



**Environmental  
Planning  
Commission**

**Agenda Number: 5  
Project #: 2024-010332  
Case #: RZ-2025-00001  
Hearing Date: February 20<sup>th</sup>, 2025**

**Staff Report**

<b>Agent</b>	Archis Architects
<b>Applicant</b>	Mark Armijo Academy
<b>Request</b>	Zoning Map Amendment (Zone Change) Lot 150-A Plat of Lots 150-A & 150-B Town of Atrisco Grant Unit 6 (Comprising of Lots 150 & 151 Town of Atrisco Grant Unit 6) containing 3.1786 acres and Lot 150-B Plat of Lots 150-A & 150-B Town of Atrisco Grant Unit 6 (Comprising of Lots 150 & 151 Town of Atrisco Grant Unit 6) containing 2.4712 acres
<b>Legal Description</b>	
<b>Location</b>	6800 Gonzales Rd. SW
<b>Size</b>	Approximately 6 acres
<b>Existing Zoning</b>	R-T
<b>Proposed Zoning</b>	R-MH

**Staff Recommendation**

APPROVAL of  
Project # 2024-010332 / RZ-2025-00001  
based on the findings found on pages 26-34.

Staff Planner  
Daniel Soriano

**Summary of Analysis**

The request is for a Zoning Map Amendment (zone change) from R-T to R-MH for an approximately 6-acre site, consisting of two lots (150-A to the west & 150-B to the east), to allow the existing high school to be a permissive use on the subject site.

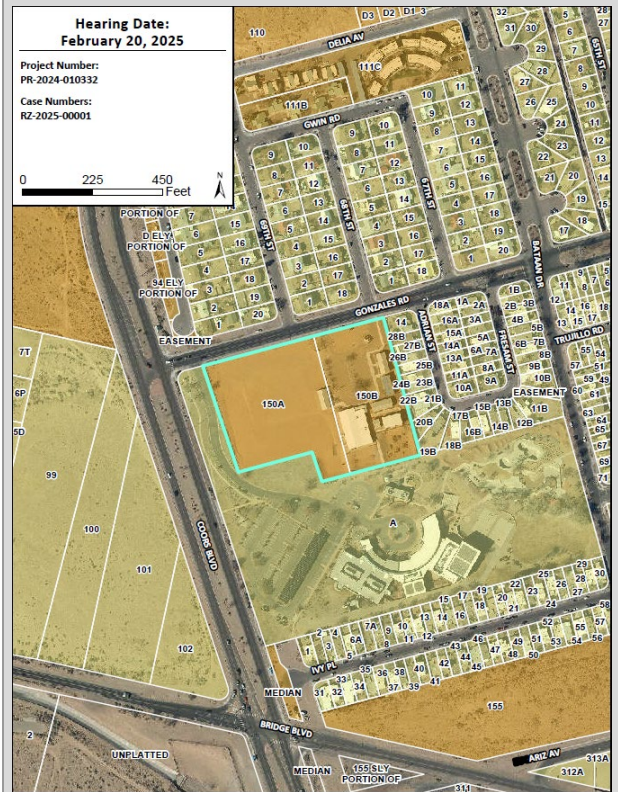
The subject site, located on the southeast corner of Gonzales Rd SW and Airport Dr SW, is in an Area of Change, located within 660 feet of the Coors Blvd. Major Transit Corridor and is near both the Tower Employment Center and West Route 66 Activity Center.

Required notification was sent to all property owners within 100 feet of the subject site and neighborhood associations within 660 feet. As of this writing, no requests for meetings, or letters of opposition or in favor of the project have been received.

The applicant has adequately justified the request pursuant to the IDO zone change criteria in 14-16-6-7(G)(3). The proposed zoning would be more advantageous to the community because it furthers a preponderance of applicable Comprehensive Plan Goals and policies.

**Staff recommends approval.**

**Map**



## *Table of Contents*

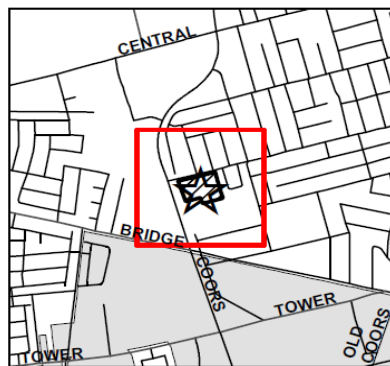
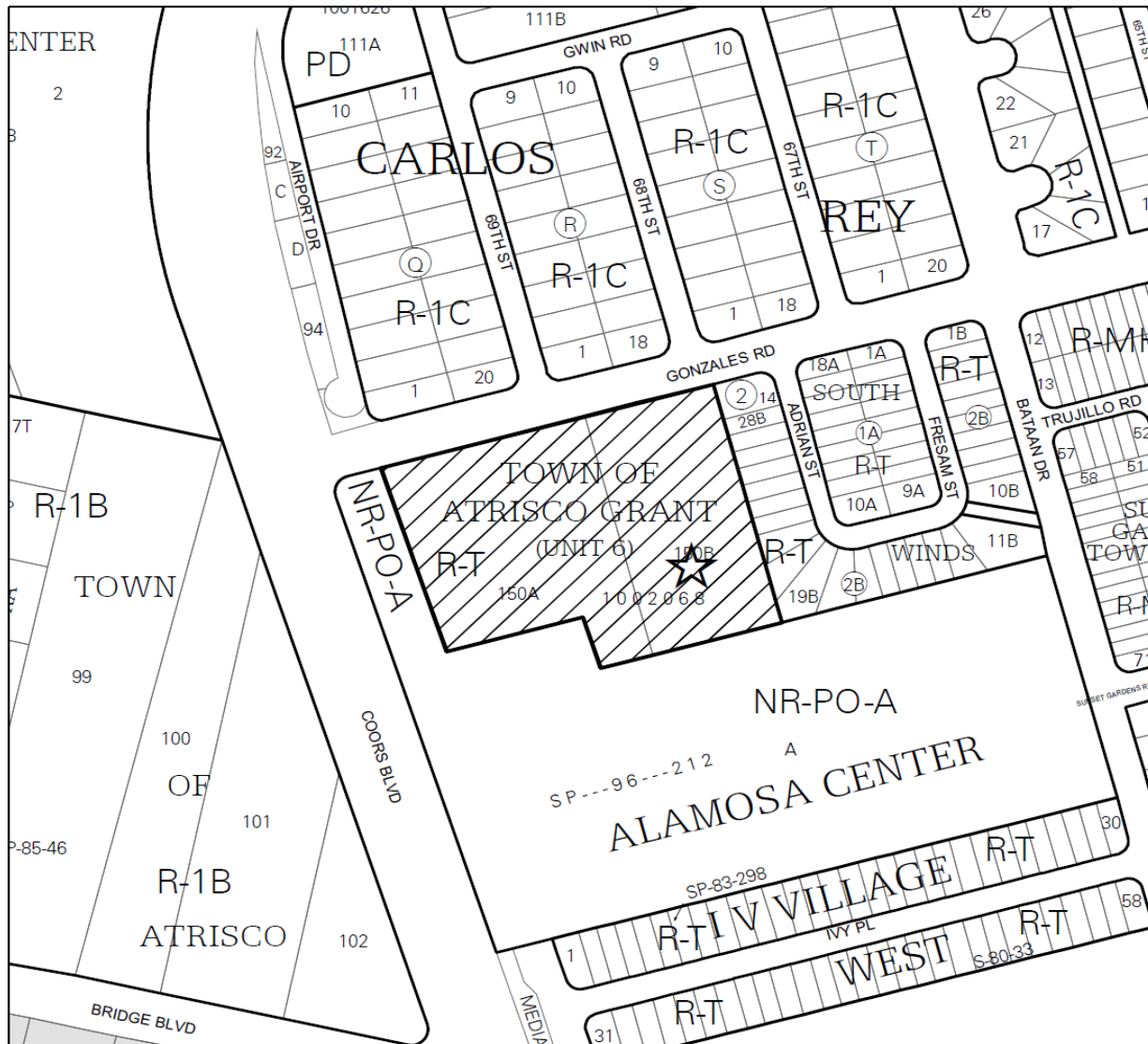
<b>I. MAPS .....</b>	<b>1</b>
AERIAL MAP .....	1
IDO ZONING MAP .....	2
DEVELOPMENT AREAS MAP .....	3
LAND USE MAP .....	4
HISTORY MAP .....	5
PUBLIC FACILITIES / COMMUNITY SERVICES .....	6
<b>II. INTRODUCTION .....</b>	<b>7</b>
REQUEST .....	7
EPC ROLE .....	7
HISTORY/BACKGROUND .....	8
CONTEXT .....	8
ROADWAY SYSTEM .....	8
BIKEWAYS / TRAILS .....	9
TRANSIT .....	9
<b>III. ANALYSIS OF CITY PLANS AND ORDINANCES .....</b>	<b>9</b>
ALBUQUERQUE / BERNALILLO COUNTY COMPREHENSIVE PLAN (RANK 1) .....	9
<i>City Development Areas</i> .....	9
<i>Center &amp; Corridor Designations</i> .....	9
<i>Applicable Goals &amp; Policies</i> .....	10
INTEGRATED DEVELOPMENT ORDINANCE (IDO) .....	14
<i>IDO Zoning</i> .....	14
<i>Proposed Zoning</i> .....	14
<i>Overlay Zones</i> .....	15
<i>Definitions</i> .....	15
<b>IV. ZONING MAP AMENDMENT (ZONE CHANGE) .....</b>	<b>16</b>
<b>V. AGENCY &amp; NEIGHBORHOOD CONCERNS .....</b>	<b>23</b>
REVIEWING AGENCIES .....	23
NEIGHBORHOOD/PUBLIC .....	24
<b>VI. CONCLUSION .....</b>	<b>24</b>
<b>FINDINGS, ZONING MAP AMENDMENT (I.E., ZONE CHANGE) .....</b>	<b>26</b>
<b>RECOMMENDATION .....</b>	<b>34</b>
<b>AGENCY COMMENTS .....</b>	<b>36</b>

ATTACHMENTS

**A) PHOTOGRAPHS .....A**  
**B) HISTORY .....H**  
**C) APPLICATION INFORMATION ..... I**  
**D) STAFF INFORMATION .....J**  
**E) PUBLIC NOTICE ..... K**



**IDO Zoning Map**



**IDO ZONING MAP**

Note: Gray shading indicates County.



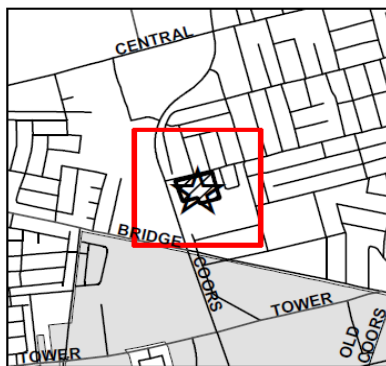
1 inch = 250 feet

Hearing Date:  
 2/20/2025  
 Project Number:  
 PR-2024-010332  
 Case Numbers:  
 RZ-2025-00001

Zone Atlas Page:  
 K-10



**Land Use Map**



**LAND USE MAP**

Note: Gray shading indicates County.

- |                                      |                                |
|--------------------------------------|--------------------------------|
| <b>Key to Land Use Abbreviations</b> | APRT   Airport                 |
| LDRES   Low-density Residential      | TRANS   Transportation         |
| MULT   Multi-family                  | AGRI   Agriculture             |
| COMM   Commercial Retail             | PARK   Parks and Open Space    |
| CMSV   Commercial Services           | DRNG   Drainage                |
| OFC   Office                         | VAC   Vacant                   |
| IND   Industrial                     | UTIL   Utilities               |
| INSMED   Institutional / Medical     | CMTY   Community               |
| ED   Educational                     | KAFB   Kirtland Air Force Base |



1 inch = 250 feet

Hearing Date:

2/20/2025

Project Number:

PR-2024-010332

Case Numbers:

RZ-2025-00001

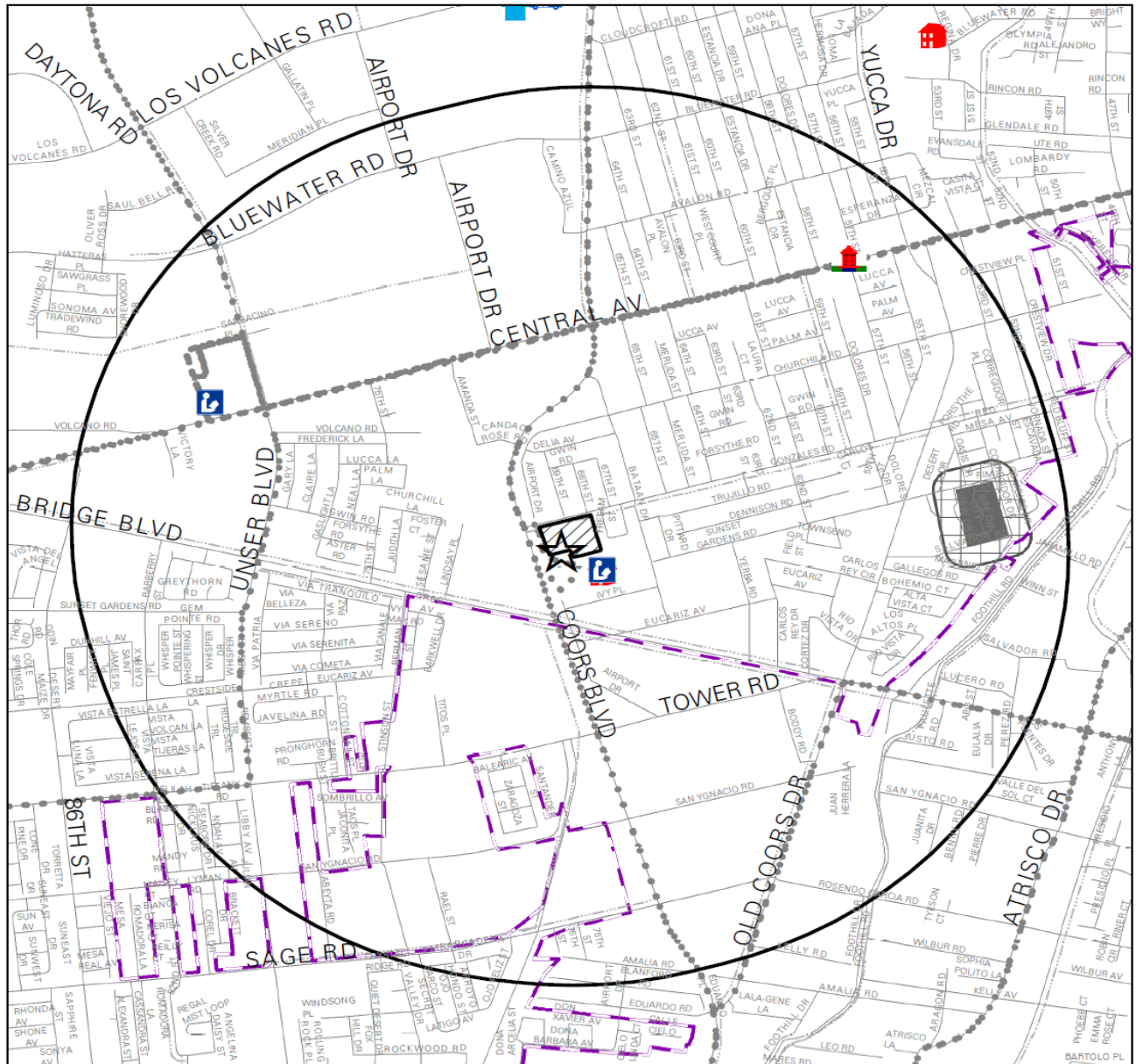
Zone Atlas Page:

K-10





**Public Facilities / Community Services**

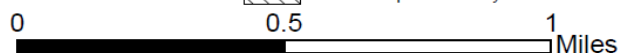


**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |



Project Number: PR-2024-010332



**II. Introduction**

	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
<b>Subject Site</b>	<b>R-T</b>	<b>Area of Change</b>	<b>High School and Undeveloped</b>
<i>North</i>	R-1C	Area of Consistency	Single-family Residential
<i>South</i>	NR-PO-A	Area of Consistency	Community Center & Park
<i>East</i>	R-T	Area of Consistency	Single-family Residential
<i>West</i>	NR-PO-A	Area of Consistency	Community Center & Park

**Request**

The subject site is located on the southeast corner of Gonzales Rd. SW and Airport Dr. SW. This request involves two lots. The easternmost lot (150-B) is approximately 2.47 acres and is the primary location of the existing high school. The western lot (150-A) is approximately 3.17 acres and currently has a single portable structure. The subject site is approximately 6 acres in total, legally described as all or a portion of Lots 150-A and 150-B Plat of Lots 150-A & 150-B for Town of Atrisco Grant Unit 6, located at 6800 Gonzales Rd. SW, between Airport Dr. SW and Adrian St. SW (K-10-Z). The subject site consists of two lots, under the same ownership, making this a premises for the purposes of the Integrated Development Ordinance (IDO).

This request is for a Zoning Map Amendment from R-T (Residential – Townhouse) to R-MH (Residential – Multi-family High Density). The eastern lot is the primary location of the community charter high school. A high school was a permissive use in the R-T zone district in the former Comprehensive Zoning Code. Having existed as a permissive use prior to the effective date of the IDO, which now designates a high school as a conditional use, the eastern lot is deemed to have a Conditional Use Approval pursuant to IDO § 14-16-4-1(E)(1). On the western lot, the high school is currently legally nonconforming in the R-T zone, as there is not an approved conditional use at the time of this request, and the high school did not operate on this portion of the premises prior to the effective date of the IDO. If approved, this request would make the high school permissive on both lots in the R-MH zone district, providing the applicant a straightforward process when pursuing future phased expansions to the western lot under the procedures in the IDO.

**EPC Role**

The EPC is the final decision-making body for this request because the subject site is within an Area of Change and is less than 20 acres [\[IDO §14-16-6-7\(G\)\(1\)\(a\)3\]](#). The request is a quasi-judicial matter.

### ***History/Background***

The subject site was within the boundaries of the now-repealed Tower-Unser Sector Development Plan and was zoned SU-1 for Church and Related Facilities. The property was subdivided into 2 lots with a north/south lot line (Project #1002068, 05EPC-00577), on May 20, 2005. On June 19, 2008, a Sector Development Plan Map Amendment was approved by EPC (Project #1002068, 08EPC-40025) to amend the zoning to R-T to allow future development of townhouses and a charter school utilizing the existing vacant church structure. An Administrative Amendment (PR-2021-005606, SI-2021-00891) was approved on September 16, 2021, to add a portable building to the undeveloped western lot.

On July 3, 2024, a request (PR-2024-010332, VA-2024-00136) for a variance of 12 feet to the required 26-foot maximum building height in the R-T zone was approved to facilitate the building of a new 2-story school building. This variance will no longer be required should the zone change to R-MH be approved.

On March 27, 2024, a request (PR-2021-005606, SD-2024-00048) to consolidate lots 150-A and 150-B into one lot was approved by the Development Hearing Officer (DHO). According to the applicant, the Financial Guaranty to finalize the approval is nearing completion.

### ***Context***

The subject site is currently a community charter high school, located at the corner of Gonzales Rd SW and Coors Blvd SW.

The subject site is in an area with a limited mix of land uses. To the north of the site is single-family residential, zoned R-1C. Farther north is a multi-family development zoned Planned Development (PD). South and west of the site is a community center and park, zoned NR-PO-A, with undeveloped land farther west, across Coors Blvd. SW. To the east of the subject site is more single-family residential, zoned R-T, with a pocket of townhomes zoned R-MH farther east.

The subject site is located in an Area of Change as designated by the Comprehensive Plan ("Comp Plan"). The site is within the Coors Blvd Major Transit (MT) Corridor and is between the Tower Employment Center and West Route 66 Activity Center. The subject site is surrounded on the North, East, West, and South by Areas of Consistency as designated by the Comp Plan.

### ***Roadway System***

The Long Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

The LRRS designates Coors Blvd. SW as a Regional Principal Arterial and Gonzales Rd. NW as a local street.

MRCOG's 2040 Limited Access Facilities Map shows Coors Blvd. as a limited-access roadway.

MRCOG's 2040 Primary Freight Corridors and Truck Restrictions Map does not designate roadways adjacent or through the subject site as either Primary Freight Corridors or roadways with Truck Restrictions.

### ***Bikeways / Trails***

The Long-Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails.

The LRBS shows an Existing Bicycle Lane on Coors Blvd. SW.

The LRBS shows a Proposed Bicycle Route on Gonzales Rd. SW, between Coors Blvd. SW and a location just south of Old Coors Blvd. SW.

### ***Transit***

The subject site is less than a quarter mile (approximately .22 miles, or an average 5-minute walk) from the nearest bus stop at the Alamosa Community Center. This bus stop is on ABQ Ride Route 155, which is in service seven days a week.

## ***III. Analysis of City Plans and Ordinances***

### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

#### ***City Development Areas***

The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change include Centers, Corridors, and Metropolitan Redevelopment Areas, where new development and redevelopment are desired and appropriate. These areas include undeveloped land and commercial or industrial zones that would benefit from infill or revitalization. Directing growth to Areas of Change is intended to reduce development pressure on established neighborhoods and rural areas, minimizing infill or redevelopment at a scale and density that could negatively impact their character. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities.

#### ***Center & Corridor Designations***

The subject site is within the Coors Blvd. Major Transit Corridor. Major Transit Corridors are anticipated to be served by high frequency and local transit. These Corridors prioritize transit above other modes to ensure a convenient and efficient transit system.

The West Route 66 Activity Center is adjacent to the subject site, the boundary ending at the northwest corner of Coors Blvd. SW and Gonzales Rd. SW, approximately 150 feet from

the subject site. Activity Centers provide convenient, day-to-day services at a neighborhood scale to serve the surrounding area within a 20-minute walk or a short bike ride. They are intended to provide a mix of neighborhood commercial and residential uses at a slightly higher density than the surrounding single-family homes. These smaller centers should incorporate good pedestrian friendly design and are appropriate for mixed-use and multi-family housing.

The subject site is located within the boundary of the Southwest Mesa Community Planning Area and is not within a Character Protection Overlay.

#### *Applicable Goals & Policies*

Applicable Goals and policies that were selected by the applicant are listed below. Staff analysis follows indented below the stated goal or policy. Goals and/or policies added by Staff are denoted with an asterisk (\*).

#### CHAPTER 4: COMMUNITY IDENTITY

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

This request would allow the current use of a high school to operate as a primary permissive use, rather than require a conditional use approval to expand onto the lot to the west. This request will both protect and enhance the community by allowing the owner to utilize an underdeveloped lot with a planned future expansion of the land use that has been a part of the community for the last 10 years. Should the school move sites in the future, a change to the R-MH zone will preserve the identity of the community as it will continue the pattern of existing zoning and familiar land uses that currently surround the subject site. There is currently a pocket of R-MH zoning a little over 500 feet from the subject site, the land uses introduced by the R-MH zone are mostly present in the community already, and a change to R-MH can provide an opportunity for more dense residential uses which would be a welcome addition along the Major Transit Corridor and nearby Activity and Employment Corridors. **This request clearly facilitates the implementation of Goal 4.1 Character.**

POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The purpose of the zone change is to convert the high school to a permissive use, in doing so, it will provide a straightforward process as designated in the IDO to expand the existing school use onto the western lot. Right now, the high school is a nonconforming use. The proposed expansion is to utilize an underdeveloped lot by building a new 2-story school building and gymnasium, enhancing the school's ability to offer programs and amenities to the students and surrounding community. The community charter high school is already a partner to the community, attending neighborhood meetings, and working with the community

to determine the needs of the students, staff and residents surrounding the school. In enhancing the existing school, the community would have a place where they can gather for public meetings, celebrations and sporting events. This should strengthen the special place that is the community charter high school, while creating a sense of place for the community. **This request clearly facilitates the implementation of Policy 4.1.3 Placemaking.**

**POLICY 4.1.4 NEIGHBORHOODS:** Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

The subject site has been a community charter high school for the last 10 plus years. The school has become a community partner during this time, and takes into account the needs of the students, staff and surrounding community when developing future plans for the high school. The purpose of requesting the re-zone from R-T to R-MH is to ultimately expand the school onto the western lot, removing a mostly undeveloped lot from the neighborhood and providing more services and programs that aim to enhance, protect and preserve the community and the long-term health and vitality of its members. **This request clearly facilitates the implementation of Policy 4.1.4 Neighborhoods.**

**GOAL 4.2 PROCESS:** Engage communities to identify and plan for their distinct character and needs.

The purpose of this request is to re-zone the subject site so the current use, a community charter high school, can become a permissive primary use rather than requiring a conditional use to expand onto the western lot of this premise. The community school has historically exhibited a strong relationship with the surrounding community, participating in various meetings with different local organizations while seeking out and welcoming feedback for future expansion projects and overall program development for the school. On March 11, 2024, the applicant and representatives from the school presented this project and it's long-term goals to the Alamosa Neighborhood Association, the presentation was said to have been met with support, however staff does not have access to meeting notes for this event. **This request partially facilitates the implementation of Goal 4.2 Process.**

**POLICY 4.2.2 COMMUNITY ENGAGEMENT:** Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents.

The community charter high school is requesting this zone change in hopes of facilitating a future planned expansion for the school onto the western lot. On March 11, 2024, the applicant and representatives from the school presented this project to the Alamosa Neighborhood Association. There were no notes provided from this meeting, however, the applicant indicated the project was met with

support from the association. Being a community school, the intent is a mutually beneficial collaboration between the school and surrounding community to identify and address the needs of its student body and the surrounding community. Staff has not been provided documentation that would support that this practice is ongoing. **This request partially facilitates the implementation of Policy 4.2.2 Community Engagement.**

GOAL 4.3 CITY COMMUNITY PLANNING AREAS: Protect and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The community charter high school has been a center to the community for the last approximately 10 years, contributing to the culture of the surrounding areas, with an emphasis on education, safety and belonging. If this Zoning Map Amendment request is approved, the school will become a permissive use, allowed to pursue future expansion projects, solidifying the community school at this subject site for the foreseeable future. Should the school change locations, the R-MH zone would offer a variety of moderately intense uses, ranging from multi-family dwellings and schools, to bed and breakfast lodging and group living options. While the uses may contribute to the identity of the community, there is no factual evidence that this goal will be facilitated through this request. **Goal 4.3 City Community Planning Areas is not applicable to the request.**

#### CHAPTER 5: LAND USE

GOAL 5.2 COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

In amending the zone from R-T to R-MH, the applicant wishes to remedy the schools nonconforming status on the western lot and make the high school a permissive use across the premises. The R-MH zone district would allow for a greater density of residential uses, civic and institutional uses focused on providing care and education for children or adults, and community gathering uses, such as a religious institutions or community centers and libraries. Additionally, accessory permissive uses in the R-MH zone would further this multifaceted approach to the community, such as a health club or gym and small general retail. This range of uses allowed in the R-MH zone district can create an area where the community can live, work, learn, shop and play together. **This request clearly facilitates the implementation of Goal 5.2 Complete Communities.**

POLICY 5.2.1 LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.



Changing the zone of the subject site from R-T to R-MH will solidify the existing use of a community charter high school as a permissive use, allowing the school to pursue future expansion projects, following the policies, procedures and developmental standards of the IDO. The R-MH zone district would not introduce new uses harmful to the community, it will contribute to the character of the neighborhood by allowing more dense residential uses that are already present in the community. The high school, along with the abutting community center, mix of residential uses and nearby elementary school, contribute to the mix of uses that are conveniently accessible from the surrounding neighborhoods. This request will help maintain the community's variety of uses, while solidifying the use at the subject site, providing the school a path forward to expansion. **This request clearly facilitates the implementation of Policy 5.2.1 Land Uses.**

GOAL 5.6: CITY DEVELOPMENT AREAS: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

This request would make the high school a permissive use and encourage the school to move forward with a planned expansion onto the underdeveloped western lot. A zone change to R-MH and potential infill development in an Area of Change will also preserve the character and use intensity for the surrounding community, which is in an Area of Consistency, regardless if the community charter high school remains at the subject site or moves elsewhere. **This request generally facilitates the implementation of Goal 5.6 City Development Areas.**

POLICY 5.6.2: AREAS OF CHANGE: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is within an Area of Change as designated in the Comp Plan. The request to adjust the zoning from R-T to R-MH will protect and enhance the character of the surrounding neighborhoods as it will not introduce a new zone or harmful uses to the community. There is R-MH zoning nearby, which will allow a variety of moderate intensity residential uses within an Area of Change. The subject site is within ¼ mile of the Coors Blvd. Major Transit Corridor and is between the Tower Employment Center and West Route 66 Activity Center. Denser development is appropriate in the Centers and Corridors in the area and will contribute to the variety of uses already present in the community, furthering the established character of the community. The purpose of this request is to facilitate the expansion of the existing school, solidifying the use of a community charter high school at the subject site for years to come. **This request generally facilitates the implementation of Policy 5.6.2 Areas of Change.**

POLICY 5.6.4 APPROPRIATE TRANSITIONS: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

This request is for a zone map amendment from R-T to R-MH. The overarching goal of this request is to make the existing use of a school a permissive use and facilitate future expansion of the school to the western lot of the subject site. Currently, the community charter high school exists primarily towards the rear of the eastern lot on the subject site, with parking on the north end of the lot. The high school acts as a buffer between the community to the east and the high-volume traffic from the Major Transit Corridor, Coors Blvd. Should the future expansion made possible by this request move forward, the addition of a gymnasium on the western lot will further help transition between Coors and the community. **This project generally facilitates the implementation of Policy 5.6.4 Appropriate Transitions.**

CHAPTER 12: INFRASTRUCTURE, COMMUNITY FACILITIES & SERVICES

POLICY 12.3.8 EDUCATION: Complement programming provided by educational institutions to expand educational opportunities for residents in all cultural, age, economic, and educational groups.

The zone change to R-MH would make the existing community charter high school a permissive use, rather than requiring a conditional use to operate and expand on the western lot. Future phased projects of the school would be able to build on to the western lot, providing the school with more structures and amenities that can be used to increase the educational opportunities offered to all residents through various after-school programs and providing the community a gathering place for local sports teams and community meetings. **This request clearly facilitates the implementation of Policy 12.3.8 Education.**

***Integrated Development Ordinance (IDO)***

*IDO Zoning*

The subject site is currently zoned R-T. According to IDO §14-16-2-3(D), the purpose of the R-T zone district is to accommodate a mix of single-family, two-family, and townhouse uses, as well as limited civic and institutional uses to serve the surrounding residential area.

*Proposed Zoning*

The applicant requests to re-zone two lots, the east lot (150-B) containing 2.47 acres and the west lot (150-A) containing 3.17 acres, a total of approximately 6 acres, from R-T to R-MH. According to IDO §14-16-2-3(F), the purpose of the R-MH zone district is to

promote and encourage the development of high-density attached and multi-family housing, with taller, multi-story buildings encouraged in Centers and Corridors in areas close to major streets and public transit facilities. The primary land use is multi-family development, with limited civic and institutional uses to serve the surrounding residential area.

The intent of this re-zone is to attain the minimum height required to build a 2-story education building and facilitate future phased expansions of the existing community charter high school onto both lots. At the time of this writing, the high school is operating on the eastern lot under a Conditional Use Approval granted by IDO §14-16-4-1(E)(1) and the western lot as nonconforming in R-T. Should this request be approved, the high school would become permissive on both lots, allowing the school to move forward with future projects to expand the school, further utilizing both lots subject to procedures and developmental standards in the IDO.

#### *Overlay Zones*

The subject site is not within any Overlay zones.

#### *Definitions*

School: An accredited public or private institution offering a course of education recognized by the State as leading to a high school diploma or equivalent. Accessory uses may include student sports fields or facilities, playgrounds, gardens, and an accessory dwelling unit for a caretaker. This use is divided into:

1. Elementary or middle school: An educational facility for grades kindergarten through 8.
2. High school: An educational facility for grades 9 through 12.

Area of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Nonconforming Use: A use of a structure or land that does not conform to the IDO requirements for land uses in the zone district where it is located, but that was an approved use at the time the use began.

#### ***IV. Zoning Map Amendment (Zone Change)***

Pursuant to IDO §14-16-6-7(G)(3) Review and Decision Criteria, "An application for a Zoning Map Amendment shall be approved if it meets all of the following criteria."

There are several criteria that must be met, and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the city to show why the change should not be made.

- (a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

*Applicant Response: The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by clearly facilitating the City's goals and policies as detailed below. This request would strengthen the educational capacity of the City's youth, providing more spaces for students to thrive while learning the importance of education, community engagement, and public service. As a community school, Mark Armijo actively works with its neighbors and non-profit organizations to make their community stronger and instill in their students and staff the importance of community engagement. Infilling this lot with more dense development serves as a buffer between community functions.*

Staff response: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request clearly facilitates applicable Comprehensive Plan Goals and policies and does not significantly conflict with them. The applicant's policy-based responses adequately demonstrate that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Character, Education, Complete Communities, and Community Engagement; therefore, the request is consistent with the City's health, safety, morals, and general welfare.

Applicable citations:

Goal 4.1 Character; Policy 4.1.3 Placemaking; Policy 4.1.4 Neighborhoods; Goal 4.3 City Community Planning Areas; Goal 5.2 Complete Communities; Policy 5.2.1 Land Uses; Goal 5.6 City Development Areas; Policy 5.6.2 Areas of Change; Policy 5.6.4 Appropriate Transitions; Policy 12.3.8 Education. **The response to Criterion A is sufficient.**

- (b) If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from

that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Applicant Response: *The subject property is not designated as an Area of Consistency.*

Staff Response: The subject site is located wholly in an Area of Change, as designated by the Comp Plan; **therefore, Criterion B does not apply.**

(c) If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Applicant Response: *The subject property is designated as an Area of Change. The proposed zone district R-MH, per criterion 3, is more advantageous to the community as articulated by the ABC Comp Plan because it solidifies current land use at the subject site while allowing appropriate development standards required for a proper educational and community-focused facility. The Southwest Mesa area has seen a more dense pattern of growth in recent years, and to allow infill development on the site will aid in varying permissible uses in the area while acting as a point of connection between the residential neighborhoods and Coors Blvd SW. While some commercial zones are nearby, this is largely a residential-heavy area of the westside that must currently rely more on commuting than having necessary community amenities nearby. Maintaining and expanding the population of a high*

*school on this site adds to the neighborhood-oriented services available, creating density at an appropriate scale while connecting the community through educational opportunities.*

**Staff Response:** The subject site is located wholly in an Area of Change. The applicant's policy-based analysis demonstrates that the request would clearly facilitate a preponderance of applicable Comprehensive Plan Goals and Policies and would be more advantageous to the community than the current zoning. **The response to Criterion C is sufficient.**

- (d) The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in IDO §14-16-4-3 associated with that use will adequately mitigate those harmful impacts.

