



## Environmental Planning Commission

### Staff Report

**Agenda Item Number: 1**  
**Project #: PR-2021-005339**  
**Case #: SI-2021-00817**  
**Hearing Date: July 15, 2021**

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	Lubricar Properties II, LLC
<b>Request</b>	<b>Site Plan-EPC, Major Amendment</b>
<b>Legal Description</b>	Tract 3-C-1, Plat of Tracts 3C-1 and 3C-2, Black Ranch
<b>Location</b>	Between Valley View Pl. NW and Irving Blvd. NW (9386 Coors Blvd NW)
<b>Size</b>	Approximately 0.57 acre
<b>Zoning</b>	MX-L

### Staff Recommendation

**APPROVAL of SI-2021-00817, based on the Findings beginning on Page 24 and subject to the Conditions of Approval beginning on Page 28.**

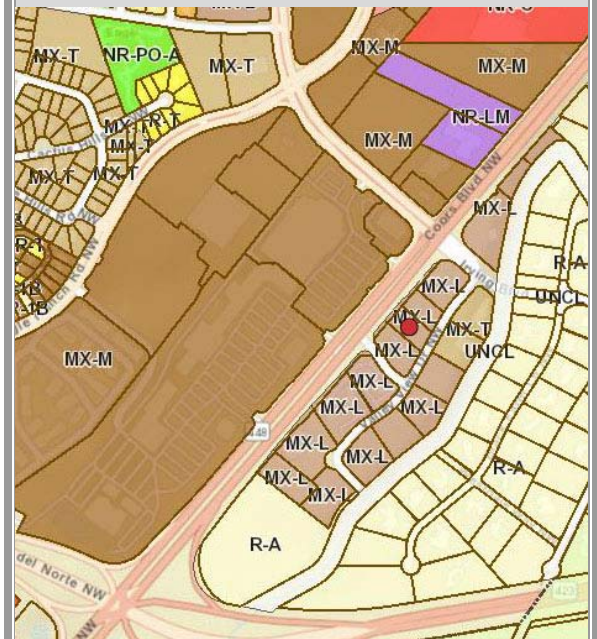
**Staff Planner**  
**Silvia Bolivar, PLA, ASLA**

### Summary of Analysis

The request is for a Major Amendment to the controlling site plan that would result in replacement with a new site plan. The applicant intends to expand the existing 2,357 foot light vehicle repair shop by approximately 1,200 square feet to accommodate additional service bays.

The EPC approved the controlling site development plan in March 2002, which was prior to IDO adoption in 2018. The proposed amendment would result in a replacement of the controlling site development plan; therefore, Site-Plan-EPC criteria apply.

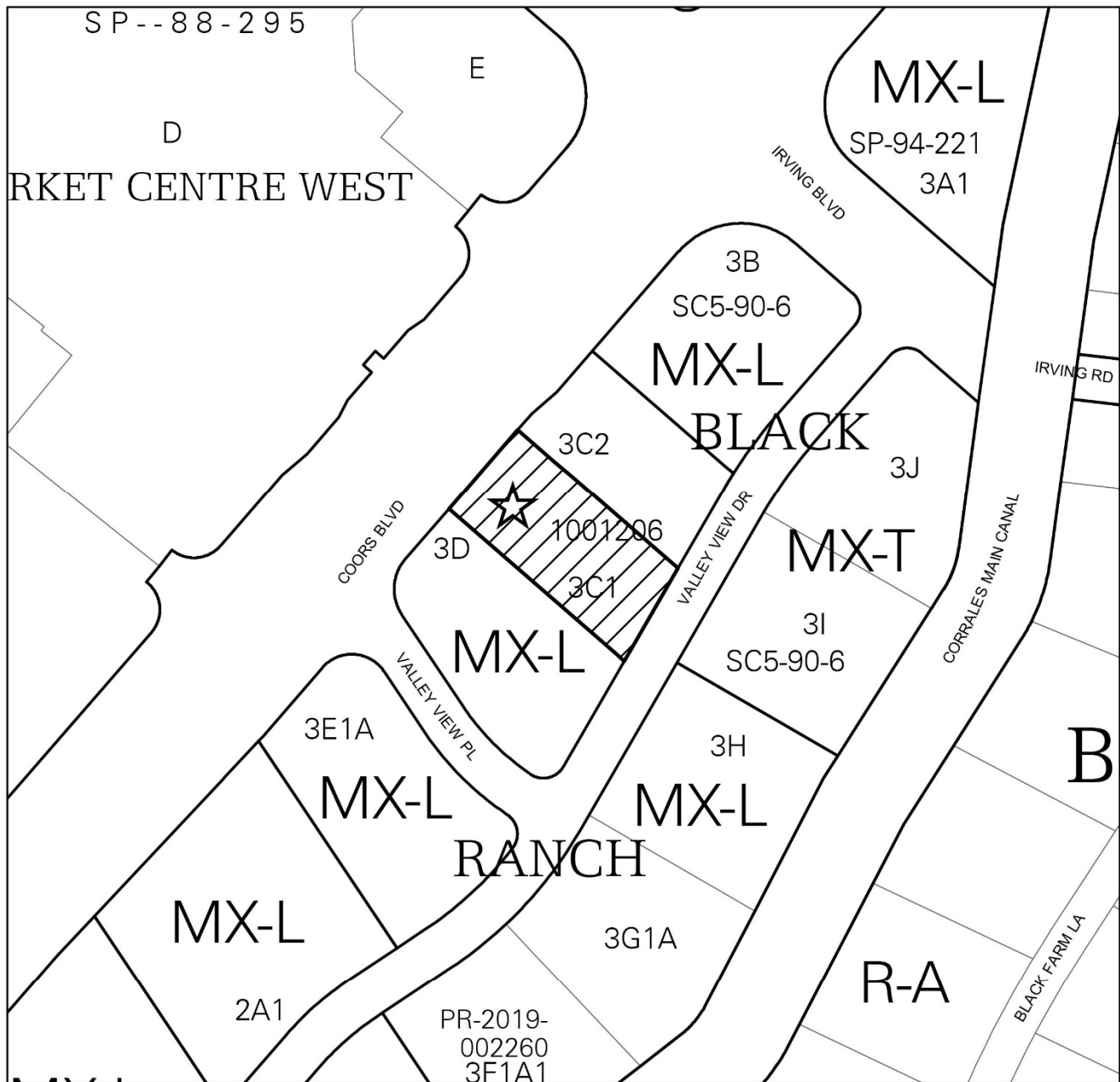
Staff reviewed the proposed site plan using IDO requirements and does not find major conflicts. The Westside Coalition of Neighborhood Associations, Paradise Hills Civic Association, and property owners within 100 feet were notified as required. Staff has not been contacted as of this writing and is unaware of any opposition. Staff recommends approval subject to conditions to ensure requirements are met and clarification is provided.











## IDO ZONING MAP

Note: Gray shading  
indicates County.

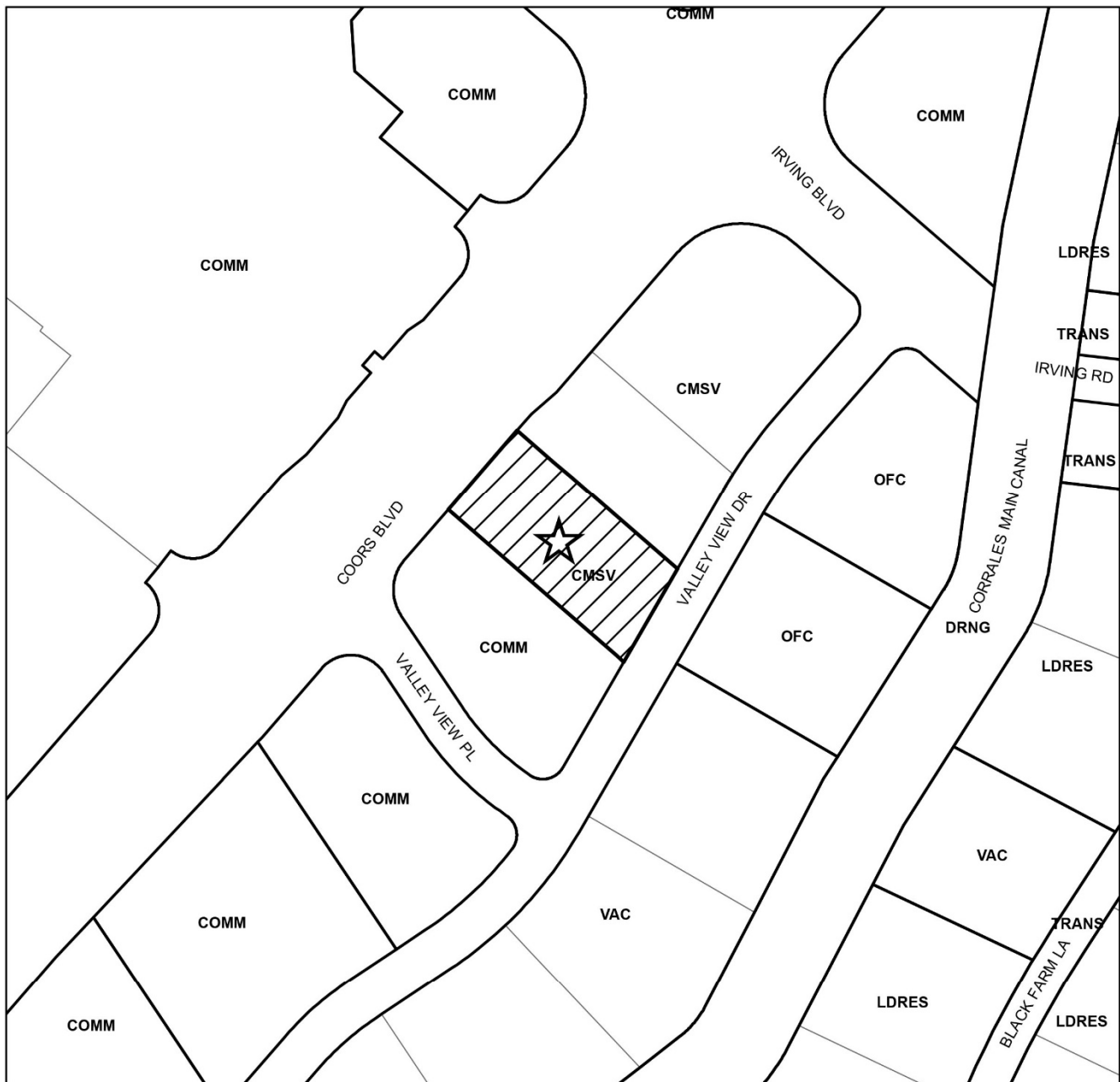


1 inch = 150 feet

Hearing Date:  
7/15/2021  
Project Number:  
PR-2021-005339  
Case Numbers:  
SI-2021-00817

Zone Atlas Page:  
C13





## LAND USE MAP

Note: Gray shading  
indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base



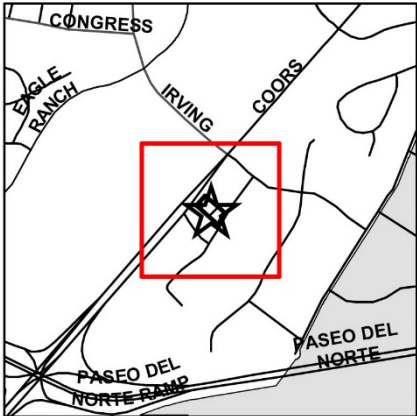
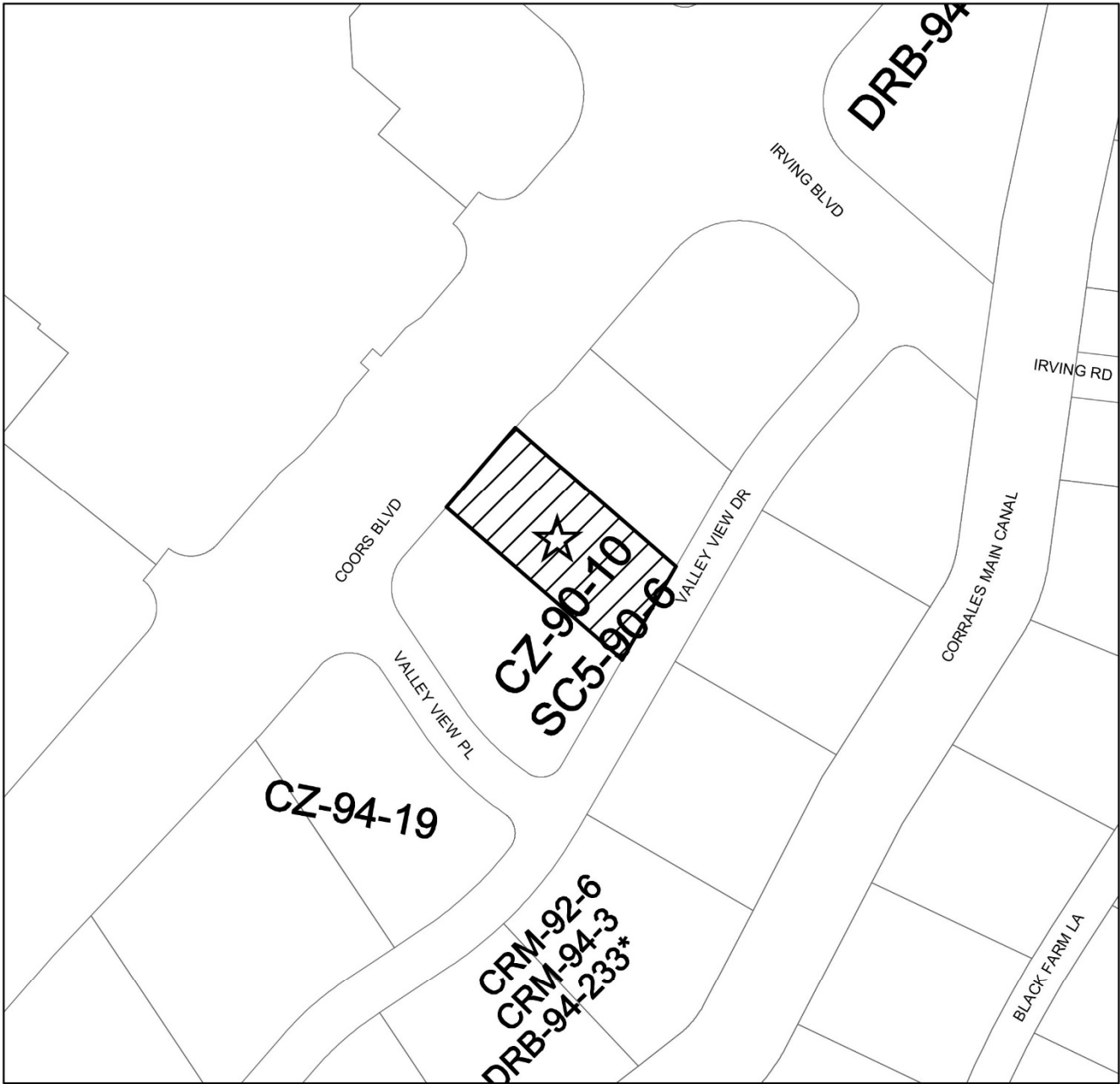
1 inch = 150 feet

Hearing Date:  
7/15/2021

Project Number:  
PR-2021-005339  
Case Numbers:  
SI-2021-00817

Zone Atlas Page:  
C13





**HISTORY MAP**

Note: Gray shading indicates County.

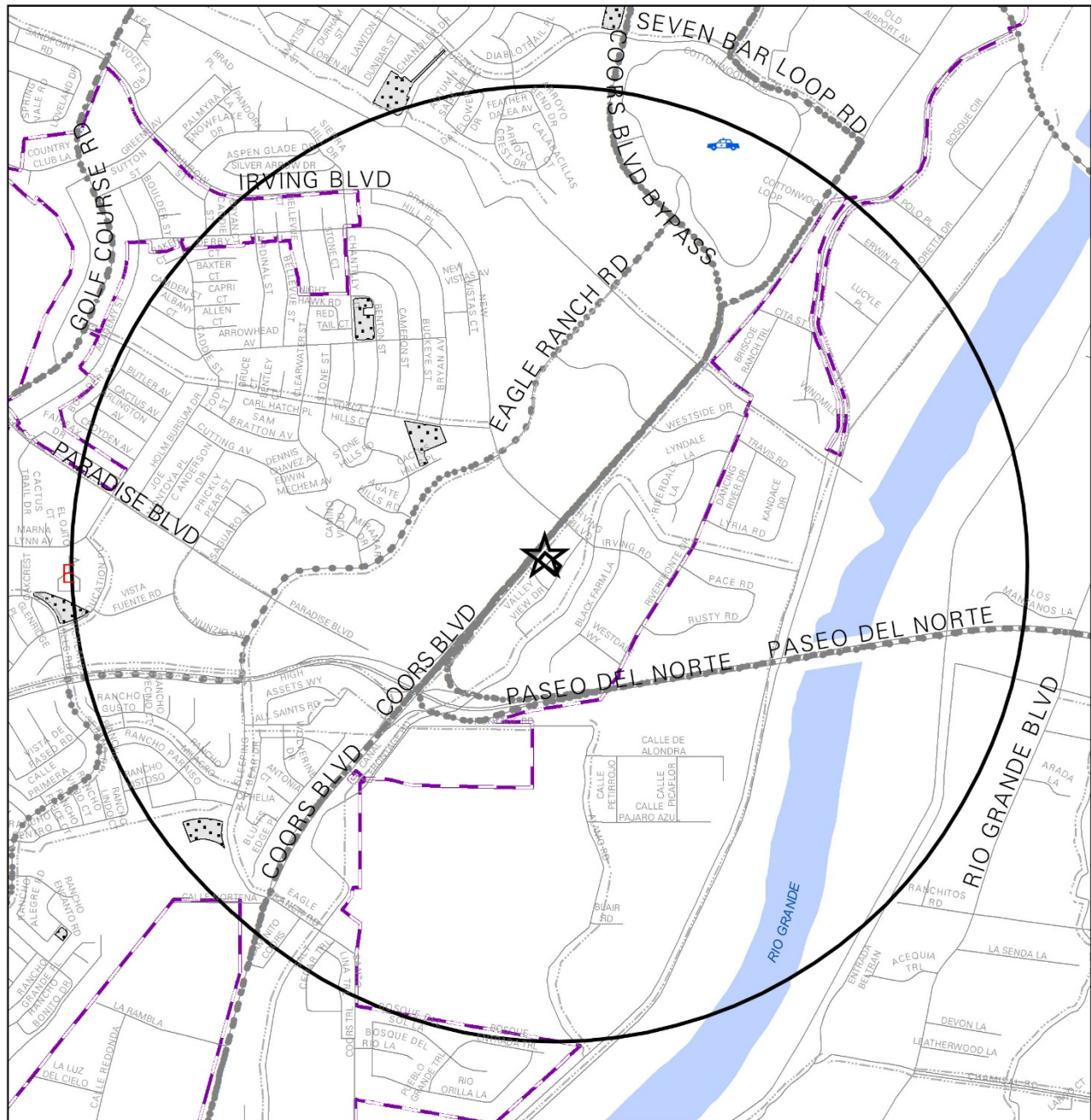


1 inch = 150 feet

Hearing Date:  
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Case Numbers:  
SI-2021-00817

Zone Atlas Page:  
C13





**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |





*Table of Contents*

I. Introduction.....8

II. Analysis of Applicable Ordinances, Plans, and Policies.....11

III. Site Plan – Major Amendment.....20

IV. Agency and Neighborhood Concerns.....23

V. Conclusion.....23

Findings, SI-2021-05817.....24

Conditions of Approval, SI-2021-00817.....28

Agency Comments.....29

Attachments

## **I. INTRODUCTION**

*Surrounding zoning, plan designations, and land uses:*

<i>Site</i>	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
	MX-L	Area of Change	Commercial Services
<i>North</i>	MX-M	Area of Change	Commercial Services
<i>South</i>	MX-L/R-A	Area of Change/Area of Consistency	Vacant/single-family residential
<i>East</i>	MX-T/MX-L/R-A	Area of Change/Consistency	Bank/related parking/single-family residential
<i>West</i>	MX-M	Area of Change	Commercial/Retail (Shopping Center)

### ***Request***

The request is for a Major Amendment of a Prior Approved Site Development Plan for a 0.57-acre site legally described as Tract 3-C-1, Plat of Tracts 3C-1 and 3C-2, Black Ranch, located at 9386 Coors Blvd. NW between Valley View Pl. NW and Irving Blvd. NW (the “subject site”).

The applicant proposes to replace the controlling site plan with a new site plan that will allow for the expansion of the existing 2,357 square foot light vehicle repair shop by approximately 1,200 square feet to accommodate additional service bays. The new addition will be built over existing asphalt, so no changes to the landscape plan are proposed. Similarly, for the utilities, the proposed development will utilize existing water and sewer service to the building already on site. The applicant has already applied for a building permit and received approval from the Fire Marshal, Transportation, and Hydrology. The request will be reviewed using a new site plan.

The subject site is zoned MX-L (Mixed Use – Low Intensity Zone District).

The proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations. Staff reviewed the site plan submitted on June 3, 2021. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

### ***EPC Role***

The EPC is hearing this case pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-4(Z), Amendments of Pre-IDO Approvals, which address applications for amendments to site development plans approved prior to the effective date of the IDO. The request exceeds the maximum threshold for a Minor Amendment, because the changes in the building gross floor area exceed 10%. It is, therefore, being considered pursuant to Section 14-16-6-4(Z)(1)(b)1, which states



that Major Amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended. In this case, the EPC approved the Site Development Plan for the subject site prior to the effective date of the IDO. The request covers the same geographic boundaries as the controlling site development plan and would replace and supersede it with a new Site Plan-EPC.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

### ***Context***

The subject site is located along Coors Boulevard, a busy commercial corridor and surrounded by a mix of retail, commercial, and residential uses. Immediately to the north and west, across from Coors Boulevard, is the Coors/Paseo del Norte Activity Center that includes the Market Center West (Plaza at Paseo del Norte), zoned MX-M, and in an Area of Change. To the south is MX-L and R-A with vacant lands and single-family residential that are in Areas of Change/Areas of Consistency. To the east are offices, medical clinics, and a bank that are zoned MX-T and MX-L and in Areas of Change. Beyond the commercial uses, east of the Corrales Drain, is the Black Farm Estates, zoned R-A and in an Area of Consistency.

The subject site is in an Area of Change as designated by the Comprehensive Plan. The subject site is within the boundaries of the Northwest Mesa Community Planning Area (CPA).

### ***History***

On June 5, 2001, Presbyterian Healthcare Services, contacted the City of Albuquerque to include the subject property (Tract 3C) to be annexed as their intent was to sell the property in the future. On June 21, 2001, the EPC voted to recommend approval to the City Council for annexation and establishment of zoning for 19.23 acres and amending the zone map to establish SU-1 for C-1 permissive uses and hotels not to exceed 2 stories in height and restaurants with full service liquor for Tracts 2A, 2B, RO-1 for Tract 2D, C-1 for Tract 3B, SU, C-1 for Tract 3C and 0-1 for Tracts 3F1, 3G1, 3H, #I and 3J, Black Ranch (Annexation 01114 00556).

On December 4, 2001, Presbyterian Healthcare Services submitted a site plan for subdivision for Tract 3C consisting of 1.2 acres.

Case #01128-01749/01128-01750, Project #1001206 – Consensus Planning, agents for Presbyterian Healthcare Services, requested approval of a Site Development Plan for subdivision plus approval of a Site Development Plan for a building permit for Tract 3C, Black Ranch, zoned SU-1 for C-1 uses located on Coors Blvd. containing 1.2 acres.

There is a letter on file, dated November 27, 2001 from Consensus Planning indicating that the southern portion of the property (future Tract 3C-1) will be developed and owned by Jiffy Lube, and the northern portion by Wells Fargo Bank for future expansion of the existing facility on Tract 3B. As part of the site plan for subdivision, they requested that the Site Plan for Building Permit for the bank expansion be delegated to the DRB.

Upon adoption of the Integrated Development Ordinance (IDO) in May 2018, which replaced the City's zoning code, the subject site's zoning converted from the old zoning designation of SU-1, C-1 (commercial category) to MX-L (Mixed-Use – Low Intensity Zone District). When the IDO was adopted, all former zones were converted to the closest matching “straight” zone that allowed the same basic bundle of uses. For sites zoned SU-1, staff looked at the title of the zoning to determine the conversion. In this case, SU-1 for C-1 converted to MX-L.

### ***Transportation System***

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Valley View Pl. NW, Irving Blvd. NW, and Valley View Dr. NW are classified as local urban streets.

### ***Comprehensive Plan Corridor Designation***

Coors Boulevard is classified as a Major Transit Corridor as designated by the Comprehensive Plan and the subject site is within 660 feet of Coors Boulevard.

### ***Comprehensive Plan Community Planning Area Designation***

The subject site is part of the Northwest Mesa Community Planning Area (CPA). The Northwest Mesa is a predominantly residential community, adjacent to volcanoes and volcanic Northwest Mesa Escarpment and overlooking the river and mountains. Corrales and Rio Rancho border this area to the north.

Design/Character Considerations for the Northwest Mesa include: suburban subdivisions with wide streets and landscape buffers and large building setbacks; walls lining minor arterial and collector streets to separate residential development; proximity to the Rio Grande and Petroglyph National Monument, and volcanic Northwest Mesa Escarpment; views of the volcanoes and escarpment to the west and the Rio Grande and mountains to the east; shopping centers set back from the street with parking in front.

### ***Overlay Zones***

The subject site is not within a Historic Protection Overlay (HPO). The subject site is within the boundaries of the Coors Boulevard Character Protection Overlay Zone, CPO-2 (14-16-3-4(C)) and the Coors Boulevard View Protection Overlay Zone, VPO-1 (14-16-3-6(D)).

The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. See analysis in Section II of this report.

### ***Trails/Bikeways***

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed routes and trails.

Coors Boulevard has a bike route and a bike lane. Irving Blvd. NW has a bike lane that begins/ends at the intersection of Coors Blvd. and Irving Blvd. NW. Corrales Main Canal NW has a proposed, unpaved trail.

### ***Transit***

The area is serviced by Commuter Route 96 (Crosstown Commuter) runs M-F schedule and a peak frequency of 40 minutes.

Bus Route 251 (Rio Rancho/ABQ/Rail Runner C) runs M-F, with a peak frequency of 30 minutes, off-peak 45 minutes.

Bus Route 155 (Coors) – runs north-south on Coors Boulevard Monday-Friday, peak frequency 33 minutes, off-peak 33 minutes, Saturday-Sunday between 40-45 minutes.

Bus Route 551 (Rio Rancho Jefferson Express) – runs M-F.

Bus Route 790 (Blue Line Rapid) - runs M-Sa, peak frequency 33 minutes, Sa-Su peak frequency 40-45.

The nearest transit stop for the commuter routes is at Coors and Irving Blvd.

### ***Public Facilities/Community Services***

Please refer to the Public Facilities Map (Page 6), which shows public facilities and community services located within one mile of the subject site.

### ***Walk Score/Transit Score/Bike Score***

The Walk Score for the subject site is 58 out of 100 (some errands can be accomplished on foot), transit score is 30 (a few nearby public transportation options), and a bike score of 60 (bikeable – some bike infrastructure).

## ***II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES***

### ***Integrated Development Ordinance (IDO)***

#### ***Definitions***

**Areas of Change:** An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

**Building Height:** The vertical distance above the average finished grade, unless specified otherwise in this IDO, at each façade of the building, considered separately, to the top of the coping or parapet on a flat roof, whichever is higher; to the deck line of a mansard roof; or to the average height



between the plate and the ridge of a hip, gable, shed, or gambrel roof. On a stepped or sloped project site, the maximum height is to be measured above the average finished grade of any distinct segment of the building that constitutes at least 10 percent of the gross floor area of the building, unless specified otherwise in this IDO.

Center and Corridor Definitions:

Major Transit (MT) Corridor: A Corridor designation from the Comprehensive Plan.

Major Transit (MT) Area: Lots within 660 feet in any direction of the centerline of a Main Street Corridor as designated by the ABC Comp Plan, as amended.

Commercial Services: Any activity involving the provision of services carried out for profit, generally for a business customer and not an individual buyer, including but not limited to upholstering, welding, laundry, printing, or publishing, that is not listed separately as a distinct use in Table 4-2-1.

Site-Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or non-residential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Vehicle Definitions:

Light Vehicle: A vehicle that has a gross vehicle weight rating of less than 10,000 pounds, including but not limited to automobiles, light trucks, sport utility vehicles, vans, boats, recreational vehicles, trailers, motorcycles, mopeds, scooters, and ATVs.

Light Vehicle Repair: Any facility providing vehicle repair, service, or maintenance of light vehicles.

***Zoning***

The subject site is zoned MX-L (Mixed-Use – Low Intensity, IDO 14-16-2-4(B)) which was assigned upon the adoption of the Integrated Development Ordinance (IDO) based upon prior zoning and land use designations SU-1 and C-1 (Community Commercial Zone). The purpose of the MX-L zone district is to provide for neighborhood-scale convenience shopping needs, primarily at intersections of collector streets. Primary land uses include non-destination retail and commercial uses, as well as townhouses, low-density multi-family, and civic and institutional uses to serve the surrounding area, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in IDO Table 4-2-1, pages 143-148 of the IDO.

The IDO contains Use-Specific Standards (USS) for Light Vehicle Repair 4-3(D)(18) with which the future/proposed development must comply.

***Coors Boulevard Character Protection Overlay, CPO-2***

3-4(C)(4) Building Height and Bulk

Building and structures shall not exceed the height limitation in the underlying zone.

***See VPO analysis.***

3-4(C)(5) Other Development Standards

3-4(C)(5)(a) Floodplain

All development shall comply with all adopted drainage policies, including restrictions on development in the 100-year floodplain. Cluster development design on land above the flood level shall be used to the maximum extent practicable, and the floodplain shall be used as open space.

***The project is not within the 100-year floodplain and is seeking to use the site to the maximum extent practicable.***

3-4(C)(5)(b) Grading

Changes to natural topography shall be kept to a minimum. On slopes of 10 percent or greater, no grading shall take place until a specific development plan has been approved for construction. Grading, drainage, or paving proposals; Master Development Plans; and Site Plans shall retain the sense of natural features and vegetation. Reconstruction and vegetation to a natural setting shall be pursued to the maximum extent practicable.

***The subject site has been previously graded. No changes to the existing grading plan are to take place.***

3-4(C)(5)(d) Outdoor Lighting

The mounting height of light fixtures in off-street parking, other than vehicular use areas, and/or outdoor storage areas shall be no higher than 20 feet above finished grade.

***No changes are being proposed to the outdoor lighting. Outdoor lighting on the site is at a maximum height of 18 feet with a fully shielded fixture head per IDO requirements. The mounting height of the light fixtures are within the limit of 20 feet above finished grade.***

3-4(C)(5)(e) Architectural Design and Details

1. The use of colors that contrast with the predominant color of the building is limited to a 10 percent on each façade.
2. Parapet walls shall be treated as an integral part of the building design. Such walls shall not appear as unrelated to visual elements.
3. In all zone districts, mechanical equipment shall be screened from public view from streets adjacent to the lot or from adjacent properties. The design of mechanical equipment screening shall be compatible with, and be an integral element of, the building structure. Location of such equipment within the building or at ground level is preferable to roof-mounting, unless such location would adversely affect the streetscape, pedestrian circulation, or open space.

*The architectural design falls within acceptable parameters.*

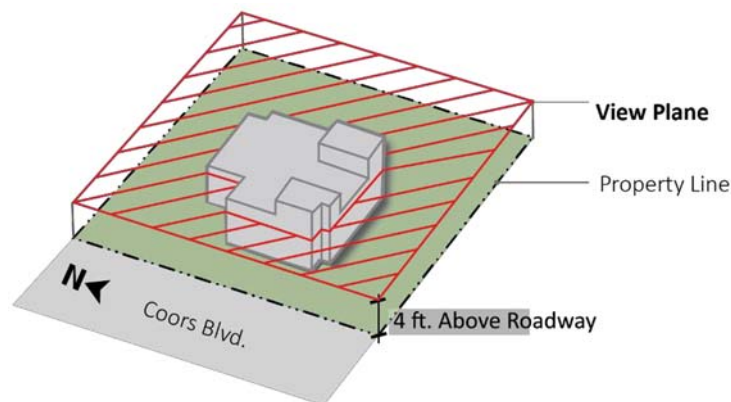
***Coors Boulevard View Protection Overlay, VPO-1***

The purpose of the View Protection Overlay (VPO) zone is to preserve areas with unique and distinctive views that are worthy of conservation, such as those from public rights-of-way to cultural landscapes identified in the ABC Comprehensive Plan, as amended.

Views protected by this VPO-1 are from Coors Boulevard, along the segment between Western Trail/Namaste Road and Alameda Boulevard, looking toward the Rio Grande Bosque and Sandia Mountains.

**3-6 (D)(3)(c) View Plane**

A view plane 4 feet above the elevation of the east edge of the east driving lane on Coors Boulevard and extending horizontally above sites located east of Coors Boulevard (See figure below).

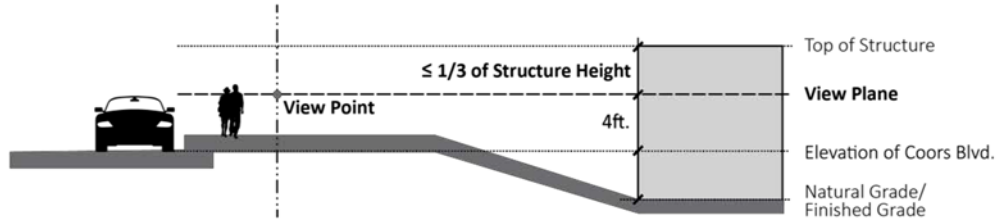


**3-6(D)(5) Structure Height**

3-6(D)(5)(a) No more than 1/3 of the height of structures (including building parapets, mechanical equipment and associated screening, walls, and fences) shall be allowed to penetrate above the view plane as shown in the diagram below.

3-6(D)(5)(b) On lots with developable area that is constrained because the natural grade (or finished grade, if infrastructure is already installed) is less than or equal to 10 feet below the elevation of the east edge of the public right-of-way of Coors Boulevard and may also include sensitive lands (see Subsection 14-16-5-2(C)), a total height of 16 feet for low-density residential and 20 feet for other uses is allowed.



