



Environmental Planning Commission

Staff Report

Agenda Item Number: 3
Project #: PR-2022-007851
Case #: SI-2022-02075
Hearing Date: December 15, 2022

Agent	DWL Architects
Applicant	Wat Prathat Doi Suthep Buddhist Temple of New Mexico
Request	Site Plan-EPC, Major Amendment
Legal Description	Tracts 33A, Block 10, Unit 10, La Mesa Addition Number 2
Location	320 Louisiana Blvd, NE corner of Louisiana Blvd. SE and Zuni Rd. SE
Size	Approximately 1.14 acres
Zoning	MX-M

Staff Recommendation

APPROVAL of PR-2022-007851, SI-2022-02075, based on the Findings beginning on Page 20, and subject to the Conditions of Approval beginning on Page 23.

**Senior Planner
Megan Jones, MCRP**

Summary of Analysis

This is a 2-part request is for a Major Amendment to the controlling Site Development Plan that would 1) allow development of an additional 5, 916 SF for a new multi-purpose building with associated site work, and

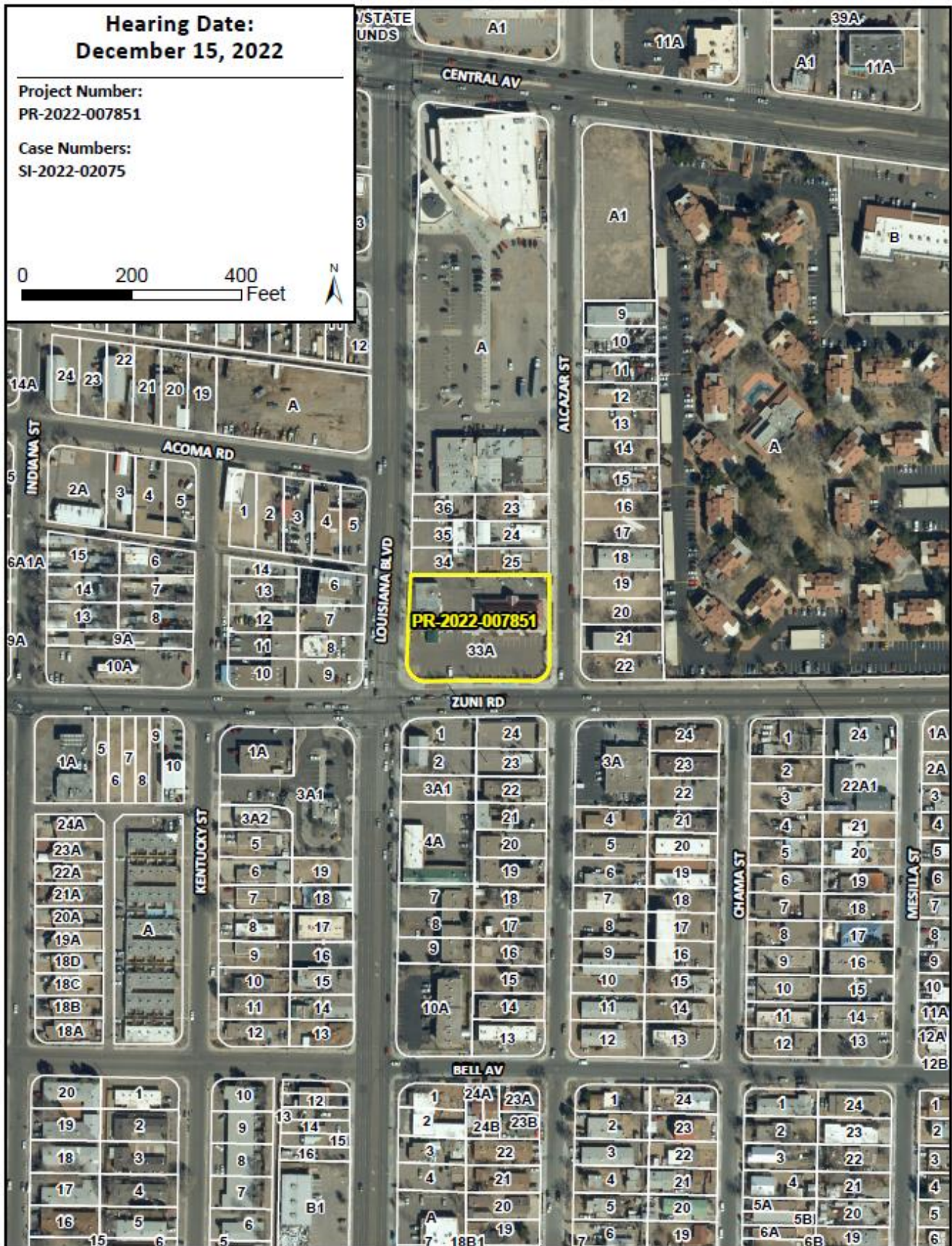
2) The applicant is requesting that the EPC relinquish their controlling authority over the governing site plan. The Site Plan would still be in effect, but subject to the IDO process for Site Plan Administrative review. The request requires Site Plan-EPC approval because the EPC was the original approving body.

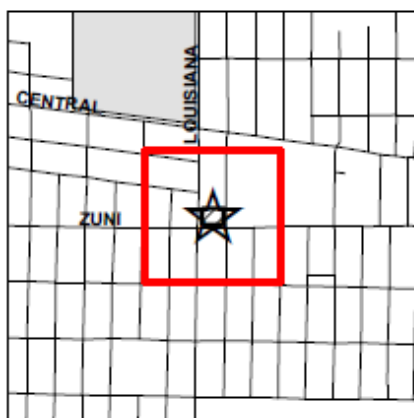
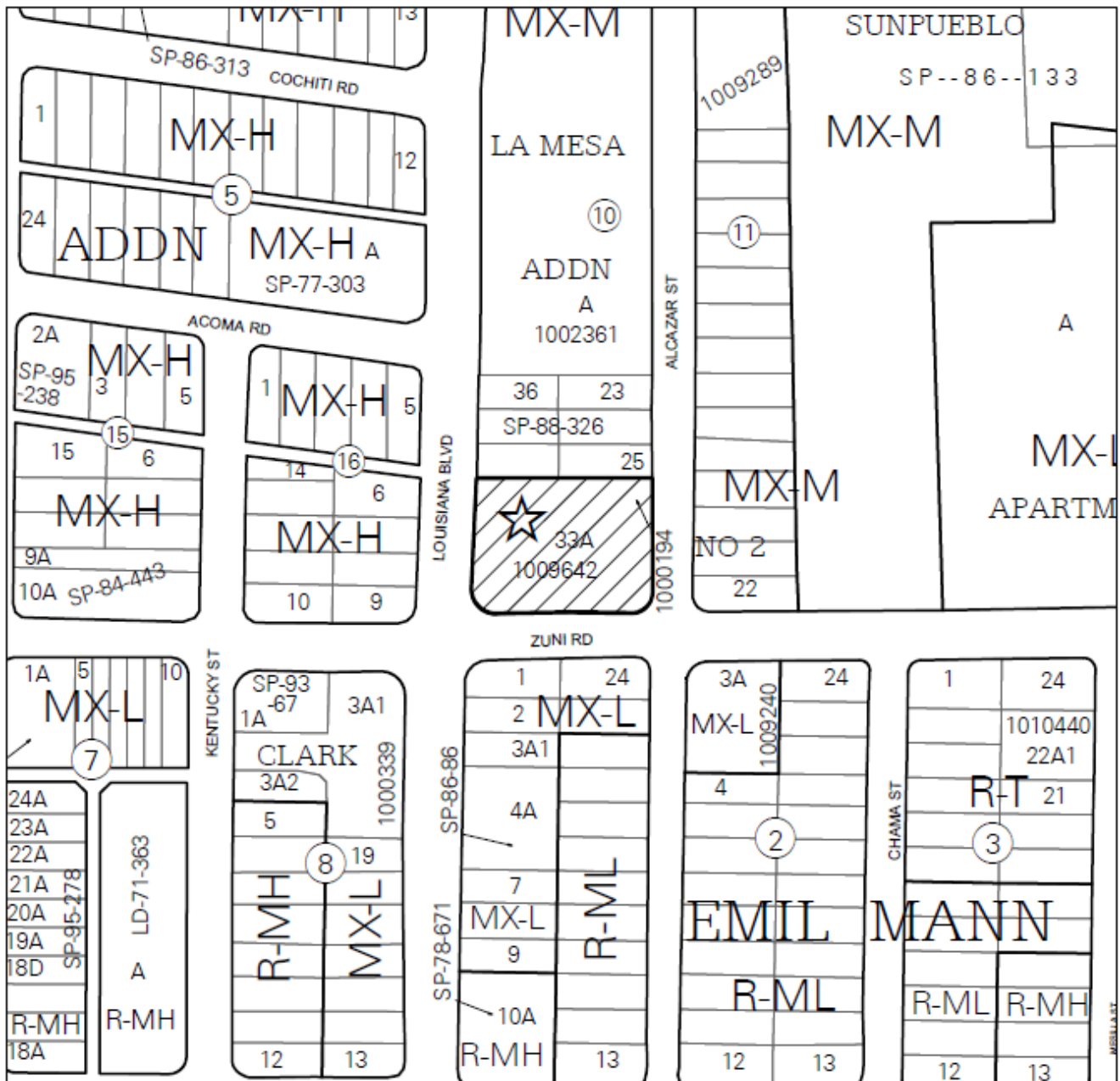
The subject site is in an Area of Change along the Louisiana Blvd. SE Major Transit Corridor, and is in the International Market Activity Center.

The applicant notified the Trumbull Village Association, South San Pedro NA, and the District 6 Coalition of NAs, and property owners within 100 feet of the subject site as required.

The applicant has adequately justified the request pursuant to the Site Plan-EPC criteria in 14-16-6-6(J)(3) for a major amendment. Staff is unaware of any opposition. Staff recommends approval subject to conditions to ensure that requirements are met.







IDO ZONING MAP

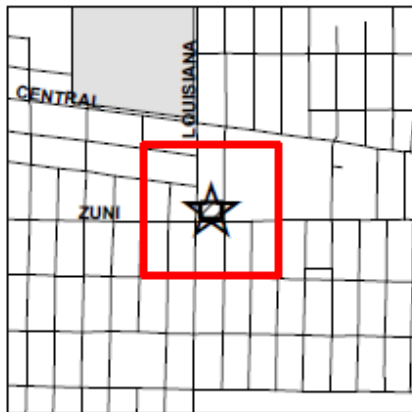
Note: Gray shading indicates County.



1 inch = 200 feet

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LAND USE MAP

Note: Gray shading indicates County.

- | | |
|----------------------------------|--------------------------------|
| LDRES Low-density Residential | APRT Airport |
| MULT Multi-family | TRANS Transportation |
| COMM Commercial Retail | AGRI Agriculture |
| CMSV Commercial Services | PARK Parks and Open Space |
| OFC Office | DRNG Drainage |
| IND Industrial | VAC Vacant |
| INSMED Institutional / Medical | UTIL Utilities |
| ED Educational | CMTY Community |
| | KAFB Kirtland Air Force Base |

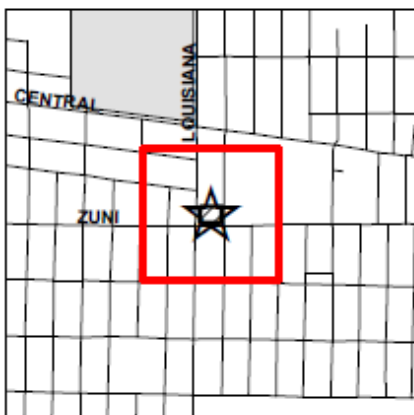
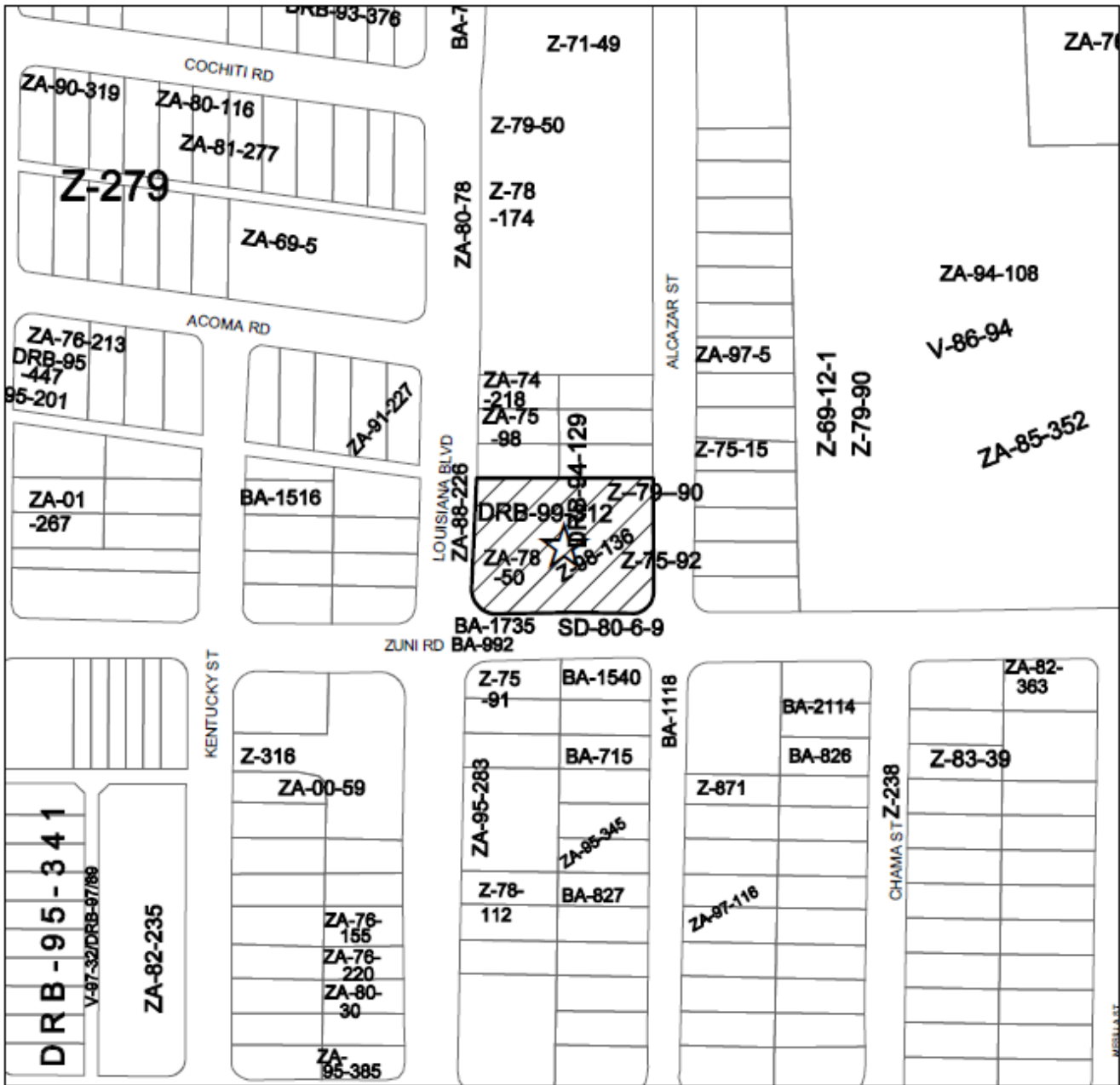


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HISTORY MAP

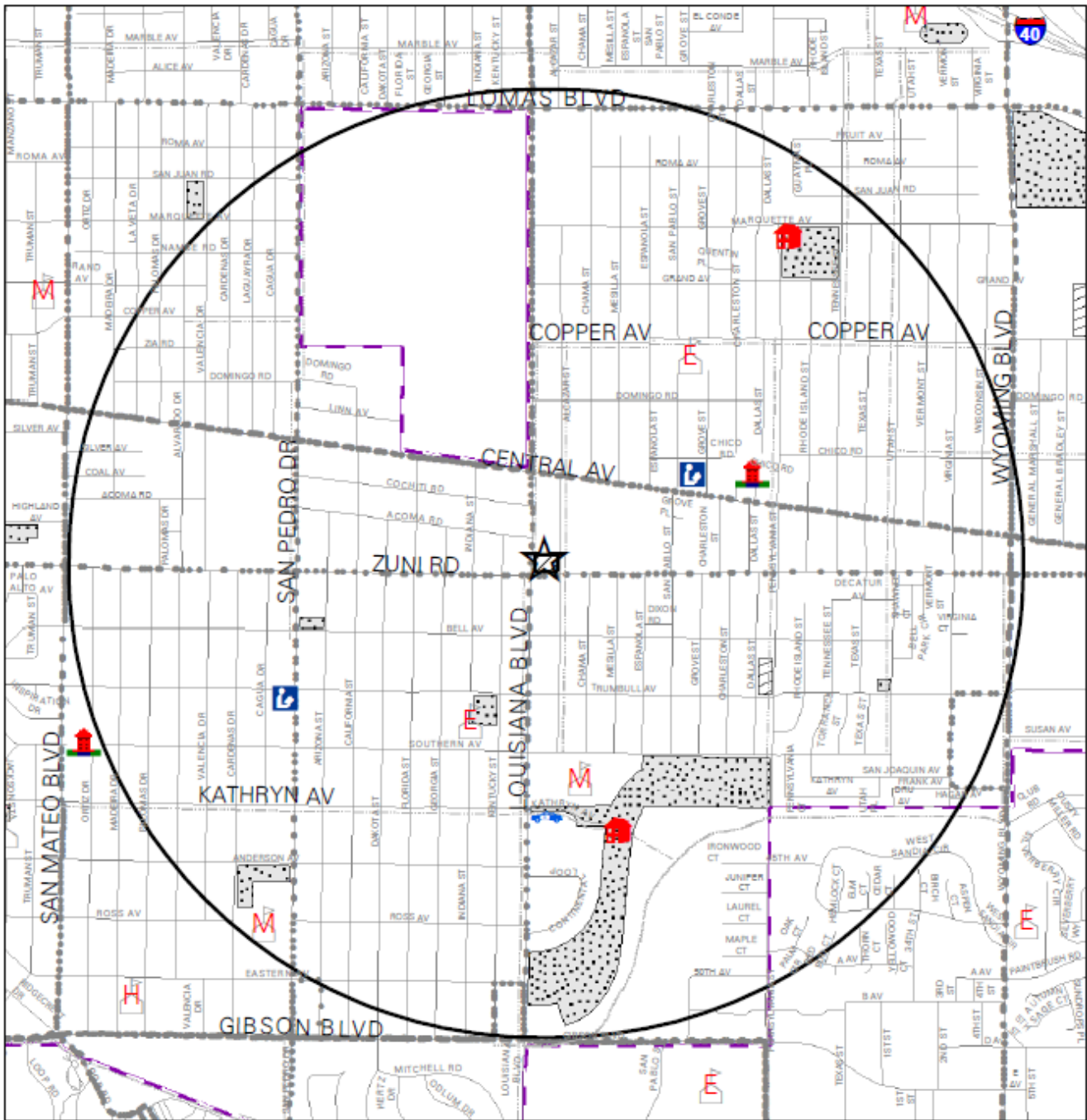
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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

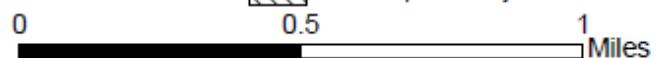


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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>Site</i>	MX-M	Area of Change	Religious Institution
<i>North</i>	MX-M	Area of Change	Commercial retail (Grocery Store) Low density residential (Dwelling, single-family detached)
<i>South</i>	MX-L	Area of Change	Office (Medical or dental) Utilities (electric)
<i>East</i>	MX-M	Area of Change	Multi-family, Dwelling
<i>West</i>	MX-H	Area of Change	Commercial retail (restaurant/general)

Request

This two-part request is for a Site Plan-EPC, Major Amendment for an approximately 1.14-acre site legally described as all or a portion of Tracts 33A, Block 10, Unit 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd, the NE corner of Louisiana Blvd. SE and Zuni Rd. SE (the “subject site”).

The applicant wishes to amend the controlling Site Development Plan to demolish the existing 2,613 SF building on the western portion of the subject site and develop a new 8,529 square foot multipurpose building for a dormitory use (Project # 1000194). The request would expand the originally approved Gross Floor Area (GFA) by 5,916 SF. The applicant is also requesting that the most recently approved plat be included with the amended site plan to be included in the record (see Project # 1009642 attached).

Third, the applicant is requesting that the EPC relinquish its controlling authority over the existing Site Development Plan, which would then be subject to IDO process and future amendments would be reviewed administratively.

The request requires Site Plan-EPC approval because the EPC was the original approving body of the controlling Site Development Plan. The DRB approved the site development plan for subdivision and site development plan for building permits upon approval of the specific site development plan from the EPC (PR 100194).

Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

EPC Role

The EPC is hearing this request (SI-2022-02075) because IDO Section 6-6(z)(1)(b) requires that major amendments shall be reviewed and decided by the decision-making body that issued the permit

or approval being amended. Additionally, major amendments return to the original approving body pursuant to 14-16-6-4(Y)(3).

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to City Council. The City Council would then make the final decision.

Context

The subject site is located in a developed area within the International Market Activity Center at the intersection of Louisiana Blvd. SE and Zuni Rd. SE. The site is currently developed with the existing religious temple on the eastern portion of the tract (approximately 6,000 SF) and with 2 buildings on the western portion of the tract which include a: 1,263 SF dorms and 1,350 multipurpose building.

The subject site is currently developed with landscaping and parking pursuant to the Site Development Plan design standards.

The subject site is characterized by a variety of surrounding land uses and is predominately characterized by commercial retail, commercial services, multi-family and low-density residential uses. Immediately north of the subject site is a Grocery Store, automotive shop, and barber shop. To the south is a Cannabis retail and Multi-family development. Across Alcazar to the east of the site is multi-family development and to the west of the site is a restaurant and automotive shop. The surrounding area is predominately zoned MX-H (Mixed-use -- High Intensity), MX-L (Mixed-use - - Low Intensity), and MX-M (Mixed-use -- Medium Intensity), with some R-ML (Residential – Multi-family Low density) to the southeast.

History

The EPC approved the controlling Site Development Plan on August 17, 2000 and the DRB approved the Site Plan for Subdivision and Site Development Plan for Building Permit on April 18, 2001 (PR 1000194). The Site Development Plans were approved for a 6,000 SF building utilized for religious purposes (Buddhist Temple) and an adjacent 2,613 SF multi-purpose building with dorms (Monks quarters and meditation rooms).

In September 2002, the EPC forwarded a recommendation of approval to the City Council for an Amendment to the Trumbull Sector Development Plan (TSDP) to add SU-2 for mixed use zoning that created a new sub-area within the TSDP that facilitated the development of an International Marketplace bounded by Louisiana Blvd. SE to Alcazar St. SE and Central Ave. To Zuni Rd. SE, which included the subject site (PR 1001920). The international Marketplace was created as a shopping district. The TSDP is no longer in effect and the International Marketplace is now considered and Activity Center in the Comprehensive Plan.

The original development was initially comprised of lot 27A, lot 33, and lot 32. In January of 2013, the subject site was replatted to include lots 28, 29, 30, and 3 which were consolidated into lot 33-A comprising 1.14 acres. The DRB approved this plat on May 6, 2013 (PR 1009642).

Upon adoption of the Integrated Development Ordinance (IDO) in May 2018, which replaced the City's zoning code, the subject site's zoning converted from the old zoning designation of C-2 (Community Commercial) to MX-M (Mixed-use – Medium Intensity).

No further history on the subject site is known.

Transportation System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Louisiana Blvd SE and Zuni Rd SE are classified as an urban principal arterial. Alcazar St. SE is classified as a local urban street.

Comprehensive Plan Designations

The subject site is in an Area of Change as designated by the Comprehensive Plan. It is within the International Market Activity Center as designated by the Comprehensive Plan. Activity Centers incorporate a mix of residential and convenient services at a neighborhood scale, serving neighborhoods within a 20-minute walk or short bike ride. (CABQ Comp Plan pg. 3-4).

The subject site is along and within 660' of the Louisiana Blvd. Major Transit Corridor. Major Transit Corridors are anticipated to be served by high frequency and local transit and prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the Centers they connect.

The subject site is within the Near Heights Community Planning Assessment Area (CPA). This CPA is a Centered around UNM, CNM, Central/Route 66, and is a gateway for Kirtland Airforce Base. It is characterized by its ethnic diversity in the International District and is comprised of large-scale development for UNM, Albuquerque International Sunport, and the Veterans Affairs complex which have varying architectural styles and building scale.

Overlay Zones

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed routes and trails.

Louisiana Blvd. SE is designated as a proposed buffered bike lane and Alcazar St. SE is a proposed bike route. Zuni Rd is developed with an existing bike lane.

Transit

The subject site is well served by transit. Louisiana Blvd. SE is serviced by the Louisiana and Montano Bike Route 157 which operated Monday through Friday at a peak frequency of 40 minutes. There is a Bus Stop adjacent to the site along the eastern side of Louisiana Blvd. that travels north. The closest bus stop that travels south is located south of Zuni Rd. along the west side of Louisiana Blvd.

Zuni Rd. SE is serviced by Bus Route 97 which operates Monday through Friday at a peak frequency of 60 minutes. There are parallel bus stops along Zuni Rd., one is adjacent to the subject site on the north side of Zuni Rd traveling west and one is on the south side of Zuni Rd. traveling east.

Public Facilities/Community Services

Please refer to the Public Facilities Map (Page 6), which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Areas of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Dormitory: A residence hall providing rooms for individuals or groups, with common spaces for living and cooking. Individual bedrooms may have a dedicated bathroom or shared bathrooms. Dormitories are often established with a university or college, vocational school, or sorority or fraternity. See also Club or Event Facility, University or College, and Vocational School.

Site-Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or non-residential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO would be determined based on the level of detail provided in the prior approval.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Religious Institution: A structure or place where worship, ceremonies, rituals, and education pertaining to a particular system of beliefs are held, together with its accessory buildings, that is operated, maintained, and controlled under the direction of a religious group. Incidental activities include, but are not limited to, school and recreational facilities, parking, caretaker's housing, religious leader's housing, philanthropic or humanitarian activities, and group living facilities such as convents or monasteries.

Zoning

The subject site is zoned *MX-M (Mixed-use – Medium Intensity Zone District, IDO 14-16-2-4(C))* which was assigned upon the adoption of the Integrated Development Ordinance (IDO) based upon prior zoning and land use designations C-2 (Community Commercial). The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in IDO Table 4-2-1, pages 143-148 of the IDO.

Pursuant to IDO Table 4-2-1: Allowable Uses, the proposed dormitory and existing religious institution uses are permitted.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation.

The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

In this case, Staff's analysis is based on goals and policies that the applicant included and added some, which are denoted with an *. Applicable Goals and Policies are listed below. Staff analysis follows in ***bold italics***.

Chapter 4: Community Identity

Policy 4.2.2- Community Engagement: Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents.

The request would facilitate the redevelopment of a mutli-purpose building on the subject site that would be utilized as a dormitory use and community gathering space for the existing religious institution. The proposed amendment would continue to encourage engagement opportunities for the surrounding community within the International District that utilize the existing space for community gathering events and religious purposes. The request would not directly contribute to facilitating interactions to identify and address the needs of all residents, therefor Policy 4.2.2 – Community Engagement is partially consistent with.

Chapter 5: Land Use

Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The specific amendment would allow an additional 5,916 SF of Gross Floor Area to the existing Site Development Pan for a Dormitory use that is associated with the current religious institution use. Since the subject site is located along the Louisiana Blvd. SE, Major Transit Corridor and is within the International Market Activity Center, the proposed future development would be utilized by existing residents on the site. Additionally, the subject site is located in an Area of Change which

allows for development that benefits the surrounding community. The redevelopment of a portion of the site could allow the religious institution to continue to capture congregation members from the surrounding International Market community and potential regional growth from the greater Albuquerque Metro, which the applicant has stated that the religious institution already does. The request would facilitate redevelopment of the site, which includes new fencing, landscaping, and lighting, that the surrounding community could utilize for community gathering purposes, therefore the request is generally consistent with Policy 5.1.1 – Desired Growth.

Policy 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The request would facilitate the proposed redevelopment of the subject site that would provide an amenity that could support the healthy lifestyle of the religious congregation by providing new amenities for the surrounding community to utilize. The request would allow additional GFA on the site could meet the needs of nearby residents to gather and hold community activities in the International Market Activity Center, which is intended to Activity Centers provide convenient, day-to-day services at a neighborhood scale to serve the surrounding area, which the request would help to facilitate. The request is generally consistent with Policy 5.1.6-Activity Centers.

*Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would continue to create a healthy and sustainable community because it would facilitate the proposed redevelopment on the subject site in an area with a mix of uses the surrounding distinct International District community utilizes. The subject site is conveniently accessible from surrounding neighborhoods and the applicant has stated that the religious institution and new mutli-purpose building g will be available for community use. The development made possible by the request would contribute to the distinct character of the surrounding community. The request is generally consistent with Policy 5.2.1 – Land Uses.

*Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request furthers this Goal because the amendment of the existing site development plan would facilitate development of the proposed site plan, which would be served by existing infrastructure and public facilities. The development made possible by the request would promote efficient development patterns and use of land that would remain consistent with the surrounding distinct community. The request is consistent with Goal 5.3 – Efficient Development Patterns.

*Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, in the International Market Activity Center and along the Louisiana Blvd. Major Transit Corridor, where growth is expected and desired. The request would encourage enable and direct growth to it. The request is generally consistent with Goal 5.6- City Development Areas.

Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The intent is to direct growth and more intense development to Centers, Corridors, and industrial and business parks. The amendment of the controlling Site Development Plan would partially further this policy because the subject site is located in an Area of Change, within the international Market Activity Center, and along the Louisiana Blvd. Major Transit Corridor. The request would facilitate the proposed redevelopment of a mixed-use medium intensity site, where growth is encouraged, therefore the request is partially consistent with Policy 5.6.2 – Areas of Change.

Chapter 7: Urban Design

Policy 7.3.2 - Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

The request would facilitate proposed development of a multi-purpose Dormitory, which would be developed pursuant to IDO Design Standards for its location in the International Market Activity Center and along a Major Transit Corridor, which encourages design strategies to make a safe and attractive place. The applicant has provided a proposed Site Plan which would reflect the design of the existing development on the subject site, therefore embracing the character and distinct identity of the surrounding International District community. The request is consistent with Policy 7.3.2 – Community Character.

Not Applicable

Policy 5.4.1- Housing near Jobs: Allow higher density housing and discourage single-family housing near areas with concentrated employment. [ABC]

The request would allow a dormitory use on the subject site which is allowed in the MX-M zone district, which is intended for moderate-density residential uses. Although the request would allow what is defined as a residence hall providing rooms for individuals or groups, with common spaces for living and cooking in the IDO, it does not necessarily provide high density housing near jobs (p. 556). The request will allow existing residents a renovated space to occupy and Policy 5.4.1 does not apply.

Policy 5.5.5- Semi-Urban Areas: Maintain the character and identity of the Semi-Urban areas that have environmental, social, or cultural conditions limiting urban land uses.

The subject site is not within a Semi-Urban Area. Semi-urban areas are unincorporated county parcels and are typically within Village centers and within County Development Areas that were formerly Rural Areas with more dense, clustered development that provide a transition between Rural and Developing or Established Urban Areas (Comp Plan – A-12) therefore this Policy does not apply.

Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)- Site Plan-EPC Review and Decision Criteria

IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, would be approved if it meets all of the following criteria:

- 6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.
As demonstrated by the policy-based analysis (see above), the request is generally consistent with applicable Comprehensive Plan Goals and policies.
- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.
The subject site is zoned MX-M. Therefore, the above criterion does not apply.
- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.
With the application of conditions of approval, the site plan would comply with all applicable provisions of the IDO.
- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.
The proposed new development would utilize existing infrastructure and public utilities on the property. The City's existing infrastructure has adequate capacity for the proposed development and a water availability statement has been approved by the ABCWUA for the site.
- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.
The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has stated that efforts to mitigate adverse impacts on the subject site and surrounding area have been proposed through landscape improvements, grading improvements, and new accessible routes.
- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.
The subject property is not within a Master Development Plan, therefore this criterion does not apply. The applicant has stated that the proposed development complies with the Near Heights MRA standards.
- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development

would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

III. SITE PLAN MAJOR AMENDMENT

Request

This two-part request is for a Major Amendment to the controlling Site Development plan.

1. The approval of this request would allow the existing buildings comprised of 2,613 SF on the western portion of the subject site to be demolished and redeveloped with a new 8,529 square foot multi-purpose building for a dormitory use. The request requires Site Plan-EPC approval because 1) the EPC was the original approving body of the Site Development Plans and 2) the request would expand the originally approved gross floor area (GFA).
 - The proposed amendment would expand the existing gross floor area approved by the controlling site development plan by 5, 916 square feet, which is over 25% of the originally approved GFA.
 - Additional landscaping, parking, bike parking, fencing with lighting, a dumpster, new curbs and a drainage pond is being provided.
 - The applicant is requesting that the plat approved in 2013 (PR # 1009642) is included in the record as an attached exhibit with the proposed amended site plan (see attached).
2. The applicant is requesting that the EPC relinquish its controlling authority over the existing Site Development Plans so that any future amendments would be subject to IDO processes and require an administrative approval.

The applicant is following IDO Development Standards for their Site Plan Major Amendment request. The controlling site development plan for subdivision was implemented before the adoption of the IDO; therefore, IDO zoning requirements are more stringent than the controlling site plan.

In addition to the IDO Design Standards, the proposed site plan amendment is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval. The site plan and related drawings were revised based on Staff and Agency Comments and were received on November 30, 2022. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

Site Plan Layout/Configuration

The applicant proposes to develop a 8,529 SF dormitory and multipurpose building where the existing 2,613 SF buildings are located on the western portion of the subject site. The applicant is requesting that existing buildings be demolished and redeveloped because they do not have sufficient space and need upgrading both internally and externally.

Additional site work will be included on the subject site, which includes new fencing with lighting and landscape improvements to meet IDO standards. (see attached Site Plan).

Pedestrian, Bicycle and Transit Access

The request would not change any existing infrastructure that would affect pedestrian bicycle or Transit Access. There is adequate sidewalk infrastructure along the boundaries of the subject site, which provide walkability throughout the international Marketplace.

A new accessible route is proposed along the Louisiana Blvd. street frontage. A new ADA accessible crosswalk and two ADA ramps are proposed that provides access from the proposed new building to the existing building on the East site of the tract.

