



Environmental Planning Commission

Agenda Number: 1
Project #: 2020-004447
SI-2023-01767
Hearing Date: December 21, 2023

Staff Report

Agent	Consensus Planning
Applicant	Sceye Incorporated
Request	Site Plan –EPC
Legal Description	Consensus Planning, Inc., agent for Sceye Incorporated, requests a Site Plan-EPC, for Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal addition, containing approximately 2,300 acres
Location	Located on Columbia Dr SE, west of Girard Blvd SE and north of Miles Rd SE.
Size	Approximately 8.2-acres
Zoning	NR-SU

Staff Recommendation

APPROVAL of SI-2023-01767, based on the Findings beginning on p. 23 and subject to the Conditions of Approval beginning on p. 29.

Staff Planner
William Steele

Summary of Analysis

The request is for a Site Plan-EPC for an approximately 8.2-acre site that would facilitate the development of a manufacturing facility. The subject site, zoned NR-SU and controlled by the EPC, is located in the Airport Protection Overlay Zone. The Air Space protection sub-area and Noise contour sub-area apply. The request fulfills the criteria for Site Plan-EPC [IDO Section 14-16-6-6(1)(3)].

Once approved by the EPC, the proposed site plan would go to the DFT for final sign-off. The subject site is in an Area of Change and adjacent to an Area Consistency.

The applicant notified the affected neighborhood associations (District 6 CNA, Victory Hills NA) and property owners within 100 ft of the subject site, as required. A pre-application neighborhood meeting was not held. Staff has not received any comments. There is no known opposition.

Staff recommends approval subject to conditions to ensure IDO requirements are met and to provide clarification.







Note: Gray shading indicates County.



Hearing Date:
12/21/2023
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PR-2020-004447
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SI-2023-01767

Zone Atlas Page:
M-16



LAND USE MAP

Note: Gray shading
 Indicates County.

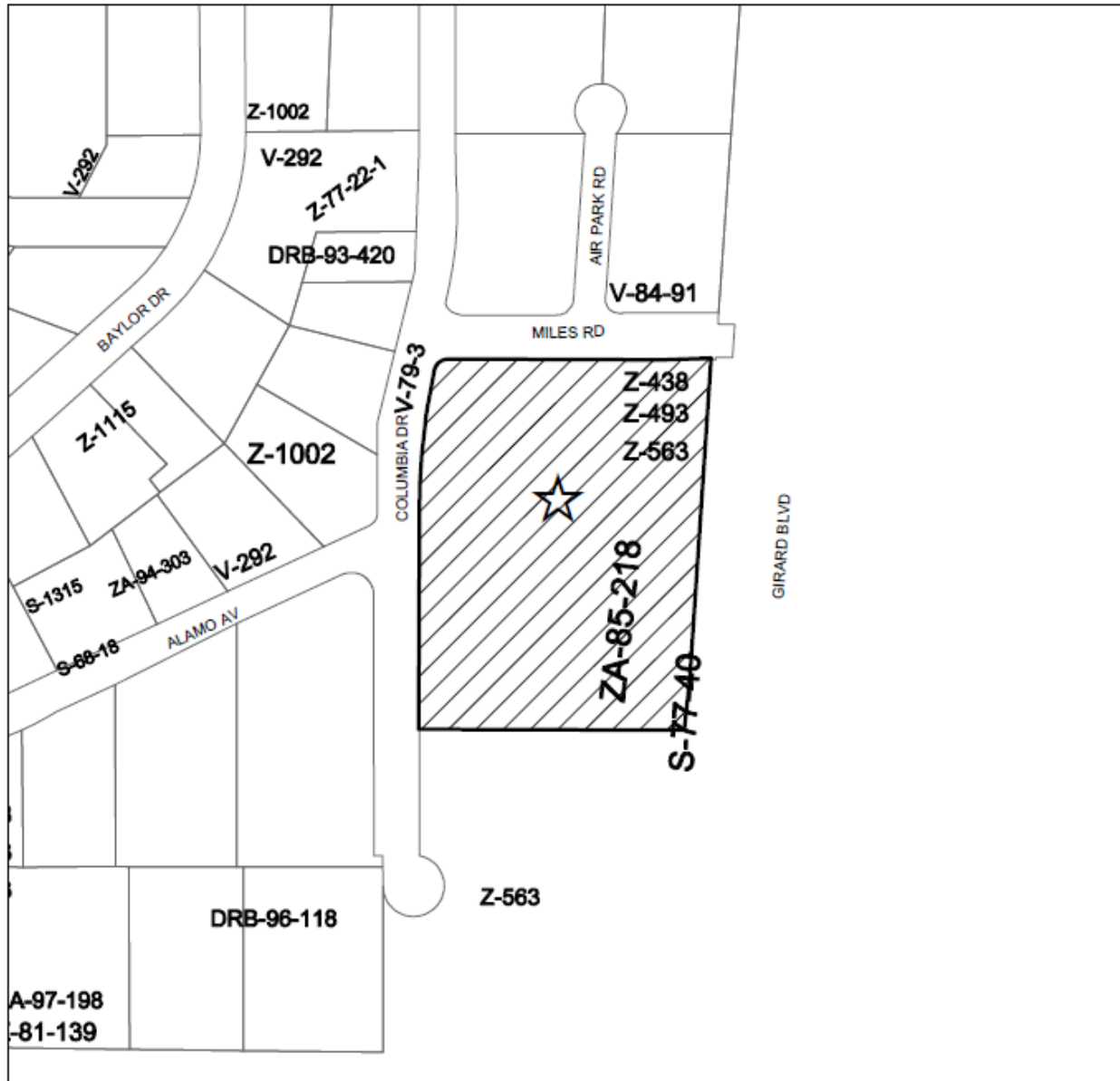
Key to Land Use Abbreviations	
LDRES Low-density Residential	APRT Airport
MULT Multi-Family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSV Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



1 inch = 250 feet

Hearing Date:
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HISTORY MAP

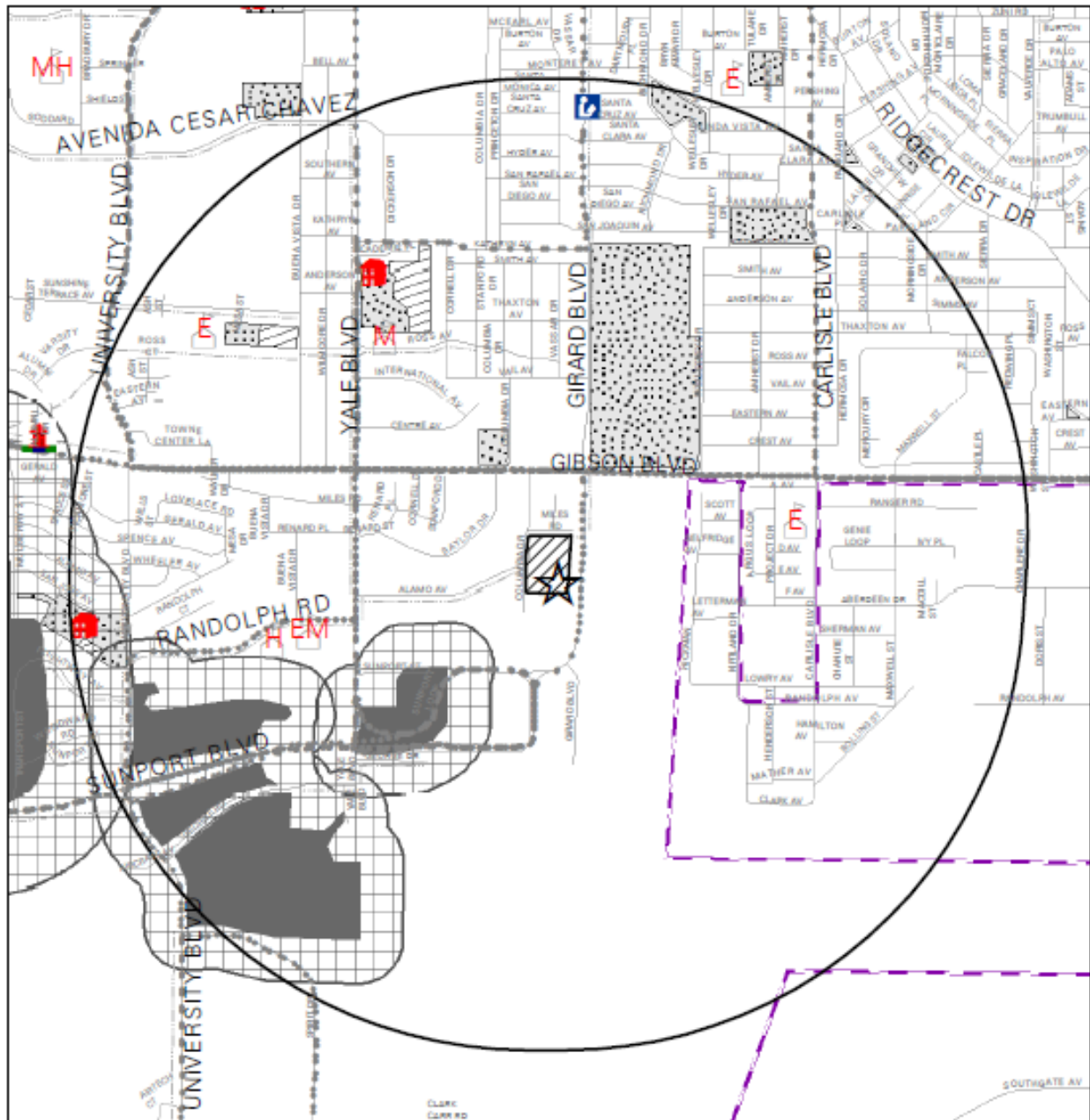
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Indicates County.



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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>Site</i>	NR-SU	Change	Airport, vacant
<i>North</i>	NR-LM	Consistency	Office, business park
<i>South</i>	NR-SU	Change	Airport, vacant
<i>East</i>	NR-SU	Consistency	Airport, vacant
<i>West</i>	NR-SU, NR-LM	Consistency	Vacant, Office/industrial park

Request

The request is for a Site Plan-EPC for an approximately 8.2-acre portion of the Albuquerque International Sunport Sustainable Airport Master Plan (the “subject site”). The subject site is legally described as an approximately 8.2-acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal addition, located on Columbia Dr SE, west of Girard Blvd SE and north of Miles Rd SE, containing approximately 2,300 acres.

The applicant wishes to develop a light manufacturing facility for aviation and avionics production which would be pursuant to standards of the NR-SU (Non-Residential Sensitive Use) zone district as determined by the EPC. The Site Plan shall specify uses, site standards, and development standards, to be reviewed and decided by the EPC pursuant to IDO section 14-16-2-5(E).

EPC Role

The Environmental Planning Commission (EPC) is hearing this case pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(1)(A), Site Plan-EPC. Additionally, pursuant to the Albuquerque International Sunport Sustainable Airport Master Plan this property will require a Site Development Plan to be approved by the EPC.

The EPC is reviewing this request 1) due to the it the project site location in the NR-SU zoning district, and 2) due to the project site being part of the Albuquerque International Sunport Sustainable Airport which requires as Site Plan-EPC.

Context

The approximately 8.2-acre subject site is located in an area characterized by a variety of land uses,

although the Albuquerque International Sunport and Kirtland Air Force Base (KAFB) are significant in defining the area.

Adjacent east of the subject site is Girard Blvd SE and vacant airport property; north is Miles Rd SE and a NR-LM zoned Airport Business Park with a variety of office uses. A block north and less than 700 feet of the subject site is Gibson Blvd SE. To the south is vacant land zoned NR-SU. West of the subject site is Columbia Dr SE, vacant land zoned NR-SU, and an Airport Industrial Park zoned NR-LM, containing office, industrial, and warehousing uses. Columbia Dr SE dead ends to the south but its extension is currently platted and has not been constructed.

Comprehensive Plan Designations

The subject site is located an Area of Change next to an Area of Consistency, as designated by the Comprehensive Plan. It is not in a designated Activity Center or within a corridor area.

History

Early History and Development

The subject site is part of the Albuquerque International Sunport, which began in 1937 through a cooperative effort between the City and the New Mexico Airport Cooperation (a subsidiary of Trans World Airlines). In 1950, the federal government took possession of the airport via a negotiated quit claim deed.

In April 1958, the City Planning Commission and forwarded a recommendation of approval of a zone change for a portion of the subject site from R-1 to M-1, which was considered more appropriate due to its proximity to the air force base (Z-563). The City Commission also heard the request in April 1958 and approved it.

The Department of Defense began to expand research and development operations. In 1962, the Department of Defense deeded the airfield and most property back to the City, but retained title to the Air Force Base.

In the mid and late 1980s, all general aviation facilities and maintenance facilities were re-located to the southwest quadrant of the airport. In the 1990s, improvements continued and served the civilian portion of the airport.

Master Plans and the ACE

A Master Plan for Albuquerque International Airport (AIA) was completed in 1994, which guided improvements in the 1990s. One principal recommendation of the 1994 AIA Master Plan, was to close the north-south runways (17-35), the site of the Aviation Center for Excellence (ACE), the concept for which evolved later.

The Albuquerque International Sunport Landside Master Plan (SPR-98-3) was completed in 1998 and focused on non-aviation components of the airport properties. The primary recommendation

of the Landside Master Plan was the development of the Consolidated Rental Car Facility. In May 1999, the EPC approved a zone map amendment for approximately 47 acres from M-2 to SU-1 for Airport and Related Facilities (Z-99-61). A site development plan combined this acreage with another 28 acres to create the Rental Car Facility

The 2002 *Albuquerque International Sunport- Airport Master Plan*, which updated the 1998 Master Plan, was heard by the EPC at its December 2002 hearing (Project #1000270). The Master Plan became effective in April 2003 (R-03-216, Enactment R-2003-028). The 2002 Airport Master Plan (Project #1000270) also recommended closure of runways 17-35, approximately 75 acres, which facilitated the concept for the Aviation Center for Excellence (ACE)- a business park for commercial, office, and manufacturing uses. The City wanted to use this land in a more profitable manner and promote development.

In December 2008, an Administrative Amendment (AA) to the controlling site plan was approved to allow solar panels and a screen wall at the car rental facility. AA (Project #1000276/08AA-10178).

At its May 8, 2014 hearing, the EPC approved a site development plan for subdivision with design standards for the ACE, which consisted of 14 lots. The final ACE site development plan for subdivision was signed-off by the DRB in 2016. This site plan was replaced in November 2020 by the Orion Site Plan.

The Orion site plan was submitted September 24, 2020 and approved by the EPC on November 12, 2020. This plan was submitted as a Major Amendment to the prior approval that replaced the ACE Site Plan-EPC. Per IDO Section 14-16-6-4(X)(2), the Orion Site Plan-EPC is a valid approval for 7 years from the date of approval, unless specified otherwise in the IDO. The approval and period of validity are based on the date of approval by the applicable decision-making body, which as a Site Plan – EPC. Based on the 7 years in Table 6-4-3, the Orion plan would be valid until November 12, 2027 unless it is amended or replaced. The current request for the 8.2 acre-site, would replace this approval on only this portion of the Orion Site Plan.

PR-2018-001575/SU-2018-00146, was an application for an Archaeological Certificate, a requirement since the subject site is greater than 5 acres in size.

The DRB approved an AA in April 2021 for the vacation of 1 public right of way and 7 public easements. AA (PR#2020-004447).

In December 2021, an AA to the controlling site plan was approved for the building addition to accommodate new in-line baggage screening area of 26,569 sq ft, or 3.8% change. (PR#2021-004447).

An AA was approved in September 2022 for the addition of a 2,925 sf canopy, concrete drive pad and electric bus charging station on the NE portion of existing Shuttle Bus Service and Storage facility. AA(PR-0218-001575).

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

Girard Blvd SE is functionally classified as an Existing Major Collector. Columbia Dr. SE and Miles Road are local roads. Gibson Blvd SE is functionally classified as an Existing Regional Principal Arterial.

Note that Gibson Blvd SE is a limited access facility and is also an Intelligent Transportation System (ITS) Corridor.

Trails/Bikeways

The Long Range Bikeway System (LRBS), produced by the Mid-Region Council of Governments (MRCOG), identifies existing and proposed bike lanes and trails.

A protected bicycle lane is proposed along Gibson Blvd SE and a proposed bike lane is identified in the LRBS on Girard Blvd SE. The LRBS indicates that a bike lane is proposed on Columbia Dr SE to Mile Rd SE and from Miles Rd SE to Girard Blvd SE. A proposed bike land is identified on Girard Blvd SE extending from Sunport Blvd SE to Gibson Blvd SE.

The LRBS map shows an existing trail along Gibson Blvd SE running east and west. An existing, 8 ft multi-purpose paved trail runs on the western side of Girard Blvd SE and travels alongside the subject site.

Transit

Rio Metro Dial-a-Ride Commuter 222 has bus stops going north and south on Girard Blvd SE. Two ABQ Ride Routes are a block from the subject site: Route 96 and 217 with bus stops on both sides of the intersection of Girard Blvd SE and Gibson Blvd SE. These routes are geared toward commuters.

Public Facilities/Community Services

Please refer to the Public Facilities Map (Page 6), for a complete listing of public facilities and community services located within one mile of the subject site.

II. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Airport: The area of land used or intended to be used for the landing and takeoff of aircraft, passenger and cargo loading areas, and related uses.

Areas of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Light Manufacturing: The assembly, fabrication, or processing of goods and materials, including machine shop and growing food or plants in fully enclosed portions of a building, using processes that ordinarily do not create noise, smoke, fumes, odors, glare, or health or safety hazards outside of the building or lot where such assembly, fabrication, or processing takes place, where such processes are housed primarily within the fully enclosed portions of a building. Loading and unloading from rail spurs and wholesaling of products manufactured at the facility are incidental to this use. This use does not include any use that meets the definition of Heavy Manufacturing or Special Manufacturing.

Structure: Anything constructed or erected above ground level that requires location on the ground or attached to something having a location on the ground but not including a tent, vehicle, vegetation, trash can, bench, picnic table, or public utility pole or line.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Zoning

Prior to the IDO's effective date of May 17, 2018, the subject site was zoned was SU-1 for Airport and Related Facilities. The zoning was converted to NR-SU (Non-Residential Sensitive Use zone district) under the IDO. Airport is one of the uses listed that requires NR-SU zoning.

The NR-SU Zone District

The entire subject site is zoned NR-SU. The purpose of the NR-SU zone district is to accommodate highly-specialized public, civic, institutional, or natural resource-related uses that require additional review of location, site design, and impact mitigation to protect the safety and character of surrounding properties. Uses that require NR-SU zoning are not allowed in base zone districts (ex. airport).

The NR-SU zone allows variation from certain requirements (see Table 2-5-9) as part of the EPC review process. Site Standards, uses, and development standards shall be specified on the Site Plan-EPC.

Uses & Standards

Table 4-2 lists allowed uses. Light Manufacturing Use Specific Standards (USS) [IDO Section 14-16-4-3(E)(4)] require that all activities be conducted inside a building unless a conditional use is obtained. The applicant's manufacturing and assembly operations would occur inside of the assembly building.

Overlay Zones & Special Areas

The subject site is within the boundaries of the Airport Protection Overlay Zone (IDO Section 14-16-3-3), which includes the Air Space Protection Sub-Area and the Noise Contour Sub-Area. All apply to the development proposed on the subject site.

The purpose of the Airport Protection Overlay zone is to require that land use and development at or around public airport facilities comply with the regulations of the Federal Aviation Administration (FAA) that protect the public from noise, vibration, and hazard impacts of airport operations and that protect the safety of aircraft operators. See also Section III of this report.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an Area of Change, as designated by the 2017 Albuquerque/Bernalillo County Comprehensive Plan. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation.

For a Site Plan-EPC, the applicant is required to respond to the Review and Decision Criteria in IDO Section 14-16-6-6(I)(3). Subsection (I)(3)(a) requires that the applicant demonstrate that the request is consistent with the Comprehensive Plan. Applicable Goals and policies are listed below. The applicant's responses are found in the revised project letter dated November 29, 2023 (see attachment). Staff's conclusion is at the end of this discussion.

Applicable Goals and policies are listed below. Staff's policy analysis follows in ***bold italic*** text.

Chapter 5: Land Use

Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is not located in a designated Activity Center, though through future growth and development it could possibly become one over time. Gibson Blvd SE is less than 700 ft away from the project site and is currently designated a Commuter Corridor and has a multi-purpose paved trail runs on the western side of Girard Blvd and borders the subject site. This enhances the environment for pedestrians and transit users. Rio Metro Dial-a-Ride Commuter 222 has bus stops near the subject site going north and south on Girard Blvd SE. The connections and networks of transit and bike routes by way of Girard Blvd SE to Gibson Blvd SE promote growth of the

community. The request is partially consistent with Goal 5.1-Centers and Corridors.

Policy 5.1.12 Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

The proposed site plan would facilitate the construction of a light manufacturing development that is less than 700 ft from a Commuter Corridor, Gibson Blvd SE. The light manufacturing services proposed by the applicant will utilize the Commuter Corridor which has higher speed and high traffic volume by which employees, goods and other services can arrive to and from the proposed facility. The request is partially consistent with Policy 5.1.12-Commuter Corridors.

Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request is consistent with the Goal and would facilitate development in an area already served by infrastructure, public facilities, and intended for aerospace-related industry. The subject site will be leased from the City Aviation Department and will support the public good by providing new jobs and industry to the City while expanding the tax base. The existing infrastructure near the subject site such as the easily accessible transit routes and major street networks, together with existing water and sewer utilities maximize the efficient use of the surrounding land. The request is consistent with Goal 5.3-Efficient Development Patterns.

Policy 5.3.1-Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The Site Plan would facilitate development on a parcel that is served by existing infrastructure such as direct access to Gibson Blvd SE, a Commuter Corridor via Girard Blvd SE and public utilities such as water and sewer that could accommodate additional growth. The proposed site would be in alignment with the Albuquerque International Sunport Sustainable Airport Master Plan by engaging in light manufacturing related to aviation. The request is consistent with Policy 5.3.1-Infill Development.

Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The project site is in a designated Area of Change where growth is expected for development of light manufacturing, industrial and commercial-related uses to aviation. The project site is next to Areas of Consistency on the north and west where the proposed development will reinforce the character and intensity of the surrounding office and light manufacturing uses surrounding the Sunport. The request is consistent with Goal 5.6-City Development Areas.

Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is located within an Area of Change and directs growth and more intense development to industrial and business parks near the airport. The Albuquerque International Sunport Sustainable Airport designates the subject site as an extension of the ACE Site Plan (superseded) to the east which was to be developed to accommodate strategic aerospace and aviation innovations and partnerships. The request would also expand employment opportunities, create jobs in an area adjacent to the airport and next to NR-LM zoning with office and industrial uses. Additionally, the subject site is near a freight route that is not abutting residential uses, and in a location where adequate infrastructure and community services exist. The request is consistent with Policy 5.6.2-Areas of Change.

Policy 5.6.4 -Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The subject site is consistent with the policy because it is in an Area of Change abutting an industrial park to the west and a business park to the north in which both are in Areas of Consistency. The transitions would be from the proposed use of light manufacturing in the NU-SU district to industrial or office land uses which are both in the NR-LM light manufacturing zoning district. Setbacks to the north, east and west of the building are larger than any required setback at 107 ft, 94 ft and 96 ft respectively and provide landscaping that buffers the development with street trees, and additional plants. The building height within the Horizontal Surface for the airport at 32'6" is substantially lower than the 150 ft maximum height limit based on the elevation of the project site. The land use to the east and south of the subject site is designated airport use and is vacant. Staff finds the request is generally consistent with Policy 5.6.4-Appropriate Transitions.

Chapter 7: Urban Design

Policy 7.3.5-Development Quality: Encourage innovative and high-quality design in all development.

The proposed Site Plan incorporates high-quality design for a large-scale production facility that includes a large area of blue tinted glazing on the east elevation and front of the building which is not typically seen for light manufacturing use. Additionally, the proposed building has changes in color and in its articulation on the facades. The proposed Landscape Plan would transform and stabilize the west slope down to Columbia Drive in an innovative way by while avoiding the need to install a large and unattractive retaining wall facing Columbia Dr SE. Further, Site Plan's for NR-SU require Site Standards, Uses, and Development Standards to be reviewed and decided by the EPC, which would help ensure high quality design. The request is consistent with Policy 7.3.5-Development Quality.

Chapter 8: Economic Development

Policy 8.1.2-Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The proposed development would encourage economic development and synergistic economic development efforts that could grow the community's economic base. The proposed use could provide job growth with livable wages and could foster local economic opportunities associated with it and bring additional income into the region. The proposed development could add to the diverse economy by increasing light manufacturing related to the aviation industry in the area. Though not guaranteed, the proposed development would contribute to a more robust economy and generally improve opportunities and quality of life for new and existing residents. The request is generally consistent with Policy 8.1.2-Resilient Economy.

Policy 8.1.3-Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending.

The request would strengthen and diversify the economic base by providing a new light manufacturing use in the private sector. As a private company this would help reduce reliance on government spending. The efforts would focus on the aerospace technology economic base cluster that is important to the region and which complements existing work at the Air Force Research Laboratory, Sandia National Laboratories, Kirtland Air Force Base, and their affiliated partners. The request is consistent with Policy 8.1.3-Economic Base.

The Albuquerque International Sunport Sustainable Airport Master Plan (2018, the "Sunport Master Plan", Rank III)

The 2018 Sunport Sustainable Master Plan contain standard elements of an airport master plan such as a facilities inventory, a needs assessment, forecasts, an evaluation of alternatives, selection of the recommended alternative, and a Capital Implementation Plan (CIP) with a 20-year horizon. The currently adopted Albuquerque International Sunport Sustainable Airport differs from previous airport master plans because it integrates sustainability into the airport planning process.

The Sunport Master Plan mentions the Aviation Center for Excellence (ACE), which comprised a large portion of the subject site, in Chapters 5 and 6. Chapter 5 discusses Landside (as opposed to Airside) considerations and mentions the ACE and the "property west of ACE" (12 acres) as part of a non-aviation land use concept which could accommodate similar or compatible manufacturing uses related to aviation.

Chapter 6 provides more information about ACE, stating that it's approximately 75 acres of land made available due to the closure of Runways 17-35 northeast of the terminal complex. This land is prime for redevelopment and was being actively promoted through the "Destination Sunport" effort to market the area as a business hub. Since the ACE site development plan for subdivision

was approved, it was the preferred alternative and other specific options were not known or discussed at that time. The Orion Site Plan superseded the ACE site development plan for subdivision. The Sunport Master Plan still needs to be updated to reflect the most recent approval. With the approval of the proposed Site Plan, the 8.2-acre site would supersede this area of the prior approval for Orion. Updated maps and figures that correspond to the ACE, and the property west of it, would need to be updated in the Albuquerque International Sunport Sustainable Airport. Text updates to explain the new use and situate it within the airport planning context would also be beneficial.

III. SITE PLAN-EPC

Review & Decision Criteria

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC, including new site plans will be approved if it meets all of the following criteria:

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

The applicant has adequately demonstrated, through a policy-based analysis, that the request would be consistent with the Comprehensive Plan as required pursuant to IDO Section 14-16-6-6(I)(3)- Review and Decision Criteria for Site Plan-EPC. The applicant's responses are contained in the revised project dated October 26, 2020 (see attachment). Staff agrees with the applicant's main arguments that the request would direct growth to where it is intended, provide economic-base jobs (manufacturing, not retail jobs) and foster economic resiliency, and occupy an infill site earmarked for this type of use and thereby promote efficient development patterns.

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

There are no existing development agreements or regulations for the subject site. The development is consistent with the Albuquerque International Sunport Sustainable Airport Master Plan and is supportive of "strategic aerospace and innovations and partnerships." There are no other terms and conditions that apply to the development of this subject site. The Orion site plan was submitted September 24, 2020 and approved by the EPC on November 12, 2020. This plan was submitted as a Major Amendment to the prior approval that replaced the ACE Site Plan-EPC. Per IDO Section 14-16-6-4(X)(2), the Orion Site Plan-EPC is a valid approval for 7 years from the date of approval, unless specified otherwise in the IDO. The approval and period of validity are based on the date of approval by the applicable decision-making body, which as a Site Plan – EPC. Based on the 7 years in Table 6-4-3, the Orion plan would be valid until November 12, 2027 unless it is

amended or replaced. The current request for the 8.2 acre-site, would replace this approval on only this portion of the Orion Site Plan. Therefore, this application supersedes and nullifies the Orion site plan which was never developed.

- 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Facilitation Team (DFT) to ensure compliance with applicable provisions of the Development Process Manual (DPM) and to ensure that infrastructure is sufficient.

IDO section 2-5(E)(2) Table 2-5-9 Other Applicable IDO Sections outlines the applicable standards for the NR-SU zone district. The Site Plan specifies site standards, uses, and development standards which are to be reviewed and decided by the EPC. Where the Site Plan is Silent, IDO standards apply.

Pursuant to IDO Section 14-16-6-4(P), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

- 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The existing infrastructure and public improvement have adequate capacity for the proposed development. The development will connect to existing water and sewer lines. The project site is surrounded by existing paved roads, an existing multi-use trail and sidewalks. A new detention basin will be installed to meet stormwater storage requirements. The request will be reviewed by the DRT, which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve the proposed development.

- 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The proposed development will mitigate significant impacts to the surrounding area because it will comply with applicable FAA and airport regulations, including those of the Airport Protection Overlay zone that limit noise, lighting, height, and

uses. The assembly operations will not produce hazardous material by-products and will take place inside an enclosed building. Also, the IDO's regulations mitigate Site Plan impacts to surrounding areas.

- 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is within the Albuquerque International Sunport Sustainable Airport Master Plan and meets its relevant standards for the proposed development and adheres to the applicable standards in the IDO and as negotiated through the Site Plan approval process with the EPC.

- 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and IDO Section 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

A cumulative impact is not required because the subject site is not in the Railroad and Spur Small Area.

Review of Proposed Site Plan

Request:

The request is for a new Site Plan-EPC for an approximately (≈) 8.2-acre site located northeast of the Sunport terminal area.

The NR-SU zone allows variations as approved by the EPC.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations. Staff and has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Standard of Review

Development in the NR-SU zone [IDO Section 14-16-2-5(E)] is subject to IDO requirements, but many may be varied through the EPC approval process. The NR-SU zone, is site plan controlled. For this review, the Applicant provided a table pursuant to IDO Section 14-16-2-5(E) for requested development standards under the NR-SU zone district. IDO Section 2-5(E)(2) Table 2-5-9 outlines the applicable standards for the NR-SU zone district. The project design complies with established

IDO standards, unless not applicable as noted in the table.

IDO section 2-5(E)(2) Table 2-5-9 outlines the applicable standards for the NR-SU zone district. Below is a table that speaks to the IDO sections that this project shall follow as described [in the applicant's project letter attached].

TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NU-SU ZONED PROPERTY	
OVERLAY ZONES	AIRPORT PROTECTION OVERLAY – PART 14-16-3
ALLOWABLE USES	LIGHT MANUFACTURING, WAREHOUSING, OFFICE AS ALLOWED IN THE APO, NOISE CONTOUR SUB-AREA 65 LdN
USE-SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1-3 - SETBACKS AND BUILDING HEIGHT
SITE DESIGN AND SENSITIVE LANDS	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(c)
SUBDIVISION OF LAND	PER IDO SECTION 5-4 AND CITY AVIATION REQUIREMENTS
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	STREET TREES AND PARKING LOT TREES PER IDO SECTION 5-6 AND REMAINING AS INDICATED ON LANDSCAPE PLAN
WALLS AND FENCES	PER IDO SECTION 5-7
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8
NEIGHBORHOOD EDGES	NOT APPLICABLE
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	AS INDICATED ON THE BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

Site Plan Layout/Configuration

The proposed building will total 94,222 sf and include light manufacturing, warehouse, and office space. The front of the building and main entrance would face Girard Blvd SE. A drive-in door is located on the north side of the building and dock doors are on the south side of the building.

Proposed Dimensional Standards: Proposed dimension standards are consistent with IDO Section 14-16-5-1. The NR-SU zone district does not have a setback requirement (NA or 0). Pursuant to IDO 5-1(E)(2)(b) NR-SU Zone District Dimensional standards in NR-SU shall be determined in the approval of a Site Plan – EPC.

Note that IDO Section 14-16-5-2, Site Design and Sensitive Lands, does not apply to the subject site.

Vehicular Access, Circulation, and Parking

Access to the development would be by way of Miles Rd SE. This access point will be the only entrance/exit for vehicles. A proposed driveway circles the entire facility. Parking would be on

the east side of the building in the front of the main entrance facing Girard Blvd SE. Additional parking would be on the north side of building at the entrance of the project site off of Miles Rd SE.

Access and Connectivity Standards: The proposed Site Plan is pursuant to IDO Section 14-16-5-3 Subdivision Access and Circulation. Access and Connectivity regulations are largely controlled by the Development Process Manual (DPM) and reviewed and administered by the DFT. All driveways and access points shall be constructed to meet DPM standards. Staff recommends that the Site Plan be reviewed and approved by the DFT subsequent to EPC approval.

Multi-purpose Trail: An existing, 8-foot multi-purpose trail runs on the western side of Girard Blvd SE. Pedestrian walkways on the ground are required to connect to the trail [IDO Section 14-16-5-3(D)(3)(b)(2)(B).]

Parking Standards: Pursuant to IDO Section 14-16-5-5 Parking and Loading, parking requirements comply with the light manufacturing use in the IDO Table 5-5-1 Minimum Off-street Parking Requirements of 1 space / 1,000 sq. ft. GFA as noted on the Site Plan. The applicant is shows 104 parking spaces but proposes and shows that 103 parking spaces are required in the Parking Calculations section on the Site Plan.

Pursuant to IDO 5-5(C)(8)(a) accessible parking (handicap spaces) shall be provided as required by the federal Americans with Disabilities Act Accessibility Guidelines for Buildings and Facilities (ADAAG), federal Fair Housing Act, and New Mexico Statutes Annotated. There are a total of 5 accessible parking spaces proposed on the Site Plan near the entrance of the building.

A total of 4 motorcycle spaces are provided in the parking lot area near the front entrance of the proposed building. Motorcycle parking is required to be provided in a visible, convenient location pursuant to IDO Section 14-16-5-5(D)(2).

Pursuant to IDO Table 5-5-5: Minimum Bicycle Parking Requirements, bicycle parking is required at the rate of 10% of required regular parking spaces. 10% of 103 totals 10 required bicycle spaces. The location of the bicycle racks is near the front entrance of the proposed building. The bicycle parking is required to be in a visible location pursuant to IDO Section 14-16-5-5(E)(4).

Section 14-16-5-5(H) contains requirements for off-street loading spaces and the layout and design of loading areas. Loading spaces need to be shown on the site plan and compliance with these requirements demonstrated.

Pedestrian, Bicycle, and Transit

Proposed Access & Connectivity Standards: The proposed development standards for access and connectivity are pursuant to IDO Section 5-3(E)(3)(C) regarding Driveway, Drive Aisles, and

Access which state drive aisles should be located the minimum distance from street intersections required by the DPM.

There is one proposed access point into the subject site from Miles Rd SE. Miles Rd SE is accessible by Girard Blvd SE or Columbia Dr SE.

The applicant has proposed to remove the existing sidewalk along Columbia Dr SE and install a new 5ft sidewalk. A new 5ft sidewalk would be installed along Miles Rd SE and connect to the existing sidewalk at corner of Girard Blvd SE. Pedestrian ADA ramps are proposed to be located at on both sides of the vehicular entrance at the sidewalks and throughout the proposed development. There are proposed 6ft sidewalks to the subject site along the front (west) and entrance (north) side of the subject site. A proposed sidewalk extends from the proposed sidewalk alongside Miles Rd SE. ADA pedestrian ramps internal and external to the subject site are proposed to be installed with the installation of the proposed sidewalks.

Crosswalks for pedestrians and motorist are shown on the site plan with dashed dark grey lines but need to be identified as such on the Site Plan Keyed Notes.

Currently, the Rio Metro Dial-a-Ride Commuter 222 has bus stops near the subject site on both sides of Girard Blvd SE going north and south. Gibson Blvd SE is a designated Commuter Corridor and is less than 700 ft away and has ABQ Ride bus routes that run east and west near the intersection of Gibson Blvd SE and Girard Blvd SE.

The applicant is proposing to provide 10 bicycle spaces, or 10% of the required regular parking spaces. The bicycle parking is required to be in a visible location pursuant to IDO Section 14-16-5-5(E)(4).

Airport Protection Overlay Zone

The subject site is in the boundaries of the Airport Protection Overlay Zone, which includes the Air Space Protection Subarea, the Air Space and Runway Protection Subarea, and the Noise Contour Subarea (65 DNL and 75 DNL contours). The purpose of the Airport Protection Overlay zone is to require that land use and development at or around public airport facilities comply with the regulations of the Federal Aviation Administration (FAA).

IDO Section 14-16-3-3(D) contains applicable development height standards. The height standards apply to any structure. In the Air Space Protection Subarea, maximum building height follows the dimensional standards. Pursuant to IDO Section 14-16-3-3-(D)(1)(b) of the Air Space Protection Subarea, a building cannot be higher than the Horizontal Surface for the airport. For the Sunport, the Horizontal Surface is 5,504.9 ft. Therefore, the proposed buildings heights cannot exceed the 5,504.9 ft Horizontal Surface elevation, which was established by the Federal Aviation Administration (FAA) to ensure compatibility of airport function with land use and development near airports.

The subject site is in the Noise Contour Subarea, between the 65 DNL contour and the 75 DNL contour. Table 3-3-2 lists manufacturing as a permissive use. However, the NR-SU zone allows uses as negotiated among those listed in IDO Section 14-16-4-2. This allows for a wide variety of uses, as negotiated via the site plan approval process, to support the main light manufacturing use.

Walls and Fences

Proposed Wall and fence Standards: IDO Section 14-16-5-7 contains regulations for walls and fences. Wall height in the NR-SU zone is decided through the review process.

An existing fence is next to the subject site alongside the western boundary of the multi-purpose paved trail that runs north and south on Girard Blvd SE.

There is a proposed 2ft high maximum, 116 ft long retaining wall that starts at the southeastern edge of the parking lot and goes north.

Boulder planter retaining walls and rings are proposed to be installed around each tree on the westside and northern half of the subject site. The bolder planting retaining wall locations and details are on the Landscape Plan and the modular concrete retaining wall system detail is on the Construction Detail Sheet.

Lighting

IDO Section 14-16-5-8 contains lighting standards. The parking lot light poles all are 20 ft from mounting height to grade. Outdoor lighting requirements can be varied through the review process in the NR-SU zone.

Exterior decorative wall sconces height shall be pursuant to IDO Section 14-16-5-8-(D)(4) and noted on the Exterior Building Elevations – EPC Sheet. Conversely, if the prefinished decorative wall sconces are for security lighting this should be included in Note #7 on the Exterior Building Elevations – EPC Sheet.

Landscaping

Landscaping with a variety of trees, shrubs, and accent plants is proposed. The landscaping includes proposed street trees along Columbia Dr SE and Miles Rd SE and an abundance of landscaping around the perimeter north, east and western sides of the project site. Trees are provided along detention pond on the south side of the subject site.

The Landscape Plan shows the proposed location and type of trees and ground cover being provided. A variety of trees, shrubs, and accent plants are proposed. Most are xeric, but some are “medium” water use. A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas and maintenance for landscape and irrigation would be the responsibility of the owner.

Landscape Area Coverage:

- 17 different plant species including 7 types of trees and 10 types of shrubs and ground cover.
- 3 types of gravel/mulch

Plant Palette & Irrigation:

Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan are allowed, unless EPC authorizes alternative species pursuant to IDO 5-6(C)(4)(b). The list can be found here: <https://documents.cabq.gov/planning/official-albuquerque-plant-palette-2019.pdf>

The trees along the street are at the required spacing intervals of 25ft apart. Sufficient shade trees are shown along required pedestrian walkways [IDO Section 14-16-5-6(C)(4)(h)]. Revegetated seeding would be applied in areas with no mulch or granite.

Drip-system irrigation is proposed. Required landscaping areas shall be designed to serve as storm water management areas to the maximum extent practicable [IDO Section 14-16-5-6(C)(13)(a)].

IDO Section 14-16-5-9 Neighborhood Edges does not apply.

Building Elevations

The proposed building is one story in height with a mezzanine inside the facility. The east elevation of the building is where the entrance is located.

Height

As discussed previously in this report, no building can exceed the 5,504.9 ft Horizontal Surface elevation of the airport. The building’s finish floor elevation is 5,301ft and the tallest point on the building is 32’6” feet at the top of the parapet at the vestibule facing east.

Architecture

The applicant has stipulated their own Building Design standards for the proposed building for NR-SU zoning district as shown on the Exterior Building Elevation – EPC sheet.

The building is a modern industrial style building, characterized tilt-up concrete wall panels in blue and grey colors. The glass vestibule faces the east and is covered with a metal panel canopy. A large part of the exterior on the front elevation of the building is comprised of blue tented glazing. Wall planes both horizontally and vertically to help break up the mass of the building. A strip of blue metal coping wraps around the top perimeter of the exterior of the building to match the color of the signage on the front exterior of the building facing east.

Signage

Sign Standards: The signage for the proposed development is following IDO standards in section 5-12 and operation and maintenance of the site is following IDO section 5-13.

A sign permit is needed for both monument signs as well as all building mounted signs. IDO Section 14-16-5-12(D)(1) states that signs greater than 24 SF, illuminated signs, freestanding signs, and signs taller than 8ft, etc., may not be erected until a sign permit is obtained.

Note: What the EPC approves is what will be required unless you go through an Administrative Amendment for the sign. Per approved plans for development in NR-SU zoning district, a sign detail illustrating the signage area should be included in the drawing set.

Grading & Drainage

The subject site has steep slopes on the north and west side towards Columbia Dr SE and Miles Rd SE. The finish floor elevation of the new facility is approximately 5,301 ft. The conceptual grading and drainage plan proposes a large detention basin on the southern portion of the subject site which is sufficient to control peak flows from the 100-year 24-hour storm and treat the required stormwater volume. Generally, water will flow into the storm water drain system by way of inlets on the east, north and west and will empty into the detention basin south of the building. See Albuquerque Metropolitan Arroyo Flood Control (AMAFCA) comments regarding discharging stormwater from the detention pond (basin). The site is not located within a Floodplain.

Utility Plan

The applicant has provided a Utility Plan showing new and existing utilities, fire hydrants, sanitary sewer lines, water, meter lines, and storm sewer lines.

All utilities, including water sewer are directly connected from Miles Rd SE to the north.

The Albuquerque Fire Marshal's Office hasn't approved the Fire Hydrant Locations and Access Plan for the Site Plan. It will be approved after EPC review.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies' Comments

City departments and other interested agencies reviewed this application. Few but no notable agency comments were received. Agency Comments received were based upon the initial application submittal on November 2, 2023.

Neighborhood/Public

Notification requirements are found in IDO Section 14-16-6, in the Procedures Table 6-1-1 and are further explained in IDO Section 14-16-6-4(K), Public Notice. The applicant notified the Victory Hills Neighborhood Association (NA), District 6 Coalition of Neighborhood Associations and property owners within 100 feet of the subject site as, required.

There was not response from the public and Neighborhood Associations for a facilitated meeting. A pre-application meeting was not held.

As of this writing, Staff has not received any comments regarding the request and is unaware of any opposition.

V. CONCLUSION

The request is for a Site Plan-EPC for an approximately 8.2-acre portion of the Albuquerque International Sunport Sustainable Airport Master Plan (the "subject site"). (The subject site, owned by the City of Albuquerque, is zoned NR-SU (Non-Residential Sensitive Use Zone District) and therefore is controlled by the EPC. The subject site is located in the Airport Protection Overlay Zone.

The applicant seeks to establish a new light manufacturing facility for a new light manufacturing facility for aviation and avionics. Associated uses such as office and warehousing will be planned.

The applicant notified the Victory Hills NA, the District 6 Coalition of NA, and property owners within 100 feet of the subject site, as required.

The request is consistent with applicable Comprehensive Plan Goals and Policies and meets most applicable IDO requirements. The proposed site plan shall go to the Development Facilities Team (DFT) for final sign-off. Staff recommends approval subject to conditions needed to ensure compliance with applicable regulations and to provide clarification.

FINDINGS –SI-2020-04447, December 21, 2023-Site Plan-EPC

1. The request is for a Site Plan-EPC, for an approximately 8.2-acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal addition, located on Columbia Dr., west of Girard Blvd. and north of Miles Rd., approximately 2,300 acres (the “subject site”).
2. The subject site is zoned NR-SU (Non-Residential Sensitive Use Zone District), is located in an Area of Change as designated by the Comprehensive Plan.
3. The Environmental Planning Commission (EPC) is hearing this case pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(l)(1)(A), which states that all site plans in the NR-SU zone district shall be reviewed and decided by the EPC. Additionally, pursuant to the Albuquerque International Sunport Sustainable Airport Master Plan this property will require a Site Development Plan to be approved by the EPC.
4. The Site Plan shall specify uses, site standards, and development standards, to be reviewed and decided by the EPC pursuant to IDO section 14-16-2-5(E) for the NR-SU zone district.
5. Staff reviewed the Site Plan drawings for compliance with applicable IDO Development Standards and regulations. No other City divisions have reviewed the drawings as part of the EPC-Site Plan. Future DFT reviewers shall check the Site Plan for compliance with the DPM and all development standards for the use. Staff has placed conditions of approval on the site plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is generally consistent with Comprehensive Plan Chapter 5: Land Use, Chapter 7: Urban Design and Chapter 8: Economic Development.
8. The subject site is in an Area of Change as designated by the Comp Plan, where new development is desired. By directing growth to Areas of Change, there is less pressure on established neighborhoods to absorb the types of growth that would negatively impact their character. The proposed Site Plan could enhance the surrounding area by facilitating similar aviation related development.
9. The current application request for the 8.2 acre-site, would replace this approval on only this portion of the Orion Site Plan, which was never developed. This EPC approval would then allow the proposed Tract A-1-B to be split from the existing Tract A-1 (to be known as Tract A-1-A).

10. The request is consistent with the following Comprehensive Plan Goal and Policy regarding Development Patterns from Chapter 5: Land Use.

- A. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request is consistent with the Goal and would facilitate development in an area already served by infrastructure, public facilities, and intended for aerospace-related industry. The subject site will be leased from the City Aviation Department and will support the public good by providing new jobs and industry to the City while expanding the tax base. The existing infrastructure near the subject site such as the easily accessible transit routes and major street networks, together with existing water and sewer utilities maximize the efficient use of the surrounding land.

- B. Policy 5.3.1-Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The Site Plan would facilitate development on a parcel that is served by existing infrastructure such as direct access to Gibson Blvd SE, a Commuter Corridor via Girard Blvd SE and public utilities such as water and sewer that could accommodate additional growth. The proposed site would be in alignment with the Albuquerque International Sunport Sustainable Airport Master Plan by engaging in light manufacturing related to aviation.

11. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Development Areas from Chapter 5: Land Use.

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The project site is in a designated Area of Change where growth is expected for development of light manufacturing, industrial and commercial-related uses to aviation. The project site is next to Areas of Consistency on the north and west where the proposed development will reinforce the character and intensity of the surrounding office and light manufacturing uses surrounding the Sunport.

- B. Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is located within an Area of Change and directs growth and more intense development to industrial and business parks near the airport. The Albuquerque

International Sunport Sustainable Airport designates the subject site as an extension of the ACE Site Plan (superseded) to the east which was to be developed to accommodate strategic aerospace and aviation innovations and partnerships. The request would also expand employment opportunities, create jobs in an area adjacent to the airport and next to NR-LM zoning with office and industrial uses. Additionally, the subject site is near a freight route that is not abutting residential uses, and in a location where adequate infrastructure and community services exist.

- C. Policy 5.6.4 -Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The subject site is consistent with the policy because it is in an Area of Change abutting an industrial park to the west and a business park to the north in which both are in Areas of Consistency. The transitions would be from the proposed use of light manufacturing in the NU-SU district to industrial or office land uses which are both in the NR-LM light manufacturing zoning district. Setbacks to the north, east and west of the building are larger than any required setback at 107 ft, 94 ft and 96 ft respectively and provide landscaping that buffers the development with street trees, and additional plants. The building height within the Horizontal Surface for the airport at 32'6" is substantially lower than the 150 ft maximum height limit based on the elevation of the project site. The land use to the east and south of the subject site is designated airport use and is vacant.

12. The request is consistent with the following Comprehensive Plan Policy 7.3.5 – Development Quality from Chapter 7: Urban Design: Encourage innovative and high-quality design in all development.

The proposed Site Plan incorporates high-quality design for a large-scale production facility that includes a large area of blue tinted glazing on the east elevation and front of the building which is not typically seen for light manufacturing use. Additionally, the proposed building has changes in color and in its articulation on the facades. The proposed Landscape Plan would transform and stabilize the west slope down to Columbia Drive in an innovative way by while avoiding the need to install a large and unattractive retaining wall facing Columbia Dr SE. Further, Site Plan's for NR-SU require Site Standards, Uses, and Development Standards to be reviewed and decided by the EPC, which would help ensure high quality design. The request is consistent with Policy 7.3.5-Development Quality.

13. The request is consistent with the following Comprehensive Plan Policies regarding Placemaking from Chapter 8: Economic Development.

- A. Policy 8.1.2-Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse

economy.

The proposed development would encourage economic development and synergistic economic development efforts that could grow the community's economic base. The proposed use could provide job growth with livable wages and could foster local economic opportunities associated with it and bring additional income into the region. The proposed development could add to the diverse economy by increasing light manufacturing related to the aviation industry in the area. Though not guaranteed, the proposed development would contribute to a more robust economy and generally improve opportunities and quality of life for new and existing residents.

- B. Policy 8.1.3-Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending.

The request would strengthen and diversify the economic base by providing a new light manufacturing use in the private sector. As a private company this would help reduce reliance on government spending. The efforts would focus on the aerospace technology economic base cluster that is important to the region and which complements existing work at the Air Force Research Laboratory, Sandia National Laboratories, Kirtland Air Force Base, and their affiliated partners.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(I)(3) as follows:

- A. 6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

The applicant has adequately demonstrated, through a policy-based analysis, that the request would be consistent with the Comprehensive Plan as required pursuant to IDO Section 14-16-6-6(I)(3)- Review and Decision Criteria for Site Plan-EPC. The applicant's responses are contained in the revised project dated October 26, 2020 (see attachment). Staff agrees with the applicant's main arguments that the request would direct growth to where it is intended, provide economic-base jobs (manufacturing, not retail jobs) and foster economic resiliency, and occupy an infill site earmarked for this type of use and thereby promote efficient development patterns.

- B. 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

There are no existing development agreements or regulations for the subject site. The development is consistent with the Albuquerque International Sunport Sustainable Airport

Master Plan and is supportive of “strategic aerospace and innovations and partnerships.” There are no other terms and conditions that apply to the development of this subject site. The Orion site plan was submitted September 24, 2020 and approved by the EPC on November 12, 2020. This plan was submitted as a Major Amendment to the prior approval that replaced the ACE Site Plan-EPC. Per IDO Section 14-16-6-4(X)(2), the Orion Site Plan-EPC is a valid approval for 7 years from the date of approval, unless specified otherwise in the IDO. The approval and period of validity are based on the date of approval by the applicable decision-making body, which as a Site Plan – EPC. Based on the 7 years in Table 6-4-3, the Orion plan would be valid until November 12, 2027 unless it is amended or replaced. The current request for the 8.2 acre-site, would replace this approval on only this portion of the Orion Site Plan. Therefore, this application supersedes and nullifies the Orion site plan which was never developed.

- C. 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Facilitation Team (DFT) to ensure compliance with applicable provisions of the Development Process Manual (DPM) and to ensure that infrastructure is sufficient.

IDO section 2-5(E)(2) Table 2-5-9 Other Applicable IDO Sections outlines the applicable standards for the NR-SU zone district. The Site Plan specifies site standards, uses, and development standards which are to be reviewed and decided by the EPC. Where the Site Plan is Silent, IDO standards apply.

Pursuant to IDO Section 14-16-6-4(P), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

- D. 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The existing infrastructure and public improvement have adequate capacity for the proposed development. The development will connect to existing water and sewer lines. The project site is surrounded by existing paved roads, an existing multi-use trail and sidewalks. A new detention basin will be installed to meet stormwater storage requirements. The request will be reviewed by the DRT, which is charged with addressing infrastructure and ensuring that

infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve the proposed development.

- E. 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The proposed development will mitigate significant impacts to the surrounding area because it will comply with applicable FAA and airport regulations, including those of the Airport Protection Overlay zone that limit noise, lighting, height, and uses. The assembly operations will not produce hazardous material by-products and will take place inside an enclosed building. Also, the IDO's regulations mitigate Site Plan impacts to surrounding areas.

- F. 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is within the Albuquerque International Sunport Sustainable Airport Master Plan and meets its relevant standards for the proposed development and adheres to the applicable standards in the IDO and as negotiated through the Site Plan approval process with the EPC.

- G. 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and IDO Section 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

A cumulative impact is not required because the subject site is not in the Railroad and Spur Small Area.

RECOMMENDATION – PR-2020-004447, SI-2023-01767

APPROVAL with conditions of Project # 2020-004447, SI-2023-01767, a Site Plan-EPC request for an approximately 8.2-acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal addition, located on Columbia Dr SE, west of Girard Blvd SE and north of Miles Rd SE, containing approximately 2,300 acres., zoned NR-SU, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – SI-2023-01767, Site Plan - EPC

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
 2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met.
 3. Site Plan-EPC Sheet
 - A. Parking Standards: Loading spaces shall be provided on the site plan pursuant to IDO Section 14-16-5-5(H) which details requirements for off-street loading spaces and the layout and design of loading areas.
 - B. Proposed Access & Connectivity Standards: A keyed note or legend item shall be provided to identify crosswalks for pedestrians and motorist, which are shown on the site plan with dashed dark grey lines.
 4. Exterior Building Elevations – EPC Sheet
 - A. Lighting: Exterior decorative wall sconce heights shall be pursuant to IDO Section 14-16-5-8-(D)(4) and noted on the Exterior Building Elevations – EPC Sheet. Conversely, if the prefinished decorative wall sconces are for security lighting this shall be included in Note #7 on the Exterior Building Elevations – EPC Sheet.
 5. Construction Details – EPC Sheet: An irrigation system detail shall be provided.
 6. Condition from AMAFCA: The applicant shall work with AMAFCA prior to DFT final sign-off to provide evidence that the site grading is not going to negatively impact any downstream property with its developed stormwater discharge
-

William Steele

**William Steele
Planner**

Notice of Decision CC list:

Consensus Planning Inc., Jackie Fishman, fishman@consensusplanning.com
District 6 Coalition of Neighborhood Associations, Mandy Warr, theremedadayspa.com
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Victory Hills NA, Patricia Willson, victoryhills505@gmail.com
Legal, Dking@cabq.gov
EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

No comment received as of 11-30-23

Long Range Planning

No comment received as of 11-30-23

Metropolitan Redevelopment

No comment received as of 11-30-23

Transportation Development Review Services

No comment received as of 11-30-23

CITY ENGINEER

Hydrology

No comment received as of 11-30-23

Transportation Development Services

No comment received as of 11-30-23

MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION

No comment received as of 11-30-23

POLICE DEPARTMENT/PLANNING

No comment received as of 11-30-23

SOLID WASTE MANAGEMENT DEPARTMENT

No comment received as of 11-30-23

TRANSIT DEPARTMENT

No comment received as of 11-30-23

PARKS AND RECREATION

No comment received as of 11-30-23

ABC WATER UTILITY AUTHORITY (ABCWUA)

1. No adverse comment to the Site Plan.
2. For informational purposes only:
 - 2a. Please make a Request for Availability to obtain conditions for service. For reference see the following link: <https://www.abcwua.org/info-for-builders-availability-statements/>

ALBUQUERQUE PUBLIC SCHOOLS

No comment received as of 11-30-23

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

This site appears to propose discharging stormwater from the detention pond to a downstream location with no existing drainage or drainage infrastructure. This site must verify that it is not going to negatively impact any downstream property with its developed stormwater discharge. Temporary downstream improvements may be necessary to allow this site to discharge as proposed.

COUNTY OF BERNALILLO

Public Works

No adverse comment. No nearby BC roads or intersections.

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)

No comment received as of 11-30-23

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

No comment received as of 11-30-23

PUBLIC SERVICE COMPANY OF NEW MEXICO

No comment received as of 11-30-23

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

No comment received as of 11-30-23

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comment received as of 11-30-23

PETROGLYPH NATIONAL MONUMENT

No comment received as of 11-30-23

AVIATION DEPARTMENT

No comment received as of 11-30-23

KIRTLAND AIR FORCE BASE

No comment received as of 11-30-23

Photographs
Existing Conditions

Pictures Taken:
December 14, 2023



Figure 1: Looking southwest at the subject site from the corner of Girard Blvd SE and Miles Rd SE.



Figure 2: Looking west at the subject site from Girard Blvd SE. A sign posting can be seen in this view.

Figure 5: Looking east at the subject site on Miles Rd SE. A sign posting can be seen in this view.





Figure 3: Looking south at the multi-purpose paved trail, east of subject property along Girard Blvd SE.



Figure 4: Viewing the western portion of the site.

Figure 5: Looking north on the subject site towards Miles Rd SE.





Figure 3: Looking toward the east on the subject site.



Figure 4: Viewing the western side of the subject site with its steep slope and existing old stairs to be removed. A sign posting can be seen in this view.

Figure 5: Viewing the subject site from the intersection of Columbia Dr and Miles Rd SE



ZONING

Please refer to IDO Section IDO section 14-16-2-5(E)
for the NR-SU Zone District

HISTORY

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

November 12, 2020

Group Orion, LLC
1455 Pennsylvania Ave. NW
Washington DC, 20004

Project #2020-004447
SI-2020-01023—Site Plan-EPC

LEGAL DESCRIPTION:

An approximately 119 acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal Addition, and Tract A-1-B, Replat of Tracts Z-4 & A-1 to Tracts Z-4-A, A-1-A, A-1-B & A-1-C of Airport Park, approximately 2.8 acres, zoned NR-SU, located south of Gibson Blvd. SE, west of Kirtland Air Force Base (KAFB), north of the existing taxiway and both east and west of Girard Blvd. SE.

Staff Planner: Catalina Lehner

On November 12, 2020, the Environmental Planning Commission (EPC) voted to Approve Project # 2020-004447/ SI-2020-01023, a Site Plan – EPC, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

1. The request is for a Site Plan-EPC for an approximately 119 acre portion of the Albuquerque International Sunport and an approximately 2.8 acre portion of the business park to the west, for a total of approximately 122 acres (the “subject site”). The subject site is legally described as an approximately 119 acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal Addition, and Tract A-1-B, Replat of Tracts Z-4 & A-1 to Tracts Z-4-A, A-1-A, A-1-B & A-1-C of Airport Park, approximately 2.8 acres.
2. Owned by the City of Albuquerque, the subject site is located south of Gibson Blvd. SE, northeast of the main airport terminal area, adjacent to Kirtland Air Force Base (KAFB), near Sandia National Laboratories, and not far from the University of New Mexico (UNM).
3. The request is considered a Site Plan-EPC because the proposed site plan would repeal and replace the controlling site development plan for subdivision for the Aviation Center for Excellence (ACE), an approximately 75 acre site consisting of the decommissioned runway land and approved by the EPC in 2015.
4. The applicant seeks to establish a new business/industrial campus for research and development of aerospace technology (assembly, integration, and testing) pertaining to satellites. The campus would contain manufacturing and assembly operations and associated uses such as office,

laboratories, on-site amenities (restaurant, gym, child care), a hotel, and a parking structure. Development would be phased. All facilities shown on the current site plan will be developed as a first phase. The areas identified as “future development” shall return to the EPC for review and approval.

5. The subject site is zoned NR-SU (Non-Residential Sensitive Use Zone District). The NR-SU zone is controlled by the Environmental Planning Commission (EPC) and allows variation from certain requirements (see Table 2-5-9) as part of the EPC review process. A separate Variance-EPC is not needed.
6. The subject site is located in both an Area of Change and an Area of Consistency as designated by the Comprehensive Plan. It is not in a currently designated Activity Center, though over time the subject site could become an Employment Center. Gibson Blvd. is designated a Commuter Corridor.
7. The subject site is located in the Airport Protection Overlay Zone. The Air Space protection subarea, Runway protection subarea, and the Noise contours subarea also apply.
8. The request does not conflict with the applicable, Use-Specific Standards (USS) for the following uses planned for the campus: 14-16-4-3(E)(2)- Light Manufacturing; 14-16-4-3(D)(27)- Research or Testing Facility; 14-16-4-3(D)(8)- Bar, Nightclub, Restaurant, Tap Room; 14-16-4-3(D)(4)- Hotel or Motel; 14-16-4-3(D)(9)- Health Club or Gym; and 14-16-4-3(D)(21)- Paid Parking Lot or Parking Structure.
9. The Albuquerque/Bernalillo County Comprehensive Plan, the Integrated Development Ordinance (IDO), the Electric Facilities Transmission and Generation Plan (2010-2020), and the Sunport Sustainable Airport Master Plan are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use regarding Centers and Corridors:
 - A. Policy 5.1.5 Employment Centers: Create Centers that prioritize employment opportunities and foster synergy among businesses.
 - subpolicy a: Prioritize office and commercial employment in areas with good access via automobile and transit.
 - subpolicy b: Prioritize industrial employment in areas with good connectivity for freight routes.

The request would create a new employment center west of the Sunport Employment Center, (which corresponds somewhat to Airport Park Business Park) because it would prioritize a variety of economic-base and supporting employment opportunities. The operation would foster synergy with other aerospace-related businesses, such as Sandia National Laboratories, and would generally be located in an area with good access via automobile (transit to a lesser degree) and connectivity to freight routes such as Interstate 25.

