



Environmental Planning Commission

Staff Report

Agenda Number: 01
Project #: PR-2020-003455
Case #: SI-2020-00051
Hearing Date: April 23, 2020

Agent	Consensus Planning, Inc.
Applicant	Dynamic Investors
Request	Site Plan
Legal Description	Tract B-3-A Plat of Tract B-3-A KOA Subdivision Unit 2
Location	540 Paisano St. NE
Size	5.1 acres
Existing Zoning	PD

Staff Recommendation

APPROVAL of SI-2020-00051, based on the Findings beginning on Page 20 and Conditions on Page 25.

Staff Planner
Leslie Naji, Senior Planner

Summary of Analysis

The request is for a Site Plan approval for an approximately 5.1-acre vacant site, consisting of the northeast end of Paisano St. and south of Interstate-40 in the eastern portion of the City. The lot is zoned PD.

The subject site is in an Area of Change, as designated by the Comprehensive Plan and is Opportunity Site #41 of the East Gateway Metropolitan Redevelopment Area Plan. The site plan requires EPC approval as it is over 5 acres.

The applicant requests a site plan approval for a 163 unit mixed-income, multi-family project. Part of this request is a height deviation of 7 feet for three of the five buildings. The justification for the request, to provide more mixed-income housing for a redevelopment area, is appropriate.

The affected neighborhood organization is the East Gateway Coalition, which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was not requested. Staff has not been contacted. There is no known opposition. Staff recommends approval.

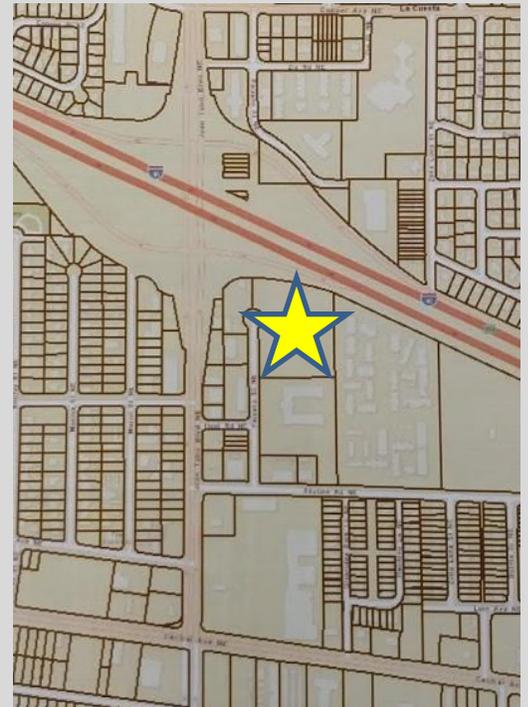




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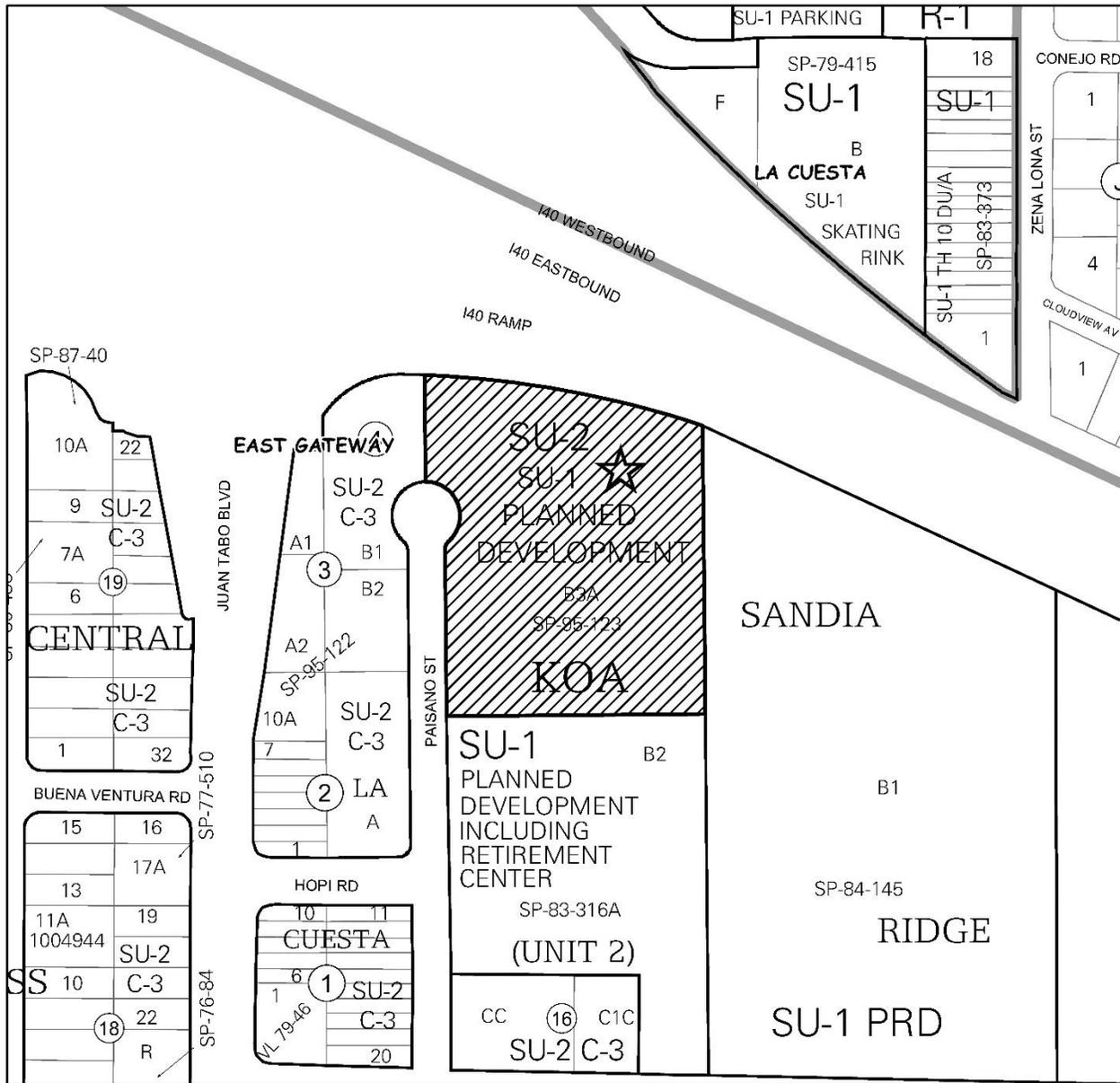
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Attachments



OLD ZONING MAP

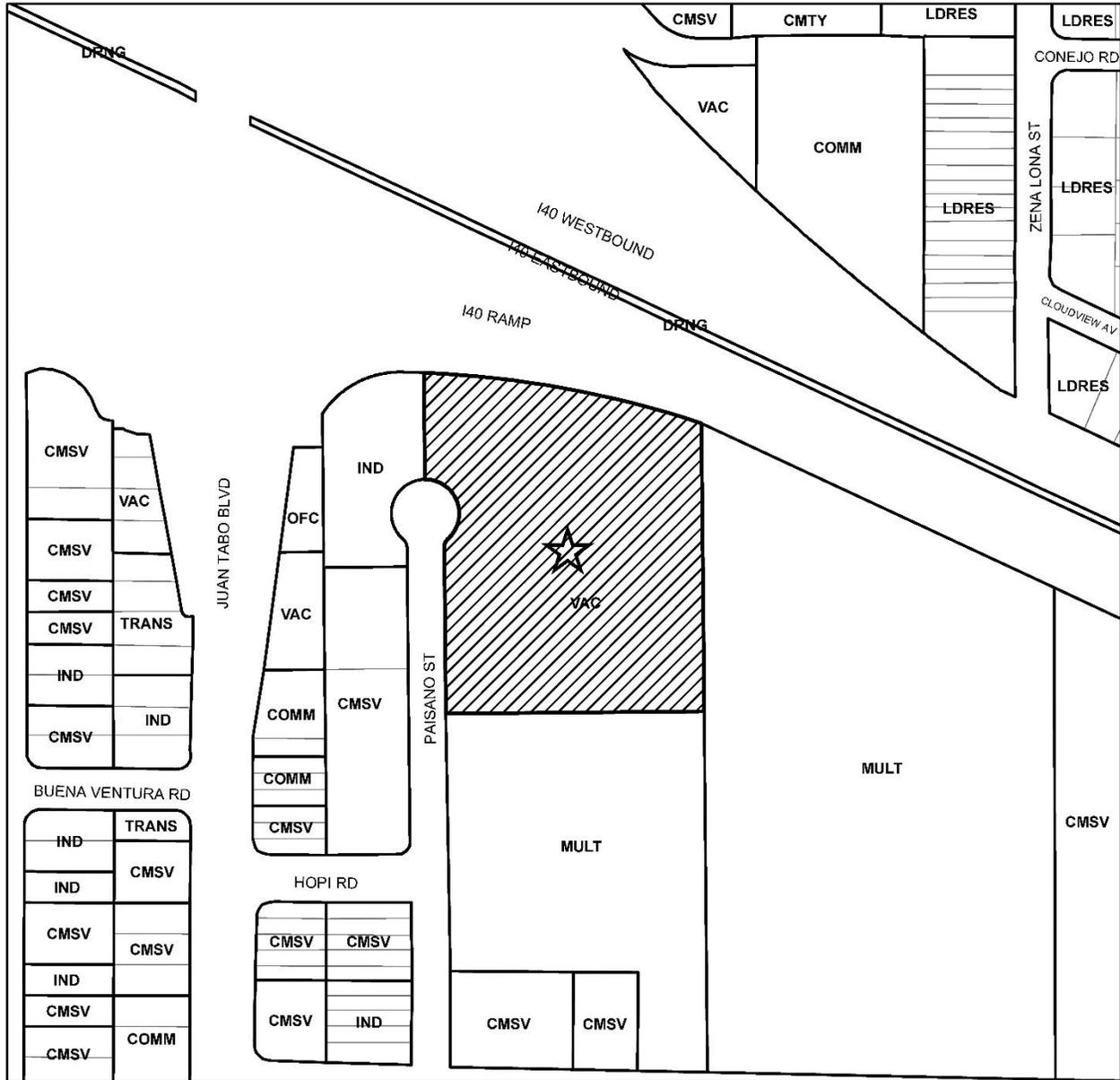
Note: Gray shading indicates County.



1 inch = 225 feet

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LAND USE MAP

Note: Gray shading indicates County.

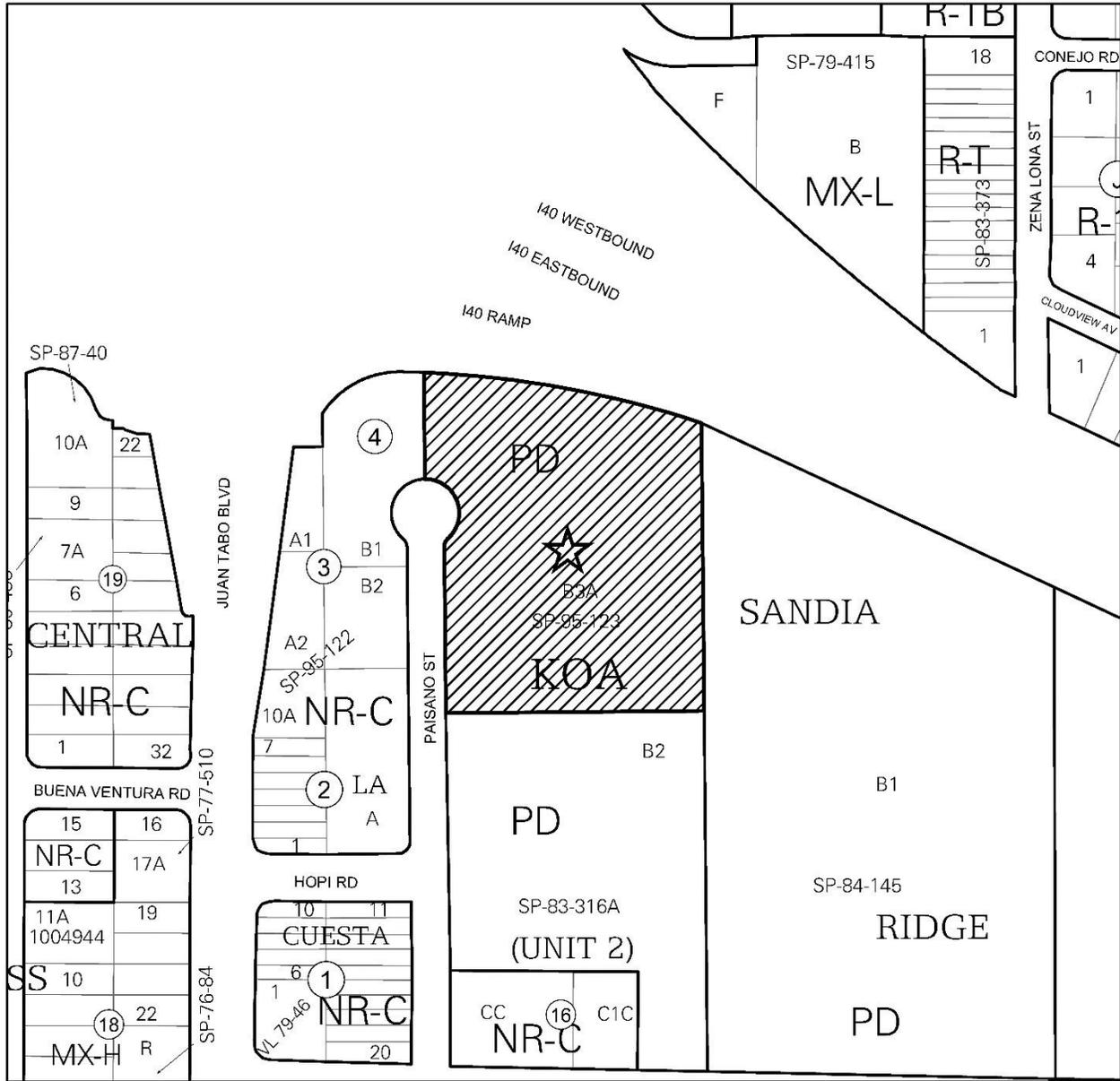
- Key to Land Use Abbreviations**
- LDRES | Low-density Residential
 - MULT | Multi-family
 - COMM | Commercial Retail
 - CMSV | Commercial Services
 - OFC | Office
 - IND | Industrial
 - INSMED | Institutional / Medical
 - ED | Educational
 - APRT | Airport
 - TRANS | Transportation
 - AGRI | Agriculture
 - PARK | Parks and Open Space
 - DRNG | Drainage
 - VAC | Vacant
 - UTIL | Utilities
 - CMTY | Community
 - KAFB | Kirtland Air Force Base



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IDO ZONING MAP

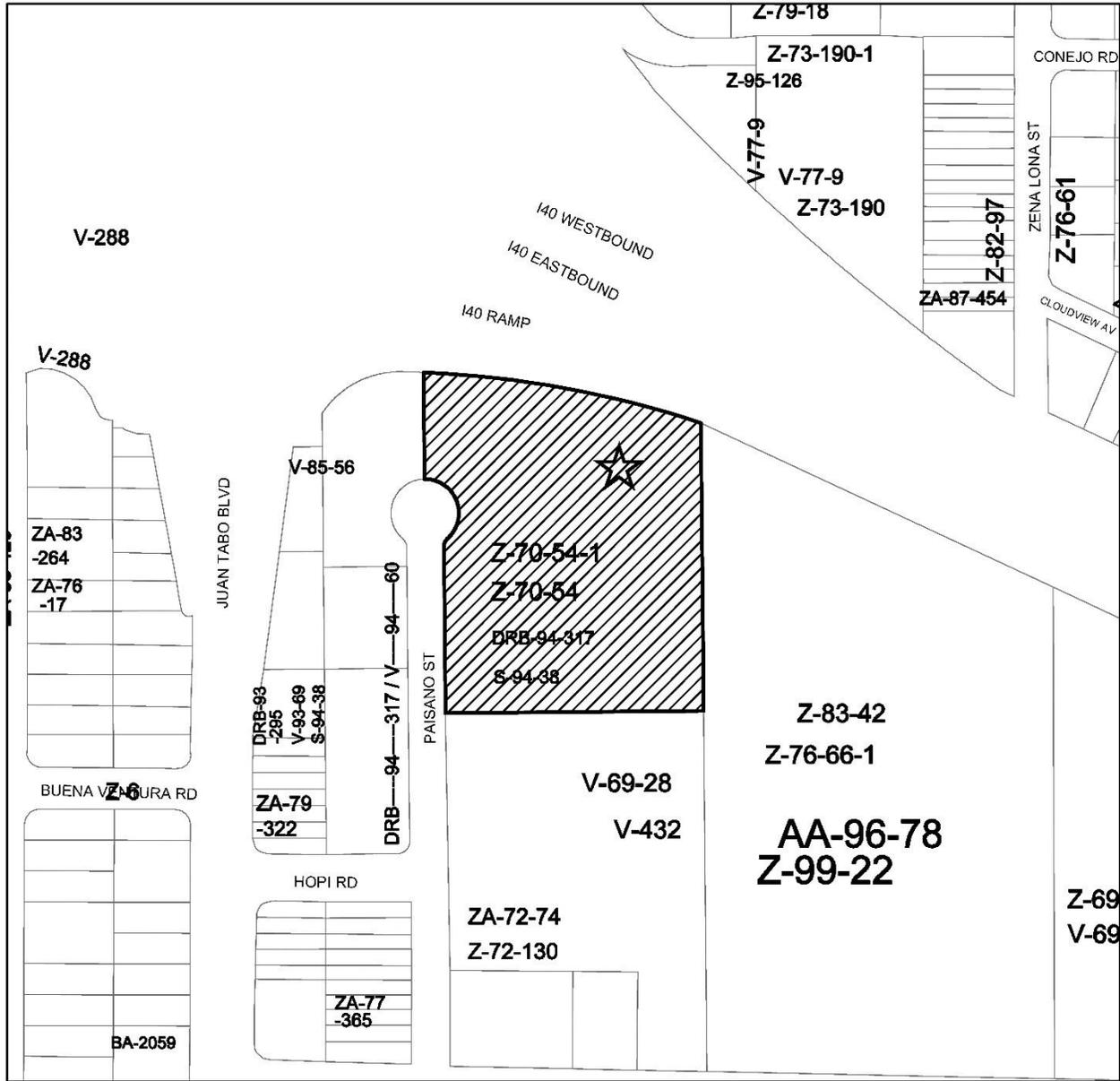
Note: Gray shading indicates County.



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HISTORY MAP

Note: Gray shading indicates County.

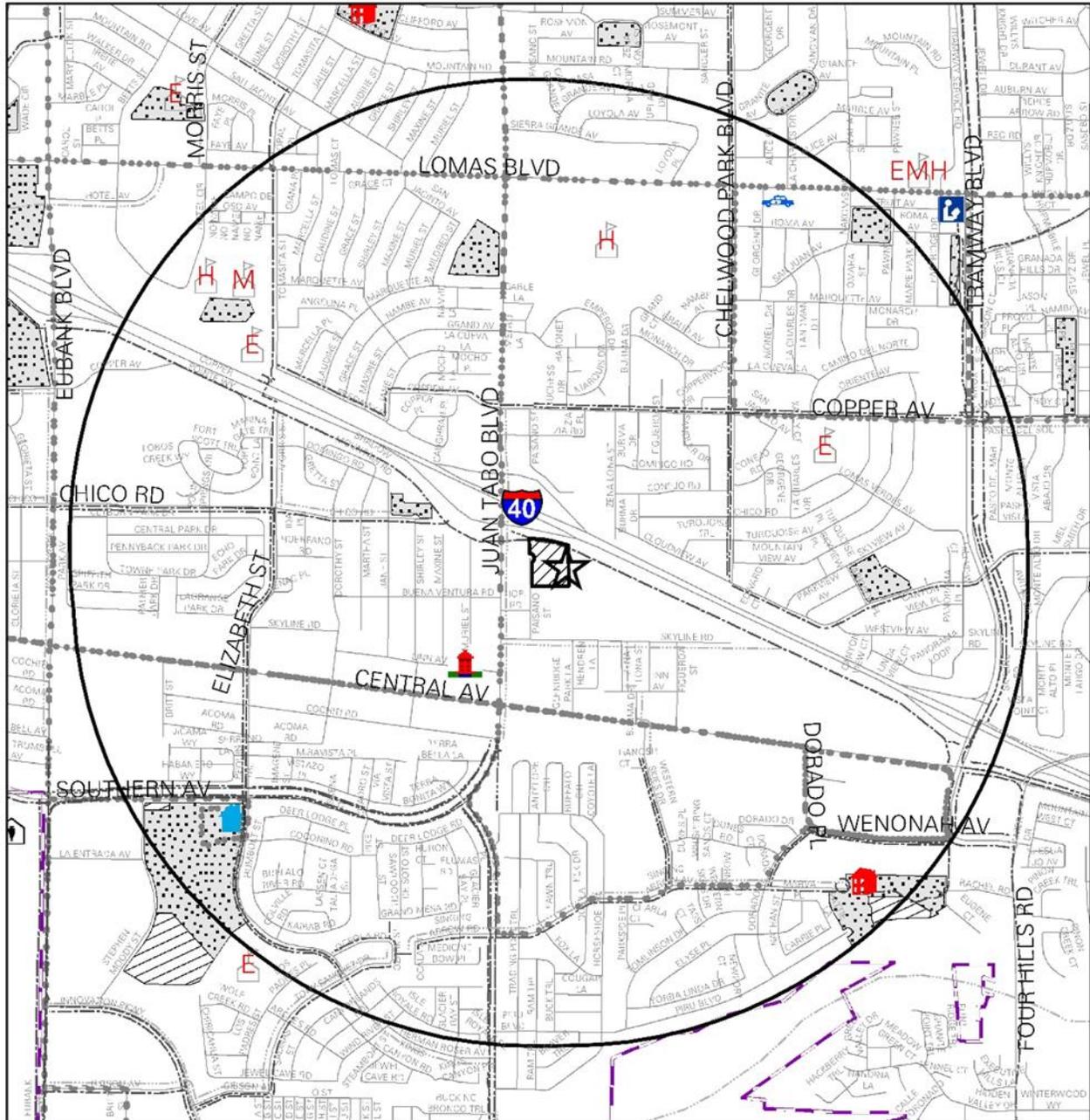
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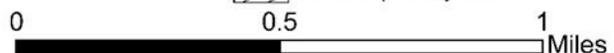
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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Bike Facilities | Developed County Park |
| Library | Solid Waste | ABQ Ride Route | Undeveloped County Park |
| Museum | Albuquerque City Limits | | Developed City Park |
| | | | Undeveloped City Park |



I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	PD	Area of Change	Vacant
<i>North</i>	Right-of-way, MX-L	Area of Consistency	Commercial
<i>South</i>	PD	Area of Consistency	Senior Residential
<i>East</i>	PD	Area of Consistency	Multi-family Residential
<i>West</i>	Right-of-way, NR-C	Area of Change	Commercial

Request

The request is for a site plan approval for an approximately 5.1-acre, vacant site consisting of the northeast end of Paisano St. and south of Interstate-40 in the eastern portion of the City. The lot is zoned PD.

The applicant requests a site plan approval for a 163 unit mixed-income, multi-family project containing four residential buildings. Each building will contain a variety of housing units including micro-studio (360 square feet), studio (600 square feet), one-bedroom (750 square feet) and two-bedroom (1,170 square feet). The Type 2 and 3 buildings include garages as an option for those residents and will be four-stories, 52 feet in height. The Type 1 Building does not include interior garages and is three-stories, 44 feet in height. In addition to the interior garages, surface parking is provided, both with carports and open parking. Residents will have access to the clubhouse, swimming pool and spa, and dog park.

EPC Role

The EPC is hearing this case because the EPC is required to review site plans for Planned Developments (PD) over 5 acres. The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would make the final decision. The requests are quasi-judicial matters.

Context

The Subject Property is currently vacant and located on the east side of Paisano Street and south of Interstate-40. The Subject Property is in an Area of Change, as designated by the ABC Comprehensive Plan, and is within the East Gateway Metropolitan Redevelopment Area. The I-40 East Trail, a paved multi-use trail managed by New Mexico Department of Transportation, runs

along the north side of the site. Juan Tabo Boulevard, a Multi-Modal Corridor is located just west of the subject property and Central Avenue, a Major Transit Corridor is located to the south.

History

In 1970, a zone change was approved by the Environmental Planning Commission (EPC) from R-1 to SU-1 for Planned Development (Z-70-54). In 1983, the EPC approved Site Plan for a parking lot variance and a zone change from SU-1 for Planned Development to SU-1 for Planned Development including Retirement Center. The zone map amendment allowed for the Las Colinas Retirement Center to be constructed to the south of the subject property (Z-70-54-1).

In 1994, the Subject Property was part of a Vacation of Public Right-of-Way (DRB-94-317) for portions of Paisano Avenue NE, Huerfano Road NE, and Buena Ventura Road NE, and Preliminary Plat approval for Tract B-3, K.O.A. Subdivision (Subject Property).

The Subject Property is located in the East Gateway Metropolitan Redevelopment Area. The East Gateway Metropolitan Area (MRA) Plan implements the goals of the East Gateway Sector Development Plan by promoting increased density in major activity centers and along major transit corridors.

The MRA Plan identifies targeted improvements for the area including:

“Revitalize the East Central corridor with new and expanded businesses and higher density, mixed-income housing near transit stops.”

The Subject Property was identified in the East Gateway MRA Plan as Opportunity Site #41 and is located approximately ¼ mile east of the East Gateway Catalyst Area A situated at the intersection of Central Avenue and Juan Tabo Boulevard. This area is the highest priority for City resources and incentives to spur redevelopment in the East Gateway area as stated in the MRA Plan. The proposed development will advance the MRA Plan recommendations by developing an Opportunity Site and increasing mixed-income, housing density near the major transit stops along Juan Tabo Boulevard and Central Avenue. Furthermore, the proposed multi-family project will serve as a catalyst for the area by drawing new residents that will support the revitalization of commercial in Catalyst Area A in need of redevelopment.

Transportation System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classifications of roadways. Juan Tabo is a Community Principal Arterial roadway. Central Ave, less than half a mile to the south is designated a Regional Principal Arterial roadway.

Comprehensive Plan Corridor Designation

The subject site is located on Paisano St. which does not have any corridor designation in the Comprehensive Plan.

Trails/Bikeways

A paved Multi-Use Trail runs along the north side of the project site along the I-40 right-of-way. There are proposed bike lanes for Juan Tabo and a proposed bike route for Skyline Rd, just south of the site.

Transit

The subject site is less than half a mile from a Major Transit Corridor and is served by three major bus lines. Standard bus route 1 has a stop approximately 300 feet west of the site on Juan Tabo. The 777 Rapid Ride Green Line and the 66 Central Routes have a stop approximately one-half mile south of the site located along Central Ave.

Public Facilities/Community Services

Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

The subject site is zoned PD [Planned Development Zone District, IDO 14-16-2-6(A)] which was assigned as a conversion from the site's previous SU-2/SU-1 zone upon adoption of the IDO. The purpose of the PD zone district is to accommodate small- and medium-scale innovative projects that cannot be accommodated through the use of other base zone districts, provided that those projects are consistent with the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended and include standards that would not otherwise be required of the applicant in order to provide significant public, civic, or natural resource benefits. This zone district is applied on a case-by-case basis to reflect a negotiated agreement for uses and standards with the applicant. Allowable uses are negotiated on a case-by-case basis but may not include any use that is not included in Table 4-2-1.

The PD zoning district states in 2-6(A)(5)(a) that development "shall be subject to the provisions of Part 14-16-5 (Development Standards) for the type of use or structures in the approved Planned Development, unless those standards are modified by the Site Plan – EPC . . ." In this case the type of use proposed corresponds to the R-MH (Residential Multi-family High Intensity) zoning district that has a maximum height allowance of 45 feet.

Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Applicable Goals and policies are listed below. Applicant's response follows in *italics*. Staff analysis follows in ***bold italics*** text.

Chapter 5: LAND USE

GOAL 5.2 COMPLETE COMMUNITIES

Foster communities where residents can live, work, learn, shop, and play together.

Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

POLICY 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. [ABC]

d) Encourage development that broadens housing options to meet a range of incomes and lifestyles. [ABC]

The proposed development furthers this policy as it will provide multi-family housing options for a range of incomes and lifestyles. This will be accomplished by including units in different sizes, rental costs, and type of units. It is within walking distance to the Central Avenue Premium Transit Corridor/Major Transit Corridor and Juan Tabo Boulevard for transit riders. Access to the I-40 Multi-Use Trail is available for residents that choose to bike or walk.

The project will provide a range of housing options suitable for various income levels and lifestyles.

f) Encourage higher density housing as an appropriate use in the following situations: [ABC]

ii. In areas with good street connectivity and convenient access to transit;

The proposed development is located approximately ½ mile from Central Avenue, a Major Transit Corridor. Central Avenue is served by the ABQ Bus Route 66, which has a frequency of every 15 minutes Monday through Sunday; and the Green Line Rapid Ride, which has a frequency of every 15 minutes Monday through Friday, and every 20-30 minutes on Saturday and Sunday. Juan Tabo Boulevard is a Multi-Modal Corridor and located approximately 927 feet to the west of the proposed development. Pedestrians can access via Paisano Street and Hopi Road. Juan Tabo Boulevard is served by ABQ Ride Bus Route 1, which has a frequency of 25 minutes Monday through Sunday.