There is an Existing Bike Trail along on Zuni Rd SE and proposed bike lanes on Louisiana Blvd and Alcazar St. The subject site is well served by transit. Louisiana Blvd. SE and Zuni Rd. SE are both serviced by ABQ Bus Routes.

Vehicular Access, Circulation and Parking

The site can be accessed from one gate entrance on Louisiana Blvd. and two gate entrances on Alcazar St. SE. Accessible pedestrian access is available from Louisiana Blvd. and from Alcazar St. SE. There is also an Access Easement Agreement for a shared private drive located on the Northern neighboring property that the Religious institution utilizes.

No new parking is proposed for the site. The Site Plan meets IDO standards pursuant to IDO 14-16-5-5 Parking and Loading.

A new bicycle rack with 4 bike spaces is being proposed, which meets IDO Table 5-5-5: Minimum Bicycle Parking Requirements. See Site Plan detail sheet attached.

Landscaping, Buffering and Screening

An additional 2,284 SF of landscaping is being added on the western edge of the site near Louisiana Blvd. SE and along the edge of the site at the intersection of Louisiana Blvd. and Zuni Rd. SE with 951 SF of street landscaping. The existing 3,812 SF of landscaping currently on the site bring the total landscaping to 7,047 SF or 18% of the net lot area of the subject site. 15% is required to be landscaped.

The applicant must show that the required 75% of ground cover is being provided.

The proposed site plan is in compliance with IDO landscaping calculation requirements. Existing landscaping includes tree and ground cover.

Walls/Fences and Lighting

There is existing privacy fencing surrounding the north east and south edges of subject site subject site. New fencing is proposed along the western edge of the site to match existing fencing. The new proposed fencing includes light features that are to match the existing fencing with lights on the subject site. No additional lighting is being proposed.

The applicant must dimension distance between proposed light fixtures.

The request includes a proposed dumpster and enclosure on the south side of the site between the new proposed building and existing building. The enclosure is an 8' Masonry wall and gate that matches the existing stucco building on the site. See detail sheet.

Building Design

The applicant has followed IDO Development Standards 14-16-5-11 for building design; heights, setbacks, colors, materials, etc. for this request. The proposed building is proposed to match the design of the existing building.

The proposed building follows façade design regulations pursuant to IDO 14-16-5-11(E) Standards for building design; setbacks, colors, materials, etc. for this request. Building heights comply with the IDO Table 2-4-5 for MX-M Zone District Dimensional Standards.

Grading & Drainage Plan

The proposed site plan amendment proposes a new water harvesting area on the western edge of the subject site. All inlets flow to the existing system. All drainage generally flows across the site from east to west. Grading is ADA compliant.

V. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application. Few agency comments were received. Agency Comments received were based upon the initial application submittal on November 7, 2022. Staff has based their analysis on the revised plans submitted on November 30, 2022.

APD has provided comments based on Crime Prevention through Environmental Design. Please see attached comments. Any comments needing to be addressed will be listed as a condition.

Albuquerque Solid Waste noted that the site plan approved for access signed by the Solid Waste Department will be required.

PNM provided standard comments and noted that the applicant needs to add any existing and/or new PNM easements and facilities to the amended Site Plan and any resulting Plat and that they should coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected, registered neighborhood organizations are

the Trumbull Village Association, South San Pedro neighborhood association, and the District 6 Coalition of Neighborhood associations, which were notified as required. Property owners within 100 feet of the subject site were also notified, as required (see attachments).

A pre-submittal neighborhood meeting was offered and a facilitated meeting was offered with no requests or no known objections.

As of this writing, Staff has not received any comments in support or opposition to the request.

VI. CONCLUSION

The applicant proposes a Major Amendment to the controlling Site Development plans for an for an approximately 1.14-acre site at the NE corner of Louisiana Blvd. SE and Zuni Rd. SE (the “subject site”).

This two-part request consists of the amendment to the controlling Site Development Plans to demolish the existing 2,613 SF building on the western portion of the subject site and develop a new 8,529 square foot multipurpose building for a dormitory use (PR 1000194). The request would expand the originally approved Gross Floor Area (GFA) by 5,916 SF. Along with this request the most recently approved plat (PR # 1009642) is included in the record as an attached exhibit with the proposed amended site plan (see attached). Second, the applicant is requesting that the EPC relinquish its controlling authority over the existing Site Development Plans, which would then be subject to IDO processes and any future amendments would be reviewed administratively.

The EPC is hearing this request because they are the original approving body of the controlling Site Development plan.

The subject site is zoned MX-M (Mixed-use – Medium Intensity) and is located within the International Market Activity Center. It is within an area of change along Louisiana Blvd. SE, a Major Transit Corridor as designated by the Comprehensive Plan.

The applicant has adequately justified the request pursuant to the Site Plan-EPC criteria in 14-16-6-6(J)(3) for a major amendment and the request generally furthers applicable Comprehensive Plan policies regarding Community Identity, Land Use and Urban Design. Staff is unaware of opposition to the request.

Generally, not finding any conflicts with the IDO or other regulations, Staff recommends APPROVAL subject to conditions needed to improve clarity and compliance.

FINDINGS – SI-2022-02075, Site Plan-EPC, December 15, 2022

1. The request is for a Site Plan-EPC, Major Amendment for an approximately 1.14-acre site legally described as all or a portion of Tracts 33A, Block 10, Unit 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd. SE, at the NE corner of Louisiana Blvd. SE and Zuni Rd. SE (the “subject site”).
2. The subject site is zoned MX-M (Mixed-use Medium Intensity), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned C-2 (Community Commercial).
3. The request requires Site Plan-EPC approval because the EPC was the original approving body of the controlling Site Development Plan and the expansion increases the gross floor area over 25 percent of the originally approved gross floor area.
4. The applicant wishes to amend the controlling Site Development Plans to demolish the existing 2,613 SF building on the western portion of the subject site and develop a new 8,529 square foot multipurpose building for a dormitory use (Project # 1000194). The request would expand the originally approved Gross Floor Area (GFA) by 5,916 SF.
5. The applicant is requesting that the most recently approved plat (PR # 1009642) is included in the record as an attached exhibit with the proposed amended site plan.
6. The applicant is requesting that the EPC relinquish its controlling authority over the existing Site Development Plans, which would then be subject to IDO processes and any future amendments would be reviewed administratively.
7. The subject site is located in an Area of Change as designated by the Comprehensive Plan and is part of the Near Heights Community Planning Area (CPA).
8. The subject site is located on a Major Transit Corridor, Louisiana Blvd. SE and is within the International Market Activity Center.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Desired Growth and Efficient Development patterns from Chapter 5: Land Use
 - A. Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The specific amendment would allow an additional 5,916 SF of Gross Floor Area to the existing Site Development Plan for a Dormitory use that is associated with the current religious institution use. Since the subject site is located along the Louisiana Blvd. SE, Major Transit Corridor and is within the International Market Activity Center, the proposed future

development would be utilized by existing residents on the site. Additionally, the subject site is located in an Area of Change which allows for development that benefits the surrounding community. The redevelopment of a portion of the site could allow the religious institution to continue to capture congregation members from the surrounding International Market community and potential regional growth from the greater Albuquerque Metro, which the applicant has stated that the religious institution already does. The request would facilitate redevelopment of the site, which includes new fencing, landscaping, and lighting, that the surrounding community could utilize for community gathering purposes.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would continue to create a healthy and sustainable community because it would facilitate the proposed redevelopment on the subject site in an area with a mix of uses the surrounding distinct International District community utilizes. The subject site is conveniently accessible from surrounding neighborhoods and the applicant has stated that the religious institution and new multi-purpose building will be available for community use. The development made possible by the request would contribute to the distinct character of the surrounding community.

- C. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request furthers this Goal because the amendment of the existing site development plan would facilitate development of the proposed site plan, which would be served by existing infrastructure and public facilities. The development made possible by the request would promote efficient development patterns and use of land that would remain consistent with the surrounding distinct community.

11. The request is consistent with the following Comprehensive Plan Goal and Policy regarding Activity centers and City Development Areas from Chapter 5: Land Use

- A. Policy 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The request would facilitate the proposed redevelopment of the subject site that would provide an amenity that could support the healthy lifestyle of the religious congregation by providing new amenities for the surrounding community to utilize. The request would allow additional GFA on the site could meet the needs of nearby residents to gather and hold community activities in the International Market Activity Center, which is intended to Activity Centers provide convenient, day-to-day services at a neighborhood scale to serve the surrounding area, which the request would help to facilitate.

- B. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area*.

The subject site is located in an Area of Change, in the International Market Activity Center and along the Louisiana Blvd. Major Transit Corridor, where growth is expected and desired. The request would encourage enable and direct growth to it.

12. The request is consistent with the following Comprehensive Plan Policy from Chapter 7: Urban Design

Policy 7.3.2 - Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

The request would facilitate proposed development of a multi-purpose Dormitory, which would be developed pursuant to IDO Design Standards for its location in the International Market Activity Center and along a Major Transit Corridor, which encourages design strategies to make a safe and attractive place. The applicant has provided a proposed Site Plan which would reflect the design of the existing development on the subject site, therefore embracing the character and distinct identity of the surrounding International District community

13. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-M; therefore, this criterion does not apply.
- C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan would comply with all applicable provisions of the IDO.
- D. 14-16-6-6(J)(3)(d) The proposed new development would utilize existing infrastructure and public utilities on the property. The City's existing infrastructure has adequate capacity for the proposed development and the ABCWUA has approved a water availability statement for the subject site.
- E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has stated that efforts to mitigate adverse impacts on the subject site and surrounding area have been proposed through landscape improvements, grading improvements, and new accessible routes.
- F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan, therefore this criterion does not apply. The applicant has stated that the proposed development complies with the Near Heights MRA standards.
- G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

14. The affected, registered neighborhood organizations are the Trumbull Village Association, South San Pedro neighborhood association, and the District 6 Coalition of Neighborhood associations which were notified as required. Property owners within 100 feet of the subject site were also notified, as required.
15. The applicant should coordinate with the Albuquerque Police Department regarding comments provided for Crime Prevention through Environmental Design.
16. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
17. The applicant has demonstrated that there were no requests for a public meeting concerning this project.
18. As of this writing, Staff has not received any comment in support or opposition to the request.

RECOMMENDATION – PR-2022-007851, SI-2022-02075, December 15, 2022

APPROVAL of Project # 2022-007851, SI-2022-02075, a Site Plan-EPC for all or a portion of Tracts 33A, Block 10, Unit 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd, between Louisiana Blvd. SE and Zuni Rd. SE, approximately 1.14 acres (K-19-Z), based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – SI-2022-02075

1. The EPC delegates final sign-off authority of this site development plan to the Site Plan-Administrative Process as per IDO Section 6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff planner prior to submitting for Building Permit.
3. Landscaping: The applicant must show that the required 75% of ground cover is being provided.
4. Site Plan: Site Plan must show all required dimensions including dimensions between light fixtures.
5. Wall/Fence height shall be subject to IDO standards unless a variance is obtained.
6. Elevations shall specify building materials and colors.
7. **CONDITIONS FROM THE SOLID WASTE MANAGEMENT DEPARTMENT**
 - A. A site plan approved for access signed by the Solid Waste Department will be required.
 - B. The trash enclosure will have to meet the City of Albuquerque's minimum requirements

8. CONDITIONS FROM PNM

- A. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - B. Any existing and/or new PNM easements and facilities need to be reflected on this Site Plan.
 - C. Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.
 - D. Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.
 - E. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.
-

Megan Jones

**Megan Jones, MCRP
Senior Planner**

Notice of Decision CC list:

DWL Architects, w.eastman@dwlnm.com

Dillon Romero, DWL Architects, d.romero@dwlnm.com

Wat Prathat Doi Suthep Buddhist Temple of New Mexico, mimysingvilay@gmail.com

Trumbull Village Association, Joanne Landry, landry54@msn.com

Trumbull Village Association, Alyce Ice, alyceice@gmail.com

South San Pedro NA, Zabdiel Aldaz, zabdiel505@gmail.com

South San Pedro NA, Khadijah Bottom, khadijahasili@vizionz.org

District 6 Coalition of NAs, Patricia Willson, info@willsonstudio.com

District 6 Coalition of NAs, Mandy Warr, mandy@theremedyspa.com

Legal, Dking@cabq.gov

EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

Long Range Planning

No comments were provided.

CITY ENGINEER

Transportation Development Review Services

Hydrology

New Mexico Department of Transportation (NMDOT)

Department of Municipal Development (DMD)

Traffic Engineering Operations (Department of Municipal Development)

Street Maintenance (Department of Municipal Development)

ABC WATER UTILITY AUTHORITY (ABCWUA)

1. No adverse comment.
2. Refer to executed Availability Statement #221002 for conditions to receive new service.

SOLID WASTE MANAGEMENT DEPARTMENT

A site plan approved for access signed by the Solid Waste Department will be required. The trash enclosure will have to meet the City of Albuquerque's minimum requirements. Please refer to <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordsfont14.pdf> for minimum requirements.

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)

There are PNM facilities and/or easements along the Alcazar St and Zuni Rd frontages. There are also PNM facilities that bisect the site in a north-south orientation.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat.

Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.

Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

ABO RIDE

No comment.

**ENVIRONMENTAL HEALTH DEPARTMENT
Air Quality Division**

Environmental Services Division

Parks and Recreation (PRD)

Open Space Division (OSD)

City Forester

Police Department/Planning/Crime Prevention Through Environmental Design (CPTED)

Regarding the proposed site plan for Wat Prathat Doi Suthep Buddhist Temple of New Mexico, I (aura Kuehn, NCPS, ICPS - Crime Prevention/Crime Free Programs) respectfully submit the following comments based on Crime Prevention through Environmental Design:

- Ensure adequate lighting throughout the project, to include parking lots, pedestrian walkways, and common areas.

- Ensure natural surveillance and clear lines of sight throughout the property. Natural surveillance requires a space free from natural and physical barrier (i.e. open picket vs. solid fences).
- Establish a clear line of sight from the parking areas to the buildings and from the buildings the parking areas.
- Ensure that landscaping is installed so as not to obstruct windows, doors, entryways lighting.
- Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.
- Ensure adequate locking devices (i.e. commercial grade deadbolt locks or electronic locks) on exterior doors.
- Ensure that addresses are posted and clearly visible.
- Limit and clearly delineate access to the property – i.e. public vs. private entrances.
- Consider video surveillance systems to monitor the office space, including entrance and exit points, parking lots, and any sensitive areas such as storage areas. Utilize video surveillance to enhance visibility to areas of reduced natural surveillance.
- Clearly delineate public, semi-public, semi-private, and private space throughout the project.
- Install *No Trespassing* signs that cite the City Ordinance so that they are visible immediately upon entering the property.

If you have any questions regarding these CPTED recommendations, please call me at 768-2006. I am available to do an on-site security survey after the project is complete.

Fire Department/Planning

Comments from Other Agencies

ALBUQUERQUE PUBLIC SCHOOLS

No adverse impacts.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse comments.

COUNTY OF BERNALILLO

No adverse comments.

PLANNING AND DEVELOPMENT SERVICES

No adverse comments.

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

BERNALILLO COUNTY PUBLIC WORKS/TRANSPORTATION PLANNING

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT
PETROGLYPH NATIONAL MONUMENT**

AVIATION DEPARTMENT

KIRTLAND AIR FORCE BASE

No comments.



Figure 1: Looking at the subject site from the NE corner of Zuni & Louisiana.



Figure 2: Looking west at the subject site from Alcazar St. at existing parking, fencing, and access.



Figure 3: Looking SE at the existing building on the western portion of the subject site, which is proposed to be demolished and redeveloped.



Figure 4: Sign posting at the NE corner of Louisiana and Zuni

HISTORY



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 20, 2002

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project 1001920**
02EPC-00644 Zone Map Amendment
02EPC-00825 Amendment to the Trumbull SDP

City of Albuquerque
Albuquerque Development Services
c/o Richard Asenap
P.O. Box 1293
Albuquerque, NM 87103

LEGAL DESCRIPTION: Request the above action(s), an Amendment to the Trumbull Sector Development Plan, and a Zone Map Amendment from C-1, C-2, R-3 to SU-2 for Mixed Use for Lots 1-22, Block 11, Lots 1A, C1, D1, E1, 20, 23-25, 28-31, 35, 36, and 45, Block 10, **La Mesa No. 2**, located south of Central, East of Louisiana SE, North of Zuni, Both sides of Alcazar Street SE containing approximately 11.3 acres. (L-15)
Makita Hill, Staff Planner

On September 19, 2002 the Environmental Planning Commission voted to Recommend Approval to the City Council of Project 1001920 / 02EPC-00825, an Amendment to the Trumbull Sector Development Plan, based on the following Findings:

FINDINGS:

1. This is a request for an amendment to the *Trumbull Neighborhood Sector Development Plan (TNSDP)* to add a new zone designation: SU-2 for Mixed Use. This request creates a sub-area within the *TNSDP* that is designed to facilitate the development of an International Marketplace.
2. This area was designated as a Community Activity Center as a result of a Metropolitan Redevelopment planning process. This process resulted in the Trumbull Neighborhood area receiving the designation as a Metropolitan Redevelopment Area in accordance with the Metropolitan Redevelopment Code and authorizes municipal acquisition, ownership, lease and improvement of properties within "slums" or "blighted areas".
3. The amendment furthers the goals of the Albuquerque/Bernalillo County Comprehensive Plan by locating intensity and design of new development which respects existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural or recreational concern (Policy d), by planning land adjacent to arterial streets to minimize harmful effects of traffic, improving livability and safety of established residential neighborhoods and protecting the surrounding areas in transportation planning operations (Policy k), and by encouraging quality and innovation in design in all new development which is appropriate to the plan area (Policy l)
4. The subject site is located on two Major Transit Corridors and an Enhanced Transit Corridor.

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001920 / 02EPC-00644 & 02EPC-00825

September 20, 2002

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2. The approval of any renovation or other construction project adversely affecting the capacity or functional character of Louisiana Boulevard, a principal arterial, shall be considered conditional until the appropriate transportation and air quality analysis have been completed, and the matter of long term (20-year) effects of the proposed changes to the regional roadway system have been reviewed and approved by the Urban Transportation Planning Policy Board of the Middle Rio Grande Council of Governments. Items that may adversely affect the capacity or functional characteristics of Louisiana Boulevard include, but are not limited to, the following: reduction in vehicle travel lanes, on-street parking, median bump-outs and raised medians within Louisiana Boulevard.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **OCTOBER 4, 2002** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001920 / 02EPC-00644 & 02EPC-00825

September 20, 2002

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5. The amendment furthers the policies of the Centers and Corridors amendments to the Comprehensive Plan because the request involves reviewing zoning and codes for revisions necessary to facilitate private land use development and redevelopment of mixed use concentrations of housing and employment that supports transit and pedestrian activity (Policy a.1.), and an activity center location shown on the Comprehensive Plan map, and its predominate use in accordance with its unique roles and expected needs of the community will be developed in accordance with more specific sub-area planning efforts (Policy g), multi-unit housing is an appropriate use in neighborhood, community and major activity centers (Policy i), and the City will structure capital expenditures and land use regulations in support of creating multi-use activity centers, and will promote ongoing public/private cooperation necessary for private market conditions that support the development and functioning of centers (Policy j).
6. The request complies with the goals of the Trumbull Neighborhood Sector Development Plan which are to encourage a quality urban environment by developing neighborhood sector plans that are based on active citizen involvement (Preamble, sector plan adopting resolution).
7. The request meets the objectives of the Trumbull Neighborhood Sector Development Plan to "encourage mixed uses in the area between Central Avenue and Zuni Road" (page 5) and to "encourage new neighborhood oriented commercial development and other employment-generating activities, especially between Zuni and Central" (page 6) as well as evaluating development between Zuni Road and Central Avenue to encourage mixed-use, neighborhood-oriented development.
8. Minor comments regarding landscaping are needed from the applicant to insure compliance with existing Zoning Code standards.
9. Adjacent neighborhood associations support the request.

CONDITIONS:

1. The submittal of this plan to the DRB shall meet all City Council directives. A letter shall accompany the submittal, specifying all modifications that have been made in response to the City Council hearing, including how the site plan has been modified to meet each of the conditions. Unauthorized changes to this proposal, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A requirement shall be added reflecting the Zoning Code requirement: All planting beds 36 square feet or larger in size shall have 75% coverage of living vegetation at time of maturity. Gravel mulch and tree canopies do not count toward this requirement.

On September 19, 2002 the Environmental Planning Commission voted to Recommend Approval to the City Council of Project 1001920 / 02EPC-00644, a Zone Map Amendment from C-1, C-2, R-3 to SU-2 for Mixed Use for Lots 1-22, Block 11, Lots 1A, C1, D1, E1, 20, 23-25, 28-31, 35, 36, and 45, Block 10, La Mesa No. 2, based on the following Findings and subject to the following Condition:

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001920 / 02EPC-00644 & 02EPC-00825

September 20, 2002

Page 3

FINDINGS:

1. This is a request for zone map amendment from C-1, C-2, and R-3 to SU-2 for Mixed Uses for an area bounded by Central Avenue, Louisiana Boulevard, Zuni Road and Alcazar Street. This request creates a sub-area within the *Trumbull Neighborhood Sector Development Plan* that is designed to initiate the development of an International Marketplace.
2. The SU-2 for Mixed Uses zone is justified as per Resolution 270-1980 as it would be more advantageous to the community than the existing zoning because it would allow a mix of uses envisioned in the *Metropolitan Redevelopment Plan*, including parking and landscape requirements consistent with the district's urban location. The existing conditions of the site are blighted and the zone map amendment would aide in producing a design that will encourage a pedestrian oriented commercial district with an international flavor, as articulated in the *Comprehensive Plan* (Policies d and l). The SU-2 for Mixed Use zoning is justified as per R-270-1980 as it will provide the means to develop a mixed use community center for the surrounding neighborhoods, facilitating a unified development of the entire site that will maximize the value of the site as a Community Center.
3. The zone map amendment request furthers the policies of the Centers and Corridors amendments to the *Comprehensive Plan* because the request involves reviewing zoning and codes for revisions necessary to facilitate private land use development and redevelopment of mixed use concentrations of housing and employment that supports transit and pedestrian activity (Policies a.1. and a.5.).
4. The zone map amendment request meets the objectives of the Trumbull Neighborhood Sector Development Plan to "encourage mixed uses in the area between Central Avenue and Zuni Road" (page 5) and to "encourage new neighborhood oriented commercial development and other employment-generating activities, especially between Zuni and Central" as well as evaluating development between Zuni Road and Central Avenue to encourage mixed-use, neighborhood-oriented development (page 6).
5. Future development of this site will require traffic studies and such studies should be made a condition of approval for this request.

CONDITIONS:

1. A site specific/near term Traffic Impact Study (TIS) is required as a part of the eventual development of this site. However, the TIS will be completed under the International Marketplace Streetscape Project. Suzanne Busch, Senior Engineer, through the Selection/Agreement Section of the Capitol Implementation Program (CIP) office, will administer this project. Review of the TIS will be through Transportation Development. Additionally, the International Marketplace is one of three projects prioritized by the City's Infill Task Force, and should be considered a primary candidate for Infill/Community Vitality funds should any off-site infrastructure/mitigation be required as a result of the (TIS).

208-3830
-3666

cc: Donna Walter, La Mesa Community Improvement Assoc., P.O. Box 8262, Albuquerque, NM 87198
Tommie Jewell, La Mesa Community Improvement Assoc., 912 Utah NE, Albuquerque, NM 87108
Ana Beall, South Los Altos N.A., 424 General Chenault NE, Albuquerque, NM 87123
Linda Adamsko, South Los Altos N.A., 309 Conchas NE, Albuquerque, NM 87123
Mary Agnes Gilbert, South San Pedro N.A., 736 Indiana SE, Albuquerque, NM 87108
Rose Cordova, South San Pedro N.A., 521 Arizona SE, Albuquerque, NM 87108
Rose Sena, Trumbull Village Assoc., 7820 Zuni SE, Albuquerque, NM 87108
Walt Land, Trumbull Village Assoc., 9016 Aspen NE, Albuquerque, NM 87108
Dorothy Gordon, Wyoming Terrace MHP Tenant Assoc., 9000 Zuni SE, Sp.W-69; 87123
Bobbie Nobles, 4029 Thaxton SE, Albuquerque, NM 87108
Victory Limary, 230 Louisiana SE, Albuquerque, NM 87108
Garrett Smith, 514 Central SW, Albuquerque, NM 87102

ZONING

Please refer to IDO Section 14-16-2-4(C) for the MX-M Zone
District

APPLICANT INFORMATION

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

SITE PLAN – EPC

MASTER DEVELOPMENT PLAN

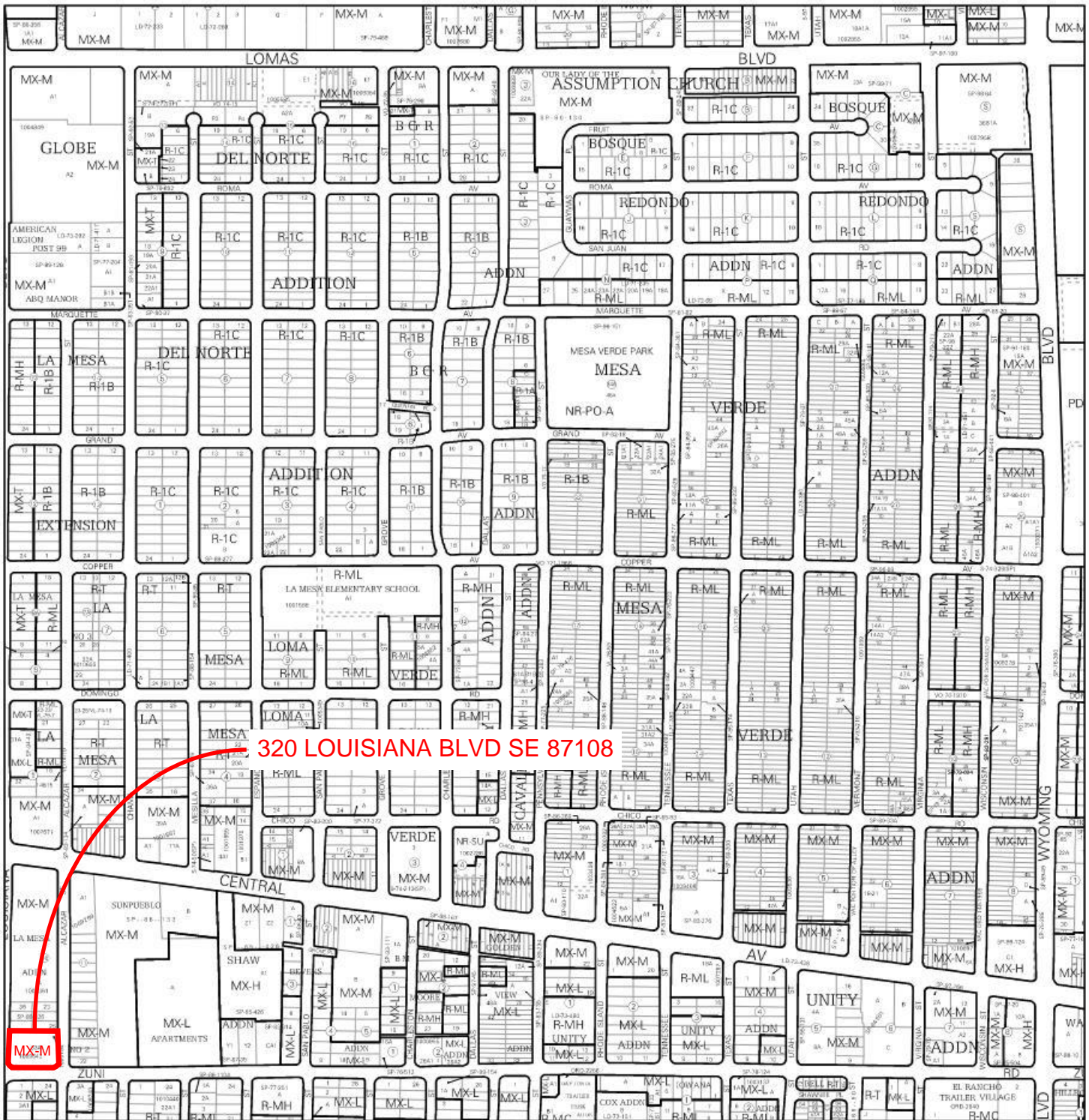
MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application* and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable
- ___ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
- ___ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ___ Sign Posting Agreement
- ___ Required notices with content per IDO Section 14-16-6-4(K)(1)
- ___ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- ___ Completed Site Plan Checklist
- ___ Scaled Site Plan or Master Development Plan and related drawings
 - Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
- ___ Copy of the original approved Site Plan or Master Development Plan (for amendments only)
- ___ Site Plan or Master Development Plan
- ___ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- ___ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.
- ___ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

- ___ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).
Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.



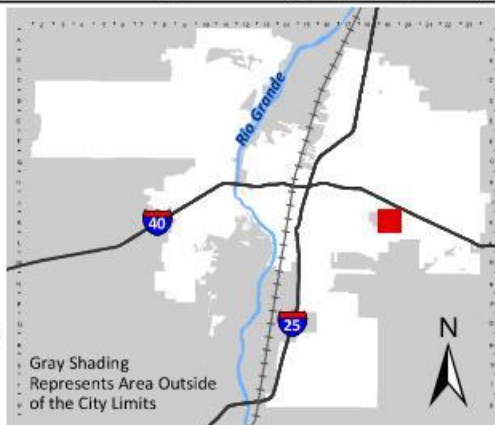
320 LOUISIANA BLVD SE 87108

For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-19-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet



Dillon K. Romero

Wat Prathat Doi Suthep
Buddhist Temple of New Mexico
320 Louisiana Blvd SE
Albuquerque, NM

To whom it may concern,

This letter is to recognize that Wat Prathat Doi Suthep Buddhist Temple of New Mexico, located at 320 Louisiana Blvd SE, authorizes as *Agent*, DWL Architects & Planners, Inc. of New Mexico (DWL/NM) to handle administrative and professional matters regarding the city approvals and permitting of a new Monk's Dormitory and Site Improvements.

As *Agent*, DWL is authorized to communicate and execute duties with 3rd parties, including but not limited to, the City of Albuquerque Planning Department, City of Albuquerque Fire Marshal's office, and other official regulating agencies on behalf of the Buddhist Temple of New Mexico.

This agency shall expire upon completion of the contract and receipt of the building permit.

Wat Prathat Doi Suthep
Buddhist Temple of New Mexico

10-18-22

Date

DWL Architects & Planners, Inc. of NM

10-17-2022

Date

Thank you,
Dillon Romero

DWL Architects & Planners, Inc. of New Mexico

Updated November 30, 2022

Mr. Tim MacEachen, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM

Mr. Chairman,

We are requesting approval of an EPC Site Plan - Major Amendment to 10000194 (Site Plan - EPC) 320 Louisiana Boulevard SE to incorporate new construction and existing replat into the existing EPC site plan on file with CABQ.

The scope of work includes new construction and site improvements for a two-story Dormitory as primary dwelling for monks residing at this facility. This building will replace the existing Dormitory and meditation space and will be located at the same building footprint on the project site.

In addition to the new construction, we request that the January 2013 replat be reflected in the major amendment to the existing EPC site plan.

We are requesting for EPC to rescind the governing of this site plan to administration, should any more upgrades be made to the site in the future.

Project context:



PRE-APPLICATION MEETING NOTES

PA#: 22-032 Notes Provided (date): 2/18/22

Site Address and/or Location: 320 Louisiana Boulevard SE

Pre-application notes are for informational purposes only and are non-binding. They do not constitute an approval of any kind. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request Remove existing building and replace with a new two-story dwelling in support of existing Buddhist Temple.

Basic Site Information

Current Use(s): Religious Institution Size (acreage): 1.14 acres

Zoning: MX-M Overlay Zone(s): N/A

Comprehensive Plan Designations

Corridor(s): Major Transit Corridor (Louisiana Blvd SE)

Development Area: Area of Change Near Major Public Open Space (MPOS)?: No

Center: International Market Activity Center

Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Dormitory, Religious Institution

Use Specific Standards: N/A

Applicable Definition(s):

Dormitory - A residence hall providing rooms for individuals or groups, with common spaces for living and cooking. Individual bedrooms may have a dedicated bathroom or shared bathrooms. Dormitories are often established with a university or college, vocational school, or sorority or fraternity. See also Club or Event Facility, University or College, and Vocational School.

Religious Institution – A structure or place where worship, ceremonies, rituals, and education pertaining to a particular system of beliefs are held, together with its accessory buildings, that is operated, maintained, and controlled under the direction of a religious group. Incidental activities include, but are not limited to, school and recreational facilities, parking, caretaker's housing, religious leader's housing, philanthropic or humanitarian activities, and group living facilities such as convents or monasteries.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

Notice

Neighborhood Meeting Offer Required? Yes (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

Process

Decision Type(s) (see IDO Table 6-1-1): Site Plan – Admin. Site Plan – EPC

Specific Procedure(s)*: 14-16-6-5(G) Site Plan – Administrative 14-16-6-6(J) Site Plan – EPC, 14-16-6-4(Z) Amendments of Pre-IDO Approvals

**Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: Admin or EPC Is this a PRT requirement? Yes

Handouts Provided

- | | | | |
|--|--|--|---|
| <input type="checkbox"/> Zoning Map Amendment | <input checked="" type="checkbox"/> Site Plan Amendments | <input checked="" type="checkbox"/> Site Plan- EPC | <input type="checkbox"/> Site Plan- DRB |
| <input checked="" type="checkbox"/> Site Plan- Admin | <input type="checkbox"/> Variance-ZHE | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Site History/Research | <input type="checkbox"/> Transportation | <input type="checkbox"/> Hydrology | <input type="checkbox"/> Fire |

If you have additional questions, please contact Staff at planningprt@cabq.gov or at (505) 924-3860. Please include the PA# with your inquiry.

There is an existing Site Plan – EPC for the Northeastern portion of the subject site (the temple). The lot has since been consolidated into one lot totaling approximately 1.14 acres. Only one controlling site plan is allowed per lot, there are two options moving forward:

1. Apply for a Site Plan – EPC Major Amendment to include the dormitory and parking to originally approved Site Plan – EPC.
2. Apply for a Site Plan – EPC Major Amendment to rescind the governing site plan, and return for a Site Plan – Administrative review.

Additional Notes:

1. How will the removal of the existing building and construction of the new building over the existing footprint impact existing and new site development requirements?

The new building will be considered as new construction even though it is the same foot print. The site will have to be brought up to meet relevant IDO standards.