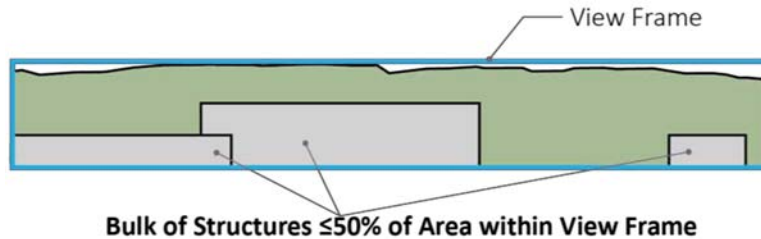


*Because the finished grade is within 10' of the elevation of Coors Blvd, this property does not need to comply with the 2/3 vs 1/3 building height requirement shown in the illustration above, rather, it is allowed to be 20 feet for uses other than low-density residential, per Subsection 3-6(D)(5)(b).*

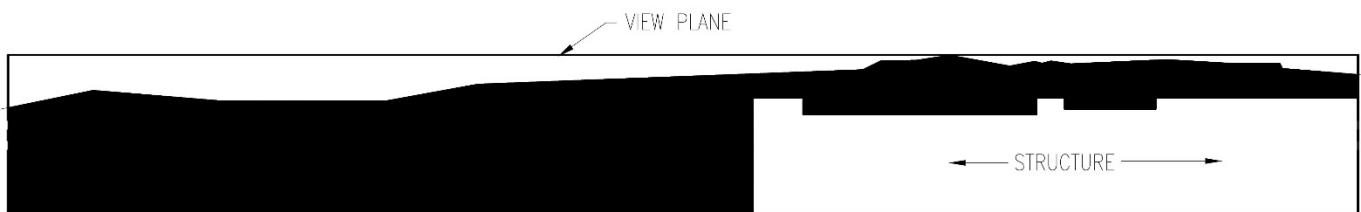
*The addition of the service bays will have a maximum height at the top of the parapet of 16-8', well within the allowable 20' building height for non-residential buildings that are within 10' of the elevation of Coors Boulevard (within the Coors Boulevard VPO-2).*

#### 3-6(D)(6) – Structure Bulk

Not more than 50 percent of the area within any view frame for a property shall be obscured by the bulk of the structure(s) (including walls and fences) placed on the property. (See figure below).



*Massing/views are blocked by adjacent development.*



AREA OF VIEW  
 PLANE= 3,063 S.F.

**jiffylube**  
 ADDITION

BULK OF STRUCTURE=  
 944 S.F.

3-6(D)(8) – Colors

The exterior surface of structures , including but not limited to mechanical devices, roof vents, and screening materials, shall be colors with light reflective value (LRV) ranging from 20 percent to 50 percent. This middle range of reflectance is intended to avoid very light and very dark colors.

*The exterior colors fall within acceptable parameters.*

***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change policies allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation.

The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Applicable Goals and policies are listed below. Staff analysis follows in bold italics.

*Chapter 5: Land Use*

Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

***The subject site is already served by existing infrastructure and public facilities, so further development made possible by the request would generally promote efficient development patterns and use of land. The request furthers Goal 5.3 – Efficient Development Patterns.***

Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

***The request will facilitate further development of the subject site by allowing for the addition of service bays to a property that is surrounded by existing City infrastructure and various services. Infill development can take several forms and, in this case, it is a partial infill that will allow the allowable building area to be maximized. The request furthers Policy 5.3.1 – Infill Development.***

Policy 5.3.2 – Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities.

***Policy 5.3.2 – Leapfrog Development is not applicable to the request as Leapfrog Development refers to greenfield development, not site expansion. The request does not further Policy 5.3.2 – Leapfrog Development.***

Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

*The request furthers this Goal because the subject site is in an Area of Change and the requested site plan amendment would allow for an efficient development process for the subject site, thereby directing growth where it is expected and desired as well as reinforcing the intensity of the area. The request furthers Goal 5.6 – City Development Areas.*

Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

*The subject site is in an Area of Change, along Coors Blvd. NW, a Major Transit Corridor, and the request will direct growth and more intense development to the area while expanding employment opportunities. The request furthers Policy 5.6.2 – Areas of Change.*

Subpolicy 5.6.2(b): Encourage development that expands employment opportunities.

*The request furthers this subpolicy as the expansion of the light vehicle repair shop by approximately 1,200 square feet to accommodate additional service bays will expand employment opportunities in the area as more employees will be needed to service additional vehicles in the new service bays. The request furthers subpolicy 5.6.2(b).*

Subpolicy 5.6.2(g): Encourage development where adequate infrastructure and community services exist.

*The request furthers this subpolicy because the area is located in an Area of Change and on a Major Transit Corridor. The expansion of the light vehicle repair shop will expand employment opportunities where adequate infrastructure and community services exist and located in an area with a highly connected street grid and frequent transit service. The request furthers subpolicy 5.6.2(g).*

Goal 5.7 – Implementation Processes: Employ procedures and processes to effectively and equitably implement the Comprehensive Plan.

*Staff is in agreement that the abandonment of the 2002 Site Development Plan and relinquishing control of the subject site to the development standards and processes of the IDO furthers this goal by eliminating overlapping requirements. The request furthers Goal 5.7 – Implementation Processes.*

Policy 5.7.2 – Regulatory Alignment: Upgrade regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

*The intent behind Policy 5.7.2 is to direct the City to update its' regulatory framework for land use and development, that resulted in the IDO. The expansion of the light vehicle repair shop that will be enabled by the Site Plan EPC-Major Amendment to replace the controlling site plan, reflects one intended outcome of Policy 5.7.2. Policy 5.7.2 – Regulatory Alignment is furthered.*



Subpolicy 5.7.2(a): Create pathways for economic growth and support the business ecosystem by providing clear development codes and processes.

*The elimination of the overlapping requirements which controlled the existing Site Development Plan will allow for further expansion of the subject site that will support economic growth for the site and the area. The IDO processes for EPC Site Plan – Major Amendment help eliminate the application of the old SU-1 requirements on uses that are not considered sensitive uses by the IDO. The request partially furthers subpolicy 5.7.2(a).*

Subpolicy 5.7.2(c): Avoid the use of SU-1 as a tool to negotiate design or use standards between stakeholders and limit its application to uses specified in the SU-1 zone.

*This subpolicy is not applicable as the subject site is no longer zoned SU-1.*

Policy 5.7.4 – Streamlined Development: Encourage efficiencies in the development review process.

*Policy 5.7.4. – Streamlined Development is not applicable to the request as it refers to efficiencies in the development review process by City staff, not individual projects.*

Subpolicy 5.7.4(c) : Provide streamlined approval processes for projects that meet the intent of the Comprehensive Plan.

*Subpolicy 5.7.4(c) is not applicable as it refers to streamlined approval process by the City staff.*

Subpolicy 5.7.4(d): Provide by-right approval processes for projects that meet regulatory standards.

*Subpolicy 5.7.4(d) is not applicable as it refers to City staff and the approval process.*

***Integrated Development Ordinance (IDO) 14-16-6-(J)(3)- Site Plan-EPC Review and Decision Criteria***

IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, will be approved if it meets all of the following criteria:

6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

*As demonstrated by the policy-based analysis of the site plan (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.*

6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

*The subject site is zoned MX-L therefore, the above criterion does not apply.*

6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

***With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO.***

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

***The new addition will be built over existing asphalt, so no changes to the landscape plan are proposed. Similarly, for the utilities, the proposed development will utilize existing water and sewer service to the building already on site.***

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

***The proposed development will be required to comply with the decisions made by the EPC. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas***

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

***The subject property is not within an approved Master Development Plan; therefore, the above criterion does not apply.***

- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

***The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required, therefore the above criterion does not apply.***

### ***III. SITE PLAN MAJOR AMENDMENT***

#### ***Request***

The request is for a Major Amendment to an existing site development plan, which was approved prior to the effective date of the IDO (May 17, 2018). Pursuant to IDO Section 1-10(A), prior approvals remain valid. The request exceeds one of the thresholds for a Minor Amendment in Table 6-4-4, so it cannot be classified as a Minor Amendment (which Staff can approve).

The request consists of the following major changes/additions to the existing, governing site development plan:

The applicant proposes to replace the controlling site plan with a new site plan that will expand the existing 2,357 square foot Jiffy Lube store by approximately 1,200 square feet to accommodate additional service bays. The new expansion will be built over existing asphalt, so no changes to the landscape plan are proposed. Similarly, for the utilities, the proposed development will utilize existing water and sewer service to the building already on site.

The proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval. Regarding any instances of non-compliance or lack of clarity, Staff has crafted conditions of approval to address them. Rather than describe what's shown on the proposed site plan (see attachment), the following analysis focuses on applicable requirements.

#### ***Site Plan Layout/Configuration***

The site development plan shows a rectangular shaped lot adjacent to Coors Boulevard. The building footprint is mostly rectangular in shape with parking provided on two sides of the site. A drainage facility lies between the parking area and Coors Boulevard. The new expansion will be built over existing asphalt, so no changes to the landscape plan or utility plan are proposed as the proposed development will utilize existing water and sewer service to the building already on site.

#### ***Section 14-16-5-1 Dimensional Standards:***

The MX-L zone district has dimensional standards for the zone. There is a 5' minimum front setback; side setback of 0' and a street side setback of 5', rear minimum 15'. The area is within the Coors Boulevard View Protection Overlay, VPO-1 that supersedes dimensional standards in the MX-L zone.

Because this lot is within 10' elevation of Coors Boulevard, a non-residential building can be up to 20 feet. The request complies as the existing building has a height of 18' and the proposed additional service bays are at 16-8'.

#### ***Section 14-16-5-2 Site Design and Sensitive Lands:***

Section 14-16-5-2, Site Design and Sensitive Lands, does not apply to the subject site.



### ***Vehicular Access, Circulation, and Parking***

Access to and from the subject site will be unaltered. The site has vehicular access from Valley View Drive along the eastern boundary. A 40-foot wide ingress/egress point is provided from Valley View Drive. A 30-foot wide ingress/egress point for the light vehicle repair shop is provided. Circulation for the site is generally in an east/west direction.

Parking for the site is provided on two sides of the site. Thirteen automobile parking spaces have been provided, including one ADA accessible space.

### ***Pedestrian, Bicycle, and Transit Access***

Pedestrian access to the site is provided with a 6-foot wide concrete sidewalk along Valley View Drive. No pedestrian access to the site from Coors Boulevard is provided. The Fire One Plan shows a pedestrian crossing from the ADA accessible space to the existing building. A detail should be provided at the time of DRB approval to show a clearly demarcated pedestrian crossing that is either slightly raised and/or textured pavement to indicate where the pedestrian path crosses vehicular circulation. There is a walkway along the additional service bays that lead to the main building.

Transit stops are within walking distance of the subject site along Coors Boulevard with the nearest transit stop at Coors Boulevard and Irving Boulevard NW.

### ***Landscaping***

Landscaping for the subject site will be unaltered. Landscaping includes a variety of trees, shrubs, grasses, and perennials.

Landscaping is irrigated by an automated irrigation system with programmable settings, automated controller, and moisture sensors to avoid overwatering. The irrigation system does not water impervious surfaces.

The existing planting plan is generally in compliance with the landscaping requirements pursuant IDO Section 5-6.

### ***Outdoor Lighting***

No changes are being proposed to the outdoor lighting. Currently, all lighting fixtures are fully horizontal lamps with a steel pole that are painted bronze. No light spillover escapes beyond the property line and no light source is visible from the site perimeter. Outdoor lighting on the site is at a maximum height of 18 feet with a fully shielded fixture head per IDO requirements. The mounting height of the light fixtures are within the limit of 20 feet above finished grade. Site lighting on the building facades are angled and not intrusive into adjacent areas.

### ***Elevations/Architecture***

Review of the Building Elevations and Wall Sections (A-3) reveals minimal changes will be made to the subject site. Building elevations and materials have been reviewed for required glass surfaces, changes in materials, and changes in height. The elevations presented for the addition meet the IDO requirements.

The applicant's description of the building design meets the IDO 5-11(D) regulations. The new construction will have a natural medium tan split face (CMU) to match the existing façade. Clear anodized aluminum overhead doors with solid bottom panels are being proposed to match the existing doors. The height of the additional service bays will be 16'-8". The existing building is at a height of 18'-0".

The existing customer area has a light tan stucco above a medium, tan split face wainscot with 8" red accent stripe and a galvanized metal roof on red tube steel frame awnings and detail canopy cover. The bay areas are red stucco with a sign band above a medium, tan, painted split face CMU wainscot with 8" red accent stripes. The storefront and overhead door finish are natural anodized aluminum.

### ***Signage***

The monument sign will be unaltered from the site plan approved in 2002. The monument sign is split face CMU that matches the building CMU color. There is a red logo with a white background and white letters on a red background with a red frame. The monument site is 10' x 8' x 2.4'.

### ***Grading and Drainage Plan***

The grading and drainage plan will be unaltered from the approved 2002 plan. There is no offsite drainage onto the site. The site has been raised which prevents any drainage from Tract 3B to enter the site. The adjacent road has a curb and gutter drainage system which directs the drainage to an off-site detention pond located approximately 400 feet to the south on Valley View Drive. A ditch along Coors Blvd. intercepts and diverts runoff from Coors Blvd. away from the site. There are two first flush ponds with a maximum water elevation of 19.5' and a bottom elevation of 18.0'. The pond volume is 321 CF for Pond A1 and 254 CF for Pond A2.

### ***Utility Plan***

The ABCWUA noted that as condition of approval, an Availability Statement shall be requested in order to address the change in fire flow demand for the site. Requests should be made at the link: <https://www.abcwua.org/info-for-builders-availability-statments/>. The request shall include a City Fire Marshal approved Fire 1 Plan, a zone map showing the site location, and the proposed Utility Plan.

The Fire One Plan, approved on 4/30/21, Permit #: FP-21-006029 lists the following Fire Flow Notes:

No slope greater than 10% along apparatus route is proposed; the driving surface of the fire apparatus access route is capable of supporting a load of at least 75,000 pounds; no security gate is proposed

at entrances; fire lanes to be marked as directed by the Fire Marshal. The Fire Flow Requirement = 1,000 GPM for one hour fire duration and fire hydrants required = 1 spacing at 500’.

#### ***IV. AGENCY & NEIGHBORHOOD CONCERNS***

##### ***Reviewing Agencies***

City departments and other interested agencies reviewed this application. Few agency comments were received.

##### ***Neighborhood/Public***

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected, registered neighborhood organizations are the Westside Coalition of Neighborhood Associations and the Paradise Hills Civic Association. Property owners within 100 feet of the subject site were also notified, as required (see attachments). A neighborhood meeting was not requested by any of the notified neighborhood associations.

As of this writing, Staff has not received any comment in support or opposition to the request.

#### ***V. CONCLUSION***

The request is for a Major Amendment to an existing site development plan, which has prior approval from the EPC. The applicant proposes to replace the controlling site plan with a new site plan that will expand the existing 2,367 square foot store by approximately 1,200 square feet to accommodate additional service bays.

The subject site is zoned MX-L (Mixed Use – Low Intensity Zone District), developed as a light vehicle repair shop with the surrounding area consisting of commercial, retail, and single-family residential uses.

The subject site is located within the boundaries of the Northwest Mesa Community Planning Area (CPA) and in an Area of Change as designated by the Comprehensive Plan. The request generally complies with applicable Comprehensive Plan policies regarding land use.

Not finding any conflicts with the IDO or other regulations, Staff recommends approval subject to conditions needed to improve compliance and to provide clarification.

***FINDINGS – SI-2021-00817, July 15, 2021 - Site Plan-EPC, Major Amendment***

1. The request is for a Major Amendment of a Prior Approved Site Development Plan for a property legally described as described Tract 3-C-1, Plat of Tracts 3C-1 and 3C-2, Black Ranch, located at 936 Coors Blvd. NW between Valley View Pl. NW and Irving Blvd. NW, approximately 0.57-acre.
2. The applicant proposes to replace the controlling site plan with a new site plan that will allow for the expansion of the existing 2,357 square foot light vehicle repair shop by approximately 1,200 square feet to accommodate additional service bays.
3. The subject site is zoned MX-L (Mixed Use – Low Intensity). The purpose of the MX-L zone district is to provide for neighborhood-scale convenience shopping needs, primarily at intersections of collector streets. Primary land uses include non-destination retail and commercial uses, as well as townhouses, low-density multi-family, and civic and institutional uses to serve the surrounding area, with taller, multi-story buildings encouraged in Centers and Corridors.
4. Upon adoption of the Integrated Development Ordinance (IDO) in May 2018, which replaced the City’s zoning code, the subject site’s zoning converted from the old zoning designation of SU-1, C-1 (commercial category) to MX-L (Mixed-Use – Low Intensity Zone District). When the IDO was adopted, all former zones were converted to the closest matching “straight” zone that allowed the same basic bundle of uses. For sites zoned SU-1, staff looked at the title of the zoning to determine the conversion. In this case, SU-1 for C-1 converted to MX-L.
5. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
6. The request covers the same geographic boundaries as the controlling site development plan and would replace and supersede it with a new Site Plan-EPC.
7. The Site Development Plan for Building Permit that originally permitted the Jiffy Lube was approved by the Environmental Planning Commission (EPC) and received final sign-off by the Developmental Review Board in March 2002 (Project #1001206, EPC 01128-01750).
8. Light vehicle repair is Permissive within the existing MX-L zone.
9. The subject site is located in an Area of Change as designated by the Comprehensive Plan.
10. The subject site is part of the Northwest Mesa Community Planning Area (CPA).



11. The subject site is within the boundaries of the Coors Boulevard Character Protection Overlay Zone, CPO-2 (14-16-3-4(C)) and the Coors Boulevard View Protection Overlay Zone, VPO-1 (14-16-3-6(D)).
12. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
13. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use pertaining to efficient development patterns and infill development.
  - A. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities, so further development made possible by the request would generally promote efficient development patterns and use of land.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request will facilitate further development of the subject site by allowing for the addition of service bays to a property that is surrounded by existing City infrastructure and various services. Infill development can take several forms and, in this case, it is a partial infill that will allow the allowable building area to be maximized.

- C. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers this Goal because the subject site is in an Area of Change and the requested site plan amendment would allow for an efficient development process for the subject site, thereby directing growth where it is expected and desired as well as reinforcing the intensity of the area.

- D. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is in an Area of Change, along Coors Blvd. NW, a Major Transit Corridor, and the request will direct growth and more intense development to the area while expanding employment opportunities.

- F. Subpolicy 5.6.2(b): Encourage development that expands employment opportunities.

The request furthers this subpolicy as the expansion of the Jiffy Lube by approximately 1,200 square feet to accommodate additional service bays will expand employment opportunities in the area as more employees will be needed to service additional vehicles in the new service bays.

- G. Subpolicy 5.6.2(g): Encourage development where adequate infrastructure and community services exist.

The request furthers this subpolicy because the area is located in an Area of Change and on a Major Transit Corridor. The expansion of the light vehicle repair shop will expand employment opportunities where adequate infrastructure and community services exist and located in an area with a highly connected street grid and frequent transit service.

14. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use pertaining to implementation processes, regulatory alignment, and streamlined development.

- A. Goal 5.7 – Implementation Process: Employ procedures and processes to effectively and equitably implement the Comprehensive Plan.

Staff is in agreement that the abandonment of the 2002 Site Development Plan and relinquishing control of the subject site to the development standards and processes of the IDO furthers this goal by eliminating overlapping requirements. .

- B. Policy 5.7.2 – Regulatory Alignment: Upgrade regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

The intent behind Policy 5.7.2 is to direct the City to update its' regulatory framework for land use and development, that resulted in the IDO. The expansion of the light vehicle repair shop that will be enabled by the Site Plan EPC-Major Amendment to replace the controlling site plan, reflects one intended outcome of Policy 5.7.2.

- C. Subpolicy 5.7.2(a): Create pathways for economic growth and support the business ecosystem by providing clear development codes and processes.

The elimination of the overlapping requirements which controlled the existing Site Development Plan will allow for further expansion of the subject site that will support economic growth for the site and the area. The IDO processes for EPC Site Plan – Major Amendment help eliminate the application of the old SU-1 requirements on uses that are not considered sensitive uses by the IDO.

15. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:
- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
  - B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-L; therefore, this criterion does not apply.
  - C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO.
  - D. 14-16-6-6(J)(3)(d) The new addition will be built over existing asphalt, so no changes to the landscape are proposed. Similarly, for the utilities, the proposed development will utilize existing water and sewer service to the building already on site.
  - E. 14-16-6-6(J)(3)(e) The future, proposed development will be required to comply with the decisions made by the EPC. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.
  - F. 14-16-6-6(J)(3)(f) The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.
  - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required, therefore this criterion does not apply.
16. The affected, registered neighborhood organizations are the Westside Coalition of Neighborhood Associations, and the Paradise Hills Civic Association. Property owners within 100 feet were also notified as required.
17. A neighborhood meeting was not requested by any of the notified neighborhood associations.
18. As of this writing, Staff has not received any comment in support or opposition to the request.

***RECOMMENDATION – PR-2021-005339, SI-2021-00817, July 15, 2021***

***APPROVAL of Project #2021-005339, Case # SI-2021-00817, a Major Amendment to an existing Site Development Plan, an approximately 0.57-acre site, located at 9386 Coors Blvd. NW, between Valley View Pl. NW and Irving Blvd. NW.***

**CONDITIONS OF APPROVAL – SI-2021-00817**

**1. Code Enforcement/Zoning**

If alterations are to be made to the trash enclosure, they must be shown when applying for a permit.

**2. Transportation Development Review Services**

Provide approved site plan through traffic circulation process that identified all of the site dimensioning and construction notes prior to DRB approval.

**3. ABC Water Utility Authority (ABCWUA)**

As a condition of approval, an Availability Statement shall be requested in order to address the change in fire flow demand for this site. Requests can be made at: <https://www.abcwua.org/info-for-builders-availability-statements/>. The request shall include a City Fire Marshal approved Fire 1 Plan, a zone map showing the site location, and the proposed Utility Plan.

**4. Public Service Company of New Mexico (PNM)**

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at [www.pnm.com/erequest](http://www.pnm.com/erequest) for PNM to review.

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*Silvia Bolivar*

**Silvia Bolivar, PLA, ASLA  
Current Planner**

**Notice of Decision CC list:**

Lubricar Properties II LLC, 3520 Calle Cuervo NW, Albuquerque, NM 87114

Consensus Planning, [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com)

Westside Coalition of Neighborhood Associations, Rene Horvath, [aboard111@gmail.com](mailto:aboard111@gmail.com)

Westside Coalition of Neighborhood Associations, Elizabeth Haley, [ekhaley@comcast.net](mailto:ekhaley@comcast.net)

Paradise Hills Civic Association, Tom Anderson, [taa@msn.com](mailto:taa@msn.com)

Paradise Hills Civic Association, Maria Warren, [samralphroxy@yahoo.com](mailto:samralphroxy@yahoo.com)

Legal, [kmorrow@cabq.gov](mailto:kmorrow@cabq.gov)

EPC file

## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning / Code Enforcement***

If alterations are to be made to the trash enclosure they must be shown when applying for a permit.

#### ***Long Range Planning***

The case planner needs to verify whether this site is part of a site development plan for a larger geography. Project #1001206 / EPC 01128-01750 / 02DRB-00172 Sheet 1 dated 11/29/2001 appears to include lots other than this one. The SU-1 site plan layer in AGIS also seems to indicate that this site is part of a larger geography. If there is an existing pre-IDO site development plan approved by EPC for a larger geography (i.e. that includes lots in addition to the subject property for this case), the applicant needs to justify a Major Amendment of the existing site plan to remove the Jiffy Lube lots. If there is a larger site plan area, the applicant could solicit and provide authorization letters for this request from the other property owners within the existing site plan, but that is not required. The applicant is required to notify all property owners and neighborhood associations entitled to notice for the entire site plan area, per Table 6-1-1.

#### ***Transportation Development Review Services***

Provide approved site plan through traffic circulation process that identified all of the site dimensioning and construction notes prior to DRB approval.

### ***CITY ENGINEER***

#### ***Hydrology***

#### ***Development Review Engineer***

No adverse comments.

### ***MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION***

### ***POLICE DEPARTMENT/PLANNING***

### ***SOLID WASTE MANAGEMENT DEPARTMENT***

### ***TRANSIT DEPARTMENT***

### ***PARKS AND RECREATION***

### ***ABC WATER UTILITY AUTHORITY (ABCWUA)***

As a condition of approval, an Availability Statement shall be requested in order to address the change in fire flow demand for the site. Requests can be made at: <https://www.abcwua.org/info-for-builders-availability-statements/>. The request shall include a City Fire Marshal approved Fire 1 Plan, a zone map showing the site location, and the proposed Utility Plan.



***ALBUQUERQUE PUBLIC SCHOOLS***

No adverse comments.

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)***

No adverse comments.

***COUNTY OF BERNALILLO***

No adverse comments.

***PLANNING AND DEVELOPMENT SERVICES***

No adverse comments.

***MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)***

No adverse comments.

***BERNALILLO COUNTY PUBLIC WORKS/TRANSPORTATION PLANNING***

No adverse comments.

***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)***

There are existing PNM facilities abutting the site and/or in easements along Coors Blvd. frontage and within the site from Coors Blvd. to the existing building. Any relocation or alteration of existing PNM facilities is at the property owner's expense.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at [www.pnm.com/erequest](http://www.pnm.com/erequest) for PNM to review.

***PETROGLYPH NATIONAL MONUMENT***

***AVIATION DEPARTMENT***

***KIRTLAND AIR FORCE BASE***

No adverse comments.



**Figure 1:** Subject site – Coors Blvd., facing southeast

**Figure 2:** Coors/Paseo del Norte Activity Center – across from subject site.



**Figure 3:** Coors Blvd. towards Valley View Place





**Figure 4:** Jiffy Lube – façade – textures/colors

**Figure 5:** Area of proposed addition



**Figure 6:** Request posted along Coors Blvd.

## HISTORY



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 11, 2002

To whom it may concern:

REF: 01114 00556 / 01110 00557 / 01128 00558 / Project # 1001206  
(Council Bill No. 0-01-133, Enactment No. 56-2001)

Enclosed is a copy of a new annexation that was approved through our office on the above referenced case. **The subject property is now eligible for City services.** The annexation and simultaneous establishment of zoning is effective five (5) days after publication of the Ordinance. The existing addresses within the annexed area are:

**Address and corresponding UPC:**

9368 Valley View Dr. NW 87114	101306433832710407
9374 Valley View Dr. NW 87114	101306435133810408
9388 Valley View Dr. NW 87114	101306437838910411
9378 Valley View Dr. NW 87114	101306436235410409
9384 Valley View Dr. NW 87114	101306437237110410
9390 Coors Blvd. NW 87114	101306436440410412
9386 Coors Blvd. NW 87114	101306434738510413

"Existing addresses" listed for this annexation may be incomplete. If you are aware of any additional "existing addresses" for this annexation, please feel free to contact me at (505) 924-3889.

Sincerely,

Crystal Ortega  
Administrative Assistant  
City Planning Department

Enclosure



# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING</b>	<b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input checked="" type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC,	
<input checked="" type="checkbox"/> ...for Building Permit		LUCC, Planning Director or Staff,	
<input type="checkbox"/> IP Master Development Plan		ZHE, Zoning Board of Appeals	
<input type="checkbox"/> Cert. of Appropriateness (LUCC) L			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: Presbyterian Health Care Services PHONE: 841-1697  
 ADDRESS: Real Estate Dept. P.O. Box 26666 FAX: 841-1399  
 CITY: Albuquerque STATE NM ZIP 87125-6666 E-MAIL: rholm@phs.org  
 Proprietary interest in site: owner  
 AGENT (if any): Rodey Law Firm/Consensus Planning PHONE: 768-7224/764-9801  
 ADDRESS: P.O. Box 1888/924 Park Avenue SW FAX: 768-7395/842-5495  
 CITY: Albuquerque STATE NM ZIP 87103/87102 E-MAIL: sbfox@rodey.com  
cp@consensusplanning.com

DESCRIPTION OF REQUEST: Site Plan for Subdivision  
for Tract 3C, 1.2 acres; Site Plan for Building Permit for 0.6245 acres

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 3C Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Black Ranch  
 Current Zoning: SU-1 for C-1 Proposed zoning: same  
 Zone Atlas page(s): C-13-Z No. of existing lots: 1 No. of proposed lots: 2  
 Total area of site (acres): 1.2 ac. Density if applicable: dwellings per gross acre: n/a dwellings per net acre: n/a  
 Within city limits? ☒ Yes. No ☐, but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no  
 UPC No. 101306434738510413 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Coors Boulevard NW  
 Between: Paseo del Norte NW and Irving NW

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
 (see attachment)

Check-off if project was previously reviewed by Sketch Plat/Plan ☐ or Pre-application Review Team ☒ Date of review: 10/3/01

SIGNATURE James K. Strozier, AICP DATE 11/28/01  
 (Print) \_\_\_\_\_ Applicant ☐ Agent ☒

### FOR OFFICIAL USE ONLY

Form revised September 2001

#### INTERNAL ROUTING

- ☒ All checklists are complete
- ☒ All fees have been collected
- ☒ All case #s are assigned
- ☒ AGIS copy has been sent
- ☒ Case history #s are listed
- ☒ Site is within 1000ft of a landfill
- ☒ F.H.D.P. density bonus
- ☒ F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>01128 - 01749</u>	<u>SDP Subd</u>	<u>P(1)</u>	<u>\$ 350.00</u>
<u>01128 - 01750</u>	<u>SDP BP</u>	<u>P(1)</u>	<u>\$ 350.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	<u>Adv. Fee</u>	_____	<u>\$ 75.00</u>
Hearing date <u>January 17, 2002</u>			Total <u>\$ 775.00</u>

11/29/01  
 Planner signature / date

Project # 1001206

# FORM P(1): SITE PLAN REVIEW – E.P.C. PUBLIC HEARING

## ☒ SITE DEVELOPMENT PLAN FOR SUBDIVISION

### ☐ IP MASTER DEVELOPMENT PLAN

- ☒ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings. For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - ☒ Site plans and related drawings reduced to 8.5" x 11" format
  - ☒ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - ☒ Letter briefly describing, explaining, and justifying the request
  - ☒ Letter of authorization from the property owner if application is submitted by an agent
  - ☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - ☒ Sign Posting Agreement
  - ☒ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - ☒ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
  - ☒ Fee (see schedule)
  - ☒ Any original and/or related file numbers are listed on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

## ☒ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

### ☐ SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY

- ☒ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings.
- ☒ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **30** copies for EPC public hearings.
- ☒ Site plans and related drawings reduced to 8.5" x 11" format
- ☒ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ☒ Letter briefly describing, explaining, and justifying the request
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ☒ Sign Posting Agreement
- ☒ Completed Site Plan for Building Permit Checklist
- ☒ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
- ☒ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
- ☒ Fee (see schedule)
- ☒ Any original and/or related file numbers are listed on the cover application

**NOTE:** For wireless telecom facilities (administrative reviews that have been referred to the EPC, or requests for waivers of requirements) the following materials are required in addition to those listed above for application submittal:

- n/a* Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

### ☐ AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

### ☐ AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **30** copies for EPC public hearings
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **30** copies for EPC public hearings
- Site plans and related drawings reduced to 8.5" x 11" format
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Refer to schedule. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozick, AICP

Applicant name (print)

[Signature]

Applicant signature / date

11/29/01

Form revised September 2001



- ☒ Checklists complete
- ☒ Fees collected
- ☐ Case #s assigned
- ☒ Related #s listed

Application case numbers

01128 - 01749  
01128 - 01750  
 - -

Project #

Planner signature / date

[Signature] 11/29/01  
1001206



## Memorandum

**To:** Russell Brito, EPC Planner

**From:** Karin Pitman, AIA, RLA, Senior Planner/Landscape Architect *KMP*

**Date:** December 4, 2001

**Re:** **Tract 3C, Black Ranch Submittal (Project #1001206)**

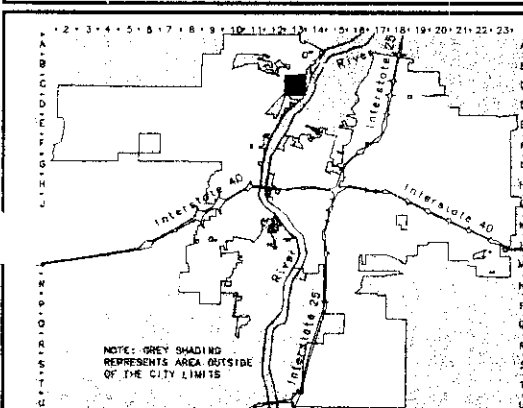
Per the fax we received from your office on Friday, November 30, regarding deficiencies in our submittal for the January EPC hearing, following is some supplementary information to address each of the items mentioned in the memo:

1. Coors R.O.W. is 153', and the F.F. varies (110'  $\pm$ ).
2. Valley View's F.F. is 36'.
3. We will add the following note to sheet 2, Landscape Plan: "The design and provision of landscape features within Tract 3C will be in conformance with the City of Albuquerque zoning code, street tree ordinance, pollen ordinance, and the water conservation landscaping and water waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation."
4. The sidewalk widths along Valley View Drive and Coors Boulevard NW are 6'. The widths on the site plan will be dimensioned as 6'.
5. One fire hydrant is indicated (but not called out) on the Grading and Drainage Plan (sheet C-1) at the southern-most property corner of the Wells Fargo Bank site. Another hydrant is located on the southwest corner of Valley View Drive and Valley View Place. These will be clearly identified on the Utility Plan.
6. Dimensions of all major façade elements will be added to the elevations and these sheets will be replaced.

After these changes have been made, revised blueline sets will be submitted prior to distribution to the Planning Commisioners.

Please call me at 764-9801 if you have any additional questions.

c: Bill Johnson, George Rainhart & Associates, 837-9877 (fax)  
George Nemeth, Easterling/Wilson, 898-8501 (fax)



**C-13-Z**

Map Amended through July 27, 2000

City of Albuquerque  
Planning + Zoning

August 29, 2002

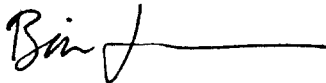
Re: EPC: 01128-01750  
DRB: 02DRB-00172  
Project: 1001206

Dear Sirs:

We respectfully submit the attached plans for the purpose of modifying the existing elevations contained in the approved Site Plan for Building Permit package to improve the fade resistance of the exterior building materials as it became apparent after the DRB submittal that to keep the facade looking "fresh" could be a significant issue in the Albuquerque sun. To mitigate this problem, the stucco soffit has been replaced with long life prefinished metal panels, the red horizontal painted stripe on the masonry eliminated, and the awning and canopy covers redesigned to take advantage of prefinished materials. See sheet A2.1.