- B. Policy 5.1.12 Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

subpolicy a: Allow auto-oriented, single-use development such as strip retail, large retail facilities, and business and institutional campuses along Commuter Corridors.

The request would facilitate auto-oriented development along a designated Commuter Corridor, Gibson Blvd., and allow travel across town for this regionally significant operation that consists of more than a single use (so Subpolicy a does not apply).

- 11. The request is consistent with the following Comprehensive Plan Goal and policy pair from Chapter 5-Land Use regarding development patterns:

- A. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate development in an area already served by infrastructure and public facilities, such as a fire station, and intended for aerospace-related industry. This would constitute an efficient use of land, and would support the public good by providing base jobs that create multiplier effects throughout the economy.

- B. Policy 5.3.1-Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site, and the area around it, are established locations already served by existing infrastructure and public facilities that can accommodate additional growth, although additional infrastructure (ex. electrical) would be needed to serve the proposed development.

- 12. The request is consistent with the following Comprehensive Plan Goal and policies from Chapter 5-Land Use regarding development areas:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request would generally direct growth to a designated Area of Change where growth is expected and, in this case, anticipated for the proposed use. The proposed development would generally reinforce the character and intensity of the surrounding area because it is a large, industrial type use connected with the adjacent airport.

- B. Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Subpolicy b: Encourage development that expands employment opportunities.

Subpolicy e: Encourage job creation in business and industrial parks, near freight routes, and where adequate transitions and buffers can be provided to protect abutting residential uses.

Subpolicy g: Encourage development where adequate infrastructure and community services exist.

Though not in a designated Activity Center, the request would generally direct growth and more intense development to an industrial and business park area near the airport. The request would also expand employment opportunities, create jobs in an industrial park area near a freight route that is not abutting residential uses, and generally where adequate infrastructure and community services exist.

- C. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, and Major Public Open Space.

The designated Areas of Consistency abutting the subject site are a couple of lots in the business park to the west and the Sunport runway area. The request would facilitate development that is generally compatible with the existing, surrounding uses near the subject site.

13. Overall, the request is consistent with the following Comprehensive Plan Goal and policies regarding Transportation:

- A. Policy 6.1.3-Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs.

The request would facilitate development of a large employment campus that would generate a lot of automobile travel. However, the applicant has prepared a Traffic Impact Study and committed to establish a Travel Demand Management program that includes a transportation coordinator on staff; TDM information/education; transit ridership and car/vanpool incentives; priority parking; amenities for bike commuters; on-site amenities; etc. This commitment is an integral strategy incorporated into the Traffic Impact Study.

- B. Goal 6.2-Multi-Modal System: Encourage walking, biking, and transit, especially at peak hour commuting times, to enhance access and mobility for people of all ages and abilities.

The proposed development should encourage more walking, biking, and transit by offering, for example, improved pedestrian crossings and transit facilities. This is important because of the limited access points to Gibson Blvd. and the likelihood of significant automobile queuing at peak-hour commuting times. The applicant is proposing to schedule the shift changes to minimize the impact during peak hour commuting times. The applicant has also committed to providing shelters at the existing transit stops at the Gibson and Girard intersection.

14. Overall, the request is partially consistent with the following Comprehensive Plan Goal and policy pairs regarding Urban Design:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

While the proposed development is largely auto-oriented, significant efforts have been made to ensure walkability. The campus has good connectivity between buildings via sky bridges, access to on-site amenities including a food hall, workout facilities, and a hotel for site visitors. The child care facility is also conveniently located with access to the parking area for employees to drop off and pick up.

Pedestrian access to the facility will be limited for security reasons. Primary pedestrian access will be via the parking structure and sky bridges for employees and visitors and additional pedestrian access will be provided off Girard Boulevard meeting IDO Section 5-3(D)(3)(b)2.a. The access off Gibson Boulevard is not intended for pedestrians at this time.

- B. Goal 7.4-Context-Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.
Policy 7.4.2 Parking Requirements: Establish off-street parking requirements based on development context.
a) Discourage oversized parking facilities.

The proposed parking structure is designed to respond to the height and scale of the development context of the large manufacturing/assembly use, minimize the footprint and travel distance for the users, and provide convenient access to the pedestrian sky bridges. The requested parking requirement ensures that the parking is right sized for the development, while a strict compliance with standard IDO parking standards would result in a parking facility that is oversized (in number of spaces).

- C. Policy 7.4.3Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.
e) Discourage parking abutting the travel way to allow more active uses near the public right-of-way.
f) Provide visual interest or screening on parking structure facades and additional visual enhancements such as landscape elements and/or public art at ground level.
g) Encourage street-front parking structures to provide additional activity at street level, such as liner buildings or public spaces.

The proposed parking structure/facility is well-designed, efficient, safe and attractive with perforated metal over grey pre-cast concrete to provide visual interest and screening, which meets the requirements of IDO Section 14-16-5-5(G) Parking Structure Design. The parking structure is also setback away from the Girard Boulevard in order to allow more active uses (liner buildings) near the street. The location of the hotel, food hall, fitness center and related entrances and outdoor gathering areas are designed to provide visual enhancement and activity at the ground level.

15. The request is consistent with the following policies from Comprehensive Plan Chapter 8: Economic Development:

- A. Policy 8.1.2-Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

Subpolicy d: Grow the community's economic base through recruitment, retention/expansion, and new business startups to bring additional income into the region.

Subpolicy e: Encourage livable wages and high-quality work environments.

The request constitutes economic development and would encourage synergistic economic development efforts that would grow the community's economic base. The proposed use would encourage livable wages and would foster local economic opportunities associated with it, and therefore would contribute to a more robust economy and generally improve opportunities and quality of life for new and existing residents.

- B. Policy 8.1.3-Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending.

Subpolicy c: Recruit new export-based businesses to expand and diversify the economic base.

Subpolicy d: Focus economic development strategies, programs, and activities to support existing and emerging economic base industry clusters that are important to the region.

The request would strengthen and diversity the economic base by providing new manufacturing, R&D, and supporting jobs that would create multiplier effects throughout the economy and, as a private company, would help reduce reliance on government spending. The efforts would focus on the aerospace technology economic base cluster that is important to the region.

16. The request is consistent with the following policies from Comprehensive Plan Chapter 12-Infrastructure, Community Facilities, and Services:

- A. Policy 12.1.6- Energy Systems: Coordinate with energy providers to safeguard essential infrastructure to serve existing development and ensure a safe, adequate, and reliable supply to support growth.

The growth the request would make possible, a large manufacturing and R&R operation would require more energy resources than are available to serve existing development. The applicant is coordinating with energy providers to ensure an adequate supply of energy to support the proposed growth. The request is consistent with Policy 12.1.6- Energy Systems.

- B. Policy 12.4.5- Facility Plans: Develop, update, and implement facility plans for infrastructure systems, such as drainage, electric transmission, natural gas, and information technology that benefit from cross-agency and public-private coordination.

Because it would create additional electric energy needs, the request would necessitate coordination with the energy provider (PNM) regarding capacity and service expansion to accommodate the use according to the approval processes and standards of the Facility Plan: Electric System Transmission and Generation (2010 – 2020).

17. The proposed site plan differs from the NR-LM zone in terms of building height, wall height, building-mounted light height, building design, and parking standards, all of which can be approved in the NR-SU zone through a Site Plan – EPC. These variations from NR-LM requirements should be clearly noted on the site plan.

18. Due to the large scale of the proposed development, the standard IDO parking requirements would result in a calculation of over 6,000 parking spaces, which is excessive. A more reasonable calculation of parking for this business campus is based on anticipated employment, which will total 2,500 persons over three shifts. The provision of a minimum 2,500 parking spaces accounts for overlapping shifts, other employees, and some visitor parking is appropriate. This reduced parking requirement is met and shall be clearly noted on the site plan. If additional development occurs on the site in the future, this parking requirement should be re-evaluated at that time.
19. The applicant has adequately demonstrated, through a policy-based analysis, that the request would be consistent with the Comprehensive Plan as required pursuant to IDO 14-16-6-6(H)(3)- Review and Decision Criteria for Site Plan-EPC. The request would direct growth to where it is intended, provide economic-base jobs (manufacturing, not retail) and foster economic resiliency, and occupy an infill site earmarked for this type of use and thereby promote efficient development patterns.
20. The Orion Project TIS relies significantly vehicle trip reductions to the subject site, which would be necessary for the safe functioning of transportation near and on the subject site. Transit usage, bicycle usage, and walking should be promoted in order to make the reduction in vehicle trips a reality and help alleviate strain on the existing roadway system, which is limited in capacity.
21. Comprehensive Plan Policy 5.7.3- Updated Centers and Corridors states that Centers and Corridors should be added or deleted as needed to shape the built environment in a manner consistent with the Comprehensive Plan Vision for the future. The Planning Department should consider a future Comprehensive Plan update to adjust the boundaries of the Airport Employment Center to include the subject site.
22. This site plan and its proposed uses will require new substation capacity to serve its electricity demand, including a new transmission corridor and a substation that are interrelated to a developer-initiated project that has gone through a public involvement process and has been approved by the Environmental Planning Commission. The approval processes and standards of the Facility Plan: Electric System Transmission and Generation (2010 – 2020) will apply to these necessary electric facilities.
23. The 2018 Sunport Sustainable Master Plan mentions the Aviation Center for Excellence (ACE), which comprises a large portion of the subject site, in Chapters 5 and 6. The policy of City Aviation is to encourage aviation-related commercial activities in this location broadly. City Aviation has determined that the proposed Orion Center project is consistent with and implements the Master Plan.
24. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
25. The applicant notified the Yale Village Neighborhood Association (NA), the Victory Hills NA, the District 6 Coalition, and property owners within 100 feet of the subject site, as required. As of this writing, Staff has not been contacted or received any comments.

26. A pre-application facilitated neighborhood meeting was held on September 2, 2020. Though neighbors had questions about the project and the company, but no one expressed opposition.
27. The Albuquerque Police Department made the following recommendations related to CPTED (Crime Prevention Through Environmental Design):
 - A. Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways and bridges, entrances, and delivery areas.
 - B. Ensure natural surveillance and clear lines of sight throughout the facility. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the parking areas to the buildings and from the buildings the parking areas. Open stairwells, balcony railing, and offset picket screening materials can all enhance natural surveillance.
 - C. Consider electronic surveillance systems such as cameras and alarm systems throughout the project to enhance surveillance.
 - D. Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.
 - E. Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.
 - F. Limit and clearly delineate access to the property; i.e. Commercial Deliveries, Employee Parking, Drop-off Zones for both the hotel and child care center.
 - G. Provide signage that clearly directs visitors to the appropriate parking and/or entrance(s)/badging area, include a map if necessary.
 - H. Ensure adequate locking devices, including but not limited to, deadbolt, electronic keypad and keyless entry where appropriate.
 - I. Ensure that addresses are posted and clearly visible.
 - J. Clearly delineate public, semi-public, semi-private, and private space throughout the project.
 - K. Install *No Trespassing* signs that cite the City Ordinance so that they are visible immediately upon entering the property.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met.

A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are met. Upon receiving final approvals, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
3. Airport Protection Overlay Zone:

The building elevations shall be updated to demonstrate compliance with the Airport Protection Overlay Zone as it relates to the FAA established height limit as defined by the 5,504.9' elevation contour.
4. Overall Site Plan (Sheet 100):
 - A. A note shall be added to explain project phasing.
 - B. The uses listed on the Overall Site Plan shall be the IDO use terms (column 2).
 - C. The buildings on the overall site plan shall be dimensioned and/or their footprint size indicated.
 - D. The legal description and site size shall be verified and/or match that used in the staff report.
 - E. A note shall be added to explain what varies from IDO requirements, based on using NR-LM as a baseline.
5. Parking:
 - A. Parking calculations, including the math, shall be shown on the overall Site Plan (Sheet 100) and shall be based on the number of employees as approved by the EPC. A note shall also be added that states: If future development is proposed, the EPC shall evaluate the parking requirement to ensure adequate parking for the additional uses and employees.
 - B. The required number of accessible parking (handicap spaces) shall be listed as 45 (not 35) and the math shown.
6. Pedestrians/Connectivity:
 - A. A walkway shall be provided that leads to the abutting public transit stops serving the subject site [14-16-5-3(D)(3)(b)(2)(c)].
 - B. A pedestrian pathway from the parking garage to the childcare facility shall be provided [IDO 14-16-5-3(D)(3)(b)(1)].
 - C. Pedestrian walkways and crosswalks shall be identified to motorists and pedestrians through a change in material, patterns, or height [IDO 14-16-5-3(D)(3)(c)].
7. Motorcycle Parking:
 - A. The math for the motorcycle parking space calculation shall be shown.
 - B. The location of the motorcycle spaces on the surface lot shall be shown and be in a convenient location [IDO 14-16-5-5(D)(2)].
8. Bicycle Parking:
 - A. Bicycle parking shall be provided at the rate of 10% of required regular parking spaces and the math shown [IDO 14-16-5-5(E)(1)].

B. Bicycle parking shall be in convenient and visible locations [IDO 14-16-5-5(E)(4)(a)].

9. Alternative Transportation/TDM:

- A. The applicant shall coordinate with the Transit Department-ABQ Ride and provide bus shelters to encourage transit usage.
- B. The applicant shall provide carpool and/or vanpool parking in a convenient, preferential location as a TDM strategy.
- C. The applicant shall consider providing bicycle lockers as a TDM strategy.

10. Loading:

- A. Any off-street loading areas shall be indicated and meet the standards in IDO 14-16-5-5(H)(3).
- B. Loading spaces shall be provided as indicated in Table 5-5-7 and shown on the site plan.

11. Walls and Fences:

- A. The colors of the fence pickets and the precast concrete shall be specified on the wall and fence details.
- B. A retaining wall detail shall be provided so that compliance with IDO 14-16-5-7(F), Retaining Wall Standards, can be evaluated.

12. Lighting:

- A. A note shall be added to relevant sheets to explain the alternative wall-mounted height of exterior light fixtures [IDO 14-16-5-8-(D)(8)].
- B. A general note shall be provided to ensure compliance with 14-16-5-8(D)(3) regarding light spillover and 14-16-5-8(D)(6) regarding light intensities.

13. Outdoor Gathering Areas:

Calculations, dimensions, and totals for the outdoor gathering space shall be provided (perhaps similar to a parking table that compares required to proposed).

14. Landscaping:

- A. Landscaping shall be provided at a rate of 15% of the net lot area [IDO 14-16-5-6(C)(2)(a)].
- B. Landscaping calculations shall be made based on net lot area, which is defined the “area of the lot covered by buildings”.
- C. The landscaping calculations for the larger lot (119 acres) shall be based on the net lot area calculation.
- D. The percentage of landscaping provided for the childcare facility (on the 2.8 acre lot) shall be adjusted based on the net lot area calculation (see definition of net lot area).

15. Water Harvesting:

- A. Runoff water shall be directed to depressed landscaping beds that provide supplemental irrigation [IDO 14-16-5-6(C)(13)(b)].
- B. The grading and drainage plan shall include a note requiring that curb notches be provided into the depressed landscaping beds.

16. Signage: A note needs to be added to ensure that luminance does not exceed 200 foot lamberts at night pursuant to IDO 14-16-5-12(E)(5)(a)(2).

17. Mechanical:

- A. Notes shall be added to indicate that mechanical equipment shall be fully screened [IDO 14-16-5-6(G)(1)].
- B. The dimensions, materials, and colors of the trash compactors shall be indicated.

18. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION DEVELOPMENT:

- A. Due to limited capacity of surrounding roadways and insufficient space for expansion, propose other modes of transportation such as transit and bicycle travel. Show cost alternatives for proposed transit even if proposing cost-sharing. Evaluate other options for mitigation as proposed in the Traffic Impact Study.
- B. Discuss future phasing as part of the Traffic Impact Study and further impact on traffic.
- C. For any transit options proposed, demonstrate sufficient space for drop-off areas and/or queuing.
- D. Show all required parking spaces including those within the parking garage.
- E. Indicate all spaces with electrical charging stations.
- F. Use trip distribution and DPM requirements to compute throat lengths.
- G. There is a gate shown at entry off of Gibson? Is this a security gate or access gate? Is it only closed during certain hours? Perform queuing analysis to ensure that there is no backup onto Gibson Boulevard, and provide a turn-around space in front of the gate.
- H. All exterior sidewalks, vehicular lanes, bus stops and bicycle paths should be labeled.
- I. Show all bikeways and pedestrian pathways to new development. Show all aisle and walkway widths and doorway entrances.
- J. All curb and curb radii should be labeled. All parking lot spaces shall be dimensioned.
- K. Any proposed public roadway vacation has to be submitted through DRB.
- L. Show all property lines clearly.
- M. Receive Fire Marshall Approval for the proposed site. Knox box should be labeled at the gates.
- N. Any required roadway infrastructure shall be placed onto an infrastructure list for DRB Approval. This shall include any required infrastructure needed from the Traffic Impact Study, any bus shelters, exterior sidewalks and bikeway facilities.

- O. Use DPM standards and designated off-site speed limits to show clear sight triangles on both the site plan and landscaping plan. Add the following note as well: "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
- P. Provide curb ramp and sidewalk details. Sidewalk shall show maximum 2% cross-slope.
- Q. Label all compact parking spaces as "Compact".
- R. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space.
- S. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**".

19. CONDITION FROM THE DEPARTMENT OF MUNICIPAL DEVELOPMENT (DMD)-TRANSPORTATION PLANNING:

DMD requests dedication of ROW for existing sidewalks not currently in ROW and that all new sidewalk and curb ramps be located within the existing ROW or the newly dedicated ROW.

20. CONDITION FROM THE SOLID WASTE MANAGEMENT REFUSE DIVISION:

A Transportation Circulation Layout (TCL) signed by the Solid Waste Department will be required, along with trash compactor enclosures that meet the C.O.A minimum requirements.

21. CONDITION FROM THE POLICE DEPARTMENT:

Due to the special security concerns for this facility, the site plan shall be designed to address the CPTED recommendations as expressed by the Police Department including lighting, surveillance, signage, and security technology. In particular, the parking structure shall incorporate the principles of CPTED so as to deter crime and to facilitate security measures as required by IDO Section 14-16-5-5(G)(1).

22. CONDITIONS FROM THE ABQ-BERNCO WATER UTILITY AUTHORITY (ABCWUA):

- A. The applicant shall request an Availability Statement at the following link <https://hes32-ctp.trendmicro.com:443/wis/clicktime/v1/query?url=http%3a%2f%2fwww.abcwua.org%2fAvailability%5fStatements.aspx&umid=761d99d5-05e7-4407-a26c-8489af88e2db&auth=c5e193b2792d33bbda0d14ee5f909adbb398f028-9212f5c28b0546254ae3107745c7f21a16affe35>
- B. The above request shall include a Fire Marshal approved Fire 1 Plan,

23. CONDITIONS FROM PNM:

- A. The applicant shall identify all electric facilities, including structures and poles, on the property and adjacent to the property and then clearly note them on the site plan and any future site plan, including the location of a new transmission corridor near the site and the substation abutting the site.

- B. It is the applicant's obligation to determine if existing and new utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **November 30, 2020**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

for Brennon Williams
Planning Director

BW/CL

cc: EPC file

Group Orion LLC, rgorman@grouporion.com

Consensus Planning Inc., cp@consensusplanning.com

District 6 Coalition of Neighborhood Associations, Dominic Peralta, 4district6@gmail.com

District 6 Coalition of Neighborhood Associations, Patricia Willson, info@willsonstudio.com

Yale Village NA, Kim Love, klove726@gmail.com

Yale Village NA, Donald Love, donalddlove08@comcast.net

Victory Hills NA, Erin Engelbrecht, e2brecht@gmail.com

Victory Hills NA, Patricia Willson, info@willsonstudio.com

Russell.Brito@pnm.com

synthia@cabq.gov

nallen@cabq.gov

dlreganabq@gmail.com

Malak Hakin, 2000 Wyoming Blvd. SE, Albuquerque NM, 87117

Alan Varela, avarela@cabq.gov

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

May 8, 2014

COA
Aviation Department
PO Box 1293
Albuquerque, NM 87103

Project# 1000270
14EPC-40024 Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A-1, Sunport
Municipal Addition, located on Gibson Blvd. SE
and Girard Blvd. SE, containing approximately 70
acres.

Staff Planner: Maggie Gould

On May 8, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1000270, 14EPC-40024, a request for a Site Development Plan for Subdivision, based on the following Findings and Conditions:

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision for a portion of Tract A of the Sunport Municipal Addition located on Gibson Boulevard and containing approximately 70 acres.
2. The Site Development Plan for Subdivision establishes design guidelines and a development process for future development on the site.
3. The site is part of the Albuquerque International Airport, formerly known as runway 17-35. The 2002 Airport Master Plan recommended closure and redevelopment of this runway.

OFFICIAL NOTICE OF DECISION

Project #1000270

May 8, 2014

Page 2 of 7

4. The site is within boundaries of the Established Urban Area of the Comprehensive Plan and is governed by the Airport Master plan and subject to applicable Federal Aviation Administration Regulations.
5. The Albuquerque/Bernalillo County Comprehensive Plan, Airport Master Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. This request is consistent with the Comprehensive Plan and furthers several policies of that plan including:

A. Established Urban

Goal to “create a quality urban environment which perpetuates the tradition of identifiable, individual, but integrated communities within the metropolitan area and which offers choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.”.

The proposed design guidelines will allow the development of a quality urban environment that reflects the character of the surrounding Airport use while offering new services and employment opportunities in a cohesively designed business park. The goal is furthered by this request.

- a. Policy II.B 5d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

The proposed development is similar to the development to the east and west. The style and layout of the site will complement the existing development. The design guidelines for the site will require design that responds to views, solar access and design considerations. Policy II.B5.d is furthered by this request.

- b. Policy II.B 5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The site has excellent access to existing streets, transit and utilities. The proposed development will not compromise the integrity of the neighborhood, but will add new services that will generally benefit the area. Policy II.B 5e is furthered by this request.

- c. Policy II.B 5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The proposed new development is not directly adjacent to a residential neighborhood, so the impacts of noise, traffic, lighting and pollution will be minimized. The use previous use as a runway caused considerable noise. The proposal moves the aviation uses farther from

the residents. The proposed uses at the site will offer new employment and service options for local residents and city-wide. Policy II.B 5i is furthered by this request.

- d. Policy II.B 5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The proposed Site Development Plan for Subdivision will allow the development of a vacant site in an existing older neighborhood. The new development may offer new employment and entertainment opportunities and cause the construction of new infrastructure which will improve the area. Policy II.B o is furthered by this request.

- e. Policy II.B.5p: Cost-effective redevelopment techniques shall be developed and utilized. **The site is owned by the City of Albuquerque Aviation Department, the parcels on the site will leased to future occupants. The developments costs will be paid primarily by these leases. Policy II.B.5p is furthered by this request.**

B. Transportation and Transit

- a. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The proposed design guidelines require sidewalks, pedestrian connections within the site and to the existing transit stop on Gibson Boulevard. Policy II.D.4g is furthered by this request.

C. Economic Development

- a. Policy II.D.6a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The proposed uses will allow the development of jobs ranging from entry level service industry to highly skilled research and development. The location on a transit line will offer an alternative to driving. The neighborhoods to the west of the site are identified by the 2010 census as having up to 30% of the population living at or below the poverty line. Policy II.D.6a is furthered by the request.

- b. Policy II.D.6f: The City and the County should remove obstacles to sound growth management and economic development throughout the community.

This request allows the development of a large infill lot; helping to keep the growth within the existing area of the City. With the approval of the Site Development Plan for Subdivision, this site can proceed with development future development which will provide a variety of jobs and services that will add to the options for business development. Policy II.D.6f is furthered by this request.

D. Developed Landscape

- a. Policy II.C.8 .c: Incidental structures ... shall be designed for minimal visual intrusion and mobility impediment to pedestrians.

OFFICIAL NOTICE OF DECISION

Project #1000270

May 8, 2014

Page 4 of 7

The only incidental structures addressed in this Site Development Plan for Subdivision are electric distribution lines which will be placed underground. This will remove the wires from the street and from the public view. Policy II.C.8.c is furthered by this request.

7. The intent of the Albuquerque International Airport Master Plan is met by this request. The proposed Site Development Plan for Subdivision will allow the redevelopment process for runway 17-35 to begin
8. A Traffic Impact Study was completed for the proposed development on the site. The study recommends improvements to Girard Blvd to address impacts of the proposed development on traffic flow.
9. The proposed access point on Gibson Boulevard must be approved by the Transportation Coordinating Committee of the Mid-Region Council of Governments. If the access is not approved the plan shall be revised to show only the Girard access points.
10. The property is subject to Federal Aviation Administration Grant Assurances and does not have to subdivide the property per §14-14-1-4(B)(1)(g) of the zoning code.
11. The applicant is requesting delegation of approval of future development to the Design Review Team process.
12. Property owners within 100 feet of the site and Victory Hills Neighborhood Association, Yale Village Neighborhood Association and the District 6 Coalition of Neighborhood Associations were notified. Staff has not received any comments from neighbors or property owners as of this writing.

CONDITIONS OF APPROVAL - 14 EPC 40024- May 8th, 2014-Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

OFFICIAL NOTICE OF DECISION

Project #1000270

May 8, 2014

Page 5 of 7

3. Conditions of Approval based on Recommendations from City Engineer, Municipal Development, and NMDOT)

- a. Prior to Site Plan for Subdivision approval, the proposed access from Gibson must be approved by the TCC / MRCOG.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
- c. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

4. Conditions of Approval based on Recommendations from PNM

- a. On Sheet 2 of 5, Design Guidelines, add the following as a new item 6) to Section C, Screening & Walls/Fences:

Design ground-mounted equipment screening to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

- b. 2. Sheet 3 of 5, Design Guidelines, 9. Utilities, item 1), revise to insert the underlined language:
1) Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility distribution easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility distribution easements is 10 feet in width to ensure adequate, safe clearances.
- c. 3. Sheet 3 of 5, Design Guidelines, 9. Utilities, item 3), revise as follows:
3) Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, utility boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

Add this: Transformers, utility pads, and ground-mounted equipment screening shall allow for access to utility facilities. All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

OFFICIAL NOTICE OF DECISION

Project #1000270

May 8, 2014

Page 6 of 7

5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MAY 23, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

OFFICIAL NOTICE OF DECISION

Project #1000270

May 8, 2014

Page 7 of 7

Sincerely,

Suzanne Lubar
Planning Director

SL/MG/mc

cc: Jackie Fishman, 302 Eighth Street NW, ABQ, NM 87102
Mike Provine, 2701 Miles Rd NE, ABQ, NM 87106
James Hinde, P.O. BOX 9948, ABQ, NM 87119
Laura Rife laura.rife.ctr@us.af.mil

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Sceye Incorporated		Phone:
Address: 50 George Applebay Way Building 200		Email:
City: Moriarty	State: NM	Zip: 87035
Professional/Agent (if any): Consensus Planning		Phone: 505-764-9801
Address: 302 8th St NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List all owners: Sceye Incorporated	

BRIEF DESCRIPTION OF REQUEST

Site Plan EPC to construct a new light manufacturing facility for aviation / avionics located within an NR-SU Zone.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A-1	Block:	Unit:
Subdivision/Addition: Sunport Municipal	MRGCD Map No.:	UPC Code: 101605420230220101
Zone Atlas Page(s): M-16-Z	Existing Zoning: NR-SU	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 8.19

LOCATION OF PROPERTY BY STREETS

Site Address/Street: N/A	Between: Columbia Dr SE	and: Girard Blvd SE
--------------------------	-------------------------	---------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000270 and PR-2020-004447

Signature:	Date: 11/02/2023
Printed Name: Jaqueline Fishman	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☐ SITE PLAN – EPC

☐ MASTER DEVELOPMENT PLAN

☒ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? ____ if yes, indicate language: _____

X A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

X Zone Atlas map with the entire site clearly outlined and labeled

X Letter of authorization from the property owner if application is submitted by an agent

X Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

X Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

X Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

X Office of Neighborhood Coordination neighborhood meeting inquiry response

X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

X Completed neighborhood meeting request form(s)

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

X Sign Posting Agreement

X Required notices with content per IDO Section 14-16-6-4(K)(1)

X Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

X Office of Neighborhood Coordination notice inquiry response

X Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

X Proof of emailed notice to affected Neighborhood Association representatives

X Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in

accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

X Completed Site Plan Checklist

X Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only)

X Site Plan or Master Development Plan

N/A Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☐ VARIANCE – EPC

____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

Sceye Inc.
50 George Applebay Way
Building 200
Moriarty, NM 87035

September 29, 2023

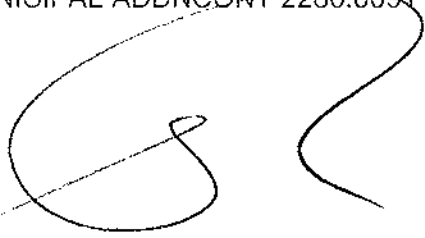
David Shaffer, Chairman
Environmental Planning Commission
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Chairman,

Sceye Inc. hereby authorizes Consensus Planning to act as an agent for all matters related to the request for a Site Plan EPC to the Environmental Planning Commission for the property located at the corner of Miles Rd SE and Girard Blvd SE (within the limits of Albuquerque International Sunport). The property is an approximate 10-acre portion of TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDNCONT 2286.0091 AC.

Sincerely,

Signature:


A handwritten signature in black ink, appearing to be 'Mikkel Vestergaard Frandsen', is written over a horizontal line.

Printed Name: Mikkel Vestergaard Frandsen

Title: President & CEO, Sceye Inc.



October 4, 2023

VIA: Email

David Shaffer, Chairman
Environmental Planning Commission
600 2nd Street NW
Albuquerque, NM 87102

RE: Consensus Planning Authorization

Dear Chairman Shaffer:

The City Aviation Department hereby authorizes Consensus Planning to act as an agent for all matters related to the request for a Site Plan EPC to the Environmental Planning Commission for the property located at the corner of Miles Rd SE and Girard Blvd SE (within the limits of Albuquerque International Sunport). The property is an approximate 10-acre portion of TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDNCONT 2286.0091 AC.

Sincerely,

Richard McCurley
Director, Department of Aviation, City of Albuquerque



Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

DATE: September 22, 2020

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2020-004447
Agent: Consensus Planning, Inc.
Applicant: Group Orion, LLC
Legal Description: Tract A-1, Sunport Municipal Addition & Tract A-1-B, Airport Park
Zoning: NR-SU
Acreage: ~125 acres
Zone Atlas Page(s): M-16-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☐ No

SUPPORTING DOCUMENTATION:

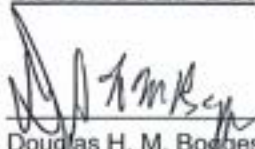
Historic Google Earth images

SITE VISIT: N/A

RECOMMENDATIONS:

Aerial photographs show property has been bladed since before 1991
CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

 9-22-2020
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department



November 29, 2023 (Revised)

David Shaffer, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Site Plan-EPC Approval for Sceye

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Chairman:

The purpose of this letter is to request approval of a Site Plan-EPC that would allow for the development of a 94,220 square foot, 1-story aviation / avionics related production facility. The subject site is on City Aviation property and is an 8.19-acre portion of Tract A-1 Plat of Tracts A-1 & A-2 Sunport Municipal Additional containing 2286.0091 acres (Figure 1). The subject site is zoned NR-SU for the existing airport use. The applicant, Sceye Incorporated, intends to lease the property from City Aviation. Per IDO Section 6-6(I), a Site Plan-EPC is required for the development of any property that is zoned NR-SU.



