



# Environmental Planning Commission

**Agenda Number: 02**  
**Project #: PR-2024-10771**  
**Case #: SI-2024-01142**  
**Hearing Date: September 19, 2024**

## Staff Report

<b>Agent</b>	WSP USA, Inc.
<b>Applicant</b>	New Mexico Department of Transportation (NMDOT)
<b>Request</b>	Site Plan – EPC for an Extraordinary Facility
<b>Legal Description</b>	Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail
<b>Location</b>	MRGCD Map 49, T9N R2E 12 & R3E 7 & 8 (Bernalillo County)
<b>Size</b>	9.5 acres
<b>Existing Zoning</b>	MPOS Bernalillo County

**Staff Recommendation**

APPROVAL of Project #2024-10771 SI-2024-01142, based on the Findings and subject to the Conditions of Approval in this report.

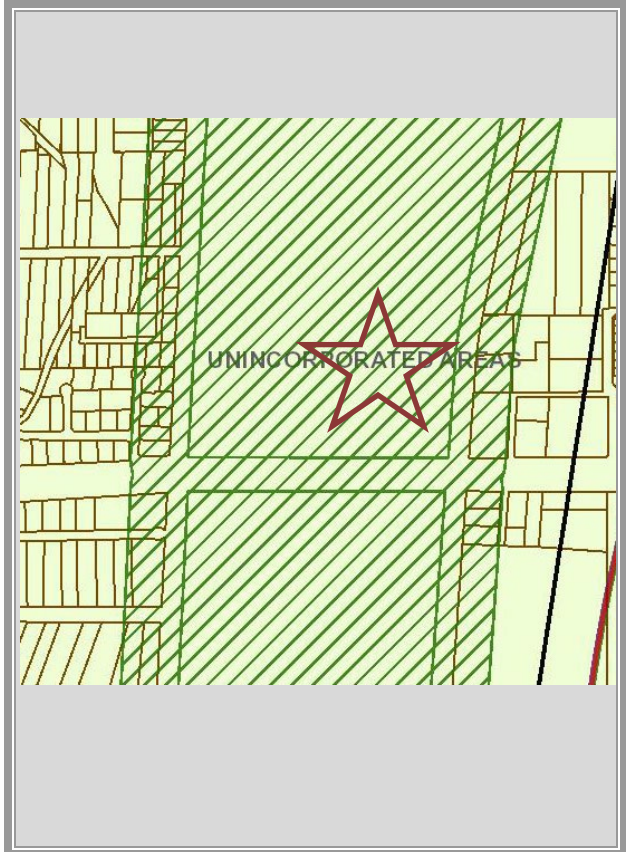
Senior Planner  
Silvia Bolivar, PLA ASLA

**Summary of Analysis**

The request is for a Site Plan – EPC for an Extraordinary Facility in Major Public Open Space at the 9.5-acre Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail. The adjacent NM500 bridge requires replacement, and the proposed development will relocate the new bridge into the subject site, which is managed by the Open Space Division. The request is being heard because any Extraordinary Facility must be reviewed and decided pursuant to IDO §14-6-6-6(l) Site Plan – EPC.

Staff reviewed the proposed site plan and does not find any major instances of non-compliance. The affected neighborhood organizations and property owners were notified as required.

As of this writing, Staff has not received any comments in support or opposition to the request. Staff recommends approval subject to conditions to ensure requirements are met and clarification is provided.



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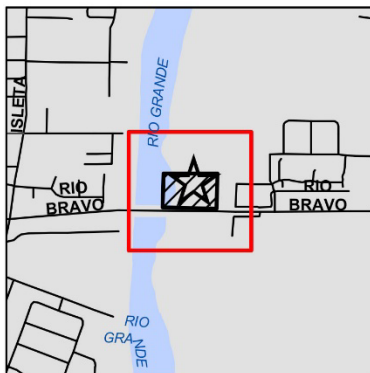
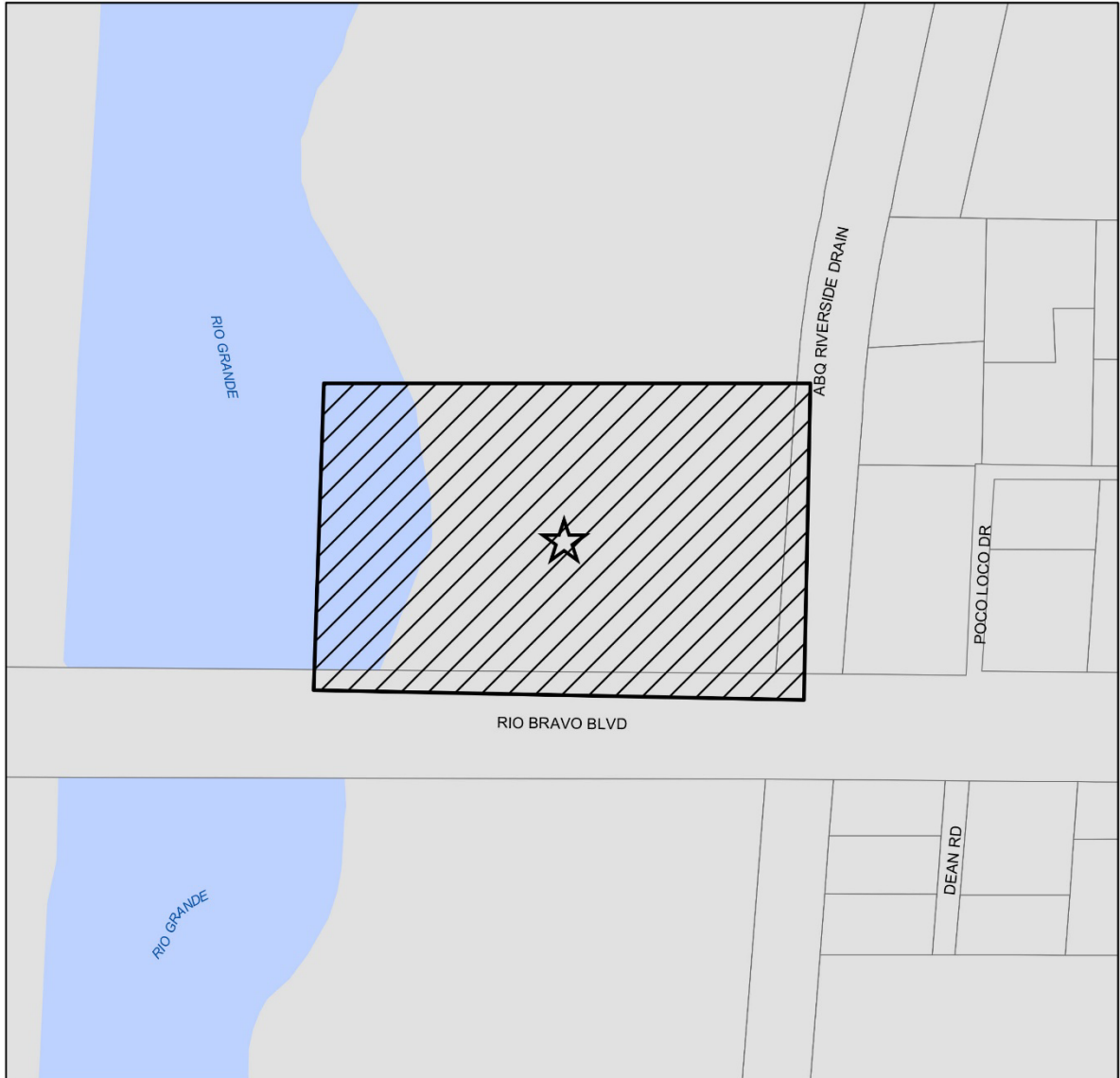
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I. Maps