*Applicant Response: The requested zoning does not include permissive uses that would be harmful to adjacent properties, the neighborhood, or the community as many permissive uses are similar between R-T and R-MH. A main difference and reason for this request is it changes schools from a Conditional Primary Use to a Permissive Primary Use.*

*Overall, the R-MH zone increases opportunity on the site for more dense infill development as a transition between Coors as a Major Transit Corridor and the single-family residential neighborhoods, encouraging multi-family dwellings and densified dormitory and group home developments. Additionally, all K-12 schools plus daycares become Primary Permissive instead of Conditional, increasing opportunities for different learning paths in the future. A future hope of Mark Armijo is to include a pre-school classroom to better serve young parents who are still committed to completing high school.*

*Most of the other added commercial uses are only permissible as an accessory use, something that would limit certain development due to the size of the site. Additionally, infilling the site with a school building will limit future development that is less desired. While a school building is flexible for learning and community-focused needs, it is difficult to reuse a school for dwellings, offices, or commercial/retail type spaces. The infill of a vacant lot with a school will help deter other types of uses, and even so, they would have to follow current Building Codes, IDO Standards, and go through additional public hearing and feedback processes.*

<b>TABLE: Permissive Use Comparison: R-T and R-MH</b>		
<b>Use</b>	<b>R-T</b>	<b>R-MH</b>
<b>RESIDENTIAL USES</b>		
Dwelling, single-family detached	P	-
Dwelling, cluster development	P	-
Dwelling, cottage development	P	-
Dwelling, two-family detached (duplex)	P	-
Dwelling, townhouse	P	P
Dwelling, live-work	C	P
Dwelling, multi-family	-	P
Assisted living facility or nursing home	C	P
Community residential facility, small	P	P
Community residential facility, large	-	P
Dormitory	-	P
Group home, small	-	P
Group home, medium	-	C
Group home, large	-	C
<b>CIVIC AND INSTITUTIONAL USES</b>		
Adult or child day care facility	C	P
Community center or library	P	P
Elementary or middle school	C	P
High School	C	P
Museum	CV	C
Parks and open space	P	P
Religious institution	P	P
Sports field	-	-
University or college	-	CV
Vocational school	-	CV
<b>COMMERCIAL USES</b>		
Community garden	P	P
Auditorium or theater	-	A
Health club or gym	-	A
Residential community amenity, indoor	P	P
Paid parking lot	-	A
Parking structure	-	A
Residential community amenity, outdoor	P	P
Other outdoor entertainment	CA	CA
Art gallery	P	P
Farmers' market	T	T
General retail, small	-	A
Park-and-ride lot	-	C
Transit facility	-	C

*\*See IDO for additional allowable uses in categories of Telecommunications, Towers, and Utilities, and Accessory and Temporary Uses*

Staff Response: The request is to rezone the subject site from R-T to R-MH. Staff notes that the applicant's intent for the zone change is to make a high school a permissive use to facilitate the future expansion of the community charter high school onto the western lot of the site without requiring a conditional use approval. According to the IDO's Allowable Uses table, Table 4-2-1, the R-MH zone designation generally allows for more dense uses than the R-T zone, permissively allowing multi-family dwellings, large community residential facilities, dormitories, adult or child care facilities, and all schools, elementary, middle and high school. The surrounding community has a variety of housing and zones present at the time of this writing. To the North there is a multi-family development zoned PD, and to the East there are townhomes zoned R-MH. Should the school be replaced and redeveloped, the permissive uses not currently utilized in the R-MH zone would not negatively impact the area. All new permissive civic and residential uses would contribute to the character and design of the community, while newly introduced commercial uses are restricted to being accessory, which is required to be subordinate in use, area or purpose to a primary land use on the same lot, further reducing potential impacts to the surrounding areas. **The applicant's response to Criterion D is sufficient.**

- (e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:
1. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
  2. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
  3. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a city-approved Development Agreement between the City and the applicant.

Applicant Response: *The future development of the subject-property will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and an IIA. Plans for the property include widening the existing sidewalk along the south side of Gonzales Rd SW and providing a landscape buffer to improve existing infrastructure per current IDO requirements. Additionally, the development of the site will improve upon those requirements by adding a crosswalk from the subject property to the north side of Gonzales Rd SW, a pedestrian crossing that doesn't currently exist and will make traversing the neighborhood safer for residents. These improvements are documented as part of an IIA Procedure B Financial Guaranty that is in process of being finalized.*

*Additionally, a traffic study has been completed and coordinated with the City of Albuquerque Transportation Department and the New Mexico Department of Transportation. The development of the site will make the neighborhood safer,*



*providing adequate parking and queuing space for students, parents, and staff, keeping overflow off the street. Per coordination with the Transportation Departments, the new parking lot entrance will have a right-in only, eliminating cars waiting to turn left into the new parking lot, and traffic can exit the new parking lot and go either east or west on Gonzales Rd SW.*

Staff Response: This request meets the requirement by ensuring the infrastructure and public improvements will have adequate capacity while continuing through the City's permitting process and following the obligations set under the IDO, DPM, and/or a Infrastructure Improvements Agreement, meeting requirement E.2. The applicant has communicated with the New Mexico Department of Transportation to address potential impacts to city infrastructure caused by the zone change and future projects, as well, should this request be approved, a possible future expansion of the school includes widening of the sidewalks amongst other improvements to the infrastructure per IDO requirements. **The response to Criterion E is sufficient.**

- (f) The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

Applicant Response: *The zoning map amendment is not based on the property's location on a major street. The use of the site is existing and located along Gonzales Rd SW and Airport Dr SW.*

Staff Response: The request is not completely based on the property's location on a major street; rather, the request is based on policy analysis surrounding the properties existing land use and proposed Zoning Map Amendment to request a zone that will turn the existing high school into a permissive use, facilitate future expansion of the school, and implement Goals and Policies in the Comprehensive Plan. **The response to Criterion F is sufficient.**

- (g) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

Applicant Response: *The Applicant's justification is not based on the cost of land or economic considerations, but rather for the high school to continue operating at its current location as a Permissive Use and more easily develop its expanded campus over the next several years to continue serving its surrounding community.*

Staff Response: The applicant's justification is not completely or predominately based on economic considerations or the cost of land; rather, the applicant's request is to solidify the existing community charter high school into a permissive use, allowing a straightforward path to expanding the school onto the western lot of the subject site. A zone change to R-MH will be advantageous to the community,

as it implements applicable Comprehensive Plan Goals and Policies and does not significantly conflict with them. **The response to Criterion G is sufficient.**

- (h) The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:
1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
  2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
  3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

*Applicant Response: The Zoning Map Amendment does create a "spot zone", and the subject property is different from surrounding land because it can function as a transition between adjacent zone districts. The zone change will correct the non-conforming use of the existing school portable on the west property (Lot 150-A) and clearly facilitates the ABC Comp Plan as demonstrated in the Goals and Policy analysis in this letter.*

*The surrounding area of the subject property contains a few different zone categories. The requested R-MH zone is within 1,000-ft of another R-MH zone, separated by a pocket of R-T zoning. Other adjacent zones are R-1C and R-1B which also already allow schools as a Conditional Primary Use, and abutting the subject site to the south is a NR-PO-A zone, which also allows schools as a Permissive Primary Use and currently houses the Alamosa Community Center at Ted M. Gallegos Complex, including the Alamosa Child Development Center/Preschool, as well as the recently developed Alamosa Dog Park.*

*Nestled between an employment center and an activity center, near the end of a main street and off a Major Transit Corridor, infilling the subject property with denser and community-focused development is ideal for this point of transition between the ever-developing area of Coors Blvd SW and the single-family residential neighborhoods and furthers the goals of the nearby Transit Corridor. Additionally, the subject property is identified as an Area of Change in the ABC Comp Plan; however, the immediately surrounding areas are in Areas of Consistency. Development should be focused on Areas of Change (subject property) with both existing and infill infrastructure that can be served by the Corridor and serve as a zoning transition between uses or changes in development intensity between Areas of Change and Areas of Consistency.*

Staff Response: Criterion H is a two-part test, which the request generally meets. The request to R-MH would create a spot zone. The applicant has demonstrated that the request would clearly facilitate the implementation of several applicable goals and policies of the Comprehensive Plan, specifically, from Chapters 4 – Community Identity; 5 – Land Use; and 12 – Infrastructure, Community Facilities & Services. The R-MH zone district would allow the community charter school as a permissive use and facilitate much-needed infill development by providing the applicant a clear and straightforward path to expand the school onto the western, underdeveloped lot without needing to request conditional use approval, while also providing the school the allowed height it would need for a future project to build a gymnasium.

The subject site is surrounded primarily by residential uses, with a community center directly south. The applicant claims the area of the zone change is different from surrounding land, as it functions as a transition between an adjacent zone district to the northwest, NR-C, and a Major Transit Corridor (Coors Blvd.), which provides access to and from the nearby Employment and Activity Centers as designated by the Comp Plan. The community charter high school has served as a buffer from the residential community to the east and the traffic and commercially focused uses along Coors Blvd. SW, welcoming those to the community as they exit Coors Blvd. The permissive uses in the R-MH zone – denser residential and new civic institutional uses – would be able to maintain this buffer should the current school move locations.

Staff generally agrees with the applicant’s justification to create a spot zone. **The response to Criterion H is sufficient.**

## ***V. Agency & Neighborhood Concerns***

### ***Reviewing Agencies***

Most reviewing agencies stated they had no adverse comments. Detailed feedback was received from the City of Albuquerque’s Solid Waste Division and New Mexico Department of Transportation (NMDOT).

- Solid Waste will require a double refuse enclosure and a signed, approved Site Plan for Solid Waste access.
- NMDOT requested that the applicant coordinate with an NMDOT Traffic Engineer to discuss the request and potential impacts to NM 45 (Coors Blvd. SW).

See pages 36-37 for detailed comments.

### ***Neighborhood/Public***

Public notice requirements are established in IDO Table 6-1-1 and IDO §14-16-6-4(J) Public Notice. According to the Office of Neighborhood Coordination, the Alamosa Neighborhood Association and South West Alliance of Neighborhoods are within 660 feet of the subject property and were notified as required.

A Pre-submittal Neighborhood Meeting was offered to Neighborhood Associations, although no longer required by the IDO. No meeting was requested.

Property owners within 100 feet of the subject site were notified by the applicant, as required. A total of 23 certified letters were mailed to the property owners.

As of this writing, no individuals have reached out to the Planning Department to express opposition or support for this request.

## ***VI. Conclusion***

The request is a Zoning Map Amendment for an approximately 6-acre subject site, which is legally described as all or a portion of Lots 150-A and 150-B Plat of Lots 150-A & 150-B for Town of Atrisco Grant Unit 6, located at 6800 Gonzales Rd. SW, between Airport Dr. SW and Adrian St. SW (K-10-Z).

The subject site is an existing community charter high school. Site history is not well documented. The last verified approval was an Administrative Amendment to add a modular portable building on September 16, 2021.

The subject site is in an Area of Change as designated by the Comprehensive Plan and is within the Coors Blvd Major Transit Corridor. The subject site is between the Tower Employment Center to the South and West Route 66 Activity Center to the North. The subject site is not located within an Overlay zone.

The request is to re-zone the subject site from R-T (Residential -Townhouse) to R-MH (Residential – Multi-Family High Density). The zone change seeks to allow the existing community charter high school as a permissive use, rather than a conditional use. In changing the zone, the applicant seeks to accomplish two things: first, ensure that any legally nonconforming structures and uses are remedied; second, facilitate a planned expansion project for the school onto the western lot as a permissive use in the R-MH zone district, which allows the building heights required for a future gymnasium, as well as the existing 2-story educational building, which currently has an approved variance. The zone change to R-MH will create a spot zone; however, there is a pocket of R-MH zoning a little over 500 feet from the subject site, and the surrounding area has a variety of land uses that contribute to the identity of the community, including an elementary

school, community center, single-family residential, townhouses, and multi-family dwellings.

The applicant has adequately justified the request based upon the proposed zoning being more advantageous for the surrounding area because it would clearly facilitate the implementation of a preponderance of applicable goals and policies in the Comprehensive Plan.

**Staff recommends Approval.**

***Findings, Zoning Map Amendment (i.e., Zone Change)***

Project #: 2024-010332 / RZ: 2025-00001

1. This is a request for a Zoning Map Amendment, from R-T to R-MH for two lots, an eastern lot containing approximately 2.47 acres and a western lot containing approximately 3.17 acres, legally described as all or a portion of Lots 150-A and 150-B Plat of Lots 150-A & 150-B for Town of Atrisco Grant Unit 6, located at 6800 Gonzales Rd. SW, between Airport Dr. SW and Adrian St. SW, containing a total of approximately 5.6 acres.
2. With approval of the zone change, the existing high school would become a permissive use in the R-MH zone district; whereas, currently, in the R-T zone district, a high school requires a conditional use approval in order to expand the use onto the western lot through future planned phased projects.
3. Prior to the effective date of the IDO, the subject site was zoned SU-1 for Church and related facilities in the now repealed Tower-Unser Sector Development Plan. In June 2008, a request to EPC was approved to amend the Tower/Unser Sector Development Plan map to change the zone on the subject site from SU-1 to R-T to allow for townhouses and a charter school use in the former church building. Upon the effective date of the IDO in May 2018, the subject site was converted to R-T, moving the high school from a Permissive use to a conditional use. The school is allowed to operate on the eastern lot as an approved Conditional Use pursuant to IDO §14-16-4-1(E) (1) Previously Allowed Uses and on the western lot as a nonconforming use.
4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is within an Area of Change as designated by the Comprehensive Plan and is located between the Tower Employment Center to the South and West Route 66 Activity Center to the North. The subject site is located within the Major Transit Corridor, Coors Blvd. SW.
6. The subject site is not within an Overlay zone.
7. The request clearly facilitates the implementation of the following applicable Goals and Policies related to Character, Placemaking, Process, and Community Engagement from Comprehensive Plan Chapter 4: Community Identity.

A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

This request would allow the current use of a high school to operate as a primary permissive use, rather than require a conditional use approval to expand onto the lot to the west. This request will both protect and enhance the community by allowing the owner to utilize an underdeveloped lot with a planned future expansion of the land use that has been a part of the community for the last 10

years. Should the school move sites in the future, a change to the R-MH zone will preserve the identity of the community as it will continue the pattern of existing zoning and familiar land uses that currently surround the subject site. There is currently a pocket of R-MH zoning a little over 500 feet from the subject site, the land uses introduced by the R-MH zone are mostly present in the community already, and a change to R-MH can provide an opportunity for more dense residential uses which would be a welcome addition along the Major Transit Corridor and nearby Activity and Employment Corridors.

- B. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The purpose of the zone change is to convert the high school to a permissive use, in doing so, it will provide a straightforward process as designated in the IDO to expand the existing school use onto the western lot. Right now, the high school is a nonconforming use. The proposed expansion is to utilize an underdeveloped lot by building a new 2-story school building and gymnasium, enhancing the school's ability to offer programs and amenities to the students and surrounding community. The community charter high school is already a partner to the community, attending neighborhood meetings, and working with the community to determine the needs of the students, staff and residents surrounding the school. In enhancing the existing school, the community would have a place where they can gather for public meetings, celebrations and sporting events. This should strengthen the special place that is the community charter high school, while creating a sense of place for the community.

- C. POLICY 4.1.4 NEIGHBORHOODS: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

The subject site has been a community charter high school for the last 10 plus years. The school has become a community partner during this time, and takes into account the needs of the students, staff and surrounding community when developing future plans for the high school. The purpose of requesting the re-zone from R-T to R-MH is to ultimately expand the school onto the western lot, removing a mostly undeveloped lot from the neighborhood and providing more services and programs that aim to enhance, protect and preserve the community and the long-term health and vitality of its members.

- D. GOAL 4.2 PROCESS: Engage communities to identify and plan for their distinct character and needs.

The purpose of this request is to re-zone the subject site so the current use, a community charter high school, can become a permissive primary use rather than requiring a conditional use to expand onto the western lot of this premise. The community school has historically exhibited a strong relationship with the

surrounding community, participating in various meetings with different local organizations while seeking out and welcoming feedback for future expansion projects and overall program development for the school. On March 11, 2024, the applicant and representatives from the school presented this project and its long-term goals to the Alamosa Neighborhood Association, the presentation was said to have been met with support, however staff does not have access to meeting notes for this event.

- E. **POLICY 4.2.2 COMMUNITY ENGAGEMENT:** Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents.

The community charter high school is requesting this zone change in hopes of facilitating a future planned expansion for the school onto the western lot. On March 11, 2024, the applicant and representatives from the school presented this project to the Alamosa Neighborhood Association. There were no notes provided from this meeting, however, the applicant indicated the project was met with support from the association. Being a community school, the intent is a mutually beneficial collaboration between the school and surrounding community to identify and address the needs of its student body and the surrounding community. Staff has not been provided documentation that would support that this practice is ongoing.

8. The request clearly facilitates the implementation of the following applicable Goals and Policies regarding Complete Communities and Land Uses from Comprehensive Plan Chapter 5: Land Use.

- A. **GOAL 5.2 COMPLETE COMMUNITIES:** Foster communities where residents can live, work, learn, shop, and play together.

In amending the zone from R-T to R-MH, the applicant wishes to remedy the schools nonconforming status on the western lot and make the high school a permissive use across the premises. The R-MH zone district would allow for a greater density of residential uses, civic and institutional uses focused on providing care and education for children or adults, and community gathering uses, such as a religious institutions or community centers and libraries. Additionally, accessory permissive uses in the R-MH zone would further this multifaceted approach to the community, such as a health club or gym and small general retail. This range of uses allowed in the R-MH zone district can create area where the community can live, work, learn, shop and play together.

- B. **POLICY 5.2.1 LAND USES:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.



Changing the zone of the subject site from R-T to R-MH will solidify the existing use of a community charter high school as a permissive use, allowing the school to pursue future expansion projects, following the policies, procedures and developmental standards of the IDO. The R-MH zone district would not introduce new uses harmful to the community, it will contribute to the character of the neighborhood by allowing more dense residential uses that are already present in the community. The high school, along with the abutting community center, mix of residential uses and nearby elementary school, contribute to the mix of uses that are conveniently accessible from the surrounding neighborhoods. This request will help maintain the community's variety of uses, while solidifying the use at the subject site, providing the school a path forward to expansion.

- C. GOAL 5.6 CITY DEVELOPMENT AREAS: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

This request would make the high school a permissive use and encourage the school to move forward with a planned expansion onto the underdeveloped western lot. A zone change to R-MH and potential infill development in an Area of Change will also preserve the character and use intensity for the surrounding community, which is in an Area of Consistency, regardless if the community charter high school remains at the subject site or moves elsewhere.

- D. POLICY 5.6.2 AREAS OF CHANGE: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is within an Area of Change as designated in the Comp Plan. The request to adjust the zoning from R-T to R-MH will protect and enhance the character of the surrounding neighborhoods as it will not introduce a new zone or harmful uses to the community. There is R-MH zoning nearby, which will allow a variety of moderate intensity residential uses within an Area of Change. The subject site is within ¼ mile of the Coors Blvd. Major Transit Corridor and is between the Tower Employment Center and West Route 66 Activity Center. Denser development is appropriate in the Centers and Corridors in the area and will contribute to the variety of uses already present in the community, furthering the established character of the community. The purpose of this request is to facilitate the expansion of the existing school, solidifying the use of a community charter high school at the subject site for years to come.

- E. POLICY 5.6.4 APPROPRIATE TRANSITIONS: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

This request is for a zone map amendment from R-T to R-MH. The overarching goal of this request is to make the existing use of a school a permissive use and facilitate future expansion of the school to the western lot of the subject site. Currently, the community charter high school exists primarily towards the rear of the eastern lot on the subject site, with parking on the north end of the lot. The high school acts as a buffer between the community to the east and the high-volume traffic from the Major Transit Corridor, Coors Blvd. Should the future expansion made possible by this request move forward, the addition of a gymnasium on the western lot will further help transition between Coors and the community.

9. The request clearly facilitates the implementation of the following applicable Policy, Education from Comprehensive Plan Chapter 12: Infrastructure, Community Facilities & Services.

**POLICY 12.3.8 EDUCATION:** Complement programming provided by educational institutions to expand educational opportunities for residents in all cultural, age, economic, and educational groups.

The zone change to R-MH would make the existing community charter high school a permissive use, rather than requiring a conditional use to operate and expand on the western lot. Future phased projects of the school would be able to build on to the western lot, providing the school with more structures and amenities that can be used to increase the educational opportunities offered to all residents through various after-school programs and providing the community a gathering place for local sports teams and community meetings.

10. Pursuant to §14-16-6-7(G)(3) of the Integrated Development Ordinance, Review and Decision Criteria, "An application for a Zoning Map Amendment shall be approved if it meets all of the following criteria."

- 6-7(G)(3)(a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

*Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request clearly facilitates applicable Comprehensive Plan Goals and policies and does not significantly conflict with them. The applicant's policy-based responses adequately demonstrate that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Character, Education, Complete Communities, and Community Engagement; therefore, the request is consistent with the City's health, safety, morals, and general welfare.*

- 6-7(G)(3)(b) If the subject property is located partially or completely in an Area of

Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria.

*The subject site is located wholly in an Area of Change, as designated by the Comp Plan; therefore, Criterion B does not apply.*

6-7(G)(3)(c) If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

*The subject site is located wholly in an Area of Change. The applicant's policy-based analysis demonstrates that the request would clearly facilitate a preponderance of applicable Comprehensive Plan Goals and Policies and would be more advantageous to the community than the current zoning.*

6-7(G)(3)(d) The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in IDO §14-16-4-3 associated with that use will adequately mitigate those harmful impacts.

*The request is to rezone the subject site from R-T to R-MH. Staff notes that the applicant's intent for the zone change is to make a high school a permissive use to facilitate the future expansion of the community charter high school onto the western lot of the site without requiring a conditional use approval. According to the IDO's Allowable Uses table, Table 4-2-1, the R-MH zone designation generally allows for more dense uses than the R-T zone, permissively allowing multi-family dwellings, large community*

*residential facilities, dormitories, adult or child care facilities, and all schools, elementary, middle and high school. The surrounding community has a variety of housing and zones present at the time of this writing. To the North there is a multi-family development zoned PD, and to the East there are townhomes zoned R-MH. Should the school be replaced and redeveloped, the permissive uses not currently utilized in the R-MH zone would not negatively impact the area. All new permissive civic and residential uses would contribute to the character and design of the community, while newly introduced commercial uses are restricted to being accessory, which is required to be subordinate in use, area or purpose to a primary land use on the same lot, further reducing potential impacts to the surrounding areas.*

6-7(G)(3)(e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:

1. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
2. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
3. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

*This request meets the requirement by ensuring the infrastructure and public improvements will have adequate capacity while continuing through the City's permitting process and following the obligations set under the IDO, DPM, and/or a Infrastructure Improvements Agreement, meeting requirement E.2. The applicant has communicated with the New Mexico Department of Transportation to address potential impacts to city infrastructure caused by the zone change and future projects, as well, should this request be approved, a possible future expansion of the school includes widening of the sidewalks amongst other improvements to the infrastructure per IDO requirements.*

6-7(G)(3)(f) The applicant's justification for the Zoning Map Amendment is not completely based on the property's location on a major street.

*The request is not completely based on the property's location on a major street; rather, the request is based on policy analysis surrounding the*

*properties existing land use and proposed Zoning Map Amendment to request a zone that will turn the existing high school into a permissive use, facilitate future expansion of the school, and implement Goals and Policies in the Comprehensive Plan.*

- 6-7(G)(3)(g) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

*The applicant's justification is not completely or predominately based on economic considerations or the cost of land; rather, the applicant's request is to solidify the existing community charter high school into a permissive use, allowing a straightforward path to expanding the school onto the western lot of the subject site. A zone change to R-MH will be advantageous to the community, as it implements applicable Comprehensive Plan Goals and Policies and does not significantly conflict with them.*

- 6-7(G)(3)(h) The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

*Criterion H is a two-part test, which the request generally meets. The request to R-MH would create a spot zone. The applicant has demonstrated that the request would clearly facilitate the implementation of several applicable goals and policies of the Comprehensive Plan, specifically, from Chapters 4 – Community Identity; 5 – Land Use; and 12 – Infrastructure, Community Facilities & Services. The R-MH zone district would allow the community charter school as a permissive use and facilitate much-needed infill development by providing the applicant a clear and straightforward path to expand the school onto the western, underdeveloped lot without needing to request conditional use approval, while also providing the school the allowed height it would need for a future project to build a gymnasium.*

*The subject site is surrounded primarily by residential uses, with a community center directly south. The applicant claims the area of the zone change is different from surrounding land, as it functions as a transition between an adjacent zone district to the northwest, NR-C, and a Major Transit Corridor (Coors Blvd.), which provides access to and from the nearby Employment and Activity Centers as designated by the Comp Plan. The community charter high school has served as a buffer from the residential community to the east and the traffic and commercially focused uses along Coors Blvd. SW, welcoming those to the community as they exit Coors Blvd. The permissive uses in the R-MH zone – denser residential and new civic institutional uses – would be able to maintain this buffer should the current school move locations.*

*Staff generally agrees with the applicant's justification to create a spot zone.*

11. Recognized Neighborhood Associations within 660 feet, Alamosa Neighborhood Association and South West Alliance of Neighborhoods, and property owners within 100 feet of the subject site were notified as required.
12. As of this writing, Staff has not received any correspondence in favor or opposition of the proposed Zoning Map Amendment.

### ***Recommendation***

APPROVAL of Project #: 2024-010332 / RZ-2025-00001, a request for Zoning Map Amendment from R-T to R-MH for all or a portion of Lots 150-A and 150-B Plat of Lots 150-A & 150-B for Town of Atrisco Grant Unit 6, based on Findings #1-12.

---

*Daniel Soriano*

Daniel Soriano  
Planner

Notice of Decision cc list:

Mark Armijo Academy, [shawn@markarmijo.com](mailto:shawn@markarmijo.com)

ARCHIS Architects, Ashley Hartshorn, [ashley@archisarchitects.com](mailto:ashley@archisarchitects.com)

Alamosa Neighborhood Association, Jerry Gallegos, [jgallegoswccd@gmail.com](mailto:jgallegoswccd@gmail.com)  
Alamosa Neighborhood Association, Jeanette Baca, [jeanettebaca973@gmail.com](mailto:jeanettebaca973@gmail.com)  
South West Alliance of Neighborhoods, Lorenzo Otero, [housealbchrome@gmail.com](mailto:housealbchrome@gmail.com)  
South West Alliance of Neighborhoods, Jerry Gallegos, [jgallegoswccd@gmail.com](mailto:jgallegoswccd@gmail.com)  
City Legal, Andrew Coon, [acoon@cabq.gov](mailto:acoon@cabq.gov)  
EPC file

## ***Agency Comments***

### **OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES**

#### ***Solid Waste Department***

The Solid Waste Department will require a new proposed double refuse enclosure for the new project. An approved site plan for access signed by the City of Albuquerque Solid Waste Department will be required. A PD of the site plan scaled 1-20 along with Key Notes: Gates, Overhanging Wires, Poles, Landscaping etc. will be required to review.

### **OTHER AGENCIES**

#### ***Albuquerque Public Schools (APS)***

Project #2024-010332

- a. EPC Description: RZ-2025-00001, Zoning Map Amendment (Zone Change)
- b. Site Information: Town of Atrisco Grant, Lot 150-B-1, Unit 6.
- c. Site Location: Located at 6800 Gonzales Road SW, between Airport Dr SW and Adrian St SW.
- d. Request Description: Request for a zone change from R-T to R-MH with goal of changing high school use to Permissive Primary (in R-MH) from existing Conditional Primary (in R-T) for future expansion of the school in multiple phases and according to the applicant, "allow for height required for a 2-story educational building without the need for the previously approved variance."
- e. No comment.

#### ***Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)***

AMAFCA has no adverse comments.

#### ***Bernalillo County***

Bernalillo County has no adverse comments.



*Mid-Region Metropolitan Planning Organization (MRMPO)*

MRMPO has no adverse comments. For informational purposes:

- Coors Blvd is functionally classified as a Principal Arterial.
- Coors Blvd is an NMDOT limited access facility. Please refer to the State Access Management Manual (SAMM) or contact acting district 3 engineer Paul Brasher at paul.brasher@dot.nm.gov with any questions about access control.
- An existing bike lane is identified on Coors Blvd in the Long-Range Bikeway System (LRBS).
- A proposed bike route is identified on Gonzales Blvd in the LRBS.
- Coors Blvd is identified as a Rapid Ride transit route in the Long-Range Transit Network (LRTN) with headways of 10-15 minutes.
- Coors Blvd are Intelligent Transportation System (ITS) corridors. Please consult the reviewing agency's Traffic Engineering

*New Mexico Department of Transportation (NMDOT)*

NMDOT requests coordination with NMDOT District 3 Assistant Traffic Engineer Margaret Haynes to discuss the zone change request potential impacts to NM 45 (Coors Blvd. SW).

A) PHOTOGRAPHS

**Figure 1:** 3D bird's-eye view provided by Google Earth (April 2024), looking south, showing the overall site (outlined in yellow) and its surroundings. The site is located at the corner of Gonzales Rd SW and Airport Dr SW.



**Figure 2:** Looking south onto Lot 150-B, entrance to the school.



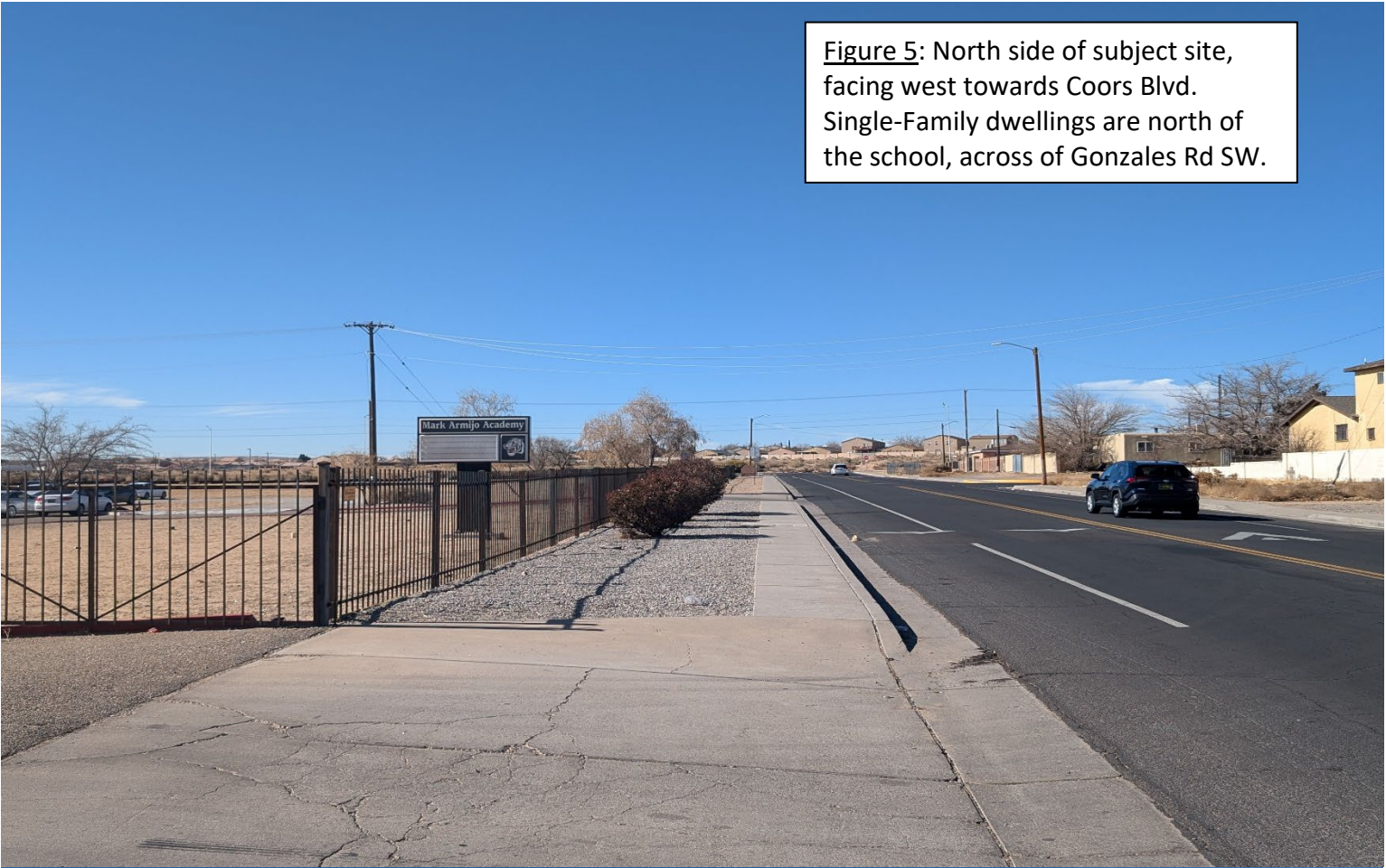


**Figure 3:** Northeast Corner of Lot 150-B, facing south towards school.



**Figure 4:** Northeast corner of subject site (Lot 150-B), facing east. Mix of single-family dwellings and townhomes to the east of the school.

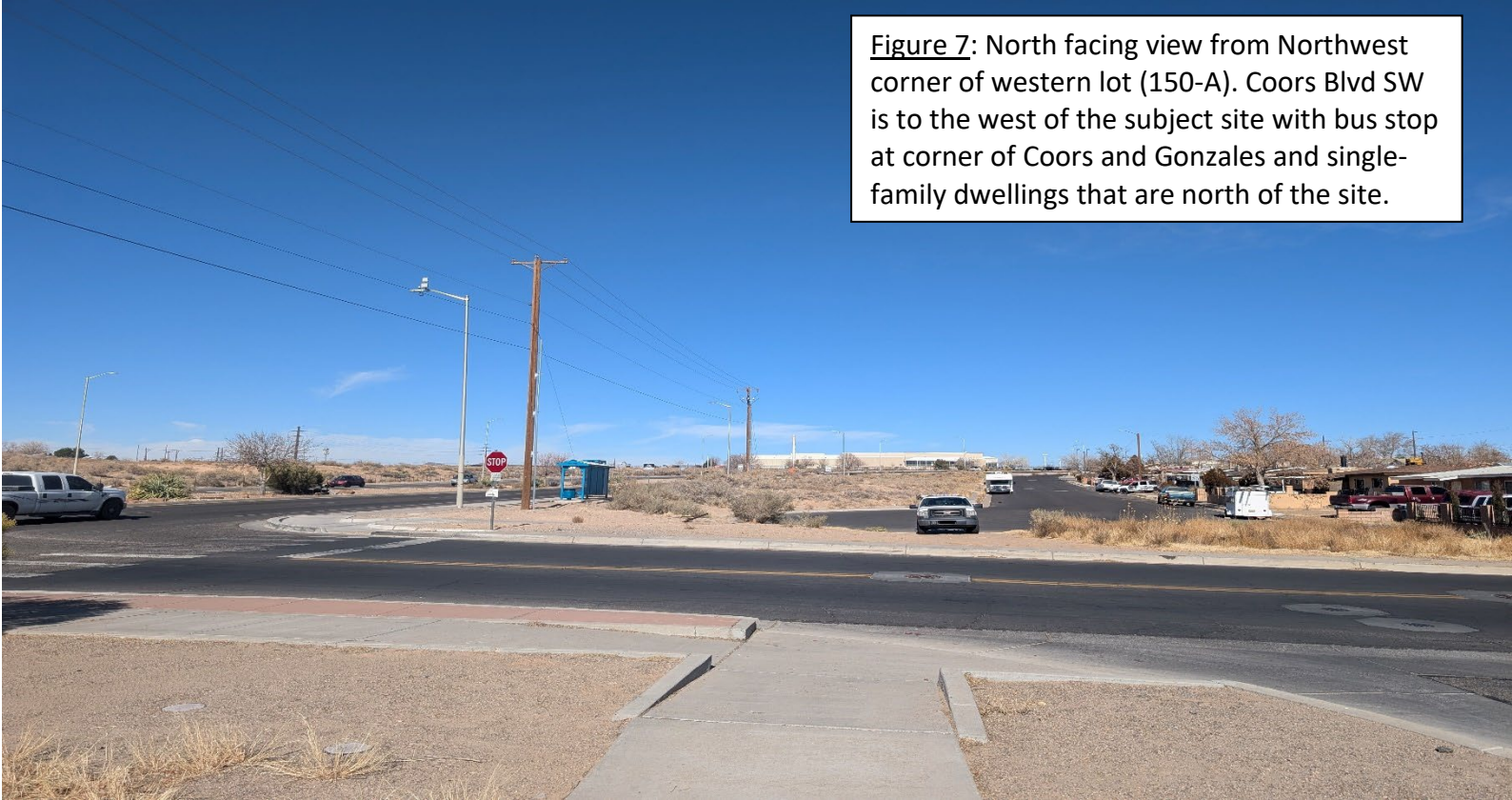
**Figure 5:** North side of subject site, facing west towards Coors Blvd. Single-Family dwellings are north of the school, across of Gonzales Rd SW.



