



***Environmental
Planning
Commission***

***Agenda Number: 2
Project #: PR-2022-007141
Case #: SI-2022-01298
Hearing Date: August 18, 2022***

Staff Report

<i>Agent</i>	Consensus Planning Inc.
<i>Applicant</i>	Keystone Homes
<i>Request</i>	Major Amendment – EPC
<i>Legal Description</i>	Tracts A-1, A-2, A-3 and Tracts C-1, C-2, C-3 plat of tracts A-1 thru A-3 and C-1 thru C-3; and Tract B-1 (being a re-plat of Tract B), Heritage Marketplace
<i>Location</i>	1700 Unser Blvd. NW, between Hanover Rd. NW and Ladera Dr. NW
<i>Size</i>	Approximately 20 acres
<i>Existing Zoning</i>	MX-L

Staff Recommendation

APPROVAL of SI-2022-01298, based on the Findings beginning on p.23.

***STAFF PLANNER
Leroy Duarte, Planner***

Summary of Analysis

The request is for a Site Plan Major Amendment to the controlling Site Development Plan for Subdivision to facilitate development of approximately 129 townhomes instead of the previously approved 220 apartment units on the 9.1-acre site. The reduction and change from multi-family/ office housing to Townhomes exceeds the thresholds for minor amendment. Therefore, the request is a major amendment and is subject to approval by the original approving body-EPC.

The applicant has adequately justified the request pursuant to the IDO major amendment criteria in 14-16-6-4(Y)(3). The proposed major amendment would be generally consistent with the Comprehensive Plan Goals and policies and there are no major conflicts.

The subject site is in an Area of Consistency and is located along the Unser Commuter Corridor. It is not located in an Activity Center.

The following neighborhood organizations were notified Laurelwood Neighborhood Association (NA), Westside Coalition of NA, Parkway NA. Property owners were also notified as required. As of this writing, Staff has not been contacted and there is no known opposition. Staff recommends approval.



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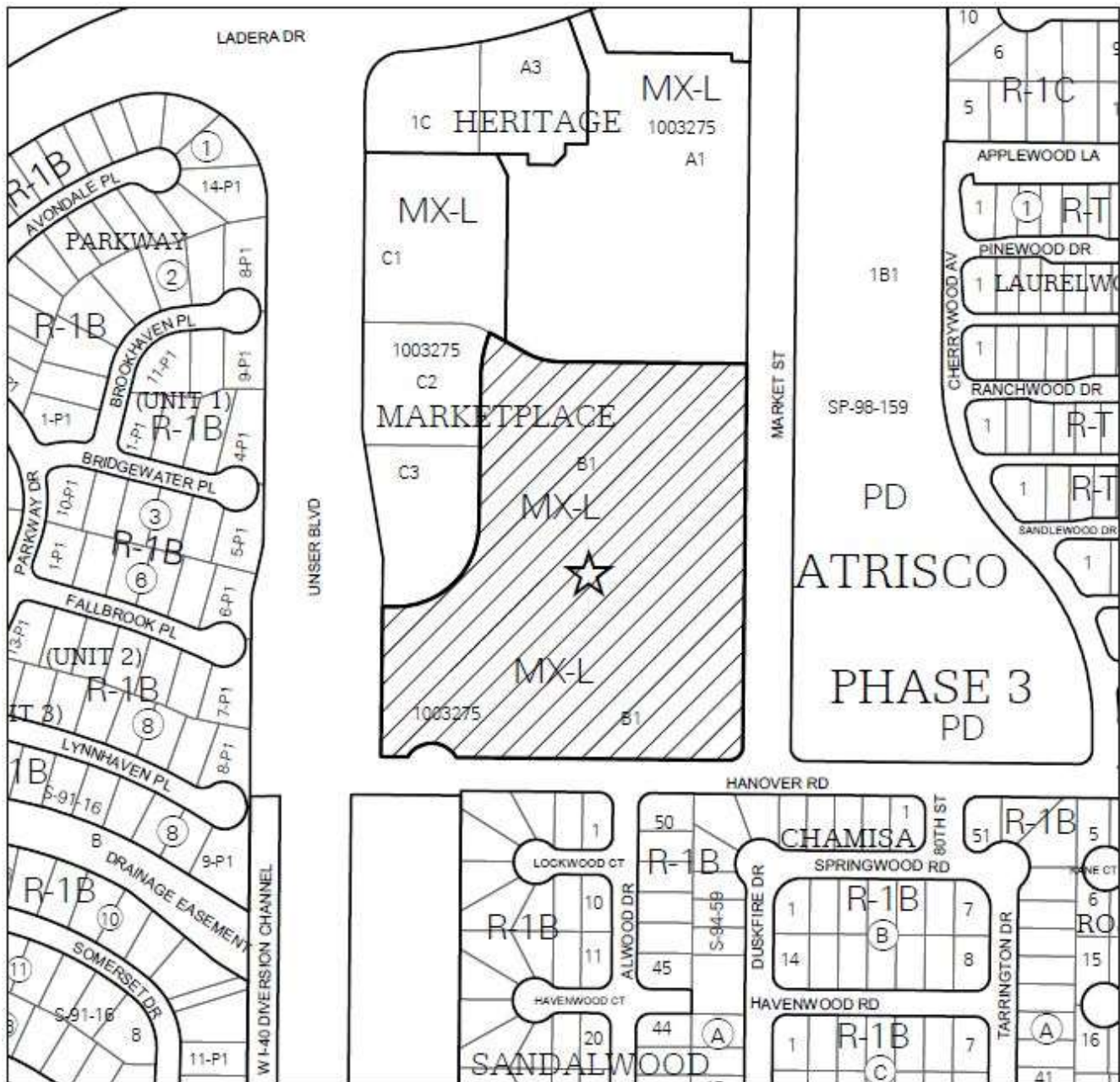
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Attachments

- 2-Photographs – Existing Conditions
- 3-History
- 4-Zoning
- 5-Applicant Information
- 6-Staff Information
- 7-Notification





IDO ZONING MAP

Note: Gray shading
indicates County.



1 inch = 250 feet

Hearing Date:
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Zone Atlas Page:
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LAND USE MAP

Note: Gray shading
Indicates County.

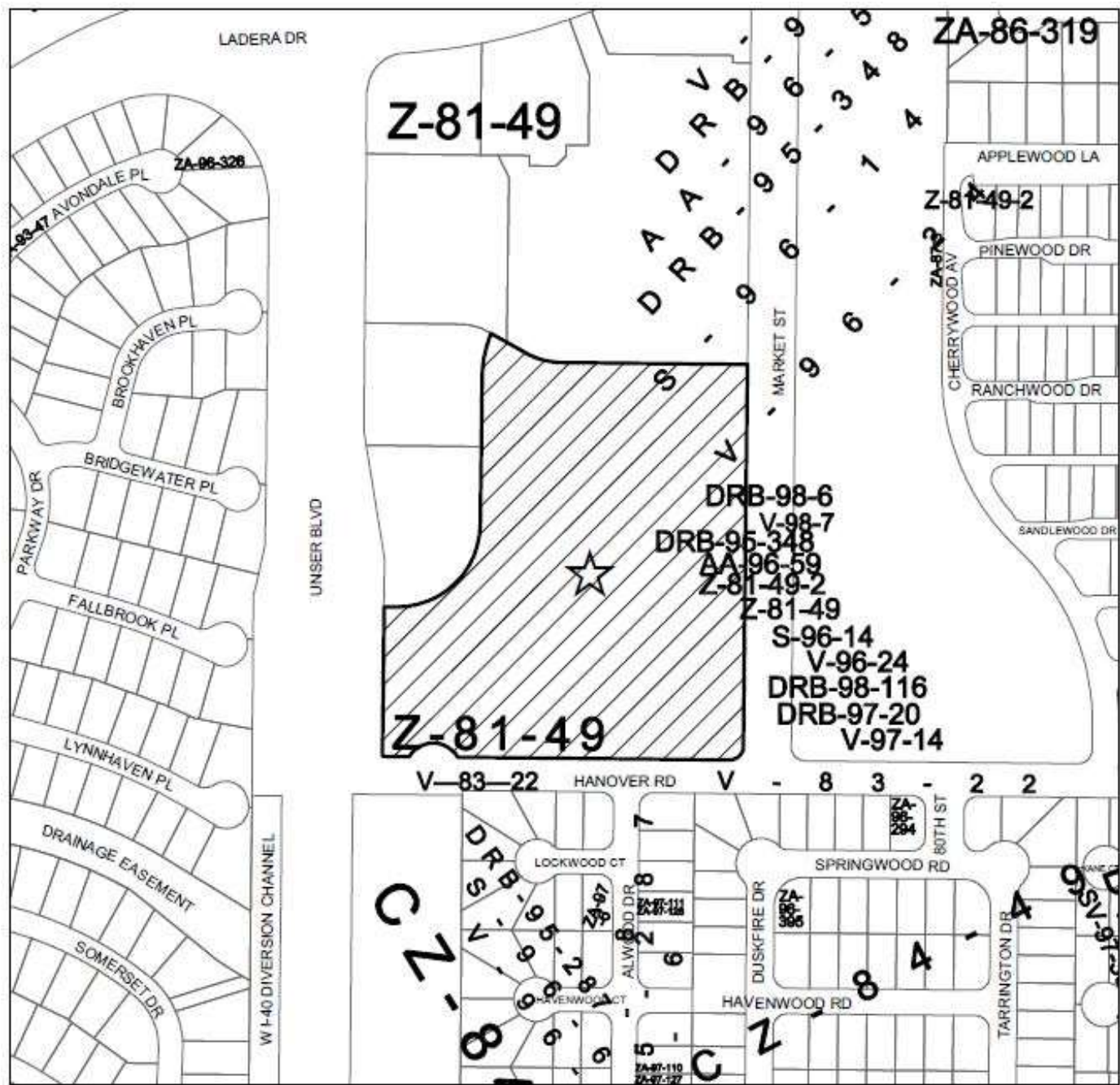
Key to Land Use Abbreviations	
LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSV Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



1 inch = 250 feet

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HISTORY MAP

Note: Gray shading
Indicates County.

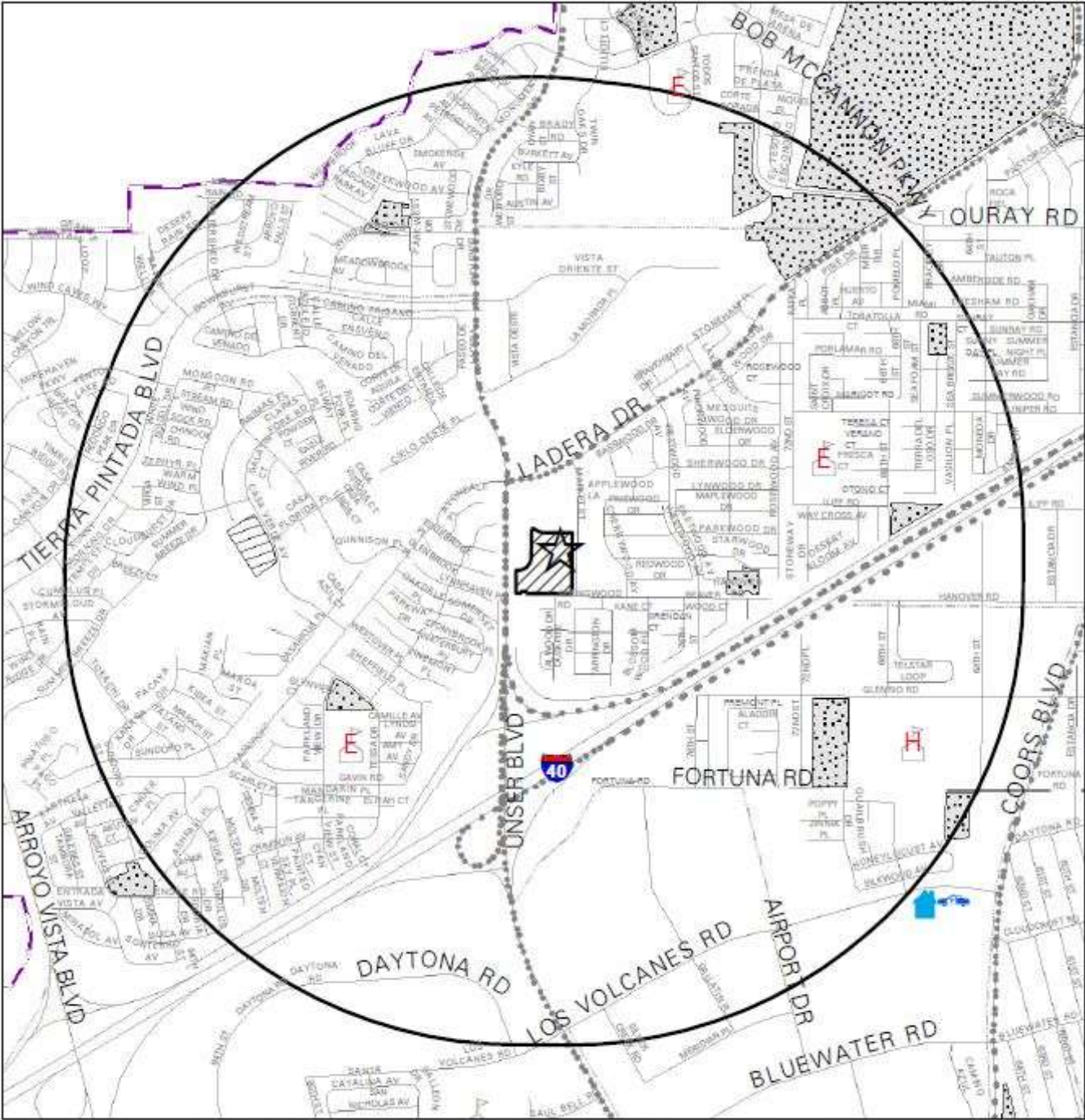


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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>Site</i>	MX-L	Area of Consistency	Vacant
<i>North</i>	MX-L	Area of Consistency	Commercial Retail
<i>South</i>	R-1B	Area of Consistency	Low-density Residential
<i>East</i>	PD	Area of Consistency	Multi-family
<i>West</i>	R-1B	Area of Consistency	Low-density Residential

Request

The request is for a Major Amendment to the controlling Site Development Plan for Subdivision for an approximately 9.1-acre site legally described as, Tracts A-1, A-2, A-3 and Tracts C-1, C-2, C-3 plat of tracts A-1 thru A-3 and C-1 thru C-3; and Tract B-1 (being a re-plat of Tract B), Heritage Marketplace located at 1700 Unser Blvd. NW, between Hanover Rd. NW and Ladera Dr. NW (“the subject site”). The subject site is zoned MX-L and is currently vacant.

The applicant requests to amend the controlling Site Development Plan for Subdivision to facilitate development of approximately 129 townhomes instead of the previously approved 220 apartment units. The reduction and change from multi-family/ office housing to Townhomes exceeds the thresholds for minor amendment. Therefore, the request is a major amendment and is subject to approval by the original approving body- the EPC.

EPC Role

The EPC is hearing this request because IDO Section 14-16-1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to City Council. The City Council would then make the final decision.

Context

The subject site is vacant. To the northeast of the subject site, a grocery store with an adjacent fueling station was constructed in 2015 as part of the Heritage Marketplace. The corner of Unser Boulevard and Ladera Drive is occupied by an additional convenience store with gasoline pumps, constructed in 1996 prior to the Heritage Marketplace Site Development Plan for Subdivision.

To the east of the vacant parcels across Market Street is a multi-family apartment complex and farther to the east and south are single family neighborhoods, both part of the Laurelwood Neighborhood Association. Farther to the west across Unser Boulevard is a single-family

residential development, part of the Parkway Neighborhood Association.

History

In February of 2014, the Heritage Marketplace Site Development Plan for Subdivision (13EPC-40148, see attached) was approved by the EPC for the platted 20- acre site. This Site Plan for Subdivision states that a “A maximum of 50 percent (12.5 acres) of the original 25-acre site as referenced on Sheet 5 of the El Rancho Atrisco Phase III Sector Development Plan is eligible for development with retail and service-type uses consistent with those of the C-1 zone.” (see attached). Since the existing gas station consists of .85 acres, an additional 11.65 acres may be developed with commercial uses pursuant to the C-1 zone. The Heritage Marketplace Site Development Plan for Subdivision was signed off on by the DRB in November of 2014. Although the applicant had originally asked for delegation of the Site Development Plan for Building Permit to the DRB, the EPC chose to have the Site Development Plan for Building Permit return to the EPC for review.

In December of 2014, the EPC approved a Zone Map Amendment and Site Development Plan for Building Permit on a 6-acre pad to the northeast of the subject site (14EPC-40076, 77, 78 and 79) for a 41,000 square foot full service Grocery Store (with alcohol sales for off-premise consumption), and a Fuel Station with 6 pumps and a 700 square foot convenience store. In May 2015, Building Permits 201493228 and 201591272 allowed for the construction of a new Walmart market and fuel station. A monument sign for the primary entrance to the Heritage Marketplace subject to the Site Development Plan for Subdivision design standards was constructed on the subject site as part of this Walmart development.

On December 10, 2015 the EPC voted to deny a proposed Site Development Plan for Building Permit (15EPC-40068) to allow a multi-family development. An appeal was filed by the applicant on January 27, 2016 that was ultimately upheld by the Albuquerque City Council on April 8, 2016.

In November of 2016, the EPC approved a Site Development Plan for Building Permit (16EPC-40055) for an approximately 2,000 square foot fast food restaurant with a drive-up service window (Taco Bell) on the 1.1- acre pad to the north of the subject site (tract C-2).

Roadway System

The Long-Range Roadway System map, produced by the Mid-Region Council of Governments (MRCOG) identifies the functional classifications of roadways. Unser Boulevard is identified as a Principal Arterial and Ladera Drive is identified as a Minor Arterial.

Comprehensive Plan Designations

The Comprehensive Plan currently designates Unser Boulevard as a Commuter Corridor, which is “dedicated to developing higher speeds with fewer interruptions to travel for the car and transit vehicles.”

The subject site is located within an Area of Consistency and is not within a designated center.

The subject site is part of the West Mesa Community Planning Area (CPA). The West Mesa CPA is bounded by I-40 on the south, the Rio Grande to the east, and Montañito Road to the north, this area developed primarily as residential subdivisions, with commercial activity along Coors Boulevard. With spectacular views to the volcanoes and the Sandia Mountains, it is characterized by its proximity to the Northwest Mesa Escarpment, Petroglyph National Monument, and the

Bosque.

Overlay Zones

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO) identifies existing and proposed routes and trails.

A paved multi-use trail is developed along Unser Boulevard with connections to a trail along I-40.

Transit

The 94-Unser Commuter and 92-Taylor Ranch Express bus routes pass the site. The Number 94 has a stop on Unser Boulevard just south of Ladera Drive, and the 92 has stop along Ladera Drive just west of Laurelwood Parkway.

Public Facilities/Community Services

Please refer to the Public Facilities Map, which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Adjacent: Those properties that are abutting or separated only by a street, alley, trail, or utility easement, whether public or private.

Infill Development: An area of platted or un-platted land that includes no more than 20 acres of land, that has a public water main and a public sewer main fronting the property within the City right-of-way, and where at least 75 percent of the adjacent lots are developed and contain existing primary buildings.

Low-density Residential Development: Properties with residential development of any allowable land use in the Household Living category in Table 4-2-1 other than multi-family dwellings. Properties with small community residential facilities are also considered low-density residential development. Properties that include other uses accessory to residential primary uses are still considered low-density residential development for the purposes of this IDO. See also Dwelling Definitions for Dwelling, Cluster Development; Dwelling, Cottage Development; Dwelling, Live-work; Dwelling, Single-family Detached; Dwelling, Townhouse; and Dwelling, Two-family Detached (Duplex); Manufactured Home, and Other Uses Accessory to Residential Primary Uses.

Multi-family Residential Development: Publicly or privately-owned land that is maintained for active or passive recreational use and for the use and enjoyment of the general public or the residents or occupants of a development. This use includes areas consisting of vegetative landscaping and/or areas improved for outdoor sports and recreation. Structural improvements are generally limited to those that facilitate the use of the land as a park. Incidental activities and structures include, but are not limited to, playgrounds, maintenance facilities, swimming pools, restrooms and dressing rooms, concessions, caretaker's quarters, and parking.

Dwelling, Multi-family: A building, multiple buildings, or a portion of a building located on a single lot, containing 3 or more dwelling units, each of which is designed for or occupied by one family only, with separate housekeeping and cooking facilities for each, and that does not meet the definition of a townhouse dwelling. Within mixed-use development, a building containing 2 or more dwelling units is considered multi-family. See also Development Definitions for Multi-family.

Dwelling, Townhouse: A group of 3 or more dwelling units divided from each other by vertical common walls, each having a separate entrance leading directly to the outdoors at ground level. For the purposes of this IDO, this use is considered a type of low-density residential development, pursuant to IDO Table 4-2-1: Allowable Uses, Dwelling, townhouse is permitted in the MX-L zone. Dwelling, townhomes is considered whether the townhouses are platted on separate lots or not. See also Development Definitions for Low-density Residential.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Zoning

The subject site is currently zoned MX-L Mixed-use Low Intensity, IDO 14-16-2-4(B) which was assigned upon the adoption of the IDO. The purpose of the MX-L zone district is to provide for neighborhood-scale convenience shopping needs, primarily at intersections of collector streets. Primary land uses include non-destination retail and commercial uses, as well as townhouses, low-density multi-family, and civic and institutional uses to serve the surrounding area, with taller, multi-story buildings encouraged in Centers and Corridors. Other allowable uses are shown in Table 4-2-1.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Consistency. Areas of Consistency are protected by policies to limit densities, new uses, and negative impacts from nearby development. While these areas may see some infill development and new uses, new development or redevelopment will need to be compatible in scale and character with the surrounding area.

In this case, the Goals and policies below were included by the applicant in the justification letter. Staff finds them all applicable and lists them below. Staff analysis follows in bold italic text.

Chapter 5: Land Use

Goal 5.1- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request would facilitate future development of low-density townhomes that would complement the surrounding area which consists of multi-family development, commercial retail, and outdoor trails. The request would foster communities where residents can live, shop, learn and play together. The request is consistent with Goal 5.1- Complete Communities.

Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential. Furthermore, the subject site is on a Commuter Corridor with access to existing paved bike trails and sidewalks that have connections to the surrounding neighborhoods. The request is consistent with Policy 5.2.1- Land Uses.

Sub-Policy (b)- 5.2.1 Land Use: Encourage development that offers choice in transportation, work areas, and lifestyles.

The request would facilitate the development of townhomes that would be adjacent to the Unser Commuter Corridor. The subject site is well served by bus routes 92 and 94 and provides a wide variety of commercial retail services including a grocery store. The development would offer a choice in transportation and work areas. The request is consistent with Sub-Policy(b) 5.2.1- Land Uses.

Sub-Policy (d)- 5.2.1 Land Use: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The request would facilitate the development of townhomes that would broaden housing options that meet a range of incomes and lifestyles ranging from 1-bedroom to 3-bedrooms. The request is consistent with Sub-Policy(d) 5.2.1- Land Uses.

Sub-Policy (h)- 5.2.1 Land Use: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request would facilitate the development of townhomes and add complementary uses to the surrounding area. The request would be compatible in form and scale because the surrounding development consists of multi-family and low-density residential housing. The request is consistent with Sub-Policy(h) 5.2.1- Land Uses.

Sub-Policy (n)- 5.2.1 Land Use: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is located along a Commuter Corridor. The request would encourage a productive use of what currently exists as an under-utilized lot to facilitate the development of approximately 129 townhomes. The low-density development would provide housing and would be more beneficial to the community than its current state. The request is consistent with Sub-Policy(n) 5.2.1- Land Uses.

Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate future development on vacant land that would support the public good by providing various housing options that would maximize the existing infrastructure

already in place within the Heritage Marketplace and also utilize public facilities and transportation that is along the subject site. The request is consistent with Goal 5.3- Efficient Development Patterns.

Goal 5.6- City Development Area: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request is located in an Area of Consistency and would facilitate low-density development that would reinforce the character and intensity of the surrounding area. The request is consistent with Goal 5.6- City Development Area.

Policy 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would protect and enhance the character of the existing neighborhood by adding more low-density residential housing to the area and would enhance the community by following the Heritage Marketplace Design Standards, thus keeping the character of the area consistent. The request is consistent with Policy 5.6.3- Areas of Consistency.

Chapter 7: Urban Design

Policy 7.3.4- Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located..

The subject site is located in an Area of Consistency and on a designated Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request would facilitate low-density residential development-townhomes. The subject site would remain in the controlling Heritage Marketplace Site Plan for Subdivision and be required to follow the design standards. The request would promote infill that blends in style with the surrounding development. The request is consistent with Policy 7.3.4- Infill.

Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)-Site Plan-EPC Review and Decision Criteria

The request is for a Major Amendment of a Pre-IDO approval to facilitate future development of townhomes. IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, would be approved if it meets all of the following criteria:

- 6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.

- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is zoned MX-L. Therefore, the above criterion does not apply.

- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.
- The proposed major amendment is to facilitate future development of approximately 129 townhomes. The subject site is within the controlling Site Development Plan for Subdivision Heritage Marketplace, which has design standards. The request would comply with all applicable provisions of the IDO (when design standards are silent), DPM, and Heritage Marketplace Design Standards.*
- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.
- The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the request would enhance existing infrastructure (sidewalks) and the completed sidewalks would create connectivity to the regional trails at the end of Hanover Rd.*
- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.
- The applicant has demonstrated that the request would not negatively impact the surrounding area based on the responses to applicable Comp Plan Goals and Policies. The proposed major amendment would allow the change from multi-family to low-density residential uses and facilitate the development of approximately 129 townhomes on the subject site. The subject site is zoned MX-L in which townhouses are already permissive. The proposed development would comply with the design standards the controlling Site Development Plan for Subdivision and the IDO (when standards are silent), mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.*
- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.
- The subject property is not within a Master Development Plan. It is within the boundaries of the Heritage Marketplace Site Development Plan for Subdivision. The request would facilitate the development of approximately 129 townhomes on the subject site, which is permissible in this zone district pursuant to IDO 14-16-2-4-(B). The future development would meet applicable design standards and IDO standards when the design standards are silent.*
- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the

surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

III. SITE PLAN MAJOR AMENDMENTS

Request

The request is for a Major Amendment for an approximately 9.1-acre site (Tract B) in the Heritage Marketplace Site Development Plan for Subdivision (SPS) that would allow:

1. Low-density residential development of 129 townhomes.

The controlling Heritage Marketplace Site Development Plan for Subdivision is for multi-family/ office uses on the subject site. The approval of this request will allow the proposed development of approximately 129 townhomes (see attached Site Plan exhibits).

The applicant has stated that the proposed development made possible by the request would follow the design standards of the Heritage Marketplace Site Plan for Subdivision and all applicable provisions and Design Standards for the MX-L zone district of the IDO and DPM when design standards are silent.

Staff has crafted conditions of approval to create compliance and clarity as needed.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

A. Review of Proposed Site Plan

Site Plan Layout/Configuration

The subject site is currently vacant and the proposed site plan is for approximately 129 townhomes comprised of approximately 9.1 acres on the southern portion of the Site Development Plan for Subdivision.

Use Specific Standards for Dwelling, Townhouse (IDO section 14-16-4-3(B)(5)(a)) For townhouse developments containing more than 6 dwelling units on a common lot, minimum usable open space shall be provided as follows:

1. Efficiency or 1 bedroom: 200 square feet per unit.
2. 2 bedrooms: 250 square feet per unit.
3. 3 or more bedrooms: 300 square feet per unit.
4. In UC-MS-PT areas, the minimum usable open space required shall be 50 percent of the requirements in subsections 1 through 3 above.

In addition, for properties on which the rear or side lot line abuts an R-A or R- 1 zone district or on which the rear lot line is across an alley from an R-A or R-1 zone district, no townhouse dwelling may contain more than 3 dwelling units 14-16-4-3(B)(5)(b).

Pedestrian, Bicycle and Transit Access

The subject site is well served by transit. Unser Boulevard NW is a Commuter Corridor that is currently served by 92- Taylor Ranch Express and the 94- Unser Commuter.

There is adequate sidewalk infrastructure along the boundaries of the subject site, which provide walkability from the nearby businesses, residential neighborhoods, and bus stops. Along Unser Boulevard NW. there is a Paved Multiple-Use Trail (a paved trail closed to automotive traffic) and a Bicycle Lane (street with designated bike lane).

The Site Plan includes a 5' proposed sidewalk along Unser Blvd. NW which includes one ADA public access pathway from Unser Blvd. NW and Hanover Rd. NW. There are two parallel ADA curb ramps at a vehicular access point along Unser and Hanover rd. NW.

Vehicular Access, Circulation and Parking

The subject site does not have existing driveways along Unser Blvd. NW. The site plan proposes two new access points off of Unser and Hanover. The main entrance faces west of the subject site along Unser Blvd. NW and a secondary access point located on the south side of the site along Hanover Rd. NW.

Parking

Dwelling Multi-family- 1 space/DU = 129 (per Site Development Plan for Subdivision).

Residential Amenity Parking- 3 Spaces/ 1,000 GFA= 7(Table 5-5-2)

Total Parking Required= 132 Spaces.

Parking Provided:

Standard Parking= 70 spaces

Garage Parking= 220 spaces

Total parking= 290 spaces.

HC Parking Required= 4 spaces

HC Parking Provided= 6 spaces

Van Accessible Required= 1 space

Van Accessible Provided= 6 spaces

Bicycle Parking Required= 65 spaces (1 bicycle space every 2 units per Site Development Plan for Subdivision)

Bicycle Parking Provided= 129 spaces (1 in each garage) 14 spaces (external onsite) = 133 spaces total.

Motorcycle Parking Required = 4 spaces

Motorcycle Parking Provided = 4 spaces.

Landscaping, Buffering and Screening

IDO section 14-16-5-6 requires that a minimum of 15 percent of the net lot area of each development shall contain landscaping. The proposed development is located on 9.1 acres or 394,392 SF of the subject site. The required landscape area is 40,270 SF and proposed landscaping 100, 598 SF. The proposed site plan follows IDO landscaping calculation requirements.

The Landscape Plan shows the proposed location and type of trees and ground cover being provided.

A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas.

Landscape Area Coverage:

- Required landscaped area (15%): 40,270 SF
- Proposed landscaped area (37%): 100,598 SF

Walls and Fences

Per design standards, no site wall shall exceed 6 feet in height. Site walls shall be constructed of cast stone, brick, masonry finished with stucco, or combination thereof, with finish materials to match predominant material of building.

The request includes five proposed dumpster enclosures.
Provide dumpster enclosure details.

Building Design & Architecture

The applicant has followed the Heritage Marketplace Site Plan for Subdivision design standards for building design; heights, setbacks, colors, materials, etc. for this request.

Signage

Monument signage must comply with the Heritage Marketplace design standards and will use IDO section 14-16-5-12 when standards are silent. Provide details.

Grading & Drainage Plan

All drainage generally flows across the site from north to south. Grading is ADA compliant.

Utility Plan

The applicant provided a Master Utility Plan showing any existing overhead utilities, sanitary sewer lines, water lines, and storm sewer lines.

PNM notes that they have facilities abutting and/or in easements along the Crown Rd and Unser Blvd frontages and along the east side of the site. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.

The ABCWUA noted that the subject site exists outside of the Water Utility Authority adopted service area and within previously designated NMUI service area. Additional Water Authority approval may be required.

B. Design Standards for Heritage Marketplace Site Plan for Subdivision

The applicant is following all Heritage Marketplace Site Plan for Subdivision design standards and the City of Albuquerque's IDO development requirements (when design standards are silent) for the Site Plan Major Amendment request. The Design Standards state, "Where there is conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply." The controlling site development plan for subdivision was implemented before the adoption of the IDO; therefore, some IDO zoning requirements are more stringent than the controlling site plan. The design standards must be in compliance to receive site plan approval.

Design Standards include General Site Design standards that address the issues of:

- Land use
- Site Planning
- Landscape
- Architecture
- Signage
- Walls
- Screening
- Lighting
- Utilities

In addition to the design standards, the proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval. The site plan and related drawings were received July 27, 2022.

Staff has reviewed the proposed Site Plan and associated drawings and has crafted few conditions of approval to meet applicable design standards within the Heritage Marketplace Site Plan for Subdivision and IDO.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other agencies reviewed this application. Few Agency Comments were received and there were no objections. Agency comments begin on p.23.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. 9. The affected, registered neighborhood organizations are Laurelwood Neighborhood Association (NA), Westside Coalition of NA, Parkway NA. Property owners within 100 feet of the subject site were also notified as required

A pre-application facilitated neighborhood meeting was held Tuesday June 7, 2022 from 5:30 pm to 7:30 pm via Zoom. Major concerns were proposed by neighbors regarding traffic, congestion, architectural aesthetics, and school capacity which were answered during the meeting. There were no unresolved issues or concerns (see attached Facilitated meeting report).

As of this writing, Staff has not been contacted and is not aware of any opposition.

V. CONCLUSION

The applicant proposes a Major Amendment to the controlling Heritage Marketplace Site Plan for Subdivision for an approximately 9.1-acre site.