Below are some relevant development standards. All development standards can be found at table 2-4-6: Other Applicable IDO Sections.

Table 5-1-2: MX-M Zone District Dimensional Standards

IDO Section 14-16-5-3 Access and Connectivity, 5-3(D)(3) On-site Pedestrian Connections

5-3(E)(3) Driveways, Drive Aisles, and Access

2. The new Buddhist Monk's residency two story building will not have any fenestration on the west elevation facing Louisiana Blvd SE, will that be an issue?

Please see IDO Subsection 14-16-5-11(E)(2) Façade Design

Building Design 14-16-5-11, 5-11(E) Mixed-Use and Non-Residential Zone Districts.

You can also reach out to Permitting and Building Safety (see attachments).

3. The existing property was re-platted in 2013 to aggregate the six lots into one property, identified as 320 Louisiana Blvd SE, will an accessible route pedestrian secure entrance/exit be required from Louisiana Blvd SE?

Access and Connectivity 14-16-5-3

5-3(D)(3) On-site Pedestrian Connections

4. Can a request for code variance be submitted with respect to the requirement for a "commercial kitchen", the Buddhist faith and practice has the temple member's delivering prepared food to the monk's sustenance throughout each week? The monk's eat once a day, heating up the food offerings delivered to the temple by member's. Food is not prepared as meals during the day

In reference to a kitchen as a use, this should be allowed for a Dormitory.

5. *Will this replacement impact site parking requirements?*

Pursuant to IDO Subsection 14-16-5-5(B)(1) Activities that Trigger Parking Requirements, the site will have to be updated to meet IDO standards as this is considered to be construction of a new primary building (it could be that these are met as is)

Table 5-5-1: Minimum Off-street Parking Requirements

Parking and Loading 14-16-5-5

All development standards can be found at table 2-4-6: Other Applicable IDO Sections.

Relevant case history:

1000194 (Site Plan – EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920

Existing Site Conditions & Use:

The site is currently governed by the 2001 Environmental Planning Commission Site Plan 1000194 (EPC Case 00128-00000-00133). This EPC Site Plan was inclusive of lots 27A, 32, and 33. The property was replat in January 2013. This replat combined previous lots 27-A, 28, 29, 30, 31, 32, and 33 into the incorporated Lot 33-A, Block 10 La Mesa No. 2. And is owned singularly by Wat Prathat Doi Suthep. The property is located within Zone Atlas Page K-19-Z and is zoned MX-M Mixed Use Medium with permissible primary use for Religious Institution and Dormitory.

The property is presently developed, with the existing Temple building consisting of meditation spaces, ceremonial hall, kitchen, and support spaces for the congregation and resident monks. The existing Dormitory is located at the southern edge of the property and contains dormitory rooms for resident monks, meditation spaces, and support spaces.



Various easement agreements exist on the property. A 10' and 3' (10' total) Utility Easement run North to South at the middle of the property. This easement contains overhead electrical distribution lines that serve both Lot 33-A and the northern neighboring MX-M property. An Access Easement Agreement (Doc. No. 1999148026) is on file between lots 34 and 33-A for use of private drive and Refuse Container Common Use Agreement (Doc. No. 20000028940) for the shared use of the property's dumpster enclosure.

Access to the site is available on the West, East, and South sides of the property. Accessible pedestrian access is available to the West from Louisiana Boulevard and to the East from Alcazar Street. Vehicular access is available via a single rolling gate entrance on Zuni Road and two rolling gate entrances on Alcazar Street. Vehicles may also access the



Dillon K. Romero

property via the Access Easement Agreement on Louisiana Boulevard which utilizes the shared private drive located on the Northern neighboring property.

The property is located within the International District. As indicated within the Harris Survey of 2013 Replat for this parcel, sections of the property were dedicated to the City of Albuquerque in Fee Simple for use in the International District Redevelopment within the Near Heights MRA.

For decades, Wat Prathat Doi Suthep Buddhist Temple of New Mexico has stood as a pillar of the International District community, with many of the neighboring business owners being a part of its congregation.

Proposed Work for Major Amendment:

The proposed new work for Wat Prathat Doi Suthep consists of the following:

- 1. Demo Existing Dormitory**
 - a. Existing Dormitory building on West end of site will be demolished to prepare for new building.
- 2. New Monk's Dormitory**
 - a. New construction for an 8,500 sf two-story Dormitory on the footprint of the previous dormitory location. New dormitory will include (12) dorm rooms for monks working at the temple, multi-purpose space for cultural gatherings and events, meditation spaces for monks, and support spaces.
- 3. New Site Fencing**
 - a. New site fencing will be constructed to match existing fencing and includes integrated wall mounted accent light fixtures. The new site fencing will protect the private space for the New Monk's Dormitory from the public space at Temple Facility. The lights will provide needed visibility at night to improve security and site aesthetics.
- 4. New Landscape Improvements**
 - a. New site landscape improvements are compliant with regulations and standards outlined within the IDO and CABQ development standards.

Summary of Request:

The applicant, Wat Prathat Doi Suthep, is requesting approval for major amendment to the existing EPC – Site Plan to include the 8,500 sf building addition, associated site work, and replat of the property, in addition to the rescinding of EPC governing of the site plan to administration.

Review & Decision Criteria:

Per IDO 6-6(J)(3) Review and Decision Criteria, our Site Plan is/does as follows:

6- 6(J)(3)(a)The Site Plan is consistent with the ABC Comp Plan, as amended.

The site plan is consistent with the Comp Plan by aligning with the goals and Policies listed below:

1. **Policy 4.2.2- Community Engagement:** *Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents. [ABC]*



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Response: With the temple regularly hosting holidays, gatherings, and cultural events, the building functions to increase awareness about and understanding of cultural differences, shared identity, and differing needs across communities in localized activity at Wat Prathat Doi Suthep.

- 2. Policy 5.1.1- Desired Growth: Capture regional growth in Centers & Corridors to help shape the built environment into a sustainable development pattern. [ABC]**

Response: Proposed site development of a new Monk's Dormitory encourages compact development, redevelopment, and infill in the Louisiana and Zuni Corridors. This Development will increase density at the site and within the International District to accommodate growth over time.

- 3. Policy 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses. [ABC]**

Response: the site is a moderate intensity activity center, which will be increased by the renovation/new construction of the Monk's Dormitory and Meditation Spaces. The temple serves as a community center for the international district and holds various celebrations, activities, and ceremonies open to the neighborhood and congregation members throughout the year. Many of the neighboring business owners are members of the Buddhist Temple of New Mexico and participate in its leadership and operation.

- 4. Policy 5.2.1- Land uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. [ABC]**

Response: The project site includes two multi-purpose spaces which are utilized for holidays and celebratory gatherings for the community and the congregation of the Buddhist Temple. The distinct cultural phenotype of the temple and the activities that take place within it provide unique spaces and activities for the surrounding neighborhood.

- 5. Policy 5.4.1- Housing near Jobs: Allow higher density housing and discourage single-family housing near areas with concentrated employment. [ABC]**

Response: This policy is met by the project site through the replacement of the existing Dormitory with a new higher capacity Dormitory which will function as residence for monks at the temple, increasing density in the International District.

- 6. Policy 5.5.5- Semi-Urban Areas: Maintain the character and identity of the Semi-Urban areas that have environmental, social, or cultural conditions limiting urban land uses. [BC]**

Response: The site meets this policy by integrating existing buildings with new buildings on the site. Both of these spaces are spaces of local significance for the community, in addition to being local landmarks.

- 7. Policy 5.6.2- Areas of Change: Direct Growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]**

Response: The proposed development increases density within the International District with the new Dormitory. With more monks on site at the temple, cultural activities and gatherings can increase proportionally, which shall increase participation not only at the site but within the neighboring businesses and centers.

- 8. Policy 7.3.2- Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places. [ABC]**



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Response: Design Development of the new construction at the Buddhist Temple will strengthen the existing character of the International District. This high-quality redevelopment capitalizes on the predominant architectural styles, building materials, and landscape elements that characterize the International District and the existing temple.

6- 6(J)(3)(b)The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

Response: The site is zoned MX-M with Permissive Primary Use as Religious institution and Dormitory. The site is being reviewed by EPC due to it being regulated and controlled by an existing EPC Site Plan.

6- 6(J)(3)(c)The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property

Response: The site complies with all applicable requirements and regulations for which regulating bodies govern the site presently. IDO and city regulations have been met by within both site and building design.

6- 6(J)(3)(d)The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Response: Infrastructure and public improvements adequately meet the needs of the proposed development. The site and proposed development will have zero negative impact or burden to the existing city infrastructure. Water availability statement has been approved by ABCWUA and adequate supply is available for domestic and fire uses at this property.

6- 6(J)(3)(e)The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Response: Efforts to mitigate significant adverse impacts on the project site and surrounding area have been taken to the maximum practical extent. Landscape improvements will improve street scape quality on Louisiana Boulevard and Zuni Road. Grading improvements will increase water retention on site. New accessible pedestrian route will increase walkability for this center of the International District.

6- 6(J)(3)(f)If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Response: The subject property is within the Near Heights MRA and complies with the regulations and standards therein. The proximity of the proposed new construction to Louisiana will improve the façade quality along Louisiana Boulevard and increase value as designed within the MRA to alleviate the blighted area.

6- 6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5- 2(F) (Cumulative Impacts) and 14-16-6- 4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.



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Response: the subject property is not located within Railroad and Spur Small Area.

Conclusion:

Contingent upon the information outlined above, we are requesting the EPC's approval of this Major Amendment to the existing EPC Site Plan for Wat Prathat Doi Suthep Buddhist Temple of New Mexico for the addition of a new Dormitory, Site Improvements, and the rescinding of governing of this EPC Site Plan to administration.

Sincerely,

A handwritten signature in green ink, appearing to read "Dillon Romero", is written over a light green circular stamp.

Dillon Romero
DWL Architects & Planners, Inc. of New Mexico

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from NOVEMBER 30, 2022 To DECEMBER 15, 2022

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

DWL ARCHITECTS & PLANNERS INC NM
(Applicant or Agent)

11-29-2022
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2022-007851

STAFF INFORMATION

November 23, 2022

TO: Dillon Romero, DWL Architects

FROM: Megan Jones, Current Planner

City of Albuquerque Planning Department

TEL: (505) 924-3935

RE: Project # PR-2022-007851 / SI-2022-02075, 320 Louisiana Buddhist Temple, EPC Major Amendment

I've completed a first review of the proposed Major Amendment to the controlling Site Development Plan. I would like to discuss the justification letter and Site Plan Drawings. I am available to answer questions about the process and requirements. Please provide the following:

⇒ Revised Justification Letter (electronic)

⇒ Revised Site Plan Drawings (electronic and one set of 24x36 hard copies) by:

5 PM on Wednesday, November 30, 2022.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. It is my understanding that this request is for a Major Amendment to the existing Site Development Plan: 1) construct a two-story 8,529 SF residence building and 2) includes the existing replat, to the existing Buddhist Temple. Is this correct?
- C. This is what I have for the legal description: or all or a portion of Tracts 33A, Block 10, Unit 10, La Mesa Addn. No. 2 located at 320 Louisiana Blvd, between Louisiana Blvd. and Zuni, approximately 1.14 acres (K-19-Z) Does this look correct?
- D. **I would suggest asking the EPC to rescind the governing site plan, so that moving forward you can return with any Site Plan amendments as an Administrative review. Is this something you want to do? Please incorporate into your letter.**
- E. Is there anything you'd like to elaborate on about the proposed Major Amendment?
- F. Please provide a full justification Letter to us, so that we can properly review and analyze your request. I have provided examples of what is needed below. If a full justification letter is not provided, we will have to recommend deferral of your case until you can provide a letter.
- G. Please provide revisions to the Site Plan Drawings to us, electronically and one set of **24x36** hard copies. We will need to review and submit them with our Staff Report by Monday December 5th

for full consideration. If they are not provided, we will have to recommend a deferral of your case until you can provide the revised drawings.

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing for February is the 15th. Final staff reports will be available one week prior, on December 8th.
- C. Agency comments will be distributed as staff receives them. I will email you a copy of the comments. **Comments from agencies requiring an action will be listed as a condition of approval.**

3) Notification & Neighborhood Issues:

Notification requirements for a major amendment are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 345). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting. A. It appears that notification offering the pre-application facilitated meeting is complete.

- A. A pre-application facilitated meeting was not requested.
- B. The notification to property owners also appears complete. Thank you for providing photos of the certified mail receipts and a list of the neighbors within a 100' buffer.
- C. The sign posting agreement is 15 days prior to the hearing and 15 days after from Wednesday **November 30, 2022 to Friday December 30th, 2022. Please update and sign your agreement.**

Staff will be conducting a site visit and to take photographs. Please provide photos of signs with to ensure the sign is posted along Louisiana Blvd.

- D. Have any neighborhood representatives or members of the public contacted you so far?

4) Project Letter:

- A. **Please provide a revised project letter by 5 PM on Wednesday, November 30th**
- B. The project/justification is intended to be a clear explanation of your request, including a detailed justification section answering the Criteria pursuant to IDO 6-6(J)(3).
- C. Overall, the letter needs more substance and the justification for a Site Plan Major Amendment is insufficient as it stands.
- D. The introduction to the proposed Amendment is a good explanation of what the project is. Please add the request that you are asking the asking the EPC to rescind the governing site plan.

- E. Please also add context of the subject site and surrounding area as related to the ABC Comprehensive Plan. This is a good place to insert a section on existing zoning/land uses to elaborate on as well. Please follow the format of examples provided below as a starting point.
- F. Can you provide History/Background of the subject site and surrounding area? When was the original site plan approved, what is the use of the site, has there been any other amendments that you know of, etc.
- G. Think about the project letter as a way to inform the commissioners and public about your site and project for the first-time. They are not doing any background research and your project letter is all they will read about your site and proposed amendment prior to hearing your case.

5) Justification/Review and Decision Criteria 6-6(J)(3)

- A. Responding to the review and decision criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
 - i. answering the questions in the customary way (see examples).
 - ii. using conclusory statements such as “because _____”.
 - iii. re-phrasing the requirement itself in the response, and
 - iv. choosing an option when needed to respond to a requirement.
- B. You need to clearly and adequately justify your request (Justify to the commissioners and Staff why your request should be approved).
- C. Please choose applicable goals and policies that justify and relate to your answer to your answer for criterion 6-6(J)(3)(a) “The Comp Plan is Consistent with the ABC comp plan, as amended.” You can find the Comp Plan here: <https://documents.cabq.gov/planning/UDD/CompPlan2017/CompPlan-FullText.pdf>
 - a. The task in a justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.
 - b. Typically at least 10 goals and policies should be chosen, look at Chapter 5 land use for most goals.
- D. Following the format of prior Justification Letters submitted to EPC is a good place to start. Please use similar formatting in answering the Review and Decision Criteria as examples given.
- E. Here is an example of a Justification letter that is a Site Plan EPC Major Amendment Request on Page 67 of the PDF document: [3. Agenda_3_2020-003646 - SI-2022-00047_CW Classical MA.pdf \(cabq.gov\)](#)

This was a high-profile case, and the justification letter was written well. Please refer to it starting on page 67-74. You do not need to pay attention to the Journal Center Design Standard

information for examples, since your original controlling site plan not include any design standards.

You can also take a look at their drawings for examples for what is needed.

- a. Please follow the formatting of this letter through the use of Bold Titles, sections and addressing the letter properly. Give expanded responses using because and how statements and add responses to goals and polices.

6) Site Plan Overview - Drawings

A. Please provide revised drawings by 5 PM on Wednesday November 30, 2020 in electronic and hard copy 24x36 format for our review and to submit with the Staff Report to the commission.

B. Please get as much of these corrections and edits completed as possible for your second version submitted. We can condition what you do not have time for in our staff report and you can handle those conditions after EPC, before submitting for building permit. Note that the conditions will be listed on the notice of decision and will have to be completed before a building permit is granted. You will review the conditions with m

C. A review with me will be required to review Conditions of approval and ensure they are being met before a Building Permit is issued.

D. We do not need the Fire Plan or Hydorlogy Plan. You can add that back into your CD's. For Building Permit review.

7) Site Plan Details – revisions

A. Sheet EPC A.1

1. At the Top of the Sheet please add:

SITE DATA

Legal Description:

Land Area: Tract

Tract

Total Acreage

Zoning: MX-M

- a. Example:

Land H-3-A-2.

SITE DEVELOPMENT DATA:	
LEGAL DESCRIPTION:	TRACT H-3-A-1 OF LA REINA DE LOS ALTOS SUBDIVISION, UNIT 2 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
LAND AREA:	TRACT H-3-A-1 = 7.309 ACRES TRACT H-3-A-2 = 0.9793 ACRES <hr/> TOTAL = 8.2883 ACRES / 361,038 SF.
CURRENT ZONING:	C-2 (SC-SHOPPING CENTER)
ZONE ATLAS PAGE:	G-21-Z
BUILDING AREAS:	EXISTING DEFINED FITNESS - 54,485 SF EXISTING RESTAURANT (FORMER KRISPY KREAM) - 5,012 SF PROPOSED RETAIL PAD - 6,000 SF PROPOSED BANK / RETAIL PAD - 4,000 SF <hr/> TOTAL BUILDING AREA = 69,497 SF.

2. Please change the title to Site Plan EPC Major Amendment. Continue to show entire site plan, but please "grey out" existing site details that are to remain.
3. Please add a note to the top of the sheet that states: "At the December 15, 2022 hearing the EPC approved a Major Amendment for the addition of a new 8,529 SF Building with Parking and landscaping"... Something like that..
4. We don't need General Building Notes for EPC. Please remove.
5. Please Add Keyed notes, similar to the grading and drainage plan.
 - a. Elevation change does not need to be shown on site plan.
6. Under Notes Please provide a description of the Existing Building and the proposed building Addition and associated site work so that it is clear what is existing and proposed.
7. Please just show the Total Square Footage on the new and existing building and not the "1st floor," The EPC is reviewing the major amendment, and these details will be looked at when you submit for a building permit.
8. Dimension all setbacks and lot width, including distance between fencing
9. Parking Calculations:
 - a. Bicycle Parking must comply with the IDO for EPC approval 5-5(E)(1). **How did you determine 4 bicycle spaces?**
 - b. Please show all parking calculations. How were these determined? IDO stated 1/1000 SF or 1/3 person design capacity, whichever is greater for a Dormitory use.

PARKING CALCULATIONS

BUILDING USE =	HIGH SCHOOL
PARKING REQUIREMENTS =	3/CLASSROOM
EXISTING CLASSROOM COUNT =	47
NEW CLASSROOMS (PHASE 2) =	06
REQUIRED PARKING SPACES =	53 x 3 = 159
LESS 10% BUS DISCOUNT =	15 SPACES
TOTAL REQUIRED PARKING SPACES =	144 SPACES REQ.
REQUIRED BYCYCLE PARKING = (3/CLASSROOM)	159 REQUIRED
REQUIRED ADA PARKING =	08 SPACES
EXISTING PARKING =	153 SPACES
EXISTING ADA PARKING TO REMAIN =	08 SPACES
EXISTING MOTORCYCLE PARKING TO REMAIN =	04 SPACES
EXISTING ELECTRIC VEHICLE STATIONS =	02 SPACES
EXISTING BICYCLE PARKING TO REMAIN =	14 SPACES*

* REQUIREMENTS FOR BYCYCLE PARKING WILL BE ADDRESSED PRIOR TO APPLICAITON FOR BUILDNG PERMIT.

c. Example:

10. Show location of existing/proposed lighting. Or add keyed note.

B. Sheet Landscaping EPC A.2

1. Sheet Title: Landscaping Plan
2. Grey out existing landscaping and please make apparent what is existing and proosed landscaping.
3. Please provide Landscape calculation breakdown per IDO requirements. (label as IDO Standards). 15% of net lot area has to be met per IDO requirement.

a. Example:

LANDSCAPING CALCULATIONS:	TRACT H-3-A-1	= 7.309 ACRES
	TRACT H-3-A-2	= 0.9793 ACRES
	TOTAL LOT AREA	= 8.2883 ACRES / 361,038 SF.
TOTAL GROSS LOT AREA		361,038 SF.
TOTAL BUILDING AREA		-69,497 SF.
NET LOT AREA		= 291,541 SF.
TOTAL NET LOT AREA		291,541 SF. X 15% =
TOTAL LANDSCAPE REQUIREMENT		= 43,731 SF.
EXISTING LANDSCAPE		37,062 SF.
NEW LANDSCAPE (THIS DEVELOPMENT)+		11,065 SF.
TOTAL LANDSCAPING PROVIDED		= 48,127 SF.

You can include existing landscaping, **but all landscaping beds must** meet the 75% landscape coverage requirement (including trees) pursuant to IDO: 5-6(C)(2)(c) *The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage...*

b. Dimension landscaping plan

c. Street frontage trees must be 25' apart pursuant to IDO 5-6(D)(1)

- d. Please make sure you are meeting all IDO 5-6 requirements, clear sight triangle, edge buffer requirements, etc.

C. Sheet EPC A.3 Utility

1. Show keyed notes
2. Show light poles. Are you adding new lighting? Show light pole details if so.

D. Sheet A3.1 Elevations

1. Add General notes. What standards were followed for 5-11(E)(2) Façade Design?
2. Make sure all heights, design, materials etc. meet standards.
3. Please add dimensions to length and widths, step backs, etc.

E. Walls and Fences IDO 6-5

1. Please let me know if you have a variance for a 7 foot fence or how you have determined compliance?

F. Detail Sheets

1. Please make sure to add light pole detail
2. Please specify all colors and materials to be used
3. Please make sure water harvesting detail is included

NOTIFICATION

please see below for correspondence regarding Neighborhood Meeting Inquiries for Buddhist Temple

Dillon Romero, Assoc. AIA
Intern Architect

DWL Architects & Planners, Inc. of New Mexico
202 Central Avenue SE, East Courtyard
Albuquerque, NM 87102
505-242-6202 (Phone)
505-242-4159 (fax)

Celebrating 30 Years as DWL NM

>>> "Carmona, Dalaina L." <drcarmona@cabq.gov> 10/17/2022 1:31 PM >>>

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Trumbull Village Association	Joanne	Landry	landry54@msn.com	7501 Trumbull SE			Albuquerque	NM	87108	5056046761
Trumbull Village Association	Alyce	Ice	alyceice@gmail.com	6902 4th Street NE			Los Ranchos	NM	87107	5053150188
South San Pedro NA	Zabdiel	Aldaz	zabdiel505@gmail.com	735 Alvarado SE		Albuquerque	NM	87108		5052363534
South San Pedro NA	Khadijah	Bottom	khadjahasil@vizionz.org	1200 Madeira SE	#130	Albuquerque	NM	87108		5058327141
District 6 Coalition of Neighborhood Associations	Patricia	Willson	info@willsonstudio.com	505 Dartmouth Drive SE			Albuquerque	NM	87106	5059808007
District 6 Coalition of Neighborhood Associations	Mandy	Warr	mandy@theremedayspa.com	119 Vassar Drive SE			Albuquerque	NM	87106	5054014367

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: [505-924-3857](tel:505-924-3857) Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

drcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Monday, October 17, 2022 11:15 AM

To: Office of Neighborhood Coordination <d.romero@dwlnm.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Dillon Romero

Telephone Number

[5052426202](tel:5052426202)

Email Address

d.romero@dwnm.com

Company Name

DWL Architects & Planners, Inc. of NM

Company Address

202 Central Ave SE East Courtyard

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

LT 33-A BLK 10 PLAT OF LT 33-A BLK 10 LA MESA NO. 2 CONT1.1401 AC

Physical address of subject site:

302 Louisiana Blvd SE

Subject site cross streets:

Louisiana & Zuni

Other subject site identifiers:

This site is located on the following zone atlas page:

k-19-z

Captcha

x

Proof of Mailed Public Notice-DWL•NM



Figure 01: (3) Envelopes addressed to members of relevant Neighborhood Associations (1) South San Pedro NA & (2) Trumbull Village Association.



Figure 02: (3) Envelopes addressed to members of relevant Neighborhood Associations (1) South San Pedro & (2) District 6 Coalition of Neighborhood Associations.



Sabrina R. Salazar

District 6 Coalition of Neighborhood Associations
119 Vassar Drive SE
Albuquerque, NM 87106

October 20, 2022
Dear Mandy Warr,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwnm.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,
Sabriana R. Salazar | DWL Architects & Planners, Inc. of New Mexico



Sabrina R. Salazar

District 6 Coalition of Neighborhood Associations
505 Dartmouth Drive SE
Albuquerque, NM 87106

October 20, 2022
Dear Patricia Willson,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwnm.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,
Sabriana R. Salazar | DWL Architects & Planners, Inc. of New Mexico



Sabrina R. Salazar

South San Pedro NA
735 Alvarado SE
Albuquerque, NM 87108

October 20, 2022
Dear Zabdiel Aldaz,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwlhm.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,
Sabriana R. Salazar | DWL Architects & Planners, Inc. of New Mexico



Sabrina R. Salazar

South San Pedro NA
1200 Madeira SE #130
Albuquerque NM 87108

October 20, 2022
Dear Khadija Bottom,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwnm.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,
Sabriana R. Salazar | DWL Architects & Planners, Inc. of New Mexico



Sabrina R. Salazar

Trumbull Village Association
6902 4th Street NE
Los Ranchos NM 87107

October 20, 2022

Dear Alyce Ice,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwlNM.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,

Sabrina R. Salazar | DWL Architects & Planners, Inc. of New Mexico



Sabrina R. Salazar

Trumbull Village Association
7501 Trumbull SE
Albuquerque, NM 87108

October 20, 2022
Dear Joanne Landry,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for a Major Amendment to an existing EPC site plan for 320 Louisiana Boulevard SE with the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

For review documents:

Please contact us by emailing d.romero@dwnm.com with any questions, to request to view existing documents or if you would like to schedule a neighborhood meeting to discuss plans for the Temple.

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,
Sabriana R. Salazar | DWL Architects & Planners, Inc. of New Mexico

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 10/17/2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 6 Coalition of Neighborhood Associations

Name of NA Representative*: Mandy Warr and Patricia Wilson

Email Address* or Mailing Address* of NA Representative¹: mandy@theremedyspa.com
info@wilsonstudio.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: D.ROMERO@DWLNM.COM

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

11/01/2022 2:30P Zoom link to be
provided upon request for meeting

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 320 Louisiana Blvd SE
Location Description Buddhist Temple, Zuni in between Alcazar and Louisiana
2. Property Owner* Wat Prathat Doi Suthep
3. Agent/Applicant* [if applicable] DWL Architects & Planners, Inc. of New Mexico
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Site Plan Administrative Amendment for new construction of auxiliary building for use as monk's dormitory located at Wat Prathat Doi Suthep Buddhist Temple of New Mexico.

5. This type of application will be decided by^{*}: City Staff
OR at a public meeting or hearing by:
 Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 Landmarks Commission (LC) Environmental Planning Commission (EPC)
 City Council
6. Where more information about the project can be found^{4*}:
Please contact DWL Architects @ 505.242.6206 or D.ROMERO@DWLNM.COM

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)^{5*} K-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 Deviation(s) Variance(s) Waiver(s)
Explanation:
N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 1.14 Acres
 - b. IDO Zone District MX-M
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] Major Transit Corridor (Louisiana Blvd SE)
2. Current Land Use(s) [vacant, if none] Religious Institution
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: South San Pedro NA [Other Neighborhood Associations, if any]

Trumbull Village Association

⁶ Available here: <https://tinurl.com/idozoningmap>




**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: MAJOR AMENDMENT TO EXISTING EPC SITE PLAN	
Decision-making Body: EPC COMMITTEE	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 320 LOUISIANA BLVD SE	
Name of property owner: WAT PRATHAT DOI SUTHEP - BUDDHIST TEMPLE OF NEW MEXICO	
Name of applicant: DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO	
Date, time, and place of public meeting or hearing, if applicable: N/A	
Address, phone number, or website for additional information: DWL ARCHITECTS: 505-242-6202 D.ROMERO@DWLNM.COM	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 10-20-2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

From: Sabriana Salazar
To: alyceice@gmail.com; landry54@msn.com
CC: Daniel Gonzales; Dillon Romero; Willard Eastman; mimysingvilay@gmail...
Date: 7/15/2022 4:57 PM
Subject: DWL-Notice of Proposed Construction 320 Louisiana Boulevard
Attachments: Emailed-Notice-Administrative-Trumbull Village Association.pdf; CABQ-Official_public_notice_form-2019-Signed.pdf; Site Plan - EPC Admin Amendment Drawings JULY152022.pdf

Trumbull Village Association,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for an EPC Site Plan – Administrative Amendment to 320 Louisiana Boulevard SE from the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

Please see attached review documents:

1. Zone Atlas Map K-19-Z
2. Existing EPC - Site Plan
3. First Floor Exiting Plan
4. Second Floor Exiting Plan
5. New Site Plan
6. Exterior Building Elevations

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,

Sabriana R Salazar
Intern Architect

DWL Architects & Planners, Inc. of New Mexico
202 Central Avenue SE
East Courtyard
Albuquerque, NM 87102-3460
<https://dwlnm.com>
t-[505-242-6202](tel:5052426202)

f-[505-242-4159](tel:5052424159)

From: Sabriana Salazar
To: mandy@theremedyspa.com; info@wilsonstudio.com
CC: Willard Eastman; Daniel Gonzales; Dillon Romero; mimysingvilay@gmail...
Date: 7/15/2022 5:00 PM
Subject: DWL-Notice of Proposed Construction 320 Louisiana Boulevard
Attachments: CABQ-Official_public_notice_form-2019-Signed.pdf; Emailed-Notice-Administrative-District 6 Coalition of Neighborhood Associations.pdf; Site Plan - EPC Admin Amendment Drawings JULY152022.pdf

District 6 Coalition of Neighborhood Associations,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for an EPC Site Plan – Administrative Amendment to 320 Louisiana Boulevard SE from the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

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14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,

Sabriana R Salazar
Intern Architect

DWL Architects & Planners, Inc. of New Mexico
202 Central Avenue SE
East Courtyard
Albuquerque, NM 87102-3460
<https://dwlnm.com>
t-[505-242-6202](tel:505-242-6202)

f-[505-242-4159](tel:505-242-4159)

From: Sabriana Salazar
To: zabdiel505@gmail.com; khadijahasili@visionz.org
CC: Willard Eastman; Daniel Gonzales; Dillon Romero; saengbme@gmail.com; ...
Date: 7/15/2022 5:01 PM
Subject: DWL-Notice of Proposed Construction 320 Louisiana Boulevard
Attachments: CABQ-Official_public_notice_form-2019-Signed.pdf; Emailed-Notice-Administrative-South San Pedro NA.pdf; Site Plan - EPC Admin Amendment Drawings JULY152022.pdf

South San Pedro NA,

You are receiving this correspondence to inform you of a proposed construction project in your neighborhood as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice. We are applying for an EPC Site Plan – Administrative Amendment to 320 Louisiana Boulevard SE from the City of Albuquerque. The scope of work for this project includes renovations/new construction for a Monk's dormitory on the property of Wat Prathat Doi Suthep Buddhist Temple of New Mexico. We intend to submit construction documents for permit with the City of Albuquerque.

Please see attached review documents:

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6. Exterior Building Elevations

Relevant Case History: 10000194 (Site Plan - EPC), 1001679, 1009642 (Subdivision), 1008639, 1001920
14-16-6-5(G) Site Plan - Administrative 14-16-6-6(J) Site Plan - EPC, 14-16-6-4(Z)

Thank you,

Sabriana R Salazar
Intern Architect

DWL Architects & Planners, Inc. of New Mexico
202 Central Avenue SE
East Courtyard
Albuquerque, NM 87102-3460
<https://dwlNM.com>
t-[505-242-6202](tel:505-242-6202)

f-[505-242-4159](tel:505-242-4159)




**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: MAJOR AMENDMENT TO EXISTING EPC SITE PLAN	
Decision-making Body: EPC COMMITTEE	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 320 LOUISIANA BLVD SE	
Name of property owner: WAT PRATHAT DOI SUTHEP - BUDDHIST TEMPLE OF NEW MEXICO	
Name of applicant: DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO	
Date, time, and place of public meeting or hearing, if applicable: N/A	
Address, phone number, or website for additional information: DWL ARCHITECTS: 505-242-6202 D.ROMERO@DWLNM.COM	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 10-20-2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

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- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Proof of Mailed Public Notice-DWL•NM



Dillon K. Romero



Figure 1: Postmarked letters to be sent to neighboring property owners

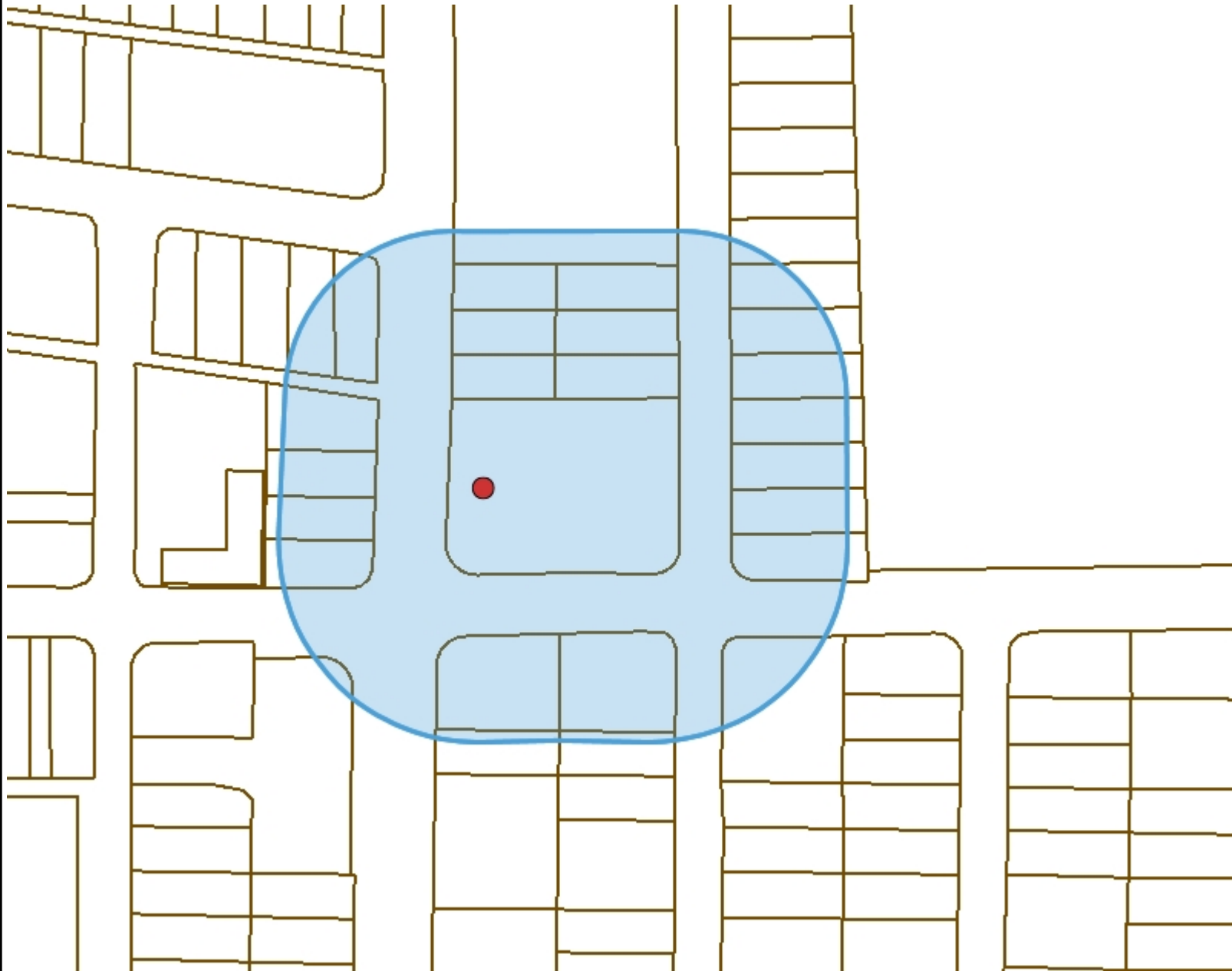


320 Louisiana Blvd SE



Legend

□ Bernalillo County Parcels



Notes

Buffer: 185 Ft.
ROW Louisiana Blvd SE: 85 Ft.