**Figure 6:** Northwest corner of subject site at Gonzales Rd SW and Airport Dr SW, facing east, showing western lot (150-A) and Single-Family Dwellings north of the site.



**Figure 7:** North facing view from Northwest corner of western lot (150-A). Coors Blvd SW is to the west of the subject site with bus stop at corner of Coors and Gonzales and single-family dwellings that are north of the site.



**Figure 8:** North side of lot, facing south, viewing western lot (150-A), view of single portable structure on lot as part of Administrative Amendment approved September 16, 2021.





Figure 9: View from north side of lot, view of underdeveloped western lot 150-A, facing southwest towards Airport Dr SW.



Figure 10: Western side of subject site, facing east, showing school, neighborhood to north and vacant portion of 150-A.

Figure 11: Southwest corner of subject site, looking southeast. Shown is the community center directly south of the site.



Figure 12: South side of subject site, viewing north, with school and surrounding neighborhood in the distance.





**B) HISTORY**



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 17, 2005

**OFFICIAL NOTIFICATION OF DECISION**

**FILE: Project # 1002068**  
05EPC-00577 EPC Site Development Plan-  
Building Permit  
05EPC-00575 EPC Site Development Plan-  
Subdivision

The Group  
4001 Juan Tabo NE, Suite A  
Albuq. NM 87111

**LEGAL DESCRIPTION:** for all or a portion of  
Tracts 150 & 151, **Town of Atrisco Grant**,  
zoned SU-1 Church, located on COORS RD. SW,  
between GONZALES RD. NW and COORS SW,  
containing approximately 6 acres. (K-10)  
Stephanie Shumsky, Staff Planner

On June 16, 2005 the Environmental Planning Commission voted to approve Project 1002068/05EPC-00575 EPC Site Development Plan-Subdivision, for all or a portion of Tract(s) 150 & 151, Town of Atrisco Grant, based on the following and subject to the following Conditions:

**FINDINGS :**

1. This request is for review of a site development plan for subdivision for an approximately 6-acre lot located on Gonzales Road SW just east of Coors Boulevard SW. The Our Lady of Lavang Church currently exists on the subject site.
2. The intent of the site development plan for subdivision is to remove the east-west lot line and to create a north-south lot line just west of the proposed buildings.
3. There are no plans for development of the proposed lot. Any future development on this lot will require review by the EPC due to the SU-1 zoning designation.
4. The Skyview West and Alamosa Neighborhood Associations as well as property owners within 100' of the subject site were notified of this request. There is no known neighborhood or other opposition to this site development plan for subdivision.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Suggest aligning entrance to proposed parking lot, adjacent to Gonzales Rd., with existing main east/west drive aisle. Minor modification to parking lot may be required.
  - d. For future parking and where existing parking ends at that location, define end of parking (adjacent to drive aisle) with curb returns or end islands. Continue parking spaces where applicable.
  - e. Site plan shall comply and be designed per DPM Standards

---

On June 16, 2005 the Environmental Planning Commission voted to approve Project 1002068/05EPC-00575, a site development plan for building permit, for all or a portion of Tract(s) 150 & 151, Town of Atrisco Grant, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This request is for review of a site development plan for building permit for an approximately 6-acre lot located on Gonzales Road SW just east of Coors Boulevard SW. The Our Lady of Lavang Church currently exists on the subject site.
2. Approval of this request will facilitate the development of a new church sanctuary building, a residence for the priest, and two new parking areas.

3. This request furthers the *Comprehensive Plan*, Developing and Established Urban Area goal and several policies:
  - a. The goal is furthered because the proposed development it will add to the unique urban environment of the southwest mesa area.
  - b. Policy d is furthered because the subject site is zoned SU-1 for Church and Related Facilities, which provides a transition from Coors Boulevard on the west to the residential neighborhood to the east.
  - c. Policy e is furthered because the subject site is currently vacant and is adjacent to existing development and urban services. The integrity of the adjacent neighborhoods can be ensured because access to the new facilities will remain from Gonzales Road SW via Coors Boulevard.
  - d. Policy l is furthered because the proposed building materials and design is consistent with the existing building and will not conflict with the design of the Alamosa Community Center south of the subject site.
4. Policy 11 of the Southwest Area Plan is furthered by this request because the subject site is north of Pajarito Road in a cluster of similar uses and combined driveway access is possible.
5. There are no specific goals or policies in the Tower-Unser Sector Development Plan that relate to the subject site, the proposed development, or building design. However, the proposed development does not conflict with any part of the Plan.
6. The Skyview West and Alamosa Neighborhood Associations, as well as property owners within 100' of the subject site, were notified of this request. There is no known neighborhood or other opposition to this site development plan for building permit.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The following Site Plan for Building Permit deficiencies shall be addressed prior to sign off by the DRB: All light poles within 100' of a residential area shall be no higher than 16' (Zoning Code Section 14-16-3-9).

- a. Parking calculations and actual spaces shown on the plan (existing and proposed) do not add up. The required (accurate) parking spaces and calculations shall be shown.
  - b. A 6' sidewalk is required along Gonzales Road as per Zoning Code section 14-16-3-18 (and a recent DPM amendment).
  - c. The required sidewalk shall be provided.
3. The following Landscaping Plan deficiencies shall be addressed prior to sign off by the DRB. Zoning Code Section 14-16-3-10 applies:
  - a. All easements shall be identified.
  - b. One parking lot tree is required for every ten parking spaces. Show at least the required number of parking lot trees based on the existing and proposed parking spaces (14 trees required based on 143 parking spaces provided).
4. All rooftop mechanical equipment on existing and proposed buildings shall be screened from public view.
5. The Skyview West and Alamosa Neighborhood Associations as well as property owners within 100' of the subject site were notified of this request. There is no known neighborhood or other opposition to this site development plan for building permit.
6. Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Suggest aligning entrance to proposed parking lot, adjacent to Gonzales Rd., with existing main east/west drive aisle. Minor modification to parking lot may be required.
  - d. For future parking and where existing parking ends at that location, define end of parking (adjacent to drive aisle) with curb returns or end islands. Continue parking spaces where applicable.
  - e. Site plan shall comply and be designed per DPM Standards
7. Prior to making application for DRB review, the applicant shall meet with Planning Staff to review the conditions of approval.

OFFICIAL NOTICE OF DECISION  
JUNE 16, 2005  
PROJECT #1002068  
PAGE 5 OF 5

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
For Richard Dineen  
Planning Director

RD/SS/ac

cc: Dave Aube & James Hendrix, 4001 Juan Tabo NE, Suite A, Albuquerque, NM 87111  
Jeanette Baca, Alamosa NA, 901 Field SW, Albuquerque, NM 87121  
Klarissa Pena, Alamosa NA, 6013 Sunset Gardens SW, Albuquerque, NM 87121  
Tony Chavez, Skyview West NA, 305 Claire Ln. SW, Albuquerque, NM 87121  
Beatrice Purcella, Skyview West NA, 201 Claire Ln. SW, Albuquerque, NM 87121

# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2021-00891

**PROJECT #:** PR-2021-005606

Addition of a new 1,641 sq ft modular building (portable) for classroom use.

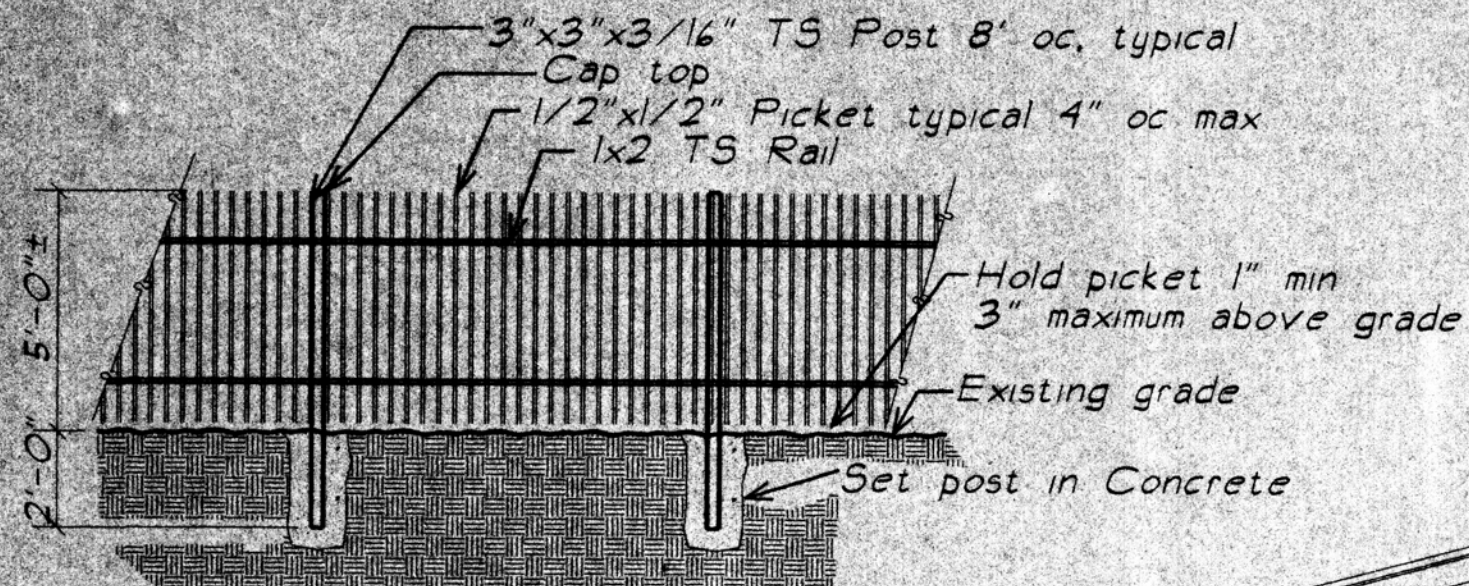


Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@oabq.gov, c=US  
Date: 2021.09.15 09:59:00 -0600

9/15/2021

**APPROVED BY**

**DATE**



Typical Fence Elevation

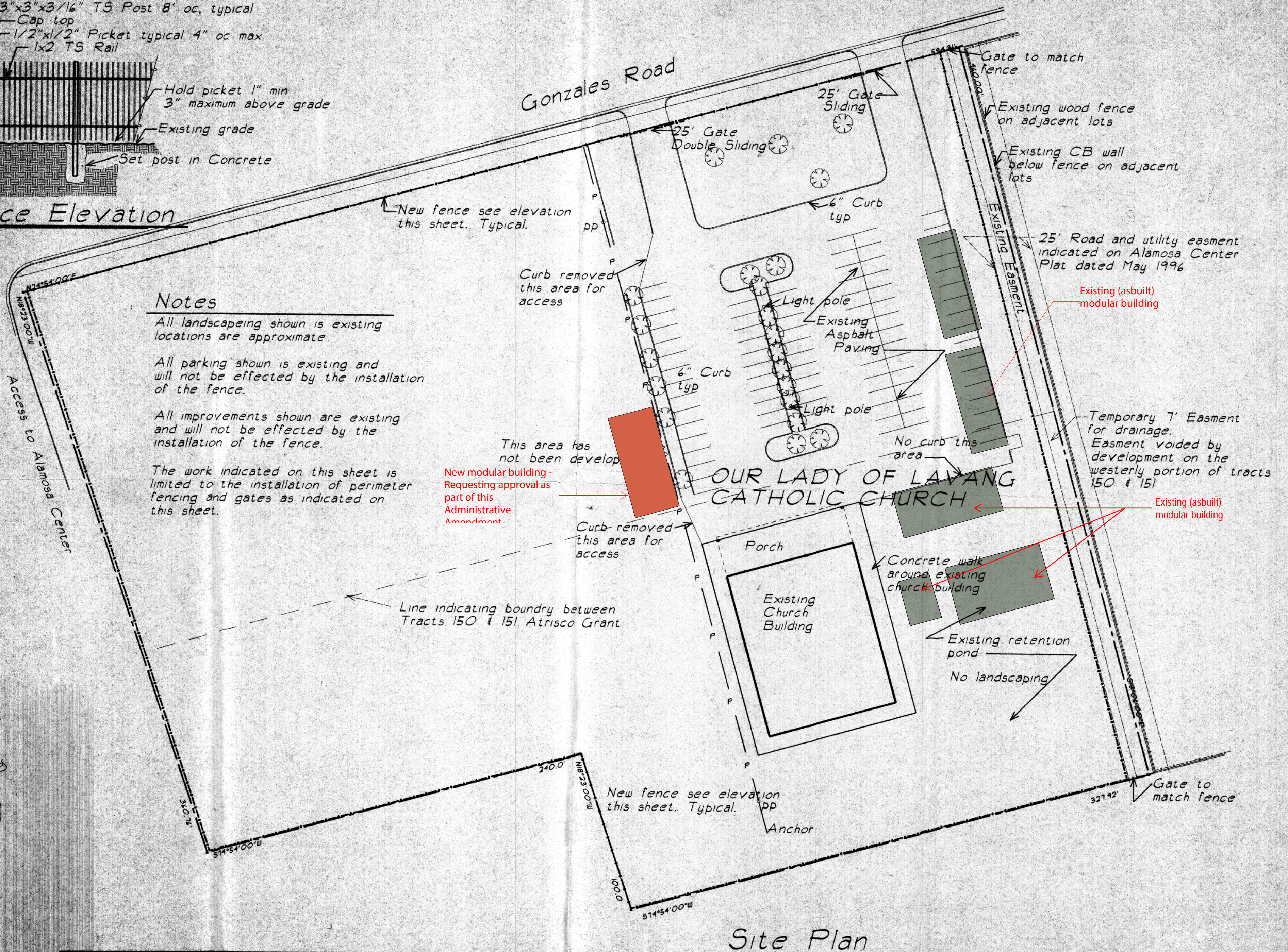
NTS

Notes

- All landscaping shown is existing locations are approximate
- All parking shown is existing and will not be effected by the installation of the fence.
- All improvements shown are existing and will not be effected by the installation of the fence.
- The work indicated on this sheet is limited to the installation of perimeter fencing and gates as indicated on this sheet.

1002063 ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 0244  
 FILE NO. AA-01003  
 APPROVED To allow fence  
 gates  
 10/29/02  
 PLANNING DIRECTOR DATE

*Spring*



Site Plan

Scale 1"=40'

REVISIONS

ENGINEER      ARCHITECT

**RSB ARCHITECTS**

BOX 2356 SANTA FE, NEW MEXICO 87502 VOICE (505)983-2743 (505)983-2743

Our Lady of Lavang Catholic Church  
 6800 Gonzales Road SW  
 Albuquerque, New Mexico

SHEET NO	C-1 of 1
PROJECT NO	02.10
STATUS	cd
DATE	June 22, 2002
CHECKED BY	RSB
DRAWN BY	rb
02.10\Drawings\Basel.dwg	



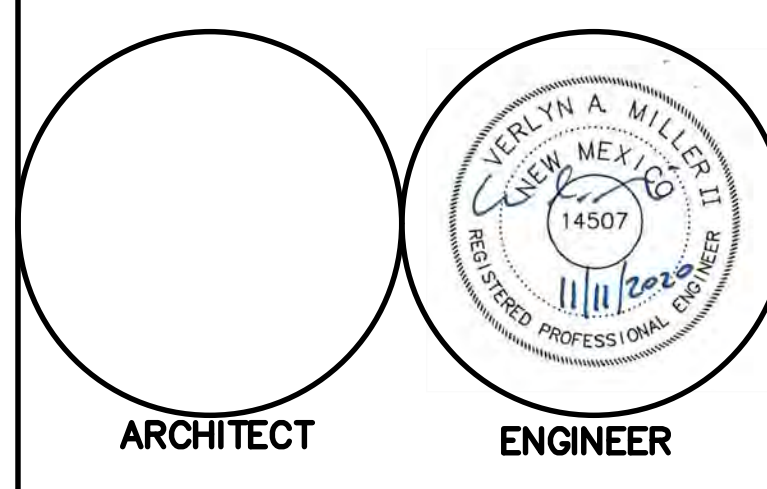
## DRAINAGE REPORT

### GENERAL NOTES:

1. EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC, CORRALES, NEW MEXICO APRIL 2020. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
2. PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE SURVEY BRASS DISC STAMPED "ACS BM 11-K10", TO REACH THE BENCHMARK FROM THE INTERSECTION OF CENTRAL AVENUE AND COORS BLVD. S.W., TRAVEL SOUTH ON COORS BLVD. 0.55 MILES TO THE INTERSECTION WITH GONZALES ROAD S.W. EPOXIED TO TOP OF S.S.E. CONCRETE CURB RETURN OF THE INTERSECTION. ELEVATION = 5,046.07 FEET (NAVD 1988 VERTICAL DATUM)
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
4. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
6. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
7. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
8. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
9. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
10. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
11. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL, TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
12. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
13. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND BUILDING.
14. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
15. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
16. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
17. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
18. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK).
19. ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.
20. THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY NRCS FIELD OFFICE REPRESENTATIVE APPROPRIATE FOR PROJECT LOCATION.

ALL DISTURBED AREAS, NOT ADDRESSED BY ARCHITECTURAL LANDSCAPE PLAN WITH SLOPES OF LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ANY SLOPES THAT ARE 3:1 OR STEEPER SLOPES SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL.

### CONSULTANT



## Mark Armijo Academy - Master Plan

### Project Status

6800 Gonzales Rd SW  
Albuquerque, NM 87121

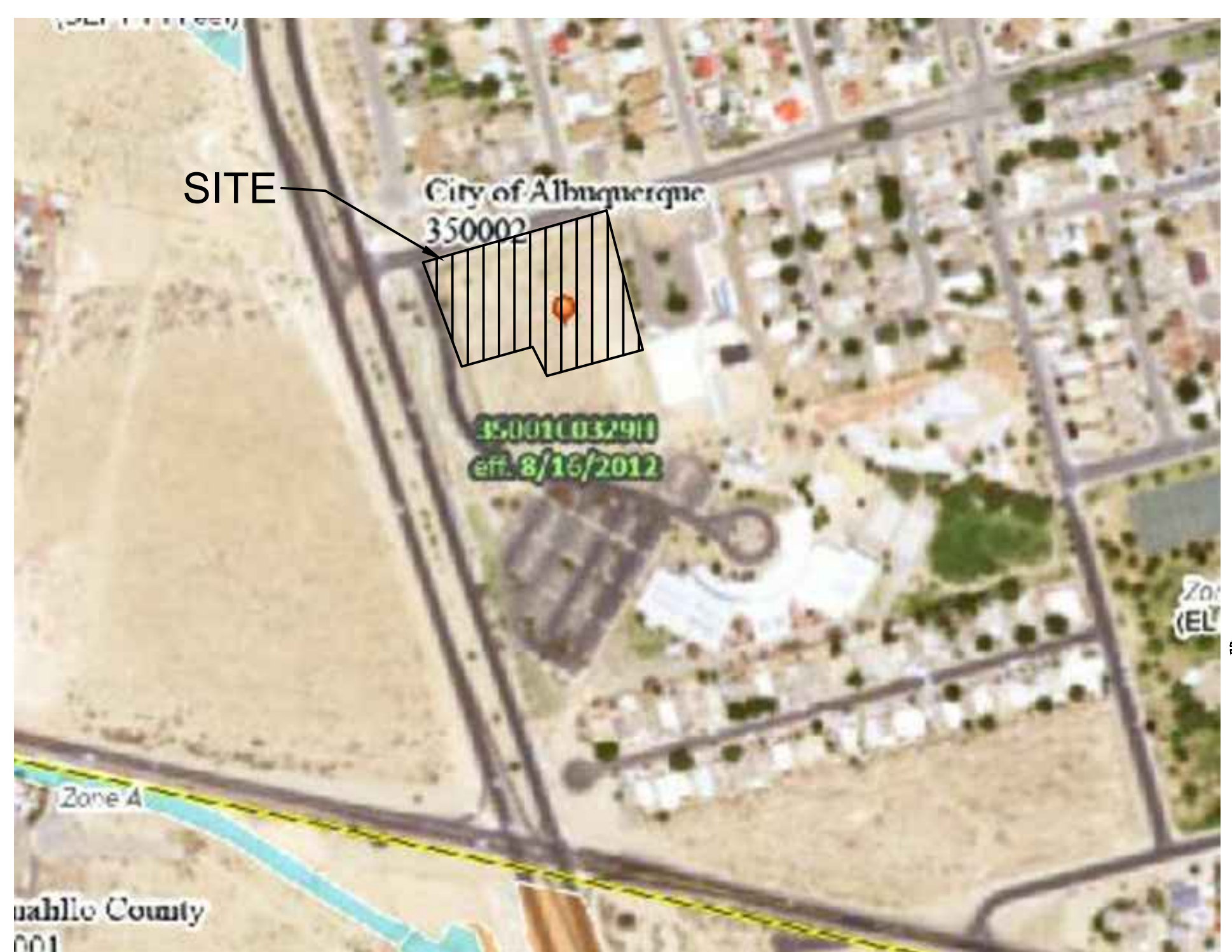
NOVEMBER 2020

MARK	DATE	DESCRIPTION

ISSUE:	
DATE:	
PROJECT NO:	Project Number
CAD DWG FILE:	
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET TITLE  
HYDROLOGY

# C-100



### FLOOD ZONE MAP

FLOOD ZONE MAP 35001C0329H

### SITE LOCATION

The proposed project is located on approximately 3.3-acres of the campus of Mark Armijo Charter school. The overall site is estimated at 6 acres and can be accessed from Gonzales Road SW.

### EXISTING CONDITIONS

The overall existing site is estimated at 6 acres. The eastern 2.7 acres is currently partially developed with existing buildings and parking lot areas. There are two existing retention ponds that collect runoff from the eastern portion of this site. The pervious grading and drainage plan completed by Wooten Engineering in 2017 indicates that the two existing retention ponds can retain the 100-year, 10-day event. We have provided Sheet C-101 and C-102 prepared by Wooten Engineering as a part of this submittal for informational purposes only.

Based on the plan prepared by Wooten Engineering the western portion of the site to be developed under this project is called Basin C. For this submittal the site will be called Basin C to be consistent with the previously approved Wooten Plan.

Per the FMEA Panel on this sheet, the site does not lie within a 100-year FEMA floodplain and is not impacted by offsite flows.

### PROPOSED CONDITIONS

The proposed project would consist of a mass grading plan for the western portion of the site (Basin C). This phase will include mass grading of the site and the construction of a new retention pond (Pond C). The buildings, parking lots, playfield, and other improvements on the site are all improvement to be constructed in the future. Individual grading and drainage plans will be required for each future phase of development.

Basin C under future fully developed conditions will generate 0.594-acre feet during the 100-year, 10-day event. Pond C will be size to retain 100% of this volume. Pond C will be connected to existing Pond B with a 24" pipe. The existing emergency overflow spillway will be used for any overtopping flows from these ponds.

### CONCLUSIONS

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 4.37 cfs, and 0.232 acre-feet during the 100-year, 24-hour event. The first flush pond volume required for the project estimated at 1975 cf. The proposed retention Pond C has a capacity of 0.720 acre-feet and is capable of retaining 100% of the 100-year, 10-day volume from Basin C.

## HYDROLOGY CALCULATIONS

HYDROLOGY										
Precipitation Zone 1 - 100-year Storm P(360) = 2.20 in P(1440) = 2.66 P(10 day) = 3.67										
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	V(100-10 day) (af)	Q(100) (cfs)
		A	B	C	D					
<b>Existing Conditions</b>										
C	3.40	1.70	0.00	1.50	0.20	0.77	0.219	0.227	0.243	7.37
<b>Total</b>	<b>3.40</b>									<b>7.37</b>
<b>Proposed Conditions</b>										
C	3.40	0.00	0.50	1.30	1.60	1.40	0.398	0.459	0.594	11.74
<b>Total</b>	<b>3.40</b>									<b>11.74</b>

## FIRST FLUSH CALCULATIONS

VFF = (69,696 SF \* 0.34" / 12)

VFF = 1,975 CF

VOLUME PROVIDED (AT 5031 TOP OF POND) = 0.720AF = 31,636.20 CF

## POND RATING CURVES

WATER HARVEST AREA				
Pond Rating Table				
Side Slope	3:1			
Depth (ft)	Area (sq ft)	Volume (ac-ft)	Cum Volume (ac-ft)	
5025	2856	0.066	0.000	0.000
5026	3537	0.081	0.073	0.073
5027	4290	0.098	0.090	0.163
5028	5117	0.117	0.108	0.271
5029	6010	0.138	0.128	0.399
5030	6987	0.160	0.149	0.548
5031	8021	0.184	0.172	0.720

top of pond



### VICINITY MAP

ZONE ATLAS K-10-Z

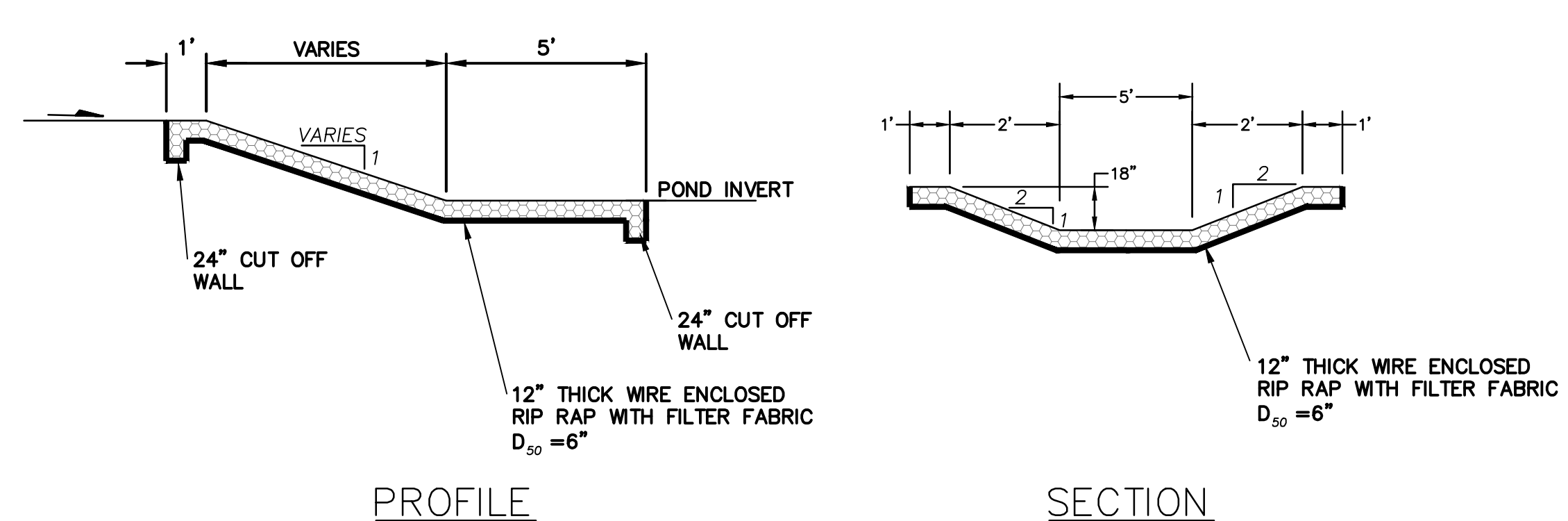
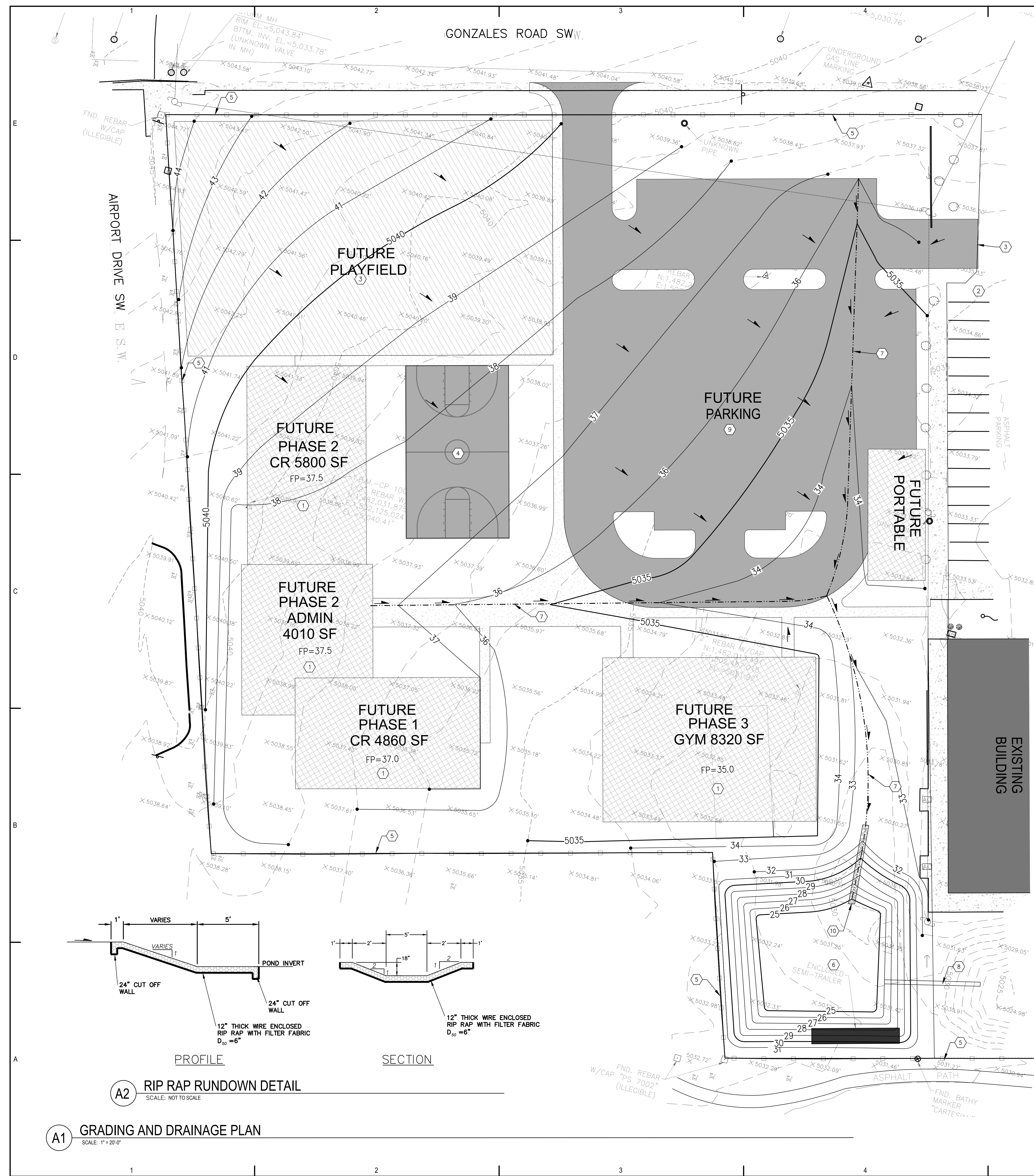
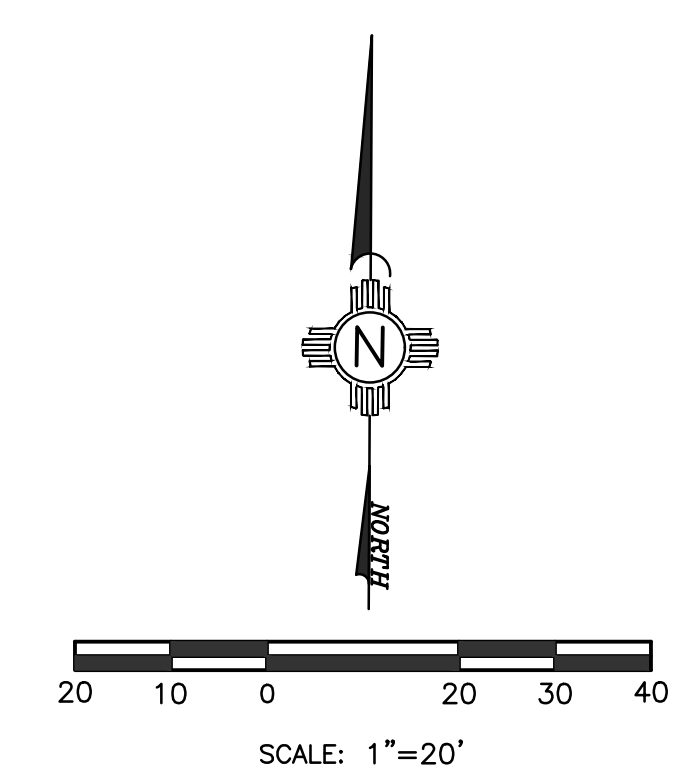
T:\Clients\BET\_ARCH\Mark Armijo Charter School\CADD\SHEDS\C-100\_HYDROLOGY\PLAN\_10-13-20.DWG, C-901\_Misc\_Details, 11/17/2020 1:36:39 PM

Mark Armijo Academy - Master Plan

CONSULTANT

- LEGEND:**
- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
  - MATCH (95.19) MATCH EXISTING ELEVATIONS
  - TC ON TOP OF CONCRETE
  - FL FLOW LINE, CURB
  - IN V INVERT
  - FG FINISH GRADE
  - TBC TOP OF BASE COURSE
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TA TOP OF ASPHALT
  - FLOW ARROW
  - ~ GRADE BREAK-HIGH POINT
  - SWALE
  - SD STORM DRAIN LINE
  - 5895 PROPOSED MAJOR CONTOUR
  - 5895 PROPOSED MINOR CONTOUR
  - 5895 EXISTING MAJOR CONTOUR
  - 5895 EXISTING MINOR CONTOUR

- KEYED NOTES:**
1. FUTURE BUILDING SEE ARCHITECTURAL DRAWINGS.
  2. EXISTING PARKING AND ASPHALT TO REMAIN.
  3. FUTURE PLAY FIELD SEE LANDSCAPING PLAN.
  4. FUTURE BASKETBALL COURT.
  5. EXISTING PROPERTY LINE.
  6. NEW RETENTION POND C. TOP=31.0, INV=25.0.
  7. EARTHEN SWALE
  8. NEW 24" ADS HP STORM DRAIN PIPE, L=47', S=0%, INV IN=26.0, INV OUT=26.0.
  9. FUTURE PARKING LOT.
  10. RIP RAP RUNDOWN, SEE DETAIL THIS SHEET.



