kind of linkages and connections.
3. The parcel zoned "S" would have to be developed in accordance with Council Bill M-4, which puts additional restrictions on that parcel.
4. The office park area that is in the Master Plan, but not in the annexation, received conceptual approval only, and within a minimum period of five years that conceptual approval of zoning shall be re-evaluated to determine if that use is appropriate.
5. The possibility of providing a linkage for a bicycle route to Westside Boulevard from the existing bicycle linkage shall be investigated.
6. Annexation of Phase I encompassing approximately 745 acres plus existing rights-of-way for State Road 528 from the Coors/Corrales Intersection northwesterly to the Bernalillo County/Sandoval County line, Corrales Road from the Coors/Corrales Intersection southeasterly to the Corrales acequia and Coors Road from the Coors/Montano Intersection northwest to Cabezon Road.
7. No site developments plans shall be considered until provisions are made for dedication of required drainage easements, public rights-of-way for roads and/or utilities on or off the Master Plan area.

THEREFORE, BE IT RESOLVED that the Environmental Planning Commission recommend to City Council the conceptual approval of the Master Plan as presented, approval of AX-79-28, Z-79-146 annexation simultaneous establishment of SU-1 (Special Use for Planned Development Areas to include Commercial, Residential, Industrial, Office and Institutional Uses) subject to the above Findings.

Moved by Commissioner Barker  
Seconded by Commissioner Sutton

Motion Carried 7-0  
(Commissioners Martin and Sanchez  
abstained.)

ADDITIONAL COMMENTS FROM THE PLANNING DIVISION TO THE CITY COUNCIL, 6-22-81:

This is a recommendation from the Environmental Planning Commission to the City Council for annexation and establishment of zoning for Phase I of the "Seven Bar Ranch" Master Plan. The original application was submitted by the owners of 100 percent of the land totalling approximately 745 acres. City Staff expanded the request to include existing public rights-of-way adjacent to and extending from the present City of Albuquerque Municipal Limits at Montano/Coors Boulevard Intersection.

The City's Annexation Policies and applicable state laws have been compiled with and the zoning recommended by the Environmental Planning Commission has been approved in accordance with the Comprehensive City Zoning Code. The recommendation conforms to the City of Albuquerque/Bernalillo County Comprehensive Plan.

An appeal has been filed in opposition to both the annexation and zoning recommended by the Environmental Planning Commission. The appellants claim to live or be in close proximity to the area in question and/or otherwise interested in the matter. Staff recognizes that the annexation cannot be appealed but that the zoning could be appealed because in effect adoption of or establishment of the zoning constitutes a zone map amendment. Staff has therefore elected to respond to the reasons for the appeal even though as stated previously some of the reasons relate to the annexation and not to zoning. At the request of Staff, the applicant has responded to the reasons for appeal. Attached are Mr. John P. Salazar's, agent for the applicant, response to the appeal. Staff has reviewed the responses and concurs with them, with the exception of Reason for Appeal #7. It is staff's opinion that the appellant is referring to Section 32 of the Comprehensive City Zoning Code which deals with SU-3 Special Center Zone intended for Urban Center. The code defines an urban center as follows: "Urban Center means a concentration of activities and/or densities, the location of which is designated by the Metropolitan Areas and Urban Centers map of the Albuquerque/Bernalillo County Comprehensive Plan". The area in question is not designated as an urban center, and therefore, the suggested SU-3 zone would not be appropriate. This question or suggestion has been discussed previously during the Environmental Planning Commission's hearings and it was determined by both the Commission and staff that the Master Plan as proposed by the applicant and all the data submitted to date and/or required under the recommended SU-1 designation will in fact be more stringent and/or detailed than would be required under SU-3 zoning.



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THIS MICROIMAGE IS  
REPRODUCTION DUE TO  
OF THE ORIGINAL DOC

64

CITY COUNCIL  
June 22, 1981  
AX-79-23, Z-79-146  
AC-81-7

ADDITIONAL COMMENTS FROM THE PLANING DIVISION TO THE CITY COUNCIL, 6-22-81:

In conclusion, the case record of minutes of the hearing and the Environmental Planning Commission's deliberations, findings, motions, and conditions are clear, unambiguous and adequate. All adopted City plans, policies, and ordinances have been properly interpreted and followed. Staff recommended approval of the request and the Environmental Planning Commission concurred unanimously.

There was no incorrect or misleading information presented by the applicant or staff at the hearings.

The appeal was filed on May 1, 1981, and in accordance with the Zoning Code it must be heard within 60 days of the filing. This case will be heard by the City Council on June 22, 1981, and therefore within the 60 days.

A copy of the verbatim minutes for the hearings of January 24, 1980, February 28, 1980, and April 3, 1980, will be available in the City Council Office.

RECOMMENDATION: APPROVAL OF THE ANNEXATION AND THE DECISION OF THE ENVIRONMENTAL PLANNING COMMISSION BE UPHOLD.

*Robert F. Miller*  
VERN HAGEN  
City Planner

VH:GM:eam

- cc: Corrales Center Partnership, 10071 Coors Road, N.M.; 87114  
John P. Salazar, P. O. Box 1888; 87103  
Spartan Enterprises, 9721 Coors Road, N.M.; 87114  
W. D. Brannin, 3304 El Malecon Road, N.M.; 87120  
The Honorable Ann Dunlap, P. O. Box 707, Corrales, NM; 87048  
Kay E. Zaika, 5216 Territorial Road, N.M.; 87120  
Dr. Stanley Handmaker, P. O. Box 1013, Corrales, NM; 87048  
K. Lee Peifer, 20 First Plaza, Suite 212; 87102



NOTICE OF PUBLIC HEARING

CITY COUNCIL

TO ALL CITIZENS AND PARTIES IN INTEREST:

Notice is hereby given that the City Council will hold a public hearing in the City Council Chambers, First Floor, City Hall, 400 Marquette, N.W., at 5:30 p.m. on Monday, June 22, 1981, for the purpose of considering the following:

AX-79-28      The Environmental Planning Commission recommends approval of the  
Z-79-146      annexation and simultaneous establishment of SU-1 (Special Use  
for Planned Development Areas to include Commercial,  
Residential, Industrial, Office and Institutional Uses) zoning  
for approximately 745 acres of land referred to as "Seven Bar  
Ranch," to include the existing rights-of-way for State Road 528  
from the Coors/Corrales intersection northwesterly to the  
Bernalillo County/Sandoval County line, Corrales Road from the  
Coors/Corrales intersection southeasterly to the Corrales  
acequia and Coors Road from the Coors/Montano Intersection  
northwest to Cabezon Road. (A-13 & 14, B-13 & 14, C-13, D-12,  
and E-12) The original request was submitted by John P.  
Salazar, agent for Corrales Center Partnership, et. al.

AC-81-7      K. Lee Peifer, agent for Dr. Stanley Handmaker, appeals the  
AX-79-28      Environmental Planning Commission's approval of the establishment  
Z-79-146      of SU-1 (Special Use for Planned Development Areas to include  
Commercial, Residential, Industrial, Office and Institutional  
Uses) zoning for approximately 745 acres of land referred to as  
"Seven Bar Ranch".

For further information, contact the Planning Division of the Municipal  
Development Department, Room 601, 400 Marquette, N.W., City Hall.

MARION COTTRELL, President  
City Council

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL ON MONDAY, JUNE 8, 1981 AND MONDAY,  
JUNE 15, 1981.

LTR/STMT



## ZONING

Please refer to IDO Section 14-16-2-5(B) for the NR-BP Zone District

## APPLICANT INFORMATION





Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: Western Hills Investments LLC		Phone:
Address: PO Box 45688		Email:
City: Rio Rancho	State: NM	Zip: 87114
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park PI NE		Email: Inoriega@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List all owners:	

**BRIEF DESCRIPTION OF REQUEST**

Major Amendment to Site Plan -EPC

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101406615023620114
Zone Atlas Page(s): A-14-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 2	Total Area of Site (acres): 1.99

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 3615 Hwy 528	Between: Calle Cuervo NW	and: Hwy 528
-----------------------------------	--------------------------	--------------

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

1010999

Signature:	Date: 3/31/2021
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

**FORM P1: SITE PLAN – EPC**

*Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.*

- ☐ SITE PLAN – EPC  
☐ MASTER DEVELOPMENT PLAN  
☒ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN  
☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Signed Traffic Impact Study (TIS) Form

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable

☒ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(6)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter and proof of first class mailing

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

☒ Completed Site Plan Checklist

☒ Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)

*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")

☒ Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☐ **VARIANCE – EPC**

— In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

*I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.*

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name: Ronald R. Bohannon

☐ Applicant or ☒ Agent

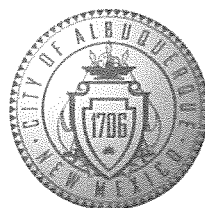
**FOR OFFICIAL USE ONLY**

Case Numbers:

Project Number:

Staff Signature: \_\_\_\_\_

Date: \_\_\_\_\_



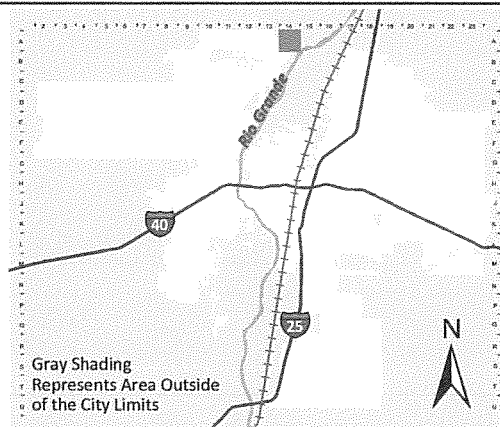


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**A-14-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet

March 8, 2021

Ms. Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **EPC SUBMITTALS**  
**3615 HWY 528, ALBUQUERQUE NM**  
**TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A**  
**SEVEN BAR LOOP**  
**ZONE ATLAS PAGE: A-14-Z**

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Western Hills Investments LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

JULIAN S. GARZA

Print Name

Julian Sgarza

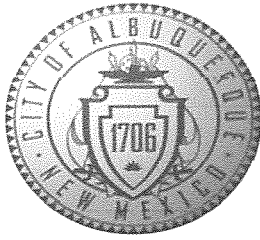
Signature

MANAGING Director

Title

3/09/2021

Date



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** Dutch Brother NM528 Building Permit #: - Hydrology File #: A14D019

Zone Atlas Page: A-14-A DRB#: - EPC#: - Work Order#: -

Legal Description: TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9900 AC M/L OR 86,684 SQ FT M/L

City Address: GH3615 HWY 528 ALBUQUERQUE NM 87114

**Applicant:** Tierra West LLC Contact: Luis Noriega

Address: 5571 Midway Park Pl NE, Albuquerque NM

Phone#: 505-858-3100 Fax#: - E-mail: lnoriega@tierrawestllc.com

### Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP

Project Type: New: ( YES ) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses: New Dutch Brothers Coffee – Coffee Shop with Drive Thru Facility

Days and Hours of Operation (if known): Every Day From 5 AM – 11 PM

### Facility

Building Size (sq. ft.): 950 sf

Number of Residential Units: N/A

Number of Commercial Units: 1

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* 740

Expected Number of Employees (if known):\* 4-5

Expected Number of Delivery Trucks/Buses per Day (if known):\* 1

Trip Generations during PM/AM Peak Hour (if known):\* Am Total Enter/Exit = 93 Vehicles - Pm Total Enter/Exit = 36 Vehicles

Driveway(s) Located on: NM 528 / Alameda Blvd

Adjacent Roadway(s) Posted Speed: 

Street Name	<u>NM 528 / Alameda Blvd</u>	Posted Speed	<u>40 MPH</u>
-------------	------------------------------	--------------	---------------

Street Name	Posted Speed
<u>-</u>	<u>-</u>

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

### Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: ADT (2018) - 27,900 Volume-to-Capacity Ratio:                       
(if applicable)

Adjacent Transit Service(s): Not Next to Site Nearest Transit Stop(s):                     

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Proposed Bike Lane  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: No Sidewalk in front of site

### Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒ Borderline [ ]

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS:                      Previously Studied: [ ]

Notes: A TIS is not required for this development. When the remaining pad site is developed a TIS will be required incorporating the traffic of this development.

M. P. E.

2/1/2021

TRAFFIC ENGINEER

DATE

### Submittal



# TIERRA WEST, LLC

April 1, 2021

Mr. Tim MacEachen, Chair  
Environmental Planning Committee  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**RE: MAJOR SITE PLAN AMENDMENT- EPC  
NM 528 AND ELLISON, 3615 HWY 528, ALB, NM  
TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C  
AND C4A SEVEN BAR LOOP  
ZONE ATLAS PAGE- A-14-Z**

Dear Chair MacEachen:

Tierra West LLC, on behalf of Western Hills Investments LLC, requests approval of a Major Site Plan Amendment to the previously approved EPC Site Development Plan (SDP) dated October 13, 2016 project #101099/16epc-40050 at the above referenced site. The property is located at 3615 Hwy 528 Albuquerque, NM. The property is currently zoned non-residential-business park (NR-BP).

## Site Location & History

The site is located on the east side of State Highway 528 NW and southwest of Ellison Rd NW and consists of approximately 1.99 acres. The Site is bordered on the north by a Mister Car Wash, to the south commercial offices, and on the west Cottonwood Corners. The current zoning of NR-BP is designated to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts from surrounding uses and adjacent areas.

## Context

As described on the design standards set forth by the previously approved SDP, we believe the proposed development(s) are intended to meet or exceed the requirements of the City of Albuquerque Zoning Code and Sector Development plan. The approved SDP was approved before the Intergrated Development Ordinance (IDO) was adopted. The site was previously zoned SU-1 for IP Use and is located within the Repealed Seven Bar Ranch Sector Development Plan (R-17-213). The subject site previously contained a 20,000 square foot office building which has now been demolished. The new site development plan proposes a new Dutch Brothers Coffee, a future restaurant and a future monopole cell tower. The site will be subdivided into two lots with recognizable restaurant and or retail uses. The proposed site development reduces the building square footage from 20,000 square feet to 4,300 square feet. The subject site is currently zoned NR-BP, the proposed uses are still permissive under the new zoning ordinance.

Building heights will meet the requirements set forth the approved SDP plan which specify the requirements of the City of Albuquerque's Comprehensive Zoning Code (Sect. 14-16-2-11(C)). Future buildings will not exceed 26 feet. Setbacks will meet the requirements of the City of Albuquerque's Comprehensive Zoning Code (Sect. 14-16-2-11(e)). For SU-1 Zoning

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tierrawestllc.com



the code refers to R-2 Zoning requirements. Setbacks for front yard will be 15 feet minimum, side yard setback will be 5 feet minimum and rear yard setbacks will be 15 feet minimum. The height of the proposed Dutch Brothers Coffee building is 24 feet and, as shown on the attached site plan, the setback requirements are satisfied.

**Notice to Associations and Neighboring Property Owners**

Property owners within 100 feet and the affected neighborhood association/s, Westside Coalition of Neighborhood Associations, were all notified as required.

**Traffic Impact and On-Site Parking**

All existing access will remain as shown on the previous site development plan. The proposed site plan access into the site will primarily be from Alameda Blvd (NM 528). There are two existing driveways which will be utilized for the new development. As stated on the approved SDP, the developer will be responsible for any permanent improvements to the transportation facilities adjacent to the site as required, as well as the recording of any required cross access and parking agreements. Parking aisles along property lines will include landscape buffers in order for the parking lots to be screened from surrounding neighbors as stated in the previously approved SDP. Cross access and parking will be encouraged for a connected business park. Off-street parking areas, including parking space size, drive aisle widths, pedestrian walkways and screening will comply with current City of Albuquerque's standards, which are intended to exceed the requirements of the old Comprehensive Zoning Code. All parking areas will include a 6 foot wide minimum pedestrian connection to all buildings. Bicycle and motorcycle parking spaces will also comply with current City standards.

Dutch Bros Coffee will not alter commuter traffic patterns but will capture the pass-by trips already going past the site. The existing infrastructure will be sufficient to serve Dutch Bros Coffee. After a discussion with Jeanne Wolfenbarger and Matthew Grush (See attached TSF), with the City of Albuquerque, it was determined that a traffic study for Dutch Bros is not necessary but will be required with the development of the second pad. That traffic study is being scoped and will be started with the platting action.

**Drainage and Landscaping**

The Grading and drainage design will comply with the latest standards of the Development Process Manual (DPM) and will incorporate low impact development principles. Landscape islands will be used for water harvesting and proper drainage. The proposed conceptual drainage plan will meet the current ordinance for the 90<sup>th</sup> percentile storm runoff. Drainage will be routed into the AMAFCA drainage Facility located northeast of the site. The conceptual Grading and Drainage for the proposed site was approved on 12/10/20, Hydronum A14D019. The landscape plan, when developed, would provide site landscaping that meets the landscape requirements of the City of Albuquerque. Landscape buffers are also designed to meet the requirements of the City Zoning Code.

**Signage**

All signage shall comply with the design standards set forth by the previously approved SDP. All signage on the subject site will comply with sections 14-16-3-5 and 14-16-2-19(A)(25). One free standing sign will be permitted on each street frontage, which has at least 200 feet of street frontage. This allows a single 26 foot high 100 sf sign on the subject site along NM

Highway 528. Also a maximum of twenty percent of the building facades facing NM 528 may be used as building mounted signage area.

**Comprehensive Plan Major Site Development Plan Amendment Justification**

We feel the site plan request Site Plan – EPC is justified under IDO Subsection 14-16-6-6(J)(3)

The Comprehensive Plan Goals and Policies listed below provide justification for EPC to support the site plan request.

This request furthers the following Comprehensive Plan Goals and Policies.

*Comprehensive Plan Goal 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.*

*Policy 5.2.1: Land Uses:* Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from the surrounding neighborhoods.

(a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

**Response:** The Major Site Development Plan Amendment furthers this policy by allowing for a land use necessary to provide goods, services and amenities that are conveniently accessible for the surrounding neighborhoods and businesses. This will encourage development that brings retail, restaurant and office space within walking and biking distance of neighborhoods.

*Comprehensive Plan Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.*

*Policy 5.4.2: West Side Jobs:* Foster employment opportunities on the West Side

(a) Ensure adequate capacity of land zoned for commercial, office, and industrial uses west of the Rio Grande to support additional job growth

**Response:** This project achieves this objective in the near-term with the construction and operation of the proposed facilities, and in the long-term by paving the way for new commercial uses in the development area, which will create additional employment opportunities on the West Side.

*Comprehensive Plan Goal 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.*

*Policy 5.6.3: Areas of Consistency:* Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks and Major Open Space.

(b) Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

**Response:** The proposed development furthers this policy by placing additional amenities and employment opportunities in an area that has numerous residential housing developments in the immediate area. The proposed Ducth Brothers Coffee and future restaurant would generate new jobs and will provide desired services to a growing community.

*Comprehensive Plan Goal 6.2- Multi-Modal System: Encourage walking, biking, and transit, especially at peak-hour commuting times, to enhance access and mobility for people of all ages and abilities.*

*Policy 6.2.1 Complete Networks: Design and build a complete, well-connected network of streets and trails that offer multiple efficient and safe transportation choices for commuting and daily needs.*

*(a) Prioritize investment in facilities for walking, biking and transit*

**Response:** The proposed development will ensure the livability and safety of surrounding neighborhoods by mitigating any harmful effects of traffic with effective and proper site and offsite design; as well as providing logical pedestrian and bicycling facilities aimed at providing a well-connected system for all users.

*Policy 6.2.3 Pedestrian & Bicycle Connectivity: Provide direct pedestrian and bicycle access to and circulation within Centers, commercial properties, facilities, community and residential neighborhoods.*

*(a) Design streets, streetscapes, and sidewalks to enhance pedestrian and bicyclist mobility for commuting, recreation, and activities of daily living*

**Response:** The proposed development ensures safe and reliable pedestrian and bicycle access and circulation within the property and surrounding businesses and neighborhoods.

*(b) Preserve and maintain pedestrian, biking, and equestrian opportunities on neighborhood streets, in alleys, and along acequias.*

**Response:** The proposed development ensures the preservation and maintenance of pedestrian, biking and equestrian opportunities on the surrounding neighborhoods, alleys and acequias.

*IDO Section 6-6(J)(3) - Review and Decision Criteria for Site Plan EPC*

*The justification presented below addresses the Site Plan for EPC request requirements pursuant to IDO Section 6-6(J)(3).*

*6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.*

**Response:** The Major Site Development Plan Amendment is in compliance with the Albuquerque Bernalillo County Comprehensive Plan.

*6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

**Response: The Major Site Development Plan Amendment complies with all applicable provisions of this IDO, the DPM and other adopted City regulations.**

*6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its streets, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.*

**Response: The property owner will be responsible for any public improvements necessary to satisfy the above requirements.**

**Summary**

This is a request for approval for a major amendment to a previously approved EPC-Site Development plan. The major site development plan amendment presented in this request has shown to be substantially aligned with the major applicable goals of the Comprehensive Plan, in addition the individual policy justifications have demonstrated that the proposed commercial developments in the NR-BP zoning district are advantageous to the surrounding community and neighborhood as a whole. Through the exhibits and discussion of development patterns on the West Side, including available lands for development, we have clearly demonstrated that due to the large amount of available land that is geared towards development of industrial and employment centers on the West side, both in the City and Bernalillo County, this property would not adversely impact or reduce opportunities for employment in this area.

We respectfully request approval of the proposed major site development plan amendment from Non-Residential Business Park (NR-BP).

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Julian Garza  
Paul Deppe

JN: 2020091

RRB/ln/jg

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-185 Date: 10/21/20 Time: N/A (sent via email to lnoriega@tierrawestllc.com )  
Address: 3615 HWY 528

### AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Marcelo Ibarra (marceloibarra@cabq.gov)

Fire Marshal: Bob Nevárez (rnevarez@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Nilo Salgado (nsalgado-fernandez@cabq.gov)

### PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.*

*Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** The proposed development consist of a new Dutch Brothers Drive Thru Coffee Shop.

### SITE INFORMATION:

Zone: NR-BP

Size: 1.99 acres

Use: Office

Overlay zone: x

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-3: Non-residential Zone District Dimensional Standards

\*Neighborhood Organization/s: Westside Coalition of NAs, Contact ONC

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: \*See Zoning Comments

Review and Approval Body: \* Is this a PRT requirement? \*

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-185 Date: 10/21/20 Time: N/A (sent via email)

Address: 3615 HWY 528

### **NOTES:**

*10/14/20 email from Luis*

#### **Project Description**

The proposed development consist of a new Dutch Brothers Drive Thru Coffee Shop.

#### **Questions & Concerns**

Is a Drive Thru Coffee shop permissible in a NR-BP Zone?

Is there an approved Master Development Plan for the subject site?

Will the proposed development's process need to follow an existing development plan or the IDO standards?

What are the requirements concerning signage?

What other requirements will have to be addressed in order to develop the site?

Let me know if you need additional information or have any questions.

Thank you,

**Luis Noriega**

Civil Engineer Intern



5571 Midway Park Pl, NE

Albuquerque, NM 87109

(505)858-3100 ext. 1216

### **See the Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Case Tracking: 1010999

PR-2019-002437

There were no approved records or a notice of decision. - Linda

### **Records requests**

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### **Requests to Inspect Public Records**

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-185 Date: 10/21/20 Time: N/A (sent via email)

Address: 3615 HWY 528

### File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:  
<https://www.cabq.gov/planning/building-safety-permits>

### Long Range Planning Comments

Usually NR-BP requires a Master Development Plan. We confirmed that there isn't one.

If the site is 20+ acres, they need to go to EPC to get a Master Development Plan first. If <20 acres, they can develop with a site plan approved via Site Plan – Admin or Site Plan – DRB based on IDO thresholds. See this explained in IDO Section 2-5(B)(3)(e).

Process is per the IDO. See Section 1-10(A) in the IDO. Only development standards and uses from prior approvals carry forward under the IDO, not process.

### Zoning Comments

Location: 3615 NM Hwy 528 NW

Lots: 1A, Block: 0000, Subdivision: Seven Bar Ranch

Project – New Dutch Brothers Drive Through Coffee Shop

Current Zoning – NR-BP

Area of Consistency

Previous Zoning – SU-1

Reference case history --> 1010999

Restaurant - An establishment that serves food and beverages that are consumed on its premises by customers seated at tables and/or counters either inside or outside the building thereon and which may also be engaged in providing customers with take-out service of food and/or non-alcoholic beverages for offsite consumption. Sale of alcoholic beverages is controlled by other provisions in this IDO and the New Mexico State statutes regarding alcoholic drink sales.

Drive-through or Drive-up Facility Facilities associated with a primary use, including but not limited to banks, financial institutions, restaurants, dry cleaners, and drug stores, but not including car washes or light vehicle



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

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fueling, to offer goods and services directly to customers waiting in motor vehicles. See also Car Wash and Light Vehicle Fueling.

Abide as per the Approved Site Development Plan Design Guidelines

4-3(D)(8) Bar, Nightclub, Restaurant, and Tap Room

4-3(F)(4) Drive-through or Drive-up Facility

### Process

This previous EPC case is still in effect (Pending) will discuss in a follow up Zoom meeting

*As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3857 option 1.*

### Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

**\*\*Since the PRT has an existing case no (1010999), contact Jeanne Wolfenbarger**

### \*General Comments below:

#### Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

#### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

#### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-185 Date: 10/21/20 Time: N/A (sent via email)

Address: 3615 HWY 528

- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

### Traffic Studies

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

### Platting and Public Infrastructure Requirements for Roadways

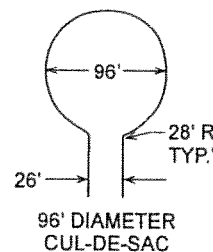
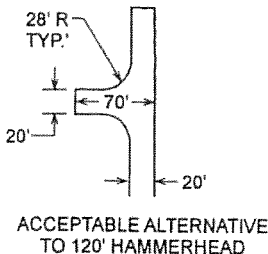
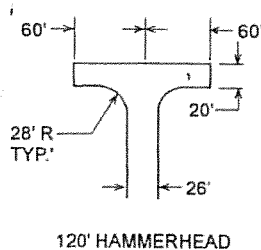
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-185 Date: 10/21/20 Time: N/A (sent via email)

Address: 3615 HWY 528

6. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
7. If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



8. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
9. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*

## STAFF INFORMATION

April 22, 2021

TO: Luis Noriega, Tierra West, LLC  
FROM: Catalina Lehner, Senior Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3935  
RE: PR-2021-005031/SI-2021-00452, Major Amendment- 7 Bar area

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I've completed a more detailed review of this application for a Major Amendment to a governing site plan-EPC. I have some questions and suggestions and want to talk through some procedural issues. Please provide the following:

- ⇒ A revised, proposed site plan (1 full-sized copy, with the full governing site plan incorporated as the end). This will become the new site plan.
- ⇒ The full site plan set of the most recent, governing site plan as stated above, and
- ⇒ An updated project letter, by:

**5 pm on Thursday, April 29, 2021.** If you have difficulty with this deadline, please let me know.

Note: There is a drop-off box at the front of the Plaza del Sol building.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you as soon as I can.
- B. Please tell me about the proposed project and relevant related information.
- C. So far this is what I have for the legal description: Tract C-4-A, Plat of Tracts C3A C3B C3C and C4A Seven Bar Ranch, approximately 2 acres. Is this what you have?
- D. It looks like the subject site is intended to be subdivided in the future into two tracts, and that it does not include the triangle-shaped tract adjacent west. Is this correct?
- E. Please be aware that any future application for a wireless telecommunications facility (WTF) on the subject site must meet all Federal and IDO requirements and would be reviewed through a separate process. The EPC does not have decision authority regarding WTFs.

2) Significant Issues:

- A. A pre-IDO site plan governs the subject site, evident because the request is referred to as a Major Amendment. Please include a copy of the governing site plan, all sheets from the prior approval, with the submittal.
- B. Did the EPC decide on the governing site plan? It's apparently not signed-off by the DRB, but it could have remained "in between" EPC and DRB. Do you have any EPC or DRB

Notices of Decision? The Notices of Decision are important to knowing how the design standards have changed (if at all) and what is in effect now.

- C. Let's talk about IDO 14-16-6-4(X)(3)- Exceptions to Period of Validity, which is where I got confused (sorry about that). (X)(3)(b) refers to "approved by the City", which I had read to mean the EPC-DRB process leading to sign-off. Without a signed-off site development plan, I reasoned that the subject site is small enough (<5 acres) to fall under the Site Plan-Administrative process in 14-16-6-5(G).

However, I was informed that "the City" approval means any approval from Table 6-4-3 (p. 405). A Site Plan-EPC approval expires in seven years. The date on the governing site plan provided is 2016, which means that the pre-IDO EPC approval would not expire until 2023 and the site plan/decision remains valid.

- D. Because 14-16-1-10(A)(1) states that, notwithstanding any pre-IDO approvals, the procedures of the IDO apply, and the IDO calls for Major Amendments to return to the original, approving body. That is why the request cannot be for Site Plan-Administrative.
- E. Do you believe the request constitutes a Major Amendment to the governing site plan or a whole new site plan that would replace it? If you're going to develop using the old design standards, those design standards need to be included in the current request.
- F. Because it's a like for like replacement, the request is being reviewed as a Site Plan-EPC. A response to the Site Plan-EPC Review and Decision criteria in 14-16-6-6(J)(3) is required. Please respond to (a) through (g) by copying the citation and then providing an answer.
- G. Elevations sheets in the proper format are needed, but were not provided.

### 3) EPC Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. The EPC public hearing is May 20<sup>th</sup> via Zoom, starting at 8:40 AM. Final staff reports will be available and posted for the public one week prior to the hearing.
- C. Agency comments will be emailed soon; some are still trickling in. I will send you these and any late comments.
- D. Please ensure that there is a valid sign posting agreement for the proposed project. Also, please pick up the signs, ensure they are posted according to the dates provided, and provide evidence for the record that the signs have been posted.

### 4) Notification & Neighborhood Issues:

- A. I checked the notification and it appears to be complete. I find the offer of meeting form and email to both representatives of the Westside Coalition, the notice form to both, and the form letter sent to property owners.

- B. Have any meetings occurred about the proposed project? If so, please tell me about them and provide documentation for the record (emails, notes, etc.).
- C. Are you aware of any neighborhood concerns so far? As of this writing, no one has contacted me.

#### 5) Project Letter- General:

The project letter is confusing in places, which we can discuss further. It's likely that the Commissioners will also be confused, which could make for an unnecessarily complex hearing.

- A. I would use this standard order for the headings: Site Location, Context, History, Proposed Site Plan followed by Notice, Traffic Impact and On-Site Parking, Landscaping and Drainage, and Signage.
- B. Please explain, at the start of the project letter, why you are seeking a Major Amendment (see also Item 2E of this memo) to an existing site plan or if you're seeking a new site plan. Why this is a Major Amendment in your opinion?
- C. Please state clearly that you are opting to develop using the existing, EPC-approved design standards rather than the IDO and explain the following:
  - i) What do the design standards not cover?
  - ii) Where the design standards are silent (i.e.- don't specify), the IDO is the default.
  - iii) The design standards need to reflect the EPC's conditions of approval because that's what the EPC approved.
- D. Please go through the design standards carefully and make a table of which standards the request does not meet and explain how. This goes in the project letter.