The applicant wishes to amend Tract B of the controlling Site Development Plan for Subdivision to facilitate development of approximately 129 townhomes. The subject site would remain in the controlling Site Development Plan for Subdivision with the existing design standards.

Although Dwelling, Townhome uses are allowable in the MX-L zone district, the EPC is hearing this request because the controlling Site Development Plan for Subdivision approved Tract B for multi-family/office uses (see attached NOD).

The subject site is zoned MX-L (Mixed-use – Low Intensity). It is located on a future Premium Transit and a Commuter Corridor and is in an Area of Consistency as designated by the Comprehensive Plan.

The affected neighborhood organizations were notified as required and property owners within 100 feet of the subject site were also notified as required. A neighborhood meeting was held on June 7, 2022. Staff is not aware of any support or opposition as of this writing.

The request is generally consistent with applicable Comprehensive Plan goals and policies. Generally, not finding any conflicts with the IDO or other regulations, Staff recommends approval

FINDINGS – SI-2022-01298, August 18, 2022 – EPC Major Amendment

1. The request is for a Site Plan EPC-Major Amendment of a Pre IDO-Approval for an approximately 9.1-acre site legally described as Tracts A-1, A-2, A-3 and Tracts C-1, C-2, C-3 plat of tracts A-1 thru A-3 and C-1 thru C-3; and Tract B-1 (being a re-plat of Tract B), Heritage Marketplace, located at 1700 Unser Blvd. NW, between Hanover Rd. NW and Ladera Dr. NW (“the subject site”).
2. The subject site is zoned MX-L (Mixed-use – Low intensity), a zoning designation received upon adoption of IDO in May 2018.
3. The subject site is within the controlling Heritage Marketplace Site Development Plan for Subdivision (project#1003275), which has design standards. The subject site would remain in the Heritage Marketplace controlling Site Development Plan for Subdivision but will adopt IDO standards when design standards are silent.
4. The EPC is hearing this request because IDO Section 1-10(A) Pre-IDO Approvals states that any approvals granted prior to the effective date of the IDO shall remain valid, subject to expiration. Major Amendments of Pre-IDO Approvals return to the original decision-making body pursuant to 14-16-6-4(Z)(1)(b).
5. The subject site is in an area that the Comprehensive Plan designated an Area of Consistency. It is located along a Commuter Corridor but is not located in a Center as designated by the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Goals and policies from Comprehensive Plan Chapter 5: Land Use:
 - A. Goal 5.1- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request would facilitate future development of low-density townhomes that would complement the surrounding area which consists of multi-family development, commercial retail, and outdoor trails. The request would foster communities where residents can live, shop, learn and play together.
 - B. Policy 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy and sustainable community because it would facilitate future development in an area with a mix of uses including commercial retail, commercial services, low-density residential, and multi-family residential. Furthermore, the subject site is on a Commuter Corridor with access to existing paved bike trails and sidewalks that have connections to the surrounding neighborhoods.
 - C. Sub-Policy (b)- 5.2.1 Land Use: Encourage development that offers choice in transportation, work areas, and lifestyles.

The request would facilitate the development of townhomes that would be adjacent to the Unser Commuter Corridor. The subject site is well served by bus routes 92 and 94 and provides a wide variety of commercial retail services including a grocery store. The development would offer a choice in transportation and work areas.

- D. Sub-Policy (d)- 5.2.1 Land Use: Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The request would facilitate the development of townhomes that would broaden housing options that meet a range of incomes and lifestyles ranging from 1-bedroom to 3-bedrooms.

- E. Sub-Policy (h) 5.2.1- Land Use: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request would facilitate the development of townhomes and add complementary uses to the surrounding area. The request would be compatible in form and scale because the surrounding development consists of multi-family and low-density residential housing.

- F. Sub-Policy (n) 5.2.1- Land Uses: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The subject site is located along a Commuter Corridor, the request would encourage a productive use of what currently exists as an under-utilized lot to facilitate the development of approximately 129 townhomes. The low-density development would provide housing and would be more beneficial to the community than its current state.

7. Goal 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate future development on vacant land that would support the public good by providing various housing options that would maximize the existing infrastructure already in place within the Heritage Marketplace and also utilize public facilities and transportation that is along the subject site.

8. Goal 5.6- City Development Area: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request is located in an Area of Consistency and would facilitate low-density development that would reinforce the character and intensity of the surrounding area.

- A. Policy 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would protect and enhance the character of the existing neighborhood by adding more low-density residential housing to the area and would enhance the community by following the Heritage Marketplace Design Standards, thus keeping the character of the area consistent.

8. The request is consistent with the following policy from Comprehensive Plan Chapter 7: Urban Design:

Policy 7.3.4- Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is located in an Area of Consistency and on a designated Corridor, a prime infill location as highlighted by the Comprehensive Plan. The request is to facilitate low-density residential development-townhomes. The subject site would remain in the controlling Heritage Marketplace Site Plan for Subdivision and be required to follow the design standards. The request would promote infill that blends in style with the surrounding development.

9. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) The subject site is zoned MX-L; therefore, this criterion does not apply.
- C. 14-16-6-6(J)(3)(c) The proposed major amendment is to facilitate future development of approximately 129 townhomes. The subject site is within the controlling Site Development Plan for Subdivision Heritage Marketplace, which has design standards. The request would comply with all applicable provisions of the IDO (when design standards are silent), DPM, and Heritage Marketplace Design Standards.
- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. The applicant has stated that the request would enhance existing infrastructure (sidewalks) and the completed sidewalks would create connectivity to the regional trails at the end of Hanover Rd.
- E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The proposed major amendment would allow the change from multi-family to low-density residential uses and facilitate the development of approximately 129 townhomes on the subject site. The subject site is zoned MX-L in which townhouses are already permissive. The proposed development would comply with the design standards within the controlling Site Plan for Subdivisions and the IDO (when standards are silent), mitigating any significant adverse impacts on the surrounding area to the maximum extent practicable.
- F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan. It is within the boundaries of the Heritage Marketplace Site Development Plan for Subdivision and is zoned MX-L. The request to facilitate the development of approximately 129 townhomes on the subject site is permissible under this zone district pursuant to IDO 14-16-2-4-(B).
- G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.

12. The affected neighborhood organizations are the Laurelwood Neighborhood Association (NA), Westside Coalition of NA, and Parkway NA, which were notified as required. Property owners within 100 feet of the subject site were also notified as required.
13. A pre-application neighborhood meeting was held on Tuesday June 7, 2022 from 5:30 pm to 7:30 pm via Zoom. Questions and concerns were expressed by neighbors regarding traffic, congestion, architectural aesthetics, and school capacity were answered during the meeting. There were no unresolved issues or concerns.
14. As of this writing, Staff has not been contacted and is unaware of any opposition.

RECOMMENDATION – PR-2022-007141, SI-2022-01298, August 18, 2022

APPROVAL of Project #: 2022-007141, Case #: SI-2022-01298, a Site EPC-Major Amendment for a Pre-IDO Approval for Tracts A-1, A-2, A-3 and Tracts C-1, C-2, C-3 plat of tracts A-1 thru A-3 and C-1 thru C-3; and Tract B-1 (being a re-plat of Tract B), Heritage Marketplace, located at 1700 Unser Blvd. NW, between Hanover Rd. NW and Ladera Dr. NW (“the subject site”) based on the preceding Findings and subject to the following conditions of approval.

CONDITIONS OF APPROVAL – SI-2022-01298

1. The EPC delegates final sign-off authority of this site plan to the Site Plan- Administrative Process as per IDO Section 14-16-6-5(G)(1). The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff planner prior to submitting for building permit.
3. Pedestrian Access:
Pedestrian crossings must comply with design standards and be labeled on site plan.
4. Provide dumpster details.
5. Landscape Plan:
Provide dimensions for all plant beds, distances between trees, etc.
6. Walls and fences:
Provide details of fencing and material type.
7. Lighting:
 - A. Show locations of light poles on the site plan.
 - B. Provide light pole detail indicating height, color, and finish.
 - C. Lighting shall comply with design standards.
8. Signage:
 - A. Signage area calculations shall be provided.

- B. Building mounted signs shall comply with design standards.
 - C. Provide signage details and information.
9. Conditions from PNM:
- H. Applicant will coordinate with PNM regarding any existing easements that have to be revisited and/or new easements that need to be created for any electric facilities as determined by PNM.
 - I. Any existing and/or new PNM easements and facilities need to be reflected on any resulting future Site Plan or Plat.
 - J. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

Leroy Duarte

**Leroy Duarte
Current Planner**

Notice of Decision CC list:

Laurelwood NA, Frank Comfort, laurelwoodna@gmail.com

Laurelwood NA, Dagmar Nelson, nelsondag@aol.com

Westside Coalition of Neighborhood Associations, Rene Horvath, aboard111@gmail.com

Westside Coalition of Neighborhood Associations, Elizabeth Haley, elizabethkayhaley@gmail.com

Parkway NA, Mary Loughran, marykloughran@comcast.net

Parkway NA, Ruben Aleman, m_raleman@yahoo.com

Legal, dking@cabq.gov

EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

No adverse comments

Long Range Planning

Metropolitan Redevelopment

No adverse comments

Transportation Development Review Services

No adverse comments.

CITY ENGINEER

Hydrology

Transportation Development Services

No adverse comments

MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION

No Comments.

POLICE DEPARTMENT/PLANNING

No adverse comments

SOLID WASTE MANAGEMENT DEPARTMENT

Project # PR-2022-007141 SI-2022-01298— Site Plan- Major Amendment- Landscape cannot overhang the proposed trash enclosures, or 37' leading to the trash enclosure. A site plan approved for access approved by the Solid Waste Department will be required. Where will recycle be disposed of?

TRANSIT DEPARTMENT

There is a stop pair for both routes in front of the Verizon Store approximately 1050 feet from the centroid of the site. Necessary pedestrian paths would be completed by this project.

PARKS AND RECREATION

ABC WATER UTILITY AUTHORITY (ABCWUA)

No adverse comment to the major amendment.

For information only:

Statement 220701 covers this project and is currently under review. When issued, it will cover the conditions to receive service.

The proposed waterline relocation shall comply with the Water Authority requirements in the statement this may include moving the line to Unser Boulevard.

ALBUQUERQUE PUBLIC SCHOOLS

1. Project #2022-007141

- a. EPC Description: SI-2022-01298—Site Plan--Major Amendment.
- b. Site Information: Heritage Marketplace, Tract B-1 Plat of Tract B-1.
- c. Site Location: Located on Unser between I-40 and Ladera Dr. NW.

- d. Request Description: To amend current site plan to allow for development of 132 residential units.
- e. APS comments: Residential development at this location will impact the following APS schools: Susie Rayos Marmon Elementary School, Tres Volcanes Collaborative Community K-8 School, and West Mesa High School. At present, West Mesa High School operates at enrollment over capacity and development will be a strain on the school.
- i. Residential Units: **132**
 - ii. Est. Elementary School Students: **34**
 - iii. Est. Middle School Students: **14**
 - iv. Est. High School Students: **15**
 - v. Est. Total # of Students from Project: **63**

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

School Capacity

School	2021-2022 (40th Day) Enrollment	Facility Capacity	Space Available
Susie Rayos Marmon Elementary School	538	660	122
Tres Volcanes Collaborative Community K-8 School	944	1,420	476
West Mesa High School	2,013	1,995	-18

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse comments.

COUNTY OF BERNALILLO

No adverse comments.

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)

PR-2022-007141

MRCOG has no adverse comment.

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

MRMPO has no adverse comments. For information purposes:

-Unser Blvd is functionally classified as a Principal Arterial.

-Unser Blvd is an NMDOT limited access facility. Please refer to the State Access Management Manual (SAMM) or contact Acting District 3 Engineer Rick Padilla at 505-934-0354 or Rick.Padilla@state.nm.us with any questions about access control.

-An existing bike lane and existing paved trail are identified on Unser Blvd in the Long-Range Bikeway System (LRBS).

PUBLIC SERVICE COMPANY OF NEW MEXICO

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No adverse comments.

PNM COMPANY

There are PNM facilities and/or easements around the entire perimeter of the site and within the interior of the site near the western and eastern edges of the site.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat.

Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a ten-foot clear area around them to allow for access and maintenance.

Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Any trees within or near PNM easements including any required Street Trees should comply with IDO Section 5-6(C)(10) as applicable.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

AVIATION DEPARTMENT

KIRTLAND AIR FORCE BASE

No adverse comments.



Figure 1: Sign posting looking north from Unser Blvd. to the subject site.



Figure 2: Looking north from subject site.



Figure 3: Looking south from within subject site.



Figure 4: Looking west from within subject site.



Figure 5: Looking east from within subject site.



Figure 6: Paved trail adjacent to subject site.

HISTORY

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2. The following priority is established for open space requirements in this sector plan and any future submittals of the Westland Development Company: a. the escarpment, b. land above the escarpment, c. additional right-of-way on drainage systems.
3. A revised Sector Development Plan shall be submitted to:
- a. Show the 25 acre property at the southeast corner of Unser Boulevard and Ladera Road zoned SU-1 (Special Use for Neighborhood Commercial and Offices Uses), with not more than 50% of this property to be developed commercially
 - b. Include a bikeway network
 - c. The amount of park land in the sector plan shall be increased to ten acres.
 - d. Provision for public right-of-way access to the 3-acre park site north of Ladera Road shall be provided.
 - e. State that final sign-off on the Sector Development Plan shall be contingent upon approval of drainage plans for this area by the City Engineer and AMAFCA. Possible positive drainage back into the existing Ladera System shall be investigated.
 - f. Show the 93 acre property on the north side of the Plan zoned SU-1 (Special Use for Light Industrial)
 - g. State that only 20 percent of the residential units and the C-1 designated property shall be developed prior to start of construction of the Unser/I-40 interchange
 - h. Indicate that the developer will construct Ladera Drive west of Ouray Road and provide temporary paving for unpaved portions of Ouray Road prior to occupancy of any units.
 - i. Show Ladera Drive within a 100' right-of-way and 72nd, 76th, 80th, Hanover and Juniper Streets with a 86' right-of-way

Revised by Council

Deleted by Council

REPEALED

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

February 18, 2014

Western Albuquerque Land Holdings
1130 Lanes End NW
Albuquerque, NM 87114

Project# 1003275
13EPC-40148 Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

For all or a portion of lot 1-A-1, El Rancho Atrisco Phase III, located on Unser Blvd NW between Hanover Rd NW and Ladera Dr NW containing approximately 19.98 acres.
Staff Planner: Chris Glore

On February 13, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1003275, 13EPC-40148, a request for a Site Development Plan for Subdivision, based on the following Findings and Conditions:

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision for Tract 1-A-1, Plat of Tracts 1-A-1 and I-B-1, El Rancho Atrisco Phase 3, containing approximately 19.98 acres located at the SE Corner of Unser Blvd. NW and Ladera Dr. NW.
2. The request involves design and development standards for Heritage Marketplace development, a mixed commercial, office and residential project. The applicant proposes to re-subdivide the property into two tracts, of which Tract A would be developed with office and/or multi-family residential uses and Tract B with commercial uses.
3. The subject site is located in the Developing Urban Area of the Comprehensive Plan, the Unser/Ladera Neighborhood Center of the West Side Strategic Plan, and the El Rancho Atrisco Phase III Sector Plan. The proposal must comply with the Zoning Regulations and General Regulations of the Zoning Code.

OFFICIAL NOTICE OF DECISION

Project #1003275

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4. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan, and the El Rancho Atrisco Phase III Sector Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The Site Development Plan for Subdivision request **further**s the following Comprehensive Plan policies:

Policy II.B.5.a: Full range of urban land uses. The request would provide urban-scale commercial and office/residential uses within an area with a range of residential density and few commercial uses. The subject property is adjacent to two arterial streets and has good access to the multi-modal transportation system.

Policy II.B.5.d: Development respects neighborhood values, environmental conditions, and scenic resources. The area is currently under-served by neighborhood commercial and service businesses. The SPS design standards would reflect design theme consistent and complimentary to the surrounding development.

Policy II.B.5.e: New growth shall be in areas contiguous to existing or programmed urban facilities and services and neighborhood integrity assured. Urban facilities and services consist of fully developed arterial roadways on two sides of the property, and the full range of utilities within surrounding streets. Project traffic would not need to travel through surrounding neighborhoods.

Policy II.B.5.h: Higher density housing is most appropriate with excellent access to major streets; mixed density pattern; similar or higher density development; and transition. The subject site is within the designated Unser/Ladera Neighborhood Center of the WSSP. The site is surrounded by residential land uses and existing infrastructure is in place. A mixed residential density exists in the surrounding area.

Policy II.B.5.j: Commercial development in centers with pedestrian and bicycle access; intersections of arterial streets and transit. The SPS commercial development would be at the intersection of two arterial streets and within an area of residential development.

Policy II.B.5.l: Quality and innovation in design. The SPS design requirements include the Zoning Code General Building and Site Design Regulations for Non-Residential Uses.

Policy II.B.5.m: Design improves the quality of the visual environment. The SPS would regulate building architecture, lighting, landscaping and signage in compliance with the Zoning Code.

Policy II.B.7.b: Net densities above 30 dwelling units per acre within Major Activity Centers. The site is designated Unser/Ladera Neighborhood Center per the WSSP. The SPS proposes maximum residential density of 30 dwelling units per acre.

Policy II.B.7.f: Intense uses in Activity Centers located away from low-density residential and buffered by a transition area. The subject site is bordered by two arterial roads, and multi-family residential and/or office uses would buffer adjacent lower intensity uses.

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Project #1003275

February 13, 2014

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Policy II.B.7.i: Multi-unit housing appropriate in Neighborhood, Community and Major Activity Centers. The SPS would allow multi-family residential development in a designated Neighborhood Center.

Policy II.C.1.b: Balanced land use/transportation system of housing, employment and services. The request would add commercial, services and housing within an area under-served by commercial and service uses.

Noise Goal: Protect the public health and welfare and quality of life. The multi-family residential and neighborhood-serving commercial uses would not operate at a level of intensity disturbing to surrounding residents.

Policy II.D.4.c: Dwelling units close to Major Transit and Enhanced Transit streets. Unser Blvd. is a designated Express Transit Corridor. The request would allow additional dwelling units along the Transit Corridor.

Policy II.D.6.a: New jobs created convenient to areas of need. The City's west side is deficient in jobs relative to housing. The proposed commercial and office uses would provide jobs on the west side.

6. The Site Development Plan for Subdivision request **partially furthers** the following Comprehensive Plan policies:

Policy II.B.5.i: Employment and service uses located to complement residential areas and minimize adverse effects of noise, lighting, pollution, and traffic. The SPS would be consistent with the intended land uses of a Neighborhood Center. Commercial and office development would be convenient to surrounding residents. A Traffic Impact Study is under review by the NMDOT. Traffic generated by the developments would potentially impact single-family residential from vehicular access at Hanover Rd.

Policy II.B.5.k: Minimize harmful effects of traffic; livability and safety of residential neighborhoods. Unser Blvd. is a Principal Urban Arterial. The SPS proposes multi-direction access to Unser Blvd. which is under State jurisdiction. The proposed access is a concern of City staff, MRCOG and the NMDOT and a concern of the neighborhood.

Policy II.D.4.a: Street design, transit service, and development form consistent with Corridors and Activity Centers. The site is within a Neighborhood Center. Unser Blvd. is a designated Express Transit Corridor. The SPS design standards would be consistent with the Comprehensive Plan Development Form details. The SPS does not propose internal connecting sidewalks leading to public gathering spaces.

7. The Site Development Plan for Subdivision request **further**s the following goals and policies of the West Side Strategic Plan:

Policy 1.1: Develop higher density in Community and Neighborhood Centers, surrounded by lower density.

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Policy 3.8: The highest density in the Community and Neighborhood Centers. Multifamily housing and employment facilities are appropriate with commercial services.

Policy 3.16: Multifamily development and commercial or employment uses are appropriate in the Community or Neighborhood Centers. Mixed-use and multi-modal access shall be incorporated.

Policy 4.6.f: Locate multiple-family residential within Community and Neighborhood Centers and allow higher density so they serve as transit hubs.

Policy 4.10: Promote and establish land uses and urban patterns whose design support bicycle and pedestrian travel, and public transportation.

Higher density residential and commercial development on the site would be within a designated Neighborhood Center. The SPS proposes a mix of commercial, office and multi-family residential development up to 30 dwelling units per acre. The development would be adjacent to Arterial roadways (Unser Blvd. and Ladera Dr.), a regional trail and two ABQ Ride express transit lines

Policy 1.9: In the Established and Developing Urban areas neighborhood and community centers may be developed at appropriate locations.

Policy 1.16: Neighborhood Centers on collector and arterial streets. Primary access by auto, with pedestrian and bicycle connections to adjacent neighborhoods.

The site is within a Neighborhood Center and would be accessed from a Collector street (Market St.) and Arterial streets (Unser Blvd. and Ladera Dr.) The development would provide sidewalk connections to the Unser Blvd. trail and to surrounding single family residential neighborhoods.

Policy 1.17: Encourage public services, parks, retail and commercial services in Activity Centers. There are no public facilities proposed. Retail and service uses and offices would be on a site within a Neighborhood Center.

Policy 3.23: Location of commercial services, multifamily development, and public facilities to reduce trips to Coors Boulevard and provide easier access. The development would increase retail and service businesses and would allow multi-family residential development on property in a Neighborhood Center west of Coors Blvd.

Policy 6.23: Require trail access to the regional trail network, through the Community Centers, Employment Centers, Neighborhood Centers, and parks and open space. The SPS would require buildings to be linked via sidewalk to the Unser Blvd. trail and to existing sidewalks.

8. The Site Development Plan for Subdivision request **partially furthers** the following goals and policies of the West Side Strategic Plan:

Policy 1.15: Neighborhood Centers shall contain scale accommodating to pedestrians and bicyclists, including outdoor seating. Shared parking is proposed. The SPS does not commit to outdoor spaces for gathering aside from restaurant outdoor space.

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Policy 1.5: Community and Neighborhood Centers shall provide pedestrian/bicycle access to key activity areas. The SPS design standards require linking building entrances to the Unser Blvd. trail, however, there is not sufficient detail regarding access within parking lots and between buildings.

Policy 4.6.g: Commercial developments accessible by transit locate buildings adjacent to street frontages and parking to the rear or sides. The development would provide shopping and housing options for potential transit users. The location of buildings relative to street frontage and parking lots is not addressed by the SPS.

Policy 4.6.h: Limit parking spaces to 10% above Code requirements and provide safe, attractive, and efficient routes to streets and transit. The SPS references the Zoning Code for parking minimums and does not impose maximum parking. Through-site access is not addressed in the SPS.

Policy 6.25: Internal bicycle/pedestrian trails link to the primary trails network. Demonstrate connectivity of trails. The SPS design standards do not provide detail as to how internal pedestrian access would be accomplished.

9. The SPS proposed land uses are consistent with the El Rancho Atrisco Phase III Sector Plan designation for the subject site of Planned Office Park and Commercial Development – Not More Than 50% To Be Developed Commercially. Proposed uses including residential are consistent with the C-1 Zone.
10. At the Facilitated Meeting on January 28, 2014 Neighborhood Association members expressed concerns regarding the proposed vehicle access on Unser Blvd., potential multi-family residential development, and pedestrian and bicycle access.
11. The applicant requests delegation of approval authority Site Development Plan for Building Permit applications to the DRB.

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code and all other applicable design regulations, except as specifically approved by the EPC.

OFFICIAL NOTICE OF DECISION

Project #1003275

February 13, 2014

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4. Future development on the site will require EPC review of a Site Development Plan for Building Permit.
5. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
6. The section of Unser Blvd referenced in the SPS is under the jurisdiction of the New Mexico Department of Transportation (NMDOT). Prior to DRB approval of any Site Development Plan for Building Permit, NMDOT shall have determined whether or not the requested access points on Unser Blvd. will be allowed, and if allowed the access request shall have been approved through the MRCOG Transportation Coordinating Committee process.
7. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the *Development Process Manual* and current ADA criteria.
8. New median cuts must be requested in writing to the Traffic Engineer, Development & Review Services. The construction of appropriate left turn lanes must be included with any new median cuts.
9. Access points must meet DPM's minimum distances from intersections. Proposed access 'H' must provide minimum of 100 ft. setback and proposed access 'G' must be a minimum of 200 ft. setback from projected intersecting flow lines.
10. Concurrent Platting Action required at Development Review Board (DRB).
11. A cross access easement and shared parking agreement shall be part of the platting process.
12. The text "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area" shall be added to Design Standards, Section 3 Landscape and Section 5 Signage, to demonstrate that the signs and landscaping will not interfere with the sight distance of the entrances.
13. Revise Site Plan sheet 1, under Building Heights and Setbacks, to delete the first two sentences and replace with the following: "Maximum building heights for all buildings shall be per the SU-1 zone."
14. Revise Design Standards sheet 2, under Architecture, to delete 4.C.2 in its entirety and replace the first sentence of 4.C.1 with the following: "Maximum building heights for all buildings shall be per the SU-1 zone."
15. The design of access to Unser Blvd. shall demonstrate consistency with AASHTO guidelines for bicycle safety.

OFFICIAL NOTICE OF DECISION

Project #1003275

February 13, 2014

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APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **FEBRUARY 28, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

Suzanne Lubar
Planning Director

OFFICIAL NOTICE OF DECISION

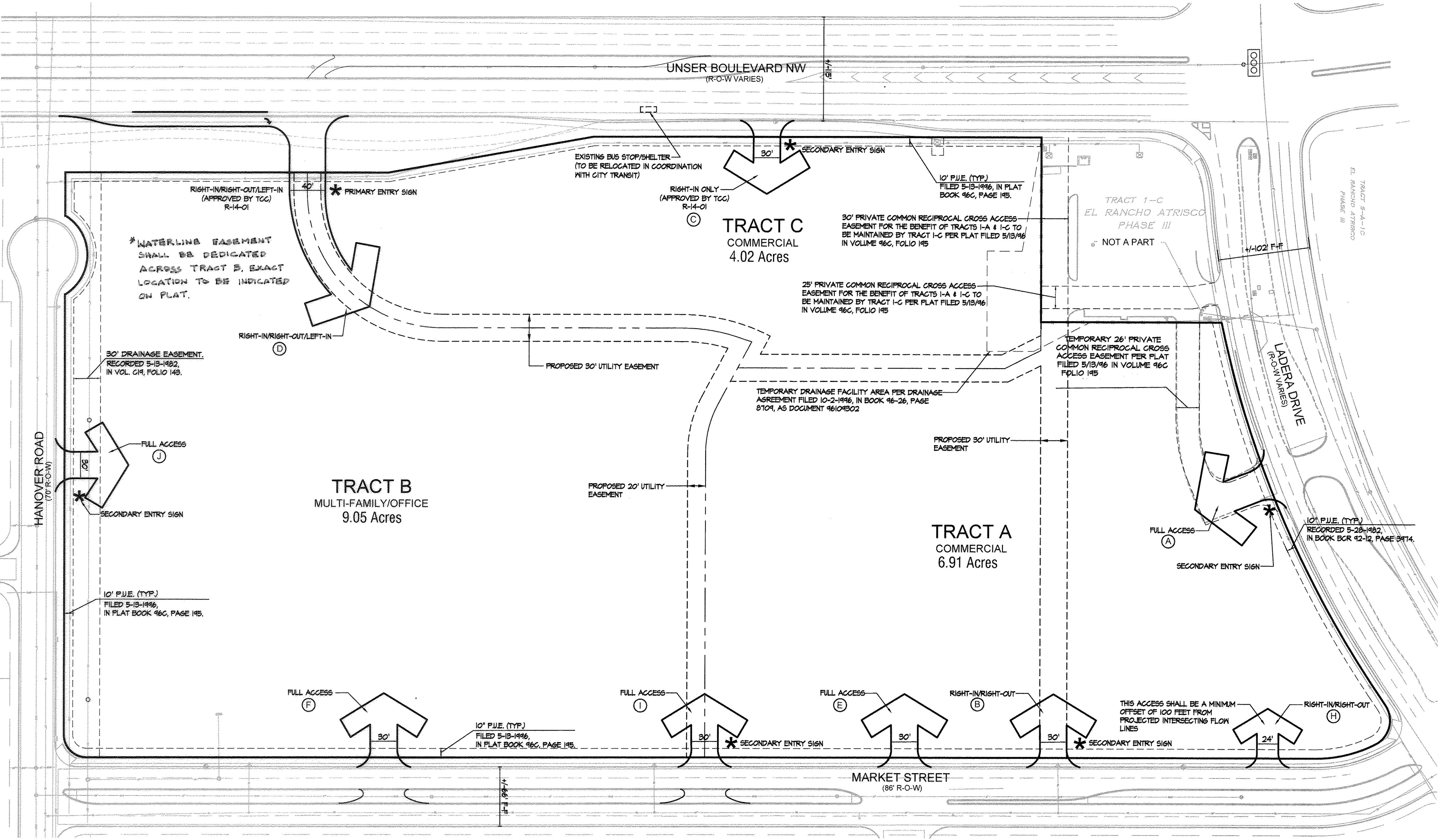
Project #1003275

February 13, 2014

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SL/CG/mc

cc: Steve Collins, 7517 Vista Alegre NW, Albuquerque NM 87120
Sharise McCannon, 2808 El Tesoro Escondido NW, Albuquerque NM 87120
Mary Loughran, 8015 Fallbrook NW, Albuquerque NM 87120
James Larkin, 7304 Inwood NW, Albuquerque NM 87120
John Vrabec, 7721 Pinewood Dr. NW, Albuquerque NM 87120
Thomas Borst, 1908 Selway Pl. NW, Albuquerque NM 87120
Jason Stone, 1136 Makian Pl. NW, Albuquerque NM 87120
Candelaria Patterson, 7608 Elderwood NW, Albuquerque NM 87120
Harry Hendrickson, 10592 Rio del Sol Ct. NW, Albuquerque NM 87120
Jerry Worrall, 1039 Pinatubo Pl. NW, Albuquerque, NM 87120



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The Site consists of approximately 20 acres. The property is bounded on the west by Unser Boulevard, to the north by Ladera Drive, to the east by Market Street, and to the south by Hanover Road. There is an existing out parcel at the southeast corner of Unser Boulevard and Ladera Drive developed with a gas station and convenience store.

ZONING AND PROPOSED USE:
The Site is zoned SU-2 /SU-1 Special Use for Neighborhood Commercial and Office Uses within the El Rancho Atrisco Phase III Sector Development Plan (1981). The site is a designated neighborhood activity center in the West Side Strategic Plan.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-22 of the Comprehensive City Zoning Code. Activities allowed on the site must correspond to those enumerated in the C-1 Neighborhood Commercial zone and office uses.

A maximum of 50 percent (12.5 acres) of the original 25-acre site as referenced on Sheet 5 of the El Rancho Atrisco Phase III Sector Development Plan that is eligible for development with retail and service-type uses consistent with those of the C-1 zone. The existing gas station and convenience store located on Lot 1C (.85 acres) toward the northwest corner of the original 25-acre site is considered "commercial development". As such, an additional 11.65 acres - may be developed with commercial uses pursuant to the C-1 zone.

The remaining area of the property can be developed with office or residential uses, or a combination thereof. Residential development on this portion shall be regulated by Section 14-16-2-16(A)(7) of the Comprehensive City Zoning Code.

APPLICABLE PLANS:
City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I); West Side Strategic Plan (Rank II); and the El Rancho Atrisco Phase III Sector Development Plan (Rank III).

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The proposed development has access to adjacent streets on all four sides of the property. Limited access to Unser Boulevard (a limited access principal arterial) has been approved by the Transportation Coordinating Committee of the Metropolitan Transportation Board of the Mid-Region Council of Governments (R-14-01 TCC). Access includes a right-in, right-out, and left-in access (approximately 1,040 feet south of Ladera) and an additional right-in access (approximately 529 feet south of Ladera) to serve the proposed development. There are existing access points on the north side of the property to Ladera Drive that remain. Additional access is shown on Ladera Drive, Market Street, and Hanover Road. Final design and location of these access points will be determined by future Site Development Plans for Building Permit. New median cuts must be requested in writing to the Traffic Engineer, Development and Review Services. The construction of appropriate left turn lanes must be included with any new median cuts.

Transit - The property is currently served by two existing bus routes; 92 Taylor Ranch Express and 94 Unser Express. Both routes have a bus stop adjacent to the subject property. Route 92 also travels along Ladera Boulevard adjacent to the site and existing bus stops are east of Market Street. Unser and I-40 are designated Express Transit Corridors.

Bicycle Facilities - Unser Boulevard has on-street bike lanes and an off-street multi-use trail on the east side of the street. The Unser Trail connects to the I-40 Regional Trail that runs along the north side of Interstate 40.