**A2 RIP RAP RUNDOWN DETAIL**  
 SCALE: NOT TO SCALE

**A1 GRADING AND DRAINAGE PLAN**  
 SCALE: 1"=20'-0"

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 12/02/20  
 BY: *Ronald J. Horvath*  
 HydroTrans # L10D007A

THE APPROVAL OF THESE PLANS AND PERMITS SHALL NOT BE CONSIDERED TO PRESENT WARRANTIES OF ANY CITY, COUNTY OR STATE LAW, AND SHALL NOT PREVENT THE CITY OR ALBUQUERQUE FROM RECOVERING COSTS OF INVESTIGATION OR CONSTRUCTION OF PLANS, SPECIFICATIONS, OR CONTRACTS. THESE APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

**ME** MILLER ENGINEERING CONSULTANTS  
 Engineers • Planners  
 3500 COMBINE, NE  
 ALBUQUERQUE, NM 87107  
 (505) 883-5200 (PH)  
 (505) 884-5200 (FAX)  
 WWW.MEEN.COM

**Mark Armijo Academy - Master Plan**

**Project Status**

6800 Gonzales Rd SW  
 Albuquerque, NM 87121  
 NOVEMBER 2020

MARK	DATE	DESCRIPTION

ISSUE:	
DATE:	
PROJECT NO:	Project Number
CAD DWG FILE:	
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET TITLE  
**MASS GRADING PLAN**

GROSS FLOOR CHANGE CALCULATIONS		
GROSS BUILDING AREA	16,545 SF	
CAFETERIA	3,324 SF	
2,268 SF / 15 NET = 151 OCC.		
<b>REQUIREMENTS (BASED ON 151 OCC)</b>		
PARKINGS SPACES	1 SPACE FOR EA. 4 SEATS IN CAFETERIA	38
<b>CREDITS</b>		
10% FOR PUBLIC BUS STOP NEARBY		34
38' x 1=4		
ADA SPACES REQUIRED (FOR 26 TO 35 PARKING SPACES)		2
ADA VAN SPACES (1 FOR EA. OF 2 ADA SPACES)		1
BICYCLE SPACES (1 SPACE FOR EA. 50 STUDENTS)		4
MOTORCYCLE SPACES (FOR 26 TO 50 PARKING SPACES)		2
<b>PROVIDED</b>		
TOTAL SPACES		51
ADA SPACES PROVIDED		2
ADA VAN SPACES		1
BICYCLE RACK PROVIDED (CONTRACTOR TO ENSURE)		4
MOTORCYCLE SPACES PROVIDED		2

- GENERAL NOTES**
- SUB GRADE PREPERATION AND SOIL COMPACTION AT ALL CONCRETE WORK SHALL COMPLY WITH REQUIREMENTS ON CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
  - PROVIDE BROOM FINISH ON CONCRETE SIDEWALKS, UNLESS NOTED OTHERWISE.
  - VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE, NO EXCEPTIONS.
  - FOR INFORMATION ON UTILITIES SEE SITE SURVEY SHEET, CIVIL UTILITY PLANS, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
  - CONTRACTOR SHALL PAY FOR AND COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITY DISCONNECT, RECONNECT AND DEMO WORK.
  - PATCH AND REPAIR ALL ASPHALT, CONCRETE, SOIL, OTHER SITE ELEMENTS AS NECESSARY AT ALL AREAS OF NEW WORK, UTILITY TRENCHING AND CONTRACTOR STAGING/PARKING.
  - CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE FEATURES, PLANTINGS, AND UTILITIES TO REMAIN DUE TO CONSTRUCTION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
  - WHERE NEW CONCRETE PAVEMENT AND/OR CURBING IS SHOWN ADJACENT TO EXISTING, CONTRACTOR SHALL PROVIDE NEW CONCRETE PAVEMENT AND/OR CURBING UP TO AND FLUSH WITH EXISTING. LIMITS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND LAYOUT OF BOTH THE SITE AND BUILDING ELEMENTS COORDINATE FIELD INFORMATION WITH THE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - ALL IRRIGATION SYSTEMS SHALL REMAIN ACTIVE THROUGH THE DURATION OF THE CONSTRUCTION PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALTERNATE IRRIGATION METHODS AS REQUIRED FOR THE CAMPUS AND FIELDS DURING ANY REQUIRED OUTAGES FOR NEW WORK.
  - CONTRACTOR TO FIELD VERIFY ANY MODIFICATIONS WILL NOT COMPROMISE IRRIGATION SYSTEM ON ANY OTHER PORTION OF THE CAMPUS.

**fbt|architects**  
 6501 Americas Pkwy NE, Ste. 300  
 Albuquerque, NM 87110  
 P\_505.883.5200 WEB: www.fbtarch.com

**CONSULTANTS**

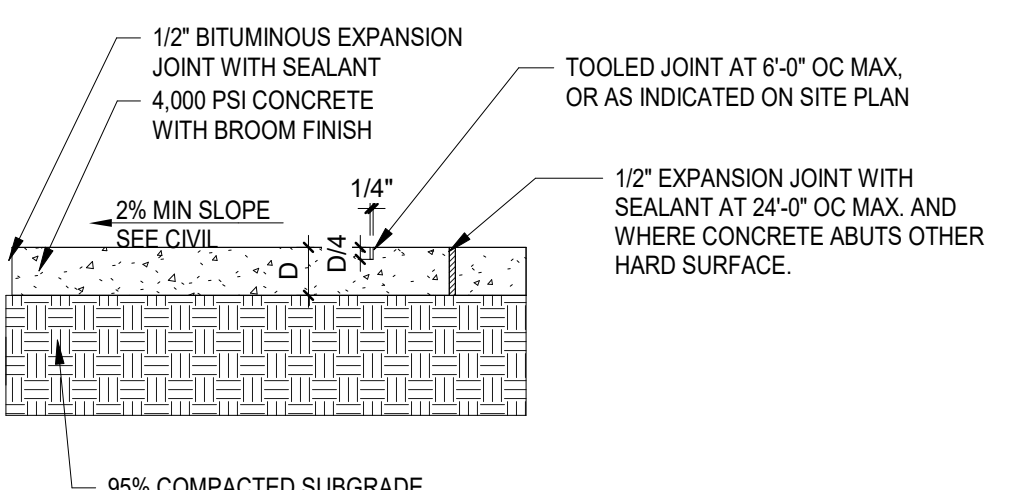
**STRUCTURAL**  
**Walla Engineering**  
 6501 Americas Parkway, Ste 301  
 Albuquerque, NM 87110  
 p\_505.881.3008

**CIVIL**  
**Miller Engineering Consultants**  
 3500 Comanche NE, Bldg F  
 Albuquerque, NM 87107  
 p\_505.888.7500

**M/E/P/FP**  
**Bridgers and Paxton**  
 4600 C Montgomery  
 Albuquerque, NM 87109  
 p\_505.883.4111

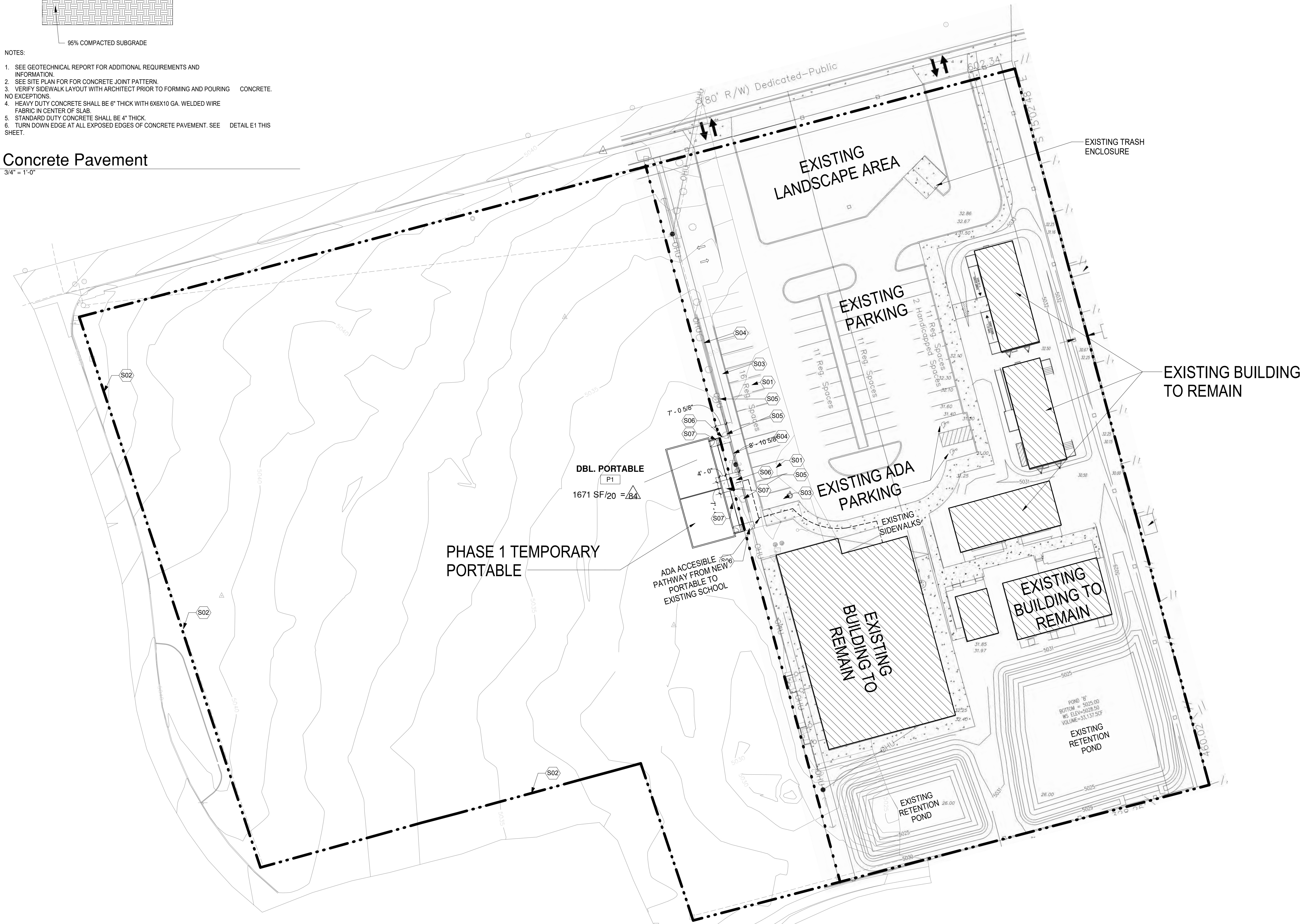
**KEYNOTE LEGEND**

VALUE	DESCRIPTION
S01	EXISTING ASPHALT PAVING TO REMAIN. PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
S02	EXISTING CHAIN-LINK FENCE TO REMAIN.
S03	EXISTING CONCRETE SIDEWALK TO REMAIN. PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
S04	EXISTING OVERHEAD UTILITY LINE. SEE SURVEY. SEE ELECTRICAL.
S05	EXISTING TREES AND LANDSCAPING TO REMAIN. PROTECT. DAMAGE SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
S06	NEW CONCRETE PAVED SIDEWALK SEE DETAIL D1/AS-101
S07	NEW ADA RAMP AND LANDING BY BUILDING MANUFACTURER.



- NOTES:**
- SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
  - SEE SITE PLAN FOR CONCRETE JOINT PATTERN.
  - VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE. NO EXCEPTIONS.
  - HEAVY DUTY CONCRETE SHALL BE 6" THICK WITH 6X6X10 GA. WELDED WIRE FABRIC IN CENTER OF SLAB.
  - STANDARD DUTY CONCRETE SHALL BE 4" THICK.
  - TURN DOWN EDGE AT ALL EXPOSED EDGES OF CONCRETE PAVEMENT. SEE DETAIL E1 THIS SHEET.

**D1 Concrete Pavement**  
 3/4" = 1'-0"



**A1 OVERALL SITE PLAN**  
 1" = 30'-0"



**Mark Armijo Academy - Site Development Plan**

**CONSTRUCTION DOCUMENTS**

6800 Gonzales Rd SW  
 Albuquerque, NM 87121

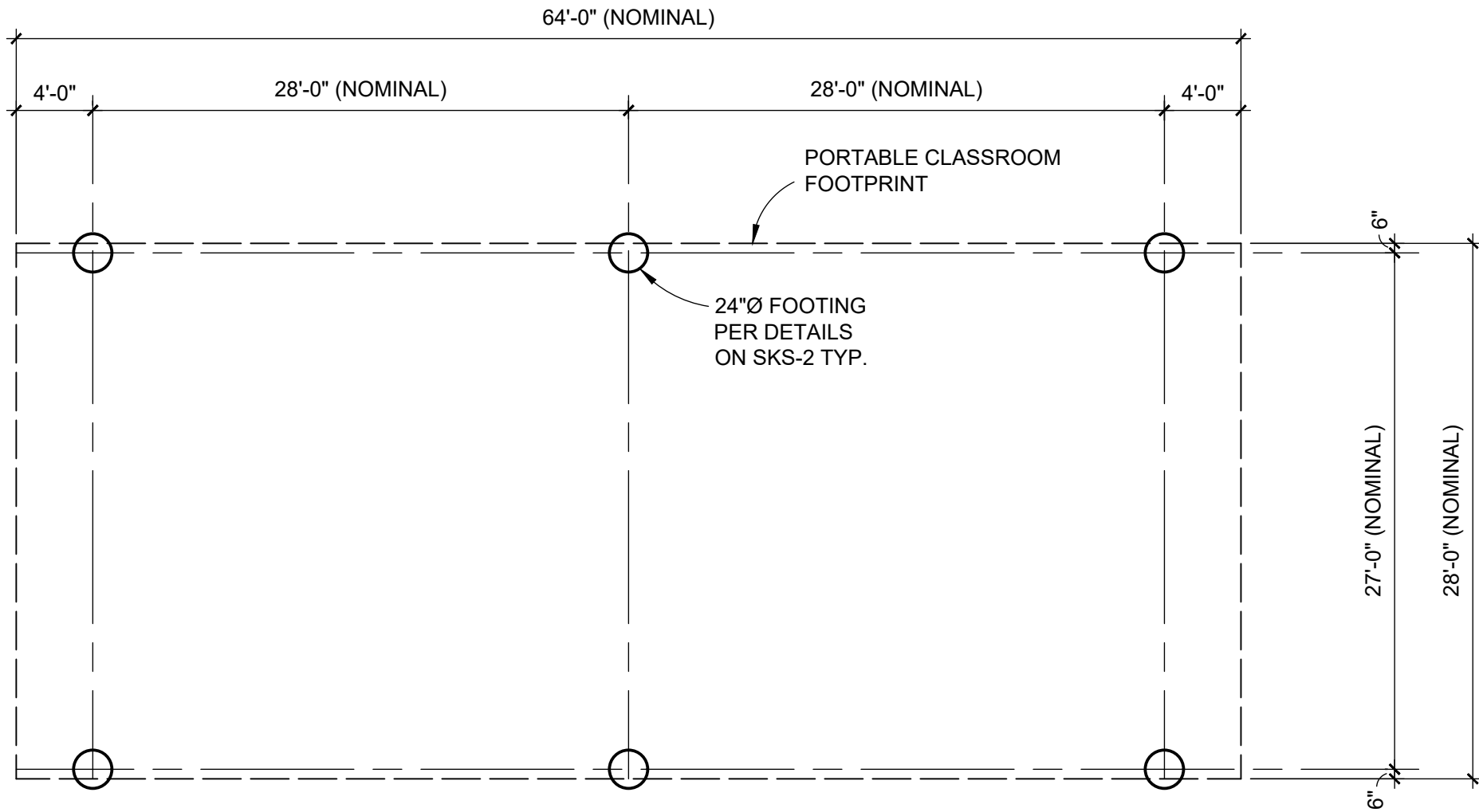
JUNE 2021

MARK	DATE	DESCRIPTION

ISSUE:	CONSTRUCTION DOCUMENTS
DATE:	JUNE 2021
PROJECT NO:	Project Number
DRAWN BY:	A.A
CHECKED BY:	JTT

SHEET TITLE  
**OVERALL SITE PLAN**

**AS-101**

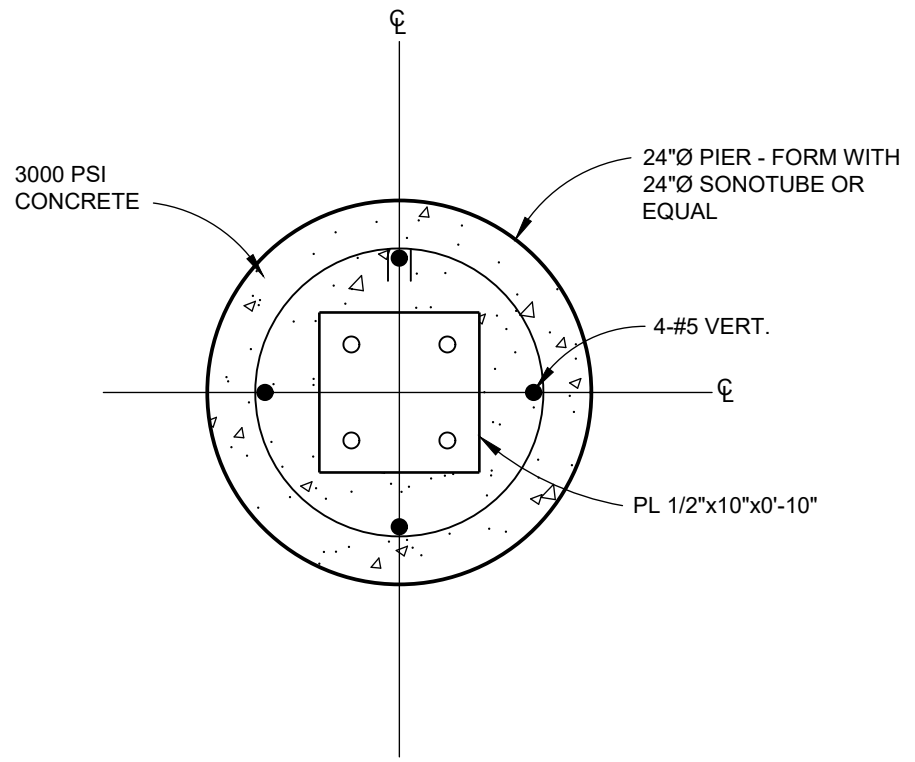


**DOUBLE PORTABLE CLASSROOM FOUNDATION PLAN**

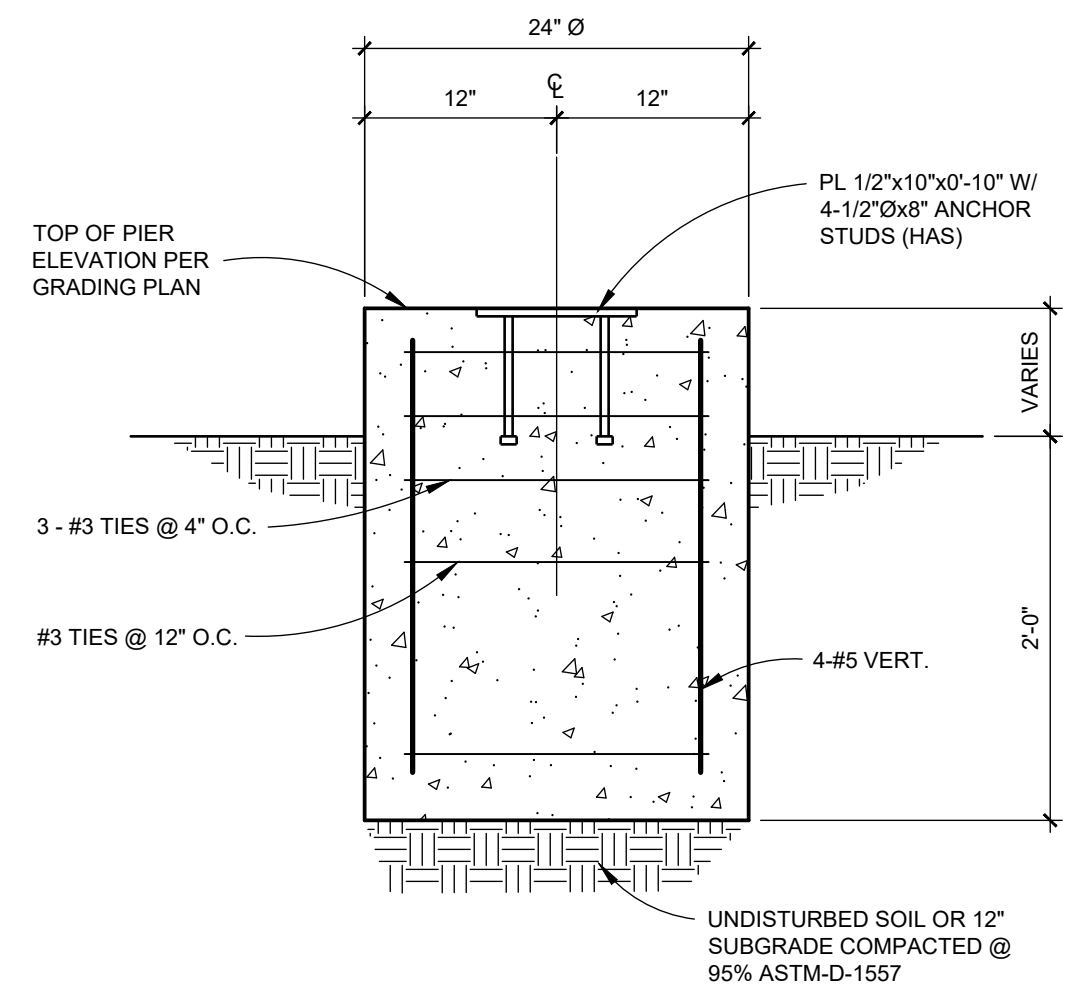
1/8" = 1'-0"



SHEET NO. SKS-1 OF 2  
 JOB MARK ARMILJO ACADEMY  
 SUBJECT PORTABLE CLASSROOM FOUNDATION  
 CLIENT FBI  
 BY LEK JOB NO. F01-1620  
 DATE 12-31-2020  
 CHECKED BY MJW DATE 12-31-2020



PLAN



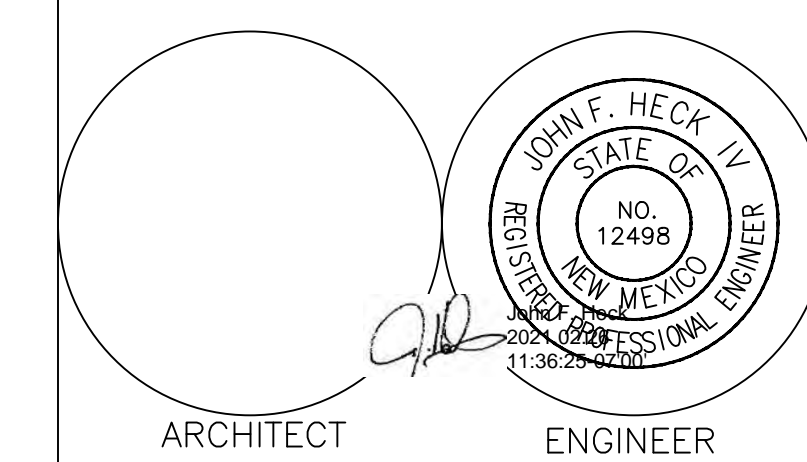
SECTION

**FOOTING DETAILS**

SCALE: 1"=1'-0"



SHEET NO.	SKS-2	OF	2
JOB	MARK ARMUJO ACADEMY		
SUBJECT	PORTABLE CLASSROOM FOUNDATION		
CLIENT	FBT	JOB NO.	F01-1620
BY	LEK	DATE	12-31-2020
CHECKED BY	MJW	DATE	12-31-2020



**Mark Armijo Academy - Master Plan**

**100% CD**  
 6800 Gonzales Rd SW  
 Albuquerque, NM 87121

FEBRUARY 2021

MARK	DATE	DESCRIPTION

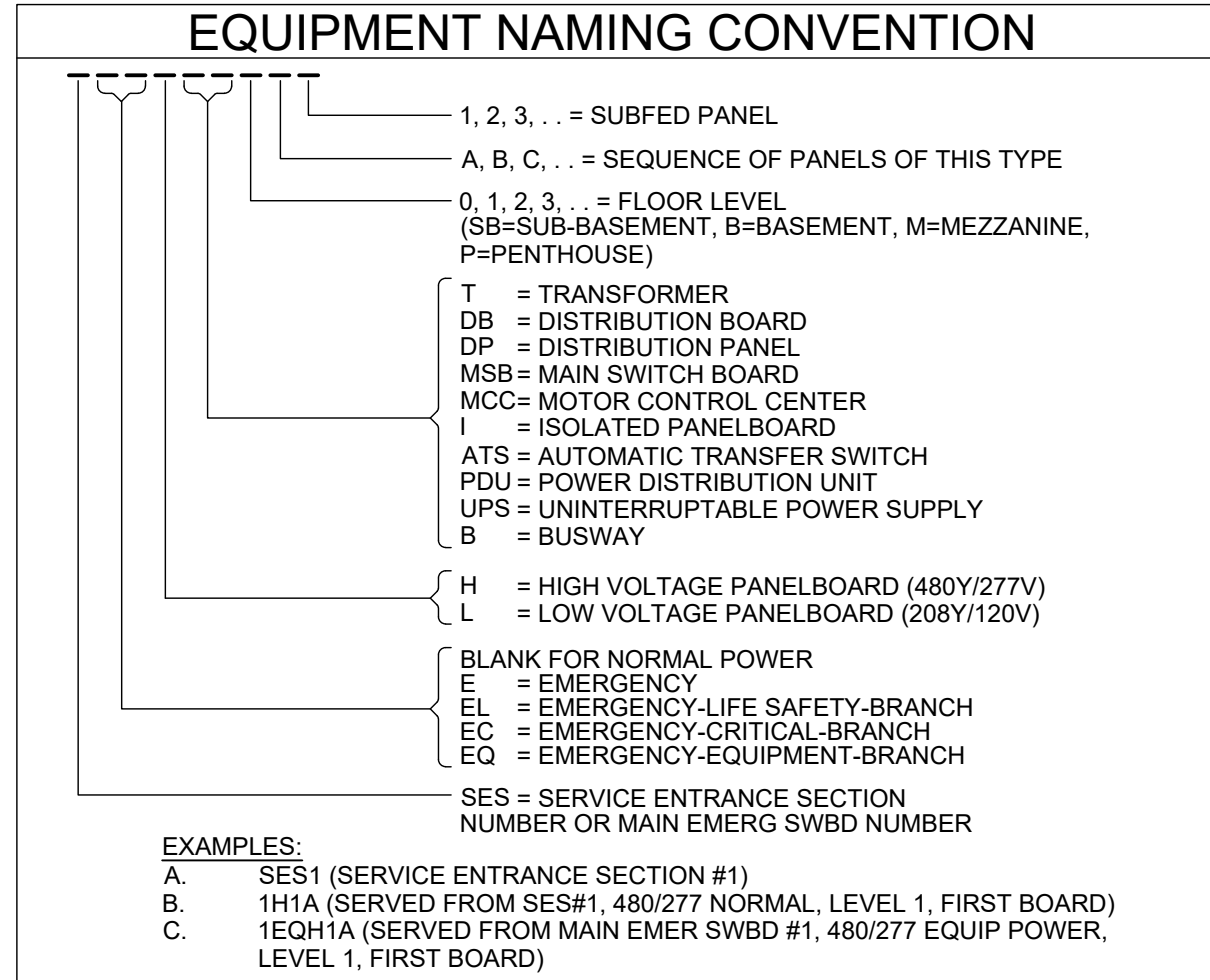
ISSUE:  
 DATE:  
 PROJECT NO: Project Number  
 CAD DWG FILE:  
 DRAWN BY:  
 CHECKED BY:

SHEET TITLE  
**ELECTRICAL LEGEND**  
 E-001

**ELECTRICAL SYMBOL LEGEND (NOT ALL SYMBOLS APPLY TO THIS PROJECT)**

UPDATED: 09/07/2016

ABBREVIATIONS	DEFINITION
A	AMPS, AMPERE, AMPERAGE
AC	ABOVE COUNTER
ACC	ALTERNATING CURRENT
ADA	AMERICANS WITH DISABILITIES ACT
AF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AVAILABLE INTERRUPTING CURRENT
AL	ALUMINUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ATSC	AUTOMATIC TRANSFER SWITCH CONTROL
ATS	AUTOMATIC TRANSFER SWITCH
AV	AUDIO/VISUAL
AWG	AMERICAN WIRE GAUGE
C	CIRCUIT BREAKER
CB	CLOSED CIRCUIT TELEVISION
CCTV	CIRCUIT
CL	CLOCK
CLF	CURRENT LIMITING FUSE
CO	CONDUIT ONLY
CU	COPPER
D	DIMMING
DC	DIRECT CURRENT
DL	DAY-LIGHTING
DIA	DIAMETER
E	EMERGENCY
EC	EMERGENCY, CRITICAL
EG	ENGINE GENERATOR
EL	EMERGENCY, LIFE SAFETY
EQ	EMERGENCY, EQUIPMENT
EX	EXISTING
FUT	FUTURE
FA	FIRE ALARM
FAA	FIRE ALARM ANNUCIATOR
FACP	FIRE ALARM CONTROL PANEL
FATC	FIRE ALARM TERMINAL CABINET
FDR	FEEDER
FMS	FACILITY MANAGEMENT SYSTEM
GEN	GENERATOR
GFI	GROUND FAULT INTERRUPTER
G OR GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFP	GROUND FAULT EQUIPMENT PROTECTION
GFP	GROUND FAULT PROTECTION
GND	GROUND
HOA	HAND-OFF, AUTOMATIC
HP	HORSEPOWER
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
IG	ISOLATED GROUND
KCMIL	THOUSAND CIRCULAR MILS
KV	KILOVOLT
KVA	KILOVOLT AMPERS
KVAR	KILOVOLT AMPERS REACTIVE
KWH	KILOWATT HOUR
LSIG	LONG TIME, SHORT TIME, INSTANTANEOUS, AND SHORT FAULT PROTECTION
MAX	MAXIMUM
MCC	MOTOR CONTROL CENTER
MH	MANHOLE
MIN	MINIMUM
MM	MIXED MEDIA
MTS	MANUAL TRANSFER SWITCH
MVA	MEGAVOLT AMPERS
N	NEW
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NIC	NOT IN CONTRACT
NL	NORMAL
NO	NORMALLY OPEN
O/H	OVERHEAD
P	POLE
PA	PUBLIC ADDRESS
PC	PHOTOCELL
PH	PHASE
PMCS	POWER MONITORING AND CONTROL SYSTEM
R	REMOVED/REMOVAL
RC	ROOM CONTROLLER
RSC	RIGID STEEL CONDUIT
SEC	SECURITY
SPD	SURGE PROTECTIVE DEVICE
SW	SWITCH
TEMP	TEMPORARY
TTB	TELEPHONE TERMINAL BOARD
TV	TELEVISION
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
TYP.	TYPICAL
UC	UNDER COUNTER
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UL	UNDERWRITERS' LABORATORIES
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SUPPLY
V	VOLTS, VOLTAGE
VFD	VARIABLE FREQUENCY DRIVE
W	WALL MOUNTED
WG	WEATHERPROOF AND GFCI
WP	WEATHERPROOF
XFER	TRANSFER
XFMR (TRANSF)	TRANSFORMER



**RACEWAY & CONDUCTORS**

BRANCH CIRCUIT GENERAL INFORMATION:  
 BRANCH CIRCUITS FROM OVERCURRENT PROTECTION (20A) TO FURTHEST DEVICE SHALL NOT EXCEED 75 FEET FOR #12AWG COPPER AND 150 FEET FOR #10AWG COPPER, MEASURED ALONG CONDUCTORS ROUTING PATH. BRANCH CIRCUITS EXCEEDING 150 FEET WILL BE SIZED SO THAT VOLTAGE DROP DOES NOT EXCEED 5%.

SYMBOL	DESCRIPTION
↑	= GROUND
↑	= HOT/PHASE
↑	= NEUTRAL
↑	? = SWITCH LEG

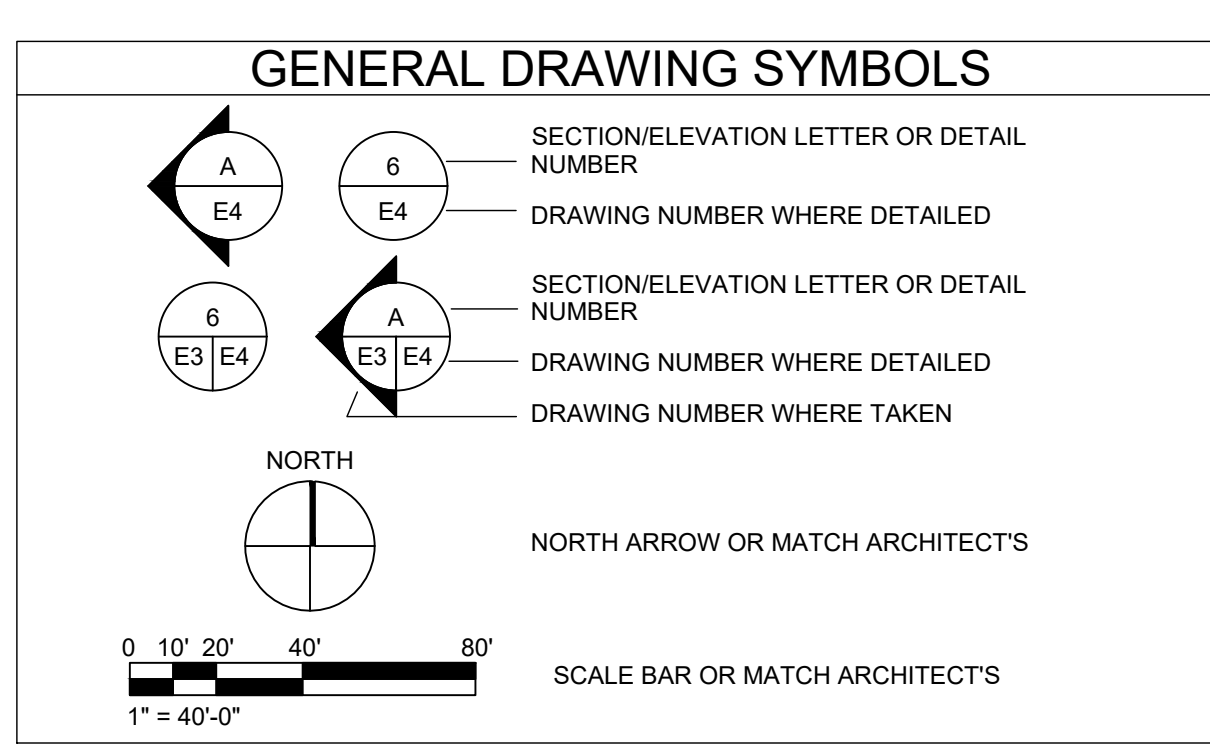
CONDUCTOR IDENTIFICATION SYMBOLS. REFER TO PLANS FOR COMBINATION OF CONDUCTOR IDENTIFICATION MOSTLY USED IN HOMERUN LOCATION, BUT CAN ALSO BE USED IN BRANCH CIRCUITS WHERE APPLICABLE. GROUNDING CONDUCTORS WILL BE INSTALLED IN ALL RACEWAYS WHETHER SHOWN OR NOT.

