



## Environmental Planning Commission

Agenda Number: 06

Plan #: SP-2026-00006

Hearing Date: February 19, 2026

### Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	St. Pius High School
<b>Request</b>	Major Amendment to Site Plan – EPC
<b>Legal Description</b>	All or a portion of Tract A Plat of Oxbow Subdivision
<b>Location</b>	5301 St Josephs Drive NW
<b>Size</b>	57 Acres
<b>Existing Zoning</b>	R-MH / NR-PO-C

<b>Staff Recommendation</b>
<b>APPROVAL</b> of Plan # SP-2026-00006 based on the Findings 1-22 and subject to the Conditions of Approval 1-6 within this report.

### Summary of Analysis

This request is a Major Amendment to a Site Plan – EPC to amend the previously approved Site Plan (Project #1006876) to update existing “as-built” conditions and propose improvements to the athletic facilities for St. Pius X High School.

Staff reviewed the proposed site plan and does not find any major instances of non-compliance. The Vista Grande Neighborhood Association and the Westside Coalition of Neighborhood Associations are within 660 feet and were notified as required. Property owners within 100 feet were also notified as required.

As of this writing, Staff has received comments showing mutual understanding and overall support for the project. Staff finds that the applicant has adequately justified the request pursuant to IDO § 14-16-6-6(l) and that it is consistent with the ABC Comp Plan.

### Map



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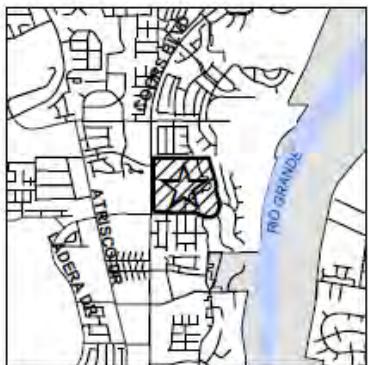
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## I. Maps

### Aerial Map



## *IDO Zoning Map*



## IDO ZONING MAP

Note: Gray shading indicates County.

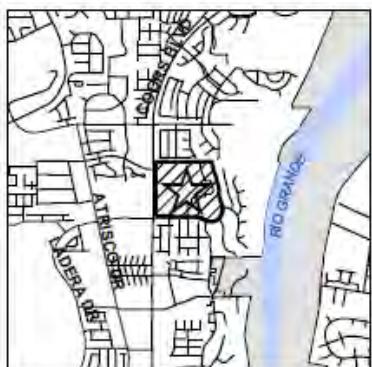


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**Hearing Date:**  
**2/19/2026**

Plan Number:  
SP-2026-00006

**Land Use Map**



**LAND USE MAP**

Note: Gray shading  
Indicates County.

**Key to Land Use Abbreviations**

- LDRES | Low-density Residential
- MULT | Multi-family
- COMM | Commercial Retail
- OFC | Office
- ED | Educational
- TRANS | Transportation
- PARK | Parks and Open Space
- VAC | Vacant

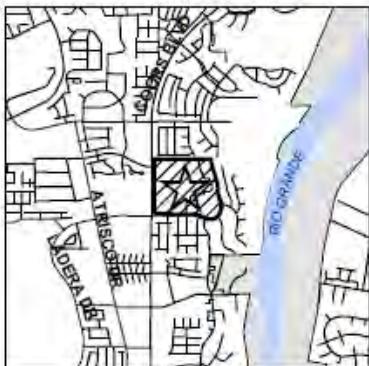
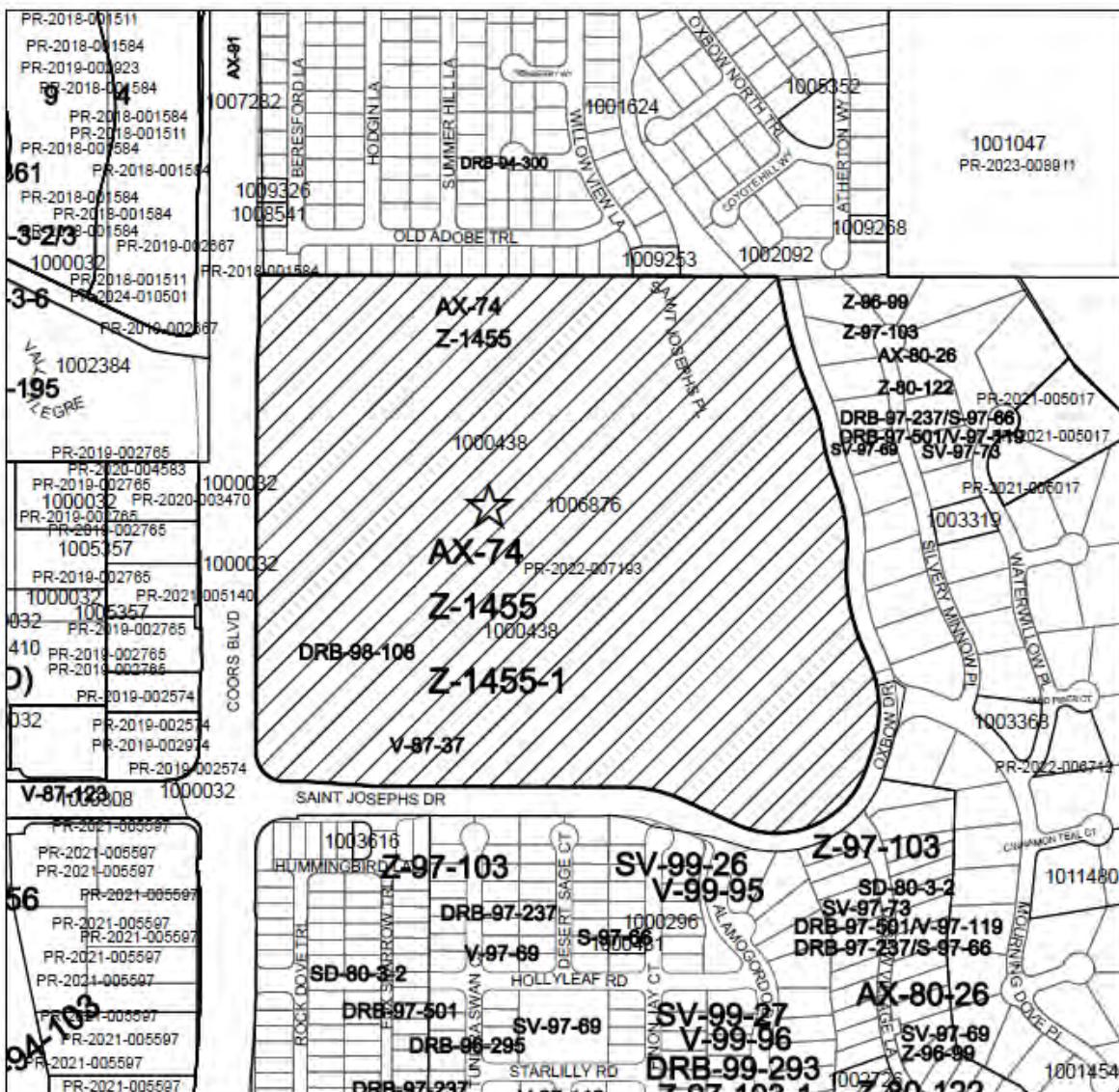


Hearing Date:  
2/19/2026

Plan Number:  
SP-2026-00006

Zone Atlas Page:  
F-11 & G-11

## *History Map*



## HISTORY MAP

Note: Gray shading indicates County.



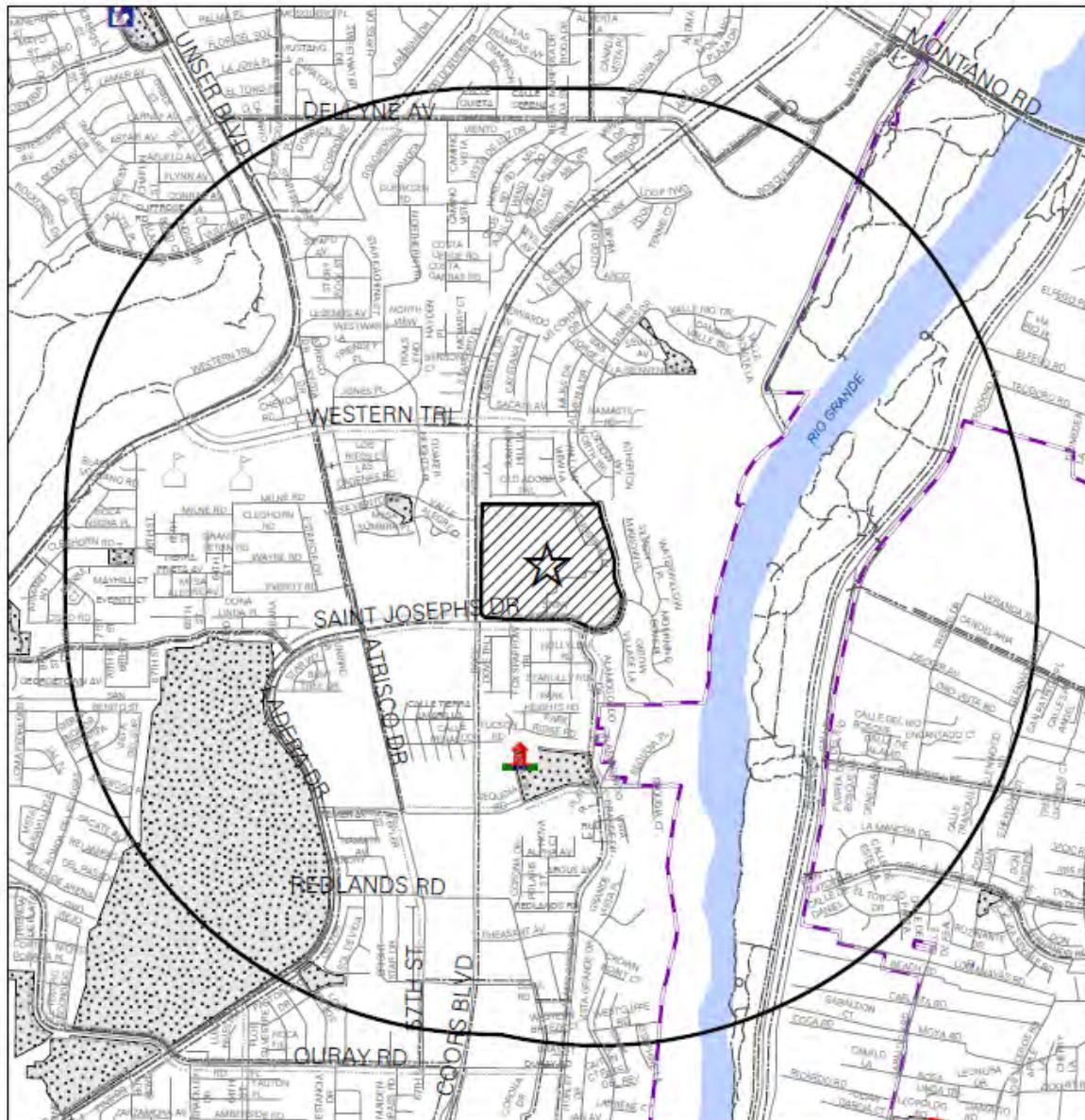
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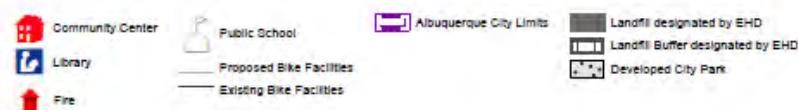
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## Zone Atlas Page: F-11 & G-11

**Public Facilities / Community Services**



**Public Facilities Map with One-Mile Buffer**



## ***II. Introduction***

### ***Request***

This is a request for a Major Amendment to a Site Plan – EPC for a 57-acre site legally described as Tract A Plat of Oxbow Subdivision. The request would amend the previously approved Site Development Plan (Project #1006876) for the existing St. Pius X High School to update existing “as-built” conditions, and propose improvements related to the athletic facilities, and construct a future classroom building.

The development is proposed to be constructed in phases:

- Phase 1, track/football/track facility, with home/visitor seating and four poles with light fixtures, parking lot, and new tree plantings.
- Phase 2, baseball/softball field improvements, tennis courts, and soccer field improvements. New Buildings in this phase include, gymnasium and indoor auxiliary court, fieldhouse with locker rooms, fitness center, and a separate bathroom building.
- Future phase, when funds allow, proposes a new multi-purpose classroom building.

The majority of the proposed site plan improvements include, as stated in the phasing plan above, replacing the running track and turf with a new track and field; expanding the baseball field fencing and constructing larger dugouts; re-orienting the softball field; eliminating the sand volleyball courts; replacing one soccer field with six new tennis courts, a long jump, and high-jump/pole vault runways and pad; and renovating the football/soccer field with home and visitor seating, concession building, bathroom facilities, and sport lighting. Explained in more detail, staff has included a site plan review and analysis within this report.

### ***EPC Role***

The EPC is hearing the request as the decision-making body on the prior-approved Site Plan. The boundary of the site plan is not changing, however, because the proposed changes are beyond the thresholds for a minor amendment, they must be decided as a Major Amendment pursuant to IDO § [14-16-6-4\(Y\)\(b\)](#) (Amendments of Pre-IDO Approvals) and § [14-16-6-6\(I\)](#) (Site Plan – EPC) as the most closely equivalent decision. EPC may impose conditions necessary to ensure compliance with IDO development standards [IDO §[14-16-6-4\(O\)](#)]. This is a quasi-judicial matter.

### ***History/Background***

St. Pius High School moved to Albuquerque’s Westside to occupy the former campus of the University of Albuquerque, a Catholic liberal arts university, in 1988. In 2024, St. Pius expanded to include middle school students, which has increased the number of students using the existing facilities. The campus includes academic buildings, classrooms, a

religious center, sports fields, and a gymnasium. In 2000, Assumption Hall and St. Francis Hall were renovated, and a new science building, gymnasium, and St. Basil Hall were constructed. The weight room and office were remodeled in 2003. A wrought iron fence was added on the campus perimeter in 2009. Other than the addition of a baseball field completed around 1996, the athletic facilities have not changed in layout, orientation, or other improvements in the last 30 years.

### ***Context***

<b>Subject Site</b>	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
	<b>R-MH/ NR-PO-C</b>	<b>Area of Change</b>	<b>Multi-family Residential, Non-City Park and Open Space</b>
<i>North</i>	R-1B, R-1D	Area of Consistency	Single-family Residential
<i>South</i>	R-1A, R-1B, R-1D, NR-PO-C	Area of Consistency	Single-family Residential, City Park
<i>East</i>	R-1D, NR-PO-B	Area of Consistency	Single-family Residential Major Public Open Space
<i>West</i>	NR-C, R-ML, MX-M	Areas of Consistency & Change	Multi-family Residential, Office, Commercial

The subject site sits on top of the west bluff of the Rio Grande, with views of the Sandia Mountains to the east and the volcanic escarpment to the west. The subject site is within 660 feet of the Rio Grande Bosque to the east, which is designated Major Public Open Space. The subject site is also within 660 feet of the Petroglyph National Monument to the west, which is also designated as Major Public Open Space.

The subject property is within an Area of Change. The subject property abuts an Area of Change to the west and Areas of Consistency to the north, east, and south. The surrounding area is primarily single-family residential to the north east and south, with office, commercial, and multi-family residential land uses along Coors Boulevard NW to the east. The subject site is accessible to pedestrians and vehicles from the intersection of Coors Boulevard NW and St. Josephs Drive NW.

### ***Roadway System***

The Long-Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

The LRRS designates Coors Boulevard NW as a Major Transit Corridor and a Regional Principal Arterial.

The LRRS designates St. Josephs Dr. NW as a Minor Arterial and St. Josephs Pl. NW as a local street.

The MRCOG's 2040 Limited Access Facilities Map shows Coors Boulevard NW as a Limited Access Arterial and does not show adjacent roadways as an interstate freeway. Access to the nearest freeway system is 1.45 miles south to the Coors and Interstate 40 interchange.

The MRCOG's 2040 Primary Freight Corridors and Truck Restrictions Map designates Coors Boulevard NW as a Primary Freight Corridor and does not designate any roadways adjacent or through the subject site as having Truck Restrictions.

### ***Bikeways / Trails***

The Long-Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails.

The LRBS shows an Existing Multi-Use Paved Trail running along St. Josephs Pl. NW and connecting to Namaste Rd. NW north through the neighborhood, called the Oxbow Trail.

The LRBS shows an Existing Buffered Bicycle Lane on the east and west side of Coors Boulevard NW.

The LRBS shows an Existing Bicycle Lane on St. Josephs Dr. NW, west of Coors Boulevard NW and a proposed protected bike lane east of Coors Boulevard NW.

The LRBS shows an Existing Bicycle Route on Western Trail NW.

### ***Transit***

The nearest bus Route is on Coors Boulevard NW (Coors 155), running from Rio Bravo SW to Gun Club NW.

The nearest bus stop is directly in front of the subject site, heading northbound on Coors Boulevard NW, and there are additional bus stops located less than a 5-minute walk away at Coors Blvd. NW and St. Josephs Dr. NW. and a 10 min walk away, at Coors Blvd. NW and Western Trails, both heading southbound.

### ***Public Facilities/Community Services***

Please refer to the Public Facilities Map above, which shows public facilities and community services located within one mile of the subject site. Six developed City parks, one of which is a City golf course, and one Fire station are within the one mile buffer.

### ***III. Analysis of City Plans and Ordinances***

#### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

##### *City Development Areas*

The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change include Centers, Corridors, and Metropolitan Redevelopment Areas, where new development and redevelopment are desired and appropriate. These areas include undeveloped land and commercial or industrial zones that would benefit from infill or revitalization. Directing growth to Areas of Change is intended to reduce development pressure on established neighborhoods and rural areas, minimizing infill or redevelopment at a scale and density that could negatively impact their character. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities.

##### *Center & Corridor Designations*

The subject site is on the Coors Boulevard NW Commuter Corridor and within the Coors Boulevard Major Transit Corridor as designated by the Comprehensive Plan.

Commuter Corridors are intended for long-distance trips across town by automobile, including limited-access streets. These roads tend to be higher-speed and higher-traffic volume routes. Development along these corridors should be more auto-oriented, but where the Corridors pass through Centers, development should include more mixed-use, pedestrian-oriented uses.

Major Transit Corridors are intended for high-capacity and/or high-frequency transit service where it is planned. These corridors prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the Centers they connect. Development along Major Transit Corridors should be transit- and pedestrian-oriented near transit stops, while auto-oriented for much of the Corridor.

The subject site is adjacent to the Ladera Activity Center and is less than  $\frac{1}{2}$  mile away from the Coors/I-40 Activity Center. Activity Centers are the ideal spots for new development and redevelopment. They are planned to combine residential areas and neighborhood services that are easily reachable within a 20-min walk. These centers should include pedestrian-friendly features, and policies on centers and corridors should promote mixed-use and multi-family housing in these locations. Activity Centers serve as the main hubs of economic activity, marked by clusters of development

##### *Community Planning Area*

The subject site is within the West Mesa Community Planning Area (CPA). The West Mesa CPA is located on Albuquerque's western boundary. The CPA includes the western ridge along Interstate 40 (I-40), locally known as Nine Mile Hill and originally part of historical

route 66, which descends into the valley with the Rio Grande at its base. West Mesa boasts expansive views of the Sandia and Manzano Mountains to the east with the greater Albuquerque metropolitan cityscape filling the entire valley. The metropolitan area is bisected by the Rio Grande flowing north to south, and dormant volcanoes sit atop the escarpment extending from West Mesa to the Northwest Mesa.

*Applicable Goals & Policies*

Applicable Goals and policies that were selected by the applicant are listed below. Staff analysis follows indented below the stated goal or policy.

CHAPTER 4: COMMUNITY IDENTITY

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The proposed amendments aim to enhance the conditions of several existing athletic facilities and construct additional athletic facilities, supporting buildings, and add a future classroom building. Reinvesting in the existing infrastructure, as well as adding new athletic facility uses, will better serve student athletes, visiting student athletes, staff, and create a well-balanced student body, that have the opportunity for recreation and to become active members in their community. St. Pius High School continues to be vital part of the Albuquerque community as a private education option on the westside, and the proposed amendments will enhance, protect, and preserve this opportunity for future generations of students attending the establishment school. **This request is consistent with Goal 4.1 Character**

POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

St. Pius High school is located in between the bosque and volcanic escarpment, which contribute to the identity and sense of place of the property. The request would help to maintain the opportunity to obtain a quality private high school education, through enhancements to the built environment, specifically the athletic facilities. The proposed amendments would create a well-rounded campus with up-to-date athletic facilities and a new classroom building, as well as preserve the existing campus facilities. The intention is to enhance the pride and identity of the existing institution and continue to produce well-rounded students, for generations to come. **This request is consistent with Policy 4.1.3 Placemaking**

GOAL 5.2 COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, and play together.

St. Pius high school is a long-established education institution, since 1988 at its current location, that boasts sending 96% or higher of its graduating students to college or higher education achievements, setting the foundation for a career-based lifestyle. The student body is comprised of residents from all over the greater

Albuquerque area, making it a vital education opportunity in the greater community where resident students, teachers, and families can work, learn, and play together. The proposed amendment fosters the opportunity for enhanced 'play' areas within the site, by building new and improved athletic facilities, which will contribute to a well-rounded student-athlete and compliment the educational experience, and foster individuals that will continue the cycle of live, work, learn and play together in their community. **This request is generally consistent with Goal 5.2 Complete Communities**

**GOAL 5.6 DEVELOPMENT:** Encourage and direct growth to Areas of Change where it is expected and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

It is encouraged and expected that the high school campus will grow to meet the evolving needs of its student population and the existing athletic and educational facilities. The proposed amendments will allow the continued reinforcement of character by complimenting the educational experience with extra-curricular athletic activities for the student body. The land use and functions on the site will remain generally the same as they will be shifting in orientation and receiving upgraded facilities. The proposed amendments will have little to no effect to the Areas of Consistency to the east and south, and minimal effect to the area of consistency to the north, as design techniques are used to mitigate light and sound.

**This request is generally consistent with Goal 5.6 Complete Communities**

**POLICY 5.6.2 AREA OF CHANGE:** Direct growth and more intense development to Centers, Corridors, Industrial and Business Parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is located within an area of change and along the Coors Blvd. Commuter and Major Transit Corridor and is adjacent to the Ladera Activity Center and is less than ½ mile away from the Coors/I-40 Activity Center. This request would facilitate the ability to make desired and appropriate updates to the existing "as-built" conditions of the site plan and facilitate proposed improvements to the athletic facilities, and construction of a new classroom building for the existing St. Pius High School. New development and redevelopment are encouraged for education institutions as enrollment increases and needs evolve. The request will continue to serve the nearby and adjacent Activity Centers, which are also continuing to develop in intensity along the Coors Boulevard corridor. **This request is generally consistent with Policy 5.6.2, Areas of Change.**

**Goal 10.1 FACILITIES AND ACCESS:** Provide Parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

While the request will enhance the facilities and operation of new facilities, the use is exclusive to only the student/ family attendees on campus and its visiting student

athletes/families, however, the student body lives in all areas of the city, which plays a part in meeting the needs of all residents. The request will improve the high school campus as a whole, by allowing the existing sports to operate on new and improved facilities, and create more spaces for additional recreation activities. The request would provide improved recreation facilities that meet the needs of existing athletic and educational functions for future student/family Albuquerque residents; therefore, **this request is consistent with Goal 10.1 Facilities and Access**

**Goal 12.2 COMMUNTY FACILITIES:** Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The proposed request aims to enhance as well as add new athletic facilities providing a wider range of recreation programing for current and future students. St. Pius High School provides one of the few private school options on the westside of Albuquerque, with convenient access within 2 miles of the Interstate 40, and along the Coors Blvd. Major Transit Corridor, making it easily accessible for all of Albuquerque, as well as, accessible by local transit or walking distance from adjacent and nearby neighborhoods. This is important to mention because the student body comes from all areas of metropolitan Albuquerque. The proposed amendments will better serve a wider age range, and wider range of educational groups, as the school just included middle school to their student body. This will increase participation and the need for more programing and better use of all the facilities proposed in this request. Having all the athletic facilities on campus can reduce travel to other facilities that don't currently exist for that activity by creating a 'home field' for that activity, for example, the football team and track has to host their 'home' events off campus and that can include scheduled practice. This will reduce travel times to those that come to school and then stay for their extracurricular activities, rather than have to travel to another location, thus to enhance quality of life and promote community involvement. **This request is consistent with Goal 12.2 Community Facilities**

**Policy 12.2.2 EXISTING FACILITIES:** Maintain and improve existing community facilities to better and more equitably serve the community.

The request would allow for the improvement of some of the athletic facilities that haven't changed in over 30 years, as well as introduce new facilities that will provide new programming for track, football, soccer and tennis. Although the request pertains exclusively to the private school attendees, the construction of a sport field with adequate spectator seating, and the other athletic facility amendments within the request, will equitably accommodate competitive sporting events serving the student body that lives in all areas of Albuquerque, and for visiting teams and their families. **This request is generally consistent with Policy 12.2.2 Existing Facilities**

### ***Integrated Development Ordinance (IDO)***

#### *IDO Zoning*

The subject site is zoned R-MH (Multi-family High Density) [IDO §[14-16-2-3\(F\)](#)] The purpose of the R-MH zone district is to promote and encourage the development of high-density attached and multi-family housing, with taller, multi-story buildings encouraged in Centers and Corridors in areas close to major streets and public transit facilities. The primary land use is multi-family development, with limited civic and institutional uses to serve the surrounding residential area. Other allowable uses are shown in Table 4-2-1.

The western portion of the subject site is zoned NR-PO-C (Non-City Parks and Open Space) [IDO §[14-16-2-5\(F\)\(1\)](#)] The purpose of the NR-PO zone district is to protect the natural character of designated private and public parks and open space for public recreation, use, and enjoyment. Primary uses are open space and related recreation facilities, picnic and other shelters, and service/maintenance facilities.

#### *Overlay Zones*

The proposed development is within the Coors Boulevard (CPO-2). [IDO §[14-16-3-4](#)] The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. These areas meet 1 or more of the following characteristics:

- 3-4(A)(1) Have recognized neighborhood identity and character.
- 3-4(A)(2) Have high architectural value.
- 3-4(A)(3) Have a relationship to HPO zones that make the area's conservation critical.
- 3-4(A)(4) Have a relationship with cultural landscapes identified in the Albuquerque/ Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended.

#### *Definitions*

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Areas of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

**Overlay Zone:** Regulations that prevail over other IDO regulations to ensure protection for designated areas. Overlay zones include Airport Protection Overlay (APO), Character Protection Overlay (CPO), Historic Protection Overlay (HPO), and View Protection Overlay (VPO). Character Protection and View Protection Overlay zones shall be no less than 10 acres, shall include no fewer than 50 lots, and shall include properties owned by no fewer than 25 property owners. There is no minimum size for Airport Protections Overlay or Historic Protection Overlay zones.

**Site Plan:** An accurate plan that includes all information required for that type of application, structure, or development.

***Integrated Development Ordinance (IDO) 14-16-6-(I)(3)-Site Plan-EPC Review and Decision Criteria***

*Analysis*

Pursuant to IDO §[14-16-6-6\(I\)\(3\)](#) Review and Decision Criteria, "An application for a Site Plan-EPC shall be approved if it meets all of the following criteria."

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

*The applicant has demonstrated, through a policy-based analysis, that the request would be consistent with the Comprehensive Plan as required pursuant to IDO §[14-16-6-6\(I\)\(3\)](#). The applicant's responses are contained in the project letter dated January 28, 2026 (see attachment). Staff agrees with the applicant's main arguments that the request would promote development that enhances the following Goals and Policies from Chapters in Comprehensive Plan: Goal 4.1 Character, Policy 4.1.3 Placemaking, Goal 5.2 Complete Communities, Goal 5.6 Development, Policy 5.6.2 Area of Change, Goal 10.1 Facilities and Access, Goal 12.2 Community Facilities, Policy 12.2.2 Existing Facilities.*

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

*The subject site is zoned R-MH (Multi Family Residential) and NR-PO-C (Non-City Park and Open Space). There are no previously approved NR-SU and PD zoning covering the subject property, nor any related development agreements or regulations related to the Site Plan.*

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

*The request is for a Site Plan – EPC Major Amendment. The proposed Site Plan complies with all applicable provisions of the IDO, DPM, MPOS Facilities and other adopted City regulations like, ADA, and vehicle egress and ingress. Pursuant to IDO §14-16-6-4(O), the EPC may impose conditions necessary to ensure compliance with the development standards of the IDO. All conditions must be met prior to building permit approval.*

*City Staff has reviewed the Site Plan against IDO development standards for the proposed changes to the site plan. Upon approval by the EPC, the Site Plan shall be submitted to the Development Facilitation Team (DFT) for final sign-off, at which point, the Site Plan will be reviewed against the DPM and any other adopted City regulations.*

*Development will comply with all applicable provisions pursuant to the R-MH and NR-PO-C zone district including landscaping, lot sizes, setbacks, parking, lighting, and grading and drainage. Staff has included a review and analysis of the Site Plan against the IDO regulations.*

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

*The subject site is already served by existing infrastructure and public facilities including water, sewer, power, gas, internet, and fire suppression, as well as roads, sidewalks and public transit, which has adequate capacity to serve the proposed development. There are no foreseen burdens on the existing infrastructure such as streets, trails and sidewalk systems, as there will be no changes to the existing infrastructure and capacity serving the development will be unchanged. Burdens on these systems have been mitigated. For example, most drainage is collected on site, before discharged into the public right-of-way.*

6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

*The request mitigates any significant adverse impacts to the surrounding area in the following efforts; Increases in traffic congestion and vehicle parking circulation and stacking happens within the site. Noise from amplified sound will be mitigated by directing sound units away from neighboring communities, as well as scheduled programming event times, and curfewed shut-off times. Hydrology has approved the conceptual Grading & Drainage Plan and the proposed development will not create*

*material adverse impacts on water quality or other land in the surrounding area.*

*The request to add four light poles with fixtures to the track/football/soccer field will not have significant adverse impacts on the surrounding neighborhoods adjacent to the St. Pius High School campus as shown through criterion H below.*

*Any future development on the subject site outside of this request will be required to comply with the all development and use specific standards within the IDO, such as design standards, parking standards, buffering and landscaping requirements, which would help to mitigate any significant adverse impacts under the R-MH and NR-PO-C zone designation.*

6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

*The subject site is not within an approved Master Development Plan. It is within a previously approved Site Development Plan. The proposed Site Plan meets relevant standards in the IDO and applicable standards in the R-MH and NR-PO-C zone districts.*

6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to section §[14-16-5-2\(E\)](#) (Cumulative Impacts) and §[14-16-6-4\(H\)](#) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts.

*A cumulative impact analysis is not required, because the subject site is not in the Railroad and Spur Small Area.*

6-6(I)(3)(h) If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of section §[14-16-5-8\(E\)](#) without sufficient mitigation and benefits that outweighs the expected impacts.

*The lighting vendor, selected by the Applicant, has prepared a site lighting performance analysis demonstrating that the new lighting will not adversely affect the properties abutting the High School, by proving that there will be no light trespass with light. See attached analysis.*

*Furthermore, the addition of 4 light poles will enable extended evening activity at the playing field for events. The selected light fixtures utilize shielding and light diffusion techniques to comply with the Outdoor and Site Lighting regulations in IDO §[14-16-5-8](#), thereby mitigating any impact on the surrounding area and nearby residents, as demonstrated in the*

*lighting vendor's technical documentation and lighting analysis. Operational hours will be from dusk to 10:00 p.m., from Fall-Semester, August to October and Spring-Semester, March to May. The event space is skirted with a landscape buffer intended to be decorative and to visually and audibly soften the light and sound spillover. Per IDO §14-16-5-8(H)(1)(c)(2) Pole mounting heights shall be based on the playability of the sport, photometric reports, and the player's glare zones per ANSI/IES RP-6.*

#### **IV. Site Plan - EPC Major Amendment**

##### **Request**

The request is for a Major Amendment to the controlling Site Plan, (Project Number 1006876) that would allow updating existing "as-built" conditions that would facilitate the proposed improvements to the athletic facilities for the existing St. Pius X High School. Improvements include constructing a new Track and Field, Football/Soccer Field, with home and visitor viewing seating, concession building and bathroom facilities, and sport lighting. Additional amendments include, to re-orient the softball field, and terminating the sand volleyball courts, terminating one soccer field space and replace with six new tennis courts, a long jump and high-jump/pole vault runways and pad, and a future classroom building.

The following amendments are proposed as part of the Site Plan:

- An existing building that no longer meets its use will be demolished to make room for the proposed additional parking lot and reoriented track/football/soccer field complex
- The softball field fencing and turf will be demolished to relocate the home plate and new orientation of the softball field in the same location
- Demolition of one, (the northern) of three soccer field layouts, will make room for six tennis courts and long jump/high jump and pole vault runways.
- Demolition of the existing track and football/soccer field will allow for the reorientation of the field to go from east/west layout to north/south layout and construct new home and visitor seating, four poles with light fixtures, a weight room field house building, bathroom building, and new trees and landscaping.
- Demolition of existing sand volleyball courts to allow for construction of an addition to the existing gymnasium building, making space for multiple indoor volleyball/basketball courts.
- A conceptual location for a future classroom building is proposed at the location of the new parking lot adjacent to the proposed football/soccer field to be constructed at a later date.

The applicant is following IDO Development Standards for the Site Plan Major Amendment request. The controlling Site Development Plan (SDP) was implemented before the adoption of the IDO and does not include design standards, therefore the proposed amendments are required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval.

The decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section [§14-16-6-6\(I\)](#) (Site Plan – EPC), as applicable.

### ***Site Plan Layout/Configuration***

The approximately 57-acre subject site is developed as the campus for the St. Pius X High School, which includes existing education, administration, religious, and athletic buildings, parking and vehicular circulation, pedestrian infrastructure, and existing turf play fields and various athletic facilities, and large stand of mature trees on the west edge along Coors Boulevard. Site Plan amendments to the existing configuration are listed above.

### ***Site Design and Sensitive Lands***

In response to the Sensitive Lands criteria in IDO [§14-16-5-2](#), the project site was analyzed for the presence of sensitive lands and any constraints related to such lands by the applicant. The only sensitive lands that exist within the site are as follows:

- Large stands of mature trees: Large-stands of trees exist on the western edge of the subject property (within the NMDOT Right-of-Way) and in the northwest corner, against the neighborhood wall, and within a small drainage catch pond at the north end of the turf soccer fields. There are no large-stands of mature trees in the sections in the amendment area.
- Steep slopes and escarpments: The majority of the subject site has limited slopes and is relatively flat. There are existing slightly steep slopes on the eastern edge of the property, which are fenced off, they include native landscaping, and are maintained as open space, and not changed by the proposed amendment.

According to IDO [§14-16-5-2](#), site design shall avoid locating development in these areas. The proposed development will not impact these sensitive lands.

### ***Pedestrian, Bicycle and Transit Access***

Existing Sidewalks provide walkability to the site from Coors boulevard and off of St. Josephs Drive. There is an existing buffered bike-lane along Coors Boulevard NW running north and south. The Oxbow Trail, is a paved multi-use trail for bikes and pedestrians with connection at the northern and eastern neighborhood. The subject site is serviced by one ABQ Bus Route (Coors 155), running from Rio Bravo Boulevard SW to Gun Club Road NW. The nearest bus stop is directly in front of the west side of the subject site,

heading northbound on Coors Boulevard NW, and there are additional bus stops located less than a 5-minute walk away at Coors Blvd. NW and St. Josephs Dr. NW. and a 10 min walk away, at Coors Blvd. NW and Western Trails, both heading southbound.

#### ***Vehicular Access, Circulation and Parking***

The subject site contains two vehicular access points; one heading east off of Coors Boulevard NW, which becomes St. Josephs Place NW and one off of St. Josephs Drive NW turns into St. Josephs Drive NW and terminates into the developed pedestrian/bicycle Oxbow Trail, paved multi-use trail and drainage swale. No increase in daily trips is projected from the site plan modifications to the additional athletic facilities. The football stadium will see some increase in trips, but that is for off-peak hours and non-daily events.

The proposed Site Plan amendment maintains the existing drive access points from within the Site. The proposed football/track/soccer field complex will change the circulation of the site by adding a new parking on site. The new proposed development increases the total amount of parking spaces on site from 982 and 24 Handicap existing spaces to 967 and 32 Handicap spaces. The existing parking as well as the new proposed parking spaces will suffice for the new proposed athletic functions on the site plan. The proposed 'Phase 1' site plan amendment would provide 122 regular 8 accessible parking spaces, additional bicycle racks and no motorcycle spaces.

#### ***Landscaping, Buffering, and Screening***

An amendment to the existing landscaping on the subject site is included. The proposed landscaping calls for 80 new trees at the 'Phase 1' field complex and new parking lot.

The Landscape Plan shows the location and type of trees being provided. The landscape plan does not show any existing trees, and shrubs. The proposed plant list includes drought tolerant and native species, which meet the city plant pallet standards.

A large stand of existing trees along Coors, as well as small grove of trees and natural vegetation within a small drainage pond, north of the future tennis courts, provides a consistent, attractive streetscape and a screening to the site from the fast-moving traffic. New trees proposed north of the field complex, act as a screening and or buffer for light glare and direct sound disruption from various athletic events. A proposed stand of evergreen trees runs along the northern edge, which would provide additional light and sound screening, but they are not on the plan and the quantities are not listed.

#### ***Walls and Fences***

No new walls are proposed in the amendment, and all fencing that will be removed with the reorientation of the softball field and extension of the baseball field and dugout fencing will be replaced with new chain-link fencing as designed per the Site Plan. Fencing design is conceptual and no fencing details are presented at this time.

### ***Outdoor Lighting***

Four light poles including fixtures are proposed within the soccer/football field. The light poles are proposed to be 85 feet tall. The lights will run from approximately 6:00 pm to 10:00 pm, from August to October, for fall semester events, and March to May, for spring semester events.

The proposed light fixtures will be directed towards the field of play surface. Light shielding and new tree plantings will help to minimize light reaching to the residents that are a minimum of 100 feet away from the nearest pole.

#### ***Site Lighting Performance Analysis***

The applicant provided a site lighting performance analysis demonstrating that the new lighting will not adversely affect the properties abutting the High School, by proving that there will be no light trespass with light. The performance analysis also demonstrates how the light spill is near zero at (0.9-foot candles) at the northern neighborhood edge, whereas the play surface is illuminated as high as (66-foot candles). The proposed light trespass with the inclusion of trees, and as listed in [Table 5-8-3](#): Light Trespass Limits by Lighting Designation, is in compliance with IDO § 14-16-5-8(E) General Design and illumination standards.

### ***Neighborhood Edges***

The proposed development preserves natural resources, cultural significance, or neighborhood character of established low-density residential development to the north, east and south. Pursuant to IDO 14-16-5-9(B)(2) the subject site is a regulated lot adjacent to a protected lot in a residential zone district. No changes are proposed within 50-feet of any residential protected lot. Proposed building heights do not exceed the max height within 100 feet of any regulated lot line per IDO 14-16-5-9(C)(1). Proposed building heights do not exceed the max height 30-feet within 50-feet of any protected lot line per IDO 14-16-5-9(C)(2).

### ***Building Design/Elevations***

The proposed building follows IDO Standards for building design regulations pursuant to the IDO; heights, setbacks, colors, materials, etc. for this request. Building heights comply with the IDO Table [2-3-11](#) for R-MH Zone District Dimensional Standards. Maximum allowed building height in the general R-MH zone district is 48 feet.

### ***Signs and Site Signage***

The new parking area at the field complex includes standard ADA parking signage proposed for the site. Entry sign and all existing signs on site remain unchanged and no new signage is proposed.

### ***Utility Plan***

Proposed utilities are extensions of existing utilities already serving the site. All new utility extension lines including, gas, water, and sewer are illustrated on the utility plan and will be adequate to serve the proposed developments.

### ***Grading and Drainage***

A conceptual grading and drainage plan is included with the request. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area. An existing Drainage Pond exists at the northwest corner of the site. Most drainage is collected on site, before discharged into the public right-of-way. Drainage details are provided on the site details sheet 11.

## ***V. Agency & Neighborhood Concerns***

### ***Reviewing Agencies***

City departments and other interested agencies reviewed this application. Agency Comments received were based upon the initial application submittal on January 8, 2026. Comments were received by agencies such as Long-Range Planning, APS, Transit and Parks and Open Space. Generally, the comments received state that the request has no response that would trigger immediate action for conditions of approval.

### ***Neighborhood/Public***

Notification requirements are found in 14-16-6, in the Procedures [Table 6-1-1](#) and are further explained in [14-16-6-4\(K\)](#), Public Notice. The Vista Grande Neighborhood Association and the Westside Coalition of Neighborhood Associations are within 660 feet and were notified as required. Property owners within 100 feet of the subject site were also notified, as required (see attachments).

An unfacilitated meeting was held by the Vista Grande Neighborhood association on January 14th, where the Applicant and Agent presented the Site Plan amendment proposal to the neighbors and members of the community, as in informative presentation of what is presented in the site plan amendment. There was some opposition, but overall, there was support of the request from the neighbors that were in attendance. See neighborhood meeting notes included in this report.

### ***Indian Nations, Tribes, or Pueblos***

The subject site is within 660 feet of the Petroglyph National Monument to the west, which is designated as Major Public Open Space. Per IDO § [14-16-6-4\(B\)](#), an offer for pre-submittal Tribal meeting is required to be made by the applicant if the subject property is within 660 feet of Major Public Open Space (including Petroglyph National Monument) or Tribal Land. To process the Archaeological certificate application (one of the requirements for sites of 5+ acres), all New Mexico Tribes and leaders were notified via

email, (and certified mail for representatives with no email on file). An email was received from San Felipe Pueblo requesting additional information about the project and the Applicant responded. No meeting requests have been made at the time of writing this report.

## ***VI. Conclusion***

The request is for a Major Amendment to a Site Plan-EPC which would update the existing “as-built” conditions and propose improvements to the athletic facilities for St. Pius X High School. The amendment would facilitate development which includes proposed athletic facility improvements include replacing the running track and turf with a new track and field; expanding the baseball field fencing and constructing larger dugouts; re-orienting the softball field; eliminating the sand volleyball courts; replacing one soccer field with six new tennis courts, a long jump, and high-jump/pole vault runways and pad; and renovating the football/soccer field with home and visitor seating, concession building, bathroom facilities, and sport lighting. And a future phase to construct a multi-purpose classroom building.

The EPC is hearing the request as the decision-making body on the prior-approved Site Plan. The boundary of the site plan is not changing, however, because the proposed changes are beyond the thresholds for a minor amendment, they must be decided as a Major Amendment pursuant to IDO § [14-16-6-4\(Y\)\(b\)](#) (Amendments of Pre-IDO Approvals) and § [14-16-6-6\(I\)](#) (Site Plan – EPC) as the most closely equivalent decision. EPC may impose conditions necessary to ensure compliance with IDO development standards [IDO § [14-16-6-4\(O\)](#)]. This is a quasi-judicial matter

The request complies with applicable Comprehensive Plan goals and policies regarding community identity, land use, parks and open space, and infrastructure, community facilities and services. The request is generally, not in any conflicts with the IDO or other regulations.

The subject site is within 660 feet of the Rio Grande Bosque to the east, which is designated Major Public Open Space. The subject site is also within 660 feet of the Petroglyph National Monument to the west, which is also designated as Major Public Open Space.

The subject site is adjacent to the Ladera Activity Center and is less than ½ a mile away from the Coors/I-40 Activity Center. The proposed development is within the Coors Boulevard (CPO-2). The subject site is within the West Mesa Community Planning Area (CPA).

The subject site is zoned R-MH (Multi-family High Density) and the western portion of the subject site is zoned NR-PO-C (Non-City Parks and Open Space). The subject site is

on the Coors Boulevard NW Commuter Corridor and is also a Major Transit Corridor as designated by the Comprehensive Plan and is within an Area of Change.

Generally, not finding any conflicts with the IDO or other regulations, **Staff recommends approval subject to conditions needed to improve compliance for DFT – final sign off.**

### ***Findings, Site Plan***

Plan #: SP-2026-00006

1. This is a request for a Major Amendment to a Site Plan – EPC for an approximately 57-acre site legally described as Tract A Plat of Oxbow Subdivision, located at 5301 St Josephs Drive NW.
2. The request would amend the previously approved Site Development Plan (Project #1006876) for the existing St. Pius X High School to update existing “as-built” conditions, and propose improvements related to the athletic facilities and construct a future classroom building. The proposed use is Permissive under the current zoning, R-MH and NR-PO-C.
3. The EPC is hearing the request as the decision-making body on the prior-approved Site Plan. The boundary of the site plan is not changing, however, because the proposed changes are beyond the thresholds for a minor amendment, they must be decided as a Major Amendment pursuant to IDO § [14-16-6-4\(Y\)\(b\)](#) (Amendments of Pre-IDO Approvals) and § [14-16-6-6\(I\)](#) (Site Plan – EPC) as the most closely equivalent decision. EPC may impose conditions necessary to ensure compliance with IDO development standards [IDO §[14-16-6-4\(O\)](#)]. This is a quasi-judicial matter.
4. The Subject Site is zoned (Multi-family High Density) [IDO §[14-16-2-3\(F\)](#)]. The western portion of the subject site is zoned NR-PO-C (Non-City Parks and Open Space) [IDO §[14-16-2-5\(F\)\(1\)](#)]. St. Pius High School moved to Albuquerque’s Westside to occupy the former campus of the University of Albuquerque, a Catholic liberal arts university, in 1988. In 2024, St. Pius expanded to include middle school students, which has increased the number of students using the existing facilities. The campus includes academic buildings, classrooms, a religious center, sports fields, and a gymnasium. In 2000, Assumption Hall and St. Francis Hall were renovated, and a new science building, gymnasium, and St. Basil Hall were constructed. The weight room and office were remodeled in 2003. A wrought iron fence was added on the campus perimeter in 2009. Other than the addition of a baseball field completed around 1996, the athletic facilities have not changed in layout, orientation, or other improvements in the last 30 years.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.

6. The proposed development is within the Coors Boulevard (CPO-2). [IDO §[14-16-3-4](#). This area meets the following characteristic of the (CPO-2):
  - A. 3-4(A)(1) Have recognized neighborhood identity and character.
7. The subject site is within an Area of Change and the West Mesa CPA as designated by the Comp Plan.
8. The subject site is on the Coors Boulevard NW Commuter Corridor and within 660-feet of the Coors Boulevard. Major Transit Corridor as designated by the Comprehensive Plan.
9. The request is consistent with the following Policies related to Community Identity, from Comprehensive Plan Chapter 4: Community Identity.
  - A. The request is consistent with POLICY 4.1 CHARACTER from Comprehensive Plan Chapter 4 regarding Community Identity: Enhance, protect, and preserve distinct communities.

The proposed amendments aim to enhance the conditions of several existing athletic facilities and construct additional athletic facilities, supporting buildings, and add a future classroom building. Reinvesting in the existing infrastructure, as well as adding new athletic facility uses, will better serve student athletes, visiting student athletes, staff, and create a well-balanced student body, that have the opportunity for recreation and to become active members in their community. St. Pius High School continues to be vital part of the Albuquerque community as a private education option on the westside, and the proposed amendments will enhance, protect, and preserve this opportunity for future generations of students attending the establishment school.

- B. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

St. Pius High school is located in between the bosque and volcanic escarpment, which contribute to the identity and sense of place of the property. The request would help to maintain the opportunity to obtain a quality private high school education, through enhancements to the built environment, specifically the athletic facilities. The proposed amendments would create a well-rounded campus with up-to-date athletic facilities and a new classroom building, as well as preserve the existing campus facilities. The intention is to enhance the pride and identity of the existing institution and continue to produce well-rounded students, for generations to come.

10. The request is consistent with the following Goals and Policies related to Land Uses, and Development Patterns from Comprehensive Plan Chapter 5: Land Use.
  - A. GOAL 5.2 COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, and play together.

St. Pius high school is a long-established education institution, since 1988 at its current location, that boasts sending 96% or higher of its graduating students to college or higher education achievements, setting the foundation for a career-based lifestyle. The student body is comprised of residents from all over the greater Albuquerque area, making it a vital education opportunity in the greater community where resident students, teachers, and families can work, learn, and play together. The proposed amendment fosters the opportunity for enhanced 'play' areas within the site, by building new and improved athletic facilities, which will contribute to a well-rounded student-athlete and compliment the educational experience, and foster individuals that will continue the cycle of live, work, learn and play together in their community.

B. **GOAL 5.6 DEVELOPMENT:** Encourage and direct growth to Areas of Change where it is expected and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

It is encouraged and expected that the high school campus will grow to meet the evolving needs of its student population and the existing athletic and educational facilities. The proposed amendments will allow the continued reinforcement of character by complimenting the educational experience with extra-curricular athletic activities for the student body. The land use and functions on the site will remain generally the same as they will be shifting in orientation and receiving upgraded facilities. The proposed amendments will have little to no effect to the Areas of Consistency to the east and south, and minimal effect to the area of consistency to the north, as design techniques are used to mitigate light and sound.

C. **POLICY 5.6.2 AREA OF CHANGE:** Direct growth and more intense development to Centers, Corridors, Industrial and Business Parks, and Metropolitan Redevelopment Areas where change is encouraged.

The subject site is located within an area of change and along the Coors Blvd. Commuter and Major Transit Corridor and is adjacent to the Ladera Activity Center and is less than ½ mile away from the Coors/I-40 Activity Center. This request would facilitate the ability to make desired and appropriate updates to the existing "as-built" conditions of the site plan and facilitate proposed improvements to the athletic facilities, and construction of a new classroom building for the existing St. Pius High School. New development and redevelopment are encouraged for education institutions as enrollment increases and needs evolve. The request will continue to serve the nearby and adjacent Activity Centers, which are also continuing to develop in intensity along the Coors Boulevard corridor.

11. The request is consistent with the following Goals and Policies related to Parks and Open Space from Comprehensive Plan Chapter 10: Parks and Open Space.

A. Goal 10.1 FACILITIES AND ACCESS: Provide Parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

While the request will enhance the facilities and operation of new facilities, the use is exclusive to only the student/ family attendees on campus and its visiting student athletes/families, however, the student body lives in all areas of the city, which plays a part in meeting the needs of all residents. The request will improve the high school campus as a whole, by allowing the existing sports to operate on new and improved facilities, and create more spaces for additional recreation activities. The request would provide improved recreation facilities that meet the needs of existing athletic and educational functions for future student/family Albuquerque residents.

12. The request is consistent with the following Goals and Policies related to Community Facilities from Comprehensive Plan Chapter 12: Infrastructure, Community Facilities & Services.

A. Goal 12.2 COMMUNITY FACILITIES: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The proposed request aims to enhance as well as add new athletic facilities providing a wider range of recreation programing for current and future students. The St. Pius High School provides one of the few private school options on the westside of Albuquerque, with convenient access within 2 miles of the Interstate 40, and along the Coors Blvd. Major Transit Corridor, making it easily accessible for all of Albuquerque, as well as, accessible by local transit or walking distance from adjacent and nearby neighborhoods. This is important to mention because the student body comes from all areas of metropolitan Albuquerque. The proposed amendments will better serve a wider age range, and wider range of educational groups, as the school just included middle school to their student body. This will increase participation and the need for more programing and better use of all the facilities proposed in this request. Having all the athletic facilities on campus can reduce travel to other facilities that don't currently exist for that activity by creating a 'home field' for that activity, for example, the football team and track has to host their 'home' events off campus and that can include scheduled practice. This will reduce travel times to those that come to school and then stay for their extracurricular activities, rather than have to travel to another location, thus to enhance quality of life and promote community involvement.

B. Policy 12.2.2 EXISTING FACILITIES: Maintain and improve existing community facilities to better and more equitably serve the community.

The request would allow for the improvement of some of the athletic facilities that haven't changed in over 30 years, as well as introduce new facilities that will provide new programming for track, football, soccer and tennis. Although the request pertains exclusively to the private school attendees, the construction of a sport field with adequate spectator seating, and the other athletic facility amendments within the request, will equitably accommodate competitive sporting events serving the student body that lives in all areas of Albuquerque, and for visiting teams and their families.

13. The request meets the Site Plan-EPC Review & Decision Criteria in IDO §14-16-6-6(I)(3) as follows:

A. 6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

The applicant has demonstrated, through a policy-based analysis, that the request would be generally consistent with the Comprehensive Plan as required pursuant to IDO §[14-16-6-6\(I\)\(3\)](#). The applicant's responses are contained in the revised project letter dated, January 28, 2026 (see attachment). Staff agrees with the applicant's main arguments that the request would promote development that enhances the following Goals and Policies from Chapters in Comprehensive Plan: Goal 4.1 Character, Policy 4.1.3 Placemaking, Goal 5.2 Complete Communities, Goal 5.6 Development, Policy 5.6.2 Area of Change, Goal 10.1 Facilities and Access, Goal 12.2 Community Facilities, Policy 12.2.2 Existing Facilities

B. 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The subject site is zoned R-MH (Multi Family Residential) and NR-PO-C (Non-City Park and Open Space). There are no previously approved NR-SU and PD zoning covering the subject property, nor any related development agreements or regulations related to the Site Plan

C. 6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The request is for a Site Plan – EPC Major Amendment. The proposed Site Plan complies with all applicable provisions of the IDO, DPM, MPOS Facility Plan, and other adopted City regulations like air quality, fire code, ADA, and vehicle egress and ingress. Pursuant to IDO §[14-16-6-4\(O\)](#), the EPC may impose conditions necessary to ensure compliance with the development standards of the IDO. All conditions must be met prior to building permit approval.