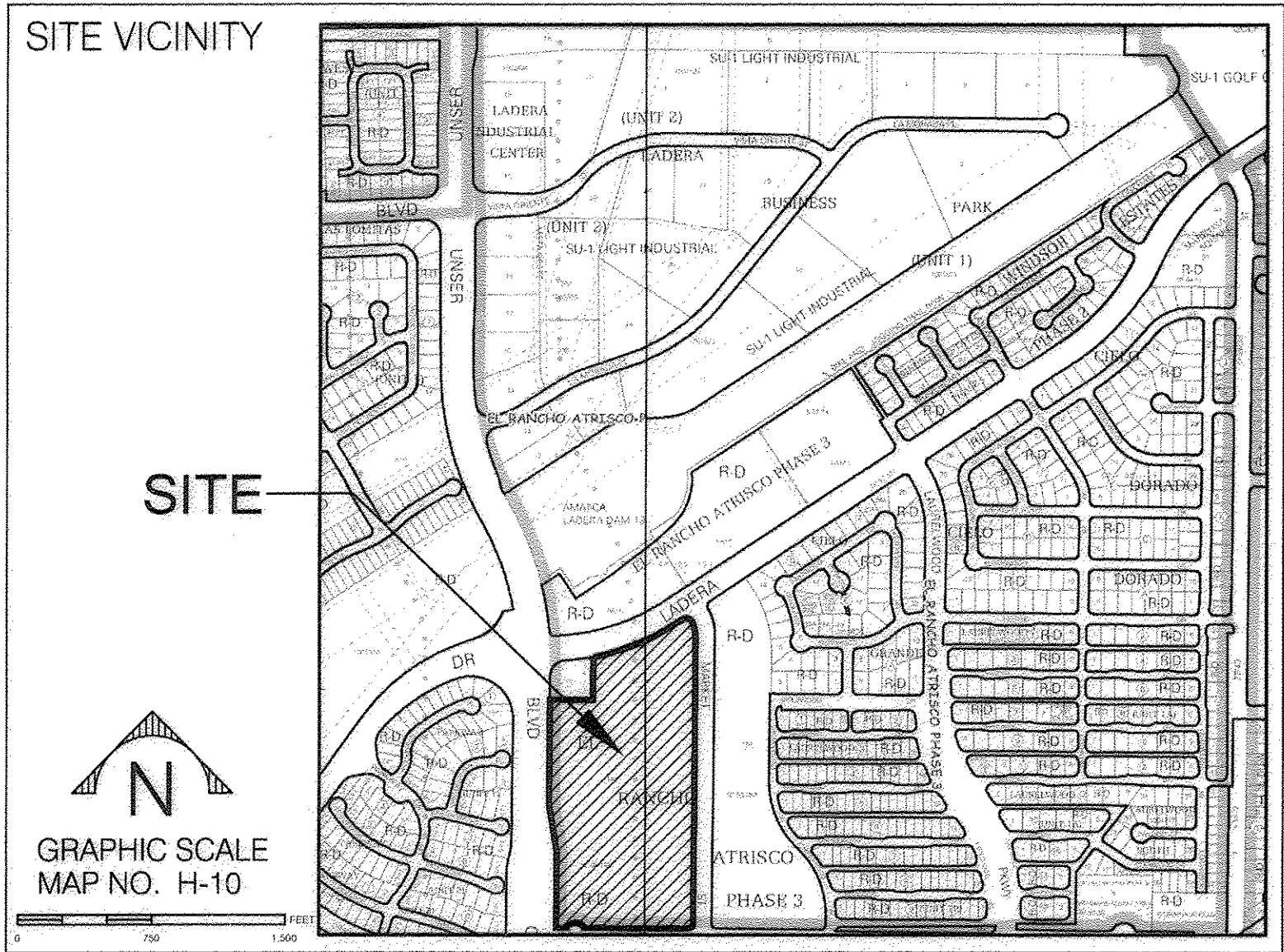
Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits.

BUILDING HEIGHTS AND SETBACKS:
Maximum building heights for all buildings shall be per the SU-1 zone. Setbacks shall be as provided in the O-1 and R-3 zones as enumerated in the Comprehensive City Zoning Code. Specific design restrictions for new residential shall be as provided in the C-2 zone (specific to Activity Centers and Transit Corridors).

MAXIMUM FAR/DENSITY:
Commercial buildings shall not exceed a maximum FAR of .30. Residential shall be as provided in the C-2 Zone and shall have a minimum FAR of .3 and a maximum density of 30 dwelling units per acre.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Standards (Sheet 2).

Notes:
1. A cross access easement and shared parking agreement shall be part of the platting process at DRB. Future development on the site will require EPC review of the Site Development Plan for Building Permit(s).
2. Stormwater control measures shall be designed to manage the first flush and control runoff generated by contributing impervious surfaces.



PROJECT NUMBER: 1003275
Application Number: 13EPC-40148

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated February 13, 2014 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

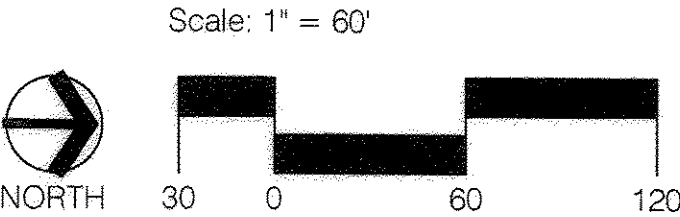
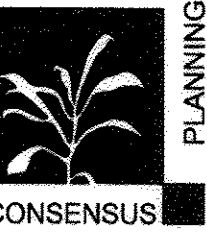
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
	12-10-14
Traffic Engineering, Transportation Division	Date
	12-10-14
ABCWUA	Date
	12-10-14
Parks and Recreation Department	Date
	12-10-14
City Engineer	Date
	12-10-14
Solid Waste Management	Date
	12-10-14
DRB Chairperson, Planning Department	Date

HERITAGE MARKETPLACE

SITE PLAN FOR SUBDIVISION

Prepared For:
Garrett Development Corporation
1130 Lanes End NW
Albuquerque, NM 87114

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



HERITAGE MARKETPLACE
DESIGN STANDARDS

These Design Standards are intended to provide guidance to designers in understanding the vision and devel-
opment goals for the property. These standards address the issues of landscape, setbacks, pedestrian ame-
nities, screening, lighting, signage, and architecture that will create the visual image desired for the Heritage
Marketplace for both non-residential and multi-family residential projects.

Subsequent Site Development Plans for Building Permits shall be consistent with the design standards estab-
lished by this Site Development Plan for Subdivision and shall be delegated to the Development Review Board.
Minor amendments to this Site Development Plan for Subdivision shall be approved administratively by the
Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special
Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

Unless otherwise noted, the following Design Standards shall apply to all commercial and residential projects:

1. LAND USE

- 1. Permissive land uses for Heritage Marketplace are per the C-1 Zone. As such, residential uses permis-
sive in the R-3 are allowed per Section (A) (7); however, there shall be no single-family houses allowed
at Heritage Marketplace.
- 2. Residential use shall achieve a maximum density of 30 dwelling units per acre and a minimum floor
area ratio (FAR) of .30.

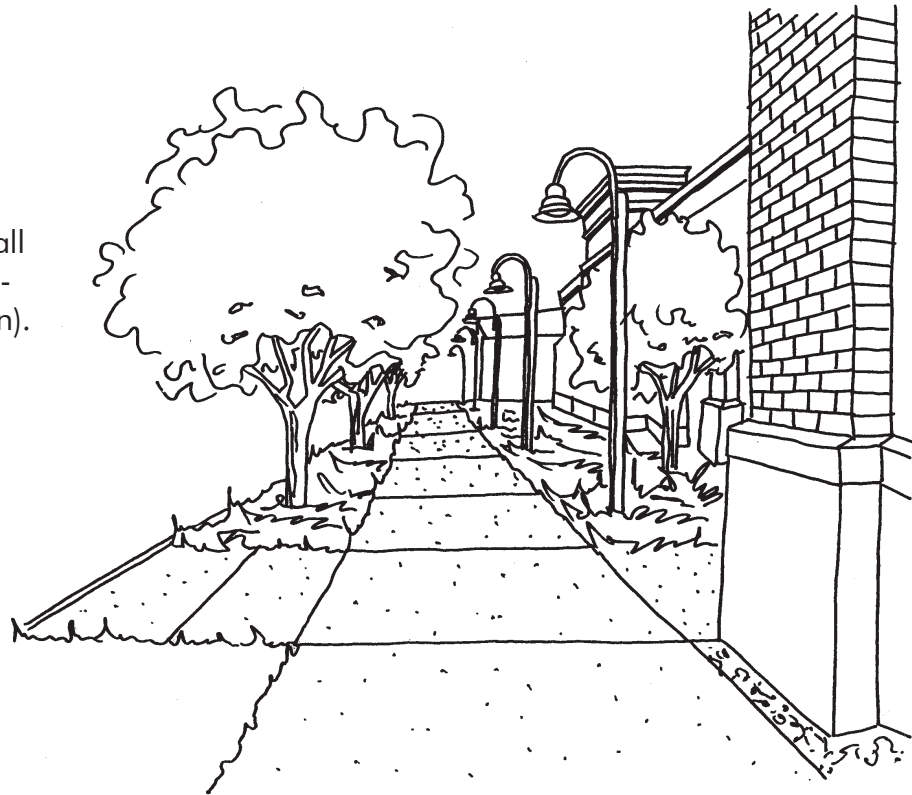
2. SITE PLANNING

A. MINIMUM BUILDING SETBACKS

- 1. Unser and Ladera Boulevards: 20 feet
- 2. Market Street: 10 feet
- 3. Internal roads: 10 feet
- 4. Internal side yards: 5 feet

B. SIDEWALKS / WALKWAYS

- 1. A minimum of one ADA route will be
provided to the principal entrance at all
buildings (see Americans with Disabili-
ties Act Criteria for Barrier-Free Design).
- 2. Pedestrian crossings, 6 feet in width,
shall have a contrasting color and
surface from the adjacent pavement
where they cross vehicular entrances
and drive aisles.
- 3. Buildings shall be linked to public
sidewalks and the Unser Boule-
vard Trail via six foot sidewalks.



Illustrative Shaded Walkways

C. PARKING

- GENERAL
- 1. All off-street parking areas shall be designed in accordance with the City Comprehensive Zoning
Code, Section 14-16-3-1 Off-Street Parking Regulations, including provisions for accessible parking,
except as provided below.
 - 2. In order to lessen the visual impact of parking areas, parking fields shall be broken up into a series of
smaller areas in order to lessen the visual impact of parking areas through the use of landscape and
pedestrian areas, buildings, and/or plazas.
 - 3. Parking for all commercial tenants will be shared. A cross access easement and shared parking
agreement shall be part of the platting process.
 - 4. Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces
and should connect to adjacent roadways, parking areas, sidewalks, and pathways.
 - 5. Sidewalks connections linking public sidewalks to buildings shall be shaded with trees spaced at 25
feet on center, in accordance with the City Comprehensive Zoning Code, Section 14-16-3-1 Off-
Street Parking Regulations.
 - 6. Parking lots adjacent to and at grade with public streets shall be screened with either an earthen
berm, evergreen landscaping, or wall or combination at a minimum height of 30 inches and maxi-
mum height of 36 inches. Screen walls, if used, shall be consistent with materials and colors of the
buildings.

COMMERCIAL

- 7. Secure bicycle storage racks shall be located near building entrances. The minimum number of bi-
cycle racks shall be determined by the number of parking spaces provided, consistent with the City
Zoning Code.

RESIDENTIAL

- 8. One vehicular parking space per unit.
- 9. On street parking credit is allowed in accordance with the C-1 zone.
- 10. One bicycle space per every two units.

D. OUTDOOR SPACES

Outdoor spaces should be designed with consideration towards sun and wind exposure, and pedestrian and
visual accessibility.

GENERAL

- 1. Site amenities, such as benches, trash receptacles, and lighting, shall be compatible with the architec-
tural and landscape treatments on each commercial pad or residential site.

COMMERCIAL

- 2. Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide
outdoor patios with a minimum size of 200 square feet for restaurants up to 4,000 square feet, and a
minimum size of 300 square feet for restaurants larger than 4,000 square feet.
- 3. Outdoor patios shall be shaded either by trees and/or a shade structure that is architecturally integrat-
ed with building architecture.

3. LANDSCAPE

The landscape environment is intended to enhance the aesthetics of the development, aid in reinforcing the
street edge and pedestrian environment, and provide a welcoming retreat from sun exposure and glare.

GENERAL

- 1. Landscape plans shall comply with Section 14-16-3-10 Landscaping Regulations Applicable to Apart-
ment and Nonresidential Development of the Comprehensive City Zoning Code and the Water Con-
servation Ordinance and Pollen Ordinance with regard to plant species, installed sizes and quantities,
landscape area, and irrigation systems.
- 2. Street trees shall be provided along public rights-of-way with either even spacing or in random clus-
ters. The spacing of evenly spaced street trees shall be no greater than the diameter of the street tree
canopy at full maturity (i.e., smaller trees require closer spacing than larger trees). Where street trees
are randomly clustered, the number of street trees shall be equal to or exceed the number required
if trees were evenly spaced; however, gaps between randomly spaced street trees that exceed 80 feet
are prohibited.
- 3. A fully automated irrigation system shall be installed as part of the landscaping for all commercial
pad sites and multi-family development. The system shall be designed to avoid overspraying walks,
buildings, fences, etc.
- 4. Gravel, colored rock, and similar mulch materials are acceptable as a top dressing for landscape
areas, however, they shall not be considered a focal landscape element.
- 5. Steel, brick, or equivalent landscape headers shall be used to separate any turf and shrub / ground-
cover areas.
- 6. Timing of Installation. All landscaping must be completed no later than two months after completion
of construction of the site improvements.
- 7. Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls,
trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be accept-
able in this area.

4. ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the structures to be built
within Heritage Marketplace. While all of the buildings will reflect these standards, it is not the intent of these
design standards to prohibit a certain amount of individual expression and creativity. The use of various ar-
chitectural details and materials shall be consistent when used on various elevations.

A. GENERAL

- 1. Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design
Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local
building and fire codes.
- 2. Generic franchise architecture is prohibited.
- 3. No freestanding cell towers or antennas are allowed; antenna shall be integrated with the building
architecture.

B. BUILDING ORIENTATION

- 1. Building elements such as windows, displays, and entries shall be oriented to pedestrian connections
and public areas.

C. BUILDING HEIGHT

- 1. Maximum building height for all buildings shall be per the SU-1 zone. Architectural accents such as
towers and entry elements may extend above the maximum parapet height. The maximum height of
a pitched roof building shall be based on the average height between the plate and ridge.
- 2. Maximum building height for multi-family residential is per the R-3 zone.

D. BUILDING MASSING AND ARTICULATION

- 1. Residential and non-residential buildings shall be articulated with a variety of massing changes both
in plan and elevation to relate the buildings to the scale of pedestrians.
- 2. Non-residential uses shall be horizontally connected in a variety of ways, such as the use of arcades
or portals, controlled plaza elements, pavement, and sitting areas.
- 3. All sloped roof lines must overhang a minimum of 3 feet and provide appropriate detailing either with
rafter tails or cornices.
- 4. Major facades (greater than 100 feet in length) shall break up building mass in conformance with
Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses. In addi-
tion, all front facades less than 100 feet in length shall be subject to the same requirements as stated
in the preceding sentence, except the frequency of wall plane projections or recesses of at least 2 feet
in depth shall occur every 50 feet and shall extend at least 25% of the length of the facade.
- 5. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breeze-
ways, and soffits shall be dimensioned and detailed to provide a human scale and visual interest.
- 6. Entryways shall be clearly defined by the use of awnings, canopy, or inset, and shall be lighted.
- 7. Awnings are permitted above window areas on non-residential and residential buildings.
 - a. Commercial awnings with painted or embossed corporate logos or signage are permitted pro-
vided the area when added to all other wall signage does not exceed the allowable sign area of
building wall.
 - b. Illumination of commercial awnings shall be from pendant mounted fixtures located above the
awning. Accent colors on awnings shall be compatible with the general color palette.
 - c. No plastic or vinyl awnings or canopies are allowed.
- 8. Entries shall be clearly defined and connect to pedestrian linkages.
- 9. The use of contrasting colors between roofs and walls shall be used to further differentiate the planes
of building masses.
- 10. Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

E. BUILDING MATERIALS

All of the exterior materials and colors employed in the future construction of buildings and improvements for
shall be of a consistent color and material palette.

- 1. The primary building finish material shall be stucco. Manufactured stone and brick veneer shall be
used as an accent feature and be a consistent color style and typical throughout Heritage Market-
place. The stone veneer shall not comprise more than 20% of the exterior construction.
- 2. Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling or siding, except accents for trim and minor elements are allowed

F. BUILDING COLORS

- 1. Primary - The wall colors shall be earth tones, light tans, browns, and reds, with an accent veneer of
either manufactured brick or stone. Each building pallette shall be consistent in tonal quality with other
buildings within the project.
- 2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim,
awnings, fascias, and other traditional southwestern architectural features. Colors allowed are typical
southwestern colors of earth tones, white, green, red, blue, and brown ranges.

G. ROOF MATERIALS AND COLORS

- 1. Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materi-
als. Roof tile color shall be terra-cotta blend.

H. COLUMNS

- 1. The following are appropriate column forms:
 - Square stucco
 - Round stucco
 - Masonry
 - Round classical with smooth shafts in Doric or simple contemporary order
- 2. The following shall not be allowed:
 - Corinthian
 - Ionic
 - Tuscan
 - Egyptian

5. SIGNAGE

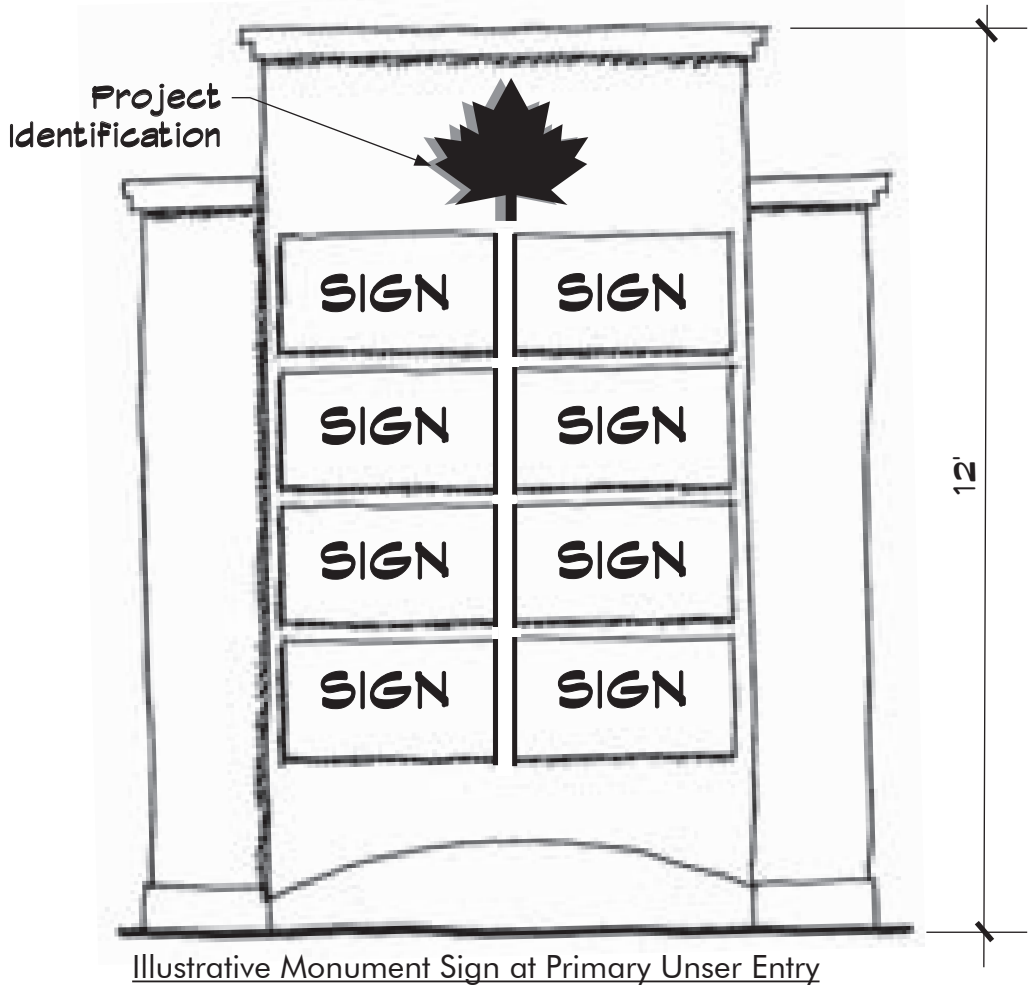
The following signage standards were developed to regulate the size, location, type, and quality of sign ele-
ments within Heritage Marketplace. The goal is to provide a signage program that is of high quality, main-
tains a consistent style, creates a sense of arrival, and complements the visual character of the property.

GENERAL

- 1. All signage shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Compre-
hensive City Zoning Code and the Unser Boulevard Design Overlay Zone requirements unless other-
wise noted herein.
- 2. Banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday sea-
son or special thematic events); brashly colored signs with moving or flashing lights; signs which are
animated in any manner; or portable signs are prohibited.
- 3. Off-premise signs are prohibited.
- 4. No sign may overhang a right-of-way or property line, or intrude upon any architectural features,
including windows, columns, mouldings, or any decorative features.

FREESTANDING SIGNS - COMMERCIAL and RESIDENTIAL

- 5. Signage at the project entries shall be coordinated in appearance (i.e., proportions, color, material,
text height and style, etc.) and shall be internally lit.
- 6. For Unser Boulevard: one 12-foot tall
project monument sign, 75 square
feet in sign area, is allowed at the
primary entry to Heritage Market-
place and one 10-foot tall project
monument sign, 50 square feet in
sign area, is allowed at the secondary
entry.
- 7. For Ladera Boulevard and Hanover:
one 10-foot tall project monument
sign, 50 square feet in sign area, is
allowed on each street frontage.
- 8. For Market Street: two 10-foot tall
project monument signs, 50 square
feet in sign area, are allowed.
- 9. There is no limit on the number of
panels within each project monument
sign.
- 10. Each commercial building pad is
permitted to have one 30 square
foot monument sign adjacent to the
internal site drive.



Illustrative Monument Sign at Primary Unser Entry

WALL-MOUNTED SIGNS - COMMERCIAL and RESIDENTIAL

- 11. One wall-mounted sign shall be permitted per commercial facade, per business. The sign area shall
not exceed 6 percent of each building facade.
- 12. For buildings with multiple commercial tenants, the sign area for individual tenants shall be based on
the portion of the facade directly related to that tenant.
- 13. All wall-mounted signs on commercial buildings shall be individual type lettering. The following types
of letters are acceptable:
 - Type 1: Opaque lettering indirectly illuminated by goose neck type lighting;
 - Type 2: Channel letters internally illuminated with letter sides to match letter face colors;
 - Type 3: Same as 2 except halo lit; and
 - Type 4: halo lit letters cut out of solid metal background spaced off the face of the building.
- Can type signs are prohibited. Any logos associated with a specific tenant shall be non-illuminated.
- 14. Wall-mounted signs shall not project more than 1 foot. All canopy and marquee signs shall be in-
cluded in the total area count allowed for all signs.
- 15. Signs perpendicular to an elevation shall only occur under an awning or canopy / portal and shall
not be more than eight square feet. These signs may not project past the overhang.
- 16. Each residential building shall be allowed to include building identification signage (e.g., address or
building number). Individual type lettering shall be required.

6. WALLS

- 1. All walls shall comply with Section 14-16-3-19 General Height and Design Regulations for Walls,
Fences, and Retaining Walls of the Comprehensive City Zoning Code.
- 2. Any site walls shall be constructed of materials which match the predominant material of the building
to which they are adjacent.

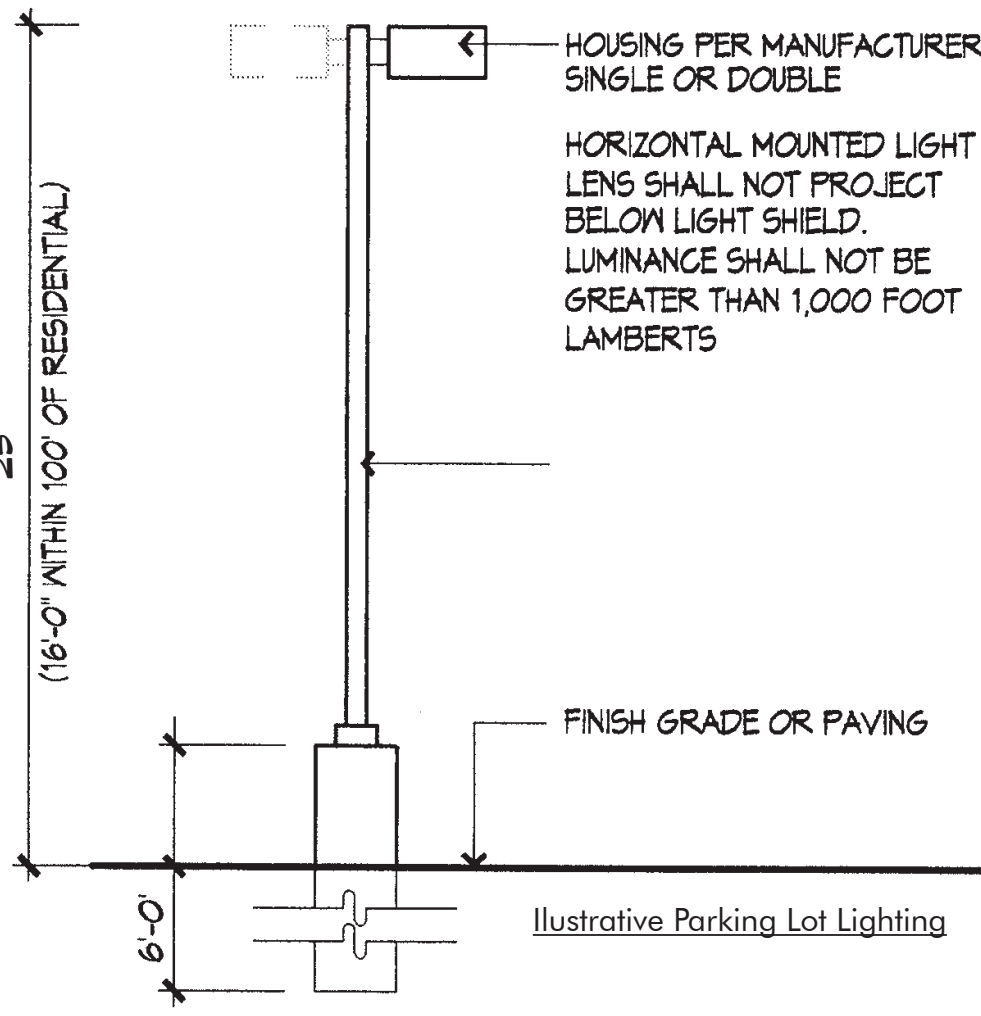
- 3. Except for screen walls that shield equipment and operations in loading areas, no site walls shall ex-
ceed 6 feet in height. Site walls shall be constructed of cast stone, brick, masonry finished with stucco,
or combination thereof, with the finish materials to match the predominant material of the building.

7. SCREENING

- 1. No refuse enclosures shall be oriented towards Unser Boulevard or Ladera Drive.
- 2. Loading areas, exterior storage yards and refuse containers shall be fully screened from public view
by an enclosure. Materials used for the enclosure shall be compatible with the building materials and
architecture.
- 3. Roof mounted mechanical equipment shall be visually screened from public right-of-way when view-
ing from ground level by the use of parapets or other structural or architectural features.
- 4. The use of chain link, barbed wire, or wood fencing is prohibited.

8. LIGHTING

- 1. All lighting shall comply with
Section 14-16-3-9, Area
Lighting Regulations of the
Comprehensive City Zoning
Code. Placement of fixtures
and standards shall conform
to state and local safety and
illumination standards.
- 2. All lights shall be shielded
source with glare cut off an-
gles to prevent spillage onto
adjoining properties or light
pollution of the existing "dark
sky". Cobra and sodium lights
are prohibited.
- 3. Individual site lighting stan-
dards shall blend with the
architectural character of the
buildings and other site fix-
tures.
- 4. The location of light fixtures
shall be identified on subse-
quent Site Plans for Building
Permits. The maximum height
for pedestrian scale lights shall be 16 feet. The maximum height for parking lot lights shall be a maxi-
mum of 25 feet.



9. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utili-
ties and equipment should be minimized by the following:

- 1. On-site utilities, including electrical, telephone, and communication wires and equipment shall be
installed and maintained underground.
- 2. Where feasible, transformers, utility pads, cable TV, and telephone boxes shall be located out of view
from public rights-of-way or visually screened with vegetation, fences, or walls. Screening shall be
designed to allow for access to utility facilities.
- 3. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow
10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three
sides for safe operation, maintenance, and repair purposes. Refer to PNM Electric Service Guide at
www.pnm.com for specifications.
- 4. Developers shall contact PNM's New Service Delivery Department to coordinate electric service to
avoid potential delays in meeting in-service target dates. Any existing or proposed public utility ease-
ments shall be indicated on subsequent Site Plan utility sheets. PNM's standard for electric distribution
public utility easements is 10 feet in order to ensure adequate and safe clearances.
- 5. When an above-ground backflow prevention device is required by the City of Albuquerque, the heat-
ed enclosure shall be constructed of materials compatible with the architectural materials used as the
main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropri-
ately screened from view by walls and/or landscaping.
- 6. Alleys and interior parking courts may be used for dry utilities and sewer, wherever practical.
- 7. All roof-mounted equipment shall be screened from public view by materials of the same nature as
the basic materials of the building.
- 8. Freestanding cellular antenna and cell towers are prohibited. Antennas shall be integrated with build-
ings, light poles, existing utility structures and other public facilities.

HERITAGE
MARKETPLACE

SITE PLAN FOR SUBDIVISION

Prepared For:
Garrett Development Corporation
1130 Lanes End NW
Albuquerque, NM 87114

Prepared By:
Consensus Planning, Inc.



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

October 27, 2014
Sheet 2 of 3

ZONING

Please refer to IDO Section 14-16-2-4(B) for the MX-L Zone District

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Keystone Homes		Phone: 602.568.9723
Address: 7550 E. McDonald Dr. Suite G		Email: jbelfiore@keystonehomesaz.com
City: Scottsdale	State: AZ	Zip: 85250
Professional/Agent (if any): Consensus Planning		Phone: 505.764.9801
Address: 302 8th Street NW		Email: cp@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Purchaser		List all owners: Bernco Investors Inc.

BRIEF DESCRIPTION OF REQUEST

Site plan amendment to reduce multi-family units from 230 apartments to approximately 129 townhomes.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract B-1	Block:	Unit:
Subdivision/Addition: Heritage Marketplace	MRGCD Map No.:	UPC Code: 100905952600140105
Zone Atlas Page(s): H-09-Z	Existing Zoning: MX-L	Proposed Zoning: MX-L
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 9.05 Acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 1700 Unser Blvd NW	Between: I-40	and: Ladera Drive NW
---	---------------	----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1003275, Z-81-49, PR-2018-005826, and 13-EPC-40148

Signature:	Date: 07-07-2022
Printed Name: Shawna Ballay	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☐ **SITE PLAN – EPC**☐ **MASTER DEVELOPMENT PLAN**☒ **MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**☐ **EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

☒ Interpreter Needed for Hearing? No if yes, indicate language: _____

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Signed Traffic Impact Study (TIS) Form

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

NA ☐ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

☒ Completed neighborhood meeting request form(s)

☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(1)

☒ Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

☒ Completed Site Plan Checklist

☒ Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only)

NA ☐ Site Plan or Master Development Plan

NA ☐ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)


NA ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.