Figure 1. Subject Site.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

PROJECT CONTEXT

History

The subject site is part of the larger Albuquerque International Sunport property. Most of the Airport was annexed by the City of Albuquerque in 1966 and the earliest case history is found under AX-65 and Z-1449. Several different site plans for individual parts of the Sunport have been approved over the years, including the Aviation Center of Excellence (ACE) Site Development Plan for Subdivision located directly to the east of the subject property.

Existing Conditions

The subject site lies within the Near Heights Community Planning Area and is designated as an Area of Change adjacent to Areas of Consistency to the north, east, and west. Gibson Boulevard, to the north of the site, is designated as a Commuter Corridor. Yale Boulevard, to the west, provides access to the Airport terminal and is designated as a future Premium Transit Corridor. The Sunport/Airport Employment Center is also located just west of the subject site. Several ABQ Ride bus routes pass by the subject site including the 50 Airport-Downtown, 222 Rio Bravo-Sunport, 217 Downtown-KAFB Limited, and 96 Crosstown Commuter routes. There are bicycle facilities along both Gibson Boulevard and Girard Boulevard.

The subject site is within the Sunport property, which surrounds the subject property to the east and south and is all zoned NR-SU with airport-related uses. To the west is NR-BP and NR-LM with predominantly industrial, office, and commercial service uses in the Airport Industrial Park and Newport Industrial Park West. City Aviation property (referenced as ACE) is to the east and zoned NR-SU and Kirtland Air Force Base (KAFB) is located further east within unincorporated Bernalillo County. Properties fronting Gibson are zoned NR-LM and NR-SU on the south and NR-C on the north.



Figure 2. Land use context.

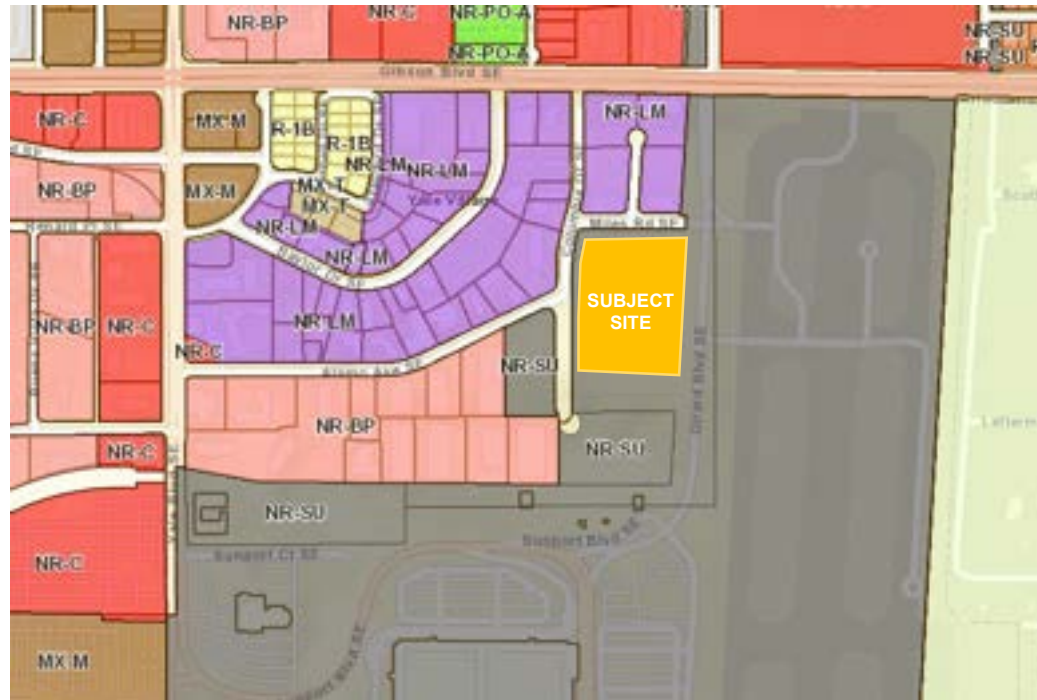


Figure 3. Existing zoning.

TABLE 1. Surrounding Zoning & Land Use

NORTH	NR-LM	Office and Commercial Services
EAST	NR-SU, Unzoned	Albuquerque Sunport, Kirtland Air Force Base
SOUTH	NR-SU	Albuquerque Sunport
WEST	NR-BP and NR-LM	Industrial, Office, and Commercial Services

SUMMARY OF REQUEST

The Applicant, Sceye Incorporated, is requesting approval of a Site Plan-EPC that will allow for light manufacturing of aviation/avionic equipment. The proposed development will be built as one phase as shown on the Site Plan. The uses and development standards for the property are established with the Site Plan. The Applicant is not requesting any variances.

The Applicant sent out the required Office of Neighborhood Coordination (ONC) pre-application and application notifications and did not receive any requests for a facilitated meeting. As of the date of this letter, no members of the public have contacted the Applicant or Consensus Planning with any questions or concerns.

SITE PLAN CRITERIA

The Site Plan – EPC request complies with the criteria outlined in IDO Section 14-16-6-6(l)(3) as follows:

6-6(l)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Applicant Response: *The Site Plan is consistent with the Comp Plan by furthering the following Goals and Policies:*



Comprehensive Plan Goals and Policies

Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Applicant Response: *The Site Plan furthers and is consistent with this goal by creating development that prioritizes aerospace technology desired by City Aviation that creates synergy and forge partnerships with existing businesses in the Sunport/Airport Employment Center. This location is an ideal location for this proposed new facility, which will utilize existing multi-modal corridors that contain bike lanes and an off-street trail, transit routes, and strong connections to the major street network via Girard to Gibson Boulevard and onto I-25.*

Policy 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

- i) Locate industrial development in Employment Centers or in existing industrial zones within the I-25 and I-40 corridors.

Applicant Response: *The Site Plan furthers this policy by proposing aerospace related light manufacturing use within a non-residential zone district that has long been planned for such development as identified in the Albuquerque International Sunport Sustainable Airport Master Plan. The subject site is located adjacent to other industrial zones, in an Area of Change, and in proximity to the Sunport/Airport Employment Center designated by the Comprehensive Plan. It has easy access to the I-25 corridor via Gibson Boulevard, a Commuter Corridor. All these factors show how this project captures regional growth in a desired location and contributing to shaping the built environment into a sustainable development pattern.*

Policy 5.1.5 Employment Centers: Create Centers that prioritize employment opportunities and foster synergy among businesses.

- a) Prioritize office and commercial employment in areas with good access via automobile and transit.
- b) Prioritize industrial employment in areas with good connectivity for freight routes.

Applicant Response: *The Site Plan is consistent with this policy because per the Sunport Master Plan, several Sunport properties are designated for non-aviation revenue support functions, such as the subject property, and are “contributing properties” to the Sunport/Airport Employment Center. The development of the proposed facility will expand the Employment Center by providing a technology hub that adds synergy with other surrounding businesses within the Employment Center and create new, well-paying jobs. The property has excellent access the major street network via Gibson Boulevard (a Commuter Corridor) to I-25, as well as having access to Bus Route 96 (Crosstown Commuter with a peak frequency of 40 minutes) along Gibson Boulevard and Bus Route 222 (Rio Bravo-Sunport with a peak frequency of 65 minutes) along Girard Boulevard and into the Sunport. These factors provide optimal shipping and receiving advantages due to the subject site being within the Sunport property and is the reason Sceye chose this site for its business operations in Albuquerque, which creates and expands the Employment Center and prioritizes employment opportunities for Albuquerque metro residents.*



Policy 5.1.12 Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

Applicant Response: *The proposed Site Plan is consistent with this policy because it is located approximately 670 feet south of a Commuter Corridor that is higher speed and higher traffic volume route for commuters coming from I-25. The development of a large single-use employer, such as the services proposed by the Applicant, is appropriate for this location where employees, goods, and services can arrive at the facility via a Commuter Corridor.*

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Applicant Response: *The Site Plan is consistent with this policy because it is within an area owned by City Aviation that has long tried to lease its property to airport-related uses that bring new jobs and industry to Albuquerque and support the public good. This is an industrial area that has access to existing infrastructure, such as the major street network, multiple transit routes, and water and sewer utilities surround the site. In addition, the subject site is well connected to the bike network with an abutting trail running north-south that connects to bike lanes in Gibson Boulevard, the Gibson Trail along the north side of Gibson Boulevard, and bike lanes in Girard Boulevard. The site is in an area with existing infrastructure, including access to the major street network via Girard Boulevard and Gibson Boulevard, bus routes along both Girard and Gibson, connections to the bike network, and adjacency to the Sunport that allow for and promote the efficient use of land to support the public good, including the provision of new jobs and an expanded tax base for the City.*

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Applicant Response: *The Site Plan is consistent with this policy by providing new development on a vacant site that has long been envisioned for the types of aviation and aerospace research and innovation. The site has access to existing water and sanitary sewer infrastructure, access to the major street network via Girard Boulevard and Gibson Boulevard, access to bus routes along both Girard and Gibson, connections to the bike network from the off-street trail on the north side of Gibson, and adjacency to the Sunport that allow for and promote the efficient use of land to support the public good, including the provision of new jobs and an expanded tax base for the City.*

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Applicant Response: *The Site Plan is consistent with this goal because the subject site is within an Area of Change where growth, with an emphasis on aviation and technology employment opportunities, is expected and adjacent to Areas of Consistency where the proposed development will reinforce the industrial and light manufacturing character and intensity of land uses to the west and north and in and surrounding the Sunport. The*



proposed development and use are consistent with the Albuquerque International Sunport Sustainable Airport Master Plan.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

- a) Encourage development that expands employment opportunities.
- e) Encourage job creation in business and industrial parks, near freight routes, and where adequate transitions and buffers can be provided to protect abutting residential uses.
- g) Encourage development where adequate infrastructure and community services exist.

Applicant Response: *The Site Plan is consistent with this policy because it is within an Area of Change, where it is appropriate to direct growth and more intense development in a designated “strategic aerospace and aviation innovation and partnership economic development area” identified in the Albuquerque International Sunport Sustainable Airport Master Plan. The proposed development directs and expands aviation related employment opportunities and job creation in an appropriate location directly adjacent to the Airport, adjacent to other NR-LM zoning and office/industrial land uses within existing business parks, near freight routes, and in a location with access to existing water, sanitary sewer, and transportation infrastructure systems.*

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

Applicant Response: *The Site Plan is consistent with this policy because the subject site is within an Area of Change adjacent to Areas of Consistency to the north, east, and west, and incorporates substantial setbacks in all directions; to the north, 107 feet, to the west, 96 feet, and to the east, 94 feet. The Landscaping Plan provides street trees and other landscape areas that buffer this development, and the building elevations include changes in color, materials, and wall planes both horizontally and vertically to help break up the mass of the building.*

Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

Applicant Response: *The Site Plan is consistent with this policy by providing for a high-quality design for a large-scale aviation/avionics production facility that incorporates a large area of glazing on the east elevation not typical for light manufacturing use, changes in color and articulation in the building facades. attractive streetscapes featuring deciduous trees, and a fully landscaped site that is currently blighted. The site is adjacent to a walking trail, which will allow use by the employees of this project. The Landscape Plan incorporates a plant palette appropriate for the region, transforms and stabilizes the west slope down to Columbia Drive in an innovative way while avoiding the need to install a large and unattractive retaining wall facing Columbia, and removal of the existing, unstable stairs.*



Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

- d) Grow the community's economic base through recruitment, retention/expansion, and new business startups to bring additional income into the region.
- e) Encourage livable wages and high-quality work environments.

Applicant Response: *The Site Plan is consistent with this policy by growing the community's economic base through recruitment of a new business that will be located on City Aviation property. The project will provide approximately 50 jobs with livable wages and a high-quality work environment that will bring additional income and tax base to the community and region, and help foster a more robust, resilient, and diverse economy.*

Policy 8.1.3 Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending.

- c) Recruit new export-based businesses to expand and diversify the economic base.
- d) Focus economic development strategies, programs, and activities to support existing and emerging economic base industry clusters that are important to the region.

Applicant Response: *The Site Plan is consistent with this policy to strengthen and diversify the economic base by growing private sector employment through a new light manufacturing use. The attraction of this private company to Albuquerque expands and diversifies the City's economic base and shows a focus on supporting emerging base industry clusters such as aviation/avionic technologies that complements existing work being done at the Air Force Research Laboratory, Sandia National Laboratories, Kirtland Air Force Base, and their affiliated partners.*

6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Applicant Response: *The request is for a new Site Plan and there are no existing development agreements for the subject property. However, the project is consistent with the City's desire to provide opportunities for the expansion of aviation and aerospace industries on the subject property, which is within and consistent with the "strategic aerospace and aviation innovation and partnership economic development area" designation shown in the Albuquerque International Sunport Sustainable Airport Master Plan. There are no other terms and conditions that apply to the development of this subject property.*

6-6(l)(3)(c) The Site Plan is consistent with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to the development of the property in a prior permit or approval affecting the property.

Applicant Response: *The Site Plan and proposed use is consistent with the NR-SU zone district. The following is a general overview of standards within the IDO as they relate to the proposed use, site location, and Site Plan. This table is also provided on the Site Plan.*

TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NU-SU ZONED PROPERTY	
OVERLAY ZONES	AIRPORT PROTECTION OVERLAY – PART 14-16-3
ALLOWABLE USES	LIGHT MANUFACTURING, WAREHOUSING, OFFICE AS ALLOWED IN THE APO, NOISE CONTOUR SUB-AREA 65 LdN
USE-SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1-3 - SETBACKS AND BUILDING HEIGHT
SITE DESIGN AND SENSITIVE LANDS	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(c)
SUBDIVISION OF LAND	PER IDO SECTION 5-4 AND CITY AVIATION REQUIREMENTS
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	STREET TREES AND PARKING LOT TREES PER IDO SECTION 5-6 AND REMAINING AS INDICATED ON LANDSCAPE PLAN
WALLS AND FENCES	PER IDO SECTION 5-7
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8
NEIGHBORHOOD EDGES	NOT APPLICABLE
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	AS INDICATED ON THE BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

Airport Protection Overlay (APO) Zone: The subject site is located on property within the Albuquerque International Sunport sub-areas of the APO zone. There are three sub-areas that apply certain standards on new development that include the Air Space Protection, Runway Protection, and Noise Contour sub-areas. The subject site is entirely within the Air Space Protection Sub-area and the proposed development area is generally located between the 65 Day-night Noise Level (DNL) and 75 DNL contours of the Noise Contour Sub-area as shown in Figure 5. The impacts of these are described in more detail below.

Use Regulations: No prohibited uses are proposed as regulated by IDO Section 3-3(C)(1) within the Air Space and Runway Protection Sub-areas. IDO Section 3-3(C)(2) identifies permissive uses within the Noise Contour Sub-area. As mentioned above, the site area is mostly located between the 65 DNL and 75 DNL contours.

Many more uses are permissive between the 65 DNL and 75 DNL contours per Table 3-3-2, including all Commercial Use and Offices and Services categories, except for general office use. The Site Plan complies with these standards.

Other Development Standards: The proposed maximum building height at 32'-1" complies with the APO Air Space Protection and Runway Protection Sub-areas. The Overlay zone limitation is the most restrictive standard since heights in the NR-SU can be any height proposed on the Site Plan.

Per IDO Section 3-3(D)(2) the reflectivity of structures "shall not have a light reflective value (LRV) that results in glare in the eyes of flyers using the airport, impairs visibility in the vicinity of the airport, or otherwise endangers the landing, taking-off, or maneuvering of



aircraft as determined by the City Aviation Department and per applicable FAA regulations.” A note identifying compliance with this standard has been added to the Site Plan.

In accordance with applicable regulations, the proposed development will comply with any necessary markings or lighting, as required by the FAA and City Aviation Department.

General Allowable Uses: Per the IDO requirements for uses within the NR-SU zone district, the Applicant is requesting approval of the proposed light manufacturing, warehousing, and office use. The proposed facility does not use hazardous materials or procedures that would require a Conditional Use Approval under the Research and Testing Facility Use-specific Standard.

Dimensional Standards: Per IDO Section 5-1(E)(1)(b), dimensional standards in the NR-SU shall be determined in the approval of a Site Plan by the EPC. The Applicant is proposing a maximum building height of 32 feet, 1-inch, which is lower than the maximum height of 65 feet allowed in the NR-BP and NR-LM zones. The setbacks are far in excess of the setbacks in the NR-BP and NR-LM zones, which require 20-foot front setback for NR-BP and 5-foot front setback for NR-LM, side setback of 10 feet for NR-BP and 0 feet for NR-LM, and 10-foot rear setback for NR-BP and 0-foot rear setback for NR-LM. The Site Plan shows a 107-foot front setback, 94-foot and 96-foot side setbacks, and 256-foot rear setback.

Site Design and Sensitive Lands: The project site has previously been graded multiples times since its initial development and no sensitive lands are present. An Archaeological Certificate of No Effect is included in the application.

Access and Connectivity: The Site Plan includes sidewalks along Miles Road and Columbia Drive and internal walkways and connections to the building, as required by the IDO and the DPM. Walkways and connections are made to the adjacent sidewalks and multi-use trail along Girard Boulevard. Walkways have been provided adjacent to the proposed buildings as needed for the function of those buildings, but it is important to note that IDO Section 5-3(D)(3)(b)3 for providing specific widths of those walkways along building frontages is not applicable to this development because it is a light manufacturing use.

Subdivision of Land: Bohannon Huston Inc. is currently working with City Aviation to subdivide the property and has submitted a sketch plat to the Development Hearing Officer (DHO) on November 7, 2023, which will create a separate parcel for this project once approved. The Applicant has provided a copy of the requested sketch plat with this to Planning staff on 11/28/2023.

Parking and Loading: The parking and loading shown on the Site Plan meets the required off-street parking requirements for vehicles, bicycles, and motorcycles, and the development and dimensional standards for parking layout, parking stall sizes, pedestrian crossings, and buffering of the loading area.

Landscaping and Buffering: The Landscaping Plan complies with the requirements of the IDO by providing far greater than the minimum 15% of the net lot area, more than the minimum required number of parking lot trees, coverage, and street trees, which are provided along Miles Road and Columbia Drive at 25 feet on-center.



Walls and Fences: No perimeter walls or fences are proposed.

Outdoor Lighting: The Site Plan is compliant with the outdoor lighting regulations of the IDO as a project within a non-residential zone district, light poles can be 30 feet tall. However, light poles are proposed on the Site Plan with a maximum height of 20 feet measured from the finished grade to the top of the pole.

Neighborhood Edges: There are no Protected Lots adjacent to the subject site.

Building Design: The building elevations include a large expanse of windows facing east and changes in color and wall planes, both horizontally and vertically, to the extent feasible. This treatment meets the intent of the IDO.

Sign: There is no free-standing sign proposed; only a building-mounted sign that faces east to Girard, which is substantially less than what is allowed by IDO Section 5-12.

6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

Applicant Response: The City's existing infrastructure has adequate capacity for the proposed development. The water and sewer lines to serve the project will connect to the existing water and sewer lines in Miles Road. The project site is surrounded by three existing paved roads to include Girard Boulevard SE (east), Miles Road SE (north), and Columbia Drive SE (west). A multi-use trail runs north south between Girard and the subject site. Transit services run along Girard and Gibson. Bike lanes are within the Gibson right-of-way and a bike lane is proposed for Girard. An existing sidewalk runs along the eastern boundary of the project site with new sidewalk proposed to tie into the existing sidewalk to run along the entire north and eastern boundary of the project site. A new detention basin is included in the site plan to handle any new 24-hour 100-year stormwater storage requirements. Any new infrastructure required by the development will be installed by the developer as required by the City.

6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Applicant Response: The site is located on NR-SU zoned property that is part of the Albuquerque Sunport and follows the guidelines of the Airport Protection Overlay Zone and the FAA. Other than the Airport to the south and Kirtland Air Force Base to the east, the uses to the north and west are similar industrial and office uses. The closest residential is located a significant distance away and separated from the property by Gibson Boulevard. Immediately northeast across Gibson is a golf course. The proposed setbacks and the limitation on height imposed by the FAA and airport regulations provide the required mitigation of any significant adverse impacts on the surrounding area to the maximum extent practicable. The Air Space Protection Sub-Area restricts heights to 150 feet above the highest point of the usable landing area at the Albuquerque International Airport, which is 5354.9 feet. The maximum height shown on the building elevations is 32 feet, 6-inches at the top of the parapet at the vestibule facing east.



6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: *The subject property is within the Albuquerque International Sunport Sustainable Airport Master Plan, which focuses on economic development possibilities for this area. However, the Master Plan does not require any specific development standards that need to be adhered beyond any applicable standards from the IDO and as negotiated through the Site Plan approval process with the EPC.*

6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Areas pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

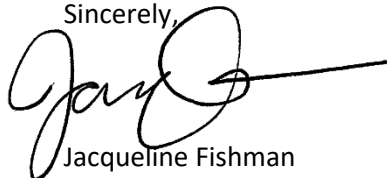
Applicant Response: *The site is not within the Railroad and Spur Area.*

CONCLUSION

The Applicant is proposing to locate a business new to Albuquerque in an area where new growth is anticipated and desired in proximity to the Sunport/Airport Employment Center and to the west across Girard Boulevard from the Aviation Center of Excellence also on City Aviation property. The project will bring well-paying new jobs and an expanded tax base to Albuquerque. It is consistent with the Albuquerque International Sunport Sustainable Airport Master Plan, and the surrounding light industrial and office uses. It is well connected to the major street network via Girard Boulevard and Gibson Boulevard, which connects to the I-25 corridor, and has excellent transit and bicycle access.

Based on the information provided, on behalf of Sceye Incorporated, we respectfully request approval of the proposed Site Plan-EPC for development of this aviation/avionics light industrial use.

Sincerely,



Jacqueline Fishman
Principal

STAFF INFORMATION

November 21, 2023

TO: Jaqueline Fishman, Consensus Planning
FROM: William Steele, Planner
City of Albuquerque Planning Department
TEL: 505.924.3349
RE: Project #2023-004447, SI-2023-01767_NR-SU Manufacturing - Site Plan-EPC

I've completed a first review of the proposed Site Plan - EPC. I would like to discuss the project and revisions that are needed to the project letter and Site Plan Drawings. I am available to answer questions about the process and requirements. Please provide the following:

⇒ Revised Site Plan Drawings (electronic and one 24x36 hard copy)

⇒ Revised Justification letter (electronic) by:

5pm on Wednesday 29, 2023

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. This is what I have for the current legal description legal until we receive a finalized plat from the applicant: Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal addition, located on Columbia Dr., west of Girard Blvd. and north of Miles Rd., containing approximately 2,300 acres (M-16-Z). (Rounding up for advertising purposes)
- C. It is my understanding that this is a request is for: a new Site Plan - EPC for a light manufacturing aviation production building.
 - The request is a Site Plan - EPC review and approval because the subject site is zoned NR-SU. Please explain why the EPC review is needed in the introduction of your project letter.
- D. **Please make suggested revisions to the Justification Letter. Please provide revisions to the Site Plan Drawings to us, electronically and one set of 24x36 hard copies. If this is not done, we cannot recommend approval of the request or a deferral will be needed.**

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

- B. Timelines and EPC calendar: the EPC public hearing is on December 21, 2023. Final staff reports will be available one week prior, on December 14, 2023. Final date for clarifying comments to be submitted to the EPC is December 19, 2023.
- C. Agency comments will be distributed on November 29, 2023. We will email you a copy of the comments.

3) Notification & Neighborhood Issues:

Notification requirements for a major amendment are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 345). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting. A. It appears that notification offering the pre-application facilitated meeting is complete.

- A. A pre-application facilitated meeting was held on 10-20-23.
 - a. Was a meeting held? I don't see any meeting notes.
 - b. Are there any comments or concerns that arose from the meeting?
- B. The notification to property owners also appears complete. Thank you for providing photos of the certified mail receipts and a list of the neighbors within a 100' buffer.
- C. The sign posting agreement is not filled out. Please submit a completed form. The sign posting period is December 6, 2023 to January 5, 2024. Please submit photos of the posted signs to us.
- D. Have any other neighborhood representatives or members of the public contacted you since the facilitated meeting?

4) Project Letter:

- A. There are revisions needed to the justification letter for clarity and to strengthen our request in order to receive a recommendation of approval.
- B. For the Site Plan - EPC criteria, the request must be "consistent with" not "clearly facilitated with" the Comprehensive Plan.
- C. Please elaborate on why the Site Plan is coming through the EPC?
- D. Please expand on how the sites' location is ideal. Expand on how or why it is an ideal location for the development.
- E. Will the 2-acre area of open space along Girard Blvd, specified in the ABQ Sustainable Airport Master Plan (MP) be removed or kept?
- F. Please provide a copy of the approved plat from DHO.

5) Site Plan - EPC 6-7(I)

Please note that Site Plan criteria is outlined in IDO Section 14-16-6-6(I)(3), not 6-6(H)(3)

A. 6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

- a. Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a
 - i. multi-modal network of Corridors. – **This Goal needs an Applicant Response.**
- b. POLICY 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern. – Change the word “goal” to “policy.” **How does this proposed development capture regional growth to help shape the built environment...?” Is it in an Area of Change?**
- c. POLICY 5.1.5 Employment Centers: Create Centers that prioritize employment opportunities and foster synergy among businesses. **How does this proposed development create Centers that prioritize employment opportunities?**
- d. POLICY 5.1.12 Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways. **The subject site is not along a Commuter Corridor. How does this proposed development align with this policy? What services? What modes of travel?**
- e. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good. **How is the efficient use of land to support public good being accomplished?**
- f. POLICY 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities. **Identify the existing infrastructure. Efficient use of land should be in Goal 5.3.**
- g. Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area. **How is this proposed development encouraging and directing growth? How will it reinforce the character and intensity of the surrounding area?**
- h. POLICY 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where a change is encouraged. **The proposed development is not in Center or next to a Corridor. Needs more information regarding how the proposed development is directing more growth?**
- i. POLICY 7.3.5 Development Quality: Encourage innovative and high quality design in all development. **Please elaborate on the innovative and high quality design.**

- B. 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations. **How is this proposed development consistent with the Albuquerque Sunport Sustainable Airport Master Plan?**
- C. 6-6(I)(3)(c):
- **Change NR-LM to NR-SU in the Applicant Response paragraph.**
 - **Outdoor Lighting: Please state proposed light pole will be 20' tall.**
- D. 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable. – **Please provide information regarding drainage, sidewalks and streets. Trails were addressed and bike lanes.**
- E. 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable. – **What are the limitations on height and setbacks that are mitigating significant adverse impacts? What part of the guidelines mentioned are pertaining to criteria are being addressed?**
- F. 6-6(I)(3)(f) – Responses missing.
- G. 6-6(I)(3)(g) – Responses missing.

6) Site Plan Overview - Drawings

A. Site Plan

1. Add Site Plan-EPC to Title Blocks. All title blocks need to be consistent.
2. What is the Primary Land Use for this site? The applicant states the Primary Land Use is Light Manufacturing and Warehousing. One primary use is allowed. The primary use is Light Manufacturing.
3. Remove Incidental Use: Office.
4. Update the Legal Description. See Introduction: 1(C)
5. The building sq ft reads 94,220 sf on the building foot print and the PROJECT DATA lists BUILDING SF at 94,222. Please update the building sq ft.
6. Parking Calculations are off - Required Parking Spaces need to be recalculated. They must be based on the use which is manufacturing. They can not be broken out into subcategories of manufacturing, office, and warehousing. The site plan doesn't support this.
7. If parking requirements can't be met, indicate this in the NR-SU standards table.
8. Where is the trash compactor located? There is a detail for it on sheet C-5.

9. Please note new sidewalk width dimensions the site plan.
10. Will the existing retaining wall be replaced on Columbia Dr.? If not, what will take its place?
11. Please make the proposed retaining wall clearly identifiable with different line type.
12. The 10' setback leader line is not pointing to anything on the site plan. Please point it to the correct location.

B. Landscaping Sheet

1. All calculations for Landscape are based off of 9.07 acres. The acres of the site must be consistent. If the acreage is 8.19 please use this number and recalculate all Landscape Calculations.
2. What is the ground covering directly south and adjacent to the building? It is not listed under Mulches and Boulders. Please put it on the list.
3. Please add note to drawing referring to Pollen Control, Water Conservation and Street Trees: Pursuant to IDO 5-6(C)(4)(g) "All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable."
4. Pursuant to IDO 5-6(C)(5)(c) gravel and crusher fine are limited to 75% of ground cover. Please add a calculation showing this is met.
5. The Boulder Planting Rings are shown. Where are the Boulder Planter Retaining Walls on the landscape sheet? Please locate and identify them on the Landscape *and* Site Plan sheet.
6. Please identify or remove the gray rectangle on the parking spaces in front of the building.

C. Detail Sheet

1. Remove 30' maximum light pole height. Please note the 20' mounting height of the pole.

D. Elevations

1. Proposed signage that will be on the building should be located on a separate sign detail sheet. Signage should include full dimensions, materials, and colors. Note that Signage Permits are a separate permitting process but building signage should be included in this review.
2. Building design is minimal-tilt up concrete. Applicant should try to get at least minimal architectural features.

NOTIFICATION REQUIREMENTS

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 10/20/2023

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached Public Inquiry

Name of NA Representative*: See attached Public Notice Inquiry

Email Address* or Mailing Address* of NA Representative¹: See attached Public Notice Inquiry

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: fishman@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

N/A

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 SUNPORT BLVD SE ALBUQUERQUE NM 87106
Location Description Between Columbia Drive SE and Girard Blvd SE
2. Property Owner* Sceye Incorporated
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☐ Zoning Map Amendment
- ☐ Other: _____

Summary of project/request^{3*}:

Site Plan - EPC for the development of a 94,220 square foot, 1-story aviation/avionics
related production facility.

5. This type of application will be decided by^{*}: ☐ City Staff
OR at a public meeting or hearing by:
☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)
☐ City Council
6. Where more information about the project can be found^{*4}:
fishman@consensusplanning.com or 505-764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} M-16-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

None Requested.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: ☒ Yes ☐ No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development***:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:

- a. Area of Property [typically in acres] 8.19 Acres
- b. IDO Zone District NR-SU
- c. Overlay Zone(s) [if applicable] Airport Protection Overlay
- d. Center or Corridor Area [if applicable] N/A

2. Current Land Use(s) [vacant, if none] Vacant

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Shawna Ballay

From: Shawna Ballay
Sent: Friday, October 20, 2023 3:33 PM
To: mandy@theremedydspa.com; P. Davis Willson; altheatherton@gmail.com; donaldlove08@comcast.net; klove726@gmail.com
Cc: Jackie Fishman; Shawna Ballay
Subject: IDO Pre-Application Update Notice - Sceye
Attachments: 00_Sceye -Pre-Application Update Notice Combined.pdf

Dear Neighbors,

We originally sent out a pre-application notification on June 23, 2023, that Consensus Planning intends to submit an application on behalf of GBA (Sceye Inc.) to the Environmental Planning Commission (EPC) for a Site Plan. We didn't receive any responses and wanted to take this opportunity to distribute an updated notice and site plan for the site legally described as Tract A-1 Plat of Tracts A-1 & A-2 Sunport Municipal Addition containing 2286 Acres and is zoned Non-Residential Sensitive Use (NR-SU). The applicant is seeking approval of an approximate 8.19-Acre Site Plan that will be leased from the City of Albuquerque to allow for the development of a 94,220 square foot, 1-story aviation / avionics related production facility as demonstrated on the attached preliminary site plan and elevations.