In addition, the owners wish to modify the plantings to conserve water and allow better street visibility of their business. See sheets L-1 and A1.0.

Respectfully,

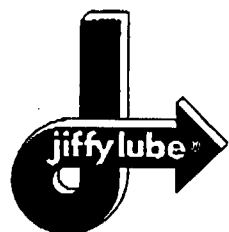


Bill Johnson, AIA  
Project Manager  
George Rainhart, Architect + Associates

- See photo of similar building. This building will also have light tan stucco @ office area.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110  
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



**jiffylube**

**LUBRICAR, INC.**

3520 CALLE CUERVO NW  
ALBUQUERQUE NM 87114-9220  
(505) 897-6701 • fax (505) 897-6706  
JiffyLubeNM.com

August 29, 2002

City of Albuquerque  
Planning and Zoning

Hand Delivered.

To Whom It May Concern:

We authorize Bill Johnson of George Rainhart and Associates to request elevation and landscaping changes as an administrative amendment on our behalf.

Sincerely

Richard B. Jones  
Chief Financial Officer



## ZONING

Please refer to IDO Sub-section 14-16-2-4(B) for the Mixed-Use – Low Intensity Zone District  
(MX-L)

## APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Lubricar Properties II, LC		Phone:
Address: 3520 Calle Cuervo NW		Email: rbjones@myjiffy.com
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

Abandon 2002 Site Development Plan to allow expansion and redevelopment via IDO standards and procedures.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 3-C-1	Block:	Unit:
Subdivision/Addition: Black Ranch	MRGCD Map No.:	UPC Code: 101306434637810406
Zone Atlas Page(s): C-13	Existing Zoning: MX-L	Proposed Zoning: No Change
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.5689 acres

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 9386 Coors Blvd NW	Between: Valley View Pl	and: Irving Blvd NW
---	-------------------------	---------------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project #1001206

Signature:	Date: 6/3/21
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

## FORM P1: SITE PLAN – EPC

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

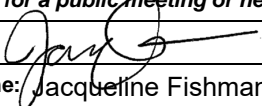

- ☐ SITE PLAN – EPC  
☐ MASTER DEVELOPMENT PLAN  
☒ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN  
☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

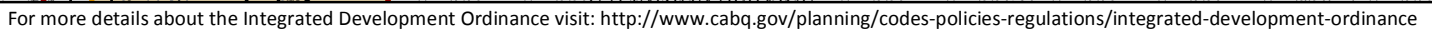
- ☒ Interpreter Needed for Hearing? No if yes, indicate language: \_\_\_\_\_
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☒ Signed Traffic Impact Study (TIS) Form
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable
- ☐ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
- ☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
- ☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- ☐ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Sign Posting Agreement
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response
- ☒ Copy of notification letter and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- ☒ Completed Site Plan Checklist
- ☒ Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)  
*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
- ☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
- ☒ Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- ☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

### ☐ VARIANCE – EPC

— In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

<b>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</b>	
Signature: 	Date: 6/3/21
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



0 250 500 1,000 Feet

June 2, 2021

Mr. Tim MacEachen, Chair  
Environmental Planning Commission  
City of Albuquerque  
Planning Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: 9386 Coors Boulevard NW Jiffy Lube Site Plan

Dear Mr. MacEachen:

The purpose of this letter is to authorize Consensus Planning to act as our agent for amendment or abandonment of the existing Site Plan for this property and related applications necessary to utilize the Site Plan – Administrative process for expansion of the existing Jiffy Lube service center.

Legal Description: Tract 3-C-1, Black Ranch containing 0.5689 acres

Lubricar Properties II, LLC is the owner of the property. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lon R. Freeman'.

Lon R. Freeman  
CFO/Treasurer of Lubricar, Inc.,  
Managing Member of Lubricar Properties II, LLC





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

Project Title: 9386 Coors - Jiffy Lube Building Permit #: BP-2021-14598 Hydrology File #: C13D024

Zone Atlas Page: C-13 DRB#: 1001206 (old) EPC#: To be determined Work Order#: \_\_\_\_\_

Legal Description: Tract 3-C-1, Black Ranch

City Address: 9386 Coors Boulevard NW

Applicant: Lubricar Properties II, LLC (Agent: Consensus Planning, Inc.) Contact: Michael Vos, AICP

Address: 302 8th Street NW, Albuquerque, NM 87102

Phone#: (505) 764-9801 Fax#: \_\_\_\_\_ E-mail: vos@consensusplanning.com

### Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: MX-L

Project Type: New: ( ) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ☒

Proposed Use (mark all that apply): Residential: ( ) Office: ( ) Retail: ☒ Mixed-Use: ( )

Describe development and Uses:

Expansion of existing Jiffy Lube vehicle service center.

Days and Hours of Operation (if known): 8:00 AM - 6:00 PM Monday - Saturday

### Facility

Building Size (sq. ft.): Existing: 2,357 sq. ft. Addition: 1,213 sq. ft. Total: 3,570 sq. ft.

Number of Residential Units: \_\_\_\_\_

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* \_\_\_\_\_

Driveway(s) Located on: Street Name Valley View Drive NW

Adjacent Roadway(s) Posted Speed: Street Name Valley View Drive NW Posted Speed 25 mph (unposted)

Street Name Coors Blvd NW Posted Speed 45 mph

## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Coors Blvd Major Transit/Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Adjacent to the Coors/Paseo del Norte Activity Center  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): \_\_\_\_\_

Adjacent Roadway(s) Traffic Volume: ADT 66,123 Volume-to-Capacity Ratio: \_\_\_\_\_  
AWDT 71,031 (if applicable)

Adjacent Transit Service(s): Routes, 96, 155, and 790 Nearest Transit Stop(s): Coors and Irving Blvd

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Bike Lanes on Coors and Irving  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing sidewalks on adjacent streets

## Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

## TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒ Borderline [ ]

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

 P.E.

6/3/2021

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE

.....

## **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-154 Date: 9/14/20 Time: N/A (sent via email to [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com))

Address: 9386 Coors BLVD NW

### AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Linda Rumpf ([lrumpf@cabq.gov](mailto:lrumpf@cabq.gov))

Zoning/Code Enforcement: Marcelo Ibarra ([marceloibarra@cabq.gov](mailto:marceloibarra@cabq.gov))

Fire Marshall: Bob Nevárez ([rnevarez@cabq.gov](mailto:rnevarez@cabq.gov)) or call 505-924-3611 (if needed)

Transportation: Nilo Salgado ([nsalgado-fernandez@cabq.gov](mailto:nsalgado-fernandez@cabq.gov))

#### **PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!**

*THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.*

*Additional research may be necessary to determine the exact type of application and/or process needed.*

*Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** Addition to existing Jiffy Lube Oil Change. Existing approved Site Plan for Building Permit was for 2,357 square feet. The proposed addition is over 10% of the original building.

### SITE INFORMATION:

Zone: MX-L

Size: 0.5689

Use: Commercial Services

Overlay zone: (VPO) - View Protection Overlay Zone (3-6)-Coors Boulevard – VPO-1; (CPO) - Character Protection Overlay Zone (3-4)-Coors Boulevard – CPO-2

Comp Plan Area of: Change

Comp Plan Corridor: (MT) Major Transit Corridors 660ft-Coors Blvd

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

\*Neighborhood Organization/s: Westside Coalition of NAs

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: Amendments of Prior Approvals 6-4(Y)

Review and Approval Body: \*original approving body Is this a PRT requirement? \*

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-154 Date: 9/14/20 Time: N/A (sent via email)

Address: 9386 Coors BLVD NW

### **NOTES:**

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Case Tracking: 1001206

### **Records requests**

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### **Requests to Inspect Public Records**

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### **Development Services Comments**

Please contact Jay Rodenbeck for information on how to submit files electronically. He can be reached at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov).

### **Current Planning Comments**

- Major Amendment or replace – IF you go forward with a change of more than 10% it is a Major Amendment / Prior Approval.
- You can abandon if the subject site is not part of a larger site plan. If so, that would be Site Plan – Administrative.

### **Zoning Comments**

Location: 9386 Coors Blvd NW

Lot: 3C1, Block: 0000, Subdivision: Black Ranch

Project – Addition to the Current Jiffy Lube

Current Zoning – MX-L

Area of Change

Major Transit Corridor

Overlay Zones – VPO 1 & CPO 2

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-154 Date: 9/14/20 Time: N/A (sent via email)

Address: 9386 Coors BLVD NW

Previous zoning – SU-1

Reference case history --> 1001206

Comply with mapped area design guidelines 3-6(D) & 3-4(C)

### Process:

Amendments of Prior Approvals 6-4(Y)

Case # 02EPC01345

As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3857 option 1.

### Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

- If this case is considered a Major Amendment, please contact Jeanne Wolfenbarger for review, comments and discussions.

### BELOW ARE GENERAL COMMENTS (IF APPLICABLE TO SITE):

#### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

#### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-154 Date: 9/14/20 Time: N/A (sent via email)

Address: 9386 Coors BLVD NW

- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

### Traffic Studies

0. See the Traffic Impact Study (TIS) thresholds. In general, a minimum of 100 vehicles entering or exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

### Platting and Public Infrastructure Requirements for Roadways

0. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
1. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
2. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
3. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
4. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
5. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*





July 2, 2021

Tim MacEachen, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

*Re: Abandonment of Prior Approval for Jiffy Lube at 9386 Coors Boulevard NW*

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Mr. Chairman:

The purpose of this letter is to request approval of Abandonment of the Site Plan for the Jiffy Lube service center located at 9386 Coors Boulevard NW, which was originally approved by the Environmental Planning Commission (EPC) and received final sign-off by the Development Review Board in March 2002 (Project #1001206, EPC 01128-01750). The subject site is legally described as Tract 3-C-1, Black Ranch, containing 0.5689 acres (See Figure 1) and is zoned MX-L (Mixed-use Low Intensity).

The Environmental Planning Commission is hearing this case as a Major Amendment to the pre-IDO approval to abandon the existing Site Plan and relinquish control of the site to the applicable IDO processes, which will be a Site Plan – Administrative due to the size of the existing and proposed development and small size of the property. The Applicant intends to expand the existing 2,357 square foot Jiffy Lube store by approximately 1,200 square feet with additional service bays and has already applied for a building permit and received approval from the Fire Marshal, Transportation, and Hydrology for the replacement Site Plan and Grading Plan.

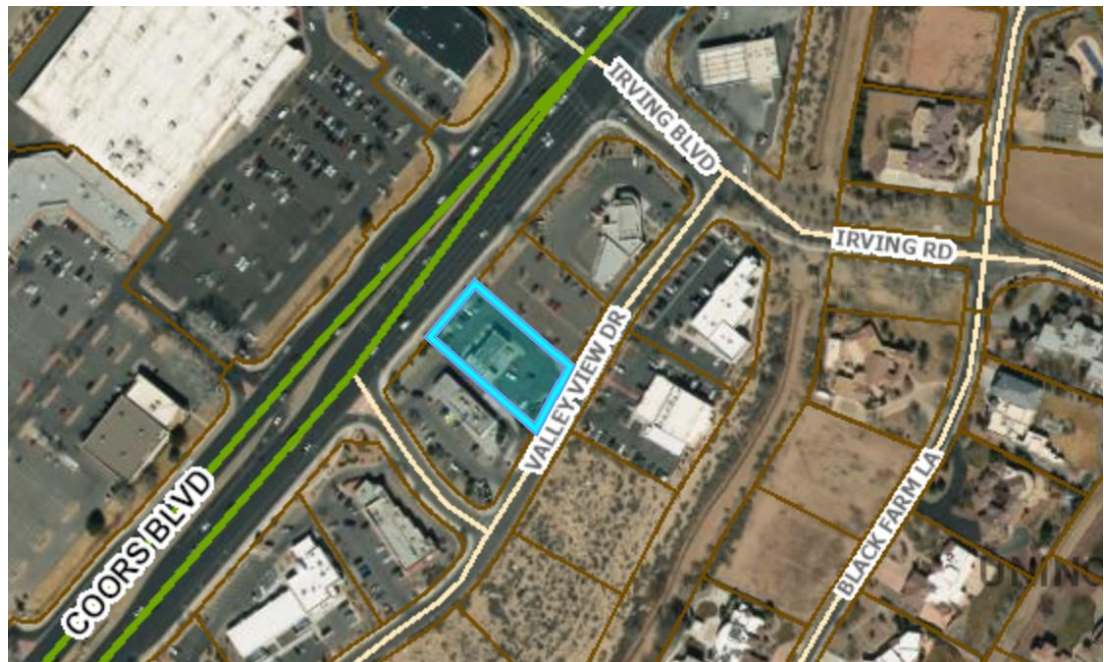


Figure 1. Site vicinity map showing the subject site in blue.

#### PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP

Prior to preparing this Major Amendment/Abandonment, the Applicant notified the affected neighborhoods for the proposed expansion but was informed from the Pre-Application Review Team (PRT) notes that an existing plan could be abandoned if it covered the entire geography of the previous approval. This was consistent with other smaller projects since enactment of the IDO in 2018. Because the 2002 Site Plan was just for the Jiffy Lube, the Applicant proceeded to the Site Plan – Administrative (Building Permit) process to replace the existing plan; however, Code Enforcement staff determined that the original decision-making body had to approve of any change to the prior approval, including abandonment, which precipitated this request.

## PROJECT CONTEXT

### Existing Conditions and Land Use

The subject site lies within the Northwest Mesa Community Planning Area of the Comprehensive Plan and is designated as an Area of Change. Coors Boulevard is a designated Major Transit Corridor and the adjacent properties on the west side of Coors Boulevard are part of the Coors/Paseo del Norte Activity Center. ABQ Ride Routes 96, 155, and 790 pass the site with stops at the Coors and Irving Boulevard intersection.

The area surrounding the subject site includes a significant amount and variety of commercial uses with some vacant lots to the southeast. A large shopping center, including a Target store is located to the west within the designated Activity Center. Other commercial properties on the east side of Coors Boulevard include a Wells Fargo bank, Burger King restaurant with drive-through, Calibers Sports Center, and a small hospital. Beyond these commercial uses, east of the Corrales Drain, is the Black Farm Estates residential area.



Figure 2. Land use context with the subject site bounded in blue.



## Zoning

The properties on the west side of Coors Boulevard inside the Activity Center are zoned MX-M (Mixed-use Moderate Intensity). The subject property and others on the east side of Coors Boulevard are zoned MX-L (Low Intensity) and MX-T (Transition). The Black Farm Estates residential area consists of large lots, zoned R-A (Residential-Agricultural).



Figure 3. Existing zoning with the subject site bounded in blue.

**TABLE 1. Surrounding Zoning & Land Use**

<b>NORTH</b>	MX-L	Drive-through bank and related parking
<b>EAST</b>	MX-L, MX-T, and R-A	Office, Medical Clinic, Single-family residential, and vacant
<b>SOUTH</b>	MX-L	Drive-through restaurant, commercial retail, and vacant
<b>WEST</b>	MX-M	Commercial retail (shopping center)

## SUMMARY OF REQUEST

The Applicant, Lubricar Properties II, LLC is requesting approval from the EPC to abandon the previous Site Plan and allow the proposed expansion of the Jiffy Lube service center to be reviewed and approved by the relevant IDO procedures and development standards, which will be a Site Plan – Administrative process.

## JUSTIFICATION

As this letter demonstrates, the proposed abandonment (Major Amendment) complies with the IDO and should be approved. The existing and proposed development, including light vehicle repair, is a permissive use in the underlying MX-L zone and allows small developments to utilize IDO processes to create efficiencies and reduce overlapping approvals and zoning.



Per IDO Section 14-16-6-4(Z)(1)(b) Major Amendments, the proposed amendment shall follow the procedures for the most closely equivalent decision in the IDO. For this project, which was originally approved by the EPC, the Site Plan – EPC process and decision-making criteria are the most closely equivalent procedures within the IDO. This request meets those criteria as described below.

#### **SITE PLAN CRITERIA**

The Site Plan – EPC request complies with the criteria outlined in IDO Section 14-16-6-6(J)(3) as follows:

**6-6(J)(3)(a)** The Site Plan is consistent with the ABC Comp Plan, as amended.

***Applicant Response:** The Site Plan is consistent with the Comp Plan by furthering the following Goals and Policies:*

**Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.**

***Applicant Response:** The project furthers this goal because the expansion of the existing Jiffy Lube facilitated by this request to abandon the prior approval will take advantage of the existing utilities, infrastructure, and other public facilities in the surrounding area.*

**Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.**

***Applicant Response:** The project furthers this policy by allowing the proposed expansion and future development of the subject site to be governed by the Integrated Development Ordinance standards and processes. The subject site is an infill location and abandoning the 2002 Site Development Plan will make future infill development easier and more efficient. The Traffic Circulation Plan and Grading and Drainage Plan showing the expanded building have already been approved.*

**Policy 5.3.2 Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities.**

***Applicant Response:** This policy is furthered by allowing for the expansion of the existing facility in its current location rather than expanding to an area without existing infrastructure. By abandoning the existing site plan and opting into the IDO procedures, future development and redevelopment of this infill site will be easier, which will encourage use of this property and discourage leapfrog development to other areas.*

**Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.**

***Applicant Response:** The project site is designated as an Area of Change and approval of this request furthers this goal by promoting more efficient development patterns and*

growth and expansion of an existing business within an Area of Change as envisioned by the Comprehensive Plan.

**Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.**

**b) Encourage development that expands employment opportunities.**

**Applicant Response:** By allowing for the expansion of the existing Jiffy Lube through the IDO processes, this request will provide for the expansion of employment opportunities available at the business that will need more employees to service additional cars in the larger space.

**g) Encourage development where adequate infrastructure and community services exist.**

**Applicant Response:** The request furthers this policy by providing for more efficient redevelopment and expansion of a commercial activity on a site designated as an Area of Change where there are existing services.

**Goal 5.7 Implementation Processes: Employ procedures and processes to effectively and equitably implement the Comp Plan.**

**Applicant Response:** Approval of this request furthers this Goal by allowing the Applicant to utilize the IDO procedures and processes that were created as a major implementation mechanism of the Comprehensive Plan.

**Policy 5.7.2 Regulatory Alignment: Update regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.**

**a) Create pathways for economic growth and support the business ecosystem by providing clear development codes and processes.**

**Applicant Response:** Abandonment of the 2002 Site Development Plan and relinquishing control of the subject site to the development standards and processes of the IDO furthers this policy by eliminating overlapping requirements and inefficient processes. By allowing the site to expand via the Site Plan – Administrative process in the IDO, the request creates a clear pathway to support economic growth for this site now and in the future.

**c) Avoid the use of SU-1 as a tool to negotiate design or use standards between stakeholders and limit its application to uses specified in the SU-1 zone.**

**Applicant Response:** The 2002 Site Development Plan is a relic of the previous SU-1 zoning that was replaced by the MX-L zoning of the site upon adoption of the IDO. Transitioning site plan approvals to the IDO processes helps eliminate the application of old SU-1 requirements on uses that are not considered sensitive uses by the IDO, which furthers this sub-policy of the Comprehensive Plan.

**Policy 5.7.4 Streamlined Development: Encourage efficiencies in the development review process.**

- c) **Provide streamlined approval processes for projects that meet the intent of the Comp Plan.**

**Applicant Response:** *The proposed Major Amendment to abandon the prior approval furthers this policy by allowing the proposed expansion and any future development of the subject site to proceed via the Site Plan – Administrative process of the IDO. Since the project is already in the building permit/Site Plan- Administrative process, approval of this request will allow streamlined approval of the permit for an infill project consistent with the Comp Plan goals and policies.*

- d) **Provide by-right approval processes for projects that meet regulatory standards.**

**Applicant Response:** *The proposed Major Amendment to abandon the prior approval is consistent with the intent to provide by-right approval processes for projects that meet the IDO and DPM standards. By removing future approvals from the EPC process and utilizing the procedures in the IDO, those future approvals will be streamlined and create efficiencies for the property owner.*

**6-6(J)(3)(b)** The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

**Applicant Response:** *The prior zoning designation of the property was SU-1, which required approval of the 2002 Site Development Plan prior to development of the property. This request is to abandon that prior approval to utilize the development standards and processes of the IDO. The previous approval does not appear to include any specific development standards or restrictions that are not otherwise covered in the IDO, and future development will be compliant with the IDO standards. There is also a Site Development Plan for Subdivision approved around the same time as the original Site Development Plan for the Jiffy Lube, which includes the lot to the north, but the Site Plan for Subdivision was only done to subdivide the property and delegate approval of future development of the northern lot to the Development Review Board (no longer applicable per IDO Section 14-16-1-10(A)). The proposed expansion of the Jiffy Lube complies with the prior Site Development Plan for Subdivision.*

**6-6(J)(3)(c)** The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant Response:** *The proposed development complies with the applicable provisions of the IDO for the MX-L (Mixed-use Low Intensity) zone district. Light vehicle repair and maintenance is a permissive use under the existing zoning designation. The request is to abandon the prior approval and the expansion of the Jiffy Lube will be reviewed for compliance with all IDO regulations as part of the Site Plan – Administrative process following approval of this request. The Applicant has already begun this process and Code Enforcement has determined that the request meets all applicable provisions of the IDO once the prior approval is addressed through this abandonment process. The project also*



complies with the DPM, as the Applicant has already obtained approval of a Traffic Circulation Layout by Transportation and an updated Grading & Drainage Plan by Hydrology.

**6-6(J)(3)(d)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

**Applicant Response:** *The City's existing infrastructure has adequate capacity for the proposed development. The area surrounding the site is developed and the property already has access to roadways, drainage systems, and utilities. The proposed expansion of the existing Jiffy Lube to add more repair bays will not increase traffic or create any other adverse impacts on those systems. Abandonment of the 2002 Site Development Plan will allow City staff to approve of the appropriate mitigation through the Site Plan – Administrative process.*

**6-6(J)(3)(e)** The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

**Applicant Response:** *The project site is a small property in an area that has been developed for several years. Providing automotive repair along a major arterial roadway, such as Coors Boulevard, is an appropriate location for such use and expansion of the facility will not create any significant adverse impacts on the surrounding area. Abandonment of the 2002 Site Development Plan will allow the appropriate staff to implement any required mitigation through the Site Plan – Administrative process of the IDO.*

**6-6(J)(3)(f)** If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**Applicant Response:** *The property is not located within any approved Master Development Plan area, so this criterion does not apply.*

**6-6(J)(3)(g)** If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

**Applicant Response:** *The site is not located in the Railroad and Spur Area and no cumulative impact analysis is required, so this criterion does not apply.*

## NEIGHBORHOOD COORDINATION

The Applicant notified the affected Neighborhood Associations on September 18, 2020, informing them of the pending request to expand the Jiffy Lube. No meeting, comments, or objection to such a request was received by the Applicant.



## CONCLUSION

Based on all the information provided, on behalf of Lubricar Properties II, LLC, we respectfully request approval of this request to abandon the 2002 Site Development Plan for this proposed expansion of the Jiffy Lube to be developed according to the development standards and Site Plan – Administrative procedures of the IDO.

Sincerely,

Jacqueline Fishman, AICP  
Principal

c.: Fire One Plan  
Site Grading Plan  
2002 Site Plan for Subdivision

## STAFF INFORMATION

June 21, 2021

TO: Jacqueline Fishman, AICP  
Principal  
Consensus Planning

FROM: Silvia Bolivar, PLA, ASLA/ SB  
Current Planner  
City of Albuquerque Planning Department

RE: PROJECT #2021-005339/SI-2021-00817  
9386 Coors Blvd NW  
Site Plan – EPC, Major Amendment

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I am the Staff planner reviewing the application for project #2021-005339/SI-2021-00817, a Site Plan – EPC, Major Amendment for the subject property located at 9386 Coors Blvd, NW, between Valley View Place and Irving Boulevard NW. I would like to thank you for responding to my email last week in reference to the Traffic Scoping Form and the lack of signature due to the printing difficulties in our office.

In reviewing your application and letter dated June 3, 2021, I see no meeting, comments or objection to the request has been received by the Applicant. Staff has not heard from any interested parties as of the writing of this memo.

Although I have done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately. After review of the application material including the justification letter, the following comments are provided and changes or additions requested.

The response to many of the Goals and policies need to be expanded in order to justify the request. Please submit a revised justification letter pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-4(Z), Amendments of Pre-IDO Approvals by the end of the day on Monday, June 28, 2021. If you have difficulty with this deadline please let me know.

Please print one 24 x 36 set of the development documents and have someone from your office drop them off at Plaza del Sol, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102 as soon as possible. I will also need a PDF of the documents but these can be emailed along with the revised justification letter.

1. Introduction

- A. I have the legal description for the property as Tract 3-C-1, Plat of Tracts 3C-1 and 3C-2, Black Ranch. I have the acreage as 0.57-acres.
- B. I have the Applicant listed as Lubricar Properties II, LC.

2. Process

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

- B. Timelines and EPC calendar: EPC Public Hearing July 15, 2021. Final staff reports will be available on July 8, 2021.
- C. Once Agency comments are distributed I will email you a copy and will forward any late comments to you.

3. Notification & Neighborhood Issues

*Notification requirements are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 378). The required notification consists of: 1) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.*

- A. The pre-submittal neighborhood meeting notification required pursuant to 14-16-6-4(C) appears to be correct and complete.
- B. A neighborhood meeting has not been requested. Have any neighborhood representatives or members of the public contacted you with comments or concerns since June 3, 2021?

4. Subject Site Background

I have the subject property as within the boundaries of the Northwest Mesa Community Planning Area and in an Area of Change. The subject site is within the Coors Blvd Character Protection Overlay (CPO-2) and the Coors Boulevard View Protection Overlay (VPO-1).

5. Site Plan Criteria - Justification and Policy Analysis

Please see the notes listed below for your consideration in revising the justification letter. Most of the policies you list are generally appropriate, but the responses to the Goals must be separated from the Policy and sub-policy responses.

Criterion A - Please see comments listed under each Goal or policy as the arguments/response need to be strengthened in order to justify the request.

## Goals and Policies in Chapter 5 – Land Use

Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Response is adequate.

Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Response is adequate but then again, please separate the Goal and policy response. I believe that policy 5.3.2 – Leapfrog Development is applicable to the request.

Goal 5.6 – City Development Areas and Policy 5.6.2 – City Development Areas and sub-policies.

Please separate the response for the Goal, Policy and sub-policies. Please expand your response as you have only provided one sentence for the four goals, policies and sub-policies.

Goal 5.7 Implementation & Policy 5.7.2 – Regulatory Alignment. Again, please separate the response for each one.

Policy 5.7.4 – Streamlined Development and sub-policies C & D.

For clarity, please list the response to each policy and sub-policies separately.

## 6. Integrated Development Ordinance (IDO) 14-16-6-6(J)(3) – Site Plan-EPC Review and Decision Criteria.

6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

Response is adequate.

6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Response is adequate.

6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Response is adequate.



6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

Response is adequate.

6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Response is adequate.

6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Response is adequate.

6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Response is adequate.

7. I reviewed the submittal package and noted that Michael Vos signed and dated the Site Plan Checklist on 6/3/21. However, several copies of the same plans were submitted but did not include the Landscaping Plan and the Utility Plan. Please resubmit the plans to include the Site Plan, Landscaping Plan, Grading and Drainage Plan, Utility Plan, Building Structure and Elevations and the previously approved Development Plans. I will need one set in a 24 x 36" format as soon as possible and one PDF of the documents to include with my Staff Report.

Thank you.

## NOTIFICATION

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: June 3, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: See the list of Neighborhood Associations (attached).

Name of NA Representative\*: See the list of Neighborhood Associations (attached).

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See the list of Neighborhood Associations (attached).

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 9386 Coors Boulevard NW, Albuquerque, 87114  
Location Description Existing Jiffy Lube
2. Property Owner\* Lubricar Properties II, LLC
3. Agent/Applicant\* [if applicable] Jacqueline Fishman, Principal, Consensus Planning, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - ☐ Conditional Use Approval
  - ☐ Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - ☐ Site Plan
  - ☐ Subdivision \_\_\_\_\_ (Minor or Major)
  - ☐ Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - ☐ Variance
  - ☐ Waiver
  - ☐ Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Our request is to abandon the existing site plan so the existing Jiffy Lube can be expanded through the Site Plan - Administrative process of the IDO.  
No waivers or variances requested.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- ☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)  
☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)

Date/Time\*: Thursday, July 15, 2021 at 8:30 a.m.

Location\*<sup>3</sup>: Join Zoom Meeting <https://cabq.zoom.us/j/2269592859>  
Meeting ID: 226 959 2859

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>: Download Exhibits at:  
<https://www.dropbox.com/t/anAhZUYvn3SMcvUh>  
Please contact Jacqueline Fishman at [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com) or Michael Vos  
at [vos@consensusplanning.com](mailto:vos@consensusplanning.com) or by phone at (505)764-9801.

**Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s)\*<sup>5</sup> C-13-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:
- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation\*:

None are requested at this time.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Pre-submittal notification was issued on September 18, 2020 requesting to additonal bays to the existing structure. No comment was received from the Neighborhood Associations or surrounding property owners.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.\*
- ☐ b. Access and circulation for vehicles and pedestrians.\*
- ☐ c. Maximum height of any proposed structures, with building elevations.\*
- ☐ d. **For residential development\***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development\***:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] .5689 acres
  2. IDO Zone District MX-L
  3. Overlay Zone(s) [if applicable] Coors Boulevard - CPO-2; Coors Boulevard - VPO-1
  4. Center or Corridor Area [if applicable] Major Transit Corridor 660 feet
- Current Land Use(s) [vacant, if none] Jiffy Lube
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART I - PROCESS**

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Abandon Existing Site Plan

Decision-making Body: Environmental Planning Commission (EPC)

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

**PART II – DETAILS OF REQUEST**

Address of property listed in application: 9386 Coors Boulevard NW, Albuquerque, 87114

Name of property owner: Lubricar Properties II LLC

Name of applicant: Lubricar Properties II LLC

Date, time, and place of public meeting or hearing, if applicable: July 15, 2021 at 8:30 a.m.

Join Zoom Meeting <https://cabq.zoom.us/j/2269592859> Meeting ID: 226 959 2859

Address, phone number, or website for additional information: Download Exhibits at:  
<https://www.dropbox.com/t/anAhZUYvn3SMcyUh>

Jacqueline Fishman can be contacted at fishman@consensusplanning.com or Michael Vos can be contacted at vos@consensusplanning.com; both can be reached at (505)764-9801

**PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE**

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO  
[SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).  
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON  
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

\_\_\_\_\_  
(Applicant signature) June 3, 2021 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- ☐ a. Location of proposed buildings and landscape areas.
- ☐ b. Access and circulation for vehicles and pedestrians.
- ☐ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
  - ☐ Total gross floor area of proposed project.
  - ☐ Gross floor area for each proposed use.



## Omega Delgado

---

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Wednesday, June 2, 2021 11:22 AM  
**To:** Omega Delgado  
**Subject:** 9386 COORS BLVD NW Public Notice Inquiry  
**Attachments:** Zone Atlas C-13-Z Highlighted Site.pdf

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	505407438
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	
Paradise Hills Civic Association	Tom	Anderson	ta_a@msn.com	10013 Plunkett Drive NW	Albuquerque	NM	87114	505304010
Paradise Hills Civic Association	Maria	Warren	samralphroxy@yahoo.com	5020 Russell Drive NW	Albuquerque	NM	87114	505440224

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334  
[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

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**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov  
**Sent:** Wednesday, June 02, 2021 8:52 AM  
**To:** Office of Neighborhood Coordination <delgado@consensusplanning.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Abandon Existing Site Plan

Contact Name

Omega Delgado

Telephone Number

505764-9801

Email Address

[delgado@consensusplanning.com](mailto:delgado@consensusplanning.com)

Company Name

Consensus Planning, Inc.