Aerial Map



***IDO Zoning Map***



**IDO ZONING MAP**

Note: Gray shading indicates County.

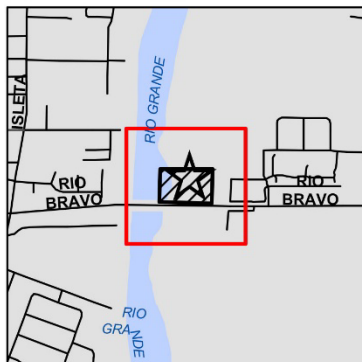
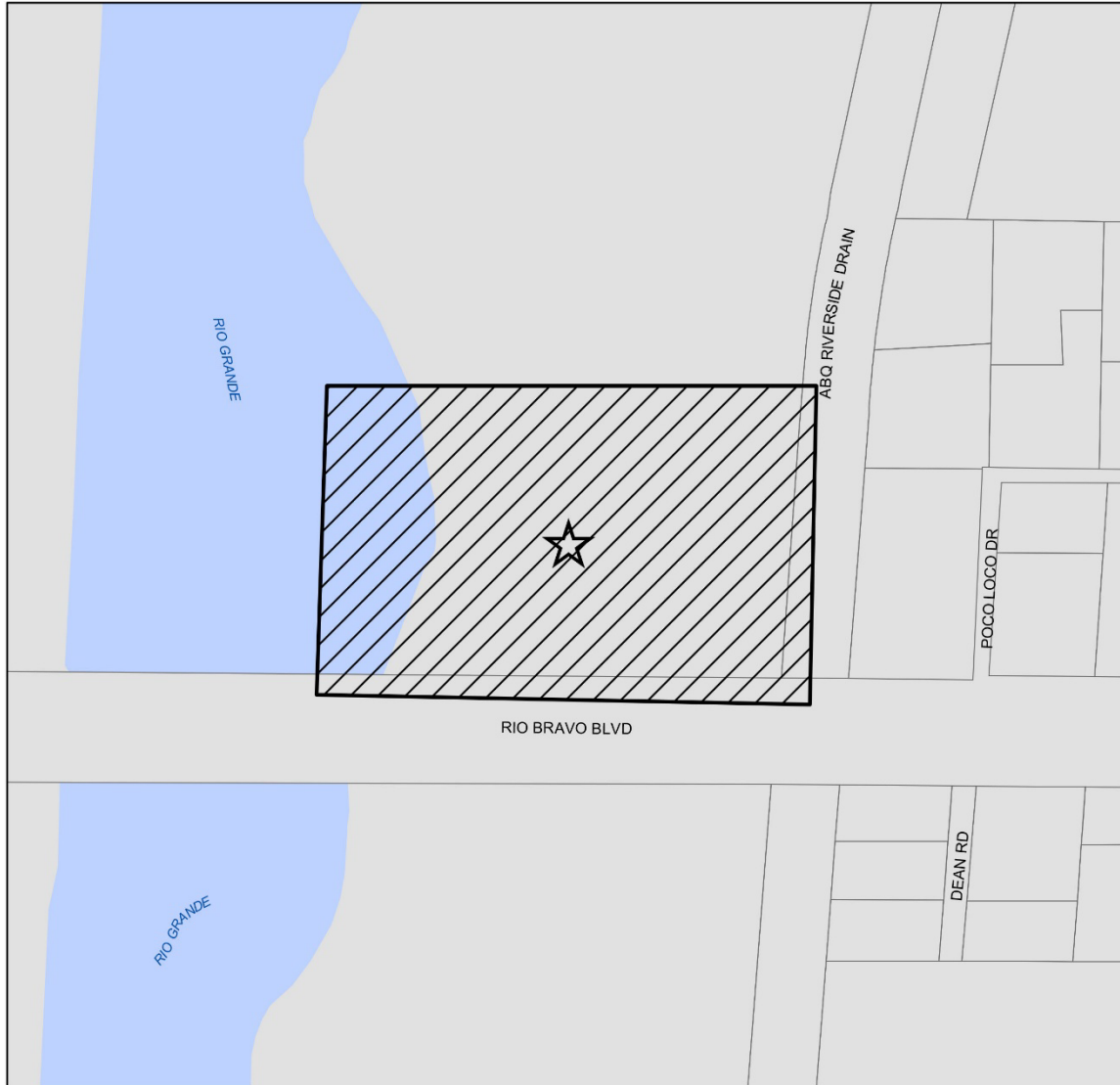