Should you have any questions, please do not hesitate to email me at ballay@consensusplanning.com or Jackie Fishman at fishman@consensusplanning.com. You may also contact us by phone at 505.764.9801.

Regards,

Shawna Ballay
Senior Planner / Project Manager
505.382.4745 (Mobile)



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 2200 Sunport Blvd SE Albuquerque, NM 87106

Name of property owner: City of Albuquerque

Name of applicant: Sceye Inc.

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

Jacqueline Fishman fishman@consensusplanning.com 505.764.9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature) 10/20/2023

(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT, 600 2ND ST. NW, ALBUQUERQUE, NM 87102 505.924.3860

www.cabq.gov

Printed 11/1/2020



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Shawna Ballay

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Wednesday, October 18, 2023 3:53 PM
To: Zachary Trischitta
Subject: 2200 Sunport Blvd SE_Neighborhood Meeting Inquiry Sheet_EPC

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email
District 6 Coalition of Neighborhood Associations		Mandy	Warr	mandy@theremedy
District 6 Coalition of Neighborhood Associations		Patricia	Willson	info@willsonstudio.
Victory Hills NA	victoryhills505@gmail.com	Alymay	Atherton	altheatherton@gma
Victory Hills NA	victoryhills505@gmail.com	Patricia	Willson	info@willsonstudio.
Yale Village NA	yalevillage@comcast.net	Donald	Love	donaldlove08@com
Yale Village NA	yalevillage@comcast.net	Kim	Love	klove726@gmail.co

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.

- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Vanessa Baca
Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, October 18, 2023 2:24 PM
To: Office of Neighborhood Coordination <trischitta@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Zachary Trischitta

Telephone Number

5057649801

Email Address

trischitta@consensusplanning.com

Company Name

Consensus Planning

Company Address

302 8th St NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDNCONT 2286.0091 AC

Physical address of subject site:

2200 SUNPORT BLVD SE

Subject site cross streets:

Girard Blvd SE and Miles Rd SE

Other subject site identifiers:

This site is located on the following zone atlas page:

M-16-Z

Captcha

x

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: donaldlove08@comcast.net
Sent: Friday, October 20, 2023 3:33 PM
Subject: Relayed: IDO Pre-Application Update Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

donaldlove08@comcast.net (donaldlove08@comcast.net)

Subject: IDO Pre-Application Update Notice - Sceye

Shawna Ballay

From: Mail Delivery System <Mailer-Daemon@mx212.antispamcloud.com>
To: info@willsonstudio.com
Sent: Friday, October 20, 2023 3:34 PM
Subject: Delivered: IDO Pre-Application Update Notice - Sceye

Your message has been delivered to the following recipients:

info@willsonstudio.com

Subject: IDO Pre-Application Update Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
To: donaldlove08@comcast.net
Sent: Friday, June 23, 2023 2:49 PM
Subject: Relayed: IDO Pre-Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

donaldlove08@comcast.net (donaldlove08@comcast.net)

Subject: IDO Pre-Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
To: altheatherton@gmail.com; klove726@gmail.com
Sent: Friday, June 23, 2023 2:49 PM
Subject: Relayed: IDO Pre-Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

altheatherton@gmail.com (altheatherton@gmail.com)

klove726@gmail.com (klove726@gmail.com)

Subject: IDO Pre-Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
To: mandy@theremedyspa.com
Sent: Friday, June 23, 2023 2:49 PM
Subject: Relayed: IDO Pre-Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

mandy@theremedyspa.com (mandy@theremedyspa.com)

Subject: IDO Pre-Application Notice - Sceye

Shawna Ballay

From: Mail Delivery System <Mailer-Daemon@mx217.antispamcloud.com>
To: info@willsonstudio.com
Sent: Friday, June 23, 2023 2:50 PM
Subject: Delivered: IDO Pre-Application Notice - Sceye

Your message has been delivered to the following recipients:

info@willsonstudio.com

Subject: IDO Pre-Application Notice - Sceye

Shawna Ballay

From: Shawna Ballay
Sent: Friday, October 20, 2023 3:33 PM
To: mandy@theremedydspa.com; P. Davis Willson; altheatherton@gmail.com; donaldlove08@comcast.net; klove726@gmail.com
Cc: Jackie Fishman; Shawna Ballay
Subject: IDO Pre-Application Update Notice - Sceye
Attachments: 00_Sceye -Pre-Application Update Notice Combined.pdf

Dear Neighbors,

We originally sent out a pre-application notification on June 23, 2023, that Consensus Planning intends to submit an application on behalf of GBA (Sceye Inc.) to the Environmental Planning Commission (EPC) for a Site Plan. We didn't receive any responses and wanted to take this opportunity to distribute an updated notice and site plan for the site legally described as Tract A-1 Plat of Tracts A-1 & A-2 Sunport Municipal Addition containing 2286 Acres and is zoned Non-Residential Sensitive Use (NR-SU). The applicant is seeking approval of an approximate 8.19-Acre Site Plan that will be leased from the City of Albuquerque to allow for the development of a 94,220 square foot, 1-story aviation / avionics related production facility as demonstrated on the attached preliminary site plan and elevations.

Should you have any questions, please do not hesitate to email me at ballay@consensusplanning.com or Jackie Fishman at fishman@consensusplanning.com. You may also contact us by phone at 505.764.9801.

Regards,

Shawna Ballay
Senior Planner / Project Manager
505.382.4745 (Mobile)



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 2200 Sunport Blvd SE Albuquerque, NM 87106

Name of property owner: City of Albuquerque

Name of applicant: Sceye Inc.

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

Jacqueline Fishman fishman@consensusplanning.com 505.764.9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature) 10/20/2023

(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT, 600 2ND ST. NW, ALBUQUERQUE, NM 87102 505.924.3860

www.cabq.gov

Printed 11/1/2020



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION
- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.

B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.

C. No barrier shall prevent a person from coming within five feet of the sign to read it.
2. NUMBER
- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.

B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.
3. PHYSICAL POSTING
- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.

B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.

B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent)

10/31/2023

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 6 Coalition of Neighborhood Associations, Victory Hills NA

Name of NA Representative*: See Attached ONC Listing

Email Address* or Mailing Address* of NA Representative¹: See Attached ONC Listing

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 Sunport Boulevard SE
Location Description Between Columbia Drive SE and Girard Blvd SE
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Site Plan - EPC for the development for a 94,220 square foot, 1-story aviation/avionics related
production facility.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- ☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)

Date/Time*: December 31, 2023 at 8:40 AM

Location*³: Via Zoom at the Following Link: <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

fishman@consensusplanning.com 505.764.9801

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ M-16-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

Not Applicable

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Not Applicable

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ✓ a. Location of proposed buildings and landscape areas.*
- ✓ b. Access and circulation for vehicles and pedestrians.*
- ✓ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ✓ e. **For non-residential development***:
 - ✓ Total gross floor area of proposed project.
 - ✓ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 8.19 Acres
2. IDO Zone District NR-SU
3. Overlay Zone(s) [if applicable] Airport Protection Overlay
4. Center or Corridor Area [if applicable] Not Applicable
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: See Attached ONC Listing [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Shawna Ballay

From: Shawna Ballay
Sent: Thursday, November 2, 2023 11:18 AM
To: mandy@theremedyspa.com; P. Davis Willson; altheatherton@gmail.com; donaldlove08@comcast.net; klove726@gmail.com
Cc: Jackie Fishman; Shawna Ballay
Subject: IDO Application Notice - Sceye
Attachments: 00_Sceye IDO Application Combined.pdf

Dear Neighbors,

This email is notification that Consensus Planning has submitted a Site Plan-EPC application on behalf of Sceye Incorporated to the Environmental Planning Commission (EPC).

The site is legally described as Tract A-1 Plat of Tracts A-1 & A-2 Sunport Municipal Addition containing 2,286 Acres and is zoned Non-Residential Sensitive Use (NR-SU). The applicant is seeking approval of a Site Plan on an approximate 8.19 - acre property that will be leased from the City of Albuquerque to allow for the development of a 94,220 square foot, 1-story aviation / avionics related production facility as demonstrated on the attached preliminary site plan and elevations.

The EPC Public Hearing for this application will be held on December 21, 2023, starting at 8:40 am via a remote Zoom link as outlined in the attached notification summary.

Please do not hesitate to email me at ballay@consensusplanning.com or Jackie Fishman at fishman@consensusplanning.com with any questions you may have. You may also contact us by phone at 505.764.9801.

Regards,

Shawna Ballay
Project Manager
505.382.4745 (Mobile)

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: donaldlove08@comcast.net
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

donaldlove08@comcast.net (donaldlove08@comcast.net)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: altheatherton@gmail.com; klove726@gmail.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

altheatherton@gmail.com (altheatherton@gmail.com)

klove726@gmail.com (klove726@gmail.com)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: mandy@theremedyspa.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

mandy@theremedyspa.com (mandy@theremedyspa.com)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Mail Delivery System <Mailer-Daemon@mx274.antispamcloud.com>
To: info@willsonstudio.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Delivered: IDO Application Notice - Sceye

Your message has been delivered to the following recipients:

info@willsonstudio.com

Subject: IDO Application Notice - Sceye

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 SUNPORT BLVD SE ALBUQUERQUE NM 87106
Location Description Located between Columbia Drive SE and Girard Blvd SE
2. Property Owner* Sceye Incorporated
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

Site Plan - EPC for the development of a 94,220 square foot, 1-story aviation/avionics light manufacturing facility.

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☐ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☒ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time December 21, 2023 @ 8:40 AM

Location^{*2}: Via Zoom at: <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found^{*3}:
fishman@consensusplanning.com or 505-764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} M-16-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

None requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

N/A

5. **For Site Plan Applications only^{*}**, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.^{*}
- ☒ b. Access and circulation for vehicles and pedestrians.^{*}
- ☒ c. Maximum height of any proposed structures, with building elevations.^{*}

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 2200 Sunport Blvd SE Albuquerque, NM 87106

Name of property owner: City of Albuquerque

Name of applicant: Sceye Inc.

Date, time, and place of public meeting or hearing, if applicable:

December 21, 2023 @ 8:40 AM Zoom Link: <https://cabq.zoom.us/j/2269592859>

Address, phone number, or website for additional information:

Jacqueline Fishman fishman@consensusplanning.com 505.764.9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 11/02/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 SUNPORT BLVD SE ALBUQUERQUE NM 87106
Location Description Located between Columbia Drive SE and Girard Blvd SE
2. Property Owner* Sceye Incorporated
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

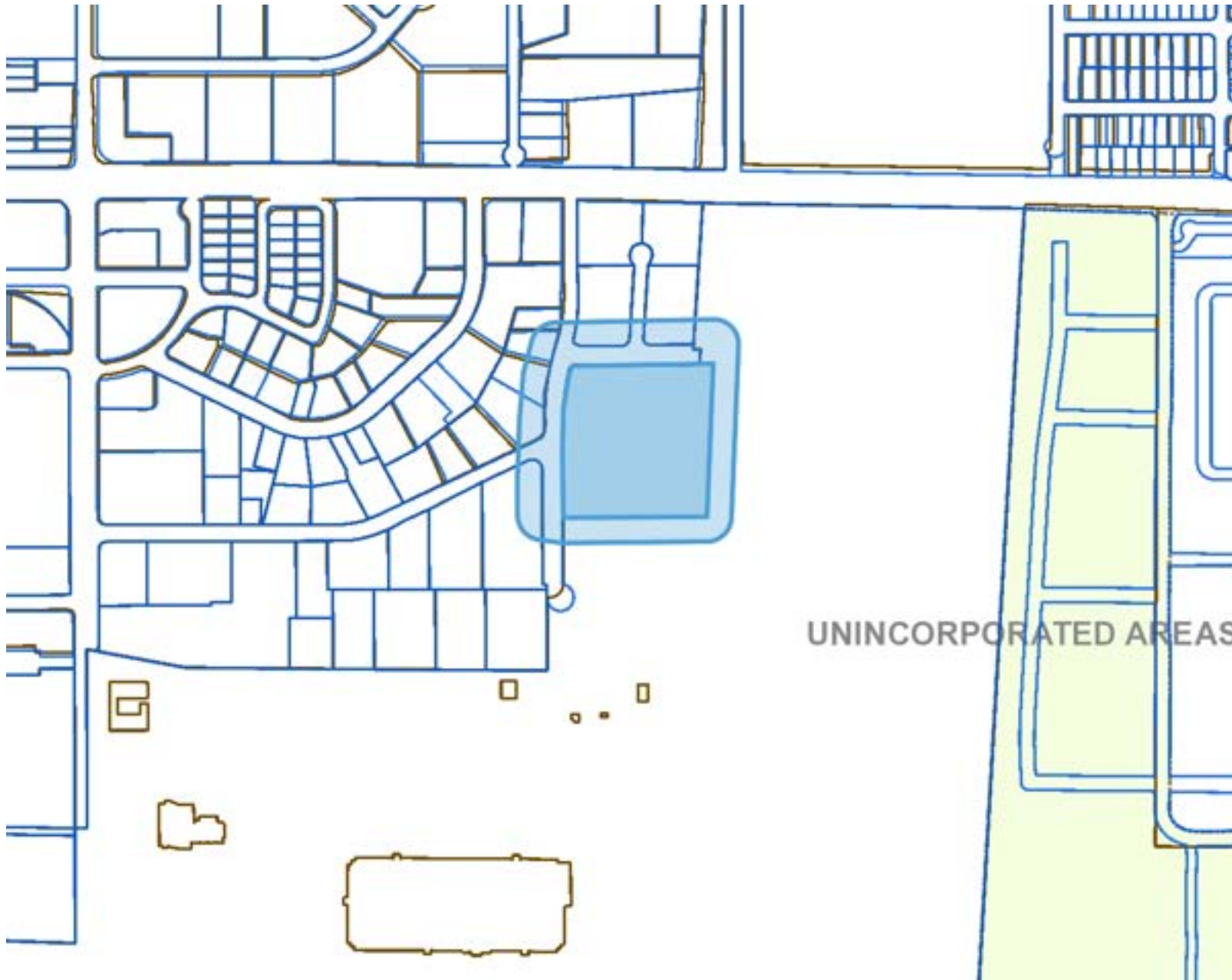
Site Plan - EPC for the development of a 94,220 square foot, 1-story aviation/avionics light manufacturing facility.

5. This application will be decided at a public meeting or hearing by*:
- | | |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.



Site Plan - EPC Sceye



Legend

- City Parcels
- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

Created by Consensus Planning on 10/31/2023. Includes 100' buffer of Road Easements.

1,202 0 601 1,202 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
10/31/2023 © City of Albuquerque

1: 7,213

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: altheatherton@gmail.com; klove726@gmail.com
Sent: Friday, October 20, 2023 3:34 PM
Subject: Relayed: IDO Pre-Application Update Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

altheatherton@gmail.com (altheatherton@gmail.com)

klove726@gmail.com (klove726@gmail.com)

Subject: IDO Pre-Application Update Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: mandy@theremedyspa.com
Sent: Friday, October 20, 2023 3:34 PM
Subject: Relayed: IDO Pre-Application Update Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

mandy@theremedyspa.com (mandy@theremedyspa.com)

Subject: IDO Pre-Application Update Notice - Sceye



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 2200 Sunport Blvd SE Albuquerque, NM 87106

Name of property owner: City of Albuquerque

Name of applicant: Sceye Inc.

Date, time, and place of public meeting or hearing, if applicable:

December 21, 2023 @ 8:40 AM Zoom Link: <https://cabq.zoom.us/j/2269592859>

Address, phone number, or website for additional information:

Jacqueline Fishman fishman@consensusplanning.com 505.764.9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 11/02/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 6 Coalition of Neighborhood Associations, Victory Hills NA

Name of NA Representative*: See Attached ONC Listing

Email Address* or Mailing Address* of NA Representative¹: See Attached ONC Listing

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 Sunport Boulevard SE
Location Description Between Columbia Drive SE and Girard Blvd SE
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Site Plan - EPC for the development for a 94,220 square foot, 1-story aviation/avionics related
production facility.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☐ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☒ Environmental Planning Commission (EPC)

Date/Time*: December 31, 2023 at 8:40 AM

Location*³: Via Zoom at the Following Link: <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

fishman@consensusplanning.com 505.764.9801

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ M-16-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

Not Applicable

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Not Applicable

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- ✓ a. Location of proposed buildings and landscape areas.*
 - ✓ b. Access and circulation for vehicles and pedestrians.*
 - ✓ c. Maximum height of any proposed structures, with building elevations.*
 - ☐ d. **For residential development***: Maximum number of proposed dwelling units.
 - ✓ e. **For non-residential development***:
 - ✓ Total gross floor area of proposed project.
 - ✓ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 8.19 Acres
2. IDO Zone District NR-SU
3. Overlay Zone(s) [if applicable] Airport Protection Overlay
4. Center or Corridor Area [if applicable] Not Applicable
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: See Attached ONC Listing [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Zachary Trischitta

Telephone Number

5057649801

Email Address

trischitta@consensusplanning.com

Company Name

Consensus Planning

Company Address

302 8th St NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDNCONT 2286.0091 AC

Physical address of subject site:

2200 SUNPORT BLVD SE

Subject site cross streets:

Girard Blvd SE and Miles Rd SE

Other subject site identifiers:

This site is located on the following zone atlas page:

M-16-Z

Captcha

x

Shawna Ballay

From: Shawna Ballay
Sent: Thursday, November 2, 2023 11:18 AM
To: mandy@theremedyspa.com; P. Davis Willson; altheatherton@gmail.com; donaldlove08@comcast.net; klove726@gmail.com
Cc: Jackie Fishman; Shawna Ballay
Subject: IDO Application Notice - Sceye
Attachments: 00_Sceye IDO Application Combined.pdf

Dear Neighbors,

This email is notification that Consensus Planning has submitted a Site Plan-EPC application on behalf of Sceye Incorporated to the Environmental Planning Commission (EPC).

The site is legally described as Tract A-1 Plat of Tracts A-1 & A-2 Sunport Municipal Addition containing 2,286 Acres and is zoned Non-Residential Sensitive Use (NR-SU). The applicant is seeking approval of a Site Plan on an approximate 8.19 - acre property that will be leased from the City of Albuquerque to allow for the development of a 94,220 square foot, 1-story aviation / avionics related production facility as demonstrated on the attached preliminary site plan and elevations.

The EPC Public Hearing for this application will be held on December 21, 2023, starting at 8:40 am via a remote Zoom link as outlined in the attached notification summary.

Please do not hesitate to email me at ballay@consensusplanning.com or Jackie Fishman at fishman@consensusplanning.com with any questions you may have. You may also contact us by phone at 505.764.9801.

Regards,

Shawna Ballay
Project Manager
505.382.4745 (Mobile)

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: donaldlove08@comcast.net
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

donaldlove08@comcast.net (donaldlove08@comcast.net)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: altheatherton@gmail.com; klove726@gmail.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

altheatherton@gmail.com (altheatherton@gmail.com)

klove726@gmail.com (klove726@gmail.com)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Microsoft Outlook
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>
To: mandy@theremedyspa.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Relayed: IDO Application Notice - Sceye

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

mandy@theremedyspa.com (mandy@theremedyspa.com)

Subject: IDO Application Notice - Sceye

Shawna Ballay

From: Mail Delivery System <Mailer-Daemon@mx274.antispamcloud.com>
To: info@willsonstudio.com
Sent: Thursday, November 2, 2023 11:18 AM
Subject: Delivered: IDO Application Notice - Sceye

Your message has been delivered to the following recipients:

info@willsonstudio.com

Subject: IDO Application Notice - Sceye



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - EPC

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 2200 Sunport Blvd SE Albuquerque, NM 87106

Name of property owner: City of Albuquerque

Name of applicant: Sceye Inc.

Date, time, and place of public meeting or hearing, if applicable:

December 21, 2023 @ 8:40 AM Zoom Link: <https://cabq.zoom.us/j/2269592859>

Address, phone number, or website for additional information:

Jacqueline Fishman fishman@consensusplanning.com 505.764.9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 11/02/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☒ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 2200 SUNPORT BLVD SE ALBUQUERQUE NM 87106
Location Description Located between Columbia Drive SE and Girard Blvd SE
2. Property Owner* Sceye Incorporated
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

Site Plan - EPC for the development of a 94,220 square foot, 1-story aviation/avionics light manufacturing facility.

5. This application will be decided at a public meeting or hearing by*:
 - ☐ Zoning Hearing Examiner (ZHE)
 - ☐ Development Review Board (DRB)
 - ☐ Landmarks Commission (LC)
 - ☒ Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time December 21, 2023 @ 8:40 AM

Location^{*2}: Via Zoom at: <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found^{*3}:
fishman@consensusplanning.com or 505-764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*4} M-16-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation^{*}:

None requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

N/A

5. **For Site Plan Applications only^{*}**, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.^{*}
- ☒ b. Access and circulation for vehicles and pedestrians.^{*}
- ☒ c. Maximum height of any proposed structures, with building elevations.^{*}

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development***:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 8.19 Acres
 2. IDO Zone District NR-SU
 3. Overlay Zone(s) [if applicable] Airport Protection Overlay
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

WHITFIELD ENTERPRISES INC BUILDING 4
PO BOX 220547
EL PASO TX 79913-2547

ADC LTD NM
2100 AIR PARK RD SE SUITE 120
ALBUQUERQUE NM 87106-3227

SIERRA MADRE INVESTMENTS INC
PO BOX 21579
ALBUQUERQUE NM 87154-1579

AR PROPERTY LLC
8313 CALLE PICAFLOR NW
ALBUQUERQUE NM 87120-310

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102

FIRST-CLASS



US POSTAGE
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CITY OF ALBUQUERQUE
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ALBUQUERQUE NM 87103-2248

Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102

AR PROPERTY LLC
8313 CALLE PICAFLOR NW
ALBUQUERQUE NM 87120-310

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Consensus Planning, Inc.
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PO BOX 21579
ALBUQUERQUE NM 87154-1579

Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102

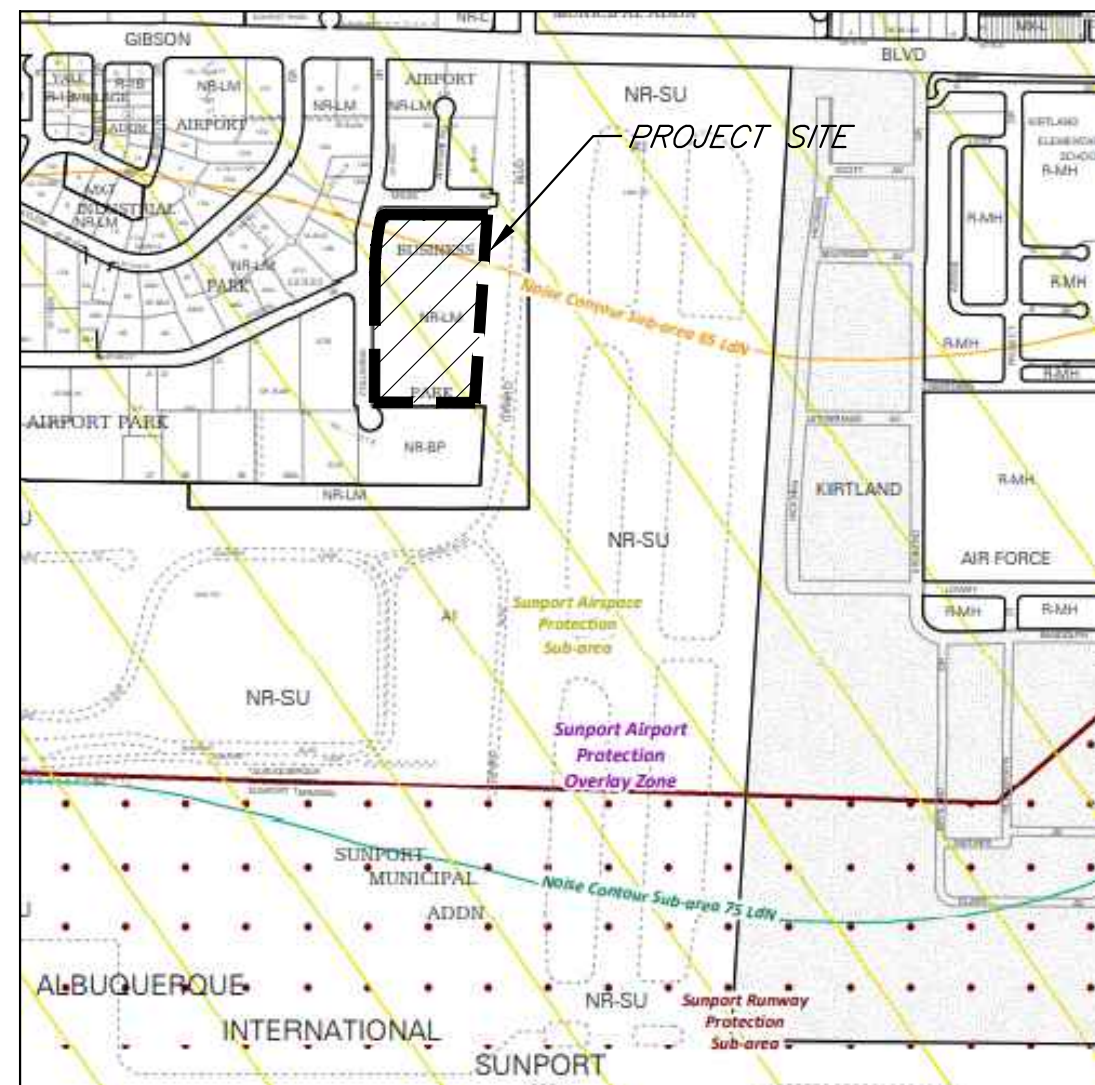
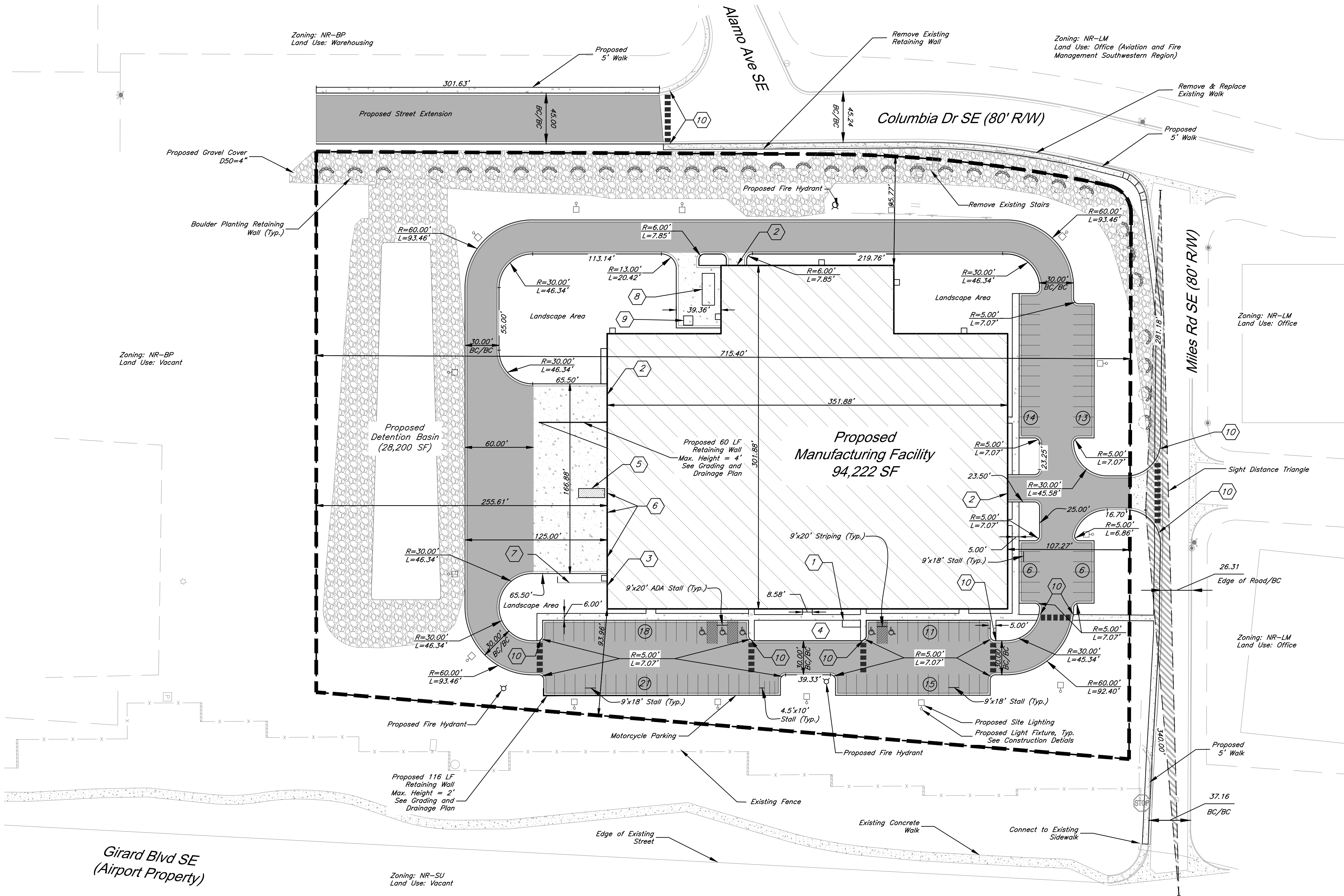
FIRST-CLASS



US POSTAGE
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0006057985
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CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

PROPOSED SITE PLAN



Zone Atlas Map (Page M-16-Z)

PROJECT NUMBER: _____

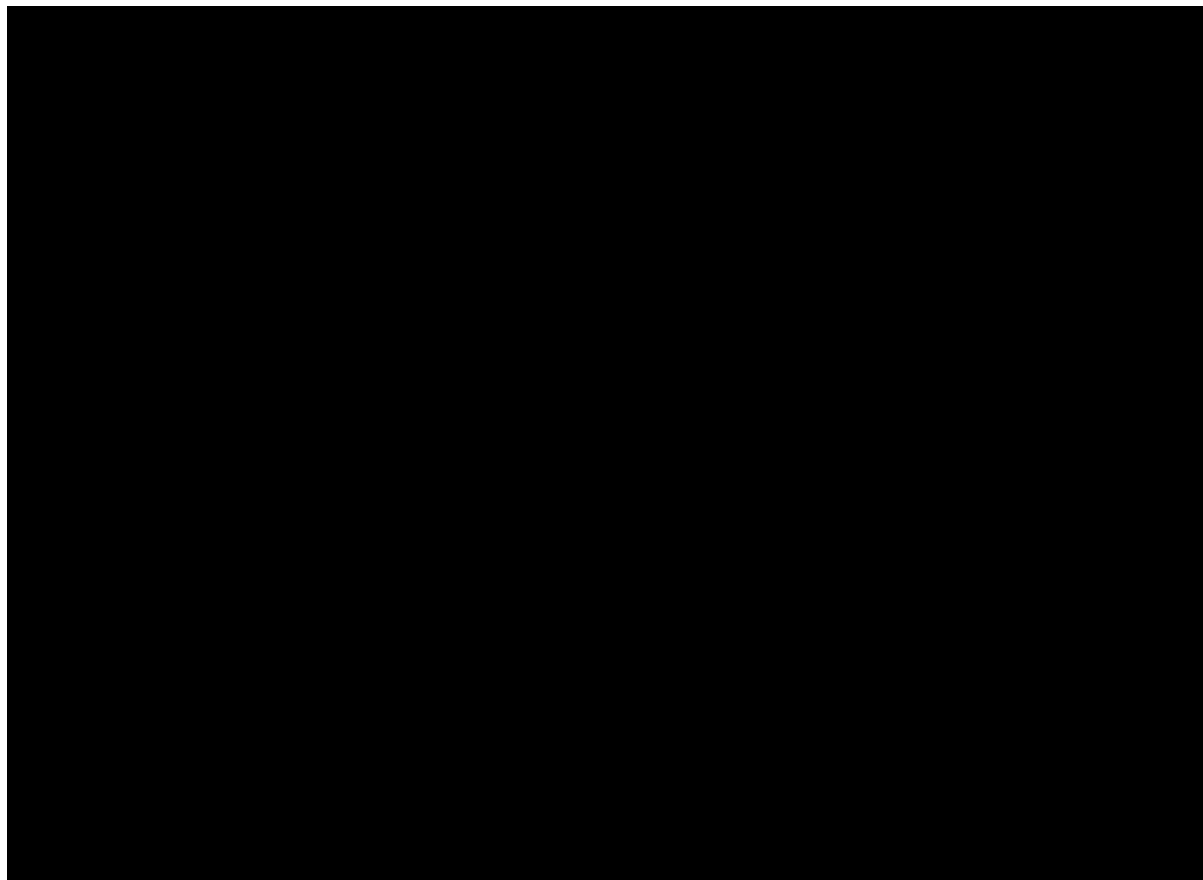
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____



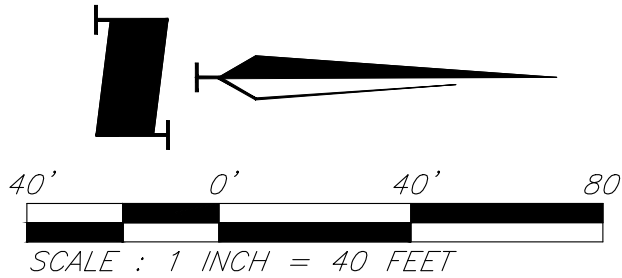
1	Bike Parking (See Construction Details Sheet)	7	Autoclave on concrete equipment pad
2	Drive-in Door	8	Chiller
3	Rein. Conc. Screen Walls	9	Liquid Nitrogen Tank
4	Outdoor Patio Space (approx. 1500 SF)	10	Construct Pedestrian ADA Ramp
5	Roll-off Dumpster 8'x23'		
6	Dock height doors		

GENERAL NOTES:

- A. PER IDO TABLE 3-3-2, THERE ARE NO USE-SPECIFIED STANDARDS REQUIRED FOR MANUFACTURING, FABRICATION, AND ASSEMBLY.
- B. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- C. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-B OUTDOOR LIGHTING.
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.
- G. PROJECT TO BE COMPLETED IN ONE PHASE.
- H. LANDSCAPING WILL BE PROVIDED ALONG DRIVES AND DETENTION BASIN.