#### 6) Project Letter- History:

- A. Please add a separate History section to the project letter to demonstrate that due diligence was completed. There are a few sentences in the letter about History, which is insufficient- especially because the IDO system establishes that past approvals remain valid except for process.
- B. Examples of sufficient history sections are found at:  
<https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>  
PR-2020-004195 September 2020 and PR-2020-004447 from November 2020. There may also be good examples done for other projects handled by your firm.
- C. Some of the information under "Context" is actually history and can be included in an improved History section. Context typically refers to what's around the subject site- to the north, south, east, and west. The very specific site plan information doesn't go in a context section.

## 7) Site Plan- General:

- A. Please include a copy of the existing, approved site development plan (all sheets) after the proposed site plan.
- B. All relevant IDO requirements apply where the design standards are silent (i.e.-don't specify) regarding a certain item). Since you're using the design standards, they must become a part of the newly approved site plan set.
- C. Please put the sheets in the following standard order: main site plan sheet, detail sheet, landscape plan, grading and drainage plan, utility plan, elevations, existing governing site plan (any AAs on top of the site plan itself).
- D. For topics the design standards do not cover, the IDO would apply. One of these is

### *Site Plan Initial Review*

## 8) Main Sheet (C-1):

### *General*

- A. Use the title "Site Plan-EPC". Site development plans no longer exist.
- B. Use the City Zone Atlas, not the County one. The project is not in the County.
- C. Dimension all setbacks.
- D. Remove the Existing Easement notes (those go on the Utility Plan).
- E. Re-do the Index to Drawings based on the standard sheet order (see 7C above).
- F. Show locations of light poles.

### *Parking and Access*

- A. I count 25 parking spaces for the coffee drive-thru, but it says there are 29.
- B. Why is the site so overparked?
- C. Check with Fire regarding emergency access to the site and within it.
- D. Parking is required to be screened from the rights-of-way (Standard V.a).

### *Pedestrian Access and Connectivity*

- A. Ensure that the proposed sidewalk and walkways are sufficiently wide. Show the math. 14-16-5-3-(D)(3)(a).
- B. Specify material for crosswalks and use material that complies with 14-16-5-3-(D)(3)(b).

### *Walls*

- A. Are any walls or fences proposed? Note: screening of parking is required.
- B. Please provide a wall detail on the detail sheet.
- C. Note: acceptable wall and fence materials are listed in Standard V.i.



#### 9) Detail Sheet:

- A. Specify the color of the refuse enclosure walls.
- B. Please provide a wall detail for all proposed walls, facing front and side, and include dimensions, materials, and colors.
- C. Is any signage proposed? If so, a detail with dimensions, colors, and materials specified is required.
- D. A detail of the crosswalk, indicating dimensions and materials, is also needed.
- E. Please provide a light pole detail, indicating dimensions, materials, and colors.

#### 10) Landscaping Plan:

##### *General*

- A. The landscape plan must be consistent with the main site plan (top sheet) and depict the entire subject site; what's submitted is a partial landscaping plan and is therefore incomplete.
- B. Please orient the landscape plan to match the orientation of the main site plan sheet.
- C. There are several existing trees on and near the subject site. Existing trees need to be shown and their species specified.
- D. Please remove the reference to the Town of Bernalillo and any notes from other jurisdiction(s).
- E. Indicate any existing trees or shrubs, their species, and if they will be retained. B. Dimension the landscaping beds and areas.
- F. Additional landscaping is needed; a visual check shows that the 15% of net lot requirement is not being met in back of the future restaurant.

##### *Water Issues*

- A. Landscaping beds must be depressed below grade pursuant to 5-6(C)(13)(b). Add a note to indicate this.
- B. Where there are curbs, please indicate where the notches are to allow water to flow in.
- C. Provide a curb notch detail, if B. above is applicable.

#### 11) Grading and Drainage Plan:

Where curb notches are needed to direct water toward landscaping beds, please show them and provide a curb notch detail.

#### 12) Utility Plan:

Please check with Fire staff to ensure there are sufficient fire hydrants.

13) Elevations:

- A. The elevations must be a part of the site plan set, not a separate 11 by 17.
- B. Please draw (or have drawn) the elevations and label them using cardinal direction, dimension them, and add a schedule of materials and colors.
- C. Indicate any signage using boxes around it, with dashed lines.
- D. The elevations in the site plan do not have to be in color. Please provide a .pdf of one elevation to use as a color rendering.
- E. Any signage proposed on the buildings must be shown and dimensioned, and a detail provided.
- F. The design standards contain specifics regarding building architecture materials and colors. Colors are limited to earth tones. Design Standard VII.D6.

April 19, 2021

TO: Luis Noriega and Ron Bohannon, Tierra West, LLC

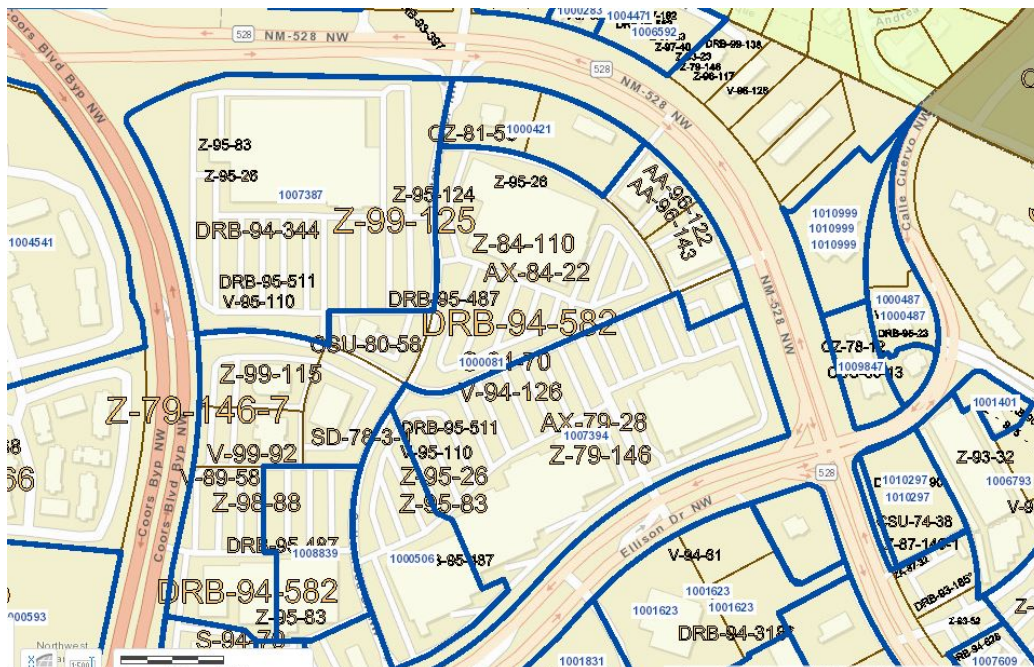
FROM: Catalina Lehner, Senior Planner  
City of Albuquerque Planning Department

TEL: (505) 924-3935

RE: Project #2021-005301, Major Amendment- 7 Bar area

I've done a first review of the application materials for Project #2021-005301/SI-2021-00452. At this stage, I do not have sufficient information to continue with a full review of the request, for the following reasons:

1. The request is for a Major Amendment. IDO 14-16-6-4(Y)(3) is the process for amendments to a governing site plan. What site plan is being amended? A copy of the 2016 site plan for the subject site was provided, but it is not signed-off so technically it doesn't exist. The following is required: A. A signed-off copy of the governing site plan, and B. a project number associated with the governing site plan.
2. Why does the project letter refer to Major Site Plan Amendment- EPC? Do you want to amend out of a larger, governing site development plan?
3. The letter lacks a history section that demonstrates completion of due diligence with respect to the subject site's history, which is critical to know in order to place the request in the correct IDO process. As shown below, several old project numbers (case history and case tracking) apply and could indicate a larger, governing site plan that controls the subject site. Much of the area was formerly zoned IP, and such areas often have larger site plans.





Though we can assist, the burden is on the applicant to have done the necessary research prior to application. The Staff planner then works with the applicant to verify the due diligence and ensure accuracy and appropriate process.

4. I cannot provide an accurate legal ad based on the application materials. If the subject site is part of a larger site development plan, the larger boundaries must be advertised. If advertising is incorrect, it's an automatic deferral of the case. *Any request for amendment needs to include the entire geography of the original approval, even if only a portion is proposed to change.*
5. Without the governing site development plan to be amended or superseded, I cannot review the proposed, new site plan in the accurate and meaningful way needed to produce a Staff report. For instance, I don't have enough information to describe what's proposed to the public and to the EPC. Also, if any design standards apply due as part of a prior approval, those are a critical part of application review that cannot be done at this time.

To help keep this project on track, I am requesting that you please provide the historical research and a copy of the governing site development plan by the close of business on Wednesday, April 28<sup>th</sup>.

## NOTIFICATION

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**Kristl Walker**

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Tuesday, February 23, 2021 10:56 AM  
**To:** Kristl Walker  
**Subject:** 3615 Hwy 528 Neighborhood Meeting Inquiry  
**Attachments:** IDOZoneAtlasPage\_A-14-Z.PDF

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074;
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:  
<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any



jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



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**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Tuesday, February 23, 2021 7:52 AM

**To:** Office of Neighborhood Coordination <[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kristl Walker

Telephone Number

15058583100

Email Address

[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

Company Name

Tierra West LLC

Company Address

5571 Midway Park PI

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH

Physical address of subject site:

3615 Hwy 528

Subject site cross streets:

Hwy 528 & Calle Cuervo

Other subject site identifiers:

This site is located on the following zone atlas page:

A-14

=====  
This message has been analyzed by Deep Discovery Email Inspector.

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: February 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: aboard111@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Inoriega@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.



[Note: Items with an asterisk (\*) are required.]

- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☐ Zoning Map Amendment
- ☐ Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The Purpose of this letter is to comply with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting. , we are providing you an opportunity to discuss a new Dutch Brothers Coffee, located at 3615 NM 528 Albuquerque, NM. Per IDO a change in building square footage of more than 10% from an existing approved Site Development Plan warrants a major site plan amendment, approved by the body which previously approved the existing Site Development Plan. Dutch Bros Coffee serves customers via the drive thru and walk up window only. The proposed Dutch Brothers does not contain any indoor dining, therefore the building size will be reduced from traditional fast food restaurants as well as the drive through capacity will be increased due to an increase in drive thru queuing demand. Apart from building square footage we will be meeting all other design requirements described in the previously approved Site Development Plan and IDO. Concerning the remaining land, at this moment we don't have an anticipated use, when a future use is identified we will reach out and provide notice. For now we are assuming a future restaurant, this however is subject to change.

5. This type of application will be decided by\*: ☐ City Staff
- OR at a public meeting or hearing by:
- ☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)
  - ☐ City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
attached in email

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)<sup>5</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*: N/A
  - ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1\*: ☒ Yes ☐ No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.\*
- ☐ b. Access and circulation for vehicles and pedestrians.\*
- ☐ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development\***:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:

- a. Area of Property [typically in acres] 1.99
- b. IDO Zone District NR-BP
- c. Overlay Zone(s) [if applicable] \_\_\_\_\_
- d. Center or Corridor Area [if applicable] \_\_\_\_\_

2. Current Land Use(s) [vacant, if none] \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]

Rene Horveth - Westside Coalition of NA

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: February 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ekhaley@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Inoriega@tierrawestllc.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.



[Note: Items with an asterisk (\*) are required.]

- ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☐ Zoning Map Amendment
- ☐ Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The Purpose of this letter is to comply with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting. , we are providing you an opportunity to discuss a new Dutch Brothers Coffee, located at 3615 NM 528 Albuquerque, NM. Per IDO a change in building square footage of more than 10% from an existing approved Site Development Plan warrants a major site plan amendment, approved by the body which previously approved the existing Site Development Plan . Dutch Bros Coffee serves customers via the drive thru and walk up window only. The proposed Dutch Brothers does not contain any indoor dining, therefore the building size will be reduced from traditional fast food restaurants as well as the drive through capacity will be increased due to an increase in drive thru queuing demand. Apart from building square footage we will be meeting all other design requirements described in the previously approved Site Development Plan and IDO. Concerning the remaining land, at this moment we don't have an anticipated use, when a future use is identified we will reach out and provide notice. For now we are assuming a future restaurant, this however is subject to change.

5. This type of application will be decided by\*: ☐ City Staff
- OR at a public meeting or hearing by:
- ☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)
- ☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)
- ☐ City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
attached in email

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)<sup>5</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*: N/A

- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1\*: ☒ Yes ☐ No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.\*
- ☐ b. Access and circulation for vehicles and pedestrians.\*
- ☐ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development\***:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:

- a. Area of Property [typically in acres] 1.99
- b. IDO Zone District NR-BP
- c. Overlay Zone(s) [if applicable] \_\_\_\_\_
- d. Center or Corridor Area [if applicable] \_\_\_\_\_

2. Current Land Use(s) [vacant, if none] \_\_\_\_\_

\_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]

Rene Horveth - Westside Coalition of NA

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

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☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$  
Postage \$

Postmark  
Here

Total Postage at \$ Elizabeth Haley  
Sent To Westside Coalition of NA  
Street and Apt. 6005 Chaparral Circle NW  
City, State, ZIP+4® Albuquerque, NM 87114

PS Form 3800, 10-2009

7020 0090 0000 0000 0600 0202

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☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$  
Postage \$

Postmark  
Here

Total Postage at \$ Rene Horvath  
Sent To Westside Coalition of NA  
Street and Apt. 5515 Palomino Drive NW  
City, State, ZIP+4® Albuquerque, NM 87120

PS Form 3800, 10-2009

7020 0090 0000 0000 0600 0202



**From:** Kristl Walker  
**Sent:** Tuesday, February 23, 2021 1:36 PM  
**To:** 'ekhaley@comcast.net'; 'aboard111@gmail.com'  
**Cc:** Ron Bohannon ; Luis Noriega; Richard Stevenson; Jaimie Garcia  
**Subject:** 2020091 Dutch Bros Major Amendment  
**Attachments:** IDOZoneAtlasPage\_A-14-Z.PDF; SDP-Appr.pdf; 2014069-SDP.PDF; Horvath neighborhood.pdf; Haley neighborhood.pdf

Attached please find the neighborhood notice for major amendment to site plan submittal.

Thank you

*Kristl Walker*  
*Administrative Assistant*  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109  
505-858-3100 Office  
505-858-1118 Fax  
[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

**Kristl Walker**

---

**From:** Mail Delivery System <MAILER-DAEMON@exrmf-va-1-2.serverdata.net>  
**To:** aboard111@gmail.com; ekhaley@comcast.net  
**Sent:** Thursday, April 1, 2021 11:16 AM  
**Subject:** Relayed: 2020091 Dutch Bros Major Amendment to Site Plan EPC

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[aboard111@gmail.com](mailto:aboard111@gmail.com)

[ekhaley@comcast.net](mailto:ekhaley@comcast.net)

**Subject:** 2020091 Dutch Bros Major Amendment to Site Plan EPC



Message Headers

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


#### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 \_\_\_\_\_  
(Applicant or Agent)

3/31/2021  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

PROJECT NUMBER: \_\_\_\_\_



## Kristl Walker

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Wednesday, March 10, 2021 3:15 PM  
**To:** Kristl Walker  
**Subject:** 3615 Hwy 528 Neighborhood Meeting Inquiry  
**Attachments:** A-14-A.PDF

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	50540743

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Wednesday, March 10, 2021 1:45 PM

**To:** Office of Neighborhood Coordination <kwalker@tierrawestllc.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:  
Contact Name

Kristl Walker

Telephone Number

15058583100

Email Address

[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

Company Name

Tierra West LLC

Company Address

5571 Midway Park Pl

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

tract c-4-a plat of tracts c3a,c3b,c3c and c4a seven bar ranch

Physical address of subject site:

3615 Hwy 528

Subject site cross streets:

Hwy 528 & Calle Cuervo

Other subject site identifiers:

This site is located on the following zone atlas page:

A-14-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 5515 Palomino Drive NW, Alb, NM 87120

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>:

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant a future monopine cell tower.

<sup>1</sup> Pursuant to IDO Subsection 14-16-6-4(K)(5)(a), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

☐ Zoning Hearing Examiner (ZHE)

☐ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☒ Environmental Planning Commission (EPC)

Date/Time\*: May 20, 2021 at 8:30am

Location\*<sup>3</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

<http://ftpservers.tierrawestllc.com/> user name: 2020091 Password: Neighbor123

**Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>5</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

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for Decisions Requiring a Meeting or Hearing  
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Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 6005 Chaparral Circle NW Alb, NM 87114

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A  
SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant a a future monopine cell tower

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☒ Environmental Planning Commission (EPC)

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Location\*<sup>3</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

<http://ftpserver.tierrawestllc.com/> user name: 2020091 Password: Neighbor123

**Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>5</sup> A-14-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
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**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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Cc: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

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Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: aboard111@gmail.com

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A  
SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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Date/Time\*: May 20, 2021 at 8:30am

Location\*<sup>3</sup>: Zoom Meeting

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**Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>5</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

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- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
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**Additional Information [Optional]:**

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1. Area of Property [typically in acres] 1.99
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Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ekhaley@comcast.net

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A  
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Summary of project/request<sup>2</sup>:

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3. The following exceptions to IDO standards have been requested for this project\*: N/A

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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- ☒ a. Location of proposed buildings and landscape areas.\*
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**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 1.99
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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

CC: Elizabeth Haley - Westside Coalition of NA [Other Neighborhood Associations, if any]  
Rene Horveth - Westside Coalition of NA

<sup>6</sup> Available here: <https://tinyurl.com/idozoningmap>



**From:** Kristl Walker  
**Sent:** Thursday, April 1, 2021 11:16 AM  
**To:** 'aboard111@gmail.com'; 'ekhaley@comcast.net'  
**Cc:** Jaimie Garcia; Luis Noriega; Ron Bohannon  
**Subject:** 2020091 Dutch Bros Major Amendment to Site Plan EPC  
**Attachments:** Horvath EmailedNeighbors.pdf; HaleyEmailedNeighbors.pdf

Good morning,

Attached please find the neighborhood notice for the Major Amendment to Site Plan-EPC. You can find additional information on the link below.

<http://ftpserver.tierrawestllc.com/>

User ID:  
2020091

Password:  
Neighbors123

Thank you

*Kristl Walker*  
*Administrative Assistant*  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109  
505-858-3100 Office  
505-858-1118 Fax  
[kwalker@tierrawestllc.com](mailto:kwalker@tierrawestllc.com)

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Type text here

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: STEADMAN WILLIAM F JR & MARGOT M

Mailing Address\*: 10604 ANDREA CIR NW, CORRALES NM 87048

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\* A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)      ☐ Variance(s)      ☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. For residential development\*: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development\*:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

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<https://tinyurl.com/IDOzoningmap>

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: MDL LEVY CORP

Mailing Address\*: PO BOX 91090, ALBUQUERQUE NM 87199-1090

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\*: \_\_\_\_\_**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

<http://ftpserver.tierawestllc.com/>

User: 2020091

Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: HINNEN PROPERTIES LLC

Mailing Address\*: 11000 W INTERSTATE 10, SAN ANTONIO TX 78230-1045

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\*: \_\_\_\_\_**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\* A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)      ☐ Variance(s)      ☐ Waiver(s)      N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
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**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: SPIRIT MASTER FUNDING VIII LLC

Mailing Address\*: PO BOX 4900 DEPT 420, SCOTTSDALE AZ 85261-4900

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\*: 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\*: Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
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**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

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3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

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**Additional Information:**

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1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: HALLE PROPERTIES LLC DEPT 1100 NMA03

Mailing Address\*: 20225 N SCOTTSDALE RD, SCOTTSDALE AZ 85255-6456

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
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User: 2020091  
Psw: Neighbor123

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N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

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1. Area of Property [typically in acres] 1.99
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Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: AMAFCA

Mailing Address\*: 2600 PROSPECT AVE NE, ALBUQUERQUE NM 87107-1836

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\*:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: HAGAN SAGE J

Mailing Address\*: PO BOX 2033, CORRALES NM 87048

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*<sup>2</sup>: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

☒ a. Location of proposed buildings and landscape areas.\*

☒ b. Access and circulation for vehicles and pedestrians.\*

☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: BERNALILLO COUNTY C/O COUNTY MANAGER

Mailing Address\*: 1 CIVIC PLAZA NW, ALBUQUERQUE NM 8710

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: LA PAZ-35 LIMITED PARTNERSHIP C/O NEVINS/ADAMS PROP INC

Mailing Address\*: 920 GARDEN ST SUITE A, SANTA BARBARA CA 93101-1462

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)      ☐ Variance(s)      ☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: Kruse John & Stidham Jennifer A

Mailing Address\*: 10600 Andrea Cir NW, Corrales, NM 87048

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\*:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Landmarks Commission (LC)
  - ☐ Development Review Board (DRB)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: WESTERN HILLS INVESTMENTS LLC

Mailing Address\*: PO BOX 45688, RIO RANCHO NM 87174-5688

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<https://ido.abc-zone.com/>

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: GARZA COTTONWOOD LLC

Mailing Address\*: PO BOX 45688, RIO RANCHO NM 87174-5688

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>.\*:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

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- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: SAMUSA INC

Mailing Address\*: 1018 EGLINTON AVE EAST UNIT 5, L4W 1K3 CANADA

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>\***

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
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  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\* A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)      ☐ Variance(s)      ☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
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  - ☒ Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: GIBSON-COTTONWOOD LLC & BENSON-COTTONWOOD LLC & ETAL

Mailing Address\*: 142 A SOUTH SANTA CRUZ AVE, LOS GATOS CA 95030

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
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  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\* A-14-Z
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3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
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  - ☒ Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
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  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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Property Owner within 100 feet\*: GIBSON-COTTONWOOD LLC & BENSON-COTTONWOOD LLC & ETAL

Mailing Address\*: 142 A SOUTH SANTA CRUZ AVE, LOS GATOS CA 95030

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
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3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
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**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

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Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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User: 2020091  
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☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

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**Additional Information:**

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1. Area of Property [typically in acres] 1.99
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Property Owner within 100 feet\*: GIBSON-COTTONWOOD LLC & BENSON-COTTONWOOD LLC & ETAL

Mailing Address\*: 142 A SOUTH SANTA CRUZ AVE, LOS GATOS CA 95030

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  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

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User: 2020091  
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**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*: A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:  
☐ Deviation(s)      ☐ Variance(s)      ☐ Waiver(s)      N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes    ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- ☐ d. For residential development\*: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development\*:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

Integrated Development Ordinance (IDO):  
<https://ido.abc-zone.com/>

IDO Interactive Map  
<https://tinyurl.com/IDOzoningmap>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: April 1, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K) Public Notice** to:

Property Owner within 100 feet\*: GRANT DAVIS GRIBBLE LLC BLDG 2

Mailing Address\*: 3610 CALLE CUERVO NW SUITE A, ALBUQUERQUE NM 87114-8904

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\* Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

5. This application will be decided at a public meeting or hearing by\*:
  - ☐ Zoning Hearing Examiner (ZHE)
  - ☐ Development Review Board (DRB)
  - ☐ Landmarks Commission (LC)
  - ☒ Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: May 20, 2021 at 8:30am

Location\*: Zoom Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*: <http://ftpserver.tierrawestllc.com/>  
User: 2020091  
Psw: Neighbor123

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>4</sup> A-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

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- ☒ e. **For non-residential development\***:
  - ☒ Total gross floor area of proposed project.
  - ☒ Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- \_\_\_\_\_

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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Property Owner within 100 feet\*: GRANT DAVIS GRIBBLE LLC BLDG 2

Mailing Address\*: 3610 CALLE CUERVO NW SUITE A, ALBUQUERQUE NM 87114-8904

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address\*: 3615 Hwy 528  
Location Description TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A SEVEN BAR RANCH
2. Property Owner\*: Western Hills Investments LLC
3. Agent/Applicant\* [if applicable] Tierra West, LLC
4. Application(s) Type\* per IDO Table 6-1-1 [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☒ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

**Summary of project/request<sup>1</sup>:**

The purpose of this letter is to inform you of a Major Amendment to site plan per the Integrated Development Ordinance (IDO) 6-4(K)(3)(c) we are required to notify the registered Neighborhood Associations at the time of submittal. The site is located at State Highway 528 NW and southwest of Ellison Rd NW. The new proposed a new Dutch Brothers Coffee, future restaurant and a future monopine cell tower.

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<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

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User: 2020091  
Psw: Neighbor123

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3. The following exceptions to IDO standards have been requested for this project\*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

N/A

Explanation\*:

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4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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- ☒ a. Location of proposed buildings and landscape areas.\*
- ☒ b. Access and circulation for vehicles and pedestrians.\*
- ☒ c. Maximum height of any proposed structures, with building elevations.\*

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 1.99
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- \_\_\_\_\_

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• KRUSE JOHN & STIDHAM JENNIFER A  
10600 ANDREA CIR NW  
CORRALES NM 87048

• LA PAZ-35 LIMITED PARTNERSHIP C/O  
NEVINS/ADAMS PROP INC  
920 GARDEN ST SUITE A  
SANTA BARBARA CA 93101-1462

• HAGAN SAGE J  
PO BOX 2033  
CORRALES NM 87048

• BERNALILLO COUNTY C/O COUNTY  
MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102

• HALLE PROPERTIES LLC DEPT 1100  
NMA03  
20225 N SCOTTSDALE RD  
SCOTTSDALE AZ 85255-6456

• SPIRIT MASTER FUNDING VIII LLC  
PO BOX 4900 DEPT 420  
SCOTTSDALE AZ 85261-4900

• HINNEN PROPERTIES LLC  
11000 W INTERSTATE 10  
SAN ANTONIO TX 78230-1045

• MDL LEVY CORP  
PO BOX 91090  
ALBUQUERQUE NM 87199-1090

• STEADMAN WILLIAM F JR & MARGOT  
M  
10604 ANDREA CIR NW  
CORRALES NM 87048

• GIBSON-COTTONWOOD LLC &  
BENSON-COTTONWOOD LLC & ETAL  
142 A SOUTH SANTA CRUZ AVE  
LOS GATOS CA 95030

• GIBSON-COTTONWOOD LLC &  
BENSON- COTTONWOOD LLC & ETAL  
142 A SOUTH SANTA CRUZ AVE  
LOS GATOS CA 95030

• GIBSON-COTTONWOOD LLC &  
BENSON- COTTONWOOD LLC & ETAL  
142 A SOUTH SANTA CRUZ AVE  
LOS GATOS CA 95030

• AMAFCA  
2600 PROSPECT AVE NE  
ALBUQUERQUE NM 87107-1836

• GARZA COTTONWOOD LLC  
PO BOX 45688  
RIO RANCHO NM 87174-5688

• SAMUSA INC  
1018 EGLINTON AVE EAST UNIT 5  
L4W 1K3 CANADA

• GRANT DAVIS GRIBBLE LLC BLDG 2  
3610 CALLE CUERVO NW SUITE A  
ALBUQUERQUE NM 87114-8904

• GRANT DAVIS GRIBBLE LLC BLDG 2  
3610 CALLE CUERVO NW SUITE A  
ALBUQUERQUE NM 87114-8904

• WESTERN HILLS INVESTMENTS LLC  
PO BOX 45688  
RIO RANCHO NM 87174-5688



## 3615 HWY 528



**Legend**  
☐ Bernalillo County Parcels



1,077 0 538 1,077 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
3/11/2021 © City of Albuquerque

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

### Notes

Buffer: 315 Ft.  
ROW NM528 NW: 215 Ft.



TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



7020 0090 0000 4459 0327  
7020 0090 0000 4459 0327

PS Form 3800, April 2007 Edition

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 Total Postage & Fees \$ **9.15**  
 Sent to Rene Horvath  
 Westside Coalition of NA  
 5515 Palomino Drive NW  
 Albuquerque, NM 87120  
 City, State, ZIP



*[The following section contains multiple horizontal lines representing redacted information.]*


  
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5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

HINNEN PROPERTIES LLC  
11000 W INTERSTATE 10  
SAN ANTONIO TX 78230-1045





TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

HAGAN SAGE J

PO BOX 2033

CORRALES NM 87048



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TIERRA *West*, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

AMAFCA  
2600 PROSPECT AVE NE  
ALBUQUERQUE NM 87107-1836



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ALBUQUERQUE NM 87109

WESTERN HILLS INVESTMENTS LLC  
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GRANT DAVIS GRIBBLE LLC BLDG 2  
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ALBUQUERQUE NM 87199-1090





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GIBSON-COTTONWOOD LLC &  
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142 A SOUTH SANTA CRUZ AVE  
LOS GATOS CA 95030



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BERNALILLO COUNTY C/O COUNTY  
MANAGER  
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ALBUQUERQUE NM 87102



TIERRA *West*, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

SPIRIT MASTER FUNDING VIII LLC  
PO BOX 4900 DEPT 420  
SCOTTSDALE AZ 85261-4900





TIERRA *West*, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

HALLE PROPERTIES LLC DEPT 1100  
NMA03  
20225 N SCOTTSDALE RD  
SCOTTSDALE AZ 85255-6456



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ALBUQUERQUE NM 87109

KRUSE JOHN & STIDHAM JENNIFER A  
10600 ANDREA CIR NW  
CORRALES NM 87048



## NEIGHBORHOOD CONCERNS



June 9, 2021

Ms. Catalina Lehner  
City of Albuquerque Planning Department  
600 2nd St. NW  
Albuquerque, NM 87102

Re: 3615 HWY 528, Albuquerque, NM (aka Dutch Brothers location)  
Tract C-4-A Plat of Tracts C3A, C3B, C3C and C4A  
Seven Bar Loop  
Zone Atlas Page: A-14-Z

Ms. Lehner:

I would like to add my voice to those others in my neighborhood requesting an additional deferment regarding the decision on this project and the proposed changes. The required notice posted on the development site indicated the Environmental Planning Commission meeting was on 5/20/21 to start at 9am when the meeting actually started at 8:30am. Only during the meeting did we find that this item was postponed to a future date. The signage has not been updated to reflect the new date and time.

While there is heavy involvement with the city of Albuquerque in this project, the adjacent impacted properties are located in unincorporated Bernalillo County, within the village boundary of Corrales and Sandoval County. The majority of the affected homeowners are located in that portion of Bernalillo County and are represented by the Sky View Acres Neighborhood Association. This Neighborhood Association is not a member of the Albuquerque Westside of Coalition of Neighborhood Associations that received the notice of the proposed project and as such, has been left out of the information gathering and decision-making process until notice of the EPC meeting was received by only the neighbors closest to the project even though this impacts our whole neighborhood.

This plan change and allowing for the addition of these proposed businesses with high amounts of exterior lighting, exterior speakers and traffic means an absolute disruption to the lifestyle we enjoy in this area.

The proposed construction of two drive-through food and beverage operations on this parcel of land represents a fundamental misunderstanding of the area. Referring to the Dutch Bros. franchise specifically, a review of the other area Dutch Bros locations within nearby Bernalillo and Sandoval counties show they are in commercial areas and are not adjacent to residential areas such as this location will be. The location is on a strip of land between NM 528 and Cielo Vista del Norte/Cabezon/Ellison. The land has been providing a buffer between the encroachment of the city of Albuquerque to our rural homesteads just to the north. My own property is directly across the street from the proposed location and my porch and backyard have direct eyeline to this location as represented by this photo taken from my back yard looking directly at the proposed development site.



The existing businesses in the area have considerably less traffic and reduced hours compared to the proposed food and beverage establishments. The nearby businesses such as Mister Car Wash, Discount Tire, Midas Auto Repair and O'Reilly Auto Parts have been good neighbors, being very considerate of the low light and noise levels enjoyed by our community. The Murphy gas station at the west end of the stretch of land was very accommodating to our concerns during planning and construction of the facility. As they have discovered the lack of consistent traffic on the road after work hours, they have shortened their hours from 24 hours to closing at 10pm which may also become an issue for the proposed businesses. The business that previously occupied this lot was an office building.