1 inch = 250 feet

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**Land Use Map**



**LAND USE MAP**

Note: Gray shading indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base



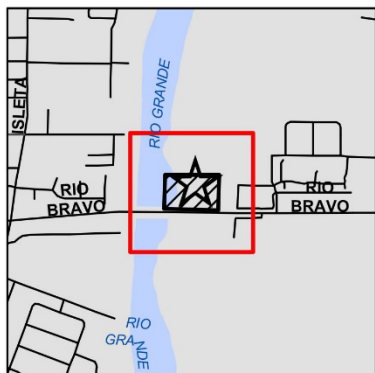
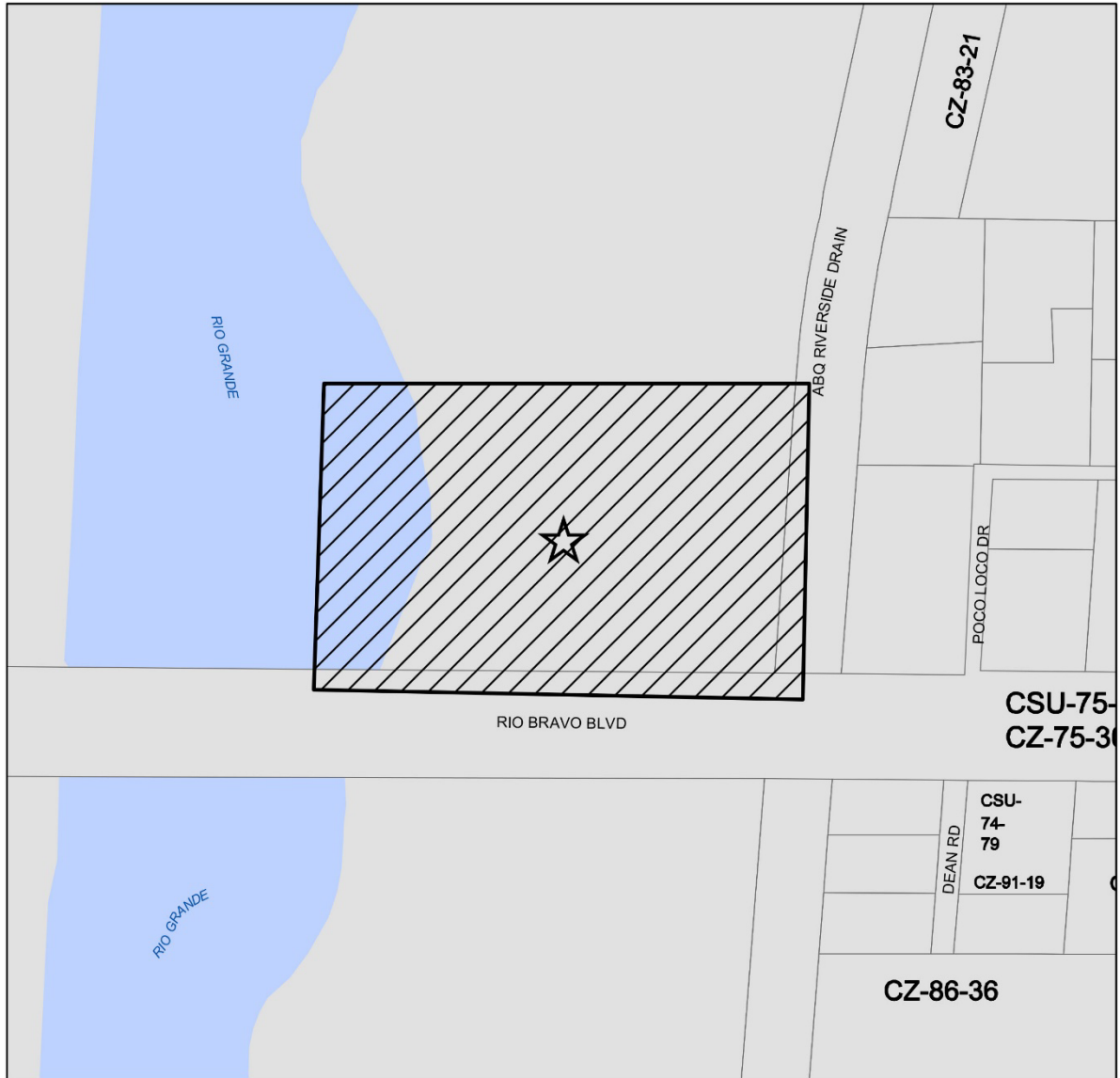
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**History Map**



**HISTORY MAP**

Note: Gray shading indicates County.