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1-800-321-2537 or 811



Legend

- Property Boundary
- Building Footprint
- Proposed Asphalt Pavement
- Proposed Concrete
- Proposed 20' Light Pole with 3' Base

PROJECT DATA:

LEGAL DESCRIPTION:

TRACT A-1-B, SUNPORT MUNICIPAL ADDITION, LOCATED ON COLUMBIA DR., WEST OF GIRARD BLVD. AND NORTH OF MILES RD., CONTAINING APPROXIMATELY 8.19 ACRES (M-16-Z).

ZONING:

IDO - NON-RESIDENTIAL SENSITIVE USE (NR-SU)

OVERLAY ZONES: AIRPORT PROTECTION OVERLAY

PRIMARY LAND USE: LIGHT MANUFACTURING

TRANSIT:

BUS ROUTE 50 IS ALONG YALE RD WITH A STOP ON SUNPORT, APPROXIMATELY 4,200 FEET FROM SUBJECT SITE. ALSO IN THE PROXIMITY OF THE SITE IS BUS ROUTE 222 WHICH STOPS AT GIRARD AND SUNPORT APPROXIMATELY 1,600 FEET FROM SUBJECT SITE.

BIKE FACILITIES:

A MULTI-USE TRAIL RUNS ALONG GIRARD BLVD SE ADJACENT TO THE SITE.

SITE AREA:

8.19 ACRES

BUILDING SF:

FIRST FLOOR

94,222 GSF

MEZZANINE

9,300 GSF

PARKING CALCULATION: (IDO TABLE 5-5-1)

REQUIRED SPACES: 103 SPACES

1 SPACES / 1000 SF GFA OF LIGHT INDUSTRIAL USE: 103,522 / 1,000 = 103 SPACES

PROVIDED PARKING = 103 SPACES

ACCESSIBLE PARKING: 5 REQUIRED (ADA 208.2.3)

5 VAN ACCESSIBLE SPACES PROVIDED

BICYCLE PARKING REQUIRED = 10 SPACES (IDO TABLE 5-5-5)

(10% OF REQUIRED OFF-STREET PARKING = 103 X 0.10 = 10 SPACES)

BICYCLE PARKING PROVIDED = 10 SPACES

MOTORCYCLE PARKING REQUIRED = 4 SPACES (IDO TABLE 5-5-4)

MOTORCYCLE PARKING PROVIDED = 4 SPACES

SITE LIGHTING:

ALL LIGHTING SHALL COMPLY WITH IDO SECTION 5-8(D) AND TABLE 5-8-1. MAXIMUM HEIGHT IS 20 FEET MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE.

REFLECTIVITY OF STRUCTURES:

PER IDO SECTION 3-3(D)(2) THE EXTERIOR SURFACES SHALL NOT HAVE A LIGHT REFLECTIVE VALUE (LRV) THAT RESULTS IN GLARE IN THE EYES OF FLYERS USING THE AIRPORT, IMPAIRS VISIBILITY IN THE VICINITY OF THE AIRPORT, OR OTHERWISE ENDANGERS THE LANDING, TAKING-OFF, OR MANEUVERING OF AIRCRAFT AS DETERMINED BY THE CITY AVIATION DEPARTMENT AN PER APPLICABLE FAA REGULATIONS.

KEYED NOTES:

PROPOSED FACILITY FOR:

NOT FOR CONSTRUCTION

REVISION

PROJECT NUMBER	15440
DATE	11/29/23
EPC SUBMITTAL	
DESIGNED	JRH
DRAWN	ELS/BCB
REVIEWED	JRH
SHEET TITLE	

Site Plan - EPC

SHEET NUMBER

C1

Tract A-1-A,
Airport Park
(10/7/1996,
96C-421)

Tract A-1-B,
Airport Park
(10/7/1996,
96C-421)

Block 2, Airport
Industrial Park
(12/29/1972,
D5-78)

Airport Ave SE

Columbia Dr SE

Miles Rd SE

Lot 6A, Airport
Business Park
(12/16/1985,
C29-27)

Tract A, Airport
Business Park
(1/15/1985,
C26-30)

Tract A-1-C,
Airport Park
(10/7/1996,
96C-421)

Proposed
Detention Basin
1.74 AC-FT

Proposed 60 LF
Retaining Wall
Max. Height = 4'
See Construction
Details

Proposed Building
94,222 SF
FF = 5301.00

Proposed 116 LF
Retaining Wall
Max. Height = 2'
See Construction
Details

Girard Blvd SE

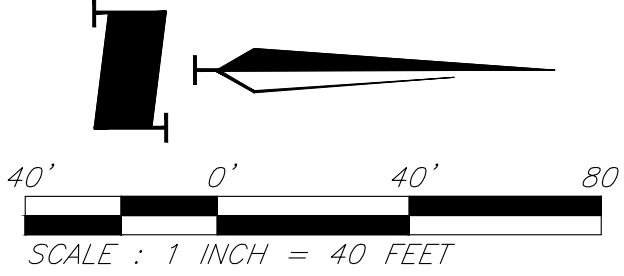
Topography Description:

Under existing conditions, the site generally drains from east to west. The main portion of the site has an approximate slope of 2.6%. The site is bordered on the North and West by steep banks, ranging from approximately 25% near the Southwest corner of the site, to approximately 53% near the Northwest corner of the site.

The proposed grading improvements provide a finished floor elevation of approximately 5301' for the proposed facility. Positive drainage away from the proposed development and a detention basin are included. The volume of the detention basin is sufficient to both control peak flows from the 100-Year 24-Hour storm and treat the required stormwater quality volume. An existing depression at the West property line is proposed to be filled. The proposed grading does not include slopes greater than 3:1 (H:V).

The high point in the area is near the center of the East property line off Girard Boulevard SE. There is no indication of offsite storm flows entering the property. To the North of the site, Miles Road SE falls from East to West. Area to the West across Columbia Drive SE consists of both developed and undeveloped industrial/commercial lots. Area to the South is similar to conditions within the site.

Grading Cross Sections are located on the following page.



Grading Legend

- (5000)— Proposed Contours
- - - 5000 - - - Existing Contour



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GBA

9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

SC EYE

Girard Blvd. & Miles Rd
Albuquerque, New Mexico

PROPOSED FACILITY FOR:

NOT FOR CONSTRUCTION

REVISION

PROJECT NUMBER
15440
DATE
11/29/23
EPC SUBMITTAL

DESIGNED
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ELS/BCB
REVIEWED
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SHEET TITLE