The Subject Property has strong street connectivity for vehicular access. Proximity to the Interstate-40 on-ramp from Juan Tabo Boulevard is less than ½ mile to the north. Central Avenue is accessible from Juan Tabo Boulevard via Paisano Street and Hopi Road.

The addition of micro-studio units increases density in an area of good connectivity through public transportation.

iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available

The proposed development is compatible with existing mixed density patterns of the area which includes commercial, and multi-family and single-family residential. To the east of the Subject Property is the Arrowhead Pointe Apartment Homes, an 11.9-acre site containing 27 three-story buildings and amenities. To the south is the Las Colinas Retirement Community,

which sits on a 4.5-acre site and contains a large, three-story building with housing units for seniors. To the southeast, along Skyline Road, there is a mixture of low density single-family residential, moderate density townhomes, and higher density multi-family residential. To the west is a mixture of industrial, commercial, and office uses.

As an infill site, adequate infrastructure is available to the Subject Property and will not require installation of major public infrastructure.

- h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. [ABC]

The proposed multi-family development will add a complementary use to the area, which already contains a variety of housing densities and commercial uses. The proposed apartment buildings will be compatible in form with the Arrowhead Pointe multi-family project to the east and Las Colinas senior community to the south (see photos above). While three of the four proposed buildings on the Subject Site are taller than the adjacent projects, the easternmost building (Type 2) has a 55 foot setback from the east property line; the buildings at Arrowhead Pointe are 65 to 70 feet from the property line, for a total minimum separation of 120-125 feet between the existing buildings and the proposed buildings on the subject site. The proposed southernmost building (Type 3) has a minimum setback of 59 feet; the Las Colinas building is approximately 50 feet from the property line, for a total minimum separation of 109 feet between the existing building and the proposed building on the Subject Site.

The proposed development will provide a transition and buffer from the traffic on Interstate-40 for the property to the south and from the industrial/commercial uses on Juan Tabo Boulevard for the property to the east.

Applicants response is sufficient.

GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS

Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

POLICY 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

The Subject Property is located in an area with existing infrastructure. The Applicant will construct a new public sidewalk on Paisano Street. Access to the I-40 Multi-Use Trail East will be provided through the Subject Property via an existing 10-foot public trail easement. Public facilities near the property include the following:

- *Parks - Sandia Vista Park; and Singing Arrow Park;*
- *Community Centers - Manzano Mesa Multigenerational Center; and Singing Arrow Community Center.*
- *Public trails - Interstate-40 Multi-Use Trail East.*

- *Bus Routes - ABQ Ride Juan Tabo Boulevard Route 1; Central Avenue Route 66 and Rapid Ride Green Line;*
- *Public Schools – Manzano High School; Kennedy Middle School; Tomasita, Apache, and Manzano Mesa Elementary Schools.*

The parcel maximizes the use of existing infrastructure required to service the development demands as all required infrastructure surrounds the parcel.

POLICY 5.3.2 Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities. [ABC]

The project site is an infill project creating mixed-income housing on a lot adjacent to two additional residential projects.

POLICY 5.3.3 Compact Development: Encourage development that clusters buildings and uses in order to provide landscaped open space and/or plazas and courtyards. [ABC]

The project layout utilizes perimeter parking so that buildings are clustered around landscaped areas and centralized swimming pool complex.

GOAL 5.4 JOBS-HOUSING BALANCE

Use Development Areas to foster the distinctness of communities in the unincorporated County by guiding their form, character, and density.

POLICY 5.4.1 Housing near Jobs: Allow higher density housing and discourage single-family housing near areas with concentrated employment. [ABC]

The proposed development provides high intensity, multi-family housing in an area near jobs and adjacent to Interstate-40 providing quick access.

GOAL 5.6 CITY DEVELOPMENT AREAS

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

POLICY 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The proposed development furthers this policy as it is a large infill site within an Area of Change; is an Opportunity Site in the 2012 East Gateway Metropolitan Redevelopment (MRA) Plan; and is located just north of Catalyst Area A, the highest priority area for redevelopment in the MRA Plan. The proposed development will redevelop a vacant site and will draw new residents that can support commercial redevelopment in the East Gateway Area.

GOAL 7.2 PEDESTRIAN-ACCESSIBLE DESIGN

Reinforce sense of place through context-sensitive design of development and streetscapes.

POLICY 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel. [ABC]

The proposed development will improve pedestrian access from Central Ave and Juan Tabo through public sidewalk upgrading. Within the site, access to most buildings can be reached through internal site pathways.

GOAL 7.3 SENSE OF PLACE

Design parking facilities to match the development context and complement the surrounding built environment.

POLICY 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located. [ABC]

The proposed infill development will enhance and blend well into the area's built and natural environment. The proposed exterior finish will include three colors of stucco - light, medium, and dark gray - with light brown accents at the corners. Building materials will include exposed CMU blocks, lightweight concrete tile, and metal railings for balconies and patios.

Applicants response is sufficient.

GOAL 7.5 CONTEXT-SENSITIVE SITE DESIGN

Match infrastructure design to intended densities and development patterns to minimize lifecycle costs and conserve natural resources.

POLICY 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place. [ABC]

The proposed plant palette is predominately comprised of low to medium water use plant materials. The Applicant is proposing a modest area of high water use turf, 4,035 square feet (6.5%), even though the IDO allows up to 20% of the landscape area in high water use turf. The landscape plan meets or exceeds the IDO requirements for minimum landscape area, vegetative cover, parking lot trees, site trees per number of dwelling units, and street trees.

Applicants response is sufficient.

Chapter 9: HOUSING

GOAL 9.1 SUPPLY

Promote housing design that is sustainable and compatible with the natural and built environments.

POLICY 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households. [ABC]

h) Maintain an affordable housing supply in neighborhoods, in addition to creating market-rate housing as part of revitalization efforts.

The project furthers this policy as it will provide a variety of multi-family, market-rate housing options on one property. The development will include micro-studios, studios, one-bedroom, and two-bedroom units. This mixed income, multi-family housing model will provide a unique and modern housing form in the area and will be an important catalyst for the revitalization efforts in the East Gateway Metropolitan Redevelopment Area.

Applicants response is sufficient.

POLICY 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area. [ABC]

The proposed development furthers this policy by providing a high-quality, mixed-income housing option in an area of the City that already contains a variety of housing types. The intent of this project is to appeal to a wider market by providing a variety of unit types and rental costs. This project will enhance the East Gateway Area and support commercial redevelopment in the area.

Affordable housing is provided through very small units which will have lower rents and not through sliding rent scales. All units will be market-rate.

GOAL 9.2 SUSTAINABLE DESIGN

Support increased housing density in appropriate places with adequate services and amenities.

POLICY 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street. [ABC]

The proposed project provides multi-family housing with similar density and character of neighboring housing projects.

East Gateway Metropolitan Redevelopment Plan, 2012

Metropolitan Redevelopment Agency criteria for project funding states that a project must implement adopted City policies and goals for an area in question, and must meet at least six of eleven criteria. This application, though not one for funding, displays its compatibility with the East Gateway Redevelopment Plan by meeting the following criteria:

1. The proposed redevelopment project improves the appearance of the built environment. Examples could include, but are not limited to, projects that feature:
 - New buildings where there had previously been a vacant lot or parking lot
 - Architecture that complements and enhances the look and feel of a district
 - Site design that enhances the pedestrian realm with amenities, landscaping, etc.
 - Site design that is pedestrian-oriented and not focused on moving or parking motor vehicles
 - Restoration of existing neon sign or construction of new neon sign that enhances the appearance of Route 66

The proposal is for new construction on a vacant lot. The site will provide landscaping, improved pedestrian mobility, site amenities, and new housing within a gated community.

2. The proposed redevelopment project rehabilitates and puts existing structures back into use, or results in the removal of blighted structures.

The site currently does not have any built structures; however, the new development will result in the removal of transient shelter debris, reconstruction of sidewalk along Paisano St along the property and an improved dedicated access point to the multi-purpose trail to the north of the site.

3. The proposed redevelopment helps relieve symptoms of blight as described in the Metropolitan Redevelopment Code, and in this plan. Examples could include, but are not limited to, projects which:
 - Result in consolidation of single parcels one larger, cohesive development.
 - Brings tenants (e.g. retailers, businesses, etc.) back to a commercial center with high vacancy.
 - Clears up delinquencies, such as tax liens, that have precluded reuse of a site.

NA

4. The proposed redevelopment project improves the walkability of an area, which could include, but is not limited to:
 - Installing sidewalks where they previously did not exist.
 - Site design that focuses on pedestrian access, rather than vehicle movement.
 - Provides shade structures or other pedestrian amenities.

The sidewalks currently fronting the project site are impassable due to drifting soils and weed overgrowth. New construction and use in the area will restore those sidewalks to use. At the north edge of the site a multi-purpose trail fronts Interstate -40. The site plan provides for direct, gated access from the site to the public bicycle access easement to the west. The site itself is designed with central buildings, landscaping and walkways between buildings, the recreation/leasing building, and the pool. Parking is at the perimeter of the site.

5. The proposed redevelopment increases the variety of housing opportunities available in East Gateway, including:
- Affordable housing
 - Multifamily housing
 - Live-work opportunities

The Applicant is proposing to develop a mixed-income, multi-family project with four residential buildings and one recreation building on the 5-acre site that is adjacent to I-40.

6. The proposed redevelopment adds a mix of uses (e.g. commercial and residential) to a premise or node of activity (such as an Activity Center identified in the Albuquerque/Bernalillo County Comprehensive Plan).

The proposed development will advance the MRA Plan recommendations by developing an Opportunity Site and increasing mixed-income, housing density near the major transit stops along Juan Tabo Boulevard and Central Avenue. Furthermore, the proposed multi-family project will serve as a catalyst for the area by drawing new residents that will support the revitalization of commercial properties in Catalyst Area A in need of redevelopment.

7. The proposed redevelopment helps create high wage employment opportunities for residents of the area by paying employees at a rate that is at least 80% of Albuquerque Area Median Household Income per the U.S. Census Bureau.

NA

8. The proposed redevelopment helps reduce crime in the area by increasing “eyes on the street,” improving lighting or implementing other principals of Crime Prevention Through Environmental Design.

The project will potentially reduce crime by being a vibrant site with many eyes on the street rather than a vacant lot.

9. The proposed redevelopment project will increase values of surrounding properties.

The project will increase property values by providing new housing over a vacant lot.

10. The proposed redevelopment project aims to catalyze private sector investment in surrounding properties.

NA

11. The proposed redevelopment project will provide a community-desired land use to the area, as reflected in this plan, which could include, but is not limited to:
- Public services, such as a USPS Post Office.
 - Museums

- Full-service restaurants
- Recreation and community facilities

NA

III. SITE PLAN REQUIREMENTS

Any application for a site plan – EPC shall be approved if it meets all of the following criteria:

6-6(h)(3)(a) the site plan is consistent with the ABC Comp plan, as amended.

The site is located just east of Juan Tabo, an Albuquerque / Bernalillo County Comprehensive Plan (Comp Plan) designated Multi-modal Corridor, north of Central Ave, a Major Transit Corridor, and adjacent to the south side of Interstate-40, a Commuter Corridor. The site is half a mile to west of Four Hills Village Activity Center, within a designated Area of Change. Growth policies established within the Comp Plan encourage more intense uses and development patterns within designated Centers, Corridors, and particularly Areas of Change so that additional residents, services, and jobs can be accommodated in locations deemed appropriate for new development (Comp Plan, pg. 5-23) while reducing development pressures on the urban fringe and established neighborhoods. This request for a PD Site Plan is an appropriate request for an area intended to capture denser / intense uses and would support the city's many growth and land use policies by:

- *Encouraging development that broadens housing options to meet a range of incomes and lifestyles, in areas where mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available.*
- *Encourage higher density housing as appropriate use in an area with good street connectivity and convenient access to transit*
- *Encouraging infill development on a vacant site that is contiguous to existing City infrastructure thereby leveraging public and private investments.*
- *Directing growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.*
- *Providing infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.*
- *Adding to the affordable housing supply, in addition to creating market-rate housing, as part of the revitalization efforts.*
- *Providing for mixed-income neighborhoods with high-quality, affordable, and mixed income housing.*

The site plan development is consistent with the ABC Comp Plan especially in the areas of Development in an Area of Change, and Housing.

6-6(h)(3)(b) the site plan is consistent with any applicable Terms and Conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements And/or regulations.

This is not applicable; the subject property is not subject to any previously approved site plan.

6-6(h)(3)(c) the site plan complies with all applicable provisions of this IDO, the DPM, other adopted city regulations, and any terms and conditions specifically applied to development of the property in a Prior permit or approval affecting the property.

The PD Zone does not include the typical dimensional standards that are contained in the residential, mixed-use, or commercial zones. The PD zone is intended to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the ABC Comprehensive Plan. The PD district is intended to “be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant”.

However, the Site Plan complies with applicable provisions of the IDO and the DPM pertaining to walls, buffering, landscape, lighting, access, connectivity, façade treatment, minimum parking, carport setbacks, and signage. There are no terms and conditions from a prior permit or approval affecting the property.

*Usable open space, minimum.....Efficiency or 1 BR: 200 sq. ft. / unit
2 BR:250 sq. ft. / unit
3 BR: 300 sq. ft. / unit*

Front, minimum.....15 ft

.Side, minimum..... Interior: 5 ft. Street side of corner lots: 10 ft.

Rear, minimum.....25 ft. min

Building height, maximum.....45 ft.

No maximum for portions of building >100 ft. from all lot lines

The R-MH zoning district and its Development Standards most closely reflect the proposed use and structures proposed in the Site Plan – EPC. The applicant has adequately justified a 7-foot height deviation for three of the buildings based on strong furtherance of applicable Comprehensive Plan Goals and Policies and fulfillment applicable criteria of the East Gateway Metropolitan Redevelopment Plan.

5-2 SITE DESIGN AND SENSITIVE LANDS

The project site does not include or abut any sensitive lands or major public open space.

5-3 ACCESS AND CONNECTIVITY

The project site plan provides access and conductivity to the site by various means of transportation.

5-3(A)(2) Providing adequate street connectivity.

Direct access is made to the site from Paisano St NE via Skyline Rd.

5-3(A)(3) Supporting a multi-modal transportation network.

The project connects to bike paths, pedestrian walkways and is close to bus lines in addition to automobile and motorcycle networks.

5-3(A)(4) Ensuring convenient and efficient access to current and future neighborhoods.

The site is the last developable lot on Paisano with Interstate-40 being north of the site.

5-3(D)(3)(c) Materials to Alert Motorists

On-site walkways and crosswalks shall be identified to motorists and pedestrians through the use of one or more of the following:

1. Changing material, patterns, or paving color (i.e. changing the color of the paving itself, not painting the paving material).
2. Changing paving height.
3. Decorative bollards or planters.
4. Raised median walkways with landscaped buffers.
5. Stamped or stained concrete.

Pedestrian driveway crossings are of contrasting color concrete.

5-3(D)(4) Trails

Trails shall be dedicated on alignments that connect to any planned or existing trails on adjacent properties, as necessary to serve the residents, occupants, and users of the proposed development, and shall be constructed pursuant to the DPM.

Dedicated bike trail that leads to the multi-purpose trail along I-40, on the northern west border of the site will maintain outside project walls. A resident access gate with key fob from the project to the bike trail is provided.

5-3(E)(3)(b) Residential Development

2. Multi-family development on sites greater than 5 acres shall include a minimum of 2 through-access drives, unless deemed impracticable by the DRB due to physical constraints or natural features.

The project site is at the end of a cul-de-sac and surrounded by existing development and Interstate-40 right-of-way. Two through access drives would be impractical; however, the site has an interior cul-de-sac inside the entrance that connects a ring road around the project.

5-5 PARKING AND LOADING

Table 5-5-1: Off-street Parking Requirements	
UC-MS-PT = Urban Centers, Main Street areas, and Premium Transit areas as identified in the ABC Comp Plan	
AC = Activity Centers as identified in the ABC Comp Plan	
DU = Dwelling Unit BR = Bedroom GFA = Gross Floor Area	
Design Capacity = Maximum occupancy per building or fire codes, whichever is greater	
Use	IDO Parking Requirement
PERMISSIVE PRIMARY USES	
RESIDENTIAL	
Household Living	
Dwelling, multi-family	1.5 spaces / DU
Residential community amenity	3 spaces / 1,000 sq. ft. GFA plus requirements in Table 5-5-2

The project has 163 dwelling units and is; therefore, required to have 245 parking space and an additional 4 spaces for the 3500 square foot recreation building. The applicant has provided 261 parking spaces which meets and exceeds the minimum requirements.

Five handicapped spaces are required and six are provided.

Bicycle parking is required in the amount of 10percent of the required parking. The applicant shows 25 spaces required and is providing 8 spaces at a bicycle rack with the remaining being provided in the garages (52) for a total of 60. This arrangement seems contrary to the intent of the requirement, to provide accessible bicycle parking/storage available to all residents. Only eight spaces would be generally available. By removing the 52 garaged units from the equation, ten percent of the remaining units would require 17 bicycle parking racks.

Two percent of parking spaces are required to be electric charging station, or a total of 5. Six are provided.

5-6 LANDSCAPING, BUFFERING, AND SCREENING

The submitted landscape plan complies with the City of Albuquerque Integrated Development Ordinance landscape provisions in 14-16-5-6 including the Street Tree Ordinance (Part 6-6-2 of ROA 1994). Of the 168,619 square-foot lot area, 66,085 square feet or 34.9% is designed to be landscape area. Urban heat island effects are countered with 126,393 square feet of live vegetative cover as projected at mature sizes of plantings thanks to 118 well-suited and generally recommended trees. Over 25 percent of the required vegetative coverer is provided through arid-adapted shrubs and limited cool season grass.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (ACRES)	5.04
TOTAL LOT AREA (SF)	219542
BUILDING AREA (SF)	50923
NET LOT AREA (SF)	168619
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	25293
LANDSCAPE PROVIDED (SF)	66085 (34.9%)
VEGETATIVE COVER (% - REQ)	75
VEGETATIVE COVER (SF - REQ)	49564
VEGETATIVE COVER (SF - PROV.)	126393
REQ. TREES - 1ST AND 2ND STORY UNITS	54
PROVIDED UNIT TREES	118
GROUNDCOVER (% - REQ)	18.75
GROUNDCOVER (SF - REQ)	12391
GROUNDCOVER (SF - PROV.)	12408
PARKING LOT AREA (SF)	72000
REQ. PARKING LANDSCAPE 10% (SF)	7200
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	26
PROV. PARKING TREES	31
COOL SEASON GRASS (SF)	4035
COOL SEASON GRASS (% OF LANDSCAPE)	6.1

Landscaping meets requirements

5-7 WALLS AND FENCES

Walls and fences facing a public street have a solid height limitation of 3 feet. The site utilizes a 3-foot solid stucco wall with 3 feet of steel tubular fencing above that. The IDO limits the open fence portion along the front property line of a residential property to 2 feet. The EPC can allow for the additional one foot as part of the PD approval. The 3-foot open fence is permissible in all other zones. Per IDO Section 14-16-5-7(E)(2)(a) Option 1, the intervening pilasters should be placed no more than twenty (20) feet apart. They are currently shown as forty-five (45) feet apart.

Along the bike path is a 6 foot tubular steel fence.

The perimeter wall, not visible from the street, is a 6 foot masonry wall with stucco finish to match the buildings.

5-8 OUTDOOR LIGHTING

Outdoor lighting on the site is at a maximum height of 15 feet with LED lamp. This is within the limit of 16 feet for residential zones.

5-11 BUILDING DESIGN

Building elevations and materials have been reviewed for required glass surfaces, changes in materials and changes in height or setbacks. The elevations as presented meet the IDO requirements.

5-12 SIGNS

5-12(F)(3)(c) East Gateway Area

Projecting and freestanding signs shall be a maximum size of 75 square feet in any Mixed-use zone district in the following mapped area. PD zone signs are per approved plan.

Signage on the site is limited to:

One Free-standing Monument sign, located at the entrance to the property.

1 per premise per street frontage

PD zone states that sign approval is per plan. The proposed entrance sign for the project is a single monument sign of 20 feet long by 10 feet high.

6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable

The City's existing infrastructure has adequate capacity to support the proposed development. The proposed Site Plan shows an upgrade to the sidewalk right-of-way along Paisano Street. Currently, the sidewalk does not meet width requirements in the IDO or DPM. The Applicant

will construct a 4-foot sidewalk for the entire length of Paisano Street and there is public access to the I-40 Multi-Use Trail through the property.

Although the current sidewalk does not meet requirements in the IDO or DPM, and the applicant proposes a new 4-foot sidewalk, DMD (transportation section) requests at minimum 5' sidewalk to be located on the Paisano St. ROW and a landscape buffer between 4-6'.

6-6(h)(3)(e) the application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The proposed Site Plan will not have significant adverse impacts on the surrounding area as it is complementary use and is similar to surrounding properties. Any impacts to surrounding properties will be mitigated to the maximum extent practicable through the following:

- The project incorporates a total minimum separation of 120-125 feet between the existing buildings at Arrowhead Pointe and the proposed buildings on the subject site and a total minimum separation of 109 feet between the Las Colinas building and the proposed building on the Subject Site.*
- The proposed Site Plan incorporates a 6-foot opaque wall along the north, east, and south sides of the Subject Property and a fence with 3 feet of opaque material and 3 feet of view fencing on the west side of the property.*
- Buffer landscaping will be incorporated into the site design which will add aesthetics and buffers for the adjacent residential properties and the Interstate-40 East Multi-Use Trail along the northern edge of the site.*

The applicant's response is sufficient. It should be noted that the site currently has a large prairie dog population that should be relocated prior to construction. The nature of the site, surrounded by developed land and major roadways, could lead to possible health and safety problems should the site be disturbed prior to prairie dog population relocation. There are private groups that may be able to assist in that relocation.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application from 3/6/2020 to 3/19/2020. Few agency comments were received.

Parks and Recreation Department - The MTP 2040 shows the existing multi-use trail along the south side of I-40. The existing plat shows a "10-ft Public Access Bicycle Easement Granted by this Plat" running north south connecting to this existing multi-use trail. Keynote #21 on the Site Plan states: "10-ft wide bike path per City Parks Dept. (not required to build by developer)." However, given the previously required easement and the current IDO requirements below, PRD recommends the developer add this trail to the EPC Site Plan. The developer is required to construct this trail connection as part of this project. (Given the recent City closures, PRD has not

been able to discuss the details of the trail yet. Given the DPM typically requires a 10-14-ft multi-use trail width, the width may be adjusted to be narrower to fit site and function.) At this time, PRD recommends adding the trail to the EPC Site Plan as a 10 foot wide paved trail with details to be determined with PRD. Otherwise, PRD recommends EPC Site Plan be forwarded to DRB for further review and approval per DPM technical standards.

Long Range Planning

The IDO applies distance separations and edge buffers to industrial uses going in next to Residential zones and existing residential uses, not to residential uses going in next to existing industrial uses. Because the auto repair use predates the proposed residential uses, the distance separation would not be triggered even if the site had a residential zone and the IDO applied these rules to the residential use. The EPC could establish standards and required mitigation measures as appropriate to buffer the proposed residential use from the existing industrial and heavy commercial uses, as well as the I-40 corridor, which poses the potential for negative impacts from noise and air pollution.

The Water Utility Authority SI-2020-00051 Site Plan

As a condition of approval request an availability statement at the link:

http://www.abcwua.org/Availability_Statements.aspx

Requests shall include a City Fire Marshal approved Fire 1 Plan, zone map showing the site location, and a Utility Plan (showing the domestic water, sanitary sewer, and proposed fire protection).

The Mid-Region Council of Governments (MRCOG) had no adverse comments.

New Mexico Department of Transportation (NMDOT) has no adverse comment.

Albuquerque Public Schools shows that neighborhood schools have sufficient capacity to incorporate children from the new housing development.

Hydrology requests an approved Conceptual Grading and Drainage Plan for DRB action.

PNM requires:

1. An existing underground distribution line is located at the southwest corner of the subject site. It is the applicant's obligation to abide by any conditions or terms of those easements.
2. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes.

Neighborhood/Public

Staff has received no comments regarding this project from the public other than phone enquiry as to proposed use.

IV. CONCLUSION

The request for Site Plan approval – EPC,

The affected neighborhood organization is the East Gateway Coalition, which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was not requested. Staff has not been contacted other than as mentioned above. There is no known opposition. Staff recommends approval.

FINDINGS - PR-2020-003455 / SI-2020-00051, April 23, 2020-Site Development Plan

1. The request is for approval of Site Plan-EPC on a site containing 5.1 acres, described as Tract B-3-A Plat of Tract B-3-A K.O.A. Subdivision Unit 2.
2. The applicant is requesting a Site Plan – EPC for a mixed-income, multi-family project with four residential buildings and one recreation building on the 5.1-acre site that is adjacent to I-40.
3. Three out of the five buildings have garages at ground level and a maximum building height of 52 feet. The remaining two buildings have a maximum height of 44 feet and 22 feet.
4. The subject site is located in an Area of Change as designated in the ABC Comprehensive Plan.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance are incorporated herein by reference and made part of the record for all purposes.
6. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.2 COMPLETE COMMUNITIES:

Foster communities where residents can live, work, learn, shop, and play together.

Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.2.1 Land Uses: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

The proposed project will provide multi-family housing options for a range of incomes and lifestyles. This will be accomplished by including units in different sizes, rental costs, and type of units. It is within walking distance of multiple transit lines.

f) Encourage higher density housing as an appropriate use in the following situations: [ABC]

ii. In areas with good street connectivity and convenient access to transit;

The Subject Property has strong street connectivity for vehicular access. Proximity to the Interstate-40 on-ramp from Juan Tabo Boulevard is less than ½ mile to the north. Central Avenue is accessible from Juan Tabo Boulevard via Paisano Street and Hopi Road.

iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available.

The proposed development is compatible with existing mixed density patterns of the area which includes commercial, and multi-family and single-family residential.

As an infill site, adequate infrastructure is available to the Subject Property and will not require installation of major public infrastructure.

- h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The proposed multi-family development will add a complementary use to the area, which already contains a variety of housing densities and commercial uses. The proposed apartment buildings will be compatible in form with the Arrowhead Pointe multi-family project to the east and Las Colinas senior community to the south.

The proposed development will provide a transition and buffer from the traffic on Interstate-40 for the property to the south and from the industrial/commercial uses on Juan Tabo Boulevard for the property to the east.

7. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS:

Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

The parcel maximizes the use of existing infrastructure required to service the development demands as all required infrastructure surrounds the parcel.

POLICY 5.3.2 Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities. [ABC]

The project site is an infill project creating mixed-income housing on a lot adjacent to two additional residential projects.

POLICY 5.3.3 Compact Development: Encourage development that clusters buildings and uses in order to provide landscaped open space and/or plazas and courtyards. [ABC]

The project layout utilizes perimeter parking so that buildings are clustered around landscaped areas and centralized swimming pool complex.

8. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.4 JOBS-HOUSING BALANCE

Use Development Areas to foster the distinctness of communities in the unincorporated County by guiding their form, character, and density.

Policy 5.4.1 Housing near Jobs: Allow higher density housing and discourage single-family housing near areas with concentrated employment. [ABC]

The proposed development provides high intensity, multi-family housing in an are near jobs and adjacent to Interstate-40 providing quick access.

9. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.6 CITY DEVELOPMENT AREAS

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [ABC]

The proposed development is a large infill site within an Area of Change; is an Opportunity Site in the 2012 East Gateway Metropolitan Redevelopment (MRA) Plan and is located just north of Catalyst Area A, the highest priority area for redevelopment in the MRA Plan. The proposed development will redevelop a vacant site and will draw new residents that can support commercial redevelopment in the East Gateway Area.

10. The request is consistent with the following Comprehensive Plan Goal from the Urban Design Chapter:

GOAL 7.2 PEDESTRIAN-ACCESSIBLE DESIGN

Reinforce sense of place through context-sensitive design of development and streetscapes.

POLICY 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel. [ABC]

The proposed development will improve pedestrian access from Central Ave and Juan Tabo through public sidewalk upgrading. Within the site, access to most buildings can be reached through internal site pathways.

11. The request is consistent with the following Comprehensive Plan Goal from the Urban Design Chapter:

GOAL 7.3 SENSE OF PLACE

Design parking facilities to match the development context and complement the surrounding built environment.

POLICY 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located. [ABC]

The proposed infill development will enhance and blend well into the area's built and natural environment. The proposed exterior finish will include three colors of stucco - light, medium, and dark gray - with light brown accents at the corners. Building materials will include exposed CMU blocks, lightweight concrete tile, and metal railings for balconies and patios.

12. The request is consistent with the following Comprehensive Plan Goal from the Urban Design Chapter:

GOAL 7.5 CONTEXT-SENSITIVE SITE DESIGN

Match infrastructure design to intended densities and development patterns to minimize lifecycle costs and conserve natural resources.

POLICY 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place. [ABC]

The proposed plant palette is predominately comprised of low to medium water use plant materials. A modest area of high water use turf, 4,035 square feet (6.5%), will be incorporated.

13. The request is consistent with the following Comprehensive Plan Goal from the Housing:

GOAL 9.1 SUPPLY

Promote housing design that is sustainable and compatible with the natural and built environments.

POLICY 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households. [ABC]

h) Maintain an affordable housing supply in neighborhoods, in addition to creating market-rate housing as part of revitalization efforts.

The proposed development contains a variety of housing unit sizes providing market-rate housing for a variety of incomes.