Company Address

City

Abq

State

ZIP

87102

Legal description of the subject site for this project:

TR 3C-1 PLAT OF TRS 3C-1 & 3C-2 BLACK RANCH BEING AREPL OF TR 3C BLACK RANCH EXCL PORT OUT TO R/WCONT .5689 AC

Physical address of subject site:

9386 COORS BLVD NW ALBUQUERQUE NM 87114

Subject site cross streets:

Valley View Place and Valley View Drive

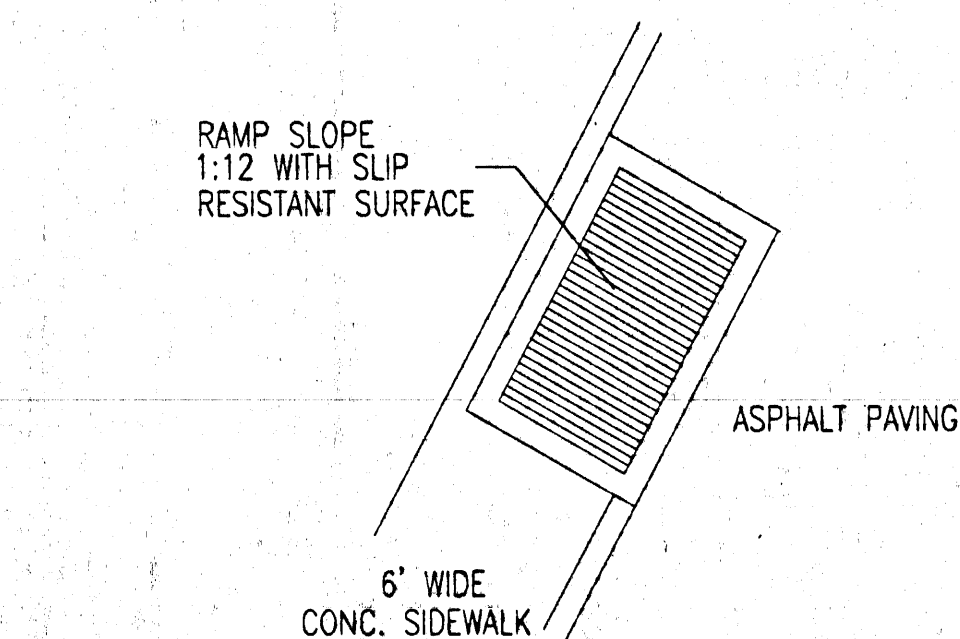
Other subject site identifiers:

Existing Jiffy Lube

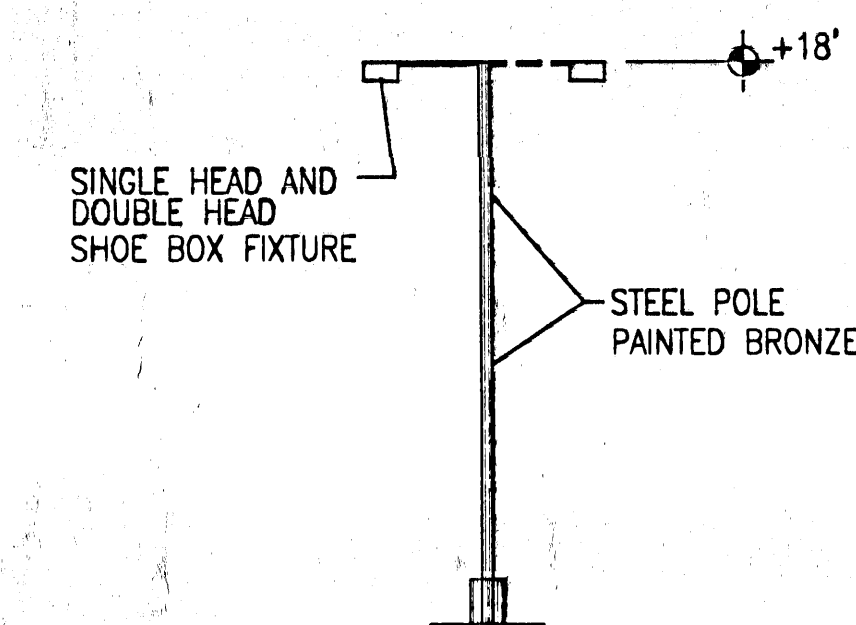
This site is located on the following zone atlas page:

C-13-Z



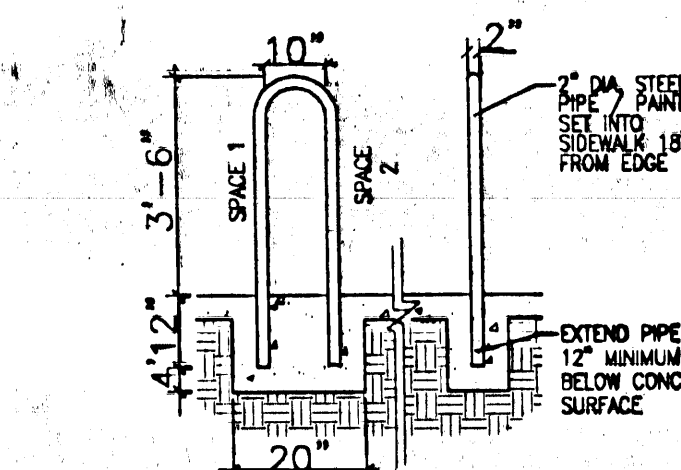


1 HC Ramp  
NOT TO SCALE

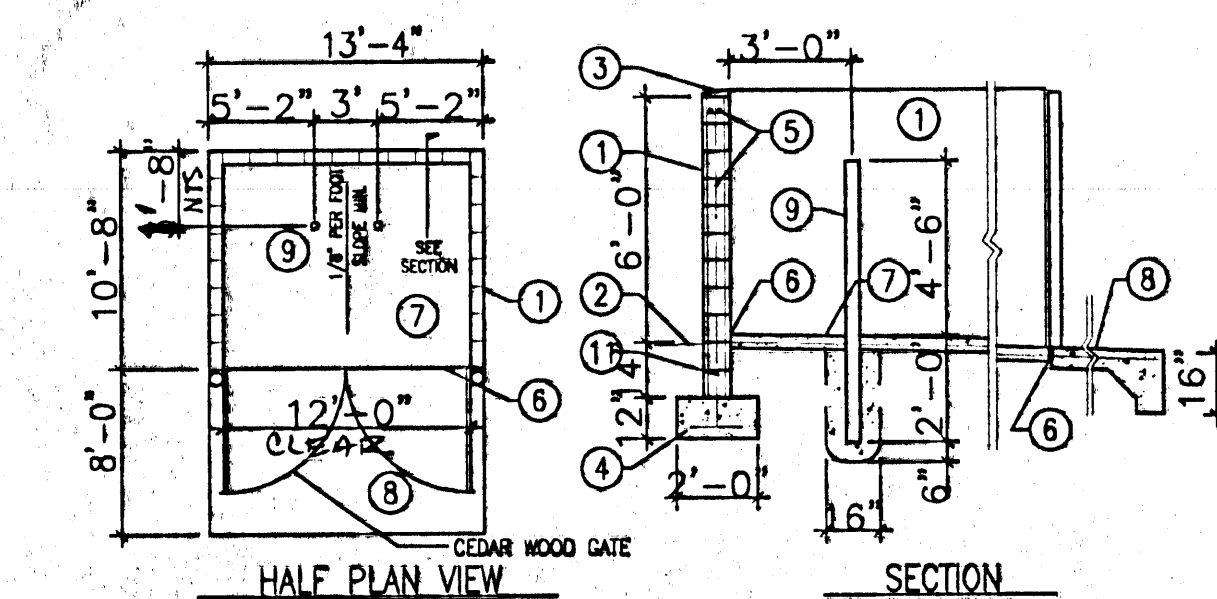


NOTE: SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE TO ADJACENT AREAS.

2 Site Lighting Detail  
Scale: Not to Scale

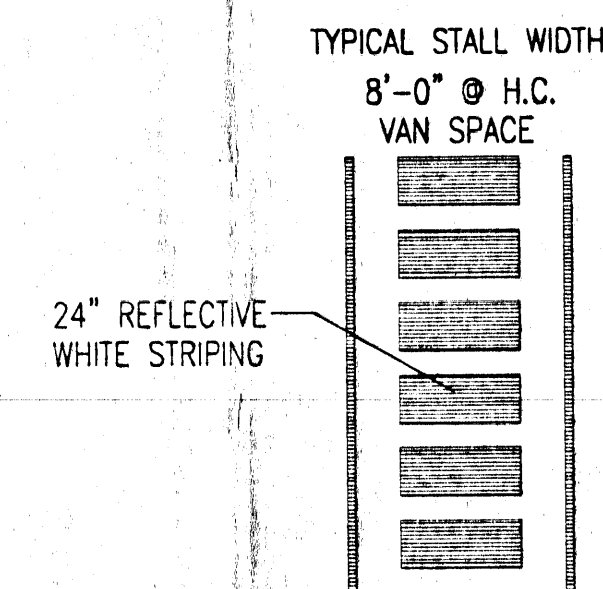


3 Bike Rack Detail  
Scale: Not to Scale

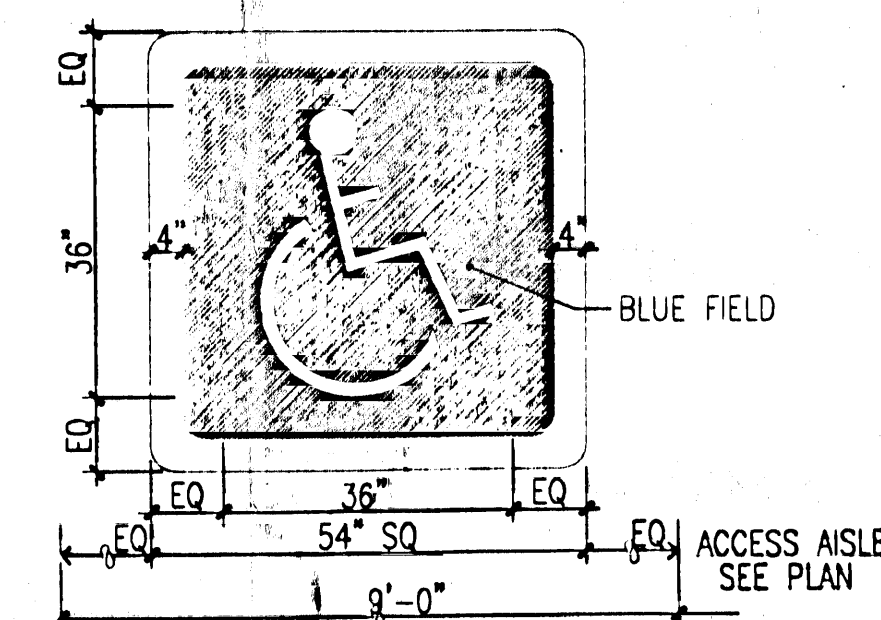


- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT, FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DRAINAGE @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL.
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
  - 1" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING.
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

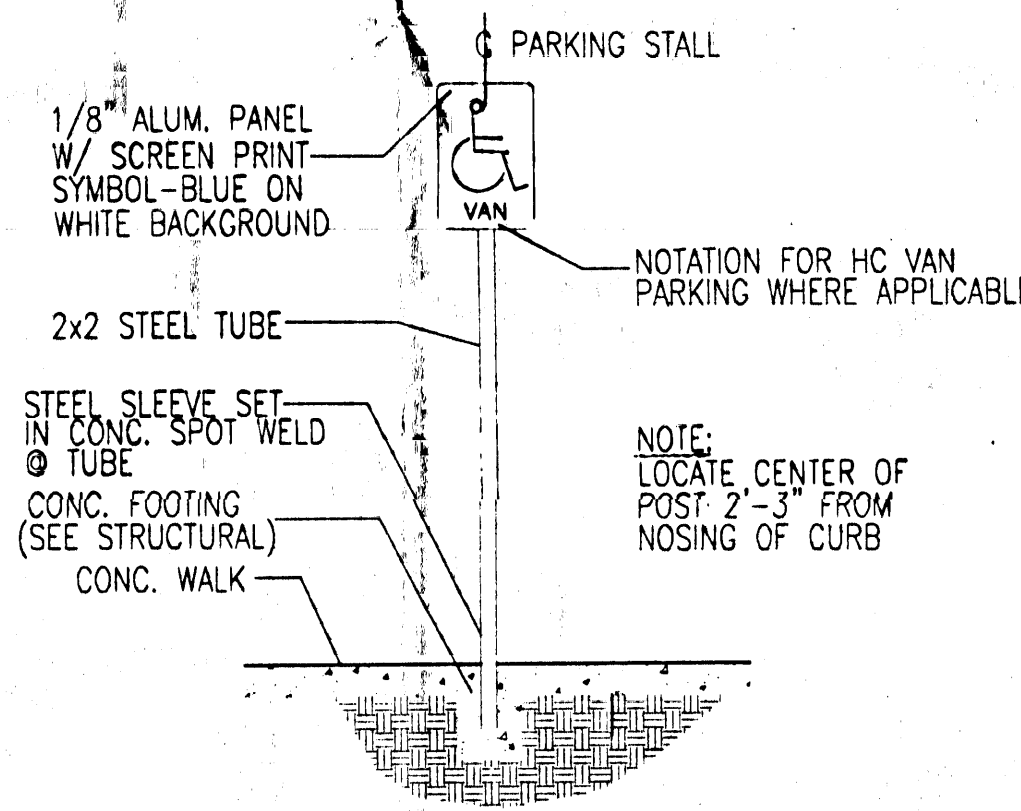
4 Refuse Enclosure  
Scale: Not to Scale



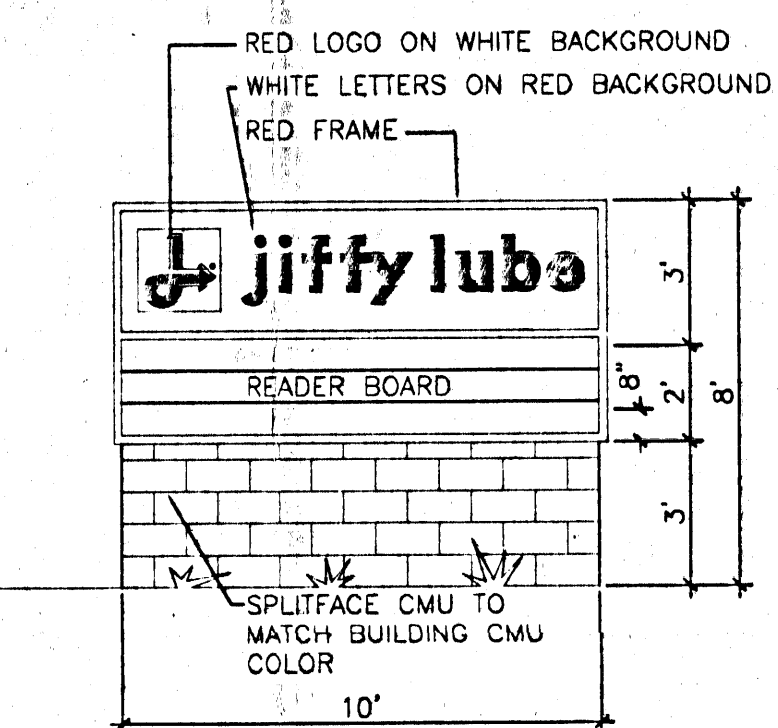
5 HC Parking Striping  
NOT TO SCALE



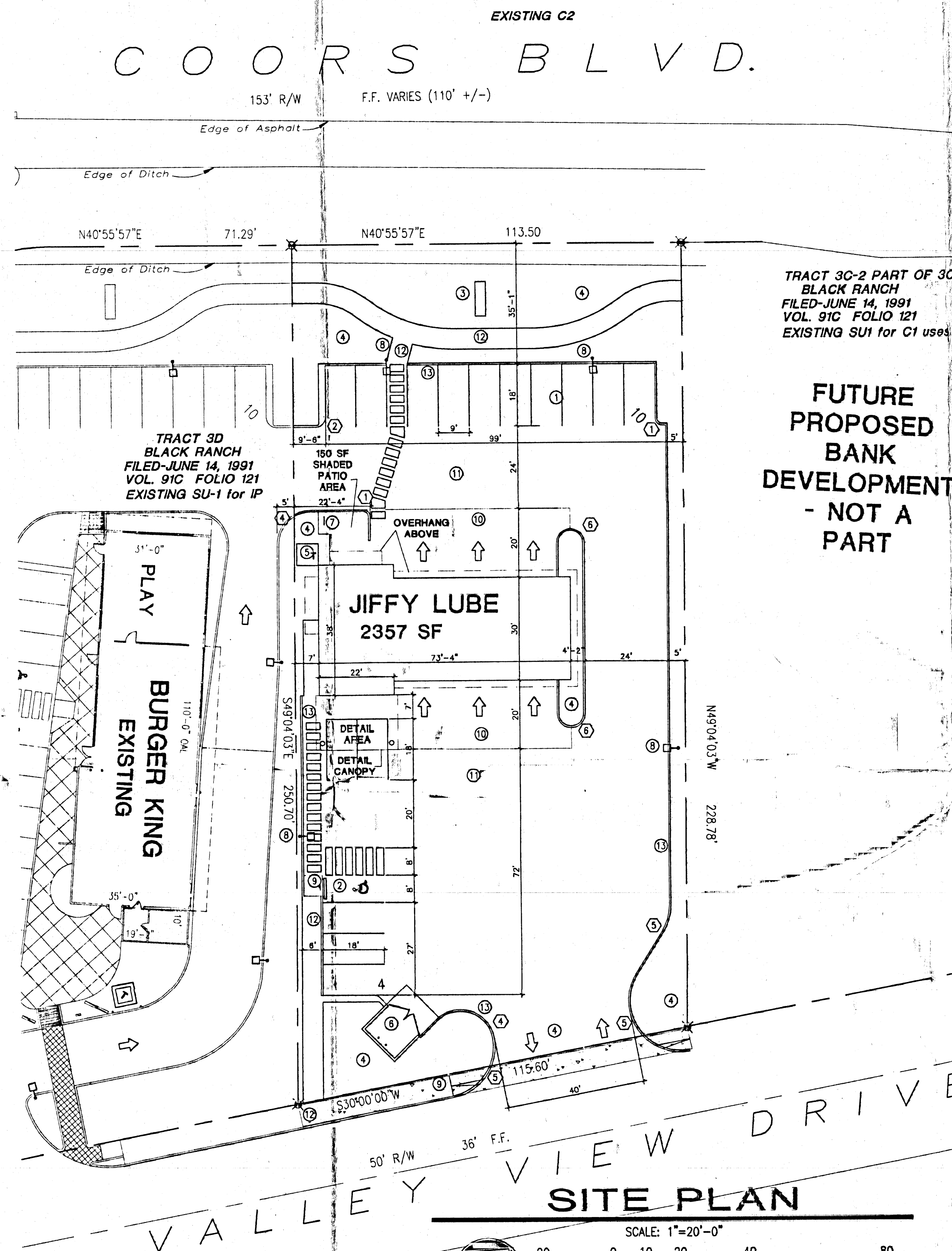
6 HC/Pavement Sign  
NOT TO SCALE



7 HC Parking Sign  
NOT TO SCALE



8 MONUMENT SIGN  
Scale: 1/4" = 1'-0"



**GENERAL NOTES**

- SITE LIGHTING**  
ALL LIGHT FIXTURES SHALL BE FULLY HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- BUILDING FINISHES**  
CUSTOMER AREA: LIGHT TAN STUCCO ABOVE MEDIUM TAN SPLITFACE WAINSCOT WITH 8" RED ACCENT STRIPE AND GALVANIZED METAL ROOFING ON RED TUBE STEEL FRAME AWNINGS AND DETAIL CANOPY.  
BAYS AREA: RED STUCCO SIGN BAND ABOVE MEDIUM TAN PAINTED SPLITFACE CMU WAINSCOT WITH 8" RED ACCENT STRIPE.  
STOREFRONT AND OVERHEAD DOORS FINISH IS NATURAL ANODIZED ALUMINUM.
- LOUDSPEAKERS**  
NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS ARE PERMITTED.

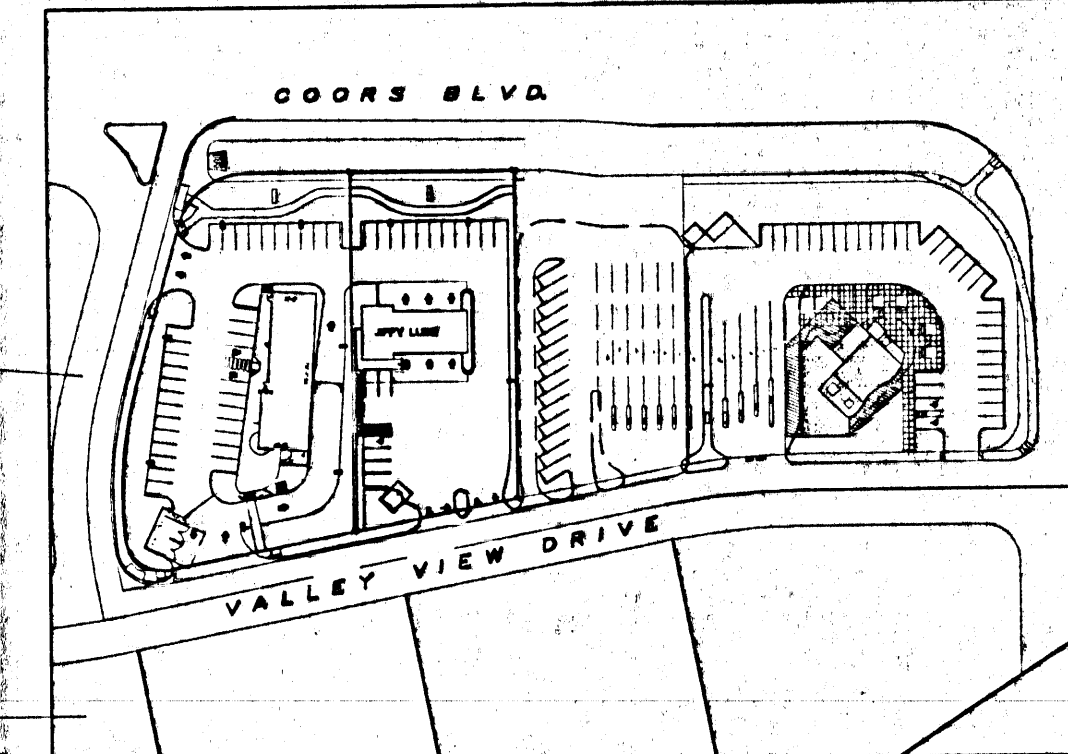
**SIGNAGE**

- FREE STANDING SIGNS SHALL BE NO HIGHER THAN 8 FT. ABOVE GRADE WITH A MAXIMUM SIGN FACE SIZE OF 75 SF.
- FACADE MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA TO WHICH IT IS ATTACHED AND THE MAXIMUM HEIGHT FOR INDIVIDUAL LETTERS IS 3 FT. NO LIGHTED SIGNS SHALL BE PLACED ON EAST FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

**MECHANICAL EQUIPMENT SCREENING**

- THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED BY WALLS PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR SO AS TO BE AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF THE WALLS.

**KEYED MAP 1:1600**



**LIST OF DRAWINGS:**

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING + DRAINAGE / UTILITY PLAN
- BUILDING ELEVATIONS

**KEYNOTES:**

- PARKING. (SEE PARKING NOTES BELOW)
- ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
- MONUMENT SIGN. SEE DETAIL 8.
- LANDSCAPE BUFFER.
- TRANSFORMER
- COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
- BIKE RACK. (SEE DETAIL 3)
- LIGHT POLE. (SEE DETAIL 2)
- ACCESSIBLE RAMP. (SEE DETAIL 1)
- BLACK CONCRETE PAVING.
- ASPHALTIC CONCRETE PAVING.
- NEW 6" CONCRETE SIDEWALK
- CONCRETE STANDING CURB PER COA STD. DETAILS.

**LEGAL DESCRIPTION**

TRACT 3C-2 PART OF 3C OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121

CURRENT ZONING: SU-1 FOR C1  
TOTAL ACREAGE: 0.6245 AC OR 27,203 SF  
ZONE ATLAS: A-13-2 & A-14-2

**BUILDING AREA & PARKING CALCULATIONS:**

BUILDING AREA  
JIFFY LUBE 2,357 SF. BUILDING

**PARKING NOTES:**

- TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"
- TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 6' WIDE ACCESS AISLE
- PARKING SPACES REQUIRED = 2357 SF / 200 = 12 SPACES
- TOTAL STANDARD PARKING SPACES PROVIDED 13 SPACES
- TOTAL HC PARKING SPACES PROVIDED (INCLUDES 1 VAN SPACES) 1 SPACE
- TOTAL PARKING SPACES PROVIDED 14 SPACES
- BICYCLE SPACES REQUIRED = 1 / 20 CARS PROVIDED = 1
- BICYCLE PARKING SPACES PROVIDED = 2

**RADII:**

- RADIUS = 2'-0"
- RADIUS = 3'-0"
- RADIUS = 5'-0"
- RADIUS = 10'-0"
- RADIUS = 15'-0"
- RADIUS = 4'-0"

EPC 01123 - 01750 PROJECT # 1001206  
02DRB - 00172

**APPROVALS**

- 3/21/02 Date
- 3/23/02 Date
- 2-13-02 Date
- 2-13-02 Date
- 2/12/02 Date
- 2-5-02 Date

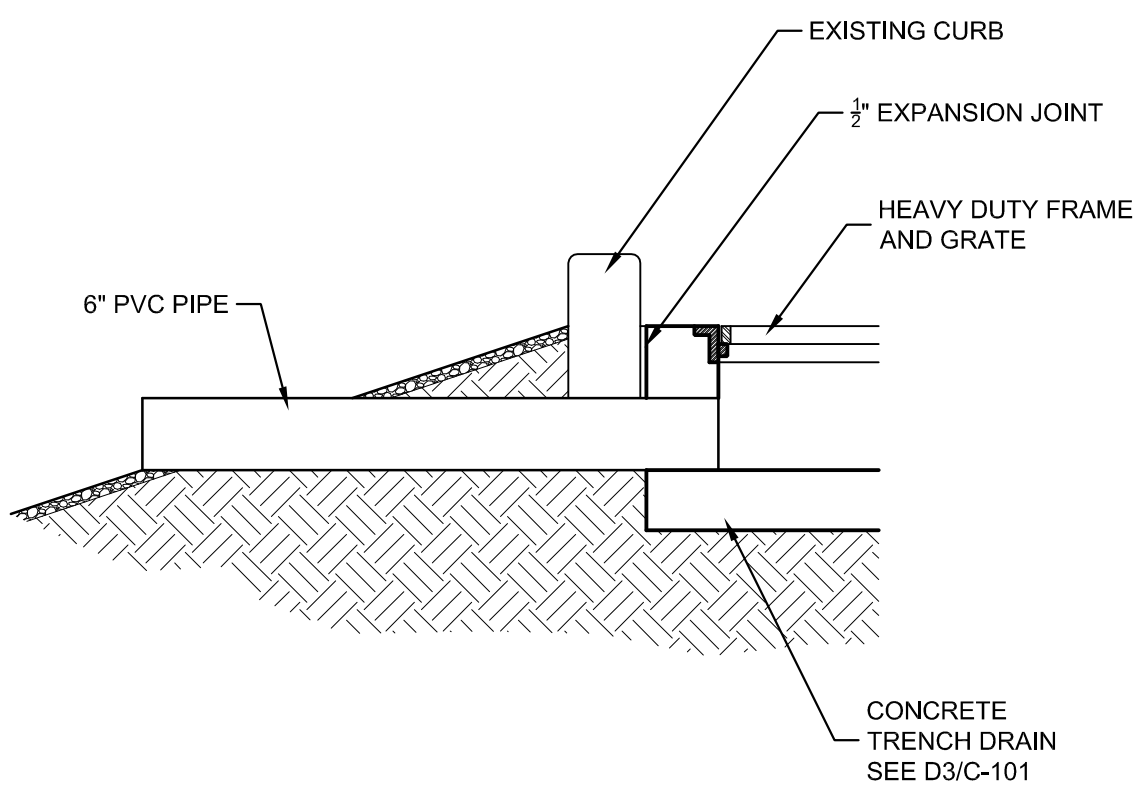
**GEORGE RANHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-3110 FAX (505) 837-9877

**JIFFY LUBE**  
Coors Blvd. + Valley View Drive  
Albuquerque, NM

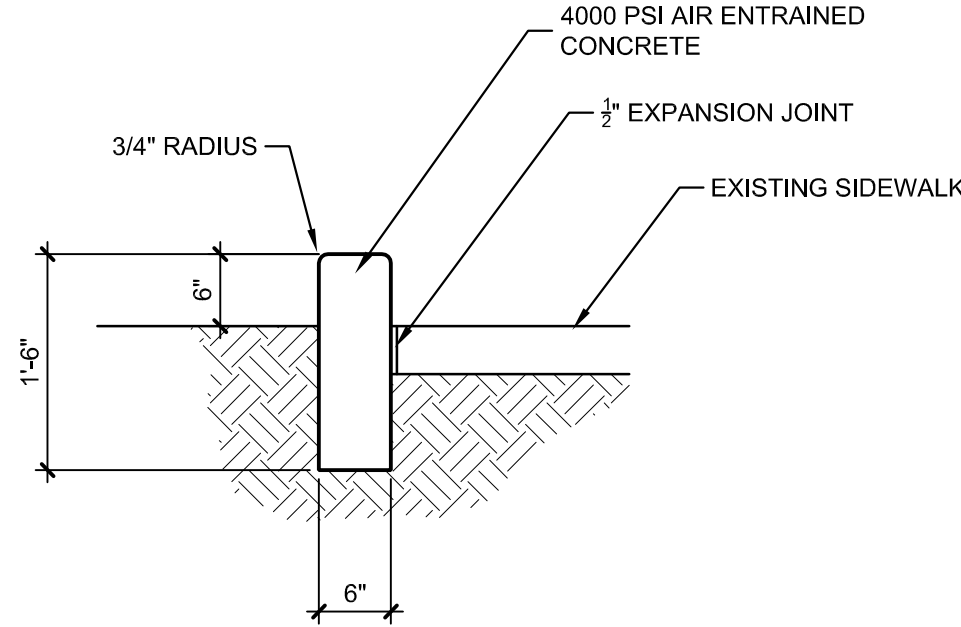
**Site Plan - Building Permit**

DATE: 11/29/01  
SCALE: AS NOTED  
SHEET: 1

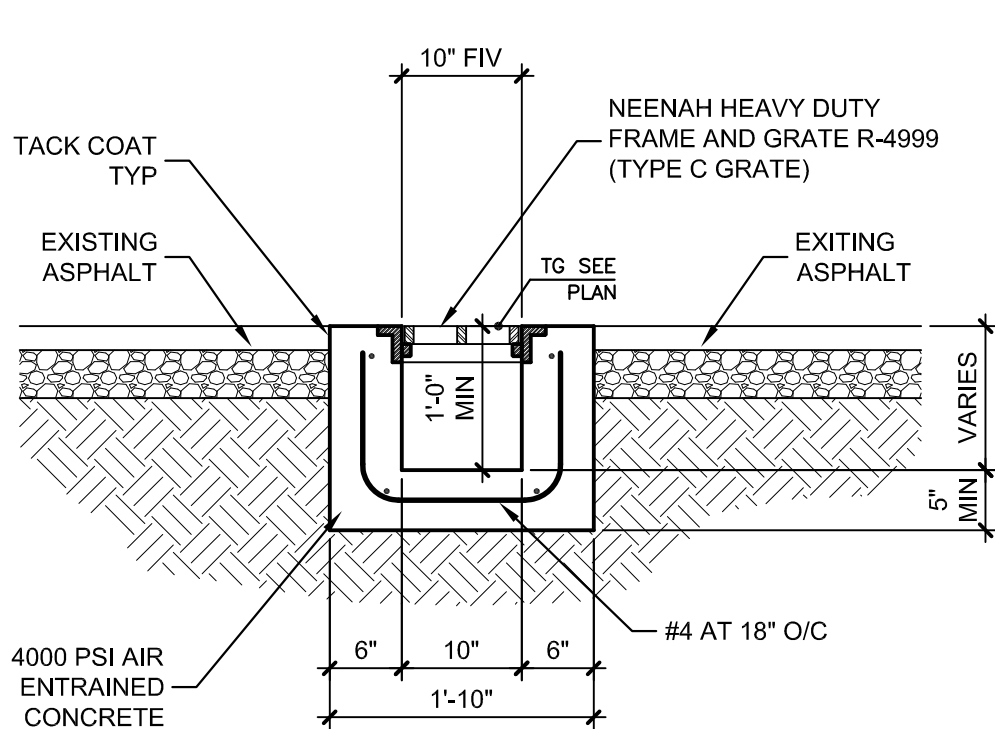




D1 TRENCH DRAIN DISCHARGE  
3/4"=1'-0"

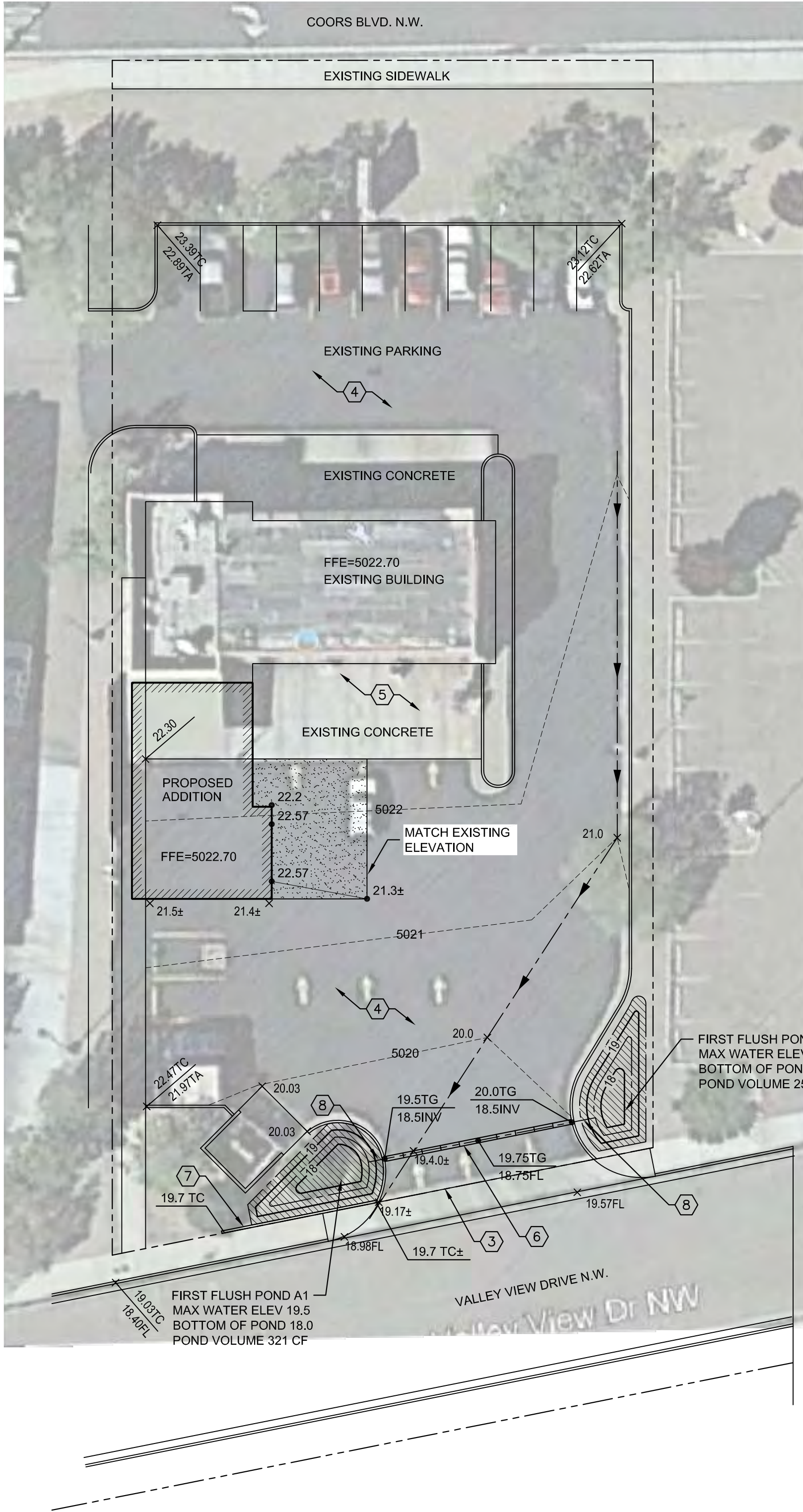


D2 CONCRETE CURB  
3/4"=1'-0"



D3 TRENCH DETAIL  
3/4"=1'-0"

- LEGEND:
- × 93.1 EXISTING SPOT ELEVATION
  - 51.00 NEW SPOT ELEVATION
  - 51 — EXISTING CONTOUR
  - 51 — NEW CONTOUR
  - SWALE
  - FL FLOW LINE
  - GND GROUND
  - INV INVERT
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TS TOP OF CONCRETE SLAB
  - TW TOP OF WALL
  - TBM TEMPORARY BENCH MARK
  - GRAVEL
  - ASPHALT PAVING
  - CONCRETE



A3 SITE GRADING PLAN  
1"=20'-0"



## KEYNOTES

- EXISTING CURB AND CUTTER
- EXISTING SIDEWALK
- EXISTING DRIVE ENTRANCE
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE PAVING
- CONSTRUCT TRENCH DRAIN, SEE DETAIL D3/C-101
- CONSTRUCT CONCRETE CURB, SEE DETAIL D2/C-101 (33 LINEAR FT)
- CONSTRUCT 6" PCV PIPE DRAIN, SEE DETAIL D1/C-101

HYDROLOGY NOTES:  
ORIGINALLY, TRACT 3C WAS PLATED WITH AN AREA OF 1.200 ACRES. THE APPROVED MASTER PLAN (BLACK RANCH TRACT 3 GRADING, DRAINAGE, AND TERRAIN MANAGEMENT PLAN, OCT 1990, EASTERNLING AND ASSOC, INC.) INDICATES AL ALLOWABLE 100 YEAR PEAK RUNOFF FROM TRACT 3C OF 4.92 CFS. THE REPLAT OF TRACT 3C (TRACT 3C-1) IS 0.6245 ACRES IN SIZE. THEREFORE, PROPORTIONALLY, THE ALLOWABLE PEAK RUNOFF FORM TRACT 3C-1 IS (4.92 CFS) (0.6245 AC / 1.200 AC) = 2.56 CFS FOR THE 100-YEAR STORM.