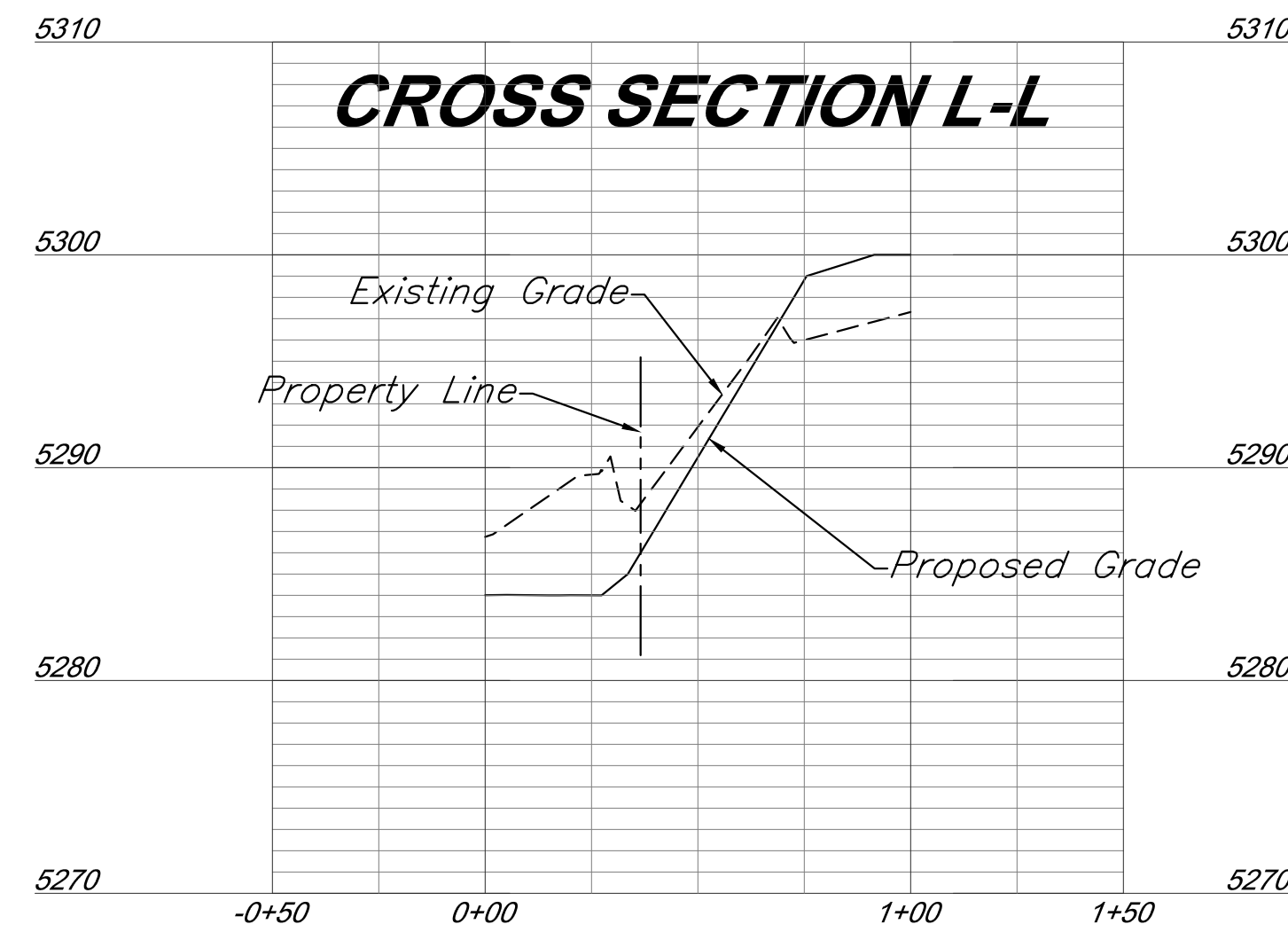
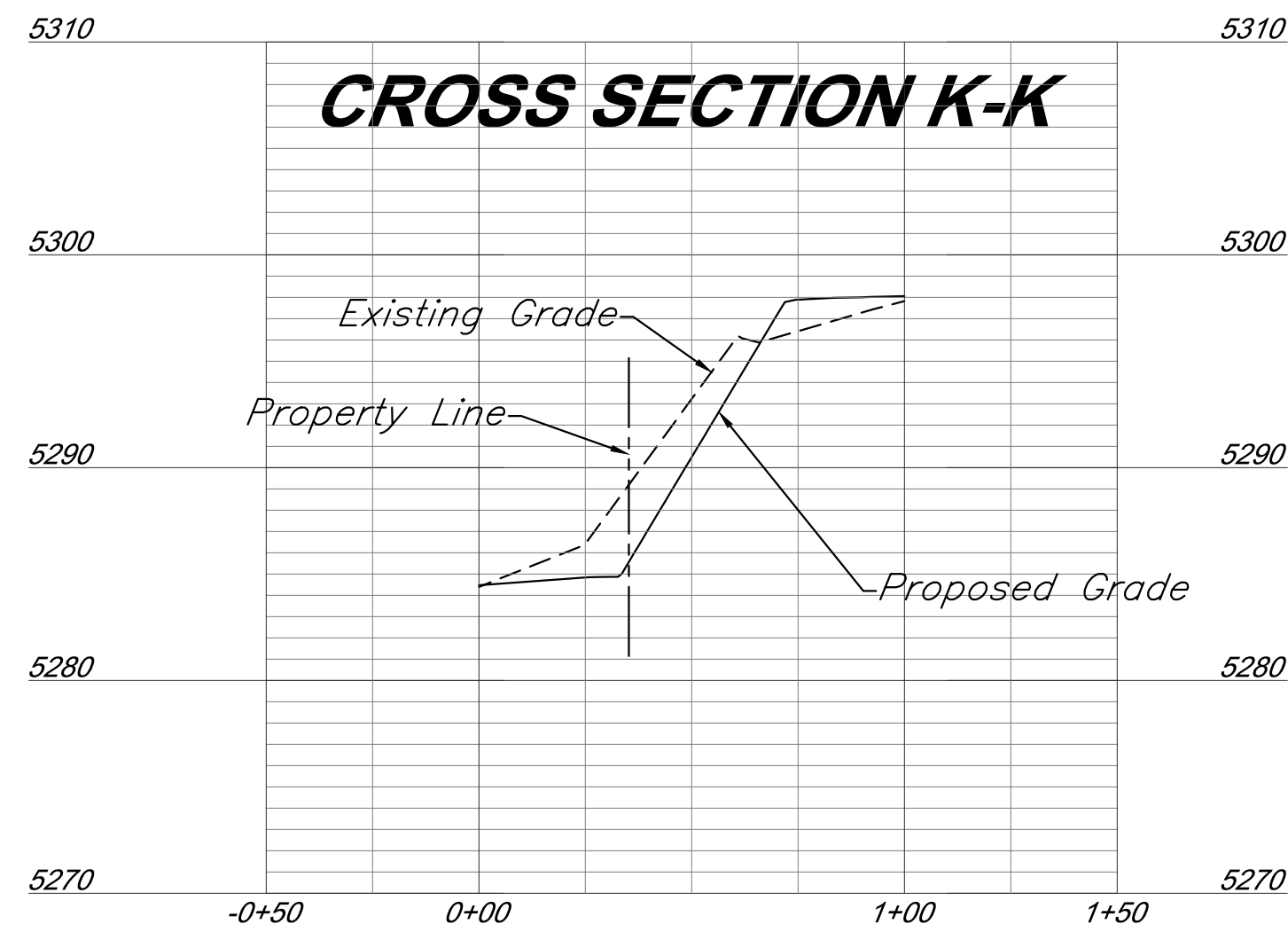
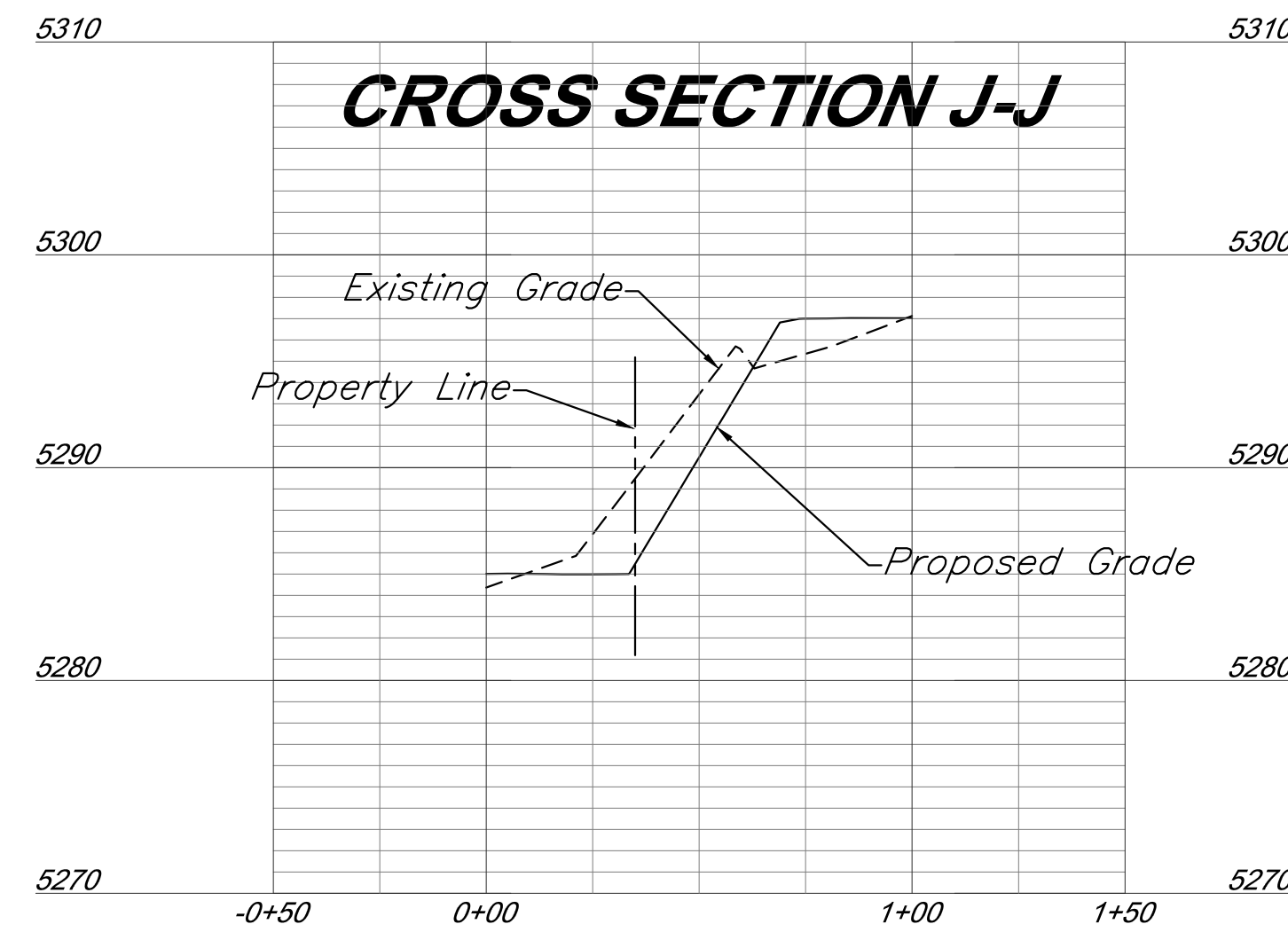
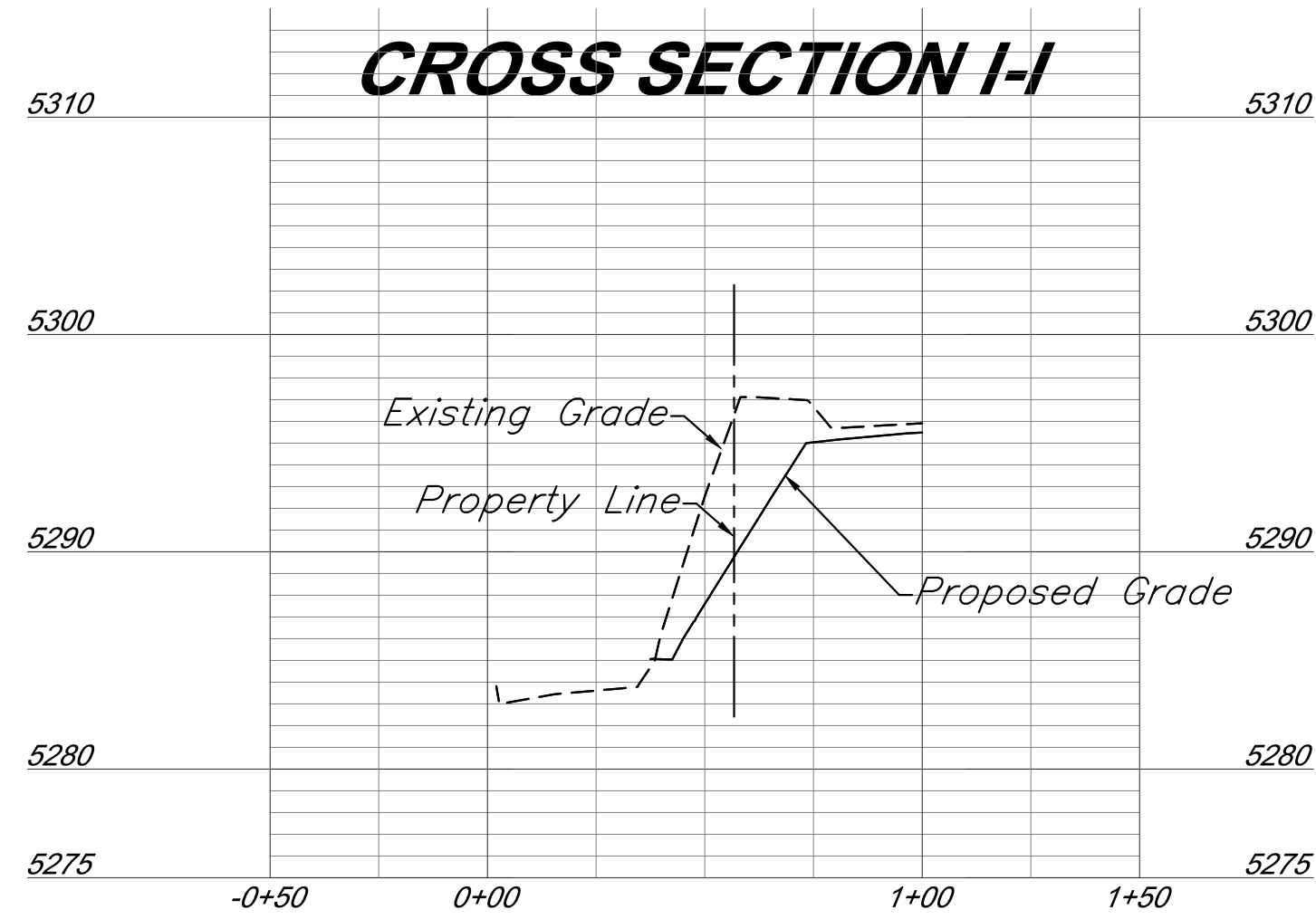
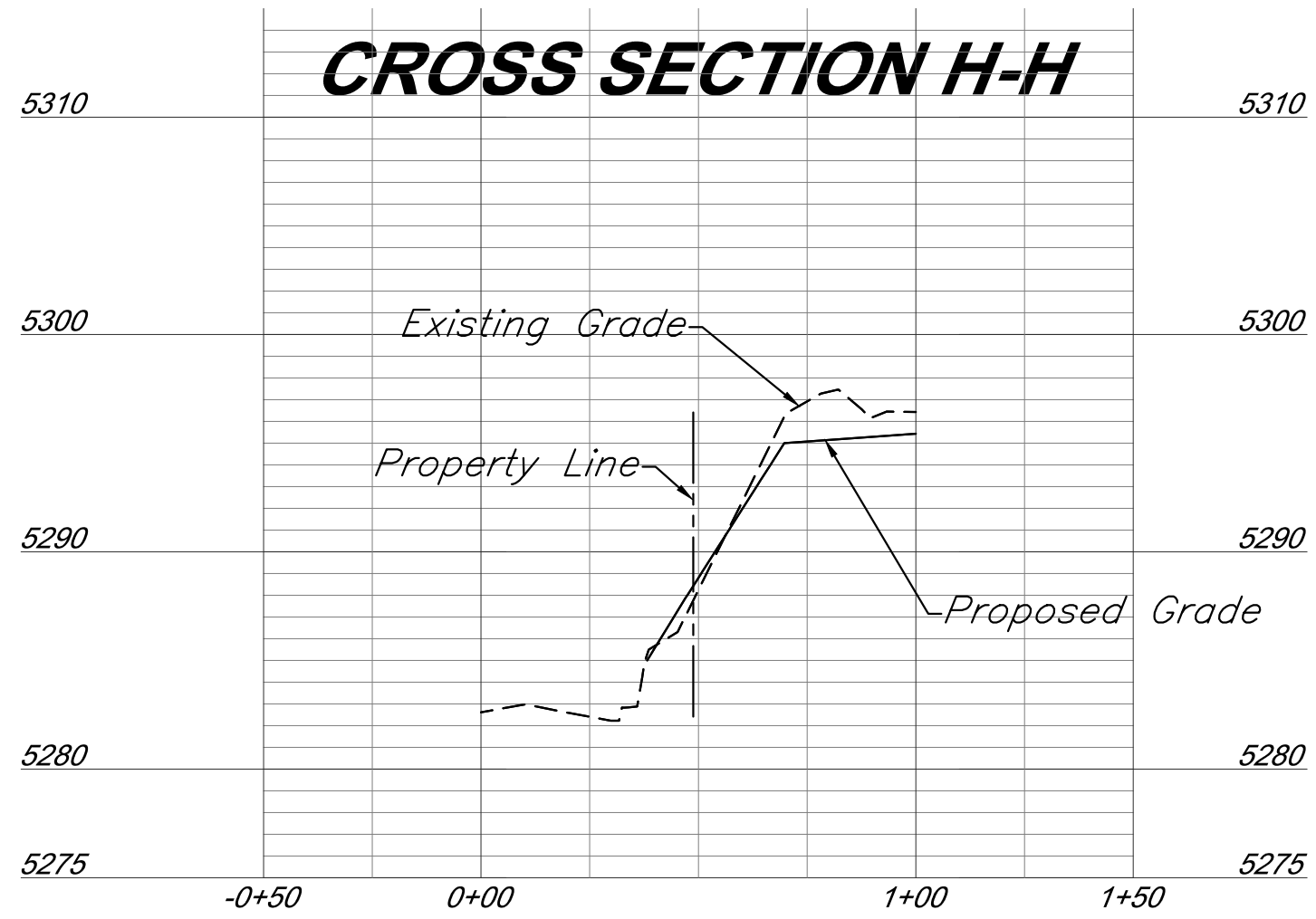
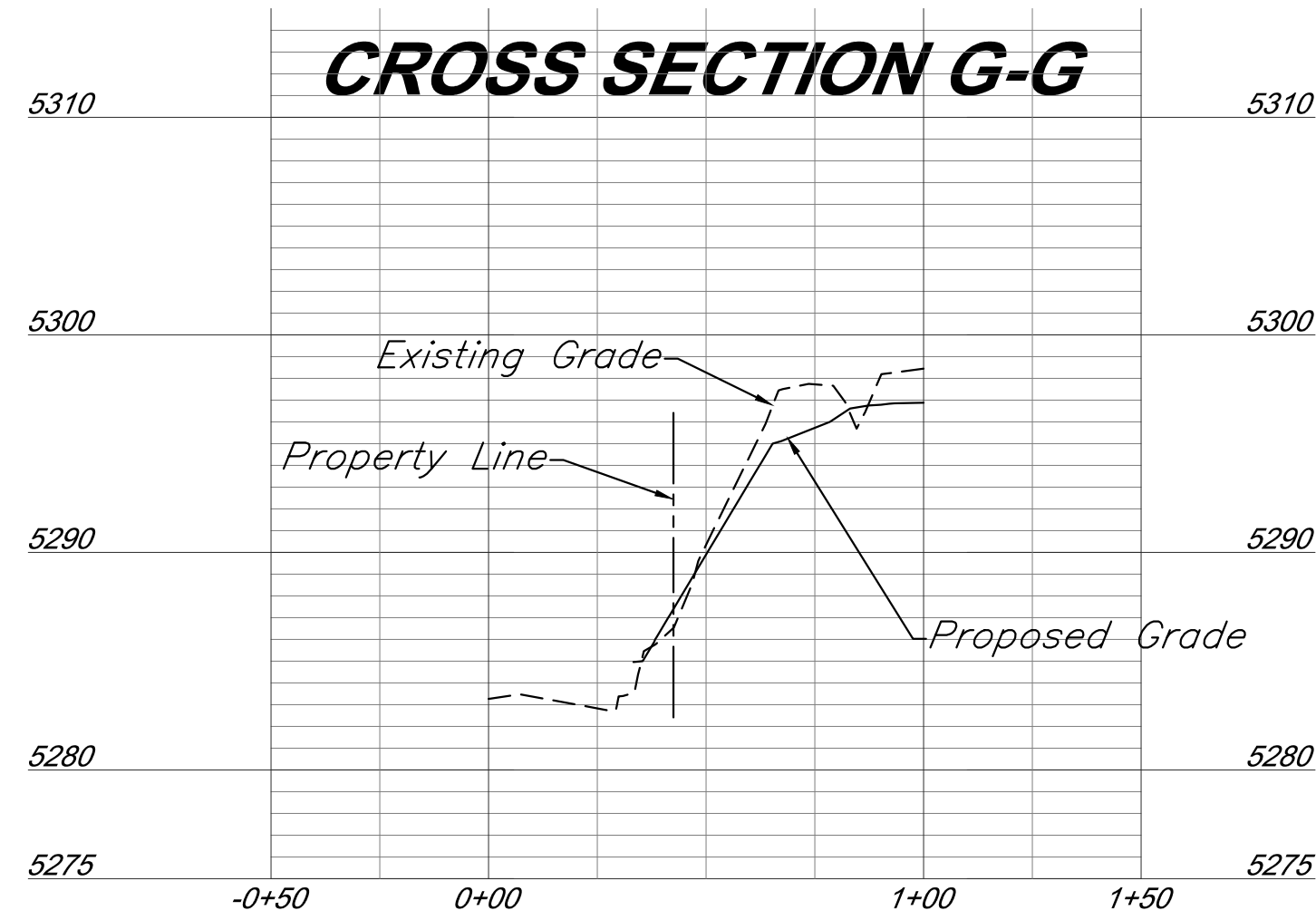
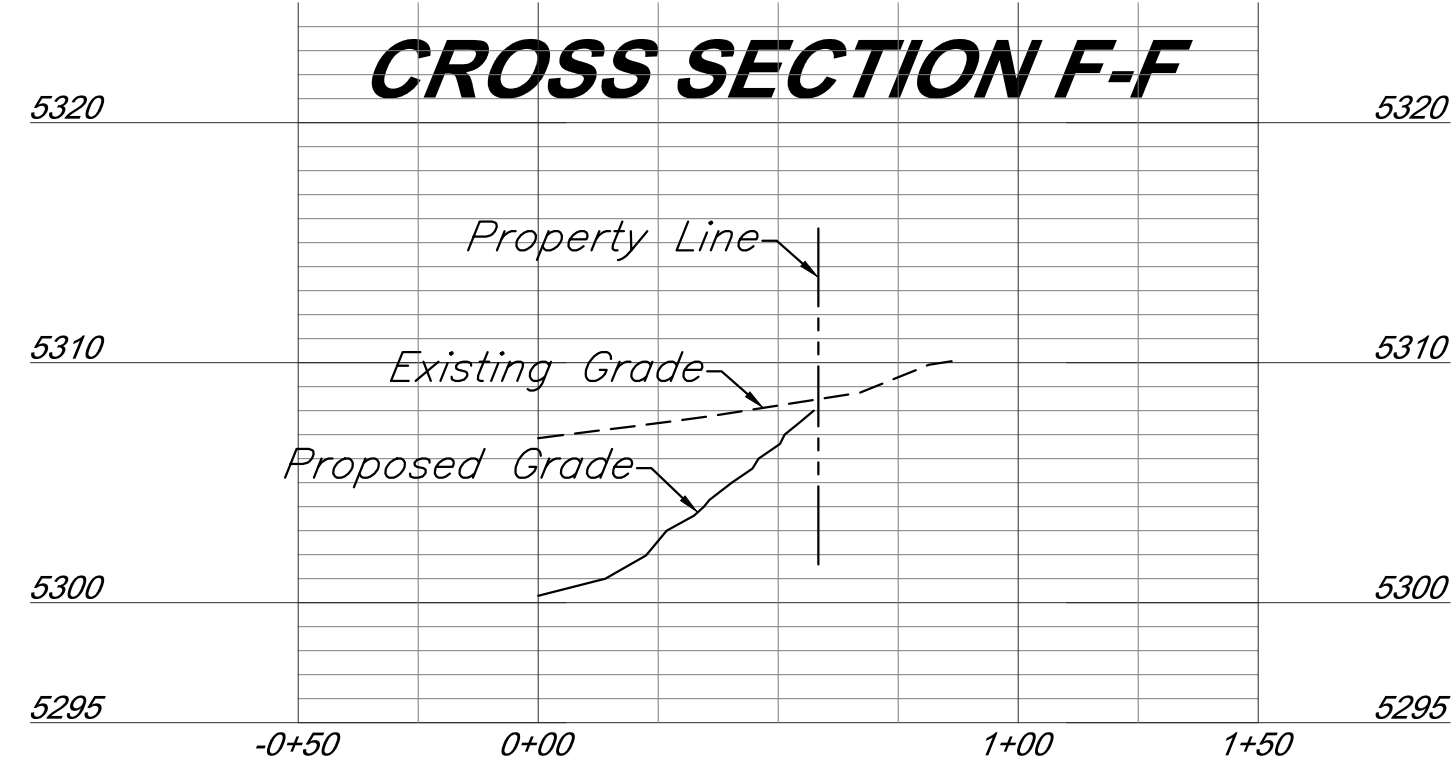
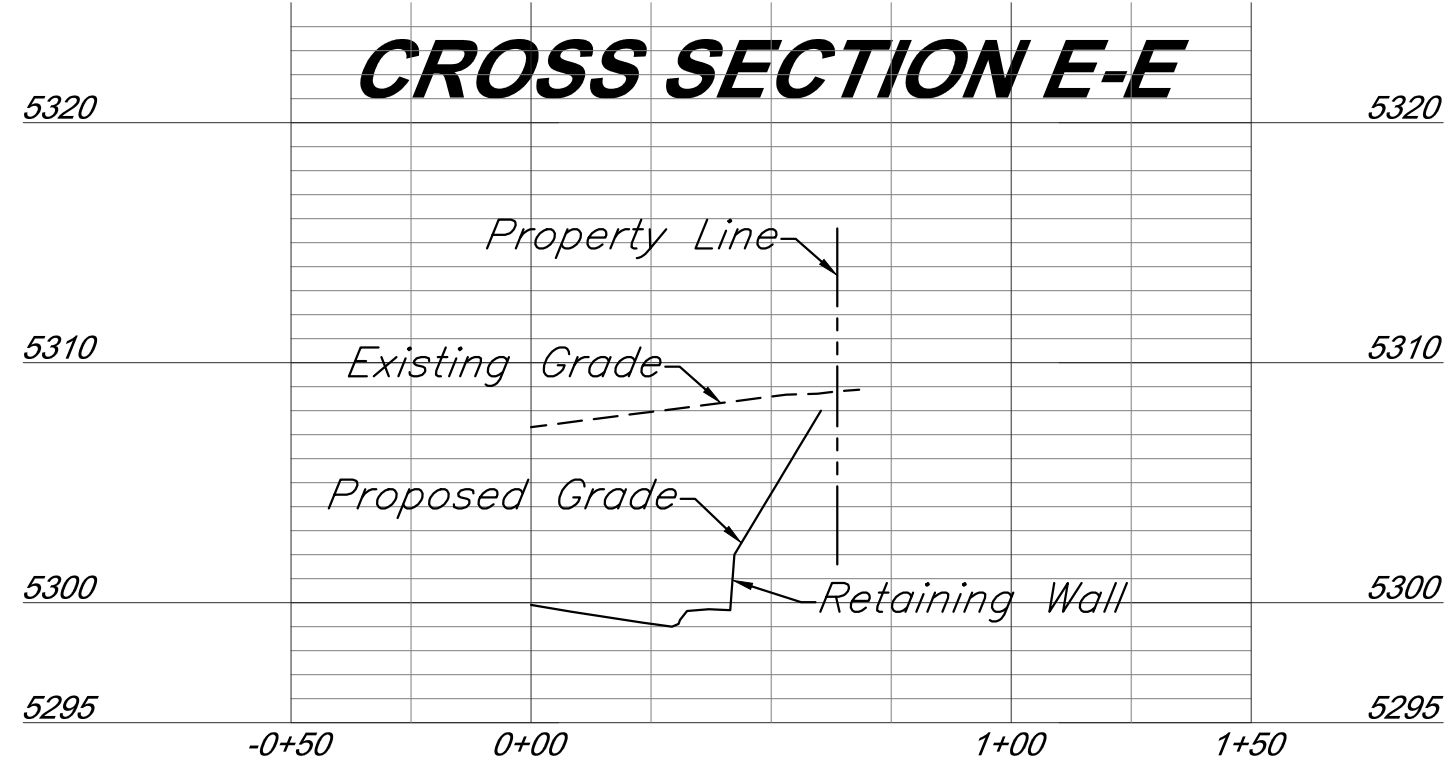
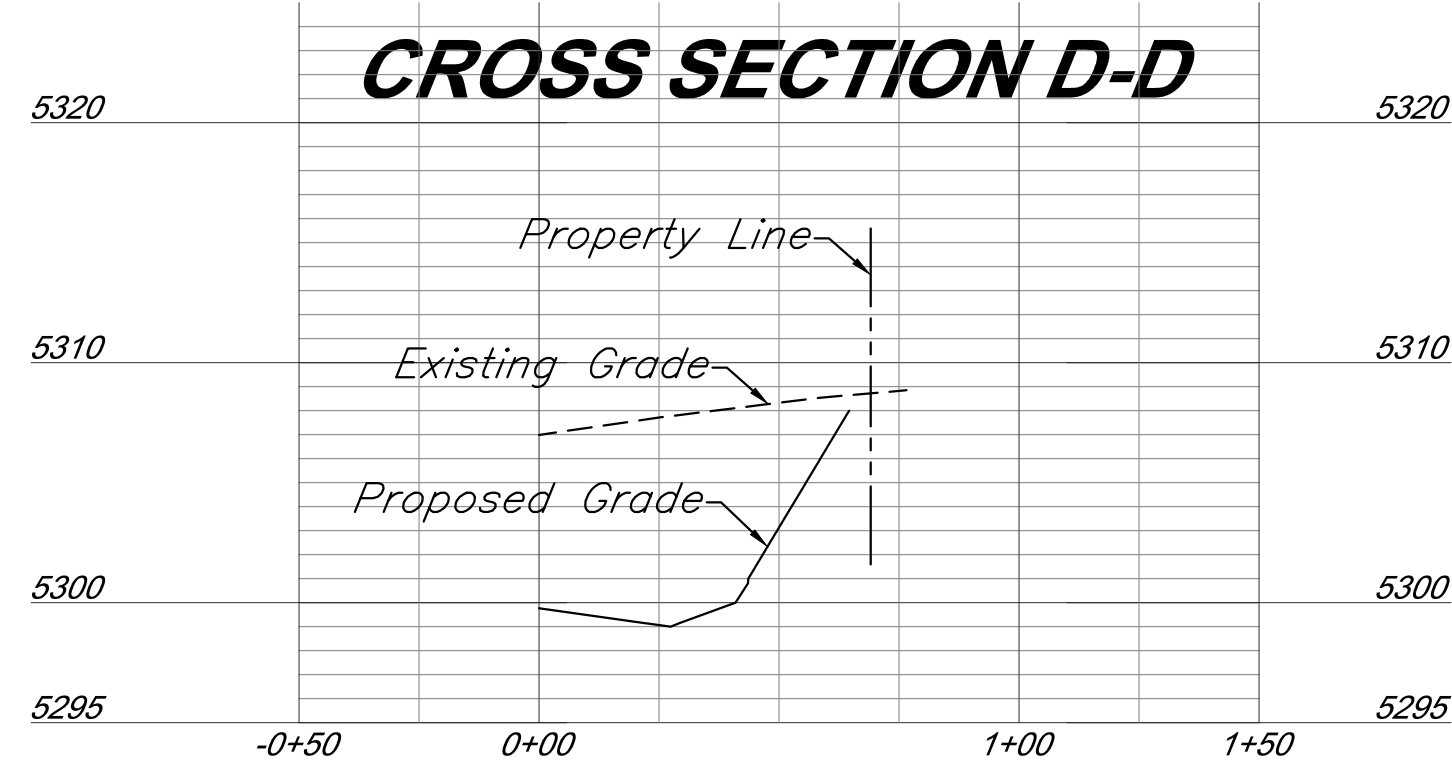
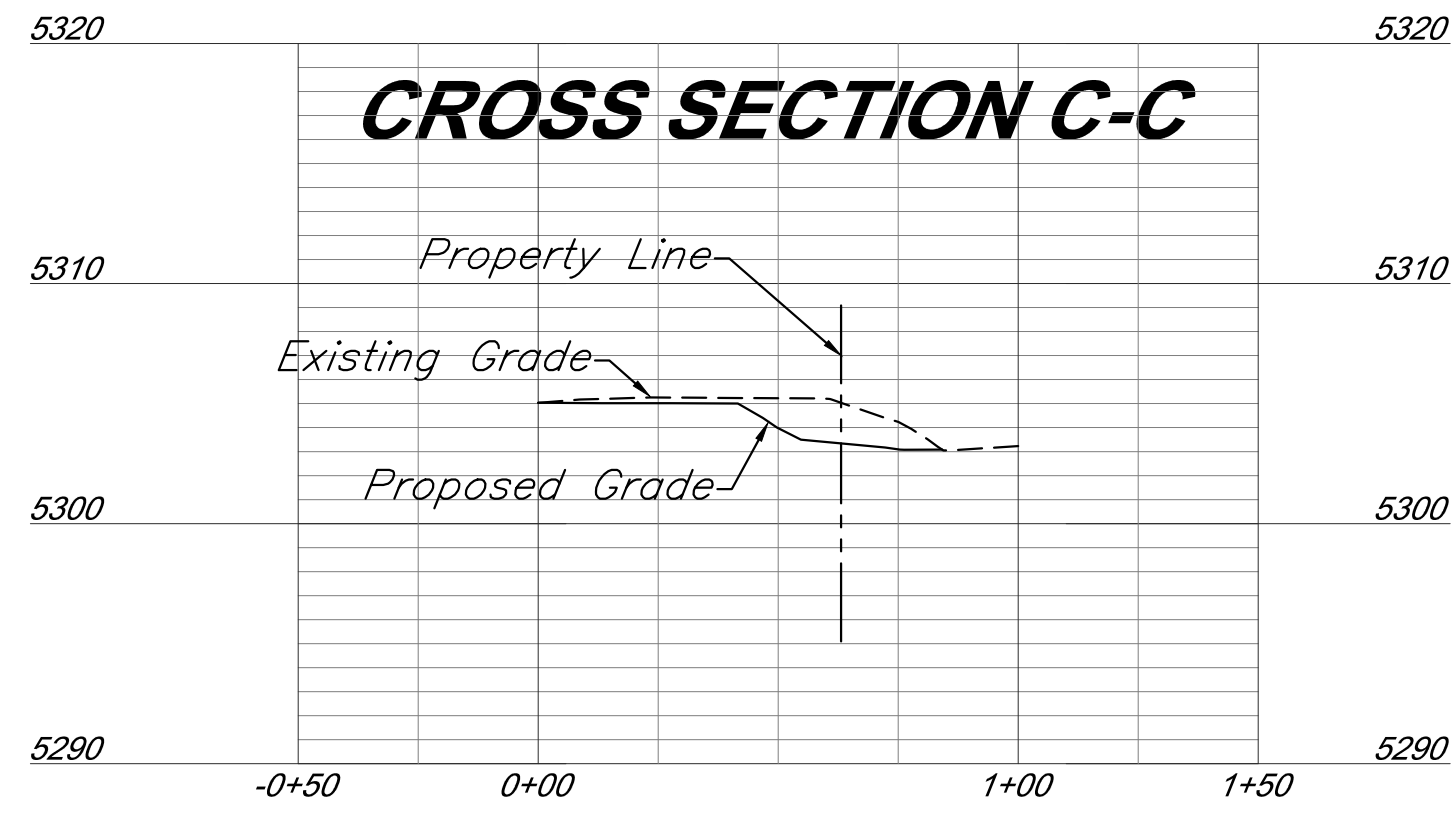
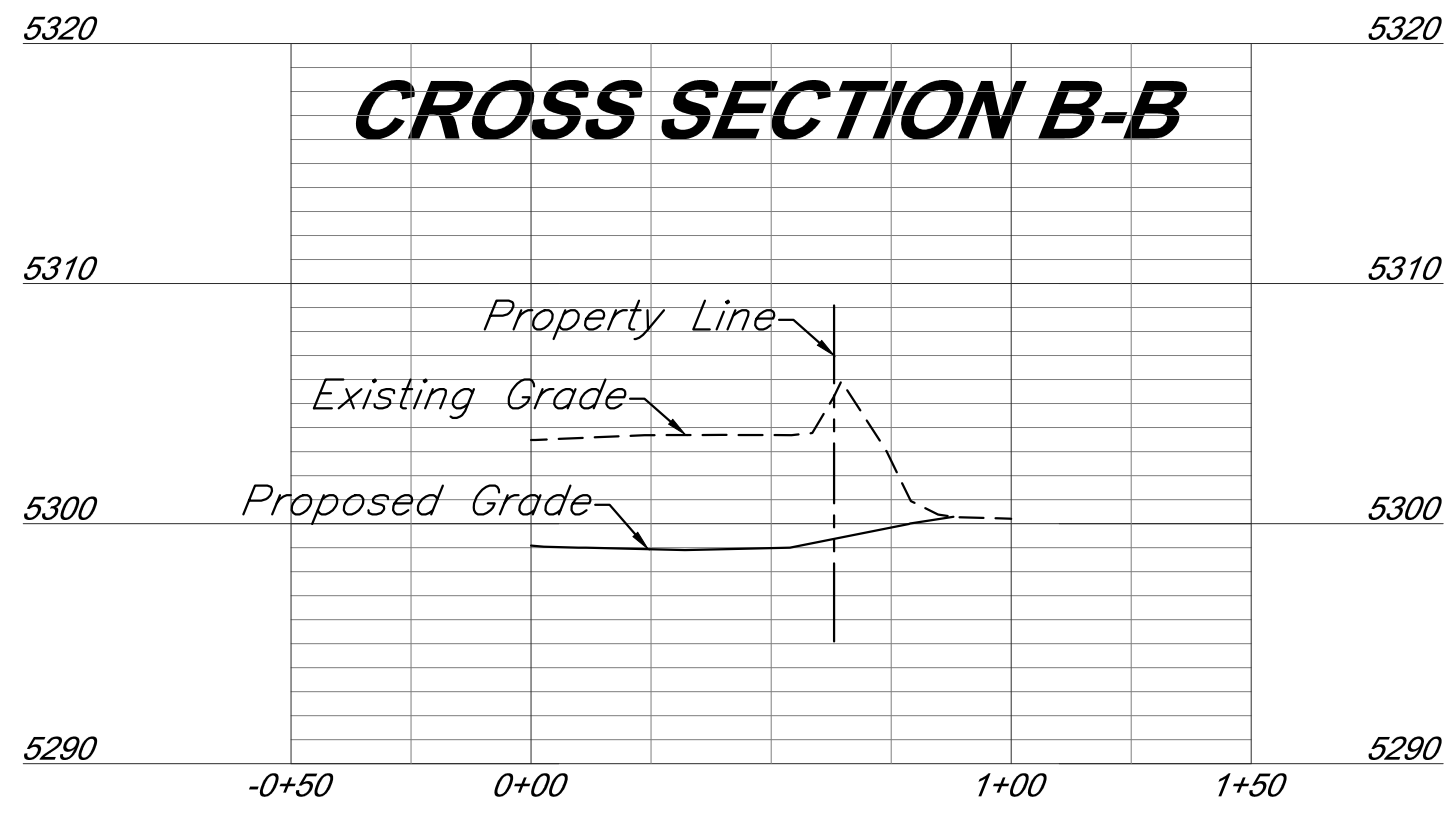
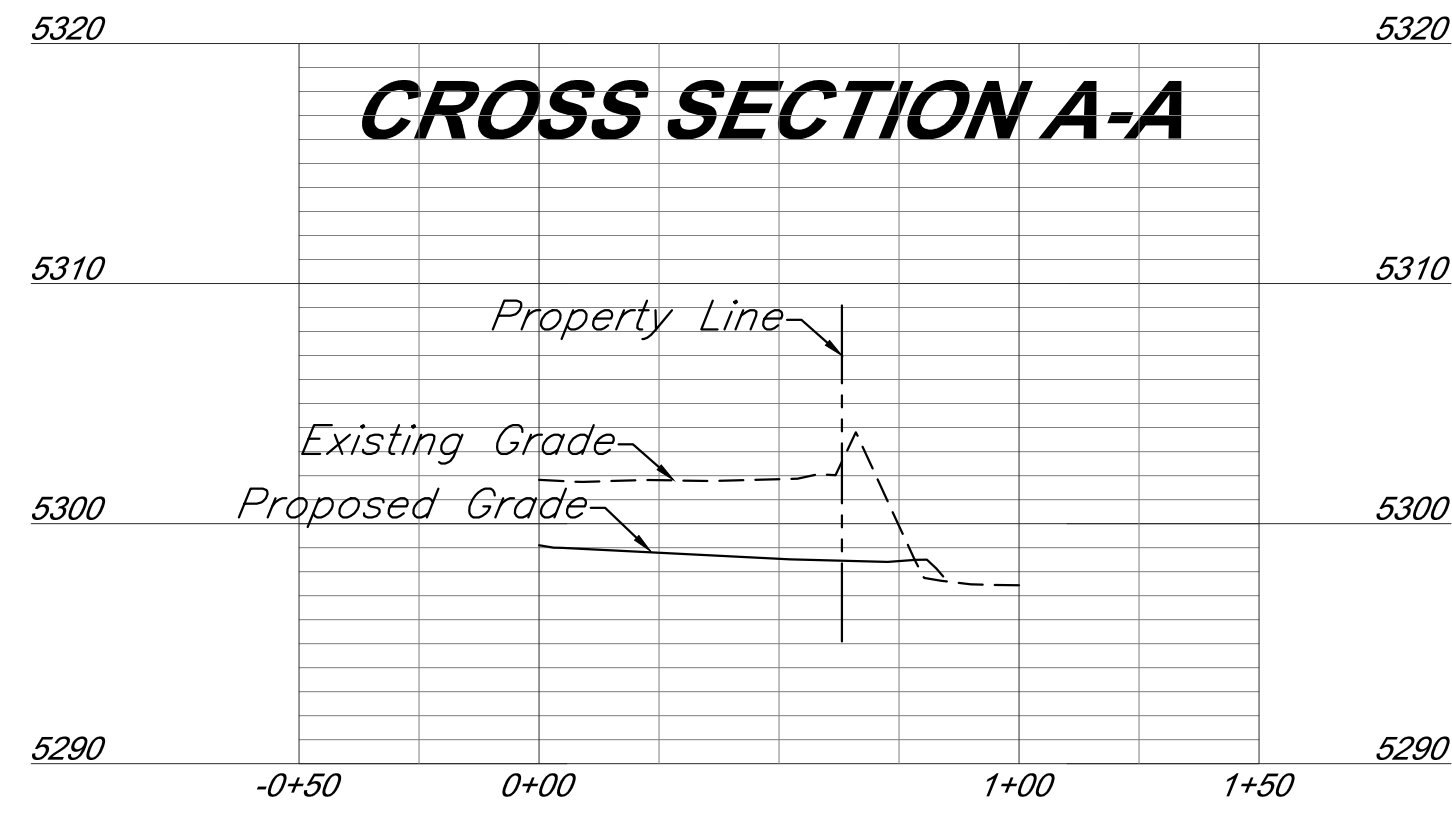
Grading & Drainage
Plan - EPC

SHEET NUMBER

C2

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2023

G:\15440\Civil 3D\Production Drawings\Final Site Plans\15440C0700.dwg Layout: C3 Grading Cross Sections -- Wednesday November 29, 2023, 2:41 pm -- Copyright 2023, George Butler Associates, Inc.



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GBA

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Lenexa, KS 66219
913.492.0400
gbateam.com

SC EYE

Girard Blvd. & Miles Rd
Albuquerque, New Mexico

PROPOSED FACILITY FOR:

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REVISION

PROJECT NUMBER
15440
DATE
11/29/23
EPC SUBMITTAL

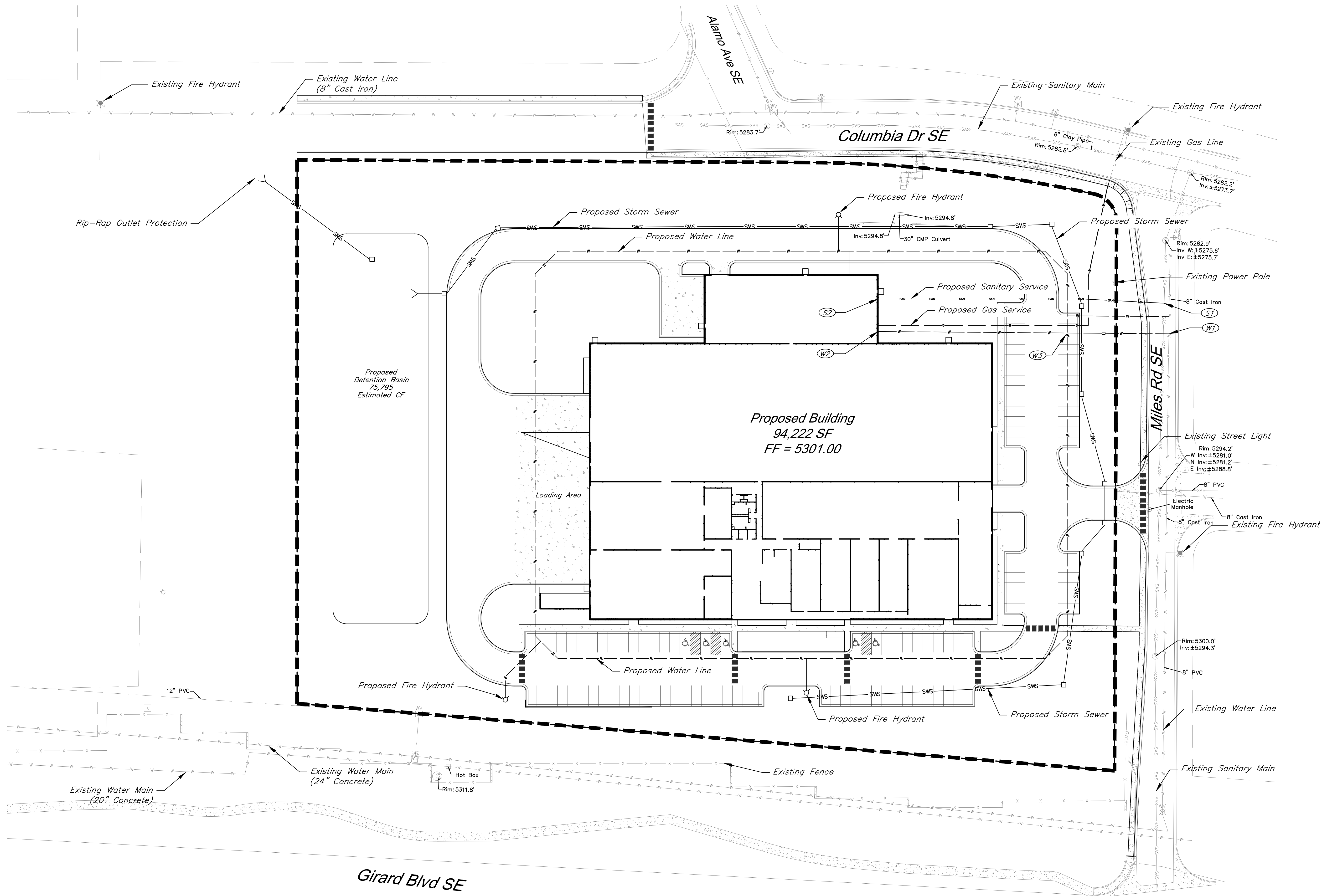
DESIGNED
JRH
DRAWN
ELS/BCB
REVIEWED
JRH
SHEET TITLE

Grading Cross
Sections - EPC

SHEET NUMBER

C3

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2023

**Legend**

	Property Line		Proposed Storm Sewers
	Right-of-Way Line		Proposed Fire Hydrant
	Existing Gas Line		Existing Fire Hydrant
	Existing Sanitary Sewer Line		Existing Water Valve
	Existing Water Line		Existing Water Vault
	Proposed Gas Line		Proposed Asphalt Pavement
	Proposed Sanitary Sewer Line		Proposed Concrete
	Proposed Water Line		
	Property Boundary		

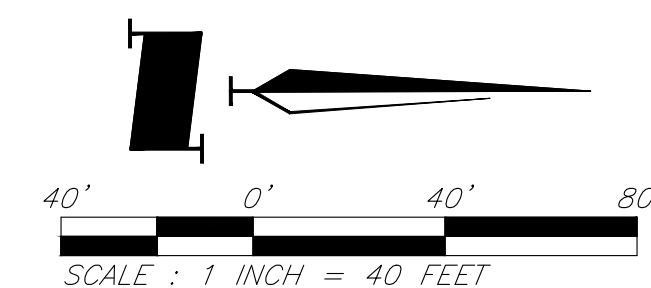
Water Construction Notes:

- (W1) Connect to existing water line.
Install 254 LF 8" water line.
- (W2) Connect to building stub
- (W3) Install 8"x8" cross

Sanitary Sewer Construction Notes:

- (S1) Connect to sanitary main via
cut-in tee. FL=5277.03.
Install 250 LF 8" sanitary
service line
- (S2) Connect to building stub

Note: All utilities shall be installed per City
of Albuquerque standard notes and details.