328 0 164 328 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
10/20/2022 © City of Albuquerque

1: 1,968

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

MASADA LTD CO
3100 COORS BLVD NW
ALBUQUERQUE NM 87120-1226

INTERNATIONAL PLAZA INC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

CHAVEZ LORENZO & CHAVEZ
CONCEPCION & CHAVEZ MARIA E
309 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

C & L INC ATTN: BOUNPHOM LIMARY
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

409 ALCAZAR LLC
8100 WYOMING AVE NE SUITE M4-411
ALBUQUERQUE NM 87113-1963

GRAND CENTRAL DEVELOPMENT LLC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

CHAVEZ LORENZO & CHAVEZ
CONCEPCION & CHAVEZ MARIA E
309 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

MALDONADO HERNAN & PENA ROSA
EMMA & SANCHEZ KATE J & SANCHEZ
GREGORY T
2723 ISLETA BLVD SW
ALBUQUERQUE NM 87105-5812

ZWEBEN LOIS
21515 HAWTHORNE BLVD SUITE 1085
TORRANCE CA 90503-6501

CHAVEZ LORENZO & CHAVEZ
CONCEPCION & CHAVEZ MARIA E
309 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

PUBLIC SERVICE CO OF NM
ALVARADO SQUARE
ALBUQUERQUE NM 87158

C & L INC ATTN: BOUNPHOM LIMARY
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

LIMARY INVESTMENT LLC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

INTERNATIONAL PLAZA INC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

MALDONADO HERNAN & PENA ROSA
EMMA & SANCHEZ KATE J & SANCHEZ
GREGORY T
2723 ISLETA BLVD SW
ALBUQUERQUE NM 87105-5812

C & L INC ATTN: BOUNPHOM LIMARY
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

INTEGRITY INVESTMENTS LLC
PO BOX 66252
ALBUQUERQUE NM 87193-6252

LIMARY BOUNPHOM
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

LIMARY INVESTMENT LLC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

NGUYEN TUAN M & TRAN HANH T
309 ALCAZAR ST SE
ALBUQUERQUE NM 87108

NGUYEN QUAN M & BINH M
3209 CHELWOOD PARK BLVD NE
ALBUQUERQUE NM 87111-5408

GRAND CENTRAL DEVELOPMENT LLC
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

MALDONADO HERNAN & PENA ROSA
EMMA & SANCHEZ KATE J & SANCHEZ
GREGORY T
2723 ISLETA BLVD SW
ALBUQUERQUE NM 87105-5812

MALDONADO HERNAN & PENA ROSA
EMMA & SANCHEZ KATE J & SANCHEZ
GREGORY T
2723 ISLETA BLVD SW
ALBUQUERQUE NM 87105-5812

TRAN CHEE N TRUSTEE LE-TRAN TRUST
7209 VISTA DEL ARROYO AVE NE
ALBUQUERQUE NM 87109-2936

C & L INC ATTN: BOUNPHOM LIMARY
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3275

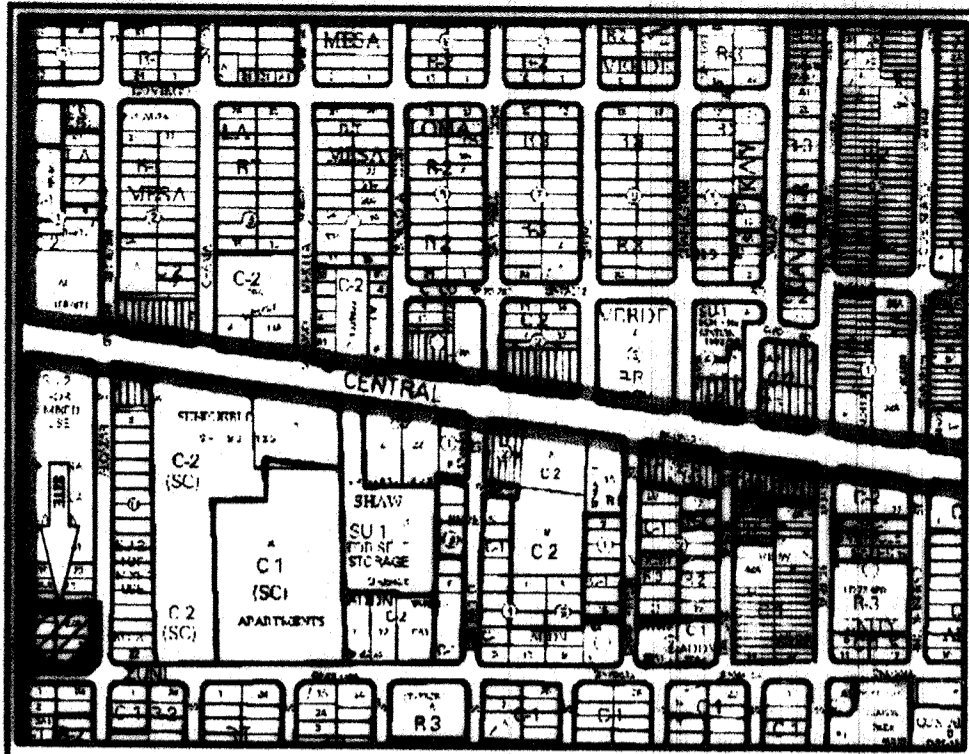
C & L INC ATTN: BOUNPHOM LIMARY
230 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108

WAT BUDDHAMONGKOLNIMIT THE
BUDDIST TEMPLE OF NEW MEXICO
320 LOUISIANA BLVD SE
ALBUQUERQUE NM 87108-3138

INTEGRITY INVESTMENTS LLC
PO BOX 66252
ALBUQUERQUE NM 87193-6252

EXISTING PLAT

SITE PLAN MAJOR AMENDMENT DRAWINGS



VICINITY MAP No. K-19

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 27-A, 28, 29, 30, 31, 32 AND 33 INTO 1 LOT, DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AND GRANT ALL EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.2079 ACRES.
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: OCTOBER, 2012
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- PLATS USED TO ESTABLISH BOUNDARY.
 - LA MESA No. 2
FILED: APRIL 16, 1938 IN VOLUME D4, FOLIO 1
 - LA MESA No. 2
FILED: MARCH 14, 2001 IN PLAT BOOK 2001C, PAGE 81

LEGAL DESCRIPTION:

LOT NUMBERED TWENTY-EIGHT (28) AND THE REMAINING PORTIONS OF LOTS TWENTY-NINE (29) THIRTY (30) THIRTY-ONE (31), THIRTY-TWO (32) AND THIRTY-THREE (33) IN BLOCK NUMBERED TEN (10) OF LA MESA NO. 2, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 16, 1938 IN VOLUME D4, FOLIO 1 AND LOT NUMBERED TWENTY-SEVEN-A (27-A) IN BLOCK NUMBERED TEN (10) OF THE PLAT OF LOT 27-A BLOCK 10, LA MESA NO. 2 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 14, 2001 IN PLAT BOOK 2001C, PAGE 81, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE WEST LINE OF ALCAZAR STREET, WHENCE CITY OF ALBUQUERQUE CONTROL MONUMENT '7-K19' HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) N=1,483,044.082 AND E=1,545,165.941 BEARS N. 13 DEG. 53' 12" W., A DISTANCE OF 942.24 FEET RUNNING THENCE S. 00 DEG. 03' 56" E., ALONG THE WEST LINE OF ALCAZAR STREET, A DISTANCE OF 193.97 FEET TO AN ANGLE POINT; THENCE CONTINUING ALONG THE WEST LINE OF ALCAZAR STREET, S. 45 DEG. 28' 39" W., A DISTANCE OF 8.72 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE NORTHERLY LINE OF ZUNI ROAD; THENCE ALONG THE NORTHERLY LINE OF ZUNI ROAD FOR THE NEXT 3 CALLS: S. 89 DEG. 11' 04" W., A DISTANCE OF 128.79 FEET TO AN ANGLE POINT; THENCE N. 00 DEG. 03' 56" W., A DISTANCE OF 3.35 FEET TO AN ANGLE POINT; THENCE S. 88 DEG. 50' 43" W., A DISTANCE OF 111.60 FEET TO THE SOUTHWEST CORNER, BEING THE INTERSECTION OF THE NORTHERLY LINE OF ZUNI ROAD WITH THE EASTERLY LINE OF LOUISIANA BOULEVARD; THENCE LEAVING THE NORTHERLY LINE OF ZUNI ROAD, N. 44 DEG. 12' 23" W., ALONG THE EASTERLY LINE OF LOUISIANA BOULEVARD, A DISTANCE OF 31.54 FEET TO AN ANGLE POINT; THENCE CONTINUING ALONG THE EASTERLY LINE OF LOUISIANA BOULEVARD, N. 03 DEG. 10' 26" E., A DISTANCE OF 178.18 FEET TO THE NORTHWEST CORNER; THENCE N. 09 DEG. 56' 04" E., A DISTANCE OF 258.48 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 1.2079 ACRES MORE OR LESS.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM")**, a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

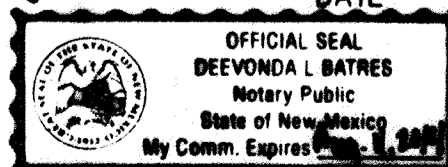
Disclaimer:
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. AND DO HEREBY ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE w/WARRANTY COVENANTS

Chan Sukeng March 12, 2013
DATE

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 12 DAY OF March, 2013

BY: Charern Sukkaeng
OWNERS NAME

MY COMMISSION EXPIRES: August 11, 2014 BY: Deevonda L. Batres
NOTARY PUBLIC

PLAT OF
LOT 33-A, BLOCK 10
LA MESA No. 2

WITHIN
SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2013

PROJECT NUMBER: 1009642

APPLICATION NUMBER: 13 DRB-70501

UTILITY APPROVALS:

Leonardo Villar 4-17-13
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
John A. ... 4/17/2013
NEW MEXICO GAS COMPANY DATE
... 4/18/13
QWEST CORPORATION D/B/A CENTURYLINK QC DATE
... 4/17/13
COMCAST DATE

CITY APPROVALS:

Dial P. Acosta 3-19-13
CITY SURVEYOR DATE
N/A
REAL PROPERTY DIVISION (CONDITIONAL) DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
... 04-10-13
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
A. Pate 04/10/13
ABCWA DATE
Carol S. Demont 4-10-13
PARKS AND RECREATION DEPARTMENT DATE
Bradley D. Bingham 4/18/13
AMAFCA DATE
... 4-10-13
CITY ENGINEER DATE
... 5-6-13
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

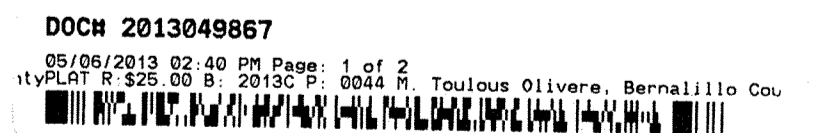
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 2nd DAY OF January, 2013.

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463

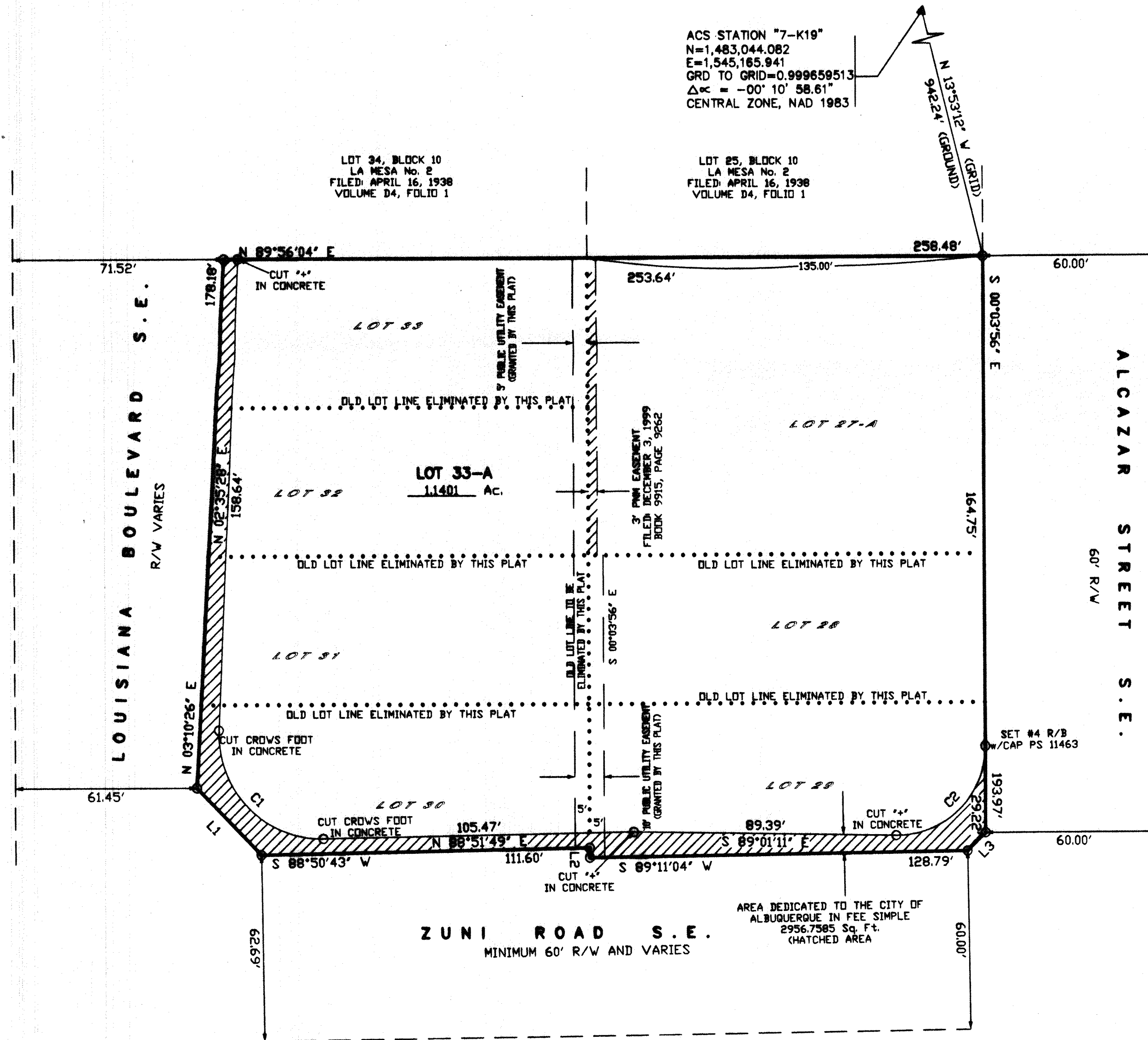


THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# see Parcel above

PROPERTY OWNER OF RECORD: Buddhist Temple of New Mexico
BERNALILLO CO. TREASURER'S OFFICE: Phone call 8/6/13

PLAT OF
LOT 33-A, BLOCK 10
LA MESA No. 2

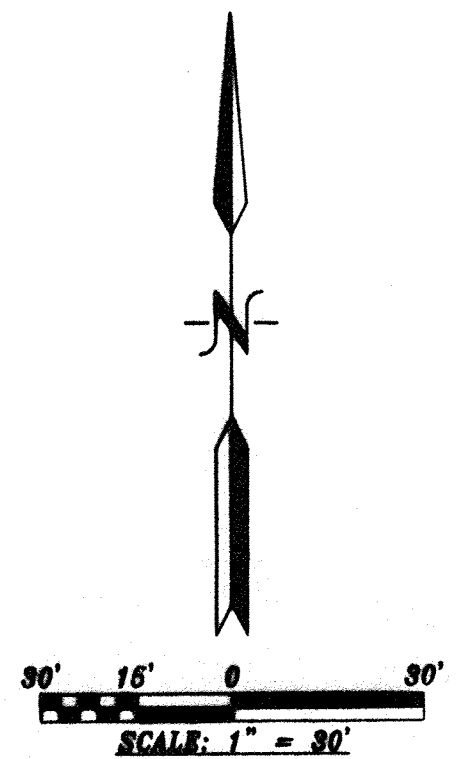
WITHIN
 SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2013



ACS STATION "7-K19"
 N=1,483,044.082
 E=1,545,165.941
 GRD TO GRID=0.999659513
 $\Delta\alpha = -00^{\circ} 10' 58.61''$
 CENTRAL ZONE, NAD 1983

LOT 34, BLOCK 10
 LA MESA No. 2
 FILED: APRIL 16, 1938
 VOLUME D4, FOLIO 1

LOT 25, BLOCK 10
 LA MESA No. 2
 FILED: APRIL 16, 1938
 VOLUME D4, FOLIO 1



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N 44°12'23" W	31.54'
L2	N 00°03'56" V	3.35'
L3	S 45°28'39" W	8.72'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	93°43'39"	S 44°16'22" E	35.00	157.25	51.08
C2	91°02'45"	N 45°27'26" E	30.00	141.67	42.81

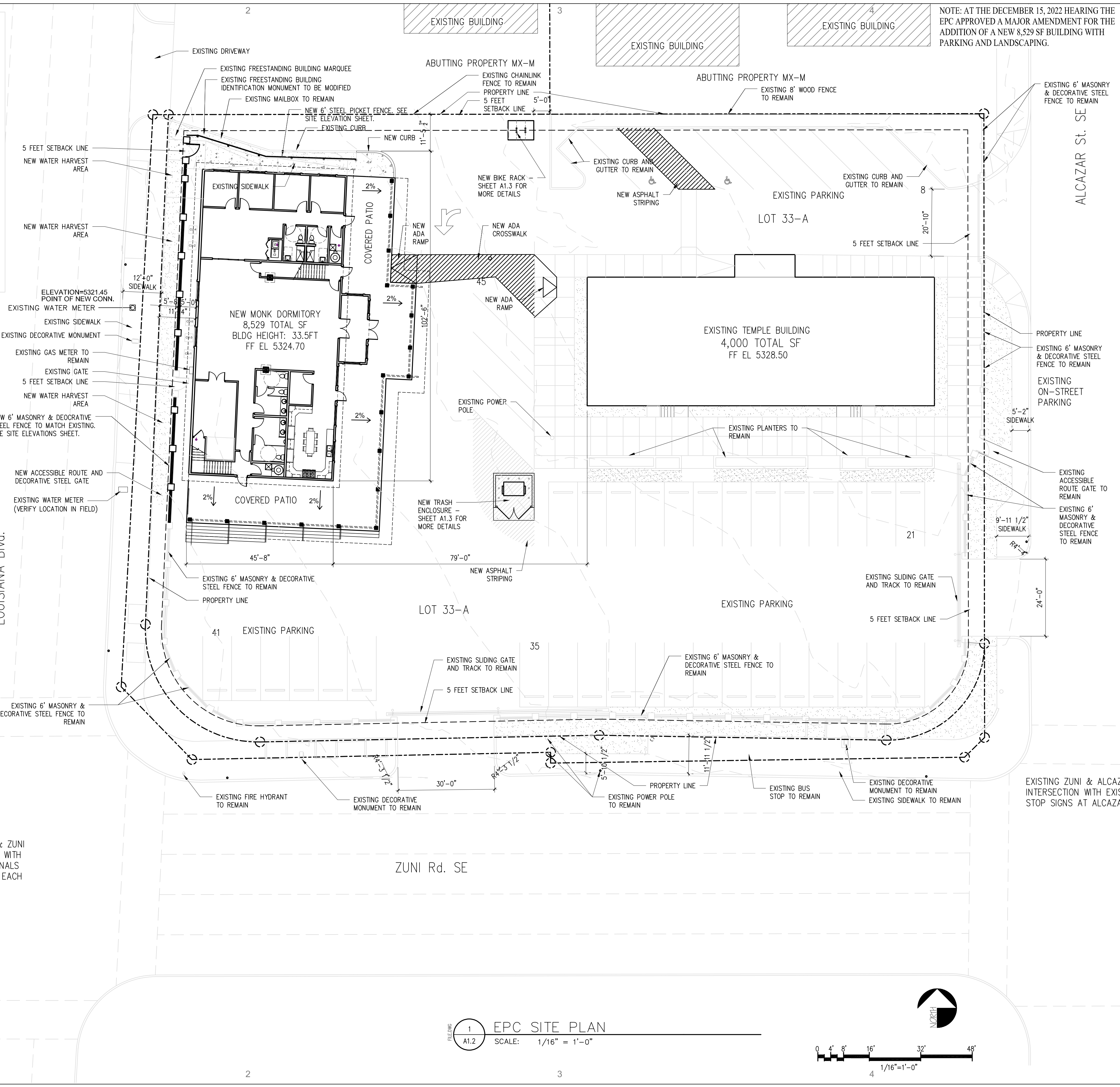
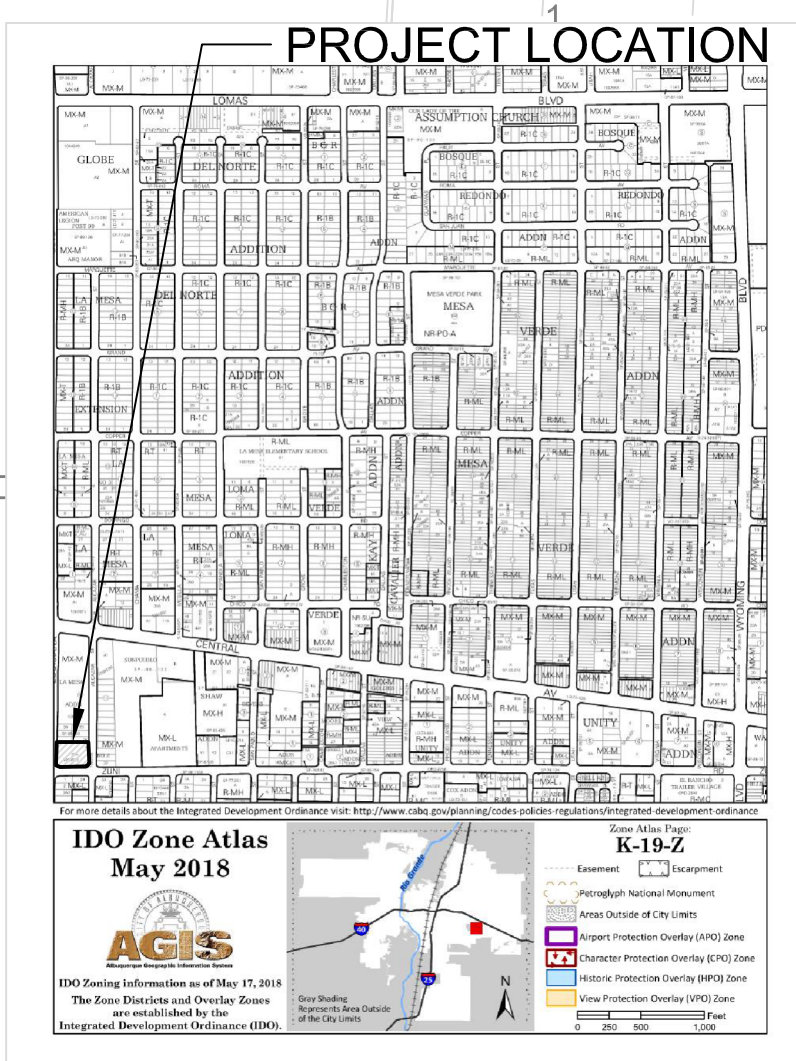
DOCH 2013049867

05/06/2013 02:40 PM Page: 2 of 2
 PLAT R: 525.00 B: 2013C P: 0044 M: Toulous Olivere, Bernalillo Cou



12-0630.DWG OCTOBER, 2012)

SITE PLAN MAJOR AMENDMENT
PROPOSED DRAWINGS



NOTE: AT THE DECEMBER 15, 2022 HEARING THE EPC APPROVED A MAJOR AMENDMENT FOR THE ADDITION OF A NEW 8,529 SF BUILDING WITH PARKING AND LANDSCAPING.

WAT PHRATHAT DOI SUTHEP NM USA
 320 LOUISIANA BLVD. SE
 DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO
 20_2201
 7/27/2022

SITE DEVELOPMENT DATA
LEGAL DESCRIPTION: LT 33-A BLK 10 PLAT OF LT 33-A BLK 10 LA MESA NO. 2 CONT 1.1401AC

LAND AREA:
 LOT 33-A 1.14 ACRES
 TOTAL LAND AREA 1.14 ACRES

ZONING: MX-M

BUDDHIST TEMPLE MONKS RESIDENCE BUILDING
BUILDING OWNER: WAT PHRATHAT DOI SUTHEP NM USA

BUILDING ADDRESS: 320 LOUISIANA BOULEVARD SE, ALBUQUERQUE, NM 87108

EXISTING BUILDING: MONK'S DORMITORY, ONE STORY R-3 BUILDING ON WEST END OF SITE* TO BE DEMOLISHED FOR NEW BUILDING

NEW CONSTRUCTION:
 NEW MONK'S DORMITORY, TWO STORY 3-3 NON-TRANSIENT IN PREVIOUS BUILDING FOOTPRINT WITH (12) DORM ROOMS, MULTI-PURPOSE EVENT SPACE, MEDITATION SPACE & SUPPORT SPACE.

SITE LANDSCAPING IMPROVEMENTS COMPLIANT WITH REGULATIONS & STANDARDS OUTLINED WITHIN THE IDO & CABQ DEVELOPMENT STANDARDS INCLUDING ADA CROSSWALK AND SITE STRIPING
 NEW SITE MASONRY AND DECORATIVE STEEL FENCE TO MATCH EXISTING WITH INTEGRATED WALL MOUNTED ACCENT LIGHT FIXTURES

LIFE SAFETY CRITERIA
 BUDDHIST TEMPLE MONKS RESIDENCE BUILDING TO HAVE AN AUTOMATIC FIRE SUPPRESSION SYSTEM (S)

- CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
 - 1.1 SECTION 310: RESIDENTIAL GROUP R 310.5 RESIDENTIAL GROUP R-3. "RESIDENTIAL GROUP R-3 OCCUPANCIES WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS GROUP R-1, R-2, R-4 OR I, INCLUDING: CONGREGATE LIVING FACILITIES (NONTRANSIENT) WITH 16 OR FEWER OCCUPANTS"

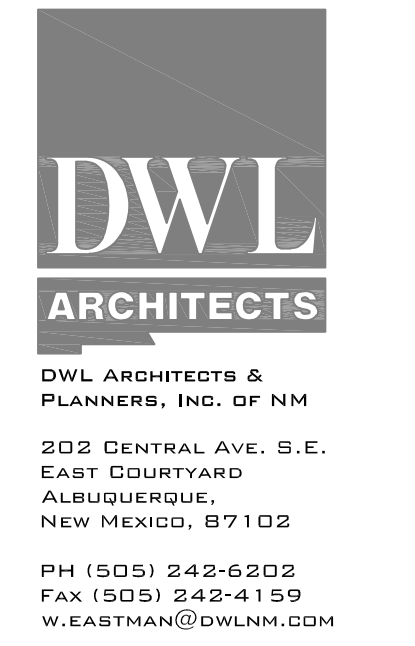
- PARKING CALCULATIONS
 - GROUND FLOOR: 4,466 SF
 - SECOND FLOOR: 4,062 SF
 - TOTAL R-3 OCCUPANCY AREA = 8,529 SF

ACCESSIBLE PARKING SPACES:
 REQUIRED: (ADAAG TABLE 208.2)
 1 HC / 25 PARKING SPACES
 PROVIDED:
 1 VAN ACCESSIBLE SPACE

MOTORCYCLE PARKING SPACES:
 REQUIRED: (IDO TABLE 5-5-4)
 1 / 25 PARKING SPACES
 PROVIDED:
 1 SPACE

BICYCLE PARKING SPACES:
 REQUIRED: (IDO TABLE 5-5-5)
 3 PERSONS / 1 PARKING SPACE
 ACTUAL:
 12 PERSONS / 3 PERSONS
 = 4 SPACES REQUIRED
 PROVIDED:
 4 BICYCLE PARKING SPACES

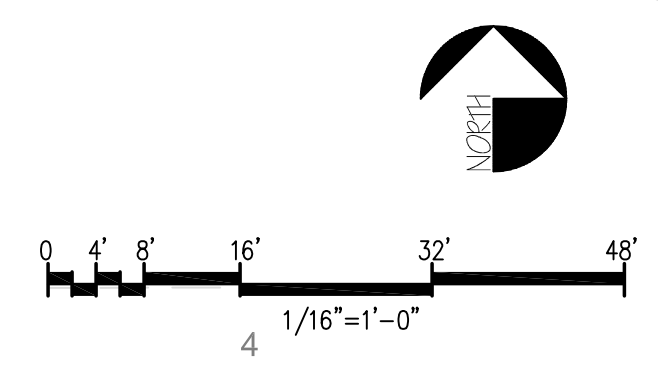
NOTE: THIS FACILITY WILL ALSO SHARE PARKING WITH THE TEMPLE BUILDING. THE EXISTING PARKING PROVIDED IS TO REMAIN AND IS IN COMPLIANCE WITH IDO AND REGULATORY REQUIREMENTS.