NA ☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☐ **VARIANCE – EPC**

— In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <u>Shawna Ballay</u>	Date: <u>07/07/2022</u>
Printed Name: <u>SHAWNA BALLAY</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Shawna Ballay 07/07/22
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Legend
- ☒ 6. Scaled vicinity map
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing and proposed easements (identify each)
- ☒ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ☒ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ☒ B. Square footage of each structure
- ☒ C. Proposed use of each structure
- ☒ D. Signs (freestanding) and other improvements
- ☒ E. Walls, fences, and screening: indicate height, length, color and materials
- ☒ F. Dimensions of all principal site elements or typical dimensions
- ☒ G. Loading facilities
- ☒ H. Site lighting (indicate height & fixture type)
- ☒ I. Indicate structures within 20 feet of site
- ☒ J. Elevation drawing of refuse container and enclosure, if applicable.
- ☒ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
 - ☒ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ☒ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ☒ 3. On street parking spaces
- ☒ B. Bicycle parking & facilities
 - ☒ 1. Bicycle racks – location and detail
 - ☒ 2. Other bicycle facilities, if applicable
- ☒ C. Vehicular Circulation (Refer to DPM and IDO)
 - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
 - ☒ 2. Drive aisle locations, including width and curve radii dimensions
 - ☒ 3. End aisle locations, including width and curve radii dimensions
 - ☒ 4. Location & orientation of refuse enclosure, with dimensions
 - ☒ 5. Loading, service area, and refuse service locations and dimensions
- ☒ D. Pedestrian Circulation
 - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ 3. Location and description of amenities, including patios, benches, tables, etc.
- ☒ NA E. Off-Street Loading
 - ☒ NA 1. Location and dimensions of all off-street loading areas
- ☒ NA F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ☒ NA 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ☒ NA 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ☒ NA 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ☒ A. Locate and identify adjacent public and private streets and alleys.
 - ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ☒ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ☒ NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - ☒ 4. Identify existing and proposed medians and median cuts
 - ☒ 5. Sidewalk widths and locations, existing and proposed
 - ☒ NA 6. Location of street lights
 - ☒ 7. Show and dimension clear sight triangle at each site access point
 - ☒ NA 8. Show location of all existing driveways fronting and near the subject site.
- ☒ B. Identify Alternate transportation facilities within site or adjacent to site
 - ☒ 1. Bikeways and bike-related facilities
 - ☒ 2. Pedestrian trails and linkages
 - ☒ NA 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ☒ NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☒ A. Existing, indicating whether it is to be preserved or removed.
 - ☒ B. Proposed, to be established for general landscaping.
 - ☒ C. Proposed, to be established for screening/buffering.
- ☐ 8. Describe irrigation system – Phase I & II . . .
- ☐ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☐ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☐ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☒ B. Distribution lines
- ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ☒ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

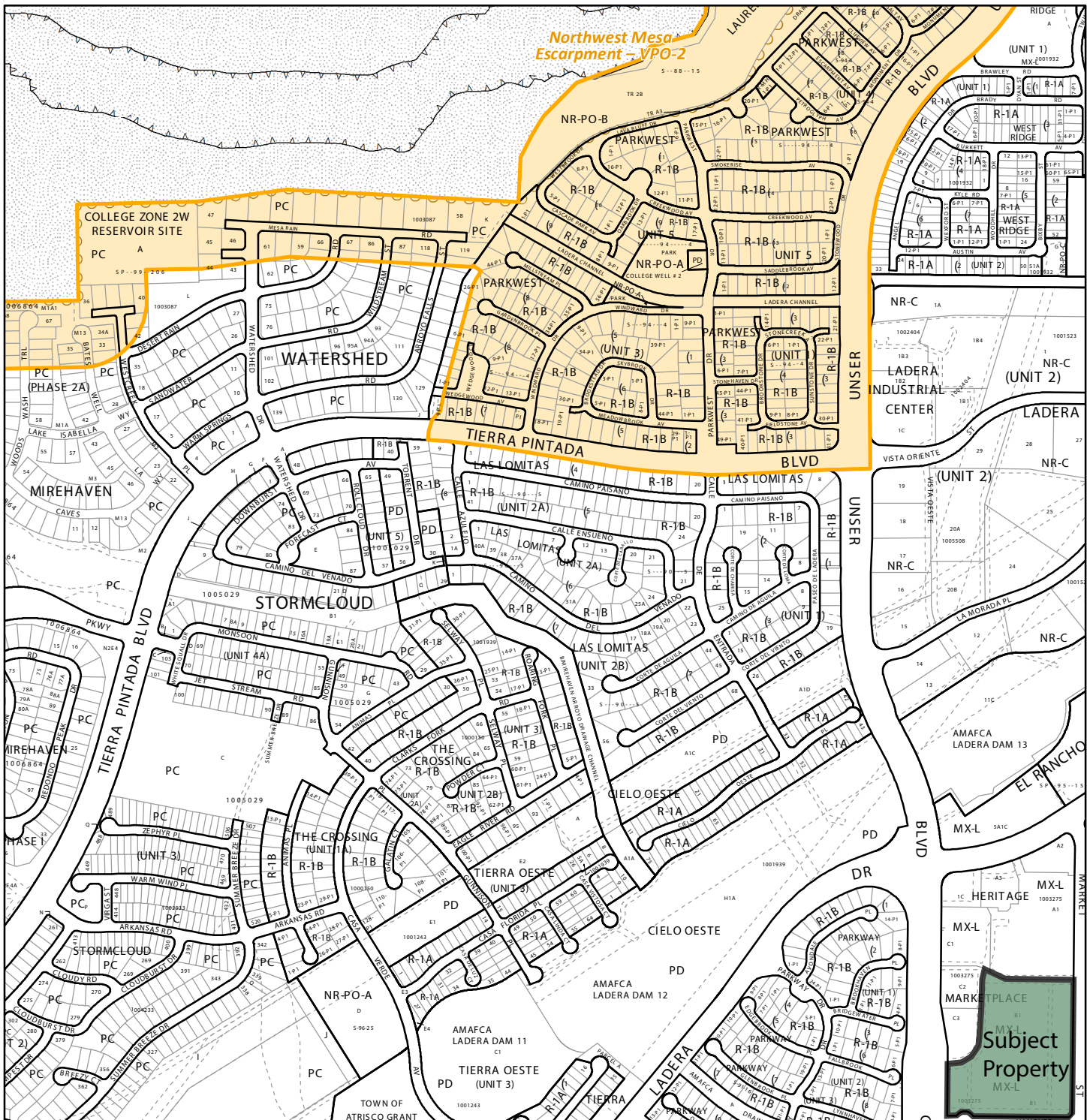
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ☒ A. Scale
- ☒ B. Bar Scale
- ☒ C. Detailed Building Elevations for each facade
 - ☒ 1. Identify facade orientation
 - ☒ 2. Dimensions of facade elements, including overall height and width
 - ☒ 3. Location, material and colors of windows, doors and framing
 - ☒ 4. Materials and colors of all building elements and structures
 - ☒ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage


- ☒ 1. Site location(s)
- ☐ 2. Sign elevations to scale
- ☐ 3. Dimensions, including height and width
- ☐ 4. Sign face area - dimensions and square footage clearly indicated
- ☐ 5. Lighting
- ☐ 6. Materials and colors for sign face and structural elements.
- ☒ 7. List the sign restrictions per the IDO **PER SITE PLAN FOR SUBDIVISION**



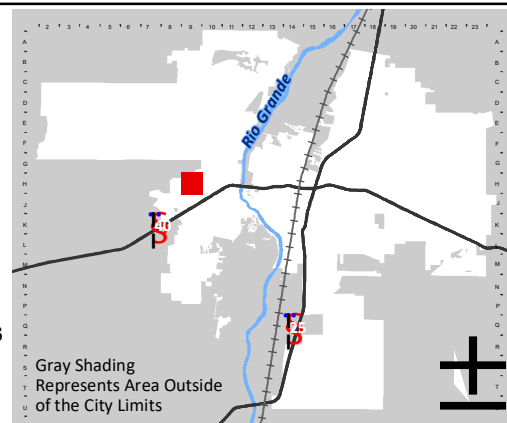
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
H-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



June 23, 2022

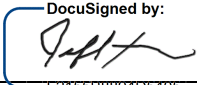
Timothy J. MacEachen, Chairperson
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: EPC – Site Plan Major Amendment
1700 Unser Boulevard NW

Dear Mr. Serrano,

As the applicant for the referenced property, I hereby authorize Consensus Planning Inc. to act as my agent to provide entitlement services for the purposes related to an EPC – Site Plan Major Amendment for the property legally described as *“TRACT B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE) CONTAINING 9.05 ACRES”*. Entitlement services shall include, but not be limited to general correspondence, representation before the Environmental Planning Commission (EPC), Development Review Board (DRB) and all application submittals.

Sincerely,
Jim Belfiore

Signature:  _____
Printed Name: Jeff King _____
Title: Vice President _____

Bernco Investors LLC
6900 E. Camelback Road
Suite 607
Scottsdale, AZ 85251-8044

June 23, 2022


Timothy J. MacEachen, Chairperson
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

RE: EPC – Site Plan Major Amendment
1700 Unser Boulevard NW

Dear Mr. Serrano,

As the owner for the referenced property, I hereby authorize Consensus Planning Inc. to act as the agent to provide entitlement services for the purposes related to an EPC – Site Plan Major Amendment for the property legally described as *“TRACT B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE) CONTAINING 9.05 ACRES”*. Entitlement services shall include, but not be limited to general correspondence, representation before the Environmental Planning Commission (EPC), Development Review Board (DRB) and all application submittals.

Sincerely,
Jeff Garrett

Signature: 

Printed Name: Jeff Garrett

Title: Manager



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
August 21, 2013

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Case Number(s):

Agent:	Consensus Planning, Inc.
Applicant:	Western Albuquerque Land Holdings, LLC
Legal Description:	Tract 1A1, Plat of Tracts 1A1 & 1B1, El Rancho Atrisco Phase 3
Zoning:	R-D
Acreage:	19.98 acres
Zone Atlas Page:	H-09

CERTIFICATE OF NO EFFECT: Yes X No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION: A Cultural Resource Survey of Approximately 20 Acres near the intersection of Ladera Drive and Unser Boulevard in Albuquerque, Bernalillo County, New Mexico, prepared by Gary Funkhouser and R. Stanley Kerr, (Marron & Associates, Toni Goar P.I.; NMCRIS #128219), August, 2013

SITE VISIT: N/A

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref 0-07-72 Section 4B(1)-- no significant sites in project area)***

NOTE: One site identified—LA 157788, a post WW 2 trash dump determined to be not eligible for National Register listing.

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Keystone Market Street Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: H-9-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-1 Plat of Tract B-1 Heritage Marketplace

City Address: 1700 Unser Blvd NW, Albuquerque, NM 87120

Applicant: Keystone Homes Contact: Chris Hundelt

Address: 7550 E. McDonald Dr, Suite G, Scottsdale, AZ 85250

Phone#: 602-999-7471 Fax#: _____ E-mail: chundelt@keystonehomesaz.com

Development Information

Build out/Implementation Year: 2023 Current/Proposed Zoning: MX-L

Project Type: New: (x) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: (x) Office: () Retail: () Mixed-Use: ()

Describe development and Uses:

Development of a vacant tract of land into a residential attached multi-family town home site with 129 units.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 2,100 SF Community Facility

Number of Residential Units: 129

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* 63 (AM Total), 76 (PM Total)

Driveway(s) Located on: Hanover Rd NW, Private Road internal to site (west side of Tract B)

Adjacent Roadway(s) Posted Speed:	<u>Hanover Rd NW</u>	<u>25 MPH</u>
	<u>Market St NW</u>	<u>30 MPH</u>
	<u>Unser Blvd NW</u>	<u>45 MPH</u>

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Unser Blvd - Commuter Corridor - Principal Arterial
Market St - Local Road
Hanover Rd - Local Road
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City (Market St, Hanover Rd), NMDOT (Unser Blvd)

Adjacent Roadway(s) Traffic Volume: 29,115 Volume-to-Capacity Ratio: AM = 0.25-0.50 (Unser Blvd)
PM = 0.5-0.75 (Unser Blvd)
(if applicable)

Adjacent Transit Service(s): Bus Route 92 & 94 Nearest Transit Stop(s): Bus Route 92 & 94

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing Paved Multi-Use Trail - Unser Blvd
Existing Designated Bike Lane in Street - Unser Blvd
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Unser Blvd - Existing Paved Multi-Use Trail
Market Street - Existing Sidewalk
Hanover Street - Proposed Sidewalk

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:

 P.E.

6/9/2022

TRAFFIC ENGINEER

DATE

Submittal

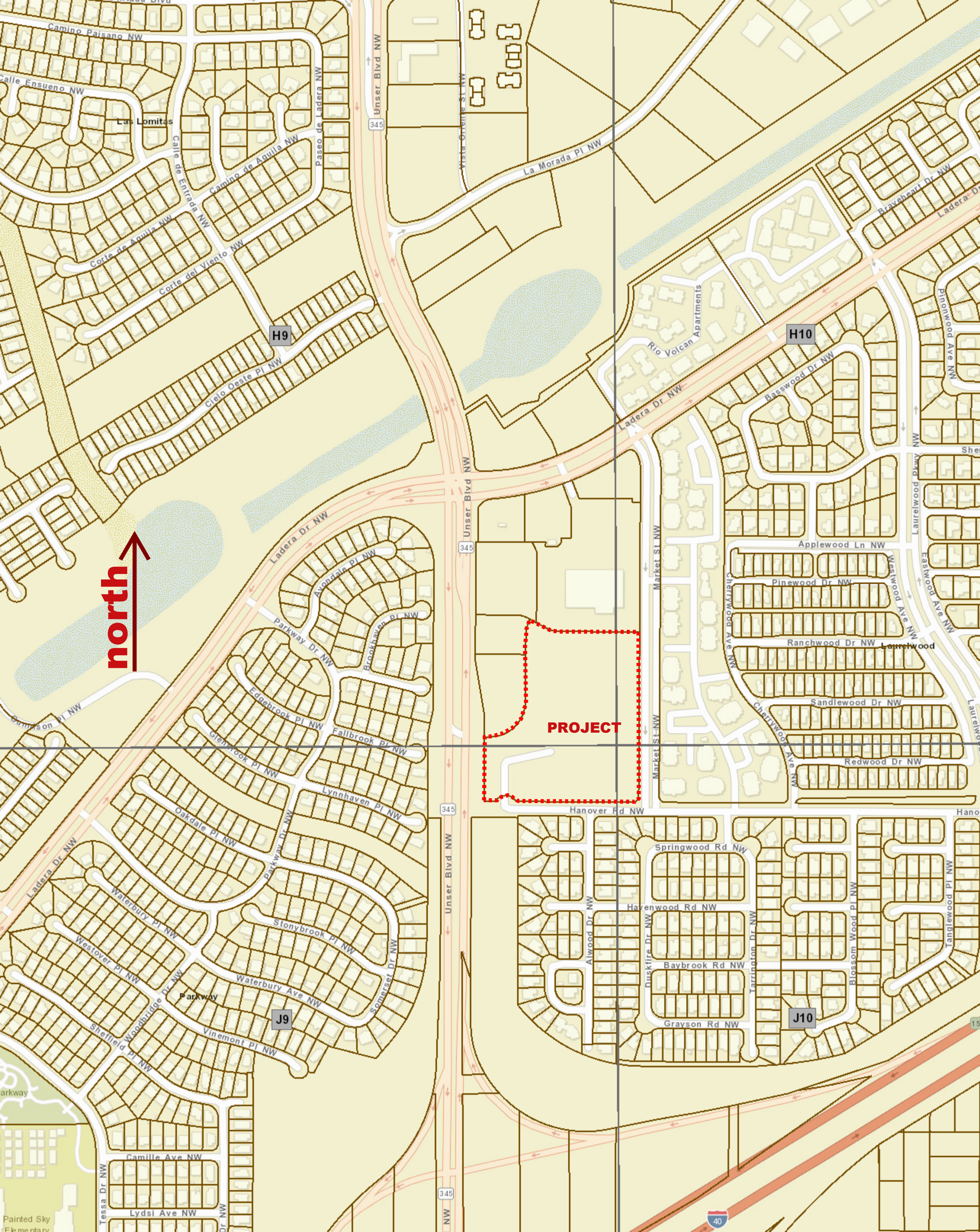
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.



north

PROJECT

H9

H10

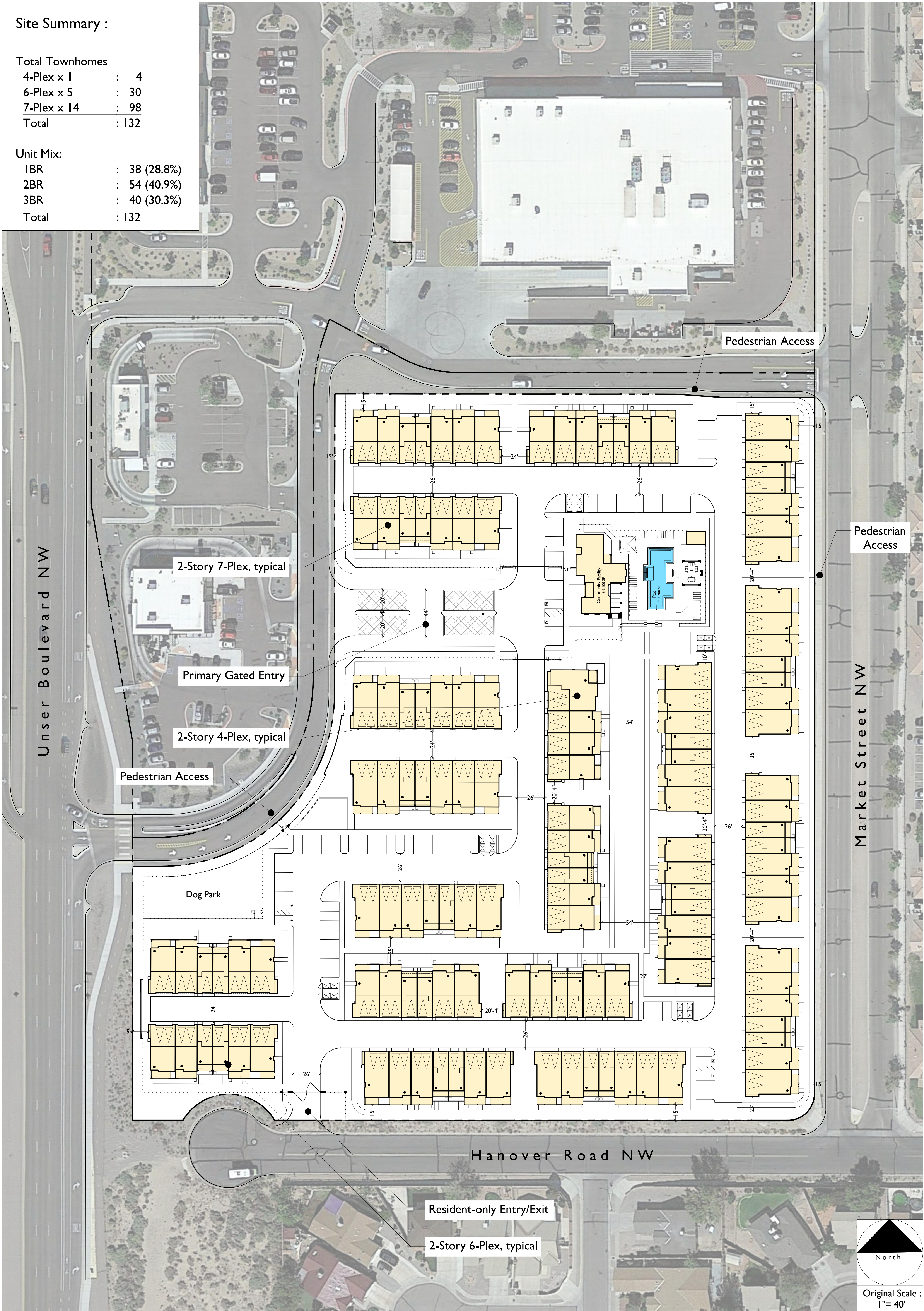
J9

J10

Site Summary :

Total Townhomes	
4-Plex x 1	: 4
6-Plex x 5	: 30
7-Plex x 14	: 98
Total	: 132

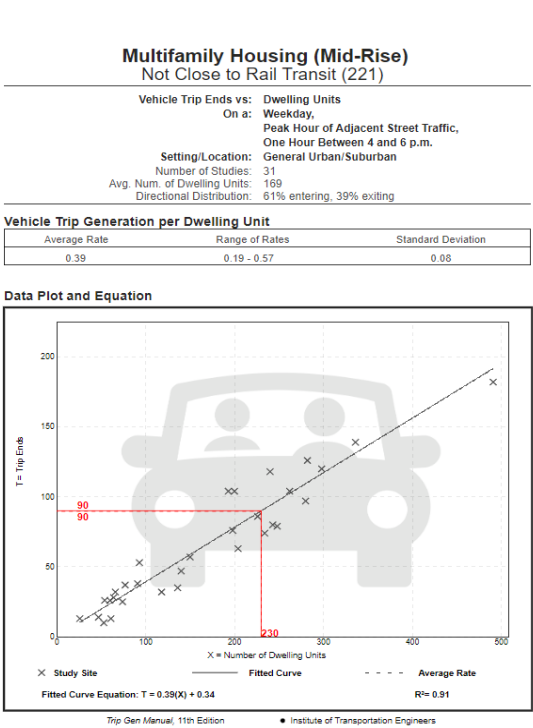
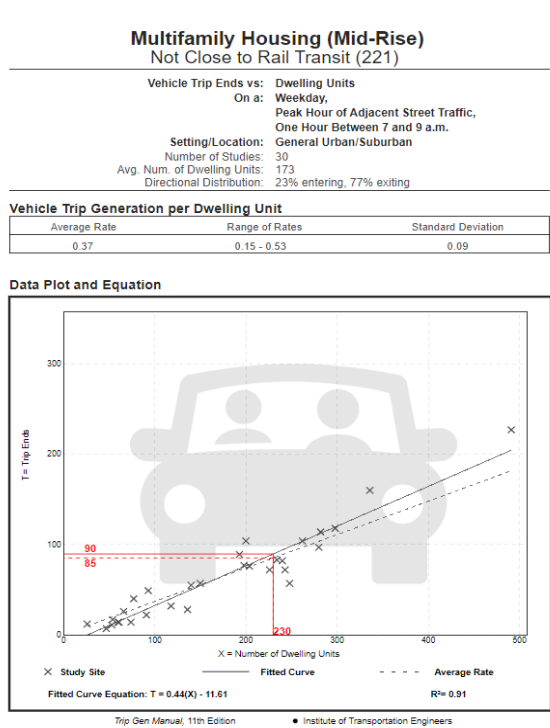
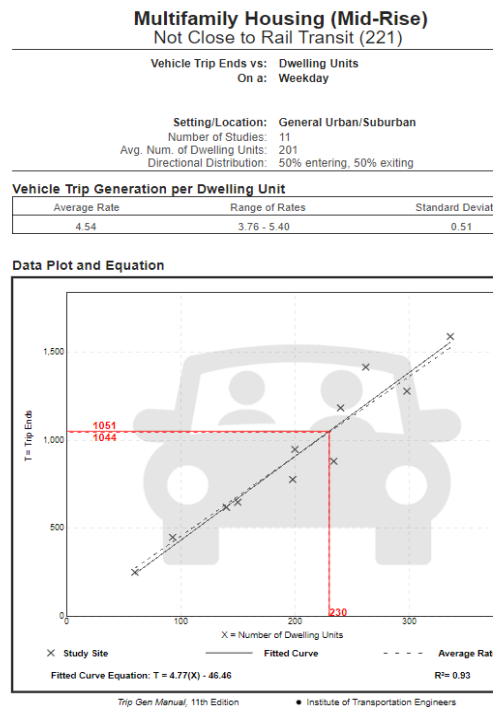
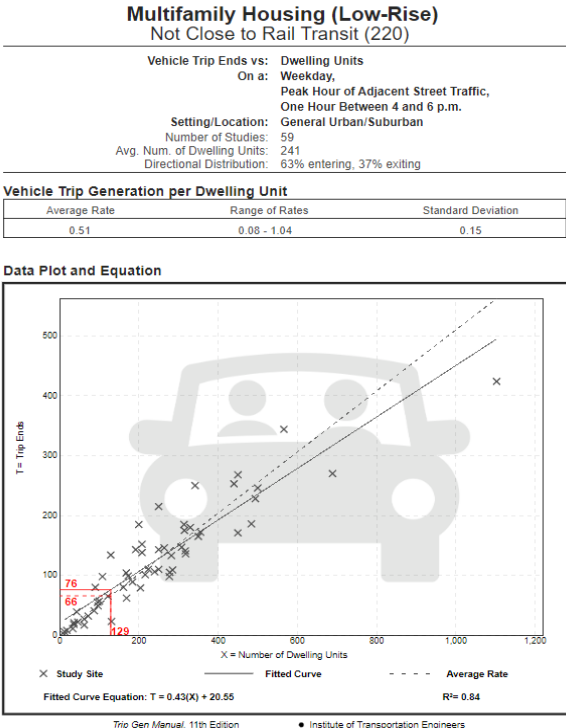
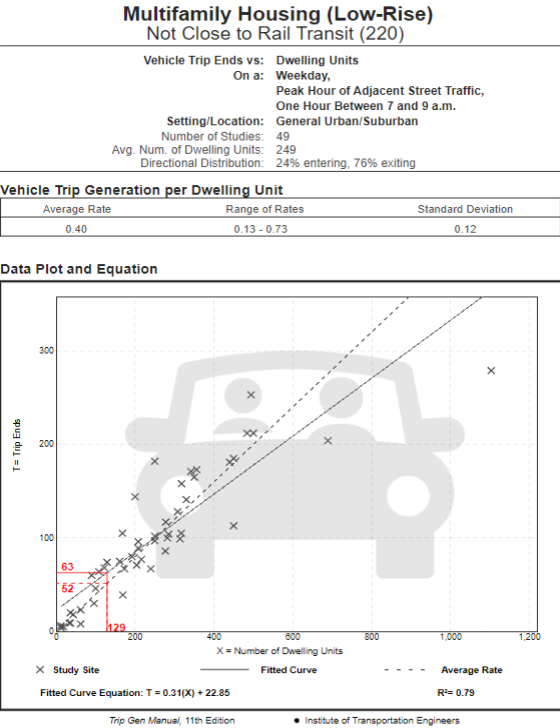
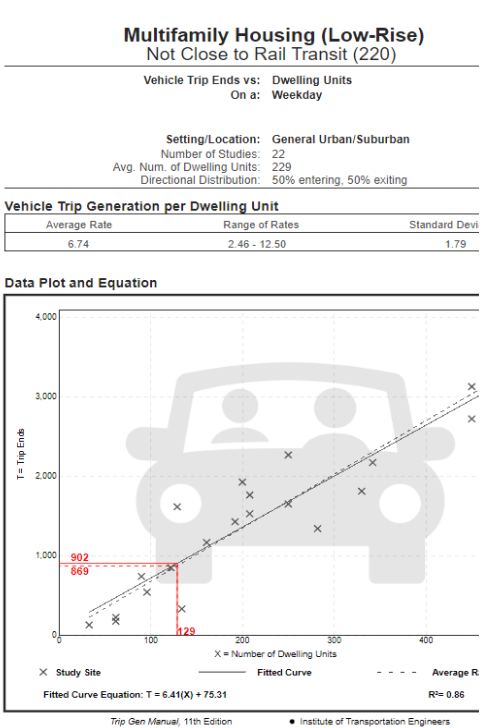
Unit Mix:	
1BR	: 38 (28.8%)
2BR	: 54 (40.9%)
3BR	: 40 (30.3%)
Total	: 132



Keystone Homes - Heritage Marketplace
Trip Generation Data (ITE Trip Generation Manual - 11th Edition)

	USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION	GROSS	ENTER	EXIT	ENTER	EXIT	
Summary Sheet		Units					
	Multifamily Housing (Low-Rise)	129	902	15	48	48	28
	Multifamily Housing (Mid-Rise)	230	1,044	21	69	55	35

- 1 New Site Plan
- 2 Old Site Plan (2015 EPC Case)



Keystone Homes - Heritage Marketplace
Trip Generation Data (ITE Trip Generation Manual - 11th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR	
	GROSS	ENTER	EXIT	ENTER	EXIT

Units

Multifamily Housing (Low-Rise)**129**

Dwelling Units

902	15	48	48	28
-----	----	----	----	----

ITE Trip Generation Equations:

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = \frac{6.41}{50\%} (X) + \frac{75.31}{50\%} \text{ Enter, Exit}$$

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$T = \frac{0.31}{24\%} (X) + \frac{22.85}{76\%} \text{ Enter, Exit}$$

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$T = \frac{0.43}{63\%} (X) + \frac{20.55}{37\%} \text{ Enter, Exit}$$

Comments:

Tract No.

Based on ITE Trip Generation Manual - 11th Edition

Keystone Homes - Heritage Marketplace
Trip Generation Data (ITE Trip Generation Manual - 11th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR	
	GROSS	ENTER	EXIT	ENTER	EXIT

Units

Multifamily Housing (Mid-Rise)**230**

Dwelling Units

1,044	21	69	55	35
-------	----	----	----	----

ITE Trip Generation Equations:

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = \frac{4.54}{50\%} (X) + \frac{0}{50\%} \text{ Exit}$$

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$T = \frac{0.44}{23\%} (X) + \frac{-11.61}{77\%} \text{ Exit}$$

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$T = \frac{0.39}{61\%} (X) + \frac{0}{39\%} \text{ Exit}$$

Comments:

Tract No.

Based on ITE Trip Generation Manual - 11th Edition

DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION
David G. Gutierrez, PE, Senior Engineer | 505-924-3695 dggutierrez@cabq.gov

DRB Project Number: 2022-007141 Hearing Date: 06-15-2022
Project: 1700 UNSER BLVD NW Agenda Item No: 3

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology will need an approved grading and drainage plan completed by a New Mexico registered professional Civil Engineer for the proposed site plan.
- Additional infrastructure may be required for the site drainage and will be determined during the review of the grading and drainage plan.

RESOLUTION/COMMENTS:

Water:

Code Enforcement:

Parks:

Transportation:

Planning:

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____



**Development Review Board (DRB)
Review Comments
Utility Development Section
Reviewer: Kristopher Cadena, P.E.
Phone: 505.289.3301**

DRB Project No: PR-2022-007141	Date: 6/15/2022	Item No: #3
Zone Atlas Page: H-09	Legal Description: Lot(s) TRACT B-1, HERITAGE MARKETPLACE Location: 1700 UNSER BLVD NW between I-40 AND LADERA DR NW between I-40 and LADERA DR NW	
Request For: PS-2022-00090 – SKETCH PLAT		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Will the development consist of one single property or multiple platted properties? Per Water Authority ordinances, each legally platted property shall have separate water and sanitary sewer services.
2. Please provide a utility plan. Is each townhome proposed to receive separate service for water and sanitary sewer?
3. Based on the determination of separate lots, public infrastructure may be required.
4. Request an availability statement. An executed availability statement is required prior to approval. The request shall be specific and indicate if the property will be subdivided or only one single lot.
5. Any required public infrastructure shall be included on an infrastructure list.
6. If public waterline and sanitary sewer infrastructure is required onsite, public water and sanitary sewer easements will also be required.
7. For information only.
 - a. The property is within the Adopted Service Area.

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@cabq.gov

DATE: 6/15/2022

AGENDA ITEM NO: 3

DRB PROJECT NUMBER:

PR-2022-007141

PS-2022-00090 – SKETCH PLAT

PROJECT NAME:

CONSENSUS PLANNING | SHAWNA BALLAY agent for KEYSTONE HOMES requests the aforementioned action(s) for all or a portion of: TRACT B-1, HERITAGE MARKETPLACE zoned MX-L, located at 1700 UNSER BLVD NW between I-40 and LADERA DR NW between I-40 and LADERA DR NW containing approximately 9.05 acre(s). (H-09)

PROPERTY OWNERS: BERNCO INVESTORS LLC

REQUEST: REDUCE MULTI-FAMILY UNITS FROM 230 APARTMENTS TO APPROXIMATELY 129 TOWNHOMES

COMMENTS:

1. Property is zoned MX-L, Mixed-Use Low Intensity Zone, and must meet all dimensional standards as per IDO section 5-1(D) Table 5-1-2.
2. Townhouses are a permissive use as per IDO Table 4-2-1, with the stipulation that townhouse use shall follow the Use Specific standards as per IDO section 4-3(B)(5).
3. Property is within the Heritage Marketplace Subdivision, but may have been excluded from the Heritage Marketplace Subdivision Design Standards, as per the Site Plan for the Subdivision submitted in DRB Case #1003275, 10/27/2014. This is not clear from case records, and needs to be confirmed if subject to those standards. If so, any adjustment would be subject to Amendment of the approved plan.
4. Future development must meet all requirements as noted above, and specific design requirements of the IDO as outlined in multiple sections of IDO 14-16-5, Development Standards, as well as the DPM or other applicable adopted City regulations.
5. CE has no further comment or objections.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 007141
Market and Hanover

AGENDA ITEM NO: 3

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Hanover Road and Market Street shall require a minimum 5-foot wide sidewalk along the frontage.
2. A minimum of 2 access points shall be required for the proposed townhomes. Seek Fire Marshall approval for the layout. (Keep in mind that access to Unser Blvd. is restricted.)
3. Submit for a Traffic Circulation Layout review. Follow all applicable standards in the IDO and DPM. If providing a site plan to DRB, a conceptual TCL is required for approval prior to DRB submittal. A second TCL submittal is required prior to building permit to incorporate necessary details.
4. The minimum radius for a turnaround should be provided for Hanover Road per the new DPM requirements.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.
Transportation Development
505-924-3991 or jwolfenbarger@cabq.gov

DATE: June 15, 2022

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT REVIEW BOARD

Planning - Case Comments

HEARING DATE: 6/15/22 -- **AGENDA ITEM:** #3

Project Number: PR-2022-007141

Application Number: PS-2022-00090

Project Name: 1700 Unser – Heritage Marketplace

Request:

Sketch Plat..

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning.
Utility signatures, AMAFCA signatures and DXF File approval from AGIS will be required for the Preliminary and/or Final Plat actions. Those signatures must be obtained and included with all submittals prior to the acceptance of that application and the placement on a DRB agenda.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
- The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items on Form S or P as a part of the application process and obtain the required signatures.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions. Re-plating action cannot increase any existing nonconformity or create a new nonconformity.