POLICY 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable and mixed income housing options throughout the area. [ABC]

The proposed development will provide a high-quality, mixed-income housing option in an area of the City that already contains a variety of housing types. The intent of this project is to appeal to a wider market by providing a variety of unit types and rental costs.

14. The request is consistent with the following Comprehensive Plan Goal from the Housing:

GOAL 9.2 SUSTAINABLE DESIGN

Support increased housing density in appropriate places with adequate services and amenities.

POLICY 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street. [ABC]

The proposed project provides multi-family housing with similar density and character of neighboring housing projects.

15. The request is supportive of the East Gateway Metropolitan Redevelopment Plan, 2012 as it develops an Opportunity Site that will increase mixed-income, housing density near the major transit stops along Juan Tabo Boulevard and Central Avenue. It will also serve as a catalyst for the area by drawing new residents that will support the revitalization of commercial sites in Catalyst Area A in need of redevelopment.
16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 6-6(F)(3)-Review and Decision Criteria for Site Plan Review and meets the design criteria for the following applicable criteria.

Applicable criteria to this site plan are those of:

- Site Design and Sensitive Lands
 - Access and Connectivity
 - Landscaping, Buffering, and Screening
 - Walls and Fences
 - Outdoor Lighting
 - Building Design
 - Signs
17. The R-MH zoning district and its Development Standards most closely reflect the proposed use and structures proposed in the Site Plan – EPC. The applicant has adequately justified a 7-foot height deviation for three of the buildings based on strong furtherance of applicable Comprehensive Plan Goals and Policies and fulfillment applicable criteria of the East Gateway Metropolitan Redevelopment Plan.
 18. IDO criteria 5-5 Parking and Loading is not sufficiently met as garages are calculated as bicycle parking spots. It is recommended that bicycle racks be provided at each building to provide another 17 spaces (as a minimum), and not only at the pool area.
 19. The East Gateway Coalition was notified by the applicant. Property owners within 100 feet of the subject site were also notified, as required. A community meeting was not requested. There is no known opposition to the request.

RECOMMENDATION - SI-2020-00051, April 23, 2020

APPROVAL of Project #: 2020-003455, Case #: SI-2020-00051, a site plan for All or Portion of Tract B-3-A Plat of Tract B-3-A KOA Subdivision Unit 2, an approximately 5.1 acre site located at the northeast end of Paisano St. and south of Interstate-40, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Plan

Project # 2020-003455 , Case #: SI-2020-00051

1. The applicant shall meet with the Staff Planner to review the final Site Plan to ensure that Conditions of Approval are adequately met
2. This site plan shall be reviewed by the Development Review Board (DRB) to ensure compliance with applicable technical and infrastructure standards.
3. The applicant shall provide an addition 17 (minimum) bicycle rack spaces across the site
4. Provide a minimum 5' sidewalk to be located on the Paisano St. ROW and a landscape buffer between 4-6' per Traffic Engineering Operations (Department of Municipal Development).
5. Conceptual Grading and Drainage Plan to be reviewed by DRB.
6. Provide 8-foot-wide paved bike trail per DMD standards in dedicated bike trail at the northwest end of the site.
7. The applicant shall coordinate with the Environmental Health Department and the Animal Welfare Department on best practices to relocate the on-site prairie dog population prior to any site work and construction.

***Leslie Naji, AIA
Senior Planner***

Notice of Decision cc list:

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Office of Neighborhood Coordination

Long Range Planning

PR-2020-003455/SI-2020-00051

Address: 540 Paisano St NE

IDO Zoning: PD

Request: Site Map - EPC

Long Range Comments

The request is for a Site Plan – EPC for a property zoned Planned Development that proposes a mixed-income, multi-family development with 163 units. West of the site are heavy commercial and industrial uses, including an auto paint and body shop and warehousing. The IDO requires a 25-foot separation between auto repair and Residential zones and existing residential uses in Mixed-use zones. Paisano St. lies between the auto repair use and the proposed residential development and provides a 60-foot separation between the two uses.

Planned Development does not include the automatic protections of the Residential zones, since the zone is intended to be for innovative uses and combinations of uses not allowed in other zones. In this case, the proposed residential development is allowed in PD, and the EPC has the responsibility of establishing use-specific standards that provide adequate protections for the proposed use without negatively impacting surrounding existing uses. Distance separations between uses or edge buffers (i.e. landscaped buffer areas) are common land use protections employed in these contexts.

The IDO applies distance separations and edge buffers to industrial uses going in next to Residential zones and existing residential uses, not to residential uses going in next to existing industrial uses. Because the auto repair use predates the proposed residential uses, the distance separation would not be triggered even if the site had a residential zone and the IDO applied these rules to the residential use. The EPC could establish standards and required mitigation measures as appropriate to buffer the proposed residential use from the existing industrial and heavy

commercial uses, as well as the I-40 corridor, which poses the potential for negative impacts from noise and air pollution.

CITY ENGINEER

Transportation Development Services

PR-2020-003445

540 Paisano Street

SI-2020-00051 – Site Plan

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB), including sidewalk and trail requirements to ensure sidewalk width requirements as per street classification and meet Parks and Rec requirements.
- Specific site plans need to be addressed prior to DRB Site Plan Approval:
 - Fire Marshall approval and Solid Waste approval are required at DRB.
 - Show 2% maximum cross-slope on walkways.
 - Add clear sight triangle to landscaping plan. On site plan and on landscaping plan, provide clear sight triangle note: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
 - The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
 - Indicate motorcycle parking requirements. Label motorcycle parking with spaces.
 - For site plan at DRB, re-check total number of parking spaces listed. Based on a count from Transportation Department, requirements seemed to be met, but counted a different number of spaces than what had been listed in the total.
 - For the parking spaces immediately east of Paisano Street, vehicular overhang conflicts with landscaping on one side of the aisle. Either the parking spaces or the landscaping will need to be adjusted.
 - A maximum overhang of 2 feet is allowed for parking spaces as stated. However, to ensure that a minimum of 4 feet is realistically allowed for sidewalk travel in areas where overhang is allowed, the sidewalk should be widened or relocated.
 - Make sure that all handicapped spaces are shown. In general, a minimum 6-foot wide pathway is required from ADA spaces to main office entrance and from public right-of-way to the main entrance.

Hydrology Development

Project Number: 2020-003455

Case Description: Site Plan

Location: 540 Paisano Street adjacent to I-40 and Juan Tabo

Type of Development (Residential/Commercial): Residential

Possible Impacted NMDOT roadway(s): I-40

Department Comments:

- All access will be from 540 Paisano Street. No access will be granted to NMDOT Interstate Right of Way

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations (Department of Municipal Development)

Project #2020-003455

SI-2020-00051– Site Plan

Transportation Section:

DMD requests at minimum 5' sidewalks located on the Paisano St. ROW and a landscape buffer between 4-6'.

Street Maintenance (Department of Municipal Development)

RECOMMENDED CONDITIONS FROM THE CITY ENGINEER:

WATER UTILITY AUTHORITY

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

PARKS AND RECREATION

Planning and Design

Project #2020-003455, SI-2020-00051

Site Plan Consensus Planning, agent for Dynamic Investors, request the above action for all or a portion of Lot B-3-A Block 0000 of K.O.A. Subdivision, Located at 540 Paisano St NE, between

Juan Tabo Blvd NE, and Interstate-40 approximately 5.04 acres (K-22-Z) Staff Planner: Leslie Naji

The MTP 2040 shows the existing multi-use trail along the south side of I-40. The existing plat shows a "10-ft Public Access Bicycle Easement Granted by this Plat" running north south connecting to this existing multi-use trail. Keynote #21 on the Site Plan states: "10-ft wide bike path per City Parks Dept. (*not required to build by developer*)."

However given the previously required easement and the current IDO requirements below, PRD recommends the developer add this trail to the EPC Site Plan.

The applicant shall provide an 8-ft wide asphalt hard-surface trail per DPM details for the length of the easement on the subject property in order to provide bicycle/pedestrian access from the end of the cul-de-sac to the existing multi-purpose trail. Please provide this drawn and noted on the Site Plan. The adjacent property owner will have to be contacted to adjust fencing. Otherwise, EPC Site Plan could be forwarded to DRB for further review and approval per DPM technical standards if further consultation is needed.

Relevant IDO Sections:

5-3(C)(5) Bicycle Circulation 5-3(C)(5)(a) New development involving more than 1 parcel or sites over 5 acres in size adjacent to existing bikeways shall provide at least 1 access point to the bikeways to allow residents and users of the development to easily and safely access those bikeways to the maximum extent practicable. Access location and design shall be coordinated with City Parks and Recreation Department. 5-3(C)(5)(b) Development shall comply with the bicycle circulation standards in Section 14-16-5-3(E)(4) (Bicycle Facilities) and the DPM.

5-3(E)(4) Bicycle Facilities along Streets

Each street designated in the Metropolitan Transportation Plan and/or the Bikeways and Trails Facility Plan as an existing or proposed route to accommodate bicycles shall be incorporated into the development to the maximum extent practicable and shall be designed to comply with the standards of the DPM.

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Project #2020-003455 – Tree located next to new proposed refuse enclosure on sheet LS-101 needs to be relocated or removed so it will not hinder service to the compactor.

Light that is located next to new proposed refuse enclosure on sheet A1.10 needs to be relocated or adjusted so it will not hinder service to the Compactor. New proposed refuse enclosure, concrete pad and apron and bollards must meet COA Solid Waste Department Minimum requirements.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Project# 2020-003455 Lot B-3-A Block 0000 of K.O.A. Subdivision (View House Apartments): (K-22)
SI-2020-00051 – Site Plan

- AMAFCA has no adverse comments.

ALBUQUERQUE PUBLIC SCHOOLS

Project #2020-003455
EPC Description: SI-2020-00051 –Site Plan.

Site Information: K.O.A. Subdivision, Tract B-3-A, Unit 2.

Site Location: 540 Paisano Street NE, between Juan Tabo Boulevard NE and Interstate-40.

Request Description: Request for a site plan to develop 163 apartments on approximately five acres, currently zoned PD (Planned Development).

APS Case Comments: This site is located approximately a half mile and across Interstate 40 from Manzano High School. Residential development at this location will have impacts to Tomasita Elementary School, Kennedy Middle School, and Manzano High School.

1. Residential Units: 163
2. Est. Elementary School Students: 42
3. Est. Middle School Students: 18
4. Est. High School Students: 18
5. Est. Total # of Students from Project: 78

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

School Capacity

School	2019-2020 40 th Day Enrollment	Facility Capacity	Space Available
Tomasita Elementary School	325	464	139
Kennedy Middle School	458	600	142
Manzano High School	1460	1800	340

MID-REGION COUNCIL OF GOVERNMENTS

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

Conditions for Approval for Project #2020-03455 (SI-2020-00051) Site Plan (mixed income, multi-family project located at 540 Paisano St NE between Juan Tabo Blvd NE and south of I-40)

1. An existing underground distribution line is located at the southwest corner of the subject site. It is the applicant's obligation to abide by any conditions or terms of those easements.
2. As a condition, the developer shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.
3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

Picture Pages
Photos taken March 19, 2020



Figure 1: Looking south from northwestern corner of the subject site.



Figure 2: Looking northeast, across subject site prairie dog burrows, towards housing project to the east.



Figure 4: Looking west, along southern property line with adjacent property.

Figure 5: Looking north along western property line. Sidewalk to be widened and improved.



Figure 6: Looking north towards of bike trail intersection with multi-purpose trail.



Figure 7: Looking south from eastern edge of property. Shows adjacent housing developments.

Figure 8: Looking northwest across the site.



ZONING

Please refer to the Integrated Development Ordinance (IDO) for specifics regarding the PD & R-MH zones.

APPLICATION

SITE PLAN REDUCTIONS



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Dynamic Investors		Phone: 505-831-4200
Address: 4239 Balloon Park Road NE, Suite A		Email: prakash@tmsnm.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Consensus Planning, Inc.		Phone: 505-764-9801
Address: 302 Eighth Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102 Type text here
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Site Plan-EPC for Planned Development zoned property.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: B-3-A	Block:	Unit: 2
Subdivision/Addition: K.O.A.	MRGCD Map No.:	UPC Code: 102205706008530514
Zone Atlas Page(s): K-22-Z	Existing Zoning: PD	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 5.04 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 540 Paisano Street NE Between: Juan Tabo Boulevard and: Interstate-40

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-70-54, Z-70-54-1, DRB-94-317

Signature:	Date: February 27, 2020
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00051	SP-EPC	\$580.00			

Meeting/Hearing Date: April 9, 2020	Fee Total: \$580.00
Staff Signature:	Date: 2-27-2020 Project # PR-2020-003455

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

- SITE PLAN – EPC**
- MASTER DEVELOPMENT PLAN**
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

None Interpreter Needed for Hearing? if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Signed Traffic Impact Study (TIS) Form
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable
- N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- Completed Site Plan Checklist
- Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)
Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.
- N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
- Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

— In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 02/27/2020
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: <u>SI-2020-00051</u>	Project Number: <u>PR-2020-003455</u>
Staff Signature:	
Date: <u>2-27-2020</u>	

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from March 25, 2020 To April 9, 2020

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

2/27/2020

(Date)

I issued 2 signs for this application, 2-27-2020, 

(Date) (Staff Member)

PROJECT NUMBER: PR-2020-003455



January 09, 2020

Dan Serrano, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Mr. Serrano:

Dynamic Investors is the owner of the property at 540 Paisano Street NE. The site is legally described as the following:

- Tract B-3-A Plat of B-3-A KOA Subdivision, Unit 2 containing 5.0465 Acres or 219,824 Square Feet.

I hereby authorize Consensus Planning, Inc. to act as agent for all matters related to the Site Plan-EPC and all other planning actions through the City of Albuquerque related to the entitlement and development of the property legally described above.

Sincerely,

Prakash Sundaram, Senior Vice President
Dynamic Investors



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: 2/5/2020

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2020-003248
Agent: Consensus Planning, Inc.
Applicant: Prakesh Sundaram, Senior Vice President, Dynamic Investors
Legal Description: Tract B-3-A Plat of Tract B-3-A KOA Subdivision Unit 2
Zoning: PD
Acreage: 5.0465
Zone Atlas Page(s): K-22-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Google Earth historic images,
Mitchell, Lindsay
2020 A Class III Archaeological Investigation for the KOA Subdivision Unit 2, Tract B3-A, in Bernalillo County, New Mexico. NMCRIS
145077. SWCA Report 20-62. SWCA Environmental Consultants, Albuquerque.

SITE VISIT: N/A

RECOMMENDATIONS:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted on the property and that, based on a report prepared by a qualified archaeologist, it has been determined that no significant archaeological site exists on the property. "

SUBMITTED BY:



Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department



February 27, 2020

Dan Serrano, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Plan-EPC for Planning Development (PD) Zone

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman,

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to request approval for a Site Plan-EPC on behalf of Dynamic Investors, the owner of the property located at 540 Paisano Street NE. The property is legally described as *Tract B-3-A Plat of Tract B-3-A K.O.A. Subdivision Unit 2*. The site contains 5.04 acres and is zoned Planned Development (PD). As such, the proposed Site Plan is required to be reviewed by the Environmental Planning Commission (EPC). The Applicant is proposing to develop a mixed-income, multi-family project on the site.

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com



Location of subject property.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

EXISTING CONDITIONS

The Subject Property is currently vacant and located on the east side of Paisano Street and south of Interstate-40. The Subject Property is in an Area of Change, as designated by the ABC Comprehensive Plan, and is within the East Gateway Metropolitan Redevelopment Area. The I-40 East Trail, a paved multi-use trail managed by New Mexico Department of Transportation, runs along the north



side of the site. Juan Tabo Boulevard, a Multi-Modal Corridor is located just west of the subject property and Central Avenue, a Premium Transit and Major Transit Corridor is located to the south.

Zoning and Land Use

Zoning to the east and south of the Subject Property is Planned Development (PD); to the west is Non-Residential Commercial (NR-C). Surrounding land uses include multi-family to the east; senior multi-family to the south; and industrial, commercial service, retail, vacant, and office to the west. Further to the south at Central Avenue and Juan Tabo Boulevard is Franklin Plaza, a mostly vacant shopping center.



Surrounding zoning.



Surrounding land use.

BACKGROUND

Planning Case History

In 1970, a zone change was approved by the Environmental Planning Commission (EPC) from R-1 to SU-1 for Planned Development (Z-70-54). In 1983, the EPC approved Site Plan for a parking lot variance and a zone change from SU-1 for Planned Development to SU-1 for Planned Development including Retirement Center. The zone map amendment allowed for the Las Colinas Retirement Center to be constructed to the south of the subject property (Z-70-54-1).

In 1994, the Subject Property was part of a Vacation of Public Right-of-Way (DRB-94-317) for portions of Paisano Avenue NE, Huerfano Road NE, and Buena Ventura Road NE, and Preliminary Plat approval for Tract B-3, K.O.A. Subdivision (Subject Property).

East Gateway Metropolitan Redevelopment Plan, 2012

As mentioned above, the Subject Property is located in the East Gateway Metropolitan Redevelopment Area. The East Gateway Metropolitan Area (MRA) Plan implements the goals of the East Gateway Sector Development Plan by promoting increased density in major activity centers and along major transit corridors.

The MRA Plan identifies targeted improvements for the area including:

“Revitalize the East Central corridor with new and expanded businesses and higher density, mixed-income housing near transit stops.”

The Subject Property was identified in the East Gateway MRA Plan as Opportunity Site #41 and is located approximately ¼ mile east of the East Gateway Catalyst Area A situated at the intersection of Central Avenue and Juan Tabo Boulevard. This area is the highest priority for City resources and incentives to spur redevelopment in the East Gateway area as stated in the MRA Plan. The proposed development will advance the MRA Plan recommendations by developing an Opportunity Site and increasing mixed-income, housing density near the major transit stops along Juan Tabo Boulevard and Central Avenue. Furthermore, the proposed multi-family project will serve as a catalyst for the area by drawing new residents that will support the revitalization of commercial in Catalyst Area A in need of redevelopment.



East Gateway Catalyst Area-A located south of subject property.



East Gateway Opportunity Site 41.

PROJECT DESCRIPTION

The Applicant proposes to develop a 163-unit multi-family residential development on the Subject Property. The 5.04-acre site will contain four separate residential buildings. Each building will contain a variety of housing units including micro-studio (360 square feet), studio (600 square feet), one-bedroom (750 square feet) and two-bedroom (1,170 square feet). The Type 2 and 3 buildings include garages as an option for those residents and will be four-



stories, 52 feet in height. The Type 1 Building does not include interior garages and is three-stories, 44 feet in height. In addition to the interior garages, surface parking is provided, both with carports and open parking. Residents will have access to the clubhouse, swimming pool and spa, and dog park.

SITE PLAN-EPC CRITERIA

The following provides an explanation of how this request meets the criteria for approval of Site Plan-EPC, as outlined in IDO *Section 6-6(H) Site Plan-EPC*.

6-6(H)(3)(a) *The Site Plan is consistent with the ABC Comp Plan, as amended.*

Applicant Response: The site plan is consistent with the ABC Comprehensive Plan as follows:

Policy 5.2.1 (d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Applicant Response: The proposed development furthers this policy as it will provide multi-family housing options for a range of incomes and lifestyles. This will be accomplished by including units in different sizes, rental costs, and type of units. It is within walking distance to the Central Avenue Premium Transit Corridor/Major Transit Corridor and Juan Tabo Boulevard for transit riders. Access to the I-40 Multi-Use Trail is available for residents that choose to bike or walk.

Policy 5.2.1 (f) Encourage higher density housing as appropriate use in the following situations:

ii. In areas with good street connectivity and convenient access to transit;

Applicant Response: The proposed development is located approximately ½ mile from Central Avenue, a Premium and Major Transit Corridor. Central Avenue is served by the ABQ Bus Route 66, which has a frequency of every 15 minutes Monday through Sunday; and the Green Line Rapid Ride, which has a frequency of every 15 minutes Monday through Friday, and every 20-30 minutes on Saturday and Sunday. Juan Tabo Boulevard is a Multi-Modal Corridor and located approximately 927 feet to the west of the proposed development. Pedestrians can access via Paisano Street and Hopi Road. Juan Tabo Boulevard is served by ABQ Ride Bus Route 1, which has a frequency of 25 minutes Monday through Sunday.

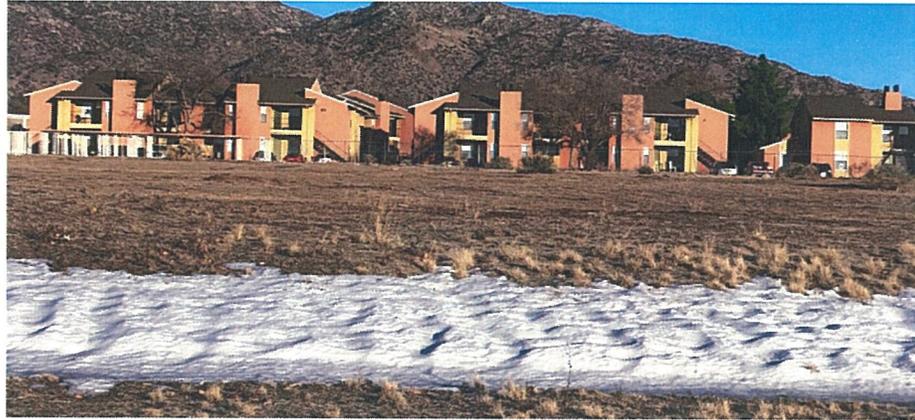
The Subject Property has strong street connectivity for vehicular access. Proximity to the Interstate-40 on-ramp from Juan Tabo Boulevard is less than ½ mile to the north. Central Avenue is accessible from Juan Tabo Boulevard via Paisano Street and Hopi Road.

iii. In areas where mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available.

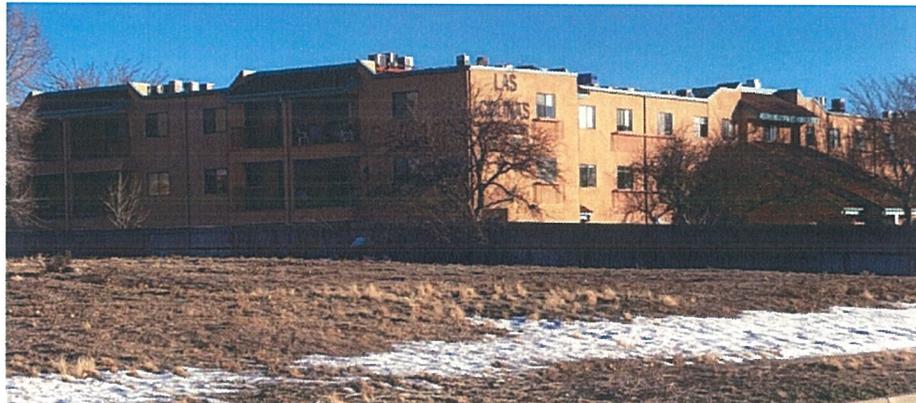
Applicant Response: The proposed development is compatible with existing mixed density patterns of the area which includes commercial, and multi-family and single-family residential. To the east of the Subject Property is the Arrowhead Pointe Apartment Homes, an 11.9-acre site containing 27 three-story buildings and amenities. To the south is the Las



Colinas Retirement Community, which sits on a 4.5-acre site and contains a large, three-story building with housing units for seniors. To the southeast, along Skyline Road, there is a mixture of low density single-family residential, moderate density townhomes, and higher density multi-family residential. To the west is a mixture of industrial, commercial, and office uses.



Arrowhead Pointe Apartments east of the Subject Property.



Las Colinas Retirement Community south of Subject Property.

As an infill site, adequate infrastructure is available to the Subject Property and will not require installation of major public infrastructure.

Policy 5.2.1 (h) Encourage development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

Applicant Response: The proposed multi-family development will add a complementary use to the area, which already contains a variety of housing densities and commercial uses. The proposed apartment buildings will be compatible in form with the Arrowhead Pointe multi-family project to the east and Las Colinas senior community to the south (see photos above). While three of the four proposed buildings on the Subject Site are taller than the adjacent projects, the easternmost building (Type 2) has a 55 foot setback from the east property line; the buildings at Arrowhead Pointe are 65 to 70 feet from the property line, for a total minimum separation of 120-125 feet between the existing buildings and



the proposed buildings on the subject site. The proposed southernmost building (Type 3) has a minimum setback of 59 feet; the Las Colinas building is approximately 50 feet from the property line, for a total minimum separation of 109 feet between the existing building and the proposed building on the Subject Site.

The proposed development will provide a transition and buffer from the traffic on Interstate-40 for the property to the south and from the industrial/commercial uses on Juan Tabo Boulevard for the property to the east.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Applicant Response: The Subject Property is located in an area with existing infrastructure. The Applicant will construct a new public sidewalk on Paisano Street. Access to the I-40 Multi-Use Trail East will be provided through the Subject Property via an existing 10-foot public trail easement. Public facilities near the property include the following:

- Parks - Sandia Vista Park; and Singing Arrow Park;
- Community Centers - Manzano Mesa Multigenerational Center; and Singing Arrow Community Center.
- Public trails - Interstate-40 Multi-Use Trail East.
- Bus Routes - ABQ Ride Juan Tabo Boulevard Route 1; Central Avenue Route 66 and Rapid Ride Green Line;
- Public Schools – Manzano High School; Kennedy Middle School; Tomasita, Apache, and Manzano Mesa Elementary Schools.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Applicant Response: The proposed development furthers this policy as it is a large infill site within an Area of Change; is an Opportunity Site in the 2012 East Gateway Metropolitan Redevelopment (MRA) Plan; and is located just north of Catalyst Area A, the highest priority area for redevelopment in the MRA Plan. The proposed development will redevelop a vacant site and will draw new residents that can support commercial redevelopment in the East Gateway Area.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

Applicant Response: The proposed infill development will enhance and blend well into the area's built and natural environment. The proposed exterior finish will include three colors of stucco - light, medium, and dark gray - with light brown accents at the corners. Building materials will include exposed CMU blocks, lightweight concrete tile, and metal railings for balconies and patios.

Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

Applicant Response: The proposed plant palette is predominately comprised of low to medium water use plant materials. The Applicant is proposing a modest area of high water use turf, 4,035 square feet (6.5%), even though the IDO allows up to 20% of the landscape area in high water use turf. The landscape plan meets or exceeds the IDO requirements for minimum landscape area, vegetative cover, parking lot trees, site trees per number of dwelling units, and street trees.

Policy 9.1.1(h) Maintain an affordable housing supply in neighborhoods, in addition to creating market-rate housing, as part of the revitalization efforts.

Applicant Response: The project furthers this policy as it will provide a variety of multi-family, market-rate housing options on one property. The development will include micro-studios, studios, one-bedroom, and two-bedroom units. This mixed income, multi-family housing model will provide a unique and modern housing form in the area and will be an important catalyst for the revitalization efforts in the East Gateway Metropolitan Redevelopment Area.

Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable, and mixed income housing options throughout the area.

Applicant Response: The proposed development furthers this policy by providing a high-quality, mixed-income housing option in an area of the City that already contains a variety of housing types. The intent of this project is to appeal to a wider market by providing a variety of unit types and rental costs. This project will enhance the East Gateway Area and support commercial redevelopment in the area.

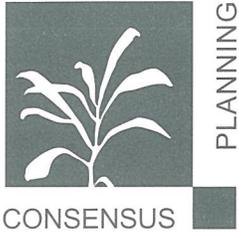
6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Applicant Response: This is not applicable; the subject property is not subject to any previously approved site plan.

6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The PD Zone does not include the typical dimensional standards that are contained in the residential, mixed-use, or commercial zones. The PD zone is intended to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the ABC Comprehensive Plan. The PD district is intended to “be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant”.

However, the Site Plan complies with applicable provisions of the IDO and the DPM pertaining to walls, buffering, landscape, lighting, access, connectivity, façade treatment, minimum parking, carport setbacks, and



signage. There are no terms and conditions from a prior permit or approval affecting the property.

6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

Applicant Response: The City's existing infrastructure has adequate capacity to support the proposed development. The proposed Site Plan shows an upgrade to the sidewalk right-of-way along Paisano Street. Currently, the sidewalk does not meet width requirements in the IDO or DPM. The Applicant will construct a 4-foot sidewalk for the entire length of Paisano Street and there is public access to the I-40 Multi-Use Trail through the property.

6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Applicant Response: The proposed Site Plan will not have significant adverse impacts on the surrounding area as it is complementary use and is similar to surrounding properties. Any impacts to surrounding properties will be mitigated to the maximum extent practicable through the following:

- The project incorporates a total minimum separation of 120-125 feet between the existing buildings at Arrowhead Pointe and the proposed buildings on the subject site and a total minimum separation of 109 feet between the Las Colinas building and the proposed building on the Subject Site.
- The proposed Site Plan incorporates a 6-foot opaque wall along the north, east, and south sides of the Subject Property and a fence with 3 feet of opaque material and 3 feet of view fencing on the west side of the property.
- Buffer landscaping will be incorporated into the site design which will add aesthetics and buffers for the adjacent residential properties and the Interstate-40 East Multi-Use Trail along the northern edge of the site.

On behalf of Dynamic Investors, we respectfully request that you review and approve this Site Plan-EPC. Thank you for your consideration.