Our neighborhood is rural in nature with half acre lots that are home to livestock including goats, chickens, llamas and numerous horses to name a few. We keep our lighting very low to allow the best visibility of the night sky. Our neighborhood was established in the 1960s with many homes in the area still being owned by the first and second families who have spent a lifetime of developing mini oases in their yards to enjoy the ambience of the area.

The AMFCA draining area bordering the proposed development site also is home to an occupied bat house. In the evening, the bats fly throughout the neighborhood keeping the bug population down, which is critical with the open irrigation canals running to the east of our neighborhood and very close to this building site. The significant increase in activity will likely discourage the bats from remaining.

The largest concern is the traffic anticipated in the proposed businesses. While the Dutch Bros proposal indicates a traffic study is not warranted due to pass-by traffic and less than 100 cars per hour, this does not take into account the traffic from the second proposed restaurant. In addition, the bulk of the traffic in the peak hours in the morning is driving from Rio Rancho to Albuquerque in the east bound lanes. The location will be on the north side of the street, adjacent to the west lanes of traffic.

There is currently a left turn lane to accommodate traffic turning left into the location however there is not a clear path for traffic to leave the facility to rejoin eastbound traffic safely except to make an unprotected left turn or attempt to turn right out of the eastern driveway and make a u-turn at the turn bay. The crossing of traffic in and out of the facility to eastbound traffic will represent significant dangers to life and property and will cause further delays on an already congested arterial highway.

An alternative to turning left for many people would be to cut through the neighboring business park to exit onto Loma Larga to the light at 528/Ellison or to make right turns to cut through the neighborhood to get to that same light. The two closest traffic signals are at 528 /Cottonwood and 528/Ellison neither can withstand a significant increase in this type of usage as those lights favor traffic on Hwy 528 and limited numbers of cars can enter from the side roads.

Overall, we do not feel that we have not had sufficient opportunity to discuss our concerns with the decision makers in this process to bring awareness to the significant difficulties anticipated with this type of development. We would request that any decisions be postponed until such time all issues of concern can be reviewed.

Jennifer Kruse  
10600 Andrea Cir  
Corrales, NM 87048  
505-975-3322  
realrudibega@gmail.com

June 08, 2021

Ms. Catalina Lehner  
City of Albuquerque Planning Department  
600 2nd St. NW  
Albuquerque, NM 87102

Re: 3615 HWY 528, Albuquerque, NM (aka Dutch Brothers location)  
Tract C-4-A Plat of Tracts C3A, C3B, C3C and C4A  
Seven Bar Loop  
Zone Atlas Page: A-14-Z

Dear Ms. Lehner

I want to add my voice to those who have significant concerns with regard to the Dutch Bros. Proposal and I thank you for the opportunity to do so.

By way of introduction, I, my late wife, and children have lived at our home in Skyview Acres for over 35 years. We live directly to the north of the proposed project and are directly impacted by everything these folks will do.

We started by purchasing our property from an original subdivision owner who had lost his house to a fire and could not afford to rebuild. We lived in an old trailer on the property for years as we built the home ourselves piece by piece from scratch. It took us over 20 years to complete the home. We have devoted the last many years developing the large backyard into our primary entertaining and living area consisting of a stone wall encircled 300 square ft. gazebo with an enclosed fire pit, swinging bed, custom-made log furniture, grilling station and hot tub. We have planted over 50 pine trees as well as numerous fruit trees, berry bushes, grapes, terraced gardens and at the heart is a large swath of rolling green grass. All plants are water drip irrigation fed to reduce water use. We also have 2 large water features in our back yard providing a habitat to be enjoyed by birds and bees that are so vital to our local ecology.

We have invested all of our sweat, tears, and fortune in our home and yard over the decades, not because we hoped to make a profit, because we love this area and cherish the rural, peaceful nature of our surrounding and wanted to contribute accordingly.

The Dutch Bros proposed project, as it presents in the documents we have been given, represents a direct threat to everything we have worked so many years to develop and enjoy in our twilight years. They propose nothing to mitigate the noise from an endless stream of cars with music blaring and trash a blowing.

And this is just from the 950 sq ft coffee shop. They are also proposing for your approval another drive thru restaurant three times the size of the coffee shop without even telling us what the business is much less how much traffic, noise and trash is associated with it.

To be sure, other businesses have located next to our neighborhood. But in each case, that business has mitigated the impact on us by building sound and trash walls and by eliminating outdoor speakers and other noises that may emanate from their building that would disrupt our quality of life. The current proposal by Dutch Bros offers us nothing.



I am not apposed to anyone trying to develop land to what they believe to be its best use. I ask only that that development be done with respect and deference to the established neighbors whose quality of life and investment are directly impacted by their proposed activities and business.

John Kruse

10600 Andrea Cir

Corrales, NM 87048

Tuesday, June 08, 2021

**TO:**

Ms. Catalina Lehner  
City of Albuquerque Planning Department  
600 2nd St. NW  
Albuquerque, NM 87102

**FROM:**

Sky View Acres Neighborhood Association  
Po Box 1653  
Corrales NM 87048

**REGARDING:**

3615 HWY 528, Albuquerque, NM (aka Dutch Brothers location)  
Tract C-4-A Plat of Tracts C3A, C3B, C3C and C4A  
Seven Bar Loop  
Zone Atlas Page: A-14-Z

Dear Ms. Lehner,

The Sky View Acres Neighborhood Association has specific concerns about the Dutch Brothers project proposed for Highway 528 and **we respectfully request the EPC defer discussion of this agenda item until your JULY meeting so we can arrange a meeting with the project's Agent, Tierra West LLC, to communicate our concerns.** We have submitted a request directly to the project's Agent asking them to request a deferment as well but have not heard back regarding their decision.

Our residential neighborhood is located immediately north of this project and all decisions regarding development of this property directly impacts our fellow neighbors.

The Sky View Acres Neighborhood Association was established in 1988 to represent the interests of the Skyview Acres neighborhood. The neighborhood is designated as Unincorporated Bernalillo County and is bounded on the north & east by the Village of Corrales, on the west by the City of Rio Rancho and on the south by the City of Albuquerque.

Building in our neighborhood began in the middle 1960s and today we have 150 homes inside our boundaries. Additionally, AMAFCA, Intel and Bernalillo County Parks manage property inside our neighborhood. The area is drastically different today than it was in 1960 when Highway 528 was a small two-lane country road. Today, the immediate area along Highway 528 is overly commercialized with endless gas stations, drive-thrus, mattress stores, big box stores and everything in between. The traffic on Highway 528 is busy at all times of the day and regularly comes to a standstill during morning/evening rush hour. We strongly encourage members of the committee to visit the area during rush hour to understand the current traffic levels.

Our neighborhood is accessed via two entrances; one off Loma Larga/Ellison Drive (just east of this project) and another off Highway 528 via Cottonwood Drive (just west of this project). We are the first residential area immediately north of Highway 528 and are directly impacted by all decisions made regarding this development corridor. Our neighborhood sits at the southwestern entrance into the rural Village of Corrales and we maintain a similar sense of ruralness where streets don't have lights, our lot

are half acre or larger and many neighbors maintain livestock on their properties. We're a country neighborhood that has been inundated by commercial development, traffic and an ever-growing noise level just outside our boundaries.

Because we are physically located in Bernalillo County our Neighborhood Association is registered through the County's Neighborhood Coordination Office. Since it appears Albuquerque Planning projects do not require notification of Bernalillo County neighborhood associations, we were not directly notified about this proposed project. Instead, we became aware of the project on MAY 13th via a sign posted on the property. The sign advertised the MAY 20<sup>th</sup> EPC meeting which did not allow our Association enough time to contact the developer to obtain project details or to request a meeting. We are requesting a deferment of one month so we can arrange a meeting between our neighbors and the developer's agent to discuss our concerns.

If our requested deferment is denied, and this project is discussed at the JUNE 17<sup>th</sup> meeting, our Neighborhood Association has the following concerns that we want to put on record.

1. TRAFFIC

- a. We request a Traffic Impact Study be completed prior to any decisions made regarding this project.
- b. Under the TIS Determination section of the application, only Dutch Brothers traffic is being considered, not traffic from the second future drive thru restaurant proposed for the location. We strongly believe this decision is in error and a traffic study PRIOR to approval of this project is essential. The study must also take into consideration that TWO drive thru restaurants will be located on this property when it is complete.
- c. At 950sqft, the Dutch Brothers store is primarily a drive thru location.
- d. As per this application, the Dutch Brothers store alone expects 740 vehicles per day, with a peak in the morning of 93 vehicle per hour and a peak in the evening of 36 vehicles per hour. What will be the traffic impact from a second drive-thru and how can this plan be approved without knowing this prior to approval? Once approved, there is little recourse for mitigating the impact on traffic.
- e. Vehicles will be entering this property via Highway 528 which is a State road and a primary heavily used river crossing artery for residents of our neighborhood and for far northwest Albuquerque and Rio Rancho commuters.
- f. Highway 528 regularly suffers daily backups of traffic during rush hour and sees heavy use during non-rush hours. Within the last couple years, approximately \$1 million dollars was spent to improve the traffic light system with the goal of speeding up traffic flow on Highway 528. As neighbors using this highway daily, we have not noticed an improvement.
- g. In the mornings, eastbound commuter traffic on Highway 528 is regularly backed up from Corrales Rd all the way up the hill into Rio Rancho. It must be noted that there is not a traffic light at this proposed development's entrance and 740 vehicles a day will be entering and exiting into a heavily trafficked highway. This includes during rush hour in the morning when Dutch Brother Coffee is expecting 96 vehicles an hour entering/exiting at peak traffic. The eastbound traffic entering the property in the morning will turn left from a short turn lane and cross westbound traffic. Additionally, commuters to Albuquerque grabbing their morning coffee will be exiting the property by crossing the westbound lane and must merge back into heavy eastbound traffic.
- h. Technically there are 5 possible entrances that can get vehicles to this property. Two are located off Highway 528 and three are used as entrances into the office park which is located immediately east of this project. These three possible additional entrance/exits



are accessed via Ellison Rd/Calle Cuervo and will quickly become shortcuts for people getting in and out of this property. If this project is approved, we ask that a condition be placed on the project blocking vehicle access via the office park to the east which will stop vehicles from backing up into this area and short cutting through the parking lot. It will also keep traffic off Ellison Drive.

- i. The Paseo del Norte commercial area was conceived in such a way that most of the entering/exiting onto properties is via secondary roads or at lights. Unfortunately, those approving the master plans for Highway 528 in the 1980s did not have that foresight and the result is a major commuter artery that passed through an extremely congested commercial area with lots of driveways entering/exiting off the main highway.

## 2. LIGHTING

- a. The Dutch Brothers location will be open from 5am to 11pm daily and most lights will be placed on the north side of the property which directly faces our neighborhood. Our neighborhood does not have streetlights and we have worked with the neighboring businesses to reduce their lightening at the rear of their businesses.
- b. We request a condition be placed on this project that all lighting on the north side of the proposed building be very low and hooded.
- c. Additionally, we ask that the lighting be dimmed while the location is closed.

## 3. SIGNS

- a. We ask that no illuminated signs be allowed on the north side of the proposed buildings.

## 4. PRIVACY WALL

- a. To mitigate the effects of trash, noise and light on our neighborhood, we ask that a 6-foot block wall be required on the north side of the property and a 4-foot wall be required on the east and west sides of the property.

## 5. SPEAKERS

- a. It is our understanding that Dutch Brother locations play ambient music outside their restaurant during open hours (5am to 11pm). We strongly insist that this project be disallowed from using any type of outdoor speakers that can be heard more than 10 feet away.

## 6. LANDSCAPING

- a. This lot currently has large trees on the north side of the property bordering the AMAFCA flood control pond. These trees provide a privacy buffer between our neighbor and the commercial development.
- b. We ask that a condition be place on the project stating that the existing trees on the north edge of the property not be removed.
- c. Additionally, we ask that the landscaping plan be heavily treed and that larger trees are used for planting to match the existing feeling of the neighborhood. Many of the approved projects in the last ten years have not maintained the rural character of this area and have turned the corridor into a long strip mall. This is akin to Santa Fe's Cerrillos Road development in the 80s which that city is aggressively working to undo.

7. TRASH

- a. The AMAFCA drainage pond immediately north of this property feeds directly into the Rio Grande and is frequented by migratory (cranes, geese and ducks) and many local birds who come for the protection of the trees and the water that sits in the pond. Trash blowing from the commercial area into the pond and into our neighborhood is a regular problem.
- b. To mitigate the amount of trash coming into the pond and our neighborhood, we insist on the installation of a 6-foot block wall on the north side of the property and a 4-foot block wall on the west and east sides. This will contain trash on the property where it belongs.

8. EXISTING LOCATIONS

- a. It must be noted that there are currently two (2) existing Dutch Brother Coffee locations within 2.6 miles of this proposed location
  - i. LOCATION ONE: 1440 Rio Rancho Blvd SE, Rio Rancho is 1.7 miles away
  - ii. LOCATION TWO: 2121 Unser Blvd SE, Rio Rancho is 2.6 miles away
- b. These two locations are regularly busy with vehicles backing up into the shopping areas and streets around them. Neither location has traffic entering/existing from a primary artery.
- c. Traffic at the Dutch Brother location at Juan Tabo backs up onto Juan Tabo itself and interferes with traffic.
- d. A Google search of "Dutch Brother" + "traffic" yields numerous pages detailing the traffic issues caused by their stores.
- e. If the traffic is too busy at this new location and starts to cause problems on Highway 528 & the office park, what recourse does the city have to fix the issue? How can traffic problems be fixed after approval? Who do citizens call when it's a property located in the City of Albuquerque that is causing traffic problems on a state road?

9. CELL TOWER

- a. A future monopole cell tower is proposed as part of this new site plan. Because this cell tower directly faces our neighborhood and obstructs our views, we strongly insist that a condition be placed requiring the design be exceptionally disguised, similar to the stucco clock tower installed at the Frontier Mart in the Village of Corrales.

We sincerely appreciate your time and consideration of our neighborhood's requests/concerns and are happy to provide any additional information needed.

Sincerely,



Linda Davis, President  
Sky View Acres Neighborhood Association  
*Resident since 1991*  
Home: (505) 792-1662

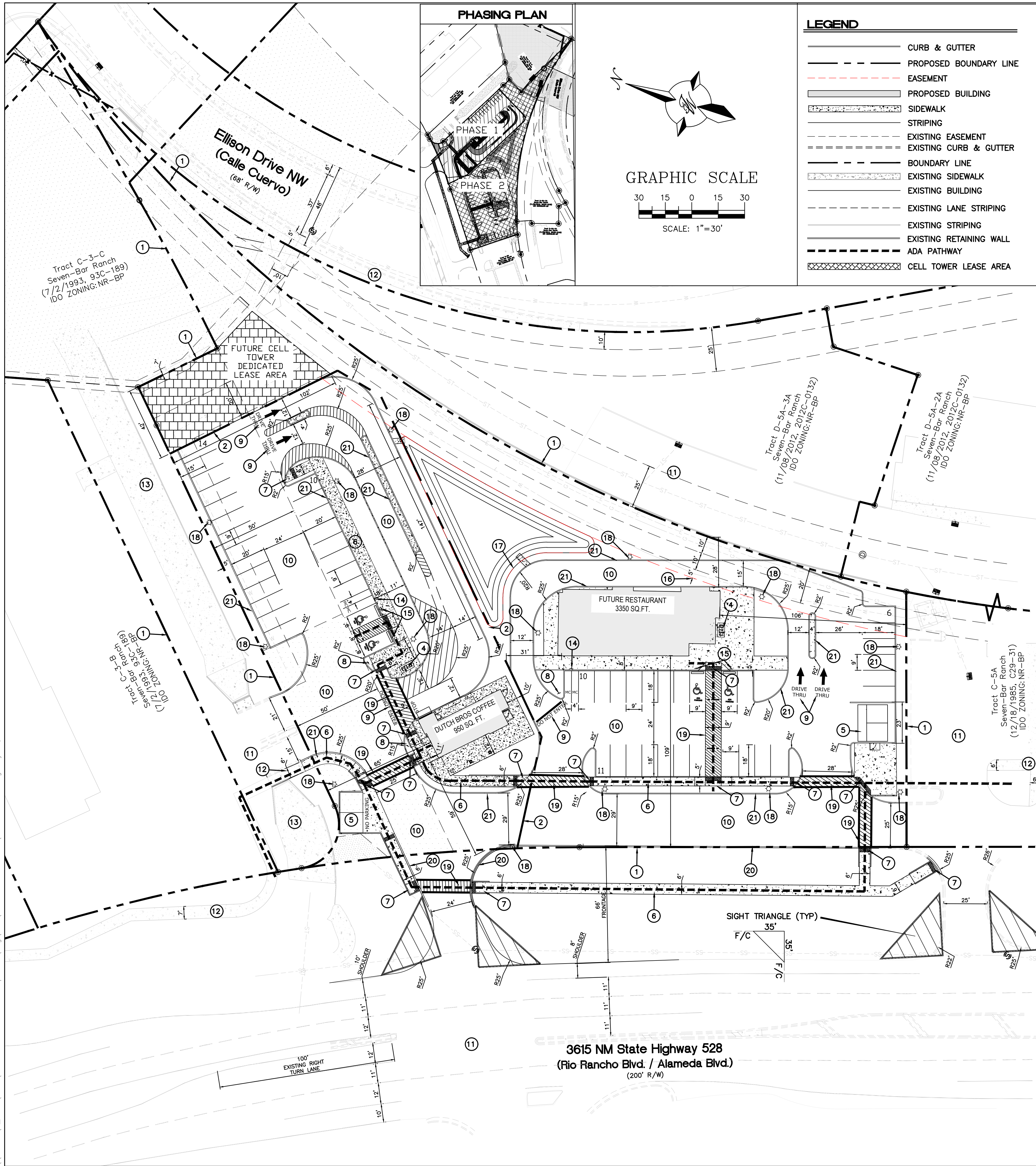


Anna Brown, Treasurer  
Sky View Acres Neighborhood Association  
*Resident since 2006*  
Mobile: (505) 350-6520

## REDUCTIONS



\\TWS\Z\_Drive\2014\2014069-Julian Garza Properties\dwg\DRB\NM-528 and Ellison\2014069-SDP.dwg, May 26, 2021 - 9:27am



#### KEYED NOTES

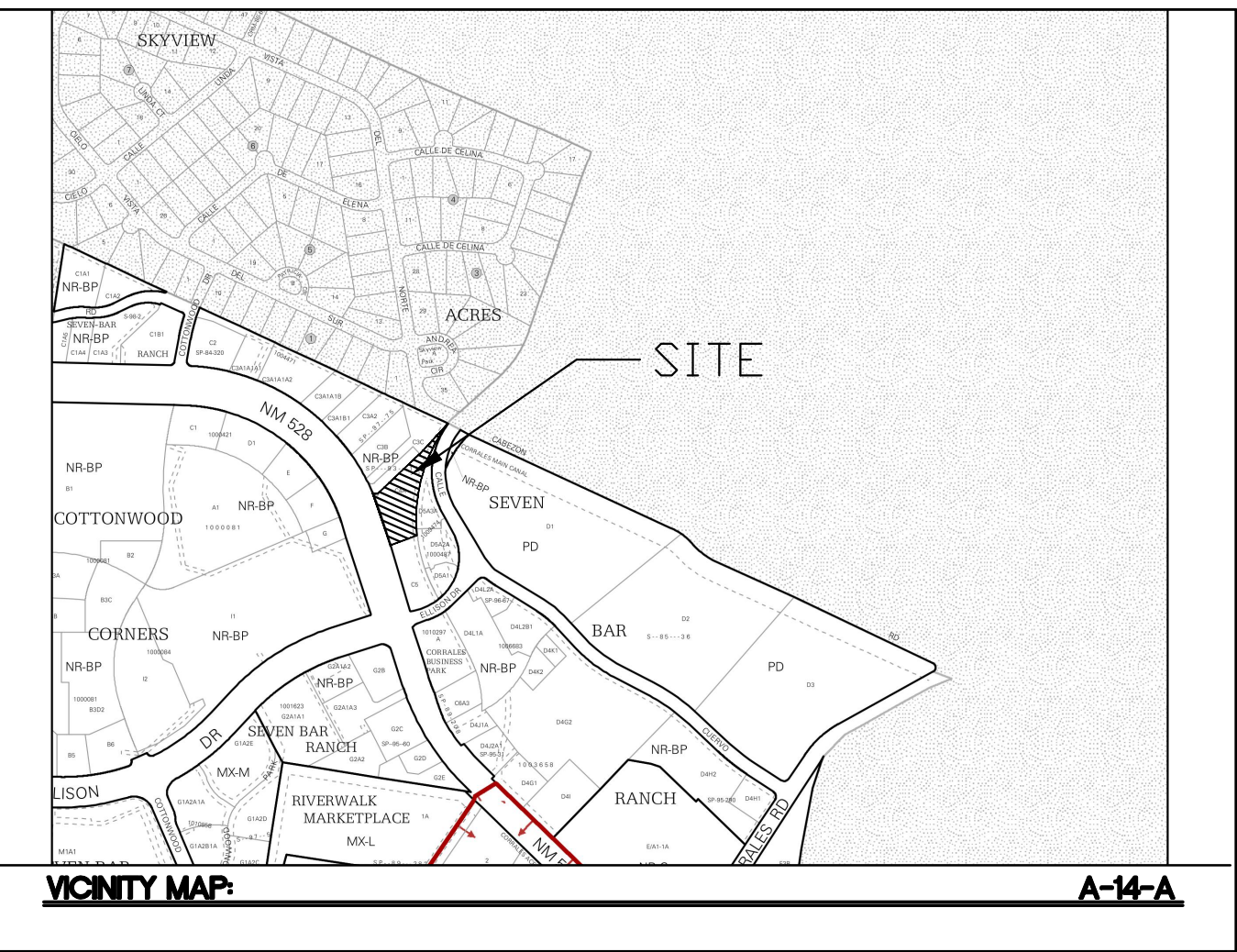
- 1 EXISTING PROPERTY LINE
- 2 PROPOSED PROPERTY LINE
- 3 NOT USED
- 4 BIKE RACK (SEE DETAIL SHEET C2.1)
- 5 REFUSE ENCLOSURE W/MEDIUM SAND FINISH (SEE DETAIL SHEET C2.1)
- 6 SIDEWALK PER COA STD #2430
- 7 ADA RAMP WITH TRUNCATED DOMES PER COA STD #2443
- 8 "DO NOT ENTER" SIGN (SEE DETAIL SHEET C2.2)
- 9 STRIPPING (SEE DETAILS SHEET C2.2)
- 10 NEW ROADWAY PAVING (SEE DETAIL SHEET C2.1)
- 11 EXISTING PAVING
- 12 EXISTING SIDEWALK
- 13 EXISTING DRAINAGE CHANNEL
- 14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C2.2)
- 15 ADA PARKING ONLY SIGN (SEE DETAIL, SHEET C2.2)
- 16 5' ADDITIONAL WATERLINE EASEMENT TO BE GRANTED
- 17 DRAINAGE POND EASEMENT TO BE GRANTED
- 18 NEW LIGHT POLE (SEE DETAIL, SHEET C2.2)
- 19 ON-SITE PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C2.2)
- 20 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- 21 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C2.3)

#### INDEX TO DRAWINGS

- C1. SITE PLAN-EPC
- C2.1 DETAILS
- C2.2 DETAILS
- C2.3 DETAILS
- C3.1 LANDSCAPE PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. GRADING AND DRAINAGE DETAILS
- C6. MASTER UTILITY PLAN
- C7. STRUCTURE ELEVATIONS
- C8. GOVERNING SITE PLAN

#### NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
4. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
5. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS
7. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
8. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING SANITARY DRAINS.
9. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
10. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.



#### LEGAL DESCRIPTION

TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9000 AC M/L OR 86,684 SQ FT M/L

#### SITE DATA

DUTCH BROTHERS COFFEE	FUTURE RESTAURANT
IDO ZONING: NR-BP	IDO ZONING: NR-BP
PROPOSED USAGE: DRIVE THRU RESTAURANT	PROPOSED USAGE: FAST FOOD RESTAURANT
LOT AREA: 32,670 SF (0.75 ACRE)	LOT AREA: 54,014 SF (1.24 ACRE)
BUILDING AREA: 950 SF	BUILDING AREA: 3350 SF
PARKING: SPACES REQUIRED: 8	PARKING: SPACES REQUIRED: 27
(8 SPACES/ 1,000 SF)	(8 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED: 24	PARKING: SPACES PROVIDED: 27
(INCLUDES HC PARKING)	(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED: 2	HC PARKING: SPACES REQUIRED: 2
HC PARKING: SPACES PROVIDED: 2	HC PARKING: SPACES PROVIDED: 2
(1 VAN ACCESSIBLE)	(1 VAN ACCESSIBLE)
MC PARKING: SPACES REQUIRED: 1	MC PARKING: SPACES REQUIRED: 1
(1 PER 1-25 REQUIRED PARKING SPACES)	(1 PER 1-25 REQUIRED PARKING SPACES)
MC PARKING: SPACES PROVIDED: 2	MC PARKING: SPACES PROVIDED: 2
BICYCLE PARKING: SPACES REQUIRED: 3	BICYCLE PARKING: SPACES REQUIRED: 3
(3 SPACES OR 10% OF REQUIRED PARKING)	(3 SPACES OR 10% OF REQUIRED PARKING)
BICYCLE PARKING: SPACES PROVIDED: 4	BICYCLE PARKING: SPACES PROVIDED: 4
REQUIRED ADJACENT WALKWAY WIDTH: 8'	LANDSCAPE AREA PROVIDED: 18,205 SF (33.7%)
FROM IDO TABLE 5-3-1	REQUIRED ADJACENT WALKWAY WIDTH: 8'
(BUILDING SIZE < 10,000 SF = 8')	FROM IDO TABLE 5-3-1
	(BUILDING SIZE < 10,000 SF = 8')

PROJECT NUMBER: PR-2021-005222

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

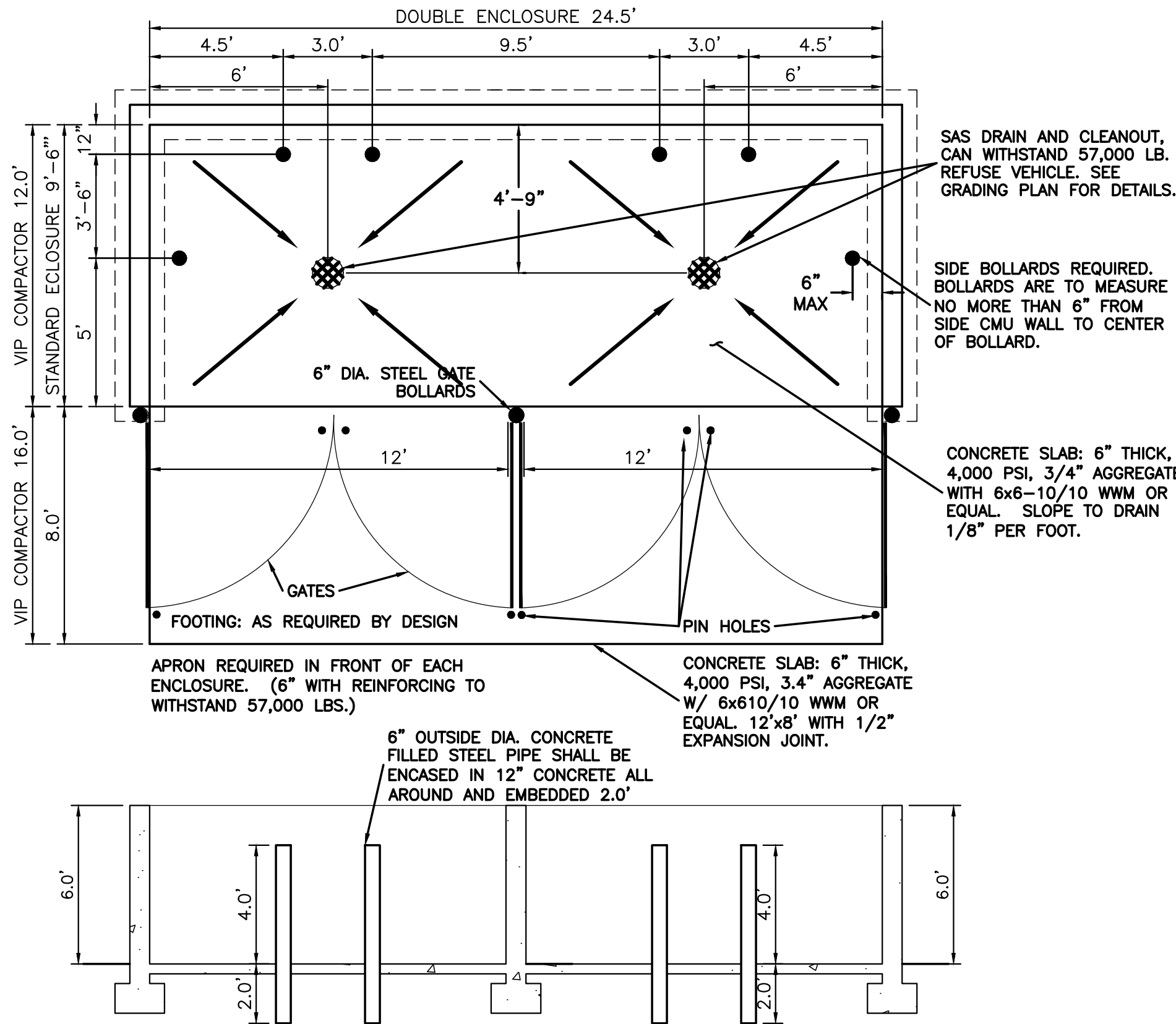
Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	NM 528 AND ELLISON 3615 HWY 528  SITE PLAN - EPC	DRAWN BY LN
  05/26/2021		DATE 05/26/2021
	DRAWING 2014069-SPE	
	RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2020091