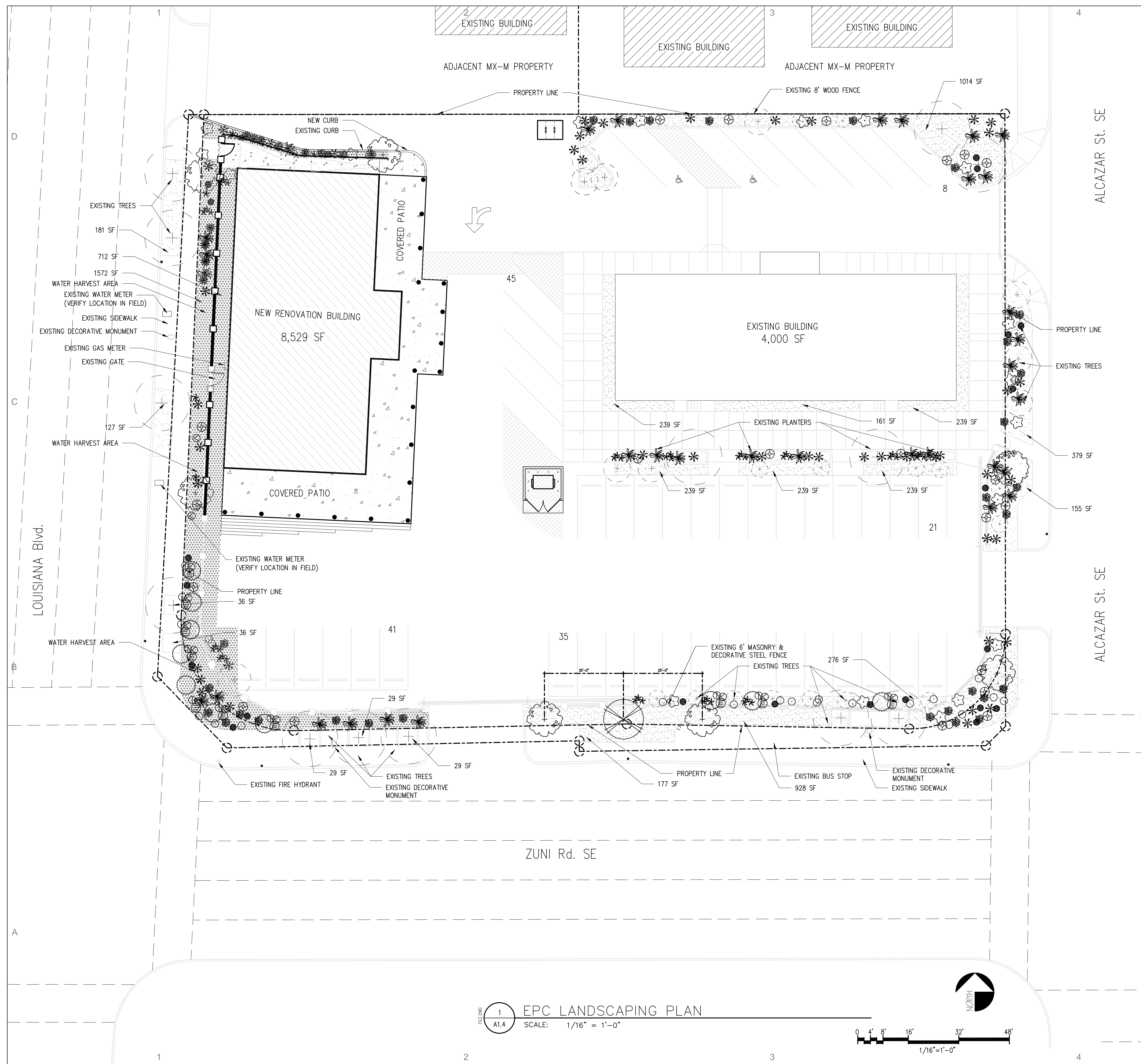


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CONGREGATE LIVING
NON-TRANSIENT
 320 LOUISIANA BLVD. SE.
 ALBUQUERQUE, NEW MEXICO 87108-3183

ISSUE/REVISION
 PROJECT NUMBER:
 20_1611.03
 CAD DWG FILE:
 DWL-NM_APS_OSUNA
 DRAWN BY:
 S.S.
 CHECKED BY:
 W. EASTMAN
 SHEET TITLE:
 EPC
 SITE PLAN EPC MAJOR AMENDMENT
EPC A.1
 XX OF XX SHEET

1 EPC SITE PLAN
 SCALE: 1/16" = 1'-0"





OWNER & RESIDENTS TO MAINTAIN AND CONTINUE TO MAINTAIN UPKEEP OF ALL LANDSCAPING AND SITE FEATURES.
 IDO LANDSCAPING REQUIREMENTS:

THE SITE LANDSCAPING COVERAGE REQUIREMENT IS FOR 15%

LOT AREA: 49,658 SF (1.14 AC)
 BUILDING AREA EXISTING: 4,000 SF EXISTING
 BUILDING AREA NEW: 8,529 SF NEW

LOT MINUS BUILDING AREA 37,129 SF

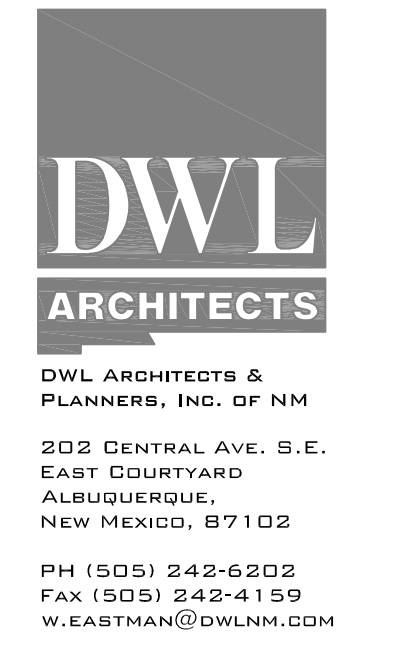
REQUIRED LANDSCAPE AREA: 5,569 SF (15%)
 PROVIDED LANDSCAPE AREA: 7,047 SF (18%)

EXISTING LANDSCAPED AREA 3,812SF
 STREET LANDSCAPED AREA 951SF
 NEW LANDSCAPED AREA 2,284SF
 TOTAL LANDSCAPED AREA 7,047 SF

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
(+)	EXISTING TREE	VARIES- TO REMAIN	
(+)	ACACIA WILLARDIANA	PALO BLANCO	36" BOX
(+)	GLEDITSIA TRIACANTHOS	'SHADEMASTER' THORNLESS HONEYLOCUST	24" BOX
(+)	PISTACHE X 'RED PUSH'	RED PUSH PISTACHE	24" BOX
SHRUBS			
(+)	EXISTING SHRUB/ ACCENT	VARIES- TO REMAIN	
(+)	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.
(+)	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUAN SAGE	5 GAL.
(+)	MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL.
(+)	RUELLIA BRITTONIANA	BRITISH RUELLIA	5 GAL.
ACCENTS			
(*)	AGAVE MURPHEYI	MURPHEY'S AGAVE	5 GAL.
(*)	ALOE BARBADENSIS	MEDICINAL ALOE	5 GAL.
(*)	ALOE X 'BLUE ELF'	BLUE ELF ALOE	5 GAL.
(*)	HESPERALOE PARVIFLORA	'PERPA' BRAKELIGHTS YUCCA	5 GAL.
(*)	PEDILANTHUS BRACTEATUS	TALL SLIPPER PLANT	15 GAL.
(*)	PORTULACARIA AFRA	ELEPHANT FOOD	5 GAL.
GROUNDCOVER			
(●)	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL.
(●)	EREMOPHILA GLABRA 'MINGENEW GOLD'	OUTBACK SUNRISE EMU	3 GAL.
(●)	LIRIOPE SPICATA	LILY TURF	3 GAL.
(●)	MELAMPodium LEUCANTHUM	BLACKFOOT DAISY	1 GAL.
(●)	PENSTEMON PARRYI	PARRY'S PENSTEMON	1 GAL.
(●)	PENSTEMON PSEUDOSPECTABILIS	DESERT PENSTEMON	1 GAL.
(●)	RUELLIA BRITTONIANA 'KATIE'	KATIE RUELLIA	1 GAL.
(●)	SPHAGNETICOLA TRILOBATA	YELLOW DOT	1 GAL.
(■)	TURF	SYNTHETIC TURF-STYLE TBD	
INERT GROUNDCOVER			
(2)	DECOMPOSED GRANITE	REUSE EXISTING FROM COURTYARD	
(4)	DECOMPOSED GRANITE	PIONEER- DESERT BROWN	1/4" MINUS
(—)	STEEL HEADER- GREEN		
(●)	SELECT GRANITE BOULDERS- MATCH D.G. COLOR, USE ALL EXISTING BOULDERS FROM COURTYARD PLUS NEW. CONTRACTOR TO FIELD VERIFY EXIST. QTY. IN COURTYARD		3'x3' MIN.

NOTE: SEE SHEET L2 FOR ACTUAL LANDSCAPE LAYOUT.



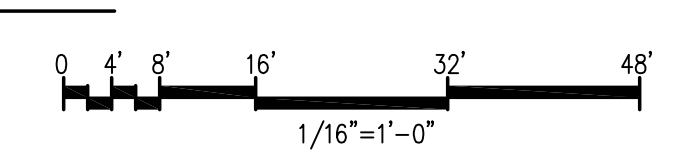
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 ALBUQUERQUE, NEW MEXICO 87108-3183

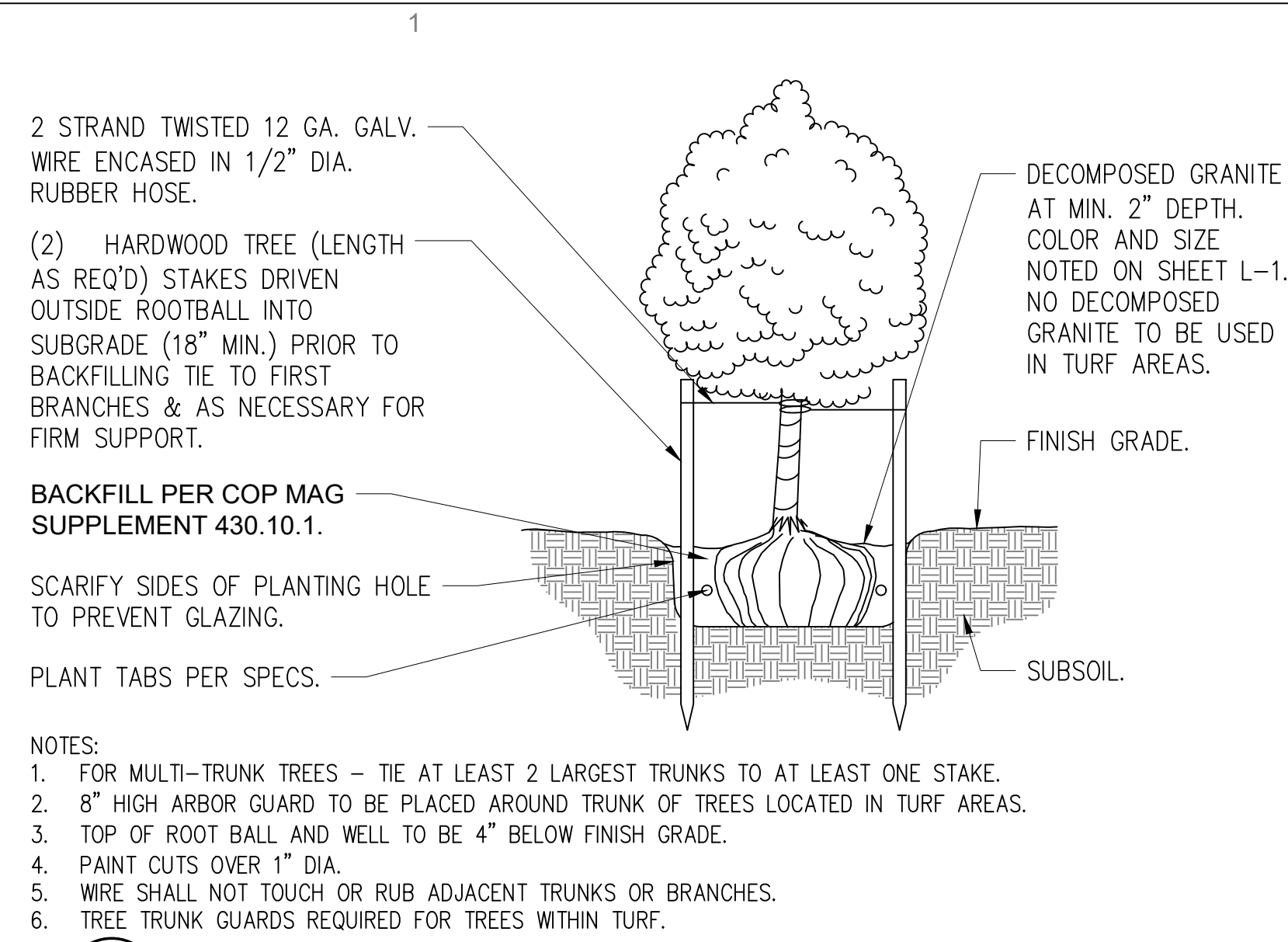
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 DRAWN BY:
 S.S.
 CHECKED BY:
 W. EASTMAN
 SHEET TITLE:

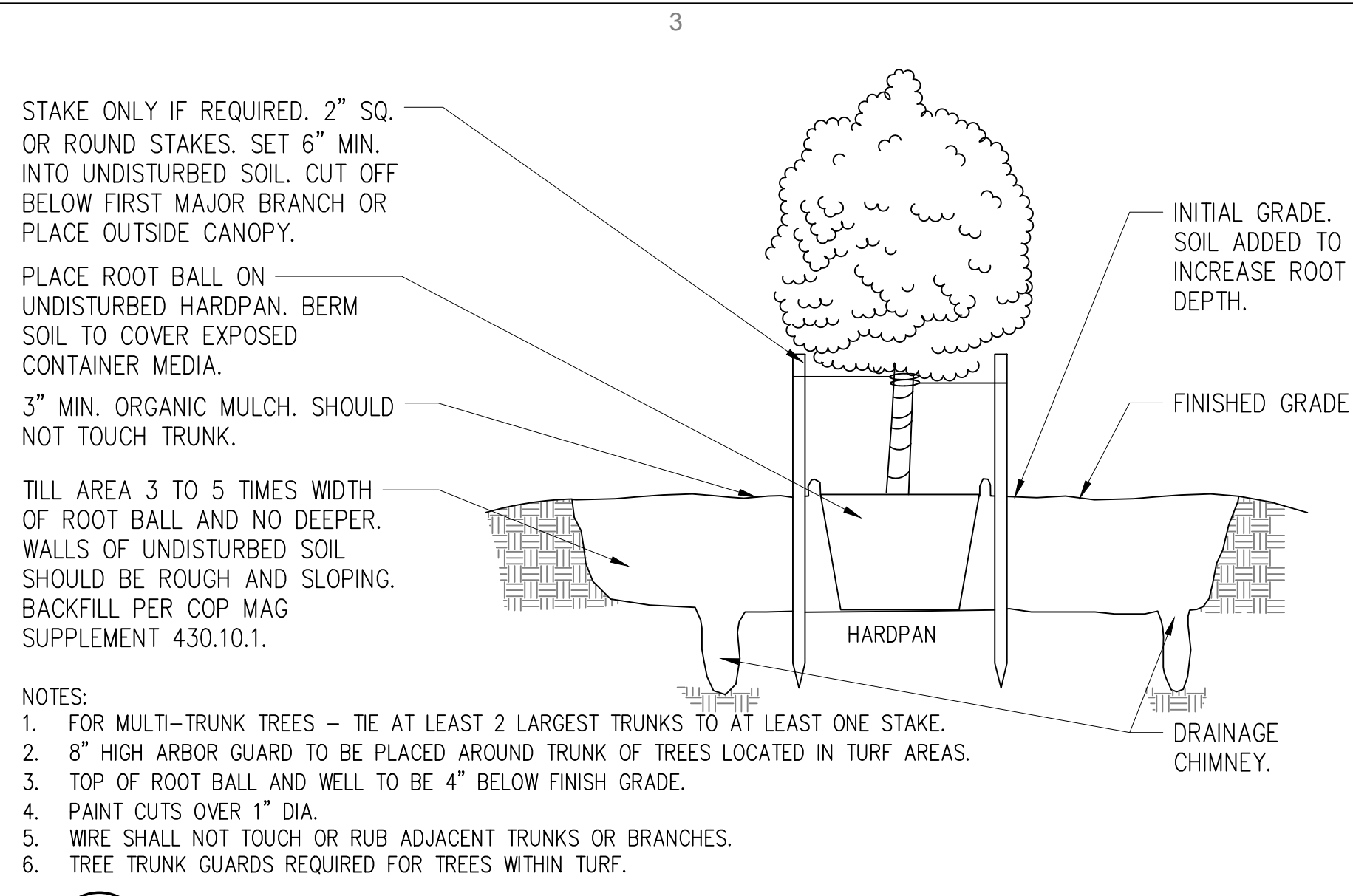
EPC
 LANDSCAPING PLAN
EPC A.2
 XX OF XX SHEET

1 EPC LANDSCAPING PLAN
 SCALE: 1/16" = 1'-0"

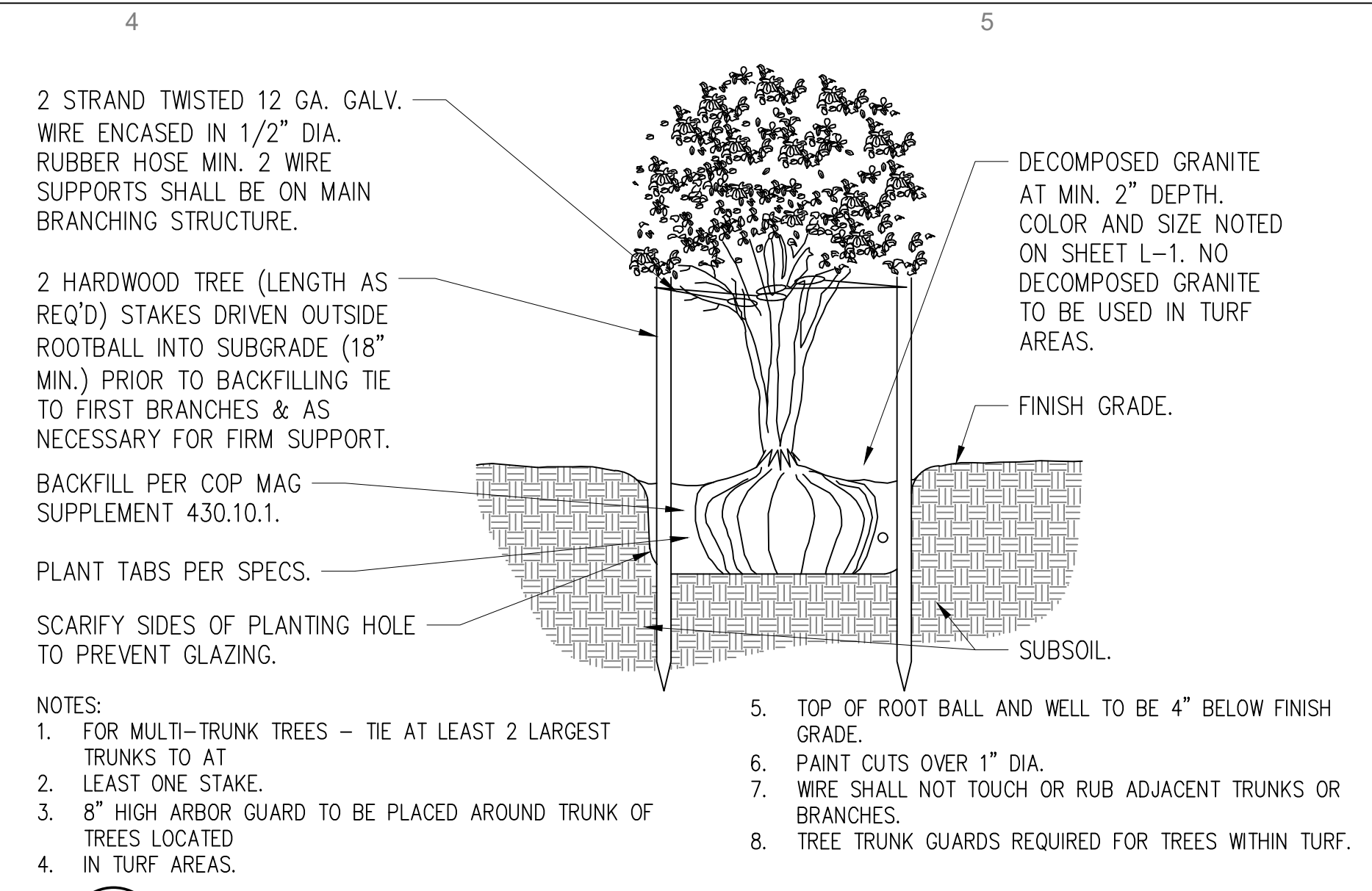




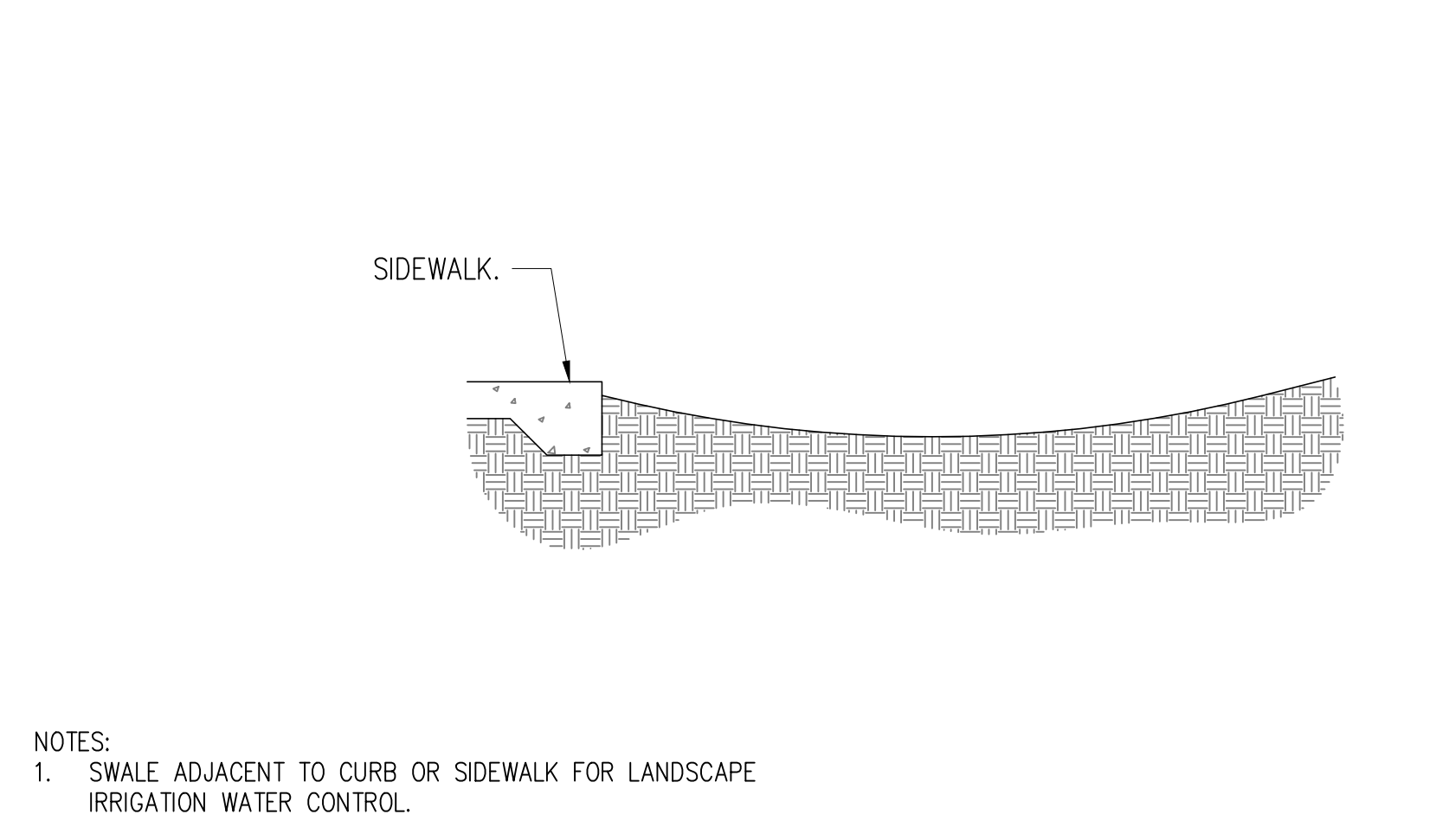
6 TREE PLANTING
SCALE: NOT TO SCALE



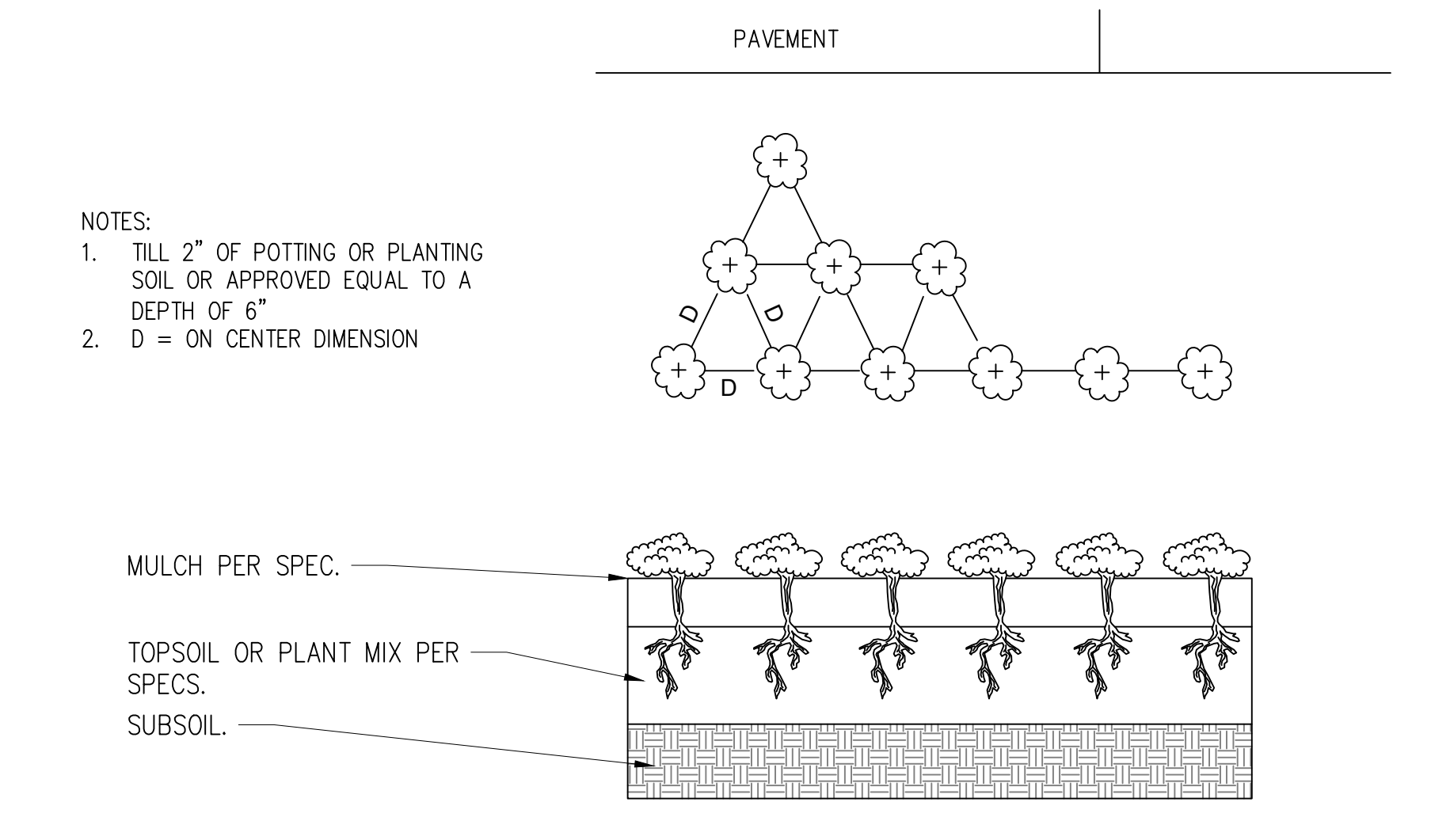
4 CONTAINER TREE IN HARDPAN
SCALE: NOT TO SCALE



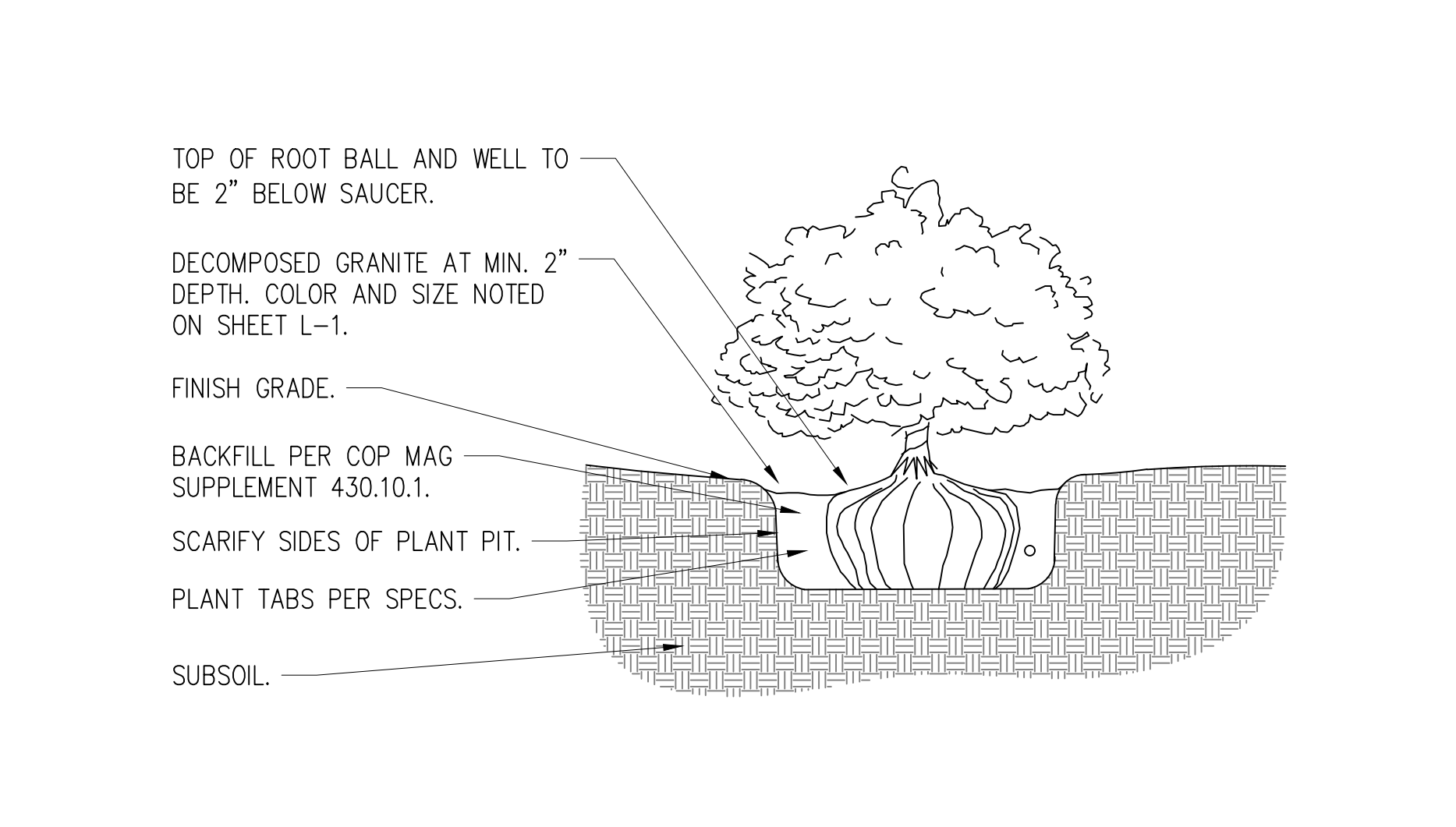
1 MULTI-TRUNK TREE STAKING
SCALE: NOT TO SCALE



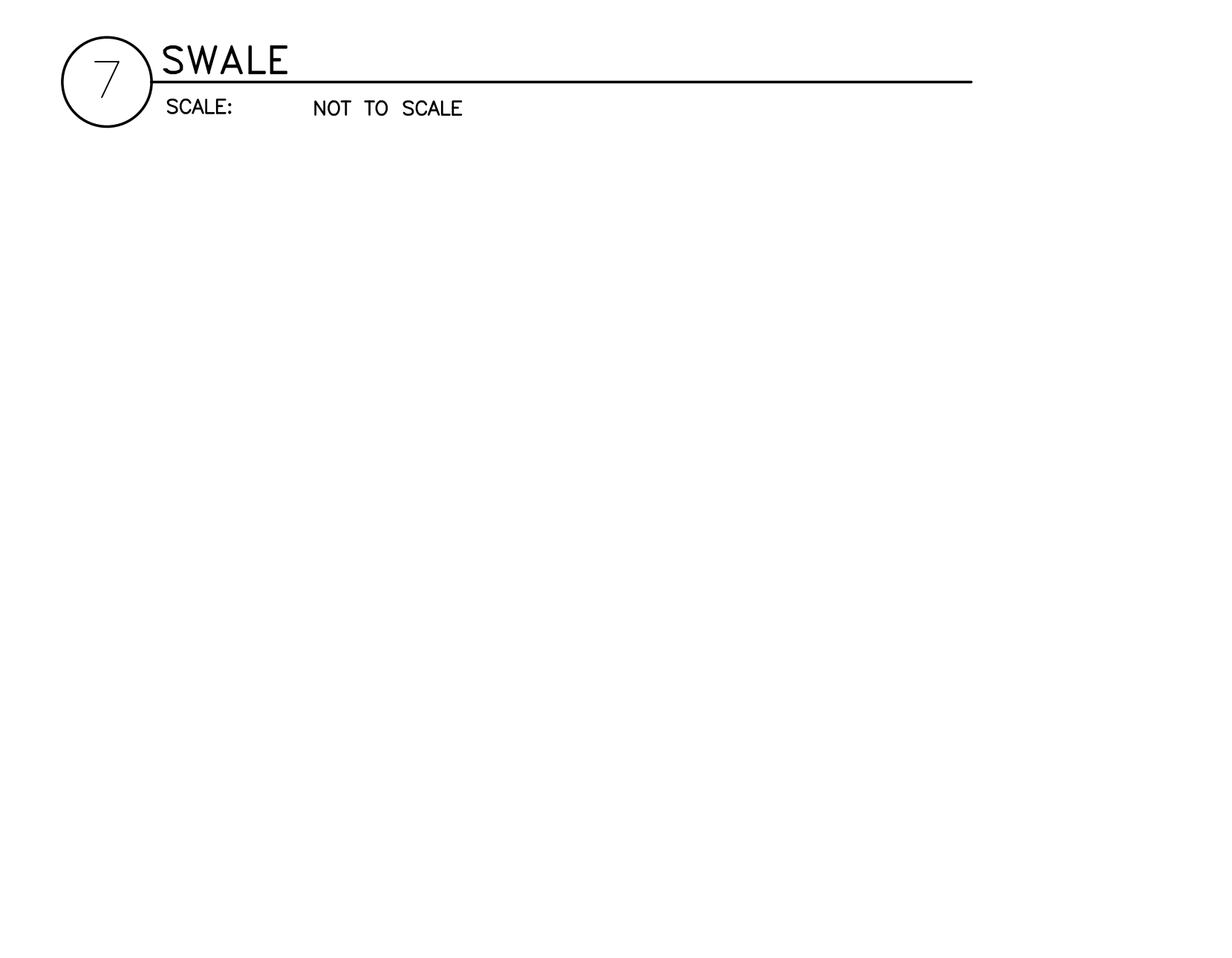
7 SWALE
SCALE: NOT TO SCALE



5 GROUND COVER PLANTING
SCALE: NOT TO SCALE



2 SHRUB PLANTING
SCALE: NOT TO SCALE



6 DECOMPOSED GRANITE
SCALE: NOT TO SCALE

TEMPERATURE	TREES		
	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY 2 DAYS	EVERY 10 DAYS	EVERY 3 WEEKS
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	GRADUALLY EXTEND INTERVALS TO EVERY 4 WEEKS
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	GRADUALLY EXTEND INTERVALS TO EVERY 6 WEEKS
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	WATER IF NO RAINFALL FOR 60 DAYS
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	WATER IF NO RAINFALL FOR 60 DAYS

TEMPERATURE	SHRUBS		
	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY DAY	EVERY 3 DAYS	EVERY WEEK EVERY
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	2 WEEKS EVERY 3
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	WEEKS EVERY 4 - 5
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	WEEKS EVERY 4 - 5
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	WEEKS

3 WATERING SCHEDULE
SCALE: NOT TO SCALE

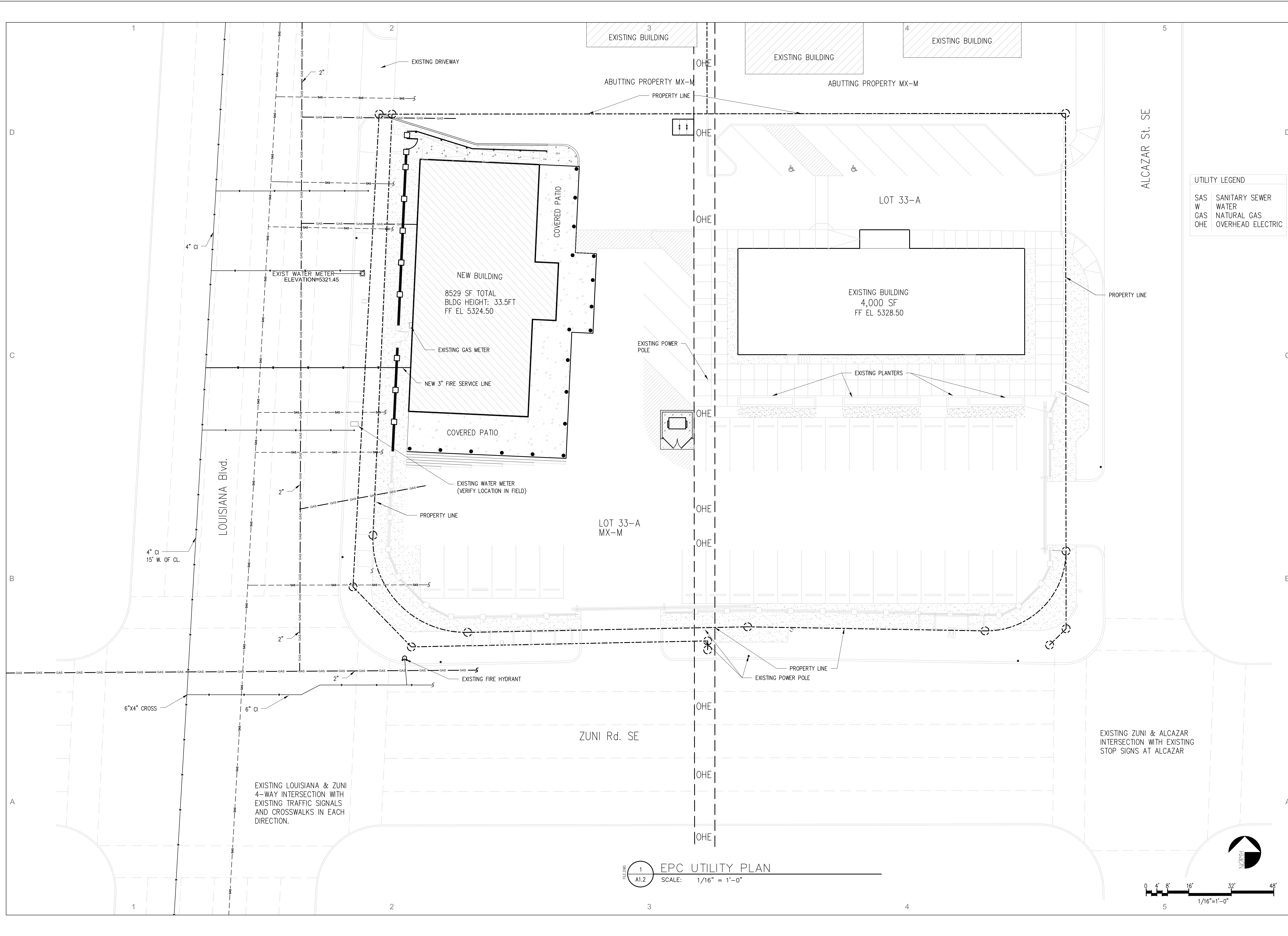
NOTES:
1. SMALL PLANTS IN 1 GALLON CONTAINERS NEED TO BE WATERED TWICE A WEEK.
2. THE WATERING CHART IS PROVIDED AS A GUIDE ONLY AND MUST BE ADJUSTED FOR SPECIFIC TEMPERATURE/ ENVIRONMENTAL CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL PLANT MATERIALS IN A THRIVING, HEALTHY CONDITIONS.