Sincerely,

Jacqueline Fishman, AICP
Principal

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-335 Date: 11.18.19 Time: 130pm

Address: 540 PAISANO ST NE

AGENCY REPRESENTATIVES AT MEETING:

Planning: WHITNEY PHELAN

Code Enforcement: CARL GARCIA

Fire Marshall: _____

Transportation: MOJGAN MAADANBAR

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: multi-family PD

SITE INFORMATION:

Zone: PD Size: 5.04 acres

Use: multi-family Overlay Zone: _____

Comp Plan Area Of: _____ Comp Plan Corridor: _____

Comp Plan Center: _____ MPOS or Sensitive Lands: _____

Parking: _____ MR Area: _____

Landscaping: _____ Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: _____

*Neighborhood Organization/s: _____

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS:

Type of Action: Site Plan - EPC

Review and Approval Body: EPC Is this PRT a requirement? Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-335 Date: 11.18.19 Time: 1:30 PM

Address: 540 Paisano St. NE

NOTES: _____

PD - prior SU-1 for Planned Development

- 2-6(A) Pg 53 PD ZONE DISTRICT

- Any future changes will require Site Plan Amendment by EPC.

- Parking 5-5(c)(5)(i) Allowance Study

- East Gateway MR area - potential workforce housing

February 2020 - app due end of Dec.

Check w/Ernest @ for TIS.

From: [Carmona, Dalaina L.](#)
To: [Charlene Johnson](#)
Subject: Neighborhood Meeting Inquiry_540 Paisano Street NE_EPC
Date: Tuesday, January 07, 2020 4:29:04 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image006.png](#)
[IDO Zone Atlas K-22-Z_Highlighted Site \(1\).pdf](#)

Charlene,

See list of associations below and attached regarding your EPC submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
East Gateway Coalition	Michael	Brasher	eastgatewaycoalition@gmail.com	216 Zena Lona NE	Albuquerque	NM	87123	5053822964	5052988312
East Gateway Coalition	James	Andrews	jamesw.andrews@gmail.com	13121 Nandina Lane SE	Albuquerque	NM	87123		5052969700

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Tuesday, January 07, 2020 1:29 PM
To: Office of Neighborhood Coordination <johnson@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 Eighth Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR B-3-A PLAT OF TR B-3-A KOA SUBD UNIT 2 CONT 5.0465 AC M/LOR 219,824 SF M/L

Physical address of subject site:

504 Paisano Street NE

Subject site cross streets:

Juan Tabo and I-40

Other subject site identifiers:

This site is located on the following zone atlas page:

K-22

=====
This message has been analyzed by Deep Discovery Email Inspector.

From: [Jackie Fishman](#)
To: eastgatewaycoalition@gmail.com; jamesw.andrews@gmail.com
Cc: [Charlene Johnson](#)
Subject: Preapplication Notification to East Gateway Coalition
Date: Tuesday, January 07, 2020 5:36:43 PM
Attachments: [IDO Zone Atlas K-22-Z Highlighted Site \(1\).pdf](#)

Dear Mr. Brasher and Mr. Andrews:

In accordance with the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss an application for Site Plan-EPC for the 5-acre property located at 540 Paisano Street NE, south of and adjacent to I-40 (please see attached Zone Atlas K-22). The property is currently vacant and is identified as an "Opportunity Site" by and within the East Gateway Metropolitan Redevelopment Area Plan. The Applicant is proposing to develop a 163-unit multi-family development project that will also include a pool and community room; dog park; surface parking; and private garages for some units. This property is zoned Planned Development (PD). Therefore, per the IDO, a site plan must be approved by the Environmental Planning Commission (EPC) prior to development.

Per the IDO, you have 15 days from January 7, 2020 to respond and request a meeting or decline a meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. Before submitting our application, we will send mailed and emailed public notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

NOTE: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabaq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabaq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

If you have any questions or would like more information, please do not hesitate to respond to this email or call me at (505) 764-9801.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

From: [Carmona, Dalaina L.](#)
To: [Charlene Johnson](#)
Subject: 540 Paisano Street NE Public Notice Inquiry
Date: Monday, February 24, 2020 1:37:52 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image007.png](#)
[IDO Zone Atlas K-22-Z Highlighted Site.pdf](#)

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
East Gateway Coalition	James	Andrews	jamesw.andrews@gmail.com	13121 Nandina Lane SE	Albuquerque	NM	87123		5052969700
East Gateway Coalition	Michael	Brasher	eastgatewaycoalition@gmail.com	216 Zena Lona NE	Albuquerque	NM	87123	5053822964	5052988312

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



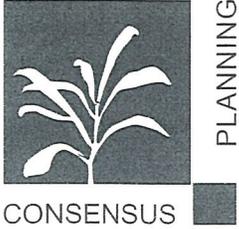
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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, February 24, 2020 10:04 AM
To: Office of Neighborhood Coordination <johnson@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Contact Name



February 27, 2020

James Andrews
13121 Nandina Lane SE
Albuquerque, New Mexico 87123

Michael Brasher
216 Zena Lona NE
Albuquerque, NM 87123

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Andrews and Mr. Brasher and the East Gateway Coalition,

The purpose of this letter is to inform you that Consensus Planning has submitted an application to the Environmental Planning Commission (EPC) for a Site Plan-EPC on behalf of Dynamic Investors. The property is zoned Planned Development (PD) and is located at 540 Paisano Street NE, east of Juan Tabo Boulevard and between Central Avenue and Interstate-40. The PD district is intended to "be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant".

The 5.04-acre site is currently vacant and is identified as Opportunity Site #41 in the East Gateway Metropolitan Redevelopment (MRA) Plan. It is located just north of Franklin Plaza, which is identified as Catalyst Area-A in the Plan. The Applicant proposes to build a 163-unit multi-family development on the site with market rate apartments and recreation facility with a swimming pool, spa, and dog park. The units will include studio, one-bedroom, and two-bedroom apartments with a combination of private garages and surface parking. This development will further targeted improvements as stated in the East Gateway MRA Plan; *"Revitalize the East Central corridor with new and expanded Businesses and higher density, mixed-income housing near transit stops."*

The hearing for this Site Plan-EPC request will be held on **Thursday, April 9, at 8:30 am** in the Hearing Room (Basement Level) of the **Plaza del Sol Building** located at **600 2nd Street, NW**. You can check the agenda for the relevant decision making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



download the Facilitated Meetings Criteria, visit
<http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Fishman", with a long horizontal line extending to the right.

Jacqueline Fishman, AICP
Principal

Enclosed: Zone Atlas Page K-22 and Proposed Site Plan

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102



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MAILED FROM ZIP CODE 87102

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FEB 27 2020

302 8th St. NW
Albuquerque, NM 87102



James Andrews
13121 Mandina Lane SE
Albuquerque, N.M.
87123

Consensus Planning
302 8th Street NW
Albuquerque, NM, 87102

02 1P
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MAILED FROM ZIP CODE 87102

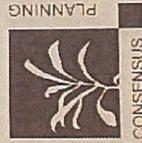


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PRIORITY MAIL

302 Eighth St. NW
Albuquerque, NM 87102



Michael Brasher
216 Zena Lona NE
Albuquerque, NM 87123

Charlene Johnson

From: Jackie Fishman
Sent: Thursday, February 27, 2020 10:57 AM
To: jamesw.andrews@gmail.com; eastgatewaycoalition@gmail.com
Cc: Charlene Johnson
Subject: Application Notification
Attachments: IDO Zone Atlas K-22-Z Highlighted Site.pdf

Dear Coalition Representatives:

This email is intended to provide notification that Consensus Planning has submitted an application to the Environmental Planning Commission (EPC) for a Site Plan-EPC on behalf of Dynamic Investors. The property is zoned Planned Development (PD) and is located at 540 Paisano Street NE, east of Juan Tabo Boulevard and between Central Avenue and Interstate-40. The PD district is intended to "be reviewed on a case-by-case basis [by the EPC] to reflect a negotiated agreement for uses and standards with the Applicant".

The 5.04-acre site is currently vacant and is identified as Opportunity Site #41 in the East Gateway Metropolitan Redevelopment Area (MRA) Plan. It is located just north of Franklin Plaza, which is identified as Catalyst Area-A in the Plan. The Applicant proposes to build a 163-unit multi-family development on the site with market rate apartments and a recreation facility with a swimming pool, spa, and dog park. The units will include studio, one-bedroom, and two-bedroom apartments with a combination of private garages and surface parking. This development will further targeted improvements as stated in the East Gateway MRA Plan; *"Revitalize the East Central corridor with new and expanded Businesses and higher density, mixed-income housing near transit stops."*

The hearing for this Site Plan-EPC request will be held on **Thursday, April 9, at 8:30 am** in the Hearing Room (Basement Level) of the **Plaza del Sol Building** located at **600 2nd Street, NW**. You can check the agenda for the relevant decision making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

We have attached the Zone Atlas Page for the property to this email and sent you a notification letter and a copy of the Site Plan via the USPS.

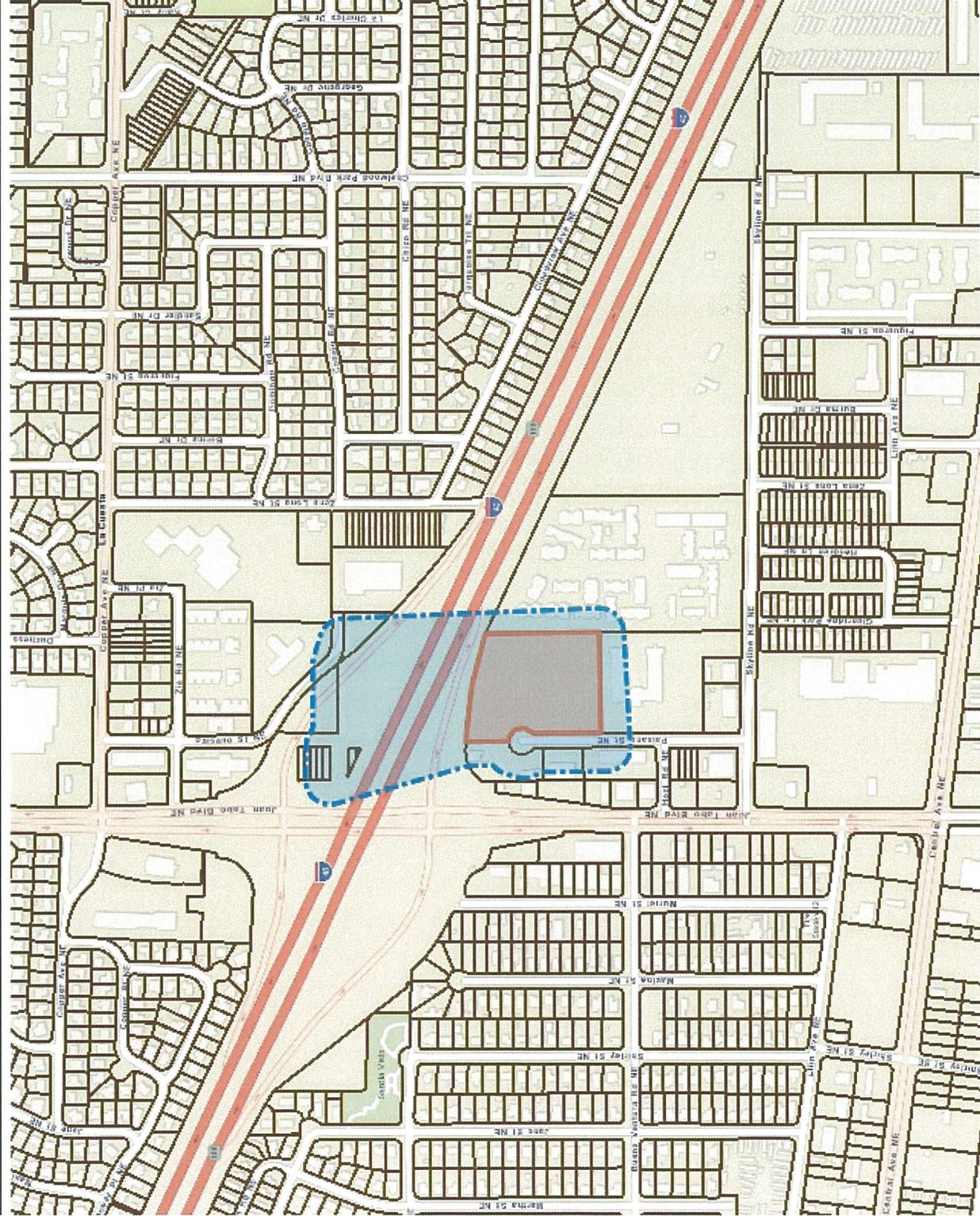
Sincerely,

Jacqueline Fishman, AICP
Principal

Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801



Map- 100-foot buffer - 540 Paisano Street NE



Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes

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The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

1,202 Feet



601

0

1: 7,212

Buffer Map Addresses - 540 Paisano Street NE

Property Owner	Address
NM STATE HIGHWAY DEPT	PO BOX 1641 SANTA FE NM 87501
PAISANO PARTNERS LLC	1508 CERROS DE MORADO SE ALBUQUERQUE NM 87123
BRACKEN JAMES I	4804 MANITOBA CT NE ALBUQUERQUE NM 87111
NM STATE HIGHWAY DEPT	PO BOX 1641 SANTA FE NM 87504-1641
NM STATE HIGHWAY DEPT	PO BOX 1641 SANTA FE NM 87504-1641
DYNAMIC INVESTORS INC	4505 ATHERTON WAY NW ALBUQUERQUE NM 87120
NM STATE HIGHWAY DEPT	PO BOX 1149 SANTA FE NM 87503
NM STATE HWY DEPT	PO BOX 1149 SANTA FE NM 87501
INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL	12120 COPPER AVE NE ALBUQUERQUE NM 87123-1446
THREE ALBUQUERQUE HOTELS LIMITED PTNS	1050 SINGING WOOD DR ARCADIA CA 91006
THREE ALBUQUERQUE HOTELS LIMITED PTNS	1050 SINGING WOOD DR ARCADIA CA 91006
GEMINI LAS COLINAS LLC C/O RYAN LLC BANK OF AMERICA CENTER	15 W 6THST ST SUITE 2400 TULSA OK 74119-5417
NM STATE HIGHWAY DEPT	PO BOX 1641 SANTA FE NM 87504-1641
QUANZ FAMILY LIMITED PARTNERSHIP LLC	501 PAISANO ST NE ALBUQUERQUE NM 87123
SRI KANAKA DURGA LLC C/O CNC INVESTMENTS LTD	4420 FM 1960 RD WEST SUITE 224 HOUSTON TX 77068-3411
NM STATE HWY DEPT	PO BOX 1149 SANTA FE NM 87501

February 27, 2020

Dear Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, April 9, 2020** in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item.

REQUEST

Consensus Planning, agent for Dynamic Investors, requests approval of a Site Plan-EPC for the development of a 163-unit, multi-family development on a vacant parcel at 540 Paisano Street NE. The property is zoned Planned Development (PD). According to the City's Integrated Development Ordinance (IDO), the intent of the PD zone is to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the ABC Comprehensive Plan. The PD district is intended to "be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant". The submitted Site Plan will be reviewed by the EPC to ensure that it complies City requirements and will not adversely affect adjacent properties.

If you have questions or need additional information regarding this request contact Jackie Fishman, Principal at Consensus Planning at (505) 764-9801 or fishman@consensusplanning.com. You can check the agenda for the relevant decision-making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

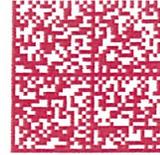
Sincerely,

Consensus Planning, Inc.

Attached: Zone Atlas K-22

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SANTA FE NM 87503

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NM 87102

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LLC
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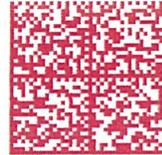


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PAISANO PARTNERS LLC
1508 CERROS DE MORADO SE
ALBUQUERQUE NM 87123

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7102

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02 1P FEB 27 2020
0002118651 MAILED FROM ZIP CODE 871 02

SRI KANAKA DURGA LLC C/O CNC
INVESTMENTS LTD
4420 FM 1960 RD WEST SUITE 224
HOUSTON TX 77068-3411

ning
iW
87102

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0002118651 MAILED FROM ZIP CODE 871 02

INTERNATIONAL CHURCH OF THE
FOURSQUARE GOSPEL
12120 COPPER AVE NE
ALBUQUERQUE NM 87123-1446

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 2/27/2020
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

1" = 30'

SITE PLAN CHECKLIST

- ✓3. Bar scale
- ✓4. North arrow
- ✓5. Legend
- ✓6. Scaled vicinity map
- ✓7. Property lines (clearly identify)
- ✓8. Existing and proposed easements (identify each)
- N/A9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓B. Square footage of each structure
- ✓C. Proposed use of each structure
- ✓D. Signs (freestanding) and other improvements
- ✓E. Walls, fences, and screening: indicate height, length, color and materials
- ✓F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities
- ✓H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site
- ✓J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ✓A. Parking layout with spaces numbered per aisle and totaled.
 - ✓1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ✓2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - N/A3. On street parking spaces
- ✓B. Bicycle parking & facilities
 - ✓1. Bicycle racks – location and detail
 - ✓2. Other bicycle facilities, if applicable
- ✓C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓1. Ingress and egress locations, including width and curve radii dimensions
 - ✓2. Drive aisle locations, including width and curve radii dimensions
 - ✓3. End aisle locations, including width and curve radii dimensions
 - ✓4. Location & orientation of refuse enclosure, with dimensions
 - ✓5. Loading, service area, and refuse service locations and dimensions
- ✓D. Pedestrian Circulation
 - ✓1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- N/A E. Off-Street Loading
 - N/A 1. Location and dimensions of all off-street loading areas
- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - N/A 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - N/A 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - ~~NA~~ A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- ~~NA~~ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

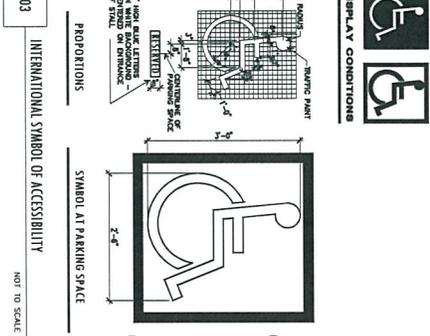
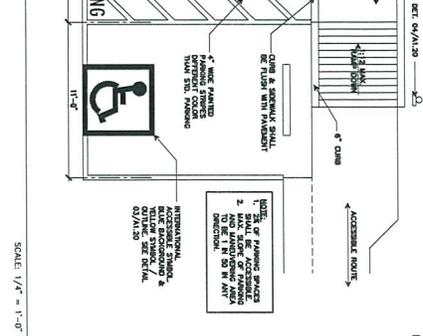
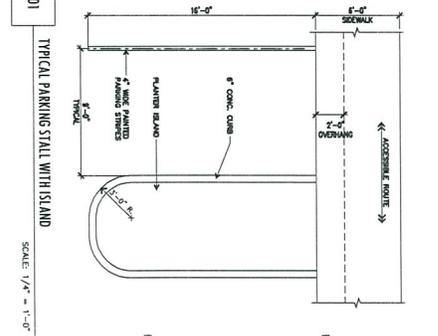
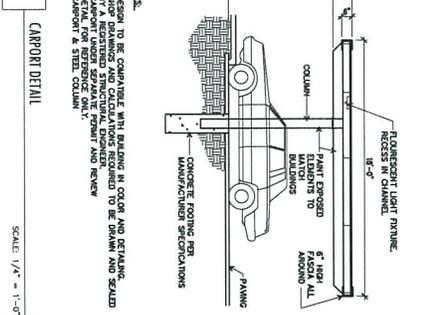
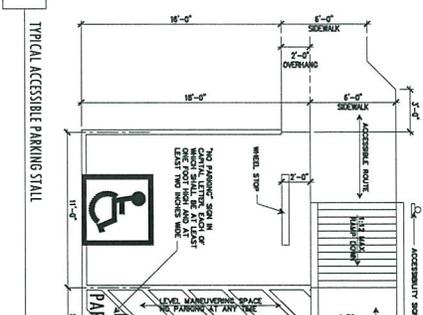
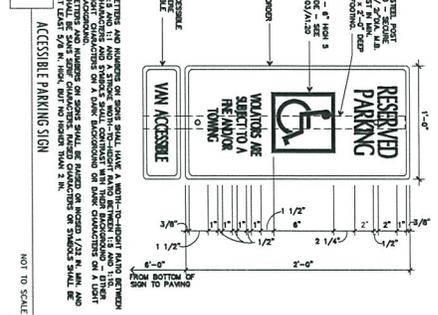
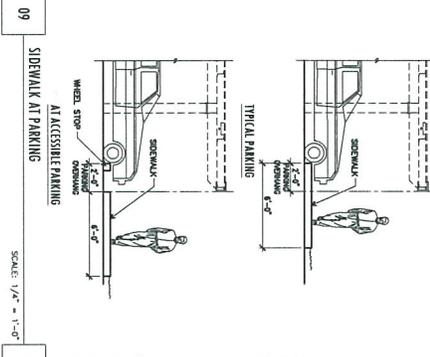
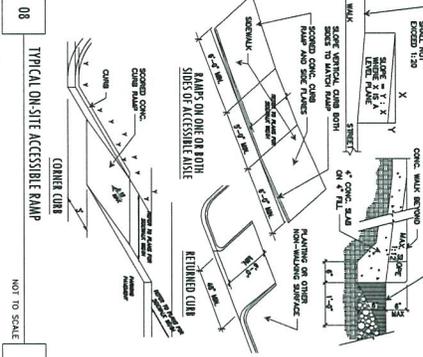
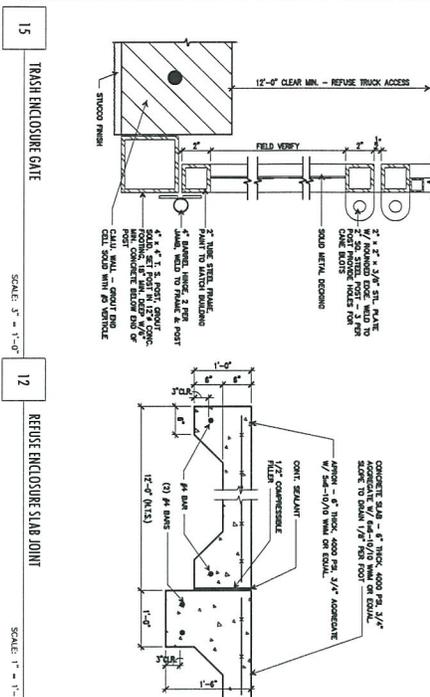
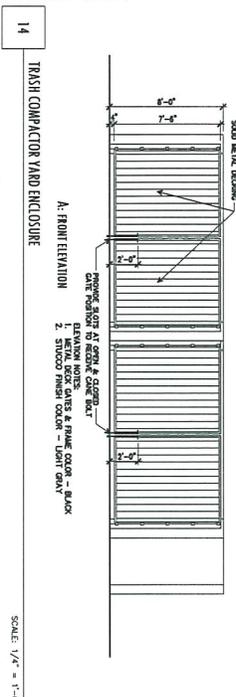
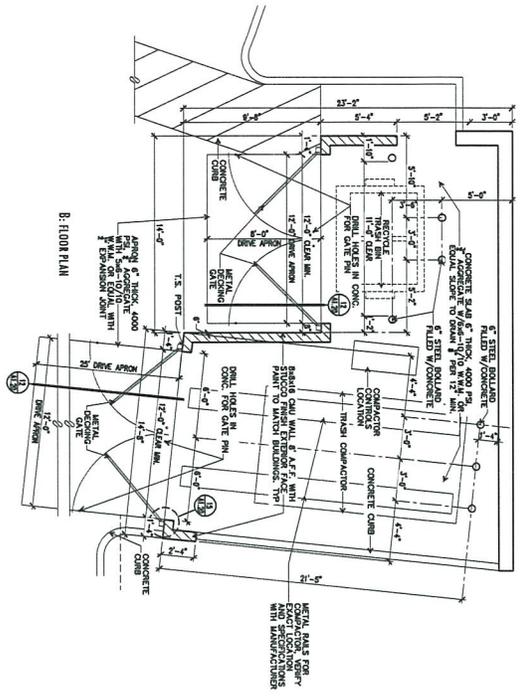
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s) - *No building mounted sign with exception of address*
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



VIEW HOUSE APARTMENTS
 540 FAISANO STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

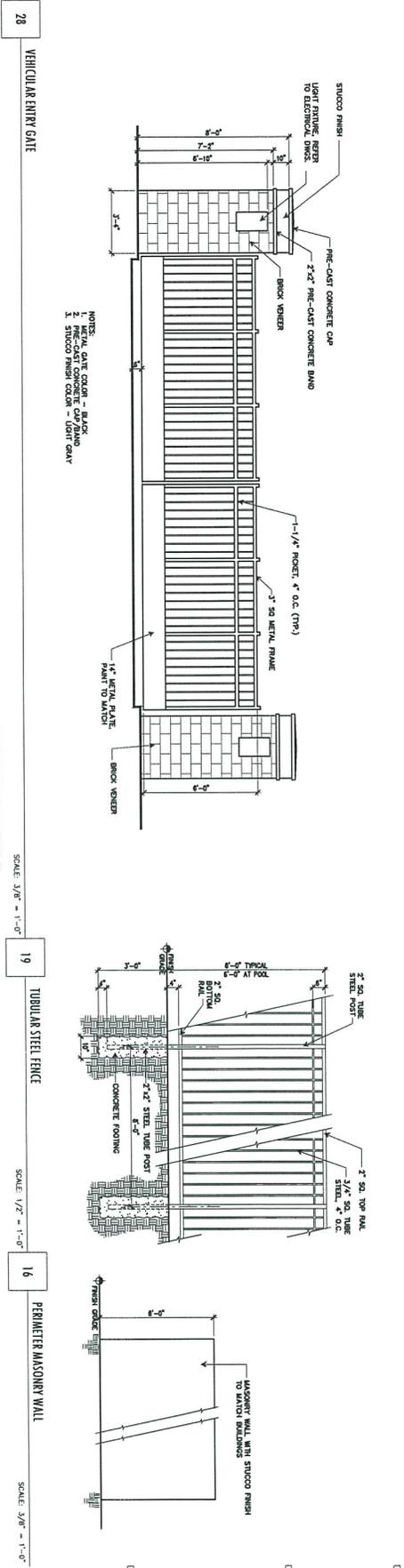
ORR Architects
 Office of Rick Barber
 540 FAISANO STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

WORLD ID
 WILCO BARBER
 ARCHITECT
 540 FAISANO STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

REVISIONS

NO.	DATE	REVISION
01	19/223	08/17/2019

A1.20
 SITE DETAILS
 01 - 15



VIEW HOUSE APARTMENTS
540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87133

Office of Rich Barber
PRO Architects
Worldwide@ORBarb.com

SEAL OF THE STATE OF NEW MEXICO
RICH BARBER
NO. 2594
EX. 21
REGISTERED ARCHITECT

REVISIONS

1	DATE: FEBRUARY 23, 2020	QBR # 19-233
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A1.21
SITE DETAILS
16 - 30

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
 ALBUQUERQUE, NM 87112
 FEBRUARY, 2020



VICINITY MAP K-22-Z

ADDRESS: 540 Paisano Street NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 18.3 A, L. O. A. SUBDIVISION, UNIT 2
 SITE AREA: 220,173 SF (5.0945 acres)
 BENCHMARK: City of Albuquerque Station 1042121 being a brass cap
 ELEV = 5557.514 (NAVD 1988)
 SURVEYOR: The Survey Office, LLC dated February 12, 2020

PRECEDENCE ZONE 3
 FLOOD HAZARD: From FEMA Map 33001(03/96) (9/26/08), this site is identified as being within Zone "X" which is determined to be of minimal flood hazard. The site does not accept any off-site flow as the apartment complex to the east has a cut-off dike wall running along the west side of the site. The Interstate 40 Freeway along the north side of the site has a dike which contains the flood and carries flow to the west.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west at approximately 3% and the street frontage is on Paisano Street NE.
PROPOSED IMPROVEMENTS: The proposed improvements include a new 3-story and 4-story apartment building, a common building with swimming pool, associated paved access and parking, and landscaping.