D. 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The subject site is already served by existing infrastructure and public facilities including water, sewer, power, gas, internet, and fire suppression, as well as roads, sidewalks and public transit, which has adequate capacity to serve the proposed development. There are no foreseen burdens on the existing infrastructure such as streets, trails and sidewalk systems, as there will be no changes to the existing infrastructure and capacity serving the development will be unchanged. Burdens on these systems have been mitigated. For example, most drainage is collected on site, before discharged into the public right-of-way.

E. 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The request mitigates any significant adverse impacts to the surrounding area in the following efforts; Increases in traffic congestion and vehicle parking circulation and stacking happens within the site. Noise from amplified sound will be mitigated by directing sound units away from neighboring communities, as well as scheduled programming event times, and curfewed shut-off times. Hydrology has approved the conceptual Grading & Drainage Plan and the proposed development will not create material adverse impacts on water quality or other land in the surrounding area.

The request to add four light poles with fixtures to the track/football/soccer field will not have significant adverse impacts on the surrounding neighborhoods adjacent to the St. Pius High School campus as shown through criterion H below.

Any future development on the subject site outside of this request will be required to comply with the all development and use specific standards within the IDO, such as design standards, parking standards, buffering and landscaping requirements, which would help to mitigate any significant adverse impacts under the R-MH and NR-PO-C zone designation.

F. 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is not within an approved Maser Development Plan. It is within a previously approved Site Development Plan. The proposed Site Plan meets relevant standards in the IDO and applicable standards in the R-MH and NR-PO-C zone districts.

G. 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to section §14-16-5-2(E) (Cumulative Impacts) and §14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts.

A cumulative impact analysis is not required, because the subject site is not in the Railroad and Spur Small Area.

H. 6-6(I)(3)(h) If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of section §14-16-5-2(E) without sufficient mitigation and benefits that outweighs the expected impacts.

The lighting vendor, selected by the Applicant, has prepared a site lighting performance analysis demonstrating that the new lighting will not adversely affect the properties abutting the High School, by proving that there will be no light trespass with light. See attached analysis.

Furthermore, the addition of 4 light poles will enable extended evening activity at the playing field for events. The selected light fixtures utilize shielding and light diffusion techniques to comply with the Outdoor and Site Lighting regulations in IDO §[14-16-5-8](#), thereby mitigating any impact on the surrounding area and nearby residents, as demonstrated in the lighting vendor's technical documentation and lighting analysis. Operational hours will be from dusk to 10:00 p.m., from Fall-Semester, August to October and Spring-Semester, March to May. The event space is skirted with a landscape buffer intended to be decorative and to visually and audibly soften the light and sound spillover. Per IDO §[14-16-5-8\(H\)\(1\)\(c\)\(2\)](#) Pole mounting heights shall be based on the playability of the sport, photometric reports, and the player's glare zones per ANSI/IES RP-6.

14. The proposed amendments to the Site Plan-EPC are following IDO Development Standards. The controlling Site Development Plan (SDP) was implemented before the adoption of the IDO and does not include design standards, therefore the proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval.

15. The following amendments are proposed as part of the Site Plan:

- An existing building that no longer meets its use will be demolished to make room for the proposed additional parking lot and reoriented track/football/soccer field complex
- The softball field fencing and turf will be demolished to relocate the home plate and new orientation of the softball field in the same location

- Demolition of one, (the northern) of three soccer field layouts, will make room for six tennis courts and long jump/high jump and pole vault runways.
- Demolition of the existing track and football/soccer field will allow for the reorientation of the field to go from east/west layout to north/south layout and construct new home and visitor seating, four poles with light fixtures, a weight room field house building, bathroom building, and new trees and landscaping.
- Demolition of existing sand volleyball courts to allow for construction of an addition to the existing gymnasium building, making space for multiple indoor volleyball/basketball courts.
- A conceptual location for a future classroom building is proposed at the location of the new parking lot adjacent to the proposed football/soccer field to be constructed at a later date.

16. The decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section §14-16-6-6(I) (Site Plan – EPC), as applicable.

17. The Vista Grande Neighborhood Association and the Westside Coalition of Neighborhood Associations are within 660 feet and were notified as required.

18. Property owners within 100 feet of the subject site were also notified, as required:

19. City departments and other interested Agencies reviewed this application. Agency Comments received were based upon the initial application submittal on January 8, 2026. Comments were received by agencies such as Long-Range Planning, APS, Transit and Parks and Open Space. Generally, the comments received state that the request has no response that would trigger immediate action for conditions of approval?

20. An unfacilitated Neighborhood meeting was held by the Vista Grande Neighborhood association on January 14th, where the Applicant and Agent presented the Site Plan amendment proposal to the neighbors and members of the community, as in informative presentation of what is presented in the site plan amendment. There was some opposition, but overall, there was support of the request from the neighbors that were in attendance.

21. The subject site is within 660 feet of the Petroglyph National Monument to the west, which is designated as Major Public Open Space. Per IDO § 14-16-6-4(B), an offer for pre-submittal Tribal meeting is required to be made by the applicant if the subject property is within 660 feet of Major Public Open Space (including Petroglyph National Monument) or Tribal Land. No meeting requests have been made at the time of writing this report.

22. At the time of this writing, staff has received comments showing general support of the amendment to the Site Plan. See attachments below.

## ***Recommendation***

**APPROVAL** of Plan #: SP-2026-00006 the request is for a Major Amendment a Site Plan-EPC (Project #1006876), for Tract A Plat of Oxbow Subdivision, located at 5301 St Josephs Drive NW, based on the preceding Findings 1-22 and subject to the following Conditions of Approval 1-6.

## ***Recommended Conditions of Approval***

Plan #: SP-2026-00006, Major Amendment to a Site Plan-EPC

1. After approval by the EPC, the applicant shall coordinate with the Staff Planner prior to submitting to the DFT for final sign-off to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16- 6-6(l)(2)(m), Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.
2. Pursuant to IDO section 14-16-6-4(O)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.
3. The Applicant shall coordinate with Urban Forestry, which will be completing an inventory, analysis, and site visit to determine whether the existing stands of trees fall under sensitive lands designation.
4. The applicant shall plant additional trees placed 25 feet apart along the north wall for additional light and sound diffusion.
5. The applicant shall coordinate with NMDOT District 3 Assistant Traffic Engineer Margaret Haynes to discuss this development's potential impacts to NM 45 (Coors Blvd. NW).  
[Margaret.Haynes@dot.nm.gov](mailto:Margaret.Haynes@dot.nm.gov), Cell: 505-288-2086
6. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

---

*Dustin Kiska*

Dustin Kiska, Planner

Notice of Decision cc list:

Consensus Planning, James Strozier, [cp@consensusplanning.com](mailto:cp@consensusplanning.com)

Vista Grande NA, Richard Schafer, [Schafer@unm.edu](mailto:Schafer@unm.edu)

Vista Grande NA, Brady Lovelady, [bradyklovelady@gmail.com](mailto:bradyklovelady@gmail.com)

Westside Coalition of Neighborhood Associations, Jane Baechle, [jane.baechle@gmail.com](mailto:jane.baechle@gmail.com)

Westside Coalition of Neighborhood Associations, Renee Horvath, [abroad111@gmail.com](mailto:abroad111@gmail.com)

Legal, [dking@cabq.gov](mailto:dking@cabq.gov)

Legal, [acoon@cabq.gov](mailto:acoon@cabq.gov)

EPC file

## ***Agency Comments***

### **PLANNING DEPARTMENT**

#### *Long Range Planning*

This site is located in an area of change within the West Mesa Community Planning Area. The West Mesa CPA Assessment Report has been completed, but has yet to be accepted by City Council. One of the draft Policies that came out of that report, Policy 3. Expand community programming and youth development opportunities, supports the applicant's request which intends to expand the athletic facilities at St. Pius High school. The proposed Site Plan is generally consistent with current Comprehensive Plan policies, particularly ones supporting the maintenance and improvement of existing community and educational facilities (Policy 4.1.3, Goal 10.1, Goal 5.2), placemaking, and appropriate reinvestment within Areas of Change (Policy 5.6.2). The request focuses on updating as-built conditions and reinvesting in aging athletic facilities that have existed on the site for decades, reinforcing the school's established role as a community anchor. However, the proposal creates policy tension with neighborhood protection objectives, given its proximity to surrounding single-family residential Areas of Consistency and the introduction of enhanced lighting and athletic activity (Goal 5.4, Goal 5.6, and Goal 10.1). These concerns can be mitigated through compliance with lighting standards, shielding, walls, landscaping, and internal site orientation. Overall, with continued adherence to impact mitigation measures, the amendment supports the Comprehensive Plan's goals for community facilities and responsible reinvestment while balancing compatibility with adjacent neighborhoods.

### **OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES**

#### *Parks and Open Space*

Per IDO 5-2(C) SITE DESIGN TO AVOID SENSITIVE LANDS 5-2(C)(1) Both the subdivision and site design processes shall begin with an analysis of site constraints related to sensitive lands. The site analysis shall be included with applications for Subdivision or Site Plan. The site analysis shall be reviewed by relevant staff from Hydrology, Parks and Recreation, Historic Preservation, the City Forrester, and/or the City Archaeologist, depending on the type(s) of sensitive lands identified on the site.

5-2(C)(2) New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:

5-2(C)(2)(d) Large stands of mature trees.

It appears that a large stand of mature trees exists at the location of the proposed stadium. Forestry requires an inventory, analysis and site visit to determine whether these trees fall under sensitive lands designation.

Please contact Bonnie Strange; [bstrange@cabq.gov](mailto:bstrange@cabq.gov)

*Transit Department*

The project site is currently served by Route 155, which operates at 40–60-minute intervals. Upon implementation of the ABQ Ride Forward Recovery Network, service frequency is anticipated to improve to 30-minute intervals. Existing bus stops are located adjacent to the site. Nearby bus stops have shelters.

**OTHER AGENCIES**

*Albuquerque-Bernalillo County Water Utility Authority (ABCWUA)*

Submit Request for Availability.

*Albuquerque Public Schools (APS)*

Albuquerque Public Schools (APS) has no objection to the proposed Site Plan – EPC, Major Amendment as submitted. APS requests notification should future applications propose increased residential density, additional dwelling units, or changes in land use intensity that may result in additional student generation within the affected attendance boundaries.

APS schools located within the affected attendance boundaries include:

- i. Elementary School: Susie Rayos Marmon Elementary School
- ii. Middle School: John Adams Middle School
- iii. High School: West Mesa High School

*Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)*

AMAFCA has no adverse comments to the EPC Site Plan request.

*Bernalillo County*

No Adverse Comments

*Bernalillo County Transit*

No adverse comment. No nearby Bernalillo County roads or intersections.

*New Mexico Department of Transportation (NMDOT)*

Please coordinate with NMDOT District 3 Assistant Traffic Engineer Margaret Haynes to discuss this development's potential impacts to NM 45 (Coors Blvd. NW).

Margaret.Haynes@dot.nm.gov

Cell: 505-288-2086

## A) PHOTOGRAPHS



Figure 2: 3D bird's-eye view provided by Google Earth from 2025. Looking north west, showing the overall site (in yellow) and its surroundings. The abutting residential lots can be seen to the north south and east. Commercial lots along Coors Blvd. NW, to the west.



Figure 3: Front Entry at Coors and St. Josephs Dr. NW - looking north



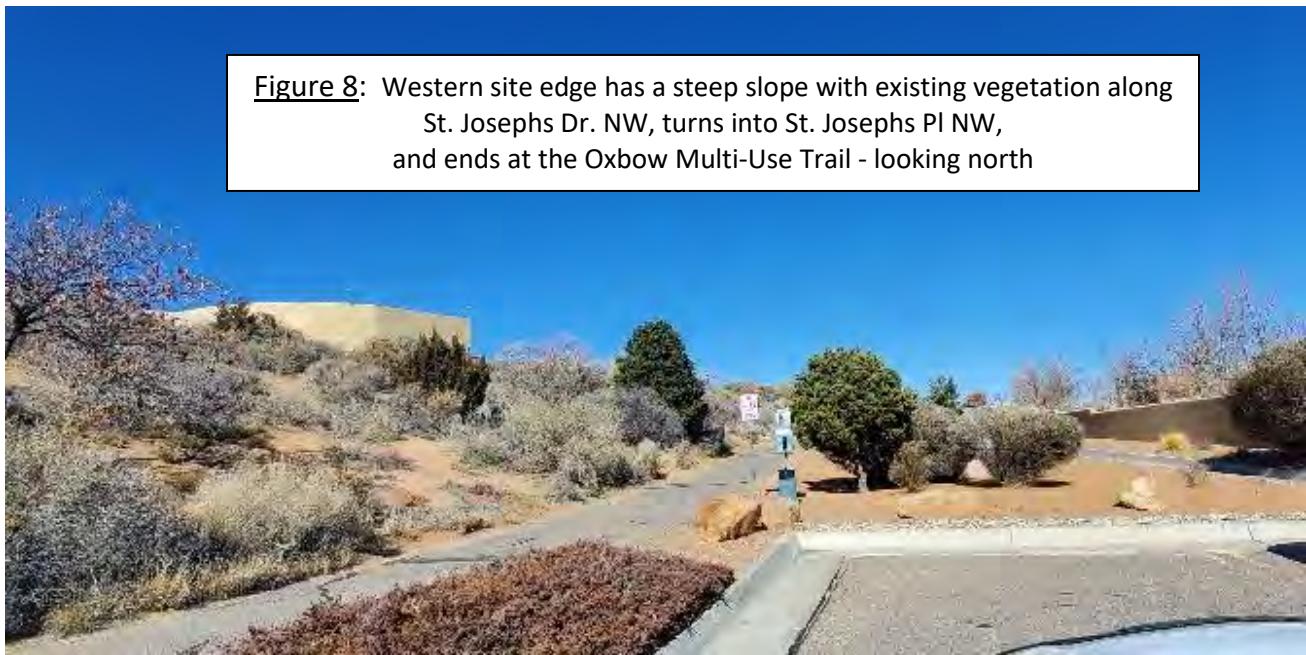
Figure 4: Student parking entry off St. Josephs Dr. NW - looking north



Figure 5: Perimeter fence along St. Josephs Dr. NW - Soccer fields beyond - looking north

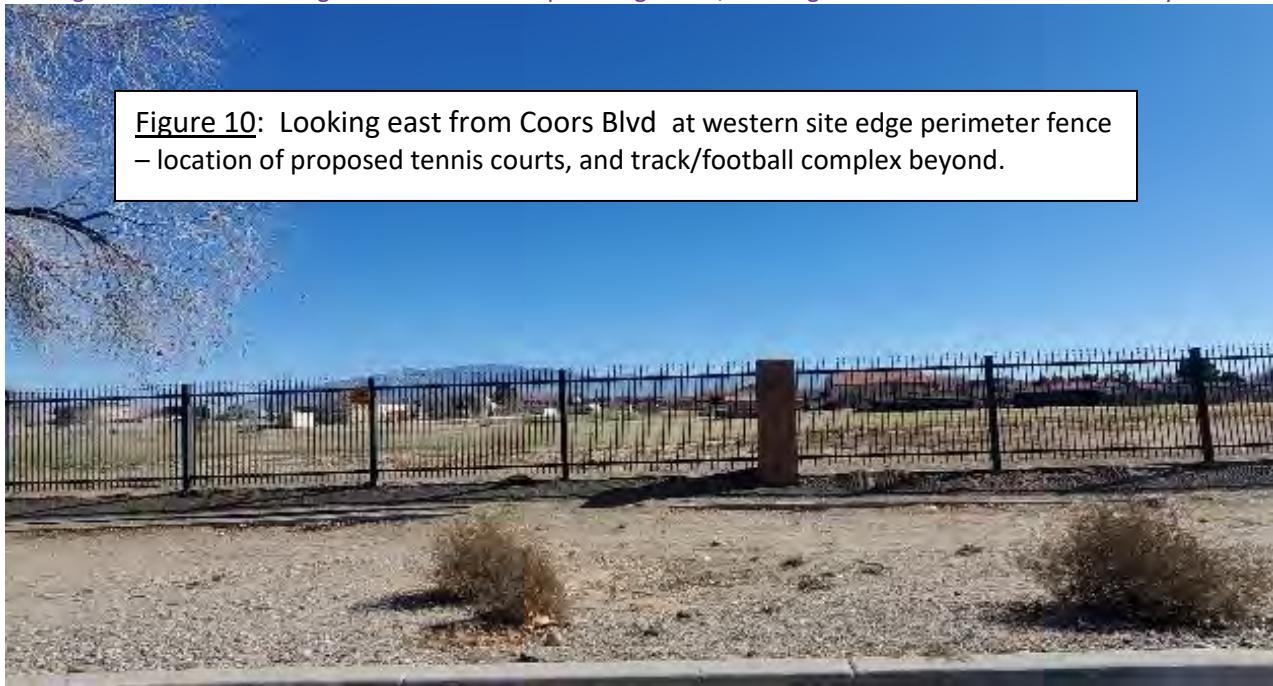


Figure 6: Perimeter fence along St. Josephs Dr. NW - Baseball field beyond - looking north west





Large stands of trees along Coors and a bus stop looking north / Looking west – location of new track beyond



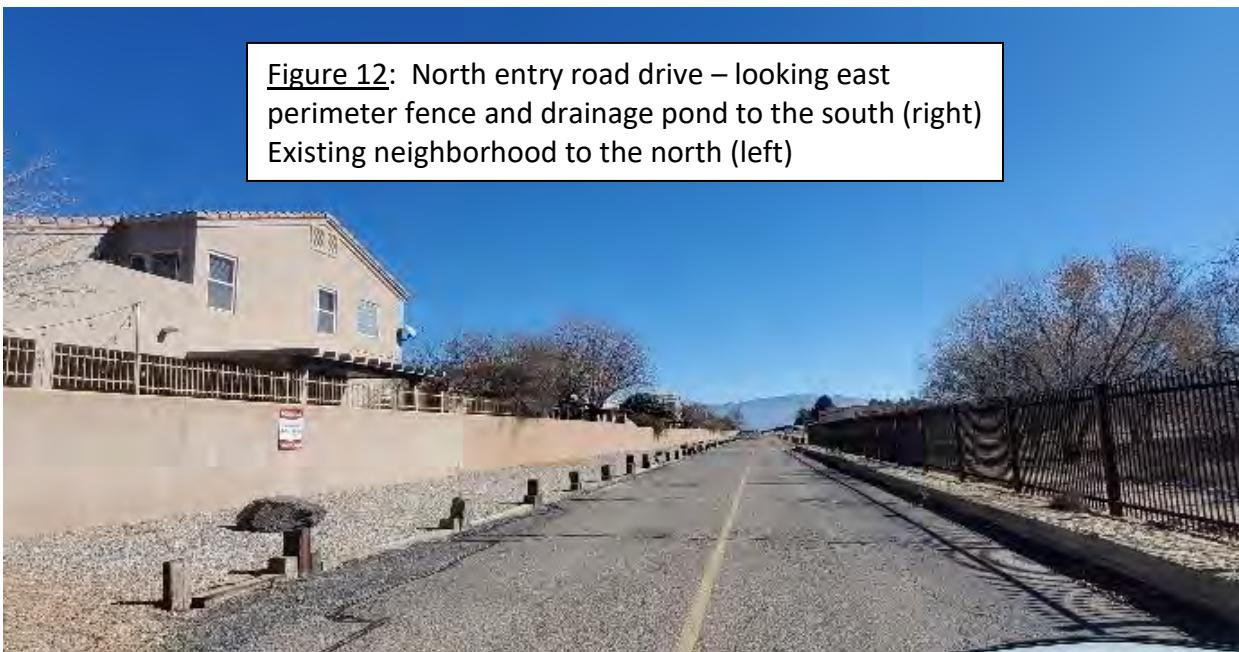




Figure 13: North dirt parking lot – looking south towards location of new track/football complex



Figure 14: Existing track – looking south



B) HISTORY

City of Albuquerque  
Planning Department  
Planning Division  
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: November 25, 1986

NOTIFICATION OF DECISION

Archdiocese of Santa Fe  
St. Joseph's Place, N.W.  
Albuquerque, NM 87102

File: Z-1455-1

Location: East of Coors, between St. Joseph's Place  
and Miller Drive containing 57.91 acres (G-17)

On November 20, 1986, the Environmental Planning Commission voted to approve your request for a Site Development Plan Amendment, for an unplatted tract of land within the University of Albuquerque Sector Development Plan zoned SU-1 for a Planned Development Area, based on the following:

Findings:

1. The site development plan is not comprehensive. It does not address all of the portions of the site that will be effected by the proposed development.
2. The building architecture is well done and fits within the existing context.
3. The parking lot landscaping plan does not meet the standards of the Coors Corridor Plan.

Conditions:

1. All concerns of the Traffic Engineer shall be met including all right-of-way dedications and easements.
2. A sidewalk will be required from Coors to the parking lot along St. Joseph's Drive.
3. Distribution of the trees in the parking lot shall conform with the Coors Corridor Plan.
4. Phasing of the entire site shall be delineated on the site plan. Phase I as presented, Phase II as presented, the balance of the site will be Phase III.
5. Provision for refuse to the satisfaction of Staff shall be provided.
6. As the additional phases are brought before the Commission, the requirement for a north/south connector must be satisfied.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY DECEMBER 5, 1986, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,



Phil Garcia  
City Planner

PG/DC/vb

cc: Mr. David Cook, 301 Gold, S.W., 87102  
Bob McCabe, 2155 Louisiana, N.E., 87110  
The Boeing Partnership, Inc, 301 Gold, S.W., Suite 204, 87102

(5699L-13)

City of Albuquerque  
Planning Department  
Planning Division  
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: November 25, 1986

NOTIFICATION OF DECISION

Archdiocese of Santa Fe  
St. Joseph's Place, N.W.  
Albuquerque, NM 87102

File: Z-1455-1

Location: East of Coors, between St. Joseph's Place  
and Miller Drive containing 57.91 acres (G-11)

On November 20, 1986, the Environmental Planning Commission voted to approve your request for a Site Development Plan Amendment, for an unplatated tract of land within the University of Albuquerque Sector Development Plan zoned SU-1 for a Planned Development Area, based on the following:

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Sincerely,

  
Dennis J. Garcia  
City Planner

PG/DC/vb  
cc: Mr. David Cook, 101 Gold, S.W., 87102  
Bob McCabe, 2155 Louisiana, N.E., 87110  
The Boenning Partnership, Inc. 101 Gold, S.W., Suite 104, 87102

(5699L-13)

### **(3) Flag Poles**

**U of A Sector Plan  
Parcel III  
Zoned SU-1 for  
Mixed Use**

U of A Sector Plan  
Part IV  
Zoned SU-1 for PDA  
(Educational)

156'  
**FUTURE ROW** → **23' RIGHT TURN LANE**

- 23° RIGHT TURN LANE

PONDING AREA  
SEE DRAINAGE PLAN

**PHASE III: 2-STANDARD  
6' CURB & GUTTER,  
32' OF PERMANENT PAVING  
AND 1-4' CONCRETE SIDEWALK  
ALONG MILLER DRIVE**

**TRACT B  
ZONED SU-3**

PHASE III: RIGHT TURN LANE  
ONLY @ MILLER DRIVE

**ENLARGED PLAN-  
COORS/ST. JOSEPHS DRIVE INTER.**

ZONED SU-3  
SP-82-8

Blau NW

18' DEDICATED ROW  
(DOORS | CORRIDOR  
PLAN)

See Enlarged Plan  
This Sheet  
for This Area

24

ZONE 6  
100-100

# OVERALL SITE DEVELOPMENT PLAN

SCALE 1"=100'  
PHASE II & III REQUIRE FUTURE SITE PLAN APPROVAL.

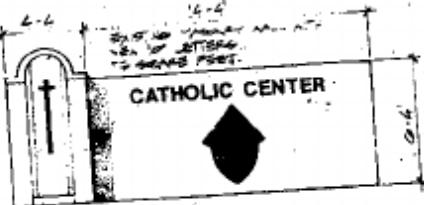
2-1455-1

8 of 5

## LEGAL DESCRIPTION

13 NORTH, RANGE 2 EAST, N.M.P.M., WITH THE TOWN OF ALBUQUERQUE GRANT, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR A TRACT AT THE CLOSING ON THE NORTH BOUNDARY OF THE TOWN OF ALBUQUERQUE GRANT (THREE SECTIONS 35 AND 36), TOWNSHIP 13 NORTH, RANGE 2 EAST N.M.P.M., AND RUNNING THENCE WEST ALONG SAID NORTH BOUNDARY OF SAID GRANT 900.44 FEET TO A POINT, THENCE LEAVING SAID GRANT BOUNDARY AND RUNNING SOUTH 906.81 FEET TO A POINT, THENCE RUNNING 5.89'54" W., 320.11 FEET TO THE NORTHEAST AND BEGINNING CORNER NO. 1 OF THE TRACT HEREIN SET FORTH, AND RUNNING THENCE 515'08" E., 1118.27 FEET TO A POINT AND THE IDENTICAL CORNER NO. 2 OF THE TRACT SET FORTH, THENCE 500'05" W., 420.11 FEET TO THE SOUTHEAST CORNER NO. 3 OF THE TRACT SET FORTH; THENCE N 1726.16 FEET TO THE SOUTHWEST CORNER NO. 4 OF THE TRACT SET FORTH, A POINT ON THE EASTERNLY RIGHT-OF-WAY LINE OF COORS BOULEVARD NW, THENCE N 0°05' E., 1600.00 FEET ALONG SAID EASTERNLY RIGHT-OF-WAY LINE OF COORS BOULEVARD NW TO THE NORTHEAST CORNER NO. 5 OF THE TRACT HEREIN SET FORTH; THENCE N 95'54" W., 1496.80 FEET TO THE NORTHEAST CORNER NO. 1 OF SAID TRACT AND THE PLACE OF BEGINNING, CONTAINING EIGHTY-SEVEN HUNDRED AND TEN THOUSANDS (87,910) ACRES, MORE OR LESS.



## SIGNAGE ELEVATION

TYPICAL EACH SIDE

ZONED SU-3  
SP-82-8

CASE NUMBER 2-1455-1

APPROVALS

I CERTIFY THAT THIS AREA IS ZONED SU-3 FOR A PLANNED DEVELOPMENT AREA (HIGH SCHOOL) AND THAT THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE EPC ON SEPTEMBER 26, 1986, AND THAT THE FINDINGS IN THE OFFICIAL NOTICE HAVE BEEN COMPLIED WITH.

+ Good Class

6/19/87

Ruth Trapp

DATE

Traffic Director

6-17-87

Good Virgin

DATE

James Davis

3-10-87

Traffic Director

DATE

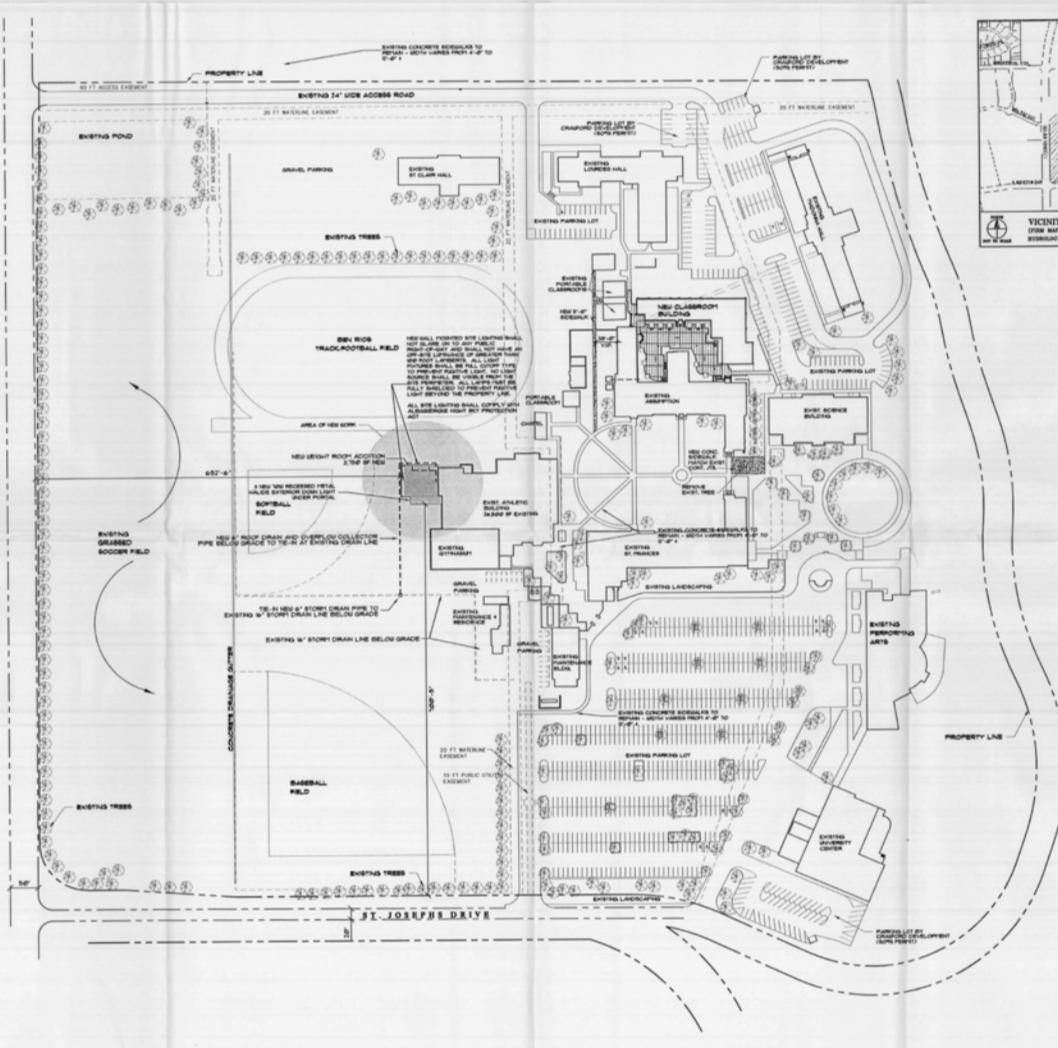
Hector M. Lopez Jr.

6-17-87

Traffic Director







**BUILDING DATA**  
**ZONE ATLAS/DRAWING FILE: G-1 / D-140**  
**CASE DESCRIPTION NUMBER: 2-1453-1**  
**PROJECT: ST. JOSEPH CHURCH ADDITION**  
**OWNER: ARCH-DIOCESE OF SANTA FE**  
**ARCHITECT: GARDNER VERN ARCHITECTS**  
**LEGAL DESCRIPTION:**  
**TRACT A-1 / ARCHDIOCESE OF SANTA FE**  
**ADDRESS: 830 ST JOSEPH DR NW**  
**ZONING ATLAS MAP: A-12-1 & B-12-2**  
**ZONING CLASSIFICATION: M-1**  
**STRUCTURE: 1-1 / 1-2 / 1-3 / 1-4 / 1-5 / 1-6  
 COMMERCIAL AND RESIDENTIAL**  
**BUILDING USE: 1-1 / EDUCATIONAL**  
**CONSTRUCTION TYPE: 1-1R**  
**SEISMIC ZONE: 10**  
**ALLOWABLE AREA: TYPE 1-1R = 10,000 SF**  
**AREA INCREASES: 10,000 SF + 10% = 11,000 SF**  
**GRASS AREA: 100 SF / 100 SF = 1 SF**  
**NEW ADDITION = 7,500 SF**  
**OCCUPANCY GROUP: 4**  
**NUMBER OF FLOORS: 1**  
**OCCUPANT LOAD: EXISTING CLASSROOMS = 1740 SF  
 NEW CLASSROOM = 1000 SF  
 NEW LIBRARY = 1000 SF  
 NEW OFFICES = 1000 SF  
 NEW CLOSET = 100 SF**  
**EXIT REQUIRED: 10' 0" X 348 INCHES**  
**EXIT PROVIDED: 1- EXISTING + 3 NEW ENTRYS**  
**FIXTURES REQUIRED: EXISTING**  
**FIXTURES PROVIDED: 10' 0" X 348 INCHES**  
**PARKING: 10' 0" X 348 INCHES**

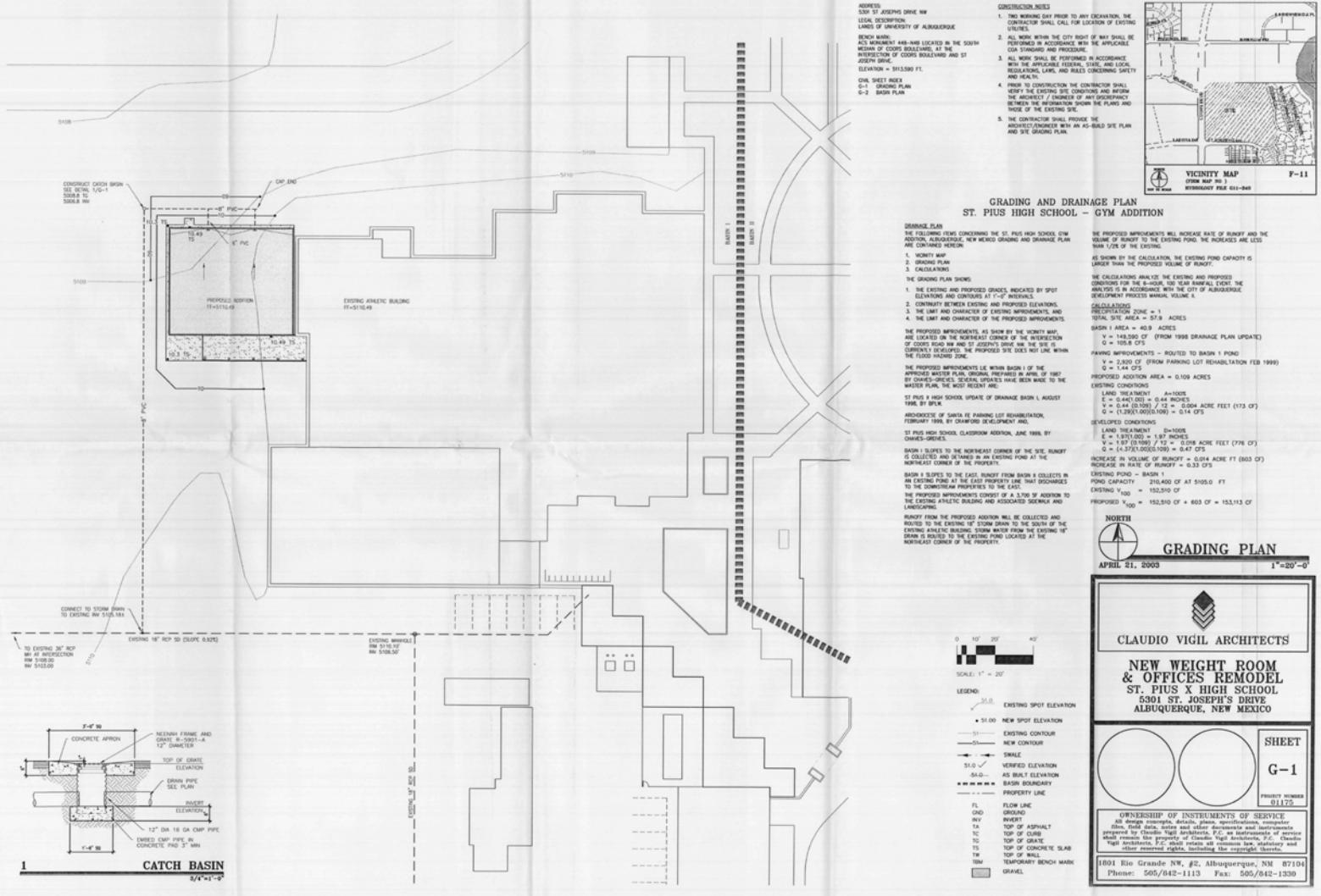
CLAUDIO VIGIL ARCHITECTS

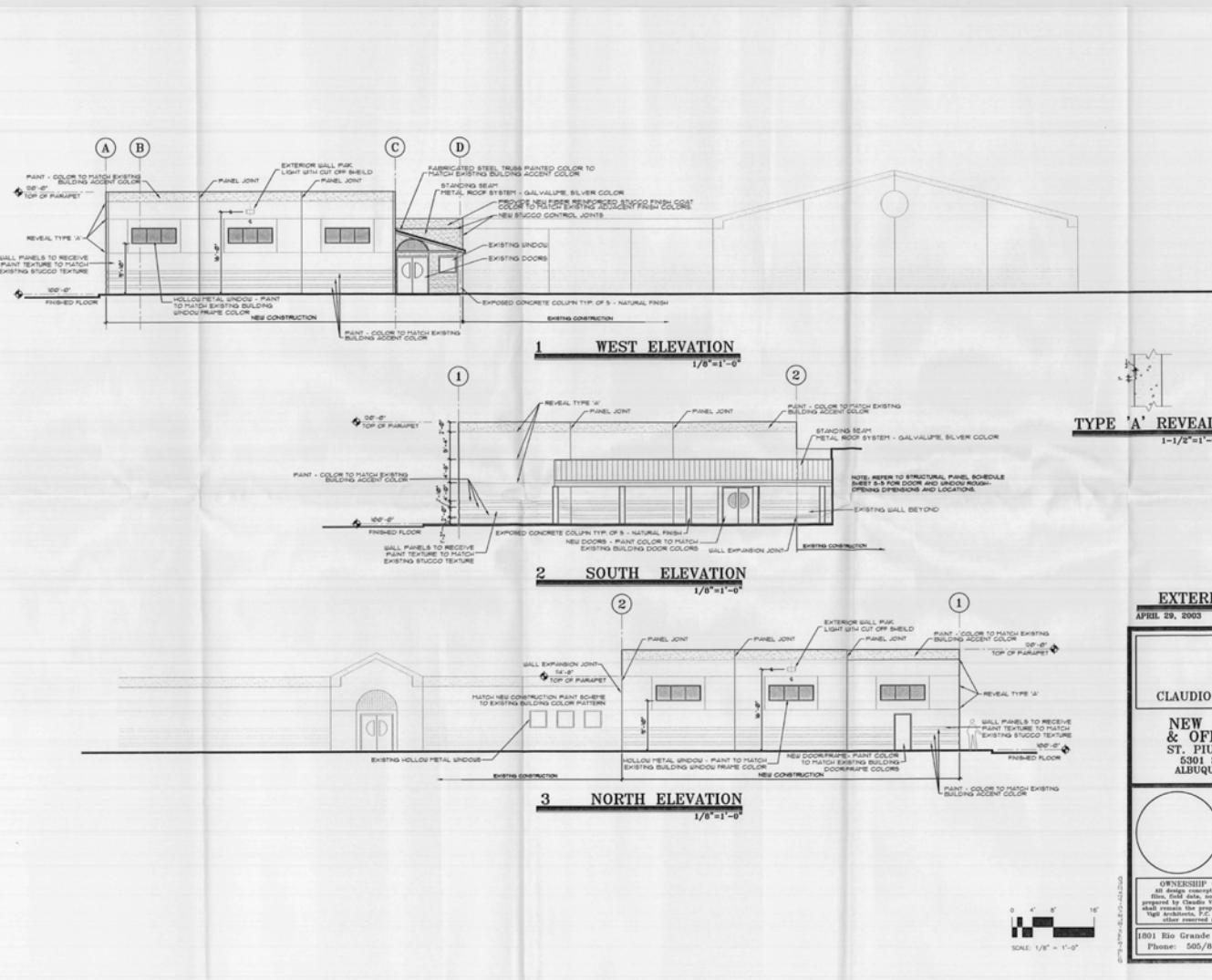
NEW WEIGHT ROOM  
& OFFICES REMODEL  
ST. PIUS X HIGH SCHOOL  
5305 ST. JOSEPH'S DRIVE  
ALBUQUERQUE, NEW MEXICO

SHEET  
SP-1

1395 Tijeras NW Albuquerque, NM 87102-2882  
Phone: 505/842-1113 Fax: 505/842-1339







## EXTERIOR ELEVATIONS

APRIL 22, 2005

SCALE: 1/8" = 1'-0"

Bull. Amer. Math.

CLAUDIO VIGIL ARCHITECTS

NEW WEIGHT ROOM  
& OFFICE REMODEL  
ST. PIUS X HIGH SCHOOL  
6301 ST. JOSEPH'S DRIVE  
ALBUQUERQUE, NEW MEXICO

All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigli Architects, P.C. as instruments of service shall remain the property of Claudio Vigli Architects, P.C. Claudio Vigli Architects, P.C. reserves all rights in law, statutory and other reserved rights, including the copyright thereto.

01 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330

**C) APPLICATION INFORMATION**



# ST. PIUS X SCHOOL

November 10, 2025

City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Property Owner Letter of Authorization – 5301 St Josephs Drive NW

To whom it may concern:

SPX Real Estate Corp (owner) authorizes Consensus Planning, Inc. and Molzen Corbin to act as their agents for all meetings, applications, public hearings, and other formal representation related to the entitlement for the subject property to include the Site Plan amendment for the 56.52-acre property located at 5301 St Josephs Drive NW. The property is legally described as follows:

- *Tract A Plat of Oxbow Subdivision containing 56.5232 acres*

Sincerely,

Name John A. Menicucci

Signature John A. Menicucci

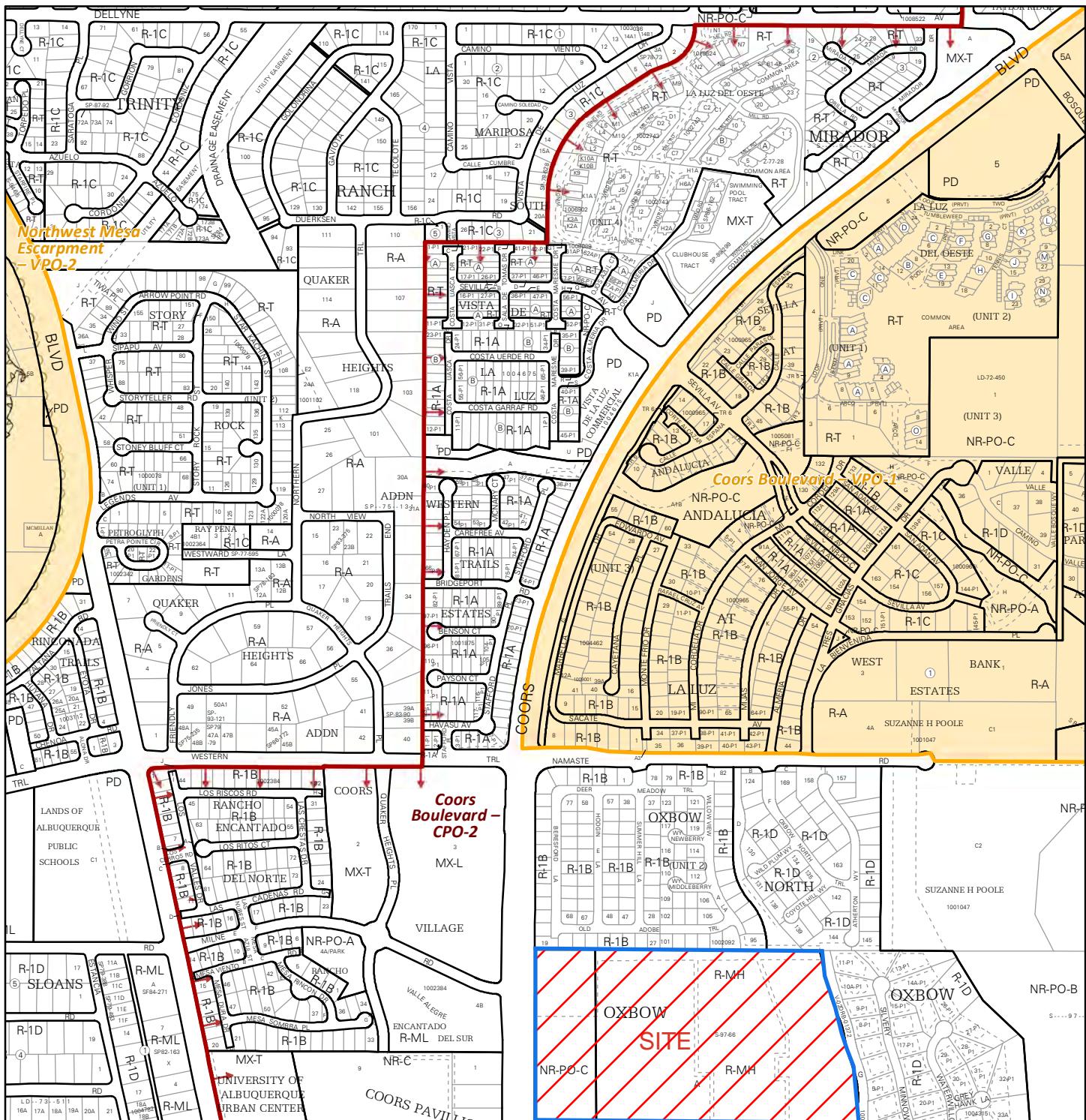
Position Sec/Treasurer - St. Pius X Real Estate Corp.

Date 11/18/2025

Mailing Address - j am ebergerbriggs.com

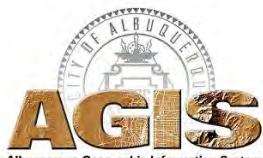
505-379-7083

4333 Pan American Freeway NE  
Albuquerque, NM 87110



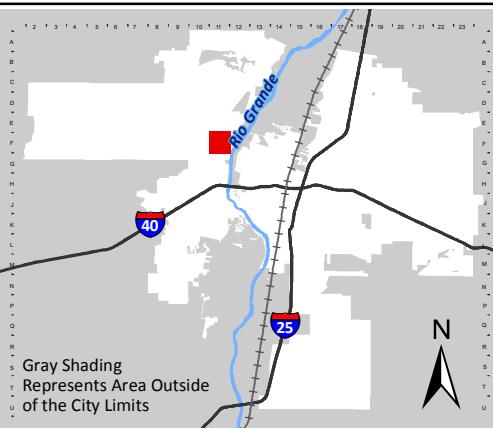
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**F-11-Z**

----- Easement      V V Escarpment

○○○ Petroglyph National Monument

Areas Outside of City Limits

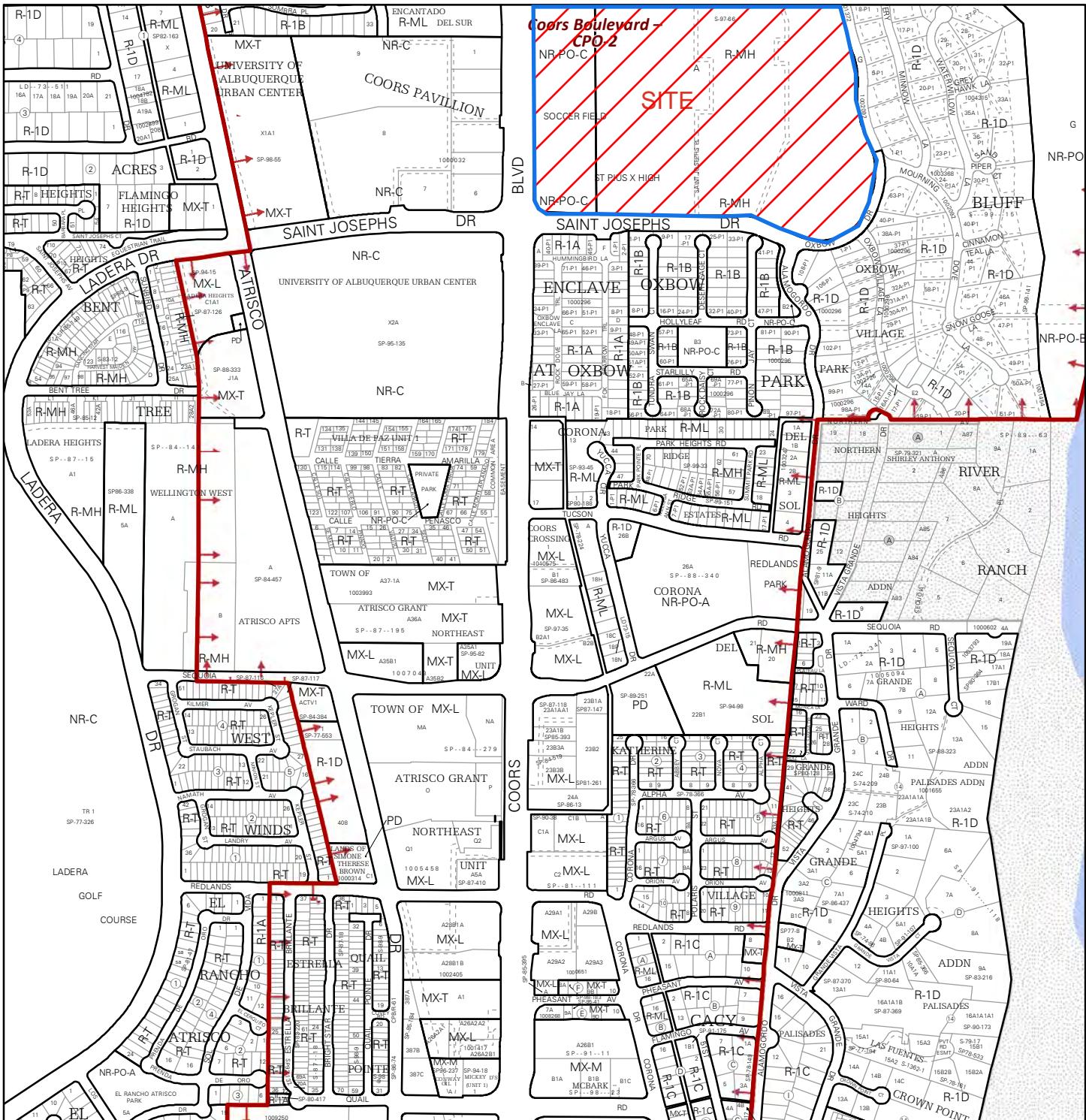
Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

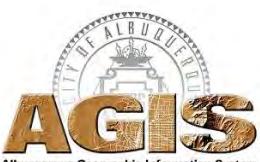
View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



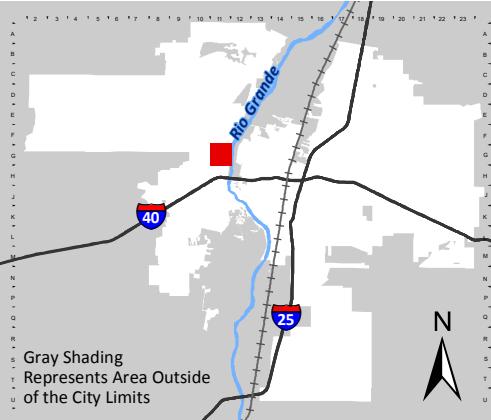
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**G-11-Z**

----- Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



PLANNING

January 28, 2026 (replaces letter dated January 8, 2026)

Mr. Daniel Aragon, Chair  
 Environmental Planning Commission  
 City of Albuquerque  
 600 2<sup>nd</sup> Street NW  
 Albuquerque, NM 87102

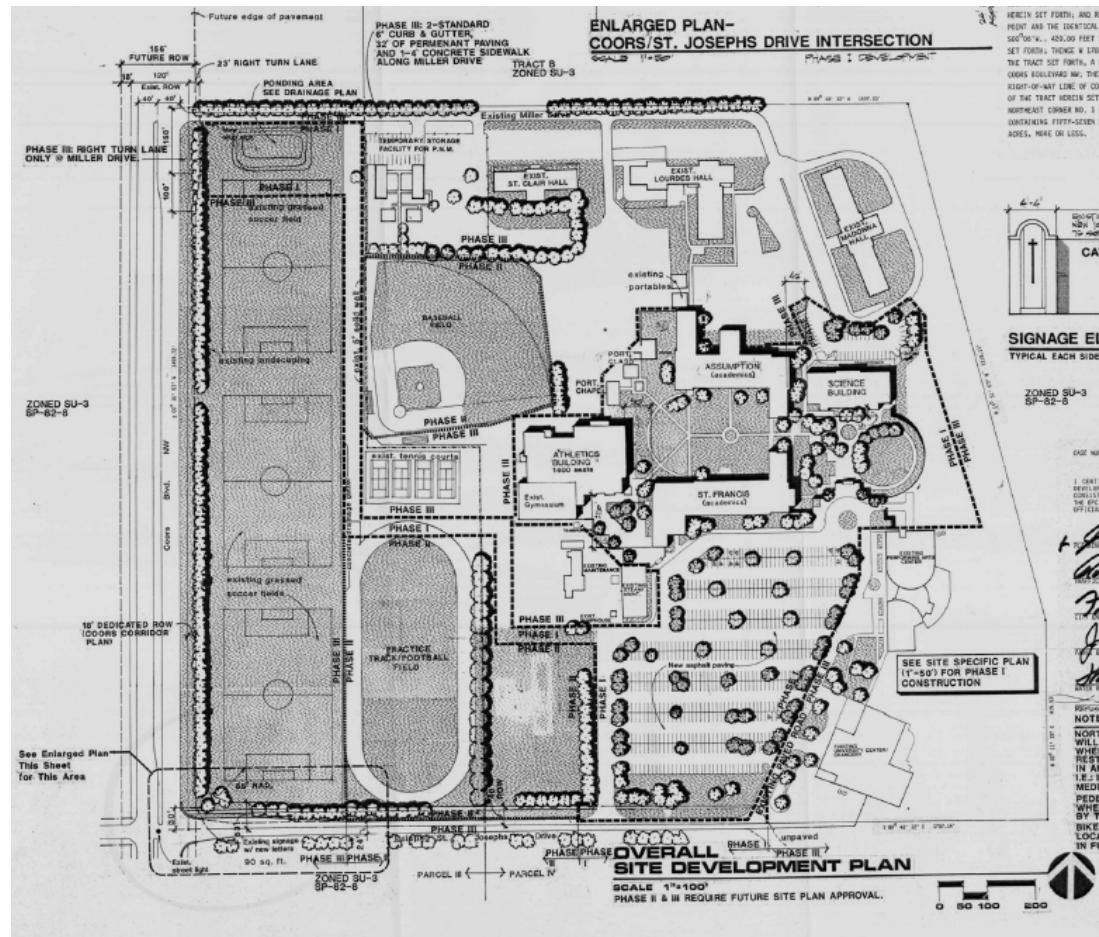
**RE: St. Pius X High School Site Plan-EPC/Major Amendment**

Landscape Architecture  
 Urban Design  
 Planning Services

302 Eighth St. NW  
 Albuquerque, NM 87102

(505) 764-9801  
 Fax 842-5495  
 cp@consensusplanning.com  
 www.consensusplanning.com

The purpose of this letter is to request a Major Amendment to the previously approved Site Development Plan (Project #Z-1455-1) to update existing "as-built" conditions and allow proposed improvements related to the athletic facilities for the existing St. Pius X High School. The site is located at 5301 St Josephs Drive NW, at the northeast corner of St Josephs Drive and Coors Boulevard NW. The property is owned by SPX Real Estate Corp. The Site Development Plan for the school was approved by the Environmental Planning Commission (EPC) in November 1986. Since then, there have been six Administrative Amendments to include St. Basil classroom (1999), a freestanding sign (2000), utilities (2003), weight room and offices (2003), flagpoles (2007), and a fence (2009).