**(See additional comments on next page)*

- Future development must meet all applicable standards and provisions of the previous approved Site Plans. Changes to any previously approved Site Plan may require minor/major amendments to that plan.
Where silent, development must meet standards and provisions of IDO and the DPM.
- Clarification will be needed on the proposed use, Townhome or Multifamily. Separate standards and requirements will apply to each.
- For a Townhome development please reference the following IDO sections:
 - 4-3-B-5 Townhome Use Specific Standards.
 - 5-1 Dimension Standards for MX-M.
 - 5-3-C-3-B Access & Connectivity.
 - 5-5 Parking & Loading, table 5-5-1. 5-5-D Motorcycle, 5-5-E Bicycle.
 - 5-7 Walls/Fences
 - 5-11-C Building and façade design.
 - 7-1 Development and Dwelling definitions.
- For Multifamily development please reference the following IDO sections:
 - 4-3-B-7 Multifamily Use Specific Standard.
 - Please note subsection (b) allows more area for native grasses.
 - 5-1 Dimensional Standards for MX-M.
 - 5-5 Parking & Loading, table 5-5-1. 5-5-D Motorcycle, 5-5-E Bicycle.
 - 5-7 Walls/Fences
 - 5-9 Neighborhood Edges, R-1 to the South.
 - 5-11-D Building and façade design.
 - 7-1 Development and Dwelling definitions.
- A Sensitive Lands Analysis is required if the site has not been graded.
- Any Site Plans for multi-family projects greater than 50 units require a Climatic/Geographic Responsive Analysis until the new IDO amendments become effective (approx. July 2022).
- The applicant asserts that the Sketch Plat proposal is to reduce multi-family units from 230 apartments to 129 townhomes. Staff was unable to find a previous Site Plan approval for the 230 apartments but did find a Site Plan for Subdivision which includes the site (Heritage Marketplace Site Plan for Subdivision). A Site Plan Amendment might be required for the proposed development. Further research and determination needs to be made regarding the next step for a possible Site Plan Amendment.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb/Jay Rodenbeck
Planning Department

DATE: 06/14/22



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

PR-2022-007141

PS-2022-00090 – SKETCH PLAT

CONSENSUS PLANNING | SHAWNA BALLAY agent for KEYSTONE HOMES requests the
aforementioned action(s) for all or a portion of: TRACT B-1, HERITAGE MARKETPLACE zoned
MX-L, located at 1700 UNSER BLVD NW between I-40 and LADERA DR NW between I-40 and
LADERA DR NW containing approximately 9.05 acre(s). (H-09)

PROPERTY OWNERS: BERNCO INVESTORS LLC

REQUEST: REDUCE MULTI-FAMILY UNITS FROM 230 APARTMENTS TO APPROXIMATELY 129
TOWNHOMES

06-15-2022

Street trees required on Unser



August 3, 2022 (Revised)

Environmental Planning Commission
Attn: Tim MacEachen, Chair
600 2nd St NW
Albuquerque, NM 87102

RE: Request for a Site Plan – EPC Major Amendment

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Chairman MacEachen,

The purpose of this letter is to request a Major Amendment to the existing Site Plan – EPC for a property located at 1700 Unser Blvd NW that is part of the overall Heritage Marketplace mixed-use development. The subject site is comprised of 9.05 acres and is currently zoned MX-L, Mixed-Use – Low Intensity. This property is legally described as Tract B-1 Plat of Tract B-1 Heritage Marketplace (Being a Replat of Tract B, Heritage Marketplace) Containing 9.0540 Acres. The remainder of the Heritage Marketplace development is also zoned MX-L.

The previous case numbers related to this project are 1003275, Z-81-49, PR-2018-005826, and 13EPC-40148.

13EPC-40148

Heritage Marketplace - Site Plan for Subdivision – Approved by EPC on February 13, 2014 (Included with Application)

Figure 1. Subject site red.



PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

THE REQUEST

The Applicant requests a Major Amendment to the existing Site Plan – EPC Tract B to allow for the development of approximately 129 townhomes instead of the originally approved 220 apartment complexes. The use will change the original Site Plan for Subdivision approval for Tract B from “Multi-Family/Office” to low-density “Dwelling, Townhouses”. This parcel is currently vacant. The project site is included in the overall site plan for the shopping center which was approved on February 18, 2014. Because this request involves a more than 10% change in the approved number of units (a decrease and changes to the access), this request is therefore a Major Amendment to the existing Site Plan – EPC and is subject to approval by the original approval body. This request will allow new, infill development pursuant to the included site plan for Tract B-1.

SITE HISTORY

A site plan for the Heritage Marketplace development was approved by the EPC in February 2014. This site plan identified the subject property for either multi-family residential or offices. In 2016, a plan for a 230-unit apartment complex was approved for the subject property.

While the subject property remains vacant, numerous improvements have been made on the rest of the Heritage Marketplace site. These include multiple commercial buildings, turn lanes, sidewalks/trail, interior roadways, landscaping, and offsite roadway improvements (per traffic study).

Image 1: Site looking towards north-east. Adjacent apartments and Walmart in background.



The proposed development on Tract B-1 will complement the existing Heritage Marketplace development by adding residential uses which will act as a buffer between the shopping center and surrounding single-family areas.

PRE-APPLICATION MEETING

A facilitated pre-application meeting was requested and held on June 10, 2022. The meeting minutes are included with this application. No adverse issues were brought up during the meeting that couldn't be addressed by the applicant and their agent.

EXISTING CONDITIONS

Surrounding land use and zoning: The subject site is part of a larger group of MX-L parcels. Nearby uses are primarily commercial and multi- and single family residential.

TABLE 1. Surrounding Zoning & Land Use		
NORTH	MX-L	Retail development – Grocery store, restaurants, and gas station.
EAST	PD	Multi-family residential
SOUTH	R-1B	Single-family residential
WEST	R-1B	Retail Pads and Single-family residential (West of Unser)

Figure 2: Zoning

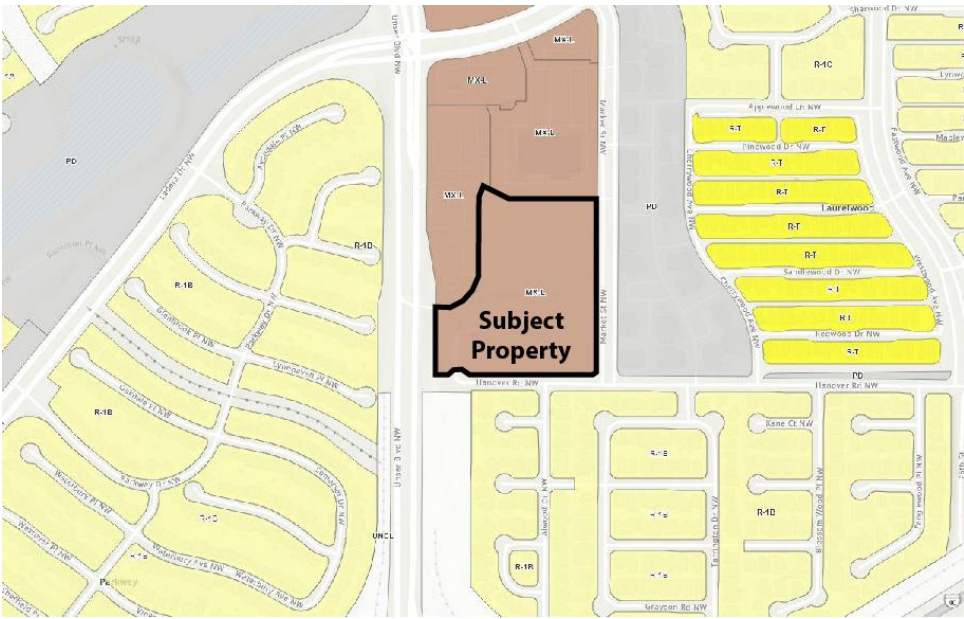


Image 2: Single-family homes and apartments to south and east of site.



Transportation: The site is located just north of the intersection of Unser Blvd NW and I-40. Access to the site is provided off Hanover Rd NW and Unser Blvd NW. The 2020 Weekday Average Daily Traffic (ADT) flow for Unser Blvd was 26,000. The site is serviced by two peak-only commuter bus routes, Route 92 and Route 94. The nearest bus stops to the site are located on Unser Blvd. NW, just south of Ladera Dr. NW. Unser Blvd. contains bike lanes, and the site is also served by the Unser and I-40 trails, which connect it to downtown Albuquerque.

Pedestrian facilities exist along all streets bordering the subject property, and the proposed site plan fills a gap in these facilities along the north side of Hanover Rd. While Unser Blvd. is a major barrier to pedestrian connectivity to the west and south, future residents will be able to easily access shopping and amenities in the Heritage Marketplace development directly to the north, as well as bus service along Unser Blvd.

INTEGRATED DEVELOPMENT ORDINANCE JUSTIFICATION CRITERIA

The following explanation summarizes how the request for a Major Amendment to the existing Site Plan – EPC meets the IDO criteria pursuant to IDO Section 14-16-6-4(Y)(3) Major Amendments.

1. 6-4(Y)(3) Major Amendments

Application response: Due to the change in number of units and access points, this amendment qualifies as a major amendment under Section 14-16-6-4(Y)(3). As a Major Amendment it is subject to review and decision by the original decision-making body, which is the EPC.

2. 6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Applicant Response: The major amendment to the existing Site Plan – EPC is consistent with the ABC Comp Plan as amended, and directly facilitates the policies and sub-policies identified below.

Policy 5.2.1: Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Applicant Response: This request is consistent with Policy 5.2.1 because it brings residential development near commercial that will allow Heritage Marketplace to become a “complete community”. This development is easily and readily accessible from the neighborhoods to the east. Future residents of this development will have

easy walking access to numerous daily needs including a grocery store, restaurants, an elementary school, and trails.

Sub-Policy h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

Applicant Response: The development of the subject parcel fulfills this sub-policy because it will allow for the creation of a low-density townhouse style development on a vacant infill site that is compatible with surrounding developments since the current development provides services that support the residential use. The proposed development will also act as a buffer between more intense uses along Unser Blvd. and residential areas to the east.

Sub-Policy n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

Applicant Response: Changing the existing site plan to allow for residential development directly low-density townhouse residential facilitates this sub-policy by allowing a more productive use on a lot that is vacant.

Policy 7.3.4: Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

Applicant Response: The proposed development would enhance the built environment by building a traditional streetscape with parking behind the buildings and front doors opening onto the street. It would also complete missing sections of sidewalk, improving pedestrian access from the surrounding neighborhood to the commercial area and transit connections on Unser Blvd. The change from Garden-Style (3-story) apartments to a Townhouse-Style (2-story) development will provide a better transition for the homes to the south.

As demonstrated in the elevations included with this application, the townhouse style design will consist of a Spanish-style design that include uniformity, smooth stucco, and neutral colors. The color and style are compatible with the residential neighborhoods to the east and south.

3. **6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.**

Applicant Response: The site is not located in a NR-SU or PD zoning district.

4. **6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

Applicant Response: This Major Amendment to the site plan is consistent with all terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property as approved in the original Heritage Marketplace Site Plan for Subdivision. The changes to the number of units and parking result in a surplus of 31 spaces per the original parking requirements. The unit and parking changes are detailed in the table below.

Original Approved Units	220
New Proposed Units	129
Original Required Parking	257 spaces
Proposed Required Parking	132 spaces
Proposed Parking Provided	290 spaces

5. **6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**

Applicant Response: The proposed major amendment to the existing Site Plan – EPC will be adequately served by the existing street, drainage, and utility infrastructure that is consistent with the commercial development. The street network around the site has been determined adequate by the City Traffic Engineer (see traffic scoping form), and the development in this proposed site plan would generate less traffic than the previously approved apartment project. The sidewalk system will be enhanced by the new development, which will complete sidewalks around and through the site. These completed sidewalks will also connect to the regional trails system at the end of Hanover Rd.

6. **6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.**

Applicant Response: The amendment to the existing Site Plan – EPC enhances the existing site by adding a low-density townhouse residential use on a previously vacant lot. The proposed development will not cause adverse impacts to the project site or surrounding area and is of a lower intensity and density than that allowed by the current approved site plan reducing the originally approved unit count from 220 to 129 units.

7. **6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.**

Applicant Response: The site plan submitted with this application meets all applicable standards in the Heritage Marketplace Site Plan for Subdivision. The Heritage Marketplace Site Plan for Subdivision includes requirements for land use, site planning, landscape, architecture, building materials, signage, walls, screening, lighting, and utilities.

8. **6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light**



spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Applicant Response: The subject property does not require a cumulative impact analysis pursuant to IDO section 6-6(J)(3)(g).

CONCLUSION

On behalf of Keystone Homes, we respectfully request the EPC's approval of this Major Amendment to the existing approved Site Plan. We believe this amendment will enhance the existing Site Plan and the lower residential density will benefit the city and act as a transition from the shopping center to the surrounding neighborhoods.

Sincerely,

A handwritten signature in black ink, appearing to read 'James K. Strozier', is written over a printed name and title.

James K. Strozier, FAICP
Principal

STAFF INFORMATION

August 1, 2022

TO: Shawna Ballay, Consensus Planning
FROM: Leroy Duarte- Current Planner
City of Albuquerque Planning Department
TEL: (505) 924-3352
RE: Heritage Marketplace

I've completed a first review of the proposed major amendment. I would like to discuss the request and have a few revisions to the justification letter. I'm available to answer questions about the process and requirements. Please provide the following:

⇒ A revised zoning change justification letter pursuant to the major amendment criteria (one PDF copy) by:

Monday, August 08, 2022.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though We've done our best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. It is our understanding that you are submitting a Major Amendment, please explain if you plan on keeping the design standards already set in place or will be adopting IDO development standards.
- C. This is what we have for the legal descriptions:

Tracts A-1, A-2, A-3 and Tracts C-1, C-2, C-3 plat of tracts A-1 thru A-3 and C-1 thru C-3; and Tract B-1 (being a re-plat of Tract B),

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing for August 18, 2022. Final staff reports will be available one week prior, on August 11, 2022.
- C. Agency comments will be distributed as staff receives them. I will email you a copy of the comments.

3) Notification & Neighborhood Issues:

Notification requirements for a major amendment are explained in Section 14-16-6-4(K), Public Notice. The required notification consists of: i) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.

- A. It appears that notification offering the pre-application facilitated meeting is complete.
- B. It looks like a pre-application facilitated meeting was not requested. Is that correct? Did anyone respond and say “no thanks”?
- D. Re-notification to property owners within a 100’ buffer will need to be re-done the buffer was only applied to Tract B. Site Development Plan should be for the whole site.
- E. **The sign posting period is 15 days prior and after the EPC hearing date from Wednesday August 3, 2022 to September 2, 2022.**
- F. Have any neighborhood representatives or members of the public contacted you so far?

4) Project Letter:

- A. Please provide a separate justification letter for each subject site.
- B. Letter should demonstrate how the Major Amendment meets the IDO decision criteria, 6-4(Y)(3) are is met.

5) Major Amendment - Overview:.

- A. The task in a Major Amendment justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. **Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.**
- B. Please revise or add goals/policies that align with the request.
- C. Intro elaborate how and why in detail what is being changed; multifamily housing to low-density townhomes and if you are adopting IDO standards or keeping Heritage Marketplace Design Standards, and why it is a major amendment rather than just citing section.
- D. Goal 5.1: Be specific and identify corridor.
- E. Policy 5.2.1: How will it become healthy and sustainable.
- F. Sub-policy h: How is it compatible, go in depth a little more.
- G. Sub-policy n: How is this more productive if housing is getting reduced to low-density.
- H. Policy 7.3.4: Mention architectural features, colors and building materials with the surrounding area/ context.
- I. Policy 9.3.2: Site runs along the Unser corridor. Might want to remove this policy.

6-6(J)(3)(C): Design standards are already in place for this Site Plan subdivision. Will you be adopting the IDO standards or keeping existing design standards?

6-6(J)(3)(e): Explain the previously approved density. By definition see IDO- Townhomes are considered low-density, consider changing the wording from medium-density to low -density.

6-6(J)(3)(f): Again, Design standards are set in for this subdivision. Do you plan on adopting the IDO development standards?

NOTIFICATION

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Major Site Plan Amendment

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 1700 Unser Blvd NW

Name of property owner: Bernco Investors LLC

Name of applicant: Consensus Planning

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

Contact Shawna Ballay: ballay@consensusplanning.com, 505-764-9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Shawna Ballay (Applicant signature) 5/20/22 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☒ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 05/20/2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Laurelwood NA, Westside Coalition of NA, Parkway NA

Name of NA Representative*: See Attached Neighborhood Contact List

Email Address* or Mailing Address* of NA Representative¹: See Attached Neighborhood Contact List

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: ballay@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1700 Unser Boulevard NW
Location Description Southern Portion of Heritage Marketplace
2. Property Owner* Bernco Investors Inc.
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☐ Zoning Map Amendment
- ☐ Other: _____

Summary of project/request^{3*}:

To amend the existing site plan to allow for approximately 132 townhomes.

5. This type of application will be decided by^{*}: ☐ City Staff

OR at a public meeting or hearing by:

- ☐ Zoning Hearing Examiner (ZHE) ☐ Development Review Board (DRB)
- ☐ Landmarks Commission (LC) ☒ Environmental Planning Commission (EPC)
- ☐ City Council

6. Where more information about the project can be found^{*4}:

Consensus Planning Attn: Shawna Ballay; ballay@consensusplanning.com; 505.764.9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} H-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:

- ☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

None Applicable

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: ☒ Yes ☐ No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ✓ a. Location of proposed buildings and landscape areas.*
- ✓ b. Access and circulation for vehicles and pedestrians.*
- ✓ c. Maximum height of any proposed structures, with building elevations.*
- ✓ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:

- a. Area of Property [typically in acres] 9.05 Acres
- b. IDO Zone District MX-L
- c. Overlay Zone(s) [if applicable] Not Applicable
- d. Center or Corridor Area [if applicable] Not Applicable

2. Current Land Use(s) [vacant, if none] Vacant

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: See Attached Neighborhood Contact List [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Samuel Jensen

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Monday, May 16, 2022 4:14 PM
To: Samuel Jensen
Subject: 1700 Unser Blvd NW Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_H-09-Z.pdf

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip
Laurelwood NA	Frank	Comfort	laurelwoodna@gmail.com	7608 Elerwood Drive NW	Albuquerque	NM	87120
Laurelwood NA	Dagmar	Nelson	nelsondag@aol.com	7601 Lynwood Drive NW	Albuquerque	NM	87120
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114
Parkway NA	Mary	Loughran	marykloughran@comcast.net	8015 Fallbrook Place NW	Albuquerque	NM	87120
Parkway NA	Ruben	Aleman	m_raleman@yahoo.com	8005 Fallbrook Place NW	Albuquerque	NM	87120

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>.

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org <webmaster=cabq.gov@mailgun.org> **On Behalf Of** webmaster@cabq.gov

Sent: Monday, May 16, 2022 1:41 PM

To: Office of Neighborhood Coordination <jensen@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Samuel Jensen

Telephone Number

505-764-9801

Email Address

jensen@consensusplanning.com

Company Name

Consensus Planning

Company Address

302 8th St NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE) CONT 9.0540 AC

Physical address of subject site:

1700 Unser Blvd NW

Subject site cross streets:

Hanover Rd NW & Market St NW

Other subject site identifiers:

Southeastern tract of Heritage Marketplace

This site is located on the following zone atlas page:

H-09-Z

Captcha

x

From: [Microsoft Outlook](#)
To: nelsondag@aol.com
Subject: Relayed: IDO Pre-Application Notification - Keystone Homes
Date: Friday, May 20, 2022 1:23:22 PM
Attachments: [IDO Pre-Application Notification - Keystone Homes.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
nelsondag@aol.com (nelsondag@aol.com) <mailto:nelsondag@aol.com>
Subject: IDO Pre-Application Notification - Keystone Homes

From: [Microsoft Outlook](#)
To: laurelwoodna@gmail.com; aboard111@gmail.com; elizabethkayhaley@gmail.com
Subject: Relayed: IDO Pre-Application Notification - Keystone Homes
Date: Friday, May 20, 2022 1:23:22 PM
Attachments: [IDO Pre-Application Notification - Keystone Homes.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
laurelwoodna@gmail.com (laurelwoodna@gmail.com) <mailto:laurelwoodna@gmail.com>
aboard111@gmail.com (aboard111@gmail.com) <mailto:aboard111@gmail.com>
elizabethkayhaley@gmail.com (elizabethkayhaley@gmail.com) <mailto:elizabethkayhaley@gmail.com>
Subject: IDO Pre-Application Notification - Keystone Homes

Samuel Jensen

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Monday, May 16, 2022 4:14 PM
To: Samuel Jensen
Subject: 1700 Unser Blvd NW Neighborhood Meeting Inquiry Sheet Submission
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Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

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Laurelwood NA	Dagmar	Nelson	nelsondag@aol.com	7601 Lynwood Drive NW	Albuquerque	NM	87120
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Westside Coalition of Neighborhood Associations	Elizabeth	Haley	elizabethkayhaley@gmail.com	6005 Chaparral Circle NW	Albuquerque	NM	87114
Parkway NA	Mary	Loughran	marykloughran@comcast.net	8015 Fallbrook Place NW	Albuquerque	NM	87120
Parkway NA	Ruben	Aleman	m_raleman@yahoo.com	8005 Fallbrook Place NW	Albuquerque	NM	87120

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
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dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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Sent: Monday, May 16, 2022 1:41 PM
To: Office of Neighborhood Coordination <jensen@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

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505-764-9801

Email Address

jensen@consensusplanning.com

Company Name

Consensus Planning

Company Address

302 8th St NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE) CONT 9.0540 AC

Physical address of subject site:

1700 Unser Blvd NW

Subject site cross streets:

Hanover Rd NW & Market St NW

Other subject site identifiers:

Southeastern tract of Heritage Marketplace

This site is located on the following zone atlas page:

H-09-Z

Captcha

x

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Major Site Plan Amendment

Decision-making Body: EPC

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 1700 Unser Blvd NW

Name of property owner: Bernco Investors LLC

Name of applicant: Consensus Planning

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

Contact Shawna Ballay: ballay@consensusplanning.com, 505-764-9801

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☒ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Shawna Ballay (Applicant signature) 07/07/2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

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FOR MAILED OR ELECTRONIC MAIL NOTICE
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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☒ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: 07/07/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1700 Unser Boulevard NW
Location Description Southern Portion of Heritage Marketplace
2. Property Owner* Bernco Investors Inc.
3. Agent/Applicant* [if applicable] Consensus Planning
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

To amend the existing site plan to allow for approximately 129 townhomes.

5. This application will be decided at a public meeting or hearing by*:

- | | |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: Thursday - August 18, 2022 8:40 AM
Zoom Link: <https://cabq.zoom.us/j/2269592859#success>
Location*²: Zoom Dial-In: 301-715-8592 Meeting ID: 226 959 2859

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
Consensus Planning Attn: Shawna Ballay; ballay@consensusplanning.com; 505.764.9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ H-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

None Applicable

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A facilitated meeting was held with the Laurelwood Neighborhood Association

on June 10, 2022. In attendance was the applicant, agent, and NA representatives.

NA representatives asked a number of questions about the proposed project.

Facilitated meeting minutes are included with the application.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
☒ b. Access and circulation for vehicles and pedestrians.*
☒ c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ✓ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
- ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 9.05 Acres
2. IDO Zone District MX-L
3. Overlay Zone(s) [if applicable] Not Applicable
4. Center or Corridor Area [if applicable] Not Applicable
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

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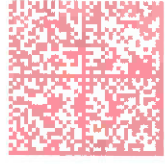


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MAESTAS & WARD
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ALBUQUERQUE NM 87199-1090

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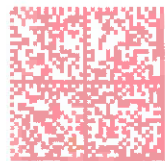
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102 8th Street NW
Albuquerque, NM 87102

BIERLY PROPERTY HOLDINGS LLC &
BIERLY LEWIS E
PO BOX 91090
ALBUQUERQUE NM 87199-1090

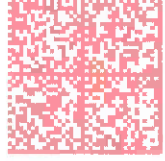
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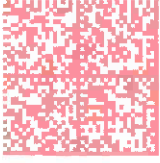


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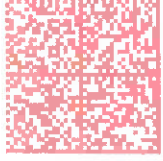
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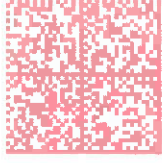


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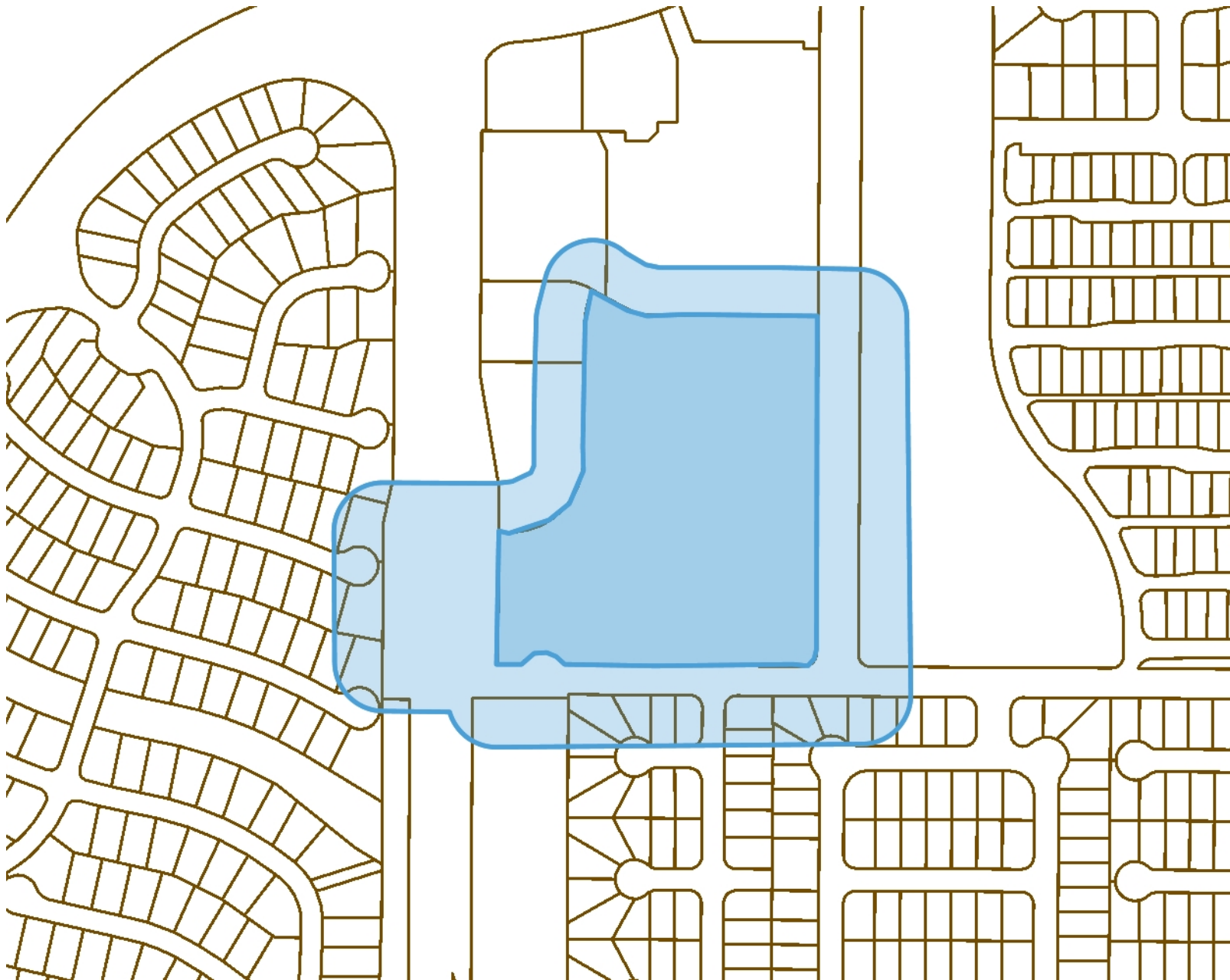
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Keystone



Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

100' Buffer Included. Created by Consensus Planning.

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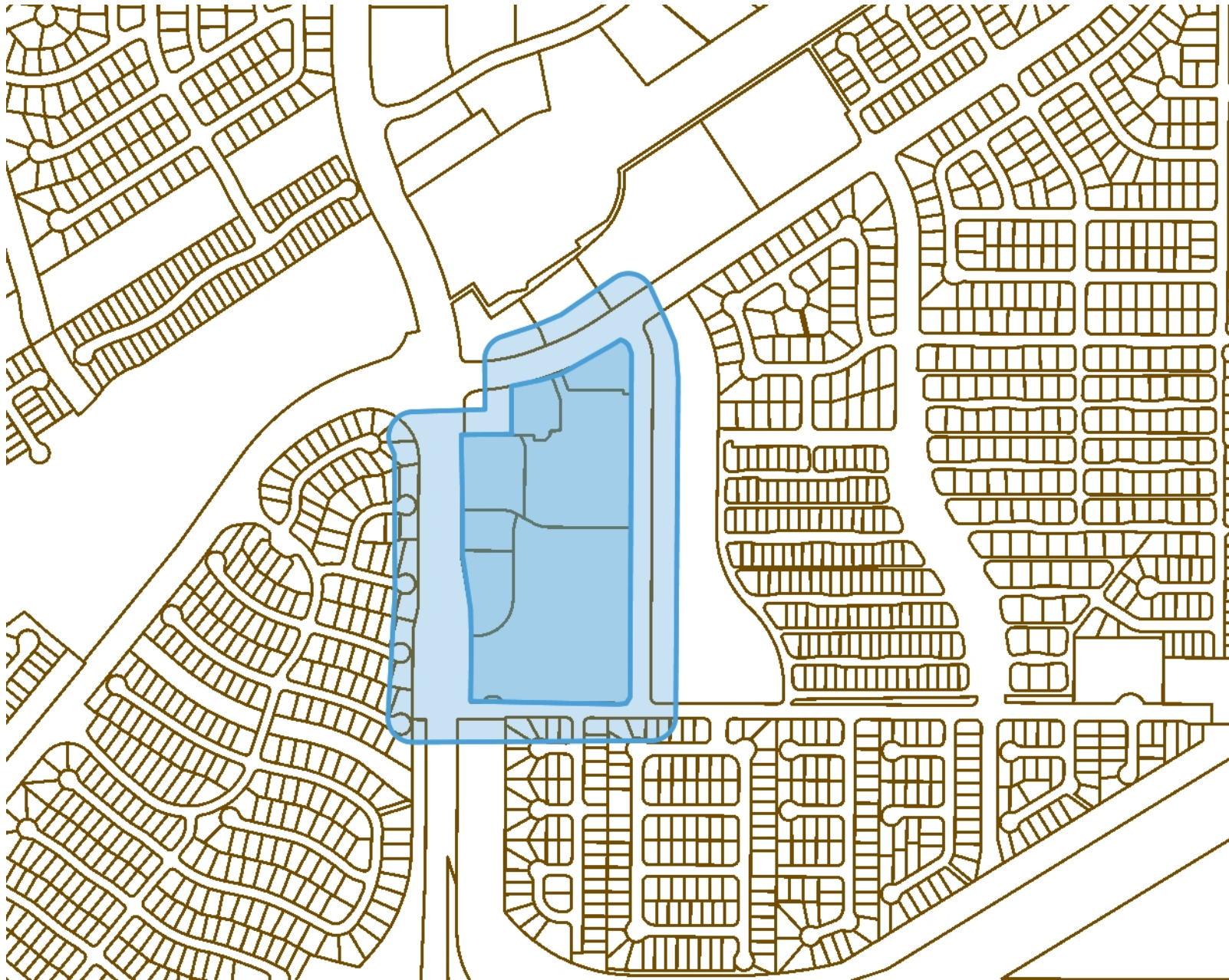
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Keystone Heritage Project



Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED

Notes

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Includes 100' buffer.

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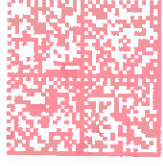


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DIAMOND SHAMROCK REFINING &
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ATTN: CIRCLE K STORES INC
PO BOX 52085
PHOENIX AZ 85072-2085

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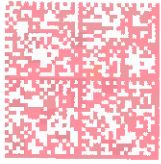


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30 S WACKER DR SUITE 2750
CHICAGO IL 60606-7413

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FACILITATED MEETING REPORT

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM REPORT
1700 Unser NW - EPC Pre-Application

Project: 1700 Unser NW - Pre-Application to EPC for Townhome Development
Property Description/Address: 1700 Unser NW
Date Submitted: June 10, 2022
Submitted By: Jocelyn M. Torres
Meeting Date/Time: June 7, 2022, 5:30 pm -7:30 pm
Meeting Location: Via Zoom
Facilitator: Jocelyn M. Torres
Applicant: Bernco Investors, LLC
Agent: Consensus Planning – Jim Strozier, Principal and Shawna Ballay, Senior Planner.
Neighborhood Associations/Interested Parties: Westside Coalition, Neighbors

Background Summary:

This vacant property zoned MX-L, mixed-use low intensity, is south of the Heritage Marketplace. That area has several restaurants; two gas stations; and the Walmart Neighborhood Market grocery store. Because it is governed by previous planning, the Developer is proposing a new site plan. This requires a major amendment to the multi-family portion of the Heritage Marketplace. There is an existing apartment complex in that area. The Heritage Marketplace is bordered by: Unser on the west; Ladera on the North; Hanover on the south; and Market Street on the east.

This property is at the south intersection of Hanover and Market Street. The prior site plan was for a three-story garden style apartment complex with 230 units. A traffic study was done that called for right deceleration lanes along uncertain limited access points on Ladera. The off-site infrastructure was built in accordance with that subdivision site plan.