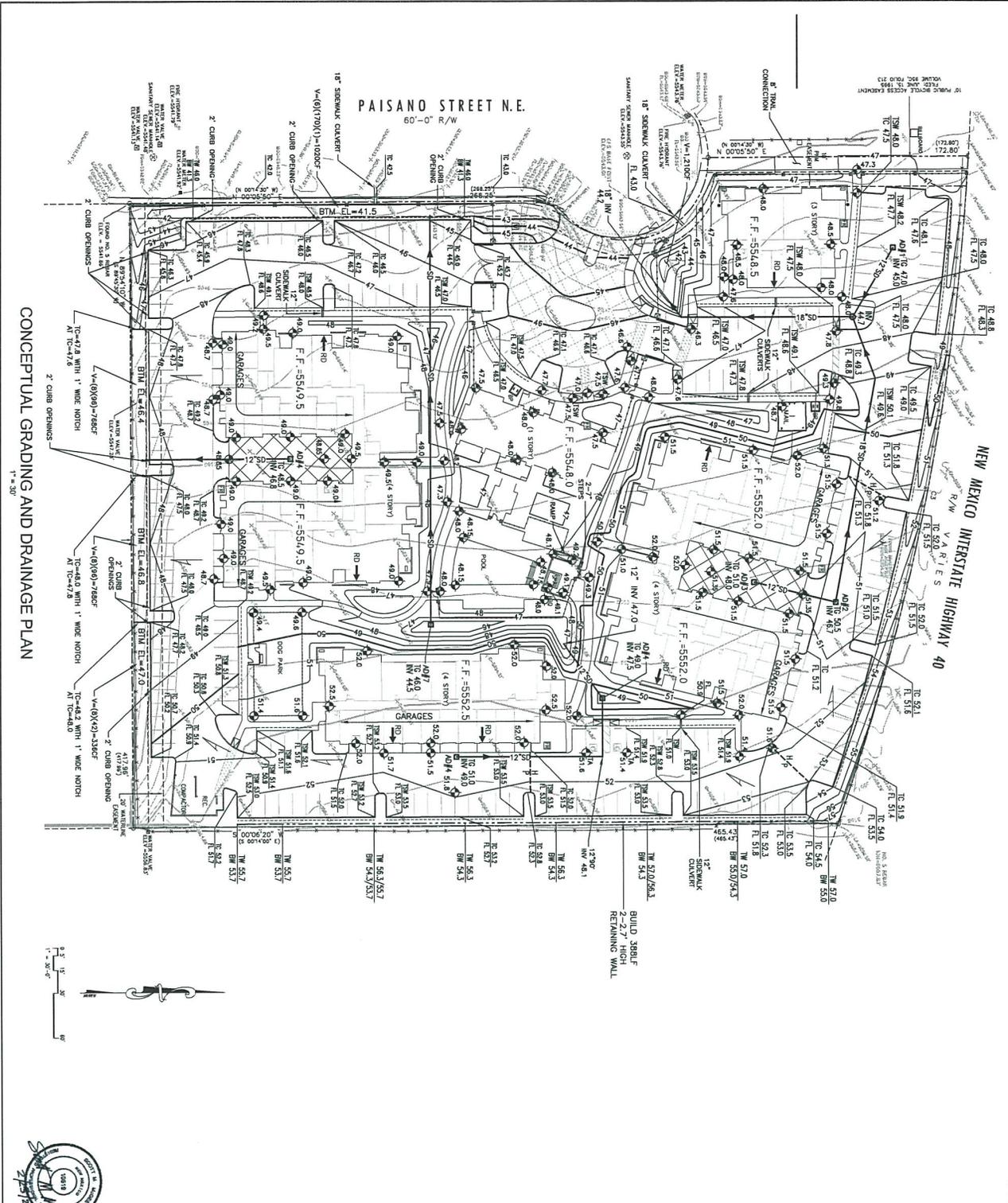
ORDINANCE APPROACH: The site development pattern will follow historic conditions and be sensitive to the historic character of the site. The site will be developed in a way that will be sensitive to the historic character of the site.

Existing Land Treatment: 30% A and 10% B
 Proposed Land Treatment: 10% B, 25% C and 65% D
 Proposed Total Treatment: 10% B, 25% C and 65% D
 Total retention volume provided outside is 4,100 CF
 Total retention volume provided inside is 4,054 CF
 The total retention volume provided inside and outside is 8,154 CF.
 The total retention volume provided inside and outside is 8,154 CF.

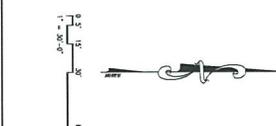
Legend

—	EXISTING CONDITION - MAJOR
—	EXISTING CONDITION - MINOR
—	NEW CONDITION - MAJOR
—	NEW CONDITION - MINOR
—	RETAINING WALL
—	HIGH POINT
—	SPOT ELEVATION
—	FLOOR ELEVATION
—	THIRD FLOOR ELEVATION
—	F.F. = 5552.0
—	ROAD SHOWN

Scott M McGee PE
 9700 Tanoan Dr NE
 Albuquerque, NM 87111
 505.263.2905
 scottm@gee@gmail.com



CONCEPTUAL GRADING AND DRAINAGE PLAN
 1"=30'





BLDG. TYPE 1 FRONT ELEVATION

ORIGINARY

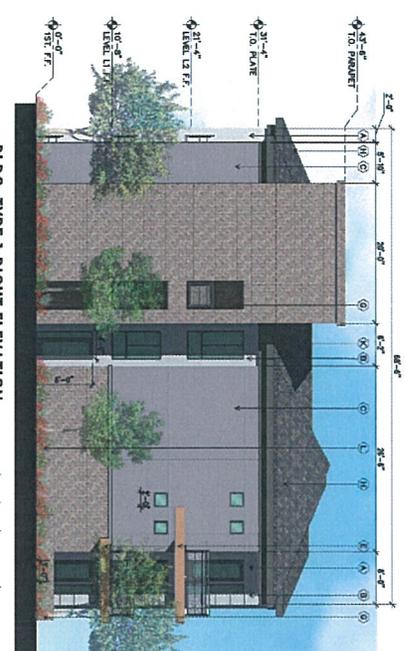
SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 REAR ELEVATION

CANOPY

SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 LEFT ELEVATION

SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- ① STUCCO FINISH LIGHT GRAY
 - ② STUCCO FINISH MEDIUM GRAY
 - ③ STUCCO FINISH DARK GRAY
 - ④ STUCCO FINISH BLACK
 - ⑤ STUCCO FINISH LIGHT BROWN
 - ⑥ METAL PANELING
 - ⑦ CONCRETE LIGHT/WHITE TILE
 - ⑧ CONCRETE
 - ⑨ WINDOW SHADE
 - ⑩ BRICK
 - ⑪ STUCCO FINISH LIGHT GRAY
 - ⑫ STUCCO FINISH MEDIUM GRAY
 - ⑬ STUCCO FINISH DARK GRAY
 - ⑭ STUCCO FINISH BLACK
 - ⑮ STUCCO FINISH LIGHT BROWN
 - ⑯ METAL PANELING
 - ⑰ CONCRETE LIGHT/WHITE TILE
 - ⑱ CONCRETE
 - ⑲ WINDOW SHADE
 - ⑳ BRICK

VIEW HOUSE APARTMENTS
 540 PARKLAND STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

Office of Rich Barber
PRO Architects, Inc.
 www.rbarber.com



A3.13
 BUILDING TYPE 1
 PRELIMINARY ELEVATIONS

DATE: FEBRUARY 27, 2019 ONS # 15-233



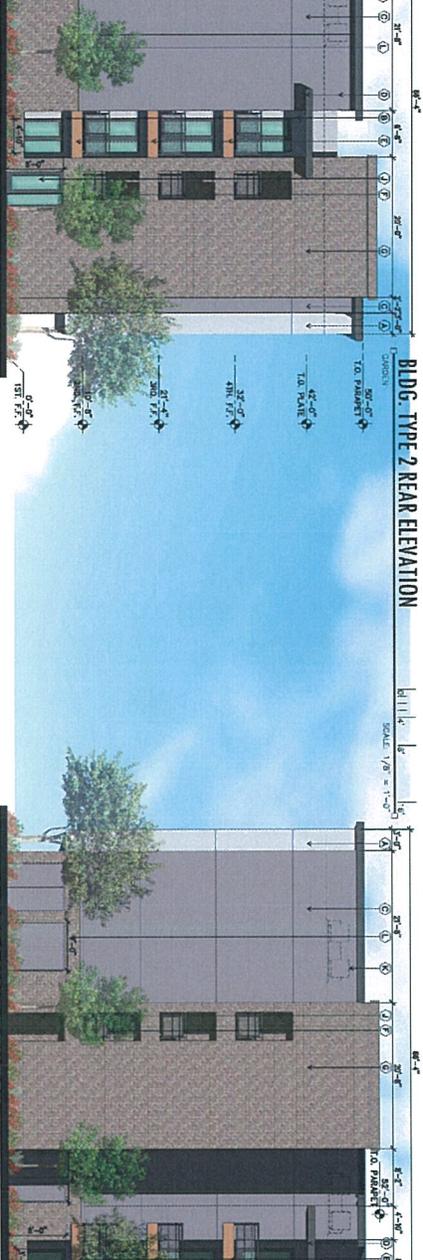
BLDG. TYPE 2 FRONT ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 2 REAR ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 2 LEFT ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 2 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT GRAY
 - (B) STUCCO FINISH MEDIUM GRAY
 - (C) STUCCO FINISH DARK GRAY
 - (D) STUCCO FINISH BLACK
 - (E) STUCCO FINISH LIGHT BROWN
 - (F) METAL PANELING
 - (G) EXPOSED CMU
 - (H) CONCRETE LIGHTWEIGHT T.E.
 - (I) WINDOW SLUICE
 - (J) OPENING
 - (K) MECHANICAL EQUIPMENT CASING BY [unintelligible]
 - (L) PANEL
 - (M) BRICK VENEER

VIEW HOUSE APARTMENTS
 540 PARKLAND STREET NE
 ALBUQUERQUE, NEW MEXICO 87132

Office of Rick Barber
PRO Architects, Inc.
 Weidinger@oberarch.com



A3.23

BUILDING TYPE 2
 PRELIMINARY ELEVATIONS

DATE: FEBRUARY 27, 2010 OBL # 11923



BLDG. TYPE 3 REAR ELEVATION
 SCALE: 1/8" = 1'-0"
 DIMENSIONS



BLDG. TYPE 3 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"
 DIMENSIONS

- MATERIAL KEY NOTES:**
- ① STUCCO FINISH LIGHT GRAY
 - ② STUCCO FINISH MEDIUM GRAY
 - ③ STUCCO FINISH DARK GRAY
 - ④ STUCCO FINISH BLACK
 - ⑤ STUCCO FINISH LIGHT BROWN
 - ⑥ METAL RAILING
 - ⑦ SPANCO CLAU
 - ⑧ CONCRETE LIGHTBOLT TILE
 - ⑨ BROWN SHADE
 - ⑩ OPENING
 - ⑪ MECHANICAL EQUIPMENT SCREENED BY
 - ⑫ BRICK VENEER

VIEW HOUSE APARTMENTS
 540 PALMARD STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

Office of **Rick Barber**
RBRO
 Architecture
 WAHING@GMAIL.COM



DATE: FEBRUARY 27, 2019 08:27:19 223
A3.36
 BUILDING TYPE 3
 PRELIMINARY ELEVATIONS



BLDG. TYPE 3 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 3 LEFT ELEVATION

SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT GRAY
 - (B) STUCCO FINISH MEDIUM GRAY
 - (C) STUCCO FINISH DARK GRAY
 - (D) STUCCO FINISH BLACK
 - (E) STUCCO FINISH LIGHT BROWN
 - (F) METAL PANELING
 - (G) EXPOSED CONCRETE
 - (H) CONCRETE LIGHTWEIGHT TILE
 - (I) WINDOW SHADE
 - (J) OPENING
 - (K) MECHANICAL EQUIPMENT SCREENED BY FACED GLASS
 - (L) BRICK VENEER

VIEW HOUSE APARTMENTS
 540 PARKLAND STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

Office of Rick Barber
PROB
 Architects, Engineers, Planners & Interiors

WWW.OF@DURRICK.COM



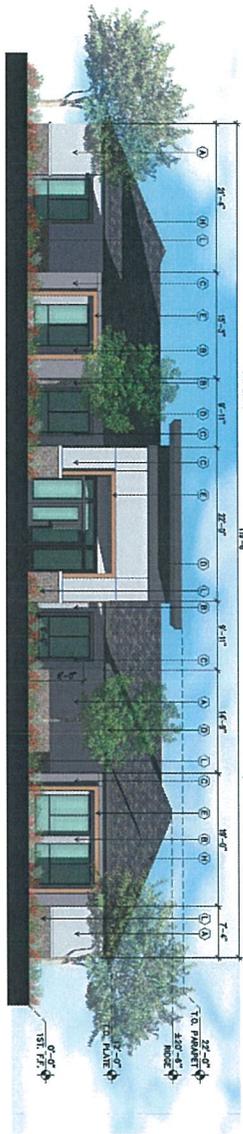
DATE: FEBRUARY 27, 2016 ODS # 11502
A3.37
 BUILDING TYPE 3
 PRELIMINARY ELEVATIONS



REC BLDG. FRONT ELEVATION

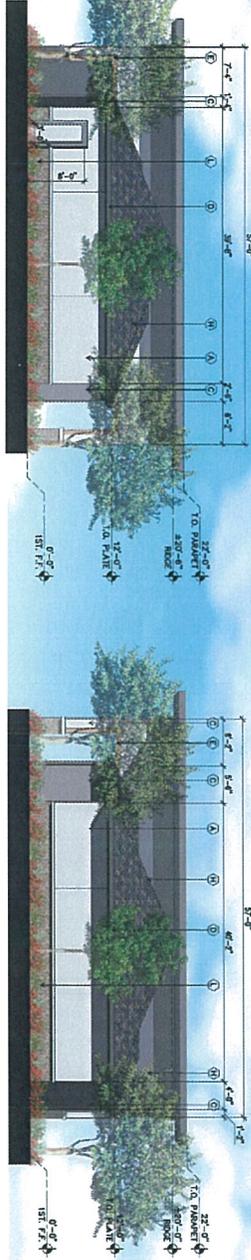
SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- (A) STUCCO FRESH LIGHT GRAY
 - (B) STUCCO FRESH MEDIUM GRAY
 - (C) STUCCO FRESH DARK GRAY
 - (D) STUCCO FRESH BLACK
 - (E) STUCCO FRESH LIGHT BROWN
 - (F) METAL RAINING
 - (G) EXPOSED GULI
 - (H) CONCRETE LIGHTWEIGHT T.E
 - (I) WINDOW SLABE
 - (J) OPENING
 - (K) MECHANICAL EQUIPMENT SCREENED BY PROJECT
 - (L) BRICK VENEER



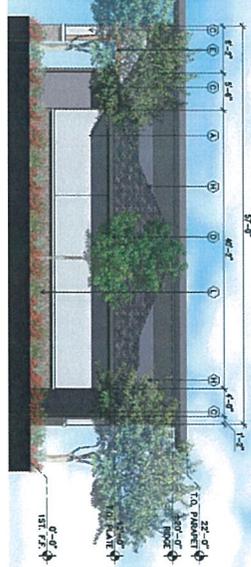
REC BLDG. REAR ELEVATION

SCALE: 1/8" = 1'-0"



REC BLDG. LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REC BLDG. RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

VIEW HOUSE APARTMENTS
 540 PALMARD STREET NE
 ALBUQUERQUE, NEW MEXICO 87133

Office of Rick Berber
RRB
 Architects



DATE: FEBRUARY 27, 2020 088 # 19-223
A3.42
 REC/LEASING
 PRELIMINARY ELEVATIONS



March 27, 2020

Dan Serrano, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Plan-EPC for Planning Development (PD) Zone

Landscape Architecture
Urban Design
Planning Services

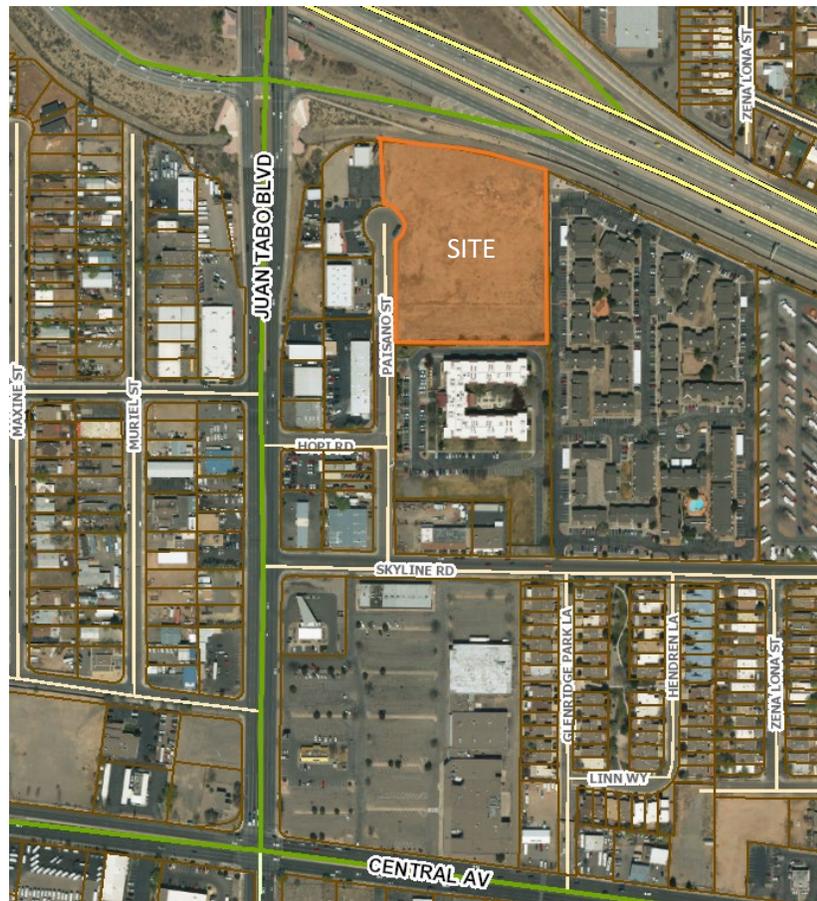
302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Chairman,

The purpose of this letter is to request approval for a Site Plan-EPC on behalf of Dynamic Investors, the owner of the property located at 540 Paisano Street NE. The property is legally described as *Tract B-3-A Plat of Tract B-3-A K.O.A. Subdivision Unit 2*. The site contains 5.04 acres and is zoned Planned Development (PD). As such, the proposed Site Plan is required to be reviewed by the Environmental Planning Commission (EPC), with dimensional standards, as applicable to the most similar use or district (RM-H), to be negotiated on a case-by-case basis, if needed.

The Applicant is proposing to develop a mixed-income, multi-family project with four residential buildings and one recreation building on the 5-acre site that is adjacent to I-40. The Applicant's request is for approval of a Site Plan-EPC that includes three out of the five buildings having a maximum building height of 52 feet. The remaining two buildings will have a maximum height of 44 feet and 22 feet.



Location of subject property.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

EXISTING CONDITIONS

The Subject Property is currently vacant and located on the east side of Paisano Street and south of Interstate-40. The Subject Property is in an Area of Change, as designated by the ABC Comprehensive Plan, and is within the East Gateway Metropolitan Redevelopment Area. The I-40 East Trail, a paved multi-use trail managed by New Mexico Department of Transportation, runs along the north side of the site. Juan Tabo Boulevard, a Multi-Modal Corridor, is located just west of the subject property and Central Avenue, a Major Transit Corridor, is located to the south.

Zoning and Land Use

Zoning to the east and south of the Subject Property is Planned Development (PD); to the west is Non-Residential Commercial (NR-C). From a neighborhood zoning perspective, a large portion of the area north of Central Avenue and between Juan Tabo and Tramway Boulevards is zoned MX-H. Surrounding land uses include multi-family to the east; senior multi-family to the south; and industrial, commercial service, retail, vacant, and office to the west. Further to the south at Central Avenue and Juan Tabo Boulevard is Franklin Plaza, a mostly vacant shopping center.



Surrounding zoning (left) and surrounding land use (right).

BACKGROUND

Planning Case History

In 1970, a zone change was approved by the Environmental Planning Commission (EPC) from R-1 to SU-1 for Planned Development (Z-70-54). In 1983, the EPC approved Site Plan for a parking lot variance and a zone change from SU-1 for Planned Development to SU-1 for Planned Development including Retirement Center. The zone map amendment allowed for the Las Colinas Retirement Center to be constructed to the south of the subject property (Z-70-54-1).

In 1994, the Subject Property was part of a Vacation of Public Right-of-Way (DRB-94-317) for portions of Paisano Avenue NE, Huerfano Road NE, Buena Ventura Road NE, and Preliminary Plat approval for Tract B-3, K.O.A. Subdivision (Subject Property).

East Gateway Metropolitan Redevelopment Plan, 2012

As mentioned above, the Subject Property is located within the East Gateway Metropolitan Redevelopment Area. The East Gateway Metropolitan Area (MRA) Plan implements the goals of the East Gateway Sector Development Plan by promoting increased density in major activity centers and along major transit corridors.

The MRA Plan identifies targeted improvements for the area including:

“Revitalize the East Central corridor with new and expanded businesses and higher density, mixed-income housing near transit stops.”

The Subject Property was identified in the East Gateway MRA Plan as Opportunity Site #41 and is located approximately ¼ mile east of the East Gateway Catalyst Area A situated at the intersection of Central Avenue and Juan Tabo Boulevard. This area is the highest priority for City resources and incentives to spur redevelopment in the East Gateway area, as stated in the MRA Plan. The proposed development will advance the MRA Plan recommendations by developing an Opportunity Site and increasing mixed-income, housing density near the major transit stops along Juan Tabo Boulevard and Central Avenue. Furthermore, the proposed multi-family project will serve as a catalyst for the area by drawing new residents that will support the revitalization of commercial in Catalyst Area A in need of redevelopment.



East Gateway Catalyst Area-A located south of subject property.



East Gateway Opportunity Site 41.

PROJECT DESCRIPTION

The Applicant proposes to develop a 163-unit multi-family residential development on the Subject Property. The 5.04-acre site will contain four separate residential buildings and one common recreation building. Each residential building will contain a variety of housing units, including micro-studios (360 square feet), studios (600 square feet), one-bedrooms (750 square feet), and two-bedrooms (1,170 square feet). The Type 2 and 3 buildings include interior garages as an option for those residents and will be four-stories, 52 feet in height. The Type 1 Building does not include interior garages and is three-stories, 44 feet in height. In addition to the



interior garages, surface parking is provided, both with carports and open parking. Residents will have access to the recreation building, swimming pool and spa, and dog park. The recreation building has a maximum building height of 22 feet.

The PD zone district does not include specific dimensional standards; instead the Applicant is instructed to reference Table 2-6-1: Other Applicable IDO Sections, with a provision that states “As applicable to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process.” Therefore, as part of this request for Site Plan-EPC approval, the Applicant is also requesting a taller maximum building height of 52 feet for three buildings that contain interior garages instead of the maximum 45 feet allowed in the RM-H zone. The Applicant believes the added height of 7 feet is appropriate in this context and location adjacent to Interstate-40 and north of the Central Avenue, a designated Major Transit Corridor.

Although the Subject Property is not located within a UC-MS-PT area, it should be noted that the RM-H zone allows up to 65 feet if the property is within a UC-MS-PT area. In addition, the RM-H zone has no maximum height for buildings that have a setback greater than 100 feet; significant portions of the 52-foot buildings are greater than 100 feet from the property lines.

SITE PLAN-EPC CRITERIA

The following provides an explanation of how this request meets the criteria for approval of Site Plan-EPC, as outlined in IDO *Section 6-6(H) Site Plan-EPC*.

6-6(H)(3)(a) *The Site Plan is consistent with the ABC Comp Plan, as amended.*

Applicant Response: The site plan is consistent with the ABC Comprehensive Plan as follows:

Policy 5.2.1 (d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Applicant Response: The proposed development furthers this policy as it will provide multi-family housing options for a range of incomes and lifestyles. This will be accomplished by including units in different sizes, rental costs, and type of units. It is within walking distance to the Central Avenue Major Transit Corridor and Juan Tabo Boulevard for transit riders. Access to the I-40 Multi-Use Trail is available for residents that choose to bike or walk.

Policy 5.2.1 (f) Encourage higher density housing as appropriate use in the following situations:

ii. In areas with good street connectivity and convenient access to transit;

Applicant Response: The proposed development is located approximately ½ mile north from Central Avenue, a Major Transit Corridor. Central Avenue is served by the ABQ Bus Route 66, which has a frequency of every 15 minutes Monday through Sunday; and the Green Line Rapid Ride, which has a frequency of every 15 minutes Monday through Friday, and every 20-30 minutes on Saturday and Sunday. Juan Tabo Boulevard is a Multi-Modal Corridor and located approximately 927 feet to the west of the proposed development. Pedestrians can access via Paisano Street and Hopi Road. Juan Tabo Boulevard is served by ABQ Ride Bus Route 1, which has a frequency of 25 minutes Monday through Sunday.

The Subject Property has strong street connectivity for vehicular access. Proximity to the Interstate-40 on-ramp from Juan Tabo Boulevard is less than ½ mile to the north. Central Avenue is accessible from Juan Tabo Boulevard via Paisano Street and Hopi Road.

iii. In areas where mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available.

Applicant Response: The proposed development is compatible with existing mixed density patterns of the area which includes commercial, and multi-family and single-family residential. To the east of the Subject Property is the Arrowhead Pointe Apartment Homes, an 11.9-acre site containing 27 three-story buildings and amenities. To the south is the Las Colinas Retirement Community, which sits on a 4.5-acre site and contains a large, three-story building with housing units for seniors. To the southeast, along Skyline Road, there is a mixture of low density single-family residential, moderate density townhomes, and higher density multi-family residential. To the west is a mixture of industrial, commercial, and office uses.



Arrowhead Pointe Apartments east of the Subject Property.



Las Colinas Retirement Community south of Subject Property.

As an infill site, adequate infrastructure is available to the Subject Property and will not require installation of major public infrastructure.

Policy 5.2.1 (h) Encourage development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

Applicant Response: The proposed multi-family development will add a complementary use to the area, which already contains a variety of housing densities and commercial uses. The proposed apartment buildings will be compatible in form with the Arrowhead Pointe multi-family project to the east and Las Colinas senior community to the south (see photos above). While three of the four proposed buildings on the Subject Site are taller than the adjacent projects, the easternmost building (Type 2) has a minimum 55 foot setback from the east property line; the buildings at Arrowhead Pointe are 65 to 70 feet from the property line, for a total minimum separation of 120-125 feet between the existing buildings to the east and the proposed buildings on the subject site. The proposed southernmost building (Type 3) has a minimum setback of 59 feet; the Las Colinas building is approximately 50 feet from the property line, for a total minimum separation of 109 feet between the existing Las Colinas building and the proposed building on the Subject Site. The proposed development will provide a transition and buffer from the intense level of traffic on Interstate-40 to the property to the south and from the industrial/commercial uses on Juan Tabo Boulevard to the property to the east. Given the location of this project adjacent to Interstate-40, east of commercial and industrial development, adjacent to other multi-story buildings, in proximity to Central Avenue and Juan Tabo Boulevard, and with the provision of structured parking, the Applicant believes allowing buildings that are 7 feet taller than the RM-H district is appropriate, warranted, and should be supported by the EPC. It should also be noted that the height to the fourth-floor plate is 42 feet, so much of the added height is in the parapet, which is needed to screen mechanical equipment.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

Applicant Response: The Subject Property is in an area with existing infrastructure. The Applicant will construct a new public sidewalk on Paisano Street. Access to the I-40 Multi-Use Trail East will be provided through the Subject Property via an existing 10-foot public trail easement. Public facilities near the property include the following:

- Parks - Sandia Vista Park; and Singing Arrow Park;
- Community Centers - Manzano Mesa Multigenerational Center; and Singing Arrow Community Center.
- Public trails - Interstate-40 Multi-Use Trail East.
- Bus Routes - ABQ Ride Juan Tabo Boulevard Route 1; Central Avenue Route 66 and Rapid Ride Green Line;
- Public Schools – Manzano High School; Kennedy Middle School; Tomasita, Apache, and Manzano Mesa Elementary Schools.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Applicant Response: The proposed development furthers this policy as it is a large infill site within an Area of Change; is an Opportunity Site in the 2012 East Gateway Metropolitan Redevelopment (MRA) Plan; and is located just north of Catalyst Area A, the highest priority area for redevelopment in the MRA Plan. The proposed development will redevelop a vacant site and will draw new residents that can support commercial redevelopment in the East Gateway Area.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

Applicant Response: The proposed infill development will enhance and blend well into the area's built and natural environment. The proposed exterior finish will include three colors of stucco - light, medium, and dark gray - with light brown accents at the corners. Building materials will include exposed CMU blocks, lightweight concrete tile, and metal railings for balconies and patios.

Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

Applicant Response: The proposed plant palette is predominately comprised of low to medium water use plant materials. The Applicant is proposing a modest area of high-water use turf, 4,035 square feet (6.5%), even though the IDO allows up to 20% of the landscape area in high water use turf. The landscape plan meets or exceeds the IDO requirements for minimum landscape area, vegetative cover, parking lot trees, site trees per number of dwelling units, and street trees.

Policy 9.1.1(h) Maintain an affordable housing supply in neighborhoods, in addition to creating market-rate housing, as part of the revitalization efforts.

Applicant Response: The project furthers this policy as it will provide a variety of multi-family, market-rate housing options on one property. The development will include micro-studios, studios, one-bedroom, and two-bedroom units. This mixed income, multi-family housing model will provide a unique and modern housing form in the area and will be an important catalyst for the revitalization efforts in the East Gateway Metropolitan Redevelopment Area.

Policy 9.1.2 Affordability: Provide for mixed-income neighborhoods by encouraging high-quality, affordable, and mixed income housing options throughout the area.

Applicant Response: The proposed development furthers this policy by providing a high-quality, mixed-income housing option in an area of the City that already contains a variety of housing types. The intent of this project is to appeal to a wider market by providing a variety of unit types and rental costs. This project will enhance the East Gateway Area and support commercial redevelopment in the area.

6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Applicant Response: This is not applicable; the subject property is not subject to any previously approved site plan.

6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The PD Zone does not include the typical dimensional standards that are contained in the residential, mixed-use, or commercial zones. The PD zone is intended to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the ABC Comprehensive Plan. The PD district is intended to "be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant". The district most similar to this use is the RM-H, which allows a maximum building height of 45 feet and 65 feet if the project is in a UC-MS-PT area. The Applicant is proposing that three out of the five buildings have a maximum building



height of 52 feet, a difference of 7 feet. These buildings include structured parking on the first floor, which along with the parapets, contribute to the added height. As previously mentioned, there is significant separation (greater than 100 feet) between the proposed 52-foot buildings and the buildings to the east and south.