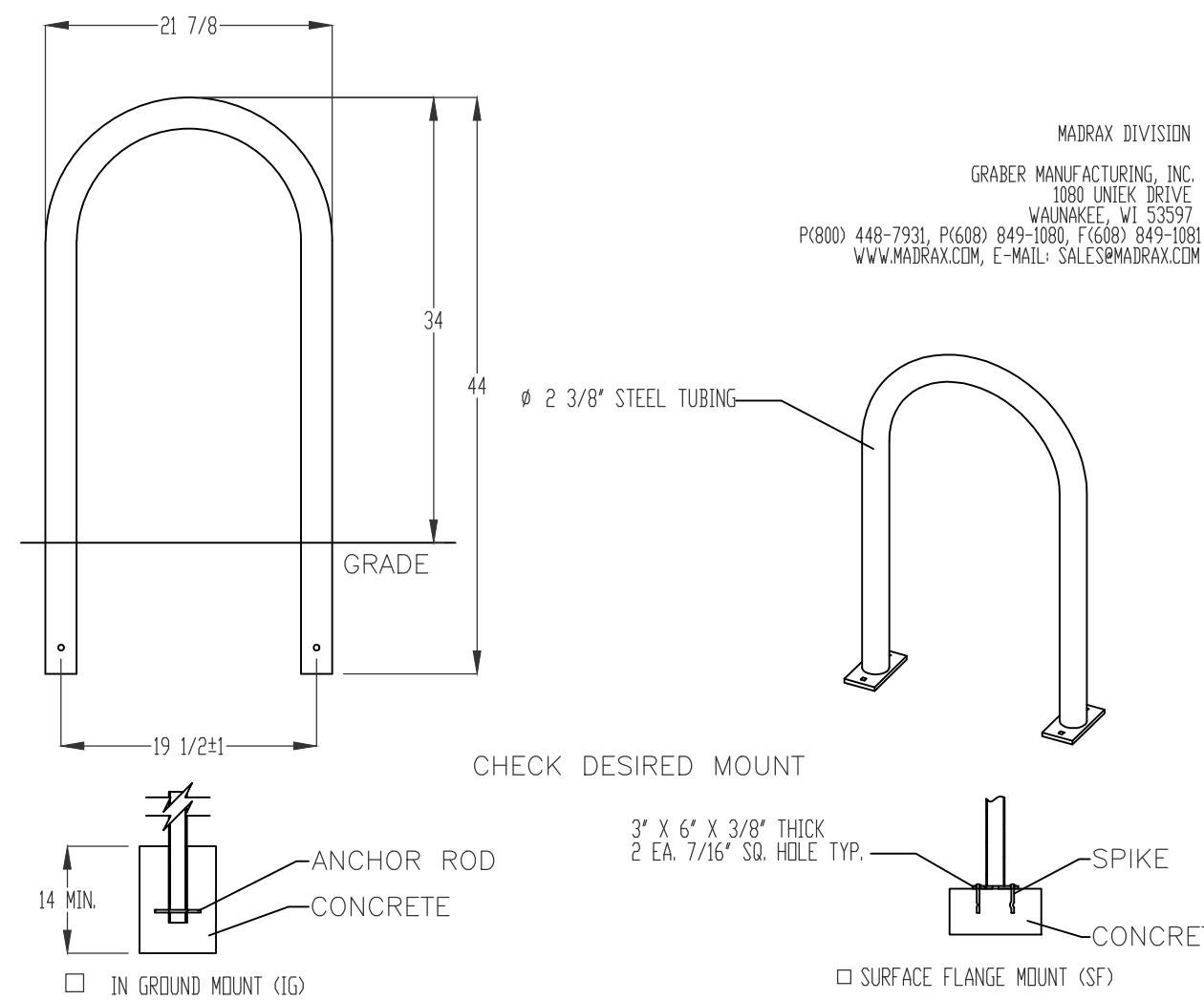




- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
  2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

#### DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

NTS

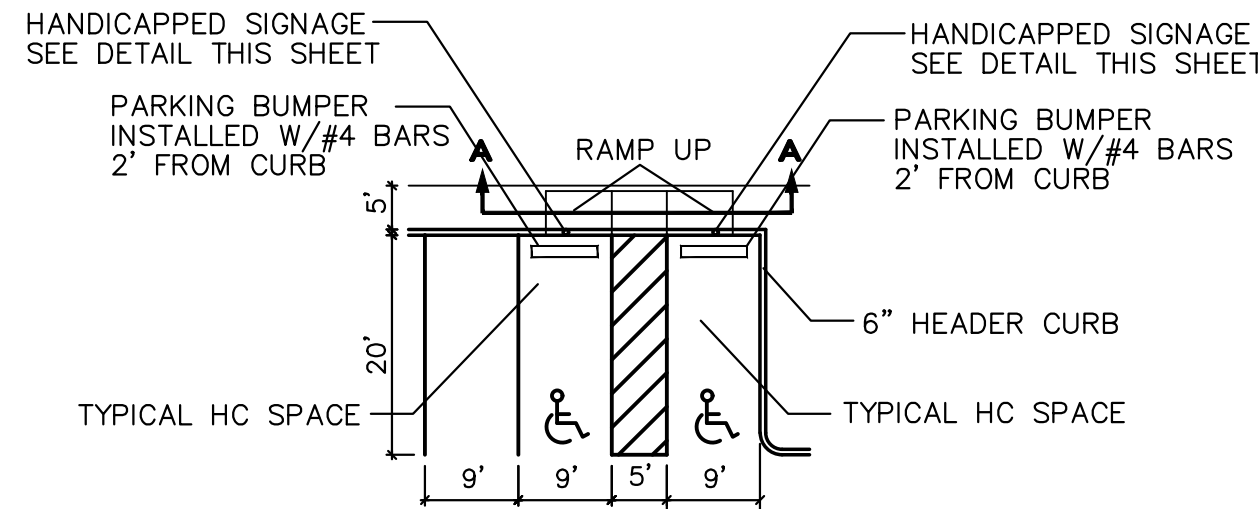


PRODUCT: U238-IG(SF)  
DESCRIPTION: 1/2 BIKE RACK  
DATE: 10-4-18  
ENG: SMC  
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.  
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NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. CONSULTANT TO SELECT COLOR FINISHES. SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONSULT TOWER.  
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.  
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

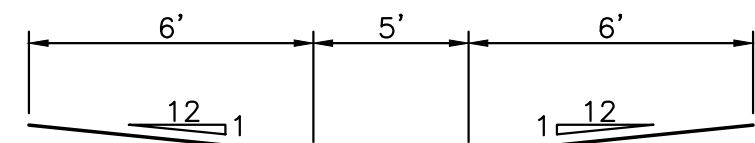
#### BIKE RACK

SCALE: NONE



#### HC PARKING DETAIL

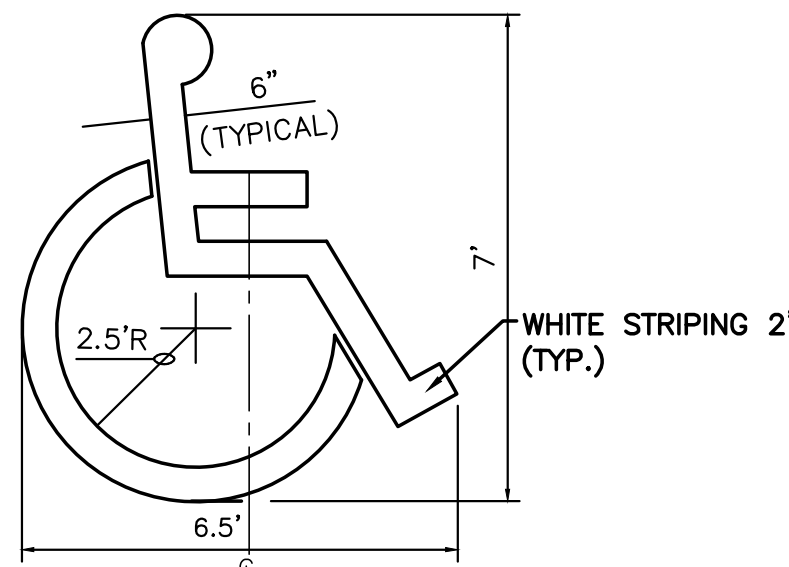
NTS



#### HC PARKING DETAIL SECTION A-A

NTS

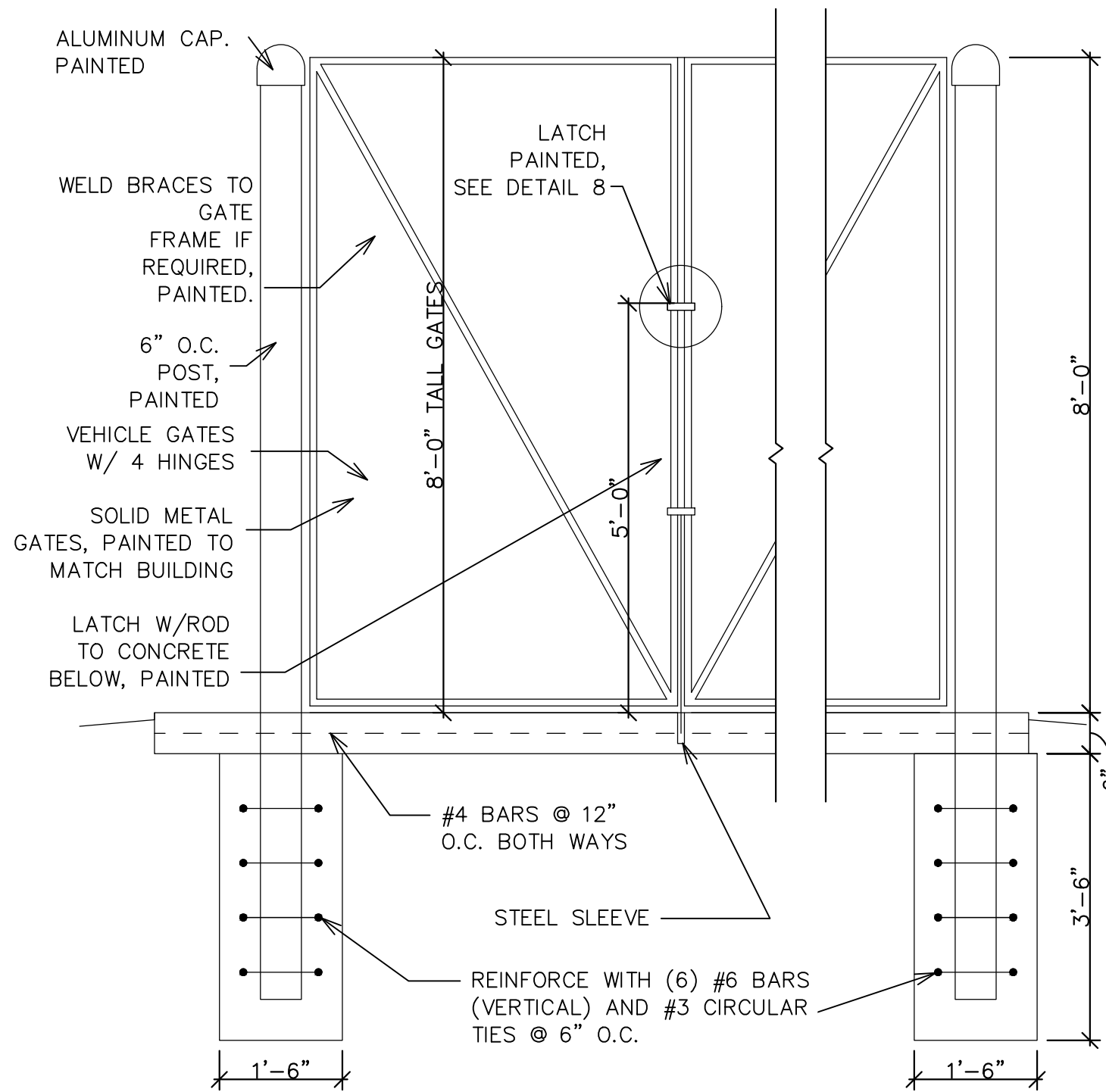
- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
  - 2) Parking space lines and diagonal striping to be painted blue and shall be 4" wide. Diagonal lines shall be spaced 2' center to center.
  - 3) Access aisle shall have the words "NO PARKING" in blue, capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

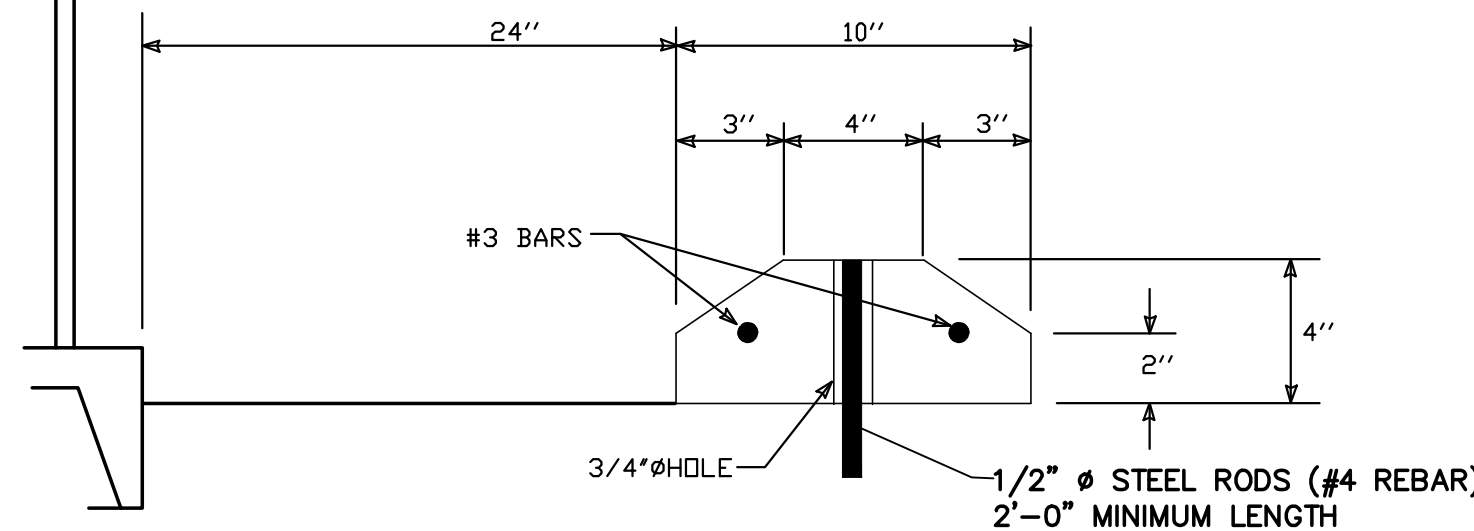
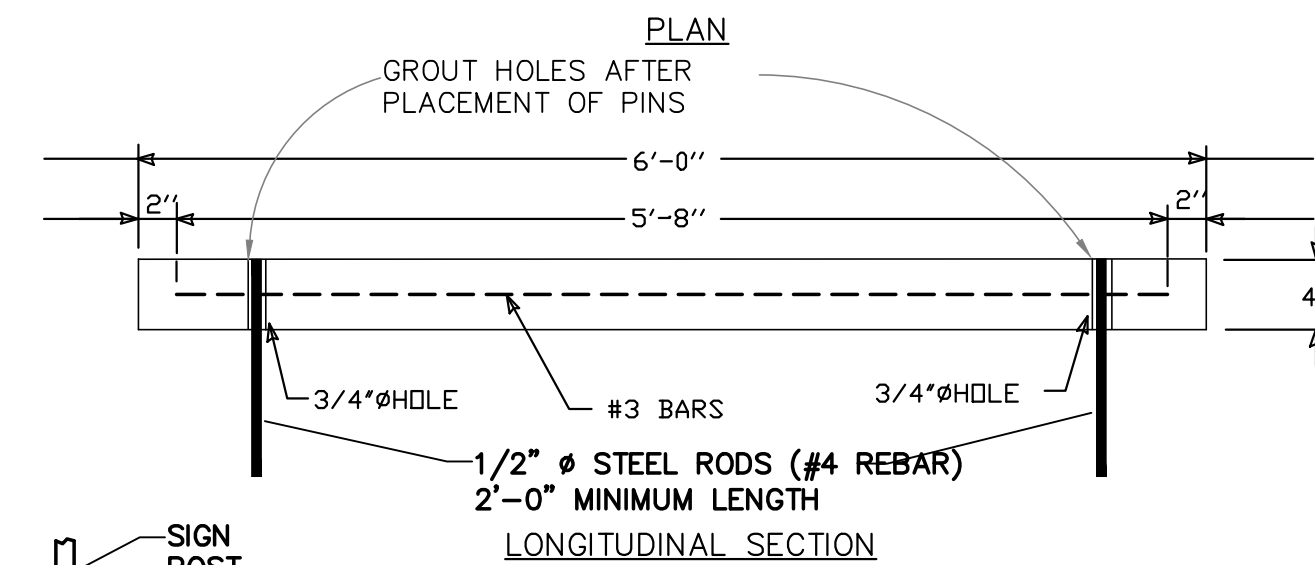
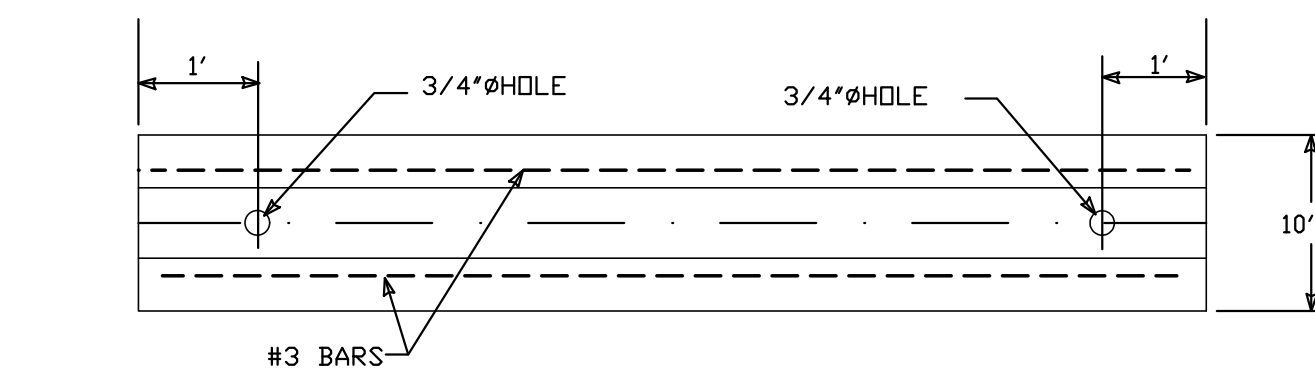
#### ACCESSIBLE PARKING SYMBOL

NTS



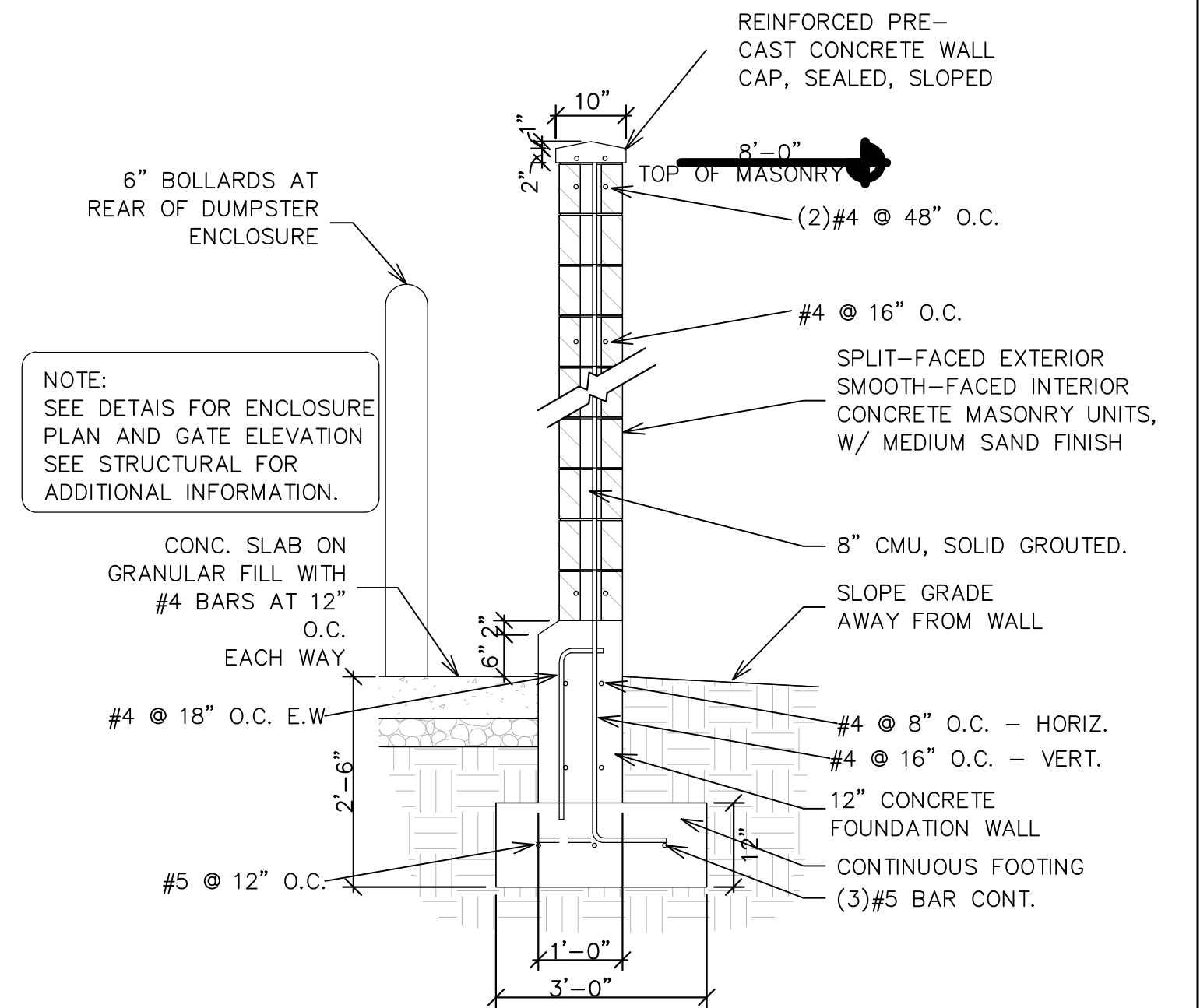
#### Dumpster Enclosure Gate Latch Detail