**PRINCIPALS**

James K. Strozier, FAICP

**ASSOCIATES**

Ken Romig, PLA, ASLA

*Original Approved Site Plan*



PLANNING

CONSENSUS

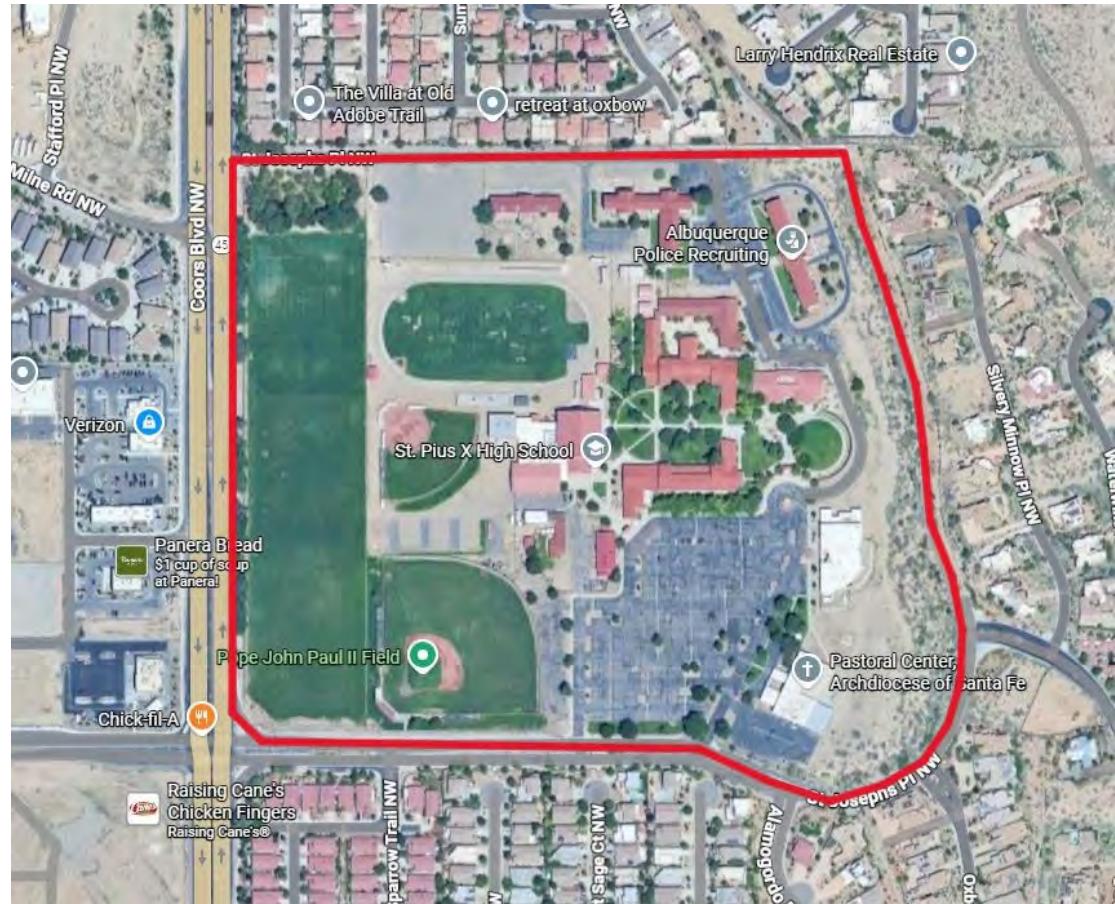
## BACKGROUND

St. Pius X High School has operated on the subject property since 1988 and includes academic buildings, halls, a pastoral center, sports fields, and a gym. St. Pius X High School fields 21 varsity teams under the rules of the New Mexico Activities Association. Middle schoolers joined the campus in the fall of 2024, which increased the number of students using the existing facilities. Because the campus has operated at this site since 1988, several components and facilities are nearing the end of their usable lifespans. There have also been evolving needs, including additional space needs, lighting, parking, and support areas for athletes, teams, and officials.

## EXISTING CONDITIONS

The subject property is approximately 56.52 acres in size, zoned R-MH (Multi-family High Density) and NR-PO-C (Non-City Parks and Open Space), and is located in the West Mesa Community Planning Area. The subject property is located within an Area of Change. The subject property abuts an Area of Change to the West and Areas of Consistency to the north, east, and south.

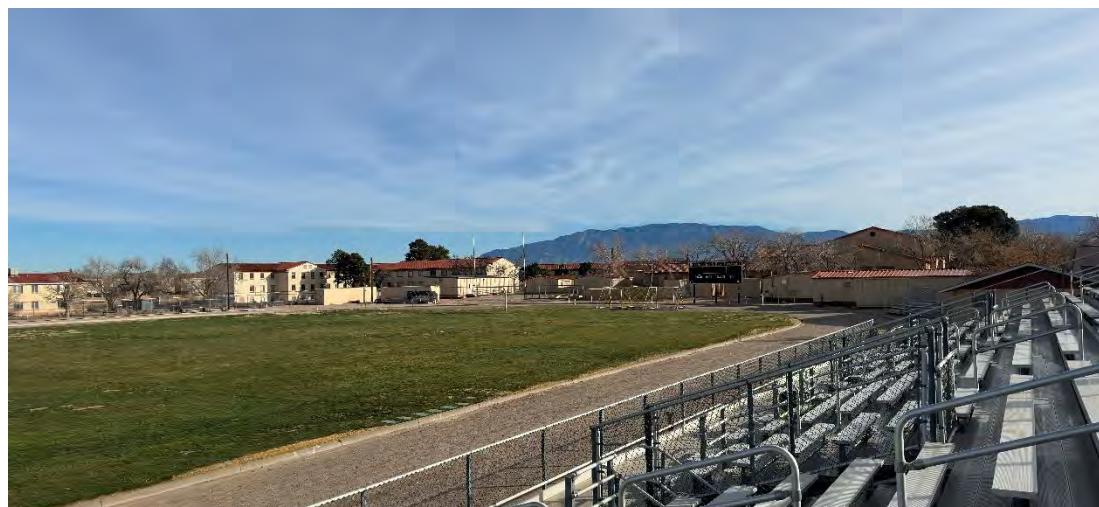
Differences between 1988 approved site plan and existing “as-built” conditions include: Location and orientation of track/football field, and baseball field, inclusion of one softball field, there are three sand volleyball courts instead of four tennis courts, and the addition of St. Basil Hall.



Existing Subject property



*St. Sebastian Gym*



*Ben Rios Field*



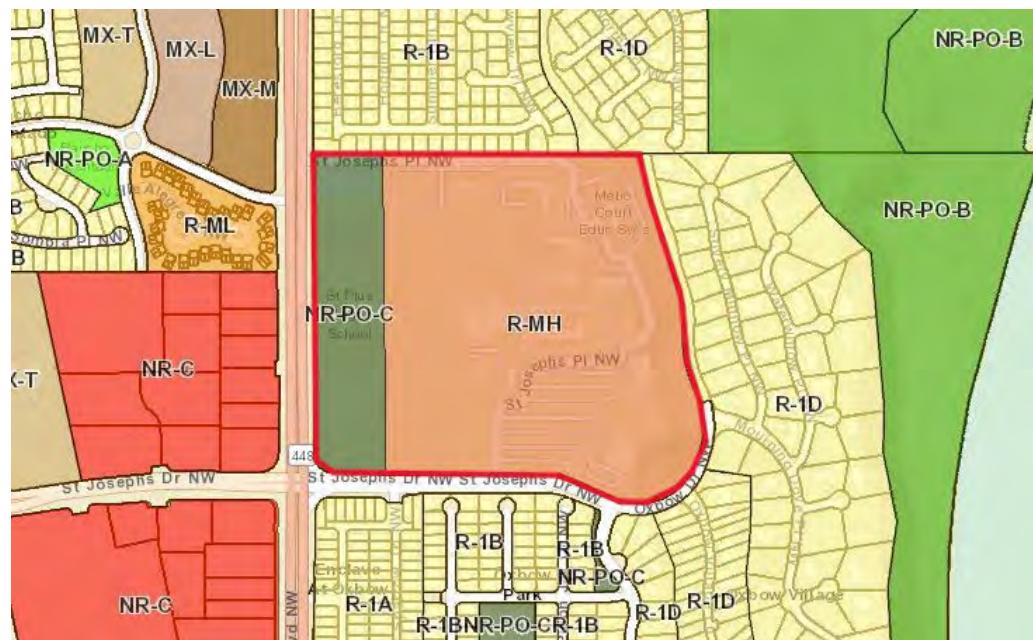
*Softball field*



PLANNING

**TABLE 1: ADJACENT ZONING and LAND USE**

Direction	Zoning	Land Use
North	R-1B, R-1D	Single-family residential, Single-family residential
South	R-1A, R-1B, NR-PO-C, R-1D	Single-family residential
East	R-1D	Single-family residential
West	NR-C, R-ML, MX-M	Multi-family residential, Office, Commercial retail, Vacant



*Zoning*



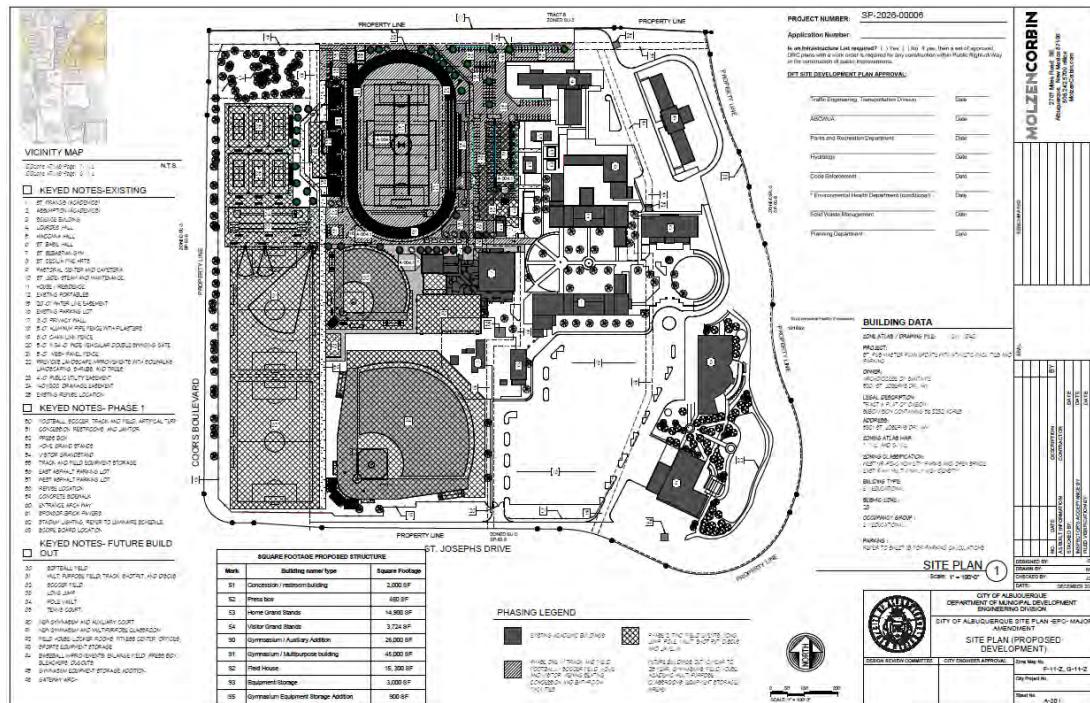
*Land Use*



## PROPOSED AMENDMENTS

This major amendment revises the site plan to show the as-built conditions and includes proposed phased changes to the athletics facilities on the western portion of the site. The following changes are detailed below:

- Phase One (*Yellow*): Track and Field, Football/Soccer Field, Home and Visitor Viewing Seating, Concession and Bathroom Facilities, and Stadium Lighting.
- Phase Two (*Blue*): Field Events; Long Jump, Pole Vault, Shot Put, Discus, and Javelin. Future Build Out 10 Year To 25 Years: Gymnasium, Field House, Academic Multi-Purpose Classrooms, and Equipment Storage Areas.



### *Proposed amendments with phasing*

<b>Applicable Standards</b>	
Overlay Zones	IDO 14-16-3-4 – Coor Boulevard - CPO-2
Allowable Uses	IDO Table 4-2-1 Site Plan – Building Data (Building Type and Occupancy Group)
Use-specific Standards	Site Plan, IDO-14-16-4-3(C)(3), and IDO-14-16-4-3(C)(7)(c)
Dimensional Standards Tables and Exceptions	Site Plan – Sheet A-001, Sheet A-004 (Elevations), and IDO-14-16-5-1
Site Design and Sensitive Lands	IDO 14-16-5-2(C)(2)(d) Large stands of mature trees and IDO 14-16-5-2(C)(2)(h) Steep slopes and escarpments
Access and Connectivity	Site Plan – Sheet 1B (Streets, Parking, Loading, and Circulation)
Subdivision of Land	Site Plan/Plat



Parking and Loading	Site Plan – Sheet 1B (Streets, Parking, Loading, and Circulation)
Landscaping, Buffering, and Screening	Site Plan – Sheet A-001, Sheet A-005, Sheet L-100, and IDO 14-16-5-6
Walls and Fences	Site Plan and IDO 14-16-5-7
Outdoor and Site Lighting	IDO 14-16-5-8 and Lighting sheet
Building Design	Site Plan – Sheet A-004 (Elevations)
Signs	Site Plan and IDO 14-16-5-12
Operation and Maintenance	Owned and maintained by property owner

## **SITE PLAN – EPC JUSTIFICATION**

The following narrative explains how the Applicant's request for an Amendment to the Site Plan-EPC complies with the criteria outlined in IDO Section 14-16-6-6(I)(3) as follows:

**6-6(I)(3)(a)** The Site Plan is consistent with the ABC Comp Plan, as amended.

***Applicant Response:*** *The Site Plan is consistent with the ABC Comp Plan by furthering the following Goals and Policies:*

**Goal 4.1 Character:** Enhance, protect, and preserve distinct communities.

***Applicant Response:*** *The proposed amendment furthers Goal 4.1 because St. Pius X High School is a vital part of the West Side and the greater Albuquerque community. The site has an educational history, having been utilized by the University of Albuquerque since the 1960s. St. Pius X High School has operated at this location since 1988. The proposed amendments aim to enhance the conditions of their athletic facilities, allowing them to better serve their students, staff, and the broader community. These amendments will provide new opportunities for students, convenient practice areas and times, after-sundown play, and support for current and future users. This amendment will serve to enhance St. Pius X community as well as the greater community attending games and events at the site. In addition, upgraded athletic facilities support this goal by providing student athletes with a high-quality environment that promotes teamwork, discipline, leadership, and responsibility—skills that translate directly into positive community involvement. By hosting practices and games on campus, the school reinforces its role as a neighborhood anchor and helps students develop pride, respect, and accountability to the community they represent, strengthening overall community character.*

**Policy 4.1.3 Placemaking:** Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

***Applicant Response:*** *The request furthers Policy 4.1.3 because St. Pius X High School is a special place within the built environment with significant open space and areas for various sports that contribute to the distinct identity and sense of place in the West Mesa area and the greater Albuquerque community. This is reflected in the existing NR-PO-C zoning for the tree-lined fields adjacent to Coors Boulevard. The typical student at St. Pius X participates in Athletics, which contributes to their identity and creates a sense of place for them. In addition, visiting teams, officials, fans, spectators, and family members all come to the site for games and events. The ability for the high school to host home athletic games supports this policy by reinforcing the campus as a*



*community focal point where students, families, and neighbors come together for shared experiences. Improved athletic facilities allow students to compete and celebrate achievements in their own area, strengthening school identity, increasing community pride, and creating a sense of place rooted in local tradition. The proposed amendment protects and enhances the site by maintaining its open-space use and improving facilities to accommodate a variety of sports and users.*

**Goal 5.2: Complete Communities:** Foster communities where residents can live, work, learn, shop, and play together.

**Applicant Response:** *The proposed amendment furthers Goal 5.2 because it contributes to and fosters a community where the residents can live, work, learn, shop, and play together. St. Pius X High School is situated between residential neighborhoods and near recreational and commercial uses. The school, its athletic facilities, and support uses like concession provide opportunities where residents can work, learn, shop, and play together. In addition, educational and athletic facilities together support both "learn" and "play" for the students, recognizing that student development extends beyond the classroom. These improvements strengthen St. Pius as a complete, well-rounded campus that supports academic, physical, and social growth, while reinforcing its role as a community asset that contributes to a healthier, more connected neighborhood.*

**Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.**

**Applicant Response:** *This site is designated as an Area of Change and is adjacent to Areas of Change to the west. This Site Plan Amendment will encourage and direct growth where it is anticipated. At the same time, its consistent and continued use as a school will complement the Areas of Consistency to the north, east, and south of the site.*

**Policy 5.6.2 Area of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.**

**Applicant Response:** *The site is located within an Area of Change, adjacent to the Ladera Activity Center, and the Coors Boulevard Major Transit Corridor. In addition, the site is adjacent to Areas of Change to the west. The proposed amendment to the site plan furthers this policy by directing growth and development where it is encouraged.*

**Goal 10.1 Facilities and Access:** Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

**Applicant Response:** *This request furthers Policy 10.1 because the facilities will cater to the needs of both St. Pius X and visiting students, as well as individual athletes and teams, ultimately improving the efficiency of the facility's operations. Additionally, creating more spaces for various sports provides ample practice areas for athletes, and adding lighting to the athletic facilities will enable extended hours for games and events. A significant portion of the campus is zoned and maintained as open space. This amendment maintains the site's open space areas.*



**Goal 12.2 Community Facilities:** Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

**Applicant Response:** *The proposed amendment furthers this goal because St. Pius X High School has convenient access from I-40 via Coors Boulevard and St. Josephs Drive and is within transit and walking distance of various adjacent communities. In addition, there is a buffered bike lane to the west on Coors, a paved multiple-use trail to the east, and a bike route to the south of subject property. The school has dedicated space for co-curricular activities and events that serve students, fans, spectators, and family members. Students come from all areas of metropolitan Albuquerque. St. Pius fields 21 varsity teams and aspires to adequately accommodate the middle school grades, individual athletes, and teams. Adequate facilities and lighting will enable events to be held throughout the evening and provide more practice space, allowing all athletes to practice without needing to wait or return to campus in shifts, as is the current method of operation. This will increase participation opportunities for a wider range of students and teams, reduce travel and waiting times, and ultimately improve their quality of life and foster greater community involvement.*

**Policy 12.2.2 Existing Facilities:** Maintain and improve existing community facilities to better and more equitably serve the community.

**Applicant Response:** *The existing athletic facilities serve students, staff, visiting schools, and the greater community through games and events. Several of these facilities have been in use since the site was owned by the University of Albuquerque. This amendment seeks to upgrade these facilities, which are nearing the end of their usable lifespan. Thus, it furthers this policy by maintaining and improving this community facility to better and more equitably serve the community. These amendments will ensure more space for practice and games, better accommodate visiting teams, and introduce new programming for football and track-and-field events. By upgrading on-site athletic facilities, the school can host more localized events, reducing the need for students, families, and teams to travel across town for games and practices. This lessens drive times, reduces vehicle miles traveled, and improves convenience for families while making better use of existing infrastructure. In this way, the improvements support more efficient facility use and contribute to a more sustainable and connected community.*

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

**Applicant Response:** *The site is not located in a previously approved NR-SU or PD zoning district.*

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant Response:** *The current Site Plan was approved by the EPC prior to the adoption of the IDO. The amended Site Plan reflects as-built conditions and the*



*proposed phased amendments to the athletics facilities and complies with the IDO zoning and other applicable provisions, the DPM, other adopted City regulations, and the EPC conditions of approval from 1986 that were specifically applied to the development of St. Pius X High School.*

**6-6(I)(3)(d)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

**Applicant Response:** *The City's existing infrastructure and public improvements have adequate capacity to serve St. Pius X High School. The proposed amendments are internal to the site and are similar to what already occurs on the site. The proposed amendments will not have any significant impacts on existing infrastructure.*

**6-6(I)(3)(e)** The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

**Applicant Response:** *The application will not have significant adverse impacts on the project site at St. Pius X High School. The proposed amendments are similar to what currently exists on the site. The facilities will improve the programming available to students, staff, and visiting schools. Proposed lighting will be shielded, directional, and comply with IDO Section 14-16-5-8, thus mitigating any impacts to the surrounding area. The signaled intersection at Coors and St Josephs will help with traffic flow in and out of the project site. There are expectations that, at some point, there will be amplified sound. The intent is to use a single-source speaker arrangement mounted on the scoreboard at the north end of the stadium. This will project the sound away from the nearest neighbors. There is also the possibility of adding trees along the north property edge.*

6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**Applicant Response:** *The subject property is not within an approved Master Development Plan.*

6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

**Applicant Response:** *The subject property is not within the Railroad and Spur Small Area (Subsection 5-2(E)(1)(a).*



**6-6(I)(3)(h)** If an outdoor or site lighting performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

**Applicant Response:** No outdoor or site lighting performance analysis has been requested. However, the project team is prepared to demonstrate that the proposed lighting design will not adversely affect adjacent properties and meet the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

Section 5-2(E)(2)(a)2 states:

*"Locating, designing, and orienting site lighting to be compatible with residential uses within 660 feet in any direction of the subject property."*

**Applicant Response:** *The purpose of the lighting at the rebuilt SPX stadium is to light both the field for football and soccer events as well as the track. The initial layout shown leverages 4 90' poles for efficiency. The control system for these light fixtures allows the owner to run at lower levels for evening practice and maintenance operations to save money and prolong the life of the components. The lighting calculation provided utilizes the current fixture offering from NGU/Cooper lighting. It is anticipated that if fundraising allows for construction later in 2026 that new next generation fixtures will be available with even tighter control of light spillage. Light bleed to the East, West, and South stays within the confines of the SPX campus. Light bleed to the North is less than a footcandle as currently shown at the base of the solid 8' high wall that separates campus from the adjacent neighborhood. Additionally, there will be trees planted on the north side of the stadium that will further mitigate light bleed to the north.*

*Current league games usually begin at 7 pm and last for approximately three hours, typically concluding by 10 pm, unless there is overtime. According to city ordinance, sports lights must be turned off within one hour after the end of play. Additionally, the New Mexico Night Sky Protection Act (NSPA) sets an 11 pm cutoff unless an event is still ongoing. The Applicant will follow both the city ordinance and the NM NSPA.*

### TRIBAL NOTIFICATION

A portion of the subject site falls within 660 feet of the Rio Grande, which is classified as Major Public Open Space. Per IDO section 14-16-6-4(B), an offer for a pre-submittal Tribal meeting is required to be made by the applicant if the subject property is within 660 feet of Major Public Open Space (including the Petroglyph National Monument) or tribal land. To process the Archaeological Certificate application (one of the requirements for sites 5+ acres), all New Mexico Tribes and Leaders were notified via email and certified mail (for representatives with no email on file). The list of representatives to be notified was provided by City Planning staff. We received an email from San Felipe Pueblo requesting additional information about the project, and we responded. No meeting requests have been made at this time.

### CONCLUSION

On behalf of SPX Real Estate Corp, we request that the Environmental Planning Commission approve this request for the Major Amendment to the Site Development Plan-EPC to allow improvements to the athletic facilities within the existing St. Pius X High School. The project will improve aging facilities and provide the space needed for athletes and staff to practice,



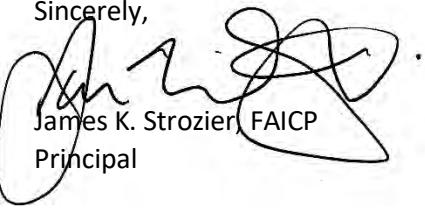
PLANNING

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play, and conduct physical education classes. The amendments are within the campus, have been designed to mitigate potential impacts, and are consistent with the IDO regulations.

Thank you for your consideration.

Sincerely,

  
James K. Strozier, FAICP  
Principal

# Memorandum

**To:** City of Albuquerque Planning Department

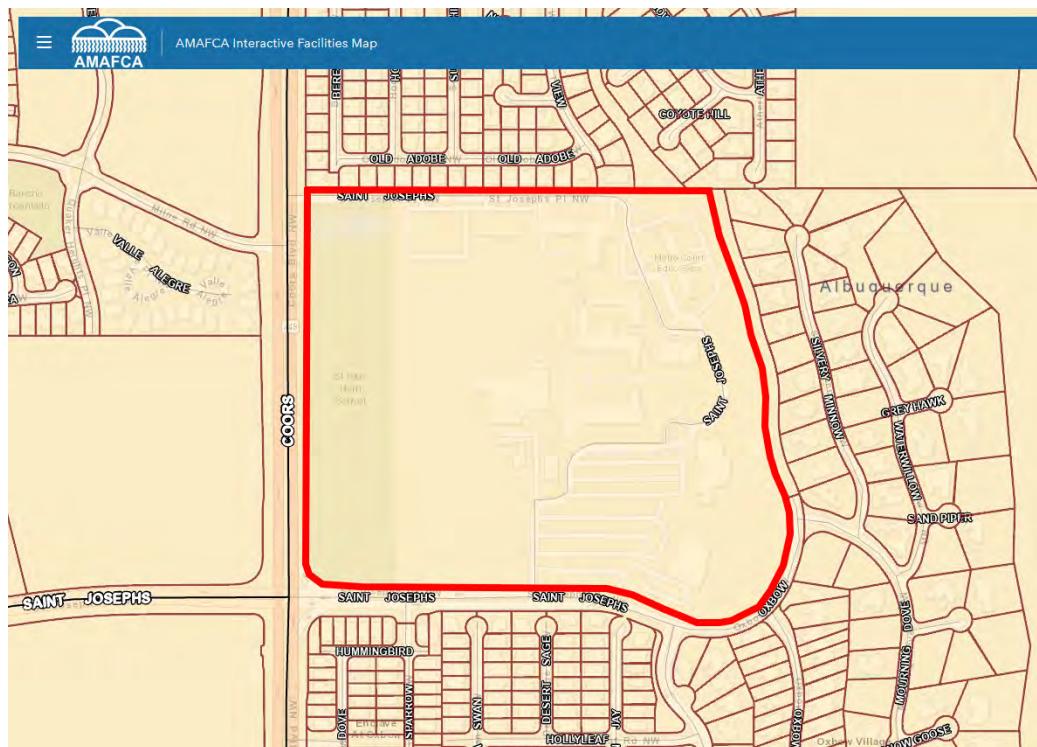
**From:** Jim Strozier, Consensus Planning, Inc.

**Date:** 1/5/2026

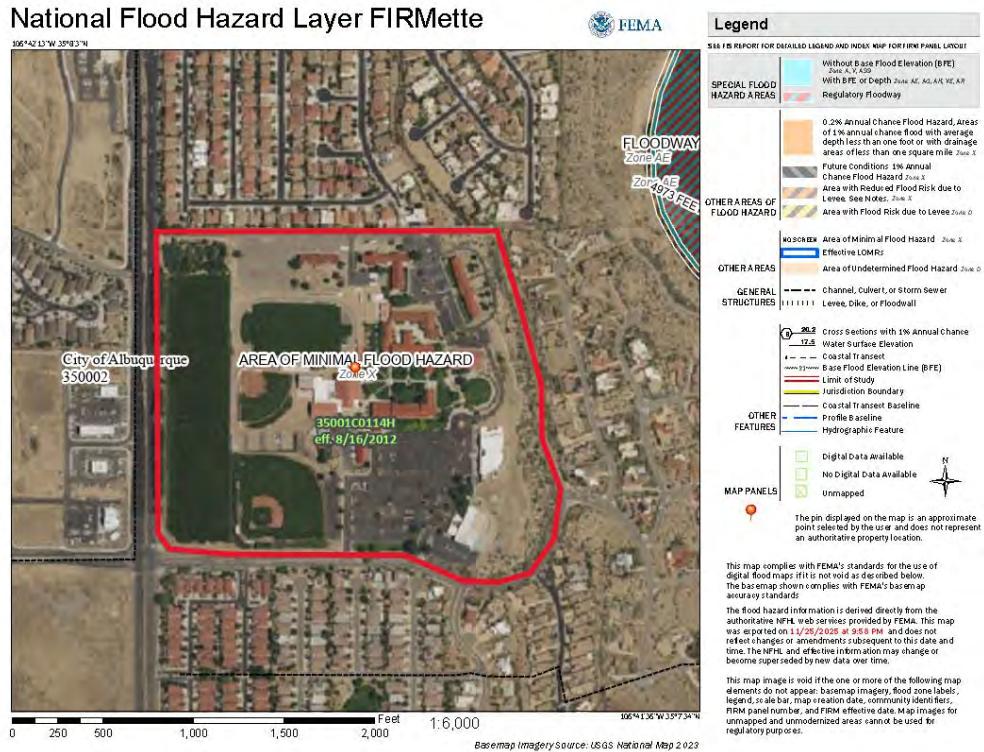
**Re:** Sensitive Lands Analysis for St. Pius X High School Site Plan Amendment

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject property is legally described as *Tract A Plat of Oxbow Subdivision containing 56.5232 acres*. The site is currently developed and operating as St. Pius X High School campus. We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands.

- 1. Arroyos:** Using data provided by AMAFCA Interactive Facilities Map, there are no arroyos or drainage facilities located on the site. The image below shows the subject site outlined in red.



- 2. Floodplains and Special Flood Hazard Areas:** FEMA's National Flood Hazard Layer Mapping shows the subject site is within an unshaded Flood Zone X. Unshaded Flood Zone X is described as an area of minimal flooding. Unshaded Flood Zone X is outside of the 500-year flood and protected by levees from the 100-year flood. The map below depicts the subject site outlined in red.



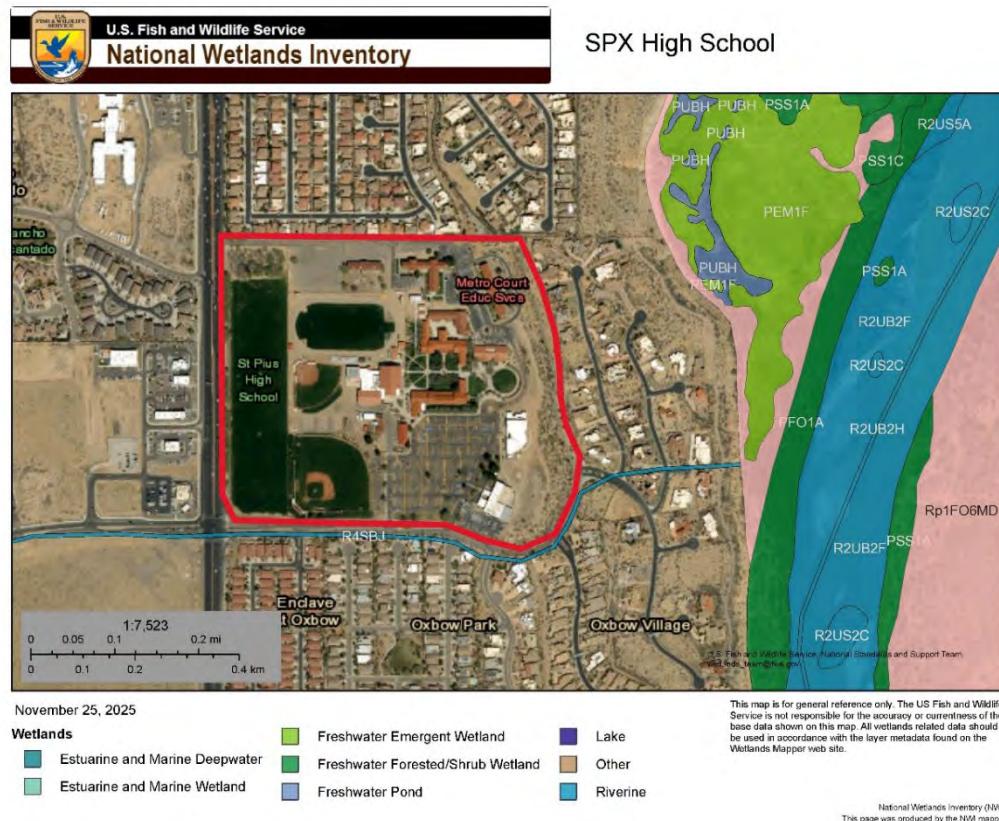
3. **Irrigation facilities (acequias):** There are no irrigation facilities or acequias on the site. The image below shows the subject site outlined in blue. Data provided by MRGCD Data Viewer confirms that a portion of the eastern edge of the subject property (*see orange line*) is within the MRGCD's jurisdiction. However, the proposed amendment relates to the athletic facilities on the western portion of the subject property, outside of the MRGCD's jurisdiction.



4. **Large stands of mature trees:** Large stands of trees exist on the western edge of the subject property (within the NMDOT Right-of-Way) and in the northwest corner. There are no large stands of mature trees in the sections in the amendment area. The images below are along Coors Boulevard. The trees are not going to be impacted by the amendments.



5. Riparian areas: Data provided by the National Wetlands Inventory shows the subject site (*marked red*) is not within a riparian area.



6. Rock outcroppings: There are no rock outcroppings on the subject site.
7. Significant archaeological sites: The subject site has been analyzed by the City of Albuquerque staff archaeologist and has been awarded a certificate of no effect.
8. Steep slopes and escarpments: The 2-foot contour layer provided by the Advanced Map Viewer indicates that majority of the subject site has limited slopes and is relatively flat. The map below depicts the subject site outlined in red. The slightly steep slopes on the eastern edge of the property are fenced off, improved with native landscaping, and maintained as open space.



View of existing open space/steep slope



View looking north of open space with open space slope to the west

9. Wetlands: Data provided by the National Wetlands Inventory shows the subject site is not within a wetland area (*see map in number 5*).



**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
Alan Varela, Interim Director

**DATE:** December 22, 2025

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2022-007193, AC-2025-00025  
**Agent:** Consensus Planning, Inc  
**Applicant:** SPX Real Estate Corp  
**Legal Description:** Tract A Plat of Oxbow Subdivision  
**Zoning:** NR-PO-C & R-MH  
**Acreage:** 56.5232 acres  
**Zone Atlas Page(s):** F-11-Z & G-11-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth Images, ARMS/NMCRIS Records

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

The property has been developed as part of a Catholic university and then high school since at least 1949. Structures, fields, and parking lots have been present on this part of the property since prior to 1967.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

+

**SUBMITTED BY:**

12-22-2025

Douglas H. M. Boggess, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

**SUBMITTED TO:**

Planning, Development Services



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 05/2024)

**Project Title:** St. Pius Site Plan Amendment

Zone Atlas Page: F-11-Z & G-11-Z DFT/DHO #: \_\_\_\_\_ BP #: \_\_\_\_\_

Development Street Address: 5301 St Josephs Dr NW Albuquerque NM 87102

(If no City Address include a Vicinity Map with site highlighted and legible street names)

**Applicant:** Agent: Consensus Planning on behalf of SPX Real Estate Corp Contact: Jim Strozier

Address: 302 8th Street NW 87102

Phone#: 505-764-9801 E-mail: cp@consensusplanning.com

### Development Information

Build out/Implementation Year: 2030

Existing Use: High School

Describe Proposed Development and Uses:

High school/Middle School Athletic Facility Improvements including installation of new football field, and a soccer, baseball, softball and track & field redesign.

Days and Hours of Operation (if known): 7:30am-6:30pm

### Facility

Building Size (sq. ft.): Existing structures: 259,286 sq.ft, Proposed structures (athletic facilities): 111,274 sq.ft

Number of Residential Units: N/A

Number of Commercial Units: N/A

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known): \*850 (Existing) , No increase will result from this project

Expected Number of Employees (if known): \*210 (Existing) , No increase will result from this project

Expected Number of Delivery Trucks/Buses per Day (if known): \*Two buses, Twice per day & 5 Deliveries

Trip Generations during PM/AM Peak Hour and ITE # (if known): \*(Existing) Students: 300 am / 200pm Employees: 1000 am / 700 pm - No increase

Driveway(s) Located on: Street Name N/A

Adjacent Roadway(s) Posted Speed: Street Name Coors Blvd NW Speed 45 mph

Street Name St Josephs Dr NW Speed 25 mph

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.

## Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): **Coors Boulevard Major Transit**  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): **Adjacent to the Ladera Activity Center**  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector): **Regional Principal Arterial**  
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): \_\_\_\_\_

Adjacent Roadway(s):

Name: **Coors Blvd NW** Traffic Volume: **29400** Volume-to-Capacity Ratio (v/c): **8.06**

Name: **St Josephs Dr NW** Traffic Volume: \_\_\_\_\_ Volume-to-Capacity Ratio (v/c): \_\_\_\_\_

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : **155 - Coors** Nearest Transit Stop(s): **Coors @ St Josephs**  
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: **No**

<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : **Existing Buffered Bike Lane on Coors**

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: **Existing sidewalk on St Josephs and Coors**

Sidewalk and buffer width : DPM Table 7.2.29  
Trail on St Josephs

Submit by email to Traffic Engineer Curtis Cherne: [ccherne@cabq.gov](mailto:ccherne@cabq.gov). Email or call 505-924-3986 for information.

**For City Personnel Use:**

### TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

**Traffic Impact Study (TIS) Required: Yes [ ] No [ ]**

Thresholds Met? Yes [ ] No [ ]

Mitigating Reasons for Not Requiring TIS and/or Notes:

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TRAFFIC ENGINEER

---

DATE

## Ayoni Oyenuga

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**From:** Ayoni Oyenuga  
**Sent:** Thursday, January 8, 2026 7:50 AM  
**To:** 'Armijo, Ernest M.'  
**Cc:** Jim Strozier  
**Subject:** RE: Traffic Scoping Form for St. Pius X High School  
**Attachments:** St. Pius TrafficScopingForm.pdf

Good morning Ernest,

Following up on this, thank you.

### Ayoni Oyenuga

Planner II

Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801

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**From:** Ayoni Oyenuga  
**Sent:** Wednesday, January 7, 2026 2:26 PM  
**To:** 'Armijo, Ernest M.' <earmijo@cabq.gov>  
**Cc:** Jim Strozier <cp@consensusplanning.com>  
**Subject:** RE: Traffic Scoping Form for St. Pius X High School

Hello Ernest,

The revised form is attached.

No increase in daily trips is projected from the site plan modifications and additional athletic spaces. The football stadium will see some increase in trips, but that is for off-peak and non-daily events.

Thank you.

### Ayoni Oyenuga

Planner II

Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801

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**From:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>  
**Sent:** Tuesday, January 6, 2026 3:16 PM  
**To:** Ayoni Oyenuga <[oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com)>  
**Cc:** Jim Strozier <[cp@consensusplanning.com](mailto:cp@consensusplanning.com)>  
**Subject:** RE: Traffic Scoping Form for St. Pius X High School

For filing purposes I would say yes, go ahead and revise the form. I can tell right now that a TIS will not be needed.



**ERNEST ARMIJO, P.E., C.F.M.**

principal engineer

transportation

o 505.924.3991

e [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Ayoni Oyenuga <[oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com)>

**Sent:** Tuesday, January 6, 2026 3:10 PM

**To:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>

**Cc:** Jim Strozier <[cp@consensusplanning.com](mailto:cp@consensusplanning.com)>

**Subject:** RE: Traffic Scoping Form for St. Pius X High School

Hello Ernest,

Sorry about that. The team must have accounted for the existing buildings and trips.

The improvements are limited to the athletic facilities, so yes, we will be adding minimal trips to the existing. Do we need to revise the form we sent to you?

**Ayoni Oyenuga**

Planner II

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

(505) 764-9801

---

**From:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>

**Sent:** Tuesday, January 6, 2026 3:00 PM

**To:** Ayoni Oyenuga <[oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com)>

**Cc:** Jim Strozier <[cp@consensusplanning.com](mailto:cp@consensusplanning.com)>

**Subject:** RE: Traffic Scoping Form for St. Pius X High School

Ayoni,

Doing a quick look over of this I have a question. You list a few hundred thousand square feet of building and list hundreds of trips in the AM and PM, but the description only lists improvements to athletic fields. What is the full scope of work? You do not have to account for the existing traffic generated by the existing school and facilities only new traffic generated by new improvements. I suspect that you may be adding minimal trips to the existing.



**ERNEST ARMIJO, P.E., C.F.M.**

principal engineer

transportation

o 505.924.3991

e [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Ayoni Oyenuga <[oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com)>

**Sent:** Tuesday, January 6, 2026 2:51 PM

**To:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>

**Cc:** Jim Strozier <[cp@consensusplanning.com](mailto:cp@consensusplanning.com)>

**Subject:** Traffic Scoping Form for St. Pius X High School

Good afternoon Ernest,

Please see the attached form for your review. The subject property is located at Coors Boulevard and St Josephs Drive NW (see *attached map*).

This project is an amendment to the EPC-approved Site Plan to allow for improvements to the athletic facilities on site. Please let me know if you require any additional information.

Thank you.

**Ayoni Oyenuga**

Planner II

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

(505) 764-9801

**D) STAFF INFORMATION**

## Project Memo

DATE: September 23, 2025

TO: Consensus Planning, & St. Pius High School

FROM: Dustin Kiska, Planner (505)-924-3366

City of Albuquerque Planning Department

RE: Project # SP-2026-00006 Site Plan – EPC – Major Amendment

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We completed an initial review of the proposed Site Plan – EPC. We would like to discuss the justification letter and project. We are available to answer questions about the process and requirements. Please provide the following:

⇒ Revised Justification Letter by: **5PM on Tuesday, January 27, 2026**

Revised Site Plan (electronic) by: **5PM on Tuesday, January 27, 2026**

Note: If you have difficulty with these deadlines, please let me know.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. It is my understanding that the currently approved site plan does not comply with the current IDO, and this request would allow for the proposed changes presented in the revised Site Plan to be in compliance with the current IDO to allow for future development, which is the reason for a Major Amendment.

- C. The request is to propose a Major Amendment to the previously approved Site Development Plan (Project #Z-1455-1) to update existing "as-built" conditions that would facilitate the proposed improvements related to the athletic facilities for the existing St. Pius X High School.

- D. This is what we have for the legal description:

- **Consensus Planning, agent for St. Pius High School requests a Site Plan – EPC – Major Amendment, for all or a portion of Tract A Plat of Oxbow Subdivision, located at 4020 Saint Josephs Pl NW, at the intersection of Coors Blvd. NW and St. Josephs Pl NW, approximately 56.52 acres. Zone Atlas Map (F-11-Z) & (G-11-Z)**

- Is this correct?

- E. It looks to be that Improvements include, expansion of the Baseball Field fencing and constructing larger dugouts. To re-orient the Softball Field, and terminating the sand volleyball courts, terminating one soccer field space and replace with six new Tennis courts, a long jump and high-jump/pole vault runways and pad. As well as terminating the old running track and turf, and constructing a new Track and Field, Football/Soccer/Track Field, with home and visitor viewing seating, concession building and bathroom facilities, with sport lighting. (Is there amplified sound)

- The development is proposed to be constructed in phases with the Track/Football/Soccer Stadium facility to be Phase 1.
- Phase 2, Baseball/Softball field improvements, Tennis Courts and Field events and soccer field improvements.
- New Gymnasium and auxiliary court, new multipurpose classroom, fieldhouse, locker rooms, fitness center buildings, in the 3<sup>rd</sup> phase.

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is **February 19, 2026**. Final staff reports will be available one week prior, on **February 12, 2026**
- C. You will have up to 10 minutes to present after Staff Presentation. The EPC Commissioners have indicated a preference for visuals (ex. PowerPoint) along with your presentation.
- D. Staff will forward agency comments to the applicant by **February 4, 2026**. This will include Tribal Comments. Any comments received by Staff after this date will be updated as soon as possible. Staff will email copies of the comments and forward any late submissions.

3) Public Notification & Neighborhood:

- A. I have verified that the property owners within 100 feet of the subject, as included in your list in the application, appear to be accurate and the notification requirement satisfied.
- B. According to the Office of Neighborhood Coordination (ONC), there are two Neighborhood Associations required to be notified:
  - Vista Grande Neighborhood Association
  - Westside Coalition of Neighborhood Associations
- C. Sign Posting:
  - The Sign will need to be posted on or before 9:00am on – Wednesday, February 4, 2026 and shall be left up until Friday, February 27, 2026.
  - You may come pick up the sign from the Urban, Design and Development Offices at any time, starting Tuesday, January 27, 2026.
  - There will need to be two posted signs on the subject site, one for each street frontage (Coors Blvd NW & St Josephs Dr NW).
  - Please submit photos of the posted sign on or before February 4<sup>th</sup>.

- For more information regarding site posting locations and requirements please see: [https://documents.cabq.gov/planning/online-forms/PublicNotice/Posted\\_Sign\\_Requirement-Instructions.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/Posted_Sign_Requirement-Instructions.pdf)

D. Have you received any comments, either in support of, or against, this request? Please forward any received comments to staff for inclusion in the staff report.

4) Project Letter:

- A. The submitted project letter is off to a good start. We have suggested revisions to responses provided for the review and decision criteria [6-6(I)(3)]
  - Please explain/provide a brief summary of the Site Plan, such as Parking, Landscaping, Lighting, Access and Traffic/Pedestrian Circulation etc. and how they relate to the requirements of the IDO and underlying zone district.
- B. You may view examples of previous Staff Reports on the CABQ EPC webpage [here](#).

5) Site Plan - EPC – §14-16-6-6(I)(3) Review and Decision Criteria

- A. In justifying your request, you must choose applicable goals and policies from the Comprehensive Plan and demonstrate how the request is consistent with each chosen goal and policy.
  - Please be as detailed as possible in your responses, responding to the site plan criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
    - answering the questions in the customary way (see examples).
    - using conclusory statements such as “because\_\_\_\_\_” and “since”.
    - re-phrasing the requirement itself in the response, and
    - choosing an option when needed to respond to a requirement
- B. Responses:
  - **§14-16-6-6(I)(3)(a-h):**
    - As per [§14-16-6-4\(E\)\(4\)](#), the applicant bears the burden of demonstrating compliance with the required standards through analysis, illustrations, or other necessary exhibits. Staff cannot provide a recommendation on this request for a Site Plan - EPC based on the current responses to the decision criteria.
    - General Critique: Adding more and specific details to responses for applicable Goals and Policies, and Site Plan – EPC Review & Decision Criteria will strengthen your justification and provide staff with more information that can be used to make a recommendation.
  - **Criterion A (Goals and Policies) [6-6(I)(3)(a)]**
    - Applicable Goals and Policies from the Comprehensive Plan were listed without citing the narrative from the associated Goal/Policy/Sub-Policy.

- You have provided adequate number of Comprehensive Plan goals and policies. The goal in this request is to show that it is consistent with the Comprehensive Plan, responding to more applicable Goals, Policies and Sub-Policies may reflect improved cohesion between this request and the Comp Plan.
- Goal 4.1 Character
  - i. Consider talking about how student athletes can become better members of the community.
- Policy 4.1.3 Placemaking
  - i. Is this what it means to have a homefield advantage? Expand on this
- Goal 5.2 Complete Communities
  - i. Expand more on 'learn' and 'play' with this response, and how these improvements will foster a better community within St. Pius and the community as a whole.
- Policy 12.2.2 Existing Facilities
  - i. Will this reduce driving times by lessening the need to drive across town?
- 6-6(I)(3)(e)
  - i. Is there amplified sound at the stadium? How many Speakers?
  - ii. What measures are being used to address and mitigate sound and the impacts on the surrounding neighborhood?
- 6-6(I)(3)(h)
  - i. We received the lighting analysis.
  - ii. Is there a light run-time curfew schedule that can be worked out?
  - iii. Are additional tree plantings considered?

#### Site Plan Notes

##### A. Site Plan (Proposed Developments):

- The request is for a Site Plan – EPC – Major Amendment.
  - This is reflected throughout the site plan set title block.
- The Site Plan EPC Plan # needs to be on this case (SP-2026-00006) as well.
- Please remove the court lines in the gymnasium. This can be illustrated in building plans.
- Please provide details for the selected light pole, including pole height and fixture type, number of light units per pole, and any lighting specs that may better explain light output that could affect adjacent properties. (Lighting Analysis was submitted)
- Please add a Keyed note for the scoreboard north of the new field. (Electrical connection, to be illustrated on future Electrical Sheet, see below)

- Please include details, and move to a detail sheet, this can include landscape details, parking, signs, scoreboard.

#### B. Record Drawing

- Is this the controlling site plan? Or is this what was built?
- Move Vicinity Map to first sheet
- Does this need to be titled 'As-Built Site Plan' or 'Existing Facilities Site Plan'?
- Do the Water line easements need to be in color?
- This could be the foundation for a 'Demo Plan' because I see there will be removal of a few existing structures, and earthmoving to make way for future field re-orientation and built environments.

#### C. Original Approved Site Plan

- Was this constructed in 1988 or prior. and the previous sheet was the latest construction?

#### D. Elevations Sheet

- Please add an additional elevation of the proposed building elevations, showing north, east, west, south elevations, with keyed notes.
- Please call out color and material schedule with keyed notes.

#### E. Phase 1 Plan

- This is good. Color may be too much.

#### F. Landscape Masterplan

- Please rename to 'Development Phase Plan' or similar

#### G. Landscape Plan – Phase 1

- Consider removing the 'yellow' color. It can be confusing to what is proposed landscaping. Is the football field proposed to be grass or artificial turf? If grass, is it irrigated?
- Please provide # quantity of plant units proposed to be installed. This can include additional information like gallons of water required per plant, Latin name, etc. but not as important.
- Is there an irrigation plan for the proposed plantings? See below (I.)
- Is there a possibility for additional trees along the north wall, between the wall and the drive path, for additional diffusion of light and sound?

- Please ensure that plant types chosen, satisfy the City Plant Pallet.

H. Parking Circulation/ Loading Sheet

- Parking calculations provided sheet 18.
- Please consider choosing a 'dashed' line-weight for the 'New Multipurpose Building'. It can be confusing being over lapped with the proposed parking lot, or remove it on this sheet.

I. Irrigation Plan?

- Please include an irrigation plan for the proposed landscaping per 5-6(C)(14)

J. Grading and Drainage Sheet

- This is good and can be conceptual.

K. Site Utilities Plan

- Is there an Electrical connection for the proposed scoreboard?