The Site Plan complies with applicable provisions of the IDO and the DPM pertaining to walls, buffering, landscape, lighting, access, connectivity and pedestrian crossings, façade treatment, minimum parking, carport setbacks, and signage. There are no terms and conditions from a prior permit or approval affecting the property.

6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

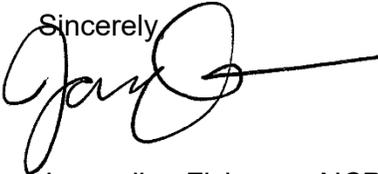
Applicant Response: The City's existing infrastructure has adequate capacity to support the proposed development. The proposed Site Plan shows an upgrade to the sidewalk right-of-way along Paisano Street. Currently, the sidewalk does not meet width requirements in the IDO or DPM. The Applicant will construct a 4-foot sidewalk for the entire length of Paisano Street and there is public access to the I-40 Multi-Use Trail through the property.

6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Applicant Response: The proposed Site Plan will not have significant adverse impacts on the surrounding area as it is complementary use and is similar to surrounding properties. Any impacts to surrounding properties will be mitigated to the maximum extent practicable through the following:

- The project incorporates a total minimum separation of 120-125 feet between the existing buildings at Arrowhead Pointe and the proposed buildings on the subject site and a total minimum separation of 109 feet between the Las Colinas building and the proposed building on the Subject Site.
- The proposed Site Plan incorporates a 6-foot opaque wall along the north, east, and south sides of the Subject Property and a fence with 3 feet of opaque material and 3 feet of view fencing on the west side of the property.
- Buffer landscaping will be incorporated into the site design, which will add aesthetics and buffers for the adjacent residential properties and the Interstate-40 East Multi-Use Trail along the northern edge of the site.

On behalf of Dynamic Investors, we respectfully request that the EPC review and approve this Site Plan-EPC and maximum building height request. Thank you for your consideration.

Sincerely


Jacqueline Fishman, AICP
Principal

April 6, 2020

Note to file:

Due to warnings issued regarding the CCOVID-19 (coronavirus) situation, the EPC Hearing was delayed.

Because of that, the Applicant had to re-notice the Neighborhood Associations and property owners.

See the attached documents for proof of the Applicant's re-notice to the neighborhood associations and surrounding property owners.

Naji, Leslie

From: Jackie Fishman <fishman@consensusplanning.com>
Sent: Friday, April 3, 2020 2:05 PM
To: jamesw.andrews@gmail.com; eastgatewaycoalition@gmail.com
Cc: Charlene Johnson; Naji, Leslie; Brito, Russell D.
Subject: RE: Application Notification

Dear Mr. Andrews and Mr. Brasher:

The Environmental Planning Commission (EPC) hearing for the Paisano apartment project was confirmed this morning by the City Planning Department. The EPC hearing will be Thursday, April 23rd at 8:40 a.m. on the below Zoom remote-meeting link and call-in numbers. The same information will be posted on the EPC webpage - <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission> I have copied Russell Brito, Planning Department Division Manager on this email.

Join Zoom Meeting

<https://cabq.zoom.us/j/822925114>

Meeting ID: 822 925 114

One tap mobile

+13462487799,,822925114# US (Houston)

+16699006833,,822925114# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US

+1 301 715 8592 US

Meeting ID: 822 925 114

Find your local number: <https://cabq.zoom.us/u/adRJ16SIH3>

Thanks,

Jacqueline Fishman, AICP

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801

From: Jackie Fishman
Sent: Thursday, February 27, 2020 10:57 AM
To: jamesw.andrews@gmail.com; eastgatewaycoalition@gmail.com
Cc: Charlene Johnson <Johnson@consensusplanning.com>
Subject: Application Notification

Dear Coalition Representatives:

This email is intended to provide notification that Consensus Planning has submitted an application to the Environmental Planning Commission (EPC) for a Site Plan-EPC on behalf of Dynamic Investors. The property is zoned Planned Development (PD) and is located at 540 Paisano Street NE, east of Juan Tabo Boulevard and between Central Avenue and Interstate-40. The PD district is intended to "be reviewed on a case-by-case basis [by the EPC] to reflect a negotiated agreement for uses and standards with the Applicant".

The 5.04-acre site is currently vacant and is identified as Opportunity Site #41 in the East Gateway Metropolitan Redevelopment Area (MRA) Plan. It is located just north of Franklin Plaza, which is identified as Catalyst Area-A in the Plan. The Applicant proposes to build a 163-unit multi-family development on the site with market rate apartments and a recreation facility with a swimming pool, spa, and dog park. The units will include studio, one-bedroom, and two-bedroom apartments with a combination of private garages and surface parking. This development will further targeted improvements as stated in the East Gateway MRA Plan; *"Revitalize the East Central corridor with new and expanded Businesses and higher density, mixed-income housing near transit stops."*

The hearing for this Site Plan-EPC request will be held on **Thursday, April 9, at 8:30 am** in the Hearing Room (Basement Level) of the **Plaza del Sol Building** located at **600 2nd Street, NW**. You can check the agenda for the relevant decision making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

We have attached the Zone Atlas Page for the property to this email and sent you a notification letter and a copy of the Site Plan via the USPS.

Sincerely,

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

=====
This message has been analyzed by Deep Discovery Email Inspector.

April 6, 2020

Dear Property Owner:

UPDATED NOTIFICATION OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) has rescheduled a **Public Hearing** for **Thursday, April 23, 2020 at 8:40 AM** via **ZOOM remote-meeting link** to consider the following item. (This hearing was originally scheduled for April 9, 2020).

REQUEST

Consensus Planning, agent for Dynamic Investors, requests approval of a Site Plan-EPC for the development of a 163-unit, multi-family development on a vacant parcel at 540 Paisano Street NE. The property is zoned Planned Development (PD). According to the City's Integrated Development Ordinance (IDO), the intent of the PD zone is to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the ABC Comprehensive Plan. The PD district is intended to "be reviewed on a case-by-case basis to reflect a negotiated agreement for uses and standards with the Applicant".

HEARING INFORMATION

Due to the precautions taken by the State of New Mexico to control COVID-19, the City of Albuquerque has cancelled all in-person public gatherings and rescheduled them remotely. The EPC hearing for this item can be accessed using the following ZOOM remote-meeting link and call-in numbers. This information is also posted on the EPC webpage.

Join Zoom Meeting

<https://cabq.zoom.us/j/822925114>

Meeting ID: 822 925 114

One tap mobile

+13462487799,,822925114# US (Houston)

+16699006833,,822925114# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US

+1 301 715 8592 US

Meeting ID: 822 925 114

Find your local number: <https://cabq.zoom.us/u/adRJ16SIH3>

If you have questions or need additional information regarding this request contact Jackie Fishman, Principal at Consensus Planning, at (505) 764-9801 or fishman@consensusplanning.com. You can check the agenda for the relevant

decision-making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request, and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Sincerely,

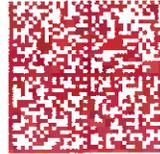
Consensus Planning, Inc.

Attached: Zone Atlas K-22

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87102

INTERNATIONAL CHURCH OF THE
FOURSQUARE GOSPEL
12120 COPPER AVE NE
ALBUQUERQUE NM 87123-1446

FIRST-CLASS



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SRI KANAKA DURGA LLC C/O CNC
INVESTMENTS LTD
4420 FM 1960 RD WEST SUITE 224
HOUSTON TX 77068-3411

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PAISANO PARTNERS LLC
1508 CERROS DE MORADO SE
ALBUQUERQUE NM 87123

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PO BOX 1149
SANTA FE NM 87503

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QUANZ FAMILY LIMITED PARTNERSHIP
LLC
501 PAISANO ST NE
ALBUQUERQUE NM 87123

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SANTA FE NM 87501

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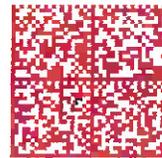
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THREE ALBUQUERQUE HOTELS LIMITED
PTNS
1050 SINGING WOOD DR
ARCADIA CA 91006

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BRACKEN JAMES I
4804 MANITOBA CT NE
ALBUQUERQUE NM 87111

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GEMINI LAS COLINAS LLC C/O RYAN LLC
BANK OF AMERICA CENTER
15 W 6THST ST SUITE 2400
TULSA OK 74119-5417

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

James Andrews
13121 Nandina Lane SE
Albuquerque, NM 87123

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

Michael Brasher
216 Zena Lona NE
Albuquerque, NM 87123

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APR 06 2020

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APR 06 2020

FILE: F:\04\ORB Job Files\19-223_TMS_\Jun Tabo\CAD Files\Preliminary\19223 A110 Site Plan.dwg USER: jps DATE: Mar, 27, 2020 TIME: 02:45 pm

LIGHTING LEGEND

- ☐ LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
- LED POST TOP LIGHT. +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT. TYPE 'CP'.
- ♀ LED WALL MINI WALL PACK. +10' B.O.F. TYPE 'WP'.
- ♣ LED WALL SCENCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.

NOTE: LIGHTING SHALL BE FULLY SHIELDED, AND DESIGNED IN COMPLIANCE WITH THE ILLUMINATION STANDARDS CONTAINED IN IDO SECTION 14-16-5-8

SYMBOLS - SITE PLAN:

- PROPERTY LINE
- ⑤ BUILDING NUMBER
- TYPE 2 ← BUILDING TYPE
- 4-STORY ← # OF STORIES
- ⑩ OPEN PARKING SPACES COVERED PARKING SPACES
- ♿ ACCESSIBLE PARKING OR GARAGE
- ▭ INDICATES CARPORT PARKING STRUCTURE
- CS □ ELECTRIC VEHICLE CHARGING STATION
- FR □ FIRE RISER ROOM
- BP □ BIKE PARKING RACK

KEYNOTES ①

1. 8'x18' PARKING SPACE WITH 2' OVERHANG SEE DETAIL 01/A1.20
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG SEE DETAIL 05/A1.20
3. 14'x20' ACCESSIBLE GARAGE SPACE.
4. ACCESSIBLE DRIVEWAY CROSSING - CONTRASTING COLORED SCORED CONCRETE.
5. CARPORT PARKING STRUCTURE SEE DETAIL 06/A1.20
6. TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL W/STUCCO FINISH PAINTED SEE DET 14/A1.20
7. ELECTRONIC ENTRY VEHICULAR GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS SEE DETAIL 28/A1.21
8. PEDESTRIAN ENTRY GATE SEE DETAIL 23/A1.21
9. POOL ENTRY GATE SEE DETAIL 24/A1.21
10. CMU PERIMETER WALL SEE DETAIL 16/A1.21
11. TUBE STEEL POOL FENCE SEE DETAIL 19/A1.21
12. 6 FT. SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
13. 4 FT. SIDEWALK, TYPICAL ON SITE, GRAY CONCRETE COLOR.
14. 6 FT. SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR.
15. BICYCLE PARKING RACK FOR 4 BICYCLES, SEE DETAIL 30/A1.21.
16. PARKING SCREEN - 3 FT. CMU WALL WITH 3 FT. FENCE ABOVE SEE DETAIL 27/A1.21
17. FIRE RISER LOCATION.
18. ENTRY MONUMENT SIGN SEE DETAIL 29/A1.21
19. ACCESSIBLE RAMP SEE DETAIL 08/A1.20
20. FIRE TRUCK TURNING RADIUS (38' INSIDE/55' OUTSIDE)
21. 10 FT. WIDE BIKE PATH, PER CITY PAKS DEPT. (NOT REQUIRED TO BUILD BY DEVELOPER)
22. 6 FT. TALL TUBE STEEL SECURITY FENCE WITH CMU PIERS SEE DETAIL 18/A1.21
23. 6 FT. SIDEWALK, TYPICAL ON SITE BUILDING ACCESS PATH FROM STREET, GRAY CONCRETE COLOR.
24. ACCESS KEY PAD AND SITE MAP
25. CLEAR SITE VISIBILITY TRIANGLE.

INDICATES 6 FEET PATHWAY FROM PUBLIC RIGHT OF WAY TO EACH BUILDING ENTRANCE

DEVELOPMENT DATA

NET SITE AREA : 5.0400 ACRES (219,542 S.F.)

ZONING AND LAND USE:
ZONING: PLANNED DEVELOPMENT (PD)
LAND USE: MULTIFAMILY RESIDENTIAL, RECREATION/LEASING

BUILDING HEIGHT :
PROPOSED: 44'-0" - 3 STORY
52'-0" - 4 STORY

DENSITY :
PROPOSED: 163 D.U./5.04 AC = 32.34 DU/ACRE

SETBACKS :
REQUIRED: NO REQUIRED MINIMUM SETBACK IN THE PD ZONE
FRONT/WEST REAR RIGHT SIDE LEFT SIDE
PAISANO ST EAST SOUTH NORTH
PROVIDED: 10'-0" 5'-0" 10'-0" 10'-0"

USABLE OPEN SPACE			
	SF REQ. PER DU	# OF DU'S	AREA S.F.
STUDIO	200	49	9,800
1 BEDROOM	200	56	11,200
2 BEDROOM	250	58	14,500
TOTAL REQUIRED			35,500
GROUND LEVEL OPEN SPACE			30,550
BALCONY PRIVATE OPEN SPACE			8,860
TOTAL PROVIDED:			39,410

AREA S.F.	UNIT MIX										UNITS PER BLDG	NO. BLDGS	TOTAL UNITS				
	STUDIO		1 BEDROOM			2 BEDROOM			B5	B6				B7			
	S1	S2	A1	A2	A3	A5	B2	B3							B4		
360	600																
TOTAL	25	24	12	16	16	12	8	8	14	16	12	4	163				

PARKING SPACE REQUIREMENTS		
	PARKING RATIO REQUIRED	PARKING SPACES
REQUIRED 1.5 PARKING SPACE PER D.U.	1.5 x 163	245
Total Parking Spaces Required		245
PRIVATE GARAGE PROVIDED		52
SECURE CARPORT PROVIDED		112
SECURE OPEN PROVIDED		91
OPEN PROVIDED		6
Total Parking Provided (1.61 P.S./D.U.)		261
Accessible Parking Required 2% OF REQ'D. PARKING		5
GARAGE PARKING PROVIDED		2
CARPORT PARKING PROVIDED		1
OPEN ACCESSIBLE PARKING PROVIDED		3
Total Accessible Parking Provided		6
Elec. Car Charging Station Required 2% OF REQ'D. PARKING		5
ACCESSIBLE (1 GARAGE/1 OPEN) PARKING PROVIDED		2
GARAGE PARKING PROVIDED		1
CARPORT PARKING PROVIDED		2
OPEN PARKING PROVIDED		1
Total Elec. Car Charging Provided		6
Bicycle Parking Required 10% OF REQ'D. PARKING		25
GARAGE		52
BICYCLE RACK		8
Total Bicycle Parking Provided		60

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123



WorldHQ@ORBArch.com

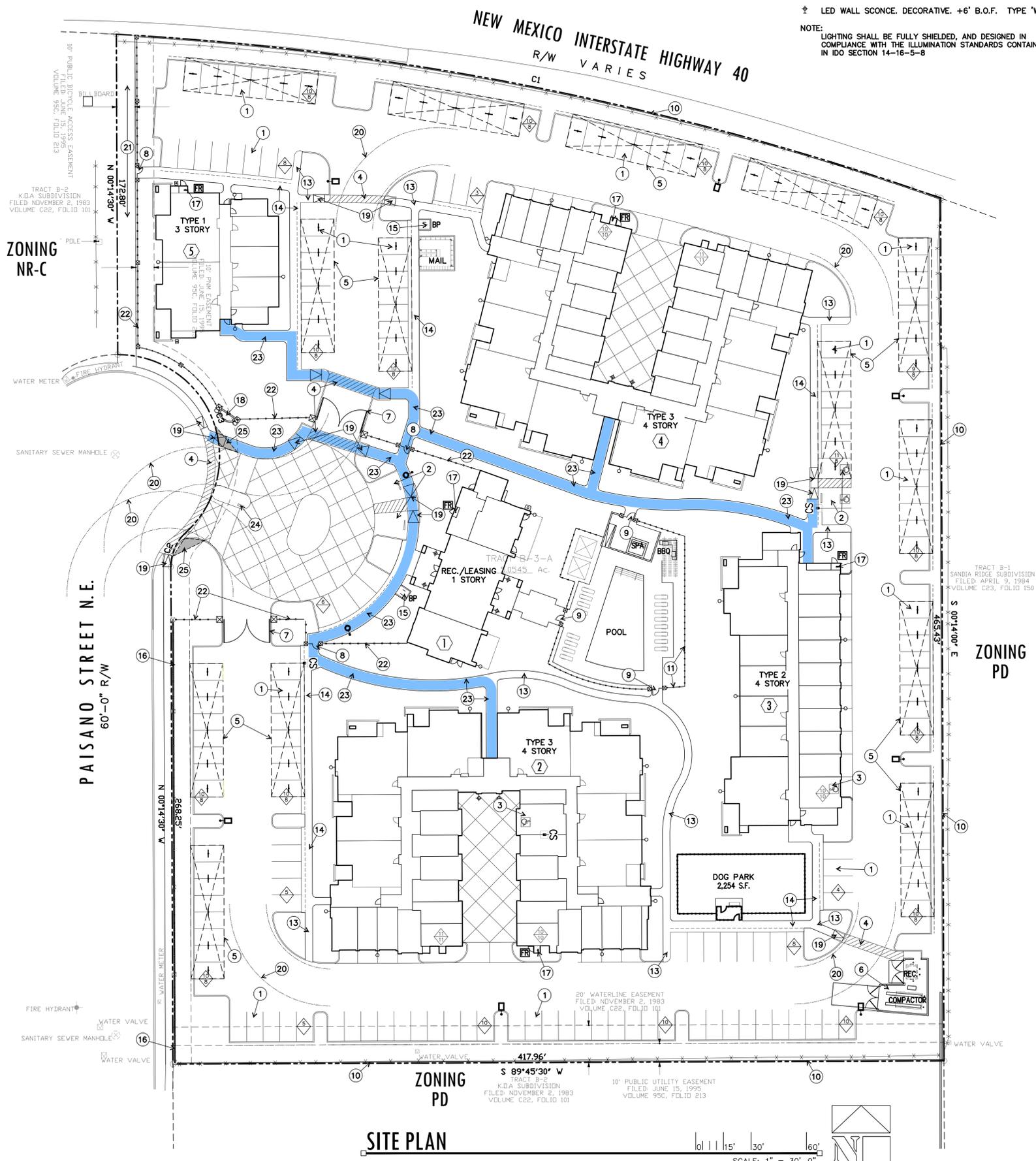


REVISIONS

DATE: MARCH 27, 2020 ORB # 19-223

A1.10.1

SITE PLAN
6 FEET PATHWAY EXHIBIT

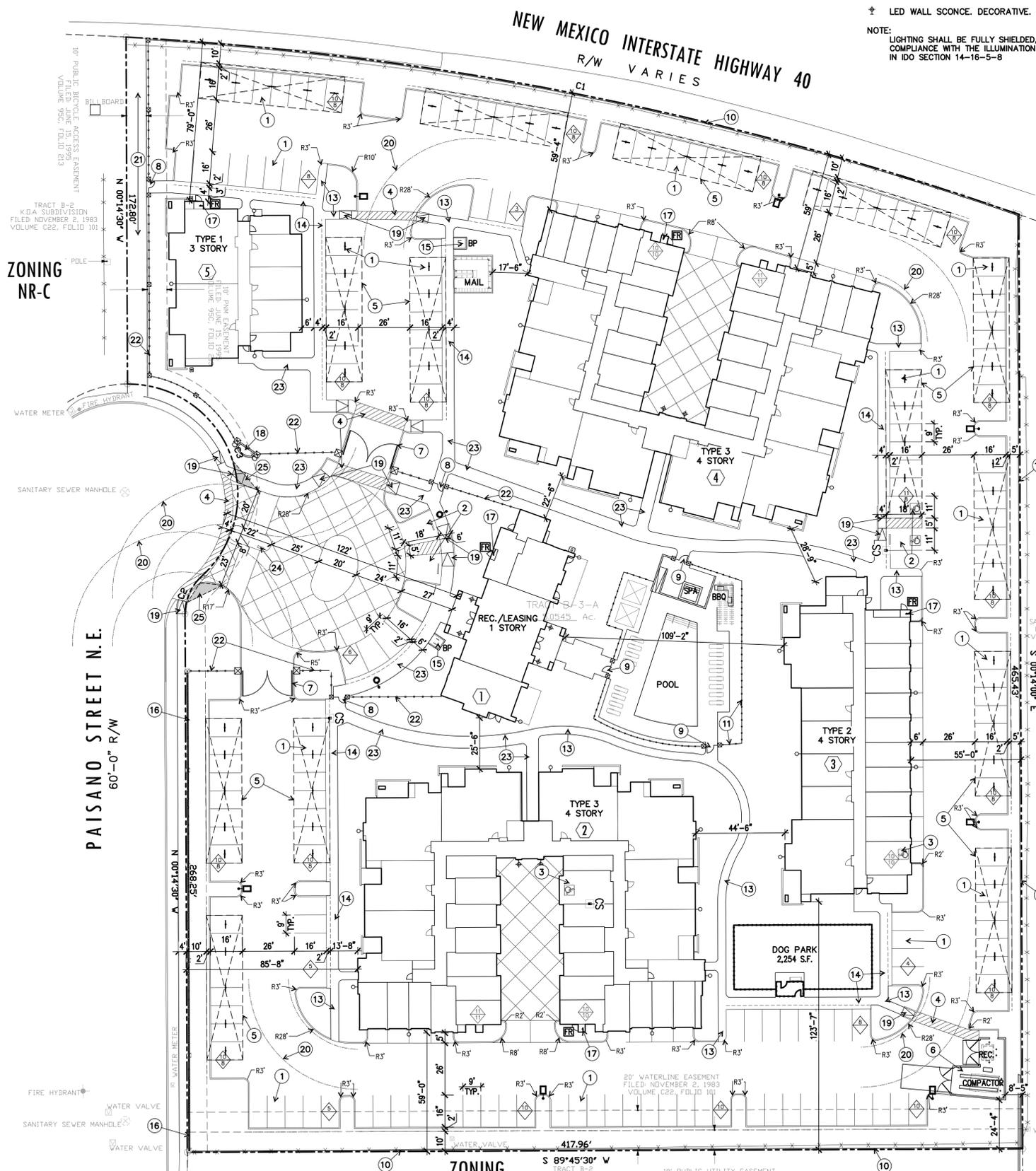


SITE PLAN

SCALE: 1" = 30'-0"



FILE: \\C:\ORR\Job Files\19-223_TMS_A110_Site Plan.dwg USER: jps DATE: Mar, 27, 2020 TIME: 02:35 pm



LIGHTING LEGEND

- ☐ LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
 - LED POST TOP LIGHT. +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
 - LED CARPORT LIGHT. TYPE 'CP'.
 - ♀ LED WALL MINI WALL PACK. +10' B.O.F. TYPE 'WP'.
 - ♣ LED WALL SCENCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.
- NOTE: LIGHTING SHALL BE FULLY SHIELDED, AND DESIGNED IN COMPLIANCE WITH THE ILLUMINATION STANDARDS CONTAINED IN IDO SECTION 14-16-5-8

SYMBOLS - SITE PLAN:

- PROPERTY LINE
- ⑤ BUILDING NUMBER
- TYPE 2 ← BUILDING TYPE
- 4-STORY ← # OF STORIES
- ◊ OPEN PARKING SPACES COVERED PARKING SPACES
- ♿ ACCESSIBLE PARKING OR GARAGE
- ▭ INDICATES CARPORT PARKING STRUCTURE
- CS □ ELECTRIC VEHICLE CHARGING STATION
- FR □ FIRE RISER ROOM
- BP □ BIKE PARKING RACK

KEYNOTES

1. 8'x18' PARKING SPACE WITH 2' OVERHANG SEE DETAIL 01/A1.20
2. 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG SEE DETAIL 05/A1.20
3. 14'x20' ACCESSIBLE GARAGE SPACE.
4. ACCESSIBLE DRIVEWAY CROSSING - CONTRASTING COLORED SCORED CONCRETE.
5. CARPORT PARKING STRUCTURE SEE DETAIL 06/A1.20
6. TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL W/STUCCO FINISH PAINTED SEE DET 14/A1.20
7. ELECTRONIC ENTRY VEHICULAR GATE, EQUIPPED FOR FIRE DEPARTMENT ACCESS SEE DETAIL 28/A1.21
8. PEDESTRIAN ENTRY GATE SEE DETAIL 23/A1.21
9. POOL ENTRY GATE SEE DETAIL 24/A1.21
10. CMU PERIMETER WALL SEE DETAIL 16/A1.21
11. TUBE STEEL POOL FENCE SEE DETAIL 19/A1.21
12. 6 FT. SIDEWALK CONNECTING TO PUBLIC WAYS, GRAY CONCRETE COLOR.
13. 4 FT. SIDEWALK, TYPICAL ON SITE, GRAY CONCRETE COLOR.
14. 6 FT. SIDEWALK, TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR.
15. BICYCLE PARKING RACK FOR 4 BICYCLES, SEE DETAIL 30/A1.21.
16. PARKING SCREEN - 3 FT. CMU WALL WITH 3 FT. FENCE ABOVE SEE DETAIL 27/A1.21
17. FIRE RISER ROOM LOCATION
18. ENTRY MONUMENT SIGN SEE DETAIL 29/A1.21
19. ACCESSIBLE RAMP SEE DETAIL 08/A1.20
20. FIRE TRUCK TURNING RADIUS (35' INSIDE/55' OUTSIDE)
21. 10 FT. WIDE BIKE PATH, PER CITY PAKS DEPT. (NOT REQUIRED TO BUILD BY DEVELOPER)
22. 6 FT. TALL TUBE STEEL SECURITY FENCE WITH CMU PIERS SEE DETAIL 18/A1.21
23. 6 FT. SIDEWALK, TYPICAL ON SITE BUILDING ACCESS PATH FROM STREET, GRAY CONCRETE COLOR.
24. ACCESS KEY PAD AND SITE MAP
25. CLEAR SITE VISIBILITY TRIANGLE.

BUILDING AREAS:

BLDG. TYPE	No. OF BLDGS	Residential Units				Area per Bldg.	TOTAL
		1st. Floor	2nd. Floor	3rd. Floor	4th. Floor		
1	1	4,651	4,651	4,651		13,953	13,953
2	1	8,708	8,988	8,988	8,988	35,672	35,672
3	2	18,196	18,395	18,395	18,395	73,381	146,762
4	1	5,236				5,236	5,236
TOTAL	5						201,623

GENERAL NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
2. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES), CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER COA STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
3. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN PLANTINGS, OR OTHER ACCEPTABLE SCREENING DEVICE.
4. CLEAR SIGHT VISIBILITY TRIANGLE - VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED IN THE CLEAR SIGHT TRIANGLE.
5. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB), INCLUDING SIDEWALK AND TRAIL REQUIREMENTS TO ENSURE SIDEWALK WIDTH REQUIREMENTS AS PER STREET CLASSIFICATION AND MEET PARKS AND REC REQUIREMENTS

DEVELOPMENT DATA

NET SITE AREA : 5.0400 ACRES (219,542 S.F.)