SCALE: NONE



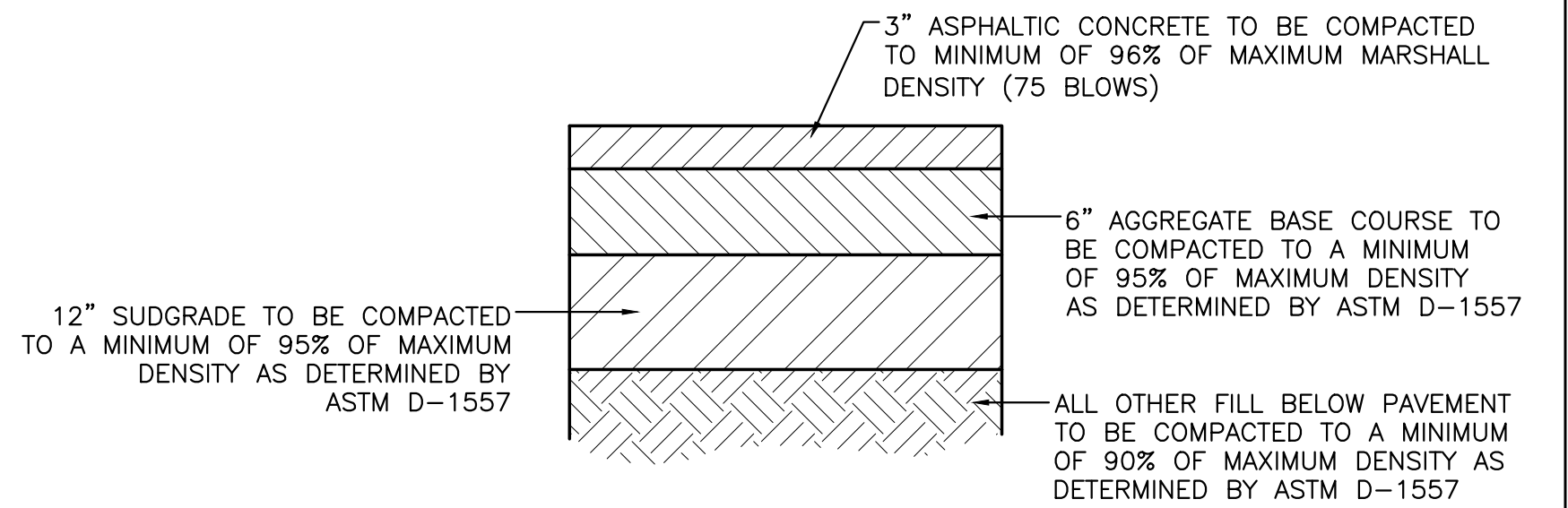
#### WHEEL STOP

NTS



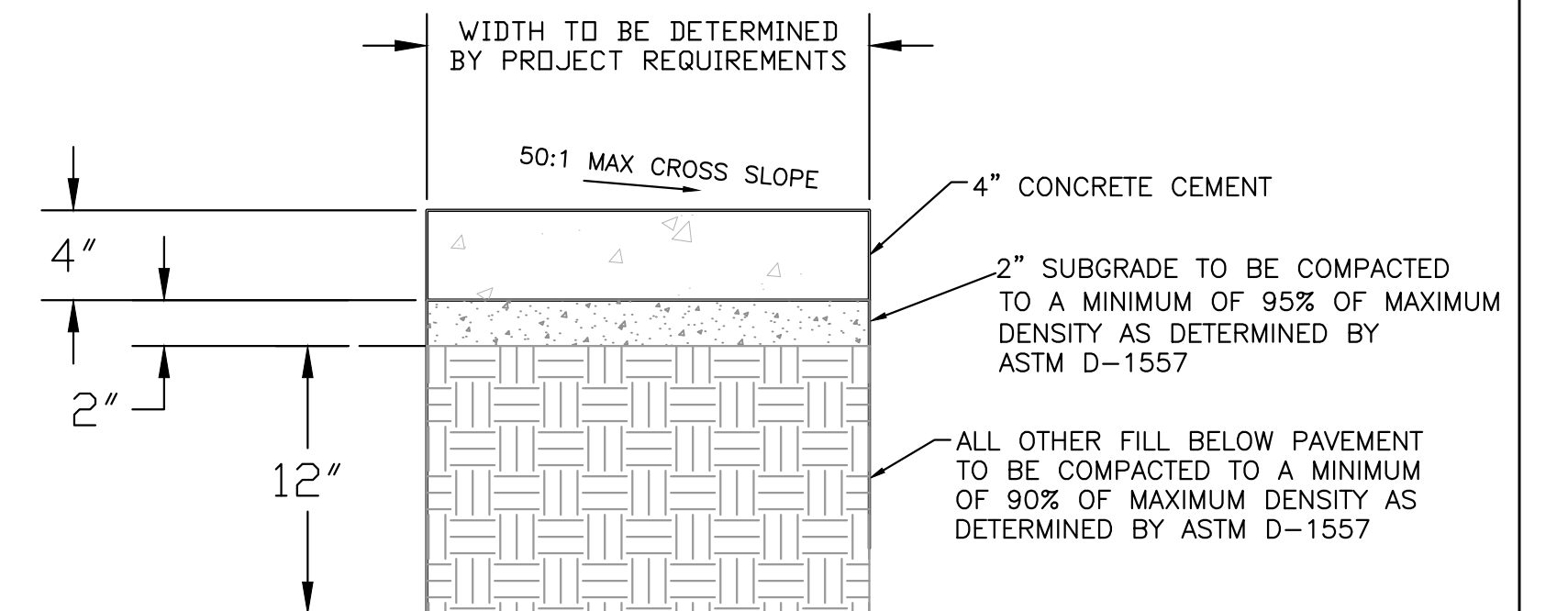
#### Dumpster Enclosure Wall Section

SCALE: NONE






#### SITE ASPHALT PAVEMENT SECTION

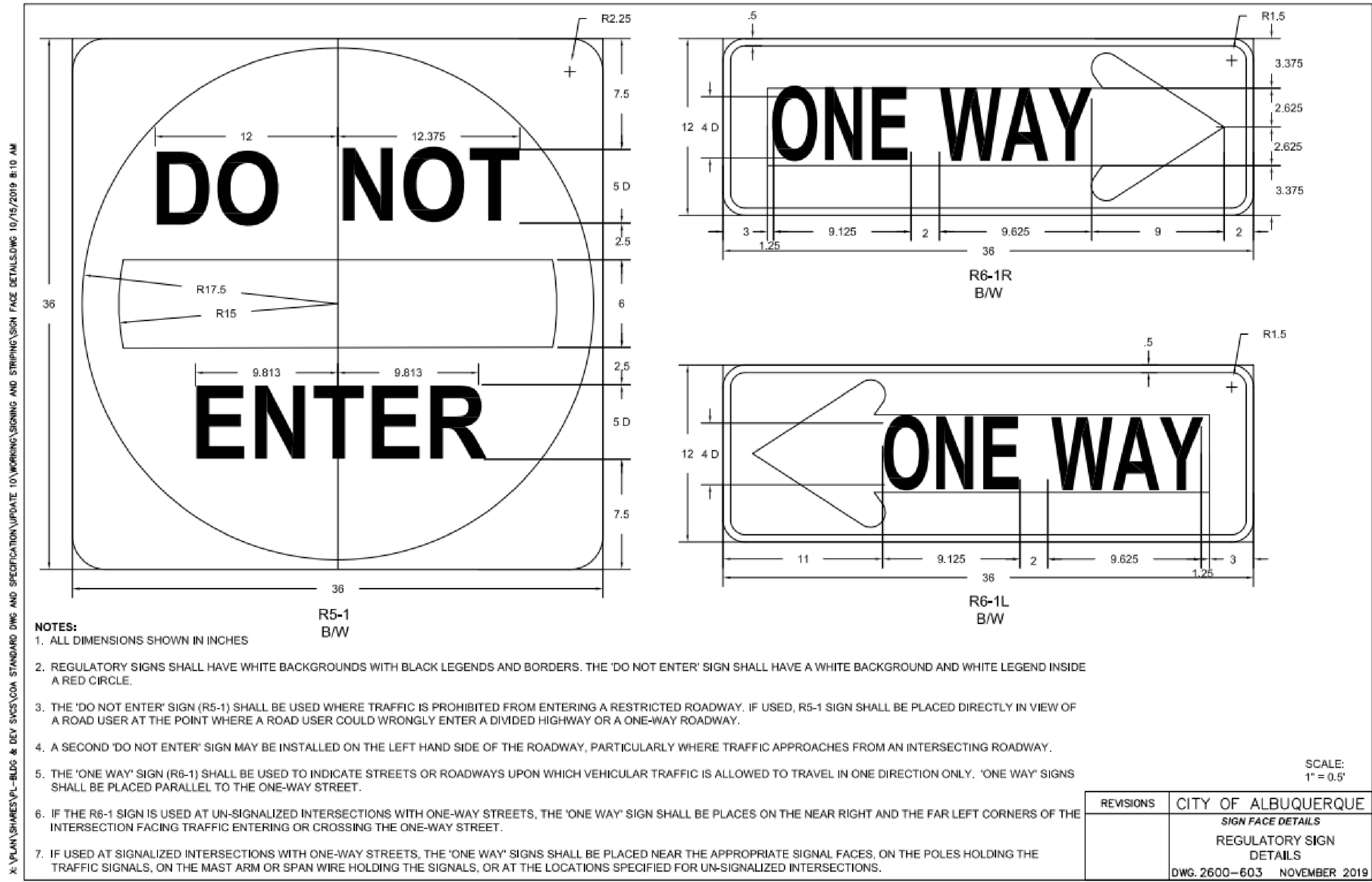
NTS



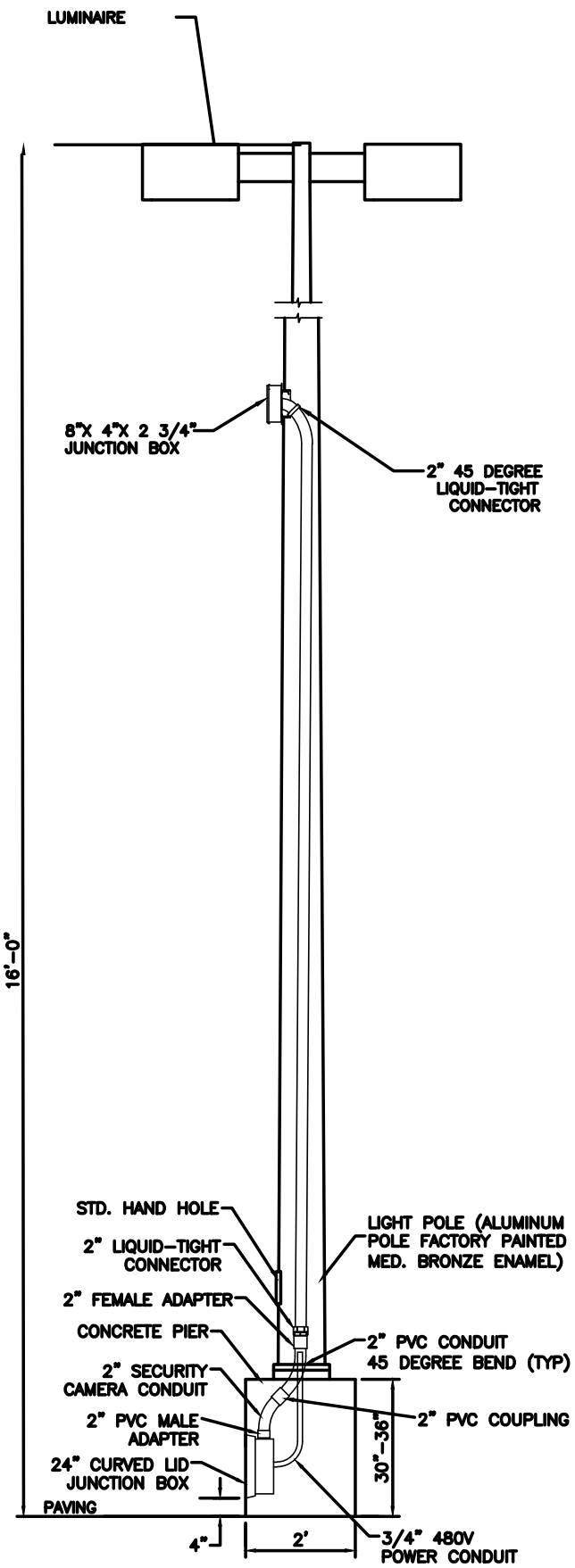
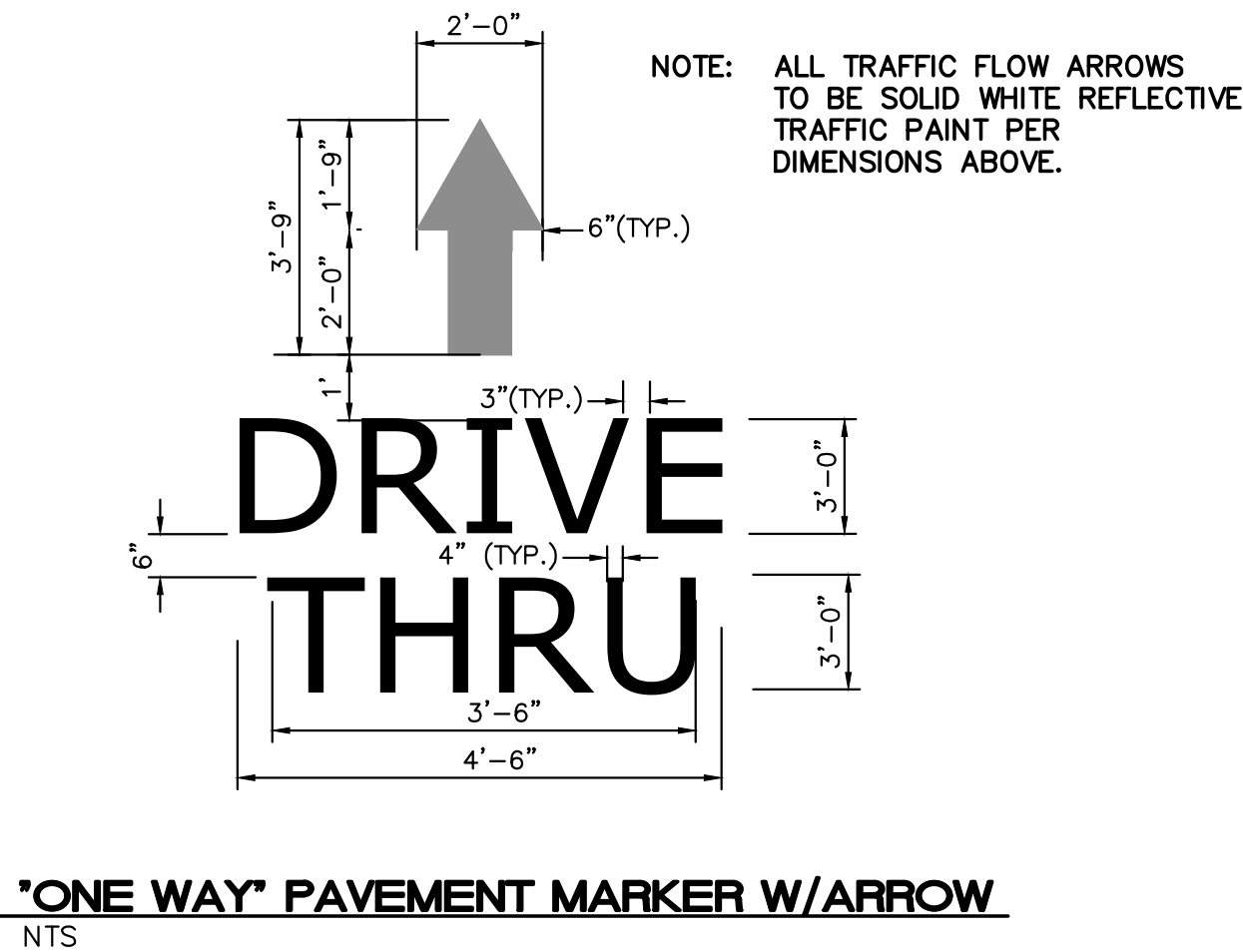
#### CONCRETE SIDEWALK SECTION

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	NM 528 AND ELLISON 3615 HWY 528  DETAILS	DRAWN BY LN
		DATE 05/26/2021
  05/26/2021	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014069-SPE
		SHEET #  <b>C2.1</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2020091

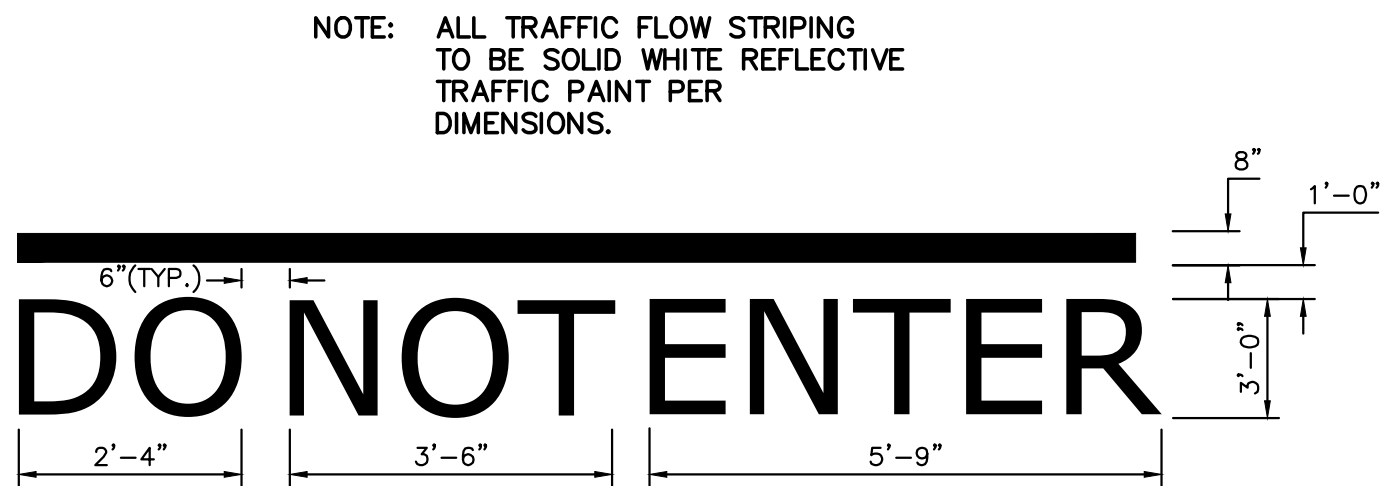




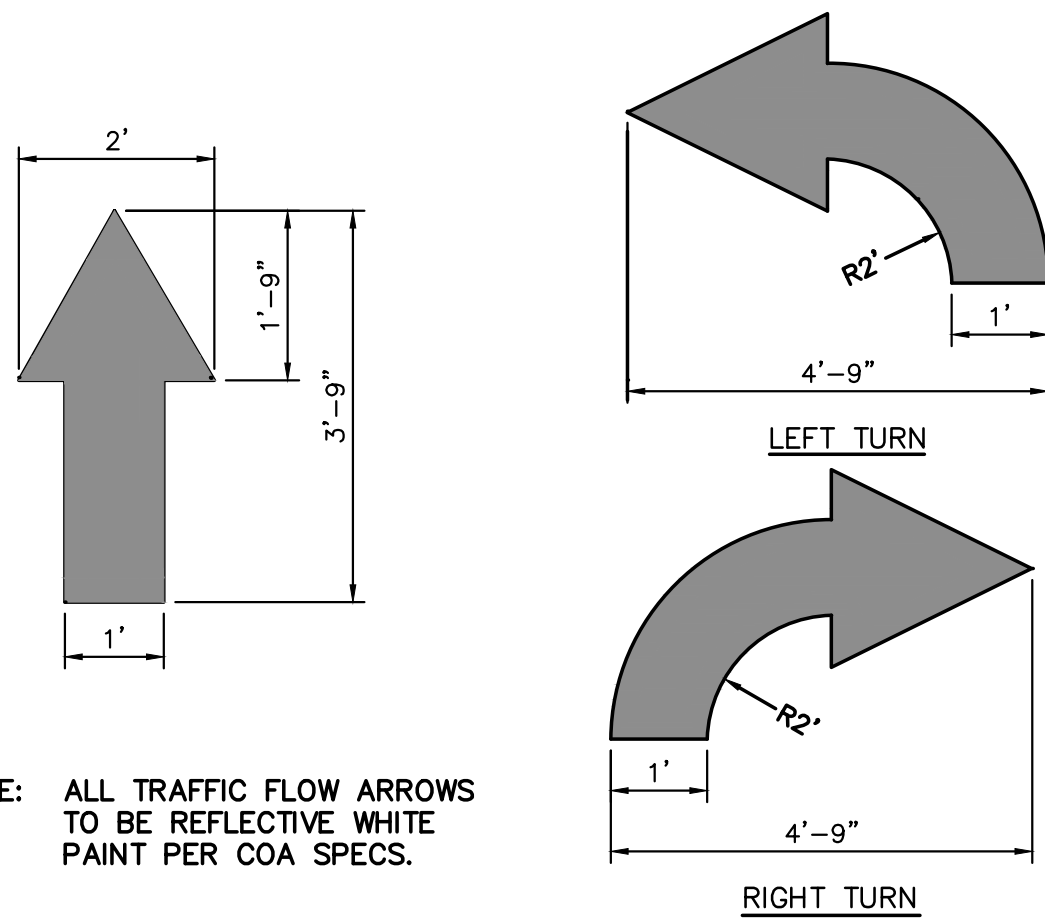
**DO NOT ENTER SIGN**  
NTS



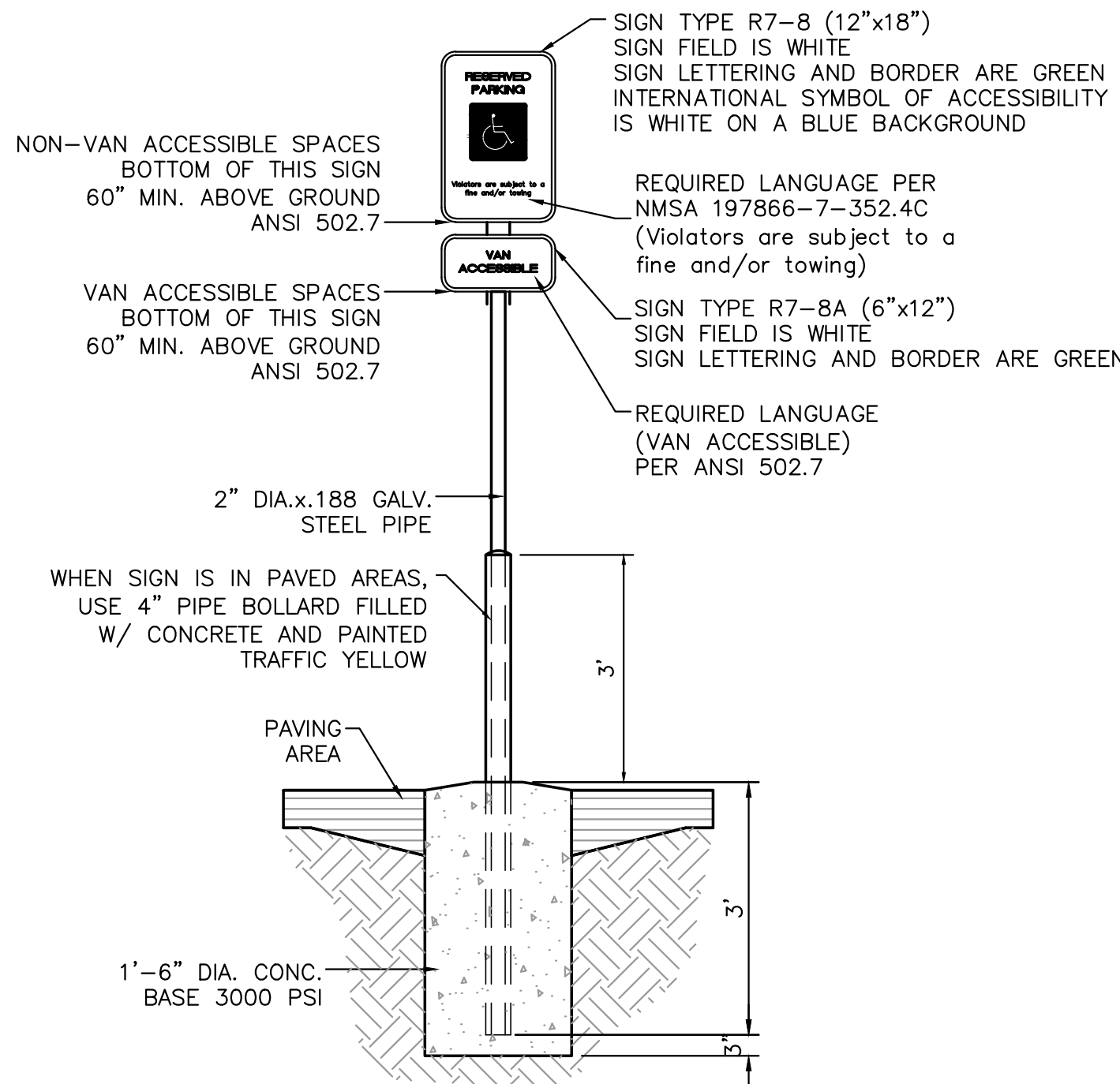
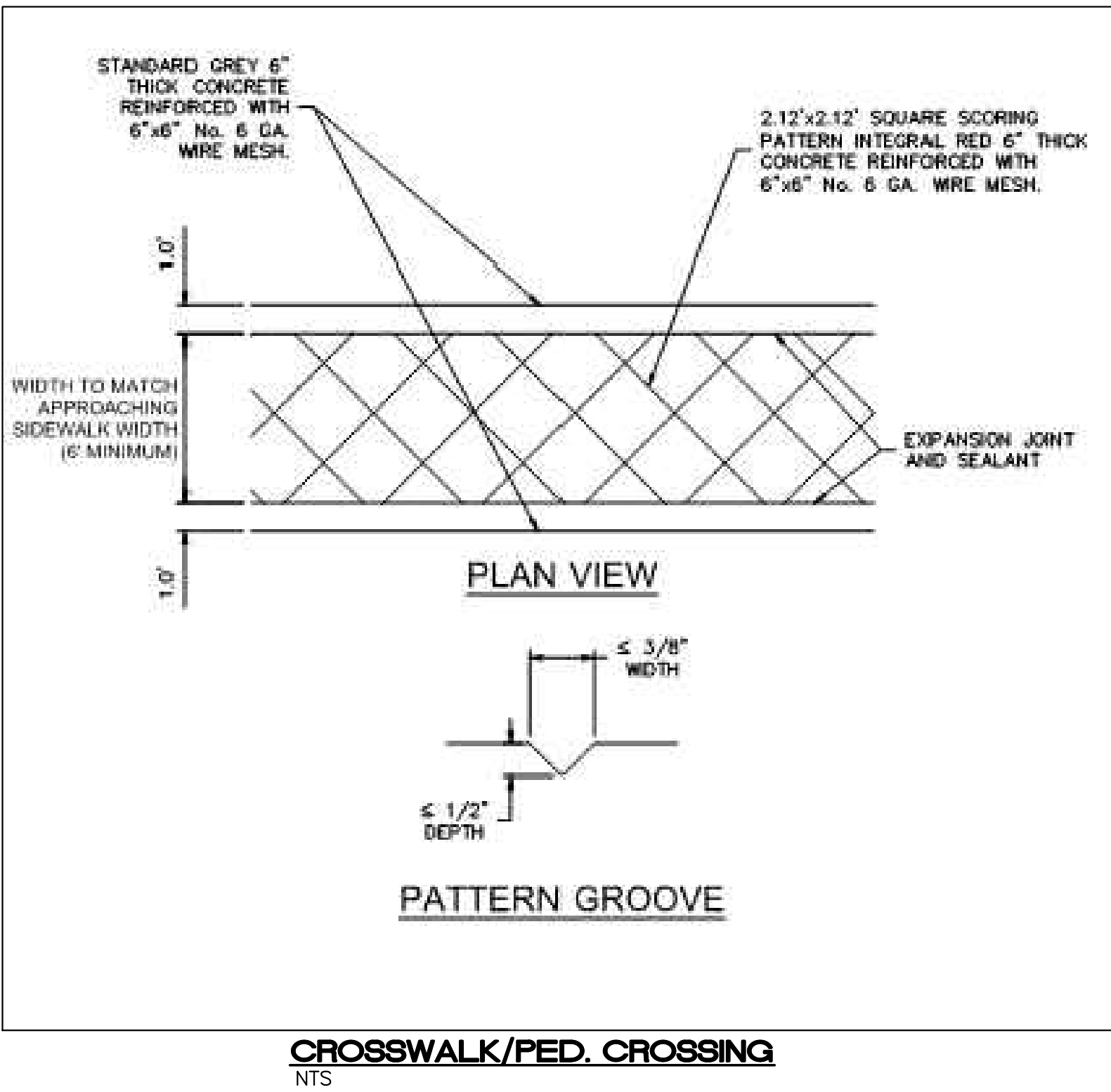
**LIGHT STANDARD**  
NTS



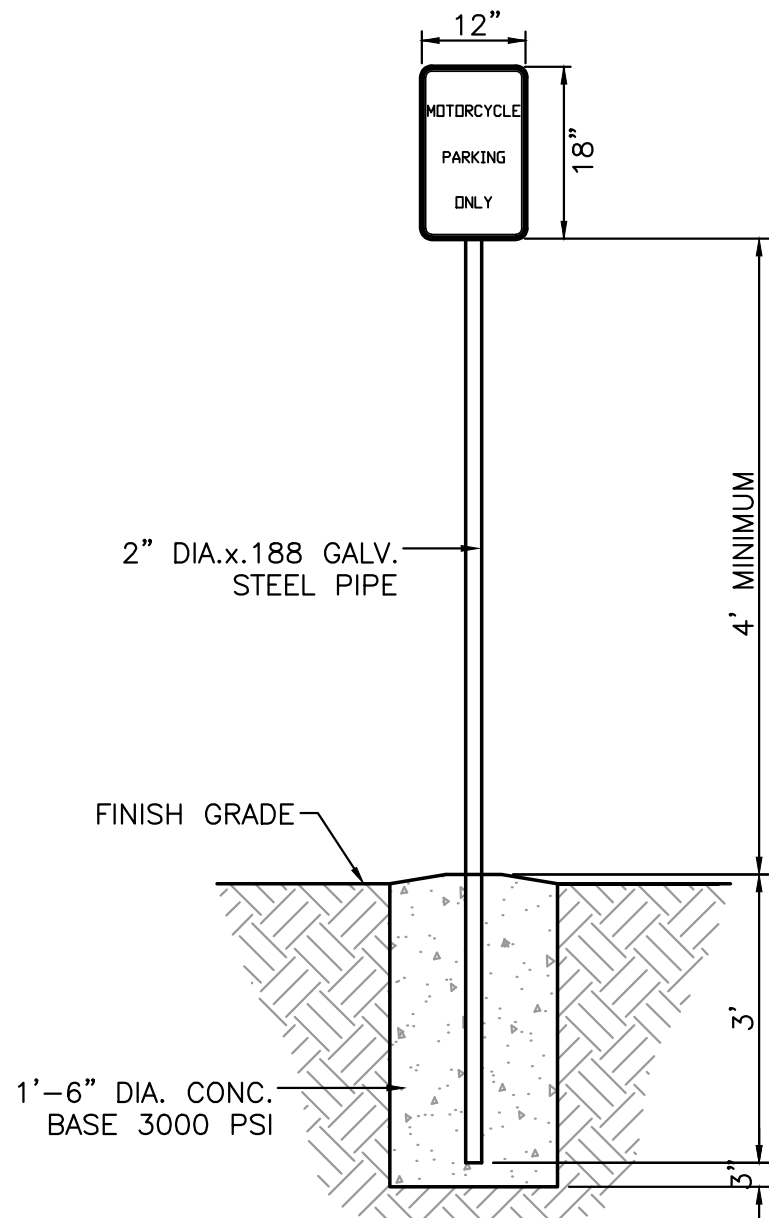
**DO NOT ENTER PAVEMENT MARKER W/ARROW**  
NTS





**TRAFFIC FLOW ARROW**  
NTS



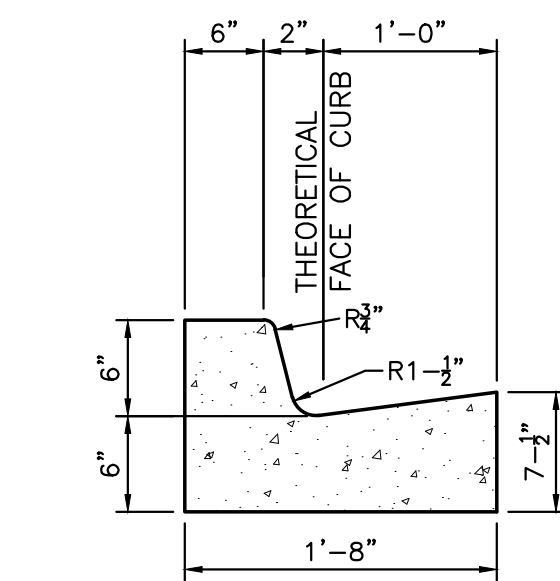
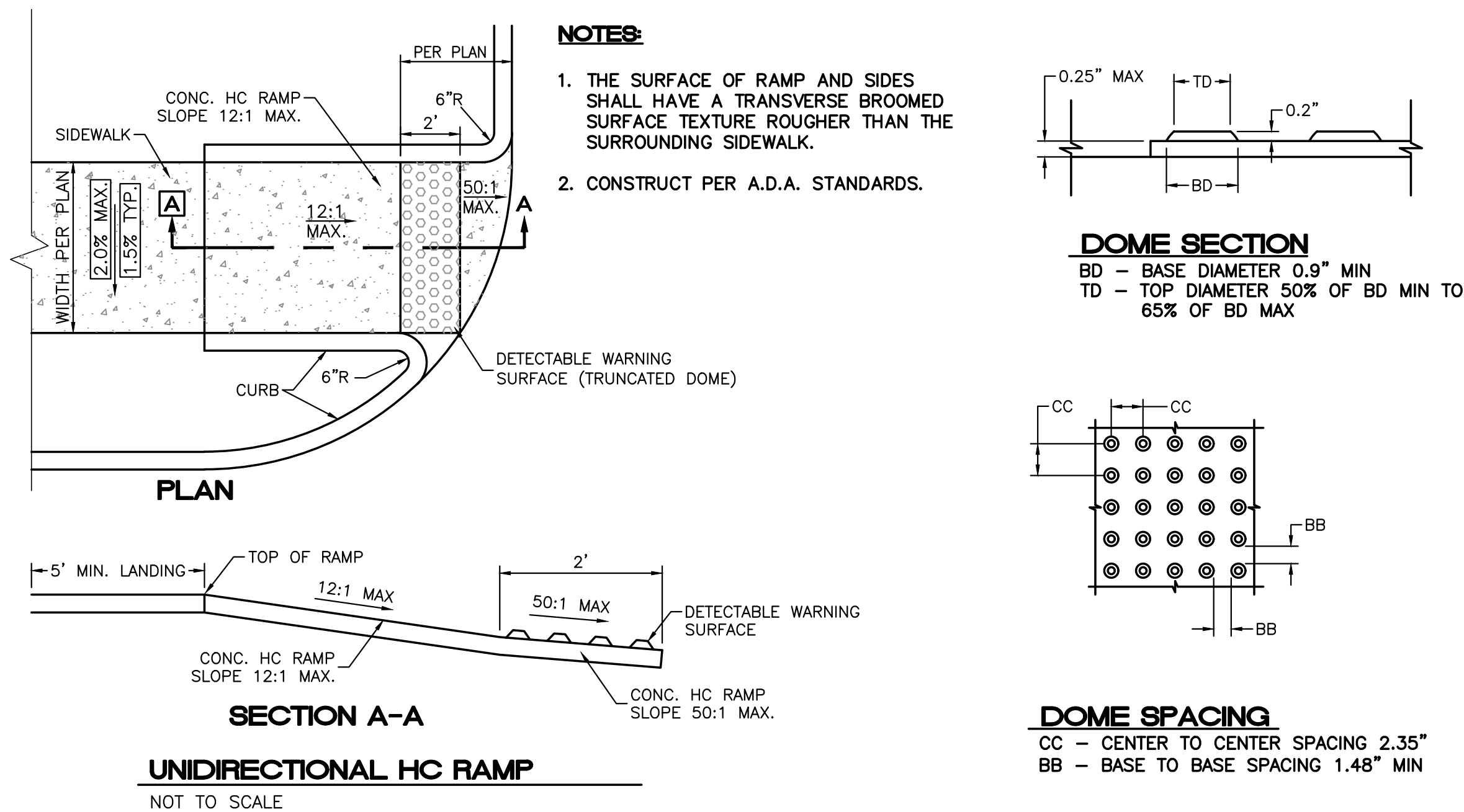
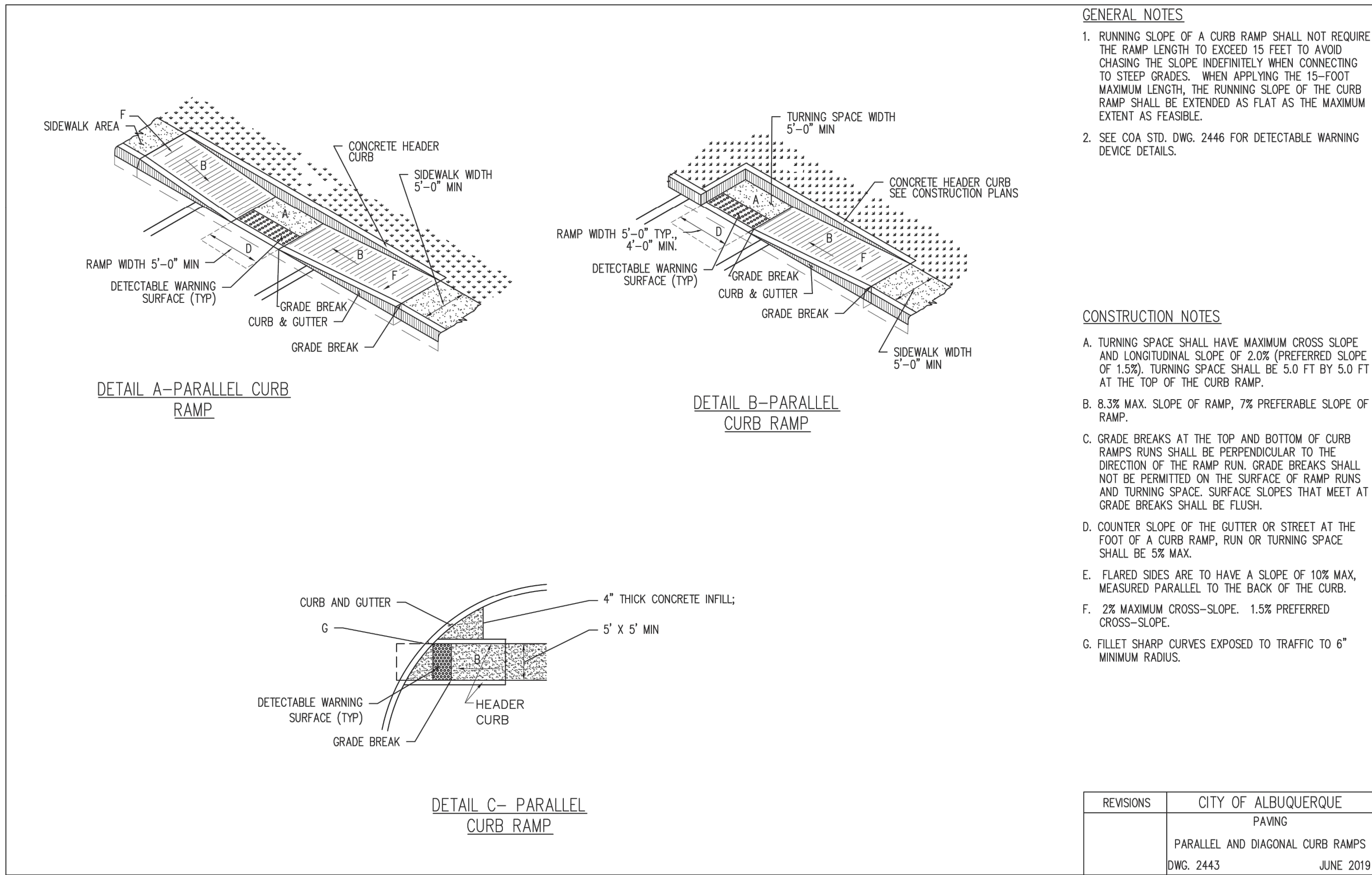
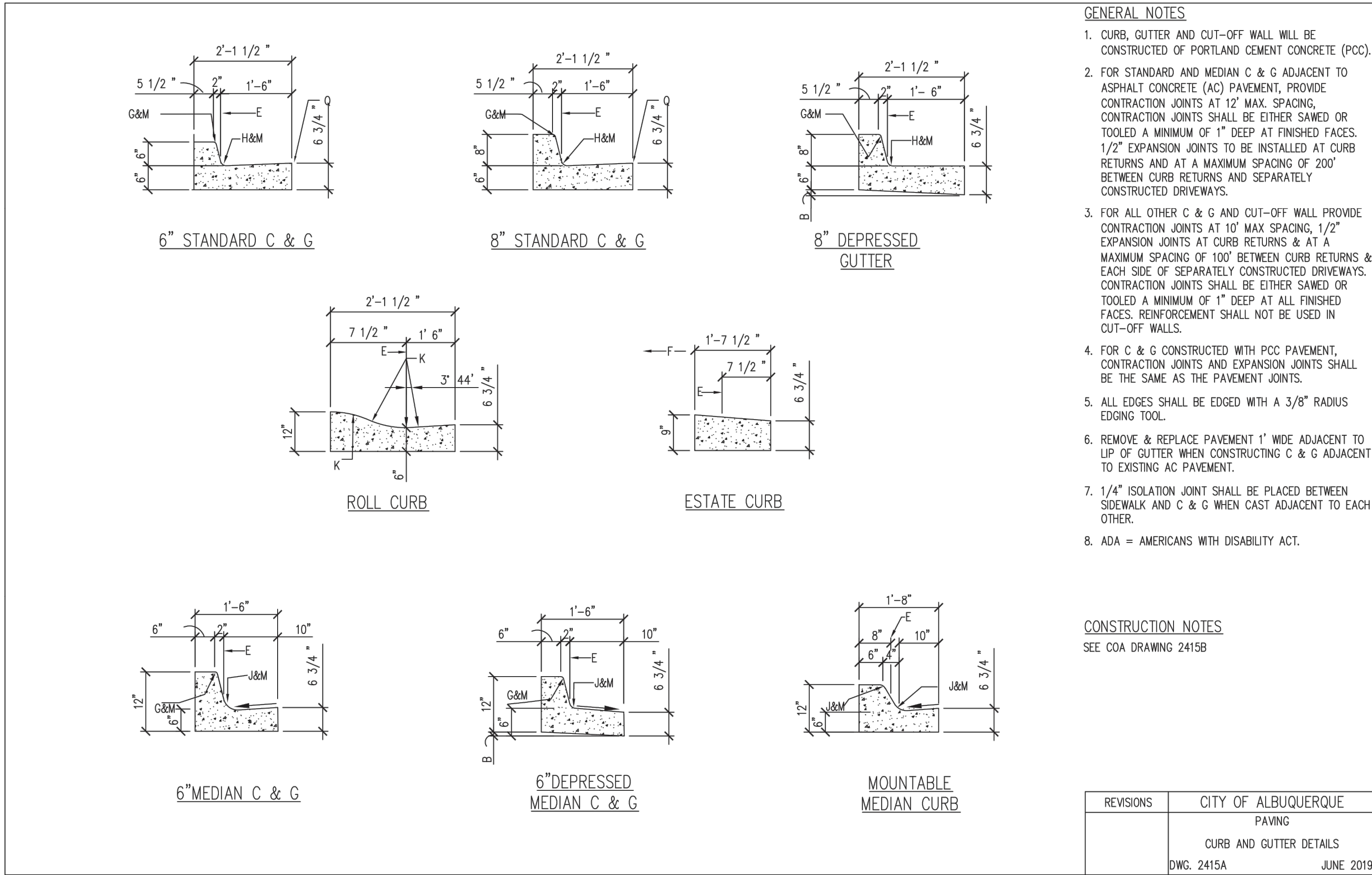
**ACCESSIBLE PARKING SIGN**  
NTS