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ALBUQUERQUE, NEW MEXICO 87108-3183

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PROJECT NUMBER:
20_1611.03
CAD DWG FILE:
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DRAWN BY:
S.S.
CHECKED BY:
W. EASTMAN
SHEET TITLE:
SITE PLANTING DETAILS
A1.5
XX OF XX SHEET



UTILITY LEGEND

SAS	SANITARY SEWER
W	WATER
GAS	NATURAL GAS
OHE	OVERHEAD ELECTRIC



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CAD DWG FILE:
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DOI SUTHEP NM USA

DRAWN BY:
S.S.

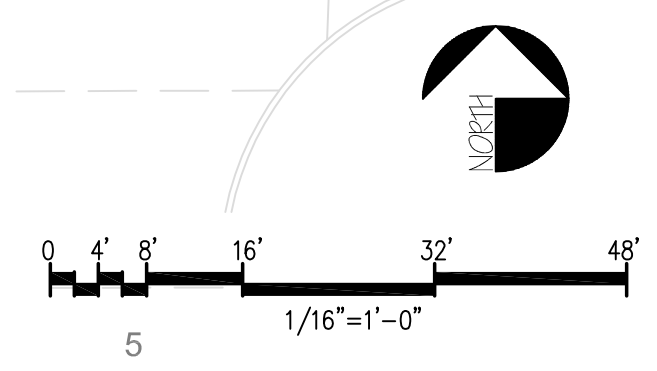
CHECKED BY:
W. EASTMAN

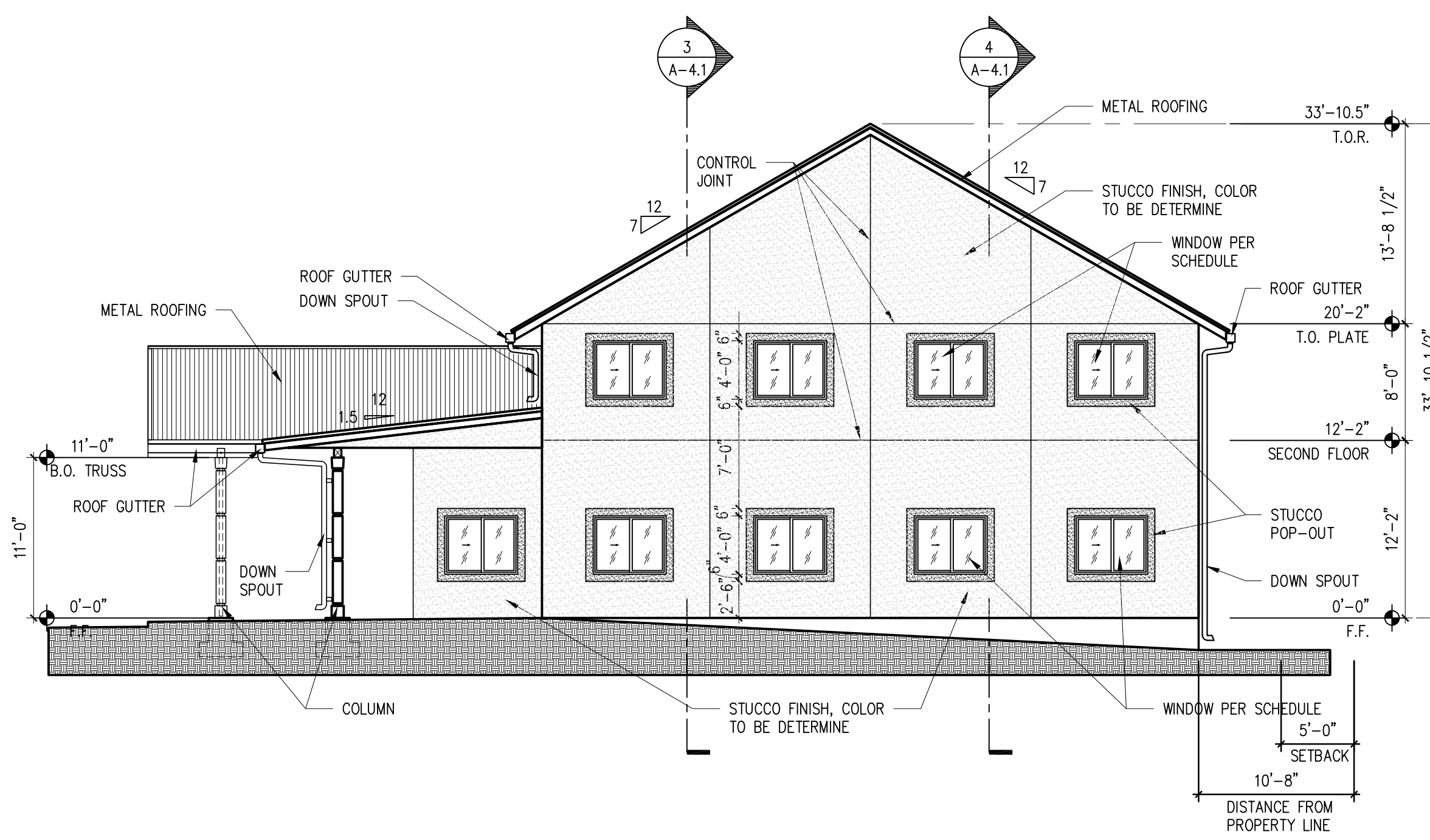
SHEET TITLE:

EPC
 UTILITY PLAN
EPC A.3

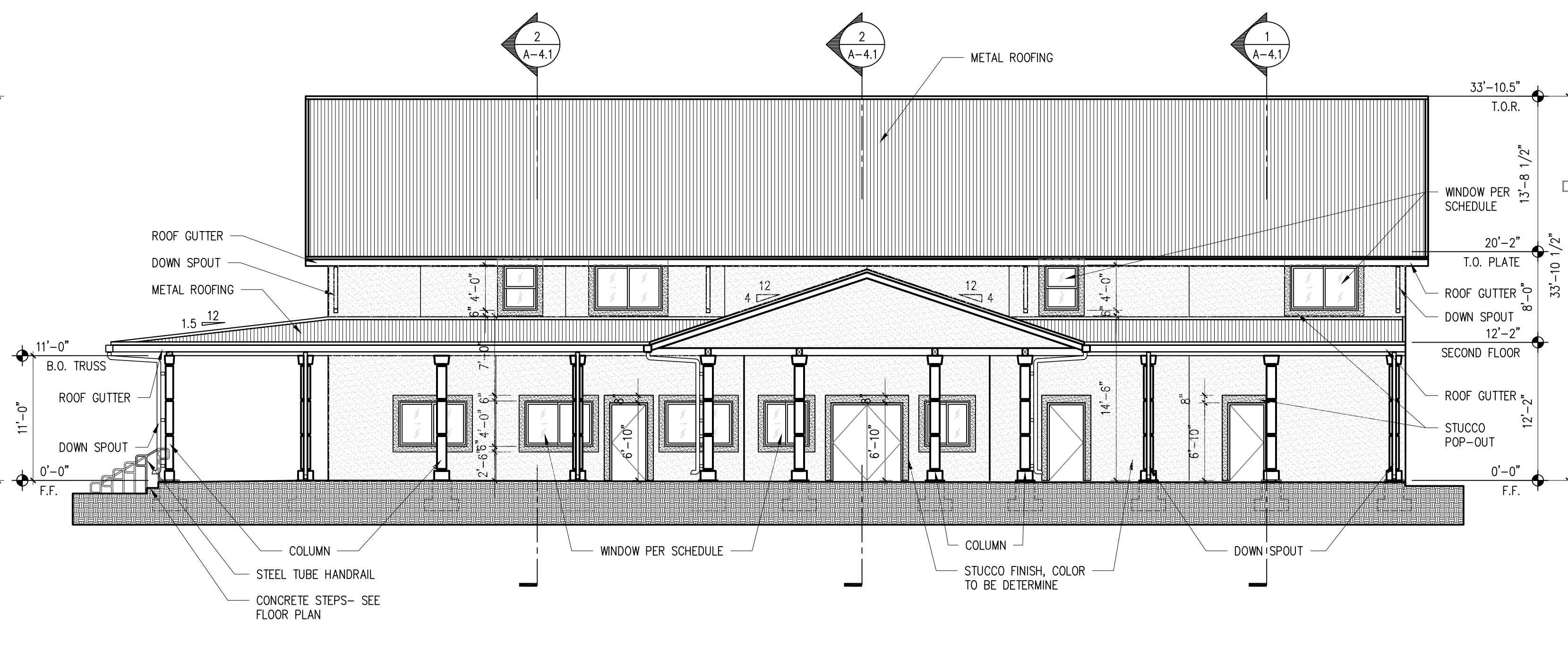
XX OF XX SHEET

1 EPC UTILITY PLAN
 A1.2 SCALE: 1/16" = 1'-0"

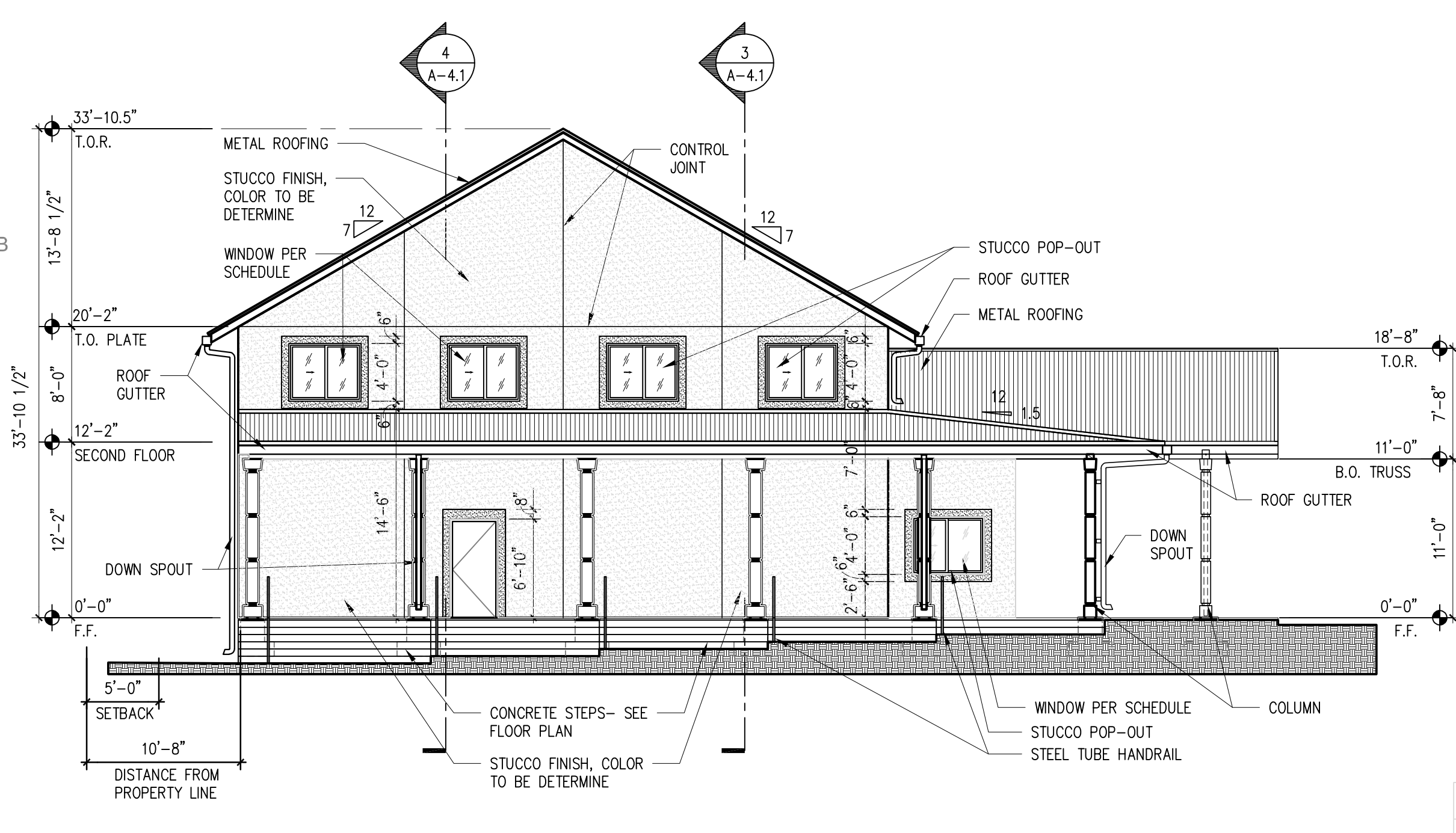




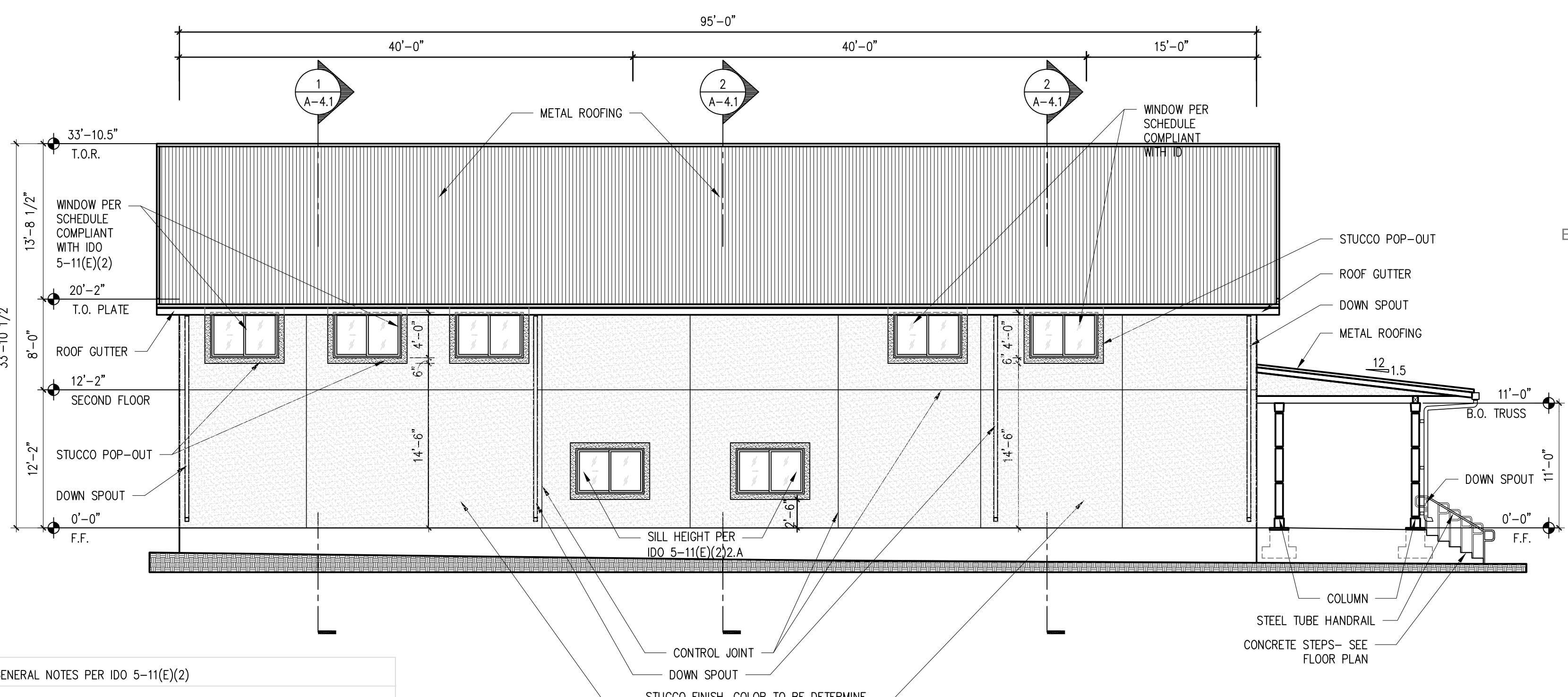
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



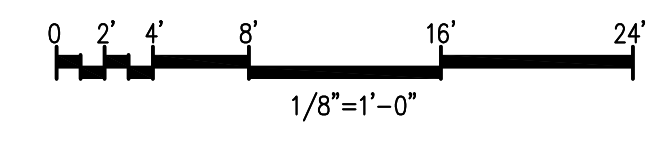
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

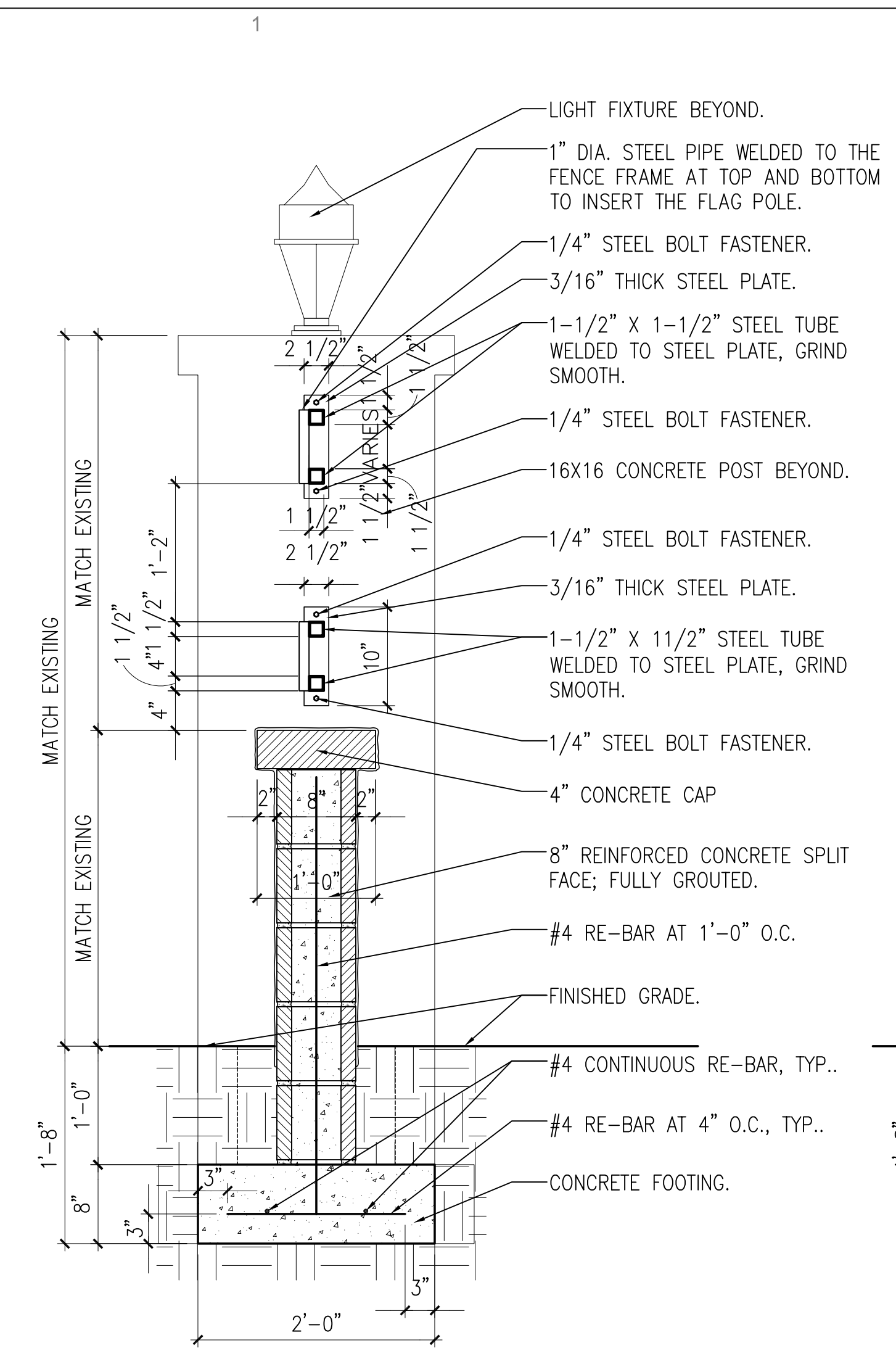


3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

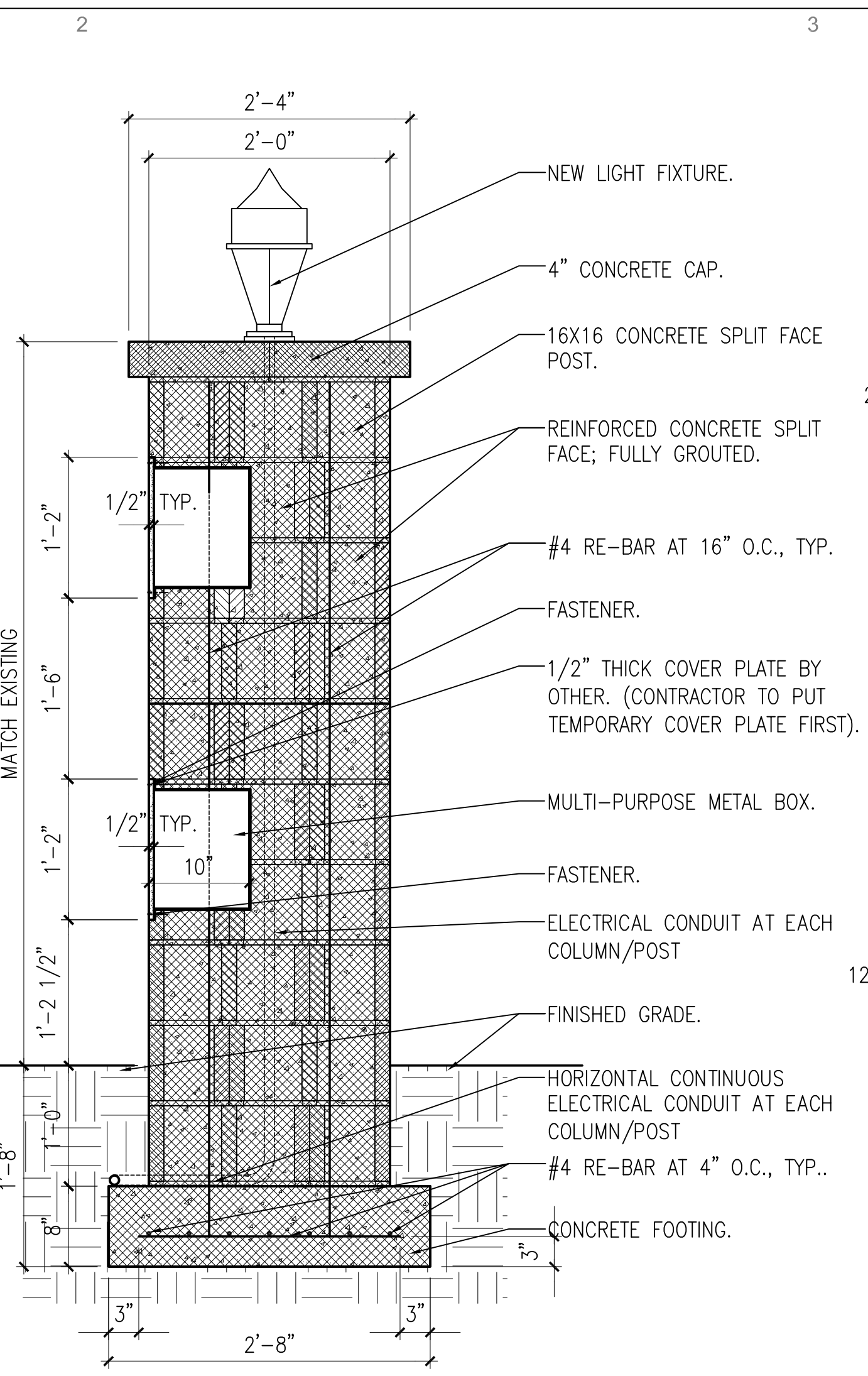
GENERAL NOTES PER IDO 5-11(E)(2)

1. FACADES SHALL BE DESIGNED TO PROVIDE A SENSE OF HUMAN SCALE AT GROUND LEVEL BY PROVIDING A CLEAR ARCHITECTURAL DISTINCTION BETWEEN GROUND FLOOR LEVELS AND ALL ADDITIONAL LEVELS.
2. EACH STREET-FACING FACADE (WEST ELEVATION) SHALL INCORPORATE THE FOLLOWING FEATURES ALONG AT LEAST 30% OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE SO THAT AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 40 FEET.
 - (A) GROUND FLOOR TRANSPARENT WINDOWS WITH THE LOWER EDGE OF WINDOW SILLS NO HIGHER THAN 30" FROM FF.
 - (B) WINDOWS ON UPPER FLOORS.

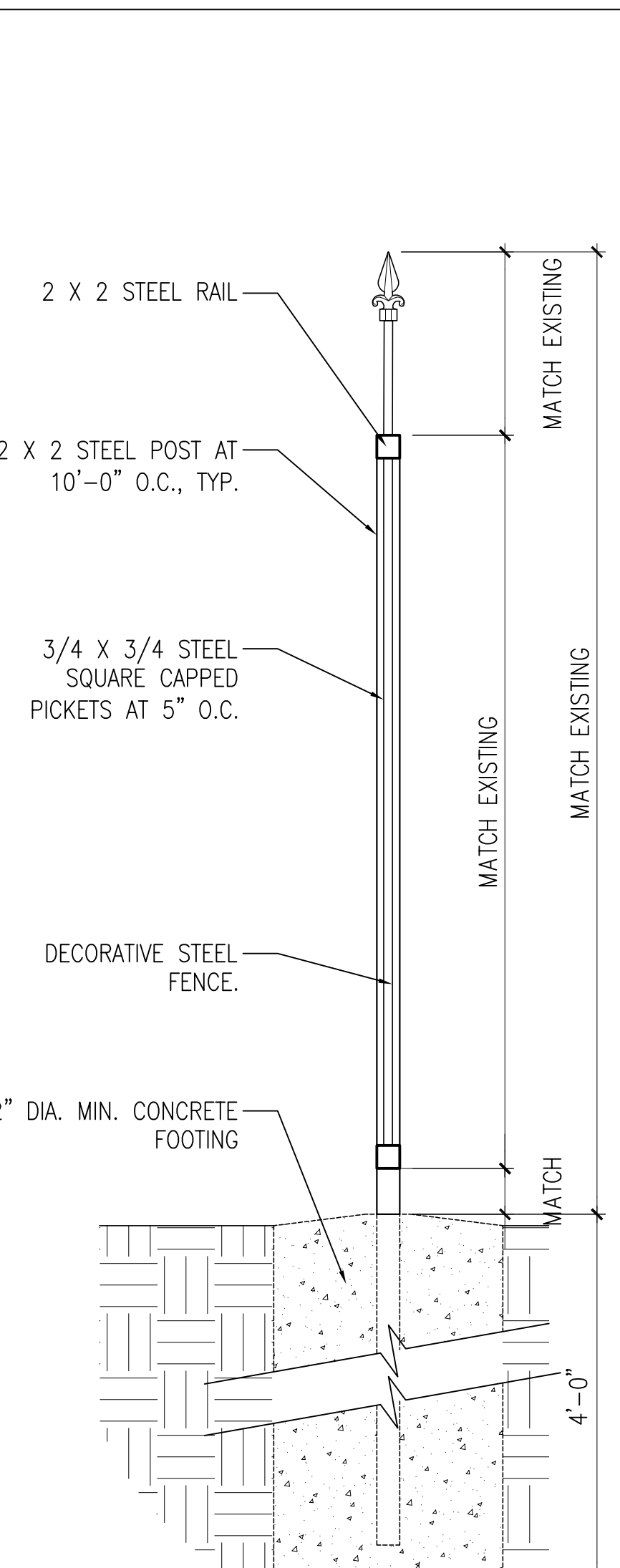




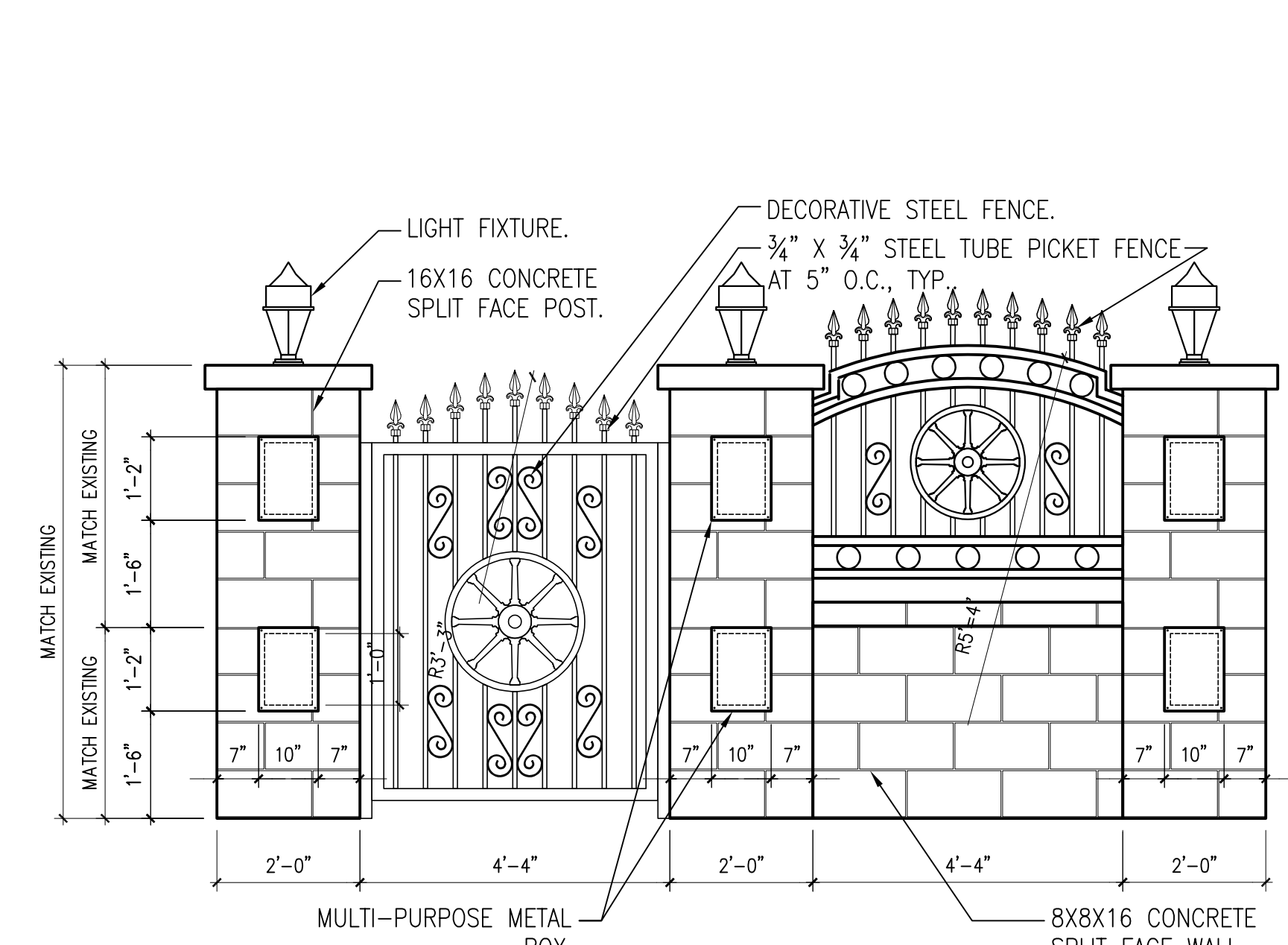
7 FOOTING/WALL DETAIL, TYP.
SCALE: 1" = 1'-0"