ZONING AND LAND USE: PLANNED DEVELOPMENT (PD)
LAND USE: MULTIFAMILY RESIDENTIAL, RECREATION/LEASING

BUILDING HEIGHT :
PROPOSED: 44'-0" - 3 STORY
52'-0" - 4 STORY

DENSITY :
PROPOSED: 163 D.U./5.04 AC = 32.34 DU/ACRE

SETBACKS :
REQUIRED: NO REQUIRED MINIMUM SETBACK IN THE PD ZONE
FRONT/WEST PAISANO ST EAST SOUTH NORTH
PROVIDED: 10'-0" 5'-0" 10'-0" 10'-0"

USABLE OPEN SPACE

	SF REQ. PER DU	# OF DU'S	AREA S.F. REQUIRED	PROVIDED
STUDIO	200	49	9,800	
1 BEDROOM	200	56	11,200	
2 BEDROOM	250	58	14,500	
TOTAL REQUIRED			35,500	
GROUND LEVEL OPEN SPACE			30,550	
BALCONY PRIVATE OPEN SPACE			8,860	
TOTAL PROVIDED:			39,410	

UNIT MIX

AREA S.F.	STUDIO					1 BEDROOM					2 BEDROOM					UNITS PER BLDG	NO. BLDGS	TOTAL UNITS
	S1	S2	A1	A2	A3	A5	B2	B2m	B3	B4	B5							
360	600																	
TOTAL	25	24	12	16	12	16	12	8	8	14	16	12			4	163		

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
REQUIRED 1.5 PARKING SPACE PER D.U.	1.5 x 163	245
Total Parking Spaces Required		245
PRIVATE GARAGE PROVIDED		52
SECURE CARPORT PROVIDED		112
SECURE OPEN PROVIDED		91
OPEN PROVIDED		6
Total Parking Provided (1.61 P.S./D.U.)		261
Accessible Parking Required 2% OF REQ'D. PARKING		5
CARPORT PARKING PROVIDED		2
CARPORT PARKING PROVIDED		1
OPEN ACCESSIBLE PARKING PROVIDED		3
Total Accessible Parking Provided		6
Elec. Car Charging Station Required 2% OF REQ'D. PARKING		5
ACCESSIBLE (1 GARAGE/1 OPEN) PARKING PROVIDED		2
GARAGE PARKING PROVIDED		1
CARPORT PARKING PROVIDED		1
OPEN PARKING PROVIDED		2
Total Elec. Car Charging Provided		6
Bicycle Parking Required 10% OF REQ'D. PARKING		25
GARAGE		52
BICYCLE RACK		8
Total Bicycle Parking Provided		60

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

VIEW HOUSE APARTMENTS
540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123



WorldHQ@ORBArch.com



REVISIONS

▲	
▲	
▲	
▲	
▲	

DATE: MARCH 27, 2020 ORB # 19-223

A1.10

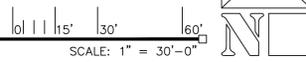
SITE PLAN

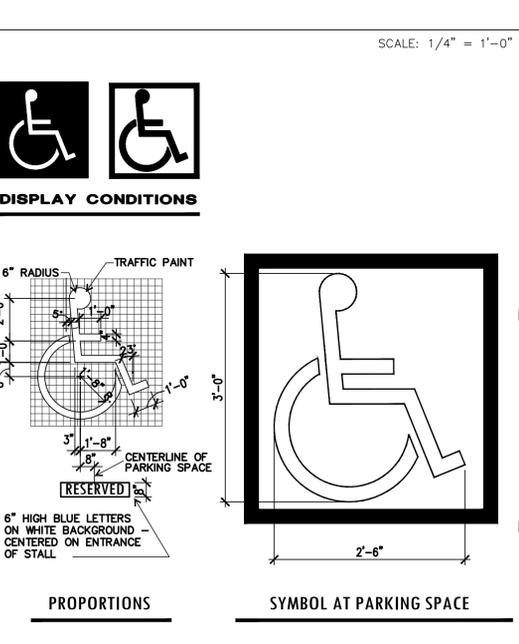
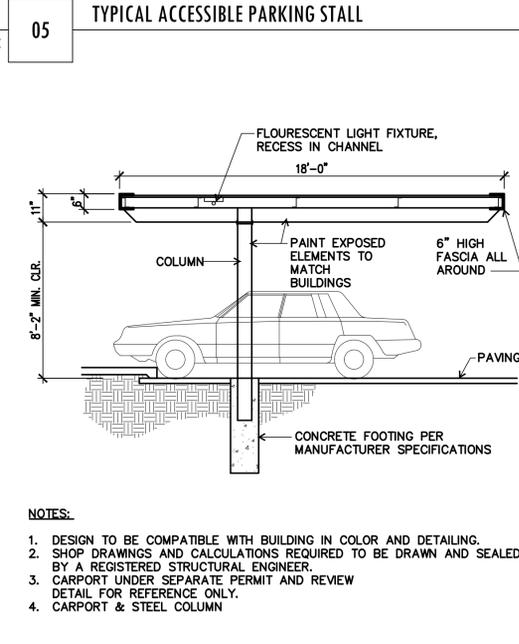
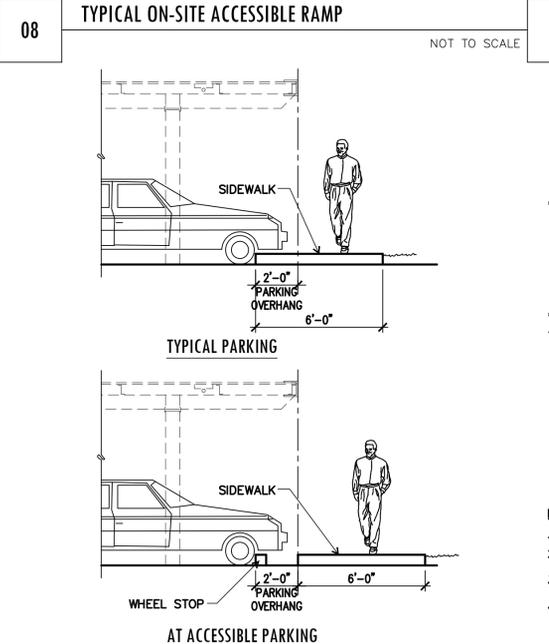
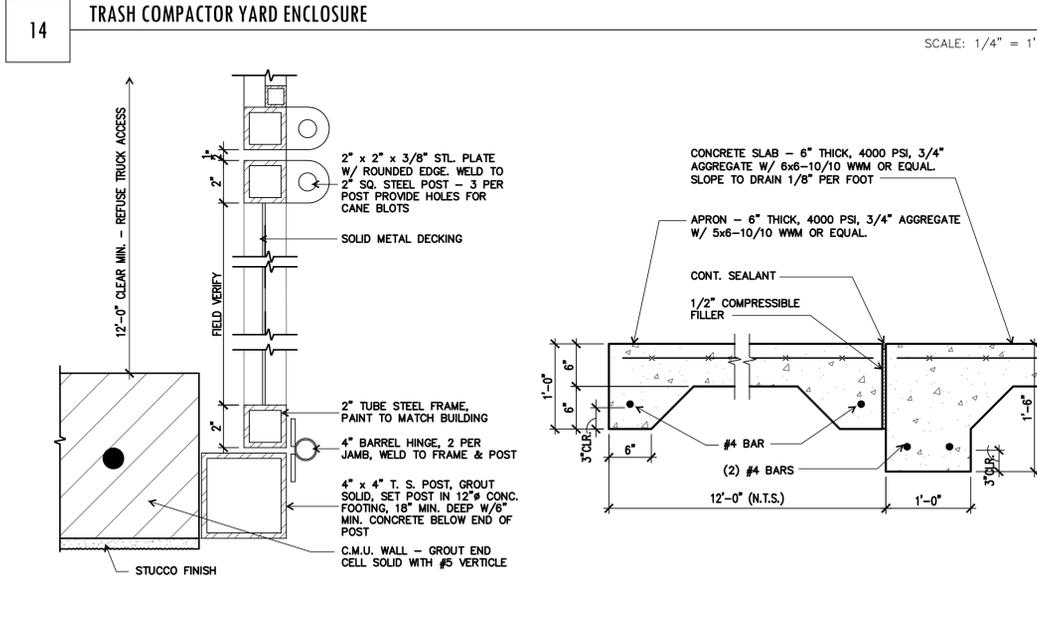
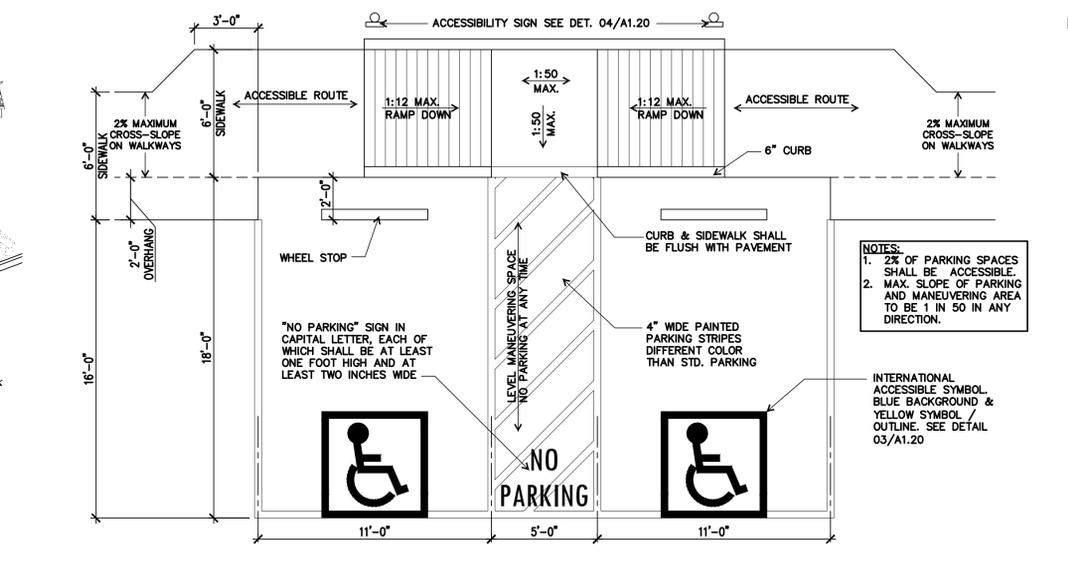
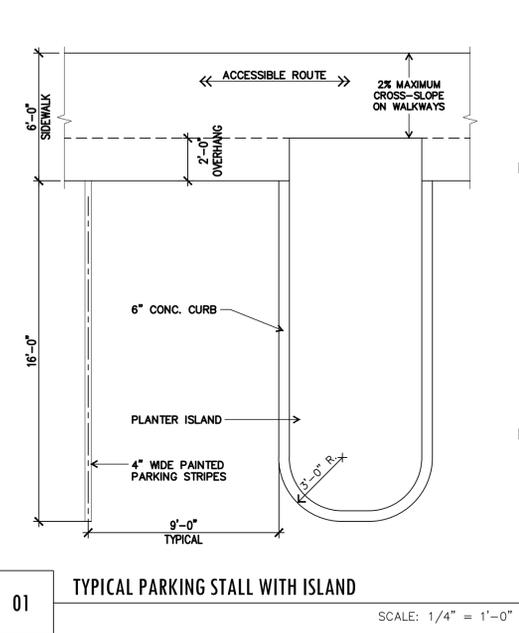
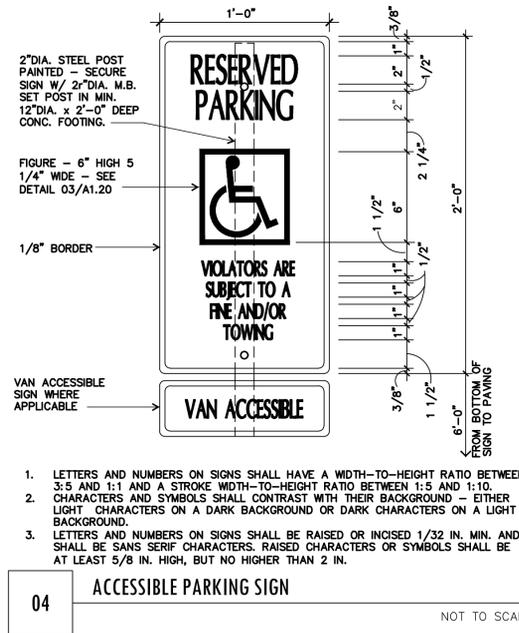
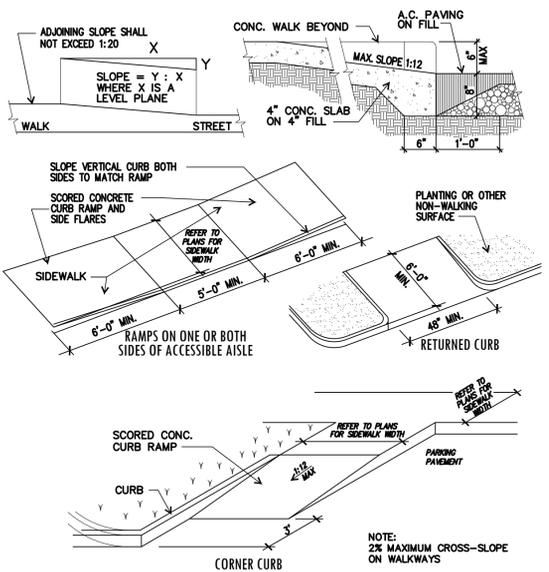
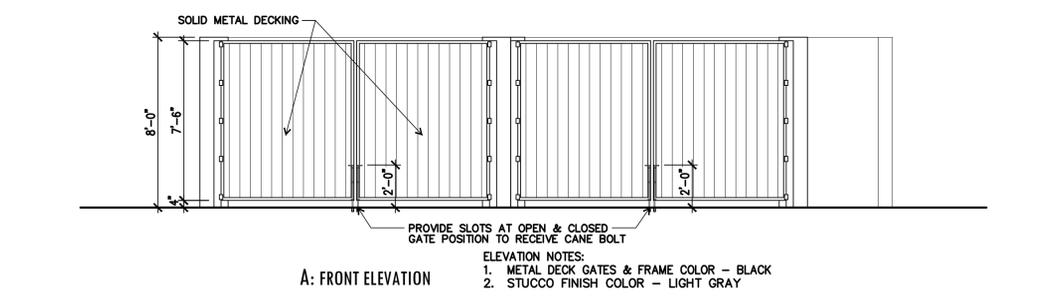
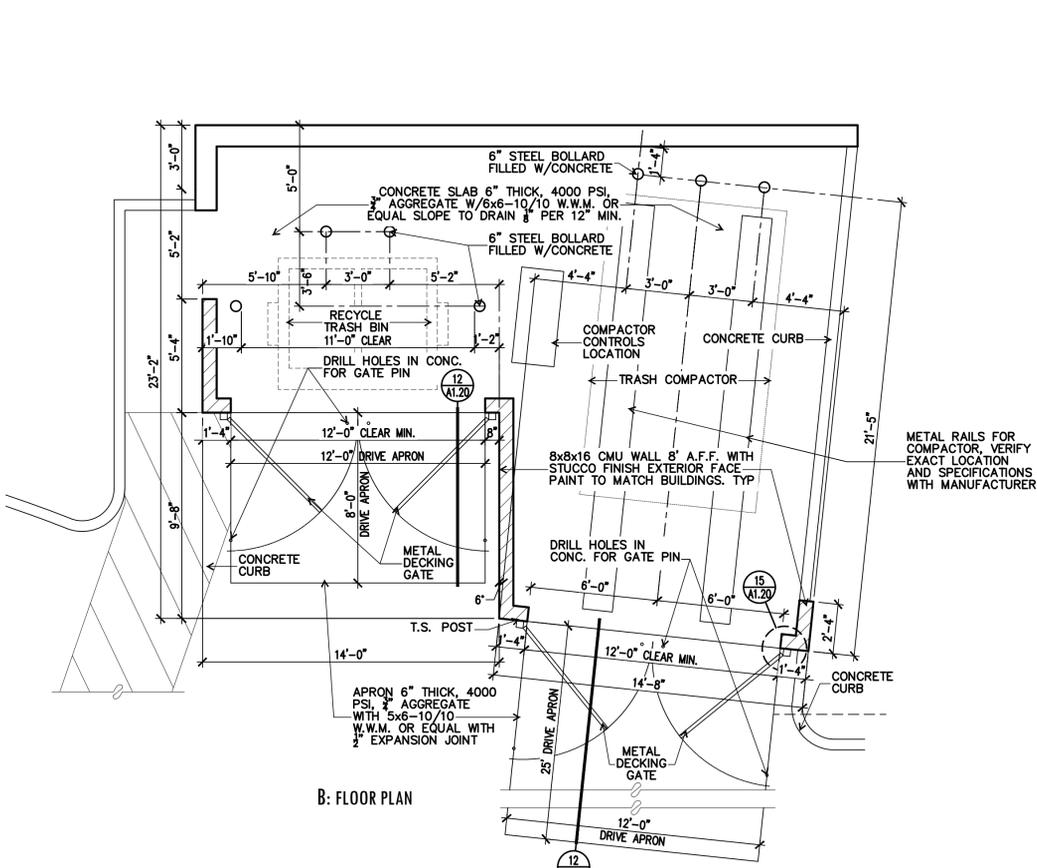


VICINITY MAP
NOT TO SCALE

ZONING PD

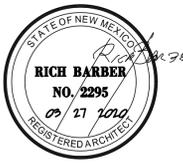
SITE PLAN





VIEW HOUSE APARTMENTS
 540 PAISANO STREET NE
 ALBUQUERQUE, NEW MEXICO 87123

Office of Rich Barber
ORB
 Architecture, LLC
 WorldHQ@ORBArch.com

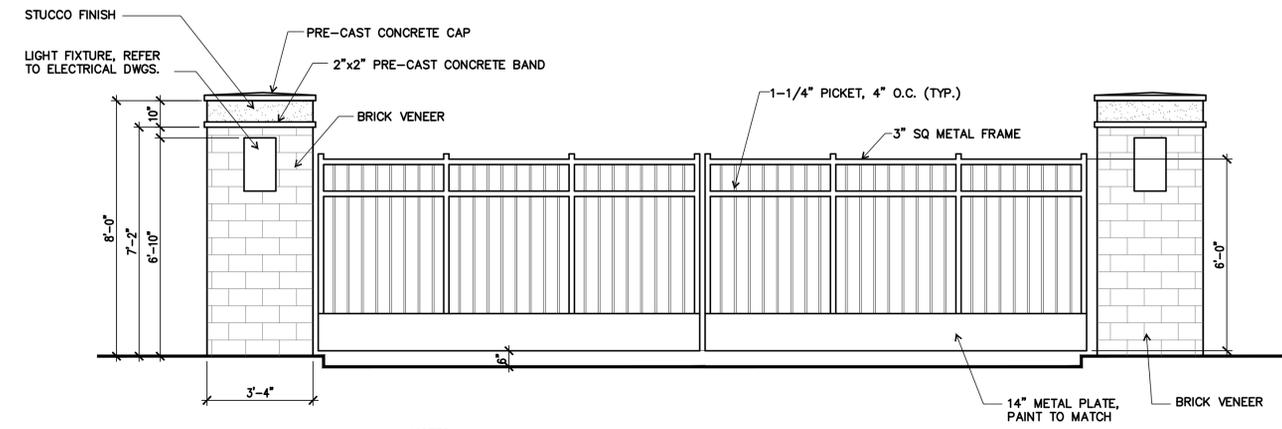


REVISIONS

DATE: MARCH 27, 2020 ORB # 19-223

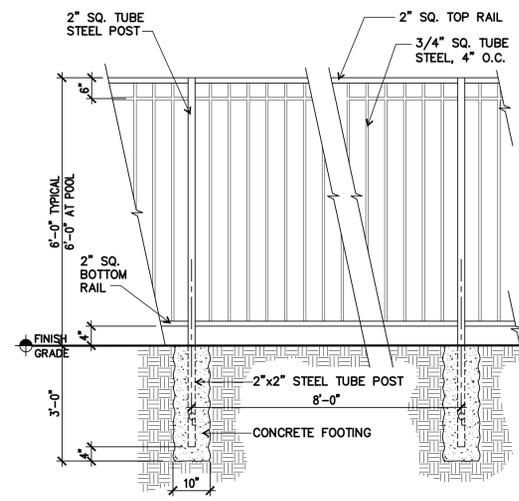
A1.20
 SITE DETAILS
 01 - 15

FILE: I:\04\ORB Job Files\19-223_TMS_Avan Tabo\CAD Files\Preliminary\19223 A1.20 Site Details.dwg USER: jbs DATE: Mar. 27. 2020 TIME: 02:29 pm

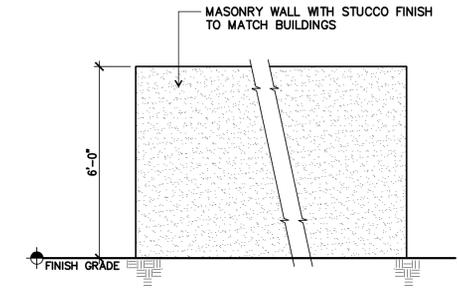


- NOTES:
 1. METAL GATE COLOR - BLACK
 2. PRE-CAST CONCRETE CAP/BAND
 3. STUCCO FINISH COLOR - LIGHT GRAY

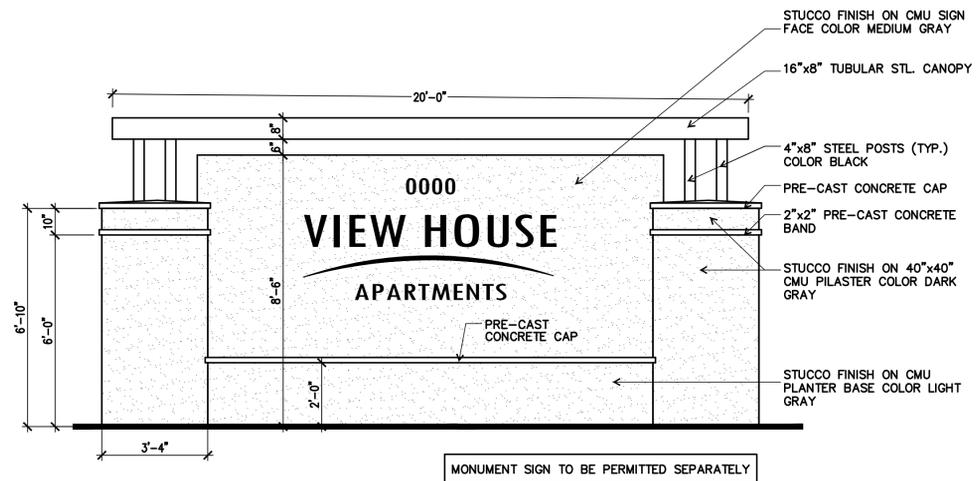
28 VEHICULAR ENTRY GATE
 SCALE: 3/8" = 1'-0"



19 TUBULAR STEEL FENCE
 SCALE: 1/2" = 1'-0"

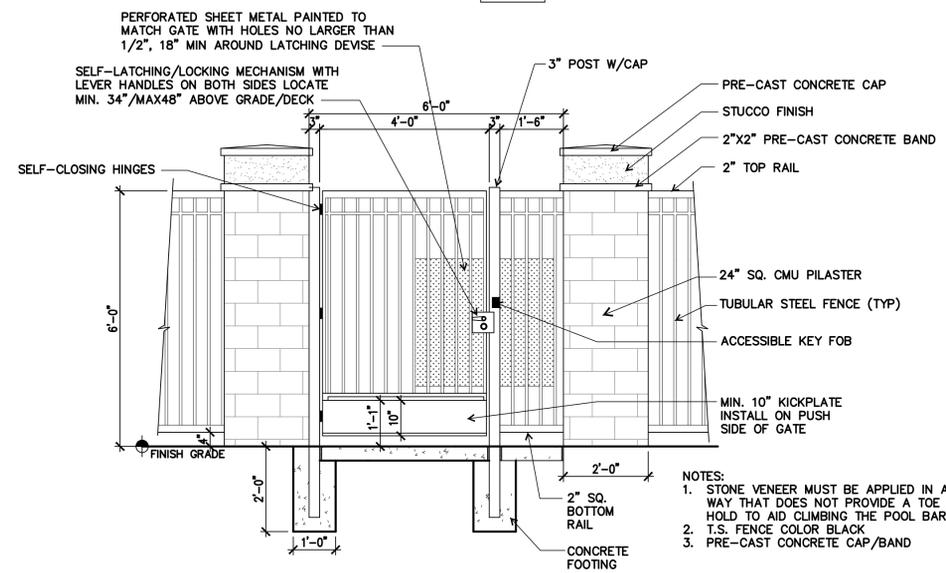


16 PERIMETER MASONRY WALL
 SCALE: 3/8" = 1'-0"



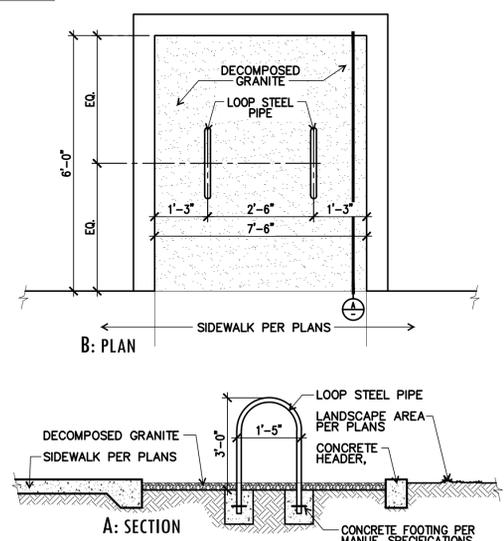
MONUMENT SIGN TO BE PERMITTED SEPARATELY

29 ENTRY MONUMENT ELEVATION
 SCALE: 3/8" = 1'-0"



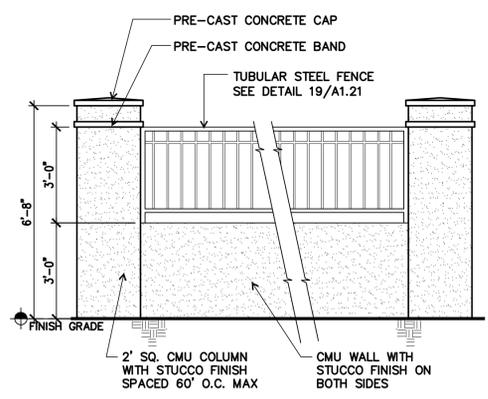
- NOTES:
 1. STONE VENEER MUST BE APPLIED IN A WAY THAT DOES NOT PROVIDE A TOE HOLD TO AID CLIMBING THE POOL BARRIER.
 2. T.S. FENCE COLOR BLACK
 3. PRE-CAST CONCRETE CAP/BAND

23 PEDESTRIAN ENTRY GATE
 SCALE: 1/2" = 1'-0"



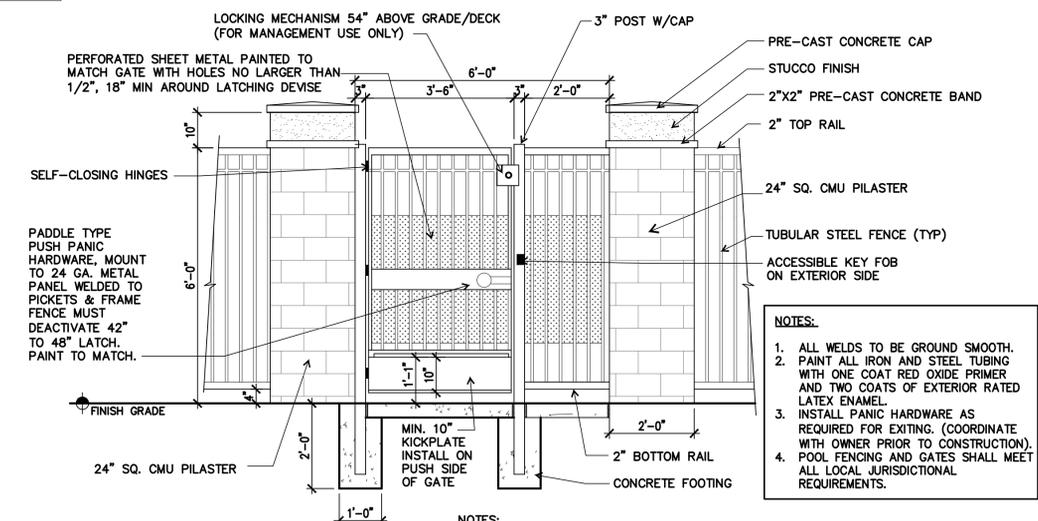
- NOTES:
 1. PARKS TWO BICYCLE PER LOOP STEEL PIPE.
 2. PAINT METAL STEEL PIPE - DUNN EDWARDS 6378 JET

30 (4) BICYCLE RACK PARKING
 SCALE: 1/2" = 1'-0"



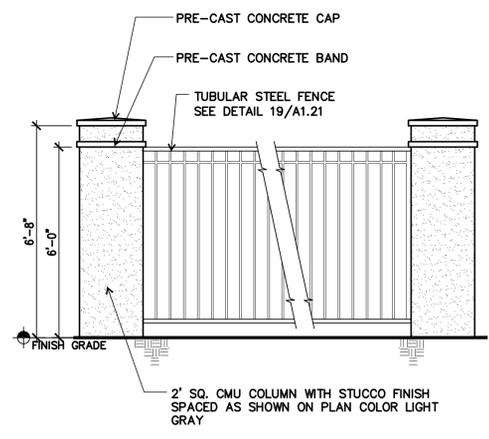
- NOTES:
 1. PRE-CAST CONCRETE CAP/BAND
 2. STUCCO FINISH COLOR - LIGHT GRAY

27 PILASTER AT CMU/TUBULAR COMBO FENCE
 SCALE: 3/8" = 1'-0"



- NOTES:
 1. STONE VENEER MUST BE APPLIED IN A WAY THAT DOES NOT PROVIDE A TOE HOLD TO AID CLIMBING THE POOL BARRIER.
 2. T.S. FENCE/GATE COLOR - BLACK
 3. PRE-CAST CONCRETE CAP/BAND
 4. STUCCO FINISH COLOR - LIGHT GRAY

24 PEDESTRIAN ENTRY GATE AT POOL FENCE
 SCALE: 1/2" = 1'-0"



18 PILASTER AT PERIMETER TUBULAR STEEL FENCE
 SCALE: 3/8" = 1'-0"

NO.	REVISIONS

DATE: MARCH 27, 2020 ORB # 19-223

A1.21

SITE DETAILS
 16 - 30

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GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROVAL. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF RIO RANCHO ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUND COVER AREA. ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FLUITAGE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 45" FROM TREE TRUNK, FINISH IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (1) 1/2" GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