**MOTORCYCLE PARKING SIGN**  
NTS

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	NM 528 AND ELLISON 3615 HWY 528	DRAWN BY LN
		DATE 05/04/2021
  05/26/2021	DETAILS	DRAWING 2014069-SPE
		SHEET #  C2.2
RONALD R. BOHANNAN P.E. #7868	 <i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020091

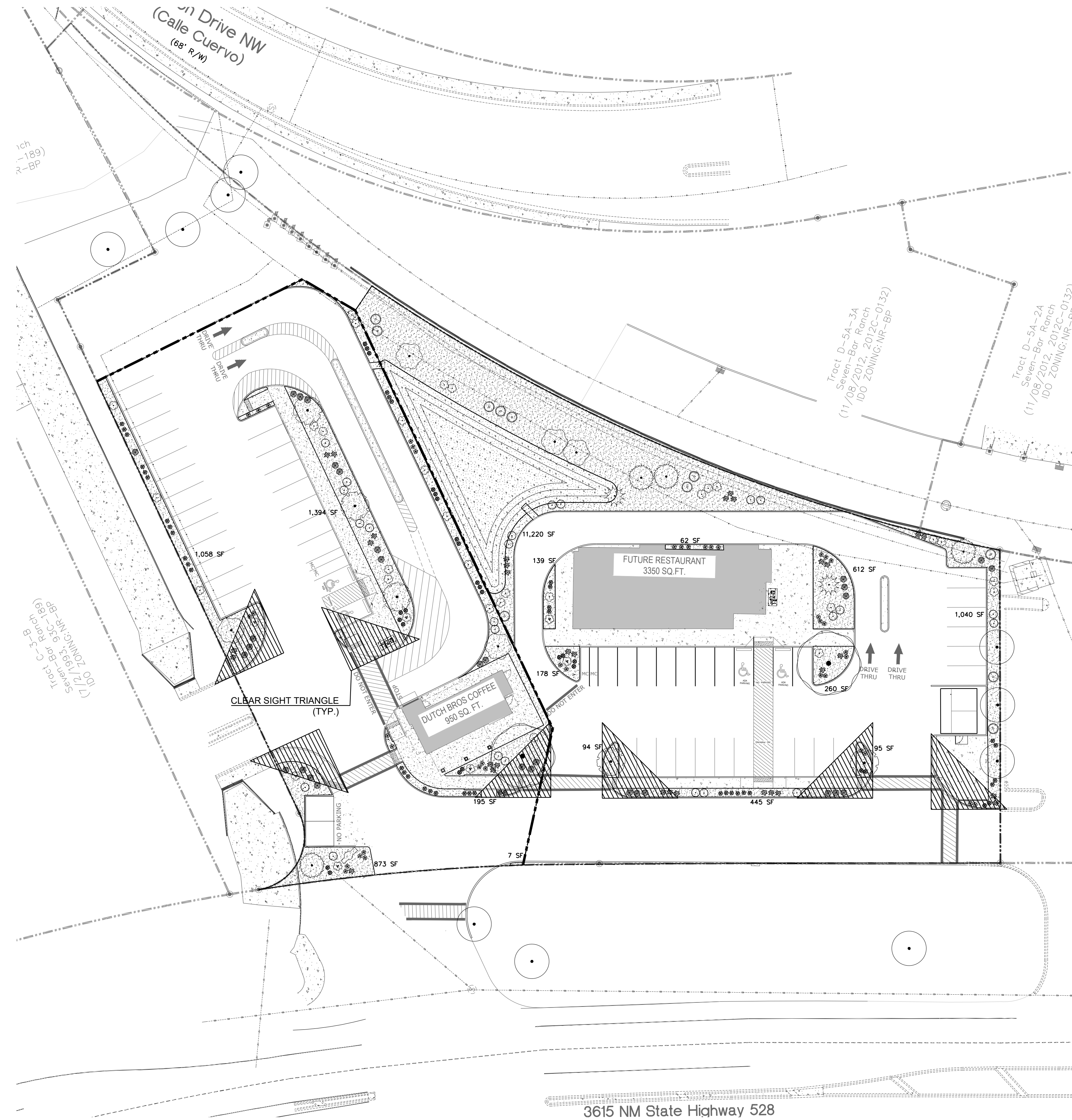




- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
  2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
  4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	NM 528 AND ELLISON 3615 HWY 528 DETAILS	DRAWN BY LN
		DATE 05/04/2021
	<div></div> <div>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING 2014069-SPE
		SHEET # C2.3 JOB # 2020091





## LANDSCAPE PLAN

**CLEAR SIGHT TRIANGLE NOTE**  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

### LANDSCAPE DATA

GROSS LOT AREA	77,320 SF
LESS BUILDING(S)	4,300 SF
NET LOT AREA	73,020 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	10,953 SF
PROPOSED LANDSCAPE	17,671 SF
REQUIRED PARKING LOT TREES	
1 TREE PER 10 PARKING SPACES	6
PROPOSED PARKING LOT TREES	6
REQUIRED VEGETATION COVERAGE	
75% OF LANDSCAPE AREA	8,215 SF
PROPOSED VEGETATION COVERAGE	8,286 SF
REQUIRED GROUND-LEVEL PLANTS COVERAGE	
25% OF VEGETATION COVERAGE	2,054 SF
PROPOSED GROUND-LEVEL COVERAGE	2,217 SF

### NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPING ORDINANCE

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

### GENERAL NOTES

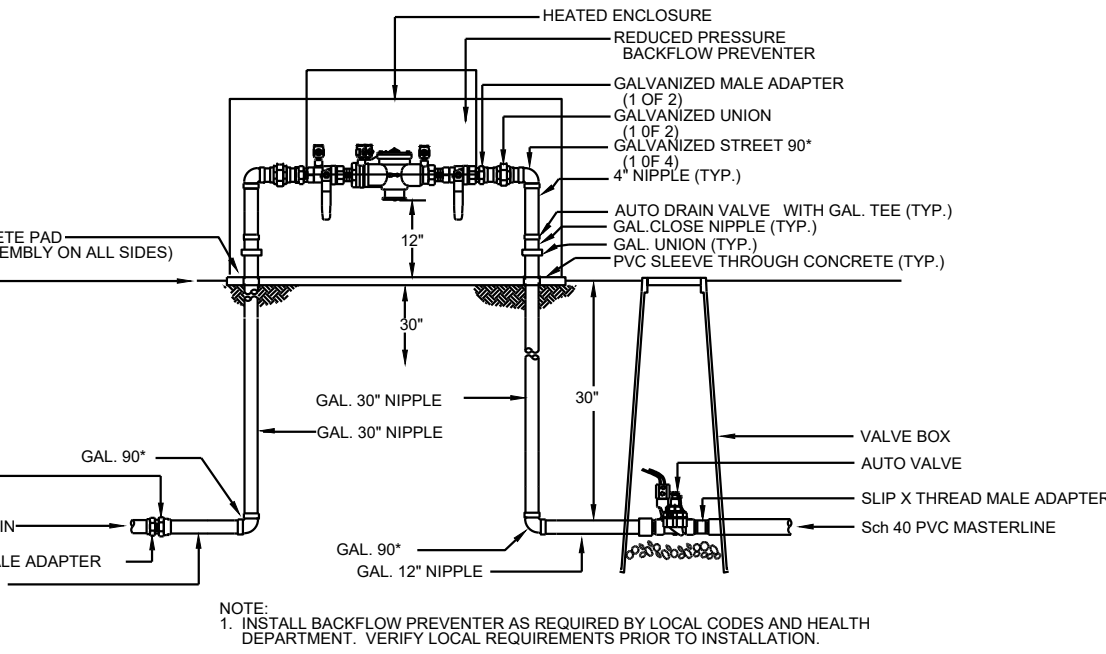
- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- LANDSCAPING BEDS MUST BE DEPRESSED BELOW GRADE PURSUANT TO 5-6(C)(13)(B).

### PLANT SCHEDULE

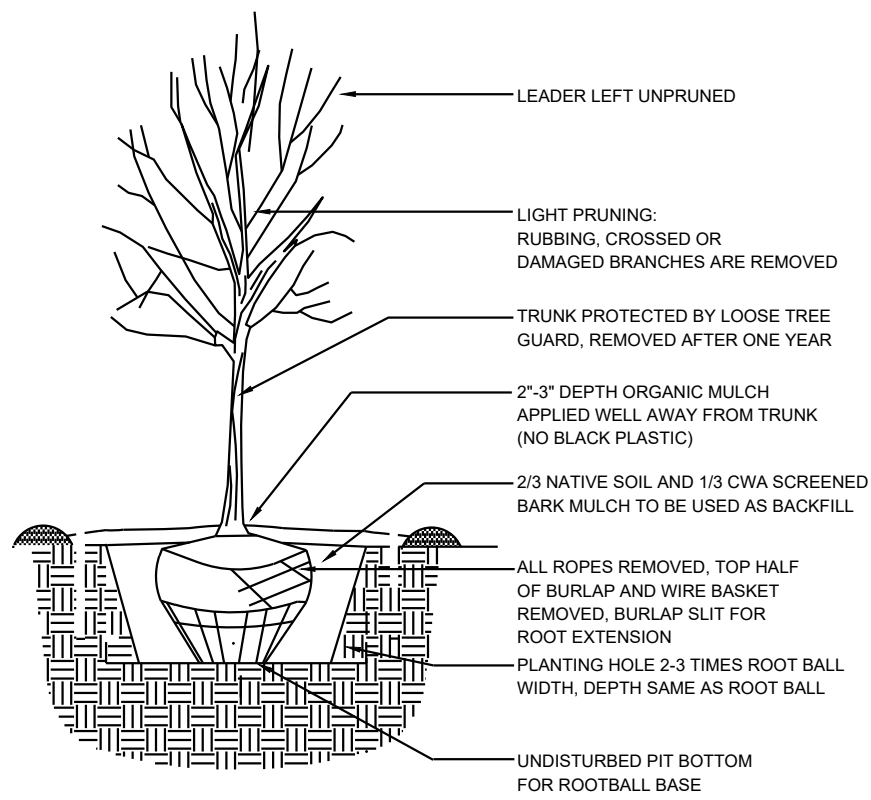
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	EXISTING TREE TO REMAIN	VARIES		177X3=531
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	5	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	15 GAL	15' X 15'	177X5=885
	5	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177X5=885
	2	QUERCUS BUCKLEYI / BUCKLEY OAK	2" B&B	50' X 50'	1963X2=3926
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	4	PINUS CEMBROIDES EDULIS / PINYON PINE	6"	30' X 20'	314X4=1256
					SUBTOTAL COVERAGE 7483 sf
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	7	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13X7=91
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	35	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X35=105
	31	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X31=217
	40	NASSELLA TENUISSIMA / MEXICAN FEATHERGRASS	1 GAL	2' X 2'	3X40=120
	5	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	2' X 2'	3X5=15
	27	SORGHASTRUM NUTANS / INDIAN GRASS	1 GAL	4' X 2'	3X27=81
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	25	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13X25=325
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	29	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL	4' X 4'	13X29=377
	11	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	6' X 6'	28X11=308
	2	COTONEASTER PARNEYI / COTONEASTER	5 GAL	10' X 15'	177X2=354
	32	EUPHORBIA RIGIDA / YELLOW SPURGE	1 GAL	2' X 3'	7X32=224
					SUBTOTAL COVERAGE 2217 sf
					TOTAL COVERAGE 9700 sf

### MATERIAL SCHEDULE

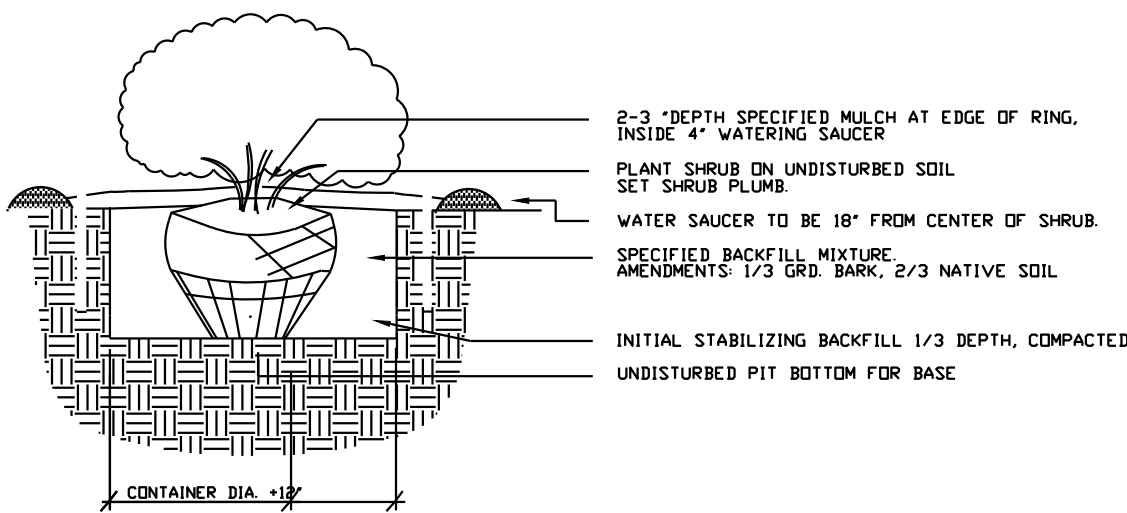
SYMBOL	DESCRIPTION	QTY
	MOUNTAINAIR BROWN 7/8" GRAVEL OVER FILTER FABRIC	13,805 SF
	2-4" BLUE SAIS OVER FILTER FABRIC	3,866 SF



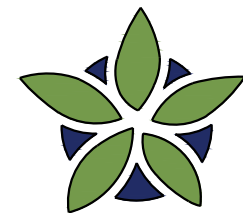
3 RP BACKFLOW/MASTER VALVE DETAIL



1 TREE PLANTING DETAIL

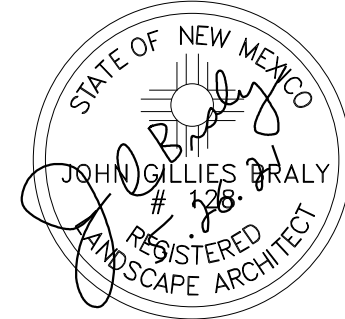


2 SHRUB PLANTING DETAIL



**YELLOWSTONE**  
LANDSCAPE

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Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



Date: 5/3/21

Revisions:

▲ 5/26/2021

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▲

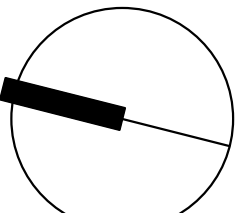
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Drawn by: PL

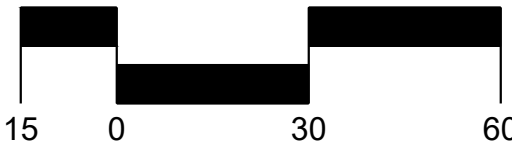
Reviewed by: CM

**Dutch Brothers Coffee**  
Cottonwood  
3615 NM HWY 528  
Albuquerque, New Mexico



NORTH

Scale: 1" = 30'



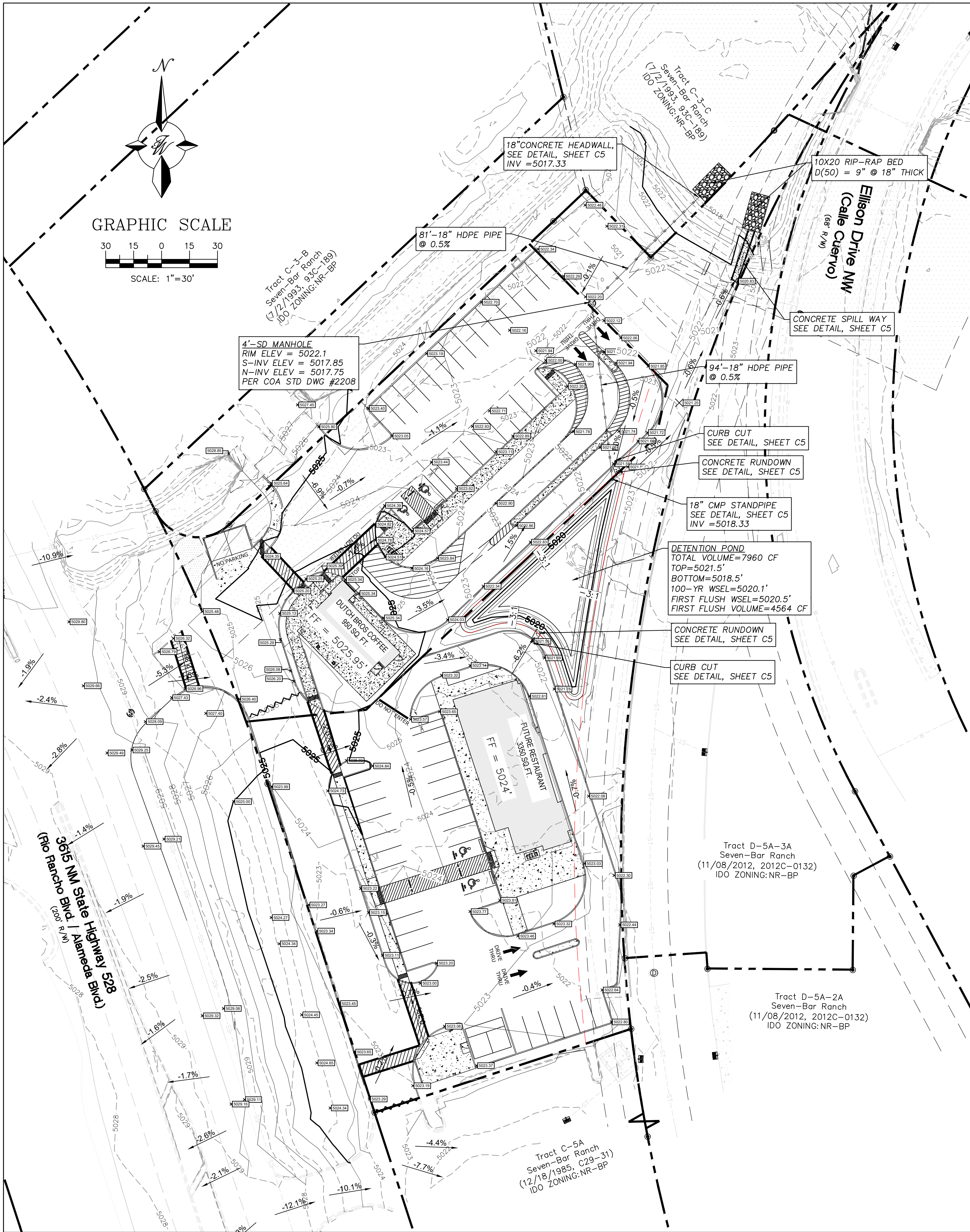
Sheet Title:

**Landscape**  
**Plan**

Sheet Number:

**LS-01**





LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- BUILDING
- RIP-RAP
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- GRADE BREAK
- EXISTING CURB & GUTTER
- EXISTING EASEMENT
- EXISTING BOUNDARY LINE
- EXISTING RETAINING WALL
- EXISTING CONCRETE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING STORM DRAIN LINE
- EXISTING STORM DRAIN MH
- EXISTING STORM DRAIN INLET
- SURVEY MONUMENT

SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



SITE INFORMATION

THE PROPOSED DEVELOPMENT IS A 1.99 ACRE MULTI-PAD COMMERCIAL DEVELOPMENT PROJECT, LOCATED AT 3615 HWY 528 ALBUQUERQUE, NM 87114. THE PROPOSED DEVELOPMENT IS LOCATED IN PRECIPITATION ZONE 1, WEST OF THE RIO GRANDE RIVER AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUAL CH. 6. THE PROJECT SITE IS LOCATED WITHIN SAD 223, WHERE DRAINAGE IS COLLECTED FROM A LARGE AREA AROUND THE COTTONWOOD MALL. THE PROJECT SITE PREVIOUSLY CONTAINED A TWO STORY OFFICE BUILDING WHICH HAS SINCE BEEN DEMOLISHED AND REMOVED. THE PROJECT SITE HAS BEEN PREVIOUSLY GRADED AND IS PARTLY PAVED. THE SITE IS BORDERED BY A VARIETY OF COMMERCIAL AND RESIDENTIAL ZONE DISTRICTS. TO THE SOUTH LAYS THE INTERSECTION OF NM-528 AND ELLISON DR. TO THE NORTH THE SITE IS BORDERED BY AN AMAFCA DRAINAGE CHANNEL AND A DE-SILTING POND. THE PROPOSED SITE LIES WITHIN HYDROLOGY NUMBER A14D019 AND DOES NOT CONTAIN A FLOOD PLAIN.

EXISTING CONDITIONS

THE SITE IS CURRENTLY PARTLY PAVED WHICH INCLUDES ACCESS AISLES AND PARKING ON THE SOUTH SIDE OF THE PROPERTY. THE REMAINDER OF THE LOT REMAINS VACANT WITH GROWING VEGETATION. BASED ON THE TOPOGRAPHY, RUNOFF SURFACE FLOWS NORTH-EAST AND DISCHARGES INTO THE AMAFCA DE-SILTING POND VIA AN EXISTING ROCK SWALE, LOCATED ON THE SOUTH-EAST SIDE OF THE DE-SILTING POND. CROSS LOT DRAINAGE FROM THE NEIGHBORING LOTS IS REDUCED DUE TO EXISTING RETAINING WALLS AND CURBING ALONG THE SOUTH, EASTERN AND NORTHERN PROPERTY LINE. OFFSITE DRAINAGE FROM A PORTION OF HWY NM-528'S RIGHT OF WAY FLOWS EAST INTO THE SUBJECT PROPERTY AND IS TAKEN INTO CONSIDERATION.

PROPOSED CONDITIONS

THE CONCEPTUAL GRADING AND DRAINAGE REPORT AND PLAN FOR THIS SITE HAS BEEN PREVIOUSLY APPROVED BY HYDROLOGY UNDER HYDRO NUMBER A14D019. THE DEVELOPED FLOWS WILL SURFACE FLOW INTO A DETENTION POND LOCATED ON THE EASTERN SIDE OF THE PROJECT SITE. THE DETENTION POND IS DESIGNED TO RETAIN THE FIRST 0.62 INCHES OF RUNOFF. ANY FLOWS BEYOND THAT WILL BE CONVEYED INTO AN UNDERGROUND STORM DRAIN PIPE, WHICH OUTFALLS INTO THE AMAFCA DE-SILTING POND NORTH OF THE SITE. IN AN EMERGENCY SITUATION, AS THE POND REACHES MAXIMUM CAPACITY THE STORM WATER RUNOFF WILL BE ROUTED INTO AN EMERGENCY SPILLWAY WHICH DRAINS INTO THE AMAFCA DE-SILTING POND. THE EMERGENCY SPILLWAY IS A CONCRETE RUNDOWN LOCATED SOUTH-EAST OF THE DE-SILTING POND.

NOTICE TO CONTRACTORS

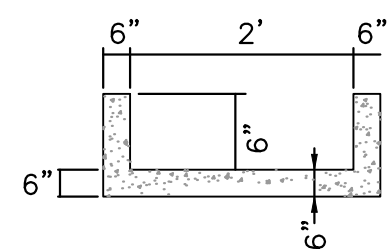
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
- NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div><div> 05/26/2021</div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	<div>NM 528 AND ELLISON 3615 HWY 528</div> <div>GRADING AND DRAINAGE PLAN</div> <div><div> <i>TIERRA WEST, LLC</i></div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>	<div>DRAWN BY LN</div> <div>DATE 5/26/2021</div> <div>DRAWING 2014069-GRD</div> <div>SHEET # C4</div> <div>JOB # 2020091</div>

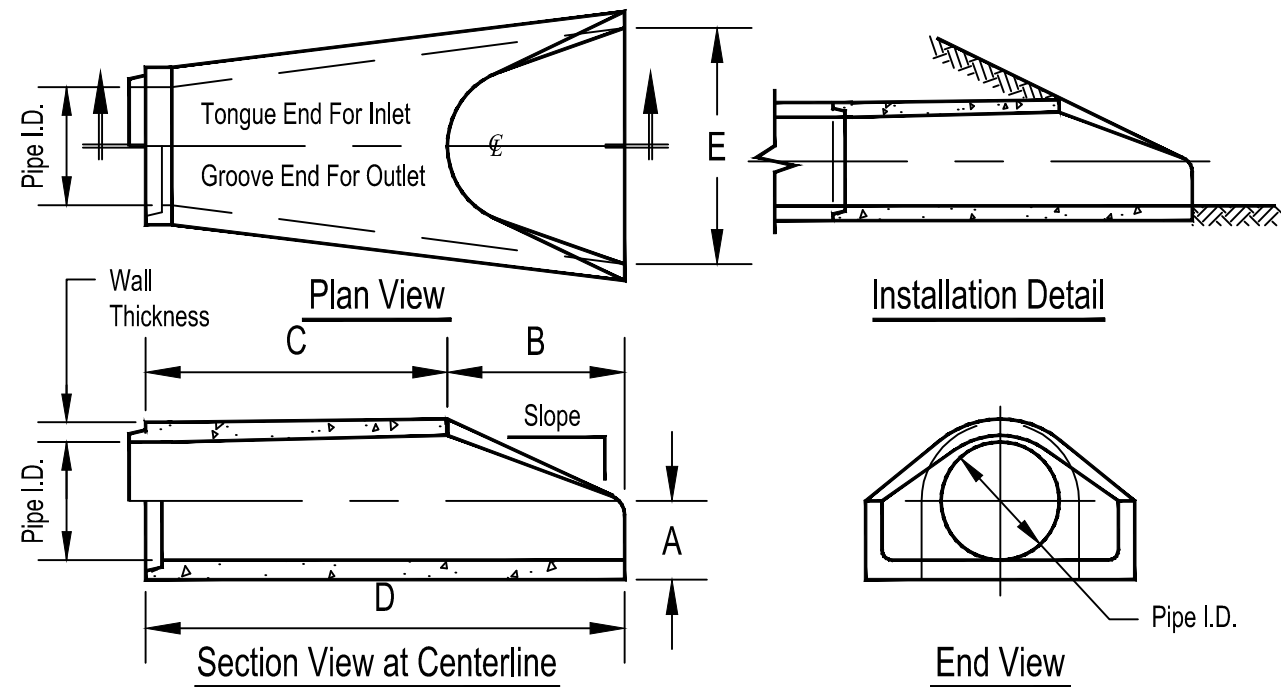




CONCRETE RUNDOWN  
NTS



Flared End Section  
12" - 72" Diameter Pipe



Pipe Inner Diameter (inches)	Wall Thickness (inches)	A (inches)	B (inches)	C (inches)	D (inches)	E (inches)	Slope
12	2	4	24	48 7/8	72 7/8	30	3:1
15	2 1/4	6	27	46	73	30	3:1
18	2 1/2	9	27	46	73	36	3:1
24	3	9 1/2	43 1/2	30	73 1/2	48	3:1
30	3 1/2	12	54	19 3/4	73 3/4	60	3:1
36	4	15	63	34 3/4	97 3/4	72	3:1
42	4 1/2	21	63	35	98	78	3:1
48	5	24	72	26	98	84	3:1
54	5 1/2	27	65	35	100	90	2.4:1
60	6	30	60	39	99	96	2:1
66	6 1/2	32	78	21	99	102	2:1
72	7	34	78	21	99	108	2:1