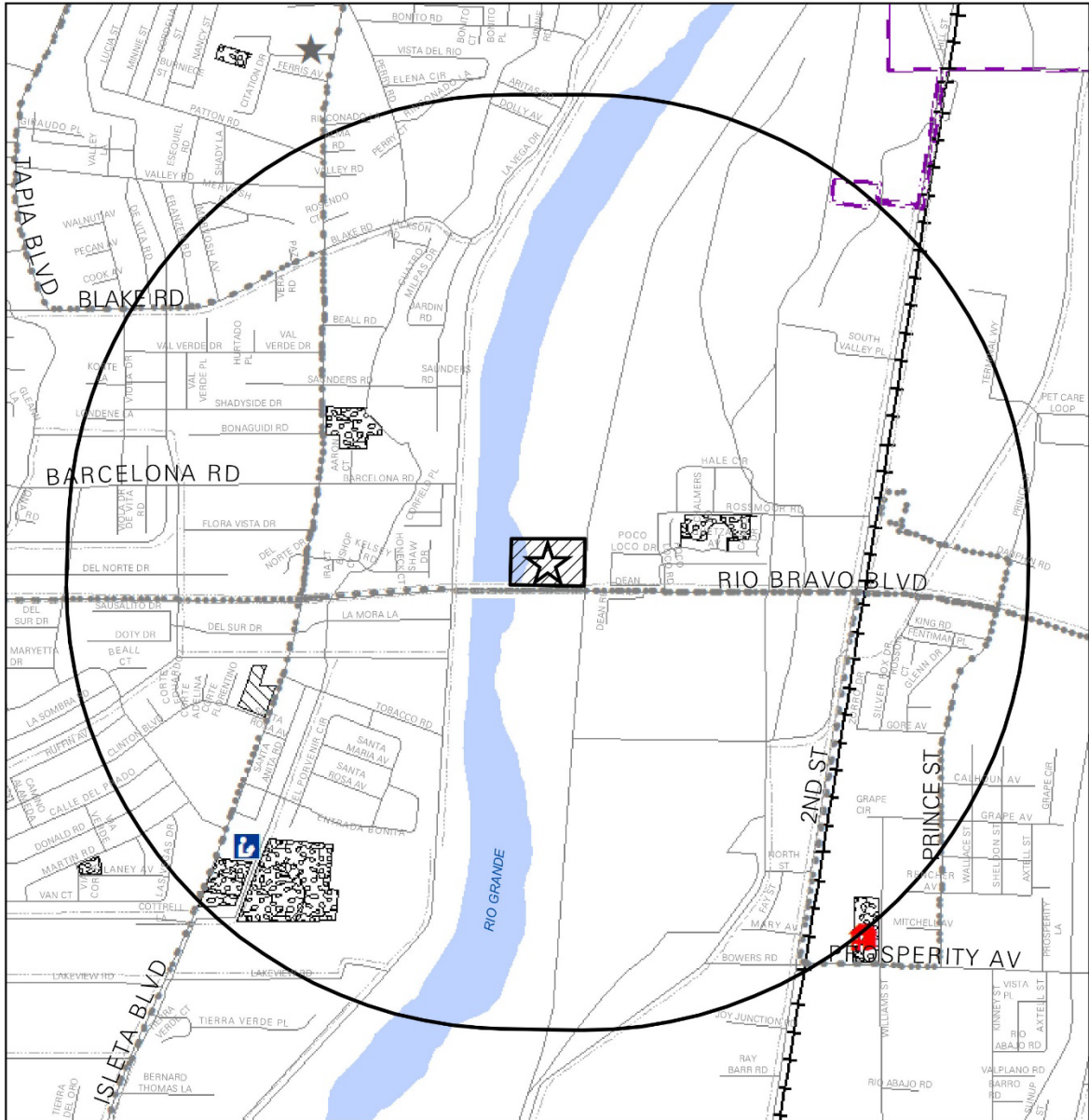


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**Public Facilities / Community Services**

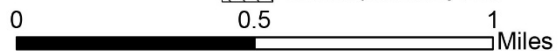


**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |



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**II. Introduction**

	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
<i>Subject Site</i>	County	Rio Grande Valley State Park (County)	Open Space
<i>North</i>	County	Rio Grande Valley State Park	Open Space
<i>South</i>	County	Rio Grande Valley State Park	Open Space
<i>East</i>	County	Albuquerque Riverside Drain (County) – Rural Areas	Residential-Agricultural
<i>West</i>	County	Rio Grande (County) – Rural Areas	Open Space Residential-Agricultural

**Request**

The request is for a Site Plan-EPC for an Extraordinary Facility in Major Public Open Space at the 9.5-acre Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail. The adjacent Rio Bravo Bridge (NM500), consisting of four structures over the Rio Grande and Albuquerque Riverside Drain, require replacement due to structural deficiencies. Currently rated in fair condition, the bridges are at risk of further deterioration. In response, the New Mexico Department of Transportation (NMDOT), in partnership with the Federal Highway Administration (FHWA), has proposed replacing the east- and west-bound bridges on Rio Bravo Boulevard. This project will add travel lanes and shift the bridge northward by approximately half its width into the area managed by the Open Space Division in the City’s Parks and Recreation Department. The project is federally funded, with FHWA as the lead agency.

The bridge replacement will affect the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail located northeast of the bridge, as well as a smaller parking area and trailhead on the northwest side; however, the picnic area, pier, and trail are considered the Extraordinary Facilities that are the subject of this request.

The subject site is part of the Rio Grande Valley State Park (RGVSP), a 4,300-acre park extending approximately 22 miles from Sandia Pueblo to the north to Isleta Pueblo in the south, spanning both sides of the Rio Grande. While the Middle Rio Grande Conservancy District (MRGCD) owns the park, and the subject site is within the unincorporated Bernalillo County, the 1983 Rio Grande Valley State Park Act designates the City’s Open Space Division as the managing agency. The Joint Powers Agreement between the City of Albuquerque and the Middle Rio Grande Conservancy District is attached to this report. This Agreement, executed on April 4, 1997, between the City of Albuquerque and the Middle Rio Grande Conservancy District, establishes a joint powers arrangement as mandated by the Rio Grande Valley State Park Act approved by the New Mexico Legislature in March 15, 1983. This Act necessitates that the operating entity for the Rio

Grande Valley State Park, designated as the City of Albuquerque through an agreement with the Parks and Recreation Division, collaborates with the MRGCD to effectively implement provisions of the Act. The City Parks and General Services Department is appointed as the administrator for this Agreement.

The bridge expansion will require NMDOT to obtain a new license agreement from MRGCD to encroach upon the open space. This request is under review because any Extraordinary Facility must be evaluated and decided upon according to IDO §14-16-6-6(I) Site Plan – EPC.

If approved, the proposal will introduce new amenities and enhance both pedestrian and vehicular access to the Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail, ultimately improving the overall visitor experience and accessibility.

### ***EPC Role***

The EPC is hearing the request because the IDO requires that any Extraordinary Facility shall be reviewed and decided pursuant to Subsection §14-16-6-6(I) Site Plan – EPC. IDO §14-16-6-6(I)(1)(a) also requires Site Plan - EPC approval for any development on lots 5 acres or greater adjacent to Major Public Open Space (MPOS).

Pursuant to IDO §14-16-6-4(O), the decision-making body may impose conditions necessary to ensure compliance with the development standards of the IDO via the Site

The EPC is the final decision-making body. This case is a quasi-judicial matter.

### ***History/Background***

The Rio Bravo Picnic Area, parking area, and fishing pier were constructed as part of a single project in 2001 by the City's Open Space Division. The Division located some signage notes, details for the fishing pier railing, fencing, and a punch list, but no formal construction documents or site plan were found.

### ***Context***

The Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail, built in 2001, are located south of Albuquerque, offering a serene and picturesque environment. This area is known for its natural beauty and provides an ideal setting for outdoor activities. The trail and pier are situated east of the Rio Grande, featuring the lush Bosque, which is rich in native Cottonwood and Willow trees. The trail itself is well-maintained, making it accessible for hikers and nature enthusiasts of all skill levels.

The fishing pier extends into the Albuquerque Riverside Drain, and the area is particularly valued for its biodiversity and is a popular spot for bird watching, with opportunities to observe migratory birds and local wildlife. Visitors can also enjoy picnic areas with picnic tables.