EXISTING CONDITIONS: PER WILLSON AND CO, GRADING & DRAINAGE PLAN 12-19-20 THE EXISTING RUNOFF FROM THE SITE DISCHARGES TO VALLEY VIEW ROAD AT THE EXISTING DRIVE ENTRANCE.

NOTE: THERE IS NO OFFSITE DRAINAGE ONTO THIS SITE. THE SITE HAS BEEN RAISED WHICH PREVENTS ANY DRAINAGE FROM TRACT 3B TO ENTER THE SITE. THE ADJACENT ROAD HAS CURB AND GUTTER DRAINAGE SYSTEM WHICH DIRECTS THE DRAINAGE TO AN OFFSET DETENTION POND LOCATED APPROXIMATELY 400 FEET TO THE SOUTH ON VALLEY VIEW ROAD. A CURB AND GUTTER SYSTEM ALONG COORS BLVD INTERCEPTS AND DIVERTS RUNOFF FROM COORS BLVD, AWAY FROM THE SITE.

THE PROPOSED ADDITION WILL BE CONSTRUCTED OVER THE EXISTING PARKING LOT AREA. THEREFORE THE IS NO CHANGES TO THE EXISTING RUNOFF.

### Drainage Calculation

City of Albuquerque DPM 2020 edition

9386 Coors Blvd  
Precipitation Zone 1  
Basin Area = 0.624 acres

Existing Treatment	Area of A	Area of B	Area of C	Area of D	Improved Conditions Treatment	Area of A	Area of B	Area of C	Area of D
	27203 sf	0 sf	0 sf	0 sf		5750 sf	0 sf	0 sf	21453 sf
	100%	0%	0%	0%		21%	0%	0%	79%

### Excess Precipitation, E (inches) 6 hr - 100 yr storm table 6.2.13

Existing Conditions Treatment	% of Area	En	Improved Conditions Treatment	% of Area	En
A	1.00 x 0.55 = 0.55		A	0.00 x 0.55 = 0.00	
B	0.00 x 0.73 = 0.00		B	0.21 x 0.73 = 0.15	
C	0.00 x 0.95 = 0.00		C	0.00 x 0.95 = 0.00	
D	0.00 x 2.24 = 0.00		D	0.79 x 2.24 = 1.77	
	E = 0.55			E = 1.92	

Volume V = E * A / 12					
Va = 0.550 x 0.6245 / 12 = 0.029 acre ft					1247 cf
Vt = 1.921 x 0.6245 / 12 = 0.100 acre ft					4354 cf

Discharge Rate, Q (cfs / acre) 100 yr storm table 6.2.14	% of Area	Q	Treatment	% of Area	Q
A	1.00 x 1.54 = 1.54		A	0.00 x 1.54 = 0.00	
B	0.00 x 2.16 = 0.00		B	0.21 x 2.16 = 0.46	
C	0.00 x 2.87 = 0.00		C	0.00 x 2.87 = 0.00	
D	0.00 x 4.12 = 0.00		D	0.79 x 4.12 = 3.25	
	q = 1.54			q = 3.71	

Peak Rate Qp = q * A					
Qp(a) = 1.54 x 0.6245 = 0.96 cfs					
Qp(i) = 3.71 x 0.6245 = 2.31 cfs					

Excess Volume = 0.071 acre ft					
Excess Rate = 1.35 cfs					

tc = 0.2 hr					
tb = (2.107 * E * A / Qp) * (0.25 * Ad / At) = 0.895 hr					
tp = (0.7 * tc) + ((1.6 * (Ad / At)) / 12) = 0.208 hr					

Discharge Rate	2.314 cfs	3.71 cfs/ac			
Volume Discharged	4549 cf	Allowable Discharge Rate	2.560 cfs		
Pond Volume	0 cf				

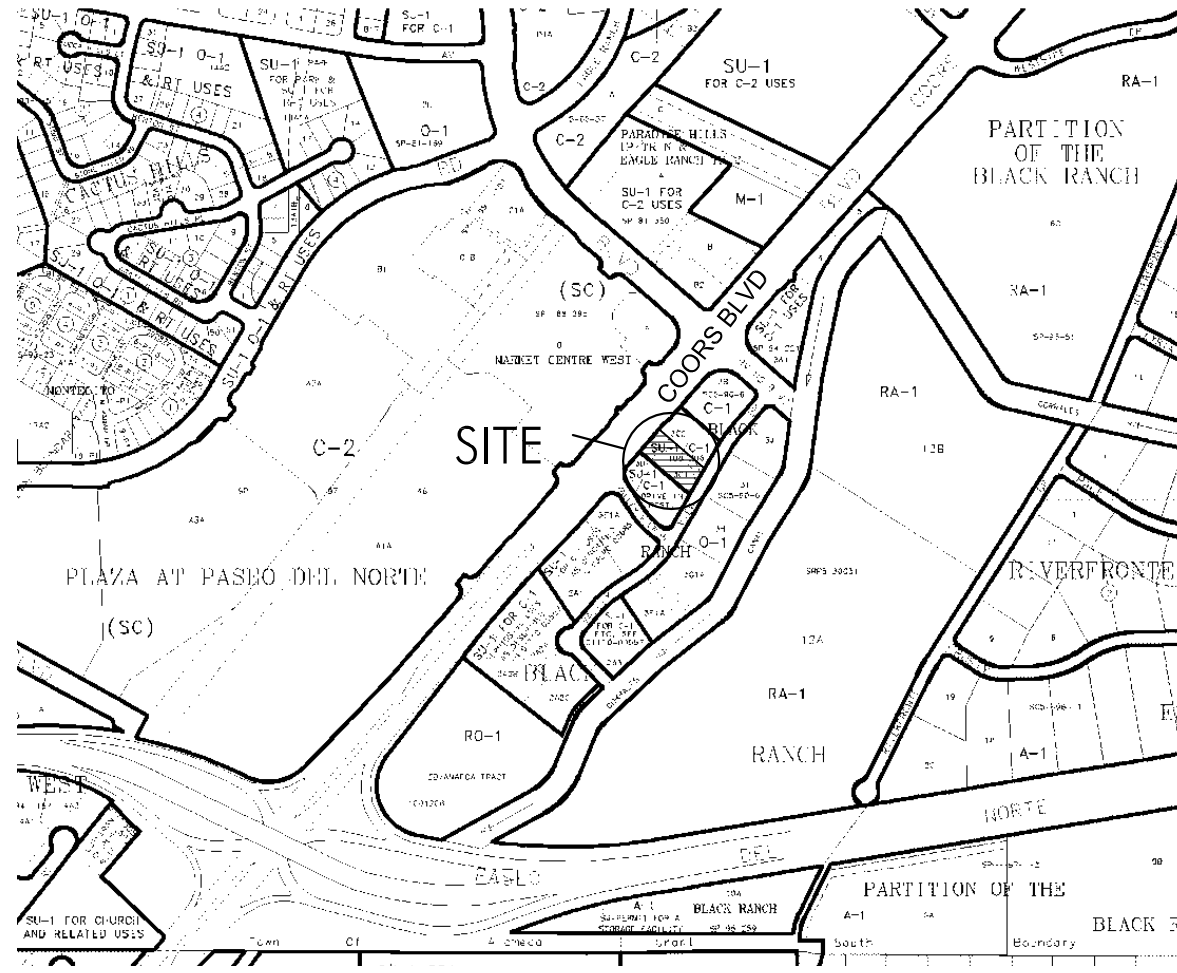
WATER QUALITY POND (ARTICLE 6-12 PAGE 6-109)  
FF POND VOLUME = (IMPERVIOUS AREA) (0.26 IN) FOR REDEVELOPED SITES  
IMPERVIOUS AREA = 21,453 SF  
REQUIRED POND VOLUME = (21,453 SF) (0.26 IN) (1 / 12 IN/FT) = 465 CF

### FIRST FLUSH POND

POND A1	ELEVATION	AREA
	19.5	364 SF
	19.0	253 SF
	18.0	81 SF
	VOL = (81+253)(0.5)(1 FT) + (253+364)(0.5)(0.5 FT) = 321 CF	
POND A2	ELEVATION	AREA
	19.5	315 SF
	19.0	203 SF
	18.0	47 SF
	VOL = (47+203)(0.5)(1 FT) + (203+315)(0.5)(0.5 FT) = 254 CF	

TOTAL POND VOL = 321 CF + 254 CF = 575 CF

## VINICITY MAP C-13-Z



### FLOOD INSURANCE MAP PANEL 116

LEGAL DESCRIPTION: TRACT 3C-1 BLACK RANCH  
ADDRESS: 9386 COORS BLVD NW, ALBUQUERQUE, NM  
SITE AREA: 0.6245 ACRES  
HYDROLOGY FILE: C13/D024

BENCH MARK: ELEVATION DATUM IS BASED ON NAVD 1988 FROM ACS MONUMENT "NM-488-N10", PUBLISHED ELEVATION (FEET) = 5054.51

FLOOD HAZARD: AS SHOWN ON PANEL 35001C01166 (9-25-2008) OF THE FEMA FLOOD INSURANCE RATE MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.

### CONSTRUCTION NOTES

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- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
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### TRAFFIC CONTROL

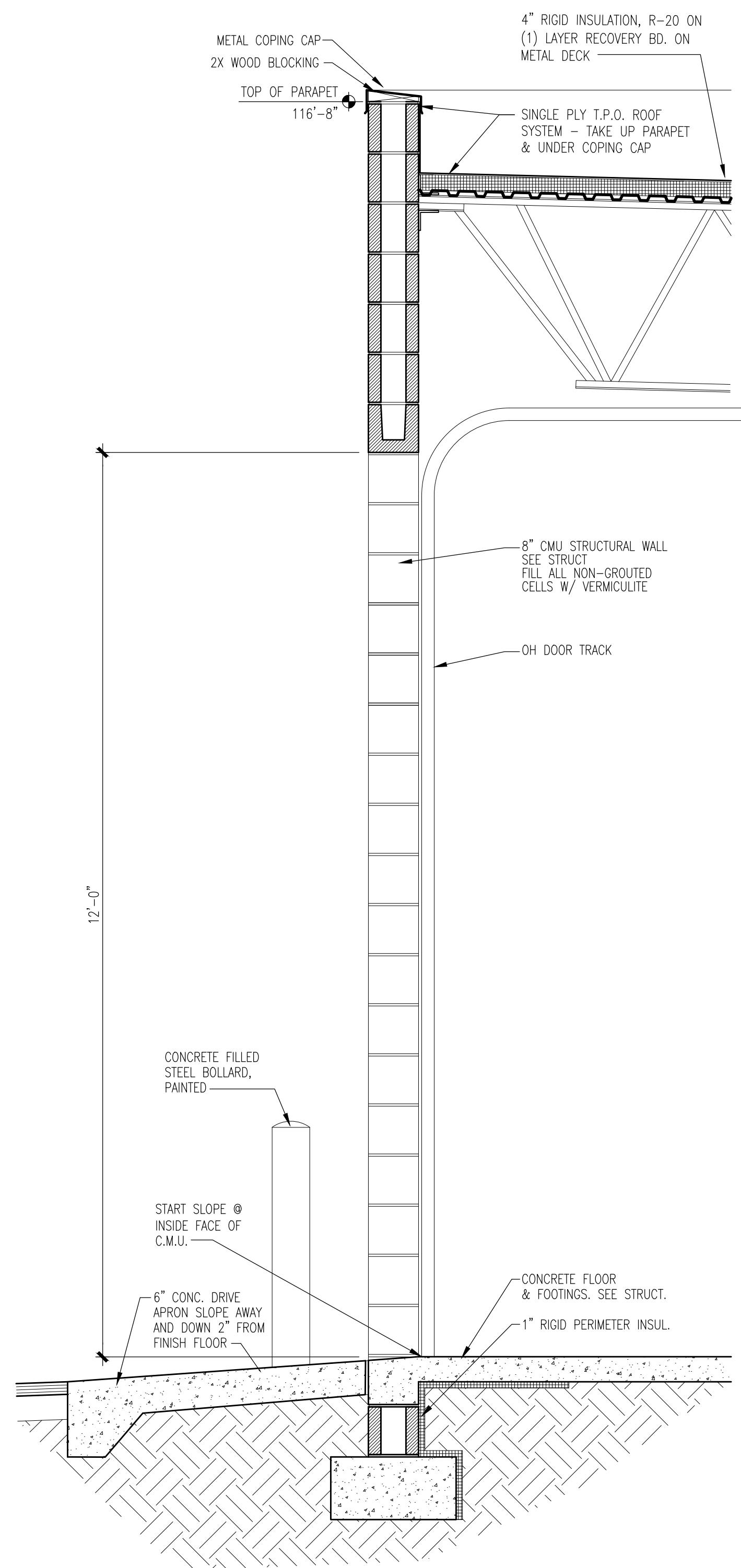
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ADDITION FOR  
JIFFY LUBE  
9386 COORS BOULEVARD, NW  
ALBUQUERQUE, NEW MEXICO

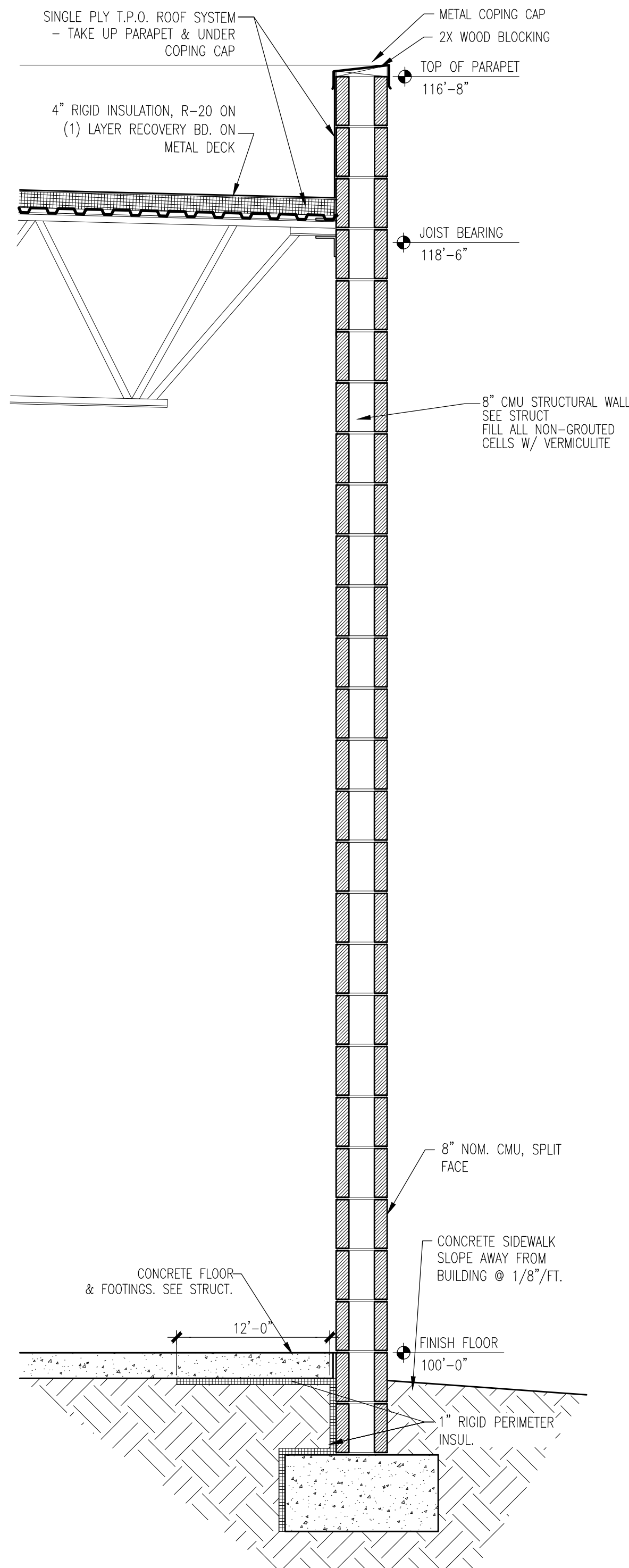
### SITE GRADING PLAN

C-101

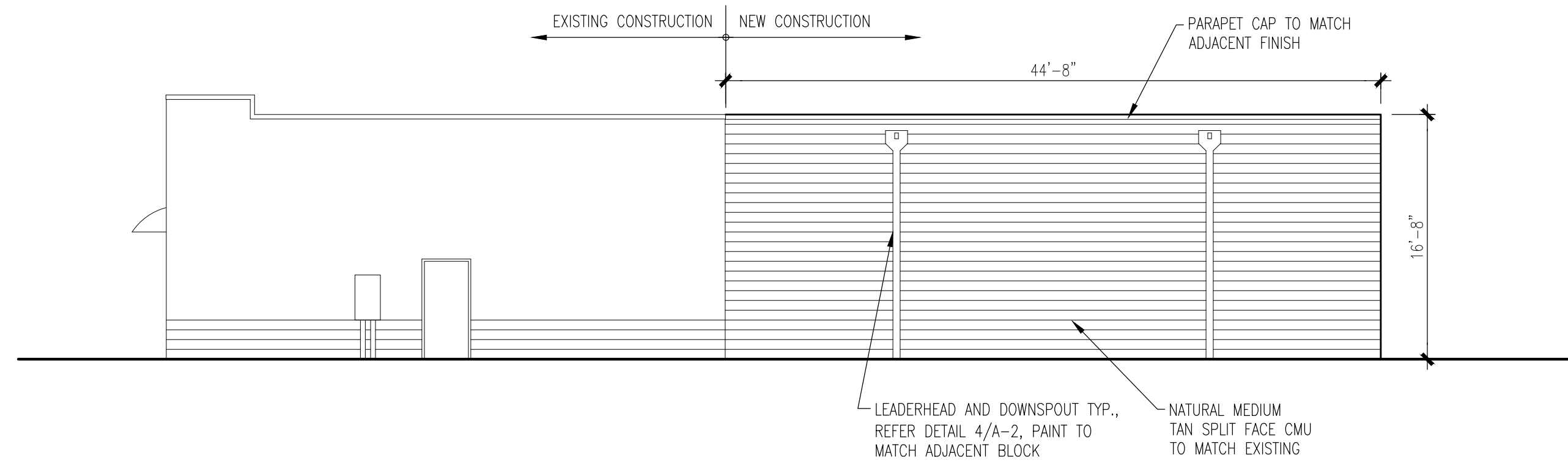




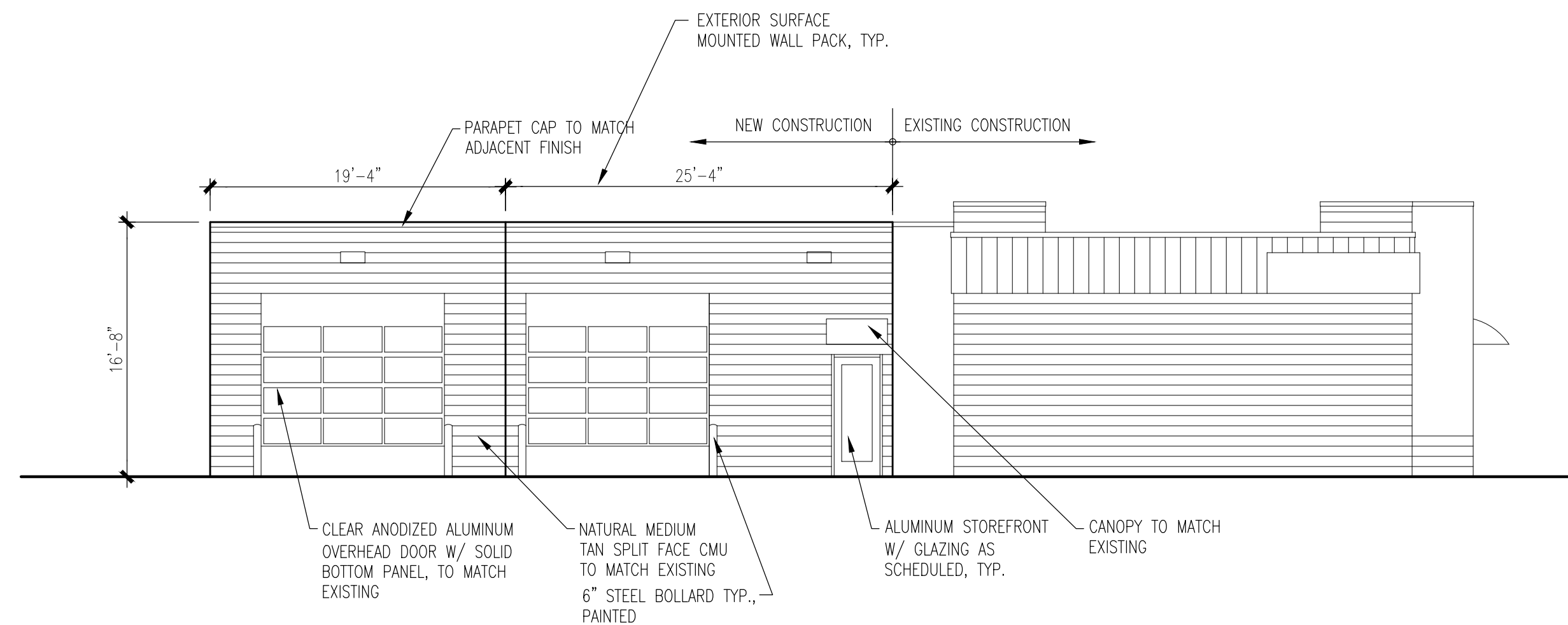
6 WALL SECTION  
3/4"=1'-0"



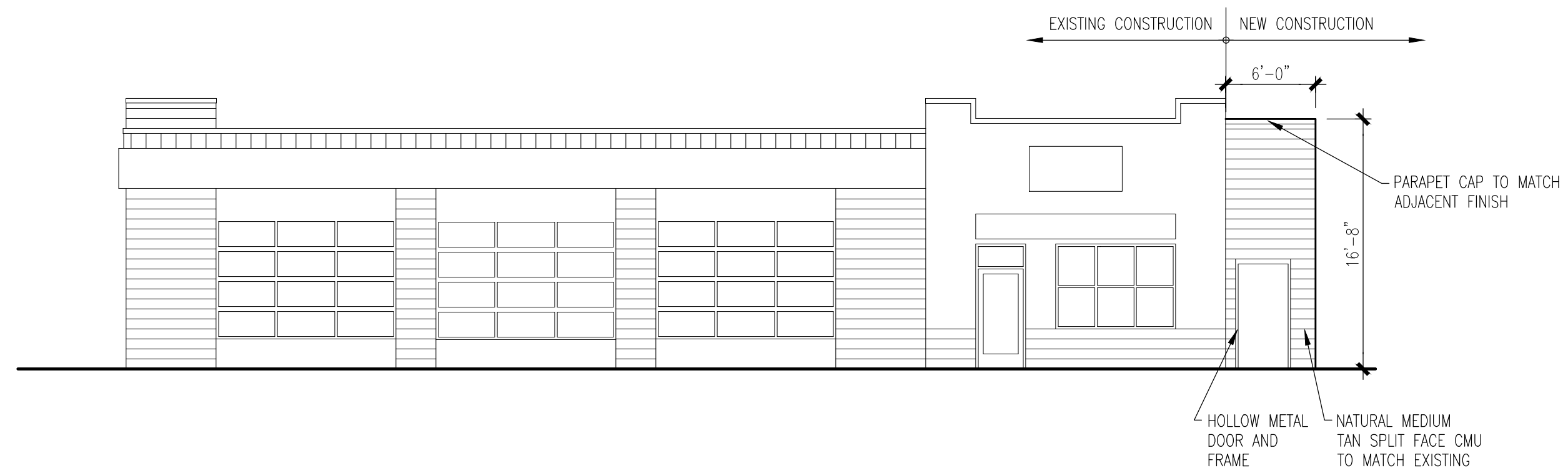
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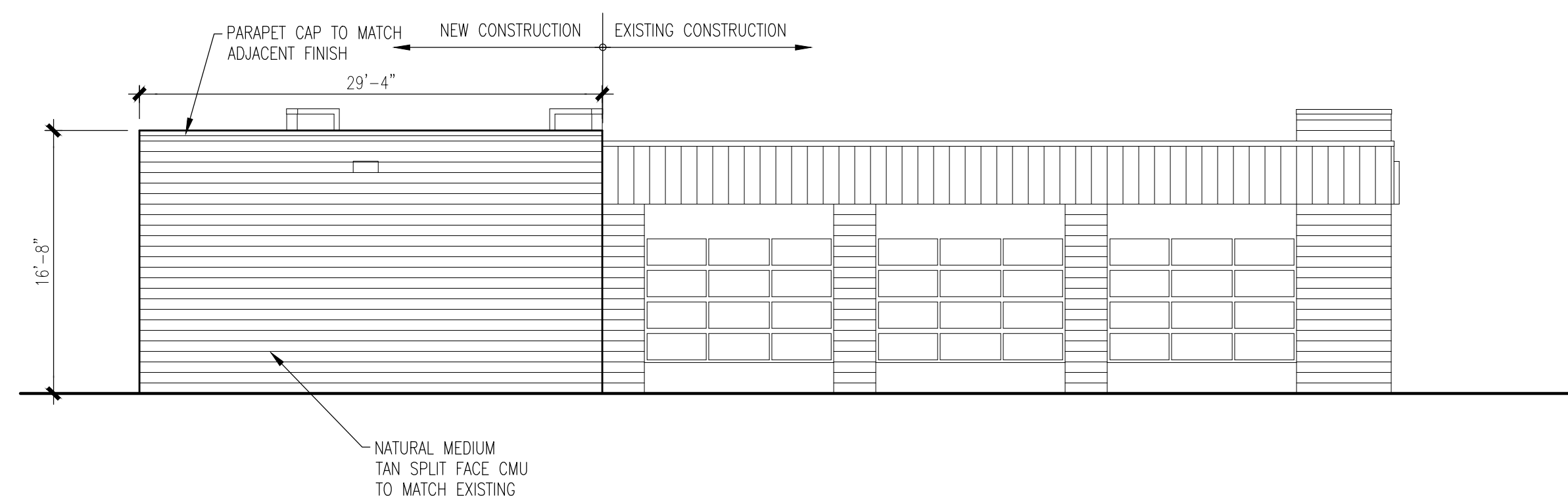
4 SOUTH ELEVATION  
1/8"=1'-0"



3 NORTH ELEVATION  
1/8"=1'-0"



2 WEST ELEVATION  
1/8"=1'-0"



1 EAST ELEVATION  
1/8"=1'-0"

T A T E F I S H B U R N  
A R C H I T E C T

ARCHITECT SEAL



ENGINEER SEAL

PROJECT

jiffylube  
ADDITION  
9386 COORS BOULEVARD NW  
ALBUQUERQUE, NEW MEXICO 87120

REVISIONS

DATE MARCH 29, 2021

SCALE  
1/8"=1'-0"

DRAWING NAME  
BUILDING  
ELEVATIONS &  
WALL SECTIONS

SHEET NUMBER

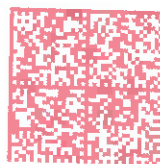
A-3

BOV 2941 CORRALES NEW MEXICO 87048 PHONE 505 899 9338 FAX 899 9328

Consensus Planning  
302 8th Street NW  
Albuquerque, NM 87102

Maria Warren  
5020 Russell Drive NW  
Albuquerque, NM 87114

FIRST-CLASS



PITNEY BOWES  
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0002148651  
JUN 03 2021  
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**\$ 000.71<sup>0</sup>**  
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Tom Anderson  
10013 Plunkett Drive NW  
Albuquerque, NM 87114

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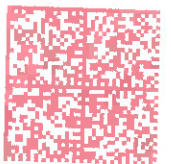


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Rene Horvath  
5515 Palomino Drive NW  
Albuquerque 87120

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JUN 03 2021

Consensus Planning  
302 8th Street NW  
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Elizabeth Haley  
6005 Chaparral Circle NW  
Albuquerque, NM 87114

FIRST-CLASS

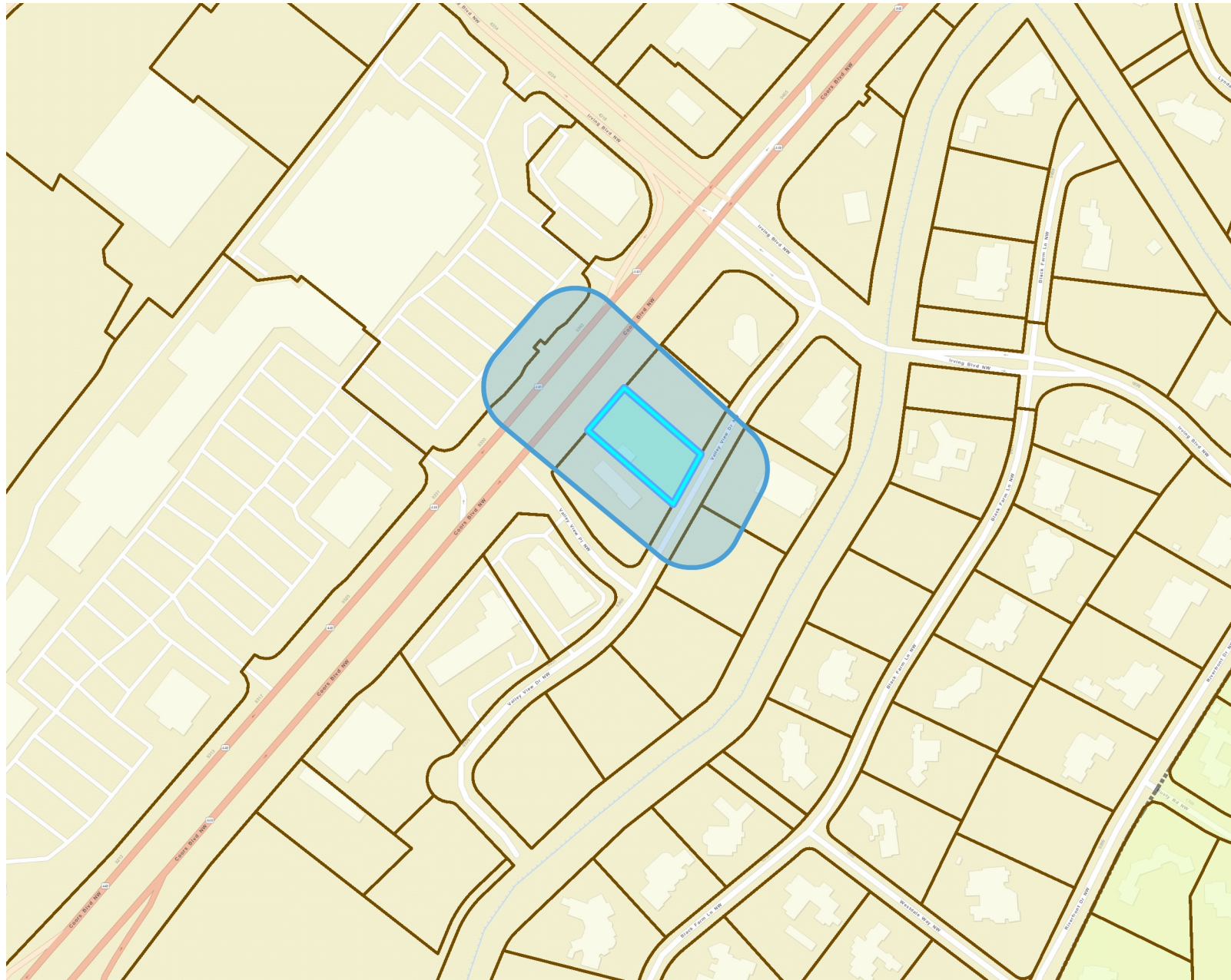


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JUN 03 2021





# Buffer Map - Property Owners within 100 ft.



## Legend

- Bernalillo County Parcels
- Municipal Limits
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

## Notes

Prepared by Consensus Planning, Inc.