HOMERUN FROM EQUIPMENT LOCATION. THE CIRCUIT NUMBER ADJACENT TO HOMERUN INDICATES PANEL SOURCE AND INDIVIDUAL SINGLE POLE CIRCUIT BREAKER (S). CONDUCTOR IDENTIFICATION SYMBOL INDICATES NUMBER OF CONDUCTORS IN HOMERUN. MINIMUM #12 CONDUCTORS AND 3/4" RACEWAY PATH WILL BE PROVIDED IN HOMERUN UON. ALL HOMERUNS WILL INCLUDE GROUND CONDUCTOR.

HOMERUN FROM EQUIPMENT LOCATION. THE CIRCUIT NUMBER ADJACENT TO HOMERUN INDICATES PANEL SOURCE AND INDIVIDUAL SINGLE POLE CIRCUIT BREAKER (S). CONDUCTOR IDENTIFICATION SYMBOL INDICATES NUMBER OF CONDUCTORS IN HOMERUN WILL INCLUDE A SEPARATE NEUTRAL FOR EACH CIRCUIT PHASE CONDUCTOR. MINIMUM #12 CONDUCTORS AND 3/4" RACEWAY PATH WILL BE PROVIDED IN HOMERUN UON. ALL HOMERUNS WILL INCLUDE GROUND CONDUCTOR.

HOMERUN FROM EQUIPMENT LOCATION. THE CIRCUIT NUMBER ADJACENT TO HOMERUN INDICATES PANEL SOURCE AND INDIVIDUAL TWO OR THREE POLE CIRCUIT BREAKERS. CONDUCTOR IDENTIFICATION SYMBOL INDICATES NUMBER OF CONDUCTORS IN HOMERUN. MINIMUM #12 CONDUCTORS AND 3/4" RACEWAY PATH WILL BE PROVIDED IN HOMERUN UON. NEUTRAL MAY BE USED WHERE INDICATED ON PLAN. ALL HOMERUNS WILL INCLUDE GROUND CONDUCTOR.

CONCEALED RACEWAY BETWEEN DEVICES AND OR EQUIPMENT IN WALLS OR IN CEILING SPACE  
 UNDERGROUND RACEWAY BETWEEN DEVICES AND OR EQUIPMENT  
 EXPOSED RACEWAY BETWEEN DEVICES AND OR EQUIPMENT ON WALLS OR CEILINGS  
 CONDUIT TURNS  
 CONDUIT STUBBED AND CAPPED  
 BUSWAY  
 GROUNDING CONDUCTOR  
 CABLE TRAY - POWER AND TELECOMMUNICATIONS  
 TELECOMMUNICATIONS RACEWAY  
 DATA RACEWAY  
 VOICE/DATA COMBINATION RACEWAY  
 FIRE ALARM RACEWAY



**DEMOLITION**

SYMBOL	DESCRIPTION	NOTES
⊘	DASHED SYMBOL INDICATES EXISTING DEVICE OR EQUIPMENT TO BE REMOVED	REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION
R	REMOVE EXISTING RACEWAY IN ALL ACCESSIBLE AREAS. CAPPED AND ABANDONED IF IN UNACCESSIBLE AREA	
⊘	SOLID SYMBOL, LIGHTER IN COLOR INDICATES EXISTING DEVICE OR EQUIPMENT TO REMAIN	
EX	EXISTING CONDUIT TO BE REUSED	

**DEVICES**

DEVICE INDICATOR LETTER "X" EQUALS DESIGNATION BELOW (TYPICAL FOR MOST RECEPTACLE TYPES):  
 BLANK FOR NORMAL POWER  
 G = GFCI RATED  
 IG = ISOLATED GROUND  
 T = TAMPERPROOF  
 WG = WEATHERPROOF AND GFCI  
 WP = WEATHERPROOF (IN-USE COVER)  
 CL = CLOCK  
 TV = TELEVISION

SYMBOL	DESCRIPTION	LOC.	MOUNTING
⊘	IN FLOOR DUPLEX RECEPTACLE. CONFIGURATION AS INDICATED ON PLANS IN FLOOR DOUBLE DUPLEX (QUADPLEX) RECEPTACLE. CONFIGURATION AS INDICATED ON PLANS	FLOOR	VARIES
⊘	IN FLOOR EMERGENCY DUPLEX RECEPTACLE. CONFIGURATION AS INDICATED ON PLANS	FLOOR	VARIES
⊘	IN FLOOR EMERGENCY DOUBLE DUPLEX (QUADPLEX) RECEPTACLE. CONFIGURATION AS INDICATED ON PLANS	FLOOR	VARIES
⊘	COMBINATION DUPLEX RECEPTACLE AND COMMUNICATIONS FLOORBOX. DEVICE CONFIGURATION AS INDICATED ON PLANS.	FLOOR	VARIES
⊘	CEILING MOUNTED DUPLEX RECEPTACLE	CEILING	FLUSH
⊘	CEILING MOUNTED DOUBLE DUPLEX (QUADPLEX) RECEPTACLE	CEILING	FLUSH
⊘	CEILING MOUNTED EMERGENCY DUPLEX RECEPTACLE	CEILING	FLUSH
⊘	CEILING MOUNTED EMERGENCY DOUBLE DUPLEX (QUADPLEX) RECEPTACLE	CEILING	FLUSH
⊘	COMBINATION POWER/COMMUNICATION IN CEILING OUTLET. CONFIGURATION AS INDICATED ON PLANS	CEILING	FLUSH
⊘	SIMPLEX RECEPTACLE	WALL	UON
⊘	DUPLEX RECEPTACLE	WALL	UON
⊘	DOUBLE DUPLEX (QUADPLEX) RECEPTACLE	WALL	UON
⊘	EMERGENCY DUPLEX RECEPTACLE	WALL	UON
⊘	EMERGENCY DOUBLE DUPLEX (QUADPLEX) RECEPTACLE	WALL	UON
⊘	SPECIAL PURPOSE RECEPTACLE. NEMA CONFIGURATION AND AMPERAGE AS NOTED ON PLANS	WALL	UON
⊘	MULTI-OUTLET ASSEMBLY (SURFACE MOUNTED RACEWAY)	VARIES	SEE PLANS
⊘	COMBINATION POWER/COMMUNICATION POLE. CONFIGURATION AS NOTED ON PLANS	VARIES	SEE PLANS
⊘	WALL MOUNTED CODE SIZE J-BOX	WALL	UON
⊘	CODE SIZE JUNCTION BOX	VARIES	SEE PLANS
⊘	CODE SIZE PULLBOX (OR AS SIZED ON PLAN)	VARIES	SEE PLANS
⊘	FUSHBUTTON (EMERGENCY POWER OFF - EPO)	WALL	UON
⊘	PHOTOCELL	ROOF	VARIES
⊘	LIGHTNING PROTECTION AIR TERMINAL	WALL	UON
⊘	THERMOSTAT	WALL	UON
⊘	ENCLOSED CIRCUIT BREAKER. AMPERAGE/NEMA ENCLOSURE RATING, 3 POLE UON	VARIES	VARIES
⊘	NON-FUSED DISCONNECT SWITCH. AMPERAGE/NEMA ENCLOSURE RATING, 3 POLE UON	VARIES	VARIES
⊘	FUSED DISCONNECT SWITCH. AMPERAGE/NEMA ENCLOSURE RATING, 3 POLE UON	VARIES	VARIES
⊘	MOTOR STARTER. STARTER SIZE INDICATED BY NUMBER/NEMA ENCLOSURE RATING. SINGLE SPEED UON	VARIES	VARIES
⊘	COMBINATION FUSIBLE DISCONNECT SWITCH AND MOTOR STARTER. NEMA STARTER SIZE/AMPERAGE/NEMA ENCLOSURE RATING, 3 POLE UON	VARIES	VARIES
⊘	MOTOR. NUMBER INDICATES HORSEPOWER RATING FOR 1HP AND LARGER	N/A	N/A
⊘	MOTOR. "F" INDICATES FRACTIONAL HORSEPOWER	N/A	N/A

**EQUIPMENT**

SYMBOL	DESCRIPTION
MSB	MAIN SWITCHBOARD. DASHED LINES INDICATE CLEARANCES.
DB	DISTRIBUTION BOARD OR PANEL. DASHED LINES INDICATE CLEARANCES.
H1A	FLUSH MOUNTED PANELBOARD. DASHED LINES INDICATE CLEARANCES.
L1A	SURFACE MOUNTED PANELBOARD. DASHED LINES INDICATE CLEARANCES.
MCC	MOTOR CONTROL CENTER. DASHED LINES INDICATE CLEARANCES.
T1A	DRY TYPE TRANSFORMER (15KVA OR ABOVE), WITH EQUIPMENT TAG (TAG INSIDE OR OUTSIDE, DEPENDING ON SIZE). IN MOST CASES, ACTUAL SIZE SHOWN ON PLANS (ELECTRICAL ROOMS).
T	DRY TYPE TRANSFORMER (LESS THAN 15KVA), WITH NO EQUIPMENT TAG. SIZE, TYPE AND LOCATION NOTED ON PLANS.
VFD	VARIABLE FREQUENCY DRIVE
UPS-A	UNINTERRUPTIBLE POWER SUPPLY. DASHED LINES INDICATE CLEARANCES.
ATS-1	AUTOMATIC TRANSFER SWITCH. DASHED LINES INDICATE CLEARANCES.
G	GROUND BAR

**LIGHTING**

REFER TO LUMINAIRE SCHEDULE FOR ALL LUMINAIRE TYPES WHETHER WALL MOUNTED OR CEILING MOUNTED.

SYMBOL	DESCRIPTION	LOC.	MOUNTING
⊘	HATCHING INDICATES EMERGENCY LIGHTING. HATCH WILL BE ADDED FOR EACH LUMINAIRE TYPE. EMERGENCY LUMINAIRE DESIGNATED WITH "E" IN TYPE DESIGNATION.	VARIES	VARIES
⊘	RECESSED MOUNTED LUMINAIRE. SMALL CASE "A" DENOTES SWITCHING, NUMBER "3" DENOTES BRANCH CIRCUITING. SYMBOL "A" DENOTES LUMINAIRE TYPE	CEILING	VARIES
⊘	SURFACE MOUNTED LUMINAIRE. LUMINAIRE TYPE AS INDICATED ON PLANS	CEILING	VARIES
⊘	LINEAR DIRECT/INDIRECT LUMINAIRE. CABLE OR STEM MOUNTED	CEILING	VARIES
⊘	DOWN LIGHT LUMINAIRE. CEILING MOUNTED	CEILING	VARIES
⊘	WALL MOUNTED LUMINAIRE	WALL	VARIES
⊘	TRACK MOUNTED LUMINAIRE	SURFACE	VARIES
⊘	STRIP LUMINAIRE	SURFACE	VARIES
⊘	EXIT LUMINAIRE. SHADED SIDE INDICATES FACE SIDE. PROVIDE DIRECTIONAL ARROW(S) AS INDICATED ON PLANS	WALL	VARIES
⊘	DOUBLE FACE EXIT LUMINAIRE. SHADED SIDE INDICATES FACE SIDE. PROVIDE DIRECTIONAL ARROW(S) AS INDICATED ON PLANS	WALL	VARIES
⊘	EMERGENCY BATTERY PACK LUMINAIRE (BUG-EYE/FROG-EYE)	WALL	VARIES
⊘	SINGLE HEAD, POLE MOUNTED LUMINAIRE	EXTERIOR	AS DETAILED
⊘	DOUBLE HEAD, POLE MOUNTED LUMINAIRE	EXTERIOR	AS DETAILED
⊘	DEVICE INDICATOR LETTER "X" EQUALS DESIGNATION BELOW (TYPICAL FOR MOST SWITCH TYPES): a = SMALL CASE LETTER DENOTES SWITCHING CONTROL 2 = DOUBLE POLE TOGGLE SWITCH 3 = THREE-WAY TOGGLE SWITCH 4 = FOUR-WAY TOGGLE SWITCH P = PILOT LIGHT TOGGLE SWITCH M = MOMENTARY CONTACT SWITCH K = KEY OPERATED SWITCH WP = WEATHERPROOF TOGGLE SWITCH T = MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD PROTECTION D = DIMMER SWITCH TW = TWIST TIMER SWITCH	WALL	UON
⊘	WALL MOUNTED OCCUPANCY SENSOR; TYPE AS INDICATED ON PLANS	WALL	UON
⊘	CEILING MOUNTED OCCUPANCY SENSOR; TYPE AS INDICATED ON PLANS	CEILING	UON
⊘	DAY-LIGHTING SENSOR; TYPE AS INDICATED ON PLANS	CEILING	SURFACE
⊘	ROOM CONTROLLER; TYPE AS INDICATED ON PLANS	CEILING	SURFACE

**UTILITIES**

SYMBOL	DESCRIPTION
⊘	DISTRIBUTION POLE FOR OVERHEAD ELECTRICAL OR COMMUNICATIONS AS INDICATED ON PLAN.
⊘	OVERHEAD UTILITY AND OR SYSTEM DISTRIBUTION. (3PH = THREE PHASE 1PH = SINGLE PHASE P = ELECTRICAL PRIMARY S = ELECTRICAL SECONDARY T = TELECOMMUNICATION TV = TELEVISION E = EMERGENCY POWER ATSC = AUTOMATIC TRANSFER SWITCH CONTROL N = NEW EX = EXISTING
⊘	UNDERGROUND UTILITY AND OR SYSTEM DISTRIBUTION.
UT	UTILITY OR FACILITY TRANSFORMER
S	PAD MOUNTED SWITCH
CC	CONNECTION CABINET (UTILITY METER MOUNT)
PM	PRIMARY SITE METER ENCLOSURE
ME	METER ENCLOSURE. EITHER ON BUILDING OR ON UTILITY EQUIPMENT
CT	CT ENCLOSURE. EITHER ON BUILDING OR ON UTILITY EQUIPMENT
MH	MANHOLE - POWER OR COMMUNICATION AS INDICATED ON PLANS
HH	HAND HOLE - POWER OR COMMUNICATION AS INDICATED ON PLANS
EG	ENGINE GENERATOR
TP	TELECOMMUNICATION PEDESTAL
TVR	TELEVISION PEDESTAL

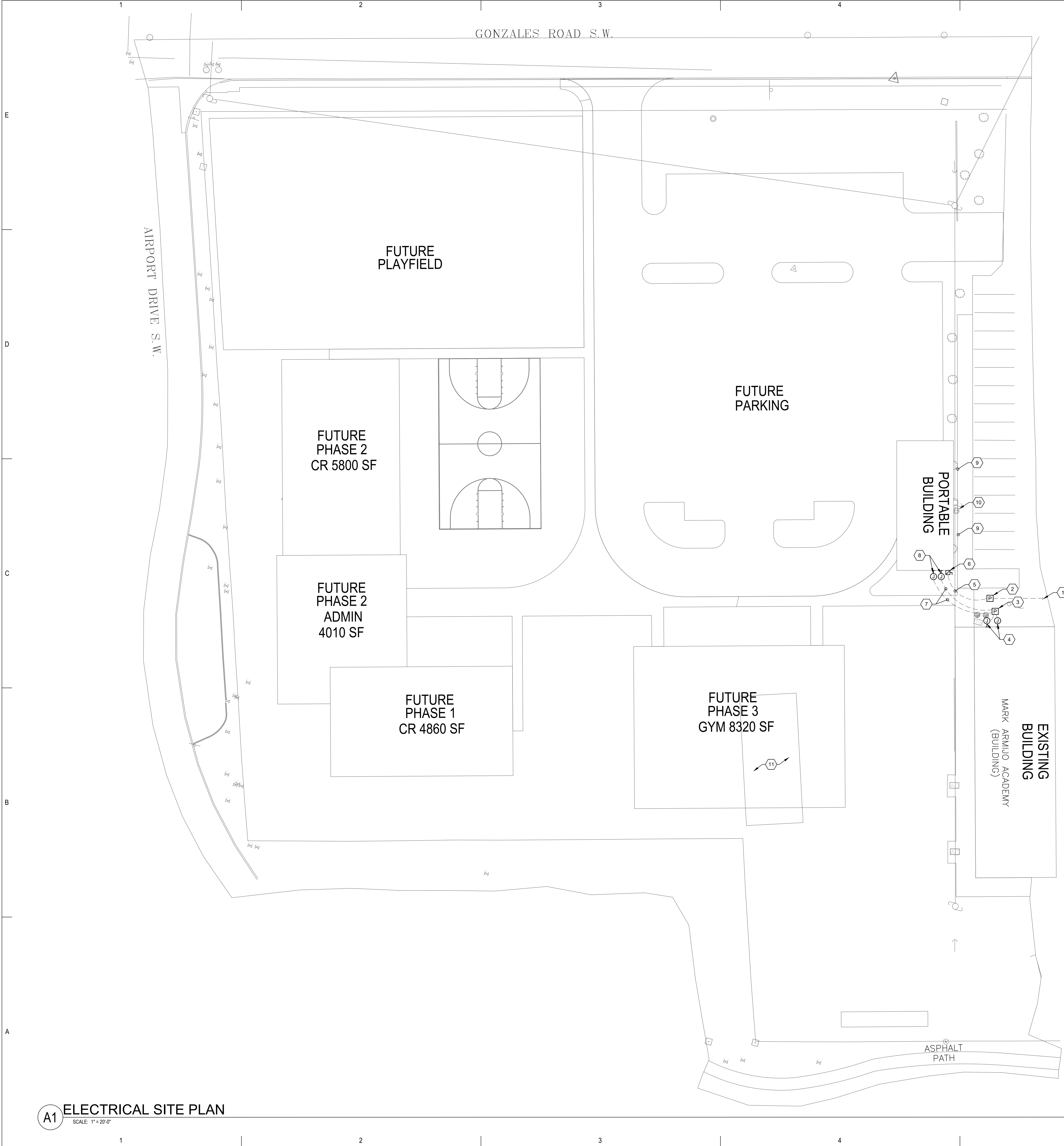
**FIRE ALARM**

SYMBOL	DESCRIPTION	LOC.	MOUNTING
FACP	FIRE ALARM CONTROL PANEL	WALL	VARIES
FATC	FIRE ALARM TERMINAL CABINET (EQUIP. NAMING CONVENTION PER PLANS)	WALL	VARIES
FAA	FIRE ALARM ANNUCIATOR PANEL	WALL	VARIES
F	PULL STATION	WALL	+44"
F	FIREMAN'S TELEPHONE OUTLET	WALL	+44"
F	HORN NOTIFICATION	WALL	+80" UON
F	SPEAKER NOTIFICATION	WALL	+80" UON
F	CHIME NOTIFICATION	WALL	+80" UON
F	COMBINATION SPEAKER AND CHIME NOTIFICATION	WALL	+80" UON
F	SPEAKER/HORN WITH STROBE LIGHT	WALL	+80" UON
F	STROBE LIGHT ONLY	WALL	+80" UON
F	BELL (GONG)	WALL	+80" UON
F	PHOTOELECTRIC SMOKE DETECTOR	CEILING	SURFACE
F	IONIZATION SMOKE DETECTOR	CEILING	SURFACE
F	COMBINATION RATE OF RISE / FIXED TEMPERATURE	CEILING	SURFACE
F	FIXED TEMPERATURE; TEMPERATURE AS NOTED ON PLANS OR SPECS.	CEILING	SURFACE
F	RATE OF RISE ONLY	CEILING	SURFACE
F	BEAM TRANSMITTER	CEILING OR WALL	VARIES
F	BEAM RECEIVER	CEILING OR WALL	VARIES
F	UNDER FLOOR SMOKE DETECTOR	UNDER FLOOR	SEE PLANS
F	DUCT DETECTOR	AT DUCT	SEE PLANS
F	FIRE/SMOKE DAMPER	AT DUCT	SEE PLANS
F	PRESSURE SWITCH	PIPE	VARIES
F	TAMPER SWITCH	PIPE	VARIES
F	FLOW SWITCH	PIPE	VARIES
F	POST INDICATOR VALVE	PIPE	VARIES
F	MAGNETIC DOOR HOLDER	VARIES	SEE PLANS
F	CONTROL RELAY	VARIES	SEE PLANS
F	MONITOR MODULE	VARIES	SEE PLANS
F	REMOTE ALARM INDICATING LIGHT	VARIES	SEE PLANS
F	ADDRESSABLE/SUPERVISED RELAY	VARIES	SEE PLANS

**ONE-LINE DIAGRAM**

SYMBOL	DESCRIPTION
⊘	CIRCUIT BREAKER. TRIP SETTING/FRAME SIZE OR NO. OF POLES. SETTINGS AND PROTECTION AS NOTED ON PLANS
⊘	DRAWOUT CIRCUIT BREAKER (TRIP SETTING, FRAME SIZE)
⊘	MEDIUM VOLTAGE DRAWOUT (TRIP SETTING, FRAME SIZE)
⊘	TRANSFORMER. TRANSFORMER NAME, TRANSFORMER KVA RATING, PRIMARY VOLTAGE AND WIRING CONFIGURATION, SECONDARY VOLTAGE, K RATING (IF APPLICABLE)
⊘	CURRENT TRANSFORMER. NUMBER "3000/5" DENOTES RATIO.
⊘	POTENTIAL TRANSFORMER.
⊘	DISCONNECT SWITCH. "300A" DENOTES AMPERAGE RATING
⊘	FUSE. "300A" DENOTES AMPERAGE RATING
⊘	GROUND FAULT PROTECTION
⊘	SHUNT TRIP OPERATOR
⊘	GROUND CONNECTION
⊘	TRANSFER SWITCH. SEE PLANS FOR TYPE OF SWITCH
⊘	SURGE ARRESTOR
⊘	SURGE PROTECTIVE DEVICE
⊘	KILOWATT METER
⊘	ELECTRONIC METER
⊘	KIRK KEY INTERLOCK No.1
⊘	RELAY No.1
⊘	AMMETER SWITCH
⊘	AMMETER
⊘	VOLTMETER SWITCH
⊘	VOLTMETER
⊘	DELTA CONNECTED
⊘	WYE CONNECTED
⊘	GENERATOR
⊘	VFD CONNECTION
⊘	MOTOR CONNECTION
⊘	UPS

Date: Feb 25, 2021 - 10:31am User: A.Gonzales ... Drawing File: H:\BQ\819\CAD\AutoCAD\0319 - AFS - Mark Armijo Academy Charter School Portable Re-location\Sheets\Electrical\ES101.dwg ... Last Saved By: A.Gonzales Feb 25, 2021 - 8:28am ... Layout Name: ES101

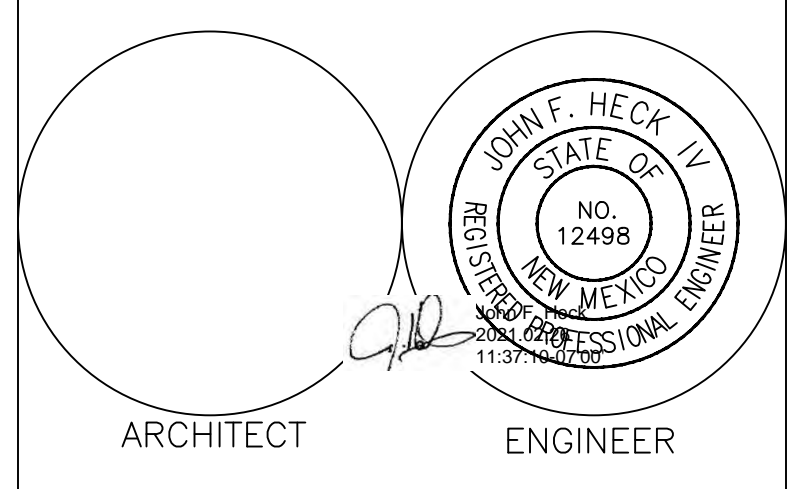


**GENERAL NOTES:**

1. SHOULD CONTRACTOR AT ANY TIME NOTICE THAT THE ACTUAL FIELD CONDITIONS DO NOT CORRESPOND TO THE INFORMATION GIVEN ON THE DRAWINGS, THEN IT WILL BE THEIR RESPONSIBILITY TO NOTIFY THE ENGINEER FOR CLARIFICATION, PRIOR TO COMMENCING SUCH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL TRADES FOR THE EXACT LOCATION OF EQUIPMENT THAT REQUIRE ELECTRICAL CONNECTIONS.
3. CONTRACTOR WILL REFER TO SHEET SERIES "C" FOR OTHER NEW AND EXISTING UTILITIES. MUST COORDINATE INSTALLATION OF ALL UTILITIES SHOWN ON THIS SHEET PRIOR TO COMMENCEMENT OF ANY WORK.

**KEYED NOTES:**

1. EXISTING UNDERGROUND 2" CONDUIT FROM UNDER PARKING AREA CONDUIT ENDS ARE BURIED AND EXTEND UNDER LENGTH OF PARKING AREA FROM EAST TO WEST. COORDINATE EXACT LOCATION OF CONDUIT ENDS WITH SCHOOL REPRESENTATIVE. PROVIDE AN IN-GROUND PULL BOX AT EACH END OF CONDUIT. ON EAST END EXTEND UNDERGROUND CONDUIT FROM PULL BOX TO MAIN DISTRIBUTION PANEL. REFER TO SHEET E601 FOR ADDITIONAL INFORMATION.
2. PROVIDE NEW CODE SIZED, PRECAST CONCRETE IN-GROUND PULL BOX FOR EXTENSION OF EXISTING UNDERGROUND 2" CONDUIT TO NEW PORTABLE.
3. PROVIDE NEW CODE SIZED, PRECAST CONCRETE IN-GROUND PULL BOX FOR EXTENSION OF DATA AND FIRE ALARM CONNECTION FROM MAIN BUILDING VIA EXISTING WALL MOUNTED JUNCTION BOXES LOCATED ON MAIN BUILDING.
4. EXISTING BUILDING MOUNTED JUNCTION BOXES FOR DATA AND FIRE ALARM CONNECTION FROM MAIN BUILDING. EXTEND CONDUIT AND WIRE FROM RESPECTIVE SOURCES IN MAIN BUILDING, ABOVE LAY-IN TILE CEILING SPACE, TO JUNCTION BOXES INDICATED AND DOWN TO IN-GROUND PULL BOX.
5. PROVIDE UNDERGROUND 2" CONDUIT EXTENSION FROM IN-GROUND PULL BOX TO NEW PORTABLE ALONG WITH (3) #1 COPPER CONDUCTORS AND A #6 GND AS A SINGLE CONTINUOUS RUN FROM MAIN DISTRIBUTION PANEL.
6. REMOVE EXISTING DISCONNECT SWITCH AND REPLACE WITH NEW. REFER TO SHEET E601 FOR ADDITIONAL INFORMATION.
7. PROVIDE UNDERGROUND 1" CONDUIT AND CONDUCTORS FOR DATA AND FIRE ALARM CONNECTION TO PORTABLE FROM EXISTING CONNECTIONS IN MAIN BUILDING VIA IN-GROUND PULL BOX.
8. PROVIDE NEW WEATHERPROOF, WALL MOUNTED JUNCTION BOXES FOR DATA AND FIRE ALARM CONNECTION TO PORTABLE.
9. OVERHEAD PNM POWER LINES. MAINTAIN A MINIMUM OF 5'-0" FROM EDGE OF PORTABLE ROOF TO OVERHEAD LINES.
10. EXISTING PNM POWER POLE. MAINTAIN A MINIMUM OF 10'-0" FROM POWER POLE FOR PNM ACCESS.
11. EXISTING LOCATION OF PORTABLE. DOES NOT PRESENTLY HAVE ANY UTILITY SERVICES.



**Mark Armijo Academy - Master Plan**

**100% CD**

6800 Gonzales Rd SW  
Albuquerque, NM 87121

FEBRUARY 2021

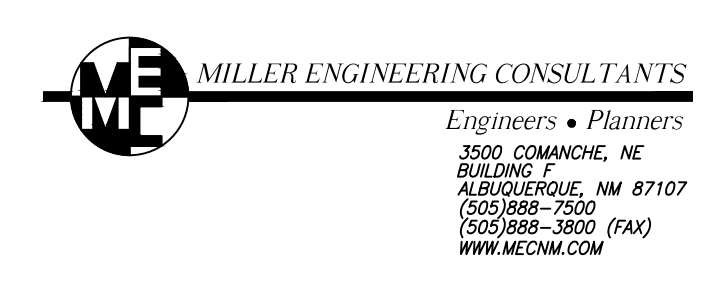
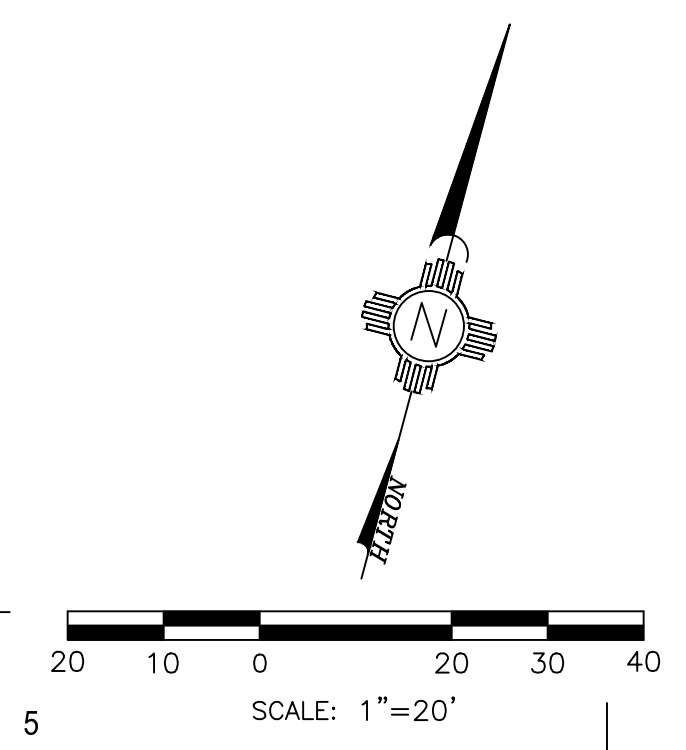
MARK	DATE	DESCRIPTION

ISSUE:	
DATE:	
PROJECT NO:	Project Number
CAD DWG FILE:	
DRAWN BY:	
CHECKED BY:	

SHEET TITLE  
**ELECTRICAL SITE PLAN**

**ES101**

**A1 ELECTRICAL SITE PLAN**  
SCALE: 1"=20'0"



Mark Armijo Academy - Master Plan

CONSULTANT



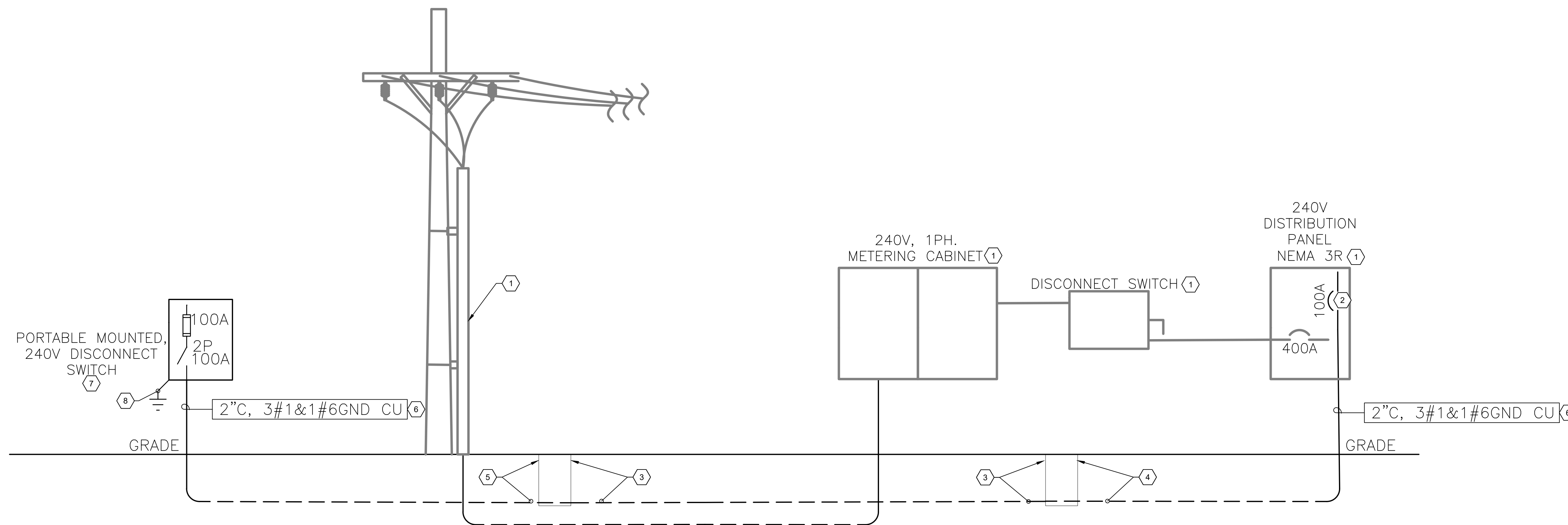
4600 C Montgomery Blvd. NE  
 Albuquerque, NM 87109 | 505.883.4111 | www.bpce.com

GENERAL NOTES:

1. SHOULD CONTRACTOR AT ANY TIME NOTICE THAT THE ACTUAL FIELD CONDITIONS DO NOT CORRESPOND TO THE INFORMATION GIVEN ON THE DRAWINGS, THEN IT WILL BE THEIR RESPONSIBILITY TO NOTIFY THE ENGINEER FOR CLARIFICATION, PRIOR TO COMMENCING SUCH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL TRADES FOR THE EXACT LOCATION OF EQUIPMENT THAT REQUIRE ELECTRICAL CONNECTIONS.