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**INTER-OFFICE MEMORANDUM**

January 13, 2026

TO:

CABQ ENVIRONMENTAL HEALTH – Byron Lueras, Shellie Eaton  
CABQ FIRE DEPARTMENT – Lieutenant Rogelio Rodriguez  
CABQ LEGAL – Andrew Coon  
CABQ METROPOLITAN REDEVELOPMENT AGENCY – Jennifer Jackson, China Osborn  
CABQ MUNICIPAL DEVELOPMENT/TRANSPORTATION PLANNING – Tim Brown,  
Valerie Hermanson, Debbie Bauman  
CABQ NEIGHBORHOOD COORDINATION – Vanessa Baca  
CABQ PARKS & RECREATION  
    CIP MANAGER – Cheryl Somerfeldt  
    CITY FORESTER – Sean O’Neil  
    PARK DESIGN – Hannah Aulick  
    OPEN SPACE PLANNING – James Lewis, Adryana Vialpando  
    TRAILS – Whitney Phelan  
    URBAN FORESTRY – Bonnie Strange  
CABQ PLANNING  
    ENGINEER – Shahab Bazar  
    HISTORIC PRESERVATION – Leslie Naji  
    HYDROLOGY – Tiequan Chen  
    LONG RANGE – Vicente Quevedo, Jordan James  
    TRANSPORTATION DEV. SERVICES – Ernest Armijo  
    ZONING – Angelo Metzgar, Jeffrey Palmer  
CABQ POLICE DEPARTMENT – Laura Kuehn  
CABQ SOLID WASTE – Adrian Marez  
CABQ TRANSIT – Lawrence Kline, Andrew de Garmo  
ABC WATER UTILITY AUTHORITY – David Gutierrez, Eddie Kemp, Galveston Begaye,  
Aryam Hernandez, Monica Rodriguez, Heidi Hilland  
ALBUQUERQUE PUBLIC SCHOOLS – Sarah Young, Cordell Bock, Hodgin Serrullo  
AMAFCA – Jared Romero, Kana Radius  
BERNALILLO COUNTY  
    PLANNING MANAGER – Elvira Lopez  
    LEAD PLANNER – Carrie Barkhurst  
    LEAD PLANNER – Karen Iverson  
    SENIOR PLANNER – Benjamin Savoca  
    SENIOR PLANNER – Karina Peggau  
    PLANNER – Peach Anderson-Tauzer  
    TRANSPORTATION – Julie Luna  
KIRTLAND AIR FORCE BASE – Eva Blaylock  
MID-REGION COUNCIL OF GOVERNMENTS – Aaron Hill  
MIDDLE RIO GRANDE CONSERVANCY DISTRICT – Jason Casuga, Eric Zamora, Mapping  
NM DEPARTMENT OF TRANSPORTATION – Margaret Haynes, Keith Thompson, Peter  
Kubiak  
NM GAS COMPANY – Jeff Estvanko, Brandon Kauffman  
NATIONAL PARK SERVICE/PETROGLYPH NATIONAL MONUMENT – Nancy Hendricks  
PUBLIC SERVICE COMPANY OF NEW MEXICO – Russell Brito

FROM: Mikaela Renz-Whitmore, Urban Design and Development Division, Planning Department

SUBJECT: ENVIRONMENTAL PLANNING COMMISSION CASE DISTRIBUTION

Below are the legal descriptions for the cases scheduled for public hearing before the Environmental Planning Commission on **February 19, 2026**.

*The City of Albuquerque Planning Department has begun using new case tracking software. Applications and related materials are available to review and/or download for each case via the links below.*

Please direct questions to the case planner noted below and available by email: [PlanningEPC@cabq.gov](mailto:PlanningEPC@cabq.gov)

**All agency comments are due February 2, 2026.**

**SUBMIT COMMENTS TO: <https://cabq.gov/epc-agency-comment>**

(Please submit comments via the Agency Comment Portal link, not as email submittals.)

**Plan # [ZMA-2026-00001](#)**

Zoning Map Amendment (Zone Change)

Tierra West, LLC, agent for David Gonzales, requests a Zoning Map Amendment from R-A, MX-T or R-1C to MX-M for 3 separate county parcels legally described as all or a portion of 1) Tract 47 Map 32 located at 5626 Gene Ave NW containing approximately 1.2 acres 2) Map 32 Tract 68-A-2-C & ZAPF-VAN Addition No. 10 Lot 14 & Lot 15 excluding the west 80 ft & excluding the southerly portion out to the ROW located at 907 Montano Rd NW approximately 1.2 acres 3) Lot 13 (except southerly portion out to ROW Montano Rd) ZAPF Addition No. 10 located at 817 Montano Rd NW approximately 0.5 acres, between Montano Rd and Gene Ave.

(F-14)

Staff Planner: William Steele

**Plan # [ZMA-2026-00002](#)**

Zoning Map Amendment (Zone Change)

Dekker, agent for State of New Mexico Land Office (owner) and New Mexico School of the Blind and Visually Impaired (sublessee), requests a Zoning Map Amendment from M-XT to MX-L for all or a portion of Tract H-1-B Plat of TR H-1-A & H-1-B Manzano Mesa (Being a replat of Tract H-1 Manzano Mesa & Tract L Sandia Science & Technology Park) located at 801 Stephen Moody St SE, between Stephen Moody St SE and Innovation Pkwy, approximately 3.8994 acres.

(L-21)

Staff Planner: Daniel Soriano

**Plan # [SP-2026-00004](#)**

Site Plan – EPC, Major Amendment

Russell Brito of PNM, agent for City of Albuquerque Open Space Division requests a Site Plan – EPC, Major Amendment for all or a portion of Tract 4 (easternly portion of Parcel C Marian G. Malcolm) Research Park, containing approx. 62 acres, the westerly portion of Parcel C correction plat of survey for Marian G. Malcolm (portion of parcels A,

C & D Research Park Inc & a portion of the SW1/4 NE1/4 Section 26 T10N R4E), approximately 38 acres, and the southerly portion of Tract A-4 summary plat showing tracts A-1, A-2, A-3 & A-4 of the Chant Property Addition, approximately 4 acres, located at 16000 Central Ave SE, between Carmella Dr SE and Caballo de Fuerza Rd SE.

(L-23)(L-24)(M-23)(M-24)

Staff Planner: William Steele

**Plan # SP-2026-00005**

Site Plan – EPC, Major Amendment

Modulus Architects, Inc., agent for Louisiana Hotel Corporation requests a Site Plan - EPC, Major Amendment for all or a portion of Parcel 1-A summary replat comprising a replat of portions of parcels 1 & 2 Broad Acres Subdivision excluding a westerly portion out to ROW approximately 6 acres, and the east 50 ft of Lot 1 all of Lots 2 & 3 & the west 10 ft Lot 4 Block 1 Broad Acres excluding portions out to the ROW approximately 0.5 acres, located at 2600 Louisiana Blvd NE, between Phoenix Ave NE and Chama St NE.

(H-18)(H-19)

Staff Planner: Catherine Heyne

**Plan # SP-2026-00006**

Site Plan – EPC, Major Amendment

Consensus Planning, Inc. & Molzen Corbin, agent for SPX Real Estate Corp. requests a Site Plan – EPC, Major Amendment to all or a portion of Tract A Plat of Oxbow Subdivision located at 5301 St. Josephs Dr NW, between Coors Blvd and St. Josephs Dr, approximately 56.5232 acres.

(F-11)(G-11)

Staff Planner: Dustin Kiska



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**INTER-OFFICE MEMORANDUM**

TO:

**ALL PUEBLO COUNCIL OF  
GOVERNORS  
FORT SILL APACHE TRIBE  
JICARILLA APACHE NATION  
MESCALERO APACHE TRIBE  
NAVAJO NATION  
OHKAY OWINGEH  
PUEBLO OF ACOMA  
PUEBLO OF COCHITI  
PUEBLO OF ISLETA  
PUEBLO OF JEMEZ  
PUEBLO OF LAGUNA  
PUEBLO OF NAMBE  
PUEBLO OF PICURIS**

**PUEBLO OF POJOAQUE  
PUEBLO OF SAN FELIPE  
PUEBLO OF SAN ILDEFONSO  
PUEBLO OF SANDIA  
PUEBLO OF SANTA ANA  
PUEBLO OF SANTA CLARA  
PUEBLO OF SANTO DOMINGO  
PUEBLO OF TAOS  
PUEBLO OF TESUQUE  
PUEBLO OF ZIA  
PUEBLO OF ZUNI  
TO'HAJIILEE' NAVAJO CHAPTER  
YSLETA DEL SUR**

FROM: Mikaela Renz-Whitmore, Urban Design and Development Division, Planning Department

DATE: January 15, 2026

SUBJECT: ENVIRONMENTAL PLANNING COMMISSION CASE DISTRIBUTION

The City of Albuquerque respectfully requests agency comments for the development review case below, which is within an area that requires referral for tribal engagement pursuant to the Integrated Development Ordinance §14-16-6-4(I).

Below are the legal descriptions for the cases scheduled for public hearing before the Environmental Planning Commission on **Thursday, February 19, 2026**.

Each case link will take you to the application materials in ABQ-PLAN. You can review the documents under the “Attachments” section.

Please direct questions to the case planners noted below and available by email: [PlanningEPC@cabq.gov](mailto:PlanningEPC@cabq.gov)

**All comments are due by February 2, 2026.**

**SUBMIT COMMENTS TO: <https://cabq.gov/epc-agency-comment>**

(Please submit comments via the above Agency Comment Portal link, not as email submittals.)

**Plan # SP-2026-00004**

Site Plan – EPC, Major Amendment

Russell Brito of PNM, agent for City of Albuquerque Open Space Division requests a Site Plan – EPC, Major Amendment for all or a portion of Tract 4 (easterly portion of Parcel C Marian G. Malcolm) Research Park, containing approx. 62 acres, the westerly portion of Parcel C correction plat of survey for Marian G. Malcolm (portion of parcels A, C & D Research Park Inc & a portion of the SW1/4 NE1/4 Section 26 T10N R4E), approximately 38 acres, and the southerly portion of Tract A-4 summary plat showing tracts A-1, A-2, A-3 & A-4 of the Chant Property Addition, approximately 4 acres, located at 16000 Central Ave SE, between Carmella Dr SE and Caballo de Fuerza Rd SE.

(L-23)(L-24)(M-23)(M-24)

Staff Planner: William Steele

**Plan # SP-2026-00006**

Site Plan – EPC, Major Amendment

Consensus Planning, Inc. & Molzen Corbin, agent for SPX Real Estate Corp. requests a Site Plan – EPC, Major Amendment to all or a portion of Tract A Plat of Oxbow Subdivision located at 5301 St. Josephs Dr NW, between Coors Blvd and St. Josephs Dr, approximately 56.5232 acres. (F-11)(G-11)

Staff Planner: Dustin Kiska



## NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, February 19, 2026 at 8:40 a.m.**, using Zoom (online).

Attend by Zoom

<https://cabq.zoom.us/j/5464729575>

Attend by Phone

(719) 359-4580

Meeting ID: 546 472 9575

Find your local number: <https://cabq.zoom.us/u/alDEsva2b>

Please contact City Planning staff via the information below for any of the following:

- To request details about the cases below.
- At least 72 hours prior to the hearing:
  - For individuals with disabilities to request special assistance to participate at the public hearing.
  - To request interpretation into other languages at the hearing.

Contact Information

- Email: [PlanningEPC@cabq.gov](mailto:PlanningEPC@cabq.gov)
- Phone: 505-924-3860, option for Boards and Commissions, or TTY 711

To submit written comments on any of the cases below, please submit by **9 AM on Wednesday, February 4, 2026**.

- Mail: EPC, c/o EPC Hearing Monitor, CABQ Planning Department, P.O. Box 1293, ABQ, NM 87103
- Online portal: <https://cabq.gov/epc-public-comment>

### **Plan # ZMA-2026-00001**

Zoning Map Amendment (Zone Change)

Tierra West, LLC, agent for David Gonzales, requests a Zoning Map Amendment from R-A, MX-T or R-1C to MX-M for 3 separate county parcels legally described as all or a portion of 1) Tract 47 Map 32 located at 5626 Gene Ave NW containing approximately 1.9 acres 2) Map 32 Tract 68-A-2-C & ZAPF-VAN Addition No. 10 Lot 14 & Lot 15 excluding the west 80 ft & excluding the southernly portion out to the ROW located at 907 Montano Rd NW approximately 1.2 acres 3) Lot 13 (except southernly portion out to ROW Montano Rd) ZAPF Addition No. 10 located at 817 Montano Rd NW approximately 0.5 acres, between Montano Rd and Gene Ave.

(F-14)

Staff Planner: William Steele

**Plan # ZMA-2026-00002**

Zoning Map Amendment (Zone Change)

Dekker, agent for State of New Mexico Land Office (owner) and New Mexico School of the Blind and Visually Impaired (sublessee), requests a Zoning Map Amendment from MX-T to MX-L for all or a portion of Tract H-1-B Plat of Tract H-1-A & H-1-B Manzano Mesa (Being a replat of Tract H-1 Manzano Mesa & Tract L Sandia Science & Technology Park) located at 801 Stephen Moody St. SE, approximately 3.9 acres & a Zoning Map Amendment from NR-BP to MX-L for an approximately 2.8 acre portion of Tract H-1-A Plat of Tract H-1-A & H-1-B Manzano Mesa (Being a replat of Tract H-1 Manzano Mesa & Tract L Sandia Science & Technology Park) located at 800 Eubank Blvd. SE, approximately 7.5 acres, located between Innovation Pkwy. SE and La Entrada SE., approximately 11.4 acres in total.

(L-21)

Staff Planner: Daniel Soriano

**Plan # SP-2026-00004**

Site Plan – EPC

Russell Brito of PNM, agent for City of Albuquerque Open Space Division requests a Site Plan – EPC for an Extraordinary Facility for Major Public Open Space, for all or a portion of Tract 4 (easterly portion of Parcel C Marian G. Malcolm) Research Park Inc, containing approx. 62 acres; the westerly portion of Parcel C correction plat of survey for Marian G. Malcolm (portion of parcels A, C & D Research Park Inc & a portion of the SW1/4 NE1/4 Section 26 T10N R4E), approximately 38 acres; and the southerly portion of Tract A-4 summary plat showing tracts A-1, A-2, A-3 & A-4 of the Chant Property Addition, approximately 4 acres, located at 16000 Central Ave SE, between Carmella Dr SE and Caballo de Fuerza Rd SE.

(L-23)(L-24)(M-23)(M-24)

Staff Planner: William Steele

**Plan # SP-2026-00005**

Site Plan – EPC, Major Amendment

Modulus Architects, Inc., agent for Louisiana Hotel Corporation requests a Site Plan - EPC, Major Amendment for all or a portion of Parcel 1-A Summary Replat Comprising a Replat of Portions of Parcels 1 & 2, Broad Acres Subdivision, excluding a Westerly Portion out to the Right of Way and the Eastern 50 feet of Lot 1, all of Lots 2 & 3, and the Western 10 feet of Lot 4, Block 1, Broad Acres Subdivision, excluding Portions out to the Right of Way, approximately 7 acres, located at 2600

Louisiana Blvd NE, at the NE corner of Menaul Blvd NE and Louisiana Blvd NE.  
(H-18, H-19)  
Staff Planner: Catherine Heyne

**Plan # SP-2026-00006**  
Site Plan – EPC, Major Amendment

Consensus Planning, Inc. & Molzen Corbin, agent for SPX Real Estate Corp. requests a Site Plan – EPC, Major Amendment to all or a portion of Tract A Plat of Oxbow Subdivision located at 5301 St. Josephs Dr NW, between Coors Blvd and St. Josephs Dr, approximately 57 acres.  
(F-11)(G-11)  
Staff Planner: Dustin Kiska

Environmental Planning Commission (EPC)

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL FEBRUARY 2, 2026.**

APPROVED BY

Mikaela Renz-Whitmore  
Urban Design & Development Division  
City of Albuquerque Planning Department

**E) PUBLIC NOTICE**

## Ayoni Oyenuga

---

**From:** Ayoni Oyenuga  
**Sent:** Thursday, January 8, 2026 12:01 PM  
**To:** Richard Schaefer; bradyklovelady@gmail.com; Rene' Horvath; Jane Baechle; wesconao@gmail.com  
**Cc:** Jim Strozier  
**Subject:** Application Notice  
**Attachments:** Neighborhood Association Packet.pdf

Dear Neighbors,

On behalf of SPX Real Estate Corp, Consensus Planning, Inc. is providing you with notice that we are submitting a Site Plan - Major Amendment application for approval by the Environmental Planning Commission (EPC), which will be heard at a public hearing on **February 19, 2026, at 8:40 am via Zoom.**

The property in the existing St. Pius X High School, located at 5301 St Josephs Drive NW. The subject property is legally described as *Tract A Plat of Oxbow Subdivision, containing 56.5232 acres*. The Campus has been developed since 1988. The request is to amend the current site plan to allow phased improvements to the athletic facilities in the western portion of the campus. These include the installation of a new football field, redesigned fields for soccer, baseball, softball, and track & field, gymnasium, and sports lighting.

You can access the agenda and Zoom link on the EPC website: <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>. The required notice forms and information regarding the project are included in this notice.

Please reach out to [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or call 505.764.9801 with any questions or concerns regarding this mail.

Sincerely,

**Ayoni Oyenuga**  
Planner II  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801



## PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - Major Amendment

Decision-making Body: Environmental Planning Commission

Pre-Application meeting required:  Yes  No

Neighborhood meeting required:  Yes  No Post submittal, if requested

Mailed Notice required:  Yes  No

Electronic Mail required:  Yes  No

Is this a Site Plan Application:  Yes  No **Note:** if yes, see second page

## PART II – DETAILS OF REQUEST

Address of property listed in application: 5301 St Josephs Dr NW

Name of property owner: SPX Real Estate Corp

Name of applicant: SPX Real Estate Corp

Date, time, and place of public meeting or hearing, if applicable:

February 19, 2026 at 8:40 am via Zoom. Visit <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/>

Address, phone number, or website for additional information:

Contact [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or [oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com) or call 505 764-9801

## PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.

Drawings, elevations, or other illustrations of this request.

N/A  Summary of pre-submittal neighborhood meeting, if applicable. Not applicable

Summary of request, including explanations of deviations, variances, or waivers.

### IMPORTANT:

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).**

**PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature)

1/8/26

(Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 1/8/26

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to (mark as relevant):

- Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>
- Property Owners within 100 feet of the Subject Property.

### Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 5301 St Josephs Dr NW

Location Description Northeast corner of Coors Boulevard and St Josephs Drive

2. Property Owner\* SPX Real Estate Corp

3. Agent/Applicant\* [if applicable] Agent - Consensus Planning, Inc.

4. Application Type(s)<sup>2</sup>\* per IDO [Table 6-1-1](#)

- Site Plan – EPC Major Amendment
- Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance – EPC
- Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
- Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>:

Site Plan - EPC/Major Amendment to allowed for phased improvements of the athletic facilities on the western portion of the existing high school.

5. This application will be decided at a public meeting or hearing by\*:

- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here:

<https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: February 19, 2026 at 8:40 am

Location<sup>4</sup>: Via Zoom

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for "Boards, Commissions, and ZHE Signs."

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Jim Strozier

Email: cp@consensusplanning.com

Phone: 505-764-9801

Attachments:

Neighborhood Association Representative Contact List from the City's Office of  
 Neighborhood Coordination\*

Others: \_\_\_\_\_

Online website or project page: \_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5</sup> F-11-Z & G-11-Z

2. Project Illustrations, as relevant<sup>6</sup>

Architectural drawings

Elevations of the proposed building(s)

Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)

Variance(s)

Waiver(s)

Not Applicable

Explanation\*:

Not Applicable

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

**Not Applicable**

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[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map<sup>7</sup>:

1. Area of Property [typically in acres] 56.5 acres
2. IDO Zone District R-MH & NR-PO-C
3. Overlay Zone(s) [if applicable] CPO-2
4. Center or Corridor Area [if applicable] Coors Boulevard Major Transit Corridor  
Current Land Use(s) [vacant, if none] High School

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**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

#### Useful Links

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

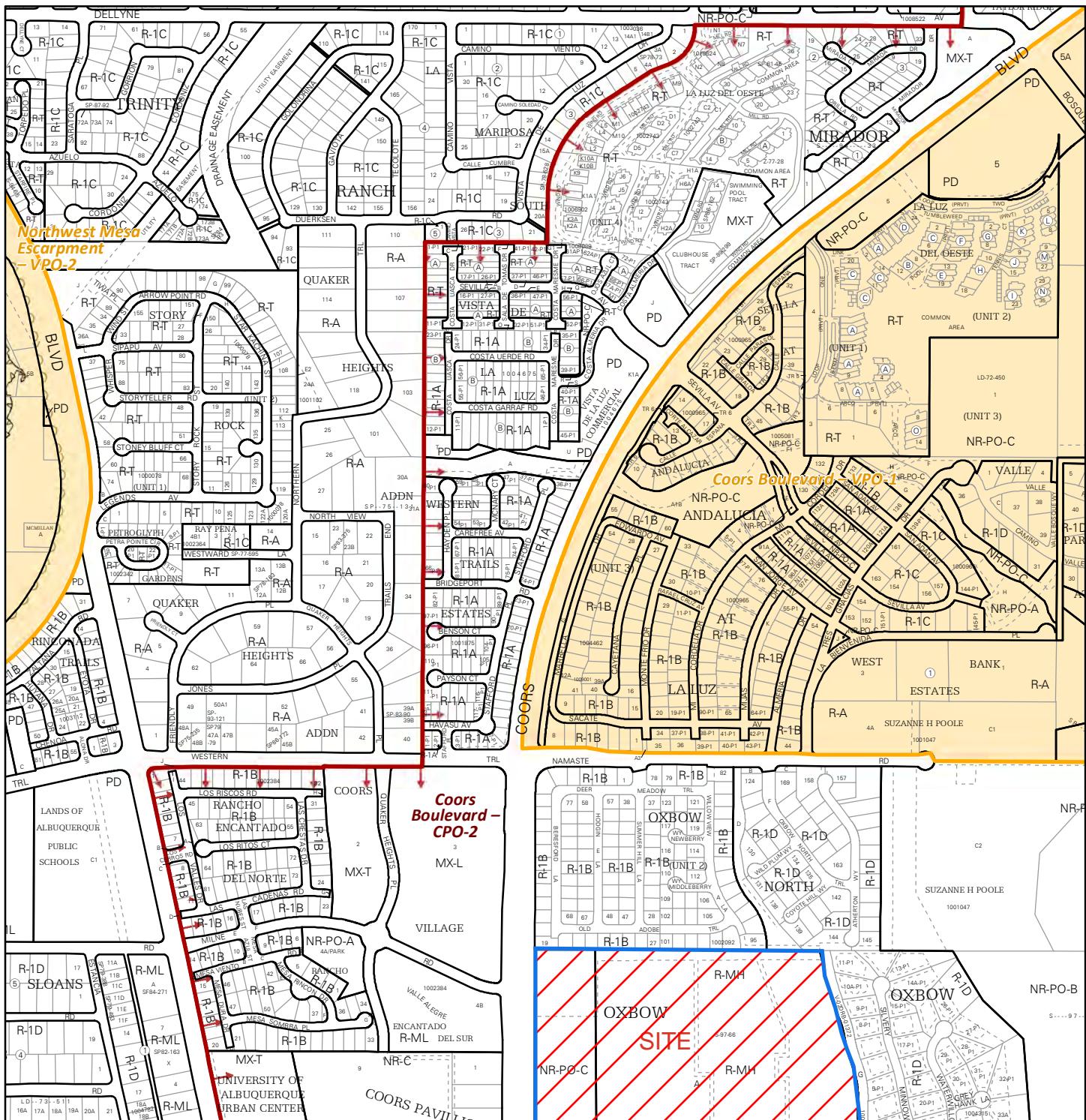
## Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

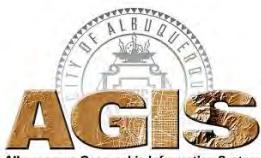
Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i dzaadi! Dzaadi! Danihi dahoontahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di niihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.



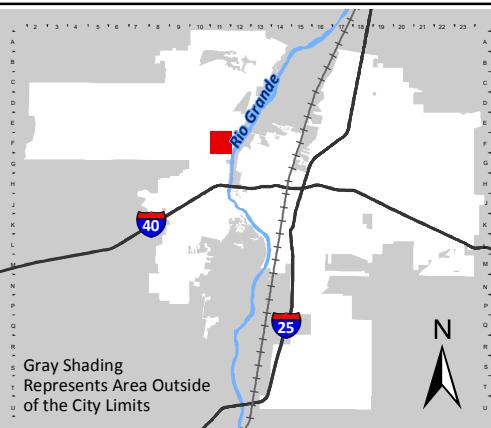
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**F-11-Z**

----- Easement      V V Escarpment

CCCC Petroglyph National Monument

..... Areas Outside of City Limits

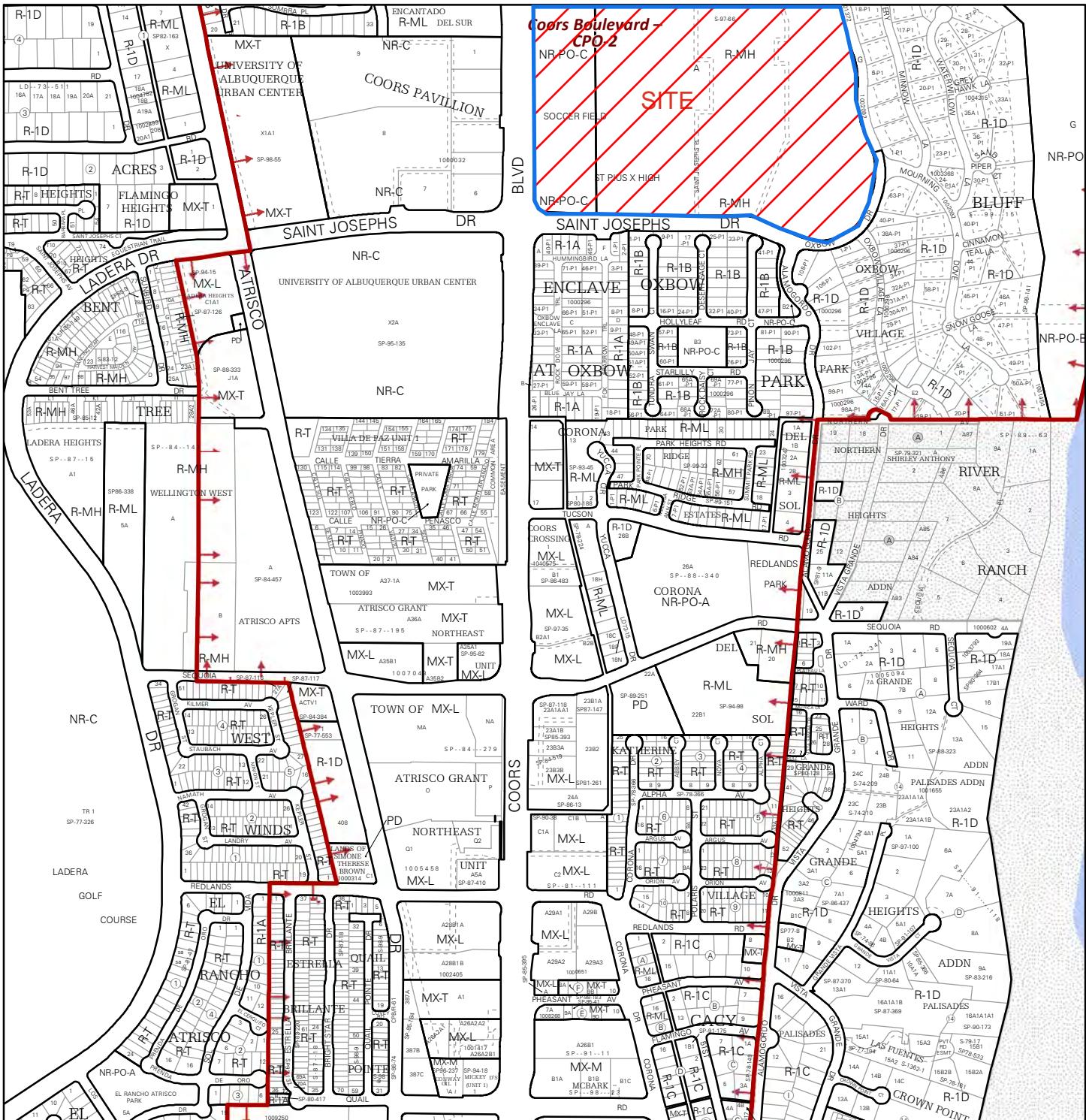
████████ Airport Protection Overlay (APO) Zone

████████ Character Protection Overlay (CPO) Zone

████████ Historic Protection Overlay (HPO) Zone

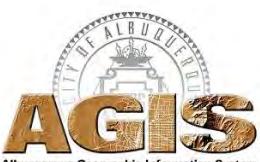
████████ View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



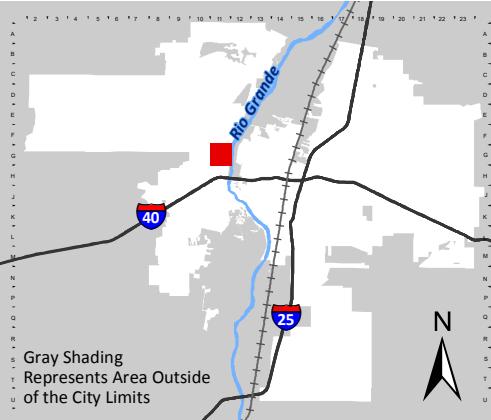
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**G-11-Z**

----- Easement Escarpment

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

From: Flores, Suzanna A.  
To: Ayoni Oyenuga  
Subject: 5301 St Josephs Drive NW - Public Notice Inquiry Sheet Submission  
Date: Thursday, December 11, 2025 2:35:52 PM  
Attachments: mapc01.pdf  
IDOZoneAtlasPage\_F-11-Z\_G-11-Z.pdf

**PLEASE NOTE:**  
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Vista Grande NA		Richard	Schaefer	Schaefer@unm.edu	3579 Sequoia Place NW	Albuquerque	NM	87120	5059179909	
Vista Grande NA		Brady	Lovelady	bradyklovelady@gmail.com	3508 Sequoia Road NW	Albuquerque	NM	87120		5053792552
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Jane	Baechle	jane.baechle@gmail.com	7021 Lamar Avenue NW	Albuquerque	NM	87120		5054006516

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office  
E-mail: [suzanneflores@cabq.gov](mailto:suzanneflores@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** webmaster@cabq.gov <webmaster@cabq.gov>  
**Sent:** Thursday, December 11, 2025 11:38 AM  
**To:** Office of Neighborhood Coordination <oyenuga@consensusplanning.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Ayoni Oyenuga

Telephone Number

505-764-9801

Email Address

[oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com)

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Subject Site Information

Legal description of the subject site for this project:

Tract A Plat of Oxbow Subdivision containing 56.523 acres

Physical address of subject site:

5301 St Josephs Drive NW

Subject site cross streets:

Coors Blvd and St Josephs Dr NW

Other subject site identifiers:

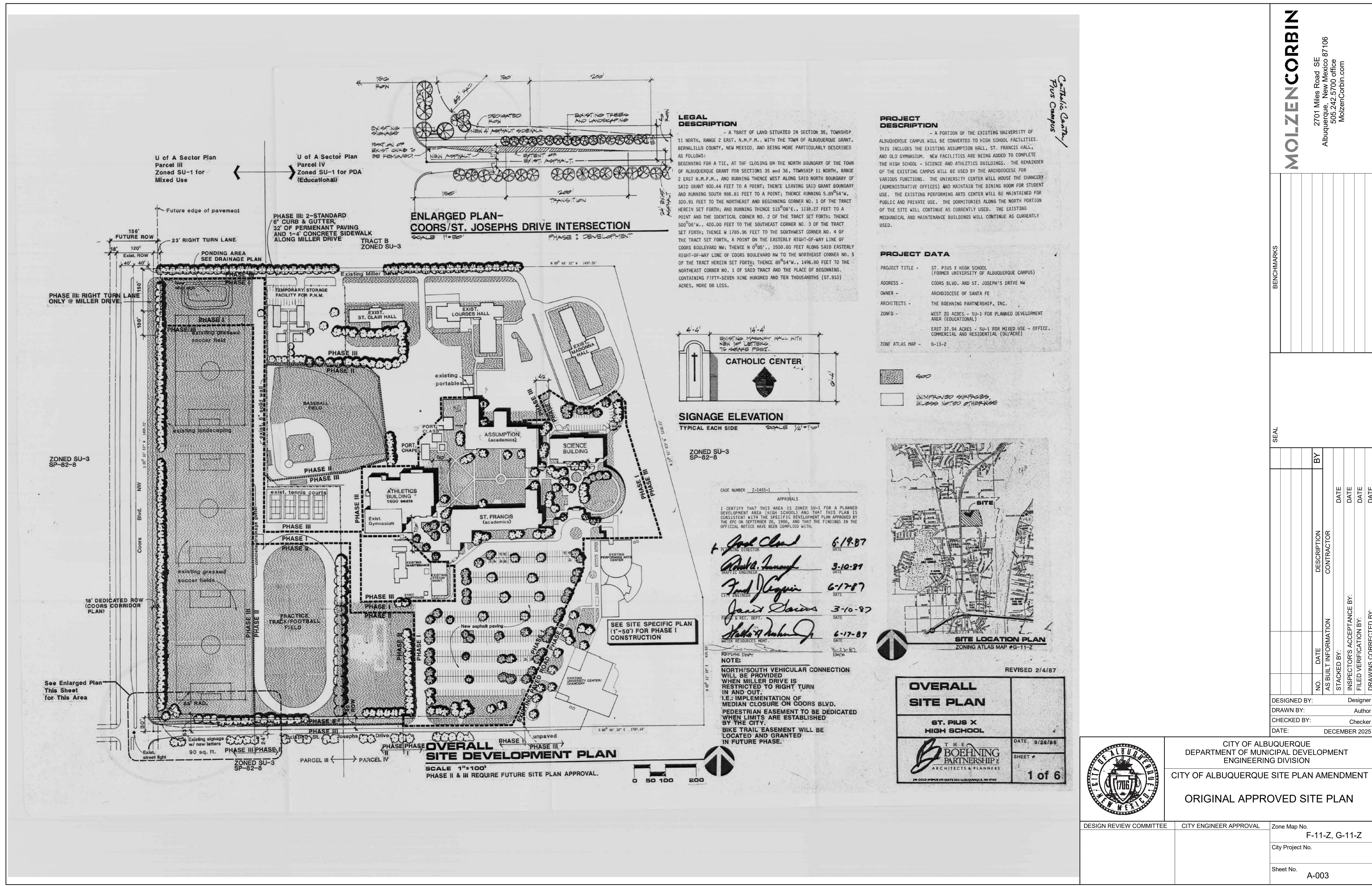
This site is located on the following zone atlas page:

F-11-Z and G-11-Z

Link for map

Captcha





## Ayoni Oyenuga

---

**From:** Microsoft Outlook  
<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@consensusplanning.com>  
**To:** bradyklovelady@gmail.com; Rene' Horvath; Jane Baechle; wescona0@gmail.com  
**Sent:** Thursday, January 8, 2026 12:01 PM  
**Subject:** Relayed: Application Notice

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[bradyklovelady@gmail.com](mailto:bradyklovelady@gmail.com) (bradyklovelady@gmail.com)

[Rene' Horvath](mailto:renehorvath@gmail.com) (aboard111@gmail.com)

[Jane Baechle](mailto:jane.baechle@gmail.com) (jane.baechle@gmail.com)

[wescona0@gmail.com](mailto:wescona0@gmail.com) (wescona0@gmail.com)

Subject: Application Notice



Application  
Notice



January 8, 2026

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
[cp@consensusplanning.com](mailto:cp@consensusplanning.com)  
[www.consensusplanning.com](http://www.consensusplanning.com)

Re: IDO Notice – Property Owners within 100 feet of Subject Property – Site Plan  
Amendment for St. Pius High School

Dear Property Owner,

On behalf of SPX Real Estate Corp, Consensus Planning, Inc. is providing you with notice that we are submitting a Site Plan - Major Amendment application for approval by the Environmental Planning Commission (EPC), which will be heard at a public hearing on **February 19, 2026, at 8:40 am via Zoom.**

The property in the existing St. Pius X High School, located at 5301 St Josephs Drive NW. The subject property is legally described as *Tract A Plat of Oxbow Subdivision, containing 56.5232 acres*. The Campus has been developed since 1988. The request is to amend the current site plan to allow phased improvements to the athletic facilities in the western portion of the campus. These include the installation of a new football field, redesigned fields for soccer, baseball, softball, and track & field, gymnasium, and sports lighting.

You can access the agenda and Zoom link on the EPC website:  
<https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>. The required notice forms and information regarding the project are included in this notice.

Per the IDO section, 6-4(J)(3)(c) mailed public notice to all property owners within 100 feet of the subject site is required. Please reach out to [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or call 505.764.9801 with any questions or concerns regarding this mail.

Sincerely,

James K. Strozier, FAICP, Principal  
Consensus Planning, Inc.

## PRINCIPALS

James K. Strozier, FAICP

## ASSOCIATES

Ken Romig, PLA, ASLA



## PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site Plan - Major Amendment

Decision-making Body: Environmental Planning Commission

Pre-Application meeting required:  Yes  No

Neighborhood meeting required:  Yes  No Post submittal, if requested

Mailed Notice required:  Yes  No

Electronic Mail required:  Yes  No

Is this a Site Plan Application:  Yes  No **Note:** if yes, see second page

## PART II – DETAILS OF REQUEST

Address of property listed in application: 5301 St Josephs Dr NW

Name of property owner: SPX Real Estate Corp

Name of applicant: SPX Real Estate Corp

Date, time, and place of public meeting or hearing, if applicable:

February 19, 2026 at 8:40 am via Zoom. Visit <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/>

Address, phone number, or website for additional information:

Contact [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or [oyenuga@consensusplanning.com](mailto:oyenuga@consensusplanning.com) or call 505 764-9801

## PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.

Drawings, elevations, or other illustrations of this request.

N/A  Summary of pre-submittal neighborhood meeting, if applicable. Not applicable

Summary of request, including explanations of deviations, variances, or waivers.

### IMPORTANT:

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).**

**PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature)

1/8/26

(Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 1/8/26

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) **§14-16-6-4(K) Public Notice**. This notice is being provided to (mark as relevant):

- Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>
- Property Owners within 100 feet of the Subject Property.

### Information Required by **IDO §14-16-6-4(K)(1)(a)**

1. Subject Property Address\* 5301 St Josephs Dr NW

Location Description Northeast corner of Coors Boulevard and St Josephs Drive

2. Property Owner\* SPX Real Estate Corp

3. Agent/Applicant\* [if applicable] Agent - Consensus Planning, Inc.

4. Application Type(s)<sup>2</sup>\* per IDO Table 6-1-1

- Site Plan – EPC Major Amendment
- Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance – EPC
- Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
- Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>:

Site Plan - EPC/Major Amendment to allowed for phased improvements of the athletic facilities on the western portion of the existing high school.

5. This application will be decided at a public meeting or hearing by\*:

- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here:

<https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: February 19, 2026 at 8:40 am

Location<sup>4</sup>: Via Zoom

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for "Boards, Commissions, and ZHE Signs."

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Jim Strozier

Email: cp@consensusplanning.com

Phone: 505-764-9801

Attachments:

Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination\*

Others: \_\_\_\_\_

Online website or project page: \_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5</sup> F-11-Z & G-11-Z

2. Project Illustrations, as relevant<sup>6</sup>

Architectural drawings

Elevations of the proposed building(s)

Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)

Variance(s)

Waiver(s)

Not Applicable

Explanation\*:

Not Applicable

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

**Not Applicable**

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[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

Additional Information from IDO Zoning Map<sup>7</sup>:

1. Area of Property [typically in acres] 56.5 acres
2. IDO Zone District R-MH & NR-PO-C
3. Overlay Zone(s) [if applicable] CPO-2
4. Center or Corridor Area [if applicable] Coors Boulevard Major Transit Corridor  
Current Land Use(s) [vacant, if none] High School

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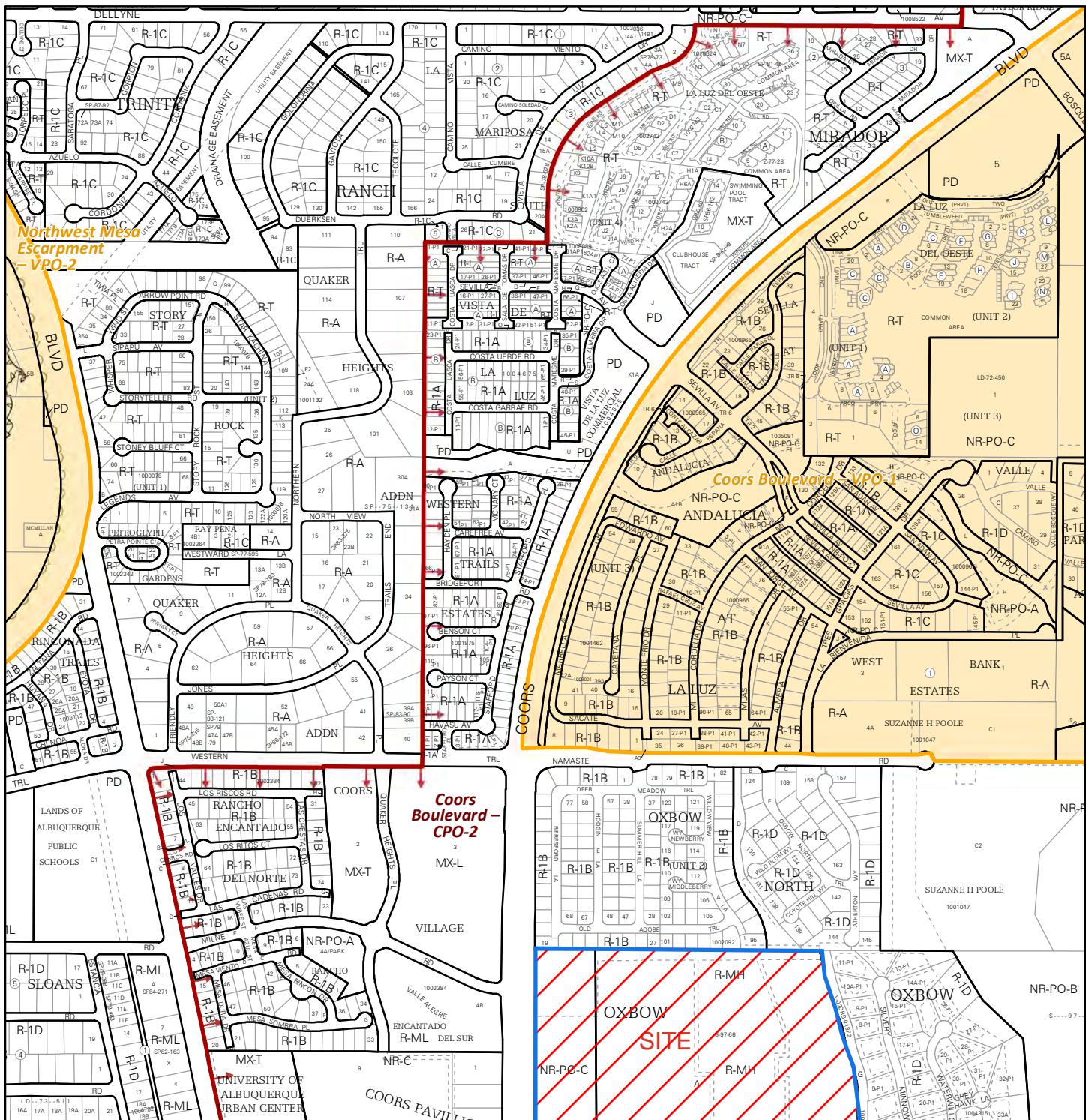
**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

#### Useful Links

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>



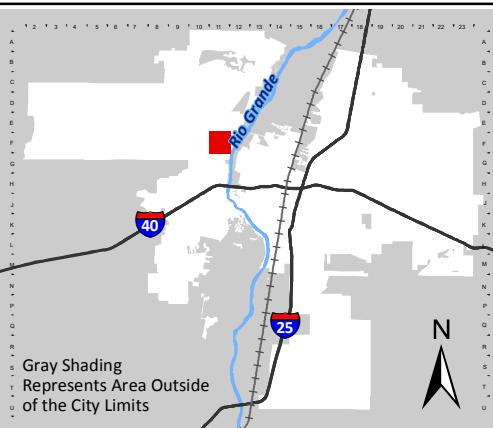
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:

**F-11-Z**

----- Easement      V V Escarpment

○○○ Petroglyph National Monument

██████████ Areas Outside of City Limits

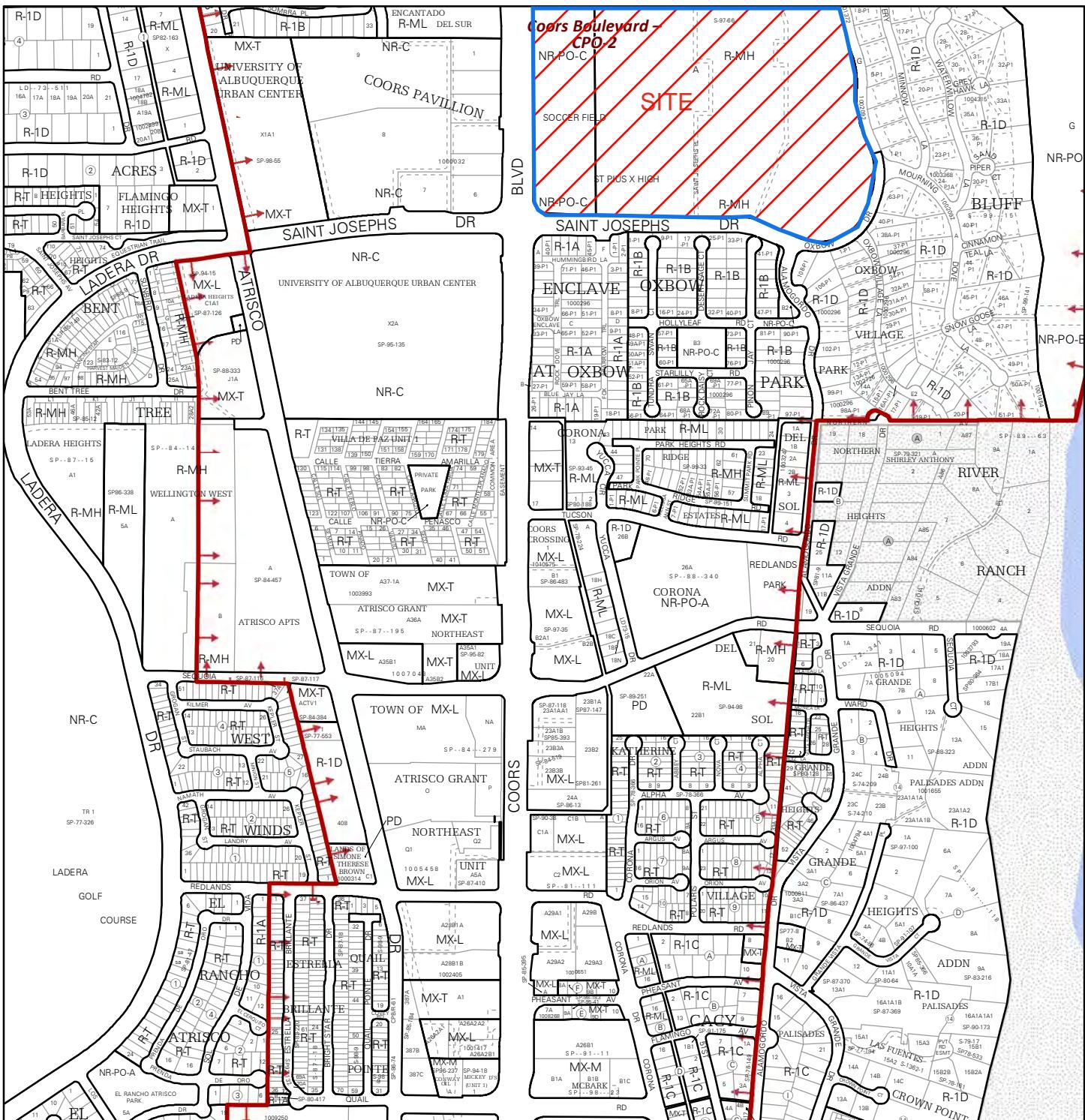
██████████ Airport Protection Overlay (APO) Zone

██████████ Character Protection Overlay (CPO) Zone

██████████ Historic Protection Overlay (HPO) Zone

██████████ View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018



IDO Zoning information as of May 17, 2018

**The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).**

This map shows the Rio Grande area with the following features:

- Rio Grande:** A blue line representing the river, with a red square marker indicating a specific location.
- Highways:** Interstate 40 (I-40) and Interstate 25 (I-25) are marked with red shields.
- City Limits:** Shown as a black line.
- Shaded Area:** A large gray shaded region represents areas outside the city limits.
- Grid:** A coordinate grid with letters A-L on the left and numbers 1-23 at the top.
- North Arrow:** A compass rose indicating the direction of North.