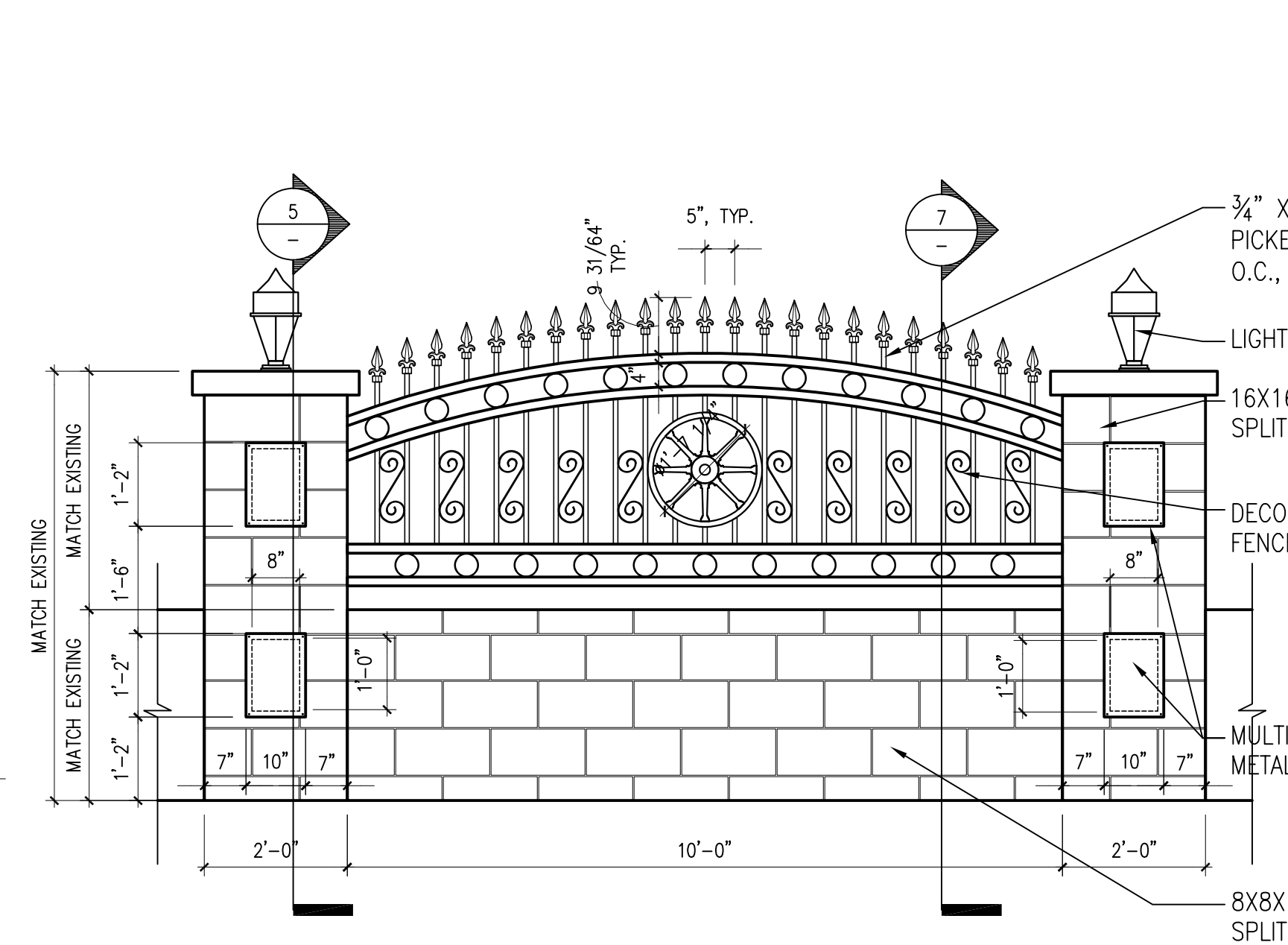
5 FOOTING/POST DETAIL, TYP.
SCALE: 1" = 1'-0"



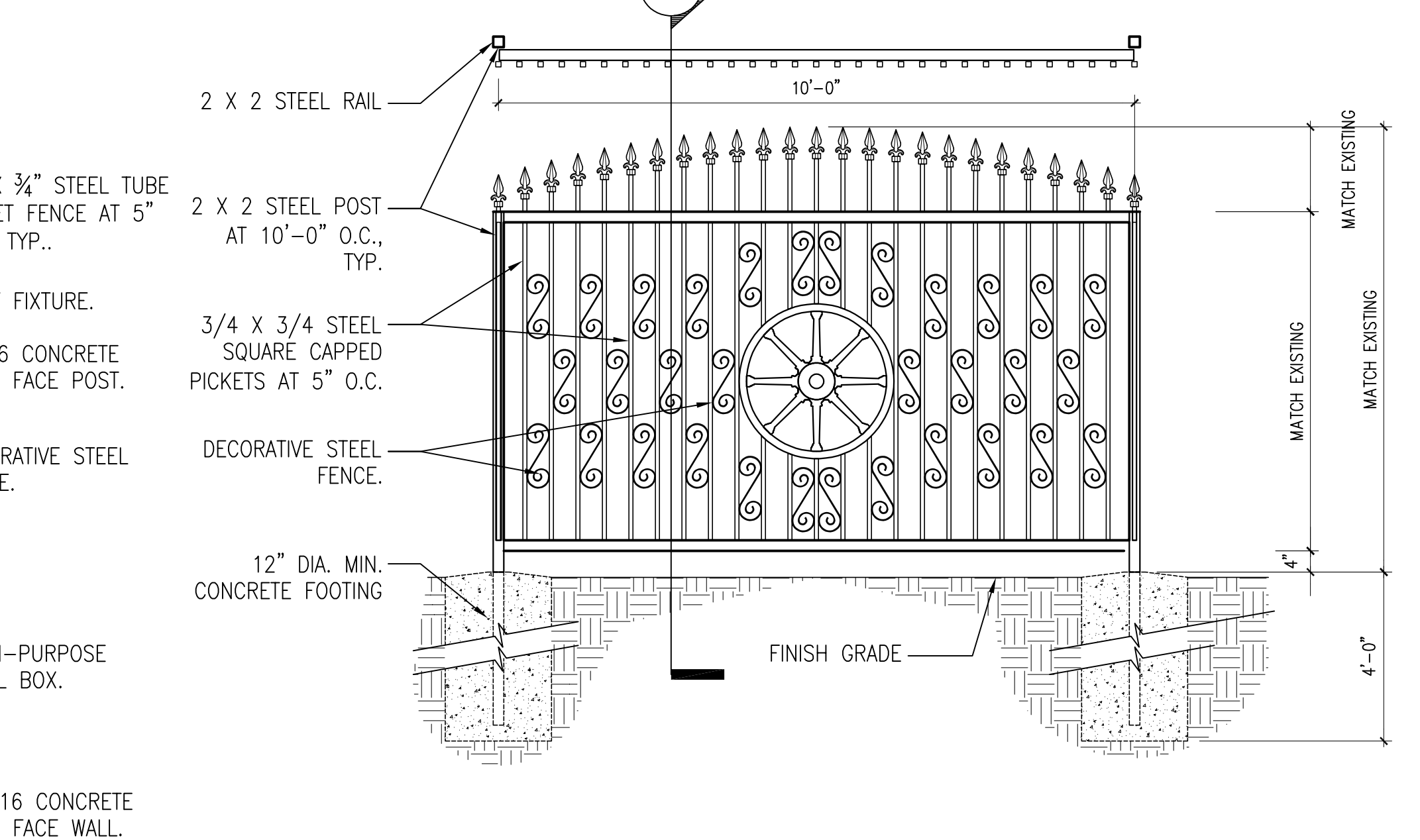
4 FOOTING/POST DETAIL, TYP.
SCALE: 1" = 1'-0"



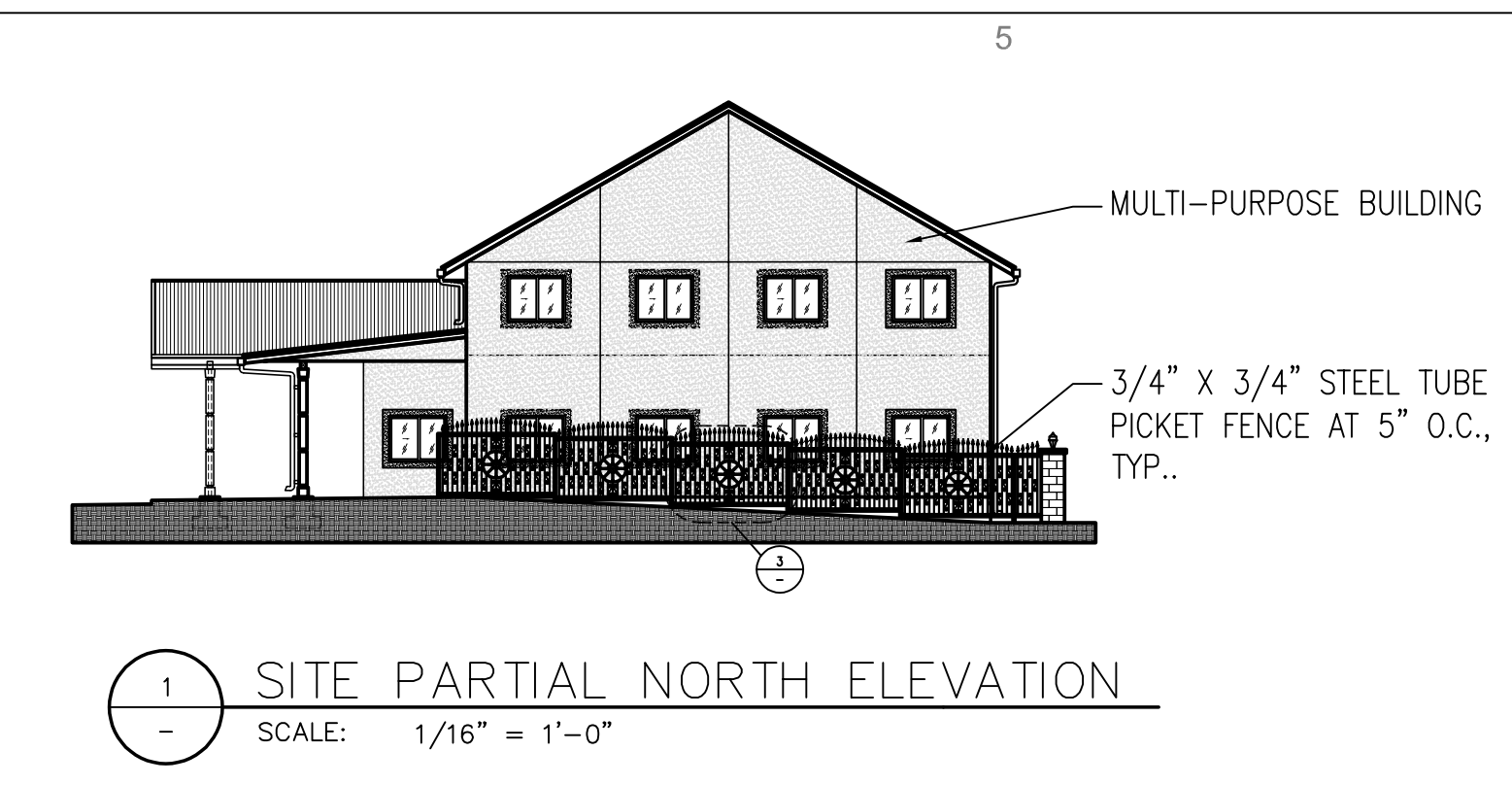
8 ENLARGED GATE/FENCE ELEVATION
SCALE: 1/2" = 1'-0"



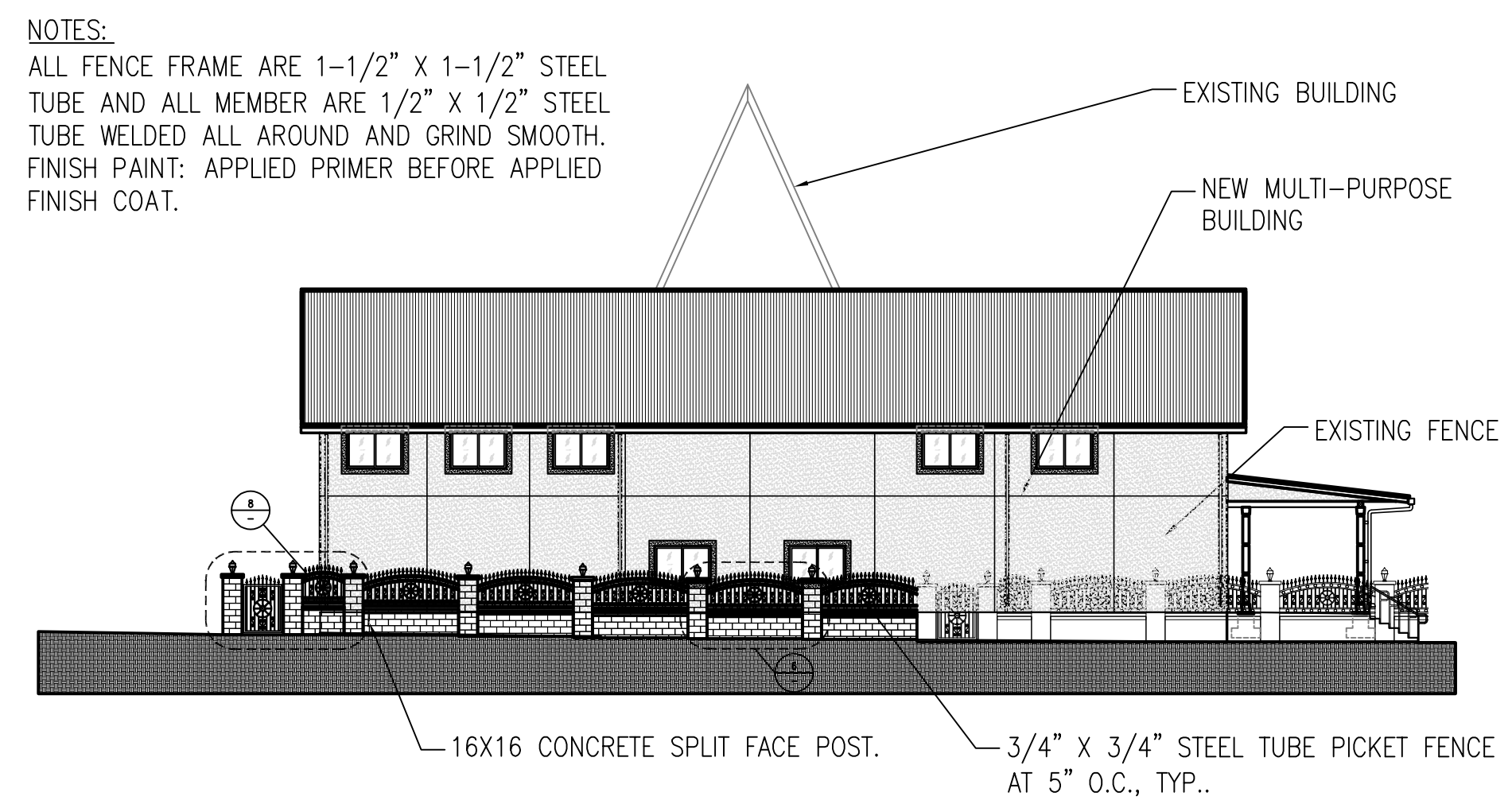
6 ENLARGED FENCE ELEVATION
SCALE: 1/2" = 1'-0"



3 ENLARGED FENCE ELEVATION
SCALE: 1/2" = 1'-0"



1 SITE PARTIAL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 SITE PARTIAL WEST ELEVATION
SCALE: 1/16" = 1'-0"

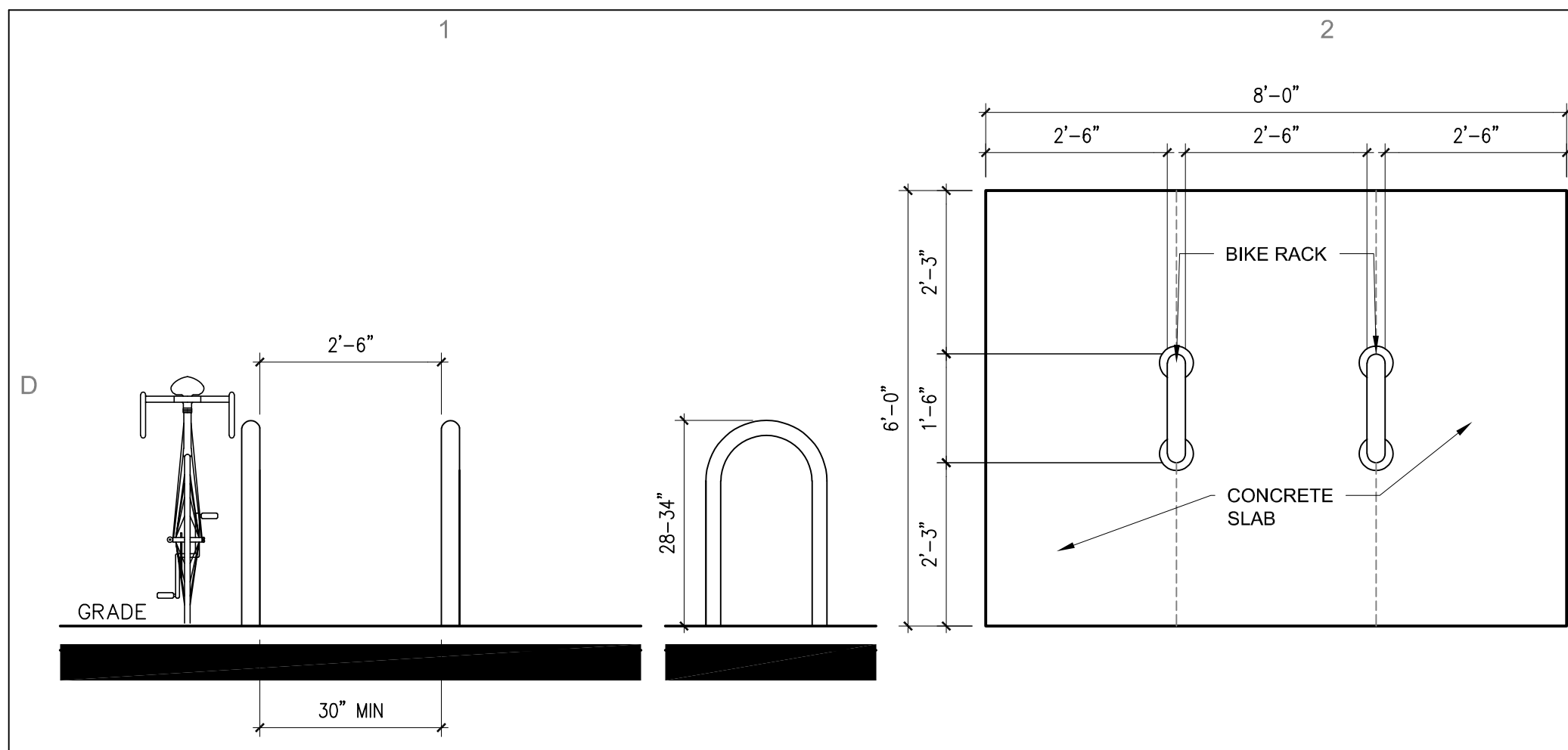
NOTES:
1. PAINT ALL METAL TO MATCH EXISTING FENCE
2. MASONRY & DECORATIVE STEEL FENCE TO MATCH EXISTING

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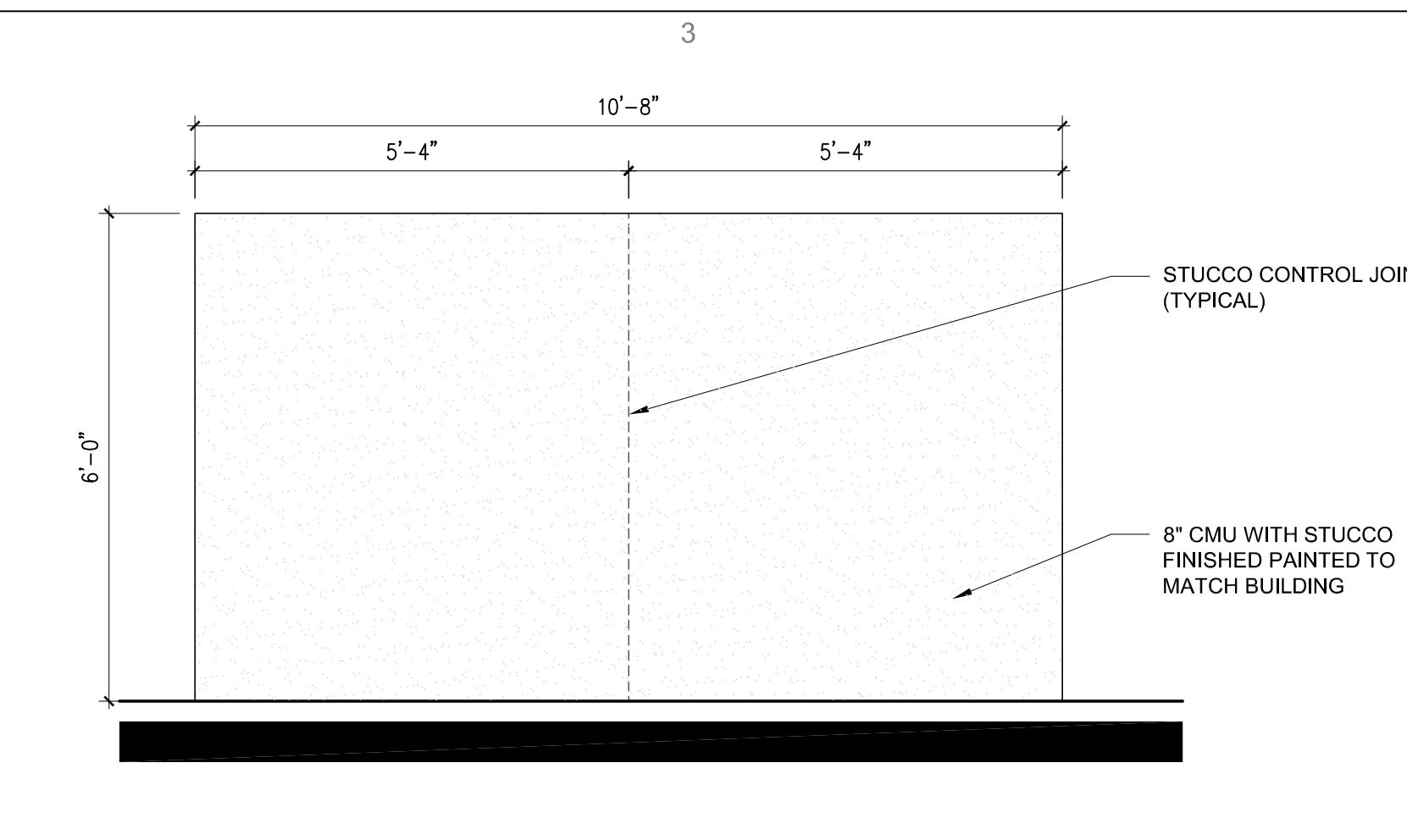
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ISSUE/REVISION
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CAD DWG FILE:
DWL-NM_WAT PRATHAT
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CHECKED BY:
W. EASTMAN
SHEET TITLE:
PARTIAL EXTERIOR ELEVATIONS
SECTIONS AND DETAILS

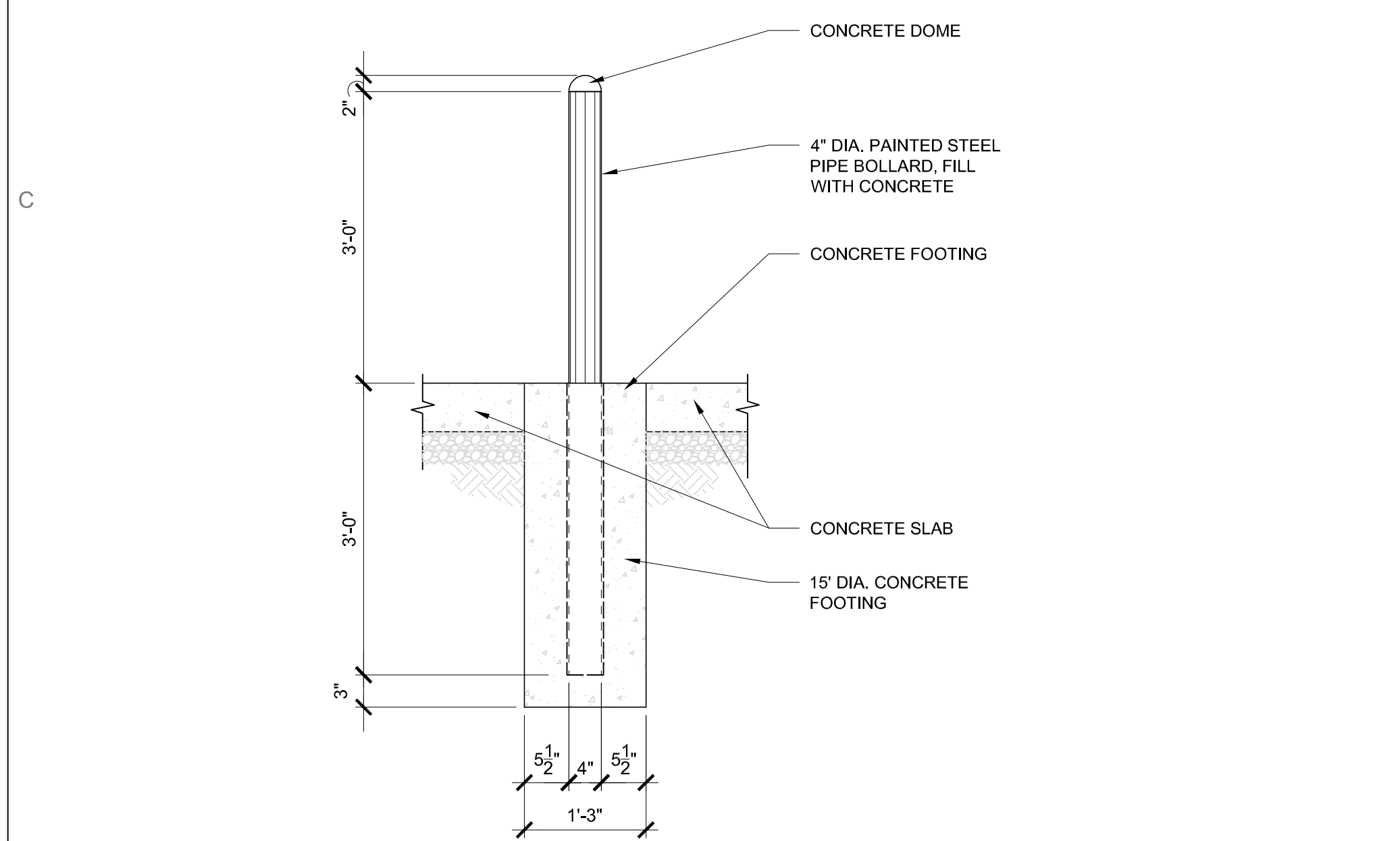
A1.2
XX OF XX SHEET



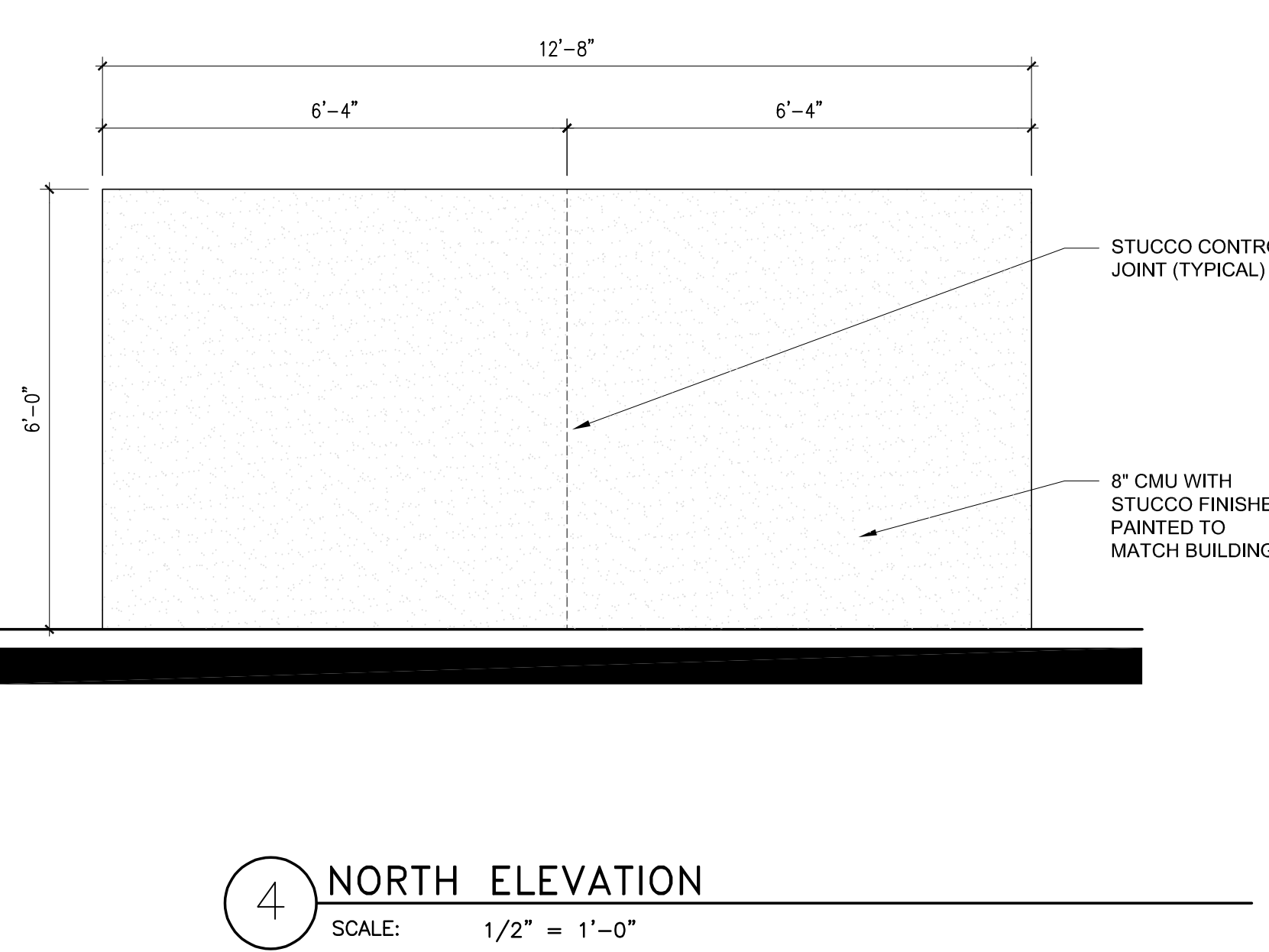
6 BIKE RACK - PLAN VIEW AND ELEVATION
SCALE: 1/2" = 1'-0"



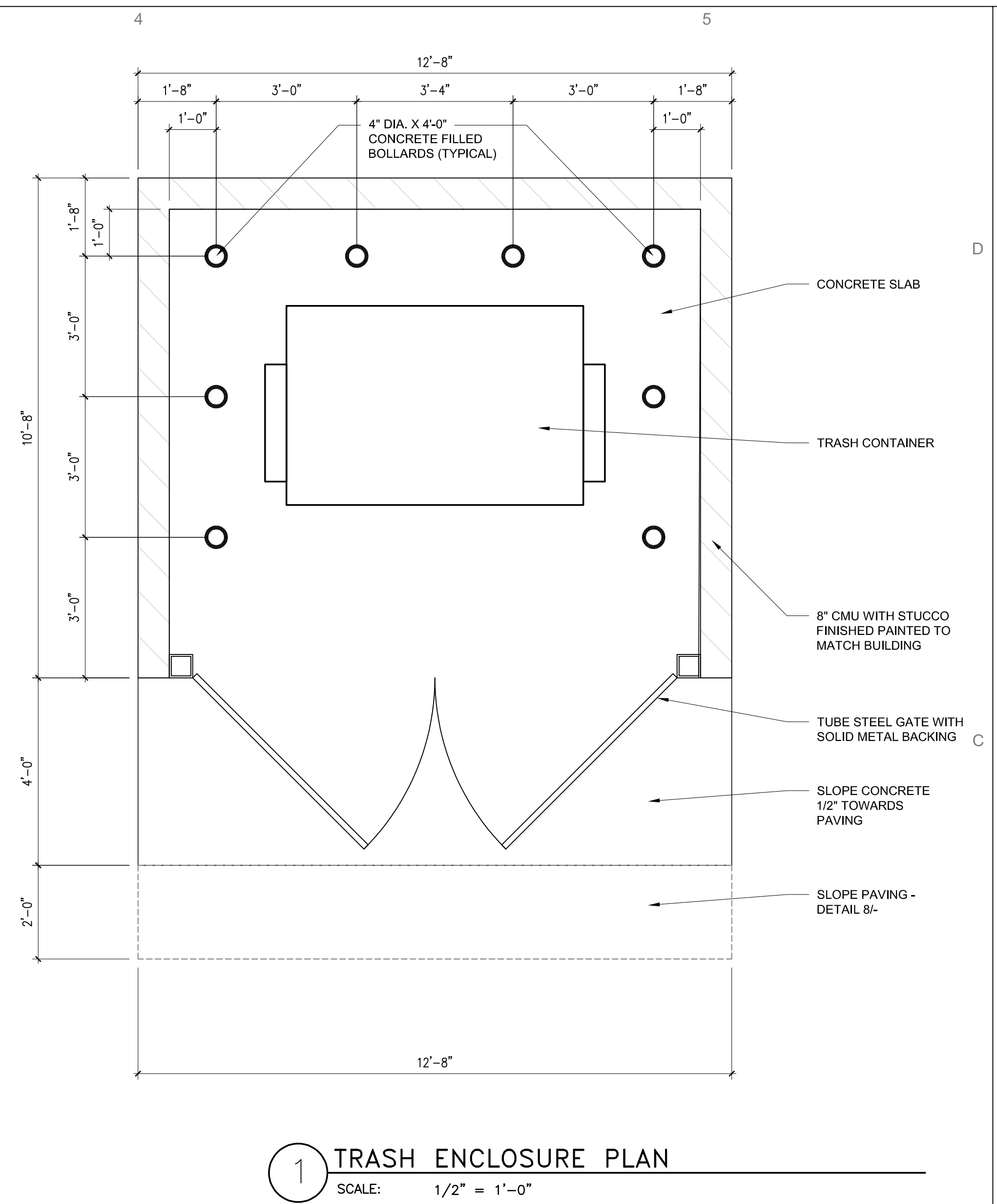
3 EAST/WEST ELEVATIONS
SCALE: 1/2" = 1'-0"