KEYED NOTES:

1. EXISTING EQUIPMENT WILL REMAIN AS PRESENTLY INSTALLED.
2. PROVIDE NEW 2 POLE, 240V CIRCUIT BREAKER, SIZE AS INDICATED, CIRCUIT BREAKER TO MATCH PANEL AIC RATING AND FAMILY OF CIRCUIT BREAKERS PRESENTLY INSTALLED.
3. EXISTING UNDERGROUND 2" CONDUIT UNDER PARKING AREA, INTERCEPT AND EXTEND TO NEW IN-GROUND PULL BOX.
4. PROVIDE UNDERGROUND 2" CONDUIT EXTENSION FROM PULL BOX TO EXISTING MAIN DISTRIBUTION PANEL.
5. PROVIDE UNDERGROUND 2" CONDUIT EXTENSION FROM PULL BOX TO NEW PORTABLE DISCONNECT SWITCH.
6. PROVIDE CONDUCTORS, SIZE AS INDICATED, AS A SINGLE CONTINUOUS RUN FROM PORTABLE DISCONNECT SWITCH, THROUGH IN-GROUND PULL BOXES, TO EXISTING MAIN DISTRIBUTION PANEL.
7. PORTABLE MOUNTED DISCONNECT SWITCH, PROVIDE 250V RATED, 100A, NEMA 3R, KNIFE BLADE, FUSED DISCONNECT. RECONNECT EXISTING CONDUCTORS PRESENTLY INSTALLED FROM EXISTING PANEL IN PORTABLE TO SECONDARY SIDE OF DISCONNECT.
8. PROVIDE A GROUND ROD ELECTRODE SYSTEM PER NEC 250. DO NOT BOND GROUND AND NEUTRAL CONDUCTORS.



C1 ELECTRICAL DIAGRAMS

SCALE: 1" = 20'-0"

Elec. Service Calc. - M.A Academy Portable Load						
Description of Load	Sq. Ft.	Connected Load KVA	Demand % Multiplier	Demand Load KVA	Service % Multiplier	Service Load KVA
Portable	1,200	12	100%	12	100%	15
<b>Subtotal of loads KVA</b>		<b>12</b>		<b>12</b>		<b>15</b>
		<b>Total Service load KVA</b>				<b>15</b>
		<b>Voltage of Service (240-1PH)</b>				<b>0.240</b>
		<b>Total Service Ampacity</b>				<b>63</b>
<b>1,200 Sq. Ft.</b>		<b>10.00 watts/sq.ft. Portable =</b>				<b>12,000 VA</b>
<b>NOTES</b>						

A1 PORTABLE SERVICE CALCULATION

Maximum voltage drop for a Branch Circuit shall be less than 3% (NEC 210.19 A, FPN 4).  
 Maximum voltage drop for a Feeder shall be less than 3% (NEC 215.2, FPN 2).  
 Maximum combined voltage drop for a Feeder and Breaker shall be less than 5%.  
 Source: 2017 NEC

Run	Feeder or Branch Circuit Run:	Type of Circuit	Voltage	Phase	Conductor Material	Length (ft)	Size	Load Current (Amps)	Qty Parallel Runs	Load on Feeder	Resistance	Voltage Drop	% Voltage Drop Feeder	% Voltage Drop Branch
1	MDP TO PORTABLE DISCONNECT	Feeder	240	1	C	150	1	100	1	100	0.154	4.62	1.93%	

B3 VOLTAGE DROP CALCULATION

KNOWN FAULT INFORMATION				SECOND TRANSFORMER IN SYSTEM (DRY-TYPE)				FEEDER/BRANCH CIRCUIT CALCULATION						RESULT					
Fault Point	Equipment	Source of Fault	Available Fault Current	XFMR Size (kVA)	Secondary Voltage:	X <sub>tr</sub> Impedance (Ohms):	X <sub>tr</sub> Impedance (user input):	"f" factor	"M" factor	Conductor Type	Conductor Size	3 single conductors?	Conduit Type	Number of sets	Length to fault	"C" value	"f" factor	"M" factor	Available Short Circuit Current at Fault:
F1	MDP	PNM POLE	65000	240	1					C	600	Y	S	1	150	22965	3.538	0.220	14324
F2	PORTABLE DISCONNECT	MDP	14324	240	1					C	1	Y	S	1	150	7293	2.455	0.289	4146

A3 FAULT CURRENT CALCULATION

Mark Armijo Academy - Master Plan

100% CD

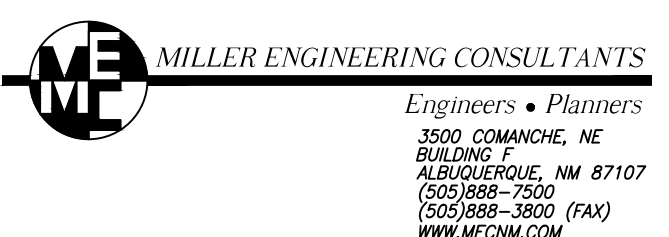
6800 Gonzales Rd SW  
 Albuquerque, NM 87121

FEBRUARY 2021

MARK	DATE	DESCRIPTION

ISSUE:  
 DATE:  
 PROJECT NO: Project Number  
 CAD DWG FILE:  
 DRAWN BY:  
 CHECKED BY:

SHEET TITLE  
 ELECTRICAL DIAGRAMS



E-601



# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 3, 2021

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: Mark Armijo Charter School  
6800 Gonzales Road SW  
Grading and Drainage Plan  
Engineer's Stamp Date: 01/13/21  
Hydrology File: L10D007A**

Dear Mr. Miller:

PO Box 1293

Based upon the information provided in your submittal received 01/14/2021, the Grading & Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

Also as a reminder, please provide the Drainage Covenant for the proposed retention pond per Article 6-15(C) of the DPM as soon as possible. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to [clabadie@cabq.gov](mailto:clabadie@cabq.gov) or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC  
Attn: Charlotte LaBadie  
600 2nd St. NW, Ste. 400  
ABQ, NM, 87102

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



Planning Department  
Brennon Williams, Director

Mayor Timothy M. Keller

August 31, 2021

Jeremy Trumble, RA  
FBT Architects  
6501 Americas PKWY NE, Ste 300  
Albuquerque, NM 87110

**Re: Mark Armijo-Portable Addition  
6800 Gonzales Rd SW  
Traffic Circulation Layout  
Architect's Stamp 08-09-2021 (L10-D007A)**

Dear Mr. Trumble,

The TCL submittal received 08-30-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



VICINITY MAP  
6800 Gonzales Rd SW, Albuquerque, NM 87121

NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY STANDARD DRAWING 2430 & 2415A.

**CODE DATA, PREPARATORY SCHOOL PORTABLE ADDITION AND PLAY FIELD IMPROVEMENTS:**

PROJECT NAME: MARK ARMIJO CHARTER SCHOOL, ADDITION TO SCHOOL WITH NEW PORTABLE.  
UPC: 101005651353110520  
OWNER: MARK ARMIJO FOUNDATION INC  
OWNER ADDRESS: 6800 GONZALES RD SW, ALBUQUERQUE, NM 87121  
LEGAL DESCRIPTION: LT 150-B PLAT OF LTS 150-A & 150-B TOWN OF ATRISCO GRANTUNIT 6  
ZONE ATLAS MAP: K-10-Z  
ZONE CLASSIFICATION: NR-BP

**EXECUTIVE SUMMARY FOR THE MARK ARMIJO CHARTER SCHOOL TCL PLAN:**

THE PROJECT IS LOCATED AT 6800 GONZALES RD IN THE SOUTHWEST QUADRANT OF ALBUQUERQUE. GONZALES RD ABUTS THE SITE TO THE NORTH, WITH COORS RD LOCATED WEST AND AIRPORT DR SOUTH.

THE CHARTER SCHOOL FACILITY IS THE MAIN PERMANENT STRUCTURE LOCATED ON THE SITE. THIS PROJECT INCLUDES THE RELOCATION AND INSTALLATION OF ONE, MODULAR CLASSROOM BUILDINGS (PORTABLE). IT WILL BE RELOCATED ON THE SITE SOUTH OF THE EXISTING ASPHALT PAVING USED FOR PARKING. RECENTLY TWO MODULAR CLASSROOMS WERE ADDED IN 2020.

TRAFFIC WOULD CONTINUE TO USE THE EXISTING SUCCESSFUL PARKING AND CIRCULATION LAYOUT AS IS. TWO-WAY TRAFFIC IS USED AT EVERY DRIVE LANE POSSIBLE TO EASE IN VEHICULAR SITE ACCESS, AND PEDESTRIAN FRIENDLY PATHS ONLY CROSS THESE TRAFFIC LANES AT PERPENDICULAR ANGLES.

THERE WILL BE NO IMPACT TO ADJACENT SITES. NO INCREASE IN STUDENTS, TEACHERS, PARENTS, TRAFFIC OR FUNCTIONS ARE EXPECTED AS PART OF THIS DEVELOPMENT. GONZALES AND COORS ROADWAYS ACT AS A BUFFER TO THE NORTH AND WEST OF THE SITE WITH TED GALLEGOS COMMUNITY CENTER SHARING PROPERTY LINES TO THE SOUTH. NO VARIANCES ARE BEING REQUESTED FOR THIS WORK. THIS IS AN ESTABLISHED SCHOOL FACILITY WITH EXISTING ACCESS POINTS AND AMPLE ON-SITE PARKING.

GROSS FLOOR CHANGE CALCULATIONS		
GROSS BUILDING AREA	16,545 SF	
CAFETERIA	3,324 SF	
2,268 SF / 15 NET = 151 OCC.		
PORTABLE ADDITION	1,641 SF	
GROSS BUILDING CHANGE	9.9% CHANGE	
REQUIREMENTS (BASED ON 151 OCC)		
PARKINGS SPACES	1 SPACE FOR EA. 4 SEATS IN CAFETERIA	38
CREDITS		
10% FOR PUBLIC BUS STOP NEARBY		
38 * 1 = 4		
ADA SPACES REQUIRED	(FOR 26 TO 35 PARKING SPACES)	2
ADA VAN SPACES	(1 FOR EA. OF 2 ADA SPACES)	1
BICYCLE SPACES	(1 SPACE FOR EA. 50 STUDENTS)	4
MOTORCYCLE SPACES	(FOR 26 TO 50 PARKING SPACES)	2
PROVIDED		
TOTAL SPACES		51
ADA SPACES PROVIDED		3
ADA VAN SPACES		2
BICYCLE RACK (EXISTING)		4
MOTORCYCLE SPACES PROVIDED		2

VALUE	DESCRIPTION
501	EXISTING ASPHALT PAVING TO REMAIN, PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
502	EXISTING CHAIN-LINK FENCE TO REMAIN.
503	EXISTING CONCRETE SIDEWALK TO REMAIN, PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
504	EXISTING OVERHEAD UTILITY LINE. SEE SURVEY. SEE ELECTRICAL.
505	EXISTING TREES AND LANDSCAPING TO REMAIN. PROTECT DAMAGE SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
507	NEW ADA RAMP AND LANDING BY BUILDING MANUFACTURE.
508	RESTRIPED PARKING SPACE FOR ADA ACCESSIBLE PARKING AT ALL.
509	NEW CONCRETE PAVED SIDEWALK SEE DETAIL 02/TCL-102.
510	NEW METEORITE PAVED SIDEWALK EXTENSION.

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Signed: [Signature]  
Date: 8/31/21

8/30/2021 4:18:09 PM

A1 TCL SITE PLAN  
1" = 30'-0"

**fbt architects**  
6501 Americas Pkwy NE., Ste. 300  
Albuquerque, NM 87110  
P: 505.883.5200 WEB: www.fbtarch.com

CONSULTANTS  
**STRUCTURAL**  
Walla Engineering  
6501 Americas Parkway, Ste 301  
Albuquerque, NM 87110  
p\_505.881.3008  
**CIVIL**  
Miller Engineering Consultants  
3500 Comanche NE, Bldg F  
Albuquerque, NM 87107  
p\_505.888.7500  
**M/E/P/F/P**  
Bridgers and Paxton  
4600 C Montgomery  
Albuquerque, NM 87109  
p\_505.883.4111



**Mark Armijo ACADEMY**

**Mark Armijo Academy - Site Development Plan**

**CONSTRUCTION DOCUMENTS**

6800 Gonzales Rd SW  
Albuquerque, NM 87121

JUNE 2021

MARK	DATE	DESCRIPTION

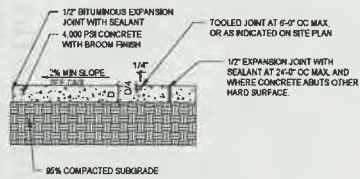
ISSUE: CONSTRUCTION  
DATE: [Blank]  
PROJECT NO: [Blank] Project Number  
DRAWN BY: [Blank] Author  
CHECKED BY: [Blank] Checker

SHEET TITLE  
**TRAFFIC CIRCULATION LAYOUT**

**TCL-101**

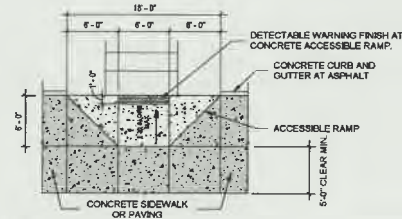
L10-0007A

VALUE	DESCRIPTION
501	EXISTING ASPHALT PAVING TO REMAIN. PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
502	EXISTING CONCRETE SIDEWALK TO REMAIN. PATCH AND REPAIR AS NECESSARY TO PERFORM NEW WORK.
504	EXISTING OVERHEAD UTILITY LINE. SEE SURVEY. SEE ELECTRICAL.
505	EXISTING TREES AND LANDSCAPING TO REMAIN. PROTECT. DAMAGE SHALL BE REPAIRED OR REPLACED AT HIS/HERS TO THE OWNER.
507	NEW ADA RAMP AND LANDING BY BUILDING MANUFACTURER.
508	RESTRIPE PARKING SPACE FOR ADA ACCESSIBLE PARKING STALL.
509	NEW CONCRETE PAVED SIDEWALK. SEE DETAIL D01/TCL-102.
510	NEW ASPHALT PAVED SIDEWALK EXTENSION.



NOTES

1. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
2. SEE SITE PLAN FOR CONCRETE JOINT PATTERN.
3. VERIFY SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING AND POURING CONCRETE. NO EXCEPTIONS.
4. HEAVY DUTY CONCRETE SHALL BE 8" THICK WITH #8x10 GA. WELDED WIRE FABRIC IN CENTER OF SLAB.
5. STANDARD DUTY CONCRETE SHALL BE 4" THICK.
6. TURN DOWN EDGE AT ALL EXPOSED EDGES OF CONCRETE PAVEMENT. SEE DETAIL E1 THIS SHEET.



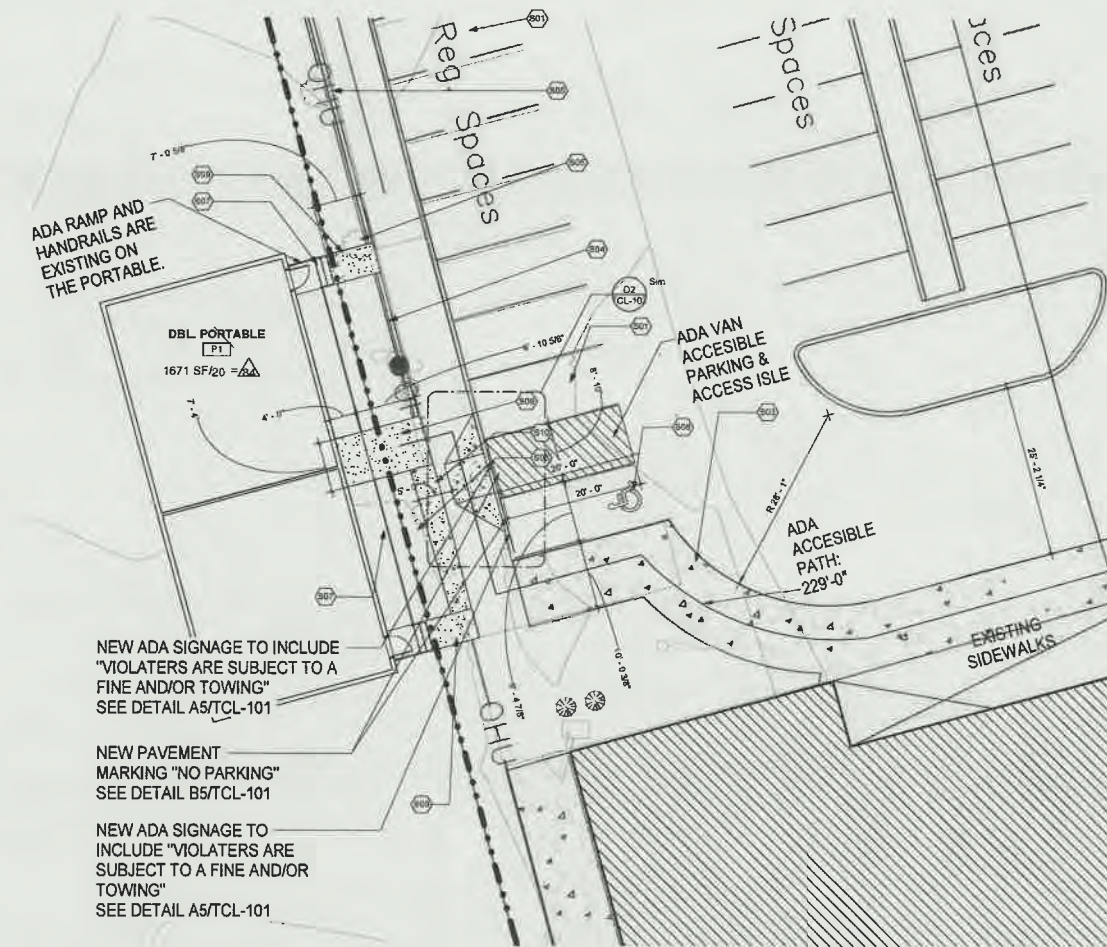
D1 Concrete Pavement  
3/4" = 1'-0"

D2 CONCRETE CURB RAMP  
1/8" = 1'-0"

**TRAFFIC CIRCULATION LAYOUT APPROVED**

*[Signature]*  
Signed

8/31/21  
Date



1 TCL SITE PLAN Enlarged  
1" = 16'-0"

fbt architects

6501 Americas Pkwy NE, Ste. 300  
Albuquerque, NM 87110  
P. 505.883.5200 WEB: www.fbtarch.com

CONSULTANTS

**STRUCTURAL**  
Walls Engineering  
6501 Americas Parkway, Ste 301  
Albuquerque, NM 87110  
p. 505.861.3006

**CIVIL**  
Miller Engineering Consultants  
3500 Comanche NE, Bldg F  
Albuquerque, NM 87107  
p. 505.888.7500

**M/E/P/F/P**  
Bridgers and Paxton  
4900 C Montgomery  
Albuquerque, NM 87109  
p. 505.883.4111



Mark Armijo Academy - Site Development Plan

CONSTRUCTION DOCUMENTS

6800 Gonzales Rd SW  
Albuquerque, NM 87121

JUNE 2021

MARK	DATE	DESCRIPTION

ISSUE:	CONSTRUCTION
DATE:	08/31/2021
PROJECT NO.:	Project Number
DRAWN BY:	Aulfox
CHECKED BY:	Checker

SHEET TITLE  
TRAFFIC CIRCULATION LAYOUT

TCL-102

L10-D007A



CITY OF ALBUQUERQUE  
OFFICE OF ADMINISTRATIVE HEARINGS  
ZONING HEARING EXAMINER  
NOTIFICATION OF DECISION

Barry Glass Educational Foundation (Agent Ashley Hartshorn Archis Architects) request a Variance of 12ft to the required 26ft maximum building height for Lot 150-B-1, Block 0000, Town of Atrisco Grant Unit 6, located at 6800 Gonzales Rd SW, Zone R-T 14-16-2-3(D)(2) Table 2-3-7

Special Exception No: .... **VA-2024-00136**  
Project No: ..... **PR-2024-010332**  
Hearing Date: ..... 6-18-24  
Closing of Public Record: 6-18-24  
Date of Decision: ..... 7-03-24

On the 18th day of June, 2024, Barry Glass Educational Foundation (Agent Ashley Hartshorn Archis Architects) (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a Variance 12ft to the required 26ft maximum building height (“Application”) upon the real property located at 6800 Gonzales Rd SW (“Subject Property”). Below are the ZHE’s finding of fact and decision

FINDINGS:

1. Applicant is requesting a Variance of 12ft to the required 26ft maximum building height.
2. The ZHE finds that the Applicant has authority to pursue this Application.
3. All property owners within 100 feet and affected neighborhood association(s) were notified.
4. The ZHE finds that the proper “Notice of Hearing” signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
5. The City of Albuquerque Integrated Development Ordinance (“IDO”), Section 14-16-6-6(O)(3)(a) (Variance-Review and Decision Criteria) reads: “... *an application for a Variance-ZHE shall be approved if it meets all of the following criteria:*
  1. *There are special circumstances applicable to a single lot that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, physical characteristics, natural forces, or by government actions for which no compensation was paid. Such special circumstances of the lot either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or economic return on the property, or practical difficulties result from strict compliance with the minimum standards.*
  2. *The Variance will not be materially contrary to the public safety, health, or welfare.*
  3. *The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.*
  4. *The Variance will not materially undermine the intent and purpose of this IDO, the applicable zone district, or any applicable Overlay Zone.*

5. *The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.”*
6. Applicant bears the burden of providing a sound justification for the requested decision, based on substantial evidence, pursuant to IDO Section 14-16-6-4(E)(3).
7. Applicant bears the burden of providing a sound justification for the requested decision, based on substantial evidence, pursuant to IDO Section 14-16-6-4(E)(3).
8. The applicant bears the burden of showing compliance with required standards through analysis, illustrations, or other exhibits as necessary, pursuant to IDO Section 14-16-6-4(E)(4).
9. Applicant appeared and gave evidence in support of the application.
10. The subject property is currently zoned R-T.
11. Based on evidence submitted by or on behalf of Applicant, it appears that there are special circumstances applicable to the Subject Property that are not self-imposed and that do not apply generally to other property in the same zone and vicinity such as size, shape, topography, location, surroundings, or physical characteristics created by natural forces or government action for which no compensation was paid, as required by Section 14-16-6-6(N)(3)(a)(1). Specifically, the unique layout of the property in relation to existing structures and infrastructure creates special circumstances that result in practical difficulties in complying strictly with IDO requirements without the requested variance.
12. Based on evidence submitted by or on behalf of Applicant, the variance will not be contrary to the public safety, health and welfare of the community as required by Section 14-16-6-6(N)(3)(a)(2). Specifically, Applicant stated that no negative impacts would result.
13. Based on evidence submitted by or on behalf of Applicant, the variance will not cause significant adverse material impacts on surrounding properties or infrastructure improvements in the vicinity as required by Section 14-16-6-6(N)(3)(a)(3). Specifically, Applicant stated that it would cause no visual or other negative impact.
14. Based on evidence submitted by or on behalf of Applicant, the variance will not materially undermine the intent and purpose of the IDO or applicable zone district as required by Section 14-16-6-6(N)(3)(a)(4). Applicant intends to comply with all IDO requirements.
15. Based on evidence submitted by or on behalf of Applicant, the variance is the minimum necessary to avoid extraordinary hardship or practical difficulties as required by Section 14-16-6-6(N)(3)(a)(5). Specifically, Applicant testified that any lesser variance would be impracticable.
16. The City Traffic Engineer submitted a report stating no objection to the Application.

DECISION:

APPROVAL of a Variance of 12ft to the required 26ft maximum building height.

APPEAL:

If you wish to appeal this decision, you must do so by July 18, 2024 pursuant to Section 14-16-6-4(V), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval

of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.

A handwritten signature in black ink, appearing to read "Robert Lucero". The signature is fluid and cursive, written in a professional style.

---

Robert Lucero, Esq.  
Zoning Hearing Examiner

cc:

ZHE File  
Zoning Enforcement  
Barry Glass, Shawn@markarmijo.com  
Ashley Hartshorn, Ashley@archisarchitects.com



PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946

## OFFICIAL NOTIFICATION OF DECISION

Barry Glass Educational Foundation  
6800 Gonzales Rd SW  
Albuquerque, NM 87121

**Project# PR-2021-005606**  
Application#  
SD-2024-00048 PRELIMINARY/FINAL PLAT

### LEGAL DESCRIPTION:

For all or a portion of: LOTS 150-A AND 150-B, TOWN OF ATRISCO GRANT, UNIT 6 zoned R-T, located at 6800 GONZALES RD SW between AIRPORT DR and ADRIAN ST SW containing approximately 5.6498 acre(s).  
(K-10)

On March 27, 2024, the Development Hearing Officer (DHO) held a public meeting concerning the above referenced application and approved the request, based on the following Findings:

1. This is a request is to consolidate Lots 150-A and 150-B, Town of Atrisco Grant, Unit 6, into one lot (Lot 150-B-1-A at 5.6498-acres in size).
2. The property is zoned R-T (Residential – Townhouse Zone District. Future development must be consistent with the underlying zone district.
3. Per 6-6(K)(3) Review and Decision Criteria, an application for a Subdivision of Land – Minor shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. The review and decision criteria for a Subdivision of Land-Minor were met by this project per 6-6(K)(3) of the IDO.
4. The applicant provided the required notices as outlined in the IDO Table 6-1-1.

5. All signatures from the surveyor, property owner(s), the City Surveyor, Real Property Division, the utility companies, and AMAFCA are provided on the Plat.
6. Per 6-6(K)(2)(l), the applicant shall record the final plat with the Bernalillo County Clerk within 3 months after the date of the final signature on the plat, or the subdivision shall be voided.
7. An Infrastructure List (IL) is included in this application. An IIA-Infrastructure Improvements Agreement with financial guarantee based on the approved IL will be required prior to final sign-off of the Plat.

---

## CONDITIONS

---

Final sign-off of the Plat by the DFT staff is conditioned as follows:

- a. The date of the DHO approval shall be recorded on the Final Plat.
- b. The application number must be added to the Plat.
- c. DXF approval from AGIS must be provided.
- d. Recorded Infrastructure Improvements Agreement (IIA) must be provided.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DHO's decision or by **APRIL 12TH, 2024**. The date of the DHO's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Official Notice of Decision

Project # PR-2021-005606 Application# SD-2024-00048

Page 3 of 3

Sincerely,

*Ronald R. Bohannon, P.E.*

Ronald R. Bohannon, P.E. (Apr 2, 2024 08:19 MDT)

Ron R. Bohannon, P.E.

Development Hearing Officer

RRB/mi

CSI – Cartesian Surveys, Inc., PO Box 44414, Rio Rancho, NM 87124

**C) APPLICATION INFORMATION**



**Form Z: Policy Decisions**

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)**

- N/A Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- N/A Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- X Letter of authorization from the property owner if application is submitted by an agent
- N/A Traffic Impact Study (TIS) form (not required for Amendment to IDO Text)
- X Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (not required for Amendment to IDO Text) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

**ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN**

**ADOPTION OR AMENDMENT OF FACILITY PLAN**

- Plan, or part of plan, to be amended with changes noted and marked
- Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

**AMENDMENT TO IDO TEXT**

- Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

**ZONING MAP AMENDMENT – EPC**

**ZONING MAP AMENDMENT – COUNCIL**

- X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- X Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable
- X Required notices with content per IDO Section 14-16-6-4(K)(6)
  - X Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - X Proof of emailed notice to affected Neighborhood Association representatives
  - X Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- X Sign Posting Agreement

**ANNEXATION OF LAND**

- Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*
- Petition for Annexation Form and necessary attachments
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)
- Board of County Commissioners (BCC) Notice of Decision

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting of hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: </p>	<p>Date: <b>01-09-2025</b></p>	
<p>Printed Name: <b>Ashley E. Hartshorn</b></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p><b>FOR OFFICIAL USE ONLY</b></p>		
<p>Project Number:</p>	<p>Case Numbers</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p>Staff Signature:</p>		
<p>Date:</p>		

## Letter of Authorization

To: Zoning Hearing Examiner


Date: January 2, 2025

Project # \_\_\_\_\_

ZHE# \_\_\_\_\_

I, Shawn Morris, c/o Mark Armijo Academy hereby authorize Ashley Hartshorn, c/o Archis Architects to act on my behalf in all matters relating to this application for Special Exception filed for my property located at 6800 Gonzales Rd SW, Albuquerque NM 87121.

Property Owner(s)\* (Applicant) Printed Name Shawn Morris, Executive Director, Mark Armijo Academy

Property Owner(s)\* (Applicant) Signature   
Shawn Morris (Jan 5, 2025 10:13 MST)

Mailing Address \_\_\_\_\_

\* Where a property has more than one owner, all owners must consent in writing to the filing of the application to the maximum extent practicable. In the case that not all of the property owners have consented in writing to the application, or when the ownership status of some parties is unclear (as shown on a title abstract or title insurance commitment), the owner shall attest in writing that all of the property owners shown on a title abstract or title insurance commitment have been notified of the application in writing at their last known address as shown on the property tax records of Bernalillo County.



## Letter of Authorization

To: Zoning Hearing Examiner

Date: January 2, 2025

Project # \_\_\_\_\_

ZHE# \_\_\_\_\_

I, Monica Aguilar c/o Barry Glass Educational Foundation hereby authorize Ashley Hartshorn, c/o Archis Architects to act on my behalf in all matters relating to this application for Special Exception filed for my property located at 6800 Gonzales Rd SW, Albuquerque NM 87121.

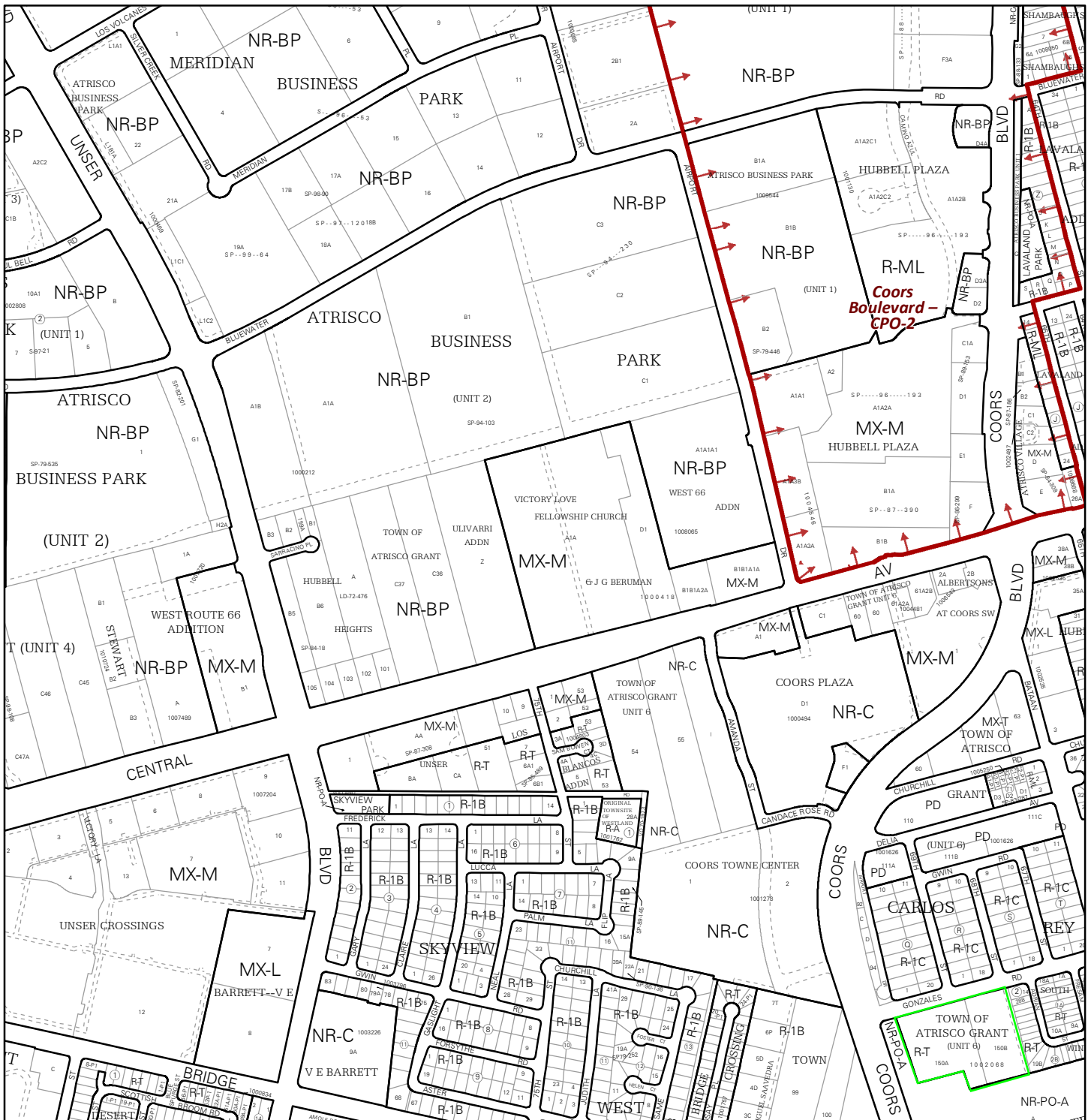
Property Owner(s)\* (Applicant) Printed Name Monica Aguilar, President, Barry Glass Educational Foundation

Property Owner(s)\* (Applicant) Signature  Monic Aguilar (Jan 6, 2025 07:39 MST)

Mailing Address \_\_\_\_\_


\* Where a property has more than one owner, all owners must consent in writing to the filing of the application to the maximum extent practicable. In the case that not all of the property owners have consented in writing to the application, or when the ownership status of some parties is unclear (as shown on a title abstract or title insurance commitment), the owner shall attest in writing that all of the property owners shown on a title abstract or title insurance commitment have been notified of the application in writing at their last known address as shown on the property tax records of Bernalillo County.



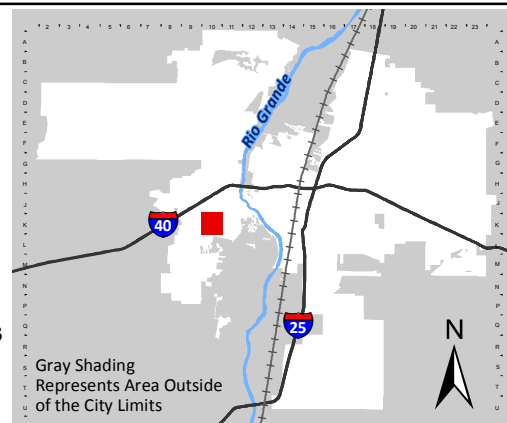


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Gray Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:  
**K-10-Z** Site

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



Relevant Design Solutions

January 31, 2025

Mr. Daniel Aragon, Chair  
Environmental Planning Commission (EPC)  
City of Albuquerque  
600 2<sup>nd</sup> Street NW, 3<sup>rd</sup> Floor  
Albuquerque, NM 87102

**Re: Zone Map Amendment Request**

Dear Mr. Chairman,

I, Ashley Hartshorn of ARCHIS Architects, on behalf of the Barry Glass Educational Foundation and Mark Armijo Academy (Mark Armijo), am requesting a Zone Map Amendment from R-T to R-MH for the school property at 6800 Gonzales Rd SW, Albuquerque, NM 87121. The subject property is legally described as Lots 150-A and 150-B for Town of Atrisco Grant Unit 6 (Comprising of Lots 150 and 151 Town of Atrisco Grant Unit 6), between Airport Dr. SW and Adrian St. SW (K-10-Z) containing Approx. 5.6 acres. The intent of the Zone Map Amendment is to solidify the existing school use on both lots of the site as a Primary Permissive Use and correct the non-conforming use of the school on the existing west lot (150-A).