601 0 301 601 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
6/3/2021 © City of Albuquerque

1: 3,607

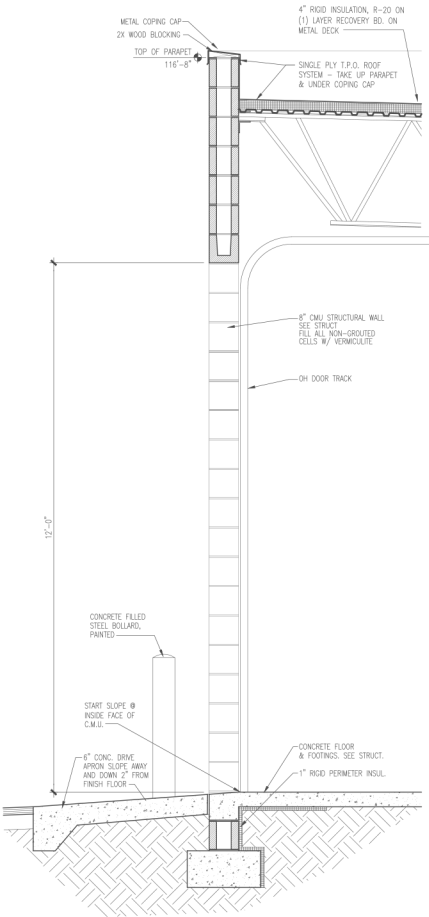
The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

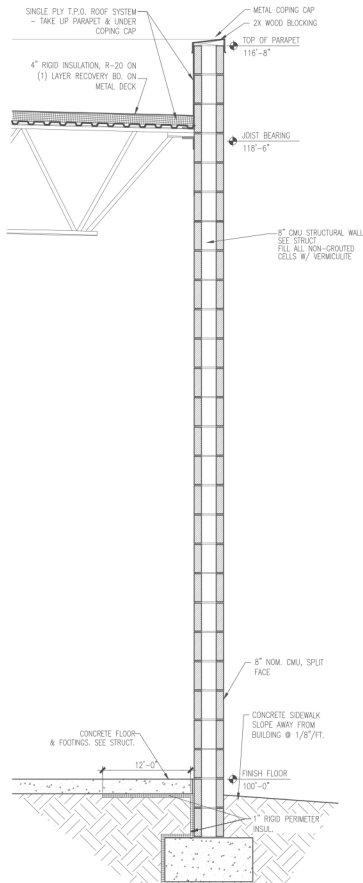
UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUSADD2	Legal Description	Acres
101306435138810413	WELLS FARGO BANK NM NATIONAL ASSOC C/O THOMSON PROP TAX SERVICES	PO BOX 2609	CARLSBAD CA 92018	COORS BLVD NW	ALBUQUERQUE NM 87114	TR 3C-2 PLAT OF TRS 3C-1 & 3C-2 BLACK RANCH BEIN	0.5271
101306436235410409	FULLERTON JOHN D	11112 COUNTRY CLUB NE	ALBUQUERQUE NM 87111-6551	9378 VALLEY VIEW DR NW	ALBUQUERQUE NM 87114	TRACT 3H BLACK RANCH (BEING A REPLAT OF TR 3 B	0.8838
101306430142820213	DAYTON HUDSON CORPORATION T-0625 C/O PROPERTY TAX DEPT TPN-0950	PO BOX 9456	MINNEAPOLIS MN 55440-9456	9371 COORS BLVD	ALBUQUERQUE NM 87114	TR D PLAT FOR THE PLAZA AT PASEO DEL NORTE TRA	8.3929
101306437237110410	STIF LLC	9384 VALLEY VIEW DR NW	ALBUQUERQUE NM 87107	9384 VALLEY VIEW NW	ALBUQUERQUE NM 87114	TRACT 3I BLACK RANCH (BEING A REPLAT OF TR 3 BL	0.8838
101306434136510414	MCCOLLUM THOMAS E & GAY N & MCCOLLUM JEFFREY P & JANE M	11000 BERMUDA DUNES NE	ALBUQUERQUE NM 87111-6555	9380 COORS BLVD NW	ALBUQUERQUE NM 87114	TR 3D PLAT OF TR 3D BLACK RANCH BEING A REPL O	0.8083
101306434637810406	LUBRICAR PROPERTIES II LC	3520 CALLE CUERVO NW	ALBUQUERQUE NM 87114-9220	9386 COORS BLVD NW	ALBUQUERQUE NM 87114	TR 3C-1 PLAT OF TRS 3C-1 & 3C-2 BLACK RANCH BEIN	0.5689

## SITE PLAN REDUCTIONS

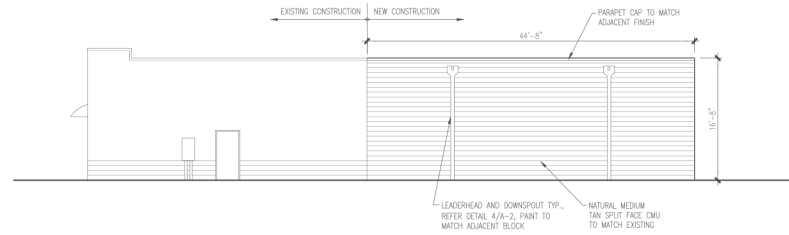
1. Building Elevations & Wall Sections (A3) – 3/29/21
2. Site Grading Plan (C-101) – 12/16/20
3. Fire One Plan – 4/29/21
4. Site Plan Jiffy Lube – 2/5/02
5. Site Plan Building Permit – 11/29/01
6. Building Elevations – 11/29/01
7. Grading Plan – 2/5/02
8. Planting Plan (L2) – 3/21/02
9. Irrigation Plan (L1) – 3/21/02



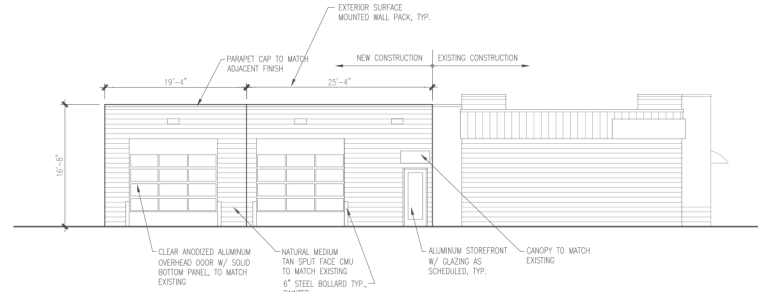
⑥ WALL SECTION  
3/4"=1'-0"



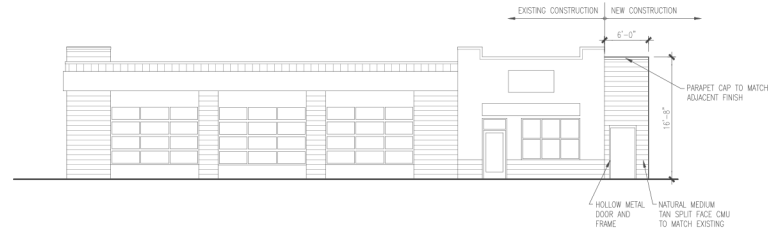
⑤ WALL SECTION  
3/4"=1'-0"



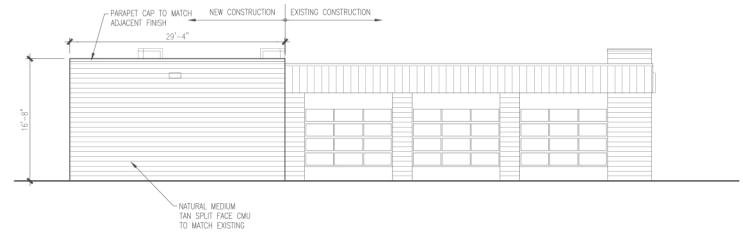
④ SOUTH ELEVATION  
1/8"=1'-0"



③ NORTH ELEVATION  
1/8"=1'-0"

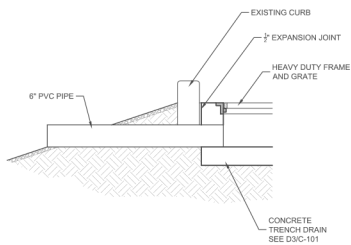


② WEST ELEVATION  
1/8"=1'-0"

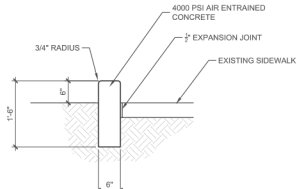


① EAST ELEVATION  
1/8"=1'-0"

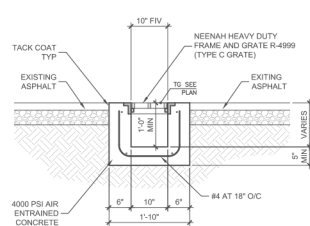




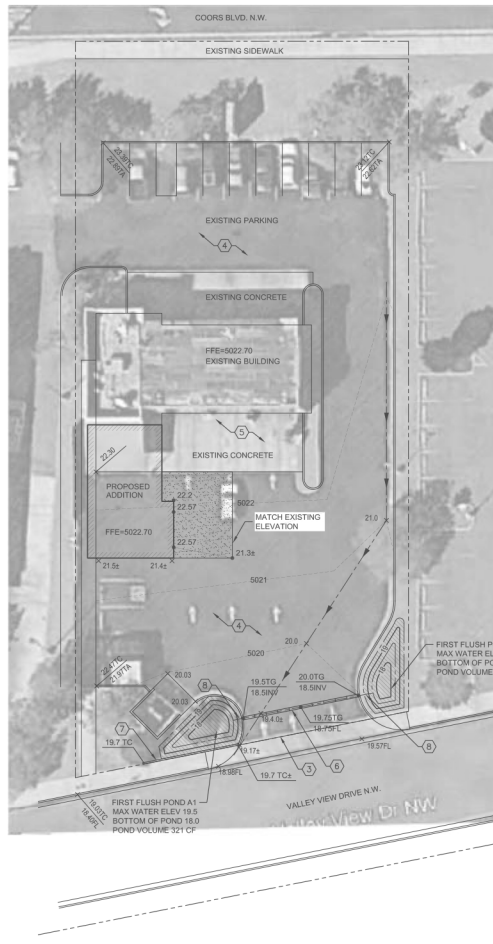
D1 TRENCH DRAIN DISCHARGE  
3/4"=1'-0"



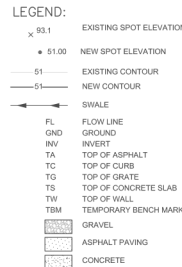
D2 CONCRETE CURB  
3/4"=1'-0"



D3 TRENCH DETAIL  
3/4"=1'-0"



A3 SITE GRADING PLAN  
1"=20'-0"



## KEYNOTES

- EXISTING CURB AND CUTTER
- EXISTING SIDEWALK
- EXISTING DRIVE ENTRANCE
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE PAVING
- CONSTRUCT TRENCH DRAIN, SEE DETAIL D3C-101
- CONSTRUCT CONCRETE CURB, SEE DETAIL D3C-101 (3 LINEAR FT)
- CONSTRUCT 6" PVC PIPE DRAIN, SEE DETAIL D1C-101

HYDROLOGY NOTES:  
ORIGINALLY, TRACT 3C WAS PLATED WITH AN AREA OF 1.200 ACRES. THE APPROVED MASTER PLAN (BLACK RANCH TRACT 3 GRADING, DRAINAGE, AND TERRAIN MANAGEMENT PLAN, OCT 1999, EASTERNLAND AND ASSOC., INC.) INDICATES AN ALLOWABLE 100 YEAR PEAK RUNOFF FROM TRACT 3C OF 4.92 CFS. THE REPEAT OF TRACT 3C (TRACT 3C-1) IS 0.8245 ACRES IN SIZE. THEREFORE, PROPORTIONALLY, THE ALLOWABLE PEAK RUNOFF FORM TRACT 3C-1 IS (4.92 CFS) (0.8245 AC / 1.200 AC) = 2.36 CFS FOR THE 100-YEAR STORM.

EXISTING CONDITIONS: PER WILSON AND CO. GRADING & DRAINAGE PLAN 12-19-20 THE EXISTING RUNOFF FROM THE SITE DISCHARGES TO VALLEY VIEW ROAD AT THE EXISTING DRIVE ENTRANCE.

NOTE: THERE IS NO OFFSITE DRAINAGE ONTO THIS SITE. THE SITE HAS BEEN RAISED WHICH PREVENTS ANY DRAINAGE FROM TRACT 3B TO ENTER THE SITE. THE ADJACENT ROAD HAS CURB AND GUTTER DRAINAGE SYSTEM WHICH DIRECTS THE DRAINAGE TO AN OFFSET DETENTION POND LOCATED APPROXIMATELY 400 FEET TO THE SOUTH ON VALLEY VIEW ROAD. A CURB AND GUTTER SYSTEM ALONG COORS BLVD INTERCEPTS AND DIVERTS RUNOFF FROM COORS BLVD. AWAY FROM THE SITE.

THE PROPOSED ADDITION WILL BE CONSTRUCTED OVER THE EXISTING PARKING LOT AREA. THEREFORE THE IS NO CHANGES TO THE EXISTING RUNOFF.

## Drainage Calculation

City of Albuquerque DPM 2020 edition  
9386 Coors Blvd

Existing Treatment	Improved Conditions Treatment	
Area of A =	27203 sf	100%
Area of B =	0 sf	0%
Area of C =	0 sf	0%
Area of D =	0 sf	0%

Excess Precipitation, E (inches) 6 hr - 100 yr storm rates 6.2-13					
Existing Conditions			Improved Conditions		
Treatment	% of Area	En	Treatment	% of Area	En
A	1.00 x 0.95 = 0.95	0.56	A	0.00 x 0.95 = 0.00	0.00
B	0.00 x 0.73 = 0.00	0.00	B	0.21 x 0.73 = 0.15	0.15
C	0.00 x 0.95 = 0.00	0.00	C	0.00 x 0.95 = 0.00	0.00
D	0.00 x 2.24 = 0.00	0.00	D	0.79 x 2.24 = 1.77	1.77
		E = 0.56			E = 1.92

Volume V = E A / 12		
V <sub>e</sub> =	0.560 x 0.8245 / 12 =	0.029 acre ft
V <sub>i</sub> =	1.921 x 0.8245 / 12 =	0.130 acre ft
		1247 of 4364 cf

Discharge Rate, Q (cfs / acre) 100 yr storm table 6.2-14		
Treatment	% of Area	Q
A	1.00 x 1.54 = 1.54	0.00
B	0.00 x 2.16 = 0.00	0.00
C	0.00 x 2.87 = 0.00	0.00
D	0.00 x 4.12 = 0.00	0.00
	q = 1.54	q = 3.71

Peak Rate Q <sub>p</sub> = q A		
Q <sub>p(e)</sub> =	1.54 x 0.8245 = 0.96 cfs	
Q <sub>p(i)</sub> =	3.71 x 0.8245 = 2.31 cfs	

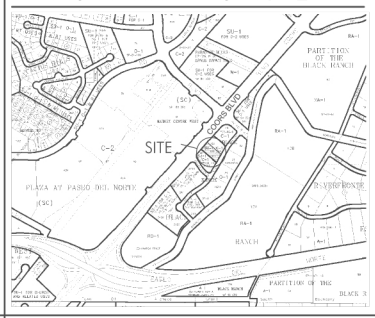
Excess Volume =	0.029 acre ft	
Excess Rate =	1.36 cfs	

Discharge Rate	2.314 cfs	3.71 cfs/c	Allowable Discharge Rate	2.960 cfs
Volume Discharged	4549 cf			
Pond Volume	8 cf			

WATER QUALITY POND (ARTICLE 6-12 PAGE 6-10)  
FF POND VOLUME = (IMPERVIOUS AREA) (0.26 IN) FOR REDEVELOPED SITES  
IMPERVIOUS AREA = 21,453 SF  
REQUIRED POND VOLUME = (21,453 SF) (0.26 IN) (1 / 12 IN/FT) = 455 CF

FIRST FLUSH POND		
POND A1 ELEVATION AREA		
19.5	364 SF	
19.0	203 SF	
18.0	81 SF	
VOL = (81+253)(0.5)(1 FT) + (253+364)(0.5)(0.5 FT) = 321 CF		
POND A2 ELEVATION AREA		
19.5	315 SF	
19.0	203 SF	
18.0	47 SF	
VOL = (47+315)(0.5)(1 FT) + (203+315)(0.5)(0.5 FT) = 254 CF		
TOTAL POND VOL = 321 CF + 254 CF = 575 CF		

## VINICITY MAP C-13-Z



## FLOOD INSURANCE MAP PANEL 116

LEGAL DESCRIPTION:  
TRACT 3C-1 BLACK RANCH  
ADDRESS: 9386 COORS BLVD NW, ALBUQUERQUE, NM  
SITE AREA: 0.8245 ACRES  
ELEVATION DATUM IS BASED ON NAVD 1988 FROM ACS MONUMENT "NM-48-N10", PUBLISHED ELEVATION (FEET) = 5054.51

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## FACILITY ACCESSIBILITY

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TATE FISH BURN  
ARCHITECT  
ARCHITECT SEAL

ENGINEER SEAL  
JOHN ARTHUR BLESS  
NEW MEXICO  
13481  
PROFESSIONAL ENGINEER  
12-10-20

## PROJECT

ADDITION FOR  
JIFFY LUBE  
9386 COORS BOULEVARD, NW  
ALBUQUERQUE, NEW MEXICO

## REVISIONS

DATE: DECEMBER 10, 2020  
SCALE: 1"=20'-0" OR AS NOTED

DRAWING NAME: SITE GRADING PLAN

## SHEET NUMBER

C-101



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: FP-21-000029  
APPROVED DATE: 04/30/21  
APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE  
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY  
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS  
PERMIT IS VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE.

**FIRE FLOW:**

**NOTES**

1. NO SLOPE GREATER THAN 10% ALONG APPARATUS ROUTE IS PROPOSED.
  2. THE DRAINING SURFACE OF THE FIRE APPARATUS ACCESS ROUTE IS CAPABLE SUPPORTING A LOAD OF AT LEAST 75,000 POUNDS.
  3. PER 2015 INTERNATIONAL FIRE CODE.
  4. NO SECURITY GATE IS PROPOSED AT THE ENTRANCES.
  5. FIRE LINES TO BE MARKED AS DIRECTED BY FIRE MARSHALL.
- PER TABLE 8105.1(2) AND C102.1
1. FIRE FLOW REQUIREMENT = 1,000 GPM FOR ONE HOUR FIRE DURATION
  2. FIRE HYDRANTS REQUIRED = 1 SPACING = 500'

## PROJECT DATA

LEGAL DESCRIPTION: TRACT 3C-1 PART OF 3C OF BLACK RANCH FILED  
JUNE 14, 1991 VOLUME 91C, FOLD 121

ADDITION TO: EXISTING JIFFY LUBE STORE  
ONE STORY BUILDING  
9386 COORS BOULEVARD, NW  
ALBUQUERQUE, NM 87120

PROPOSED USE: LIGHT VEHICLE REPAIR SHOP  
IDO CLASSIFICATION: LIGHT VEHICLE REPAIR  
PER IDO 4-300(18)

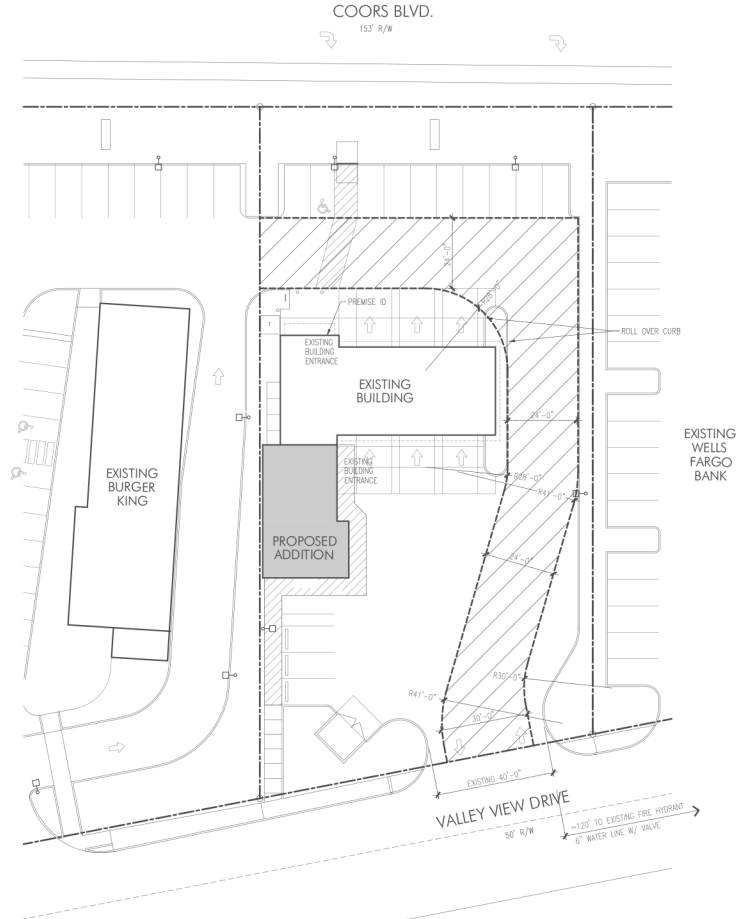
EXISTING ZONING: M2-4

LOT AREA: 27,210 SF (0.625 ACRES)

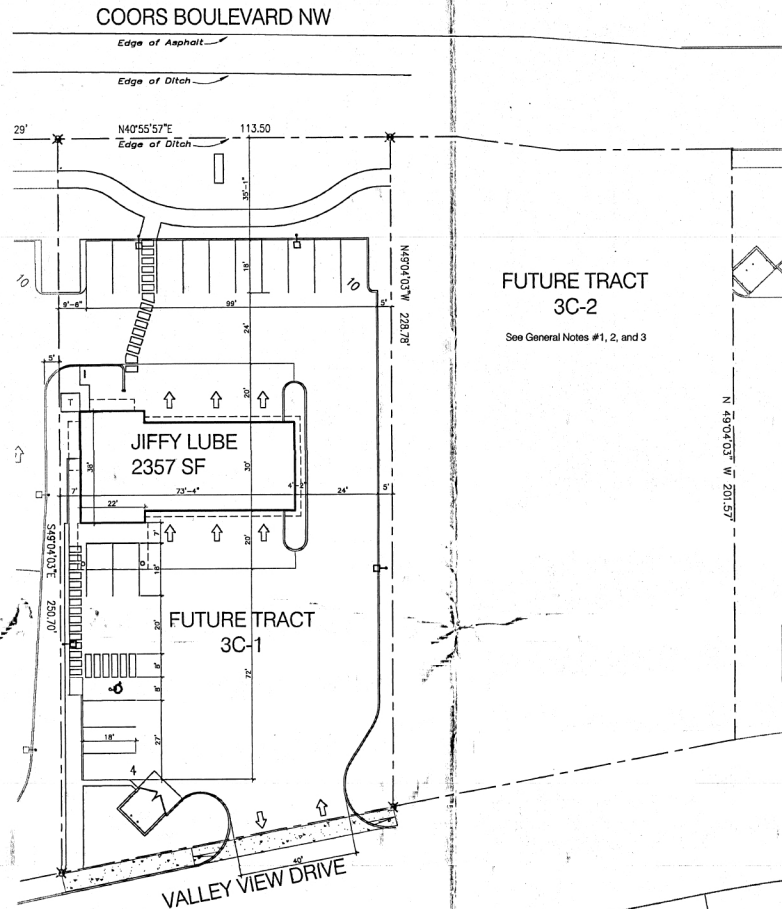
BUILDING AREA: EXISTING 2,357 SF  
PROPOSED 1,213 SF  
TOTAL 3,571 SF

TYPE OF CONSTRUCTION: TYPE II NON-SPRINKLERED

OCCUPANCY: F-1



# VICINITY MAP



72036167 100101010  
 EPC 01129 - 01749  
 02.12.08 - 00171

## APPROVALS

<i>[Signature]</i>	3/24/02
Planning Director	Date
<i>[Signature]</i>	3-20-02
Transportation Development	Date
<i>[Signature]</i>	2-13-02
City Engineer/AMAFCA	Date
<i>[Signature]</i>	2-13-02
Utility Development	Date
<i>[Signature]</i>	2/13/02
Parks and Recreation Department	Date

Note: Approval of the Site Plan for Building Permit for Tract 3C-2 shall be delegated to the D.R.B. Per the PRT meeting, a TIS will be required at the time of the Site Plan for Building Permit submittal for Tract 3C-2 (when the drive through facility exceeds six lanes).

## SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site consists of Tract 3C, Black Ranch and is 1.2 acres. This subdivision will create two tracts, Tract 3C-1 and 3C-2, that are 0.6245 and 0.5754 acres respectively. It is anticipated that Tract 3C-2 will be combined with the existing Tract 3B.

PROPOSED USE: The zoning for all tracts shall be SU-1 for C-1 uses.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View Drive. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connections to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with the individual Site Plans for Building Permit.

INTERNAL CIRCULATION REQUIREMENTS: There shall be shared access between Tracts 3D and 3C-1, as well as between 3C-2 and 3B. There shall be no shared access between Tracts 3C-1 and 3C-2.

BUILDING HEIGHTS AND SETBACKS: Building height shall be limited to 18' unless otherwise controlled by the View Preservation section of the Coors Corridor Plan. Setbacks shall be a minimum of 10-feet from the right-of-way line of roadways, and 5-feet from the property line of an adjacent commercial or office zone.

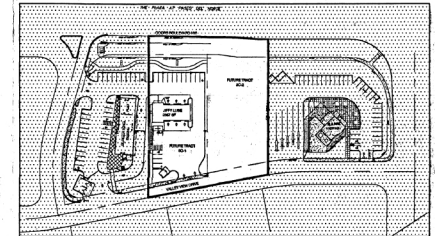
MAXIMUM F.A.R.: Maximum F.A.R. shall be .20.

LANDSCAPE PLAN: Conceptual Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit.

## GENERAL NOTES:

1. A Traffic Impact Study shall be provided by Wells Fargo Bank (Tract 3C-2) for the expansion of the drive-up facilities prior to their site plan submittal for review by the DRB.
2. The Site Plan for Building Permit for Tract 3C-2 shall be delegated to the DRB provided that the development plans are for parking and drive-up facilities only.
3. A detailed layout for Tract 3C-2 will be reviewed by the DRB as a part of the required Site Plan for Building Permit.
4. A reciprocal access easement between lots 3C-1 and 3D shall be provided.

## KEYED MAP



## SITE PLAN FOR SUBDIVISION

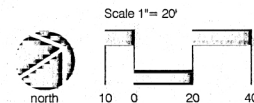
# JIFFY LUBE

Prepared for:

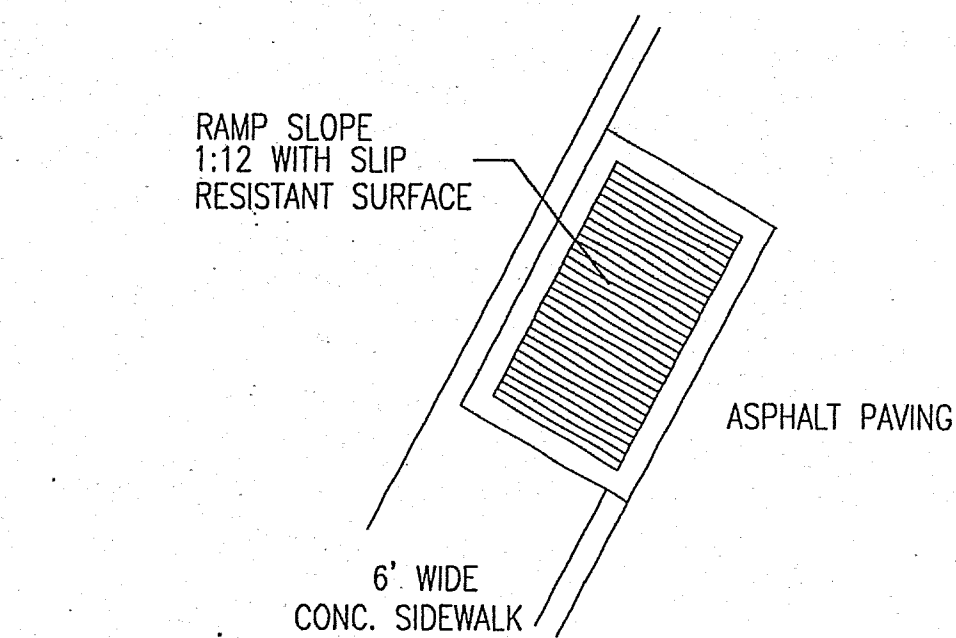
Presbyterian Health Care Services  
 1224 Central Ave. S.E.  
 Albuquerque, N.M. 87102

Prepared by:

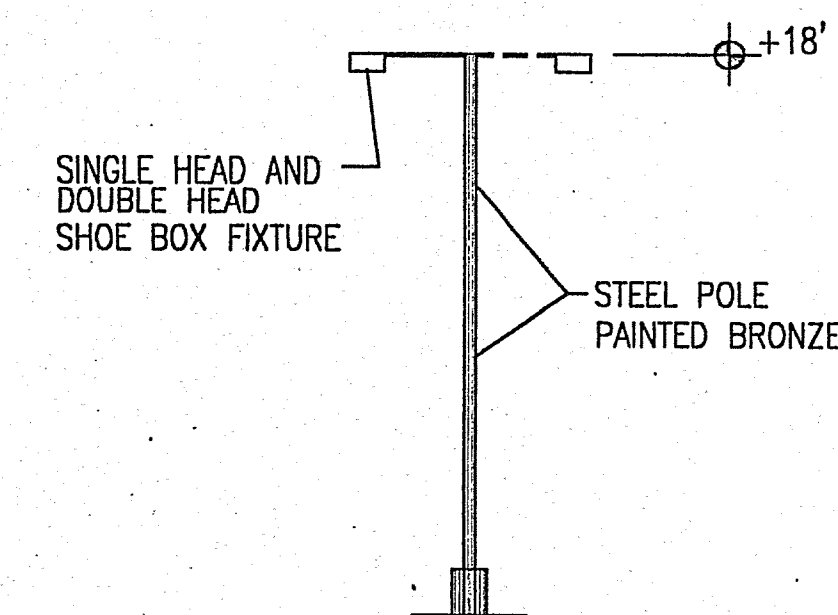
**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 924 Park Avenue SW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 e-mail: cp@consensusplanning.com





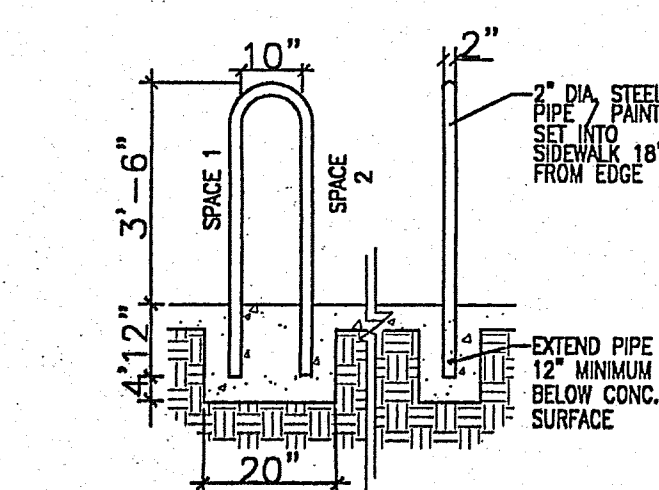


**1 HC Ramp**  
NOT TO SCALE

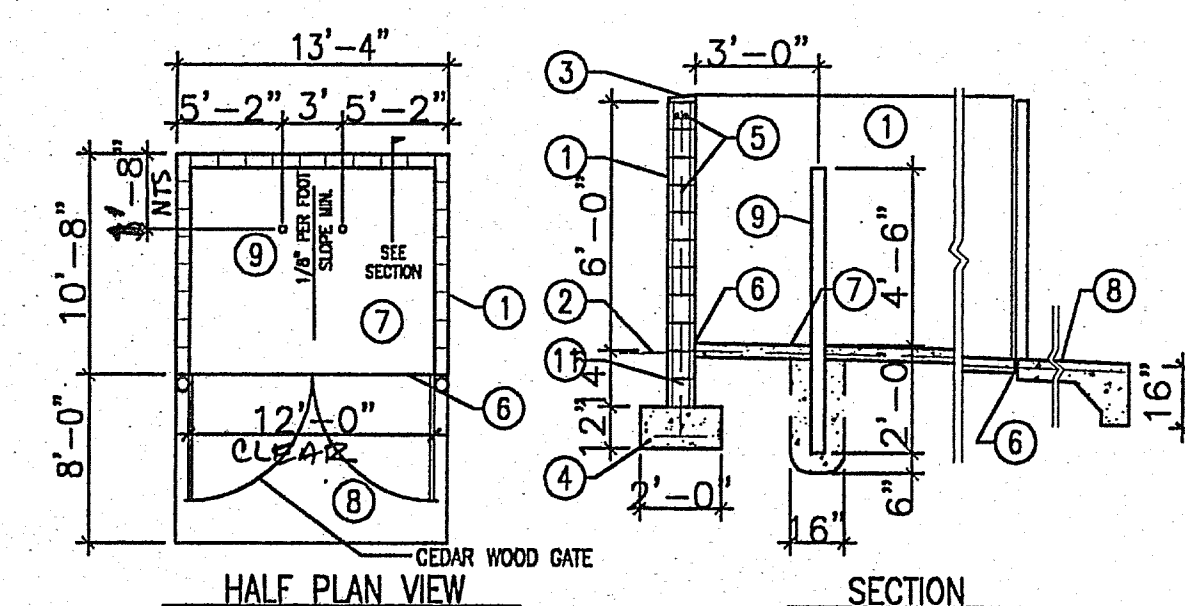


NOTE:  
SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.