SHEET KEYED NOTES

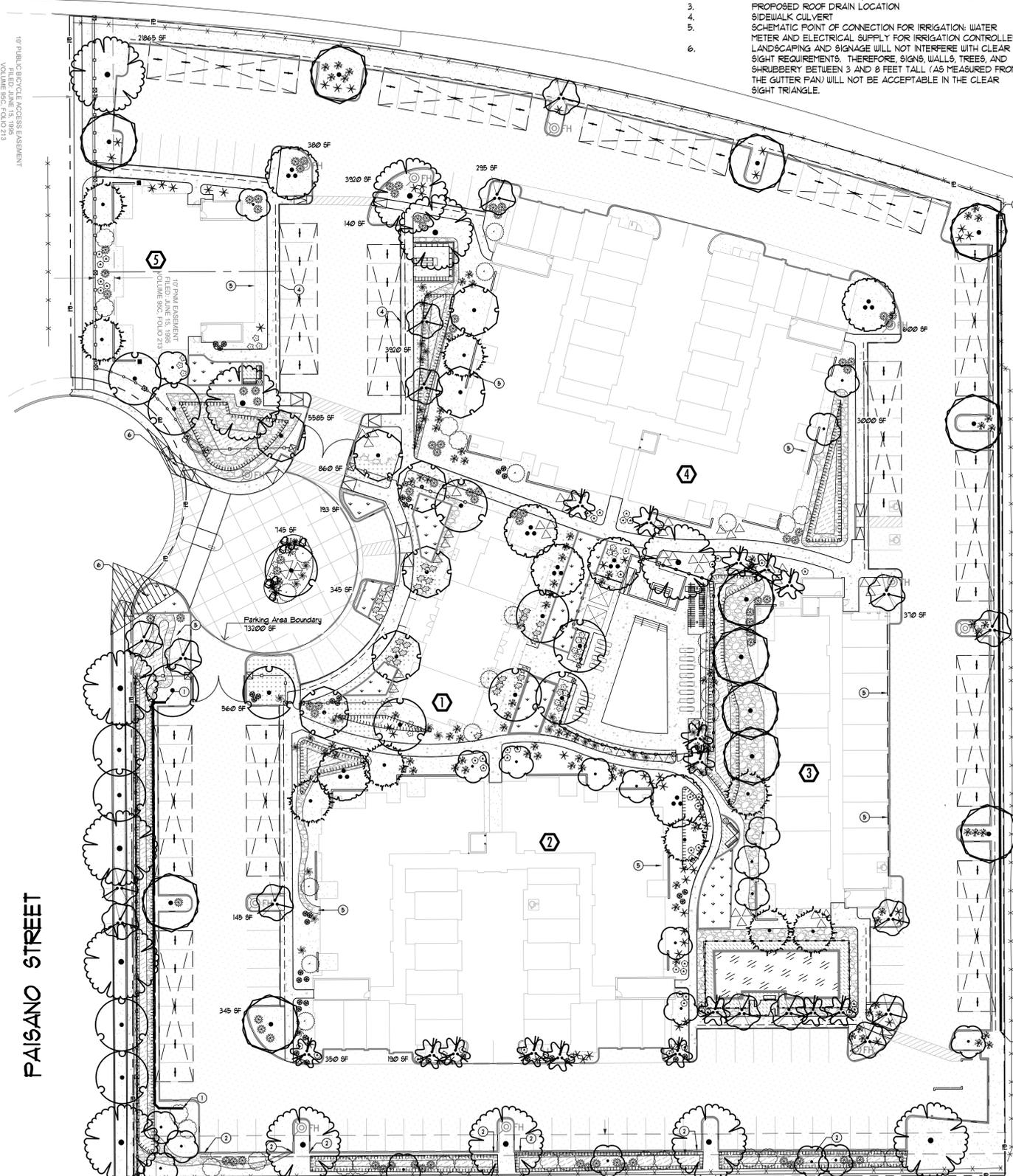
- | CODE | DESCRIPTION |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | CMU WALL. SEE SITE PLAN AND CIVIL. |
| 2. | CURB INLET - SIZE VARIES, SEE SITE PLAN AND CIVIL. |
| 3. | PROPOSED ROOF DRAIN LOCATION |
| 4. | SIDEWALK CULVERT |
| 5. | SCHEMATIC POINT OF CONNECTION FOR IRRIGATION: WATER METER AND ELECTRICAL SUPPLY FOR IRRIGATION CONTROLLER |
| 6. | LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |

LANDSCAPE LEGEND

SYMB.	QTY	Size (Install)	Common/Botanical	Size (Mature HxW)	Water Use	Cover (Ea.)	Total
Trees							
(Symbol)	7	2" Cal	Sensation Box Elder <i>Acer negundo</i> 'Sensation'	40' x 30'	M	900	6300
(Symbol)	15	2+ Trunks w/ 2" Combined Cal.	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	9375
(Symbol)	21	2+ Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	4725
(Symbol)	13	2" Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	26325
(Symbol)	15	2" Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	24000
(Symbol)	9	6'+ Height	Austrlian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	5625
(Symbol)	8	2" Cal	Chinese Pistache <i>Fistichia chinensis</i>	40' x 30'	M	900	1200
(Symbol)	12	2" Cal	Allee Elm <i>Ulmus parvifolia</i> 'Emer II'	40' x 40'	L+	1600	19200
(Symbol)	18	2+ Trunks w/ 2" Combined Cal.	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	7200
							Total Tree Coverage: 109950
Shrubs & Groundcover							
(Symbol)	21	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	243
(Symbol)	22	5 Gal	Curl-Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15' x 15'	Low+	225	4950
(Symbol)	34	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RU	25	850
(Symbol)	51	5 Gal	Red Yucca <i>Hesperaloe parvifolia</i>	3' x 3'	Low+	9	513
(Symbol)	16	5 Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	1600
(Symbol)	52	5 Gal	Morning Light Maidengrass <i>Miscanthus sinensis var.</i>	5' x 5'	M	25	1300
(Symbol)	82	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RU	36	2952
(Symbol)	80	5 Gal	Suitchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	1280
(Symbol)	54	5 Gal	Tree-Leaf Sumac <i>Rhus trilobata</i>	6' x 6'	Low+	36	1944
(Symbol)	31	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	496
(Symbol)	31	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	333
(Symbol)	4	5 Gal	Soapstone Yucca w/ Cobble Accent <i>Yucca elata</i>	20' x 5'	RU	25	100
							Total Shrub Coverage: 12408
Other Materials							
QTY	EA	TYPE					
15	EA	Boulders (2-3c)					
To be placed at contractor's discretion							
1120	SF	Crusher Fines					
Over Aggregate Basecourse							
42350	SF	Landscape Gravel A with Filter Fabric					
3/4" Brown Gravel							
4565	SF	Landscape Gravel B with Filter Fabric					
1" Blue Gravel							
3495	SF	Landscape Gravel C with Filter Fabric					
1/2" Basalt Crushed Gravel							
10450	SF	Oversize Landscape Gravel / No Filter Fabric					
2-4" Angular Cobble/RipRap							
4035	SF	Parkblend Sod					
Pop-Up Irrigation							
1240	SF	Dog Park Surfacing					
Synthetic Turf over Aggregate Base							
Concrete							
See site plan							
Asphalt Parking Areas and Driveways							
See site plan							
Landscape Curb							
Stormwater Management Depression							
Site Furnishings							
Benches, Tables, Trash Receptacles							

LANDSCAPE CALCULATIONS

ZONING	FD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	5.04
TOTAL LOT AREA (SF)	219542
BUILDING AREA (SF)	50923
NET LOT AREA (SF)	168619
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	25293
LANDSCAPE PROVIDED (SF)	66085
VEGETATIVE COVER (%) - REQ	75.0
VEGETATIVE COVER (SF) - REQ	49564
VEGETATIVE COVER (SF) - PROV	126393
REQ. TREES - 1ST AND 2ND STORY UNITS	54
PROVIDED UNIT TREES	118
GROUND COVER (%) - REQ	18.75
GROUND COVER (SF) - REQ	12391
GROUND COVER (SF) - PROV	12408
PARKING LOT AREA (SF)	12000
REQ. PARKING LANDSCAPE (SF)	1200
PROV. PARKING LANDSCAPE (SF)	35644
REQ. PARKING TREES (1/10 SPOTS)	26
PROV. PARKING TREES	31
COOL SEASON GRASS (SF)	4035
COOL SEASON GRASS (% OF LANDSCAPE)	6.1

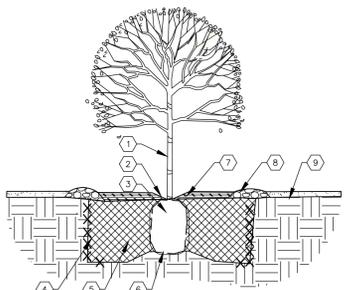


SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SURFACE (BOTTOM OF MELCH) WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MELCH).
- USE WOOD CHIP MELCH OVER ROOTBALL, REINFORCED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEMS.
- 2" HIGH X 8" WIDE BENT BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LITS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARPED AND LOCKED EDGES OF PLANTING PIT.
- MELCH - SEE PLANTING PLAN 2" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

SHRUB PLANTING DETAIL



02 TREE PLANTING

- TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MELCH).
- INSTALL TREE PLUMB, REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BASKET EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARPED AND LOCKED EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LITS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MELCH OVER ROOTBALL AND BELOW DRIP LINE. GENERALLY MELCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 8" WIDE COBBLE BERM AT DRIP LINE.
- MELCH - SEE PLANTING PLAN 2" DEPTH UNLESS OTHERWISE NOTED.

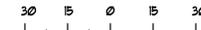
02 TREE PLANTING

TREE PLANTING DETAIL

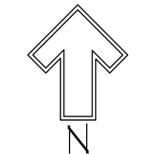


PAISANO STREET TREES
Linear Footage: 340
Trees Required: 13
Trees Provided: 13

GRAPHIC SCALE



SCALE: 1" = 30'-0"



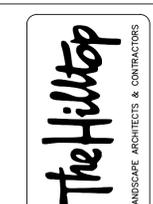
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www.hilltoplandscape.com

Landscape Architect



View House Apartments
540 Piasano St. NE
Albuquerque, NM 87123

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DRAWN BY: [Name]
REVISION: [Number]
DATE: 02/23/2020

SHEET #

LS-101

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NM 87112

FEBRUARY, 2020



VICINITY MAP K-22-Z

ADDRESS: 540 Paisano Street NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT B-3-A, K. O. A. SUBDIVISION, UNIT 2

SITE AREA: 220,173 SF (5.0545 acres)

BENCHMARK: City of Albuquerque Station '10-K21' being a brass cap.
ELEV= 5557.514 (NAVD 1988)

SURVEYOR: The Survey Office, LLC dated February 12, 2020

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0359G (9/26/08), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept any offsite flow as the apartment complex to the east has a curbed drive aisle running along the west side of the site. The Interstate 40 trail running along the north side of the site has a bar ditch which contains the runoff and carries flow to the west.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west at approximately 3% and the sheet flow discharges to the public R/W of Paisano Street NE.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 new 3-story and 4-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

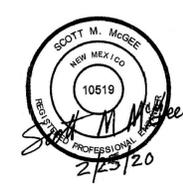
DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the first flush volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff.

Existing land treatment: 90% A and 10% B
 $Q = [(0.90)(1.87) + (0.10)(2.60)](5.05) = 9.8$ CFS
 Proposed land treatment: 10% B, 25% C and 65% D
 $Q = [(0.10)(2.60) + (0.25)(3.45) + (0.65)(5.02)](5.05) = 22.2$ CFS

First flush $V = (143,112)(0.34/12) = 4,054$ CF
 Total retention volume provided onsite is 4,102 CF
 The proposed retention pond areas will combine to contain the first flush volume. Site runoff will increase from historic but the existing street capacity is adequate.

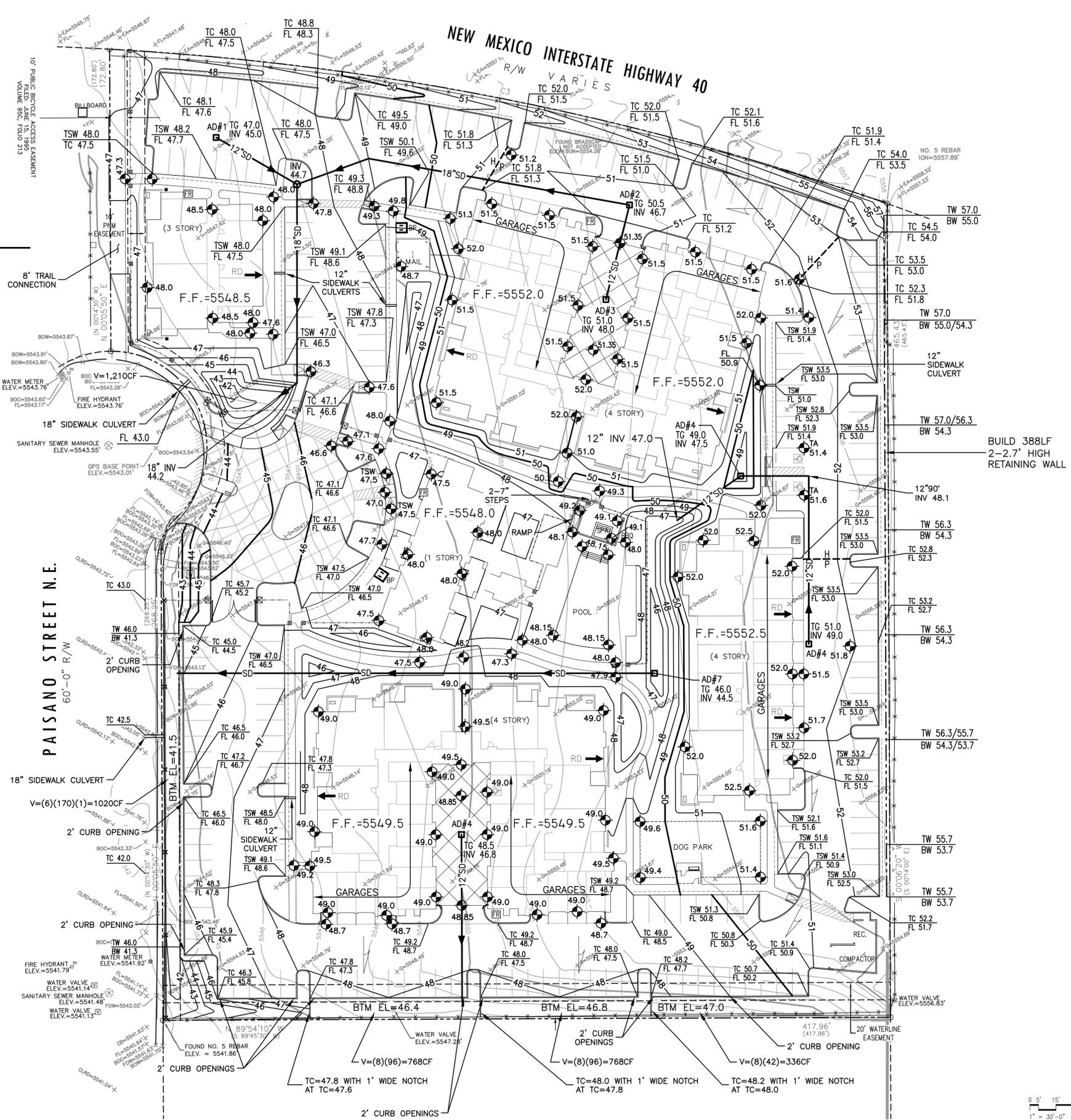
Legend

	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	NEW CONTOUR - MAJOR
	NEW CONTOUR - MINOR
	RETAINING WALL
	HIGH POINT
	SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	ROOF DRAIN



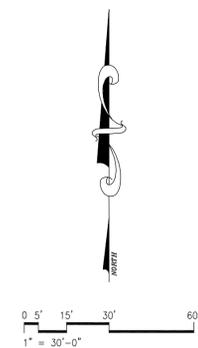
Scott M McGee PE

9700 Tanoan Dr NE
Albuquerque, NM 87111
505.263.2905
scottmmcgee@gmail.com



CONCEPTUAL GRADING AND DRAINAGE PLAN

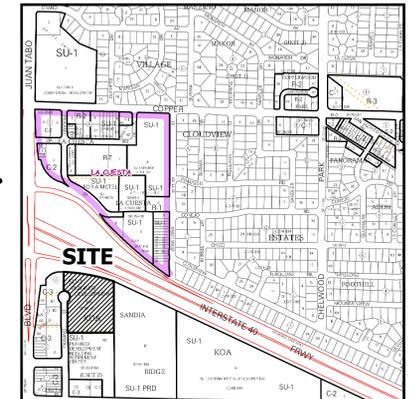
1" = 30'



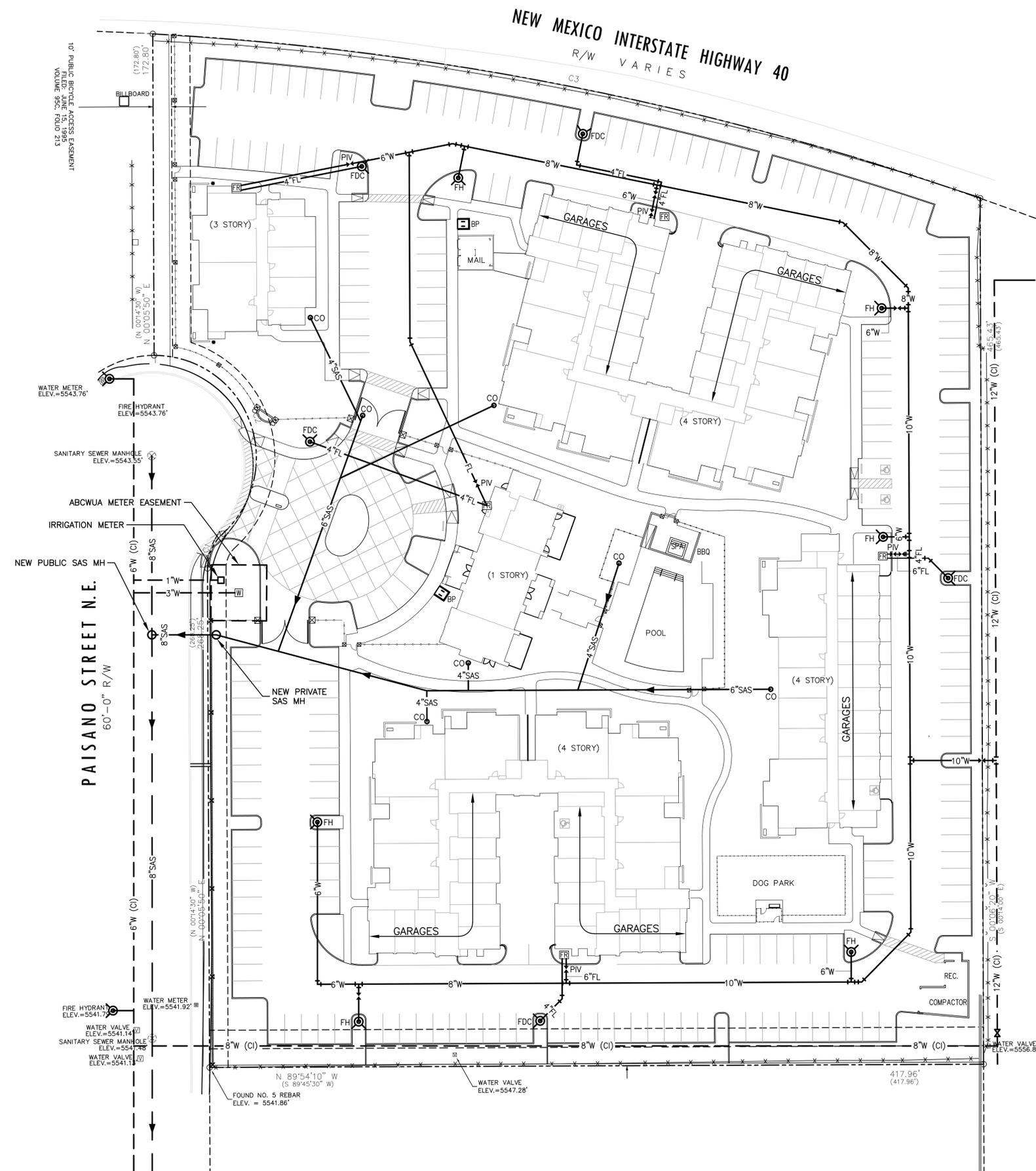
VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NM 87112

FEBRUARY, 2020



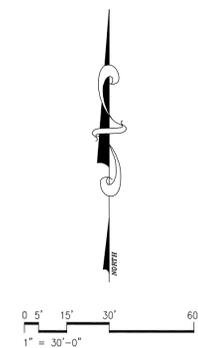
VICINITY MAP K-22-Z



CONCEPTUAL UTILITY PLAN
1" = 30'

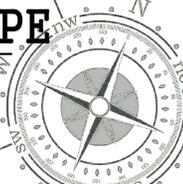
Legend

---	PROPERTY LINE
--- 8" SAS ---	EXISTING SANITARY SEWER LINE WITH SIZE
--- 4" SAS ---	NEW SANITARY SEWER LINE WITH SIZE
--- 12" (CI) ---	EXISTING WATER LINE WITH SIZE
--- 2" W ---	NEW WATER LINE WITH SIZE
○ CO	CLEANOUT
⊙ FH	FIRE HYDRANT



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BLDG. TYPE 1 FRONT ELEVATION

DRIVEWAY SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 REAR ELEVATION

GARDEN SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



BLDG. TYPE 1 LEFT ELEVATION

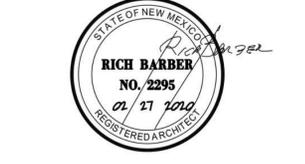
SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT GRAY
 - (B) STUCCO FINISH MEDIUM GRAY
 - (C) STUCCO FINISH DARK GRAY
 - (D) STUCCO FINISH BLACK
 - (E) STUCCO FINISH LIGHT BROWN
 - (F) METAL RAILING
 - (G) EXPOSED CMU
 - (H) CONCRETE LIGHTWEIGHT TILE
 - (I) WINDOW SHADE
 - (J) OPENING
 - (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
 - (L) BRICK VENEER

VIEW HOUSE APARTMENTS
540 PAISANO STREET NE
ALBUQUERQUE, NEW MEXICO 87123



WorldHQ@ORBArch.com



DATE: FEBRUARY 27, 2020 ORB # 19-223

A3.13
BUILDING TYPE 1
PRELIMINARY ELEVATIONS



BLDG. TYPE 2 FRONT ELEVATION

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT GRAY
 - (B) STUCCO FINISH MEDIUM GRAY
 - (C) STUCCO FINISH DARK GRAY
 - (D) STUCCO FINISH BLACK
 - (E) STUCCO FINISH LIGHT BROWN
 - (F) METAL RAILING
 - (G) EXPOSED CMU
 - (H) CONCRETE LIGHTWEIGHT TILE
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 - (L) BRICK VENEER



BLDG. TYPE 2 REAR ELEVATION



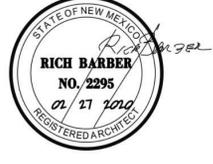
BLDG. TYPE 2 LEFT ELEVATION



BLDG. TYPE 2 RIGHT ELEVATION

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A3.23

BUILDING TYPE 2
 PRELIMINARY ELEVATIONS

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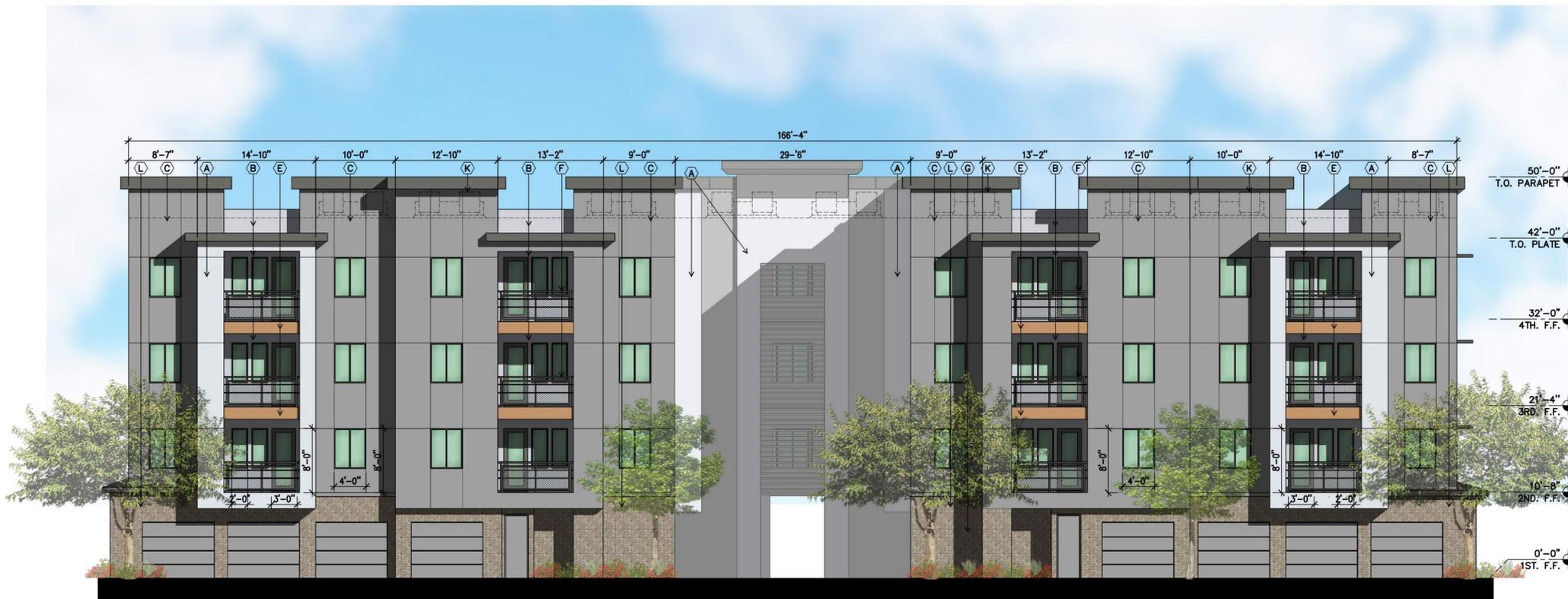
MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER



BLDG. TYPE 3 REAR ELEVATION

GARDEN SCALE: 1/8" = 1'-0"



BLDG. TYPE 3 FRONT ELEVATION

DRIVEWAY SCALE: 1/8" = 1'-0"

DATE: FEBRUARY 27, 2020 ORB # 19-223

A3.36

BUILDING TYPE 3
PRELIMINARY ELEVATIONS

FILE: I:\0rb\orb\job Files\19-223_TMS_Aum Tabo\CAD Files\Preliminary\19223_A336 Bldg Type3 Elev.dwg USER: rj DATE: Feb, 26 2020 TIME: 01:48 pm



BLDG. TYPE 3 RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
- (B) STUCCO FINISH MEDIUM GRAY
- (C) STUCCO FINISH DARK GRAY
- (D) STUCCO FINISH BLACK
- (E) STUCCO FINISH LIGHT BROWN
- (F) METAL RAILING
- (G) EXPOSED CMU
- (H) CONCRETE LIGHTWEIGHT TILE
- (I) WINDOW SHADE
- (J) OPENING
- (K) MECHANICAL EQUIPMENT SCREENED BY PARAPET
- (L) BRICK VENEER

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BLDG. TYPE 3 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

DATE: FEBRUARY 27, 2020 ORB # 19-223

A3.37

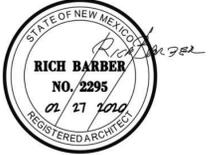
BUILDING TYPE 3
 PRELIMINARY ELEVATIONS

VIEW HOUSE APARTMENTS

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MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT GRAY
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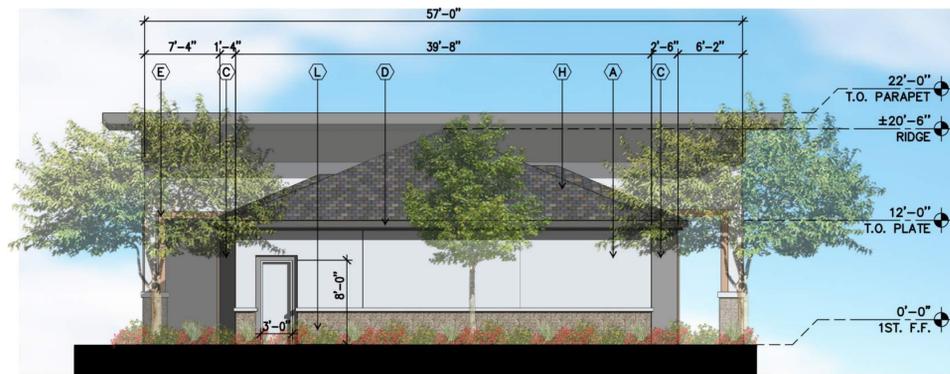
REC BLDG. FRONT ELEVATION

DRIVEWAY 119'-6" SCALE: 1/8" = 1'-0"



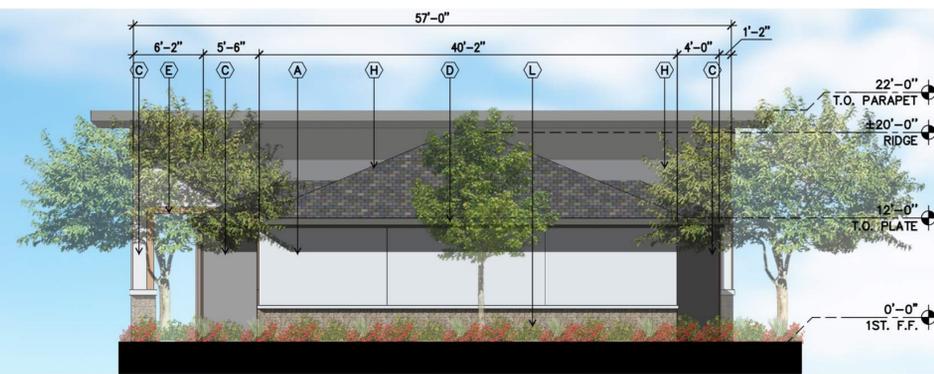
REC BLDG. REAR ELEVATION

POOL 119'-6" SCALE: 1/8" = 1'-0"



REC BLDG. LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REC BLDG. RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

DATE: FEBRUARY 27, 2020 ORB # 19-223

A3.42

REC/LEASING
PRELIMINARY ELEVATIONS