There are U.S. Army Corps of Engineers levees on both sides of the river, and the MRGCD Albuquerque Riverside Drain is east of the river. The existing Rio Bravo bridge over the Rio Grande consists of two parallel 25-span concrete structures, each approximately 1,413 feet long with 24 piers. There are no sidewalk connections east and west of the bridge.

To the east of the subject site are residential neighborhoods, primary single-family homes and apartments that are accessed via Poco Loco Drive SW. Beyond the residential areas are light industrial and commercial zones.

To the south is the Rio Grande Valley State Park and, to the west is the Rio Grande and associated riparian areas followed by residential neighborhoods that are predominantly low-density, with a mix of single-family homes and small farms. These residential areas are accessed via New Mexico State road 314 (Isleta Blvd. SW) from Rio Bravo Blvd. SW.

### ***Roadway System***

The Long Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

The LRRS designates Rio Bravo Boulevard SW as a Principal Arterial.

The LRRS designates Poco Loco Drive SW as a local road.

The MRCOG's 2040 Limited Access Facilities Map shows Rio Bravo Boulevard SW as having limited access.

The MRCOG's 2040 Primary Freight Corridors and Truck Restrictions Map identifies the NM-500 (Rio Bravo Boulevard) bridge as a primary freight corridor. This bridge plays a vital role as an east-west connector, linking I-25 on the east side of the Rio Grande to Coors Boulevard (NM-45) and other routes on the west side. While there are no truck restrictions on the bridge itself, there are three north-south truck restrictions between Unser Blvd. and Broadway Blvd.

### ***Bikeways / Trails***

The Long Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails.

The LRBS shows an Existing Multi-Use Trail, the Paseo de Bosque Trail, which runs north-south along the Rio Grande, providing scenic views of the river and Bosque. This trail runs approximately 22 miles from Alameda Blvd. to Rio Bravo Blvd. and runs along the east side of the river. The trail is easily accessible from the Rio Bravo Fishing Pier & Nature Trail, which features parking and picnic areas with ADA accessibility.

The LRBS shows an Existing Bicycle Lane on Rio Bravo Boulevard; however, these lanes will not be accessible during the construction of the new bridge.

The LRBS shows an Existing trail, the YCC (Youth Conservation Corps) Trail within the Rio Bravo Fishing Pier, which is a fully accessible quarter-mile loop trail that winds under a canopy of cottonwoods.

The LRBS shows an existing multi-use trail (East Levee Road) that runs in a north-south direction, starting at Rio Bravo Blvd. and extending northward.

### ***Transit***

The Commuter 222 (Rio Bravo Rail Runner Connection) provides weekday transportation between Bernalillo County Rail Runner Station and the Albuquerque International Sunport. The services include east- and west-bound routes that start at Coors & Rio Bravo and terminate at 14<sup>th</sup> Avenue and 98<sup>th</sup> Street.

## ***III. Analysis of City Plans and Ordinances***

### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

According to the Comprehensive Plan, rural areas encompass approximately 300 square miles in Bernalillo County, the most of any Development Area. Rural areas are commonly associated with rural lifestyles, including large-lot residential developments, agricultural uses, the existing irrigation ditch (acequia) network, and limited commercial development in designated areas and specific corridors.

Furthermore, the Comprehensive Plan mandates that access to the Rio Grande, Bosque, and surrounding river lands be carefully designed to provide entry to areas sustainable for recreation, scientific and educational uses. Access controls and public education are recommended in more sensitive areas to preserve wildlife habitat and maintain essential watershed and drainage functions. The Rio Grande Valley State Park includes the Rio Bravo Fishing Pier & Nature Trail.

### ***Comprehensive Plan Designations***

The Comprehensive Plan identifies Rio Bravo Boulevard as a commuter corridor. Commuter corridors are intended for long-distance trips across town by automobile, including limited-access streets. These roads tend to be higher-speed and higher-traffic volume routes. Development along these corridors should be more auto-oriented, but where the Corridors pass through Centers, development should include more mixed-use, pedestrian-oriented uses.

To the west of the Rio Grande and north of Rio Bravo Boulevard is the Rio Bravo Activity Center. Activity Centers provide convenient, day-to-day services at a neighborhood scale to serve the surrounding area within a 20-minute walk or a short bike ride. They are intended to provide a mix of neighborhood commercial and residential uses at a slightly higher density than the surrounding single-family homes. These smaller centers should incorporate good pedestrian friendly design and are appropriate for mixed-use and multi-family housing.

*Applicable Goals & Policies*

CHAPTER 4: COMMUNITY IDENTITY

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request aims to enhance, protect, and preserve the distinct community by introducing new amenities that will improve the recreational experience and enhance pedestrian and vehicular access, making the area more welcoming and accessible. The proposed development will also maintain the community's character, known for its outdoor recreation and natural beauty. The request includes in-kind replacements of park infrastructure, such as benches, tables, and fencing, to maintain usability and aesthetics without altering the area's fundamental character, thereby safeguarding its rural and natural essence. Minor infrastructure improvements, like reshaping the parking lot, are intended to enhance functionality while preserving the park's landscape and recreational offerings, ensuring a balanced approach to development and conservation. **The request is consistent with Goal 4.1 Character.**

POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to the distinct identity and sense of place.

The Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail is a unique place that contributes to the distinct identity and sense of place within the area's built environment since its construction in 2001. The proposed development will minimize intrusion into the natural environment by the relocation of the Rio Bravo Bridge northward along with repositioning the boat launch ramp and the redesign of the parking area for greater efficiency. The approach to the proposed development respects and integrates the existing natural ecosystem, while striving to harmonize essential structural improvements with the protection of the environmental integrity. The proposed approach will achieve a development that fulfills infrastructural requirements while maintaining the ecological health of the area. **The request is consistent with Policy 4.1.3 Placemaking.**

POLICY 4.1.5 NATURAL RESOURCES: Encourage high-quality development and redevelopment that responds appropriately to the natural setting and ecosystem functions.

The request is consistent with this policy because the proposed development emphasizes efforts to minimize the environmental impact during the development of the Rio Bravo Bridge. By shifting the bridge's location and redesigning the adjacent boat launch ramp and parking lot, the development will conserve the existing natural environment and optimize land use while still accommodating necessary structural adjustments. These measures reflect a conscientious approach to balancing development needs with environmental preservation, demonstrating compliance with

the policy's emphasis on high-quality development that respects natural resources. **The request is consistent with Policy 4.15 Natural Resources.**

CHAPTER 5: LAND USE

GOAL 5.1 CENTERS & CORRIDORS: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

POLICY 5.1.6 ACTIVITY CENTERS: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

Policy 5.1.6.d: Ensure that Activity Centers are pedestrian-friendly and provide convenient pedestrian connections to nearby residential areas.