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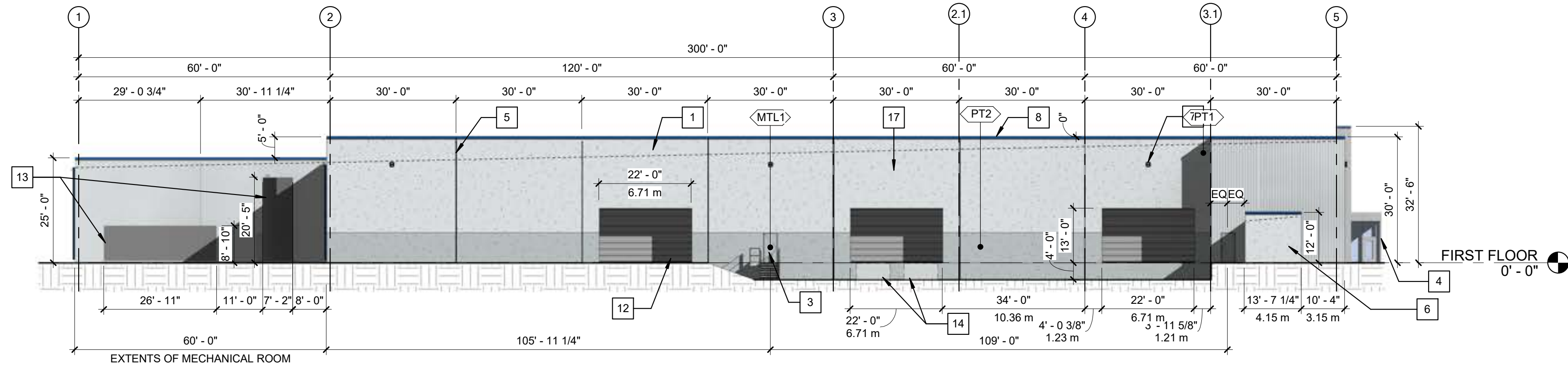
MATERIAL & FINISH LEGEND

- PT1 - CONCRETE, PAINTED: LIGHT GRAY (SW6238 ICICLE)
PT2 - CONCRETE, PAINTED: MEDIUM GRAY (SW6233 SAMOVAR SILVER)
GL1 - GLAZING 1: BLUE TINTED
AL1 - ALUMINUM, PREFINISHED DEEP BLUE
MTL1 - METAL, PAINTED TO MATCH MEDIUM GRAY (SW6233 SAMOVAR SILVER)
MT2 - TBD MATERIAL - COLOR TO MATCH PT1 - POSSIBLE MATERIALS INCLUDE TILT-UP FORMLINER (VERTICAL), CORRUGATED METAL PANELS (VERTICAL), FLUSH METAL PANELS, PAINTED CEMENT BOARD PANELS

NOTE: PER IDO SECTION 3-3(D)(2) THE EXTERIOR SURFACES OF STRUCTURES SHALL NOT HAVE A LIGHT REFLECTIVE VALUE (LRV) THAT RESULTS IN GLARE IN THE EYES OF FLYERS USING THE AIRPORT, IMPAIRS VISIBILITY IN THE VICINITY OF THE AIRPORT, OR OTHERWISE ENDANGERS THE LANDING, TAKING-OFF, OR MANEUVERING OF AIRCRAFT AS DETERMINED BY THE CITY AVIATION DEPARTMENT AND PER APPLICABLE FAA REGULATIONS.

ELEVATION NOTES

- 1 TEXTURIZED CONCRETE TILT-UP WALL PANEL - PAINT - COLOR: SW6238 ICICLE
2 2" x 4-1/2" THERMALLY BROKEN, INSULATED, CLEAR ANODIZED ALUMINUM CURTAIN WALL SYSTEM WITH BLUE TINTED GLAZING
3 INSULATED HOLLOW METAL MAN DOOR & FRAME - PAINT TO MATCH WALL COLOR
4 GLASS VESTIBULE WITH METAL PANEL CANOPY, ABOVE - CANOPY FASCIA COLOR TO MATCH MULLION COLOR
5 WALL PANEL REVEAL
6 COVERED AUTOCLAVE EQUIPMENT SCREEN - HEIGHT IS DICTATED BY THE HEIGHT OF THE EQUIPMENT - WALL CONSTRUCTION AND PAINT IS TO MATCH BUILDING AND ROOF IS TO BE PREFINISHED STANDING SEAM - COLOR TO MATCH COPING, GUTTERS, AND DOWNSPOUTS
7 PREFINISHED DECORATIVE WALL SCENCE - COLOR TO MATCH/ COMPLIMENT WALL COLOR
8 PREFINISHED METAL COPING - BLUE - TO MATCH SIGNAGE ON WEST ELEVATION
9 PREFINISHED METAL GUTTER - BLUE - TO MATCH SIGNAGE ON WEST ELEVATION
10 PREFINISHED METAL DOWNSPOUT - BLUE - TO MATCH SIGNAGE ON WEST ELEVATION
11 ALL MECH. EQUIPMENT IS TO BE ON THE INTERIOR OF THE BUILDING - NO MECH. EQUIPMENT ON THE ROOF
12 PREFINISHED INSULATED STEEL OVERHEAD DOOR
13 CHILLER & LIQUID NITROGEN TANK ON CONCRETE PAD
14 PROPOSED ROLL-OFF DUMSPTERS LOCATION
15 COMPANY LOGO SIGNAGE - NON-LIT BLUE COATED PREFINISHED ALUMINUM - APPROX. 242.5 SF IN AREA - PER IDO TABLE 5-12.2 FOR NR-SU ZONE, NO MAXIMUM WALL SIGN AREA IS PROVIDED - FOR NR-LM, MAX WALL SIGN AREA IS 25% OF FACADE AREA - 25% OF EAST FACADE = 2,625 S.F. > 242.5 S.F.
16 MATERIAL AT CORNER BUMP-OUT PANELS, TBD - POSSIBLE MATERIALS INCLUDE BUT ARE NOT LIMITED TO: VERTICAL FORMLINER PANEL, CORRUGATED PREFINISHED METAL PANELS, OR FIBER CEMENT BOARD PANLES - FINAL COLOR TO MATCH LIGHT GRAY TILT-UP CONCRETE PANEL
17 PORTIONS OF THE NORTH AND SOUTH WALL MAY BE GREEN WALLS - FINAL CONSTRUCTION AND FINISH TBD

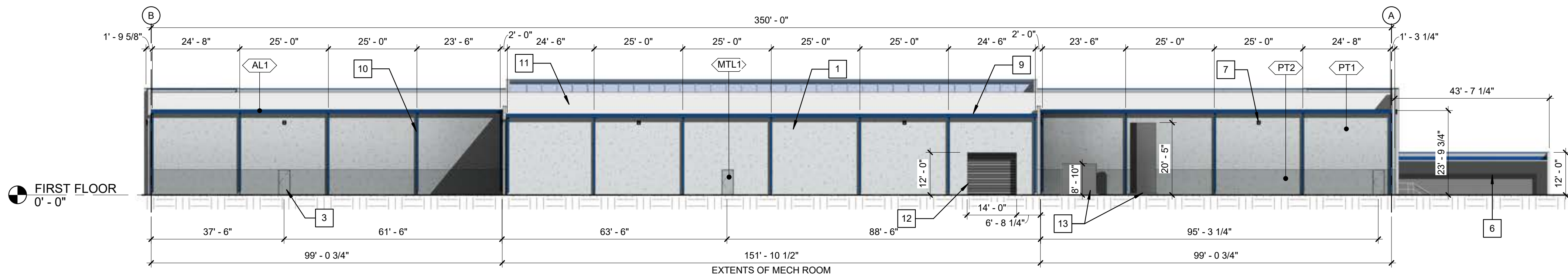


OVERALL SOUTH ELEVATION

A1.10/A3.01

SCALE: 1" = 20'-0"

1" = 20' 5' 10' 20' 50'

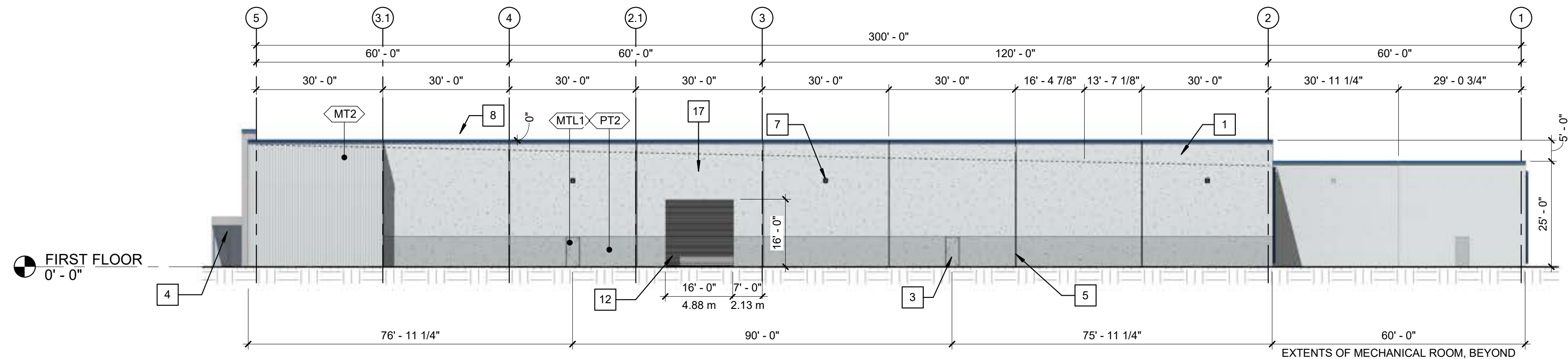


OVERALL WEST ELEVATION

A1.10/A3.01

SCALE: 1" = 20'-0"

1" = 20' 5' 10' 20' 50'

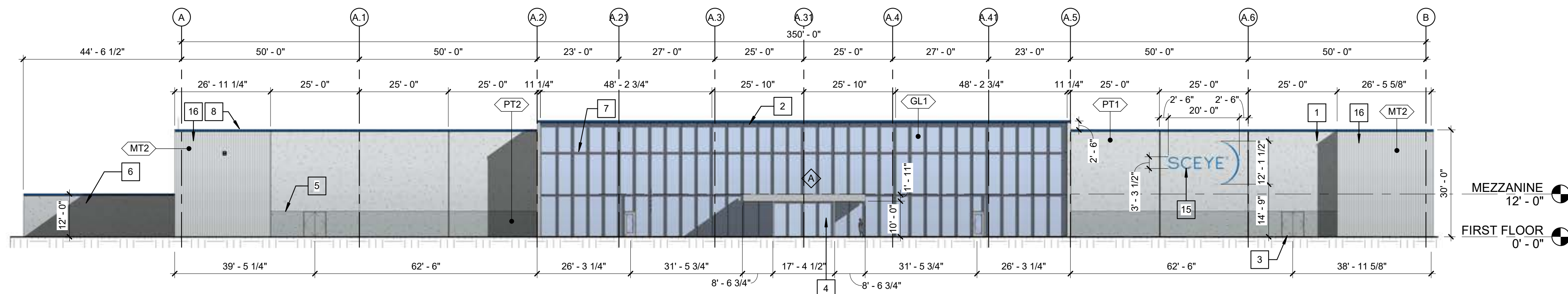


OVERALL NORTH ELEVATION

A1.10/A3.01

SCALE: 1" = 20'-0"

1" = 20' 5' 10' 20' 50'

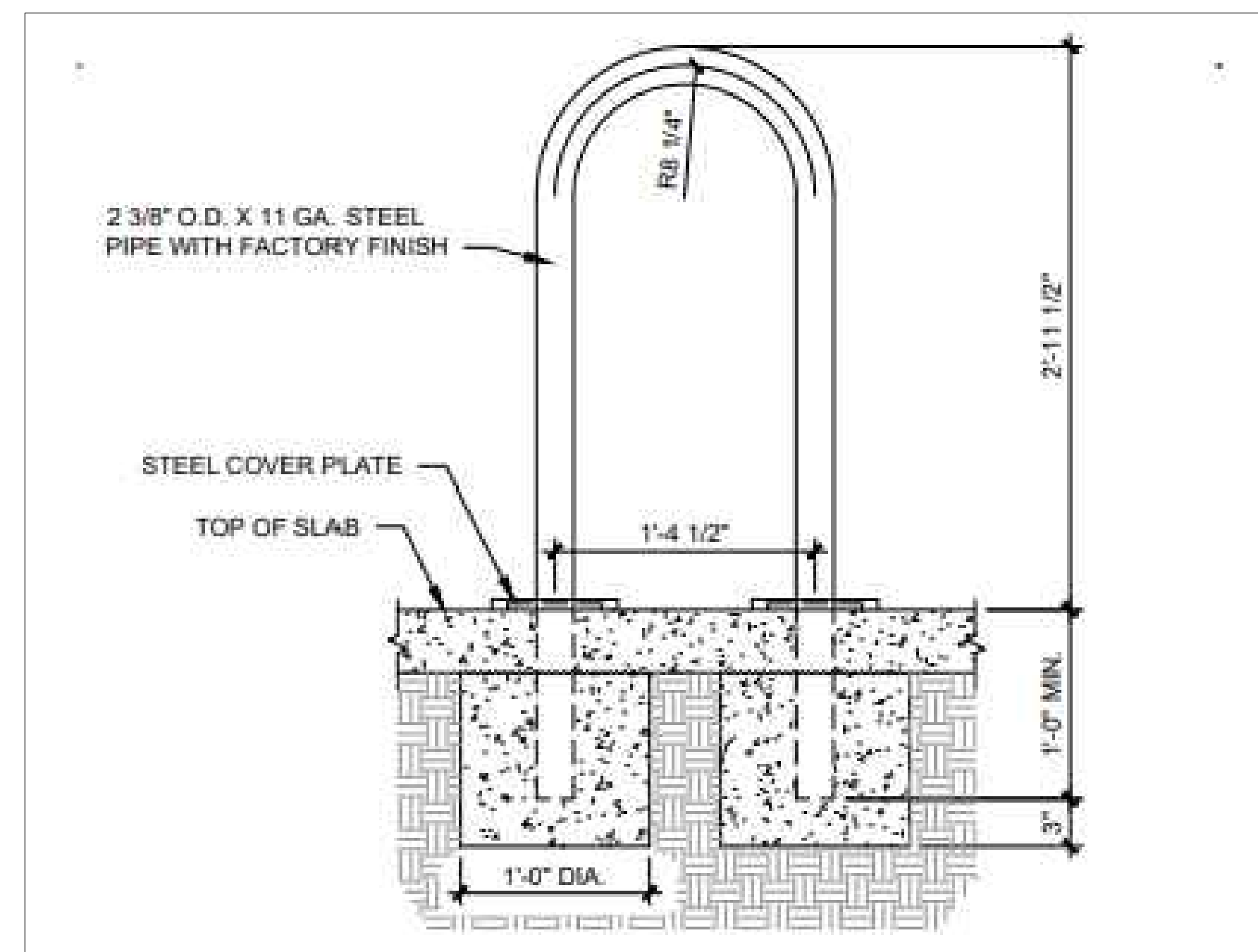


OVERALL EAST ELEVATION

A1.10/A3.01

SCALE: 1" = 20'-0"

1" = 20' 5' 10' 20' 50'

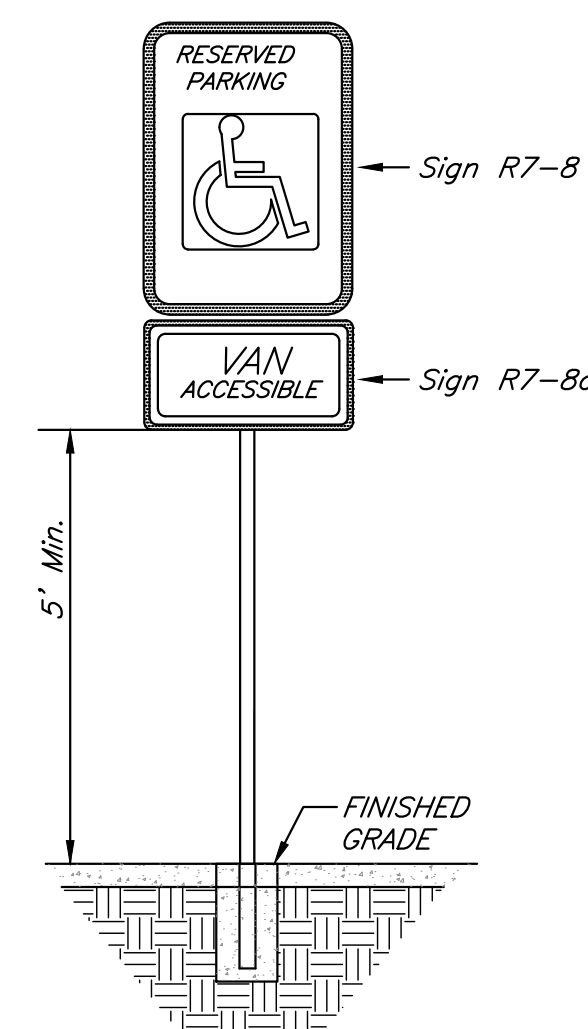


TYPICAL BICYCLE RACK DETAILS

Not to Scale

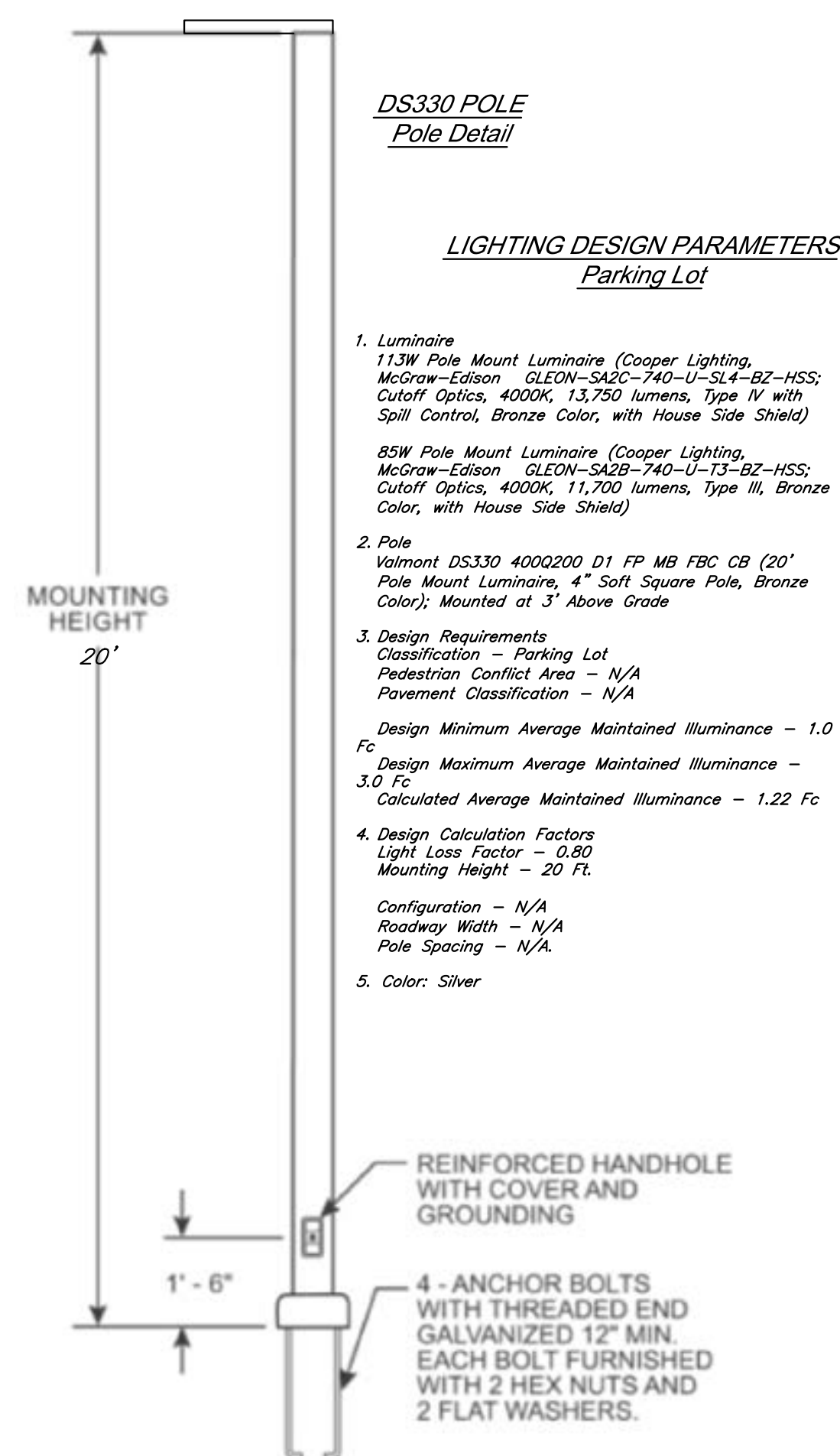
Notes:

1. Accessible Sign (R7-8) Shall be mounted on a pole or other structure 5'-6" above the parking surface, at the head of the parking space, and shall be at least 12"x18" in area.
2. Supplemental Accessible Sign (R7-8a) shall be used on all required Van Accessible Spaces.
3. Signs shall be blue with white lettering.



TYPICAL ACCESSIBLE SIGNAGE

Not to Scale

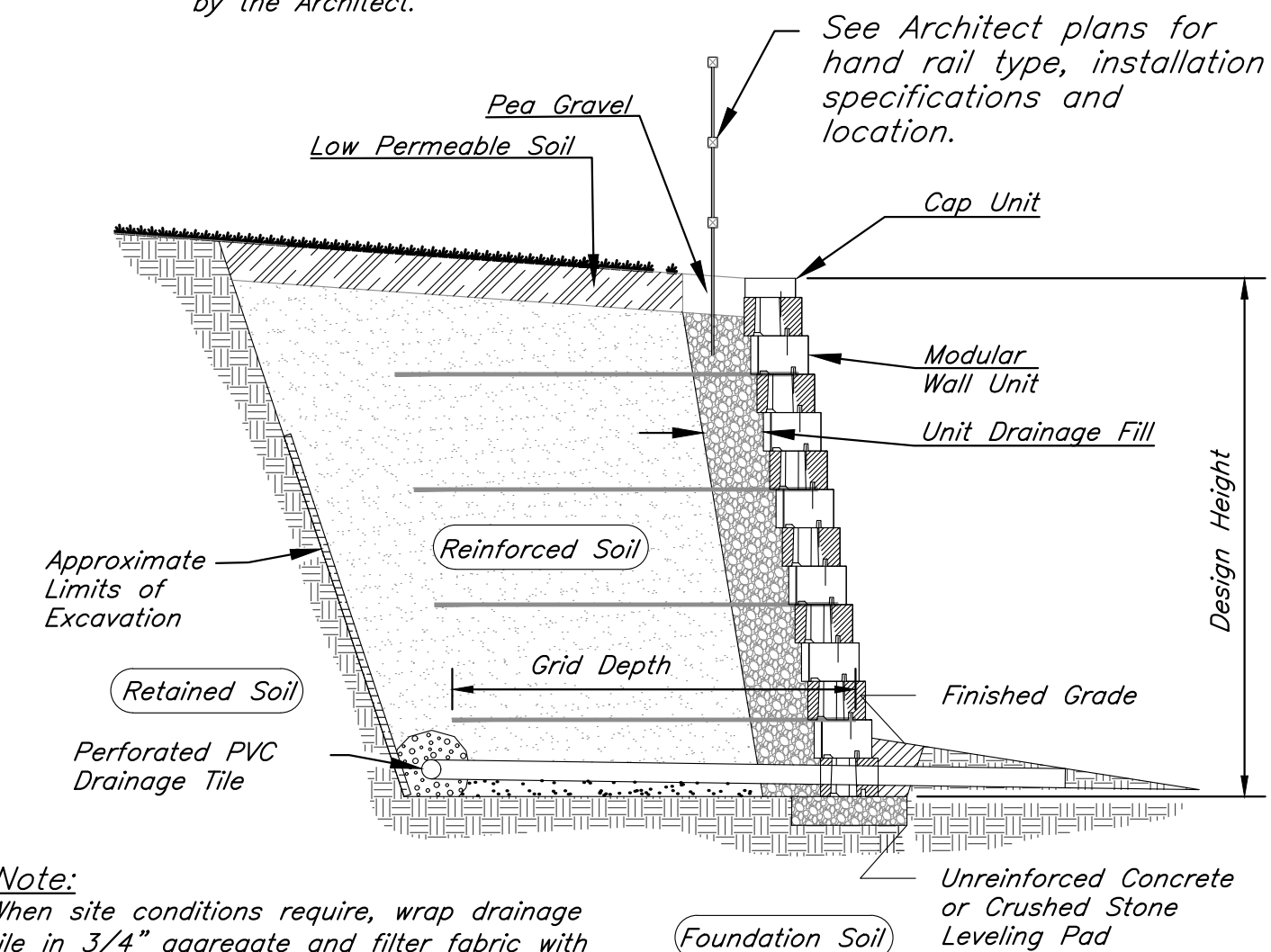


SITE LIGHTING:

ALL LIGHTING SHALL COMPLY WITH IDO SECTION 5-8(D) AND TABLE 5-8-1. MAXIMUM HEIGHT IS 30 FEET MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE.

General Notes:

1. THE DETAILS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY.
2. The Contractor shall be responsible for retaining the services of a registered professional engineer, licensed in the State of Kansas, to design the segmental concrete block retaining walls and footings. The retaining wall shall be designed in conformance with AASHTO (2002) criteria in regards to factors of safety for, but not limited to, foundation embedment, external and internal stability, bearing pressure computations, minimum reinforcement lengths and vertical spacing.
3. The Contractor shall refer to the information provided in the Geotechnical report when designing the retaining walls. If additional exploratory investigation is necessary for the design of the retaining walls, retaining the services of a geotechnical engineer shall be the responsibility of the manufacturer and/or contractor and shall be coordinated with the owner. The proposed foundation shall be approved by the site geotechnical engineer prior to placement of the leveling pad.
4. The designer of the retaining walls shall note that bearing conditions may be poor and may require footings to spread out the bearing load. The wall shall be designed such that any ensuing settlement or differential settlement of the wall does not impact the aesthetics or structural integrity of the wall or other adjacent structures.
5. The Contractor shall note any storm drainage pipes and/or utility crossings that are located beneath the wall. The footings of the retaining wall shall span over the crossings with enough clearance to avoid crushing the pipe or sleeve if the wall settles.
6. The designer shall provide the specifications for specifying criteria for backfill material and compaction, drainage, filter fabric, soil reinforcing fabric and all other materials and methods related to the construction of the retaining wall system.
7. Modular Block Retaining wall block color, pattern, and size to be selected by the Architect.



Note:

When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

Typical Reinforced Wall Section

Century Wall Unit – 1" Setback

MODULAR CONCRETE RETAINING WALL SYSTEM

Not to Scale



**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**
1-800-321-2537 or 811

1-800-321-2537 or 811

GBA
9801 Renner Blvd., Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

SCEYE
Girard Blvd. & Miles Rd
Albuquerque, New Mexico

PROPOSED FACILITY FOR:

NOT FOR CONSTRUCTION

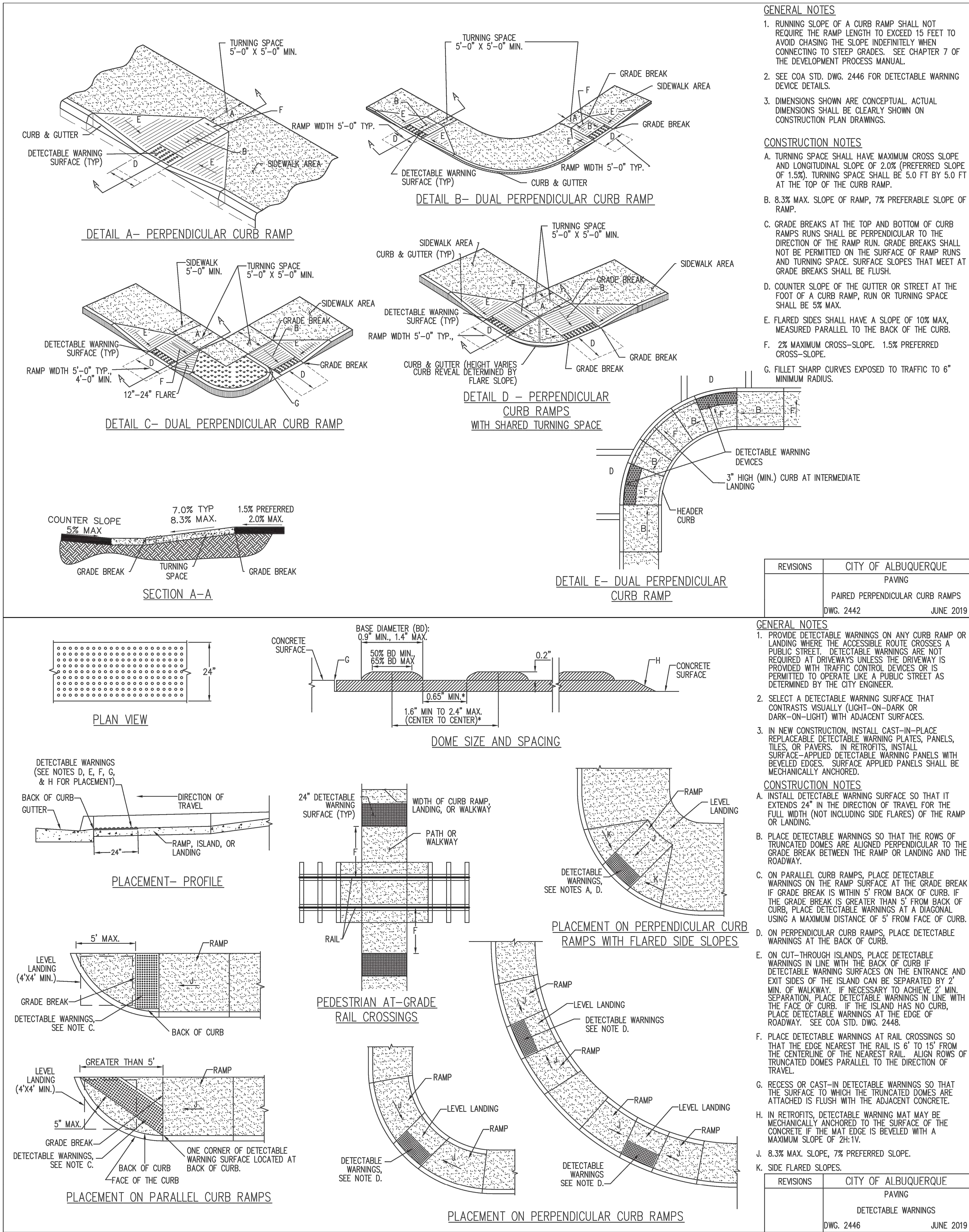
[illegible]

Construction Details - EPC

SHEET NUMBER

C5

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2023



SKETCH PLAT HI IT

**WITHIN SECTIONS 1, 2, 3, 4, 9 & 10 TOWNSHIP 9 NORTH, RANGE 3 EAST, N.M.P.M.
and SECTIONS 33,34,35 & 36 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.**

BERNALILLO COUNTY, NEW MEXICO
JUNE 2021

RECORD DOCUMENTS

VACATION ACTION # SD-2021-00062

VACATION ACTION # SD-2021-00063

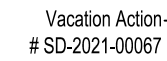
VACATION ACTION # SD-2021-00064

VACATION ACTION # SD-2021-00065

VACATION ACTION # SD-2021-00067

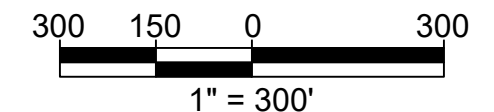
VACATION ACTION # SD-2021-00068

VACATION ACTION # SD-2021-00069



VACATIONS ACTIONS

- FOUND 3.25" BLM ALUMINUM CAP
- FOUND REBAR WITH PLASTIC CAP PS 7924
- CALCULATED POINT ON BOUNDARY
- FOUND 1" IRON PIPE
- FOUND NAIL WITH WASHER LS 5978
- FOUND #5 REBAR NO CAP



SKETCH PLAT

Bohannon  **Huston**
www.bhinc.com 800.877.5332