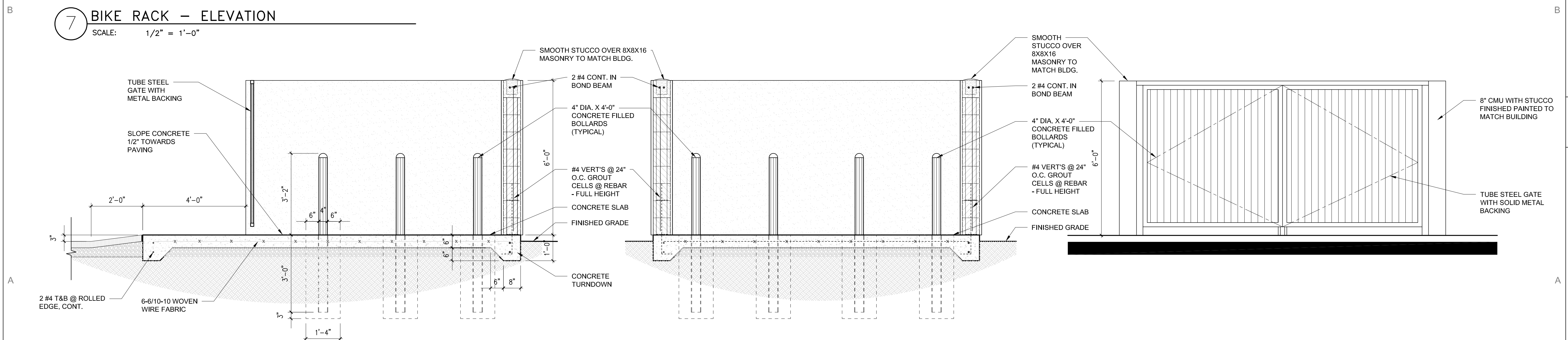
7 BIKE RACK - ELEVATION
SCALE: 1/2" = 1'-0"



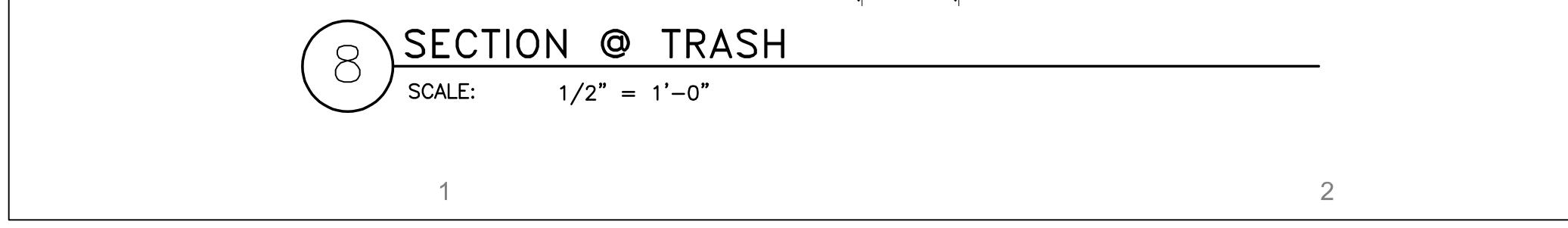
4 NORTH ELEVATION
SCALE: 1/2" = 1'-0"



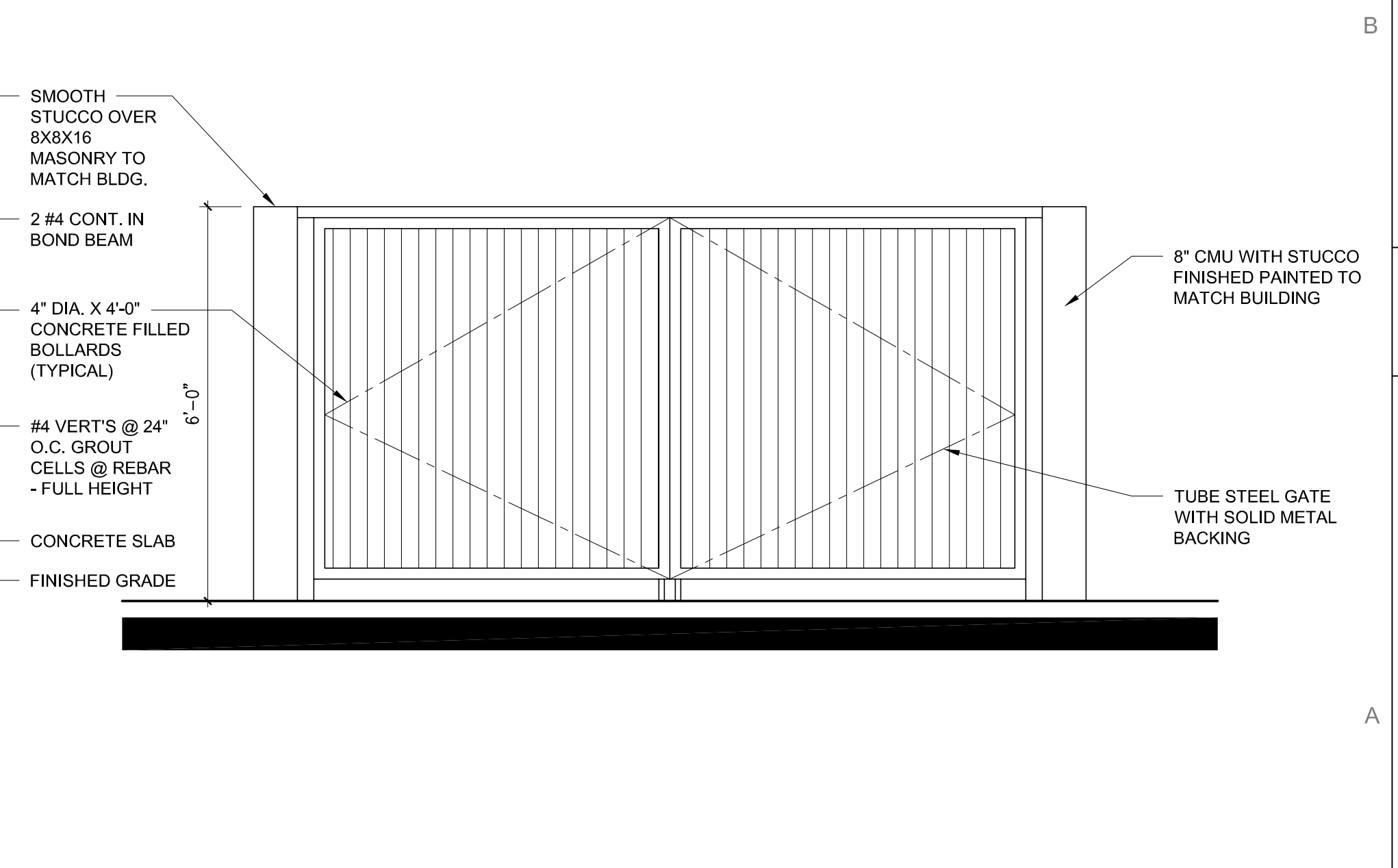
1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



5 SECTION @ TRASH
SCALE: 1/2" = 1'-0"



8 SECTION @ TRASH
SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

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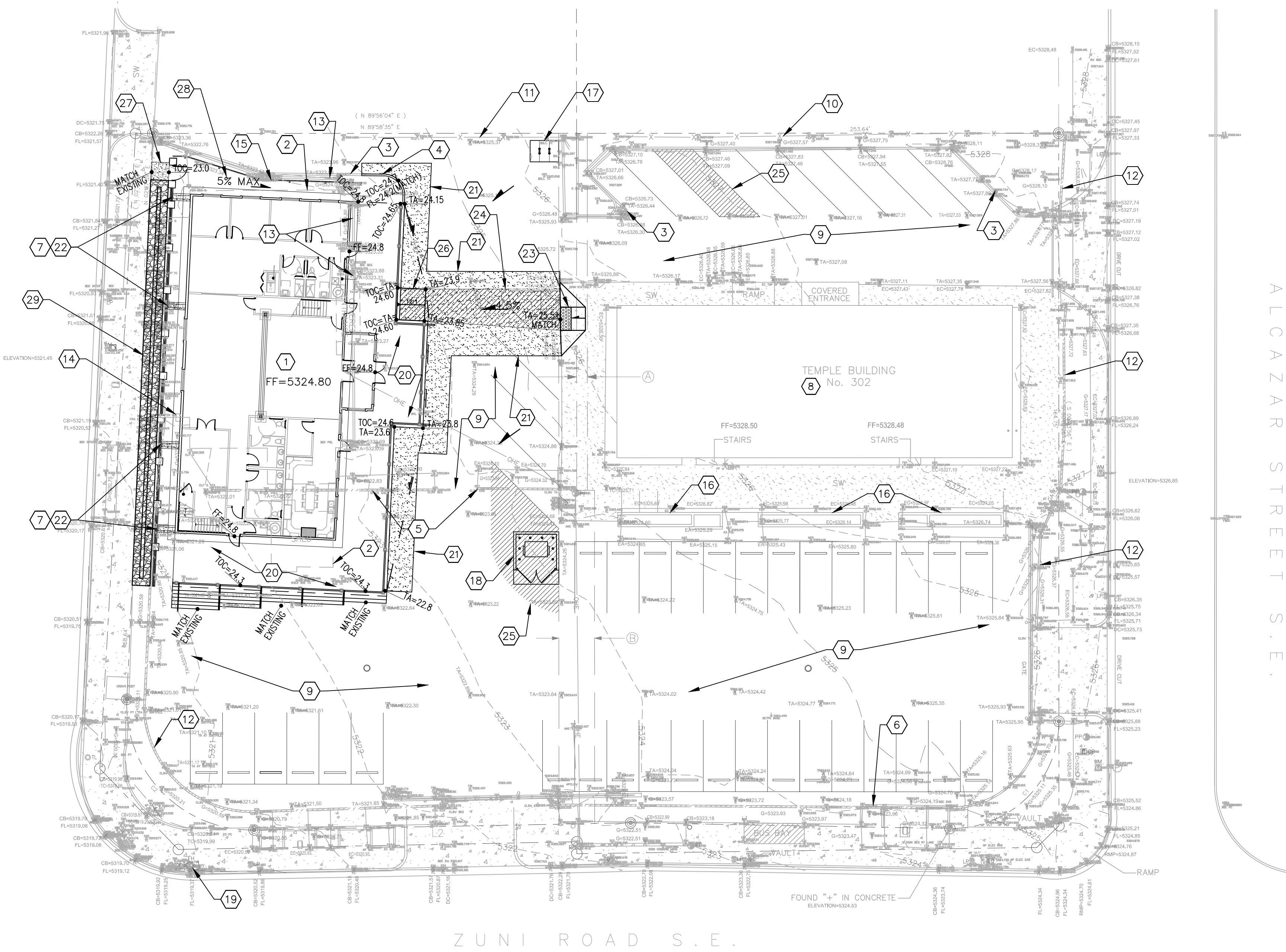
ISSUE/REVISION
PROJECT NUMBER:
20_1611.03
CAD DWG FILE:
DWL-NM_APS_OSUNA
DRAWN BY:
S.S.
CHECKED BY:
W. EASTMAN
SHEET TITLE:
TRASH ENCLOSURE
PLAN AND DETAILS
A1.3
XX OF XX SHEET

1 2 3 4 5

LEGEND:

- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TC TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FLOW ARROW
- GRADE BREAK-HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR
- TOP OF CUT SLOPE
- P EXISTING TELEPHONE MANHOLE
- WM EXISTING WATER METER
- LP EXISTING LIGHT POLE
- CB EXISTING CABLE BOX
- EC EXISTING ELECTRICAL CABINET
- TL EXISTING TRAFFIC LIGHT
- V EXISTING VAULT

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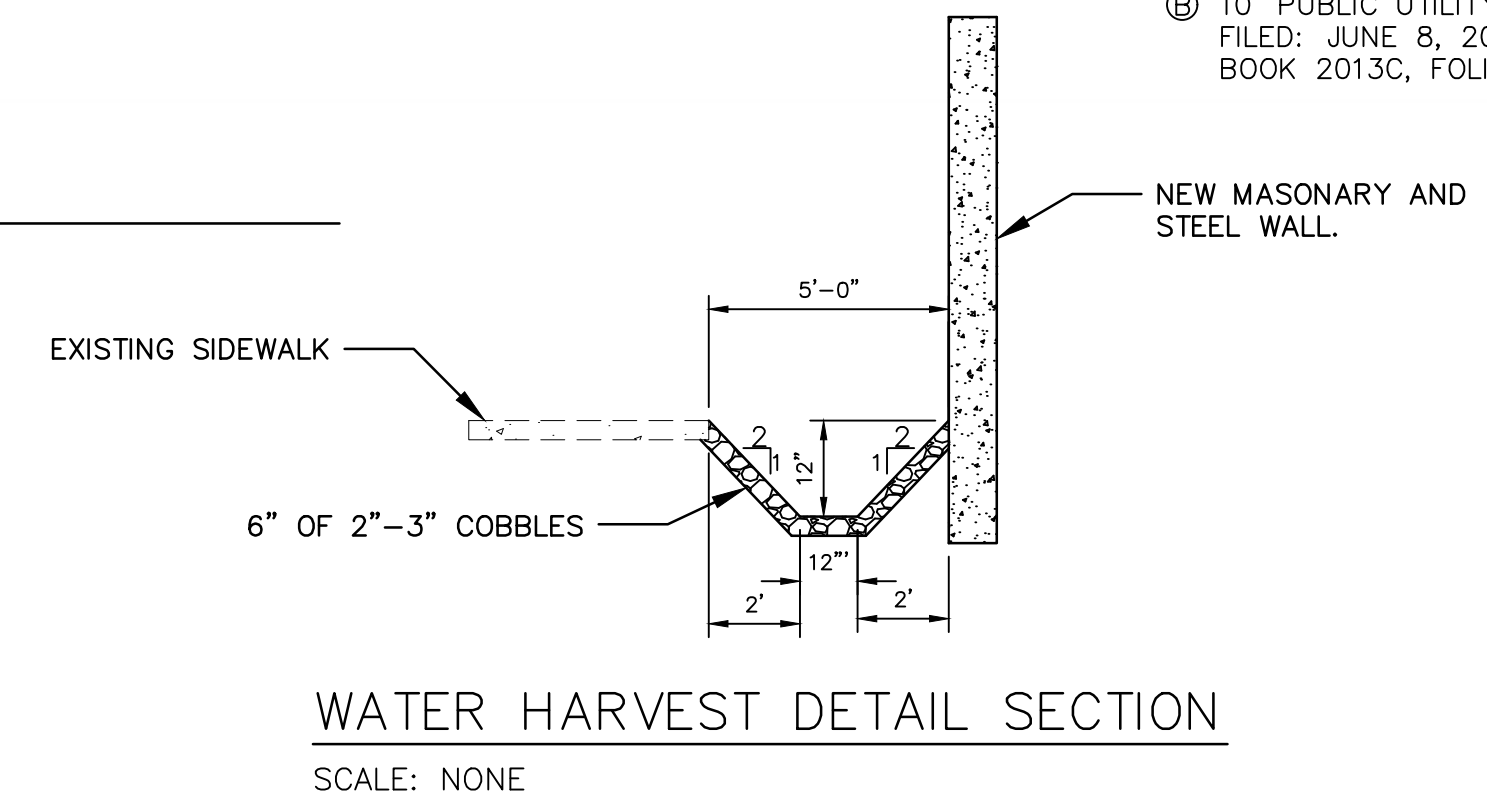


KEYED NOTES:

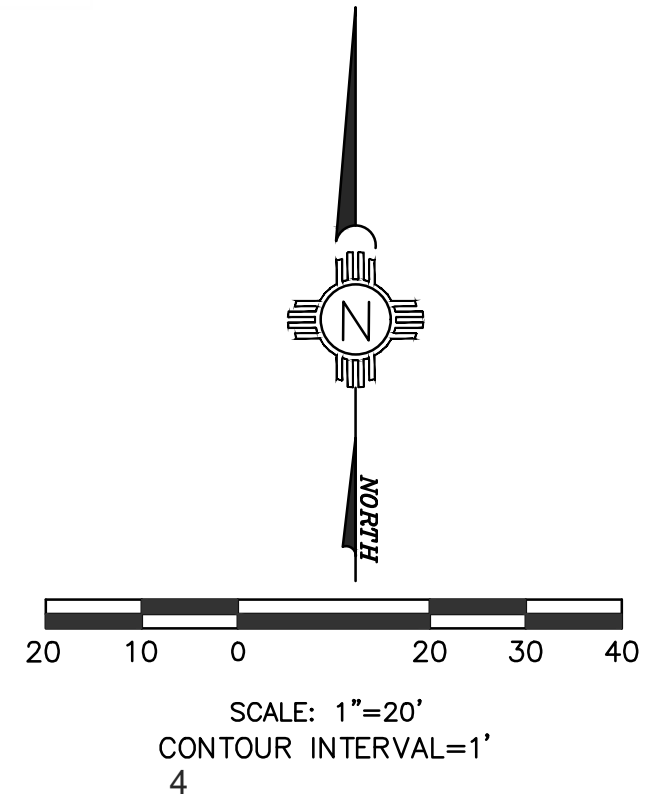
- 1 NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 2 EXISTING BUILDING TO BE REMOVED.
- 3 EXISTING CURB AND GUTTER TO REMAIN.
- 4 NEW CURB AND CUTTER. SEE DETAIL SHEET C-501.
- 5 EXISTING BLOCK WALL TO BE REMOVED.
- 6 EXISTING 6' MASONRY AND DECORATIVE STEEL FENCE TO REMAIN.
- 7 NEW 6' MASONRY AND DECORATIVE STEEL FENCE. PLACE 16" WIDE TURN-DOWN BLOCK IN WALL AS REQUIRED FOR DRAINAGE FROM ROOF DRAINS.
- 8 EXISTING BUILDING TO REMAIN.
- 9 EXISTING ASPHALT PARKING LOT.
- 10 EXISTING WOOD FENCE TO REMAIN.
- 11 EXISTING CHAIN LINK FENCE TO REMAIN.
- 12 EXISTING BLOCK WALL TO REMAIN. PROVIDE 6"x6" WEEP HOLES IN WALL AS REQUIRED FOR DRAINAGE.
- 13 EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF.
- 14 EXISTING GAS METER.
- 15 NEW 6' STEEL PICKET FENCE SEE ARCHITECTURAL DRAWINGS.
- 16 EXISTING PLANTERS TO REMAIN.
- 17 NEW BIKE RACK. SEE ARCHITECTURAL DRAWINGS.
- 18 NEW TRASH ENCLOSURE SEE ARCHITECTURAL DRAWINGS.
- 19 EXISTING FIRE HYDRANT TO REMAIN.
- 20 NEW COVERED PATIO.
- 21 EXISTING ASPHALT TO BE REMOVED AND REPLACED. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH EXISTING ELEVATIONS.
- 22 NEW 12" WIDE CONCRETE CHANNEL TO BE PLACED AT ALL DOWNSPOUT LOCATIONS. SEE DETAIL SHEET C-501.
- 23 NEW ADA RAMP. SEE DETAIL SHEET C-501.
- 24 NEW ADA CROSSWALK STRIPING. SEE ARCHITECTURAL SHEETS.
- 25 NEW ASPHALT STRIPING. SEE ARCHITECTURAL PLANS.
- 26 NEW 9' ADA RAMP. 12:1 MAX. SLOPE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 27 NEW 5' WIDE SIDEWALK @ 2% MAX. SLOPE.
- 28 5% MAX. LONGITUDINAL SLOPE ALONG SIDEWALK ON NORTH SIDE OF NEW BUILDING.
- 29 NEW WATER HARVEST AREA #1. VOLUME=330 CUBIC FEET. SEE DETAIL THIS SHEET.

WAT PHRATHAT DOI SUTHEP NM
 CONGREGATE LIVING
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A1 CONCEPTUAL GRADING AND DRAINAGE PLAN
SCALE: 1"=20'



WATER HARVEST DETAIL SECTION
SCALE: NONE



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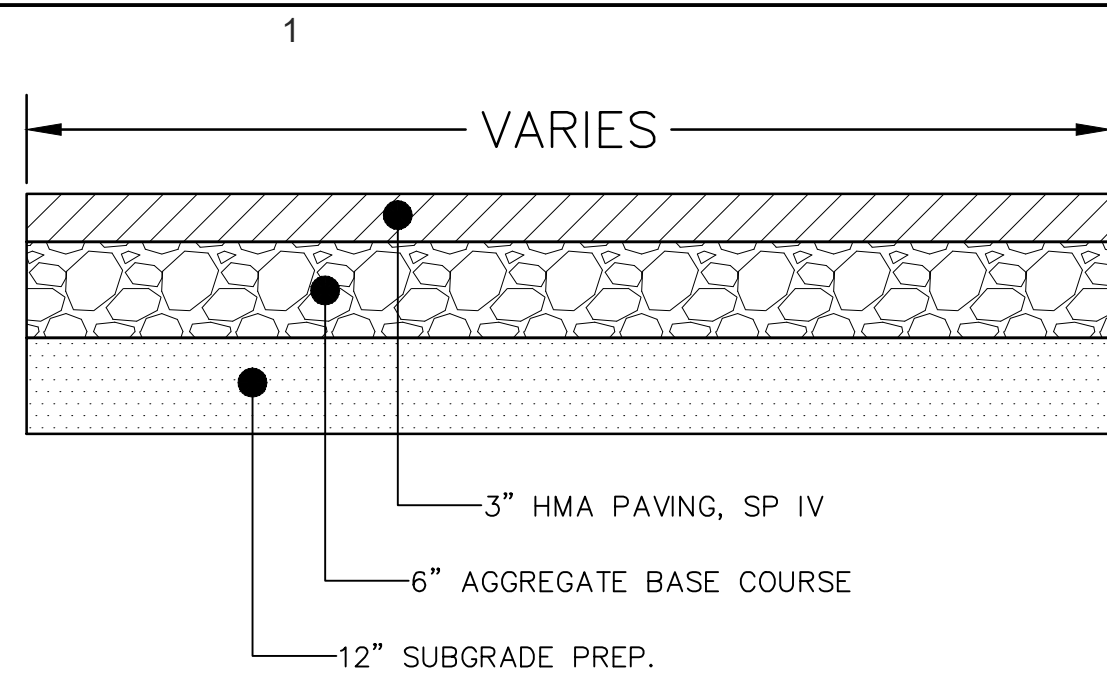
DRAWN BY:
MEC

CHECKED BY:
VAM

SHEET TITLE:

CONCEPTUAL GRADING AND DRAINAGE PLAN
C-101
 OF SHEET

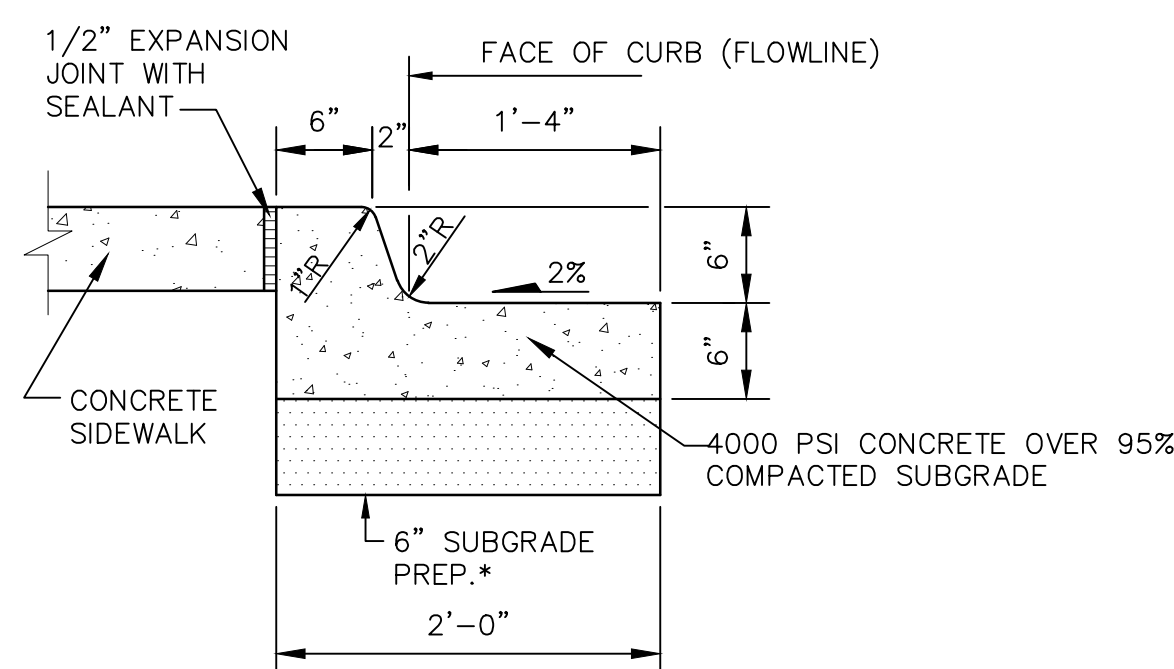
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GEOTECH INFORMATION:
 THE PAVEMENT SECTION THICKNESS
 INDICATED ON THE TYPICAL SECTIONS,
 WERE PROVIDED BY:
 GEO-TEST ENGINEERING SERVICES
 DATED: 2020
 REPORT PROJECT NO. NM 875

D4 TYPICAL LIGHT DUTY ASPHALT PAVING DETAIL

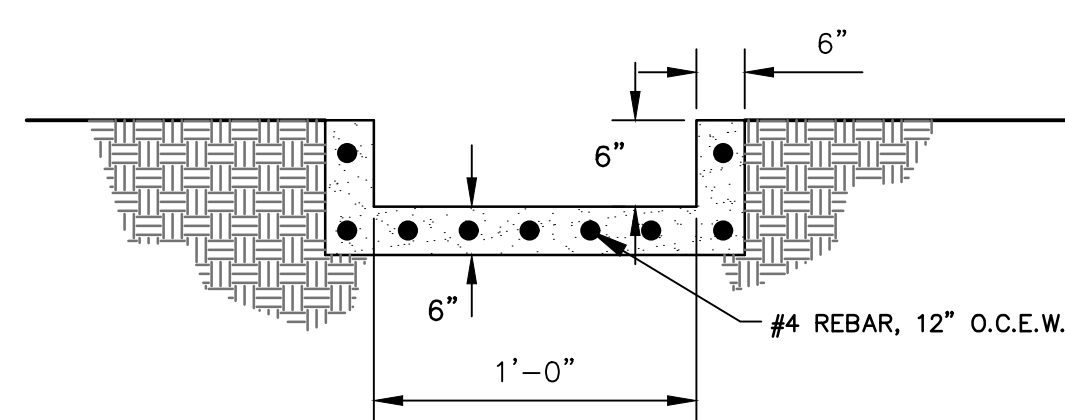
SCALE: NOT TO SCALE



- NOTES:
1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
 2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
 3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
 4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

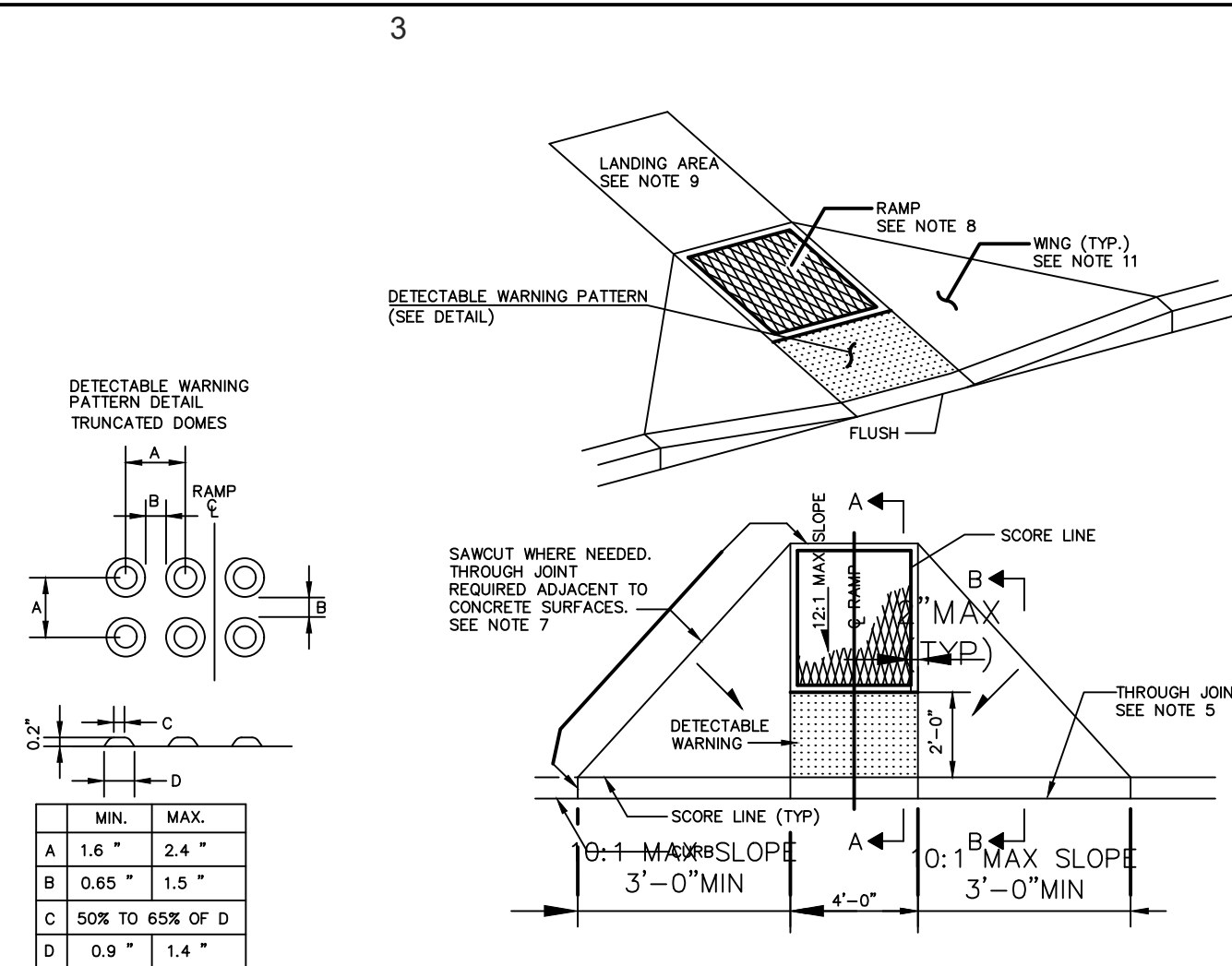
B1 TYPICAL CURB AND GUTTER SECTION

SCALE: NOT TO SCALE



A1 CONCRETE CHANNEL DETAIL

SCALE: NOT TO SCALE



- NOTES:
1. TWO CURB RAMPS SHALL BE INSTALLED AT EACH CORNER UNLESS DIRECTED OTHERWISE BY SDOT.
 2. CURB RAMPS SHALL BE CONSTRUCTED WITH COMPANION RAMPS ON OPPOSITE SIDES OF THE STREET UNLESS DIRECTED OTHERWISE BY SDOT.
 3. WHERE CURB IS INSTALLED AT A LOCATION WITH NO SIDEWALK, CURB SHALL BE DEPRESSURED FOR FUTURE CURB RAMP INSTALLATION.
 4. TYPE 422a CURB RAMP SHALL BE USED. HOWEVER IF NOT FEASIBLE, THEN TYPE 422b CURB RAMP MAY BE INSTALLED WITH THE APPROVAL OF SDOT.
 5. NEW PAVEMENT SHALL BE BLOCCED OUT FULL DEPTH. EXISTING PAVEMENT SHALL BE REMOVED AT THE FACE OF THE CURB.
 6. MIN DISTANCE BETWEEN ADJACENT CURB RAMPS SHALL BE 3'-0".
 7. CURB RAMPS SHALL BE ISOLATED FROM ALL OTHER CONCRETE BY THROUGH JOINTS.
 8. RAMPS SHALL HAVE A COARSE TEXTURED SURFACE OBTAINED WITH A 3/4" 9-11 FLATTENED EXPANDED METAL MESH BEING PRESSED INTO THE STILL FRESH CONCRETE. THE LONG AXIS OF THE DIAMOND PATTERN SHALL BE ALIGNED WITH THE SLOPE OF THE RAMP.
 9. ADDITIONAL SIDEWALK PAVING MAY BE NECESSARY IN THE PLANTING STRIP OR AT THE BACK OF SIDEWALK TO ACCOMMODATE ACCESS TO THE RAMP. A MINIMUM 4'-0" TO 4'-6" MAX. GRADE LANDING SHALL BE PROVIDED AT THE TOP OF RAMP ON TYPE 422a.
 10. THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH BOTH WINGS ON TYPE 422a AND BOTH RAMPS ON TYPE 422b. SEE STD. PLAN NO. 420.
 11. THE WINGS ON TYPE 422a SHALL HAVE A SLIGHTLY BRUSHED FINISH PARALLEL TO THE CURB.
 12. MIN LATERAL CLEARANCE FROM INLETS, POLES, HYDRANTS AND OTHER ABOVE GROUND OBSTACLES SHALL BE 1'-0" FROM THE SCORED OR DETECTABLE WARNING PORTION OF THE CURB RAMP.
 13. INLETS SHALL BE SO LOCATED THAT GUTTER FLOW DOES NOT FLOW PAST THE CURB RAMP.
 14. DETECTABLE WARNING SURFACE SHALL BE YELLOW, IN COMPLIANCE WITH SECTION 8-14.3 OF THE SPECIAL PROVISIONS OF ODS STDS. & SHALL BE LOCATED WITHIN 6 TO 8 INCHES OF THE CURB FACE.

B2 HANDICAP RAMP DETAIL

SCALE: NOT TO SCALE



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C-501

OF SHEET

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