**Gray Shading Represents Area Outside of the City Limits**

## Zone Atlas Page:

G-11-Z

## Escarpm ent

Petroglyph National Monument

## Retroglyph National Monument

## Areas Outside of City Limits

## Airport Protection Overlay (APO) Zone

 Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

### Historic Protection Overlay (HPO) Zone

### View Protection Overlay (VPO) Zone

Scale bar: 0, 250, 500, 1,000 Feet

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

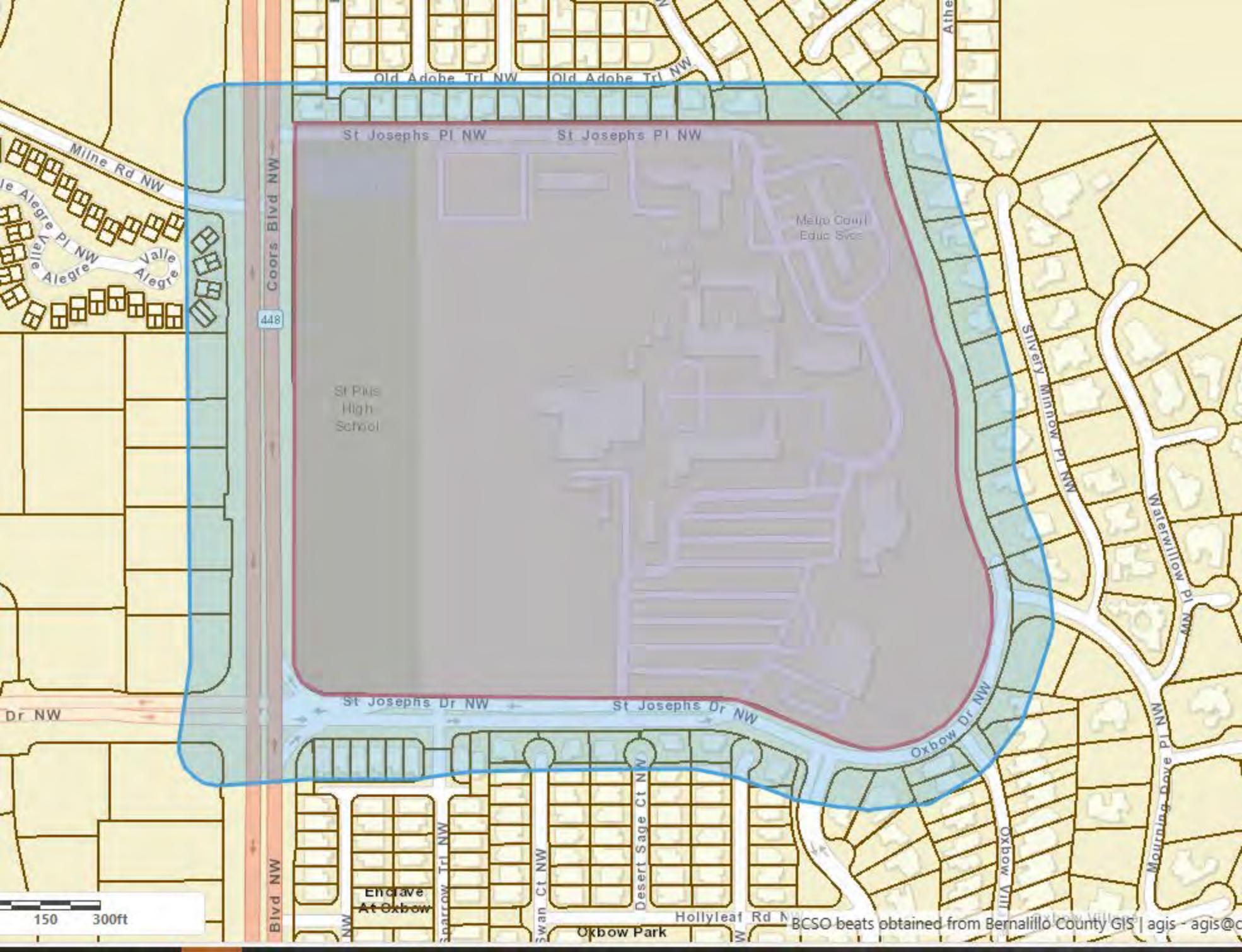
## Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i dzaadi! Dzaadi! Danihi dahoontahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di niihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

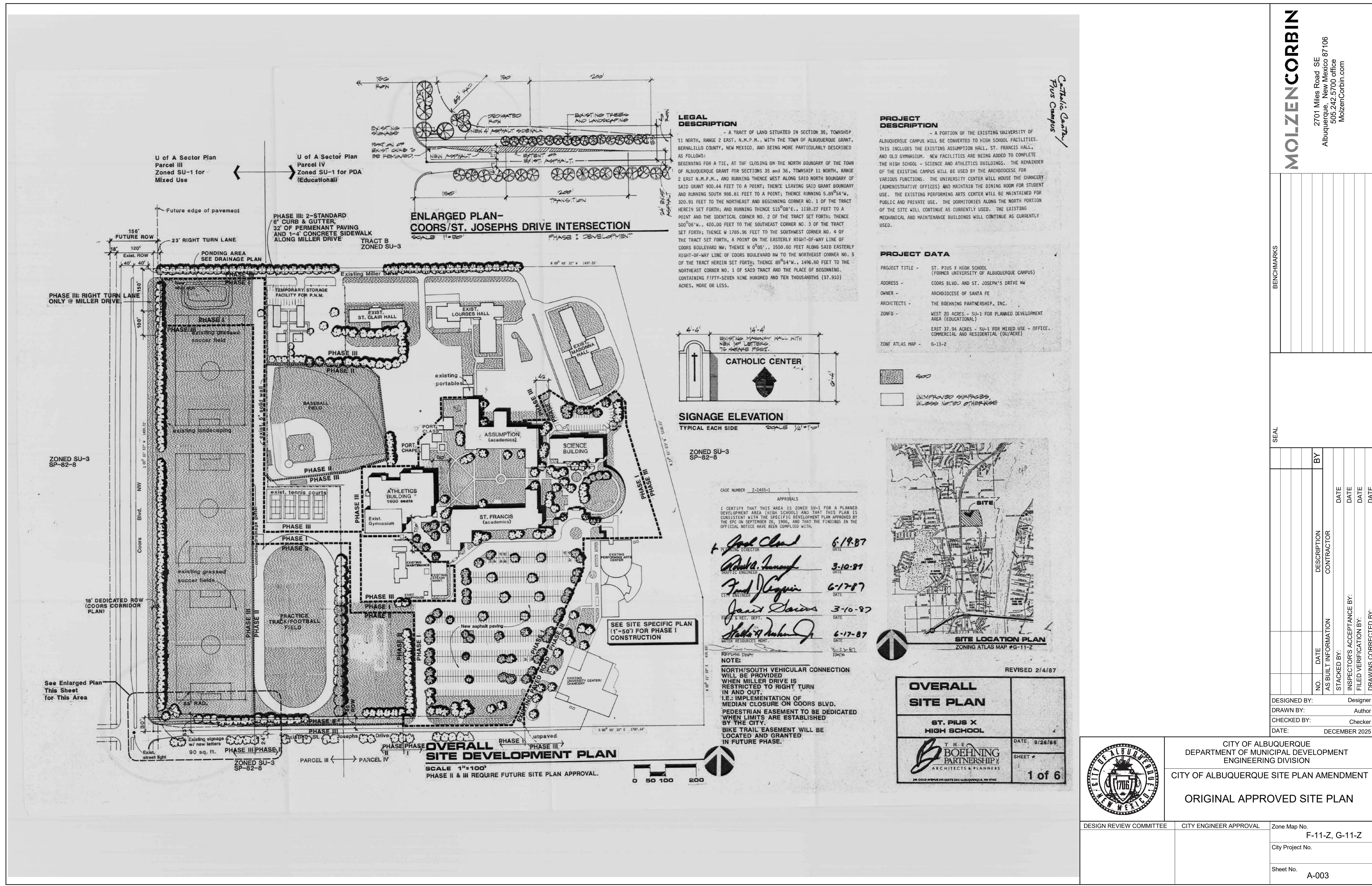


150 300ft

150 300ft

BCSO beats obtained from Bernalillo County GIS | agis - agis@comcast.net

KEYED NOTES-EXISTING		PROJECT NUMBER: _____		MOLZENCORBIN																															
1 ST. FRANCIS (ACADEMICS) 2 ASSUMPTION (ACADEMICS) 3 SCIENCE BUILDING 4 LOURDES HALL 5 MADONNA HALL 6 ST. BASIL HALL 7 ST. SEBASTIAN GYM 8 ST. CECILIA FINE ARTS 9 PASTORAL CENTER AND CAFETERIA 10 ST. JUDE- STEAM AND MAINTENANCE 11 HOUSE / RESIDENCE 12 EXISTING PORTABLES 15 20'-0" WATER LINE EASEMENT 16 EXISTING PARKING LOT 17 8'-0" PRIVACY WALL 18 5'-0" ALUMINUM PIPE FENCE WITH PILASTERS 19 6'-0" CHAIN LINK FENCE 20 5'-0" X 34'-0" WIDE VEHICULAR DOUBLE SWINGING GATE 21 5'-0" MESH PANEL FENCE 22 PREVIOUS LANDSCAPE IMPROVEMENTS WITH SIDEWALKS, LANDSCAPING, SHRUBS, AND TREES. 23 4'-0" PUBLIC UTILITY EASEMENT 24 140X300 DRAINAGE EASEMENT 25 EXISTING REFUSE LOCATION	Application Number: _____		2701 Miles Road SE Albuquerque, New Mexico 87106 505.242.5700 office MolzenCorbin.com																																
Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.				DFT SITE DEVELOPMENT PLAN APPROVAL:																															
				Traffic Engineering, Transportation Division	Date _____																														
				ABCWUA	Date _____																														
				Parks and Recreation Department	Date _____																														
				Hydrology	Date _____																														
				Code Enforcement	Date _____																														
				* Environmental Health Department (conditional)	Date _____																														
				Solid Waste Management	Date _____																														
				Planning Department	Date _____																														
KEYED NOTES- PHASE 1		BENCHMARKS																																	
50 FOOTBALL, SOCCER, TRACK AND FIELD CONCESSION, RESTROOMS, AND JANITOR PRESS BOX 51 HOME GRAND STANDS 52 VISITOR GRANDSTAND. 53 TRACK AND FIELD EQUIPMENT STORAGE 54 EAST ASPHALT PARKING LOT 55 WEST ASPHALT PARKING LOT 56 REFUSE LOCATION 57 CONCRETE SIDEWALK 58 ENTRANCE ARCH WAY 59 SPONSOR BRICK PAVERS 60 STADIUM LIGHTING. REFER TO LUMINAIRE SCHEDULE																																			
KEYED NOTES- FUTURE BUILD OUT																																			
80 SOFTBALL FIELD 81 MULTI PURPOSE FIELD; TRACK, SHOTPUT, AND DISCUS 82 SOCCER FIELD 83 LONG JUMP 84 POLE VAULT 85 TENNIS COURT  90 NEW GYMNASIUM AND AUXILIARY COURT 91 NEW GYMNASIUM AND MULTIPURPOSE CLASSROOM 92 FIELD HOUSE: LOCKER ROOMS, FITNESS CENTER, OFFICES, SPORTS EQUIPMENT STORAGE 93 BASEBALL IMPROVEMENTS: ENLARGE FIELD, PRESS BOX, BLEACHERS, DUGOUTS 94 GYMNASIUM EQUIPMENT STORAGE ADDITION 95 GATEWAY ARCH																																			
<p><b>SQUARE FOOTAGE PROPOSED STRUCTURE</b></p> <table border="1"> <thead> <tr> <th>Mark</th> <th>Building name/ type</th> <th>Square Footage</th> </tr> </thead> <tbody> <tr> <td>51</td> <td>Concession / restroom building</td> <td>2,000 SF</td> </tr> <tr> <td>52</td> <td>Press box</td> <td>450 SF</td> </tr> <tr> <td>53</td> <td>Home Grand Stands</td> <td>14,900 SF</td> </tr> <tr> <td>54</td> <td>Visitor Grand Stands</td> <td>3,724 SF</td> </tr> <tr> <td>90</td> <td>Gymnasium / Auxiliary Addition</td> <td>26,000 SF</td> </tr> <tr> <td>91</td> <td>Gymnasium / Multipurpose building</td> <td>45,000 SF</td> </tr> <tr> <td>92</td> <td>Field House</td> <td>15,300 SF</td> </tr> <tr> <td>93</td> <td>Equipment Storage</td> <td>3,000 SF</td> </tr> <tr> <td>95</td> <td>Gymnasium Equipment Storage Addition</td> <td>900 SF</td> </tr> </tbody> </table> <p><b>PHASING LEGEND</b></p> <ul style="list-style-type: none"> <li>EXISTING ACADEMIC BUILDINGS (Grey)</li> <li>PHASE 2 (TWO) FIELD EVENTS; LONG JUMP, POLE VAULT, SHOT PUT, DISCUS, AND JAVELIN (Blue)</li> <li>PHASE ONE (1) TRACK AND FIELD FOOTBALL / SOCCER FIELD, HOME AND VISITOR VIEWING SEATING, CONCESSION AND BATHROOM FACILITIES (Yellow)</li> <li>FUTURE BUILDINGS OUT 10 YEAR TO 25 YEAR; GYMNASIUMS, FIELD HOUSE, ACADEMIC MULTI PURPOSE CLASSROOMS, EQUIPMENT STORAGE AREAS. (Grey)</li> </ul> <p>0 50' 100' 200'   SCALE: 1" = 100'-0"</p>						Mark	Building name/ type	Square Footage	51	Concession / restroom building	2,000 SF	52	Press box	450 SF	53	Home Grand Stands	14,900 SF	54	Visitor Grand Stands	3,724 SF	90	Gymnasium / Auxiliary Addition	26,000 SF	91	Gymnasium / Multipurpose building	45,000 SF	92	Field House	15,300 SF	93	Equipment Storage	3,000 SF	95	Gymnasium Equipment Storage Addition	900 SF
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<p><b>BUILDING DATA</b></p> <p>ZONE ATLAS / DRAWING FILE: G-11 /D40 PROJECT: ST. PIUS MASTER PLAN UPDATE WITH ATHLETIC FACILITIES AND PARKING OWNER: ARCHDIOCESE OF SANTA FE 5301 ST. JOSEPHS DR., NW LEGAL DESCRIPTION: TRACT A PLAT OF OXBOW SUBDIVISION CONTAINING 56.3232 ACRES ADDRESS: 5301 ST. JOSEPHS DR., NW ZONING ATLAS MAP: F-11-Z AND G-11-Z ZONING CLASSIFICATION: NEST NR-PO-C NON CITY PARKS AND OPEN SPACE EAST R-MH MULTI-FAMILY HIGH DENSITY BUILDING TYPE: E-1 EDUCATIONAL SEISMIC ZONE: 2B OCCUPANCY GROUP: E-1 EDUCATIONAL PARKING: REFER TO SHEET 1B FOR PARKING CALCULATIONS</p>																																			
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10 BOATS COORS BLVD NM LLC 2265 E MURRAY HOLLADAY RD SALT LAKE CITY UT 84117-5379	4111 COORS BOULEVARD OWNER LLC 122 PRESIDENT ST APT 1 BROOKLYN NY 11231-2822	ABEYTA VINCENT L & MELANIE P 5220 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2780
ADAMS JADE MARIE 5531 VALLE ALEGRE WAY NW 17-A ALBUQUERQUE NM 87120-1815	ALEI LAWRENCE J & JODI ANN TRUSTEES ALEI RESIDENCE TRUST 4105 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4742	ALVAREZ ADAM D 8304 PETOSKY NW ALBUQUERQUE NM 87120-5259
ANDERSON STEVEN C 5200 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2780	ANDERSON STEVEN C & JESSICA L 5228 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2780	ARMSTRONG JOHN R & PATRICIA C 5515 VALLE ALEGRE WAY NW BLDG 16-C ALBUQUERQUE NM 87120-1815
BAILEY ALLIE 5509 VALLE ALEGRE WAY NW BLDG 15B ALBUQUERQUE NM 87120-1815	BATCHELOR FRANCES LUCILLE & OSTER ELEANOR MARIE 3924 PINON JAY CT NW ALBUQUERQUE NM 87120-4096	BLACK RONALD B & JASMINE NYLS 623 KAIKOO PL WAILUKU HI 96793-1403
CALVIN MICHAEL VB & PAGELS PATTI 3939 OXBOW VILLAGE LN NW ALBUQUERQUE NM 87120-1179	CAMPA MARIO A 5405 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515	CARABAJAL KAYLEIGH 3924 TUNDRA SWAN CT NW ALBUQUERQUE NM 87120-4112
CARRILLO JOSE TOMAS FUENTES 3924 DESERT SAGE CT NW ALBUQUERQUE NM 87120-4098	CASTILLEJA SUZIE 5401 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120	CHAVEZ ROBERT E & OLIVIA T 5535 VALLE ALEGRE WAY NW BLDG 17-B ALBUQUERQUE NM 87120-1815
CITY OF ALBUQUERQUE PO BOX 1293 ALBUQUERQUE NM 87103-1293	CLAYCOMB ANN C 3935 OXBOW VILLAGE LN NW ALBUQUERQUE NM 87120-1179	CLEMONS FRANKIE D 5316 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784
COLE JAMES R & ELAINE J TRUSTEES COLE RVT 4115 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4742	CRIDDLE MICHAEL W & CHRISTIANE B 5108 COYOTE HILL WAY NW ALBUQUERQUE NM 87120-1471	D R HORTON INC 8440 WYOMING BLVD NE SUITE A ALBUQUERQUE NM 87113
DELFIELD KENNETH H & SHARON S TRUSTEES DELFIELD RVT 3916 ALAMOGORDO DR NW ALBUQUERQUE NM 87120-1162	DIENER MARK & JOYCE 5212 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2780	ENCINIAS KURT R & RENEE CALDER 15413 ECHO HILLS DR AUSTIN TX 78717-3902
ESQUIBEL JOSEPH JASON A 5415 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515	G2020 LLC PO BOX 3053 LAS VEGAS NM 87701-3053	GARDUNO JULIO A & JOYCE M 4305 BERESFORD LN NW ALBUQUERQUE NM 87120-3344

GIERSCH JOHN P & DARRLA J 8011 4TH ST NW ALBUQUERQUE NM 87114-1010	GUAJARDO RUBEN A III 5320 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784	GURULE PERCILLA H & ED 3927 DESERT SAGE CT NW ALBUQUERQUE NM 87120
HADDAD ADAM F & KELLY JO 5104 RIVER RIDGE PL NW ALBUQUERQUE NM 87114-1231	HILL ROBYN MAE & BISHOP ALEXANDER JAMES 3931 DESERT SAGE CT NW ALBUQUERQUE NM 87120-4099	HOWARD DWIGHT D & SUSAN B 4101 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120
KAMINSKY NEIL L TRUSTEE GOHDES-KAMINSKY TRUST 4109 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120	KINSEL KARYN 3927 PINON JAY CT NW ALBUQUERQUE NM 87120-4097	KNOTT CYNTHIA 5300 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784
KOFOED DANIEL JAMES & JURCAK ANTHONY FRANK 5423 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515	LEVINE INVESTMENTS LIMITED PARTNERSHIP 2801 E CAMELBACK RD SUITE 450 PHOENIX AZ 85016-0000	LEVINE INVESTMENTS LIMITED PARTNERSHIP 2801 E CAMELBACK RD SUITE 450 PHOENIX AZ 85016-4363
LEVINE INVESTMENTS LIMITED PARTNERSHIP CHICK-FIL-A INC 5200 BUFFINGTON RD ATLANTA GA 30349-2945	LOPEZ PHILIP E & SARAH M 10775 S GREY MIST CT VAIL AZ 85641-6452	LOPEZ SIMON 3931 PINON JAY CT NW ALBUQUERQUE NM 87120-4097
LUJAN JOANNE 5409 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515	MALKA NIKOL 3928 DESERT SAGE CT NW ALBUQUERQUE NM 87120-4098	MC CARRON BRIAN & LISA 5312 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784
MEDINA DEMESIA PADILLA 5204 OLD ADOBE TRL NW ALBUQUERQUE NM 87120	MEDINA KATHERINE MAE 5501 VALLE ALEGRE WAY NW BLDG 15C ALBUQUERQUE NM 87120-1815	MELTON DAVID S & ADA P 4304 WILLOW VIEW LN NW ALBUQUERQUE NM 87120-5426
MINOR LARRY L II 5505 VALLE ALEGRE RD NW ALBUQUERQUE NM 87120-1815	NATHE CHRIS & CHRISTINE 4009 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120	NEWMAN PHYLLIS A 5427 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515
OLIVER DENNIS M & DEBRA 5304 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784	OXBOW BLUFF HOMEOWNERS ASSOCIATION PO BOX 67590 ALBUQUERQUE NM 87193-7590	OXBOW HOMEOWNERS ASSOCIATION PO BOX 67590 ALBUQUERQUE NM 87193-7590
OXBOW NORTH VENTURES 1650 UNIVERSITY BLVD NE SUITE 5-100 ALBUQUERQUE NM 87102-1726	OXBOW PARK HOMEOWNERS ASSOCIATION PO BOX 67590 ALBUQUERQUE NM 87193-7590	OXBOW VILLAGE HOMEOWNERS ASSOCIATION PO BOX 67590 ALBUQUERQUE NM 87193-7590

PEXA REVI DON & TAVANI ROBERT DANIEL & PEXA DANA KAY 302 E CAROL ANN WAY PHOENIX AZ 85022-3053	PRESBYTERIAN HEALTHCARE SERVICES PO BOX 26666 ALBUQUERQUE NM 87125-6666	RAMASAMY SENTHILKUMAR 3908 ALAMOGORDO DR NW ALBUQUERQUE NM 87120-1162
RASKOB WILLIAM F III & KATHLEEN T 3940 OXBOW VILLAGE LN NW ALBUQUERQUE NM 87120-1178	RED SHAMROCK 12 LLC 8220 SAN PEDRO DR NE SUITE 500 ALBUQUERQUE NM 87113-2476	RIOS BILLIE L 3928 TUNDRA SWAN CT NW ALBUQUERQUE NM 87120
RIVERA ANTHONY R & AGNES M TRUSTEES RIVERA FAMILY TRUST 4301 ATHERTON WAY NW ALBUQUERQUE NM 87120-1260	ROGERS CHUCK & THERESA 4015 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4741	ROMERO MARY J & HART COLIN E 4005 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4741
SALAZAR DEANNA R 5909 LOS RISCOS RD NW ALBUQUERQUE NM 87120-1725	SALLEE STEVEN L & KATHLEEN G CO-TRUSTEES SALLEE RVT 5308 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2784	SANCHEZ KRISTIN NICOLE 5523 VALLE ALEGRE RD NW ALBUQUERQUE NM 87120-1815
SANCHEZ MARY E & JANULEWICZ MAUREEN 5216 OLD ADOBE TRL NW ALBUQUERQUE NM 87120	SANCHEZ MELISSA JOLENE 5419 HUMMINGBIRD LN NW ALBUQUERQUE NM 87120-4515	SAUCEDO CHRISTOPHER & LESLIE 4019 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4741
SESSIONS STEVE E & MASON LAURA J 4119 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120	SIERRA JOSEPH & CATHERINE 4301 BERESFORD LN NW ALBUQUERQUE NM 87120-3344	SLAVENS URSULA & DAVID L 5112 COYOTE HILL WAY NW ALBUQUERQUE NM 87120-1471
SPX REAL ESTATE CORP 5301 ST JOSEPHS DR NW ALBUQUERQUE NM 87120-1712	THOMPSON WILLIAM R 3948 OXBOW VILLAGE LN NW ALBUQUERQUE NM 87120-1178	TSAI YOUNG YEN & WAN PING CO-TRUSTEES TSAI 2004 FAMILY TRUST 820 RIO GRANDE BLVD NW ALBUQUERQUE NM 87104-2041
TUCKER KENNETH D 4001 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4741	TWO SIPS INVESTMENTS LLC 4613 VIA GIARDIANO MODESTO CA 95357-0661	VELASCO GLORIA 3920 PINON JAY CT NW ALBUQUERQUE NM 87120
WALKER JASON W 3927 TUNDRA SWAN CT NW ALBUQUERQUE NM 87120-4113	WALTER TERESA T 3931 TUNDRA SWAN CT NW ALBUQUERQUE NM 87120	WILMERT KENNETH L JR & SAIZ-WILMERT THERESA 4300 WILLOW VIEW LN NW ALBUQUERQUE NM 87120-5426
WISE LARRY E & ANITA G TRUSTEES WISE LVT 5208 OLD ADOBE TRL NW ALBUQUERQUE NM 87120-2780		

Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102



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OXBOW BLUFF HOMEOWNERS ASSOCIATION  
PO BOX 67590  
ALBUQUERQUE NM 87193-7590

US POSTAGE • PINNEY BOWES  
ZIP 87102 \$ 001.030  
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KOFGED DANIEL JAMES & URGAX ANTHONY  
FRANK  
5423 HUMMINGBIRD LN NW  
ALBUQUERQUE NM 87120-4515

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LOPEZ PHILIP & SARAH M  
30775 S CEDAR MSTR  
VAL AZ 85641-6452

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PO BOX 67590  
ALBUQUERQUE NM 87193-7590

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GIESCH JOHN P & DARRIAJ  
8011 THIRST NW  
ALBUQUERQUE NM 87114-1010

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ZIP 87102 \$ 001.030  
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LEONE INVESTMENTS LIMITED PARTNERSHIP  
CHOC-6-14, INC  
5208 BUFFINGTON RD  
ATLANTA GA 30349-2915

US POSTAGE • PINNEY BOWES  
ZIP 87102 \$ 001.030  
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CALVIN MICHAEL VB & PAGELS PATTI  
3333 OXBOW VILLAGE LN NW  
ALBUQUERQUE NM 87120-1179

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MALKA NICOL  
3924 DESERT SAGE CT NW  
ALBUQUERQUE NM 87120-4098

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ZIP 87102 \$ 001.030  
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HADDAD ADAM F & KELLY JO  
5104 RIVER RIDGE PL NW  
ALBUQUERQUE NM 87124-1231

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LUAN JOANNE  
5039 HUMMINGBIRD LN NW  
ALBUQUERQUE NM 87120-4515

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MINOR LARRY II  
5505 VALLE ALGRÉ RD NW  
ALBUQUERQUE NM 87120-1815

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RAMASAMY SANTHILKUMAR  
3008 ALAMOGORDO DR NW  
ALBUQUERQUE NM 87120-2162

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ZIP 87102 \$ 001.030  
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SANCHEZ KRISTIN NICOLE  
5523 VALLE ALGRÉ RD NW  
ALBUQUERQUE NM 87120-1815

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ROB BILLE L  
3928 VALLE ALGRÉ SWAN CT NW  
ALBUQUERQUE NM 87120

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ROMERO MARY J & HART COINE  
405 SULTRY MINNOW PL NW  
ALBUQUERQUE NM 87120-4741

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ZIP 87102 \$ 001.030  
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02 7H  
0006057985  
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0006057985  
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ZIP 87102  
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Albuquerque, NM 87102

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Albuquerque, NM 87102

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Albuquerque, NM 87102

ROGERS, CHUCK & THERESE  
4015 SILVERY MINNOW PL NW  
ALBUQUERQUE NM 87124-4741

CARRILLO JOSE TOMAS FLOENTES  
322 DESERT SAGE CT NW  
ALBUQUERQUE NM 87120-4098

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

COLE, JAMES R & ELANNE J TRUSTEES COLE RVT  
4115 SILVERY MINNOW PL NW  
ALBUQUERQUE NM 87120-4742

DEFIELD, KENNETH H & SHARON S TRUSTEES  
3915 ALAMOGORDO DR NW  
ALBUQUERQUE NM 87120-1182

ESQUEL, JOSEPH & CATHERINE  
5415 HUMMINGBIRD LN NW  
ALBUQUERQUE NM 87120-4515

GURLE, PERCULLA H & ED  
3927 DESERT SAGE CT NW  
ALBUQUERQUE NM 87120

WALTER TERRA, T  
3331 TUNIFRO SWAN CT NW  
ALBUQUERQUE NM 87123-2476

RED SHAMROCK 12, LLC  
8220 SAN PEDRO DR, SUITE 500  
ALBUQUERQUE NM 87113-2476

HOWARD DWIGHT D & SUSAN B  
4101 SILVERY MINNOW PL NW  
ALBUQUERQUE NM 87120

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Albuquerque, NM 87102

KNOTT, CYNTHIA  
5300 OLD ADOBE TRL NW  
PO BOX 65390  
ALBUQUERQUE NM 87120-2784



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LEVINE INVESTMENTS LIMITED PARTNERSHIP  
2801 CAMELBACK RD SUITE 450  
PHOENIX, AZ 85016-4363



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LEVINE INVESTMENTS LIMITED PARTNERSHIP  
2801 CAMELBACK RD SUITE 450  
PHOENIX, AZ 85016-4363

RIVERA, ATTORNEY & AGENTS IN TRUSTS  
RIVERA, FAMILY TRUST  
4301 ATENION WAY NW  
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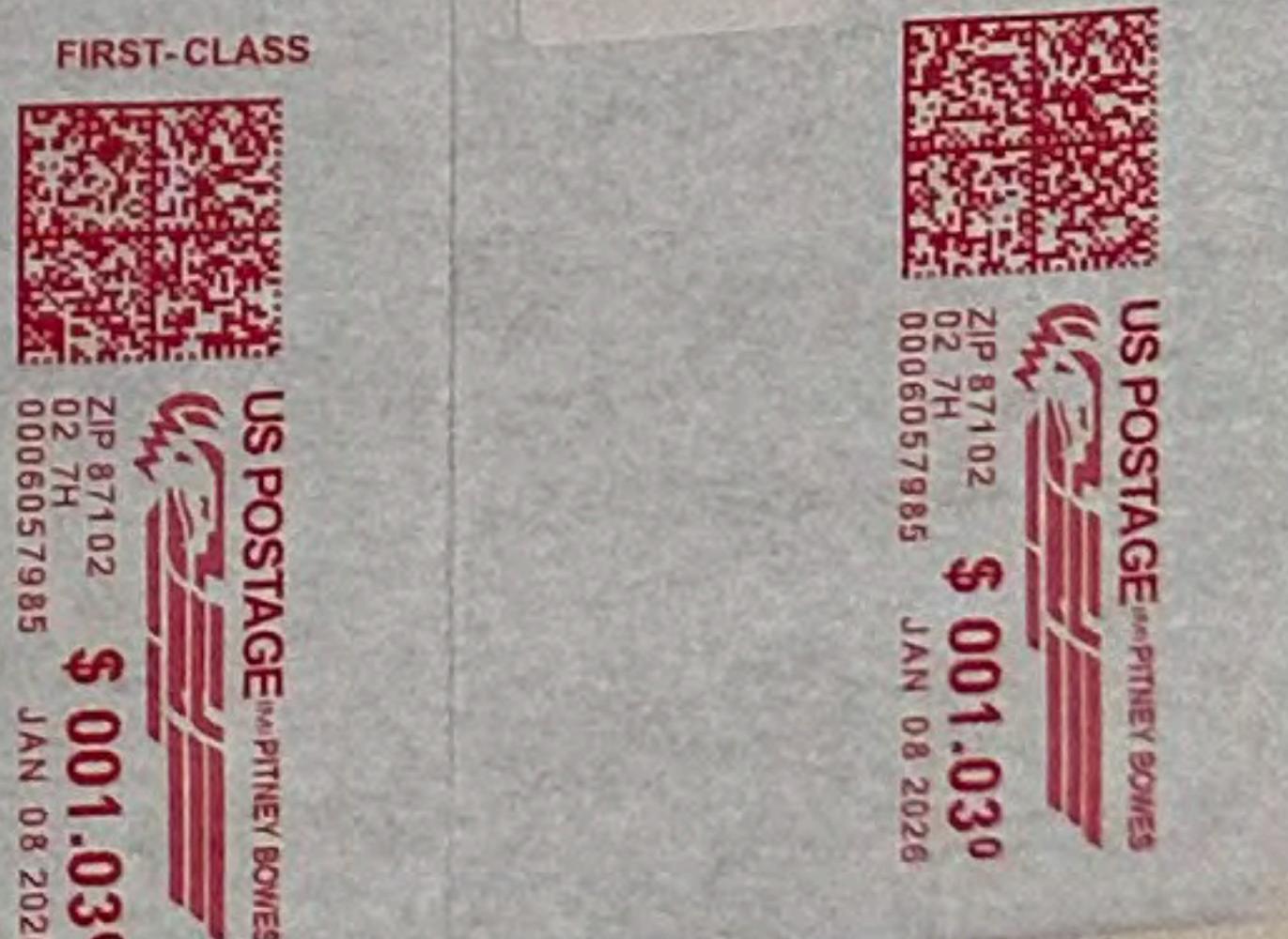
Consensus Planning  
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Albuquerque, NM 87102

NEWMAN, PHYLIS A  
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ALBUQUERQUE NM 87120-4515



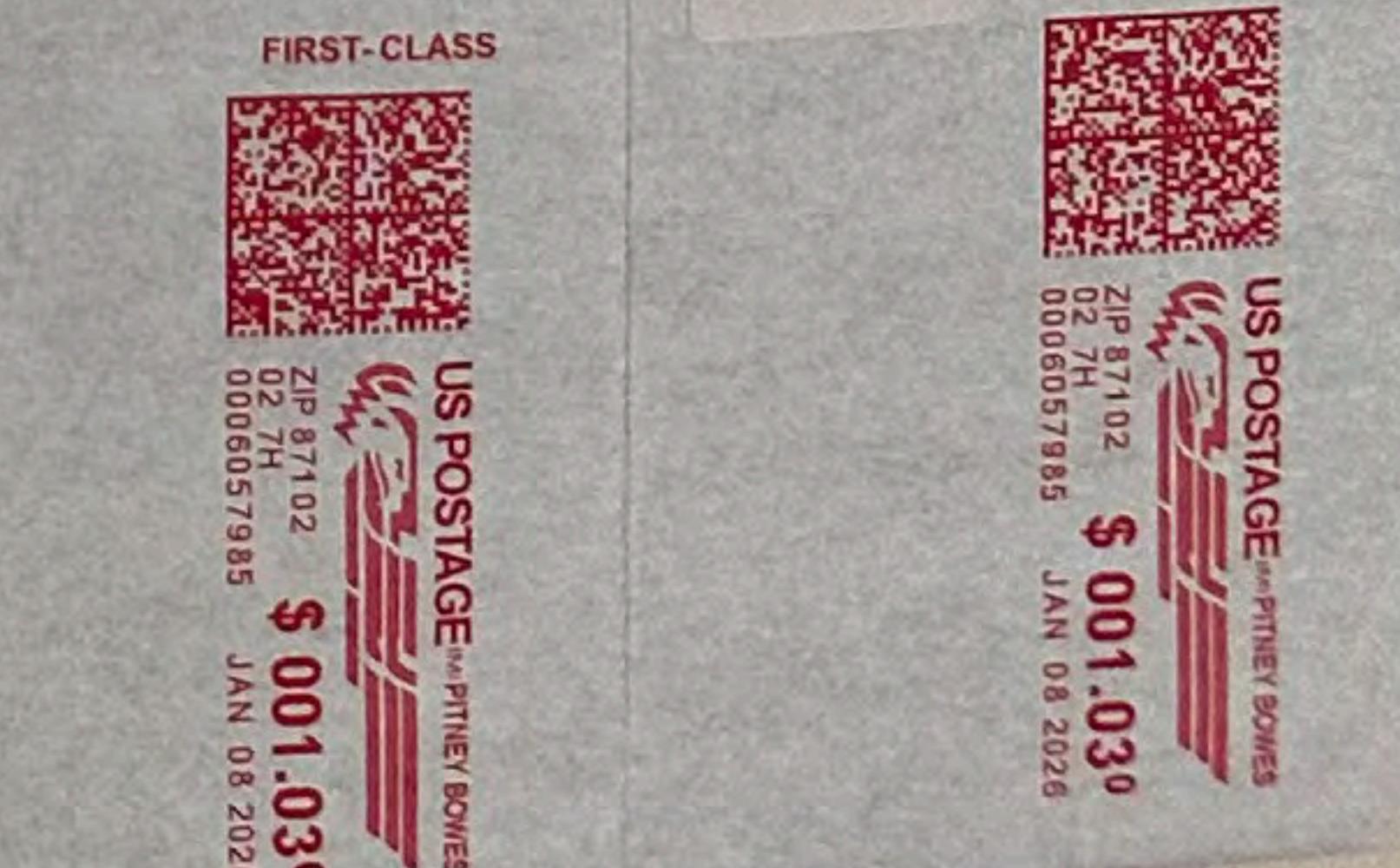
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302 8<sup>th</sup> Street NW  
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302 E CAROL ANN WAY  
PHOENIX, AZ 85016-0000



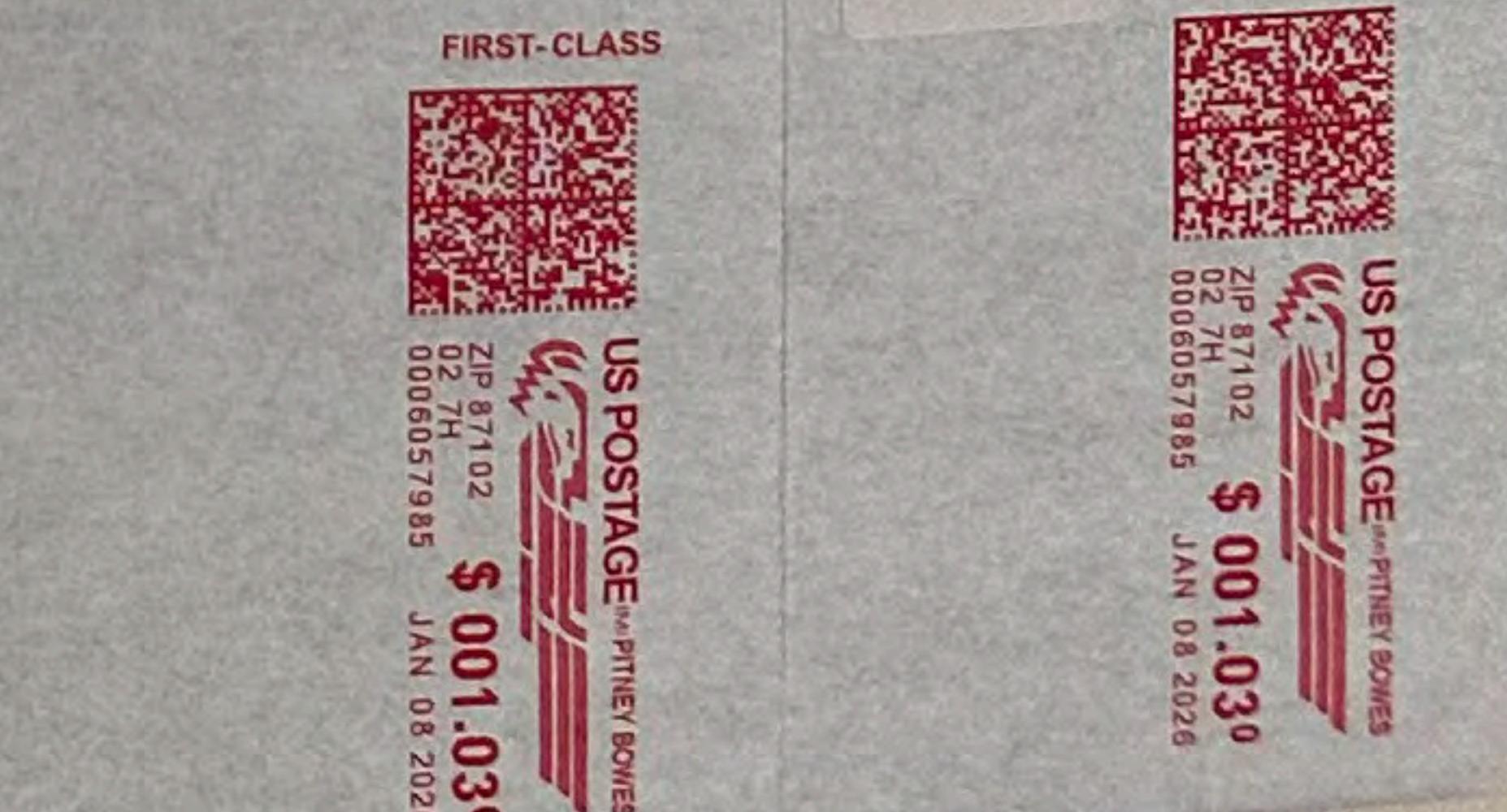
Consensus Planning  
302 8<sup>th</sup> Street NW  
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RASKO, WILLIAM F II & KATHLEEN T  
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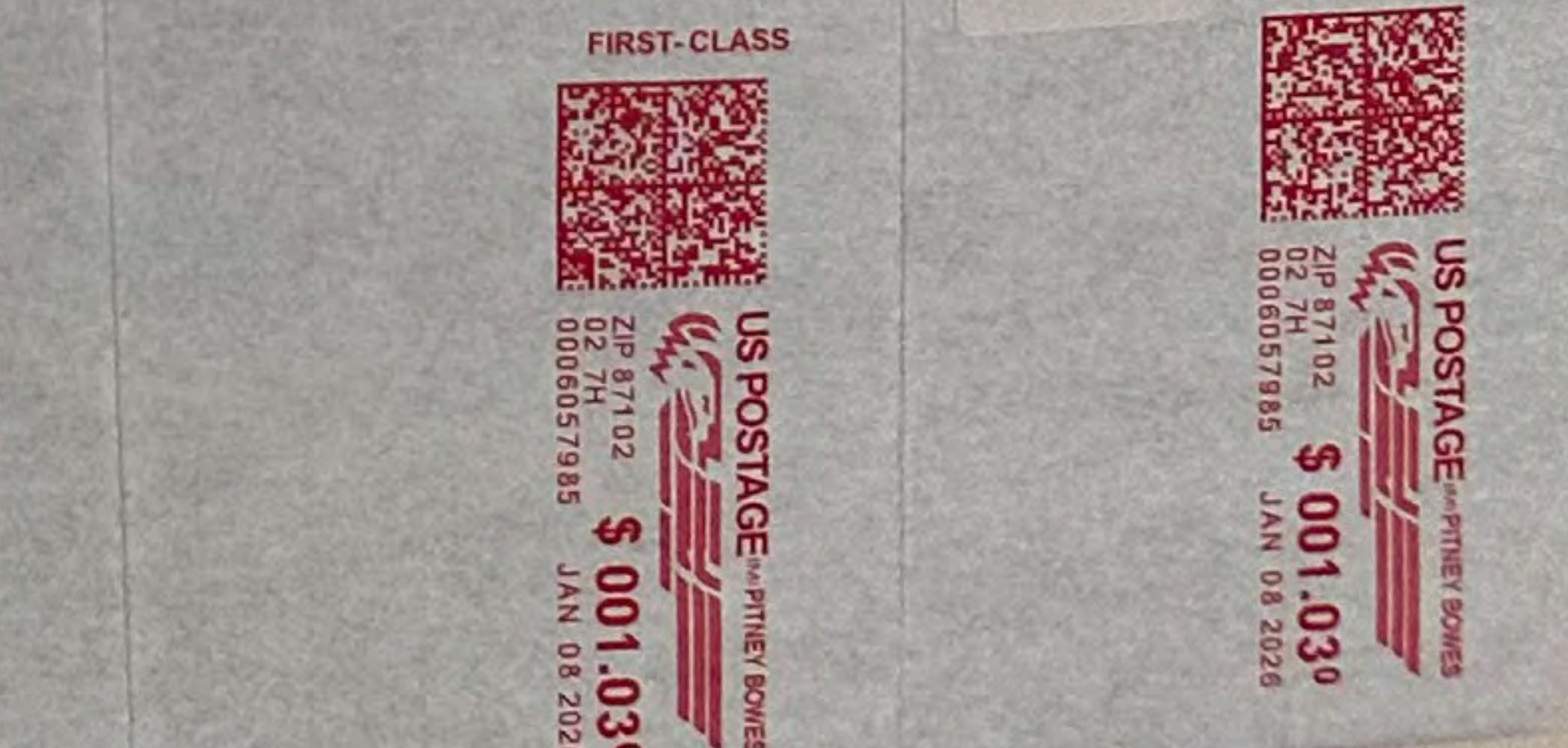
Consensus Planning  
302 8<sup>th</sup> Street NW  
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WISE, LARRY E & ANITA G, TRUSTEES WISE, LUT  
3208 OLD ADOBE TRL NW  
ALBUQUERQUE NM 87120-2784



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ABRAHAMS, ADAM D  
5301 PETROSKY NW  
ALBUQUERQUE NM 87120-5259



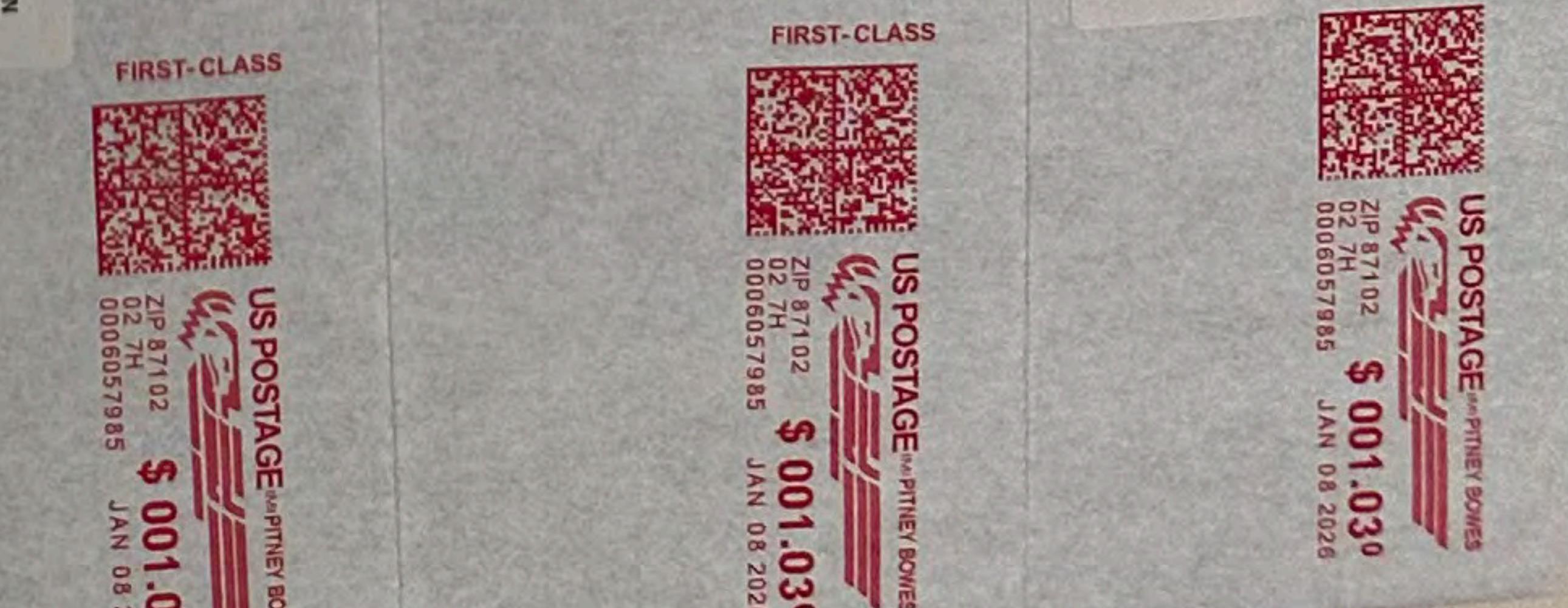
Consensus Planning  
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KINEL, KARYN  
3922 PINON JAY CT NW  
ALBUQUERQUE NM 87120-4097



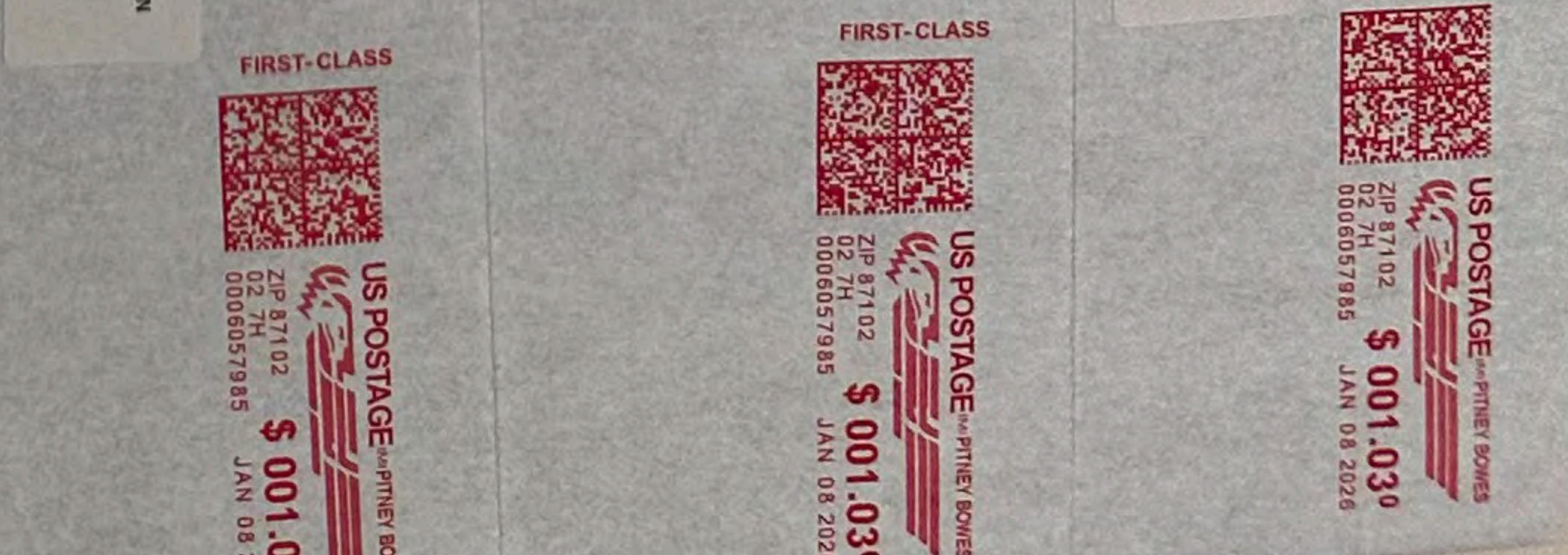
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302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

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ALBUQUERQUE NM 87120



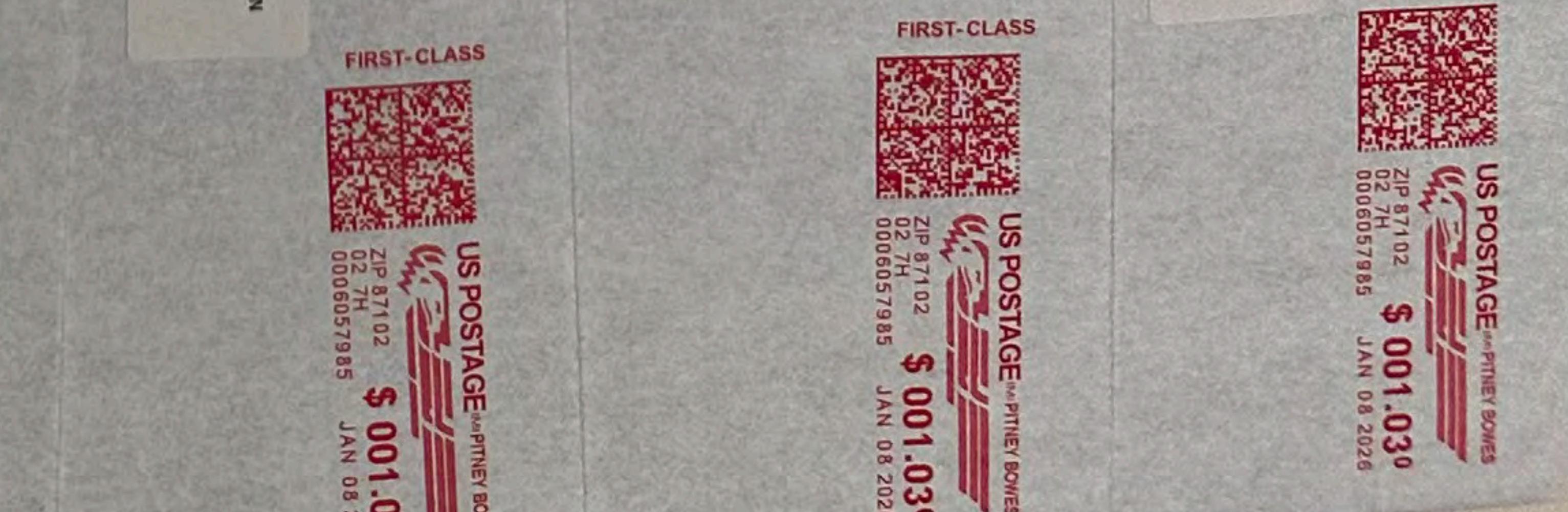
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MC CARTON, BRIAN & LSA  
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ALBUQUERQUE NM 87120-2784



Consensus Planning  
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4304 WILLOWVIEW LN NW  
ALBUQUERQUE NM 87120-5426



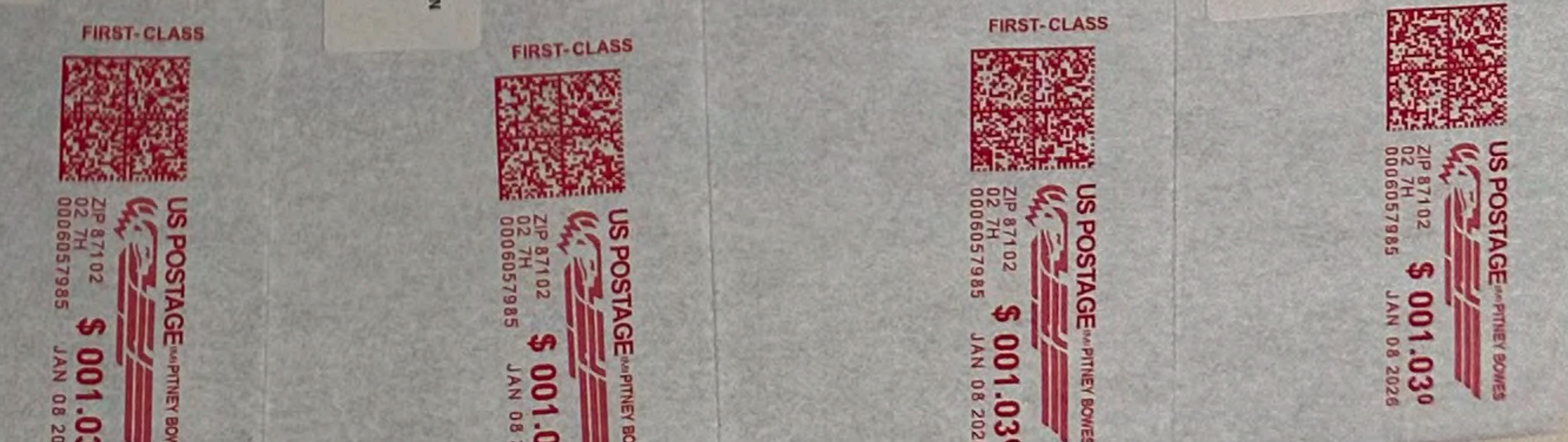
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PEARL, DON & TIAANI, ROBERT, DANIEL &  
PEYADANA, JAY  
302 E CAROL ANN WAY  
PHOENIX, AZ 85016-0000



Consensus Planning  
302 8<sup>th</sup> Street NW  
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PHOENIX, AZ 85016-0000



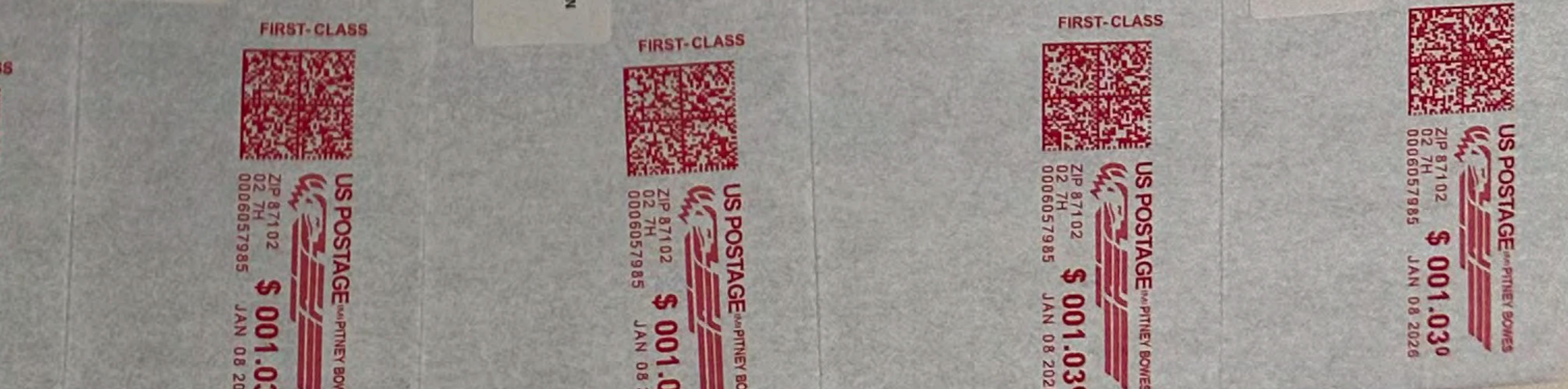
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PHOENIX, AZ 85016-0000