The two-story gated townhouses will be multi-family, with associated amenities and landscaping. The Developer plans on approximately 129 townhouse style apartments. This is less dense. This is a major amendment to the existing site plan and the Developer is applying to the Environmental Planning Commission (EPC) for approval.

The attached trip generation study shows that the revised site plan generates an approximate 21% decrease in traffic from the original site plan. *See* Attachment 1. The proposal changes the plan to two-story (low-rise) townhomes instead of the three-story (mid-rise) garden apartments. When going from 230 to 129 units, the number of trips doesn't decrease as significantly as expected because the national study factor assumes that low-rise multi-family units generate a slightly higher number of trips than mid-rise units.

Keystone is a solid 30 year company. It has primarily built 25-40 upscale homes annually that are priced from .5 to 1.5 million dollars. Keystone never walks away and always works with neighbors. It is a collaborative company that stands by the product. Rich Jr. now leads the company and Rich Sr. is still involved. Keystone's first single-family home rental project is located in Fountain Hills, Arizona. It is developing four other (townhome) projects in Arizona and is expanding into New Mexico. The goal is to serve communities by bringing a quality product. Rent will be reasonable for this area. Upscale amenities include: a pool; gates; and dog areas. Keystone hopes to bring value to the neighborhood.

Outcomes:

1. Areas of discussion:

- a. Neighbors are primarily concerned about:
 - i. the likely increase in traffic;
 - ii. existing traffic problems at the “failed intersection” of Ladera and Market.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM REPORT
1700 Unser NW - EPC Pre-Application

- iii. the congestion caused by adding multi-family townhomes to the existing apartments and neighborhood.
- b. The developer has downsized the site plan from 230 multi-family apartments to approximately 129 rental townhomes and expects that this development will add value to the neighborhood.

2. Conclusions.

- a. The developer has designed pedestrian friendly upscale gated townhomes with amenities and landscaping that will rent for approximately \$1500 to \$2500 per month.
- b. The decreased height and number of units in the modified site-plan will reduce traffic and congestion.

Meeting Specifics (*Participant Questions and Comments are Italicized*):

1. Type of Development, Height and Appearance.

- a. *C/Q: I'm curious about some of the technical aspects; especially the elevation and height compared to the apartments. Also, will the appearance blend into our neighborhood?*

A: This is a conceptual elevation on what we propose for this community. *See* Attachment 2. It is a townhouse project. We have a: four-plex building; six-plex building; and a seven-plex building. We'll have this elevation style or something like it. This is conceptual in nature and early in the process, but it would be very similar to this with a very classic Spanish feel that compliments the area. It will look good not just when we build it, but for decades to come. It's going to look very nice in the community.

We are working on another elevation that is complementary to this. It's has a Spanish flair, but the roof shapes are different. Probably more of a hip shaped roof, rather than the gables shown here. We'll pick colors, materials and things that will look well with this product. It hasn't been developed yet but will be very complimentary to this.

C: I noticed that the height is 28 feet.

A. That's 28 feet at the top of the Ridge. Albuquerque measures heights to the midpoint of the pitch. From a technical standpoint, we probably fall within a two-story house height, which is typically 26 feet at the midpoint of the pitch. The three-story apartments were likely in the 35 to 38 foot range. *See* Action Item 1.

- b. *C: We are concerned because we view the back of the monster apartments.*

C: This looks higher than the apartments.

A. The apartments are flat roof.

- c. *Q: So was the approved height higher than the (existing) apartments?*

A. Yes. The approved site plan included two and three-story apartments. That was also higher than this two-story townhouse design. *See* Action Item 1.

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d. *Q: What direction will the townhomes face?*

A. The townhomes face Hanover and Market Street. That's done in order to create a nice pedestrian scale and to have the front of those buildings face out to the street as opposed to the garages. There's this interior road going from Unser north to the grocery store. Our main entry is actually off of that interior road. It was previously identified to be off of Market. So we have two access points, but the main access point is designed to be off of that interior roadway along the Unser side of the project. The green space will probably be designed as part of our drainage and water harvesting.

But the idea is to make it an amenity, not just a drainage facility. We have a small pond needed for drainage to get into the storm drain that is down at the corner of Market and Hanover. The idea is to have those units facing outward so that the front of the townhomes are facing Hanover and Market and to have interior amenity areas within the project.

e. *Q: So the front of the residents are facing the exterior, then, is that correct? The ones that are along the perimeter of Market and Hanover?*

A. Yes.

f. *Q: Will there be fencing along the perimeter?*
Q: Will it be gated with wrought iron?

A. Yes. It will be gated with wrought iron fencing and pedestrian walkways.

2. Traffic.

a. *C/Q: I was looking at the main entrance. Starbucks is part of the traffic backlog depending on the time of day. The peak time is the morning. I noticed that you have two gates; one near Hanover and one near the cul-de-sac. Correct?*

C/Q: Another concern is that when the apartment traffic backs up on Market and Ladera, people cross through Laurelwood, which is not really set up to handle that amount of traffic. I was just trying to get an idea of the layout. Those garages are at the back of the house, right?

A. Those drive aisles primarily provide access to the garages. The unit fronts either face the streets or the open green areas in between. Once again, trying to create a nice pedestrian-oriented street scape within the community as well the exterior appearance.

3. Townhome Rentals.

a. *Q: Are these single owner townhomes or rentals? If rentals, what is the rental rate?*

A. The townhomes are like an apartment complex that we own. The first floor is primarily a garage, with some living space. The second floor is living space. There will be one tenant leasing each unit; whether that includes two, three or four people. It will be managed on-site and maintained just like an apartment community. The monthly rent will range from \$1,500 to \$2,500.

CITY OF ALBUQUERQUE
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- b. *C: I prefer ownership by people living in this community. With the existing apartments it is unsettling to have so many people congregated in this corner. I expect that this project will yield 900 people.*

A. These townhomes will likely yield less than 300 people, although we can't restrict certain sized families. The average occupancy in Fountain Hills is two people, with one or two cars.

- c. *Q: You have a garage and visitor space, right? How many spaces are allocated?*

A. Each unit has a built-in garage. There are additional parking areas scattered throughout. Anyone can enter the leasing office and amenities center without going through the gate. When you come into the main entry, you can either go through the north or south gate, depending upon where you live. There's quite a bit of extra visitor parking sprinkled throughout the community. Additional parking is located on the west side, in the southeast corner and in the northeast corner. We are still working on the details but want to have enough parking that is conveniently located.

- d. *C: We prefer that the townhouses not include Section 8 rentals. I'm also concerned about a devaluation of my property.*

A. We will include only market rate rentals projected between \$1500 to \$2500 per month, which does not include Section 8. We want to build something we are proud of that adds value to your property, as we've done for the past 30 years.

4. Access:

- a. *What are the townhome access points? You said the access point is from Hanover. Will people be traveling through our neighborhood to get to their home from Laurelwood Parkway into Hanover and then over to the other entrance?*

A. The primary entry is from the interior access road on the west side of the project. We do have a secondary access from Hanover. The prior site plan showed an access on Market and an access on Hanover. This layout eliminates any vehicular access directly out to Market Street but does have the secondary access on Hanover. We also anticipate having some pedestrian connections out to the neighborhood.

The Unser access allows right in/right out. You can't turn left to go southbound on Unser. You can only go north. You can take a right behind the Walmart grocery store and get over to Market. Market intersects with Ladera, which is probably very busy in the morning and the afternoon.

- b. *We are concerned about increased traffic and people traveling through our neighborhood.*

A. There was a traffic study done by Terry Brown. Assumptions included the apartment complex, grocery store, one gas station and some other businesses. I don't think the second gas station was included. There have been minor updates over the years.

In this case, the City will look at the assumptions built into that original traffic study. They often look at it in two ways. One is this proposed amendment to that original plan. Will it have more or less traffic than what was previously studied? They'll also look at this as if it's a brand new standalone application. They primarily look at traffic data in the peak hours of the A.M. and

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM REPORT
1700 Unser NW - EPC Pre-Application

P.M. and whether there are more than 100 trips entering and existing the project in the morning or afternoon. We're significantly less than that.

c. *Q: Where are those numbers?*

A. This slide only gets the number of trips that are generated from the project as a whole on a daily basis. *See* Attachment 1. The Institute of Traffic Engineers has a formula that they apply to projects. With a single family home like yours, the traffic engineers assume that you're going to take ten trips a day. For an apartment, that number is slightly less. For mid-rise apartments, it's about seven trips a day. For this low-rise multi-family or townhouse, it's in between those two.

Then they assign a certain number of trips leaving in the morning and coming in in the morning. In the morning, this project is anticipated to have 48 people leave during the morning peak hour and 15 people enter during that time. That's what you would anticipate, right? In the morning, most people leave home to go to their job and in the evening it's the reverse. So you've got 48 people coming back home in the afternoon rush hour and you have 28 people leaving to take a trip to a restaurant or grocery store.

Not many of us in Albuquerque walk to the grocery store. We drive. At this stage, we have not gotten into any kind of analyses that look at how many people are turning right at this intersection and how many turn left. When we talk to the City, they'll be able to see that the total number of trips being proposed is less than what has already been approved.

When you have a single family detached house, they factor in a certain number of children and typically more than two cars. They actually do real world analyses where they look at a single family neighborhoods and put traffic counters out there. They say 10 trips a day but my wife and I probably do four trips a day. Other households may generate 12 to 14 trips a day. The 10 trips a day for a single family house has been the same for 20 years.

5. Schools:

a. *Have you looked at the impact on the affected APS schools?*

A. That will be studied by an APS student generation analysis of this project.

6. Attachments:

- a. Consensus PowerPoint Report Attachment 1 – Trip Generation Calculations.
- b. Consensus PowerPoint Report Attachment 2 – Building Elevations.
- c. Consensus PowerPoint Report Attachment 3 – Townhouse Site Plan.

7. Action Items (Target response date is 6/17/22):

- a. The Agent will report the maximum height of the prior two and three-story garden apartments.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM REPORT
1700 Unser NW - EPC Pre-Application

8. Anticipated Application and Hearing Timetable:

- a.* The EPC application will be submitted in July, 2022.
- b.* The anticipated hearing date will be August 18, 2022.

Names & Affiliations of Participants and Interested Parties:

Agents:

Jim Strozier	Consensus Planning
Shawna Ballay	Consensus Planning

Developers:

Jim Belfiore	Keystone Homes
Jeff T. King	Keystone Homes
Rich Eneim	Keystone Homes
Chris Hundelt	Keystone Homes

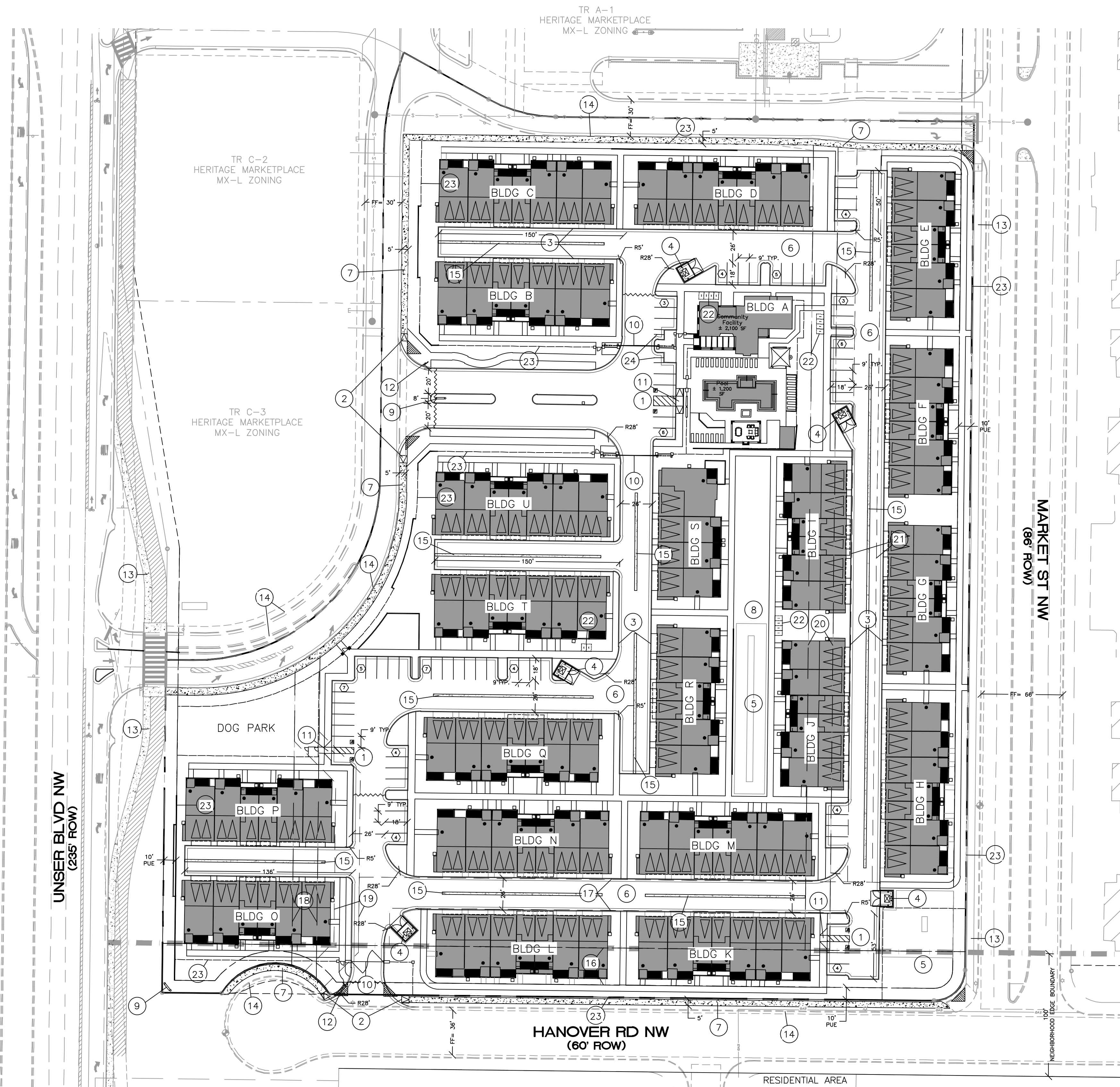
Neighborhood Association Representatives:

Frank Comfort	Laurelwood NA
Candy Patterson	Laurelwood NA and Westside NA Association
Phyllis Vilchuck	Laurelwood NA

CABQ ADR:

Jocelyn M. Torres	Land Use Facilitator
Tyson Hummell	CABQ ADR Coordinator

SITE PLAN



GENERAL NOTES - SITE PLANS:

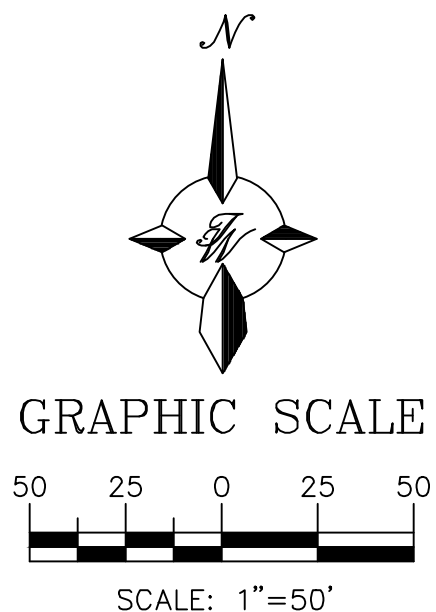
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



LEGEND

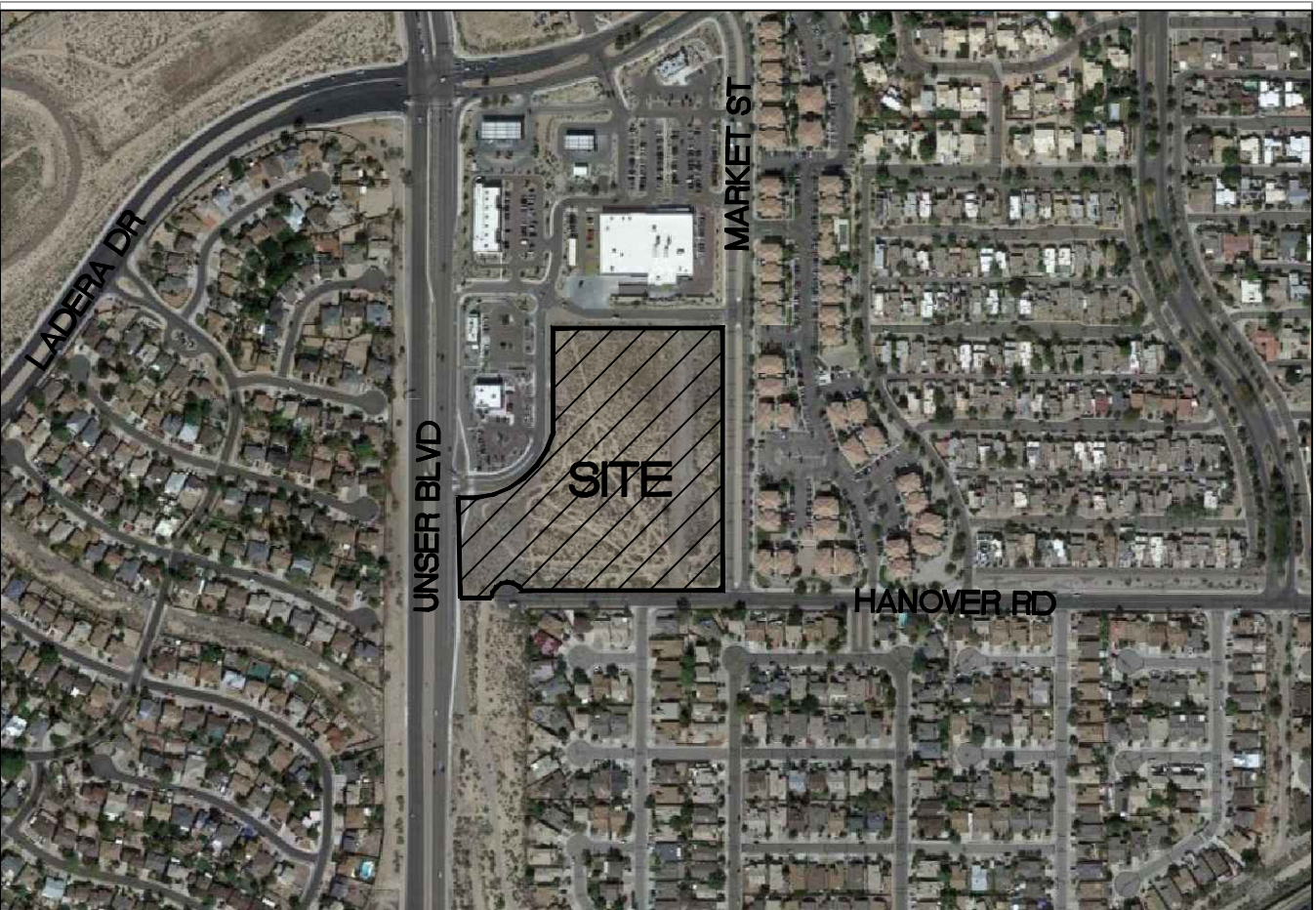
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT
- CLEAR SIGHT TRIANGLE

KEYED NOTES

- 1 ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE DETAIL SHEET DET-1
- 2 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-2
- 3 STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A SEE DETAIL SHEET DET-1
- 4 DUMPSTER W/RECYCLING SEE DETAIL SHEET DET-2
- 5 DETENTION POND
- 6 NEW ASPHALT PAVING SEE DETAIL SHEET DET-1
- 7 NEW 5' CONCRETE SIDEWALK PER COA STD DW 2430 SEE DETAIL SHEET DET-1
- 8 SHADED GATHERING AREA
- 9 MONUMENT SIGN
- 10 GATED VEHICULAR ACCESS
- 11 CURB RAMP SEE DETAIL SHEET DET-1
- 12 "STOP" SIGN SEE DETAIL SHEET DET-2
- 13 EXISTING SIDEWALK, CURB & GUTTER
- 14 EXISTING CURB & GUTTER
- 15 2 FT-WIDE CONCRETE VALLEY GUTTER
- 16 EXISTING 30' PUBLIC DRAINAGE EASEMENT TO BE VACATED
- 17 PROPOSED 25' PUBLIC DRAINAGE EASEMENT TO BE DEDICATED
- 18 EXISTING 20' PUBLIC WATERLINE EASEMENT TO BE VACATED
- 19 PROPOSED 20' PUBLIC WATERLINE EASEMENT TO BE DEDICATED
- 20 EXISTING 20' PRIVATE DRAINAGE EASEMENT TO BE VACATED
- 21 PROPOSED 20' PRIVATE DRAINAGE EASEMENT TO BE DEDICATED
- 22 4'x6' BICYCLE PARKING SPACES
- 23 PERIMETER FENCE - MAXIMUM 6' TALL
- 24 4'x8' MOTORCYLCE PARKING SPACES

NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.



LEGAL DESCRIPTION:

TR B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING AREPLAT OF TRACT B, HERITAGE MARKETPLACE) CONT 9.0540 AC

SITE DATA

PROPOSED USAGE MULTI-FAMILY HOUSING
LOT AREA 394,392 SF (9.054 ACRES)
ADDRESS 1700 UNSER BLVD NW
ZONING MX-L
TOTAL DWELLING UNITS 129

Townhome Unit ID	Garage	Room Details	Unit Square Footage	Number of Units
Townhome Plan 1	Y - 1 Car	1BR + Den / 1 Bath	903	38
Townhome Plan 2	Y - 2 Car	2BR / 2.5 Bath	1,162	51
Townhome Plan 3	Y - 2 Car	3BR / 2.5 Bath	1,469	31
Townhome Plan 4	Y - 2 Car	3BR / 3 Bath w Loft	1,645	9

BUILDING A:

Proposed Use = Community Facility
Building Footprint = 2,100 SF
1 Story High Building

BUILDINGS B-D, H, K-N, Q, & T-U (EACH):

Proposed Use = 7-Plex Residency, Plus Garages
Building Footprint = 7,059 SF
2 Story High Building
Garage Parking Spaces = 12

BUILDINGS E-G, I-J, O-P, & R (EACH):

Proposed Use = 6-Plex Residency, Plus Garages
Building Footprint = 6,005 SF
2 Story High Building
Garage Parking Spaces = 10

BUILDING S:

Proposed Use = 4-Plex Residency, Plus Garages
Building Footprint = 5,190 SF
Garage Parking Spaces = 8

PARKING REQUIRED

DWELLING MULTI FAMILY- 1 SPACE/DU = 129 (SP FOR SUBDIVISION)
RESIDENTIAL COMMUNITY AMENITY- 3 SPACES/1000 GFA = 7 (TABLE 5-5-2)
TOTAL PARKING REQUIRED = 132 SPACES

PARKING PROVIDED

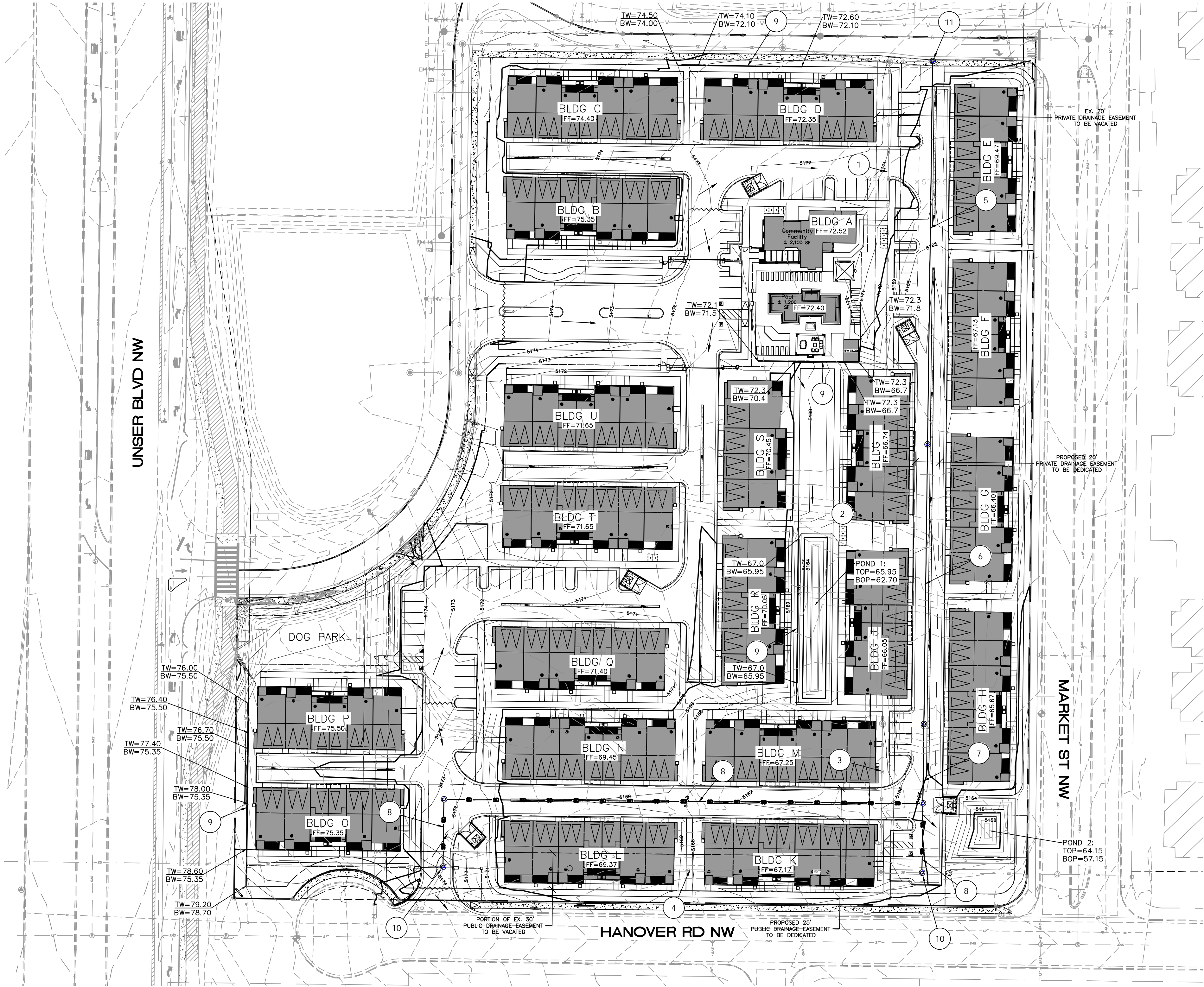
STANDARD PARKING 70 SPACES
GARAGE PARKING 220 SPACES
TOTAL PARKING 290 SPACES

HC PARKING REQUIRED 4 SPACES
HC PARKING PROVIDED 6 SPACES
VAN ACCESSIBLE REQUIRED 1 SPACE
VAN ACCESSIBLE PROVIDED 6 SPACES

BICYCLE PARKING REQUIRED 65 SPACES (SP FOR SUBDIVISION)
BICYCLE PARKING PROVIDED 129 SPACES (1 IN EACH GARAGE)
14 SPACES (EXTERNAL ONSITE)
133 SPACES (TOTAL)

MOTORCYCLE PARKING REQUIRED 4 SPACES
MOTORCYCLE PARKING PROVIDED 4 SPACES

ENGINEER'S SEAL	KEYSTONE- HERITAGE MARKETPLACE ALBUQUERQUE, NM	DRAWN BY JL
	SITE PLAN FOR BUILDING PERMIT	DATE 6-30-22
<div><div>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</div></div>		DRAWING
	RONALD R. BOHANNAN P.E. #7868	SHEET # C1.0
		JOB # 2022057



NOTE
ADD 5100 TO ALL SPOT ELEVATIONS
ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OF-ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR $\frac{3}{4}$ " GRAVEL.

NOTICE TO CONTRACTORS

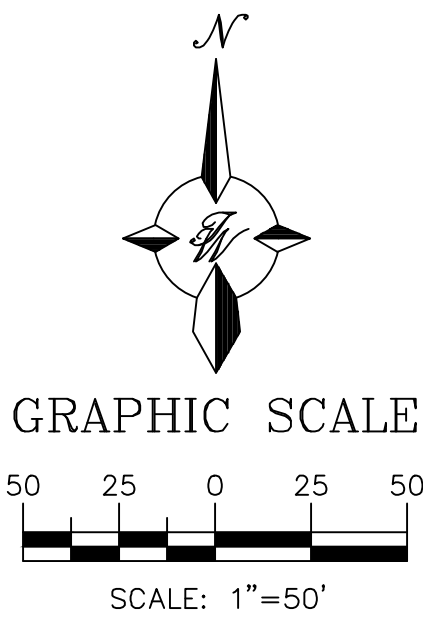
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYED NOTES

- EX. PRIVATE 30" SD TO BE ABANDONED OR REMOVED AS NECESSARY
- EX. PRIVATE 36" SD TO BE ABANDONED OR REMOVED AS NECESSARY
- EX. PRIVATE 42" SD TO BE ABANDONED OR REMOVED AS NECESSARY
- EX. PUBLIC 42" SD TO BE ABANDONED OR REMOVED AS NECESSARY
- NEW PRIVATE 30" SD
- NEW PRIVATE 36" SD
- NEW PRIVATE 42" SD
- NEW PUBLIC 42" SD
- RETAINING WALL
- TIE NEW PUBLIC 42" SD TO EX. 42" SD VIA MANHOLE CONNECTION
- TIE NEW PRIVATE 30" SD TO EX. 30" SD VIA MANHOLE CONNECTION

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- FLOW



FIRM MAP:

35001C0326J

PROPOSED DRAINAGE BASIN MAP:



CONCEPTUAL GRADING & DRAINAGE NARRATIVE

The purpose of this submittal is to provide a conceptual drainage management plan for EPC approval of the Site Plan for Building Permit for the Keystone Residential Development to be located within Tract B-1 of Heritage Marketplace. This project lies within a 9.05 acre area previously analyzed as part of the Heritage Marketplace Drainage Study by Tierra West, LLC and designated as Basin B4 anticipated for residential or office development with discharge limited to 21.7 CFS (2.4 CFS/acre) so as not to exceed the total allowable 50 CFS by existing infrastructure constructed by SAD 212.

FLOOD PLAIN

The site is not within a floodplain as shown on FIRM Map 35001C0326J.

EXISTING CONDITIONS

The property over which the Townhome Residential Development will be constructed is currently undeveloped, although the backbone drainage improvements traversing this property to serve the commercial pads to the north and east have been installed. An existing 42 inch RCP storm drain pipe anticipated to accept runoff from the site was constructed with SAD 212 and runs within a drainage easement along the north side of Hanover Road which borders the southerly portion of the site. An existing private 30 inch/36 inch/42inch RCP storm drain pipe runs from north to south through the property for conveying developed flows from the already developed portions of Heritage Marketplace and connects to the public 42 inch RCP along the southern portion of the site. The property generally drains from the northwest to the southeast into an existing inlet connected to the Hanover Road Storm Sewer.

The SAD 212 improvements are configured to accept 50 CFS of runoff from the overall development of approximately 20.8 acres (average rate of 2.4 CFS/acre). Flows from Market Street are contained within the public right-of-way and do not drain into this segment of the SAD 212 storm sewer.