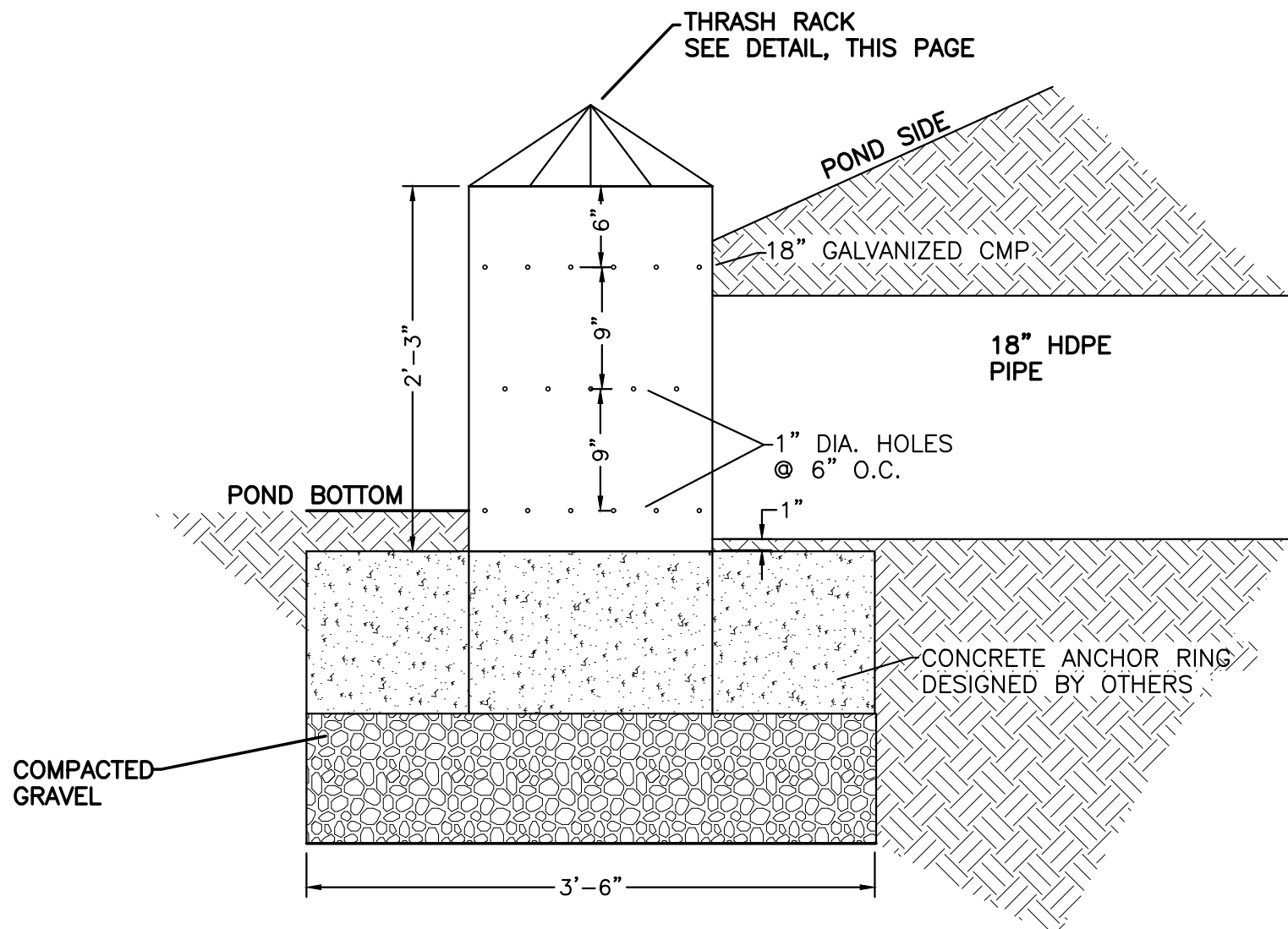
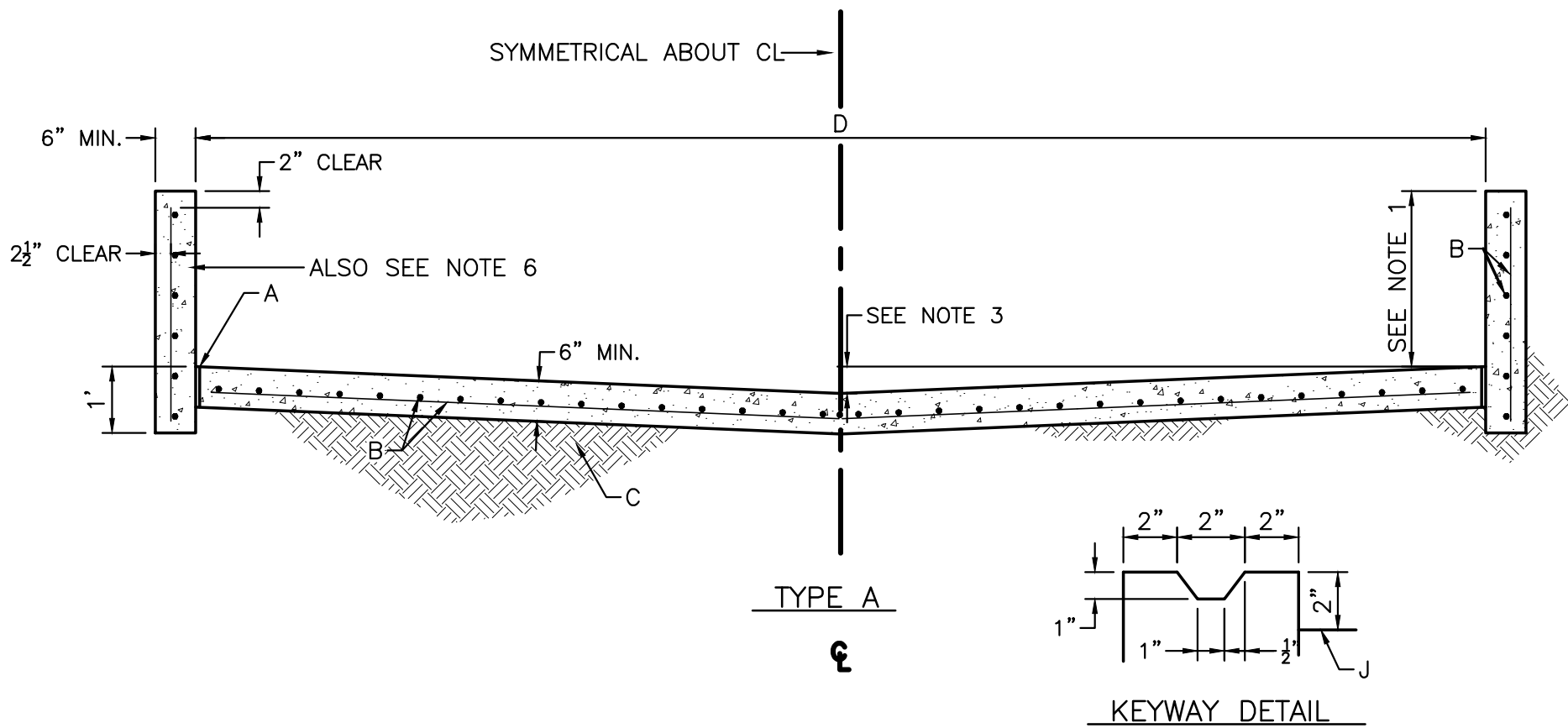
Dimensions may vary depending upon equipment availability.

Notes:

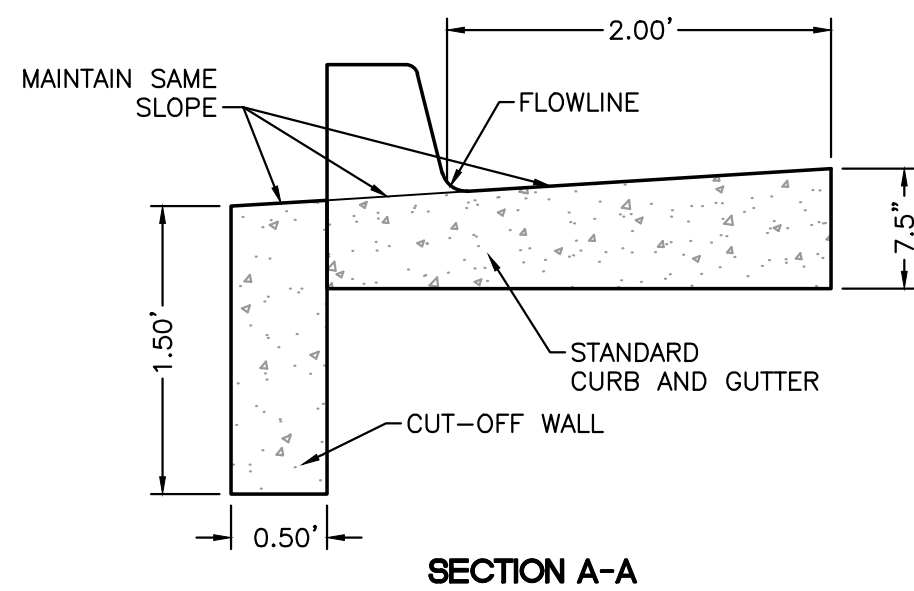
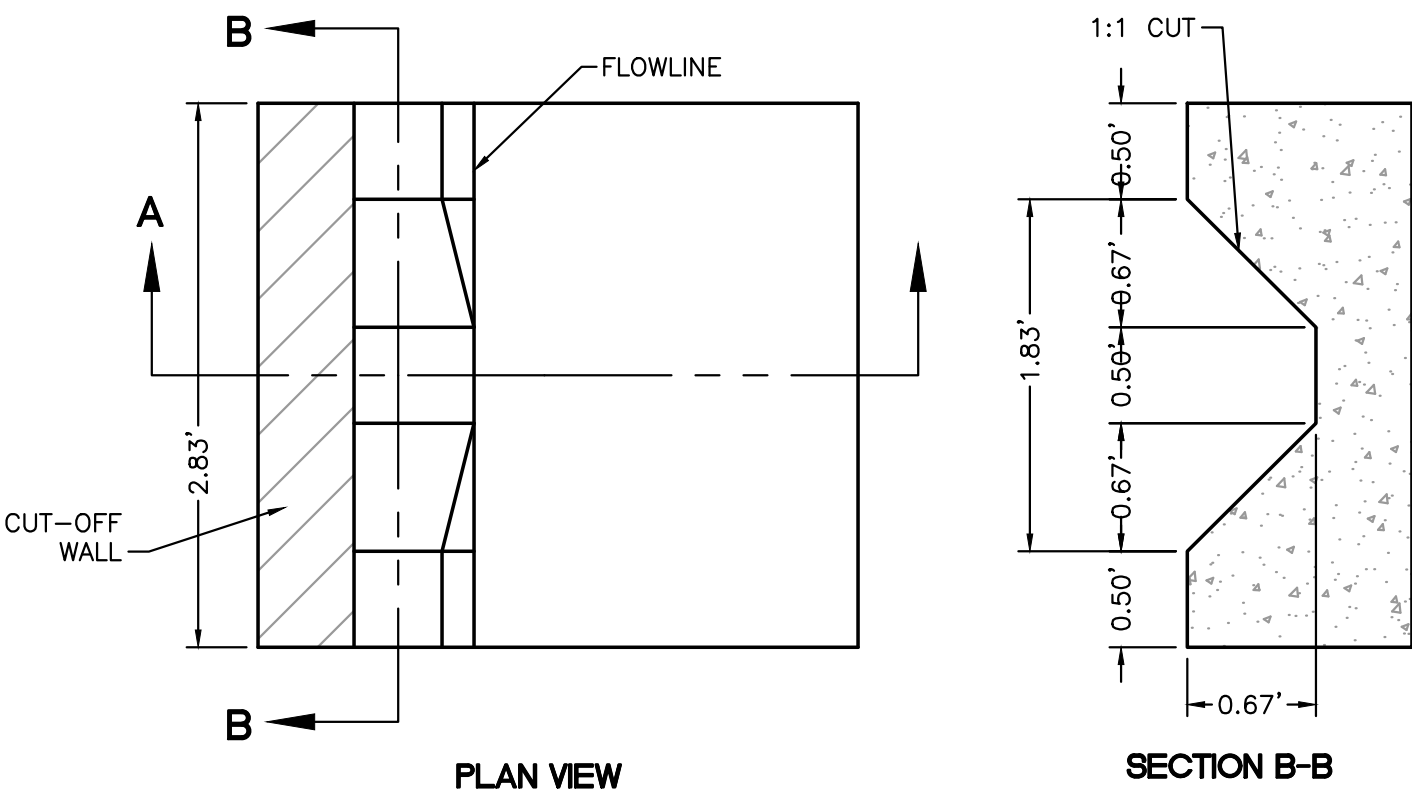
1. Produced to meet ASTM specifications.
2. Contact a Concrete Pipe Division representative for details not listed on this sheet.

Rinker 024

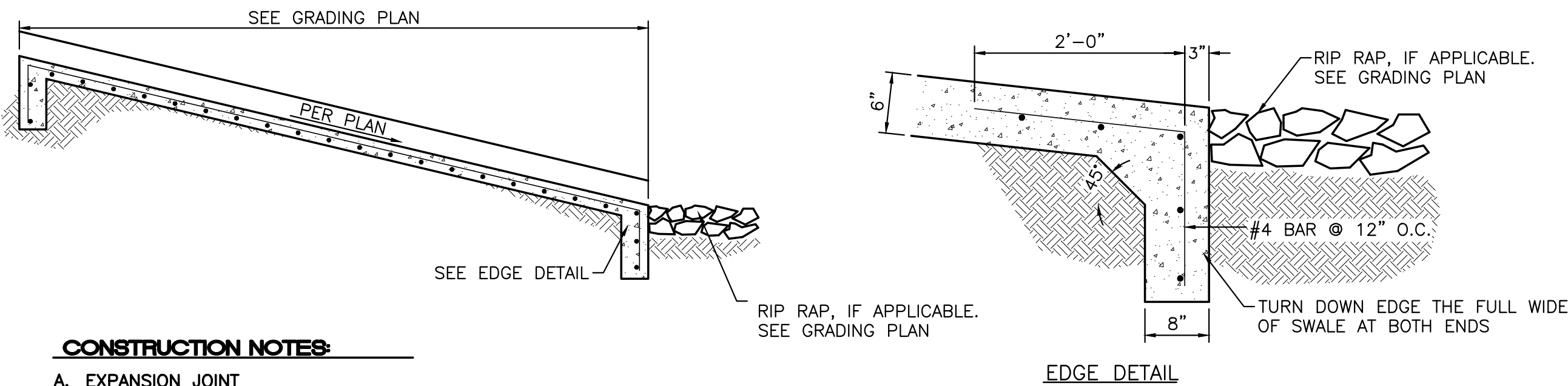
CONCRETE FLARED END SECTION DETAIL  
NTS



STAND PIPE DETAIL  
NTS



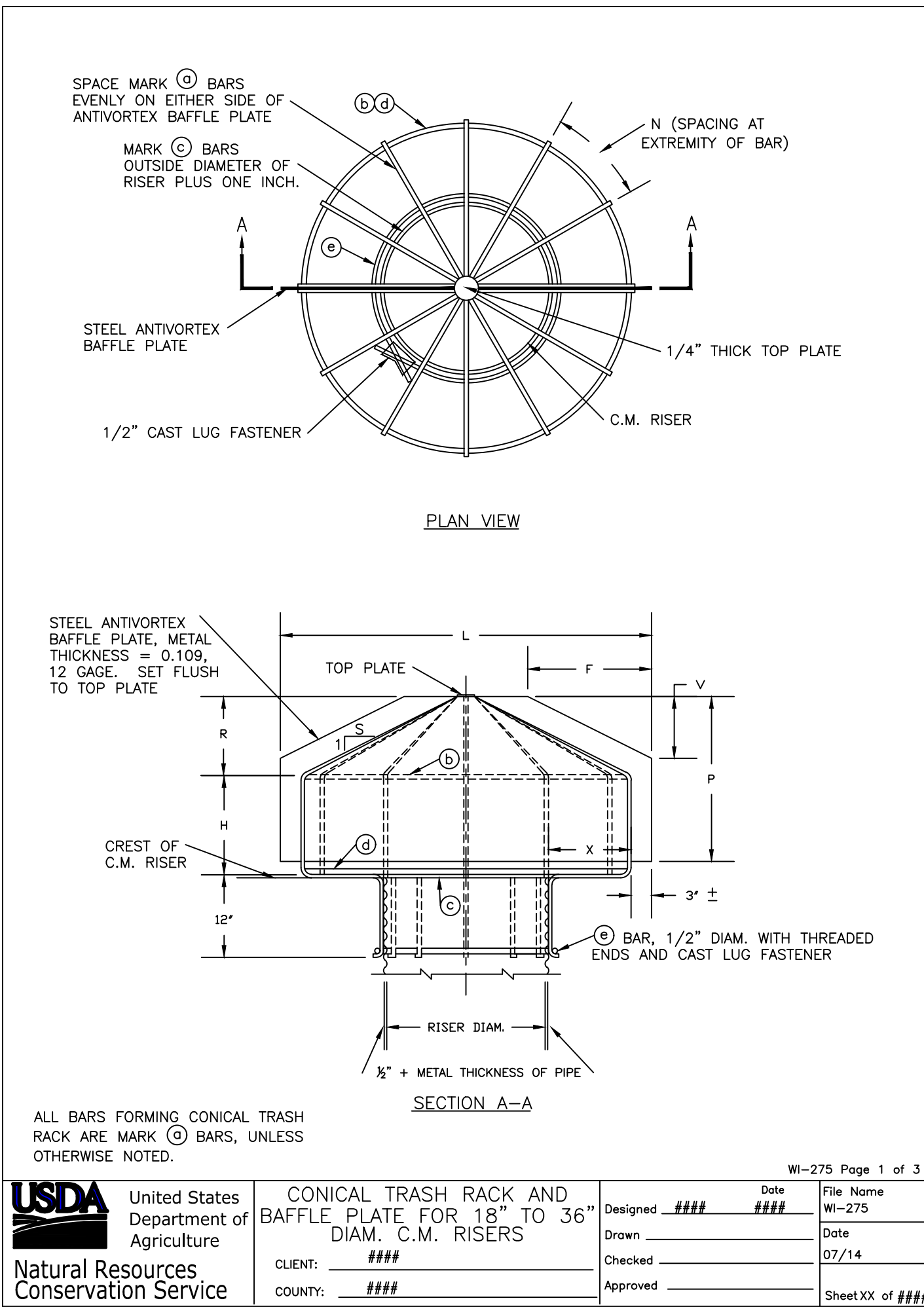
CURB CUT DETAIL  
NTS



CONSTRUCTION NOTES:

- A. EXPANSION JOINT
- B. #4 REBARS @ 6" O.C. LONG AND 12" O.C. TRANSVERSE
- C. 6" COMPACTED SOIL 95% ASTM D 1557
- D. WIDTH OF CHANNEL = 3"
- E. KEYED CONSTRUCTION JOINT

CONCRETE SPILLWAY  
NTS



THRASH RACK  
NTS

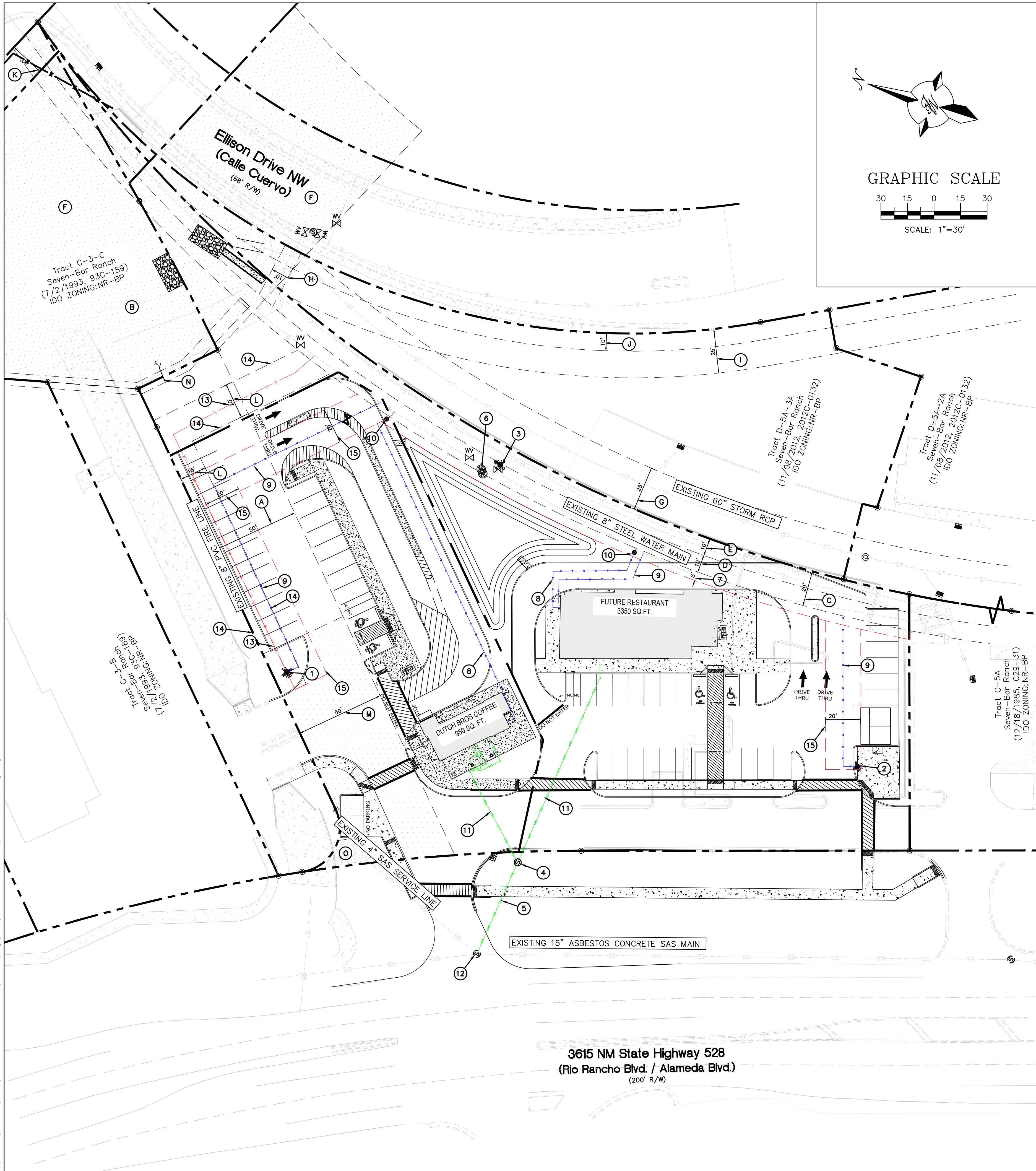
GENERAL NOTES:

1. CHANNEL DEPTHS EXCEEDING 2' WILL REQUIRE SEPARATE DESIGN FOR FLOOR AND WALLS.
2. TYPE B LINING WILL BE USED ONLY WHERE NO UTILITIES ARE LOCATED OR PROPOSED.
3. UP TO 16' WIDTH USE 4" INVERTED CROWN. 16' WIDTH AND OVER USE 6" INVERTED CROWN.
4. WARNING: THESE WALLS ARE NOT DESIGNED TO SUPPORT THE ADDITION OF GARDEN OR RETAINING TYPE WALLS.
5. THE OUTSIDE OF DRAINAGE WALLS SHALL NOT EXTEND BEYOND EASEMENT LINES OR ROW LINES.
6. 6" CONC. BLOCK WITH CORES FILLED WITH CONC. AND #4 BARS INSERTED INTO CORES AT 1'-6" O.C. MAY BE SUBSTITUTED FOR FORMED CONC. WALLS.

ISSUED FOR EPC - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	NM 528 AND ELLISON 3615 HWY 528	DRAWN BY LN
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868 05/26/2021	GRADING AND DRAINAGE DETAILS	DATE 5/26/2021
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014069-GRD
		SHEET # C5
		JOB # 2020091



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WATER NOTES:

1. CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
2. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
3. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
4. ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
5. ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
6. CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
7. RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
8. ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
10. CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
11. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
12. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

GENERAL UTILITY NOTES:

1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
5. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
6. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
7. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
8. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
9. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

KEYED NOTES

- 1 EXISTING FIRE HYDRANT TO REMAIN
- 2 PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- 3 REMOVE AND DISPOSE EXISTING FIRE HYDRANT, PER APPROVED WORK ORDER
- 4 NEW 4' MANHOLE PER COA STD DWG #2101
- 5 NEW 8" SAS MAIN
- 6 EXISTING WATER METER TO BE REMOVED PER APPROVED WORK ORDER
- 7 PROPOSED 5' OF ADDITIONAL WATERLINE EASEMENT WIDTH
- 8 DOMESTIC WATER SERVICE LINE
- 9 FIRE LINE
- 10 PROPOSED WATER METER PER COA STD DWG #2367
- 11 SAS SERVICE LINE
- 12 MANHOLE CONNECTION PER COA STD DWG #2101
- 13 WATER LINE TO BE REMOVED PER APPROVED WORK ORDER
- 14 WATER LINE EASEMENT TO BE VACATED PER APPROVED PLAT
- 15 20' WATER LINE EASEMENT TO BE GRANTED PER APPROVED PLAT

ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/729/](http://abcwua.org/content/view/full/729/)

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- - - - - BOUNDARY LINE
- - - - - PROPOSED EASEMENT
- - - - - CENTERLINE
- - - - - RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- - - - - EXISTING CURB & GUTTER
- - - - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING INLET
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- - - - - EXISTING EASEMENT
- - - - - EXISTING OVERHEAD UTILITIES
- - - - - EX. UGE — EXISTING UNDERGROUND UTILITIES
- - - - - EX. 2" GAS — EXISTING GAS
- - - - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - - - EX. 10" WL — EXISTING WATER LINE
- - - - - EX. 18" RCP — EXISTING STORM SEWER LINE

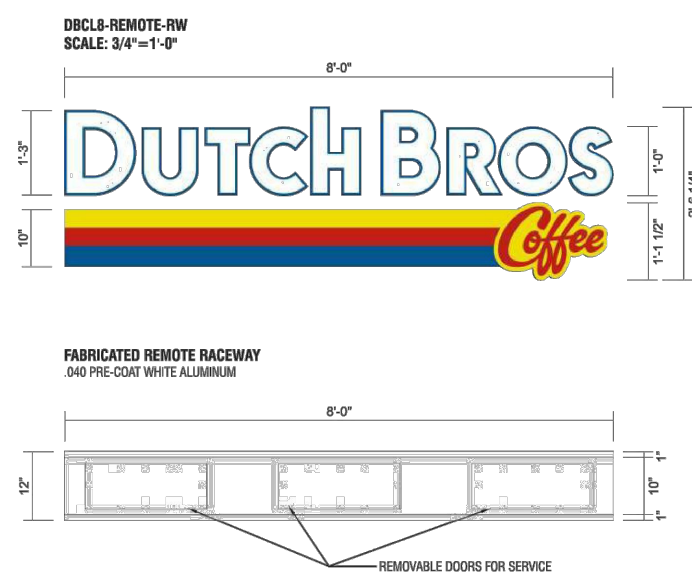
EXISTING EASEMENTS

- A EXISTING 50' ROADWAY & TEMPORARY DRAINAGE EASEMENT (4/20/1982, VOL. MISC. 924, PG. 741) AND (6/21/1993, VOL. 93-16, PG. 1505-1510)
- B EXISTING DRAINAGE RIGHT-OF-WAY FOR AMAFCA ACROSS TRACT C-3-C PER AGREEMENT (7/2/1993, 93C-189)
- C EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (12/23/1974, BK. 399, PG. 963-964)
- D EXISTING 10' WATERLINE EASEMENT (12/27/1974, VOL. MISC. 400, PG. 381-82)
- E EXISTING 10' UTILITY EASEMENT (8/6/1974, VOL. MISC. 380, PG. 510)
- F EXISTING DESILTING POND FOR DRAINAGE (12/18/1985, BK. MISC. 303A, PG. 185-189)
- G EXISTING 25' DRAINAGE EASEMENT (3/22/1998, 98C-99)
- H EXISTING 10' WATERLINE EASEMENT (12/18/1985, C29-31)
- I EXISTING 25' SIDEWALK EASEMENT (12/18/1985, C29-31)
- J EXISTING 10' UTILITY EASEMENT (12/18/1985, C29-31)
- K EXISTING 20' WATERLINE EASEMENT (7/26/1984, C24-136)
- L EXISTING NMUI EASEMENT FOR WATERLINE (12/15/1993, BK. 93-36, PG. 956-961, DOC. NO. 93141955)
- M EXISTING NON-EXCLUSIVE, PERPETUAL INGRESS AND EGRESS EASEMENT (11/1/1994, BK. 94-30, PG. 6362-6367, DOC. NO. 94131022)
- N EXISTING 7' PNM AND MST&T EASEMENT (9/23/1986, BK. MISC. 3978, PG. 909)
- O EXISTING PRIVATE SANITARY SEWER EASEMENT (12/8/1993, BK. 93-35, PG. 3040-3046, DOC. NO. 93139036)

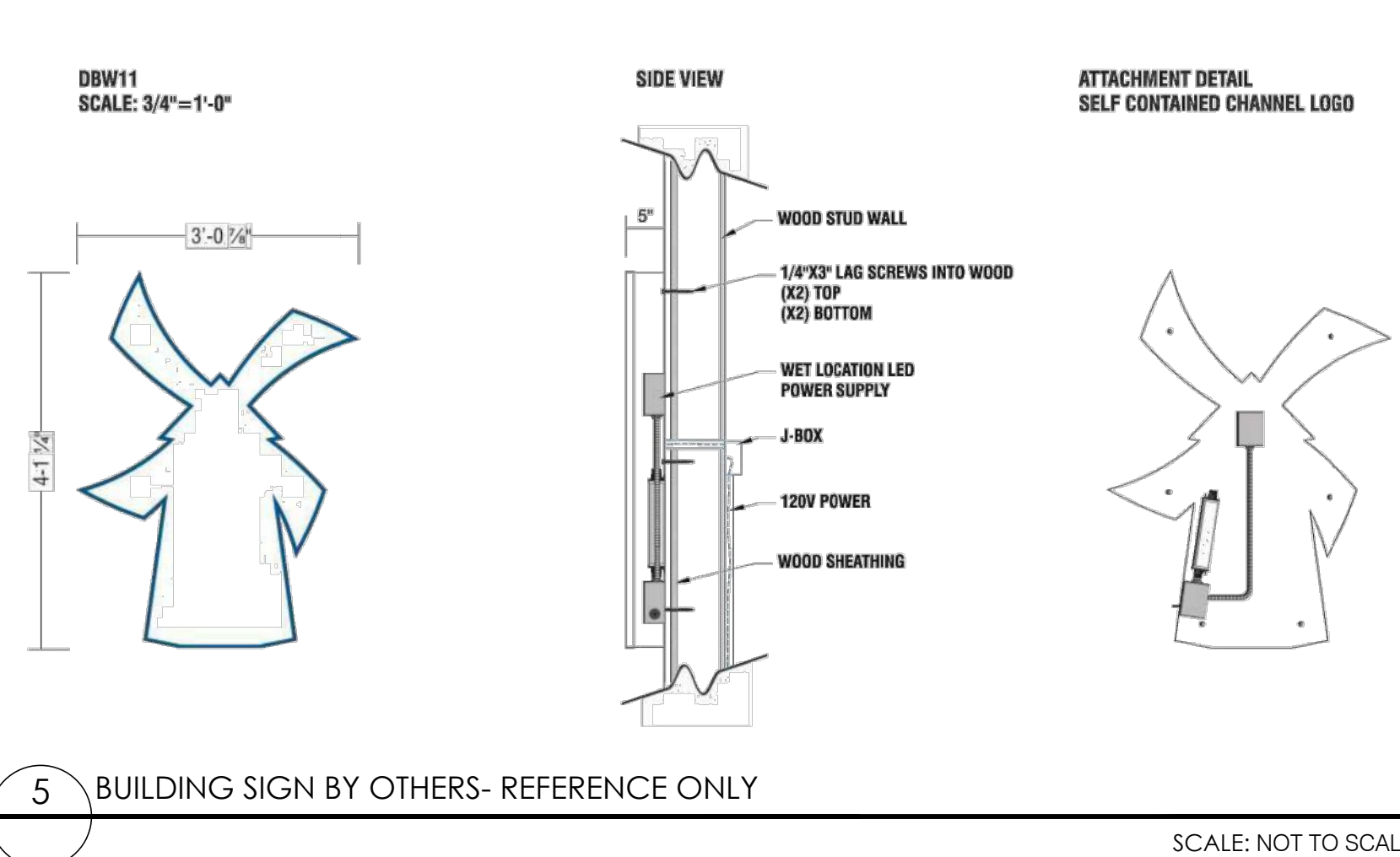
ISSUED FOR EPC- NOT FOR CONSTRUCTION		
ENGINEER'S SEAL  RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 05/26/2021 RONALD R. BOHANNAN P.E. #7868	NM 528 AND ELLISON 3615 NM 528	DRAWN BY LN DATE 05/26/2021
	MASTER UTILITY PLAN	DRAWING 2014069-SPE
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET #  C6  JOB # 2020091