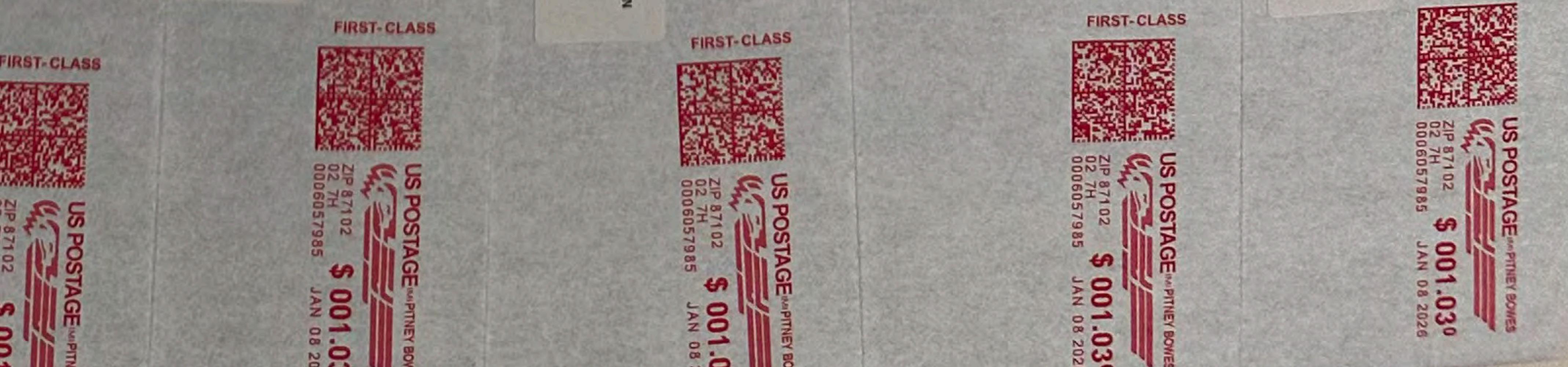
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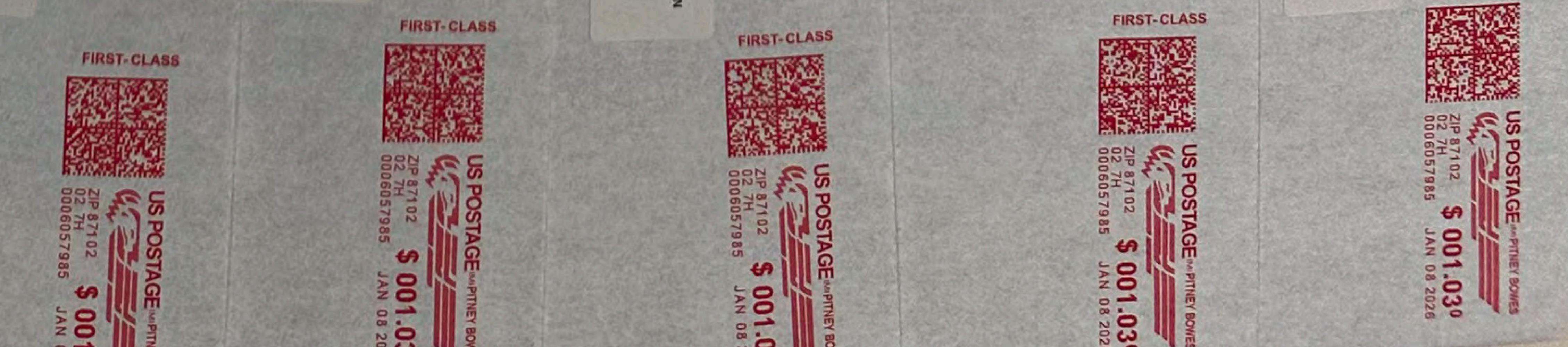
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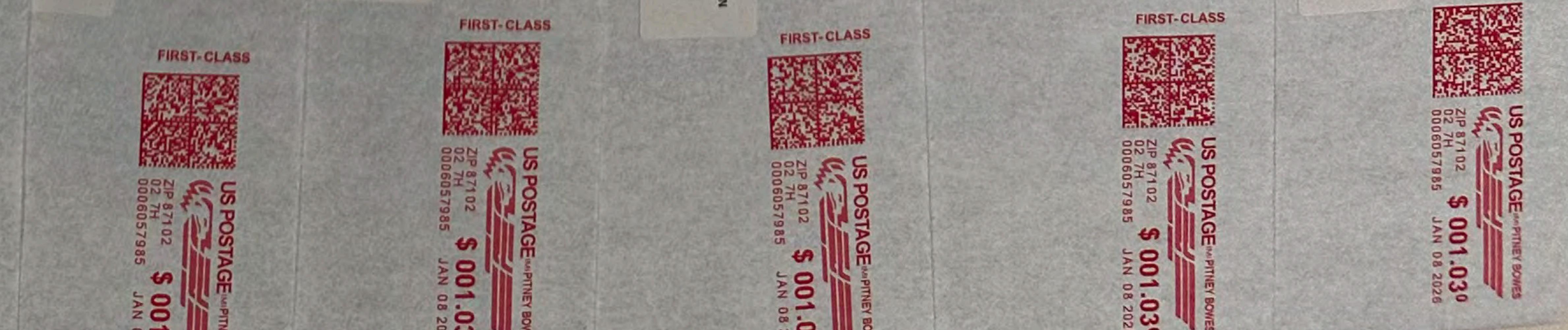
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PEYADANA, JAY  
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PHOENIX, AZ 85016-0000



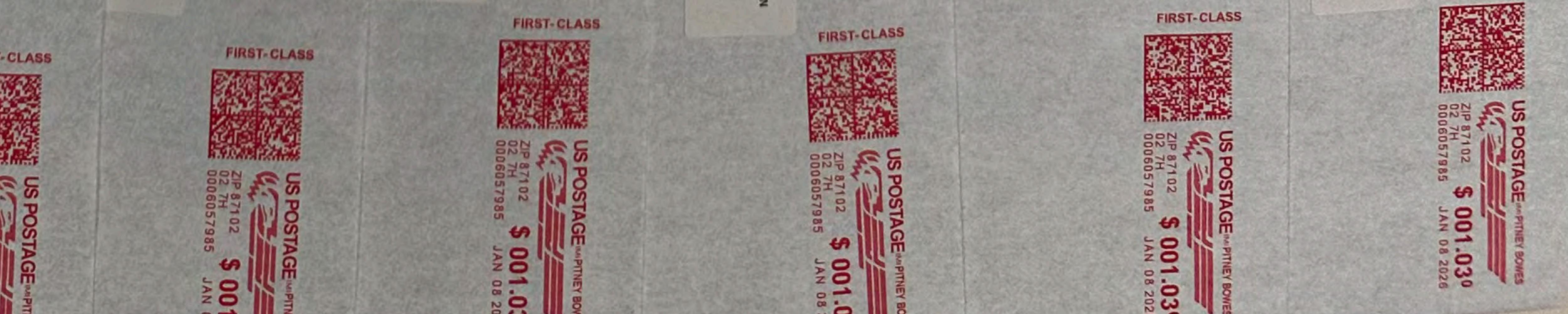
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302 E CAROL ANN WAY  
PHOENIX, AZ 85016-0000



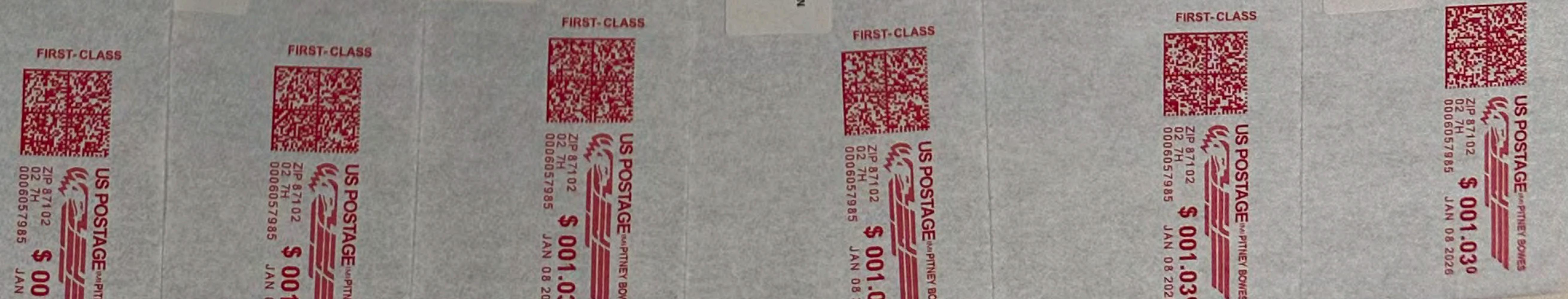
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PHOENIX, AZ 85016-0000



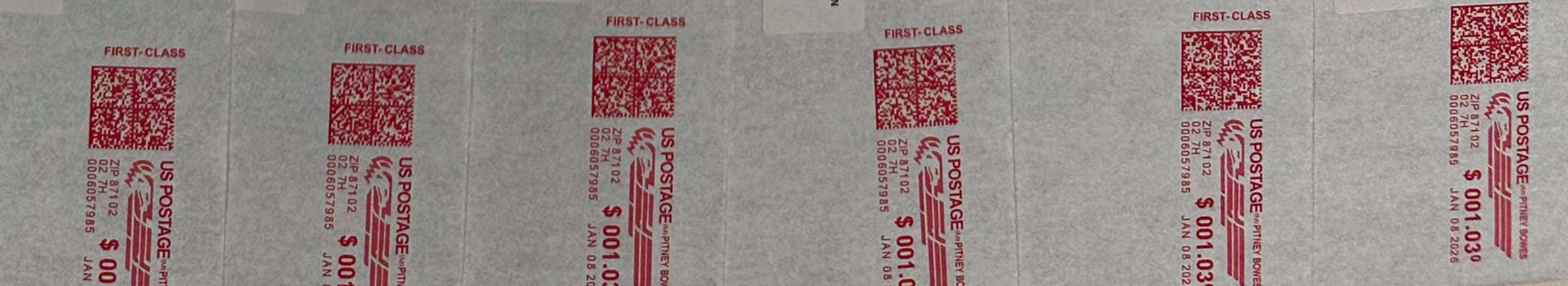
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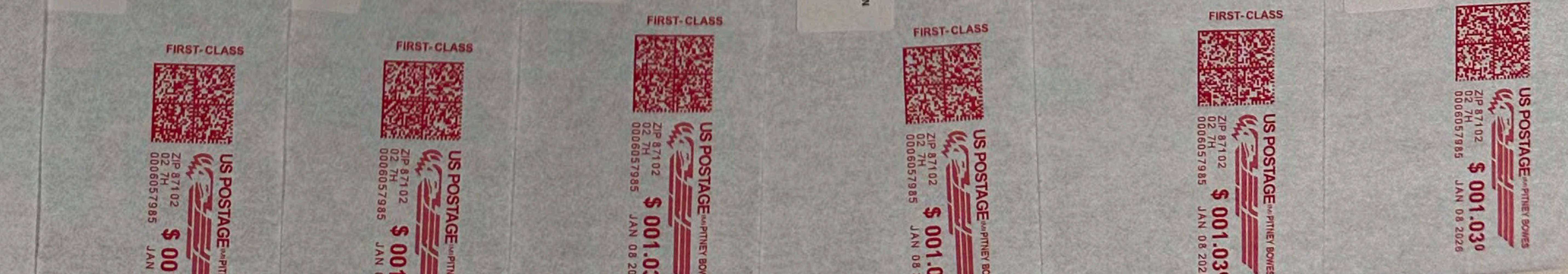
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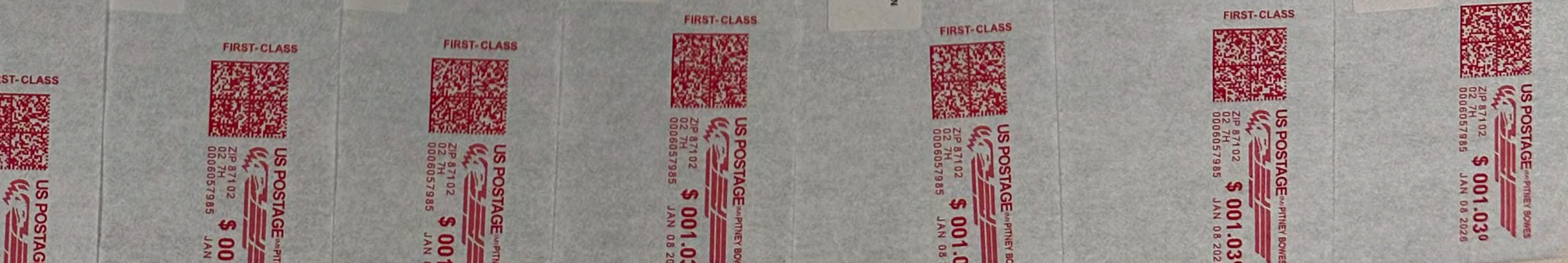
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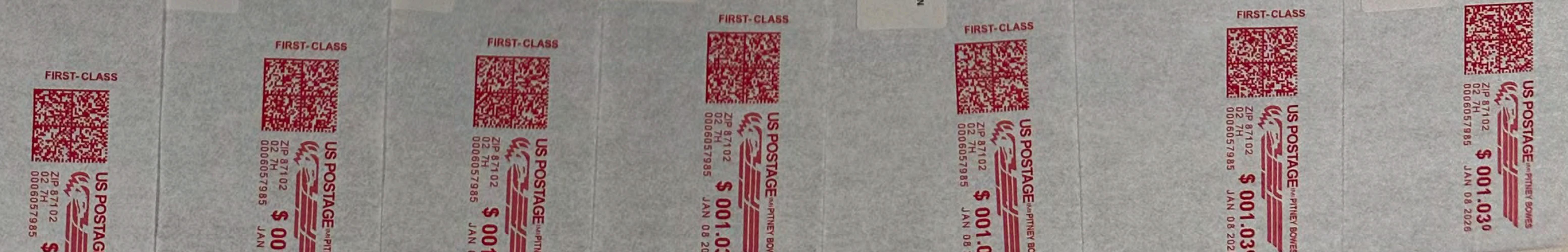
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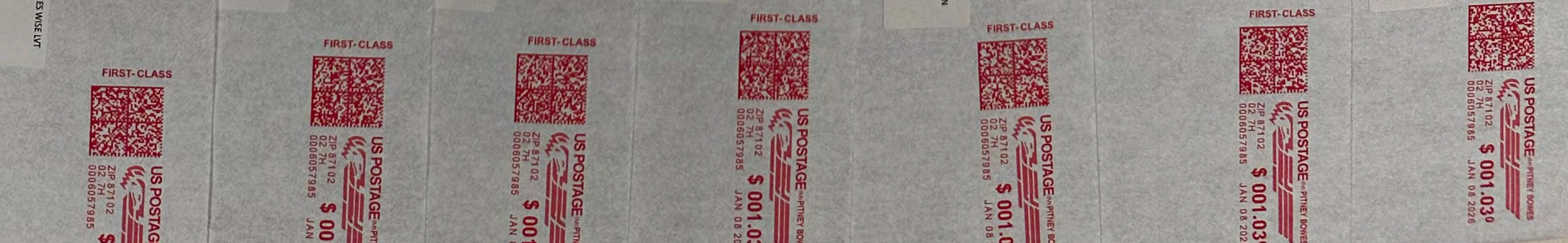
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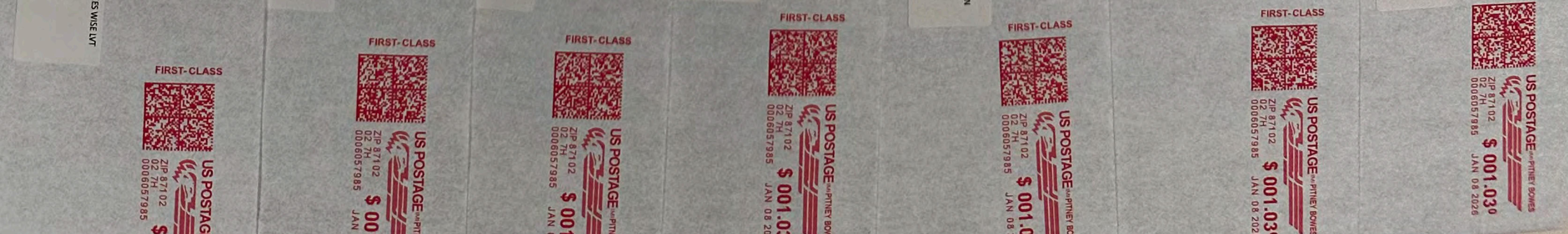
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Albuquerque, NM 87102

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Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

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Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

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Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

FIRST-CLASS



US POSTAGE TM PITNEY BOWES  
ZIP 87102 02 7H \$ 001.03<sup>0</sup>  
0006057985 JAN 08 2026

10 BOATS COORS BLVD NM LLC  
2265 E MURRAY HOLLADAY RD  
SALT LAKE CITY UT 84117-5379

Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

FIRST-CLASS



US POSTAGE TM PITNEY BOWES  
ZIP 87102 02 7H \$ 001.03<sup>0</sup>  
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ADAMS JADE MARIE  
5531 VALLE ALEGRE WAY NW 17-A  
ALBUQUERQUE NM 87120-1815

Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

FIRST-CLASS



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ANDERSON STEVEN C  
5200 OLD ADOBE TRL NW  
ALBUQUERQUE NM 87120-2780

Consensus Planning  
302 8<sup>th</sup> Street NW  
Albuquerque, NM 87102

FIRST-CLASS



US POSTAGE TM PITNEY BOWES  
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0006057985 JAN 08 2026

BAILEY ALLIE  
5509 VALLE ALEGRE WAY NW BLDG 15B  
ALBUQUERQUE NM 87120-1815

**F) NEIGHBORHOOD MEETING REPORT**



## MEETING NOTES

**Project** St. Pius X Site Plan Amendment

**Subject** Informational Meeting with Vista Grande NA

**Meeting Date/Time** January 14, 2026

### Attendees

Richard Schaefer, Susan Homer, Carlos Brown, Nick Harrison, Susan Buerghi, Trevor Moore, and Jeff Melvin (Vista Grande NA)

Dustin Kiska (CABQ)

Michael Deely and James Cook (SPX)

Ivan Shorty and Steven Morrow (Molzen-Corbin)

Ayoni Oyenuga (Consensus Planning)

### SUMMARY

We received an invitation from Vista Grande Neighborhood Association to participate in an informational meeting to inform residents about proposed amendments to the existing site plan related to the athletic facilities on the west side of the existing campus. Representatives from SPX presented the planned modifications and their rationale. Attendees posed questions about the light poles, games, stadium capacity, and parking, all of which were thoroughly addressed. The meeting allowed for constructive dialogue, leading to mutual understanding and overall support for the project.

### Key points

- The school operates independently, governed by a board of trustees. SPX owns the property and has recently expanded to include middle school students, now offering grades 6-12. The school has approximately 942 students enrolled.
- The current football field does not meet standard size requirements, necessitating the use of West Mesa and other venues for their home games.
- It is essential for the school and its athletic program to build a standard football field to effectively host home games.
- Given that the school and program have expanded significantly, upgrading the original facilities is necessary. The school has been addressing deferred maintenance. The school's 75th anniversary is next year.

## Questions from the neighbors

- Where will the light poles be located? Will there be lighting on the tennis courts?

**Response:** There will be 4 light poles on the football field. There are no plans to have lighting on the tennis courts.

- Are you planning nighttime games?

**Response:** Yes. Friday nights. Football.  
Homecoming games and a few others. Playoffs.

- What is the capacity of the stadium? Will there be people standing around the perimeter? Will noise be a problem?

**Response:** The estimate is a maximum of 2500 people. There will be some noise generated from the games. They have school security. They take precautions about where people can be or where they can park. So, there shouldn't be people at the northern edge. Their goal is always to keep attendees and events within the property.

- Ensuring that we pay attention to the night sky ordinance and minimize night sky pollution

**Response:** The stadium lights will only be on during the nighttime games.  
The security/pedestrian lights are set at a lower level.

- Are you putting in new parking to the northeast of the football field? Or is the parking in yellow existing?

**Response:** The parking highlighted in yellow is existing and the current car park for the middle school.

- Are there any plans to provide sidewalks between the trees on Coors and the school?

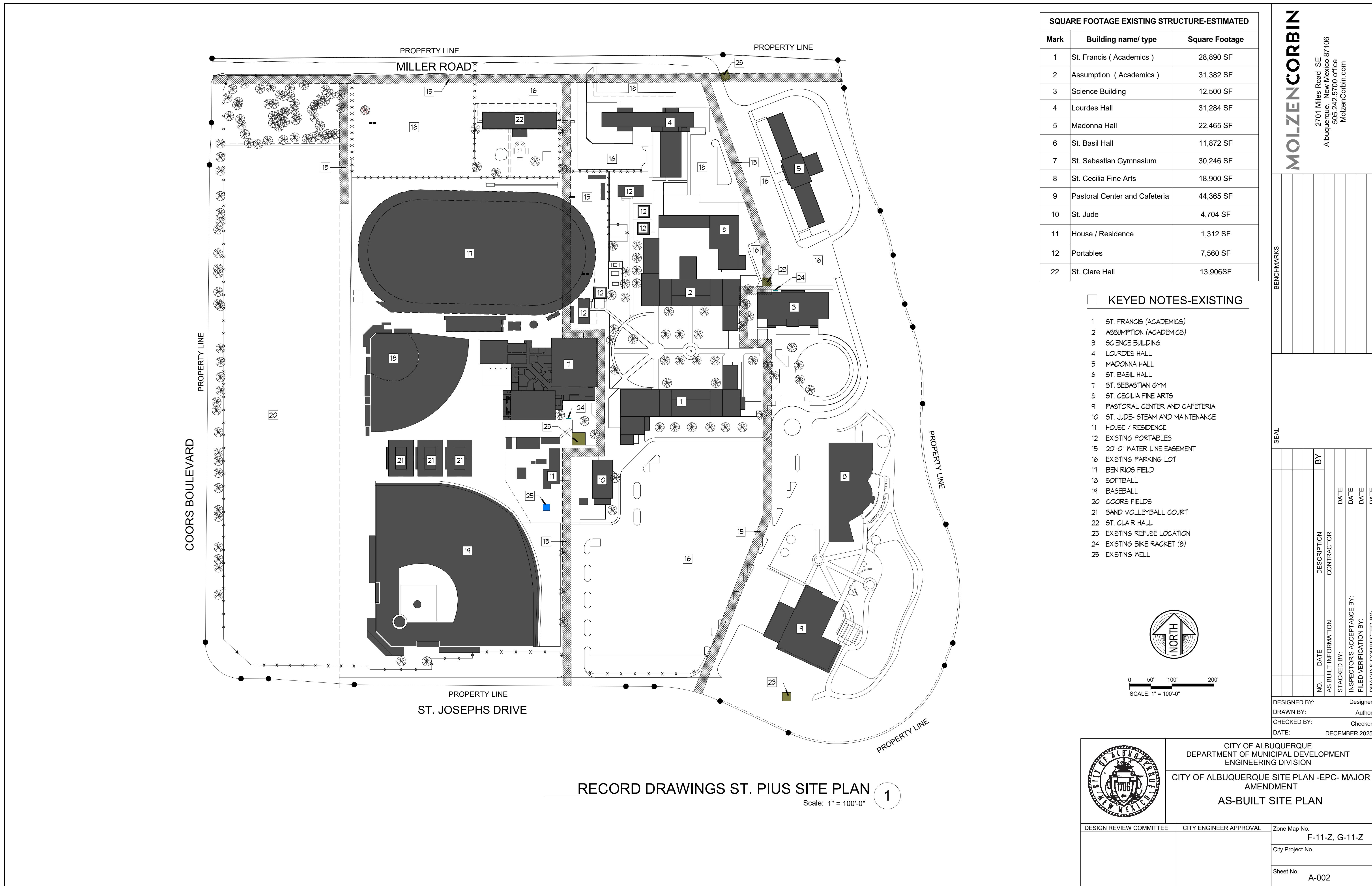
**Response:** That area is the City's responsibility and within the existing right-of-way. SPX helps to clean up the trash, but has not heard about any plans to provide a sidewalk. We have not been asked to do so.

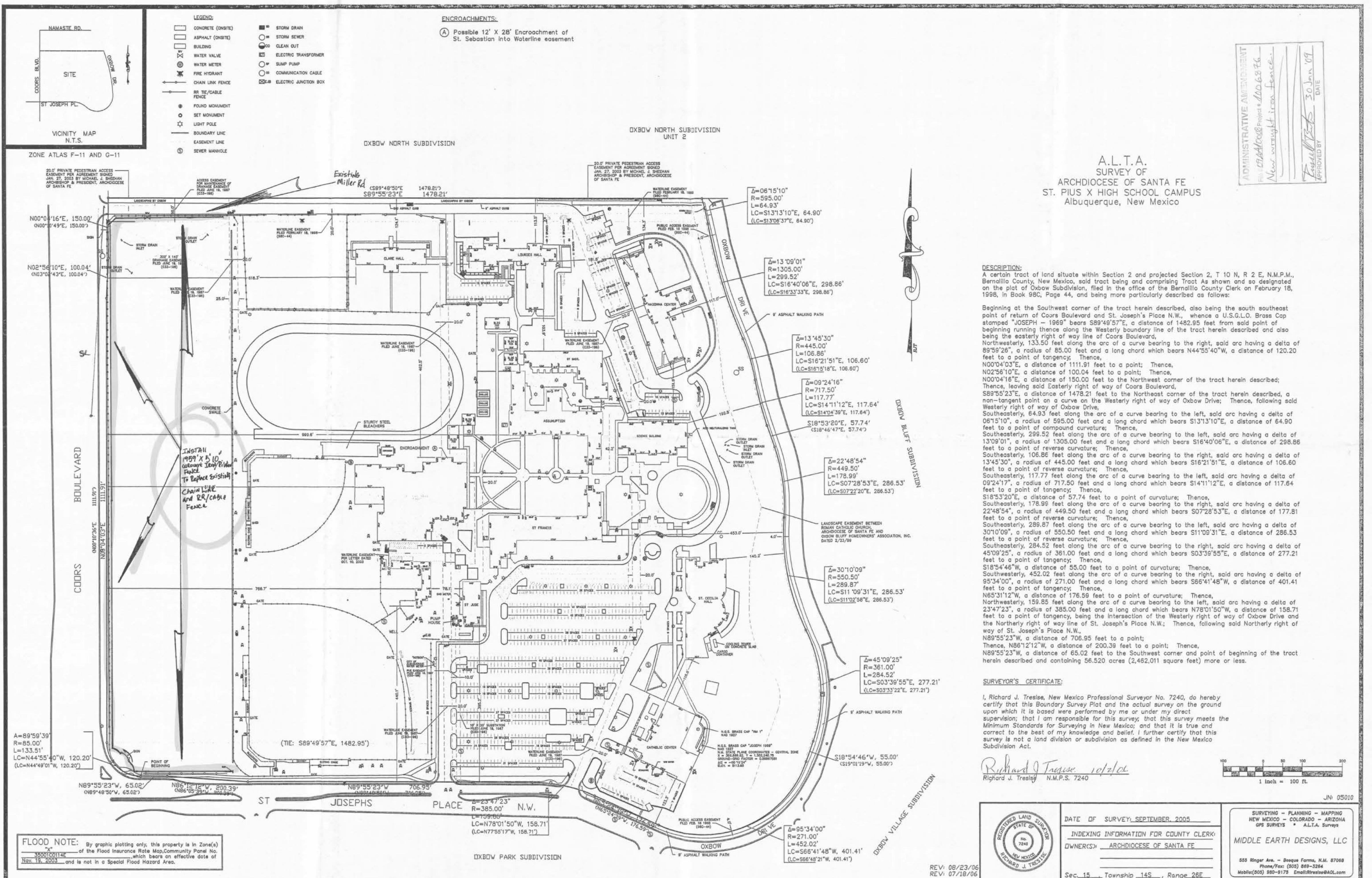
**G) CONTROLLING SITE PLAN**



**H) PROPOSED SITE PLAN**



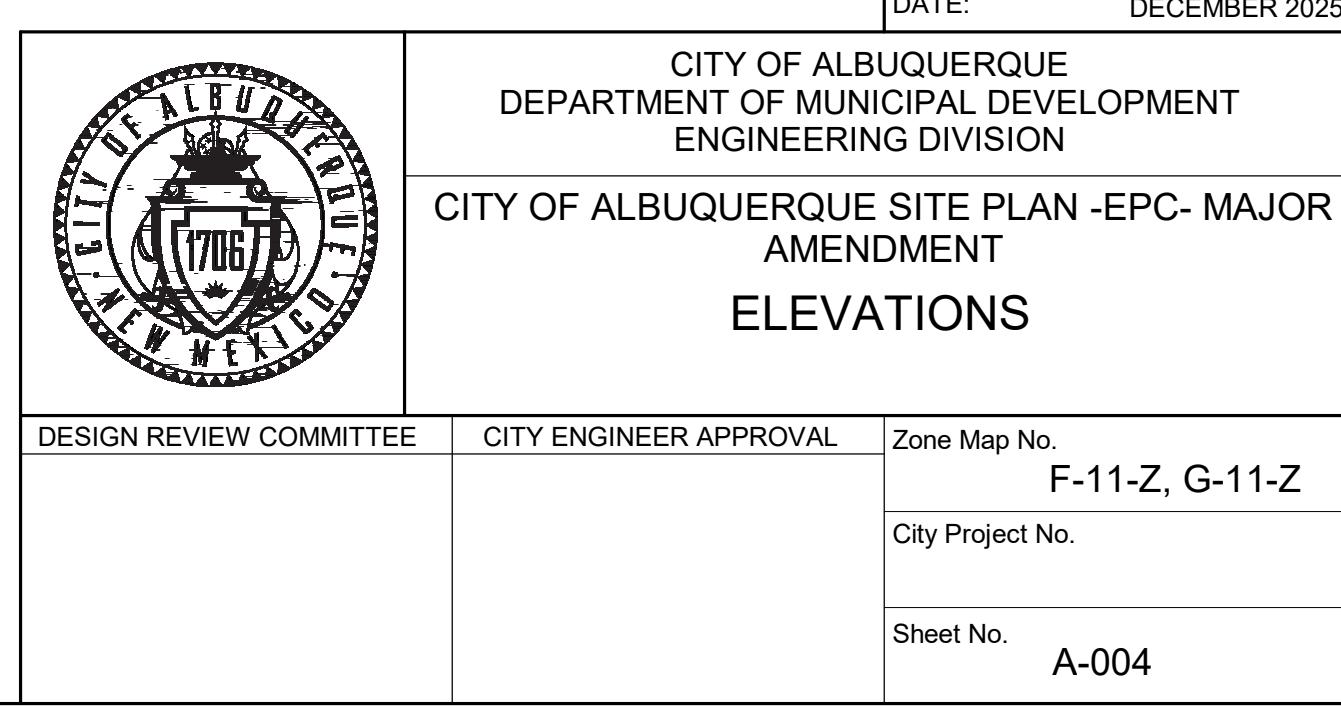
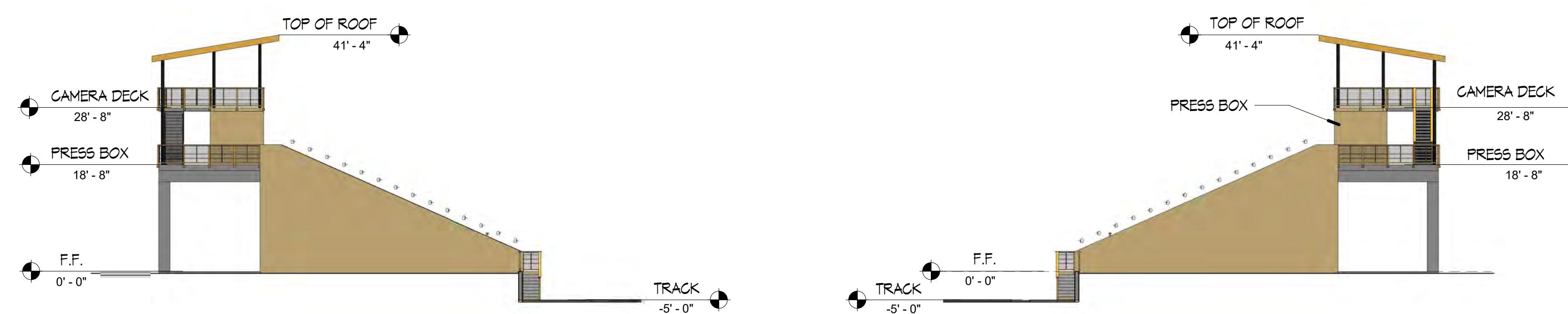
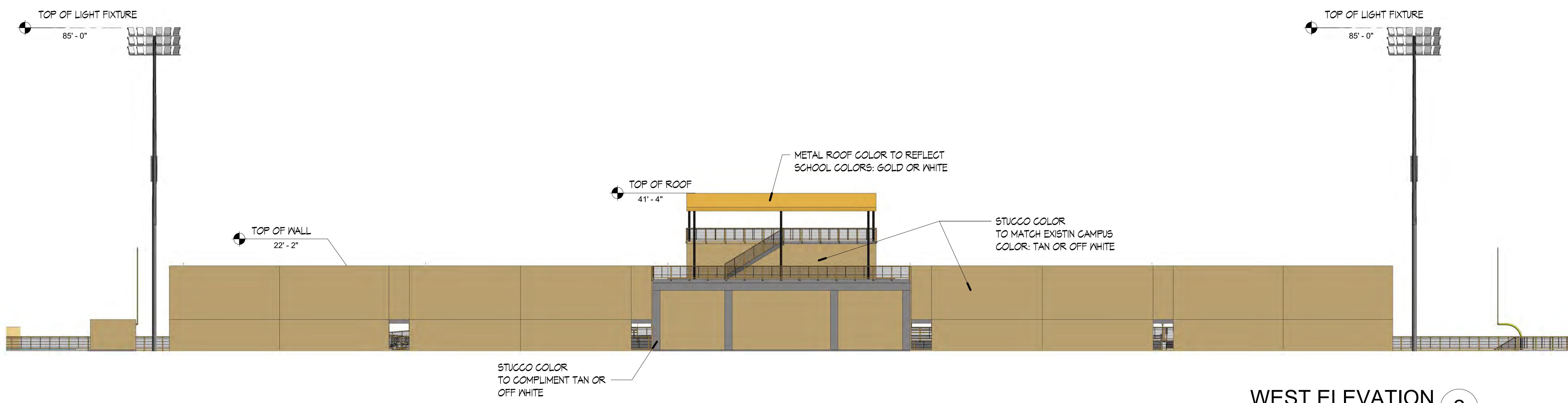
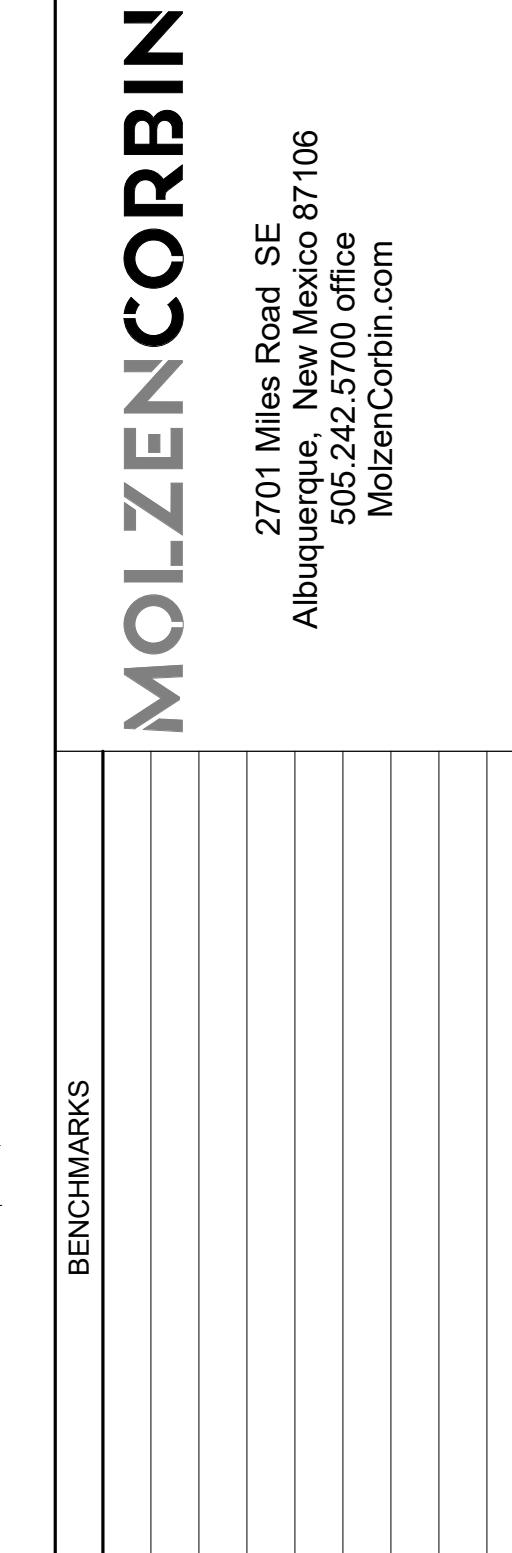
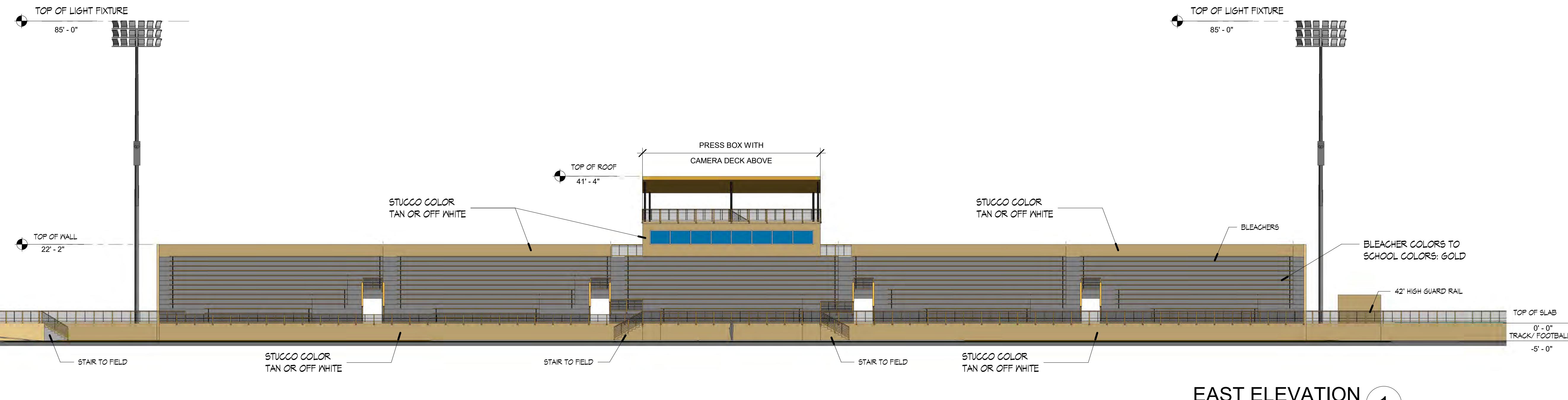


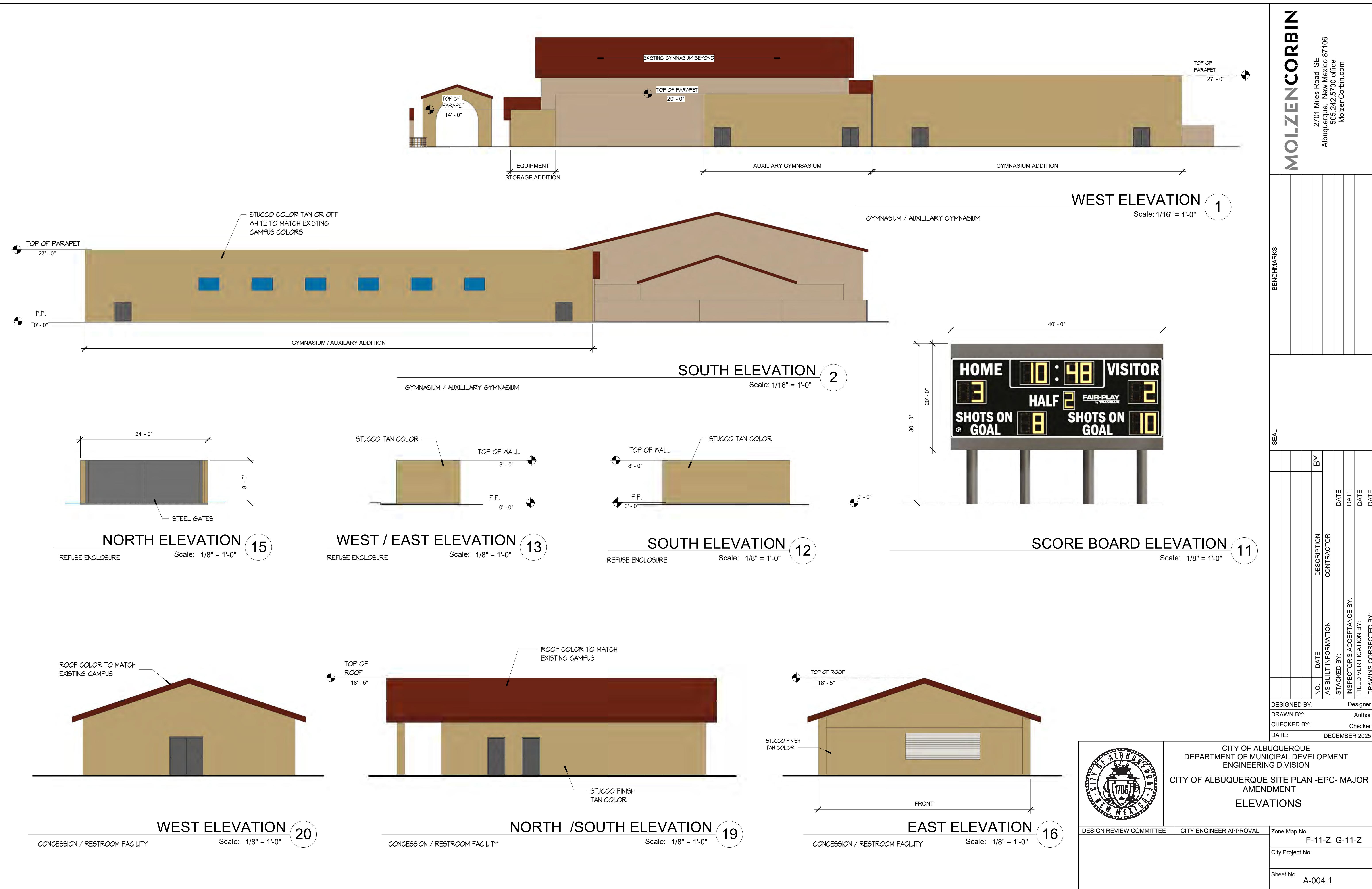


SIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Zone Map No. F-11-Z, G-11-Z
		City Project No.
		Sheet No. A-003

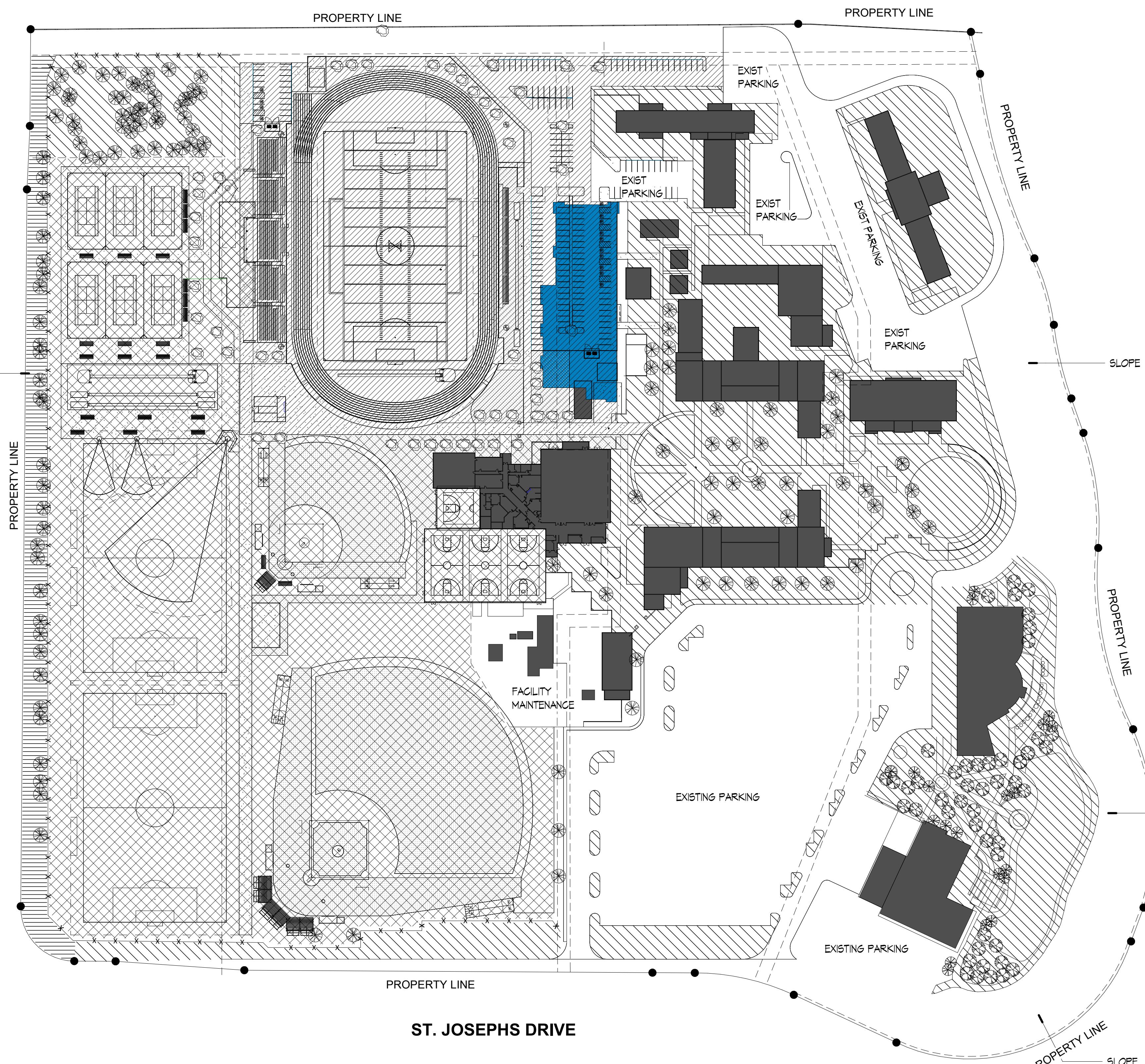
2701 Miles Road SE  
Albuquerque, New Mexico 87106  
505.242.5700 office  
[MolzenCorbin.com](http://MolzenCorbin.com)

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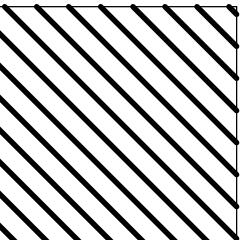
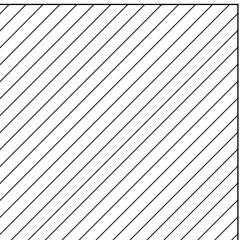
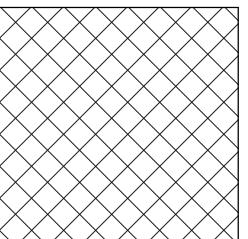
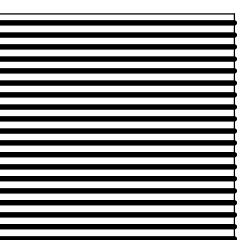
## COORS BOULEVARD



## GENERAL NOTES

- A. MORE DETAILED INFORMATION TO BE INCLUDED WITH BUILDING PERMITS.
- B. CITY OF ALBUQUERQUE STANDARDS WILL BE FOLLOWED

## SQUARE FOOTAGE MASTER PLAN LANDSCAPE

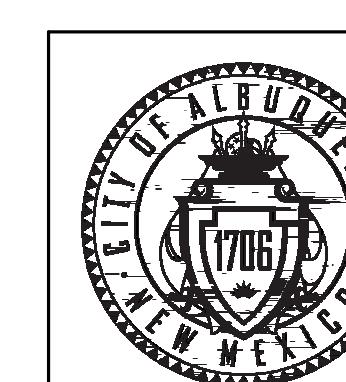
	LANDSCAPE AREA	Square Footage	Comments
	EXISTING LANDSCAPE TO REMAIN. NO WORK	407,947 SF	Includes concrete sidewalks, and green space. Includes ponding
	PHASE 1 (ONE) LANDSCAPE	353,248 SF	Gross square feet; concrete sidewalk, asphalt parking, structures, , artificial turfed field, and track.
	FUTURE LANDSCAPE	680,669 SF	Gross square feet; green space, structures, concrete sidewalks. Includes fields and tennis courts
	EXISTING COORS BLVD	48,833 SF	Gross square feet; concrete sidewalk, trees within highway right of way (ROW)

## DEVELOPMENT PHASE PLAN

-0"

A horizontal scale bar with three major tick marks labeled '0', '50'' (feet), and '100'' (feet). The distance between '0' and '50'' is filled with a thick black line. The distance between '50'' and '100'' is also filled with a thick black line. Below the scale bar, the text 'SCALE: 1" = 100'-0" is centered.

A scale bar marked from 0 to 200 feet in increments of 50'. The 100' mark is explicitly labeled. Below the bar, the text "SCALE: 1" = 100'-0"" is printed.