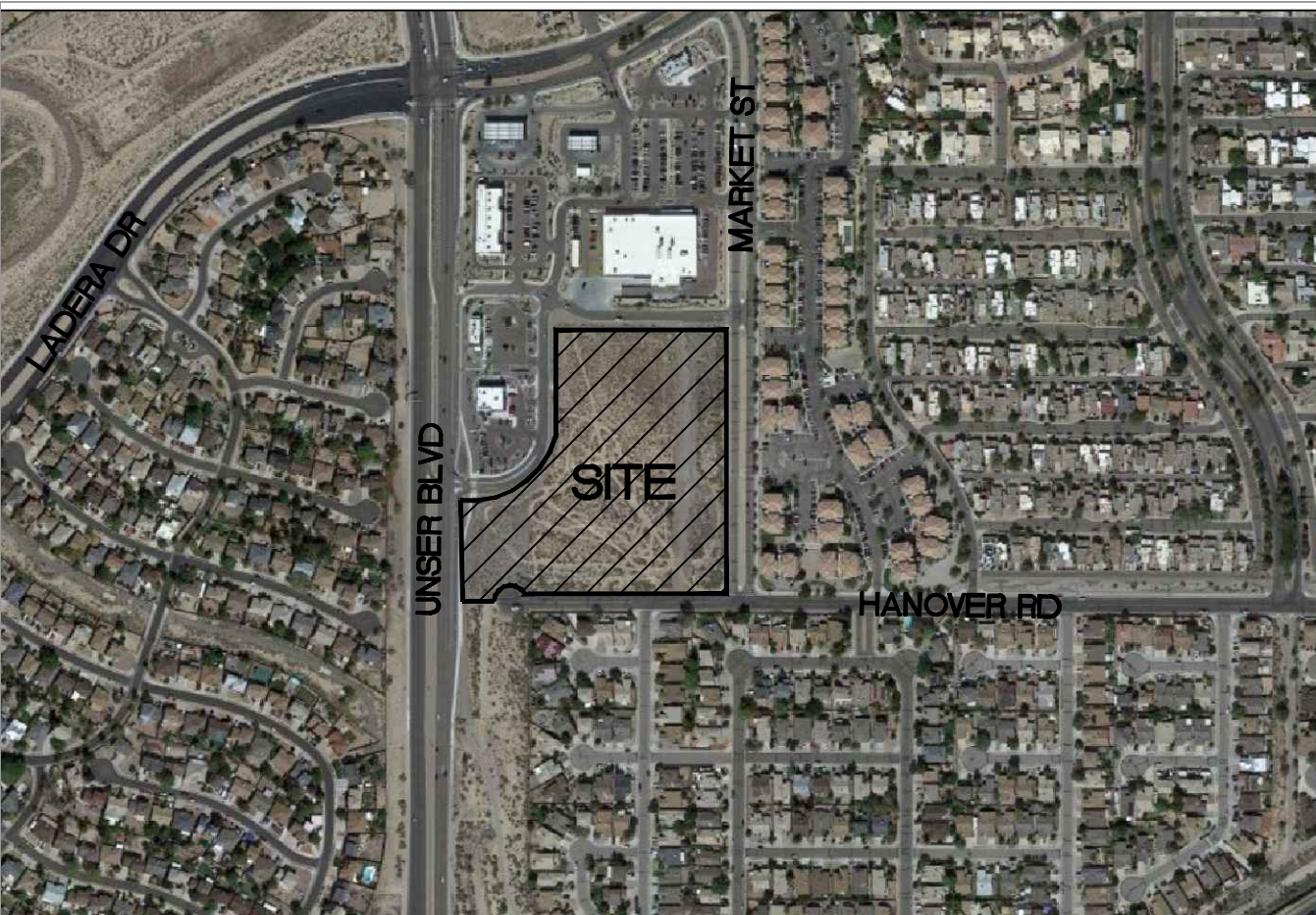
PROPOSED CONDITIONS

Onsite drainage improvements will be configured to not exceed the 21.7 CFS (2.4 CFS/acre) so as not to exceed the total allowable 50 CFS for the overall development. The existing public 42 inch RCP and the privat3 30 inch/36 inch/42 inch RCP pipes will be relocated due conflicting locations with several of the townhome residence buildings. These pipes will be relocated with new dedications for a 25-foot public storm drain easement and a 20-foot private storm drain easement. Developed flows from this site will be attenuated through the use of two above-ground detention/retention pond to be located centrally in the site and at the southeast corner of the site. The ponds will contain standpipes with raised outfalls to retain the first flush water quality volume and then attenuate flows into the public 42 inch storm drain pipe at a combined discharge rate of 21.7 cfs.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	KEYSTONE- HERITAGE MARKETPLACE ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 6-30-22 DRAWING
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.0
		JOB # 2022057



VICINITY MAP

H9

LEGAL DESCRIPTION:

TR B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING AREPLAT OF TRACT B, HERITAGE MARKETPLACE) CONT 9.0540 AC

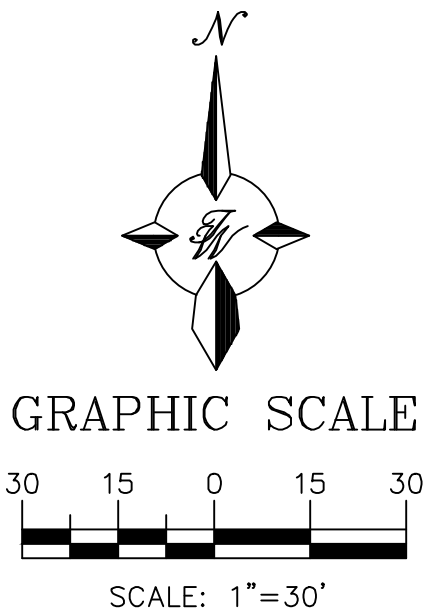
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- SANITARY SEWER LINE
- STORM SEWER LINE
- WATERLINE
- PROPOSED HYDRANT
- NEW WATER VALVE
- NEW 4" WATER METER
- NEW ABOVE GROUND BACKFLOW PREVENTER
- SAS CLEAN OUT
- EXISTING SAS MH
- EXISTING GATE VALVE
- EXISTING WATERLINE
- EXISTING SAS

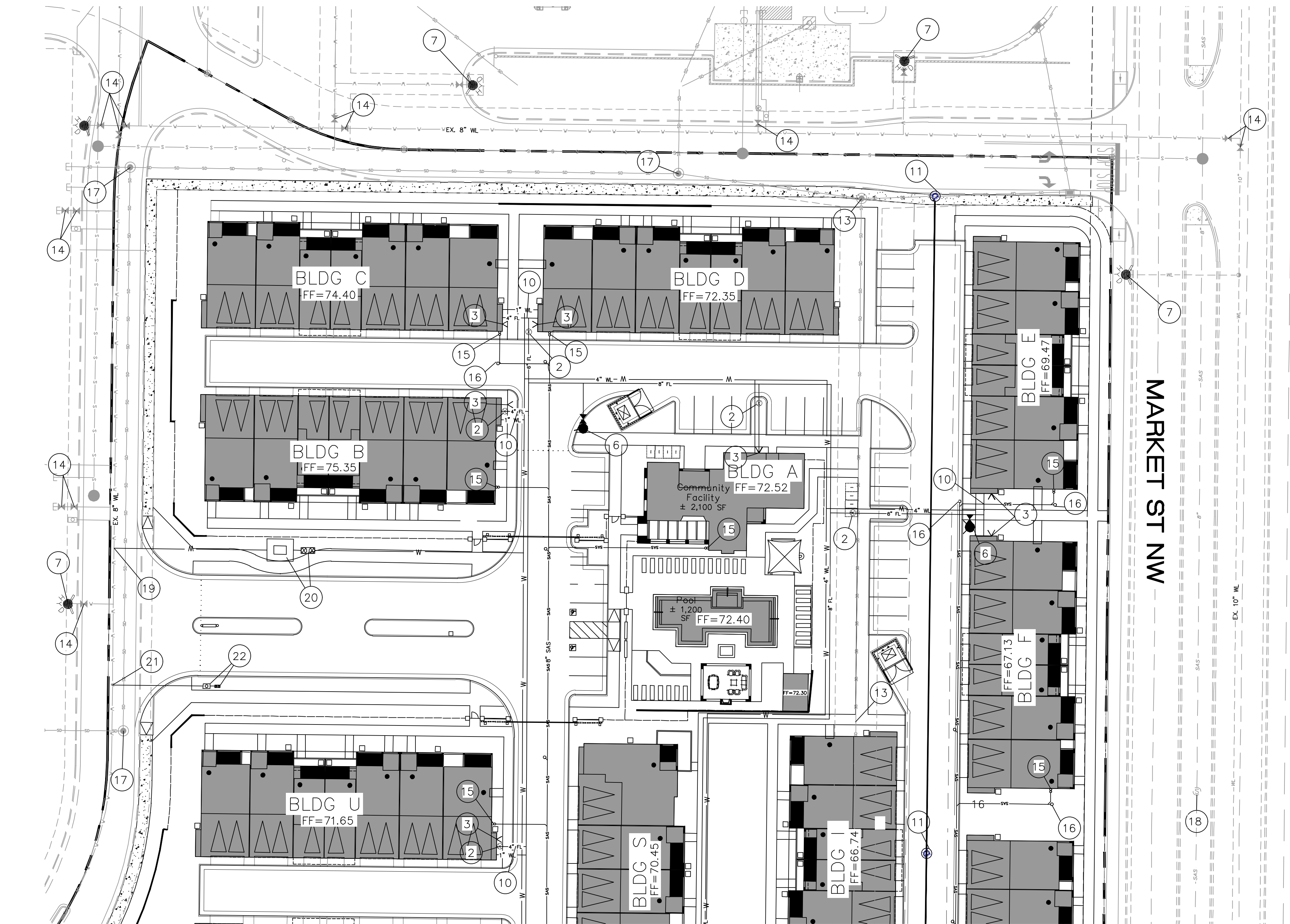
GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

ENGINEER'S SEAL	KEYSTONE- HERITAGE MARKETPLACE ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL MASTER UTILITY PLAN	DATE 6-9-22 DRAWING
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3.0
		JOB # 2022057



MARKET ST NW



KEYED NOTES

- | | | | |
|--|---|--|---|
| 1 ABANDONED 8" WL | 7 EXISTING PUBLIC FIRE HYDRANT | 13 EX. STORM SEWER AND MANHOLE TO BE RELOCATED | 19 NEW 4" DOMESTIC SERVICE CONNECTION TO EX. WL MAIN |
| 2 PIV | 8 EX. PUBLIC FIRE HYDRANT TO BE RELOCATED | 14 6" PUBLIC GATE VALVE | 20 NEW 4" WATER METER VAULT AND BACKFLOW PREVENTER FOR DOMESTIC SERVICE |
| 3 FDC | 9 RELOCATED PUBLIC FIRE HYDRANT | 15 PROPOSED DOUBLE 4" SAS CLEAN OUT | 21 NEW 1-1/2" IRRIGATION SERVICE CONNECTION TO EX. WL MAIN |
| 4 8" PUBLIC GATE VALVE | 10 4" FIRELINE ENTRY ENTRY INTO BUILDING | 16 PROPOSED 8" SAS CLEAN OUT | 22 NEW 1-1/2" WATER METER AND BACKFLOW PREVENTER FOR IRRIGATION SERVICE |
| 5 8" PRIVATE GATE VALVE | 11 PROPOSED STORM DRAIN MANHOLE | 17 EX. STORM SEWER MANHOLE | |
| 6 NEW PRIVATE FIRE HYDRANT AND 6" GATE VALVE | 12 PROPOSED PUBLIC SAS MANHOLE | 18 EX. SAS MANHOLE | |

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGAL DESCRIPTION:
TR B-1 PLAT OF TRACT B-1 HERITAGE MARKETPLACE (BEING AREPLAT OF TRACT B, HERITAGE MARKETPLACE) CONT 9.0540 AC

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - RIGHT-OF-WAY
 - BUILDING
 - PROPOSED SIDEWALK
 - EXISTING CURB & GUTTER
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - WATERLINE
 - PROPOSED HYDRANT
 - NEW WATER VALVE
 - NEW 4" WATER METER
 - NEW ABOVE GROUND BACKFLOW PREVENTOR
 - SAS CLEAN OUT
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - EXISTING WATERLINE
 - EXISTING SAS

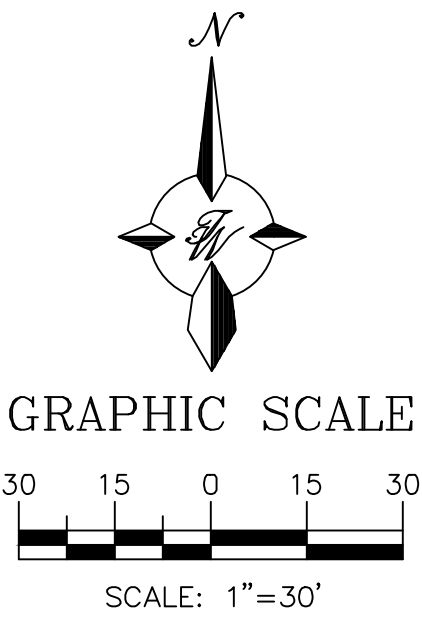
- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
 - ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

CAUTION

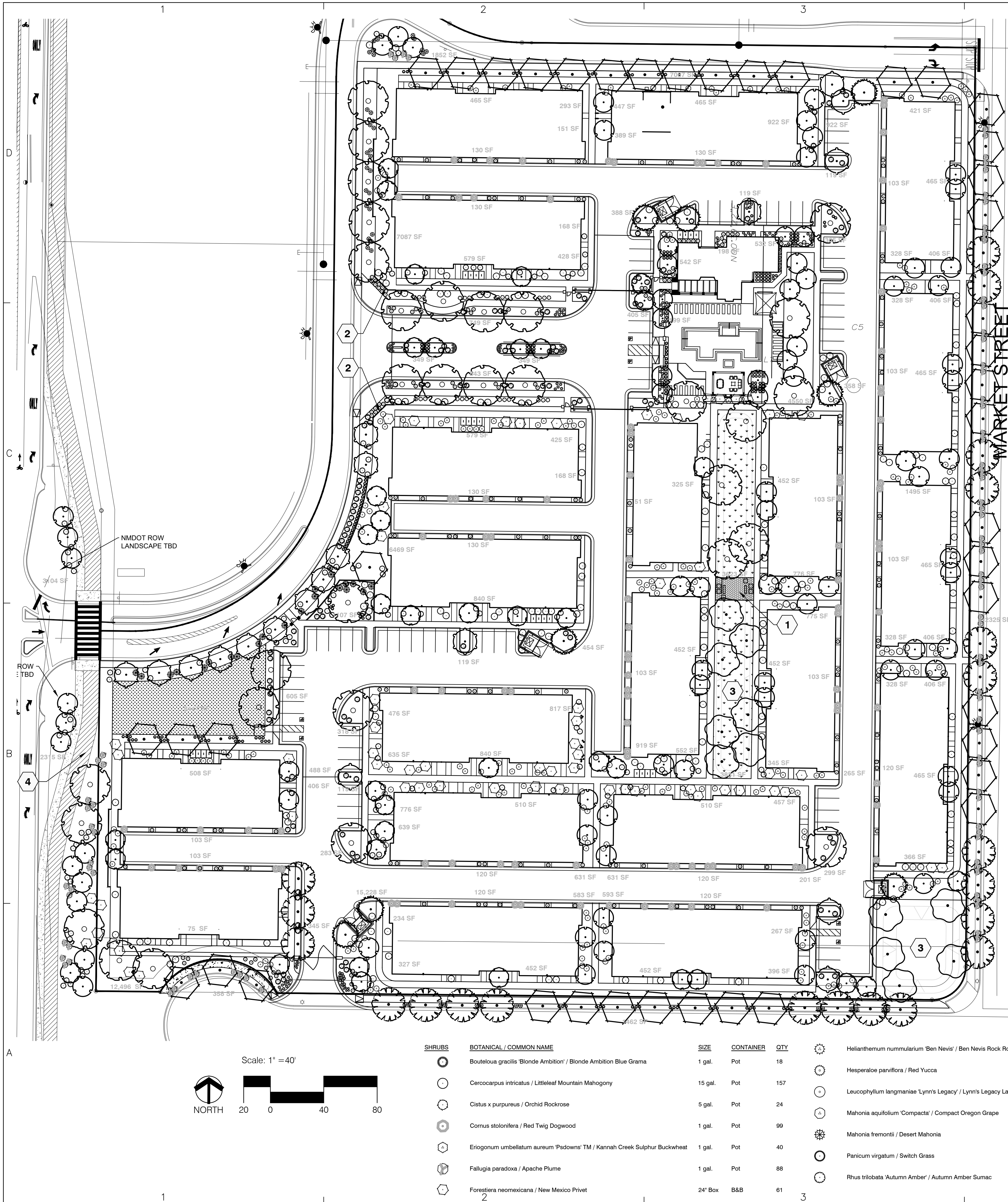
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KEYED NOTES

- | | | |
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ENGINEER'S SEAL	KEYSTONE- HERITAGE MARKETPLACE ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL MASTER UTILITY PLAN	DATE 6-30-22
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3.1
		JOB # 2022057



LANDSCAPE CALCULATIONS

LANDSCAPE AREA COVERAGE		
TOTAL SITE AREA (9.054 AC.):	394,392 SF	
BUILDING AREA:	- 125,920 SF	
NET AREA	268,472 SF	
REQUIRED LANDSCAPE AREA (15% OF NET AREA):		40,270 SF
PROVIDED LANDSCAPE AREA		
PROPOSED LANDSCAPE		100,598 SF (37%)
(EXCLUDING DOG PARK, MAIN PONDING AREA, TURF GRASS AREA AND COURTYARD)		
LANDSCAPE LIVE VEGETATIVE COVERAGE		
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.		
REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE (75%)		30,203 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE (433%)		131,588 SF
REQUIRED GROUND-LEVEL PLANT COVERAGE (25%)		10,067 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE (110%)		21,631 SF
TURF GRASS AREAS		
NO MORE THAN 10 PERCENT OF LANDSCAPE AREAS MAY BE COOL SEASON TURF GRASS REQUIRING IRRIGATION.		
ALLOWABLE TURF GRASS AREA (10%)		10,059 SF
PROVIDED TURF GRASS AREA (9.5%)		7,454 SF
PARKING LOT AREA		
AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.		
PROVIDING 70 STANDARD PARKING SPACES.		
TOTAL PARKING LOT AREA:		12,600 SF
PROVIDED LANDSCAPE AREA:		7,997 SF (35%)
GENERAL LANDSCAPE NOTES		
IRRIGATION		
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.		
RESPONSIBILITY OF MAINTENANCE		
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.		
METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE		
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.		
PNM COORDINATION		
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.		
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.		
CLEAR SIGHT DISTANCE:		
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.		
SHREDDED BARK MULCH AT TREES		
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3' DIAMETER CIRCLE.		
STORMWATER DETENTION POND TREATMENT		
PONDS SHALL BE REVEGETATED PER CABQ SPECIFICATION 1012.2.2 WHICH INCLUDES REVEGETATION MIX A 20 LBS PLS /AC AND THE USE OF 3/4" TO 1" ANGULAR ROCK MULCH ON FINISH GRADE.		
TREES		
	BOTANICAL / COMMON NAME	SIZE CONTAINER QTY
	Acer glabrum neomexicanum / New Mexico Maple	2.5" Cal. B&B 19
	Acer negundo 'Sensation' / Sensation Box Elder	2.5" Cal. B&B 12
	Cercis canadensis texensis / Texas Redbud	2.5" Cal. B&B 85
	Pinus nigra / Austrian Pine	6" Ht. B&B 8
	Pistacia chinensis / Chinese Pistache	2.5" Cal. B&B 43
	Quercus shumardii / Shumard Oak	2.5" Cal. B&B 21
	Ulmus parvifolius 'Allee' TM / Allee Lacebark Elm	2.5" Cal. B&B 31
	Vitex agnus-castus / Chaste Tree	2.5" Cal. B&B 36
	Helianthemum nummularium 'Ben Nevis' / Ben Nevis Rock Rose	1 gal. Pot 130
	Hesperaloe parviflora / Red Yucca	1 gal. B&B 209
	Leucophyllum langmaniae 'Lynn's Legacy' / Lynn's Legacy Langman's Sage	5 gal. Pot 93
	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	5 gal. Pot 130
	Mahonia fremontii / Desert Mahonia	15 gal. Pot 18
	Panicum virgatum / Switch Grass	1 gal. Pot 165
	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	1 gal. Pot 111
	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	1 gal. Pot 111
	Ribes aureum / Golden Currant	1 gal. Pot 44
	Salvia mohavensis / Mojave Sage	5 gal. Pot 102

LANDSCAPE LEGEND

- LANDSCAPED COMMUNITY AMENITY AND SMALL GROUP GATHERING SPACES
- MULTI-PURPOSE LAWN
- DOG PARK, WOOD FIBER MULCH SURFACE TREATMENT

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

70 PARKING SPACES / 10 SPACES = 7 TREES REQUIRED
PROVIDED: 15 TREES

STREET TREES (PER HERITAGE MARKETPLACE DESIGN STD.)
STREET TREES SHALL BE PROVIDED ALONG PUBLIC RIGHTS OF WAY WITH EITHER EVEN SPACING OR IN RANDOM CLUSTERS. THE SPACING OF THE STREET TREES SHALL BE NO GREATER THAN THE DIAMETER OF THE STREET TREE CANOPY AT FULL MATURITY.

UNSER. BLVD: 248 LF / 25 FEET PER TREE = 10 REQUIRED TREES
PROVIDED: 13 TREES
MARKET ST: 702 LF = 25 REQUIRED TREES
PROVIDED: 25 TREES
HANOVER RD NW: 609 LF = 18 REQUIRED TREES
PROVIDED: 18 TREES
NORTH RD NW: 483 LF = 18 REQUIRED TREES
PROVIDED: 18 TREES
WEST LOOP NW: 621 LF = 16 REQUIRED TREES
PROVIDED: 16 TREES

NMDOT ROW
A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDOT FOR ANY LANDSCAPING WITHIN NMDOT HIGHWAY RIGHT OF WAY. LANDSCAPE WITHIN THE NMDOT ROW SHALL BE MAINTAINED BY THE PERMITEE.

USABLE LANDSCAPE OPEN SPACE
PROVIDED: 101,433 SF
(INCLUDES LANDSCAPE AREA PROVIDED WITHOUT R.O.W., TURF GRASS AREAS, DOG PARK, AND COURTYARDS)

KEYED NOTES

SYMBOL	DESCRIPTION
1	SHADED GATHERING AREA
2	SIGNAGE
3	STORMWATER PONDING
4	EXISTING ASPHALT TRAIL

CONSensus
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

DESCRIPTION



THE HAVENLY
HERITAGE
MARKETPLACE
ALBUQUERQUE, NM

JULY 7, 2022

SUBMITTAL: JULY 6, 2022

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 2013-01
CAD DWG FILE:
DESIGNED BY: KR DATE: 7/22
DRAWN BY: KR DATE: 7/22
CHECKED BY: KR DATE: 7/22

SHEET TITLE

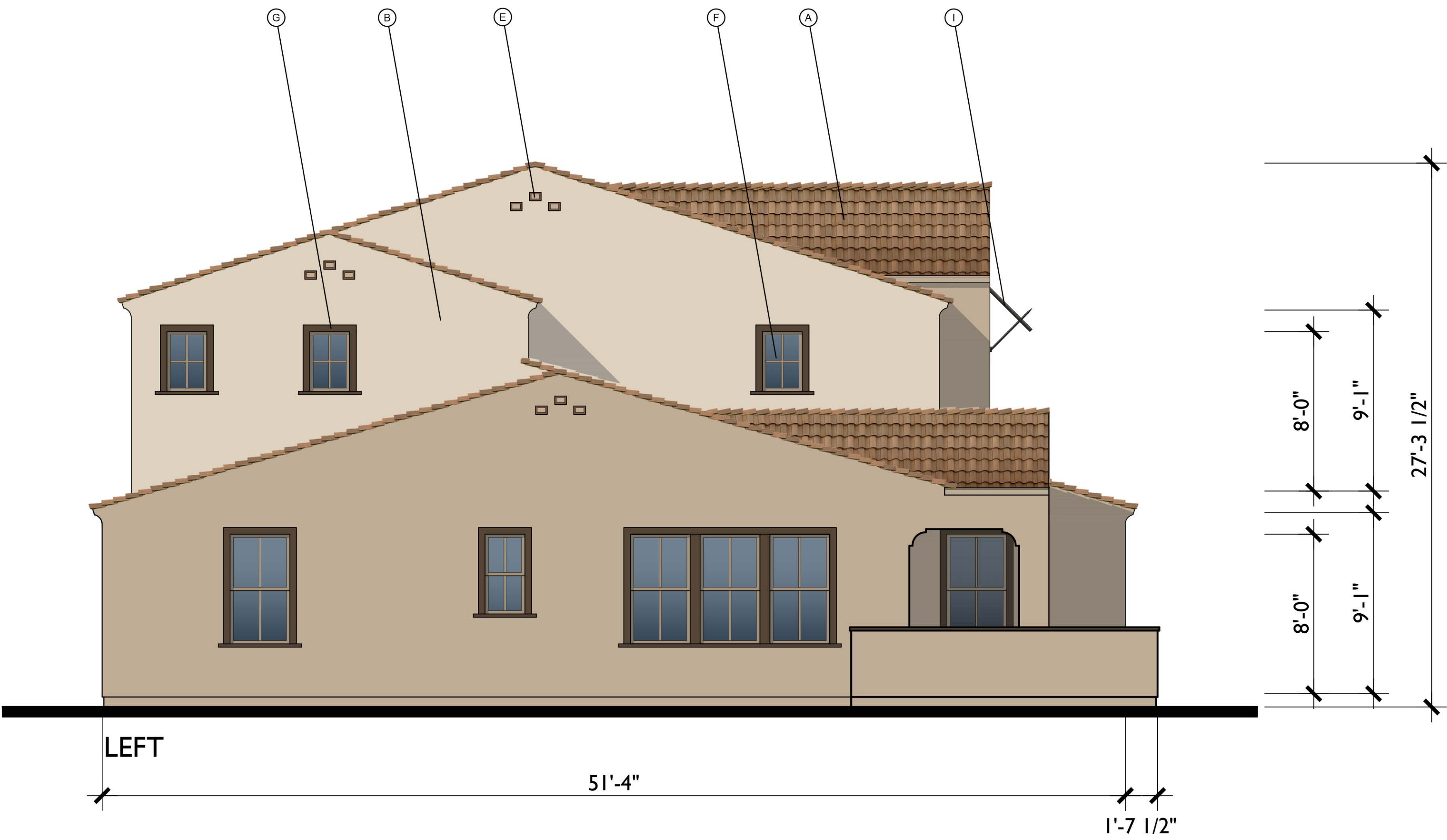
CONCEPTUAL
LANDSCAPE PLAN

DRAWING SHEET
LS-101



- MATERIAL LEGEND
- A. CONCRETE 'S' TILE
 - B. STUCCO (COLOR VARIES)
 - C. METAL SECTIONAL GARAGE DOOR
 - D. DECORATIVE LIGHT FIXTURE
 - E. DECORATIVE GABLE END DETAIL
 - F. VINYL WINDOW
 - G. STUCCO OVER FOAM TRIM
 - H. DECORATIVE SHUTTER
 - I. AWNING





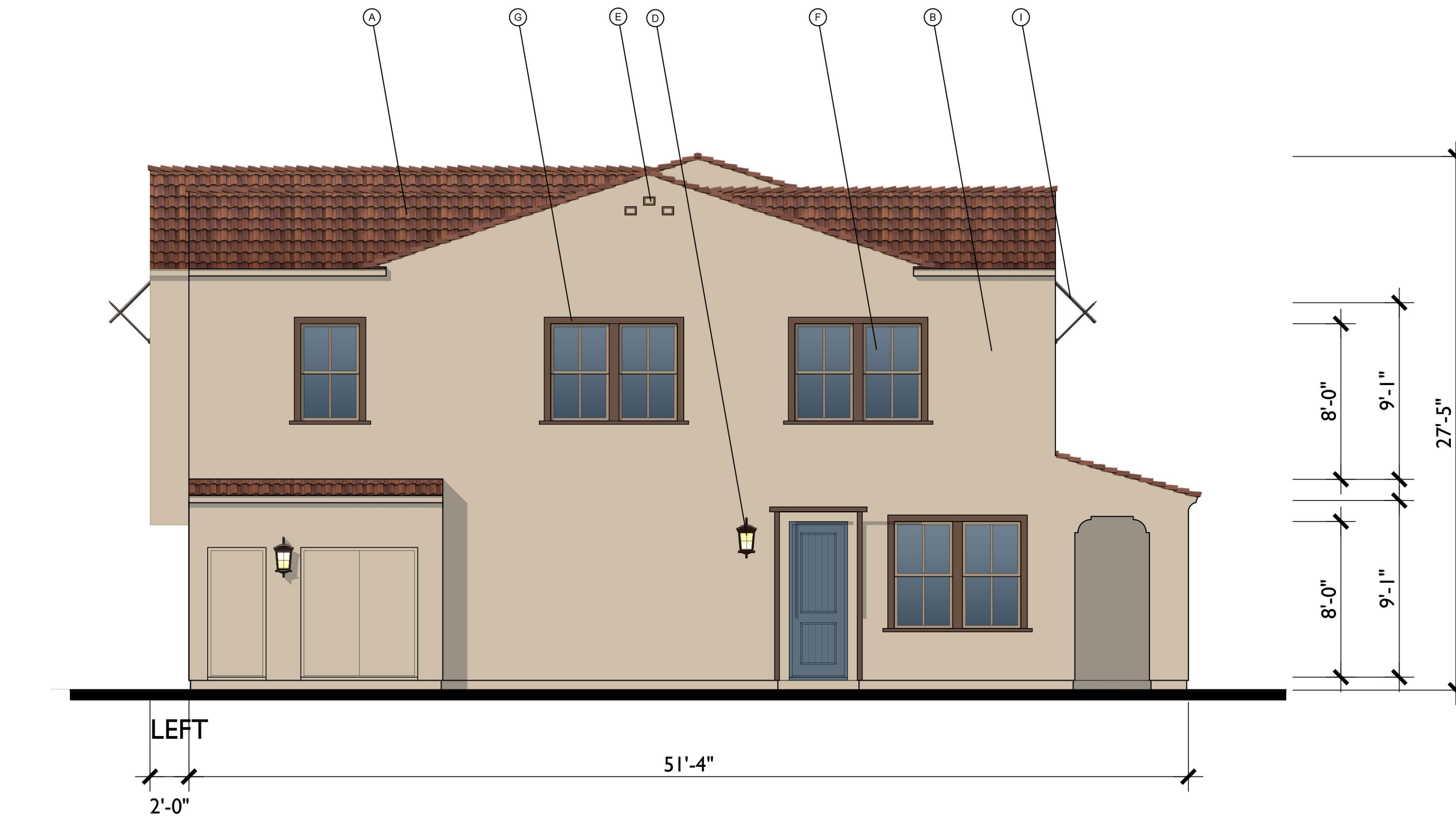
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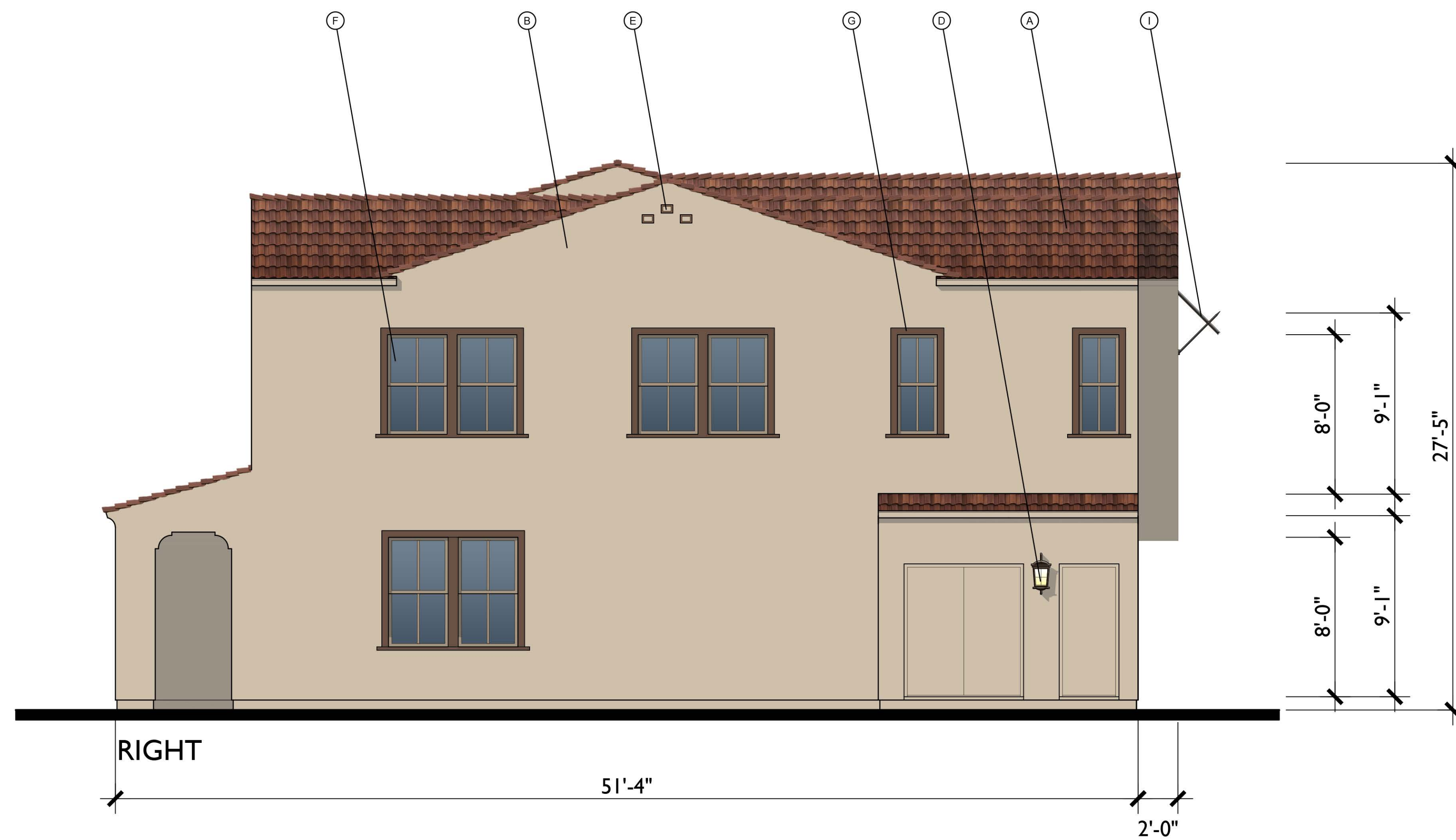