The request is consistent with this Goal and associated policies because the proposed development will improve walking paths between the site, the Rio Bravo Activity Center, and nearby neighborhoods. By filling in missing sections of the current pedestrian paths and creating new, safe routes, residents will have easier and safer access to the Activity Center, whether they are walking or biking. **The request is consistent with Policy 5.1.6(d).**

Policy 5.1.6.e: Provide good connectivity via bicycle between Activity Centers and nearby residential areas and multi-use trails.

The request is consistent with this policy because the subject is near the Rio Bravo Activity Center. The proposed development will address the existing discontinuous multi-modal facilities. The development made possible by the request will allow for safe access to trails on either side of the bridge. The request will also allow for new trails to be added thereby improving the safety of pedestrians and cyclists. The improvement in access and safety for pedestrians and cyclists will encourage more multi-modal use of Rio Bravo Boulevard and nearby multi-use trails. **The request is consistent with Policy 5.1.6(e).**

CHAPTER 7: URBAN DESIGN

GOAL 7.3 SENSE OF PLACE: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request is consistent with this Goal because the replacement of the Rio Bravo Bridge and the addition of multi-use trails will incorporate design elements that will reinforce the unique character of the surrounding area. The new bridge, trails, and improved parking lot will be designed with careful consideration of the local environment, ensuring that they blend seamlessly with the existing landscape and community identity. The development made possible by the request will not only improve functionality, but will also create a more aesthetically pleasing and cohesive streetscape that reinforces the area's sense of place. By integrating local materials and

natural features into the design, the project will contribute to a stronger connection between the community and its surroundings, fostering a distinct and recognizable sense of place. **The request is consistent with Goal 7.3 Sense of Place.**

POLICY 7.3.5 DEVELOPMENT QUALITY: Encourage innovative and high-quality design in all development.

The request is consistent with this policy because the replacement of the Rio Bravo Bridge, along with the addition of multi-use trails, improved pedestrian access, and enhanced parking facilities, exemplifies innovative and high-quality design. The improvements integrate sustainable infrastructure, prioritize community accessibility and safety, and enhance the aesthetic appeal of the area. By fostering a well-connected and visually cohesive environment, the proposed development will ensure long-term value and resilience that will elevate the quality of the built environment. **The request is consistent with Policy 7.3.5 Development Quality.**

#### CHAPTER 10: PARKS & OPEN SPACE

GOAL 10.1 FACILITIES AND ACCESS: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

The request is consistent with this Goal because the Rio Bravo Bridge replacement, along with the creation of new trails and improved parking facilities will enhance the recreational areas and open spaces, ensuring they are accessible to all residents. The development supports the responsible use of natural resources by integrating sustainable design elements, such as environmentally friendly materials as outlined in the City of Albuquerque's Trail and Trailhead Design Standards for Open Space. These improvements will create a more inclusive, connected, and environmentally conscious space that will cater to the diverse recreational needs of the community while preserving the surrounding natural environment. **The request is consistent with Goal 10.1 Facilities and Access.**

GOAL 10.2 PARKS: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.

POLICY 10.2.1 PARK TYPES: Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

The request is consistent with this Goal and policy because proposed development will contribute to the development of linear parks that enhance community connectivity and recreational opportunities. Multi-use trails serve as essential components of linear parks by promoting active transportation and outdoor activities, while the new parking lot facilitates access to these amenities. The infrastructure improvements will support the broader goal of implementing a park system that meets diverse community needs,

linking neighborhoods to regional parks, and fostering a more accessible, active public space network in the area. **The request is consistent with Goal 10.2 and Policy 10.2.1 Park Types.**

**POLICY 10.2.3 MULTI-USE TRAILS:** Connect parks by designing, building, and maintaining trails to accepted standards.

The request is consistent with this policy because the design will incorporate multi-use trails that connect surrounding parks and open spaces while adhering to the City of Albuquerque Trail and Trailhead Design Standards for Open Space. These standards ensure that the trails are designed and built to facilitate safe and accessible use for a variety of non-motorized activities, such as walking, biking, and running. By following these guidelines, the request promotes connectivity between recreational spaces, enhances the overall trail network, and supports the Comprehensive Plan vision of providing a high-quality, accessible, and well-maintained system that links community and regional parks. **The request is consistent with Policy 10.2.3 Multi-Use Trails.**

**GOAL 10.3 OPEN SPACE** Protect the integrity and quality of the region's natural features and environmental assets and provide opportunities for outdoor recreation and education.

The request is consistent with this goal because the proposed development, despite its impact on riparian vegetation and mature cottonwood trees, addresses this goal by implementing significant mitigation efforts to protect the region's natural features and environmental assets. By limiting the removal of trees to the minimum necessary and scheduling work within the river channel to minimize disruption, the request demonstrates a commitment to preserving the integrity of the ecosystem. Post-construction, the revegetation of 2.9 acres with native species and the partnership with agencies for offsite riparian habitat restoration will ensure that the natural environment is restored and enhanced. Additionally, the purchase of water for the conservation of the Rio Grande Silvery Minnow reflects a proactive approach to protecting critical habitats and supporting species recovery, ultimately contributing to the long-term health and educational value of the region's open spaces. **The request is consistent with Goal 10.3 Open Space.**

**POLICY 10.3.2 PRESERVATION:** Identify and manage sensitive lands within the Open Space network to protect their ecological function.

The request is consistent with this policy because the proposed development incorporates careful consideration of sensitive lands within the Open Space network, particularly focusing on the Rio Grande's ecological corridor. The biological evaluations conducted for the project help identify critical habitats and species within the area, ensuring that construction activities do not negatively impact these ecological systems. By maintaining proper environmental stewardship, the project will minimize disruptions to native flora and fauna while preserving the integrity of the Rio Grande ecosystem.