CITY OF ALBUQUERQUE

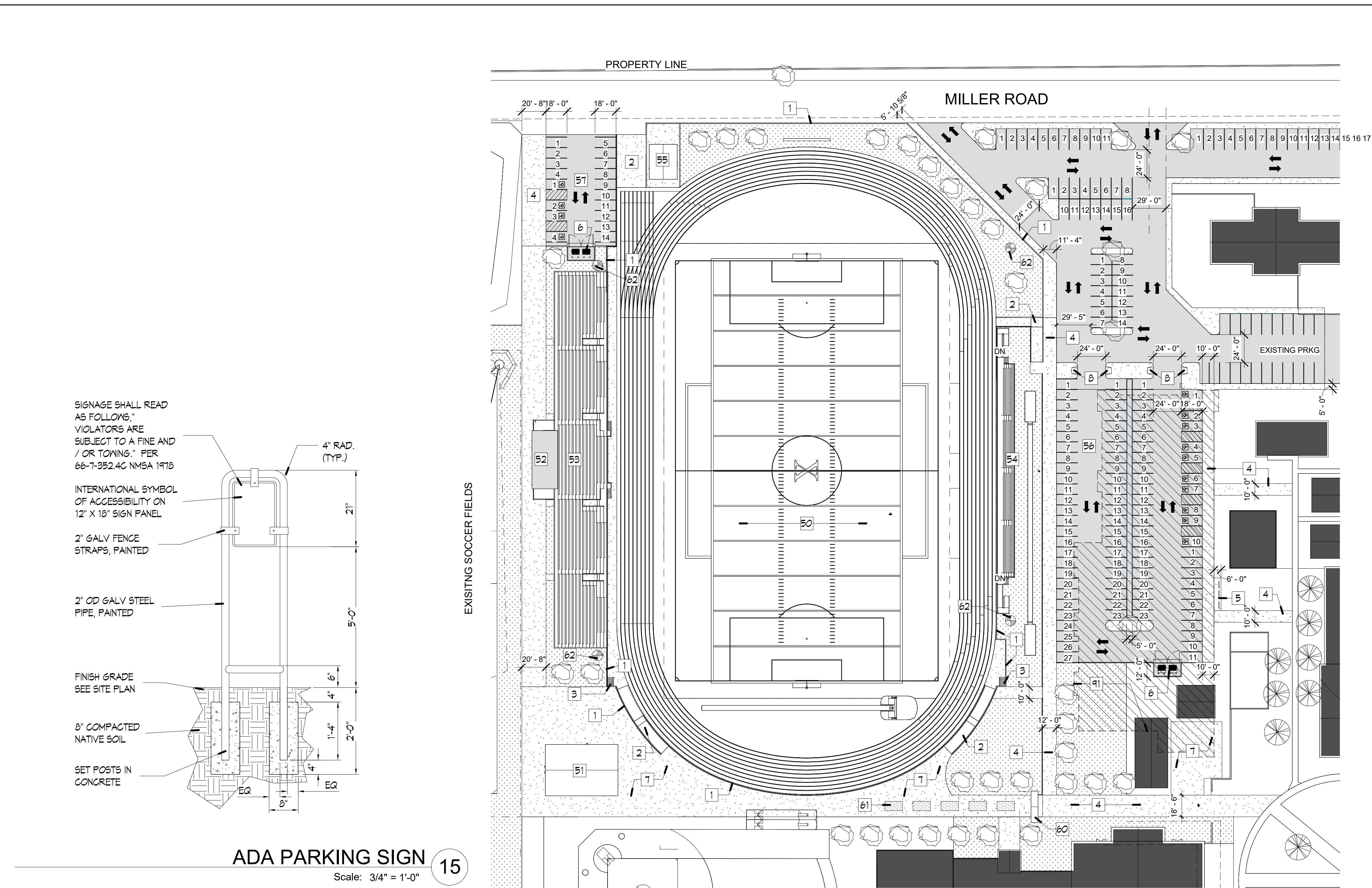
ENGINEERING DIVISION

## AMENDMENT

## DEVELOPMENT PHASE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Zone Map No. F-11-Z, G-11-Z
		City Project No.
		Sheet No. A-005



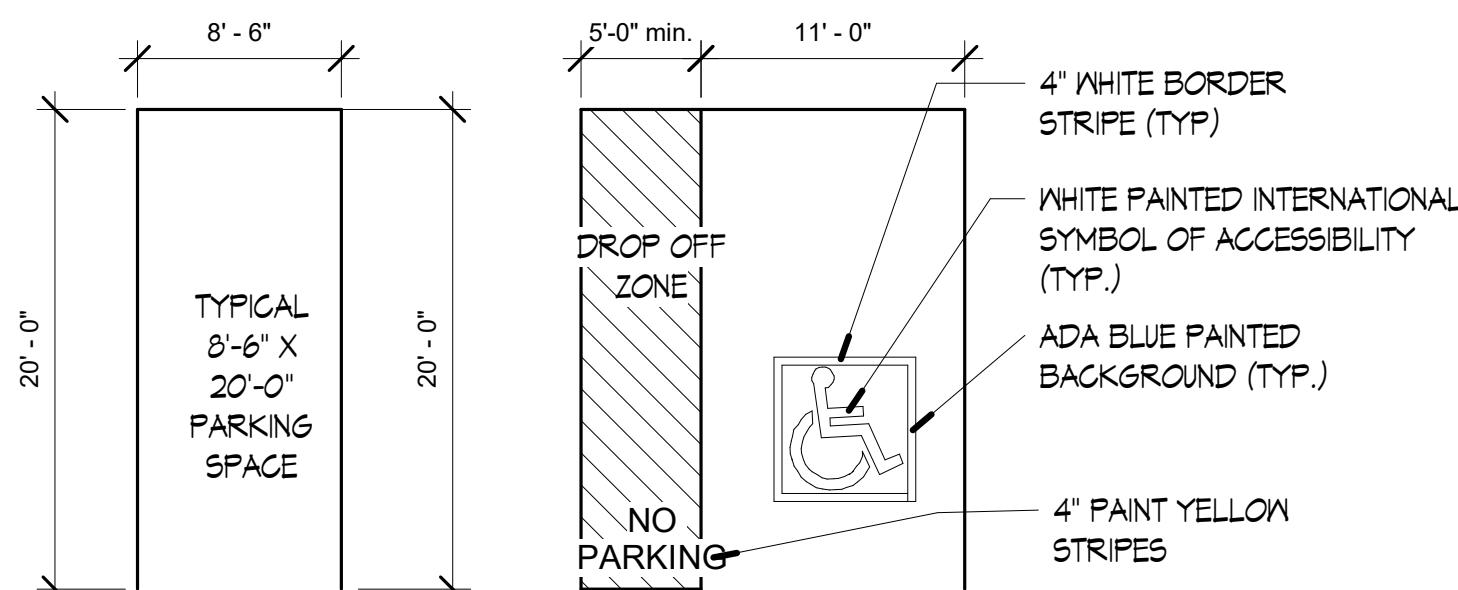


# ADA PARKING AND GENERAL PARKING

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Scale: 1/8" = 1'-0"





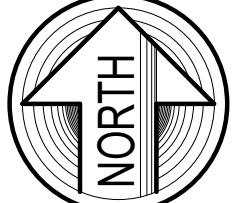
## GENERAL NOTES

A. ST. PIUS HIGH SCHOOL LANDSCAPIING WILL FOLLOW AND ABIDE TO CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-10

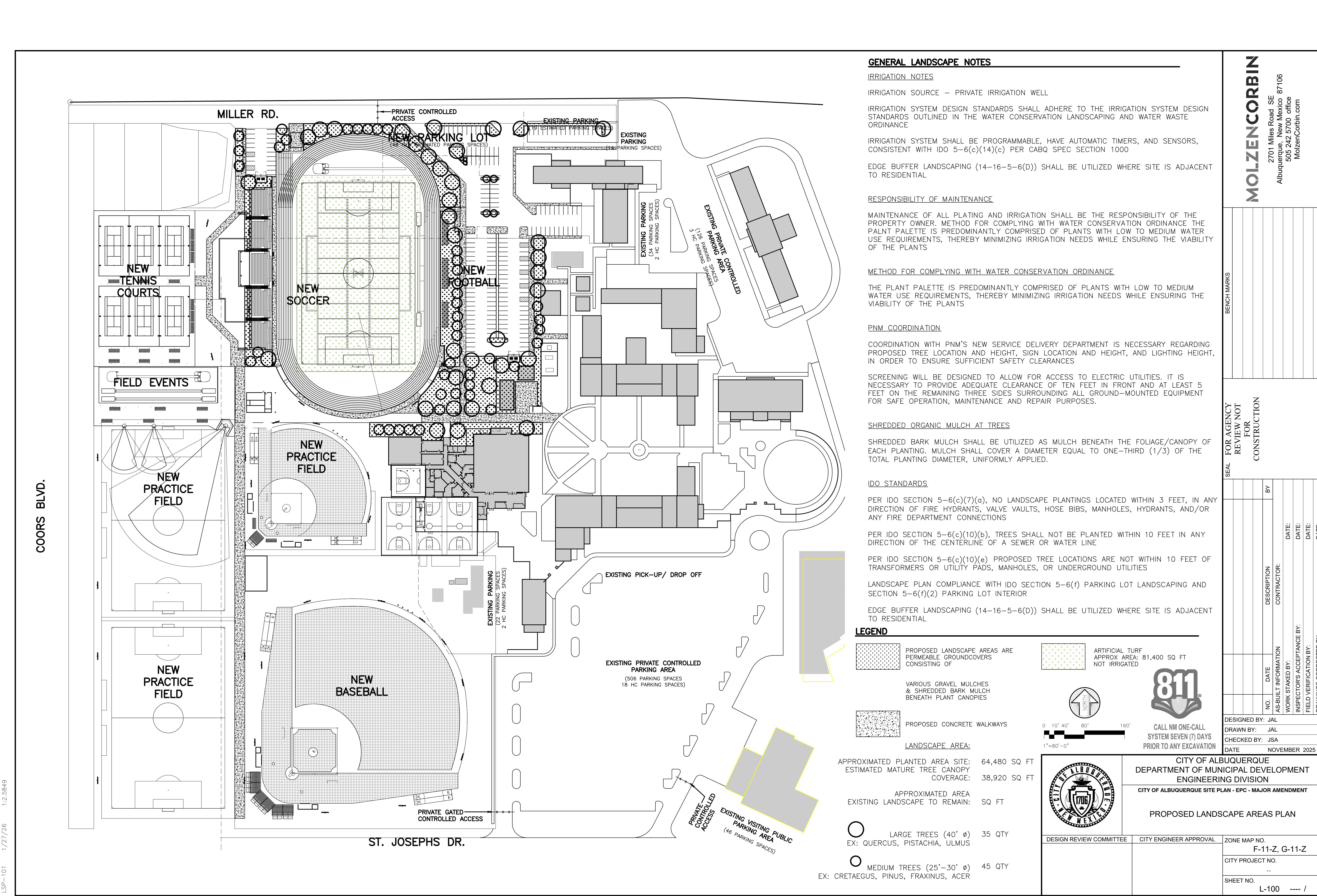
## KEYED NOTES

- 1 GUARD RAIL FENCE AT 42" HIGH
- 2 RAMP WITH SLOPE 1:12 MINIMUM
- 3 CONCRETE MONOLITHIC STAIRS.
- 4 CONCRETE SIDEWALK
- 5 BICYCLE RACK
- 6 REFUSE CONTAINER ENCLOSURE
- 7 CONCRETE SLAB
- 8 CURB RAMP
  
- 50 FOOTBALL, SOCCER, TRACK AND FIELD. ARTIFICAL TURF
- 51 CONCESSION, RESTROOMS, AND JANITOR
- 52 PRESS BOX
- 53 HOME GRAND STANDS
- 54 VISITOR GRANDSTAND.
- 55 TRACK AND FIELD EQUIPMENT STORAGE
- 56 EAST ASPHALT PARKING LOT
- 57 WEST ASPHALT PARKING LOT
- 58 REFUSE LOCATION
- 59 CONCRETE SIDEWALK
- 60 ENTRANCE ARCH WAY
- 61 SPONSOR BRICK PAVERS
- 62 STADIUM LIGHTING. REFER TO LUMINAIRE SCHEDULE
- 63 SCORE BOARD LOCATION
  
- 80 SOFTBALL FIELD
- 81 MULTI PURPOSE FIELD; TRACK, SHOTPUT, AND DISCUS
- 82 SOCCER FIELD
- 83 LONG JUMP
- 84 POLE VAULT
- 85 TENNIS COURT

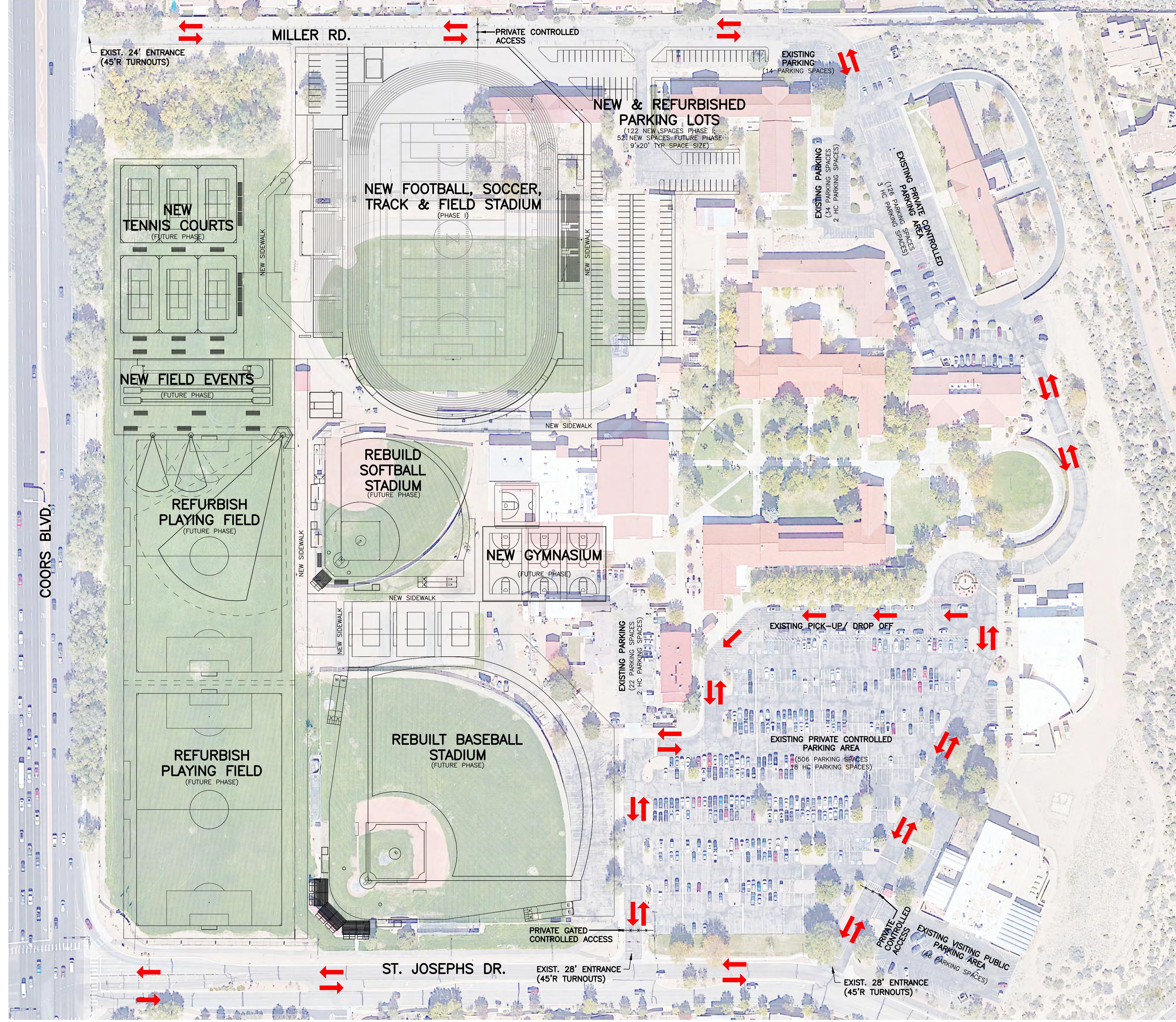
# SITE PLAN



SCALE: 1" = 50'-0"		CHECKED BY: Checker
		DATE: DECEMBER 2025
	<b>CITY OF ALBUQUERQUE</b> <b>DEPARTMENT OF MUNICIPAL DEVELOPMENT</b> <b>ENGINEERING DIVISION</b>	
	<b>CITY OF ALBUQUERQUE SITE PLAN -EPC- MAJOR AMENDMENT</b>	
	<b>PHASE I</b>	
	<b>DESIGN REVIEW COMMITTEE</b>	
<b>CITY ENGINEER APPROVAL</b>		<b>Zone Map No.</b> <b>F-11-Z, G-11-Z</b>
		<b>City Project No.</b>
		<b>Sheet No.</b> <b>A-006</b>



**MOLZEN CORBIN**  
2701 Miles Road SE  
Albuquerque, New Mexico 87106  
505 242 5700 office  
MolzenCorbin.com



#### PARKING CALCULATIONS

THIS PROJECT IS LOCATED ON A PRIVATE HIGH SCHOOL CAMPUS, WITH CONTROLLED PUBLIC ACCESS, AND GENERAL PUBLIC TRAVEL IS NOT AVAILABLE AT THIS LOCATION

#### EXISTING PARKING

TOTAL EXISTING CAMPUS PARKING SPACES: 982  
TOTAL EXISTING ADA ACCESSIBLE SPACES: 24  
TYPICAL SPACE SIZE: 9'x20'

#### PARKING AFTER IMPROVEMENTS

TOTAL ON-SITE CAMPUS PARKING SPACES  
AFTER PHASE 1 AND PHASE 2 IMPROVEMENTS: 967  
TOTAL ADA ACCESSIBLE SPACES: 32

THIS PROJECT DOES NOT INCLUDE ANY EXISTING OR PROPOSED ON-STREET PARKING SPACES, OR OFF-STREET LOADING AREAS.

#### LEGEND

EXISTING TRAFFIC FLOW DIRECTION (CIRCULATION)

**MOLZEN CORBIN**

2701 Miles Road SE  
Albuquerque, New Mexico 87106  
505.242.5700 office  
MolzenCorbin.com

BENCH MARKS	

SEAL FOR AGENCY REVIEW NOT FOR CONSTRUCTION	

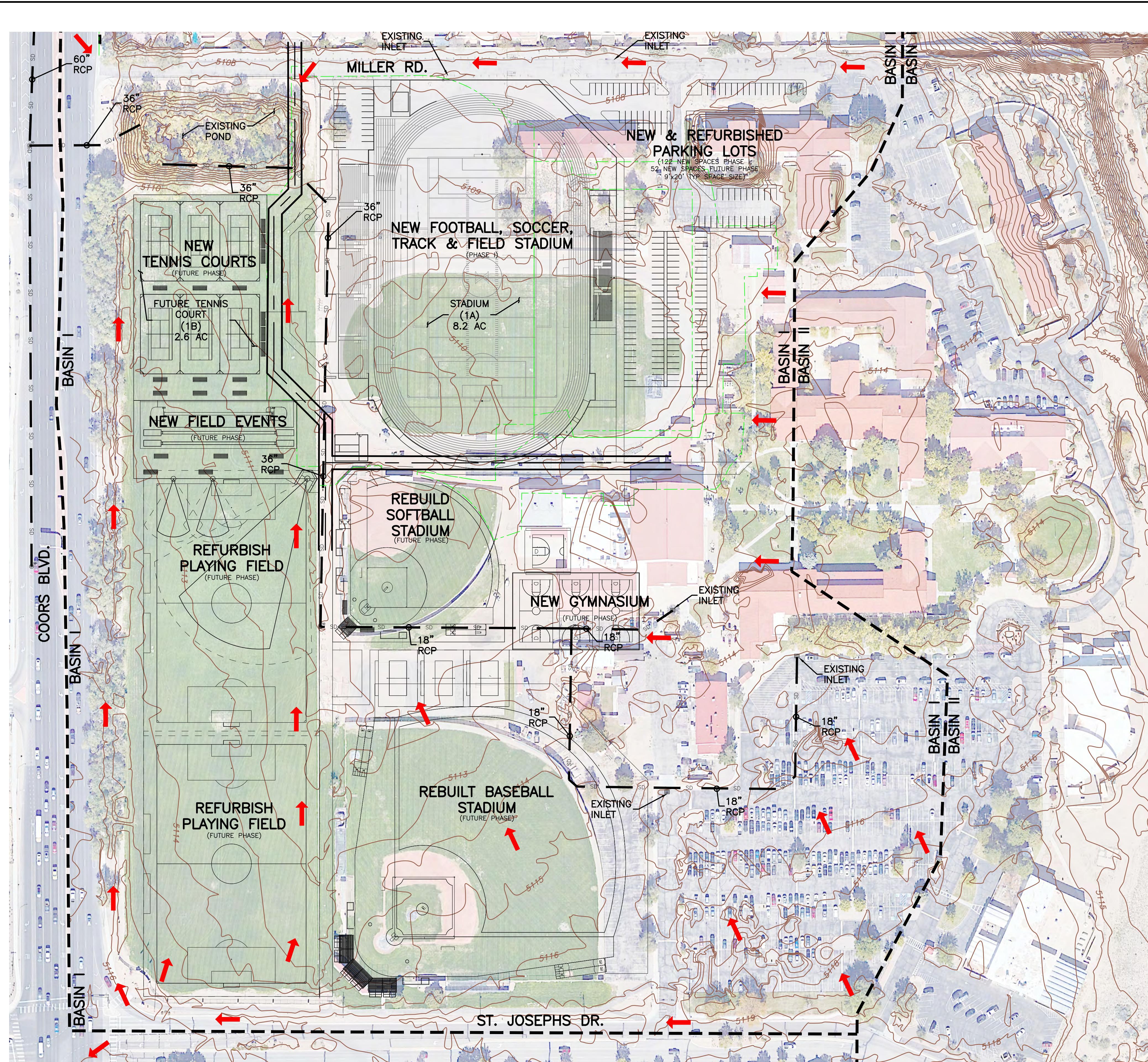
BY	

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DRAWINGS CORRECTED BY: <input type="text"/>			

811 CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

NOVEMBER 2025

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION CITY OF ALBUQUERQUE SITE PLAN - EPC - MAJOR AMENDMENT SITE PLAN - STREETS, PARKING, LOADING, AND CIRCULATION	DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. F-11-Z, G-11-Z
			CITY PROJECT NO. ..
			SHEET NO. 1B /



#### EXISTING POND VOLUME:

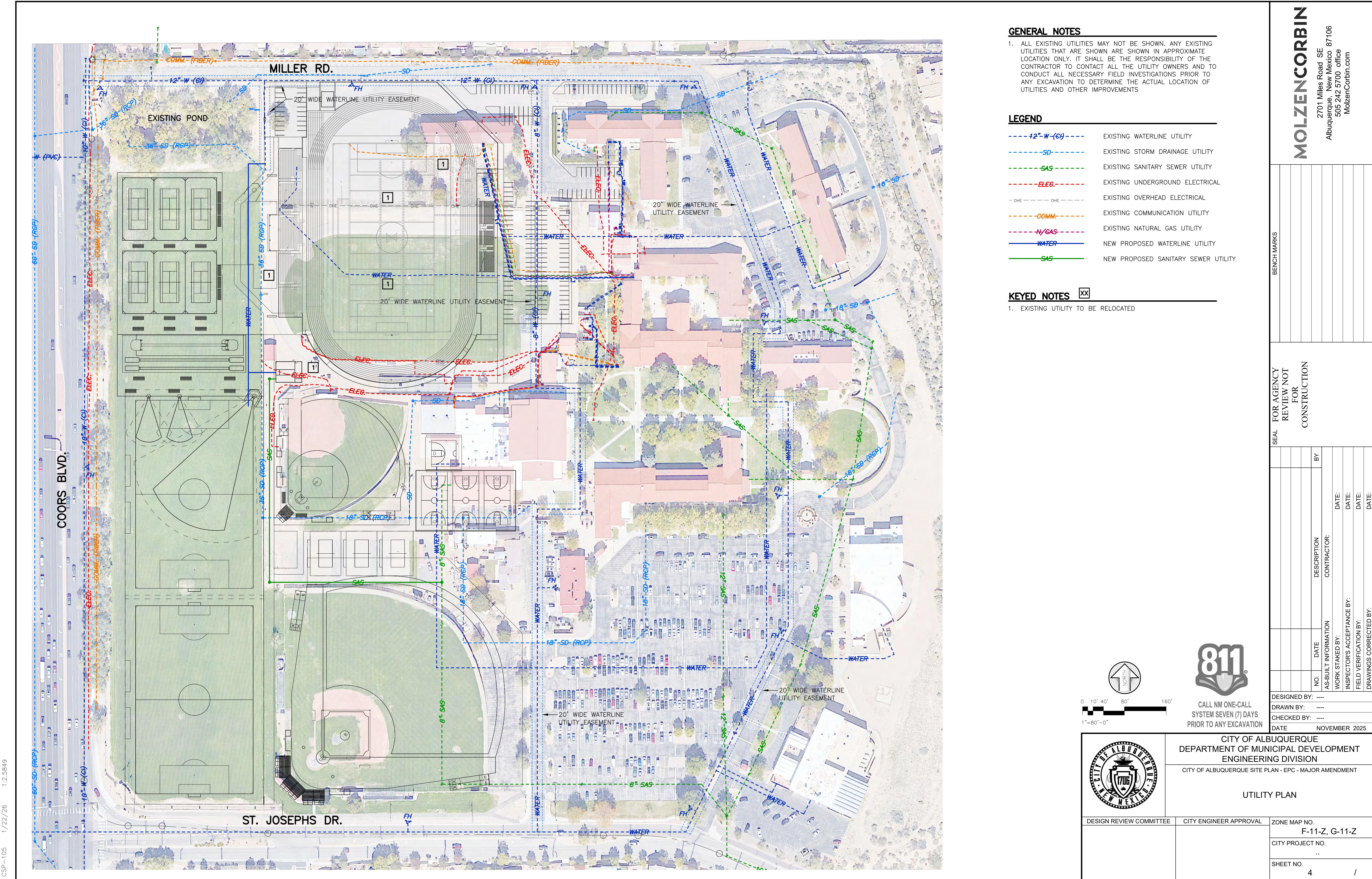
EXISTING POND VOL. = 210,400 C.F. AT DEPTH OF 5102.5 (100 YEAR HYDRAULIC GRADE LINE DEPTH IN 60" RCP LADERA STORM DRAINAGE SYSTEM) = 152,510 C.F. GREATER THAN TOTAL 100 YEAR VOL. FROM BASIN 1.

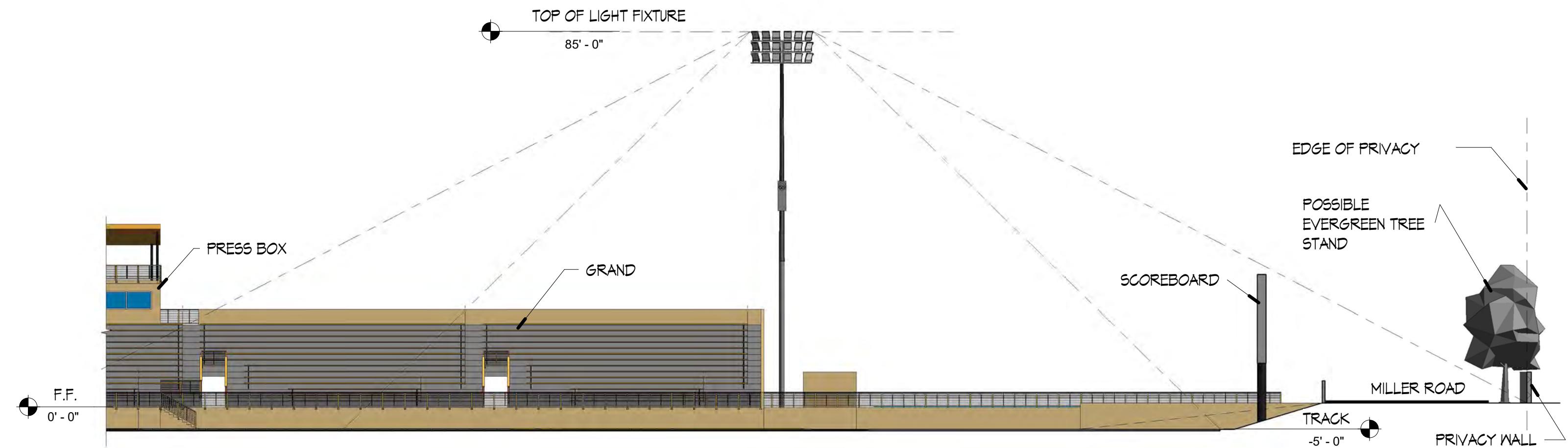
SITE HYDROLOGY							
AREA	TYPE A (AC)	TYPE B (AC)	TYPE C (AC)	TYPE D (AC)	TOTAL AREA (AC)	100YR 6HR Q(CFS)	100YR 6HR VOL (CU. FT.)
EXISTING STADIUM (1A)	3.0	0.0	5.2	0.0	8.2	18.8	23493.0
PROPOSED STADIUM (1A)	4.1	0.0	0.0	4.1	8.2	10.6	36076.0
EXISTING TENNIS CT (1B)	2.6	0.0	0.0	0.0	2.6	3.3	4098.0
PROPOSED TENNIS CT (1B)	0.0	0.0	0.0	2.6	2.6	10.6	18348.0
PROPOSED POND VOLUME REQUIRED							26833.0

#### LEGEND

RED ARROW = FLOW DIRECTION ARROW  
 5100 = EXISTING TOPOGRAPHY CONTOUR (1.0' INTERVAL)  
 SOURCE: BERNALILLO COUNTY PLANNING AND DEVELOPMENT, 2010 MRCOG

MOLZEN CORBIN	BENCH MARKS	
	1	2
2701 Miles Road SE Albuquerque, New Mexico 87106 505 242 5700 office MolzenCorbin.com	SEAL FOR AGENCY REVIEW NOT FOR CONSTRUCTION	BY
	1	2
811	CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION	BY
	1	2
DESIGNED BY: 1	AS-BUILT INFORMATION	CONTRACTOR: DATE:
DRAWN BY: 1	WORK STAKED BY:	DATE:
CHECKED BY: 1	INSPECTOR'S ACCEPTANCE BY:	DATE:
DATE: NOVEMBER 2025	FIELD VERIF:	DRAWINGS CORRECTED BY:
0 10' 40' 80' 160' 1"=80'-0"		
NORTH		
CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION		
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION		
CITY OF ALBUQUERQUE SITE PLAN - EPC - MAJOR AMENDMENT		
PROPOSED DRAINAGE SYNOPSIS		
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	
ZONE MAP NO. F-11-Z, G-11-Z		ZONE MAP NO.
CITY PROJECT NO. ..		CITY PROJECT NO.
SHEET NO. 3 /		SHEET NO.





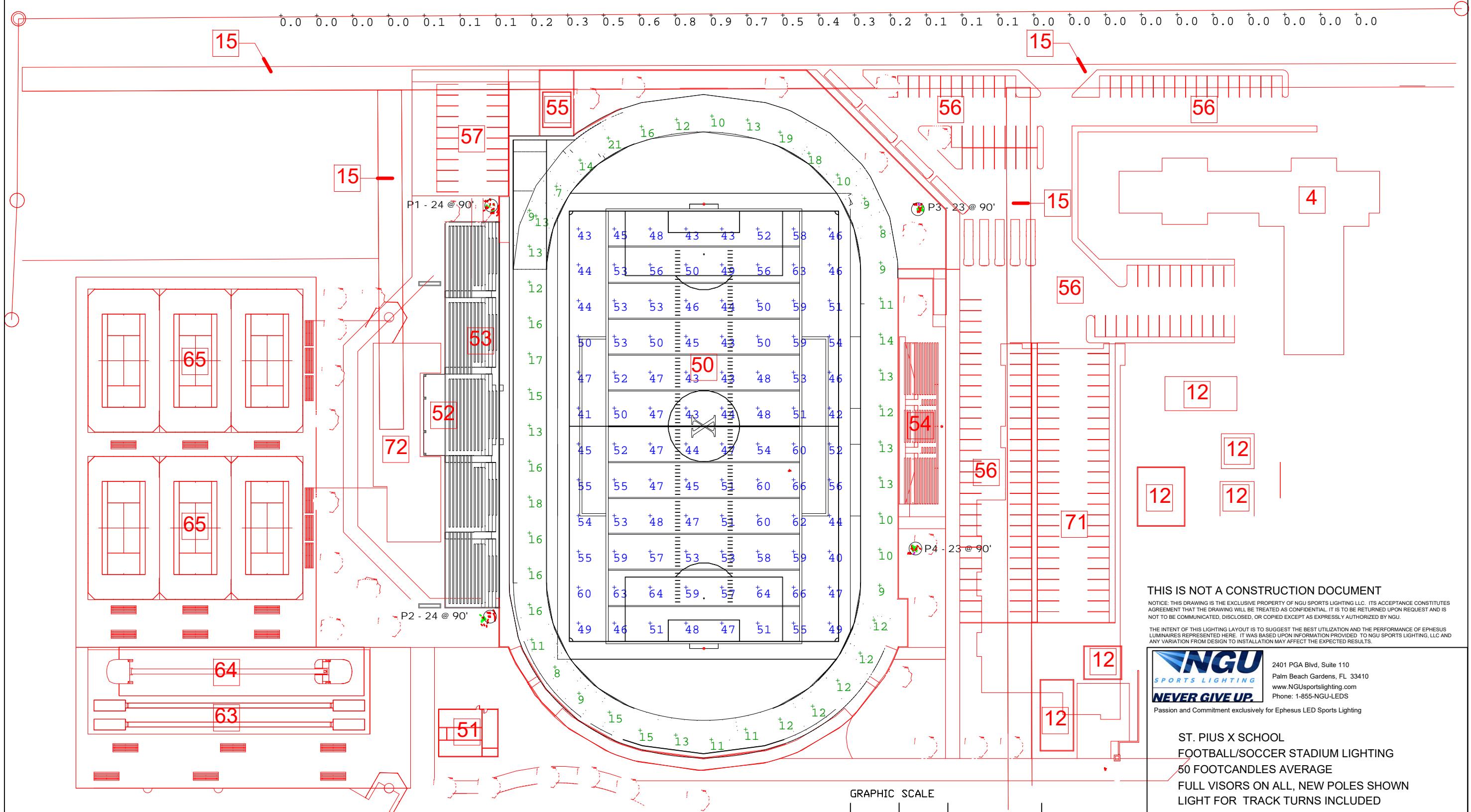
CROSS SECTION LINE OF SIGHT DIAGRAM

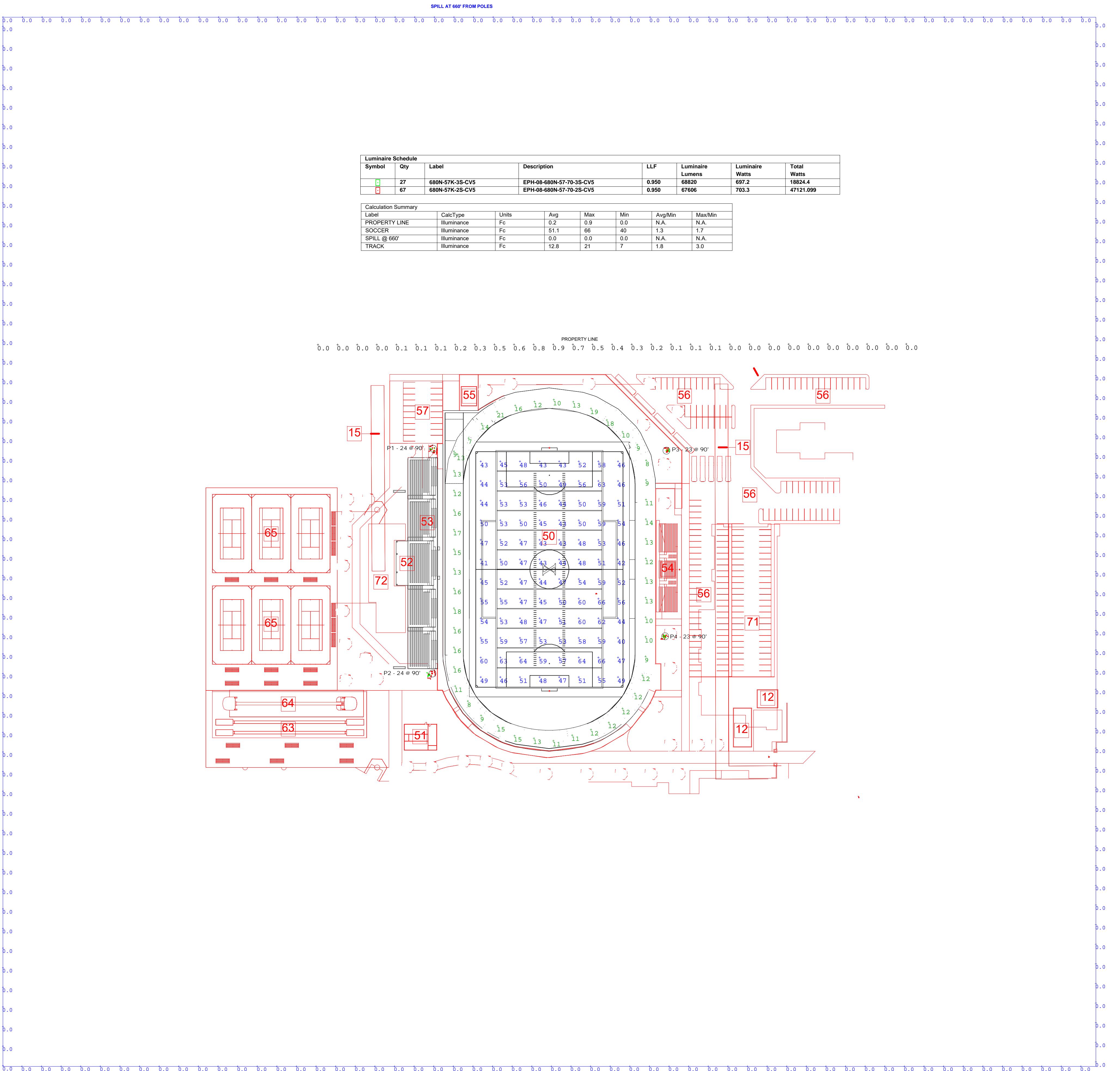
1

Scale: 3/64" = 1'-0"

Luminaire Schedule			Description				LLF	Luminaire Lumens	Luminaire Watts	Total Watts
Symbol	Qty	Label								
■	2	680N-40-70-2S-CV5	EPH-08-680N-40-70-2S-CV5	0.950	68214	703.3	1406.6			
■	27	680N-57K-3S-CV5	EPH-08-680N-57-70-3S-CV5	0.950	68820	697.2	18824.4			
■	65	680N-57K-2S-CV5	EPH-08-680N-57-70-2S-CV5	0.950	67606	703.3	45714.499			

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	CV	UG
PROPERTY LINE	Illuminance	Fc	0.2	0.9	0.0	N.A.	N.A.	N.A.	N.A.
SOCCKER	Illuminance	Fc	51.1	66	40	1.3	1.7	0.1	1.5
TRACK	Illuminance	Fc	12.8	21	7	1.8	3.0	0.2	N.A.





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 THE INTENT OF THIS LIGHTING LAYOUT IS TO SUGGEST THE BEST UTILIZATION AND THE PERFORMANCE OF EPHESUS LUMINAIRES REPRESENTED HERE. IT WAS BASED UPON INFORMATION PROVIDED TO NGU SPORTS LIGHTING, LLC AND ANY VARIATION FROM DESIGN TO INSTALLATION MAY AFFECT THE EXPECTED RESULTS.

**NGU**  
 SPORTS LIGHTING  
**NEVER GIVE UP.**

Passion and Commitment exclusively for Ephesus LED Sports Lighting

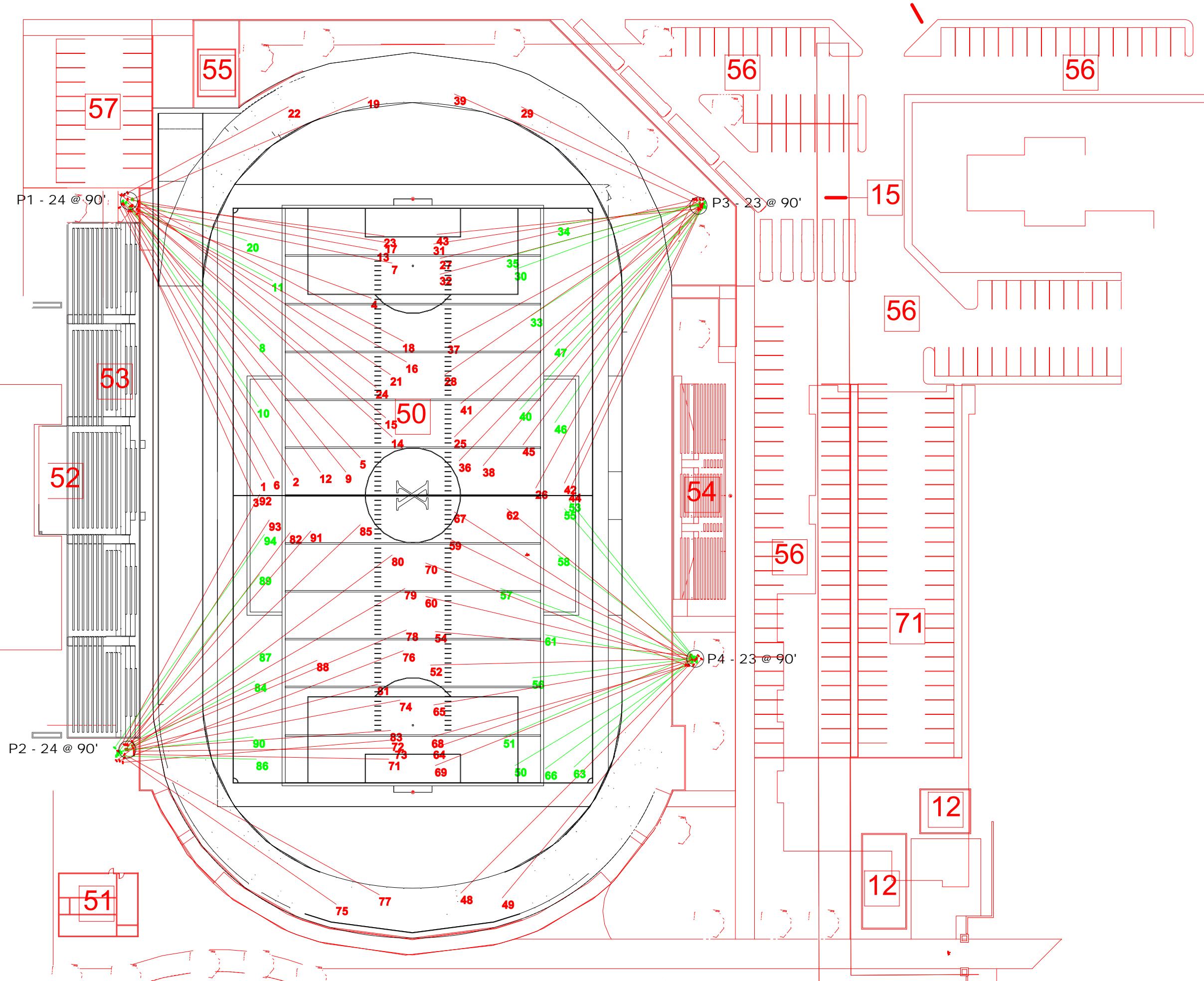
ST. PIUS X SCHOOL  
 FOOTBALL/SOCCER/ TRACK STADIUM  
 CALCULATIONS WITH SPILL LIGHT  
 SHOWN AT 660' FROM POLES

GRAPHIC SCALE  
 0 40 80 160

DESIGNED BY H. JOHNSON DATE 1/7/2026 SCALE 1" = 80' DRAWING NUMBER LD251422D2

Expanded Luminaire Location Summary							
LumNo	Label	Luminaire Coordinates		Aiming Point			
		X	Y	Z	X	Y	Z
1	680N-57K-2S-CV5	-184	181	90	-95	10	0
2	680N-57K-2S-CV5	-178	179	90	-75	13	0
3	680N-57K-2S-CV5	-162	163	90	-100	0	0
4	680N-57K-2S-CV5	-177	179	90	-26	124	0
5	680N-57K-2S-CV5	-181	183	90	-33	24	0
6	680N-57K-2S-CV5	-182	184	90	-87	11	0
7	680N-57K-2S-CV5	-176	179	90	-13	146	0
8	680N-57K-3S-CV5	-182	185	90	-96	97	0
9	680N-57K-2S-CV5	-173	177	90	-42	15	0
10	680N-57K-3S-CV5	-177	181	90	-57	58	0
11	680N-57K-3S-CV5	-180	184	90	-88	136	0
12	680N-57K-2S-CV5	-177	182	90	-58	15	0
13	680N-57K-2S-CV5	-176	182	90	-22	154	0
14	680N-57K-2S-CV5	-183	189	90	-13	37	0
15	680N-57K-2S-CV5	-172	179	90	-17	49	0
16	680N-57K-2S-CV5	-173	180	90	-1	0	0
17	680N-57K-2S-CV5	-179	186	90	-17	198	0
18	680N-57K-2S-CV5	-181	189	90	-6	97	0
19	680N-57K-2S-CV5	-176	186	90	-28	250	0
20	680N-57K-3S-CV5	-176	186	90	-104	160	0
21	680N-57K-2S-CV5	-172	182	90	-14	76	0
22	680N-57K-2S-CV5	-179	190	90	-78	244	0
23	680N-57K-2S-CV5	-172	183	90	-18	163	0
24	680N-57K-2S-CV5	-173	185	90	-23	68	0
25	680N-57K-2S-CV5	176	186	90	26	37	0
26	680N-57K-2S-CV5	177	188	90	77	5	0
27	680N-57K-2S-CV5	178	186	90	17	149	0
28	680N-57K-2S-CV5	180	186	90	20	76	0
29	680N-57K-2S-CV5	182	186	90	68	244	0
30	680N-57K-3S-CV5	180	184	90	64	142	0
31	680N-57K-2S-CV5	180	183	90	13	158	0
32	680N-57K-2S-CV5	180	183	90	17	139	0
33	680N-57K-3S-CV5	179	182	90	74	113	0
34	680N-57K-3S-CV5	178	182	90	91	170	0
35	680N-57K-3S-CV5	184	184	90	59	150	0
36	680N-57K-2S-CV5	182	183	90	29	22	0
37	680N-57K-2S-CV5	182	183	90	22	96	0
38	680N-57K-2S-CV5	181	182	90	44	19	0
39	680N-57K-2S-CV5	181	182	90	26	252	0
40	680N-57K-3S-CV5	181	182	90	67	54	0
41	680N-57K-2S-CV5	181	182	90	30	58	0
42	680N-57K-2S-CV5	181	182	90	95	8	0
43	680N-57K-2S-CV5	179	180	90	15	164	0
44	680N-57K-2S-CV5	180	181	90	58	3	0
45	680N-57K-2S-CV5	180	180	90	69	32	0
46	680N-57K-3S-CV5	183	182	90	89	46	0
47	680N-57K-3S-CV5	183	181	90	89	94	0
48	680N-57K-2S-CV5	179	180	90	30	249	0
49	680N-57K-2S-CV5	181	180	90	56	252	0
50	680N-57K-3S-CV5	179	181	90	64	165	0
51	680N-57K-3S-CV5	175	180	90	57	151	0
52	680N-57K-2S-CV5	178	182	90	11	106	0
53	680N-57K-3S-CV5	176	181	90	98	-3	0
54	680N-57K-2S-CV5	174	180	90	14	-85	0
55	680N-57K-3S-CV5	176	182	90	95	-8	0
56	680N-57K-3S-CV5	176	182	90	75	-114	0
57	680N-57K-3S-CV5	176	182	90	55	-58	0
58	680N-57K-3S-CV5	176	182	90	91	-37	0
59	680N-57K-2S-CV5	177	183	90	23	-27	0
60	680N-57K-2S-CV5	177	183	90	8	-63	0
61	680N-57K-3S-CV5	178	184	90	83	-87	0
62	680N-57K-2S-CV5	174	182	90	59	-8	0
63	680N-57K-3S-CV5	174	182	90	10	0	0
64	680N-57K-2S-CV5	175	183	90	13	-158	0
65	680N-57K-2S-CV5	175	183	90	13	-131	0
66	680N-57K-3S-CV5	175	184	90	83	-171	0
67	680N-57K-2S-CV5	176	186	90	26	-10	0
68	680N-57K-2S-CV5	176	186	90	92	-151	0
69	680N-57K-2S-CV5	172	186	90	14	-169	0
70	680N-57K-2S-CV5	171	186	90	8	-42	0
71	680N-57K-2S-CV5	175	182	90	15	-155	0
72	680N-57K-2S-CV5	182	187	90	13	-153	0
73	680N-57K-2S-CV5	175	180	90	11	-158	0
74	680N-57K-2S-CV5	175	187	90	8	-128	0
75	680N-57K-2S-CV5	181	184	90	-48	-256	0
76	680N-57K-2S-CV5	184	186	90	-6	-97	0
77	680N-57K-2S-CV5	181	182	90	-21	-250	0
78	680N-57K-2S-CV5	176	187	90	4	-84	0
79	680N-57K-2S-CV5	175	186	90	-5	-58	0
80	680N-57K-2S-CV5	186	186	90	-13	-37	0
81	680N-57K-2S-CV5	179	189	90	-22	-118	0
82	680N-57K-2S-CV5	180	189	90	-77	-23	0
83	680N-57K-2S-CV5	180	189	90	-14	-147	0
84	680N-57K-2S-CV5	181	189	90	-98	-116	0
85	680N-57K-2S-CV5	178	184	90	-33	-18	0
86	680N-57K-3S-CV5	186	183	90	-98	-165	0
87	680N-57K-3S-CV5	185	182	90	-96	-97	0
88	680N-57K-2S-CV5	179	185	90	-60	-103	0
89	680N-57K-3S-CV5	185	181	90	-96	-49	0
90	680N-57K-3S-CV5	184	180	90	-100	-151	0
91	680N-57K-3S-CV5	185	180	90	-58	-22	0
92	680N-57K-2S-CV5	185	180	90	-96	1	0
93	680N-57K-2S-CV5	181	186	90	-90	-15	0
94	680N-57K-3S-CV5	187	158	90	-93	-24	0

AIMING POINT COORDINATES REFERENCE 0,0 AT CENTER OF FIELD



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Project		Catalog #		Type	
Prepared by		Notes		Date	



## Ephesus

### LUMASPORT 8 - Integral

CCT Tunable or Fixed-Color White LED Sports & Entertainment Luminaire

#### Typical Applications

Ball Fields • Pro Arenas • University & Collegiate Arenas  
University & Collegiate Stadiums • Multi-Event & Convention Centers  
Gymnasiums & Field Houses

#### Product Certification



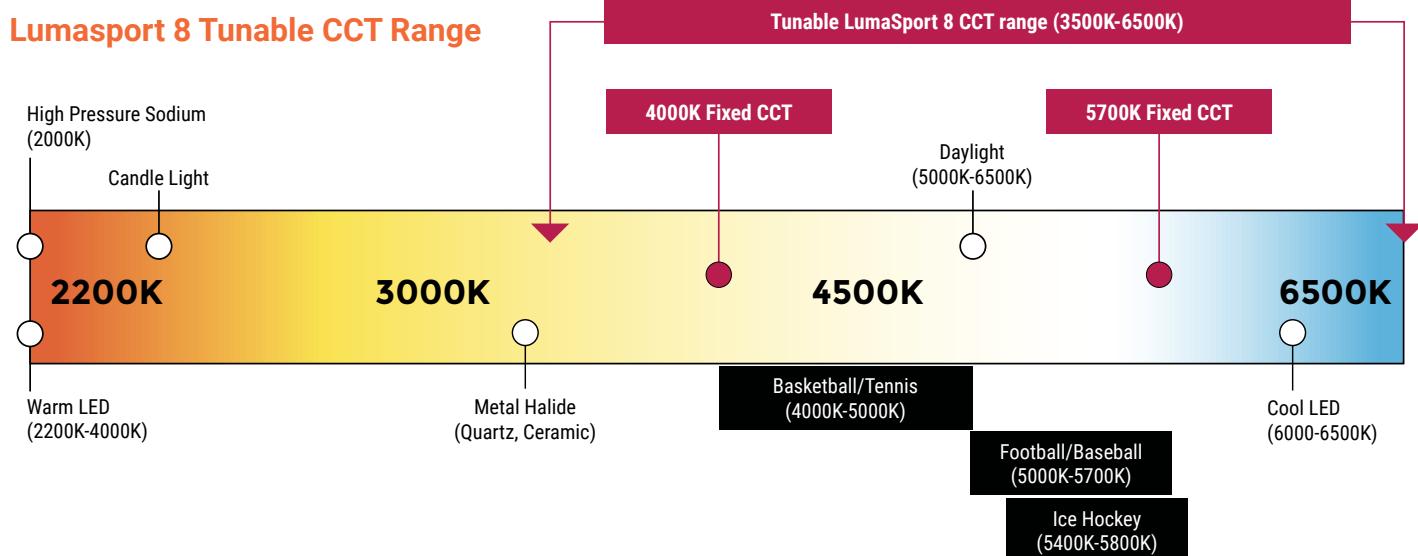
#### Interactive Menu

- Ordering Information [page 3](#)
- Dimensional and Mounting Details [page 4](#)
- Performance Data [page 8](#)
- Electrical Performance Data [page 8](#)
- Ordering Information for Accessories [page 9](#)
- Accessory Dimensions and Part Details [page 10](#)
- Example System Topology [page 13](#)

#### Top Product Features

- Streamlined design ideal for one-to-one integral ballast retrofit systems speeding up and simplifying installation.
- Pre-aiming capability reduces installation time and ensures aiming precision.
- Industry leading light source reliability with Chip-on-Board LEDs with an efficacy up to 174 lumens per Watt.
- Award winning glare and cutoff control via patented Hybrid Reflector and TIR Optical System.
- Available in fixed CCT options of 4000K to 5700K and a tunable CCT range option of 3500K to 6500K to meet varying lighting demands.
- Top Mounted Yoke, Bottom Mounted Yoke, Pendant Mount and Slip Fitter Mounting options for flexibility in applications.
- Power redundancy insures system reliability.
- Wired DMX and Wireless AirMesh control protocols allow for system alerts, scheduling, and on-demand control of static and dynamic lighting scenes.
- Options to meet Trade Agreements Act requirements.

#### Lumasport 8 Tunable CCT Range



## Mounting Configuration Examples



2QTY LUMASPORT 8 - INTEGRAL LUMINAIRE  
SHOWN USING THE TOP MOUNT YOKE (TY)



2QTY LUMASPORT 8 - INTEGRAL LUMINAIRE  
SHOWN USING THE BOTTOM MOUNT YOKE (BY)  
ON A EPHESUS CATWALK BRACKET ( EPH-LS-CAT-N-2-U-B )



1QTY LUMASPORT 8 - INTEGRAL LUMINAIRE  
SHOWN USING THE PENDANT MOUNT (RP)



1QTY LUMASPORT 8 - INTEGRAL LUMINAIRE  
SHOWN USING SLIP FITTER MOUNTING BRACKET AND SLIP FITTER ACCESSORY (SLPFTR)  
SLIP FITTER (SLPFTR) MOUNTING ACCESSORY SOLD SEPARATELY

## Order Information

NOTE: A complete fixture order requires a selection entry for **Brand**, **Family**, **Model**, **Power Configuration**, **Color**, **CCT**, **CRI**, **Optic**, **Light Head Cable (DC)**, **Voltage**, **Control**, **Mount Configuration**, **Power Cable (AC)**, **Options**, **Packaging**, & **Special Option**.

SAMPLE ORDER NUMBER: EPH-LS-08-0680N-BLK-57-80-2S-C00-LV-AM-BY-A04-HEG-BP-ST

Brand	Family	Model	Power Configuration	Color	CCT	CRI	Optic	Light Head Interface (DC)
Brand <sup>1</sup>	Family	Model	Power Configuration	Color <sup>2</sup>	CCT <sup>3</sup>	CRI <sup>4</sup>	Optic <sup>5,6</sup>	Light Head Interface (DC) <sup>7</sup>
EPH = Ephesus, Standard TAA = Trade Agreements Act <sup>1</sup>	LS = Lumasport	08 = 8 Optics	0320N = 320W Integral Power 0530N = 530W Integral Power 0680N = 680W Integral Power	BLK = Black WHT = White	40 = 4000K 57 = 5700K PRO <sup>8</sup> = CCT Color Tuning	70 = 70 CRI 80 = 80 CRI 85 = 85 CRI	1S <sup>9</sup> = NEMA 3   17.5   33.3 2S = NEMA 3   21.9   40.2 3S = NEMA 3   25.4   45.7 4S = NEMA 4   36.0   64.4 5S = NEMA 5   46.6   82.6 7F = NEMA 7   72.5   131.0	C00 = Direct Connection

Notes:  
(1) Only product configurations with this designated prefix are built to be compliant with the Trade Agreements Act of 1979 (TAA). Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Notes:  
(2) Not coastal rated. Contact Ephesus for coastal fixture options.

Notes:  
(3) PRO only available with 530N

Notes:  
(4) 85 only available with PRO CCT

Notes:  
(5) Optic = NEMA TYPE; BEAM ANGLE; FIELD ANGLE.  
(6) Aiming angles for 680N power configuration and 1S optics between 30-90 Degrees.