**2 Site Lighting Detail**  
Scale: Not to Scale

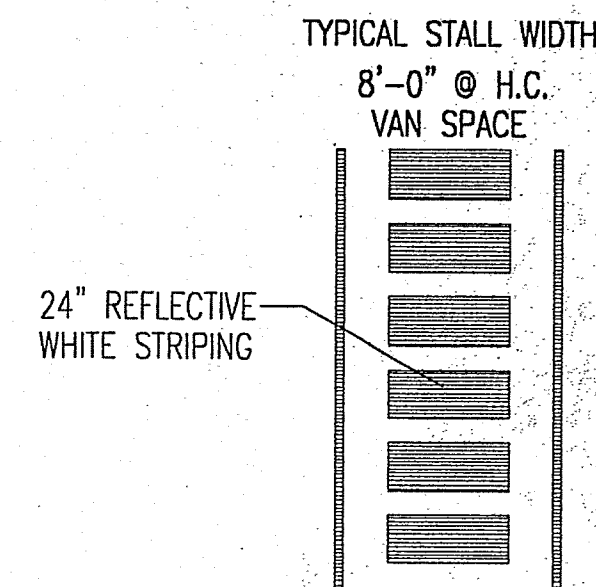


**3 Bike Rack Detail**  
Scale: Not to Scale

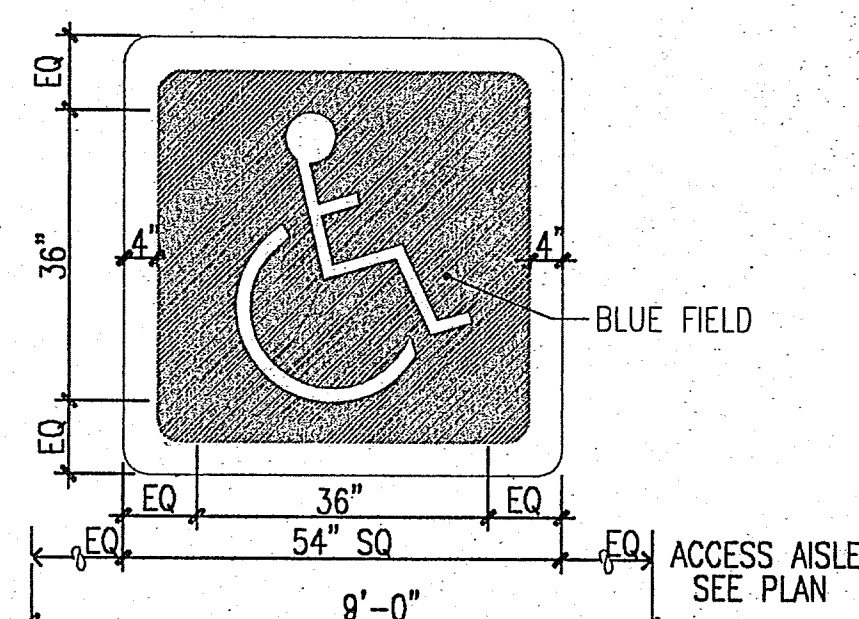


- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REIN- FORCED CELLS. DIRMWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
  - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

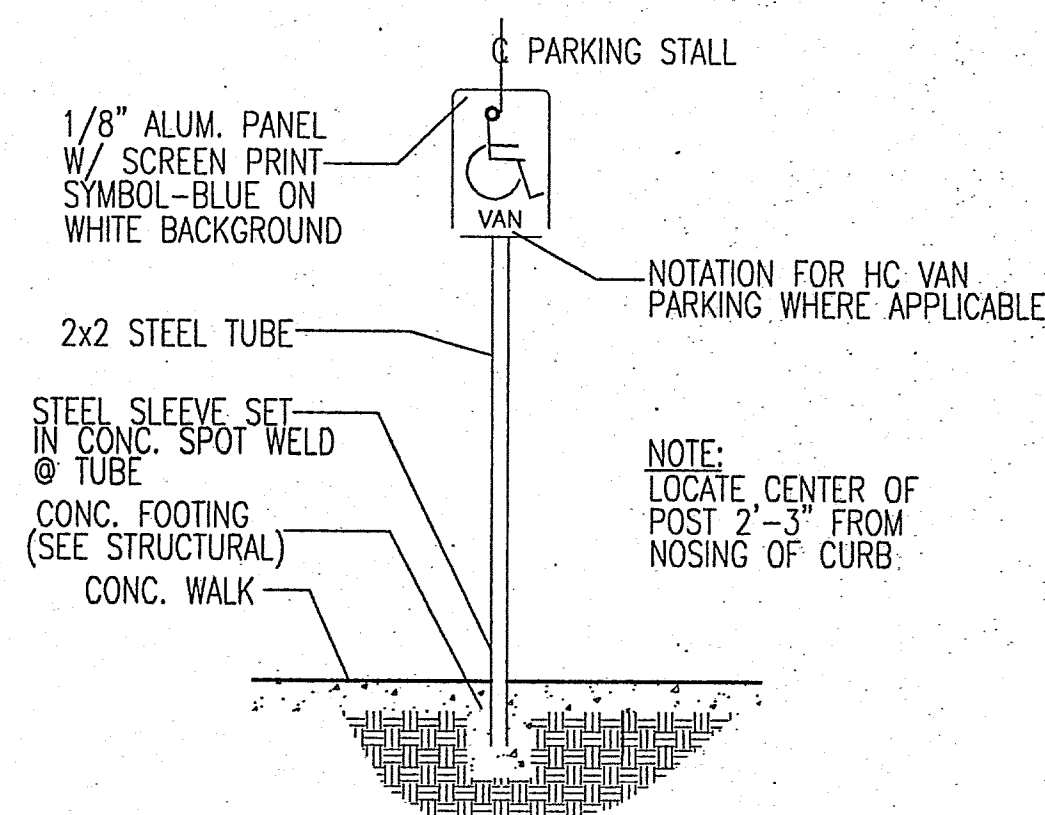
**4 Refuse Enclosure**  
Scale: Not to Scale



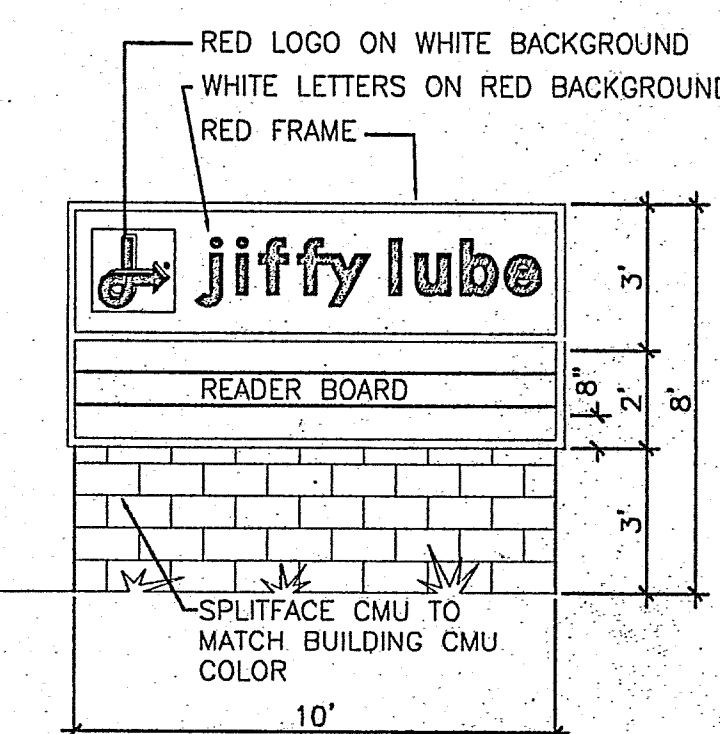
**5 HC Parking Striping**  
NOT TO SCALE



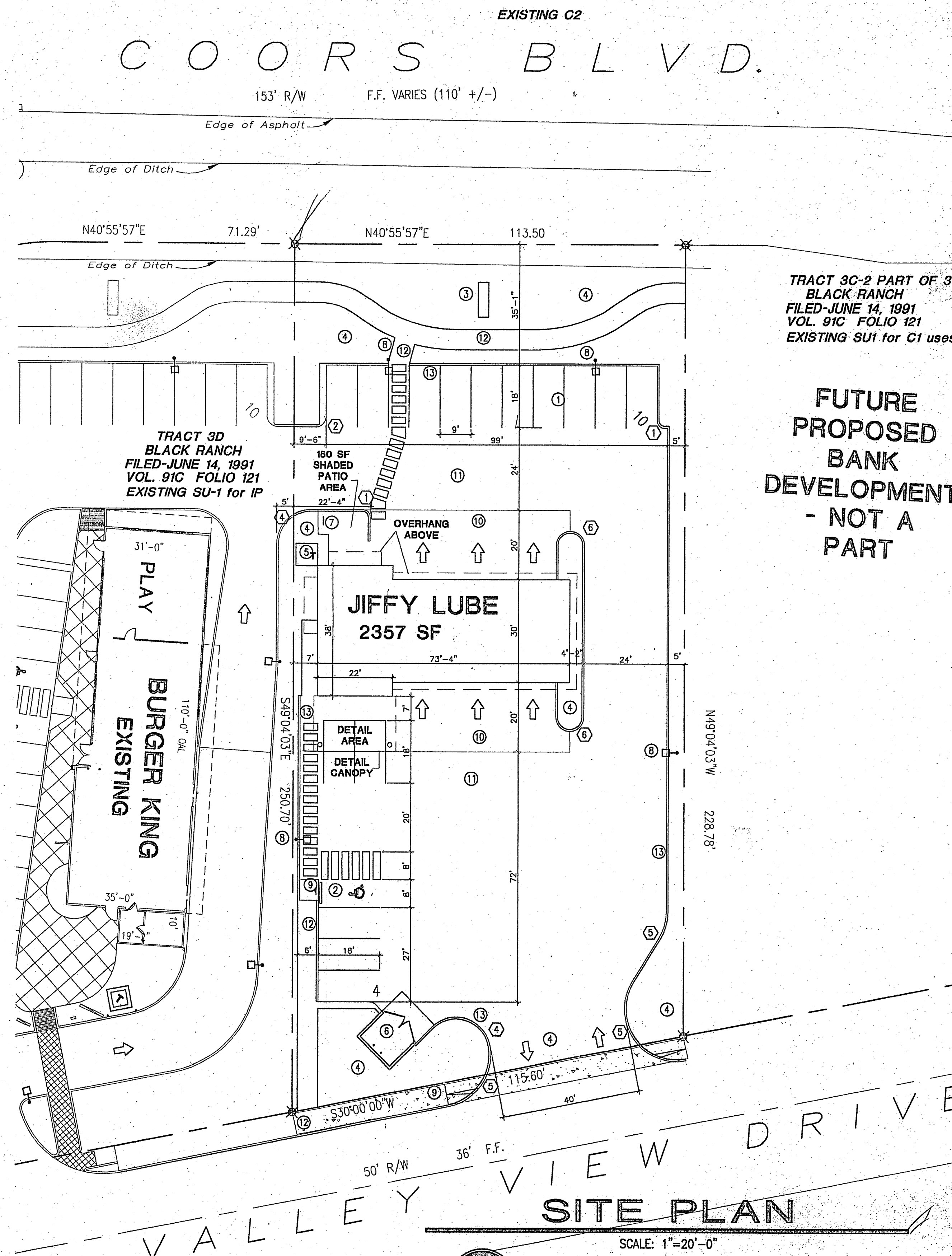
**6 HC Pavement Sign**  
NOT TO SCALE



**7 HC Parking Sign**  
NOT TO SCALE



**8 MONUMENT SIGN**  
Scale: 1/4" = 1'-0"



**GENERAL NOTES**  
Note: A reciprocal access easement between lots 3C-1 and 3D shall be provided.

**SITE LIGHTING**  
ALL LIGHT FIXTURES SHALL BE FULLY HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

**BUILDING FINISHES**  
CUSTOMER AREA: LIGHT TAN STUCCO ABOVE MEDIUM TAN SPLITFACE WAINSCOT WITH 8" RED ACCENT STRIPE AND GALVANIZED METAL ROOFING ON RED TUBE STEEL FRAME AWNINGS AND DETAIL CANOPY.

BAYS AREA: RED STUCCO SIGN BAND ABOVE MEDIUM TAN PAINTED SPLITFACE CMU WAINSCOT WITH 8" RED ACCENT STRIPE.

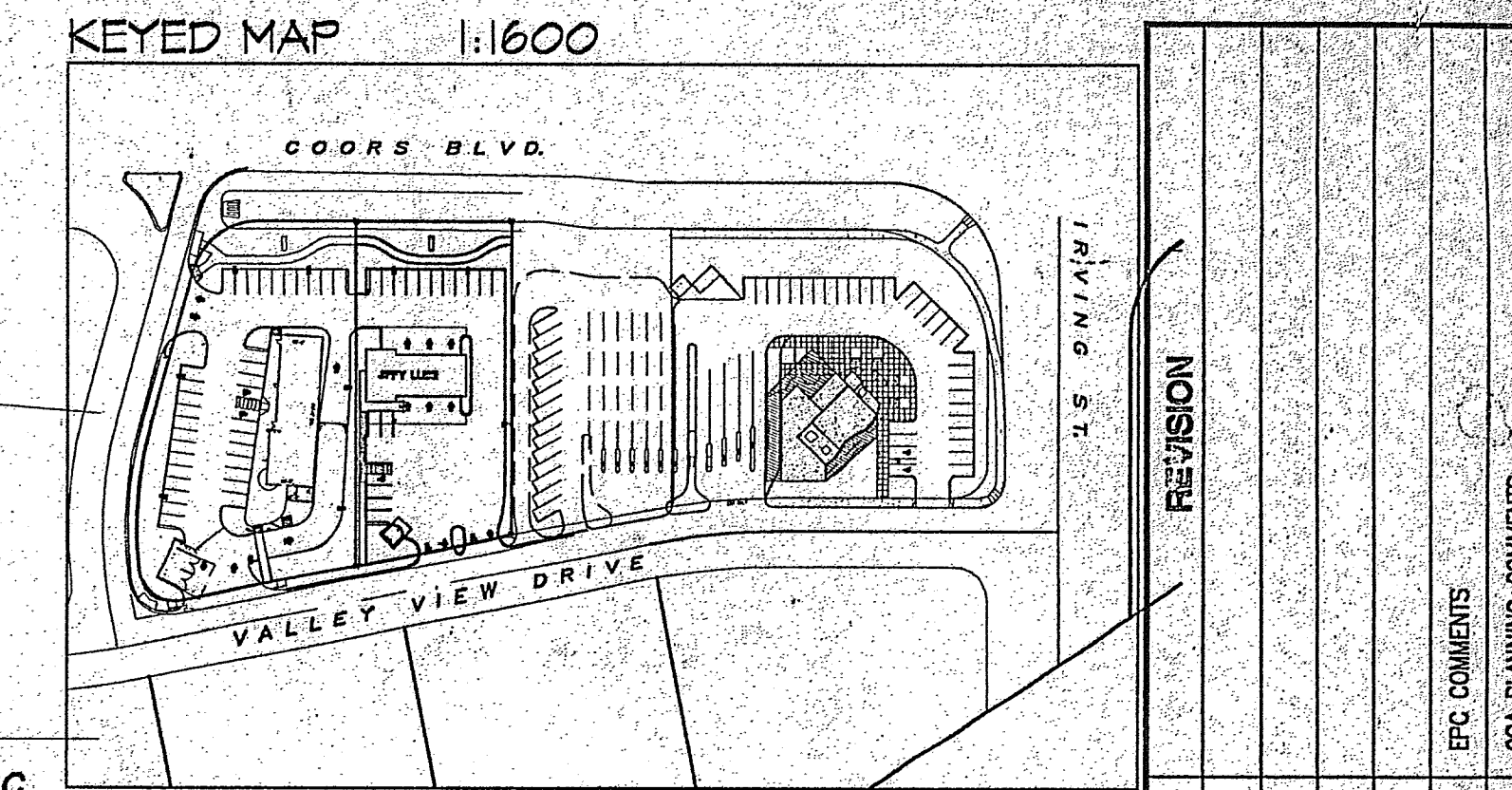
STOREFRONT AND OVERHEAD DOORS FINISH IS NATURAL ANODIZED ALUMINUM.

**LOUDSPEAKERS**  
NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS PERMITTED.

**SIGNAGE**  
FREE STANDING SIGNS SHALL BE NO HIGHER THAN 8 FT. ABOVE GRADE WITH A MAXIMUM SIGN FACE SIZE OF 75 SF.

FACADE MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA TO WHICH IT IS ATTACHED AND THE MAXIMUM HEIGHT FOR INDIVIDUAL LETTERS IS 3 FT. NO LIGHTED SIGNS SHALL BE PLACED ON EAST FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

**MECHANICAL EQUIPMENT SCREENING**  
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED BY WALLS PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR SO AS TO BE AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF THE WALLS.



**LIST OF DRAWINGS:**

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING + DRAINAGE / UTILITY PLAN
- BUILDING ELEVATIONS

**KEYNOTES:**

- PARKING. (SEE PARKING NOTES BELOW)
- ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
- MONUMENT SIGN. (SEE DETAIL 8)
- LANDSCAPE BUFFER
- TRANSFORMER
- COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
- BIKE RACK. (SEE DETAIL 3)
- LIGHT POLE. (SEE DETAIL 2)
- ACCESSIBLE RAMP. (SEE DETAIL 1)
- BLACK CONCRETE PAVING.
- ASPHALTIC CONCRETE PAVING.
- NEW 6" CONCRETE SIDEWALK
- CONCRETE STANDING CURB PER COA STD. DETAILS.

**LEGAL DESCRIPTION**

TRACT 3C-2 PART OF 3C OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121

CURRENT ZONING: SU-1 FOR C1

TOTAL ACREAGE: 0.6245 AC OR 27,203 SF  
ZONE ATLAS: A-13-Z & A-14-Z

**BUILDING AREA & PARKING CALCULATIONS:**

**BUILDING AREA**  
JIFFY LUBE 2,357 SF. BUILDING

**PARKING NOTES:**

TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"

TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 6' WIDE ACCESS AISLE

PARKING SPACES REQUIRED = 2357 SF / 200 = 12 SPACES

TOTAL STANDARD PARKING SPACES PROVIDED 13 SPACES  
TOTAL HC PARKING SPACES PROVIDED 1 SPACE (INCLUDES 1 VAN SPACE)

TOTAL PARKING SPACES PROVIDED 14 SPACES  
BICYCLE SPACES REQUIRED = 1 / 20 CARS PROVIDED = 1  
BICYCLE PARKING SPACES PROVIDED = 2

**RADII:**

- RADIUS = 2'-0"
- RADIUS = 3'-0"
- RADIUS = 5'-0"
- RADIUS = 10'-0"
- RADIUS = 15'-0"
- RADIUS = 4'-0"

**APPROVALS**

Planning Director: [Signature] Date: 3/21/02  
Transportation Development: [Signature] Date: 2-20-02  
City Engineer/AMAFCA: [Signature] Date: 2-13-02  
Utility Development: [Signature] Date: 2-13-02  
Parks and Recreation Department: [Signature] Date: 2-13-02  
Solid Waste: [Signature] Date: 2-5-02

GEORGE RAHNART, ARCHITECT AND ASSOCIATES P.C.  
2925 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-910 FAX (505) 837-9877

**PROJECT TITLE**  
JIFFY LUBE  
Coors Blvd. + Valley View Drive  
Albuquerque, NM

**PROJECT MANAGER**  
Bill Johnson

**JOB NO.**  
0125

**DRAWN BY**  
BU

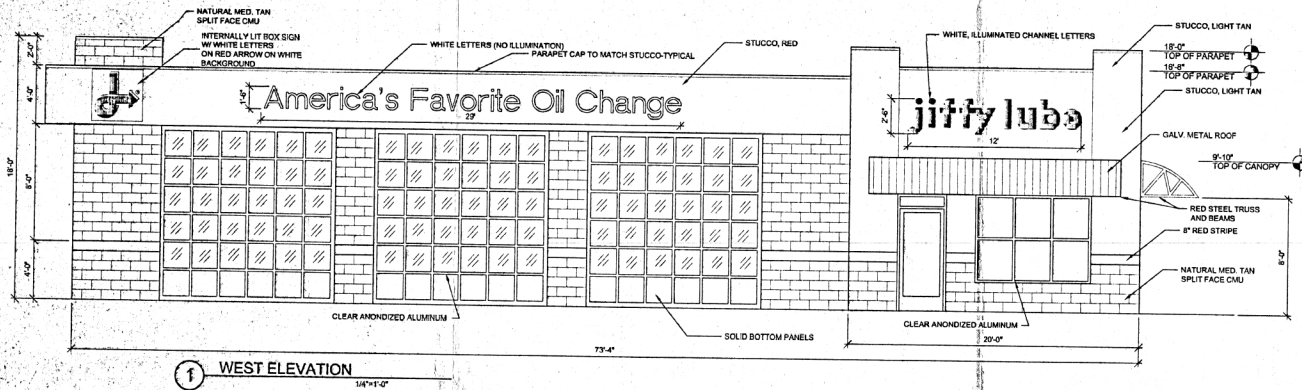
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Site Plan - Building Permit

**DATE**  
11/29/01

**SCALE**  
AS NOTED

**Sheet**  
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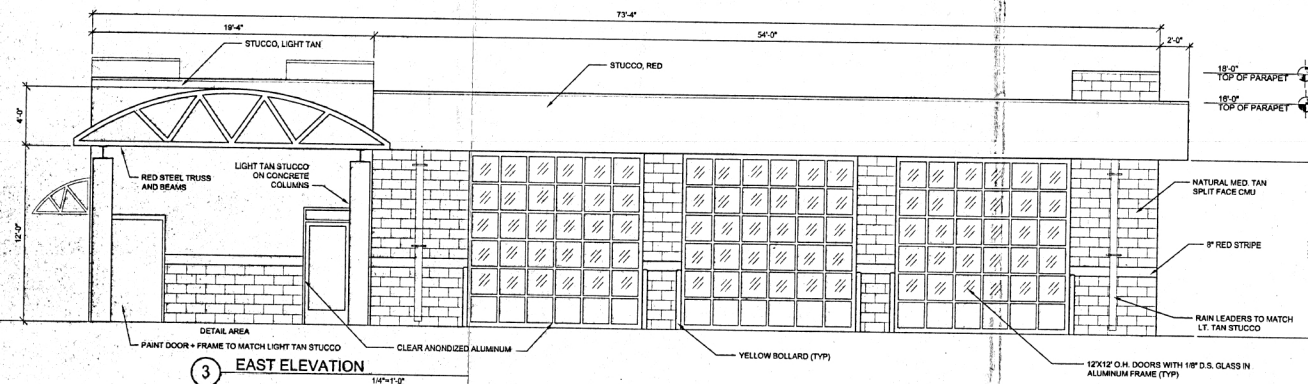
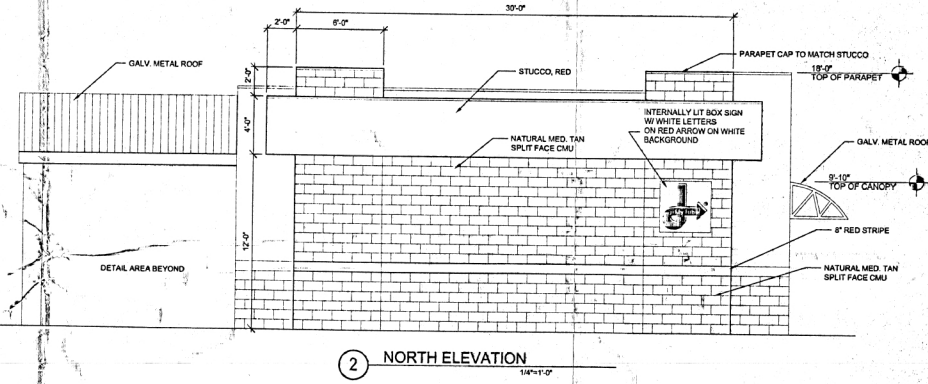
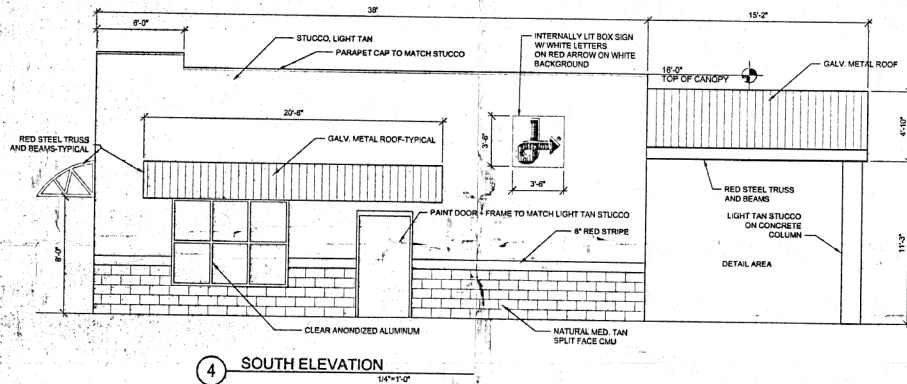


#### SIGN AREA SUMMARY

WEST ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
"America's Favorite Oil Change" LETTERS	36.83 SF
SMALL "JIFFY LUBE" ILLUMINATED SIGN	19.83 SF
	68.92 SF
NORTH ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
EAST ELEVATION	
NONE	0.00 SF
SOUTH ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
TOTAL BUILDING SIGNAGE	93.02 SF

SIGNAGE % OF WEST ELEVATION (1214 SF) = 5.84%  
 SIGNAGE % OF EAST ELEVATION (1203 SF) = 0.00%  
 SIGNAGE % OF NORTH ELEVATION (650 SF) = 1.89%  
 SIGNAGE % OF SOUTH ELEVATION (520 SF) = 2.36%

SIGNAGE % OF ALL ELEVATIONS (3587 SF) = 2.50%

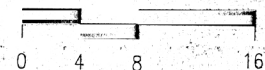


GEORGE RANHART, ARCHITECT AND ASSOCIATES P.C.  
 2328 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 684-9110 FAX (505) 687-8877

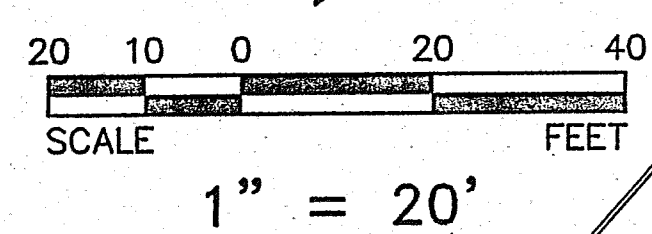
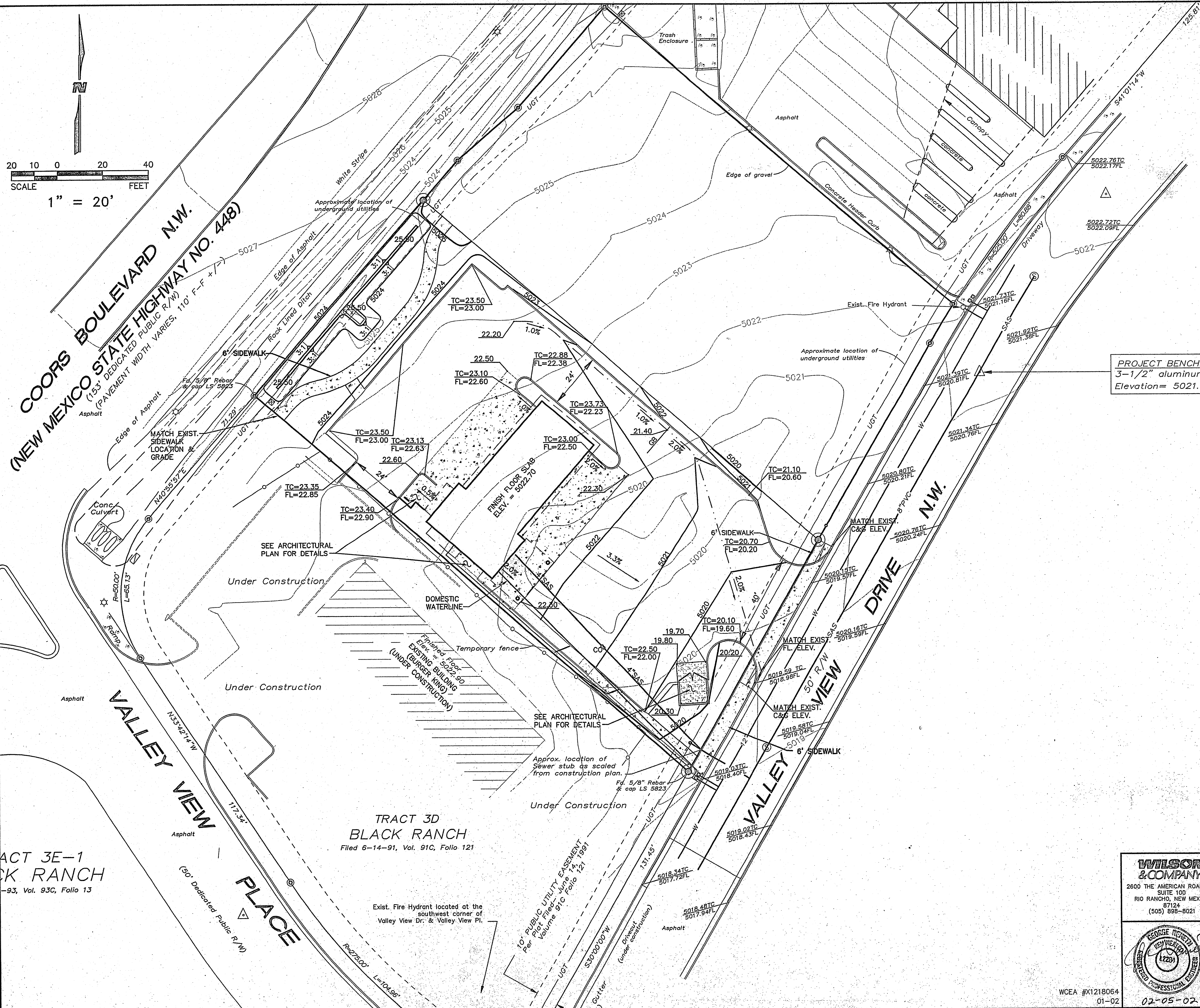
PROJECT TITLE  
**JIFFY LUBE**  
 Valley View Drive  
 Albuquerque, NM  
 PROJECT MANAGER  
 JAMES M. GILES  
 DRAWN BY  
 J. G.  
 SHEET TITLE  
**Building Elevations**

DATE  
 11/29/01  
 SCALE  
 1/4"=1'-0"

Sheet  
**4**  
 of  
 4







PROJECT BENCHMARK  
3-1/2" aluminum monument  
Elevation = 5021.35 feet

**BENCH MARK**

N.M.S.H.C./A.C.S. Control Monument "NM-448-N10"  
New Mexico State Plane Coordinates, Central Zone  
(NAD 27) as published: Y= 1,524,161.52 X= 377,788.84  
Combined ground to grid factor = 0.99967575  
Delta Alpha = -00'14"09" Elev. = 5045.51

**WILSON & COMPANY**  
2600 THE AMERICAN ROAD S.E.  
SUITE 100  
RIO RANCHO, NEW MEXICO  
87124  
(505) 898-8021

**GEORGE JEFFREY**  
REGISTERED PROFESSIONAL ENGINEER  
12204

JIFFY LUBE CONSTRUCTION GRADING PLAN COORS BLVD. & VALLEY VIEW DR.			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	
X	C-13	3	

ACT 3E-1  
BLACK RANCH  
-93, Vol. 93C, Folio 13

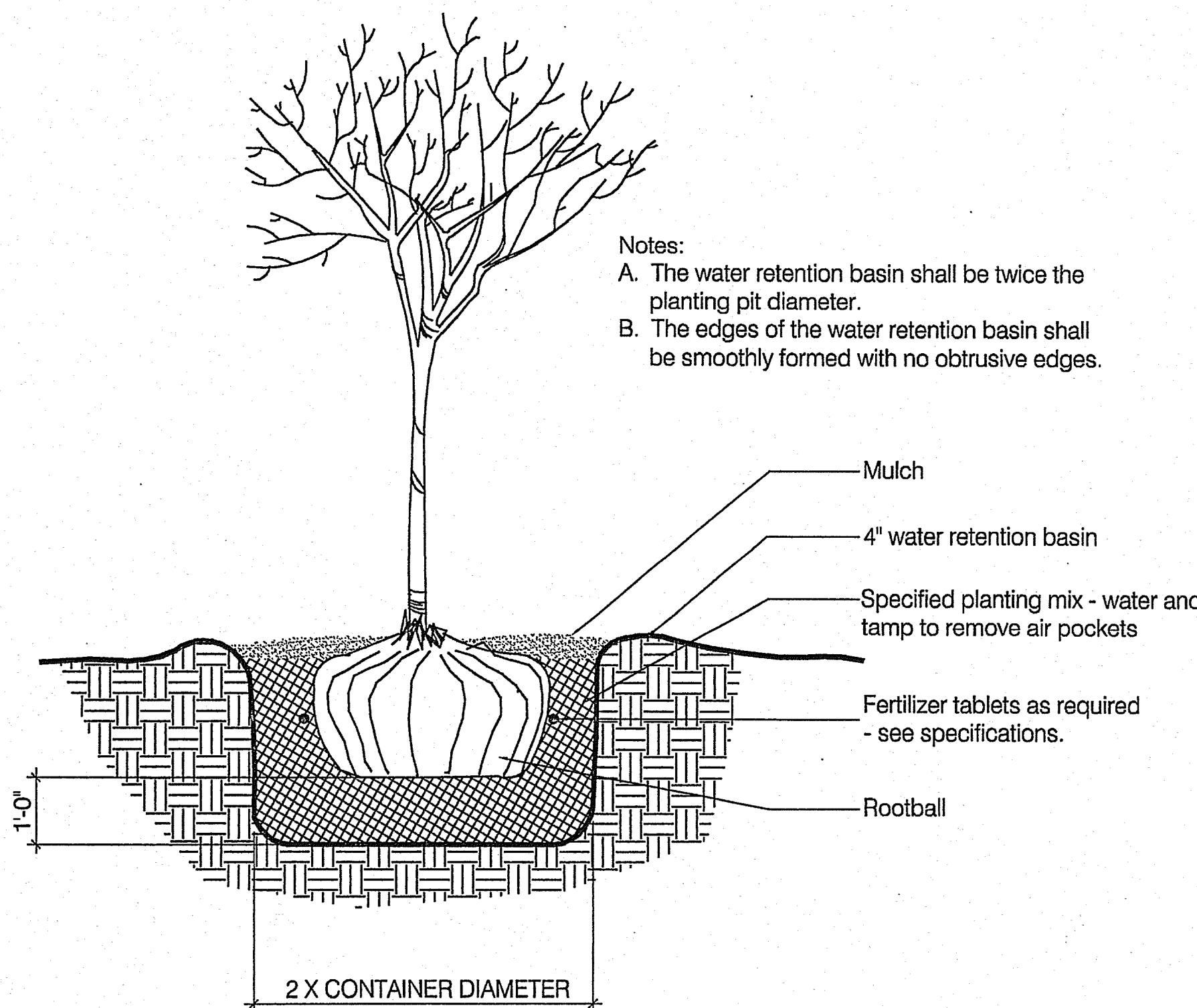
TRACT 3D  
BLACK RANCH  
Filed 6-14-91, Vol. 91C, Folio 121

Exist. Fire Hydrant located at the  
southwest corner of  
Valley View Dr. & Valley View Pl.