Furthermore, mitigation measures, such as habitat restoration and erosion control, are incorporated to protect the long-term ecological function of the sensitive lands within the project boundaries. **The request is consistent with Policy 10.3.2 Preservation.**

**POLICY 10.3.4 BOSQUE AND RIO GRANDE:** Carefully design access to the Rio Grande, the Bosque, and surrounding river lands to provide entry to those portions suitable for recreational, scientific, and educational purposes, while controlling access in other more sensitive areas to preserve the natural wildlife habitat and maintain essential watershed management and drainage functions.

The request is consistent with this policy because the proposed development is designed to balance access to the Rio Grande and Bosque areas with the need to preserve sensitive wildlife habitats and protect essential watershed functions. The project includes strategically planned access points to ensure that areas suitable for recreational, scientific, and educational purposes are accessible to the public, while carefully controlling entry to more sensitive regions of the Bosque. This approach minimizes disturbance to the natural wildlife habitat and maintains critical drainage and watershed management functions along the river. **The request is consistent with Policy 10.3.4 Bosque and Rio Grande.**

**GOAL 10.4 COORDINATION:** Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public's need for parks and recreation facilities.

The request is consistent with this goal because the NMDOT, in collaboration with WSP and the Federal Highway Administration (FHWA), is undertaking the replacement of the Rio Bravo Boulevard bridge (NM500). This effort promotes coordination across various disciplines, jurisdictions, and geographic areas. The proposed development requires the cooperation of federal, state, and local agencies, including the Open Space Division, and integrates data from the United States Fish and Wildlife Service (USFWS), the New Mexico Department of Game and Fish (NMDGF), and the New Mexico Energy, Minerals, and Resources Department (EMNRD) to compile biological data and ensure compliance with environmental regulations. The resulting Biological Evaluation for the project demonstrates a collective effort to incorporate ecological factors into the infrastructure improvements. Through this collaboration, these groups have optimized resource use, while ensuring the public's needs for safe and environmentally responsible parks and recreation facilities is met. **The request is consistent with Goal 10.4 Coordination.**

**POLICY 10.4.2 SYSTEM PLANNING:** Coordinate among departments and across jurisdictional boundaries to plan interconnected networks, manage natural resources, leverage public investment, eliminate gaps in service, and avoid duplication of efforts.

The proposed development is consistent with this policy because there has been coordination among various departments and agencies. This collaboration will ensure the planning of an interconnected network that will effectively manage natural

resources while optimizing public investment. Working across jurisdictional boundaries has helped address potential gaps in service such as environmental impacts and recreational needs while avoiding duplication of efforts. **The request is consistent with Policy 10.4.2 System Planning.**

**POLICY 10.4.4 ARROYOS AND DRAINAGE:** Work with MRGCD and AMAFCA to protect arroyos, drains, and acequias as part of Community Green Space.

The proposed development is consistent with this policy because the applicant is working with the Middle Rio Grande Conservancy District (MRGCD) and the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) to protect critical arroyos, drainage systems, and acequias. As listed in the Biological Evaluation, as part of the project, the development will incorporate measures that will safeguard the water management systems while maintaining the ecological integrity of the surrounding community green spaces. **The request is consistent with Policy 10.4.4 Arroyos and Drainage.**

#### CHAPTER 11: HERITAGE CONSERVATION

**POLICY 11.3.3 BOSQUE:** Regulate development on adjacent lands to preserve and enhance the Bosque as an important cultural landscape that contributes to the history and distinct identity of the region, as well as nearby neighborhoods

The request is consistent with this policy because the development made possible by the request adheres to the strict regulatory measures that will minimize environmental impacts on the Bosque. The development incorporates buffer zones, preserves native vegetation to the maximum extent practicable, and will limit the scale and footprint of construction to protect the area's natural and cultural significance. The project integrates sustainable practices to enhance the Bosque's role as a cultural landscape while improving the connectivity with nearby neighborhoods. The request ensures that the Bosque remains an integral part of the region's identity while accommodating necessary infrastructure improvements. **The request is consistent with Policy 11.3.3 Bosque.**

#### Chapter 12: INFRASTRUCTURE, COMMUNITY FACILITIES & SERVICES (ICFS)

**GOAL 12.1 INFRASTRUCTURE:** Plan, coordinate, and provide for efficient, equitable, and environmentally sound infrastructure to support existing communities and the Comp Plan's vision for future growth.

**POLICY 12.1.1 INFRASTRUCTURE DESIGN:** Encourage design of visible infrastructure (surface and overhead) that respects the character of neighborhoods and communities and protects significant natural and cultural features.

The request is consistent with this Goal and policy because the proposed development will incorporate elements that minimize disruption to the area's natural and cultural features, such as limiting tree removal to the essential minimum and planning

revegetation efforts with native species. Additionally, the design respects the cultural and environmental significance of the Rio Grande corridor by ensuring that the new infrastructure blends with the local landscape, thereby preserving the aesthetic and cultural integrity of the area while meeting modern infrastructure needs. **The request is consistent with Goal 12.1 Infrastructure and Policy 12.1.1 Infrastructure Design.**

### ***Integrated Development Ordinance (IDO)***

The application for this request was submitted subsequent to the effective date on August 3, 2024 of the Integrated Development Ordinance and is therefore subject to its regulations and processes.

#### ***IDO Zoning***

The Rio Bravo Riverside Picnic Area, Pier, and Nature Trail are located within Bernalillo County and, as such, is not zoned on the AGIS map. Nonetheless, these facilities are situated within the boundaries of the Rio Grande Valley State Park, which falls under the jurisdiction of the Open Space Division, and the area is designated as Major Public Open Space (MPOS).

#### ***Lots Adjacent to Major Public Open Space***

The subject site is located next to Major Public Open Space along much of its boundaries and must comply with the requirements in IDO §14-16-5-2(J) (Major Public Open Space Edges). These regulations include, but are not limited to, building height bonuses, access and connectivity, landscaping, buffering and screening, outdoor lighting, structure color, and signage.

#### ***Definitions***

**Drainage Facility:** The system of structures for collecting conveying, and storing surface and stormwater runoff. Drainage facilities are for surface and stormwater runoff conveyance and containment. These include but are not limited to streams, pipelines, channels, ditches, arroyos, acequias, wetlands, infiltration facilities, retention/detention facilities, erosion/sedimentation control facilities, and other drainage structures and appurtenances, both natural and manmade. On-site drainage ponding areas that manage stormwater generated by uses on the lot are not considered drainage facilities. See also Acequia, Major Arroyo, Major Utility.