Notes:  
(7) The driver assembly is integrated directly into the luminaire

Voltage	Control	Mount Configuration	Power Cable (AC)	Options	Packaging	Special Option
Voltage	Control <sup>8</sup>	Mounting Configuration <sup>9,10,11</sup>	Power Cable (AC) <sup>12</sup>	Options <sup>13,14,15</sup>	Packaging	Special Option
LV = Low Voltage HV = High Voltage	NC = No Control AM = Wireless AirMesh LB = Wired DMX	TY = Top Mounted Yoke BY = Bottom Mount Yoke, Catwalk Standard RP <sup>10</sup> = Pendant Mount SM <sup>11</sup> = Slip Fitter mount	A00 = No Cable A04 = 4ft Cable, Standard A10 = 10ft Cable A20 = 20ft Cable BH3 = 3 Pin Connector on AC, 3ft Standard Cable	HEG = No Visor   High Efficiency Glass Lens VHE <sup>13</sup> = Visor   High Efficiency Glass Lens CV1 <sup>14</sup> = 1 Louver Cutoff Visor CV2 <sup>14</sup> = 2 Louver Cutoff Visor CV5 <sup>14</sup> = 5 Louver Cutoff Visor	BP = Bulk Pack	ST = Standard

Notes:  
(8) PRO CCT not offered with NC = No Control

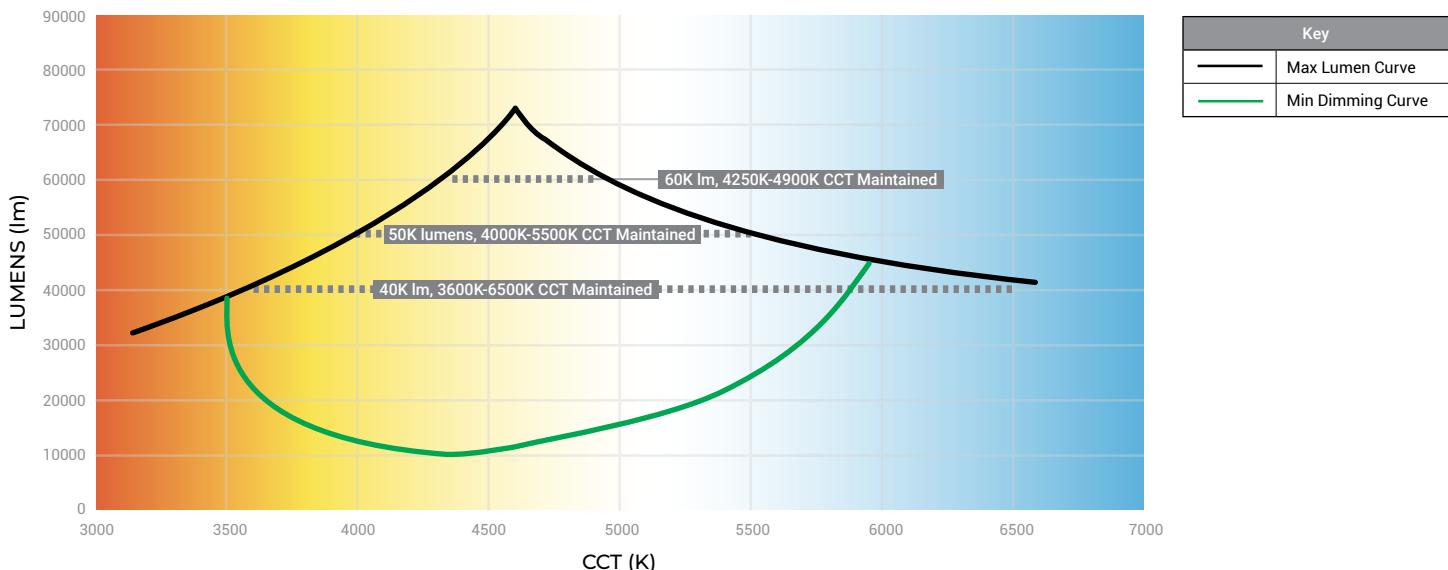
Notes:  
(9) Contact Ephesus for Slipfitter Mounting options.  
(10) RP = Pendant Mount not available in 0680N = 680W Integral Power configuration.  
(11) SM = Slip Fitter mount tilt range of 20-90. Slip Fitter mounting bracket is shipped separately from the light head. Slip Fitter (SLPFTR) Mounting Accessory Sold Separately.

Notes:  
(12) AC Cable connecting the luminaire to the electrical power source.

Notes:  
(13) VHE visor color only available in silver.  
(14) CV1, CV2, CV5 visor color only available in black.  
(15) CV1, CV2, CV5 will not be available on the PRO CCT

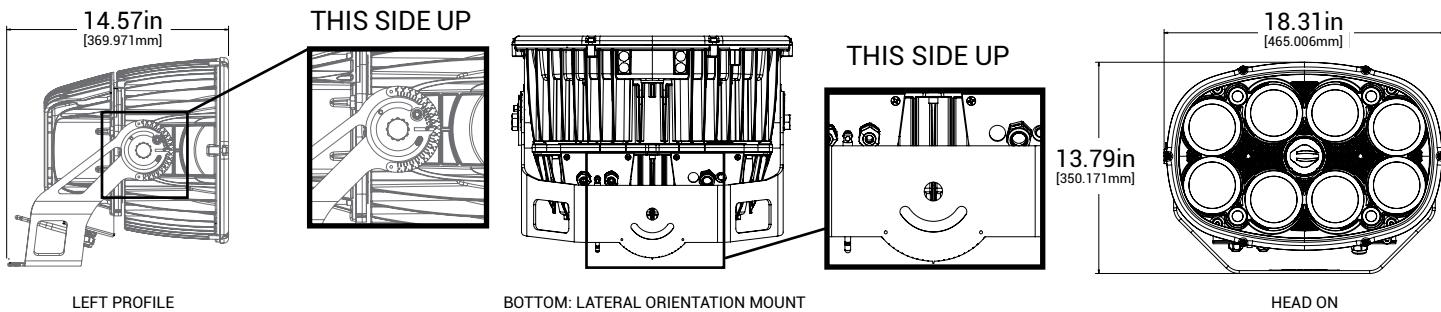
DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details

## CCT PRO Tuning Operating Range

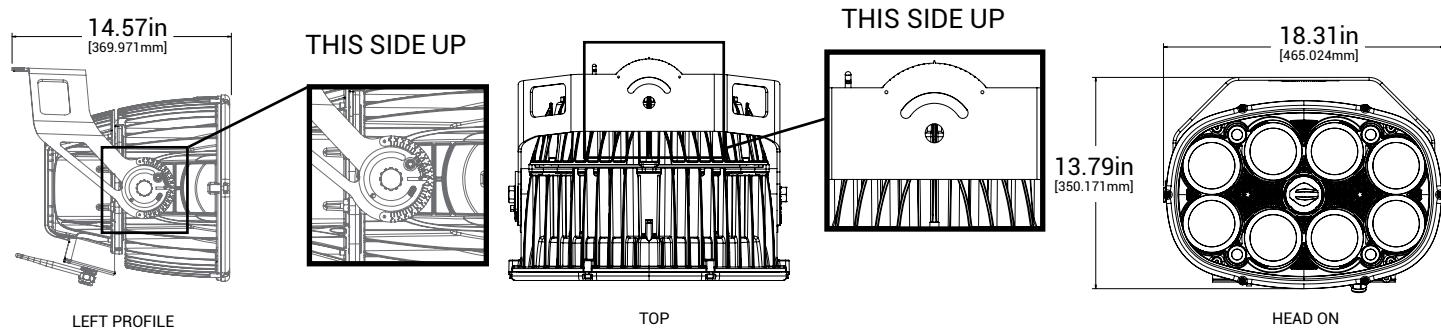


## Dimensional and Mounting Details

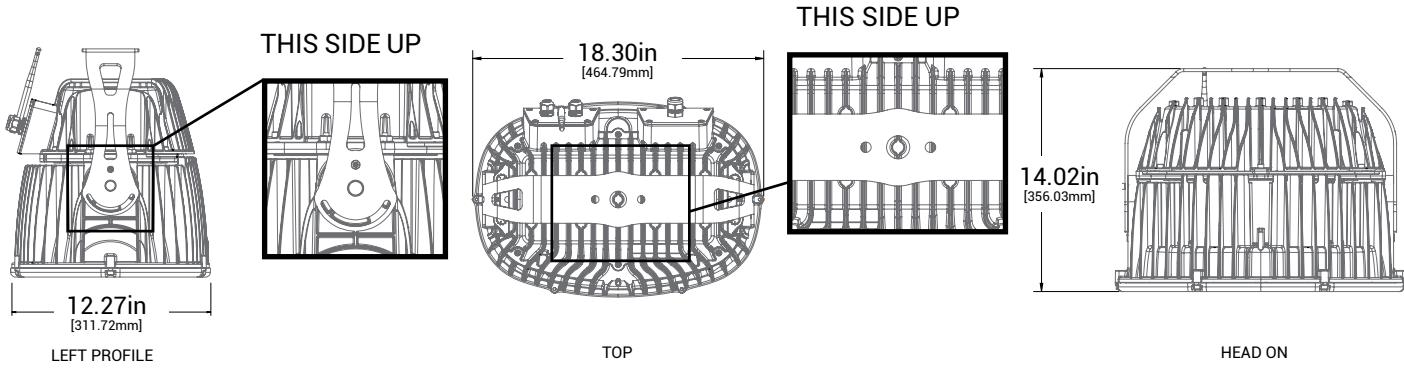
### MOUNTING CONFIGURATION: TOP MOUNT YOKE



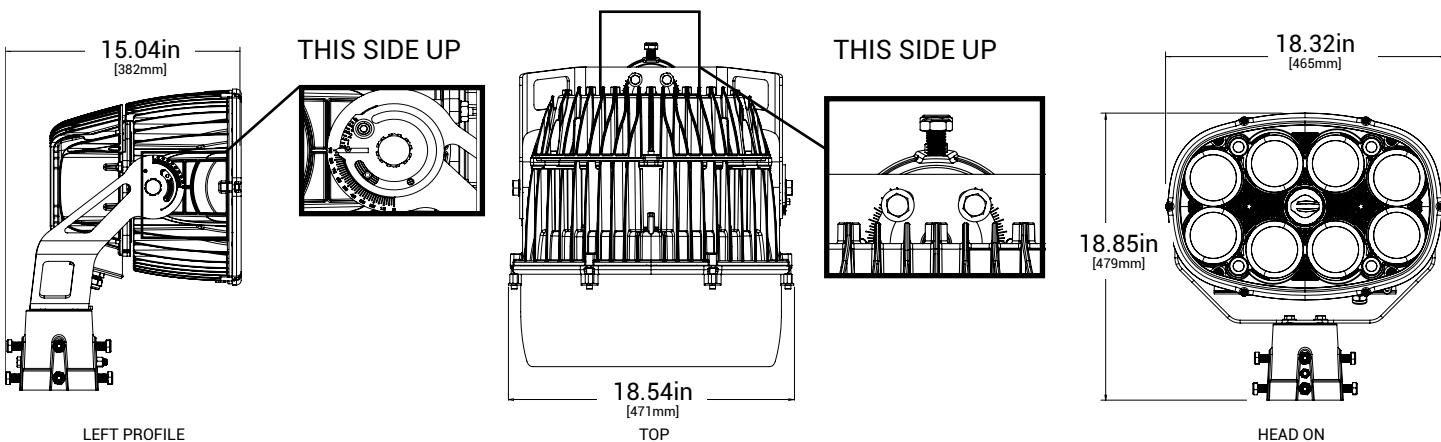
### MOUNTING CONFIGURATION: BOTTOM MOUNT YOKE



### MOUNTING CONFIGURATION: PENDANT MOUNT



### MOUNTING CONFIGURATION: SLIP FITTER MOUNT



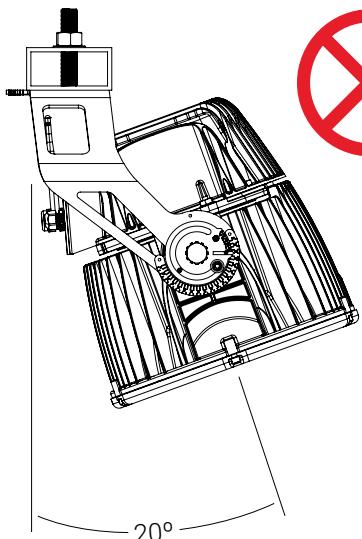
	320W		530W		680W	
Usage	Indoor	0-90 Degrees	Indoor	0-90 Degrees	N/A	N/A
	Outdoor	20-90 Degrees	Outdoor	20-90 Degrees	Outdoor	20-90 Degrees; 30-90 Degrees for 1S optic
Mounting options (1.5G Rated)	Top mount yoke, Bottom Mount Yoke, Pendant Mount, Slip Fitter Mount		Top mount yoke, Bottom Mount Yoke, Pendant Mount, Slip Fitter Mount		Top mount yoke, Bottom Mount Yoke, Slip Fitter Mount	

## INCORRECT ORIENTATIONS

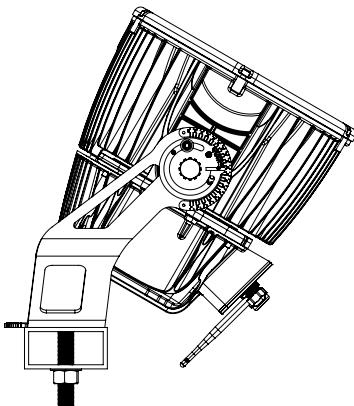
680W configurations can not be aimed downward below 20°

680W 1S configurations can not be aimed downward below 30°

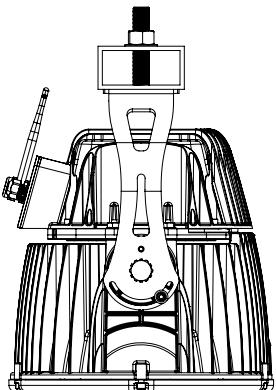
All configurations can not be aimed downward below 20° outdoors or in wet locations



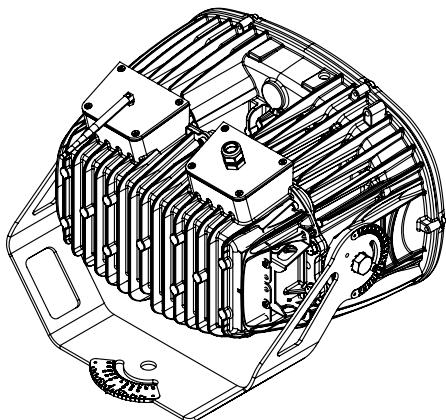
Uplight not allowed. Please contact Ephesus Sports Lighting for uplighting solutions.



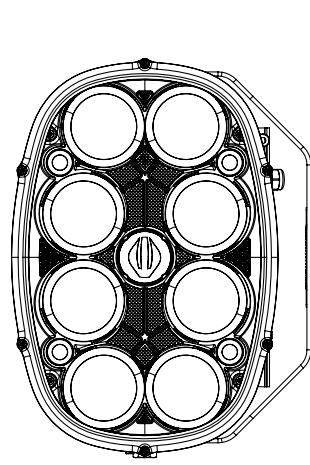
680W configurations can not be used with the Pendant Mount



All configurations can not be inverted with junction box on top

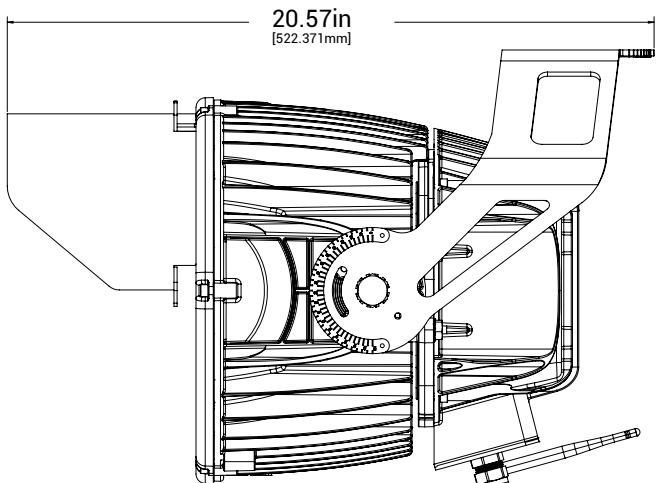


All configurations can not be side mounted

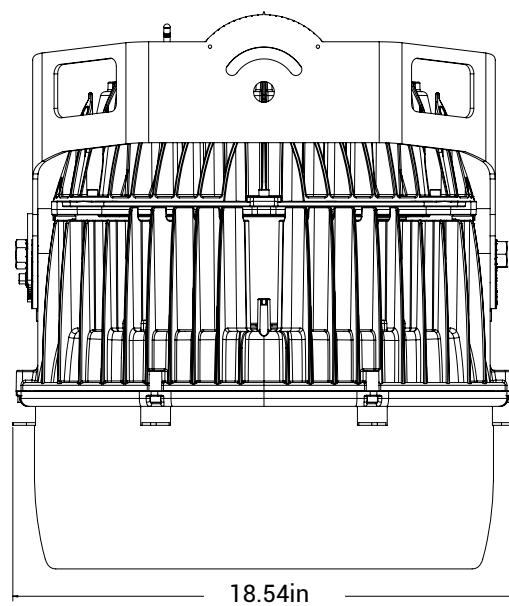


## VHE Visor Option Dimensional Details

## MOUNTING CONFIGURATION: BOTTOM MOUNT YOKE



LEFT PROFILE: VISOR

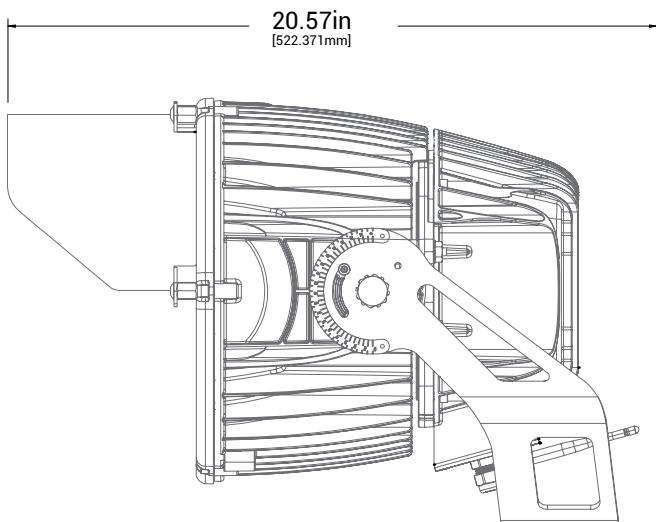


TOP VISOR

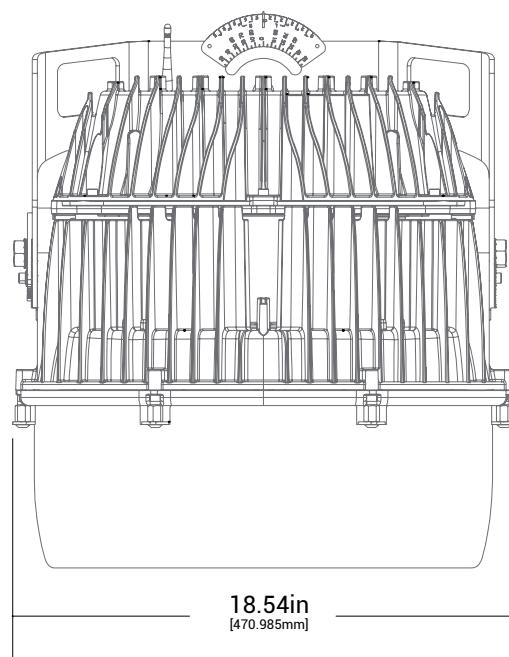
## NOTES:

The addition of a visor adds 4lbs of material to the luminaire weight.

## MOUNTING CONFIGURATION: TOP MOUNT YOKE



LEFT PROFILE: VISOR

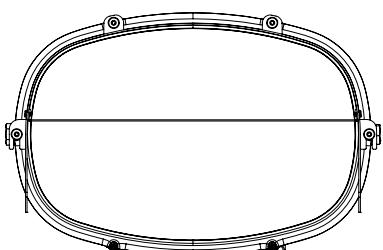


TOP. VISOR

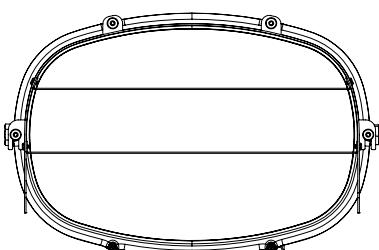
**CV1, CV2, CV5 Cutoff Visor Options\***

\*CV1, CV2, CV5 will not be available on the PRO CCT

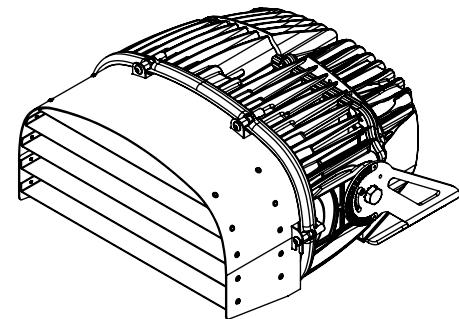
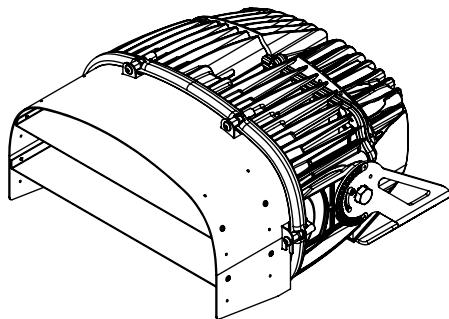
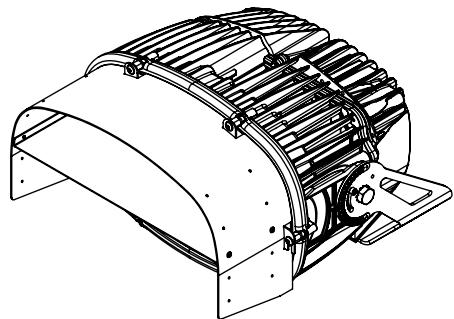
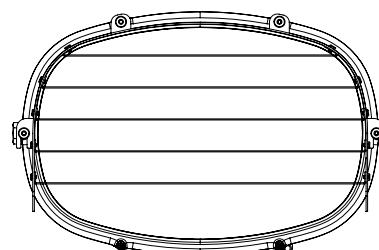
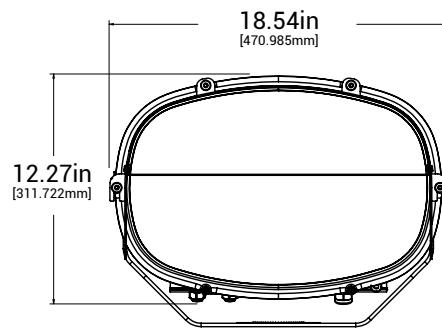
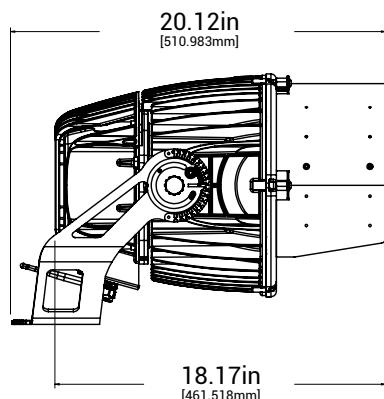
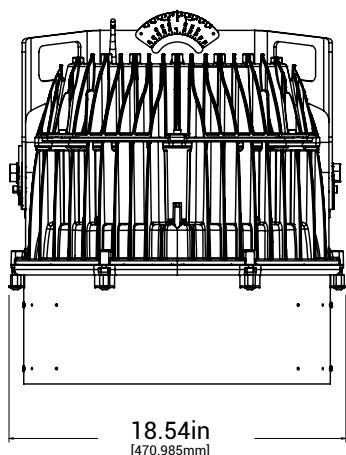
CV1



CV2



CV5

**CV1, CV2, CV5 Cutoff Visor Option Dimensional Details**

Performance Data<sup>1</sup>

	LUMASPORT 8 (320W)	LUMASPORT 8 (530W)	LUMASPORT 8 (680W)
<b>Lumen Output Range</b>	51,000 - 60,000 lm	78,000 - 90,000 lm	93,000 - 111,000 lm
<b>Lumen Output (PRO Version at 85CRI)<sup>10</sup></b>	N/A	56,596	N/A
<b>Nominal Power<sup>2</sup></b>	355W	578W	724W
<b>Input Voltage (Low Voltage)</b>	120-277VAC	120-277VAC	120-277VAC
<b>Input Voltage (High Voltage)</b>	347-480VAC	347-480VAC	347-480VAC
<b>Efficacy Range</b>	149 - 174 lm/W	140 - 162 lm/W	128 - 159 lm/W
<b>CRI<sup>3</sup></b>	70, 80	70, 80, 85 <sup>11</sup>	70, 80
<b>TLCI<sup>4</sup></b>	up to 75	up to 75	up to 75
<b>CCT Range</b>	4000K, 5700K	4000K, 5700K	4000K, 5700K
<b>CCT Tunable Range (PRO Version at 85CRI)</b>	N/A	3500K - 6500K	N/A
<b>Distribution (NEMA)</b>	3-7	3-7	3-7
<b>Dimming Range</b>	DIM TO OFF, 10%-100%	DIM TO OFF, 10%-100%	DIM TO OFF, 10%-100%
<b>Operating Temperature Range</b>	-40°C to +40°C	-40°C to +40°C	-40°C to +40°C
<b>Usage</b>	INDOOR, OUTDOOR	INDOOR, OUTDOOR	OUTDOOR
<b>Mounting Options (1.5G RATED)</b>	TOP MOUNT YOKE, BOTTOM MOUNT YOKE, PENDANT MOUNT, SLIP FITTER MOUNT	TOP MOUNT YOKE, BOTTOM MOUNT YOKE, PENDANT MOUNT, SLIP FITTER MOUNT	TOP MOUNT YOKE, BOTTOM MOUNT YOKE, SLIP FITTER MOUNT
<b>Electrical Certifications</b>	FCC, UL8750, UL1598, DLC Standard (NANQSV)	FCC, UL8750, UL1598, DLC Standard (NANQSV)	FCC, UL8750, UL1598, DLC Standard (NANQSV)
<b>Environmental Certifications</b>	IP66	IP66	IP66
<b>Vibration</b>	ANSI C136.31-2010 1.5G	ANSI C136.31-2010 1.5G	ANSI C136.31-2010 1.5G
<b>Surge</b>	10kV	10kV	10kV
<b>Effective Projected Area (EPA)</b>	1.93 (sq. ft.)	1.93 (sq. ft.)	1.93 (sq. ft.)
<b>Effective Projected Area (EPA) with Visor (VHE, CV1, CV2, CV5)<sup>5</sup></b>	2.2 - 2.4 (sq. ft.)	2.2 - 2.4 (sq. ft.)	2.2 - 2.4 (sq. ft.)
<b>Approximate Weight<sup>6</sup></b>	57 LBS	57 LBS	57 LBS
<b>Approximate Weight with Visor (VHE, CV1, CV2, CV5)<sup>9</sup></b>	61 LBS	61 LBS	61 LBS

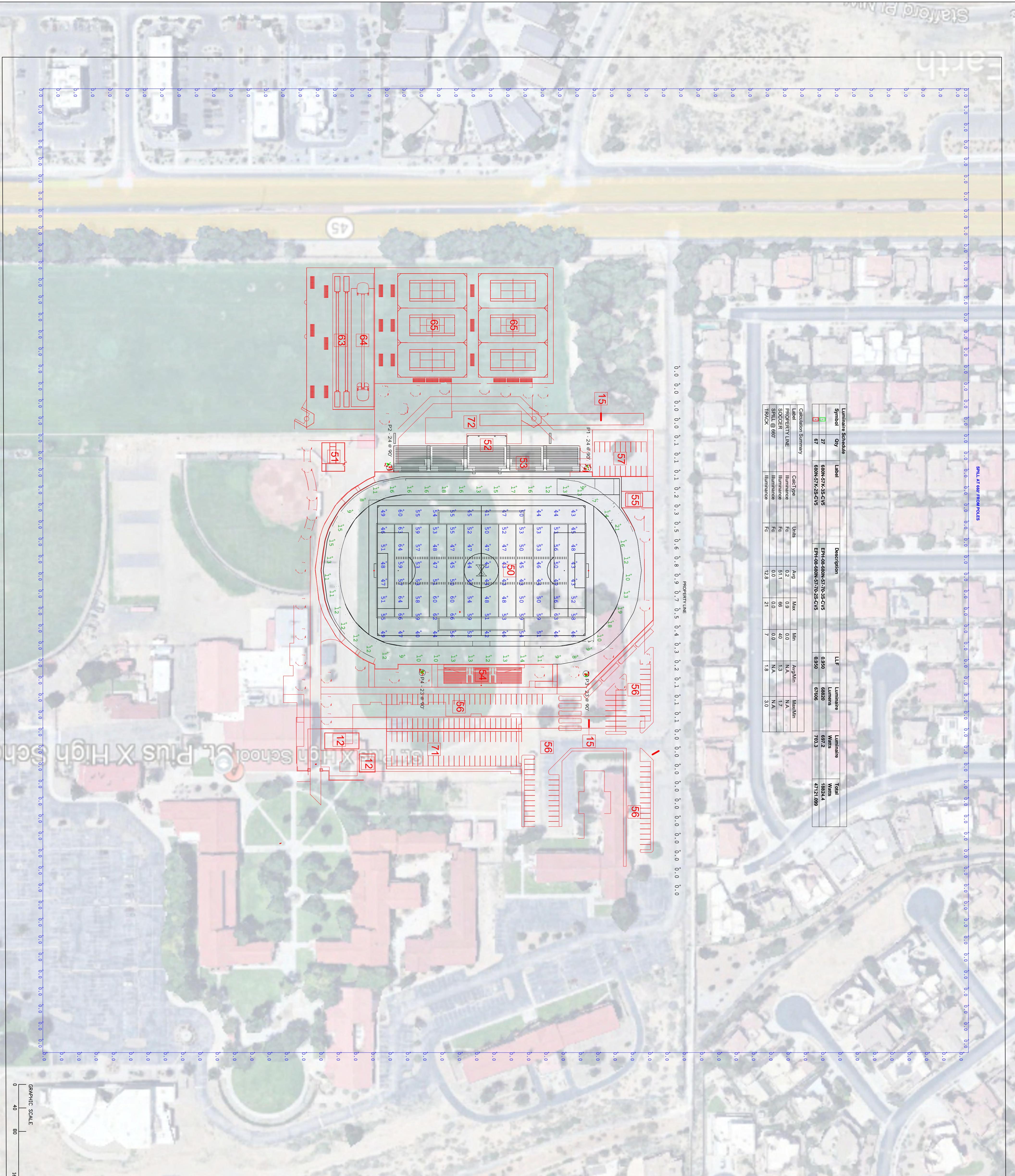
## NOTES:

- (1) Specifications are subject to change without notice.
- (2) Values are +/- 4% when fixture is operated at 25°C ambient
- (3) Values are +/- 2%
- (4) Values are +/- 3 points.
- (5) When driver box is mounted in upright position.
- (6) Luminair meets NEMA4X Certification
- (7) LumaSport 8 with Visors (VHE, CV1, CV2, CV5) qualifies for ANSI C136.31-2010 1.5G
- (8) EPA may vary depending on the aiming angle of the fixture.
- (9) Weight may vary depending on mounting bracket, VHE Visor option, and luminare configuration.
- (10) Based of 3S Optic, 85 CRI, 5000 CCT
- (11) 85 CRI is only available in PRO model

## Electrical Performance Data

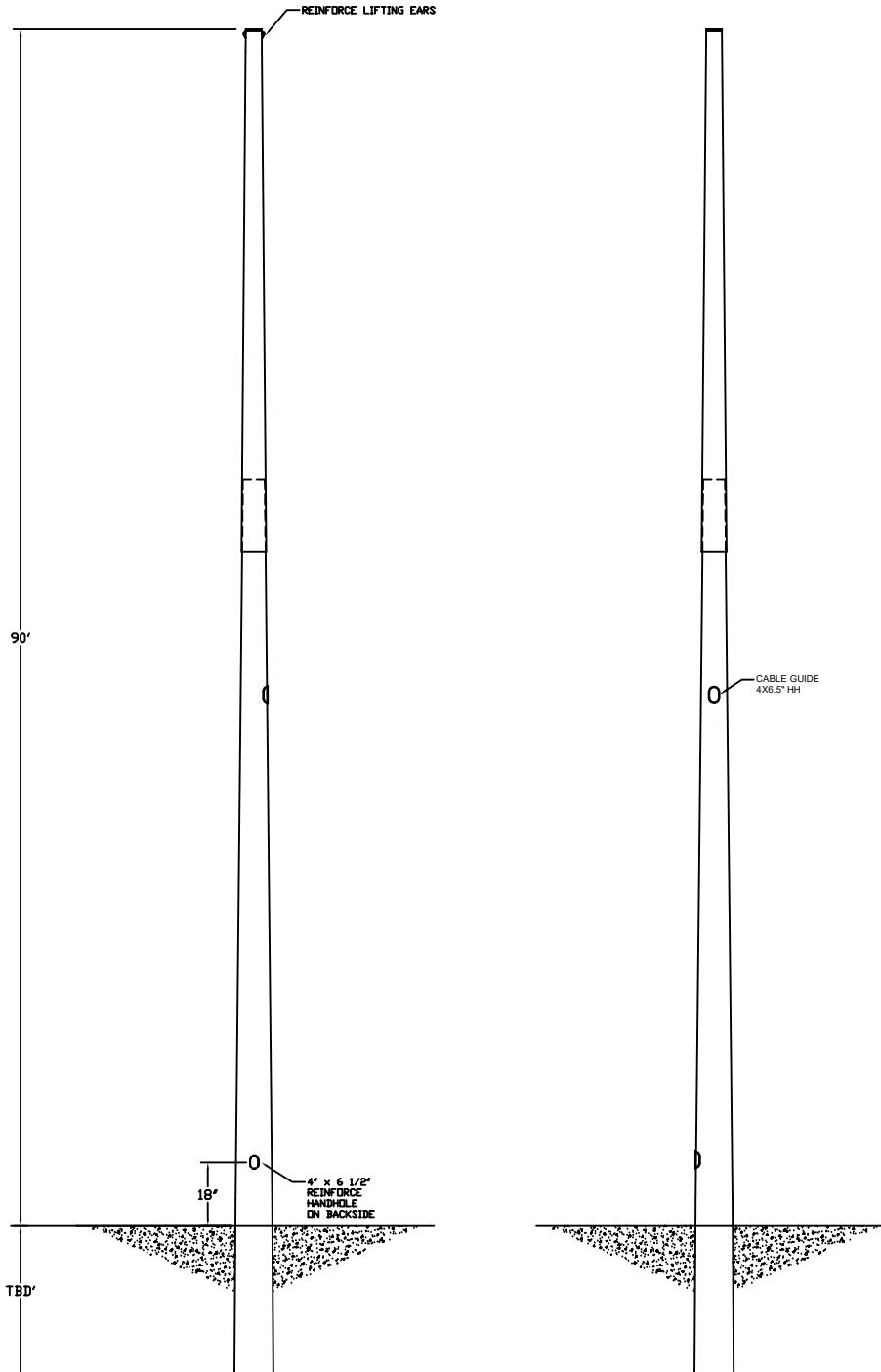
Product	Voltage level	Input voltage range (Vac)	Nominal input power(W)	Input Current(A)	Power factor (@ max load)	THDi(@ max load)%	Inrush period (ms)	Peak Inrush (A)
EPH-LS-08-0320N-XXX-LV	(-LV-) Low voltage	120	357	2.97	0.99	4.79	0.28	133
		277	349	1.28	0.98	7.66	0.27	311
EPH-LS-08-0320N-XXX-HV	(-HV-) High voltage	347	359	1.04	0.99	7.02	0.41	92
		480	358	0.76	0.98	9.20	0.41	129
EPH-LS-08-0530N-XXX-LV	(-LV-) Low voltage	120	591	6.81	0.99	5.61	0.40	188
		277	573	2.84	0.97	11.60	0.38	440
EPH-LS-08-0530N-XXX-HV	(-HV-) High voltage	347	576	2.40	0.99	8.16	0.58	130
		480	573	1.69	0.98	10.17	0.58	182
EPH-LS-08-0530N-XXX-PRO-85-LV	(-LV-) Low voltage	120	598	4.99	0.99	4.70	0.40	188
		277	586	2.12	0.97	7.70	0.38	440
EPH-LS-08-0530N-XXX-PRO-85-HV	(-HV-) High voltage	347	594	1.71	0.99	8.10	0.58	130
		480	588	1.23	0.97	10.50	0.58	182
EPH-LS-08-0680N-XXX-LV	(-LV-) Low voltage	120	744	8.50	0.99	5.69	0.40	188
		277	716	3.50	0.98	11.32	0.38	440
EPH-LS-08-0680N-XXX-HV	(-HV-) High voltage	347	722	2.99	0.99	6.86	0.58	130
		480	716	2.11	0.98	9.16	0.58	182

NOTE: All values measured at 25°C ambient conditions



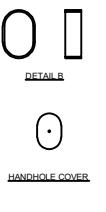
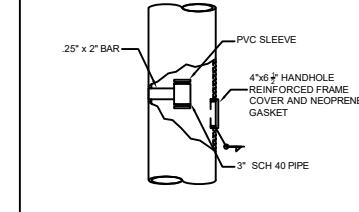
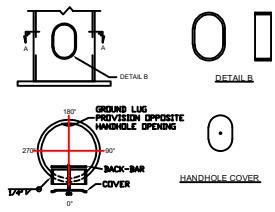
THIS IS NOT A CONSTRUCTION DOCUMENT  
NOTICE: THIS DRAWING IS THE EXCLUSIVE PROPERTY OF NGU SPORTS LIGHTING, LLC. ITS ACCURACY

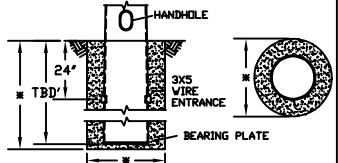
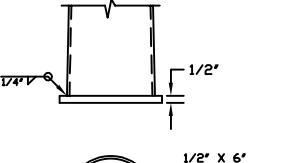
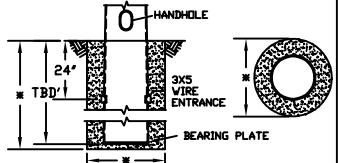
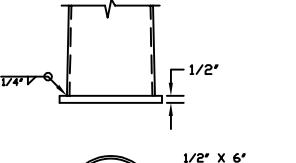
ST. PIUS X SCHOOL  
FOOTBALL/SOCCER/ TRACK STADIUM  
CALCULATIONS WITH SPILL LIGHT  
SHOWN AT 660' FROM BOLES



FRONT VIEW

SIDE VIEW

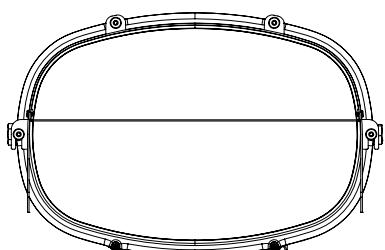
			
SECTION AA	HANDHOLE COVER	.25" x 2" BAR 4" x 6 1/2" HANDHOLE REINFORCED FRAME COVER AND NEOPRENE GASKET 3" SCH 40 PIPE	SECTION CC GROUND LINE PROVIDED OPPOSITE HANDHOLE OPENING 270° 90° BACK-BAR COVER HANDHOLE COVER
3 X 5" REINFORCE HANDHOLE	CABLE GUIDE	4 X 6 1/2" REINFORCE HANDHOLE	

POLE DIMENSION		COMPONENT	SPECIFICATION								
		POLE TOP POLE BOTTOM MISC. STEEL	ASTM A572 GR. 65 ASTM A572 GR. 65 ASTM A36								
GENERAL NOTES:											
1. ALL HARDWARE TO BE GALVANIZED TO ASTM A153. 2. POLE ASSEMBLY TO BE GALVANIZED TO ASTM A123. 3. ALL WELDING TO CONFORM TO AWS D1.1 MOST RECENT EDITION. 4. DESIGN INCORPORATE GUST FACTOR PER REF CODE. 5. REFER TO GENERAL INSTALLATION INSTRUCTIONS PRIOR TO ASSEMBLY.											
<b>FINISH:</b> <input checked="" type="checkbox"/> GALVANIZED <input type="checkbox"/> PAINTED <input type="checkbox"/> PAINTED & GALVANIZED <b>WIND SPEED:</b> <input type="checkbox"/> 80 MPH <input type="checkbox"/> 90 MPH <input type="checkbox"/> 100 MPH <input checked="" type="checkbox"/> 120 MPH <input type="checkbox"/> 130 MPH <b>DESIGN CRITERIA:</b> <input type="checkbox"/> AASHTO LT53 <input checked="" type="checkbox"/> AASHTO LT56 <input type="checkbox"/> DSA <input type="checkbox"/> ASCE 7-10 <input type="checkbox"/> UBC											
FOUNDATION	BEARING PLATE	MATERIAL SPECIFICATIONS									
		<table border="1"> <tr> <td>DATE: N/A</td><td>REV.:</td><td>CHECKED BY:</td><td>SCALE: NTS</td></tr> <tr> <td>DRAWING NUMBER: MSP90MXEM</td><td>DRAWN BY: DR</td><td>QUOTE NUMBER: N/A</td><td></td></tr> </table>		DATE: N/A	REV.:	CHECKED BY:	SCALE: NTS	DRAWING NUMBER: MSP90MXEM	DRAWN BY: DR	QUOTE NUMBER: N/A	
DATE: N/A	REV.:	CHECKED BY:	SCALE: NTS								
DRAWING NUMBER: MSP90MXEM	DRAWN BY: DR	QUOTE NUMBER: N/A									
<b>TYPICAL 90' POLE</b>											
<b>IMSM</b> Motors Sales and Marketing, LLC PO BOX 14537 HALTON CITY, TX 76117 METRI (817) 834-5538 TOLL FREE (866) 724-4527 FAX (817) 831-6088											

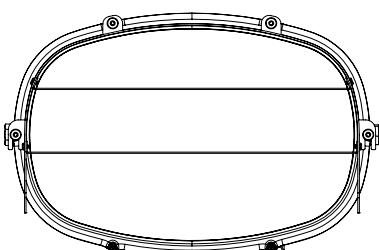
**CV1, CV2, CV5 Cutoff Visor Options\***

\*CV1, CV2, CV5 will not be available on the PRO CCT

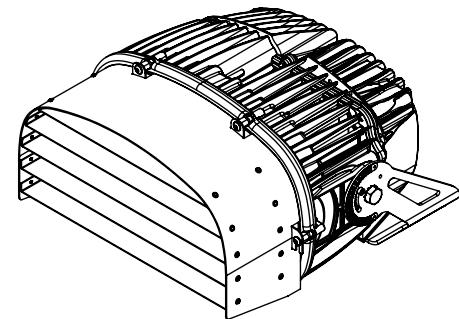
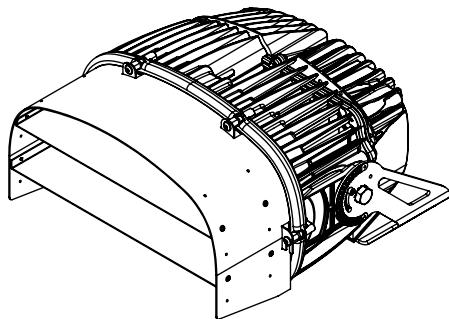
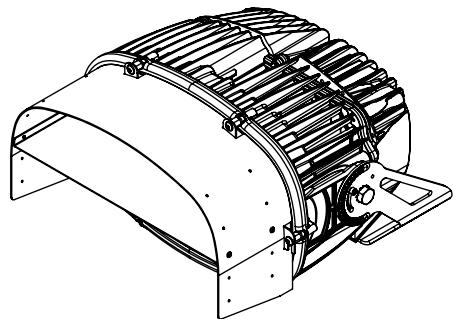
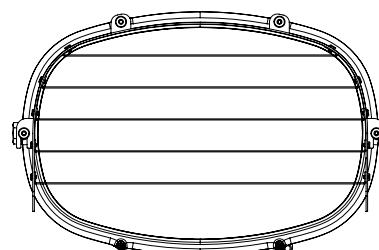
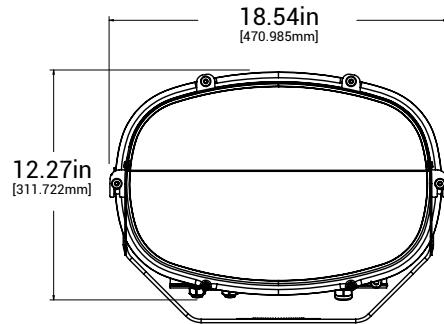
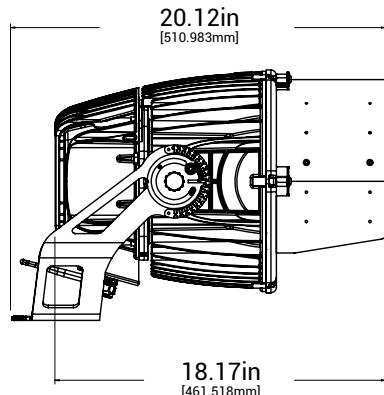
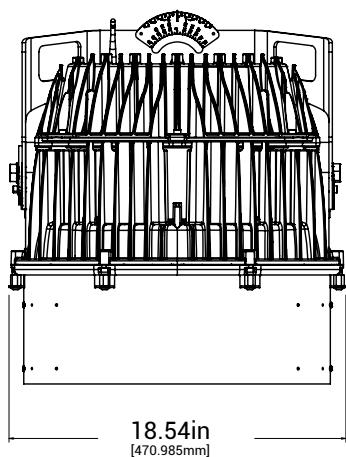
CV1

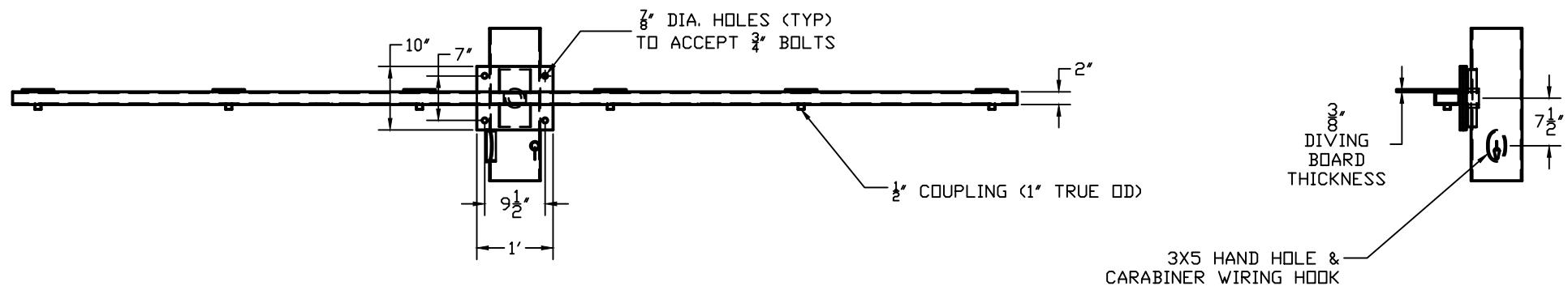
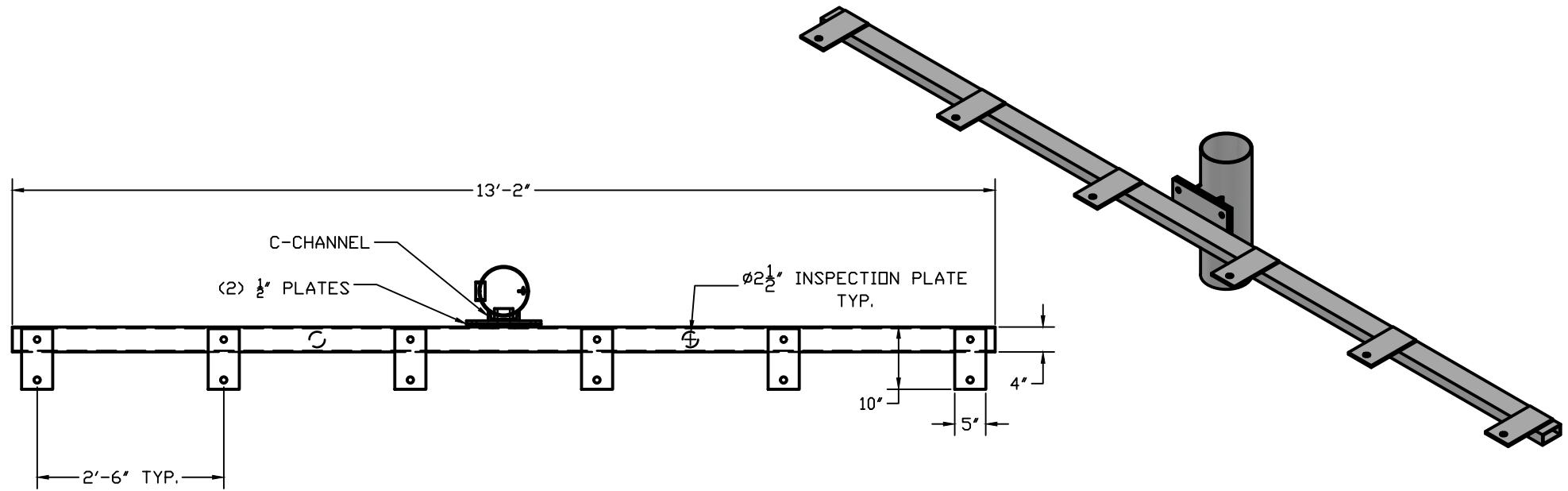


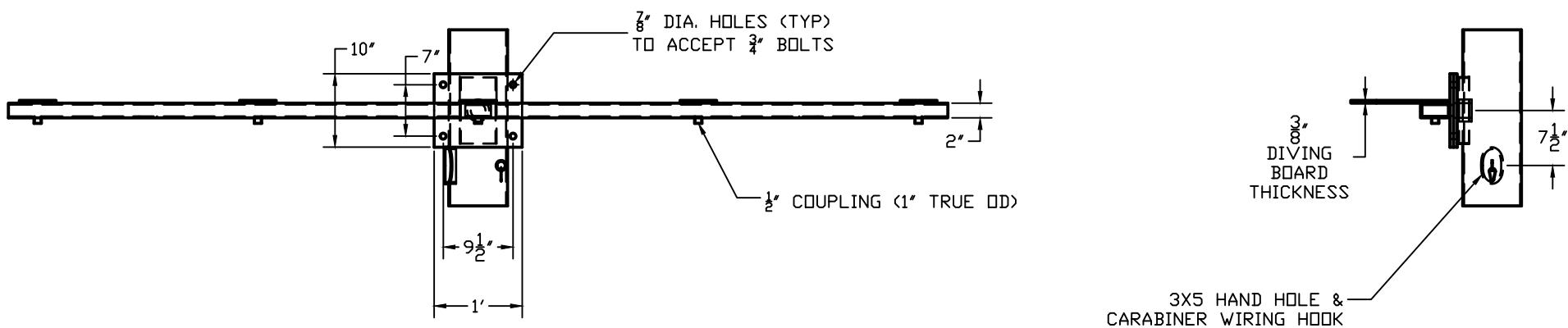
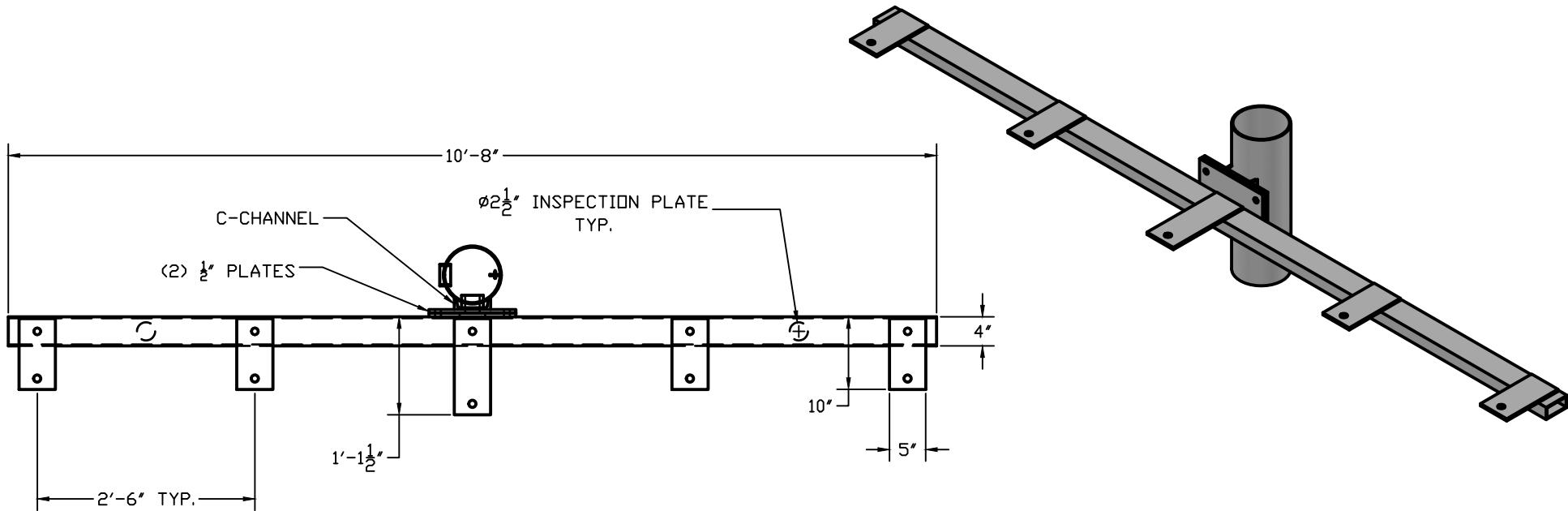
CV2



CV5

**CV1, CV2, CV5 Cutoff Visor Option Dimensional Details**







**BEFORE**

**AFTER**



GAINESVILLE

RED ELEPHANTS