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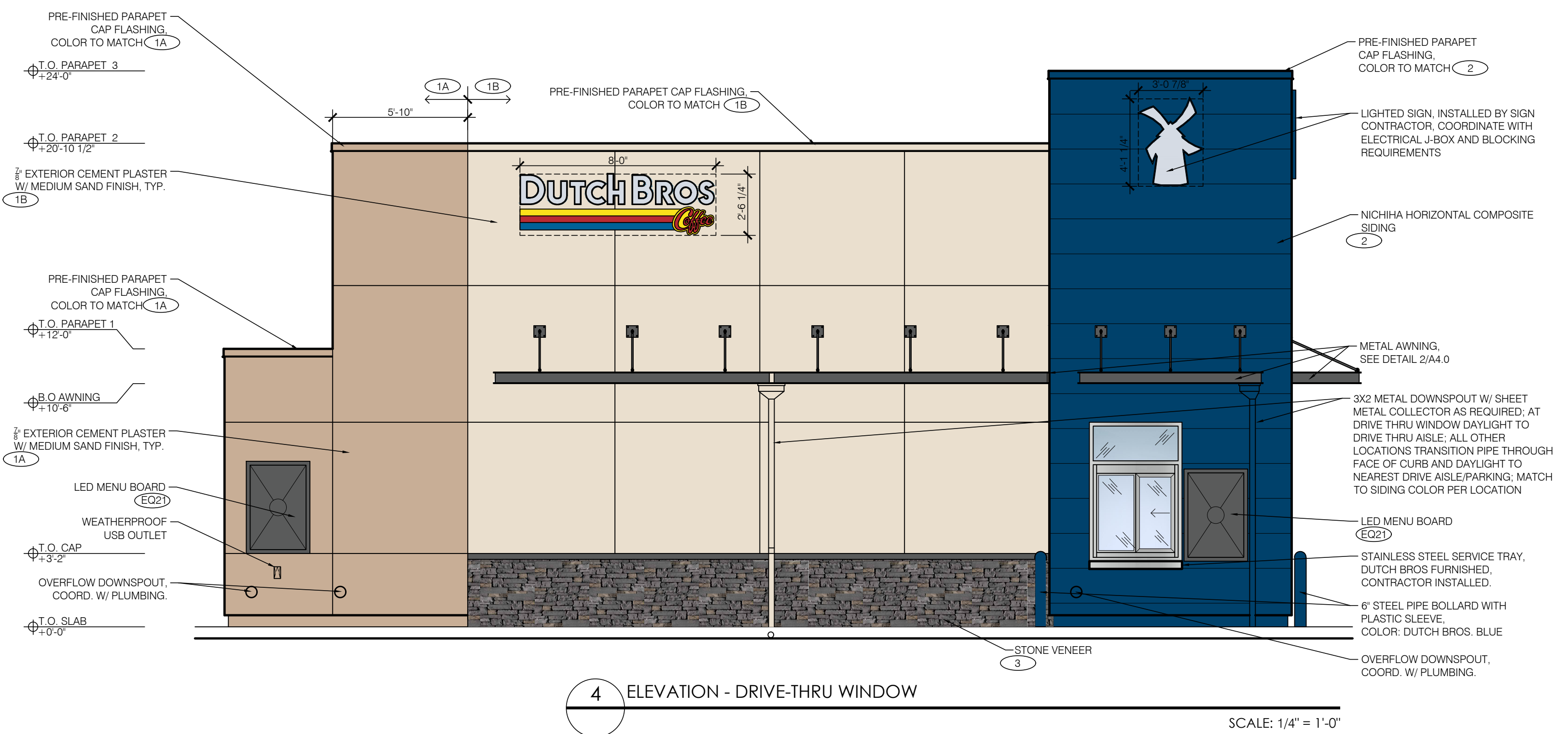


6 BUILDING SIGN BY OTHERS- REFERENCE ONLY  
SCALE: NOT TO SCALE

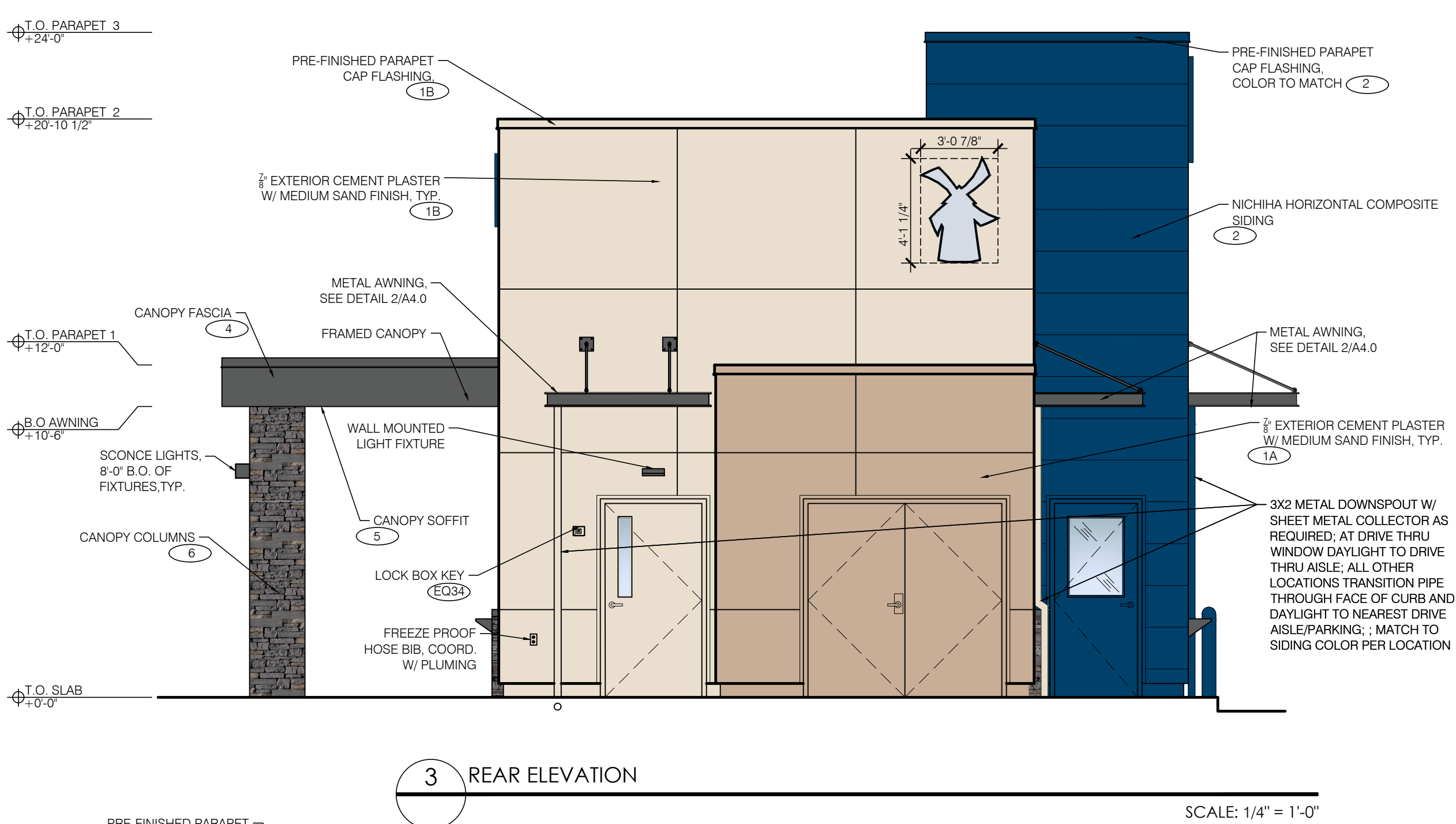


5 BUILDING SIGN BY OTHERS- REFERENCE ONLY  
SCALE: NOT TO SCALE

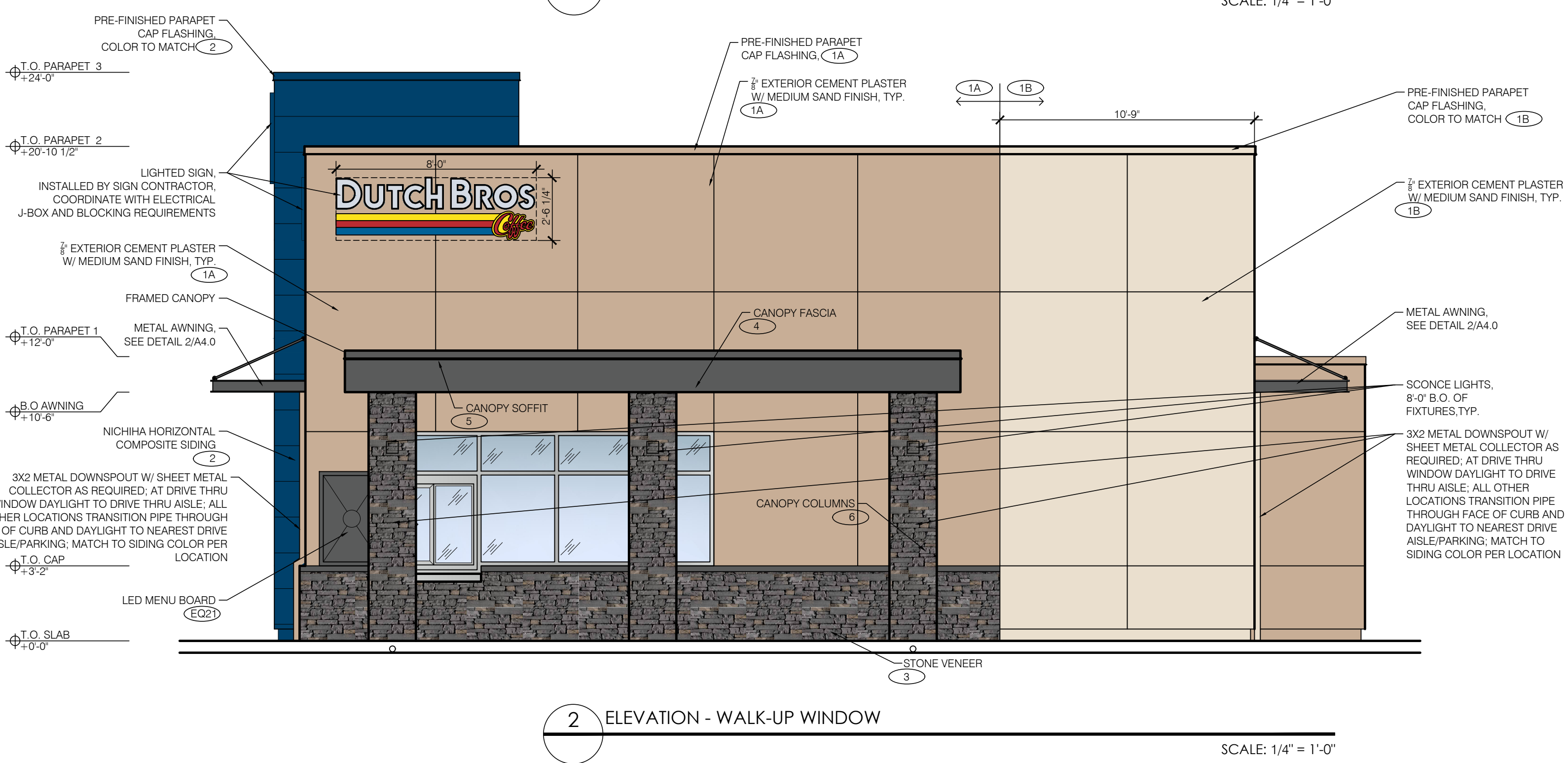
EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	DUNN EDWARDS	DEC715 SANDAL	MEDIUM SAND/CEMENT PLASTER
1B	EXTERIOR CEMENT PLASTER	DUNN EDWARDS	DEC765 BONE	MEDIUM SAND/CEMENT PLASTER
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	18" X 120" "ILLUMINATION BLOCK" DUTCH BROS BLUE	ORIENTATION: HORIZONTAL; INSTALL WITH MANUFACTURER RECOMMENDED FASTENERS & TRIM.
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA		METAL FASCIA	COLOR TO MATCH DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
NOTE: PROVIDE 3"X2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION				



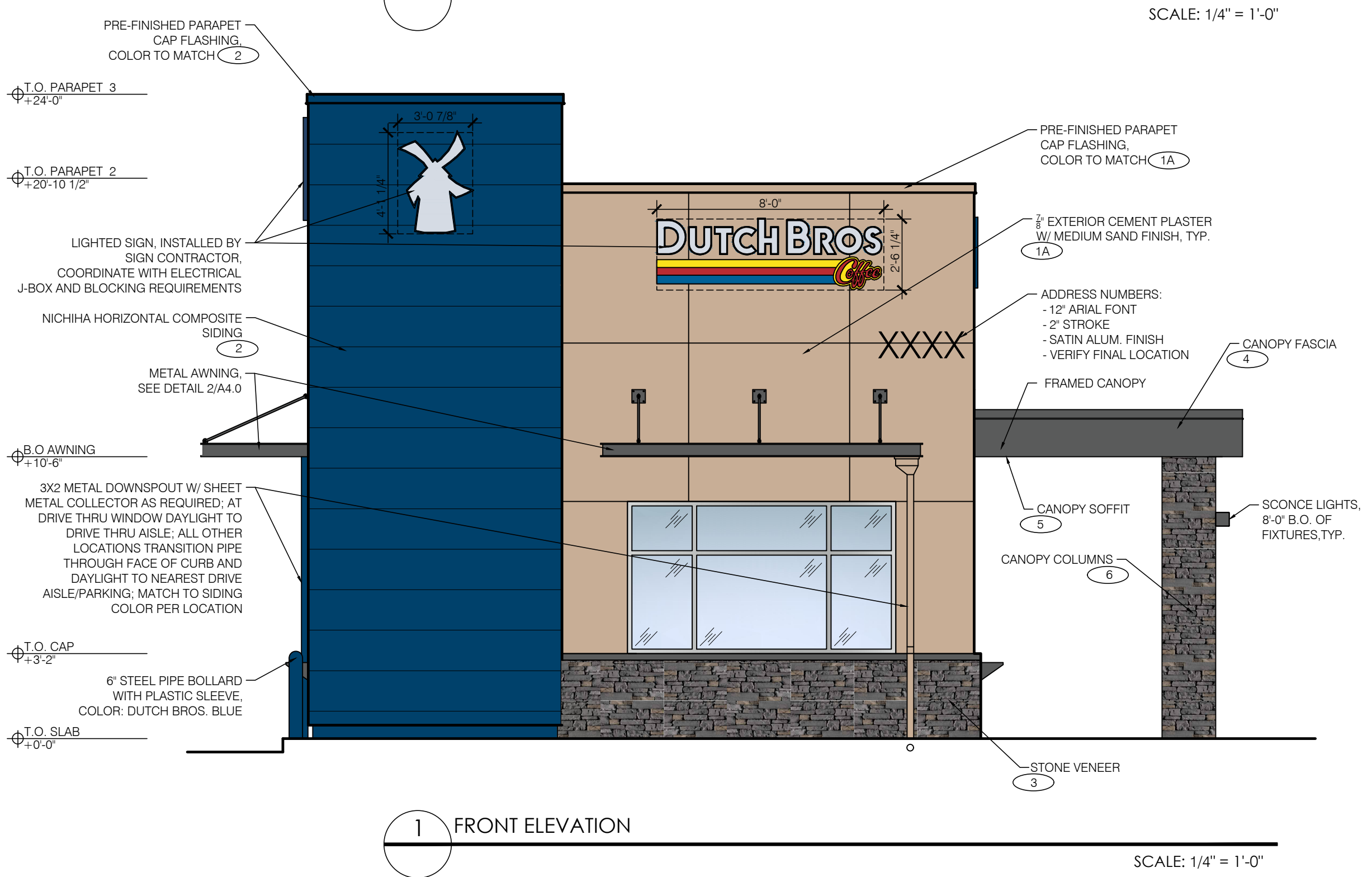
4 ELEVATION - DRIVE-THRU WINDOW  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2 ELEVATION - WALK-UP WINDOW  
SCALE: 1/4" = 1'-0"

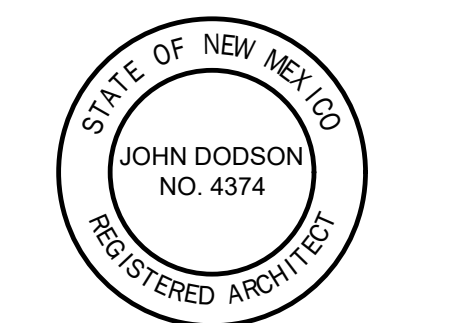


1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



1330 OLYMPIC BLVD.  
SANTA MONICA, CALIFORNIA 90404  
PH 310 452-5533 FAX 310 450-4742

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Project No: NM0105  
Dutch Bros Coffee - New Freestanding Store  
2040 - A1 PROTOTYPE  
NEC OF ALAMEDA BLVD NW AND ELLISON DRIVE NW  
ALBUQUERQUE, NM 87114

DATE: 04/29/2021  
REV: DATE: DESCRIPTION:

SHEET NAME:

BUILDING ELEVATIONS  
COLOR

SHEET NUMBER:

A6.1


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





















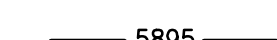















1	2	3	4	5	6
D	I. PURPOSE & INTENT  The following design standards were prepared with the intent of informing, guiding and preparing design professionals and developers to achieve the goals and standards set forth in this document.  The goals of the design standards are to bring thoughtful, safe, harmonious design to new development, buildings and sites along the 3600 block of HWY 528. The proposed future uses are commercial retail and restaurants, so the standards emphasize safe and functional pedestrian use, with convenient vehicular ingress/egress and parking. The architecture standards establish criteria for aesthetically pleasing buildings, with materials and features consistent and complimentary to the local built and natural environment.	a. Parking shall be screened from the public rights-of-way by means of a 3 foot high wall and/or landscaping. These walls shall be complimentary to the building designs on site, and should reflect local materials and colors.	a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the CABQ Comp. Zoning Code.	VIII. ARCHITECTURE / DESIGN  The architectural design of buildings and site ammenities shall be thoughtful and reflect a high quality of aesthetics, character, and appropriate scale and massing. The design shall reflect the built and natural surrounding of the southwest, and shall respond to climate, views, solar access and street visibility.	IX. SIGNAGE  Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their users.
	a. All new development shall meet or exceed the requirements of City of Albuquerque Comprehensive Zoning Code, and the Seven Bar Ranch Sector Development Plan for SU-1 zoning.	b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage. (loading zones located in parking areas and drives, that are not depressed or do not contain a raised dock are not subject to screening)	b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act. (74-12-1 to 74-12-10 NMSA 1978)	a. All development shall comply with the General Building & Site Design Regulations for Non-residential uses of the CABQ Comp. Zoning Code.	a. All signage on subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25)(Industrial Park Zone). * Per these requirements, one free standing sign is permitted for each street frontage, or joint sign premises, which as at least 200 feet of street frontage. This would allow a single, 26'foot high, 100sf. sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Hwy 528 may be used as building mounted signage area.
	II. SETBACKS AND BUILDING HEIGHT  Building height shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code. For SU-1 Zoning the code refers to R-2 Zoning limitations (Sect. 14-16-2-11(C)). Structure height up to 26' is permitted. Structures over 26' shall fall within 45' angle plan requirements described in the above section.	1. Trash enclosures shall be consistent with the architectural styles and materials of buildings on site.	c. All free-standing lights shall be of consistent design throughout the site.	b. Architectural Style:	b. Free standing signs shall be designed so as to not require and external bracing, angle supports, guy wires or similar devises
C	a. Setbacks shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code (Sect. 14-16-2-11(E)). For SU-1 Zoning the code refers to R-2 Zoning requirements. Setbacks shall be as follows:	2. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash stored between collections.	d. High pressure sodium & cobra-head type lighting fixtures are not permitted.	1. The development shall provide a cohesive material and color palette among all buildings.	c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights
	Front yard setback: 15' min. Side yard setback: 5' min. Rear yard setback: 15' min.	3. Trash enclosures shall have solid, or opaque gates as tall as the enclosure.	e. Light fixtures shall be located on Site Development Plans for Building Permit	2. Building features like shade canopies, storefronts, and building accents should be consistent or complimentary to the overall style of the development.	d. Signs shall not overhang into the public right-of-way or extend above the buildings parapet or roof line.
	b. Landscape setbacks shall meet the requirements of the CABQ Comp. Zoning Code section 14-16-3-10(E)(3)..	c. Walls and fences shall be at least as tall as the objects they are intended to screen but shall not exceed 8 feet high.	f. The height of street lights and off-street parking area lights shall not exceed 26 feet.	3. All buildings shall be "contemporary" in design and reflect characteristics and architectural styling of the present time. Contemporary design is based in modern architecture styling and can include clean lines, explicit geometry, variation in massing, minimal or no ornamentation, careful and honest use of materials, emphasis on shadow/light, and creative use of openings and glazing.	e. Off-premise signs and portable signs are prohibited
B	III. VEHICULAR ACCESS, CIRCULATION & PARKING  Proper parking and vehicle circulation is key to a safe, efficient and convenient commerical development. Visually, parking areas shall not dominate the frontage along Hwy 528. Parking shall be dispersed into smaller lots, and primarily situated between and behind buildings. Cross access and shared parking is encouraged. Careful consideration should be given to screening parking, while maintaining clear sight at intersections and pedestrian connections.	d. All screening devises shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.	g. All lights shall be shielded to prevent light spillage onto adjocent properties or the public right-of-way.	4. Historical references to traditional New Mexico styles shall be in a contemporary interpretation of those styles.	f. Building mounted signs shall have contrasting colors from the background and text height and font to ensure readability
	a. Off-street parking areas, including parking spaces size, drive aisle widths, pedestrian walkways, and screening shall comply with Section 14-16-3-1 of the CABQ Comp. Zoning Code.	e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the CABQ Comp. Zoning Code.	h. Pedestrian lighting shall not exceed 12 feet in height	c. Articulation	X. PROCESS  No building mounted sign shall intrude upon architectural features like windows, columns, or parapets. The plan for Building Permit shall be delegated to the Development Review Board and shall be consistent with the design standards established by the Site Development Plan for Subdivision.
	1. Parking areas shall be designed to include a min. 6 foot wide pedestrian connections to buildings	f. Walls and fences shall comply with Section 14-16-3-19 of the CABQ Comp. Zoning Code.	i. Tree canopy lighting may be used to accent and enhance pedestrian connections.	1. Buildings shall have a variety of structural forms to create visual interest and character.	
A	1. Parking shall be placed beside, behind buildings or screened from surrounding neighborhoods by a 3 foot wall or landscaping. Walls shall compliment the material and style of surrounding buildings.	g. Perimeter walls shall include openings at all pedestrian connections to insure convenient access to adjacent tracts.	j. Exterior elevations of buildings fronting the public right-of-way may use accent lighting to enhance the building	2. Long unarticulated facades shall be prohibited. Facades shall have varied front setbacks, bump-outs, or wall planes that do not run in one continuous direction of more than 100 feet without a change in color, material or architectural treatment.	
	b. Bicycle parking shall comply with Section 14-16-3-1(B) of the CABQ Comp. Zoning Code.	h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slots, cyclone fencing or unfinished, smooth, grey CMU is prohibited.		3. Massing elements shall be reinforced with accent color or material variation.	
	1. Secure bicycle parking shall be provided in convenient locations to help promote cycle commuting.	i. Some examples of acceptable wall & fence materials include:	VII. LANDSCAPING  The site development landscape shall strive to improve and enhance the aesthetics of the site and it presence from the street, as well as define and enhance pedestrian and vehicular connections. The goal is to create a natural setting, indicative of the New Mexico landscape, and that provides year around coverage, color and interest for the development. A clear theme and style for the development shall be planned and reflected in the hardscape, paving, plantings, signage, and site ammenities. Landscaping shall conform to the regulations applicable to Apartment and Non-residential Development required in Section 14-16-3-10 of the Abq. Comprehensive Zoning Code.	d. Materials:	
	c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the CABQ Comp. Zoning Code.	j. The finish of walls & fences shall be attractive and complimentary to the building materials on site.	a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the CABQ Comp. Zoning Code.	1. The architectural expression of all buildings shall reflect contemporary style with materials that compliment New Mexico and southwest vernacular.	
	d. Building entries shall be clearly visible from parking areas or by site access and circulation.	k. Retaining walls are permitted and shall be attractive and complimentary to the building materials and colors on site.	b. A minimum of 15% of the net site area shall be devoted to landsapce materials.	2. Individual building elements and materials shall be of excellent design, construction, and quality. Examples of appropriate materials include: - Metal wall panels - Porcelain tile - Natural or cast stone - Concrete (colored or patterned) - Rammed earth - Glass - Stucco or EIFS - Brick or decorative CMU	
	e. Grading and drainage design of parking areas shall comply with Chapt 22 of the Development Process Manual and shall incorporate low impact development principles.	1. Retaining walls, seat walls, or elements intended to compensate for the slope in the site, shall avoid long, unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot in planes not running in on continuous direction for more than fifty feet without a change in height or setback.	c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas	3. The following exterior building materials shall be prohibited: - Engineered wood paneling - Vinyl or plastic siding - plain grey, or unfinished smooth CMU	
	1. Parking islands shall allow for proper drainage or used for water harvesting.	2. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes with the site.	d. Gravel shall be a 1-1/2" maximum, and color shall be consitent or specific to a design pattern throughout the site.	4. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patternized glazing is prohibited	
	V. WALLS, FENCES & SCREENING  To enhance the attractiveness of site and parking lots, screening of areas such as parking and utility items, as well as retaining walls shall meet the following design standards. Walls, fences and screening shall meet the requirements of Section 14-16-3-19 of the Abq. Comprehensive Zoning Code.	l. Grading and drainage plans must comply with the City of Albuquerque's Drainage Ordinance.	e. All plant material shall be maintained by the building owner in a living, attractive condition, and free of weeds and trash.	5. Canopies, trellises and awnings shall be durable and weather resistent, such as metal, corrugated metal, or steel.	
		1. All measures shall be taken to provide public safety at ponding locations	f. Minimum plant material sizes at the time of installation shall be:	6. Colors shall include earth tones with accent colors in limited areas. i. No more than 2 accent colors shall be used per building ii. The use of constrasting colors for shade elements and metal accents are encouraged.	
	VI. LIGHTING AND SECURITY  To improve safety, security and site aesthetics, lighting design shall be carefully considered. The primary design goal of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings or roadways with extraneous glare or reflection.		g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.		
			h. Drought tolerant species shall be used in landscape areas, and zeric scape planting is encouraged. Live plant materials shall cover a min. 75% of landscape areas at maturity.		
			i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying on walls, buildings, fences, sidewalks, parking areas, etc. Irrigation components shall be maintained properly in full working condition at all times.		
			j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.		
			k. Landscape beds shall be at grade to promote water harvesting.		
1	2	3	4	5	

ARCHITECT:		
Architect: <b>Clint Wilsey</b> clint.wilsey@gmail.com 505 280-0043		
DRAWN BY: CJW		
	-	-
ISSUE: -		
<b>COMMERCIAL REDEVELOPMENT</b> 3615 NM HWY 528 Albuquerque, NM		
DATE: 12/5/16		
SHEET TITLE: <b>DRB -FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION</b>		
<b>A-2 DESIGN STANDARDS</b>		




	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)		STORM DRAIN MANHOLE
	MATCH EXISTING ELEVATIONS		SANITARY SEWER MANHOLE
	TOP OF CONCRETE FLOW LINE, CURB		SANITARY SEWER LINE
	INVERT		STORM DRAIN LINE
	FINISH GRADE		STORM DRAIN INLET
	TOP OF BASE COURSE		POWER POLE
	TOP OF CURB		GUY WIRE
	TOP OF GRATE		OVERHEAD WIRES
	FLOW ARROW		SEWER
	GRADE BREAK-HIGH POINT		UNDERGROUD ELECTRIC LINE
	SWALE		UNDERGROUD COMMUNICATIONS LINE
	STORM DRAIN LINE		UNDERGROUD GAS LINE
	PROPOSED MAJOR CONTOUR		UNDERGROUD WATER LINE
	PROPOSED MINOR CONTOUR		SANITARY SEWER CLEAN-OUT
	EXISTING MAJOR CONTOUR		WATER METER
	EXISTING MINOR CONTOUR		WATER VALVE
			HYDRANT
			FENCE

THE EXISTING PROPERTY FOR COMMERCIAL DEVELOPMENT IS LOCATED AT 3615 ALAMEDA BLVD. NW (HWY. 528). THE SITE IS ACCESSED FROM THE NORTH SIDE (EXISTING DEVELOPMENT) FROM NORTH BAR RANCH NW AND THE WEST SIDE FROM ALAMEDA BLVD. NW. AND FROM THE EAST SIDE COMMERCIAL DEVELOPMENT. THE SITE CONSISTS OF A EXISTING PARKING LOT, BUILDING AND CONCRETE FLATWORK. THERE IS AN EXISTING DEVELOPMENT (SEVEN BAR RANCH) ON THE NORTH AND SOUTH SIDE. THE PROPERTY IS BOUNDED BY ALAMEDA BLVD (NM-528) ON THE WESTSIDE. TO THE EAST IS A VACANT COMMERCIAL LOT. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE SOUTHWEST TO THE NORTHEAST. THE POSSIBLE IMPROVEMENTS WILL BE NEW BUILDINGS AND ASSOCIATED CONCRETE FLATWORK, ASPHALT PARKING LOT, CURB AND GUTTERS AND ASSOCIATED SITE WORK.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS ( $Q_{90} = (0.33 \text{ in.} * 65900 \text{ SF}) / 12 = 1850 \text{ CF}$ ). PROPOSED WATER HARVEST AREA VOL 4500 CF  $> 1850 \text{ CF}$ , AS REQUIRED BY THE RECOMMENDATION OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. A R/O OF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS IN THE NORTH AND NORTHEAST CORNER OF THE SITE AND THE EASTERN PORTION OF THE SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

- 1) NEW HOT MIX ASPHALT.
- 2) APPROXIMATE LOCATION OF PROPERTY LINE.
- 3) NEW WATER QUALITY INLET (4 TYPICAL).
- 4) NEW 12" STORM DRAIN PIPE.
- 5) CONNECT TO EXISTING STORM DRAIN MAIN.
- 6) NEW WATER HARVEST AREA.
- 7) SWALE.
- 8) NEW BUILDING.
- 9) EXISTING ASPHALT.
- 10) SAW CUT EXISTING ASPHALT, MATCH EXISTING ELEVATION. SEE PLAN FOR ELEVATION.



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ISSUE: **PERMIT SET**

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DATE: 8/31/16

SHEET TITLE:  
EPC CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN FOR  
SUBDIVISION

C-101