**History of this Request**

- Current IDO Zone District: R-T; Old Zoning Designation: R-T
  - The high school use existed on Lot 150-B prior to the effective date of the IDO, therefore it still maintains Conditional Approval.
  - The high school use did not exist on Lot 150-A prior to the effective date of the IDO, therefore would require Conditional Use Approval. There is one (1) portable classroom on Lot 150-A, and this request would also remedy that nonconforming use.
- The existing facilities were previously used by a Church. In 2008, a request was placed to change the zone from SU-1 for Church and Related Facilities to R-T (Project Number 1002068, Case Number 08EPC-40025).
- A PRT was conducted in June 2023 with recommendations to amend the existing site development plan or request a zone change (PA #23-043).
- Mark Armijo received conditional approval to replat their two lots, Lots 150-A and 150-B, Town of Atrisco Grant, Unit 6, into one lot – proposed Lot 150-B-1, Town of Atrisco Grant, Unit 6 (DHO Project #PR-2021-005606). The Financial Guaranty to finalize this approval is currently in process and nearing completion.
- Follow-up discussions led to the path of a height variance and site plan amendment. The height variance was approved (VA-2024-00136), however initial discussions with City Staff about the next step of a site plan amendment subsequently changed the path to this zone change request.

A meeting was held with me, Ashley Hartshorn with Archis Architects, and Michael Voss with COA Planning on September 3, 2024, to discuss the project, at which point a height variance for the site had already been applied for and granted. The subject property's history of use approvals is not well documented; however, it is known that the existing building was previously a church and was converted to a school facility 10-15 years ago. This transition has not been able to be clearly tracked down, and to avoid the need for an updated Conditional Use Approval and Site Plan Amendment, it was suggested a Zone Map Amendment would be a better path forward for all parties involved. The site has already been used as a high school for several years and a zone change would solidify that use as Permissive Primary while allowing for the height needed for a 2-story school (which was already approved via Variance by the City and supported by neighborhood residents).

### **Existing Site Information**

The subject property (Lots 150-A and 150-B) consists of 5.6498 acres total. The east side of the property (Lot 150-B, 2.4712 acres) contains the existing 1-story school building, portables and parking, while the west side of the property (Lot 150-A, 3.1786 acres) is currently undeveloped, except for (1) portable which is documented in Administrative Amendment File # SI-2021-00891 / Project # PR-2021-005606, however was not previously conditionally approved for school use. The site is currently zoned R-T, which allows high schools as a Conditional Primary Use. Per the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan):

- a. The subject site is designated as an Area of Change.
- b. The subject site is within the Southwest Mesa Community Planning Area.
- c. The subject site is within 660-ft of the Coors Blvd Major Transit Corridor as designated by the Comprehensive Plan.

### **Request for Zone Map Amendment and Site Goals**

The Applicant is requesting a zone change from R-T to R-MH to allow the existing high school use as a Permissive Primary Use instead of the current Conditional Primary Use. This change would solidify the school's future expansion plans and allow for height required for a 2-story educational building without the need for the previously approved variance. The more dense and community-focused development permissive in a R-MH zone would further the subject property as a transition zone between the Major Transit Corridor and the longstanding residential neighborhoods.

Construction documents are nearly complete for Phase 1 and Phase 2 of the campus development, Phase 1 consisting of a new gymnasium building and parking lot on the west lot and Phase 2 consisting of the renovation of their existing facility. Phase 1 is anticipated to go through building permit review and start construction in the Spring or Summer of 2025, with Phase 2 following. Phase 3, a new 2-story school and administration building for the west side of the site, has already been preliminarily designed, however construction will occur in a future year dependent upon funding.

Many Permissive Uses are similar between R-T and R-MH, a main difference and reason for this request being to change schools from a Conditional Primary Use (R-T) to a Permissive Primary Use (R-MH). Existing Conditional Use approvals for the site are not well documented, and allowing the school as a Permissive Use will alleviate any issues for the long-term expansion plans.

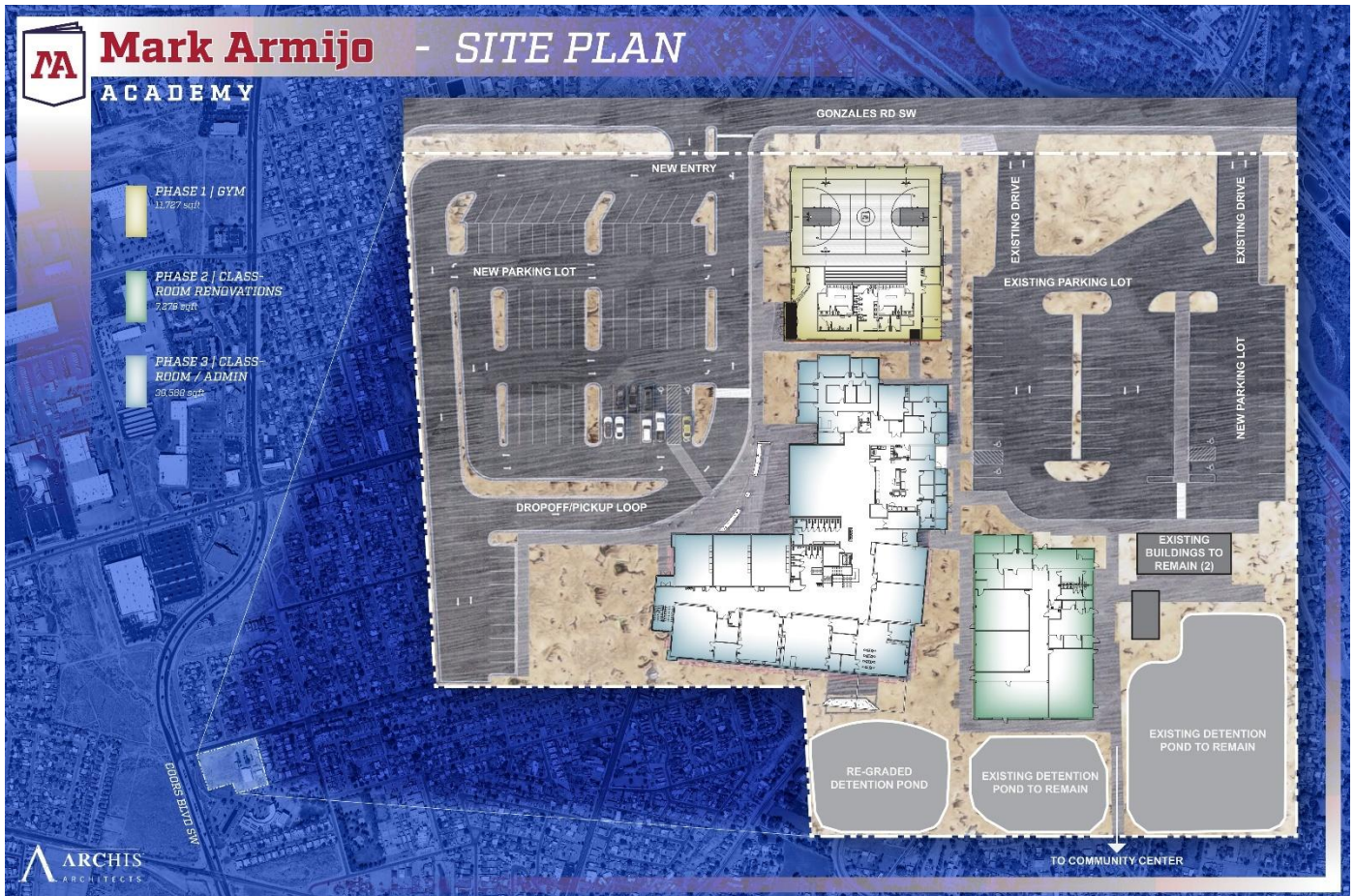


Figure 1 - Site Plan with Phasing

**Surrounding Zoning and Land Use**

The subject site and proposed R-MH zone is within 1,000-ft of another R-MH zone, separated by a pocket of R-T zoning with single-family residences. Residential zones R-1C and R-1B are across streets to the north and west respectively. The R-1C zone is an established neighborhood of single-family residences, while the R-1B zone is currently undeveloped directly along Coors Blvd SW. Abutting the subject site to the south is a NR-PO-A zone which houses the Alamosa Community Center at Ted M. Gallegos Complex, including the Alamosa Child Development Center/Preschool, as well as the recently developed Alamosa Dog Park.



*Figure 2 - Existing Zoning Map*

The adjacent Residential zones, including the subject property’s current R-T zone, allow schools (including high schools) as a Conditional Primary Use. The NR-PO-A zone to the south allows schools (including high schools) as a Permissive Primary Use. Solidifying this lot with schools as a Permissive Primary Use is advantageous to the future of the community in being able to provide education and community gathering to its residents without unnecessary hurdles in the future.

**Zone Map Amendment – Justification and Policy Analysis**

Per IDO Section 14-16-6-7(G)(3), an application for a Zoning Map Amendment shall be approved if it meets all of the following criteria:

**6-7(G)(3)(a)** The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

**Applicant Response:** *The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by clearly facilitating the City’s goals and policies as detailed below. This request would strengthen the educational capacity of the City’s youth, providing more spaces for students to thrive while learning the importance of education, community engagement, and public service. As a community school, Mark Armijo actively works with its neighbors and non-profit organizations to make their community stronger and instill in their students and staff the importance of community engagement. Infilling this lot with more dense development serves as a buffer between community functions.*

**Goals & Policies of the ABC Comp Plan and Applicant Responses**

**Goal 4.1 Character:** Enhance, protect, and preserve distinct communities.

**Applicant Response:** *A zone change to R-MH clearly facilitates Goal 4.1 which aims to enhance, protect, and preserve the distinct community the subject site is within. The adjacent neighborhoods have a longstanding relationship with the school at this site, and this site (along with the site to the south which houses the Alamosa Community Center) buffer and protect the single-family residences from Coors Blvd SW. The expansion of the school will enhance the neighborhood's resources and spaces to come together, preserving this neighborhood's distinct history of being community-focused.*

**Policy 4.1.3** Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place;

**Applicant Response:** *The longstanding use of the site as a school, and the ability to infill the mostly vacant lot with an expansion of that use, clearly facilitates this policy by protecting and enhancing the community feature of this neighborhood. The school, along with the adjacent Alamosa Community Center, contribute to the distinct identity of this community-focused neighborhood, and infill would instill the sense of place and pride for current and future residents.*

**Policy 4.1.4** Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

**Applicant Response:** *The continued use of the subject property as a school expands opportunities for youth to learn, connect, and grow. The Southwest Mesa is historically heavily single-family residential, and this multi-generational area requires community-focused services and facilities for their residents to thrive. Mark Armijo prides itself on investing in students of all backgrounds and creating partnerships with other area associations and organizations to provide the best opportunities for their students.*

*The school will continue to be a fixture within this community, serving as cornerstone of the neighborhood entrance off a Major Transit Corridor and visually welcoming nearby residents into the area. The requested zone change clearly facilitates this policy by furthering the long-term health and vitality of a community that prides itself on engagement and education.*

**Goal 4.2 Process:** Engage communities to identify and plan for their distinct character and needs.

**Applicant Response:** *On April 5, 2023, Archis Architects held a kick-off meeting at Mark Armijo Academy where students, faculty, and parents were invited to attend. We discussed the overall plan for the school, based on a previously completed Educational Specification, and engaged in discussions and feedback regarding the proposed development overall. Over the next few weeks, we met with different departments within the school (Math/ELA, Administration, and Science/Humanities) to dive further into the specific needs of their growing curriculum and how to best balance the needs of students and teachers while enhancing the property as a community asset. Many ideas were taken into consideration and helped develop the overall plan for the campus expansion. As the project continues, we will continue to engage members of the school and community to keep the goals on track.*

**Policy 4.2.2** Community Engagement: Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents.

**Applicant Response:** *Archis Architects and Mark Armijo Academy have, and will continue to, facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents. On March 11, 2024, Jeremy Ortiz and Ashley Hartshorn of Archis Architects, along with Shawn Morris, Executive Director of Mark Armijo, presented the project and its long-term goals to the Alamosa Neighborhood Association. The presentation was met with enthusiastic support and optimism for the neighborhood. The Neighborhood Association representative invited us back to provide updates on the status of the project at the Association's January 13, 2025 meeting, which they were equally enthusiastic about. Mark Armijo has a representative at nearly all of the Alamosa Neighborhood Association meetings where they give updates on their student's accomplishments and outreach efforts within the neighborhood. As the school*

*continues to grow its campus, we look forward to continuing neighborhood conversations and providing flexible spaces for the community to utilize outside of standard school operations.*

**Goal 4.3 City Community Planning Areas:** Protect and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

**Applicant Response:** *The proposed zone change to R-MH directly supports and facilitates Goal 4.3 by solidifying the identity of the surrounding neighborhoods as a multi-generational area that places cultural importance on education and community engagement. Because Mark Armijo is a community school that has been a part of the neighborhood for several years, the school serves as a place for its community to take pride in and has created a set of partnerships between the school and other community resources. Community schools are centers of the community, open to everyone, and because of that the school is eager to expand their ability to offer after-school programs to meet the needs of the community, while also having a proper gymnasium space for other community teams to utilize for sport and gathering. Additionally, the expanded uses permissive in a R-MH zone overall encourage more people and services to be a part of the area, which are ideal for a neighborhood and its connection to the continual growth of Areas of Change surrounding it.*

**Goal 5.2 Complete Communities:** Foster communities where residents can live, work, learn, shop, and play together.

**Applicant Response:** *A zone change to R-MH facilitates Goal 5.2 which will continue the school use of the site for community members to learn, work, and play. Children will be able to learn there for years to come, future development will have more space for after-school learning opportunities for both youth and adults, the expansion of the school on the currently vacant property will create more jobs for teachers, administrators, and maintenance staff, and the planned gymnasium will house a competition-sized court for many in the community to utilize for proper team events that is hard to find in the immediate area.*

**Policy 5.2.1 Land Uses:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

**Applicant Response:** *The current overall site is underutilized, and expanding the school on the mostly vacant west lot is a more productive use for the school and the neighborhood, clearly facilitating a healthy, sustainable, community. A school use, and generally more dense development, adds a vibrant mix of uses to a predominantly single-family residential neighborhood, and adds to the community's distinction as a place for families to live, grow, and thrive.*

*Utilizing the current undeveloped lot for a school increases overall student capacity for the betterment of the community's youth and students who strive to learn. Development of the lot will sustain the community's character for years to come, and more usable space will not only be good for students, but will also provide spaces for the greater community to come together, engage in after-school activities with the school and other non-profit organizations, and also the gymnasium will serve as a competition space for surrounding teams to utilize. The expanded school use will also provide consistent jobs for teachers and other educational facility staff, sustaining healthy opportunities for people of all ages.*

**Goal 5.6 City Development Areas:** Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

**Applicant Response:** *A zone change to R-MH clearly facilitates Goal 5.6 by supporting development suitable for this Area of Change with a use that already exists and an integral part of the adjacent Areas of Consistency. The subject property acts as a buffer between the nearby Major Transit Corridor and the long-established residential neighborhoods, protecting their character and enhancing the entrance to the neighborhood. The existing buildings on the east side of the subject property have been utilized for many years as a school, and prior to that a church.*

*The community focus and desire to have a place for community members to learn and come together is a longstanding desire of the area, one that along with the adjacent Alamosa Community Center, adds to the welcoming nature of the neighborhood and the buffer it creates between Coors Blvd SW and the residents.*

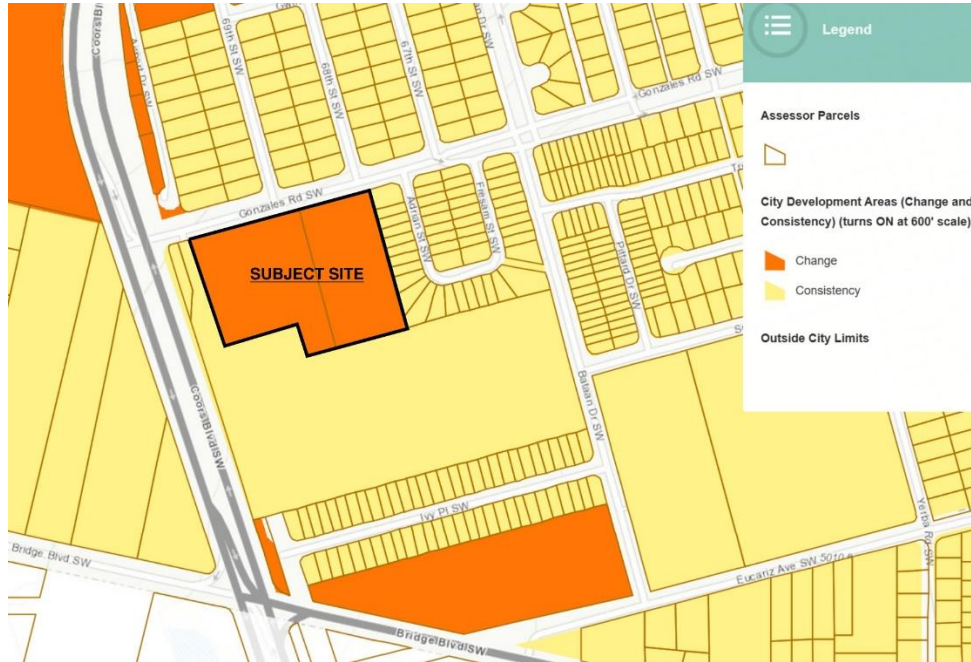


Figure 3 - Development Area Map

**Policy 5.6.4** Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

**Applicant Response:** *In line with the Southwest Mesa Community Identity (4.1.3.2 City Community Planning Areas), the school campus serves as a transition and buffer between the commercial activity concentrated just north along Coors Blvd and the residential neighborhoods. The layout of the site as designed places the new buildings relatively in the center of the site, keeping parking lot buffers on either side. This helps keep the open space feel along this area of Coors Blvd SW while not placing larger buildings directly next to residences. Any future development would be designed within the limits of IDO dimensional standards while keeping in mind its place as a transitional massing between neighborhood types.*

**Policy 12.3.8** Education: Complement programming provided by educational institutions to expand educational opportunities for residents in all cultural, age, economic, and educational groups.

**Applicant Response:** *Continued school use at the subject property furthers this goal by allowing an educational center that will provide a multitude of services. Mark Armijo already partners with other agencies to provide resources and programs for youth who are otherwise at-risk of not graduating, workforce training and after school programs, and will be able to build upon and expand those offerings with the development of their campus.*

**6-7(G)(3)(b)** If the subject property is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established



character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate.

**Applicant Response:** *The subject property is not designated as an Area of Consistency.*

**6-7(G)(3)(c)** If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets any of the following criteria.

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development and density and intensity, and connectivity), and other applicable adopted City plan(s).

**Applicant Response:** *The subject property is designated as an Area of Change. The proposed zone district R-MH, per criterion 3, is more advantageous to the community as articulated by the ABC Comp Plan because it solidifies current land use at the subject site while allowing appropriate development standards required for a proper educational and community-focused facility. The Southwest Mesa area has seen a more dense pattern of growth in recent years, and to allow infill development on the site will aid in varying permissible uses in the area while acting as a point of connection between the residential neighborhoods and Coors Blvd SW. While some commercial zones are nearby, this is largely a residential-heavy area of the westside that must currently rely more on commuting than having necessary community amenities nearby. Maintaining and expanding the population of a high school on this site adds to the neighborhood-oriented services available, creating density at an appropriate scale while connecting the community through educational opportunities.*

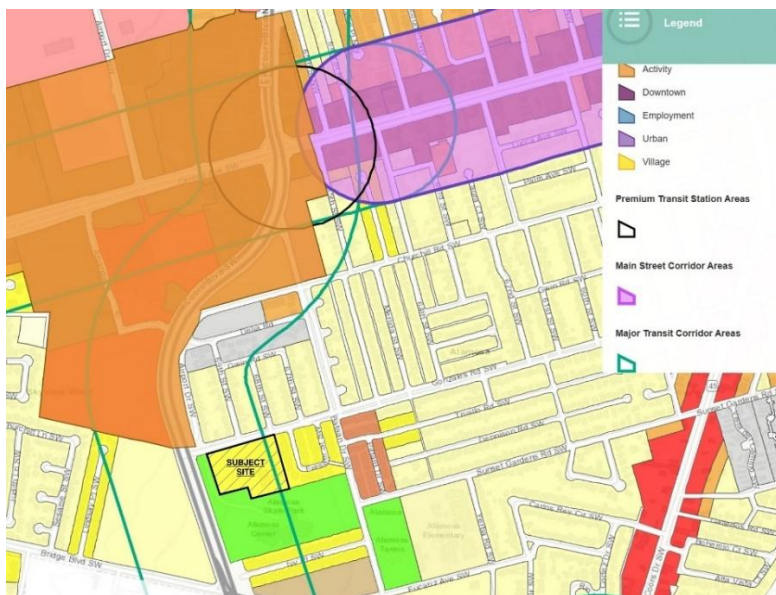


Figure 4 - Centers & Corridors Map

**6-7(G)(3)(d)** The requested zoning does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 14-16-4-3 associated with that use will adequately mitigate those harmful impacts.

**Applicant Response:** *The requested zoning does not include permissive uses that would be harmful to adjacent properties, the neighborhood, or the community as many permissive uses are similar between R-T and R-MH. A main difference and reason for this request is it changes schools from a Conditional Primary Use to a Permissive Primary Use.*

*Overall, the R-MH zone increases opportunity on the site for more dense infill development as a transition between Coors as a Major Transit Corridor and the single-family residential neighborhoods, encouraging multi-family dwellings and densified dormitory and group home developments. Additionally, all K-12 schools plus daycares become Primary Permissive instead of Conditional, increasing opportunities for different learning paths in the future. A future hope of Mark Armijo is to include a pre-school classroom to better serve young parents who are still committed to completing high school.*

*Most of the other added commercial uses are only permissible as an accessory use, something that would limit certain development due to the size of the site. Additionally, infilling the site with a school building will limit future development that is less desired. While a school building is flexible for learning and community-focused needs, it is difficult to reuse a school for dwellings, offices, or commercial/retail type spaces. The infill of a vacant lot with a school will help deter other types of uses, and even so, they would have to follow current Building Codes, IDO Standards, and go through additional public hearing and feedback processes.*

TABLE: Permissive Use Comparison: R-T and R-MH		
Use	R-T	R-MH
<b>RESIDENTIAL USES</b>		
Dwelling, single-family detached	P	-
Dwelling, cluster development	P	-
Dwelling, cottage development	P	-
Dwelling, two-family detached (duplex)	P	-
Dwelling, townhouse	P	P
Dwelling, live-work	C	P
Dwelling, multi-family	-	P
Assisted living facility or nursing home	C	P
Community residential facility, small	P	P
Community residential facility, large	-	P
Dormitory	-	P
Group home, small	-	P
Group home, medium	-	C
Group home, large	-	C
<b>CIVIC AND INSTITUTIONAL USES</b>		
Adult or child day care facility	C	P
Community center or library	P	P
Elementary or middle school	C	P
High School	C	P

Museum	CV	C
Parks and open space	P	P
Religious institution	P	P
Sports field	-	-
University or college	-	CV
Vocational school	-	CV
<b>COMMERCIAL USES</b>		
Community garden	P	P
Auditorium or theater	-	A
Health club or gym	-	A
Residential community amenity, indoor	P	P
Paid parking lot	-	A
Parking structure	-	A
Residential community amenity, outdoor	P	P
Other outdoor entertainment	CA	CA
Art gallery	P	P
Farmers' market	T	T
General retail, small	-	A
Park-and-ride lot	-	C
Transit facility	-	C

*\*See IDO for additional allowable uses in categories of Telecommunications, Towers, and Utilities, and Accessory and Temporary Uses*

**6-7(G)(3)(e)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems, meet any of the following criteria:

1. Have adequate capacity to serve the development made possible by the change of zone.
2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement (IIA).
4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

**Applicant Response:** *The future development of the subject-property will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and an IIA. Plans for the property include widening the existing sidewalk along the south side of Gonzales Rd SW and providing a landscape buffer to improve existing infrastructure per current IDO requirements. Additionally, the development of the site will improve upon those requirements by adding a crosswalk from the subject property to the north side of Gonzales Rd SW, a pedestrian crossing that doesn't currently exist and will make traversing the neighborhood safer for residents. These improvements are documented as part of an IIA Procedure B Financial Guaranty that is in process of being finalized.*

*Additionally, a traffic study has been completed and coordinated with the City of Albuquerque Transportation Department and the New Mexico Department of Transportation. The development of the site will make the neighborhood safer, providing adequate parking and queuing space for students, parents, and staff, keeping overflow off the street. Per coordination with the Transportation Departments, the new parking lot entrance will have a right-in only, eliminating cars waiting to turn left into the new parking lot, and traffic can exit the new parking lot and go either east or west on Gonzales Rd SW.*

**6-7(G)(3)(f)** The applicant's justification is not completely based on the property's location on a major street.

**Applicant Response:** *The zoning map amendment is not based on the property's location on a major street. The use of the site is existing and located along Gonzales Rd SW and Airport Dr SW.*

**6-7(G)(3)(g)** The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

**Applicant Response:** *The Applicant's justification is not based on the cost of land or economic considerations, but rather for the high school to continue operating at its current location as a Permissive Use and more easily develop its expanded campus over the next several years to continue serving its surrounding community.*

**6-7(G)(3)(h)** Zoning Map Amendment does not apply a zone district different from surrounding districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the requested zoning will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least 1 of the following applies.

1. The subject property is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The subject property is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. The nature of structures already on the subject property makes it unsuitable for the uses allowed in any adjacent zone district.

**Applicant Response:** *The Zoning Map Amendment does create a "spot zone", and the subject property is different from surrounding land because it can function as a transition between adjacent zone districts. The zone change will correct the non-conforming use of the existing school portable on the west property (Lot 150-A) and clearly facilitates the ABC Comp Plan as demonstrated in the Goals and Policy analysis in this letter.*

*The surrounding area of the subject property contains a few different zone categories. The requested R-MH zone is within 1,000-ft of another R-MH zone, separated by a pocket of R-T zoning. Other adjacent zones are R-1C and R-1B which also already allow schools as a Conditional Primary Use, and abutting the subject site to the south is a NR-PO-A zone, which also allows schools as a Permissive Primary Use and currently houses the Alamosa Community Center at Ted M. Gallegos Complex, including the Alamosa Child Development Center/Preschool, as well as the recently developed Alamosa Dog Park.*

*Nestled between an employment center and an activity center, near the end of a main street and off a Major Transit Corridor, infilling the subject property with denser and community-focused development is ideal for this point of transition between the ever-developing area of Coors Blvd SW and the single-family residential neighborhoods and furthers the goals of the nearby Transit Corridor. Additionally, the subject property is identified as an Area of Change in the ABC Comp Plan; however, the immediately surrounding areas are in Areas of Consistency. Development should be focused on Areas of Change (subject property) with both existing and infill infrastructure that can be served by the Corridor and serve as a zoning transition between uses or changes in development intensity between Areas of Change and Areas of Consistency.*

**Conclusion**

As outlined above, the proposed zone change from R-T to R-MH is consistent with the health, safety, and general welfare of the City as shown by clearly facilitating a preponderance of applicable goals and policies in the ABC Comp Plan, as amended, as well as the current edition of the Integrated Development Ordinance. The subject property already functions as a transition between adjacent zone districts and a buffer between a Major Transit Corridor and more traditional residential uses. The zone change would simply solidify the existing use of the site for a school as a Permissive Primary Use instead of Conditional Primary, allowing the school to expand over the next several years and appropriately increase student capacity to serve surrounding neighborhoods.

The zone change would not cause any negative effects on surrounding properties or infrastructure, and instead would improve the use of the site for the benefit of its neighborhood. We are excited to see the development of this property for the betterment of the Southwest Mesa Area and increased educational opportunities for the City's youth.

We hope this information is sufficient to review and grant the Zone Change Amendment from R-T to R-MH.

Best regards,



Ashley E. Hartshorn  
Project Manager, ARCHIS Architects

**D) STAFF INFORMATION**

January 23, 2025

TO: Ashley E. Hartshorn, ARCHIS Architects

FROM: Daniel R. Soriano, Staff Planner  
City of Albuquerque Planning Department

TEL: (505) 924-3935

RE: Project # PR-2024-010332, RZ-2025-00001 — 6800 Gonzales Rd SW ZMA

---

I have completed a preliminary review of the proposed Zone Map Amendment (Zone Change). I would like to discuss the justification letter and project. I am available to answer questions about the process and requirements moving forward. Please provide the following:

⇒ Revised Justification letter (electronic) by:

**5 PM on Friday, January 31, 2025**

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though we've done our best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. This is what we have for the legal description/what will be posted for the legal ad:
  - Ashley Hartshorn, agent for ARCHIS Architects, requests a zoning map amendment from R-T to R-MH for all or a portion of Lot 150-A and 150-B Plat of Lots 150-A & 150-B for Town of Atrisco Grant Unit 6 (Comprising of Lots 150 & 151 Town of Atrisco Grant Unit 6), between Airport Dr. SW and Adrian St. SW (K-10-Z). Containing Approx. 5.6 acres (Rounded for advertising purposes).
  - Please confirm the legal description is correct.
- C. It is my understanding that this is a request for: a Zoning Map Amendment - EPC (ZMA; zone change) from R-T to R-MH for the lots legally described in section B above to allow the existing high school to become a permissive use in the Integrative Development Ordinance (IDO).

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is on **February 20, 2025**. Final staff reports will be available one week prior, on **February 13, 2025**.
- C. Note that, if a zone change request is denied, you cannot reapply again for one year.
- D. Agency comments will be distributed **after February 3, 2025**. I will email you a copy of the comments and forward any late ones to you.

### 3) Notification & Neighborhood Issues:

*Notification requirements for a Zone Change are explained in Section 14-16-6-4(J), Public Notice (IDO, p. 422). The required notification consists of: i) an emailed letter to neighborhood representatives indicated by the ONC, ii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iii) yellow sign posting.*

- A. It appears that the applicant has provided notice of the application to all adjacent property owners via certified mail and email to neighborhood representatives as required by the IDO. Have you received any comments or requests?
- B. Was the “Public Notice of a Hearing” form included in e-mails to neighborhood representatives and in mail to adjacent property owners? Can you please send a electronic copy of those forms as soon as possible.
- C. The notification to property owners appears complete. Thank you for providing photos of the certified mail receipts and a list of the neighbors within a 100’ buffer. Do you have a clearer photo of the letters sent? The one provided is blurred and difficult to make out the names and addresses.
- D. **The sign posting agreement form will need to updated, it shall specify the sign posting period as February 5, 2025 to Friday March 7, 2025.** Please resubmit the completed and signed sign posting agreement as soon as possible.
- E. Please submit photos of the posted signs on or before **February 5<sup>th</sup>**.
- F. Please let me know if you receive any additional comments. If you do, these will be included in our staff report.

### 4) Project Letter:

The project letter is off to a good start, though I have some revisions to the responses in the review and decision criteria portion to improve clarity and strengthen your request.

- A. In the intro of your letter please state why the EPC is hearing this request.
- B. Please include the following, above “Environmental Planning Commission” in the address portion of your letter → Mr. Daniel Aragon, Chair
- C. In the first paragraph of your letter to the commissioners, you provide a legal description that is different than what is currently on AGIS. Please verify the correct, current legal description to ensure accuracy and consistency in the staff report, application, justification letter and correspondences to residents.
- D. In the History portion of the letter, if you have any other history to provide about the lot itself, please do so. Such as, any other zone history (Pre-IDO zone?). Since the high school existed prior to the effective date of the IDO, it may be a good idea to include what zone it was prior to the IDO.



- E. There are some goals and policies that need refining. It is good to discuss the zone change from a generic land use perspective, the use of a school may not exist forever, so it is good to address any other permissive uses granted in the R-MH zone that may have an impact on the surrounding community, but absolutely reinforce your request by discussing the high school use and potential future projects.

### 5. Justification Criteria Goals and Policies:

The task in a justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how your request furthers (makes a reality) each applicable Goal and policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or Policy.

Be as detailed as possible in these responses. Responding to the zone change criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:

1. Answering the questions in the customary way
2. Using conclusory statements such as “because \_\_\_\_”
3. Re-phrasing the requirement in the response
4. Choosing an option when needed to respond to a specific requirement

Please make sure the goals and policies used in your justification letter are centered around this request (a Zoning Map Amendment). Zoning Map Amendment deals with land use and all permissive land uses permitted in that particular zone.

Refer to the link provided below for examples of Zone Map Amendments staff reports and justification letters: <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

- A. You provided responses to 7 Goals and 9 Policies, the following areas of your justification for a Zoning Map Amendment (ZMA) need revision or replacement to help justify your request.
- B. Please be sure to provide a response to each individual Goal, Policy and Sub-Policy that you decide your request will further support. For example, you listed Policy 4.1.3 and 4.1.4 with a applicant response below, responding to both. Please separate those, provide one response to 4.1.3 and another for 4.1.4
- C. Revisions to Goals and Policies:
  - a. Goal 4.1 - Be more specific, how would the zone change to R-MH accomplish enhancing, protecting and preserving the distinct community that the site is within?
  - b. Policy 4.1.3 - Please rewrite, using the information above, respond to this policy individually.
  - c. Policy 4.1.4 - Please rewrite, using the information above, respond to this policy individually.
  - d. Goal 4.2 - Please rewrite, using the information above, respond to this goal individually. If a meeting was already held, answer the question of how you have identified and how you will plan around the character and needs of the community.

- e. Policy 4.2.2 - Please rewrite, using the information above, respond to this policy individually. Similar to Goal 4.1, explain if and how you have identified and addressed residents needs/concerns.
- f. Goal 4.3 – Good response, revise slightly to include “because” statements to solidify that this request will further this goal.
- g. Goal 5.1 & Policy 5.1.10 – Reconsider this Goal, in responding to this goal and policy, remember what the scope of the request is and if it would apply to furthering this idea of Major Transit Corridors and Centers & Corridors.
- h. Goal 5.2 – Please explain further and answer the question, how would this zone change foster a community where residents can live, work, shop and play together?
- i. Policy 5.2.1 - Good response, cut it down to specifically answer the question on how what the mix of uses will be and how the community will be able to easily access them. You made good points about utilizing spaces for community events, are there any other amenities that the phased expansions will offer the community?
- j. Goal 12.3 – How will your request further this goal? Please provide more detail on how.
- k. Policy 12.3.8 – Great response.
- l. Goal 5.6 (under criteria b) – Provide more details on how the request would encourage/direct growth in an area of change. You can speak about the future expansions, or how it would create infill development on an underdeveloped lot.
- m. Policy 5.6.3 (under criteria b) – Please remove, not applicable, site is in an Area of change.
- n. Policy 5.6.2 (under criteria c) – Review this policy, considering the revisions and information provided above, will you be able to answer the how will this request further this policy specifically? If unable to, consider removal.
- o. Policy 5.6.4 (under criteria c) - Good response, don’t really need the first paragraph, however include the sentence about how the school campus serves as a transition and buffer between the commercial activity concentrated just north along coors and residential neighborhoods. Perhaps leave the height variance detail out as the goal of the policy is to limit building height.