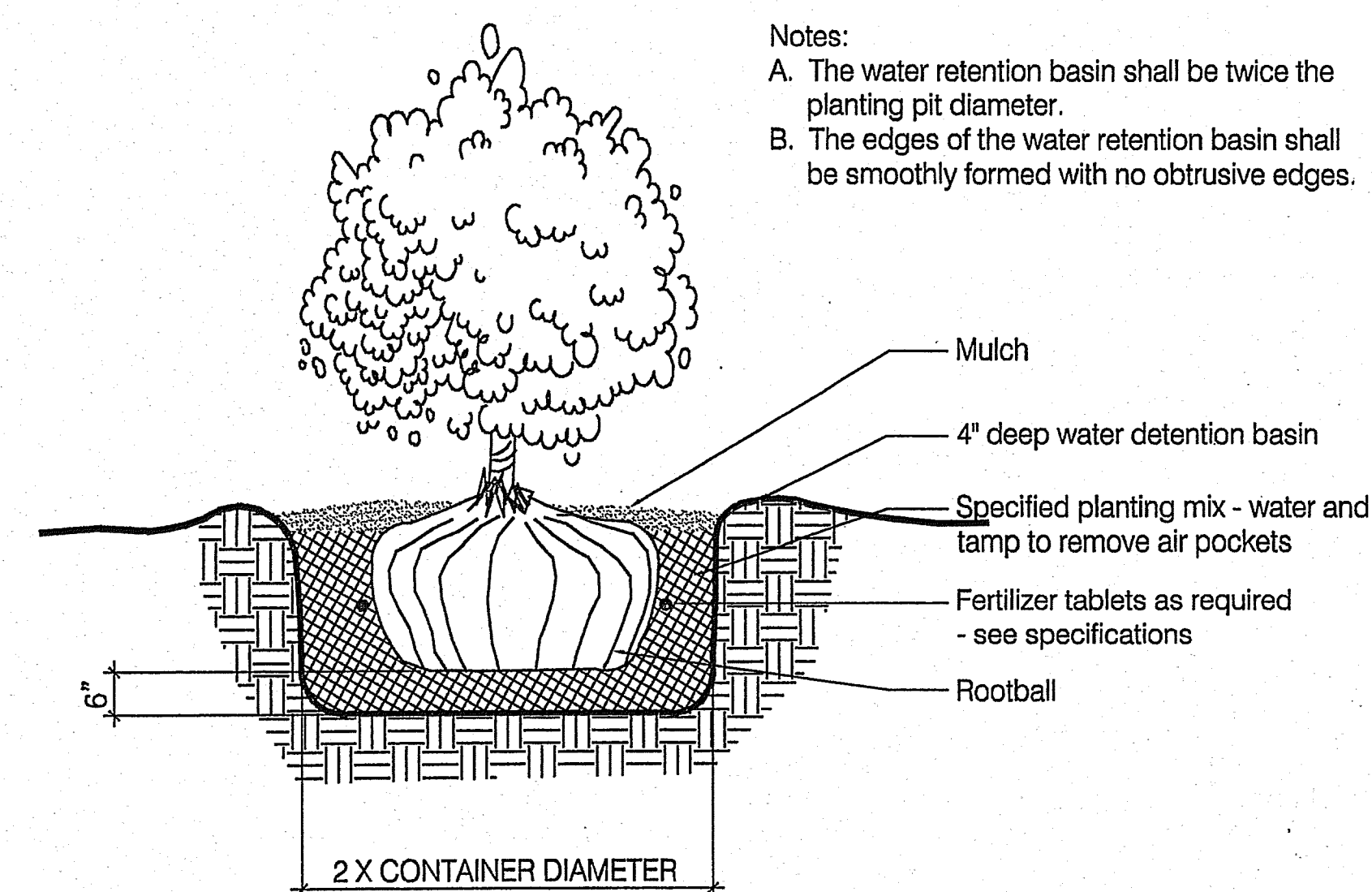
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01-02

02-05-02

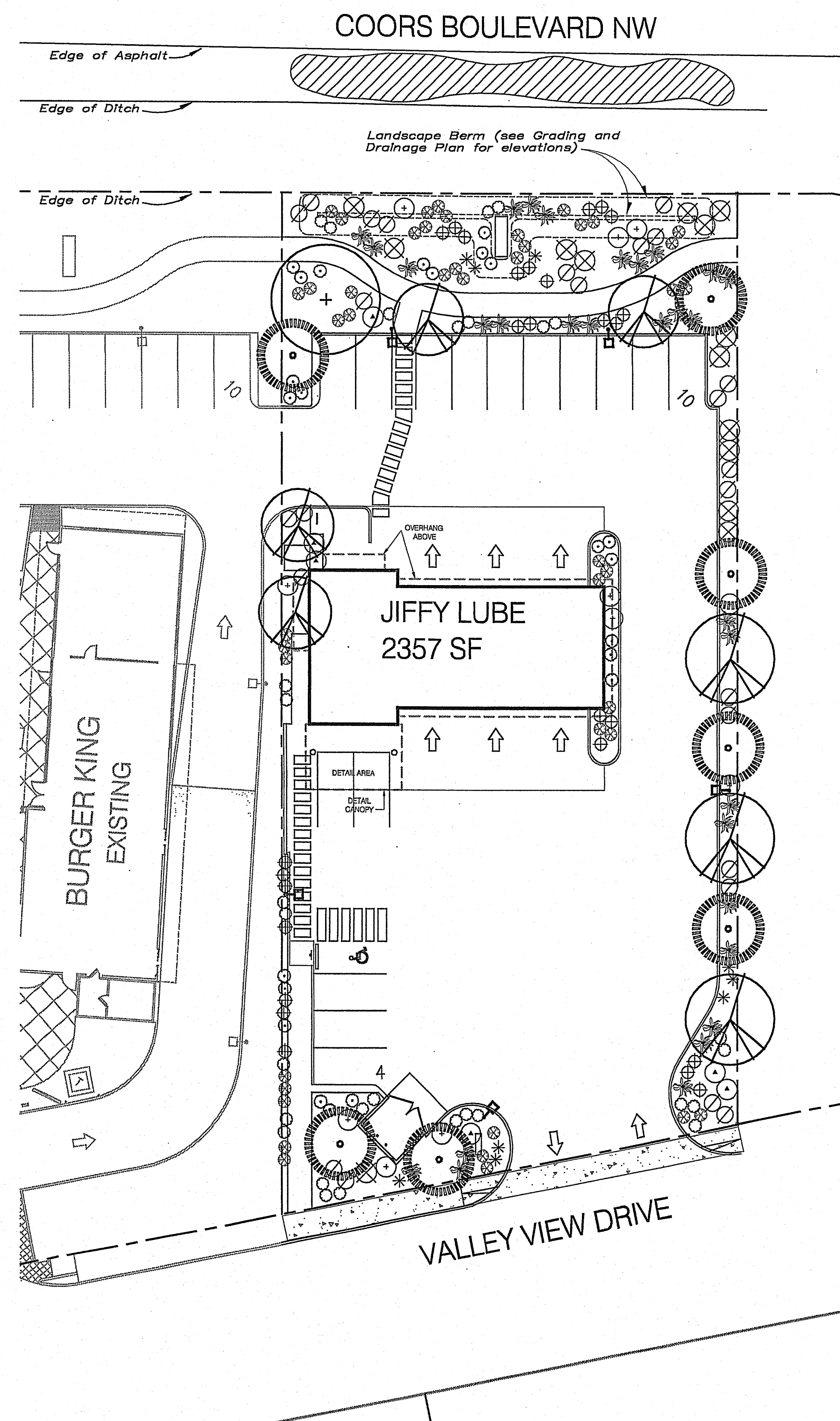




1 TREE PLANTING @ GRADE N.T.S.



2 SHRUB PLANTING @ GRADE N.T.S.



## PLANT LEGEND

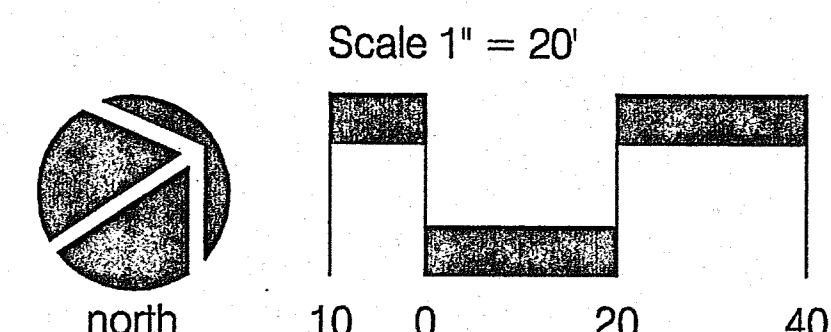
Qty.	Symbol	Scientific Name Common Name	Size	Initial Size or Spacing Ultimate Size	Water Use
1	+	Chilopsis linearis Desert Willow	15-Gal	8' ht. x 4' spr. 20' ht. x 20' spr.	Low
7	⊗	Fraxinus velutina 'Modesto' Modesto Ash (female)	2" B&B	16' ht. x 6' spr. 40' ht. x 35' spr.	Medium
7	⊙	Pinus nigra Austrian Pine	B&B	8' min. ht. 35' ht. x 25' spr.	Medium
29	⊖	Artemisia 'Powis Castle' Powis Castle Sage	5-Gal	4' o.c. 3' ht. x 4' spr.	Low
14	⊗	Artemisia tridentata Big Leaf Sage	5-Gal	4' o.c. 3' ht. x 4' spr.	Low
6	⊙	Caesalpinia gilliesii Bird of Paradise	5-Gal	2'-3' ht. x 2' spr. 5' ht. x 5' spr.	Low
44	⊗	Caryopteris clandonensis Blue Mist	5-Gal	3' o.c. 3' ht. x 3' spr.	Medium
11	⊙	Chrysanthemum nauseosus Chamisa	5-Gal	3' o.c. 3' ht. x 3' spr.	Medium
23	⊖	Ericameria laricifolia Turpentine Bush	5-Gal	2' o.c. 2' ht. x 2' spread	Low
9	*	Hesperaloe parviflora Red Yucca	1-Gal	3' o.c. 3' ht. x 4' spr.	Medium
30	⊗	Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	6' o.c. 2' ht. x 6' spr.	Medium
25	⊖	Perovskia atriplicifolia Russian Sage	1-Gal	5' o.c. 4' ht. x 5' spr.	Medium
27	⊕	Salvia greggii Cherry Sage	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium

Buffalograss/Blue Grama Grass Mix  
COA Specification Section 1011-Turf Grass Seeding

## GENERAL LANDSCAPE NOTES

- Prior to beginning work on the project, the Landscape Contractor shall review the project in the field with the Owner's Representative.
- If discrepancies occur between the drawings and the site, the Landscape Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
- All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
- All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
- Plant quantities are provided for Contractor's convenience only, plans shall take precedence.
- The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions.
- It is the Landscape Contractor's responsibility to locate all underground utilities prior to commencement of planting operations.

ALBUQUERQUE  
BLDG & SAFETY  
APR 26 2002  
U.S.C.  
PLAN CHECK  
SECTION



CONSENSUS

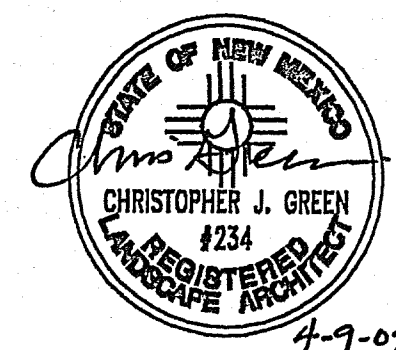
Landscape Architecture  
Urban Design  
Planning Services

924 Park Avenue SW  
Albuquerque, NM 87102  
Phone (505) 764-9801  
Fax (505) 842-5495

Project Name:

Jiffy Lube

Landscape Architect's Seal:



Designed By: KP

Drawn By: WMA

Checked By: C.J.G.

Date: 3/21/02

Project No:

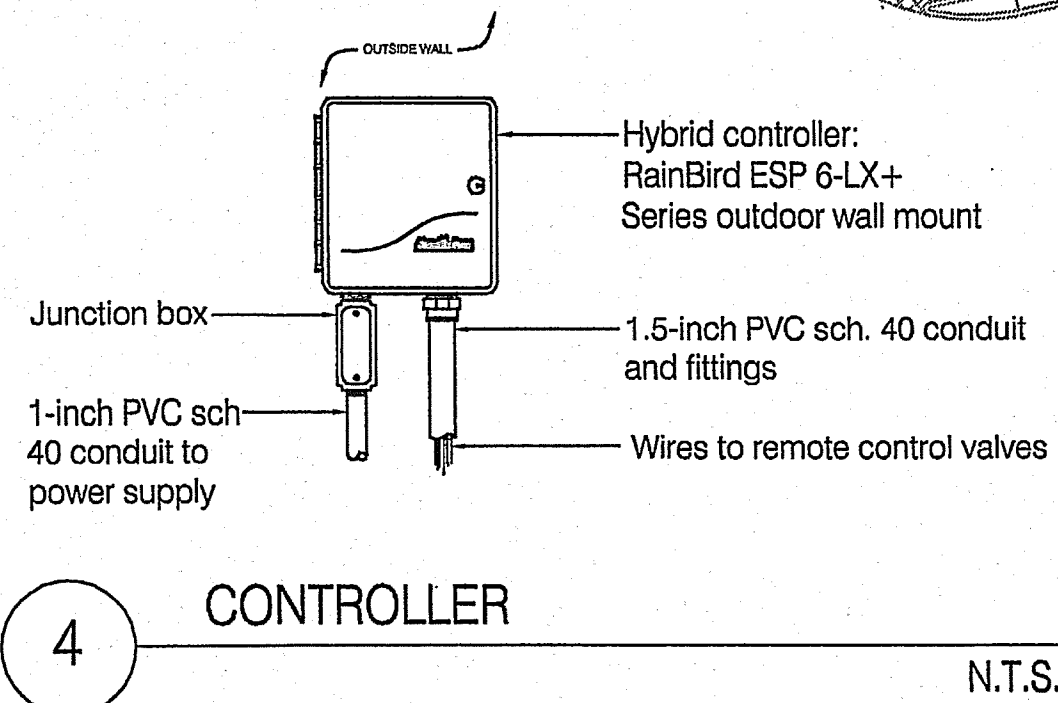
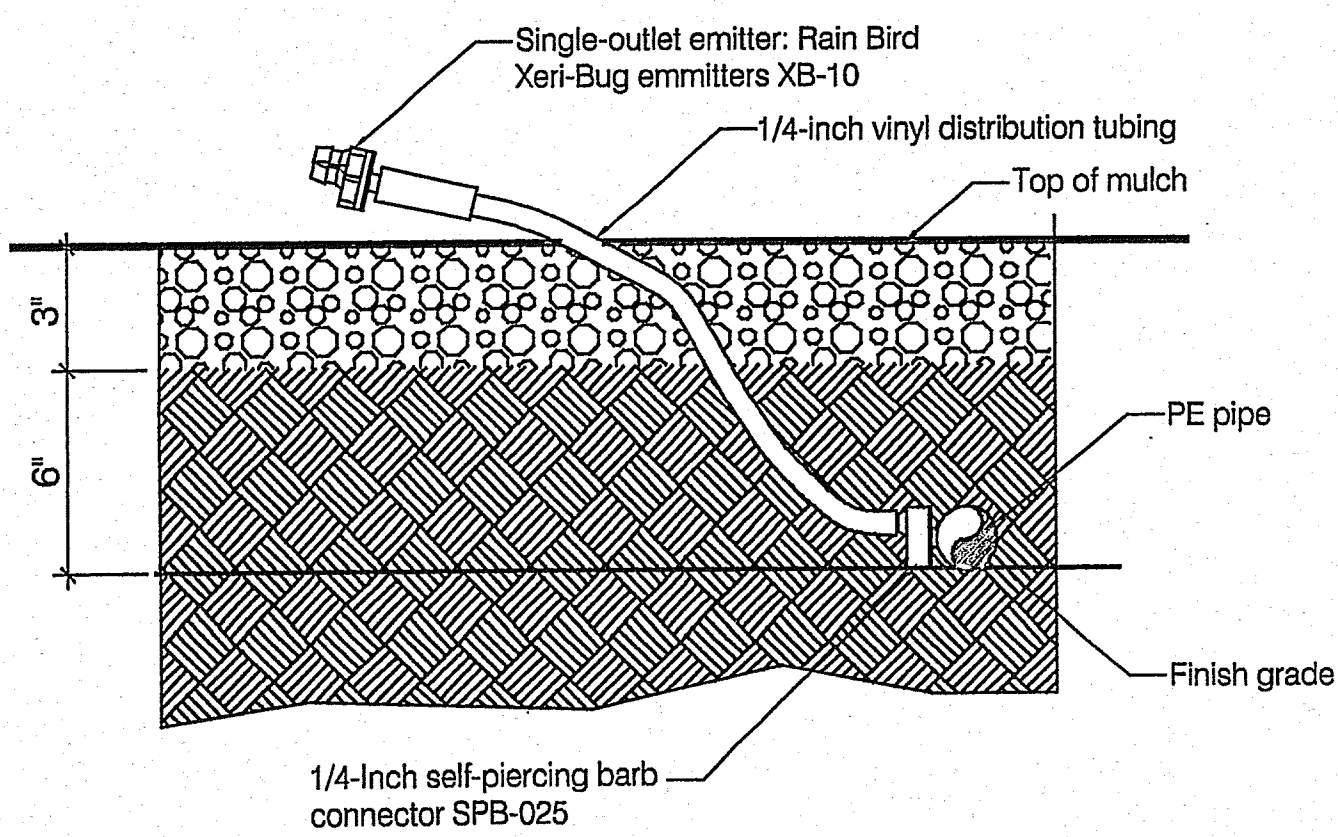
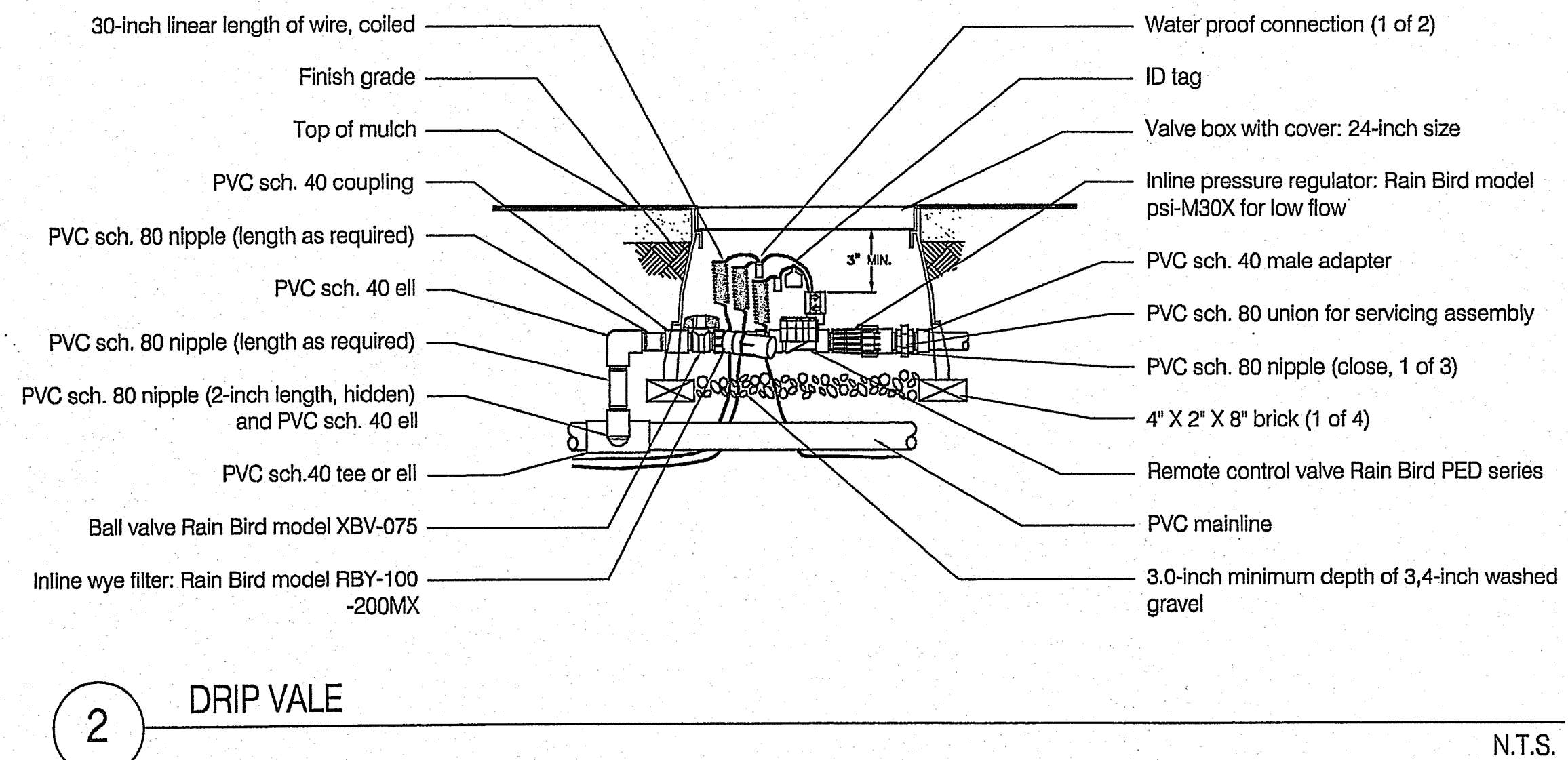
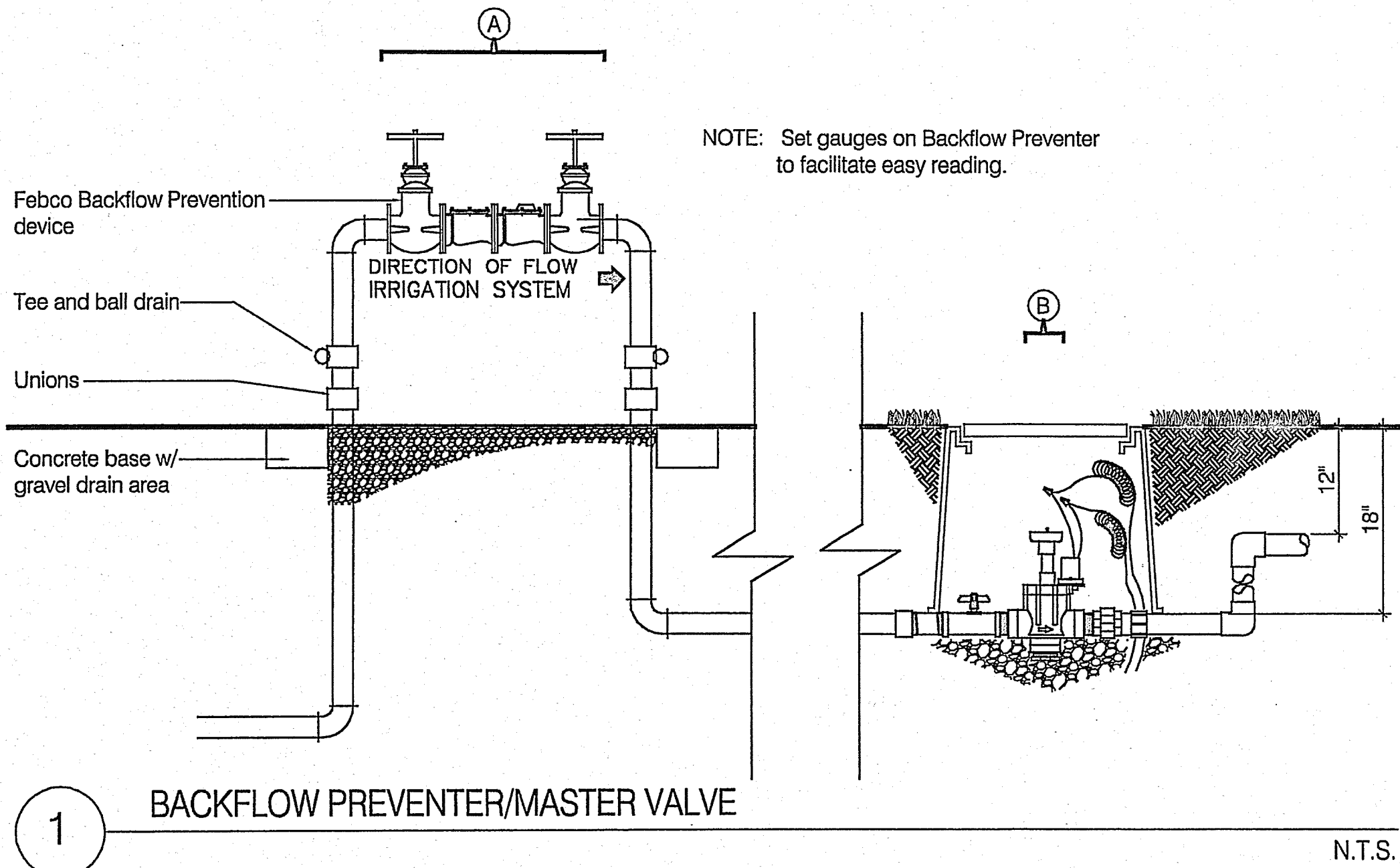
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PLANTING  
PLAN

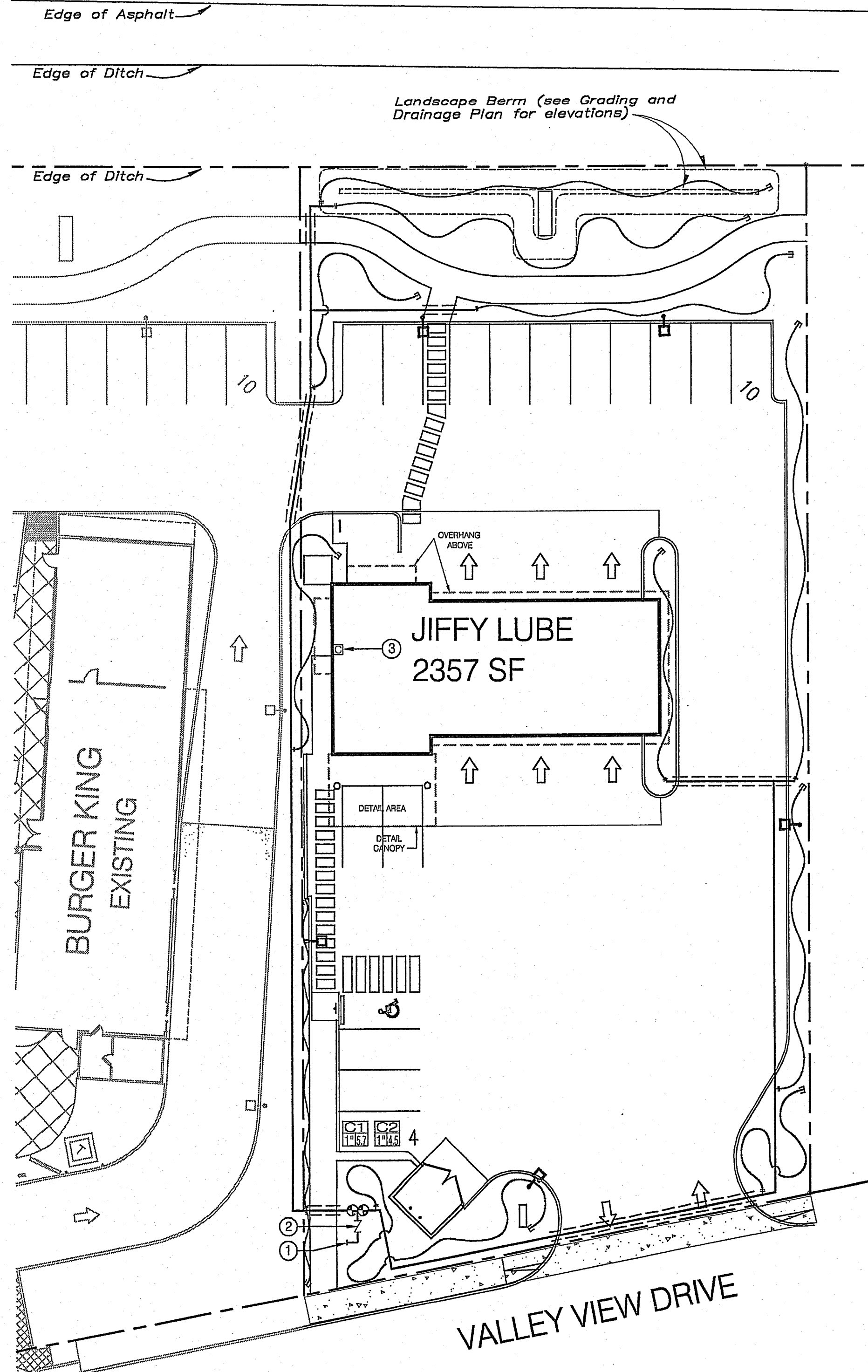
L2



NOTES:  
A. Johns-Manville model #825 "Febco" pressure vacuum breaker assembly (Note: Assembly must be approved by City).  
B. Automatic master valve (see Irrigation Legend).



## COORS BOULEVARD NW



### GENERAL IRRIGATION NOTES

1. The system design assumes a minimum static pressure of 60 PSI at the 1-inch point-of-connection. The irrigation contractor shall verify pressure and flow on site prior to construction.
2. The irrigation contractor shall become thoroughly familiar with the specifications for this and related work prior to construction.
3. The irrigation contractor shall determine the exact location of underground utilities and electrical wiring prior to construction.
4. The irrigation contractor shall not install the sprinkler system when it is obvious in the field that obstructions or grade differences exist that might not have been considered in the engineering, or if the discrepancies in construction details, legend, notes, or specifications are discovered. All such obstructions or discrepancies shall be brought to the attention of the Owner's Representative.
5. The drawings are diagrammatic. In some cases, irrigation components may be shown outside of planting areas for clarity. The irrigation contractor shall avoid any conflicts between the irrigation system, planting materials, and above ground utilities. Irrigation pipe and wiring shall be installed in landscaped areas whenever possible.

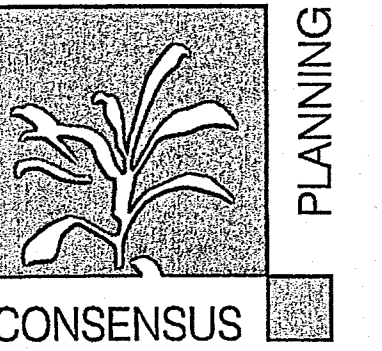
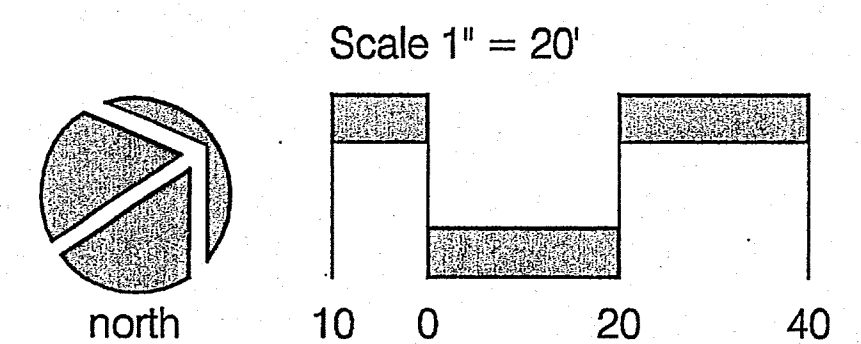
### IRRIGATION CONSTRUCTION NOTES

- ① Irrigation point-of-connection. Tap 1" domestic water line.
- ② Backflow Preventer/Master Valve - see Irrigation Legend. Final location shall be coordinated in the field with the Owner's Representative.
- ③ Controller location - see Irrigation Legend. Final location shall be coordinated in the field with the Owner's Representative.

### IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
==	Sleeving: Class 200 PVC (2 sizes larger than pipe to be sleeved)
Z	Backflow Prevention Assembly: Febco 825-3/4" Reduced Pressure Backflow Preventer w/Master Valve
—	Irrigation Mainline: Class 200 Bell End PVC (1", 18" Depth)
—	Lateral Pipe: Class 200 PVC, 12" Depth, 3/4" Unless Noted Otherwise
↪	Drip Irrigation Tubing: 3/4" Polyethylene Pipe, 6" Depth, w/Compression Fittings and Flush Cap
⊕	Automatic Drip Valve Assembly: Rain Bird PEB Series, Rain Bird RBY-100-200MX Wye Filter, and Rain Bird PSI-M30X Pressure Regulator
	Emitter Device: Rain Bird Xeri-Bug Emitters as Defined Below: Trees - (3) 5 GPH Pressure Compensating Modules PC-05 Emitters Each Shrubs - (1) 2 GPH Xeri-Bug XB-20 Emitters Each
⊠	Irrigation Controller: Rain Bird ESP-6LX Plus Controller (6 Station)
C2	Indicates Controller and Station Number
1" 1/2	Indicates Lateral Discharge in GPM
—	Indicates Remote Control Valve Size in Inches

ALBUQUERQUE  
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PLAN CHECK  
SECTION



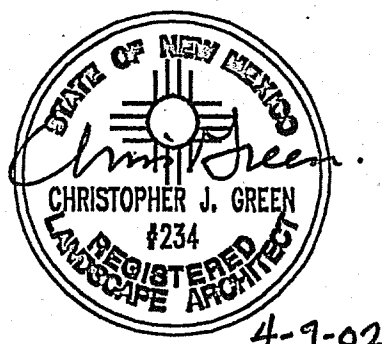
Landscape Architecture  
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Project Notes:

Jiffy Lube

Landscape Architect's Seal:



Designed By: CJG  
Drawn By: WMA  
Checked By: CJG  
Date: 3/21/02

Project No:

Sheet Title:

IRRIGATION  
PLAN

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