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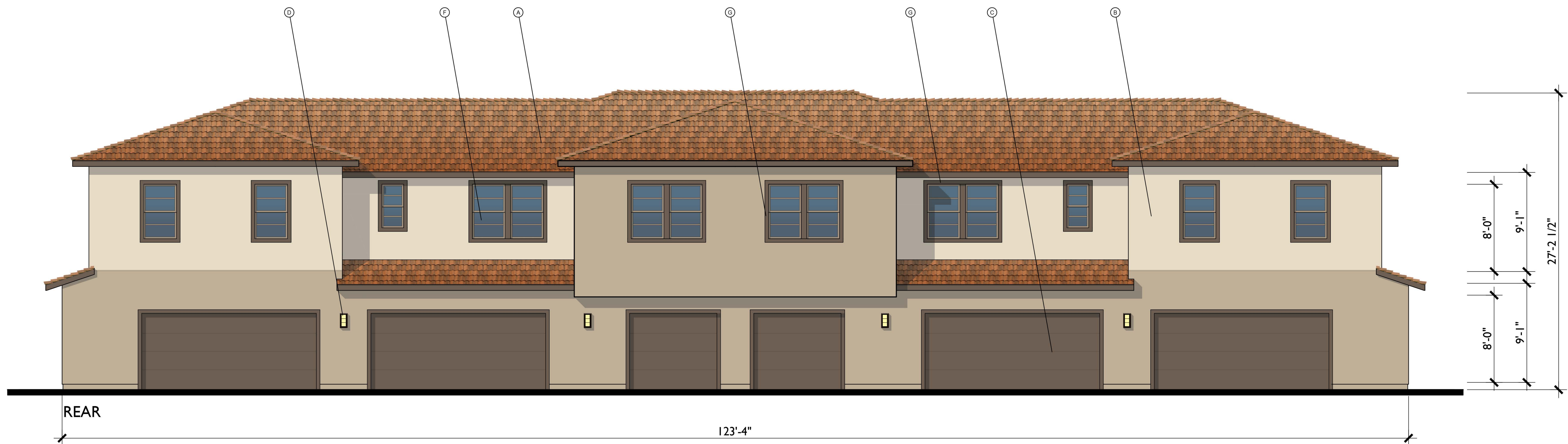


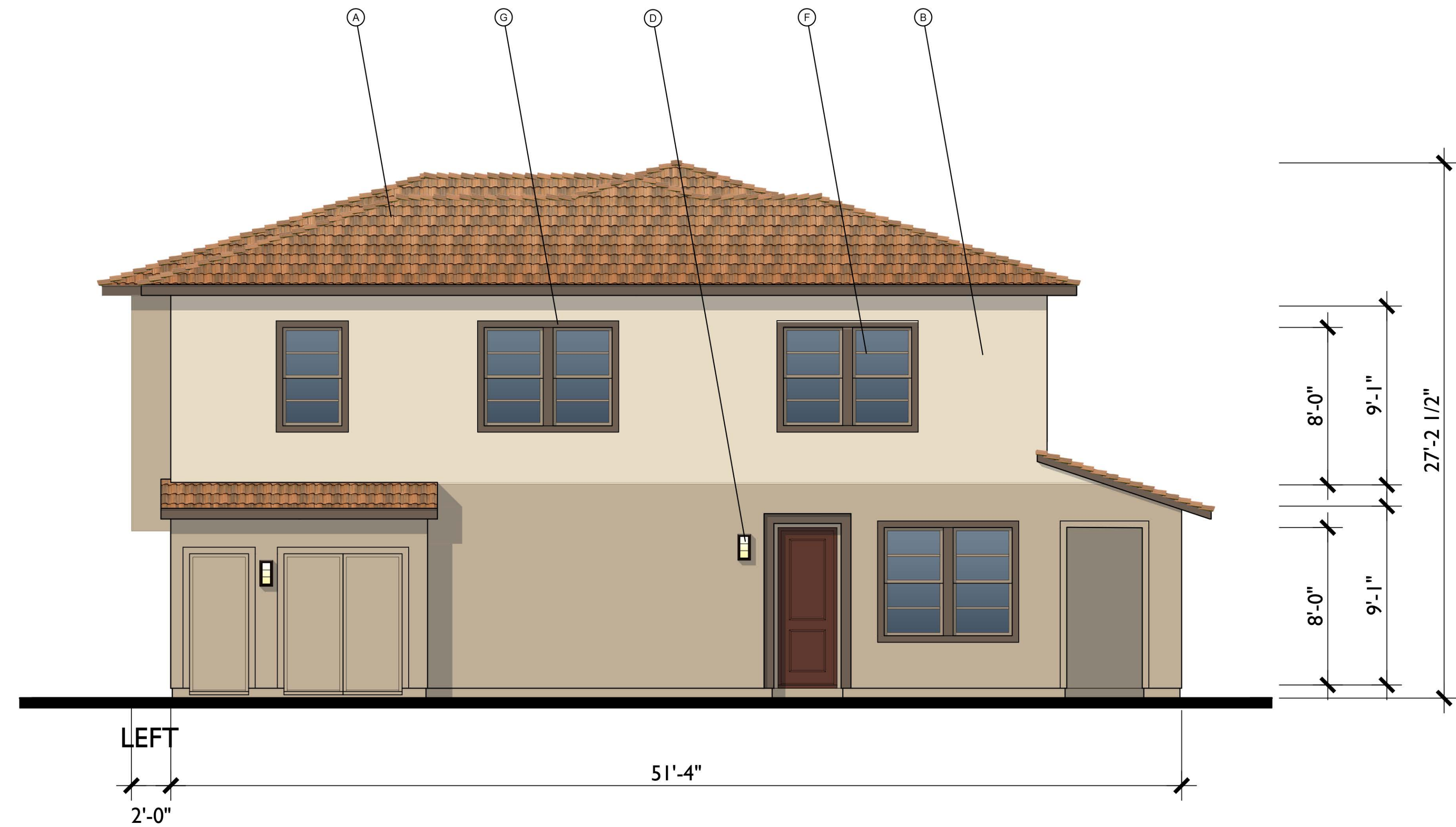
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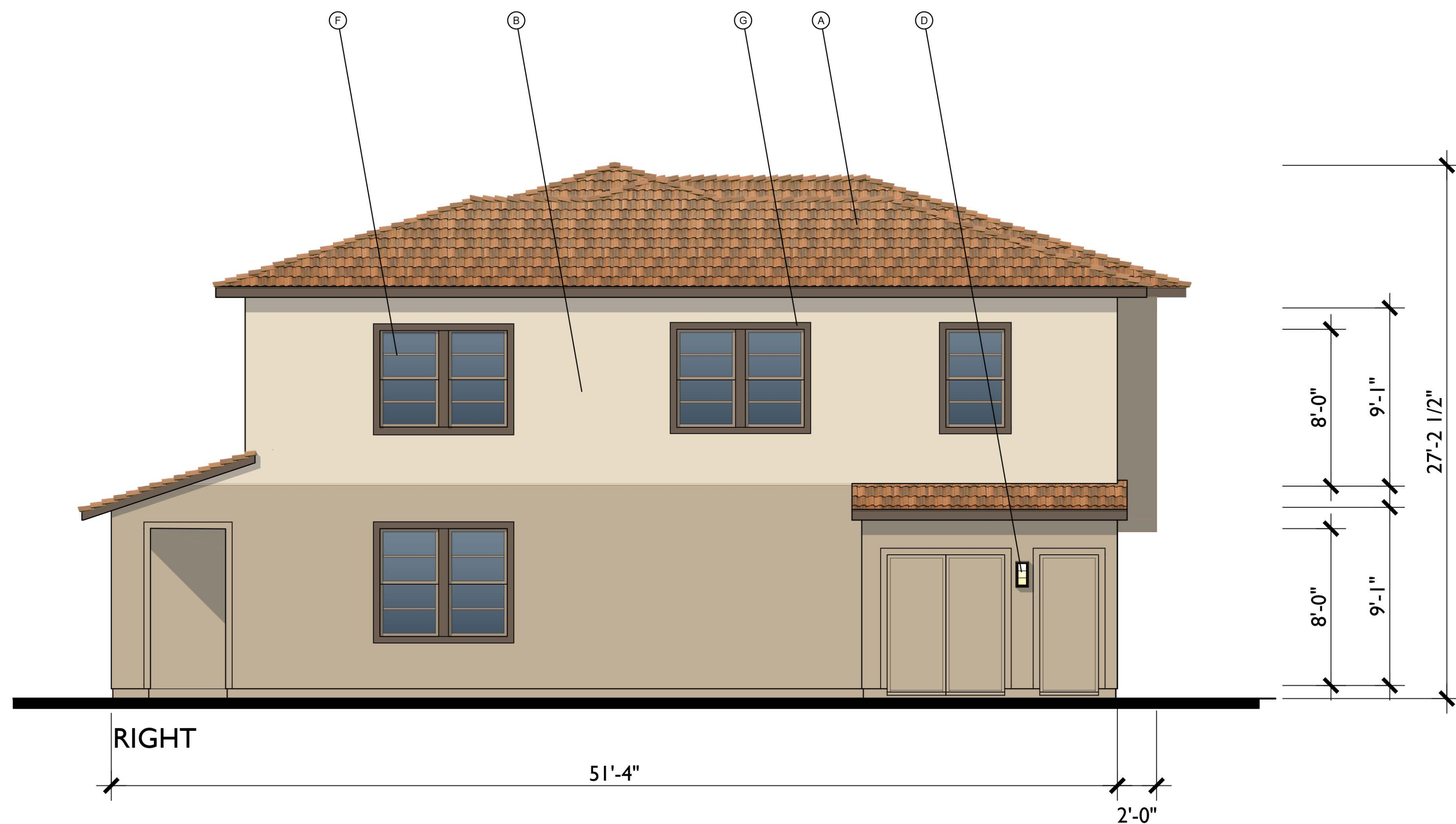


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FRONT

144'-4"

A - SPANISH

1/4"=1'-0"

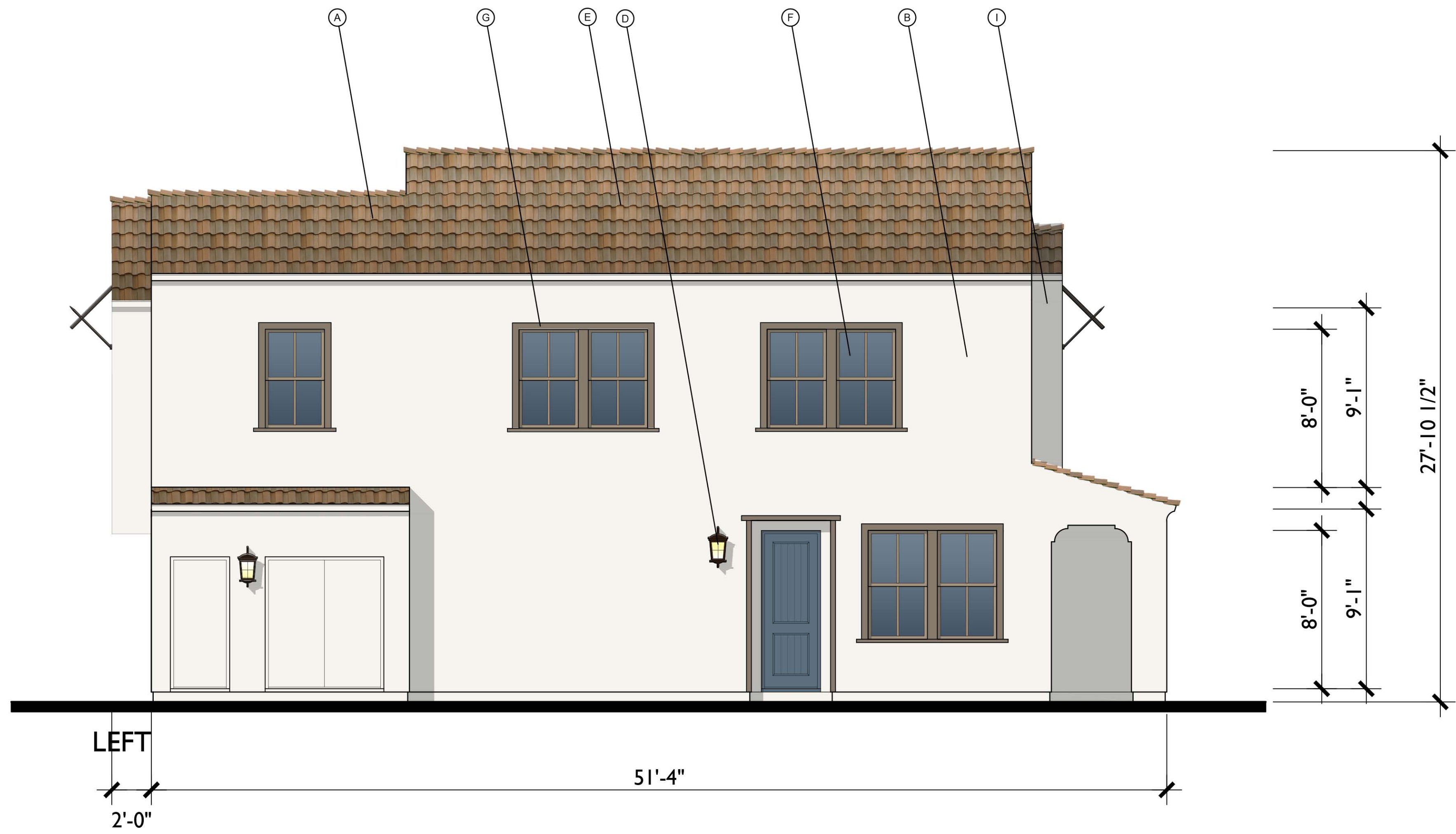
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REAR

144'-4"



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 - B. STUCCO (COLOR VARIES)
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FRONT

144'-4"

A - TRANSITIONAL SPANISH

1/4"=1'-0"

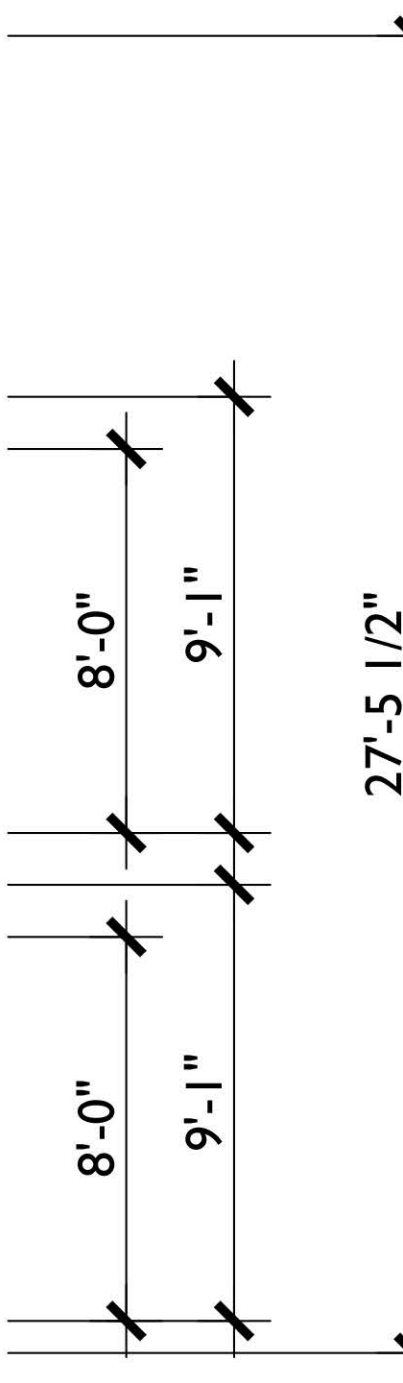


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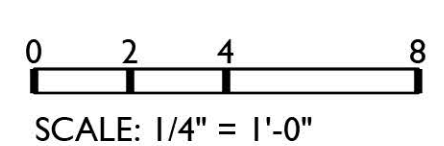
REAR

144'-4"



Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
Copyright 2022 Bassenian | Lagoni Architects

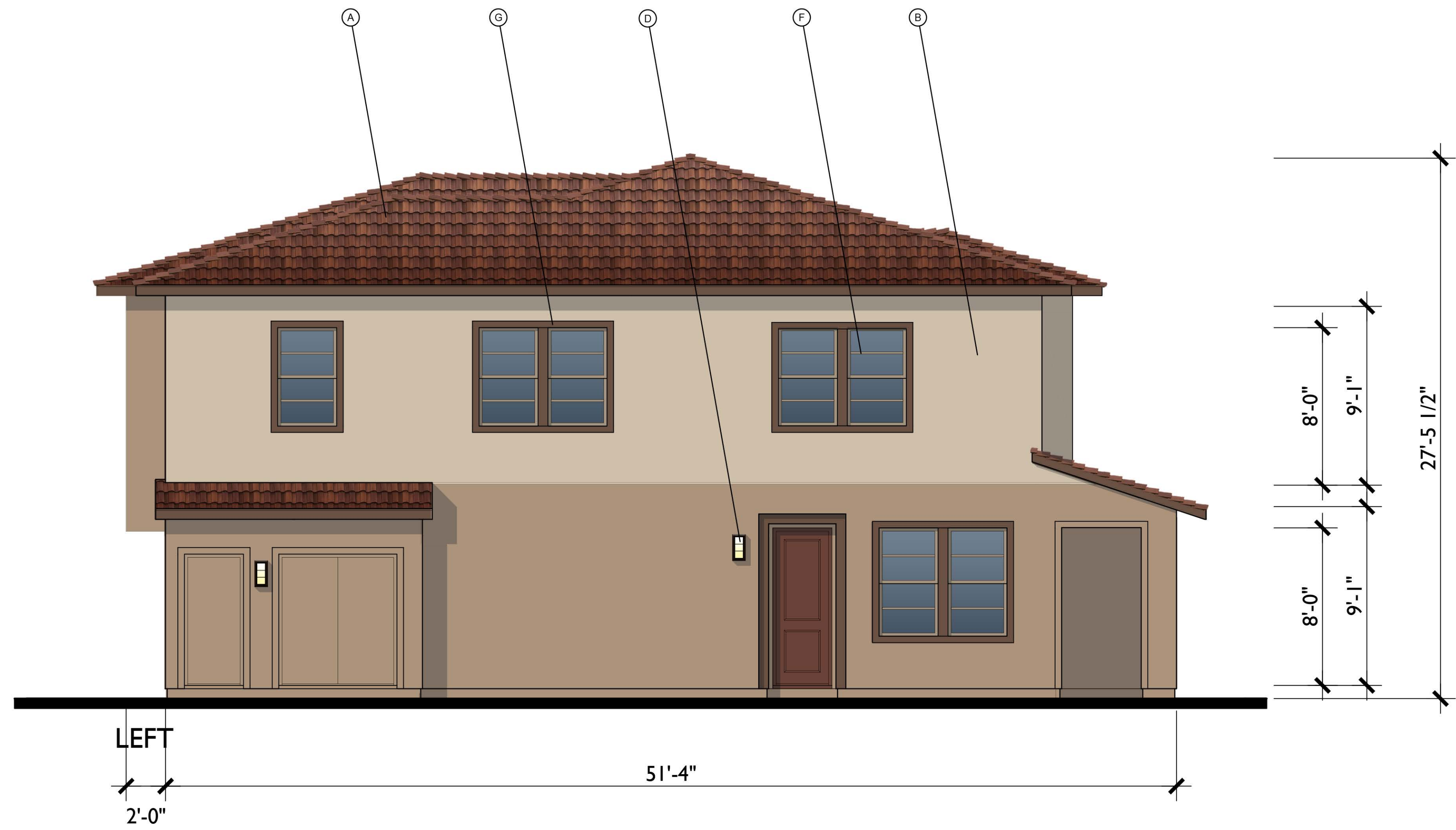
7 - PLEX - BUILDING C
Transitional Spanish Elevations
HAVENLY HERITAGE MARKETPLACE
Albuquerque, NM
331.22222



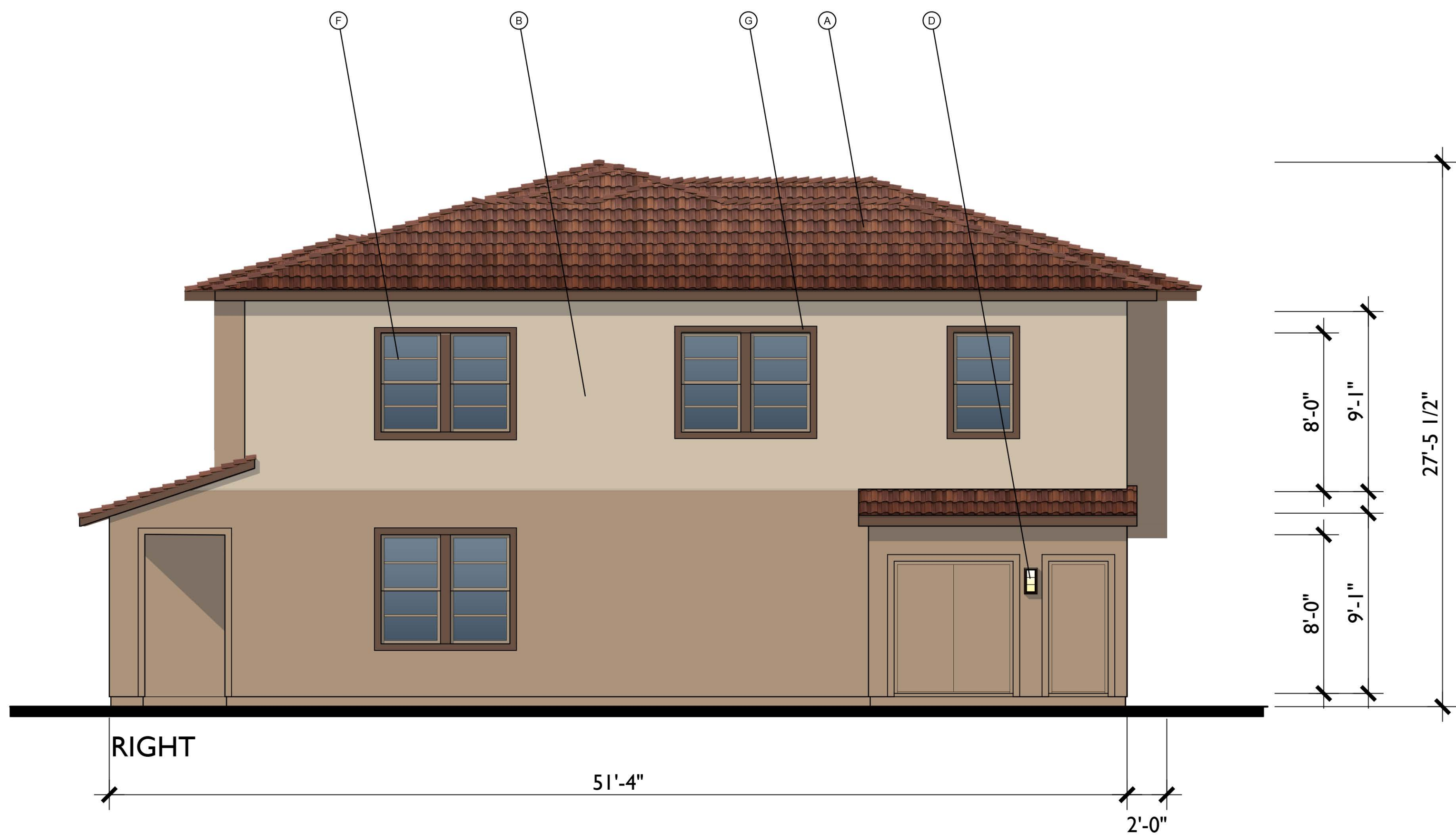
07.07.22

NOTE: MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED
AND SCREENED ADJACENT TO EACH INDIVIDUAL DWELLING UNIT.
(EXACT LOCATION T.B.D.)





- MATERIAL LEGEND
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HAVENLY HERITAGE

MARKETPLACE

DIGITAL COLOR BOARDS

331-22222

JULY 5, 2022

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS



HAVENLY HERITAGE MARKETPLACE

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

JOB# 331-22222
COLOR SELECTION CHART

PAINT: SHERWIN WILLIAMS

JUNE 29, 2022

ROOF: EAGLE

WROUGHT IRON: SW 7020 BLACK FOX

FABRIC AWNING: SUNBRELLA

WINDOW FRAME: TAN

FAUX GABLE VENTS: SW 6096 JUTE BROWN

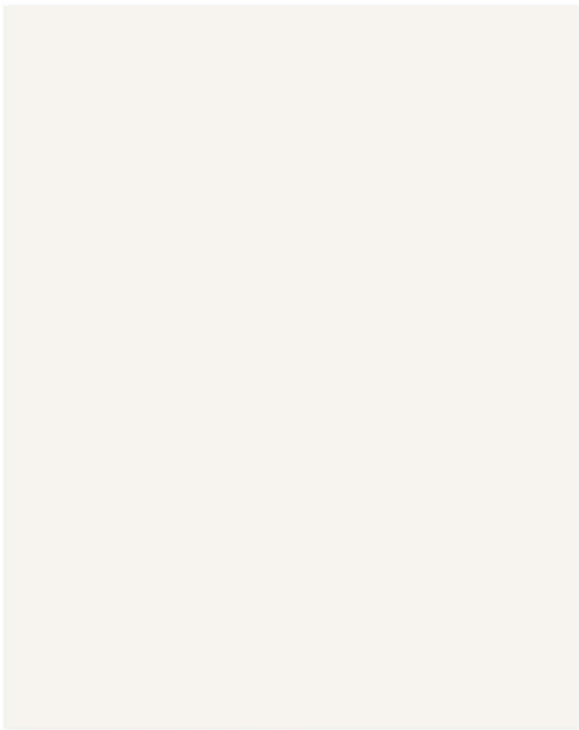
SCHEMES 1 – 4 FOR ALL ELEVATIONS

	1	2	3	4
TRIM & GARAGE DOORS	SW 7032 WARM STONE	SW 7515 HOMESTEAD BROWN	SW 7520 PLANTATION SHUTTERS	SW 7041 VAN DYKE BROWN
FRONT ENTRY & SHUTTERS #1	SW 6187 ROSEMARY	SW 2837 AURORA BROWN	SW 6243 DISTANCE	SW 7602 INDIGO BATIK
FRONT ENTRY & SHUTTERS #2	SW 6243 DISTANCE	SW 7602 INDIGO BATIK	SW 2837 AURORA BROWN	SW 6187 ROSEMARY
FABRIC AWNING	FERN	MANHOGANY	SAPPHIRE	MARINE BLUE
BASE STUCCO & EAVES	SW 7566 WESTHIGHLAND WHITE	SW 6119 ANTIQUE WHITE	SW 7532 URBAN PUTTY	SW 9111 ANTLER VELVET
ACCENT STUCCO & EAVES	SW 7565 OYSTER BAR	SW 7533 KHAKI SHADE	SW 7521 DORMER BROWN	SW 7526 MAISON BLANCE
ROOF	3680	3645	3636	3646

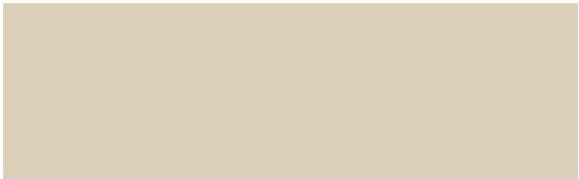
SCHEME 1
ALL BUILDING ELEVATIONS



S ROOF
EAGLE – 3680



BASE STUCCO & EAVES
SW 7566 WESTHIGHLAND WHITE



ACCENT STUCCO & EAVES
SW 7565 OYSTER BAR



WROUGH IRON
SW 7020 BLACK FOX



TRIM & GARAGE DOORS
SW 7032 WARM STONE



FRONT ENTRY DOOR & SHUTTERS #2
SW 6243 DISTANCE



FRONT ENTRY DOOR & SHUTTERS #1
SW 6187 ROSEMARY



FABRIC AWNING
SUNBRELLA – FERN

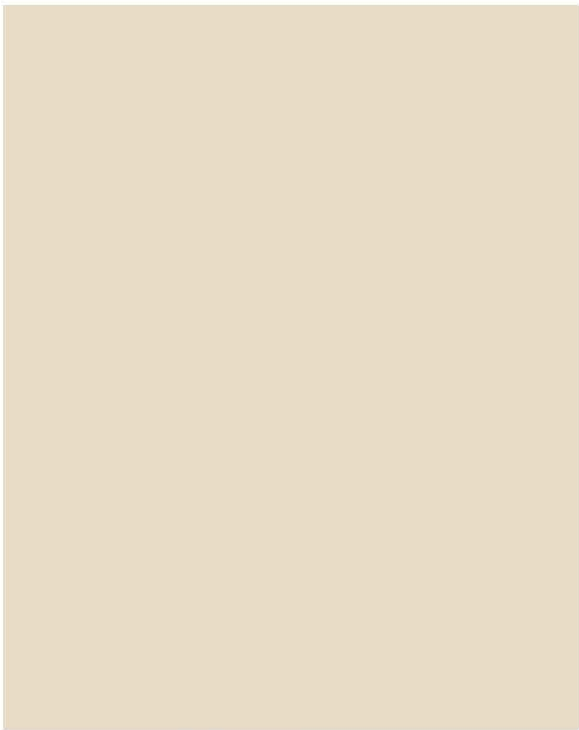


FAUX GABLE VENTS
SW 6096 JUTE BROWN

SCHEME 2
ALL BUILDING ELEVATIONS



S ROOF
EAGLE – 3645



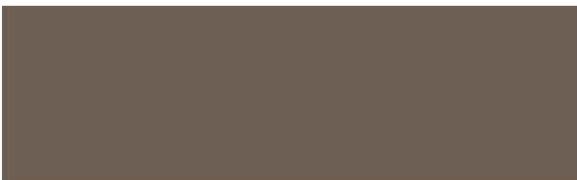
BASE STUCCO & EAVES
SW 6119 ANTIQUE WHITE



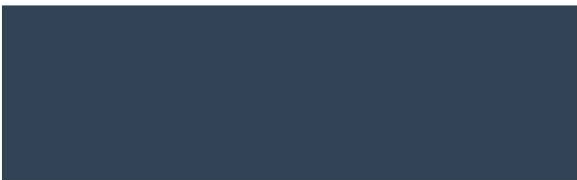
ACCENT STUCCO & EAVES
SW 7533 KHAKI SHADE



WROUGH IRON
SW 7020 BLACK FOX



TRIM & GARAGE DOORS
SW 7515 HOMESTEAD BROWN



FRONT ENTRY DOOR & SHUTTERS #2
SW 7602 INDIGO BATIK



FRONT ENTRY DOOR & SHUTTERS #1
SW 2837 AURORA BROWN



FABRIC AWNING
SUNBRELLA – MAHOGANY



FAUX GABLE VENTS
SW 6096 JUTE BROWN

SCHEME 3
ALL BUILDING ELEVATIONS



S ROOF
EAGLE – 3636



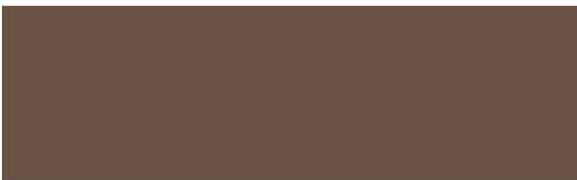
BASE STUCCO & EAVES
SW 7532 URBAN PUTTY



ACCENT STUCCO & EAVES
SW 7521 DORMER BROWN



WROUGH IRON
SW 7020 BLACK FOX



TRIM & GARAGE DOORS
SW 7520 PLANTATION SHUTTERS



FRONT ENTRY DOOR & SHUTTERS #2
SW 2837 AURORA BROWN



FRONT ENTRY DOOR & SHUTTERS #1
SW 6243 DISTANCE



FABRIC AWNING
SUNBRELLA – SAPHIRE



FAUX GABLE VENTS
SW 6096 JUTE BROWN

SCHEME 4
ALL BUILDING ELEVATIONS



S ROOF
EAGLE – 3646



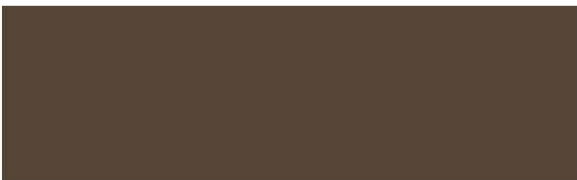
BASE STUCCO & EAVES
SW 9111 ANTLER VELVET



ACCENT STUCCO & EAVES
SW 7526 MAISON BLANCHE



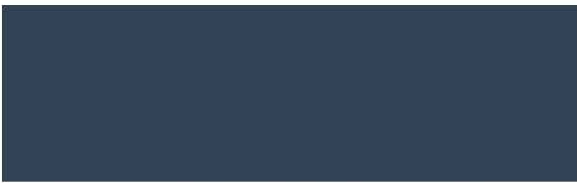
WROUGHT IRON
SW 7020 BLACK FOX



TRIM & GARAGE DOORS
SW 7041 VAN DYKE BROWN



FRONT ENTRY DOOR & SHUTTERS #2
SW 6187 ROSEMARY



FRONT ENTRY DOOR & SHUTTERS #1
SW 7602 INDIGO BATIK



FABRIC AWNING
SUNBRELLA – MARINE BLUE



FAUX GABLE VENTS
SW 6096 JUTE BROWN