**Zone Change – 6-7(G)(3) Review and Decision Criteria**

1. In your responses to some criteria, you included Goals and Policies that may be relevant to the criteria you are responding to. In this section, you will only provide a response to the criteria, move all relevant Goals and Policies to the Goal & Policy section, please do not include them under the criteria responses.

- 6-7(G)(3)(a): Expand on the response a little bit, mentioning the specific goals (ex: Education, Public Service etc.) you are furthering with this request would strengthen this statement.
- 6-7(G)(3)(b): Subject site is not within an area of consistency; you may simply state this and move to the next criteria.
- 6-7(G)(3)(c): Your response should clearly reflect which option you are selecting as the specific criteria relevant to your request. You only need to select and respond to one option. Remember to provide more specifics about how your request will meet and further the option you pick.
- 6-7(G)(3)(d): Great response and inclusion of the tables; In your dialogue, you only need to speak to the new permissive uses in R-MH and if there were any harmful impacts to the surrounding community, if there were any harmful impacts, how would they be mitigated? (Through use-specific standards in the IDO? Requiring a public hearing?)
- 6-7(G)(3)(e): There is no development being reviewed with this request, just the zone change. When selecting the option that would best match the request, make sure to rephrase the direct requirement. (ex. "it will have adequate capacity when the applicant fulfills....")
- 6-7(G)(3)(f): Great response, you can remove everything after the ZMA is not based on the property's location on a major street as it is not necessary to responding to the criteria. You can even explain that the use is existing and the site is along Gonzales Rd SW.
- 6-7(G)(3)(g): Excellent response.
- 6-7(G)(3)(h): The response doesn't address the question in criteria H, it does create a spot zone, so make sure to respond directly to the requirements: Include a statement that shows that this request will, and explain how, it will facilitate implementation of the Comp Plan and directly respond to one of the options provided.

**E) PUBLIC NOTICE**

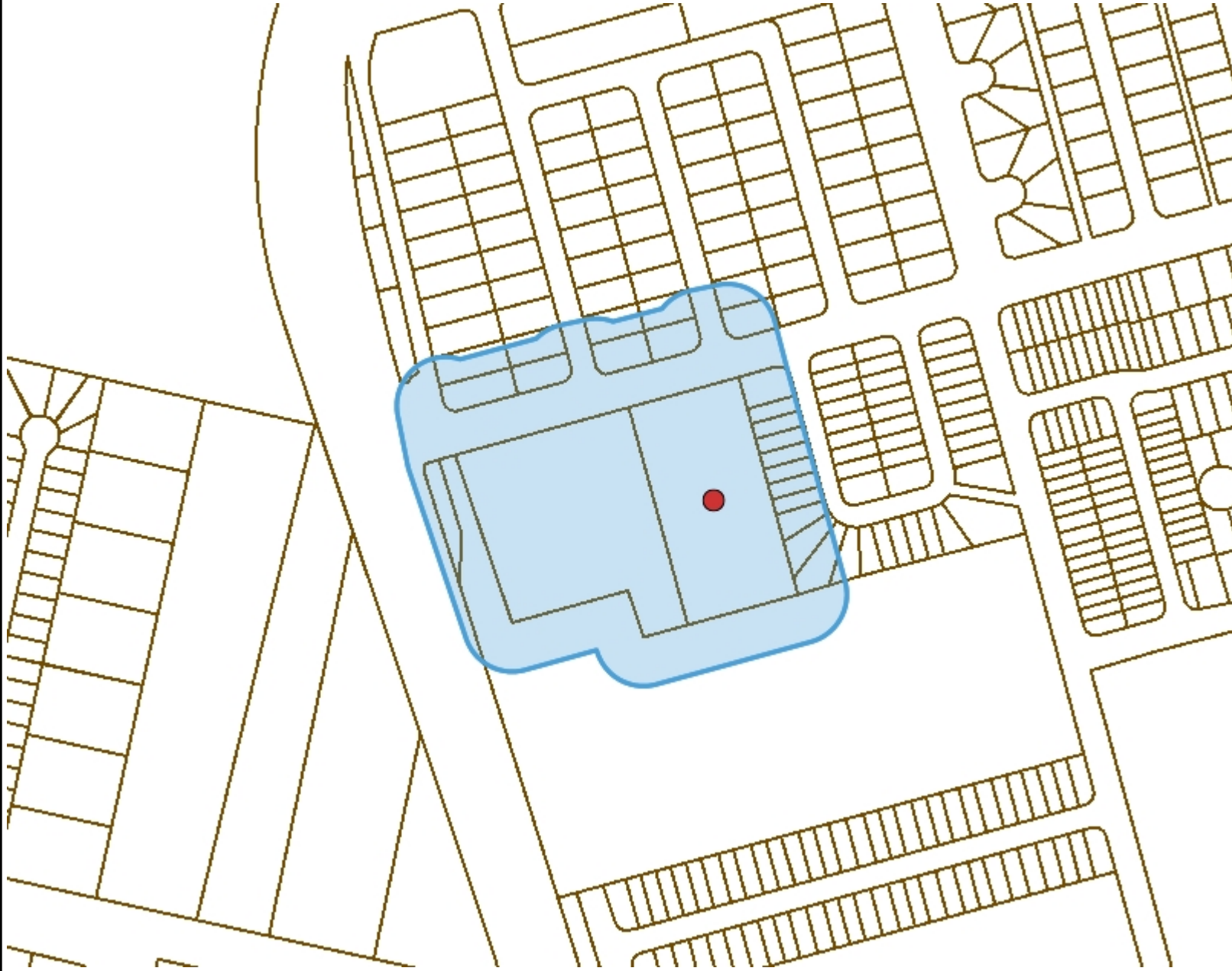


# 6800 Gonzales Rd SW



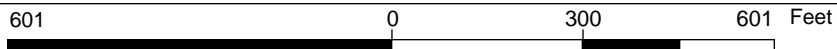
## Legend

□ Bernalillo County Parcels



## Notes

Buffer: 100 Ft.  
ROW: Gonzales Rd SW



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
1/9/2025 © City of Albuquerque

1: 3,606

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

BACA ELAINE  
509 ADRIAN ST SW  
ALBUQUERQUE NM 87121

BARRY GLASS EDUCATIONAL  
FOUNDATION  
6800 GONZALES RD SW  
ALBUQUERQUE NM 87121-2485

BARRY GLASS EDUCATIONAL  
FOUNDATION  
6800 GONZALES RD SW  
ALBUQUERQUE NM 87121-2485

CASTILLO ARTURO  
628 FRESAM ST SW  
ALBUQUERQUE NM 87121-3288

CEBALLOS GERARDO LEMUZ  
527 ADRIAN ST SW  
ALBUQUERQUE NM 87121-3274

CHAVEZ RICHARD E  
501 ADRIAN ST SW  
ALBUQUERQUE NM 87121

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

CORDOVA JACQUELINE S  
523 ADRIAN ST SW  
ALBUQUERQUE NM 87121-3274

GARCIA JOANNE D  
437 68TH ST SW  
ALBUQUERQUE NM 87121-2455

GUTIERREZ GRACIELA MANRIQUEZ &  
MANRIQUEZ-BRAVO DAVID  
433 68TH ST SW  
ALBUQUERQUE NM 87121-2455

HOLGUIN RAFAEL & JUANA  
535 ADRIAN ST SW  
ALBUQUERQUE NM 87102

LAING KEITH  
543 ADRIAN ST SW  
ALBUQUERQUE NM 87121

LOPEZ MANUELA & ALMA NEVAREZ  
437 69TH ST SW  
ALBUQUERQUE NM 87121

MONTOYA BRIANA G CARRION  
519 ADRIAN ST SW  
ALBUQUERQUE NM 87121-3274

MUSSER SCOTT A & MARES LUIS G &  
MARES FRAN J  
436 69TH ST SW  
ALBUQUERQUE NM 87121-2458

PAEZ ORLANDO & TATRO GERARDO F &  
GONZALEZ ANNABEL P  
432 69TH ST SW  
ALBUQUERQUE NM 87121

PEREA JUDY L  
432 AIRPORT DR SW  
ALBUQUERQUE NM 87105-2483

PSB 401K PLAN TF ATTN PSB REAL  
ESTATE SERVICES LLC  
10005 PROPPS ST NE  
ALBUQUERQUE NM 87112-1549

ROCHA TIBURCIO GUERRERO &  
SALDANA MARIA D GUERRERO  
433 69TH ST SW  
ALBUQUERQUE NM 87121-2457

RODRIGUEZ AGUSTIN  
436 AIRPORT DR SW  
ALBUQUERQUE NM 87121-2483

SAAVEDRA GENE & ERNESTINE A  
436 68TH ST SW  
ALBUQUERQUE NM 87121-2456

SANCHEZ KATHRYN D  
539 ADRIAN ST SW  
ALBUQUERQUE NM 87121

TREJO DAVID  
432 68TH ST SW  
ALBUQUERQUE NM 87121

TRUJILLO PAULINE A  
515 ADRIAN ST SW  
ALBUQUERQUE NM 87121-3274

WILSON VIKKI V  
531 ADRIAN ST SW  
ALBUQUERQUE NM 87121-3274

January 9, 2025

**Re: Zone Map Amendment Notification for 6800 Gonzales Rd SW**

Dear Property Owner:

As a resident within 100-feet of 6800 Gonzales Rd SW, I am writing to inform you that Archis Archis Architects, on behalf of Mark Armijo Academy and the Barry Glass Educational Foundation, is requesting approval from the Environmental Planning Commission with the City of Albuquerque for a Zone Map Amendment from R-T to R-MH. We previously worked with the City on a Variance for height, and with community support were successful in that request.

The school's goal for future development remain unchanged, however depending on funding cycles will be constructed in phases. A gymnasium and parking lot with drop-off/pick-up loop will be constructed first, providing more than sufficient on-site parking for students, staff, and visitors, while the 2-story academic building is slated for an unknown future date. Many Permissive Uses are similar between R-T and R-MH, a main difference and reason for this request being to change schools from a Conditional Primary Use (R-T) to a Permissive Primary Use (R-MH). Solidifying the site for a fully permissible school use will ease coordination in the future while the site is developed over time.

Mark Armijo Academy has been a part of your neighborhood for several years, and we are excited to see the development of this property solidify the school use on the site and provide educational opportunities for our youth for years to come.

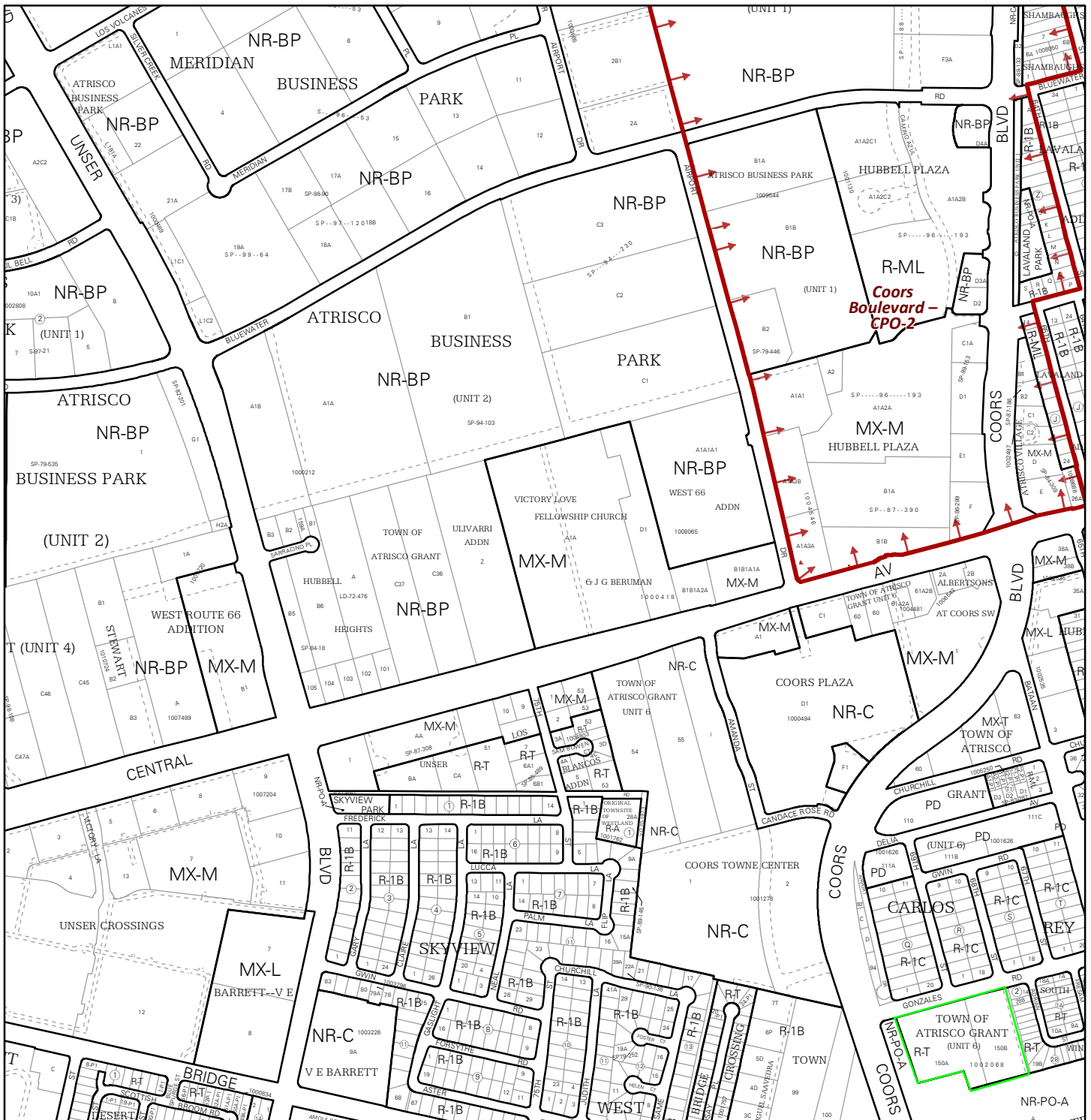
- This application is eligible for a post-application facilitated meeting request. If you would like to request a meeting, please use the following link: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/facilitated-meetings-for-proposed-development>
- The EPC hearing will be held on February 20, 2025 at 8:40am via Zoom: <https://cabq.zoom.us/j/5464729575>
- More information on the public hearing can be found on the EPC website: <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

Please review the documents included with this letter for additional details about the request. If you have any questions, please do not hesitate to contact me at the information provided below.

Best regards,



Ashley E. Hartshorn  
Project Manager, ARCHIS Architects



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**K-10-Z** Site

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

Feet  
0 250 500 1,000





OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Zoning Map Amendment - EPC
Decision-making Body: EPC
Pre-Application meeting required: Yes No
Neighborhood meeting required: Yes No
Mailed Notice required: Yes No
Electronic Mail required: Yes No
Is this a Site Plan Application: Yes No Note: if yes, see second page

PART II - DETAILS OF REQUEST

Address of property listed in application: 6800 Gonzales Rd SW, Albuquerque, NM 87121
Name of property owner: Barry Glass Educational Foundation
Name of applicant: Ashley Hartshorn, Archis Architects
Date, time, and place of public meeting or hearing, if applicable: N/A
Address, phone number, or website for additional information: Archis Architects, 505-998-7717

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

Zone Atlas page indicating subject property.
Drawings, elevations, or other illustrations of this request.
Summary of pre-submittal neighborhood meeting, if applicable.
Summary of request, including explanations of deviations, variances, or waivers.

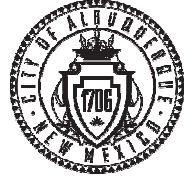
IMPORTANT:
PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(K).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature) 1/7/25 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Hearing in the City of Albuquerque for a Policy Decision

Date of Notice\*: 1/7/25

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [IDO §14-16-6-4\(K\)](#).<sup>1</sup>

- Emailed / mailed notice to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.\*
- Mailed notice to Property Owners within 100 feet of the Subject Property.

### Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 6800 Gonzales Rd SW  
Location Description Off Coors Blvd SW between Airport Dr SW and Adrian Dr SW
2. Property Owner\* Barry Glass Educational Foundation
3. Agent/Applicant [if applicable] Ashley Hartshorn, Archis Architects
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Zoning Map Amendment \_\_\_\_\_ (EPC or Council)
  - Other: \_\_\_\_\_Summary of project/request<sup>2</sup>\*:  
Zone Change from R-T to R-MH with goal of changing high school use to Permissive Primary (in R-MH)  
from existing Conditional Primary (in R-T) for future expansion of the school in multiple phases.
5. This application will be decided at a public hearing by\*:
  - Environmental Planning Commission (EPC)  City CouncilThis application will be first reviewed and recommended by:
  - Environmental Planning Commission (EPC)  Landmarks Commission (LC)
  - Not applicable (Zoning Map Amendment – EPC only)Hearing Date/Time\*: February 20, 2025 at 8:40am  
Location\*<sup>3</sup>: https://cabq.zoom.us/j/5464729575

<sup>1</sup> Please mark as relevant. See [IDO Table 6-1-1](#) for notice requirements.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

<sup>3</sup> Physical address or Zoom link

[Note: Items with an asterisk (\*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

6. Where more information about the project can be found\*:

Preferred project contact name: Ashley Hartshorn, Archis Architects

Email: ashley@archisarchitects.com

Phone: 505-998-7717

Online website or project page: N/A

Attachments: MAA - Presentation Boards

**Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> K-10-Z

2. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A formal pre-submittal neighborhood meeting was not held, however the attached presentation boards were presented to the Alamosa Neighborhood Association at their meeting on March 11, 2024 where the longterm goals of the project were discussed and visuals for the future of the school property were shown.

[Note: The meeting report is required to be provided in the application materials.]

**Additional Information from IDO Zoning Map<sup>5</sup>:**

1. Area of Property [typically in acres] 5.6498

2. IDO Zone District R-T

3. Overlay Zone(s) [if applicable] \_\_\_\_\_

4. Center or Corridor Area [if applicable] Major Transit Corridor (Coors Blvd SW)

5. Current Land Use(s) [vacant, if none] High school

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting up to 15 calendar days before the public hearing date. Contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

MIKA ZOTI  
427 BERRY ST SW  
ABINGDON VA 22102-2418

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

BUCKE LEANE  
609 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

TRISTO DARIO  
427 BERRY ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

RONALD E. MORTON  
404 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

MARIE SCOTT A. MARSH, LIC. & MARIE PEARL  
404 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

FRANCO ANTONIA  
533 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

CONNOR MCCORMACK S  
521 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

JAMES KEVIN  
541 S. BERRY ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

GONNETZ CAROLAN, MANUZZI F. & MANUZZI DANNO DANNO  
ABINGDON VA 22102-2455

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

ROSCIE MARIE E. JUMA  
533 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

GARIN JOHNSON G  
427 BERRY ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

OTY O. MANUZZI  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

PAUL PAUL T. TAYLOR, PHILIP T. SPENCER, RENEECE LEE  
10000 HOBBS ST NE  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

CHARLIE GEMMELMANZ  
527 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

ROCKY RICHMOND GILBERTO S. SALVANA MARIA O. GILBERTO  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

LEONOR MARIA O. CAMON  
533 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

CAITLYN ROSS E  
533 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

FRANCO ANTONIA  
533 JOHNS ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

SANDRIZ KATHRINE G  
427 BERRY ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

LOVEZ KAMRAN S. & NINA MANUZZI  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

SAMERSON GORE & RENEECE A  
404 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

CENTILIO ORTIZ  
527 MARKET ST SW  
ABINGDON VA 22102

ARCHIS Architects  
4700 Lincoln Rd NE, Ste 1018  
Abingdon, VA 22109

PAUL DANIANO & VIVIAN DEBANKO F. & GONZALEZ ANNELI P  
427 BERRY ST SW  
ABINGDON VA 22102



Ashley Hartshorn &lt;ashley@archisarchitects.com&gt;

## 6800 GONZALES RD SW\_Public Notice Inquiry Sheet Submission

1 message

Flores, Suzanna A. &lt;SuzannaFlores@cabq.gov&gt;

Thu, Jan 2, 2025 at 4:24 PM

To: "ashley@archisarchitects.com" &lt;ashley@archisarchitects.com&gt;

### PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Alamosa NA	Jerry	Gallegos	<a href="mailto:jgallegoswccdg@gmail.com">jgallegoswccdg@gmail.com</a>	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Alamosa NA	Jeanette	Baca	<a href="mailto:jeanettebaca973@gmail.com">jeanettebaca973@gmail.com</a>	901 Field SW	Albuquerque	NM	87121	5053792976	5058362976
South West Alliance of Neighborhoods (SWAN Coalition)	Lorenzo	Otero	<a href="mailto:housealbchrome@gmail.com">housealbchrome@gmail.com</a>	1413 Hilda Ct NW	Albuquerque	NM	87105		5053851251
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	<a href="mailto:jgallegoswccdg@gmail.com">jgallegoswccdg@gmail.com</a>	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here:

[https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ\\_Public\\_Notice\\_Checklist.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ_Public_Notice_Checklist.pdf)

- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



## Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>

**Sent:** Thursday, January 2, 2025 9:19 AM

**To:** Office of Neighborhood Coordination <[ashley@archisarchitects.com](mailto:ashley@archisarchitects.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission



[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ashley Hartshorn

Telephone Number

5059987717

Email Address

[ashley@archisarchitects.com](mailto:ashley@archisarchitects.com)

Company Name

Archis Architects

Company Address

[4700 Lincoln Rd NE, Suite 101B](#)

City

ALBUQUERQUE

State

NM

ZIP

87109

Legal description of the subject site for this project:

Lot 150-B-1 (formerly lots 150-A and 150-B), Town of Atrisco Grant, Unit 6

Physical address of subject site:

[6800 GONZALES RD SW](#)

Subject site cross streets:

Suite 101B

Other subject site identifiers:

Adjacent to Alamosa Community Center

This site is located on the following zone atlas page:

K-10-Z

Captcha

x

---

 **IDOZoneAtlasPage\_K-10-Z.pdf**  
484K



Ashley Hartshorn <ashley@archisarchitects.com>

**Zone Map Amendment for Mark Armijo Academy @ 6800 Gonzales Rd SW**

6 messages

**Ashley Hartshorn** <ashley@archisarchitects.com>

To: jgallegoswccd@gmail.com, jeanettebaca973@gmail.com

Representatives of the Alamosa Neighborhood Association -

I am requesting approval from the Environmental Planning Commission with the City of Albuquerque for a Zone Map Amendment for the Barry Glass Educational Foundation / Mark Armijo Ac height, and with your support we were successful in that request.

The previously shared goals for the site are the same, however we now plan to construct the school's Gymnasium in the near future, and the new, 2-story school building will be constructed a school use as a Permissive Primary Use, which will solidify the school's use of the site without the need of future Conditional Use approvals as the development is constructed over time.

Property Owner: Barry Glass Educational Foundation  
Agent: Archis Architects  
Property Address: 6800 Gonzales Rd SW, Albuquerque, NM 87121

See attached presentation boards with overall site plan and renderings, zone atlas map, and public notice forms. This correspondence is an offer to meet with you to provide additional inform: you do not wish to meet, or you support the request, please let me know.

Please refer to the following link for more information on the public hearing, including requirements and deadlines regarding public comment: <https://www.cabq.gov/planning/boards-commissix-reports-minutes>

Thank you,  
Ashley

Ashley E. Hartshorn, AIA, CDT, NCARB

Architect + Project Manager

New Mexico License #5832

AIA New Mexico Strategic Councilor, 2022-24

c. (407) 421-2995

archisarchitects.com

New Mexico:

o. (505) 998-7717

4700 Lincoln Rd NE, Suite 101B

Albuquerque, NM 87109

Oklahoma:

o. (405) 938-0753

205 NW 63rd St, Suite 120

Oklahoma City, OK 73116

**ARCHIS Architects LLC** | relevant design solutions

NEW MEXICO OKLAHOMA TEXAS COLORADO CALIFORNIA GEORGIA

This message may contain confidential or proprietary information intended only for the use of the


addressee(s) named above or may contain information that is legally privileged. If you are not the intended addressee, or the person responsible for delivering it to the intended addressee, you are hereby notified that reading, disseminating, distribu message by mistake, please immediately notify us by replying to the message and delete the original message and any copies immediately thereafter.


Thank you.

**4 attachments**

**IDOZoneAtlasPage\_K-10-Z.pdf**  
484K

**Emailed Notice-PolicyDecisions\_01-07-25.pdf**  
2122K

 CABQ\_Public\_Notice\_Checklist\_01-07-25.pdf  
2019K

 MAA\_Presentation\_Boards\_01-07-25 re.pdf  
16049K

**Jeanette Baca** <jeanettebaca973@gmail.com>  
To: Ashley Hartshorn <ashley@archisarchitects.com>  
Cc: jgallegoswccdg@gmail.com

Tue, Jan 7, 2025 at 4:17 PM

Hi Ashley,  
Since I met with Robert (your lobbyist) and Shawn before Christmas via Zoom, I was wondering where MAA was since we discussed plans going forward. Perhaps you would like to attend our next meeting which will be held Monday January 13, 2025@6pm (before Legislature begins) and speak briefly on this? If so, let me know and I'll place you on the Agenda.

Jeanette  
[Quoted text hidden]

**Ashley Hartshorn** <ashley@archisarchitects.com>  
To: Jeremy Ortiz <jeremy@archisarchitects.com>

Tue, Jan 7, 2025 at 8:20 PM

See below. I'm not sure whose lobbyist Robert is - maybe related to Mark Armijo?  
Do you think it's worth me attending? We can definitely ask them in our meeting tomorrow.

Ashley E. Hartshorn, AIA, CDT, NCARB  
Architect + Project Manager  
New Mexico License #5832  
AIA New Mexico Strategic Councilor, 2022-24

c. (407) 421-2995  
archisarchitects.com

[Quoted text hidden]

**Jeremy Ortiz** <jeremy@archisarchitects.com>  
To: Ashley Hartshorn <ashley@archisarchitects.com>

Tue, Jan 7, 2025 at 8:23 PM

Yes, Robert is the MAA lobbyist we had as a part of a couple of our meetings. You should be a part of that to help guide it.

Jeremy Ortiz, AIA, NCARB  
[www.archisarchitects.com](http://www.archisarchitects.com)  
Mobile: (505) 948-8908



~providing relevant design solutions since 2011~

**New Mexico Office:** (505) 998-7717  
4700 Lincoln Rd NE, Suite 101B  
Albuquerque, NM 87109

**Oklahoma Office:** (405) 938-0753  
205 NW 63<sup>rd</sup> Street, Suite 120  
Oklahoma City, OK 73116

NEW MEXICO OKLAHOMA TEXAS COLORADO ARIZONA GEORGIA CALIFORNIA  
\*\*\*\*\*

This message may contain confidential or proprietary information intended only for the use of the addressee(s) named above or may contain information that is legally privileged. If you are not the intended addressee, or the person responsible for delivering it to the intended addressee, you are hereby notified that reading, disseminating, distributing or copying this message is strictly prohibited. If you have received this message by mistake, please immediately notify us by replying to the message and delete the original message and any copies immediately thereafter.

Thank you.-  
\*\*\*\*\*

**From:** Ashley Hartshorn <ashley@archisarchitects.com>  
**Sent:** Tuesday, January 7, 2025 9:20 PM

1/9/25, 7:52 AM

Archis Architects LLC Mail - Zone Map Amendment for Mark Armijo Academy @ 6800 Gonzales Rd SW

**To:** Jeremy Ortiz <[jeremy@archisarchitects.com](mailto:jeremy@archisarchitects.com)>

**Subject:** Fwd: Zone Map Amendment for Mark Armijo Academy @ [6800 Gonzales Rd SW](#)

[Quoted text hidden]

---

**Ashley Hartshorn** <[ashley@archisarchitects.com](mailto:ashley@archisarchitects.com)>

To: Jeanette Baca <[jeanettebaca973@gmail.com](mailto:jeanettebaca973@gmail.com)>

Cc: [jgallegoswccd@gmail.com](mailto:jgallegoswccd@gmail.com)

Wed, Jan 8, 2025 at 2:03 PM

Jeanette -

Yes, I can attend the meeting on January 13th. I presume it is again at the Alamosa Community Center?

Ashley E. Hartshorn, AIA, CDT, NCARB

Architect + Project Manager

New Mexico License #5832

AIA New Mexico Strategic Councilor, 2022-24

c. (407) 421-2995

[archisarchitects.com](http://archisarchitects.com)

[Quoted text hidden]

---

**Jeanette Baca** <[jeanettebaca973@gmail.com](mailto:jeanettebaca973@gmail.com)>

To: Ashley Hartshorn <[ashley@archisarchitects.com](mailto:ashley@archisarchitects.com)>

Wed, Jan 8, 2025 at 5:27 PM

Yes, that's correct.

[Quoted text hidden]



Ashley Hartshorn <ashley@archisarchitects.com>

**Zone Map Amendment for Mark Armijo Academy @ 6800 Gonzales Rd SW**

1 message

**Ashley Hartshorn** <ashley@archisarchitects.com>

To: housealbchrome@gmail.com, jgallegoswccdg@gmail.com

Representatives of the South West Alliance of Neighborhoods (SWAN Coalition) -

I am requesting approval from the Environmental Planning Commission with the City of Albuquerque for a Zone Map Amendment for the Barry Glass Educational Foundation / Mark Armijo Ac height, and with your support we were successful in that request.

The previously shared goals for the site are the same, however we now plan to construct the school's Gymnasium in the near future, and the new, 2-story school building will be constructed a school use as a Permissive Primary Use, which will solidify the school's use of the site without the need of future Conditional Use approvals as the development is constructed over time.

Property Owner: Barry Glass Educational Foundation  
Agent: Archis Architects  
Property Address: 6800 Gonzales Rd SW, Albuquerque, NM 87121

See attached presentation boards with overall site plan and renderings, zone atlas map, and public notice forms. This correspondence is an offer to meet with you to provide additional inform: you do not wish to meet, or you support the request, please let me know.

Please refer to the following link for more information on the public hearing, including requirements and deadlines regarding public comment: <https://www.cabq.gov/planning/boards-commissix-reports-minutes>

Thank you,  
Ashley

Ashley E. Hartshorn, AIA, CDT, NCARB

Architect + Project Manager

New Mexico License #5832

AIA New Mexico Strategic Councilor, 2022-24

c. (407) 421-2995

archisarchitects.com

New Mexico:

o. (505) 998-7717

4700 Lincoln Rd NE, Suite 101B

Albuquerque, NM 87109

Oklahoma:

o. (405) 938-0753

205 NW 63rd St, Suite 120

Oklahoma City, OK 73116

**ARCHIS Architects LLC** | relevant design solutions

NEW MEXICO OKLAHOMA TEXAS COLORADO CALIFORNIA GEORGIA

This message may contain confidential or proprietary information intended only for the use of the

addressee(s) named above or may contain information that is legally privileged. If you are not the intended addressee, or the person responsible for delivering it to the intended addressee, you are hereby notified that reading, disseminating, distribu message by mistake, please immediately notify us by replying to the message and delete the original message and any copies immediately thereafter.

Thank you.


**4 attachments**

**IDOZoneAtlasPage\_K-10-Z.pdf**  
484K

**Emailed Notice-PolicyDecisions\_01-07-25.pdf**  
2122K

1/7/25, 3:59 PM

Archis Architects LLC Mail - Zone Map Amendment for Mark Armijo Academy @ 6800 Gonzales Rd SW

 **CABQ\_Public\_Notice\_Checklist\_01-07-25.pdf**  
2019K

 **MAA\_Presentation Boards\_01-07-25 re.pdf**  
16049K

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

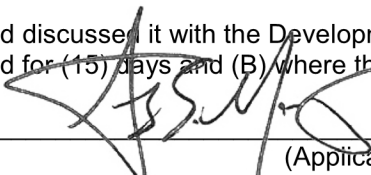
4. TIME

Signs must be posted from 02/04/2025 To 03/07/2025

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent) 01/30/2025  
\_\_\_\_\_  
(Date)

I issued 2 signs for this application, 01/29/2025, Daniel Soriano  
(Date) (Staff Member)

**PROJECT NUMBER:** PR-2024-010332/RZ-2025-00001







## REQUEST

ZONING MAP AMENDMENT (ZMA)

FROM 'R-T' TO 'R-MH'

The City of Albuquerque Environmental Planning Commission will hold a public hearing on <http://com.wa.gov/1/54/1/924535> or call 1-800-441-9241 Meeting ID 546 432 9635

on FEBRUARY 20<sup>th</sup>, 20 25 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant.

Required to be posted from 02/04/2025 to 02/07/2025  
by ARCHIS ARCHITECTS 505-998-7717

applicant/agent phone

REFER TO FILE# 22-2024-010332 / 22-2025-00001

It is illegal for an unauthorized person to remove or tamper with this sign

Gonzales Rd

MAHES  
700 800 1111  
Lumber Yard  
505-811-1111

SPEED  
HUMP

NEXT  
1/2 MILE



**REQUEST**  
Zoning Map Amendment (ZMA)  
2500 S 1st TO 2-1111

The City of Albuquerque Environmental Planning Commission will hold a public hearing on the above-captioned application on Monday, October 19, 2015 at 8:30 AM at the City of Albuquerque Environmental Planning Commission located at 1000 1st Street, NE, Albuquerque, NM 87102. The applicant is MAHES. For information on this case or to request to appear at such a hearing, for information on this case or other information on this matter, contact the Planning Department at 505-243-1800 or contact the applicant at 700 800 1111 or 505-811-1111.  
APPROVED BY: MAHES DATE: 10/15/15

**APPROVE TO FILE:** 10/15/15 10:00 AM

# REQUEST

ZONING MAP AMENDMENT (ZMA)

FROM 'R-T' TO 'R-MH'

The City of Albuquerque Environmental Planning Commission will hold a public hearing Zoom: <https://zoom.us/j/544729575> or call: 1 (602) 444-9131 Meeting ID: 546 492 9575

on FEBRUARY 20<sup>th</sup>, 20 25 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant.

Required to be posted from 02/04/2025 to 03/07/2025  
by ARCHUS ARCHITECTS 505-990-7717  
applicant/agent phone

REFER TO FILE# PL-2024-010332 / R2-2025-00001

It is illegal for an unauthorized person to remove or tamper with this sign.