#### ***Open Space Definitions***

**Extraordinary Facility:** Facility within Major Public Open Space, not including trails, fencing, signs, incidental parking lots, access roads, or infrastructure not visible on the surface that is primarily for facilitating recreation, relaxation, and enjoyment of the outdoors and that requires additional review by the Open Space Advisory Board and EPC per the Facility Plan for Major Public Open Space. Extraordinary Facilities may include utility structures, WTFs, or buildings.

Major Public Open Space: Publicly-owned spaces managed by the Open Space Division of the City Parks and Recreation Department, including the Rio Grande State Park (i.e. the Bosque), Petroglyph National Monument, and Sandia foothills. These are typically greater than 5 acres and may include natural and cultural resources, preserves, low-impact recreational facilities, dedicated lands, arroyos, or trail corridors. The adopted Facility Plan for Major Public Open Space guides the management of these areas. For the purposes of this IDO, Major Public Open Space located outside the city municipal boundary still triggers Major Public Open Space Edge requirements for properties within the city adjacent to or within the specified distance of Major Public Open Space.

Resource Management Plan: Rank 3 Plans developed by the Open Space Division of the City Parks and Recreation Department to provide policy guidance on how to manage and protect natural, historic, or cultural resources and/or scenic views for individual City-owned or managed Major Public Open Space. Resource Management Plans also guide visitor uses, budgeting, and decision making.

*Sensitive Lands Definitions*

Arroyo: A watercourse that conducts an intermittent or ephemeral flow, providing primary drainage for an area of land, or a watercourse that would be expected to flow in excess of 1,000 cubic feet per second as the result of a 100-year storm event, as determined by the City Hydrologist.

Floodplains and Special Flood Hazard Areas: See *Flood Definitions*. Floodplain: Any land susceptible to being inundated by water from any source. Special Flood Hazard Area: The land area covered by floodwaters of the base flood, as defined by the Federal Emergency Management Agency and shown on National Flood Insurance Program maps.

Irrigation Facility: The system of water facilities within the MRGCD, including acequias, ditches, laterals, canals, interior drains, riverside drains, and wasteways, which convey water to irrigators or return unused irrigation water to the Rio Grande. Some facilities may also convey stormwater. The irrigation facility includes the canal that conveys the water, the maintenance road(s) along the bank top, and the sloped banks that tie back to the surrounding land. These facilities may or may not have a formal easement. See also *Acequia*.

Large Stand of Mature Trees: A collection of 5 or more trees 30 years or older or having trunk diameters (as determined by Diameter at Breast Height – DBH) averaging at least 16 inches in diameter, as determined by the City Forester.

Rock Outcropping: Bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10 percent slope line and in excess of 500 square feet in surface area.

Riparian Area: Aquatic ecosystems and the transitional ecosystems surrounding them, as shown on the map created and maintained by the City Parks and Recreation Department and published by AGIS. The transitional riparian ecosystem is characterized by distinctive vegetative communities and soils that are affected by the presence of surface and groundwater and provides critical habitat for endangered species and migratory birds, as well as other animals.

### ***Relevant Rank 2 or Rank 3 Plans***

#### ***1999 Major Public Open Space Facility Plan (Rank 2)***

In 1999, City Council adopted the Major Public Open Space (MPOS) Facility Plan, a Rank 2 plan that provides guidelines and policies for achieving the Open Space goals outlined in the Albuquerque/Bernalillo County Comprehensive Plan. This document integrates information, policies, and procedures to protect and effectively manage all of the City's Major Public Open Space resources. The Facility Plan establishes specific planning, land use, and management policies for each major open space area, which includes the Rio Grande Bosque and adjacent open space. Section 5: Rio Grande Bosque is applicable to the request.

To oversee the MPOS Program, the City established the Open Space Advisory Board (OSAB) in 1983. This appointed citizen board, in collaboration with staff, is responsible for reviewing and recommending acquisition priorities and additions to the open space network. The OSAB provides recommendations on Extraordinary Facilities to the EPC. Additionally, OSAB advises on proposed developments adjacent to MPOS and on proposals to sell, lease, or exchange trust lands.

#### **D. Vegetation Management**

Policy D.4 – Native plant species shall be protected. Exotic plant materials shall be controlled and growth of native species shall be encouraged. Native plants that historically grew in the Bosque shall be reintroduced when feasible.

The applicant, in collaboration with the Open Space Division, has taken steps to identify ways to reduce the number of mature trees that need to be removed to accommodate the new bridge and road alignment. While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the City Parks and Recreation's Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. **The request is consistent with Policy D.4.**

Policy D.5 – Regeneration of cottonwood trees shall be encouraged through pole plantings and temporary flooding. Genetic diversity of the cottonwoods must be maintained.

If approved, after construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City’s Open Space Division and Urban Forestry Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway.

**The request is consistent with Policy D.5.**

D. Restoration/Mitigation of Damage

Policy D.11 – Approved Disturbances shall be mitigated by the responsible agency or organization, including a revegetation plan that details species to be used and planting techniques.

After construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City’s Open Space Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway. **The request is consistent with Policy D.11.**

Policy D.12 – Mitigation of damage or restoration will be equal to the replacement value calculated according to the appraisal method for tree and landscape appraisals outlined in the “Valuation of Landscape Trees, Shrubs, and Other Plants.” This method of appraisal recognizes that mature vegetation has a higher value than new vegetation and ensures that mitigation of damage to mature Bosque is commensurate with the loss of vegetation.

While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space

Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. **The request is consistent with Policy D.12.**

***Bikeways & Trails Facility Plan – (Rank 2)***

The purpose of the Bikeways & Trails Facility Plan, adopted by the City Council in 2015, is to evaluate the current bikeways and trails system and offer recommendations for new facilities, administrative processes, and education and outreach programs. Albuquerque’s trail and bicycle network are a key part of its system of parks, open space, and trails, which connects residents and visitors to the city’s natural surroundings while promoting healthy activities. This Rank 2 Facility Plan guides the development of a sustainable bikeways and trails system, enhancing transportation and recreation options, connecting people to nature, and supporting local economic growth. The following Goals and Principles are applicable to the request.

1. Improve cyclist and pedestrian safety.

1.a. Policy: Develop a legible and predictable trail and bikeway system through planning, design, and implementation of physical improvements.

The proposed development is consistent with this policy because the project will integrate clearly demarcated bike trails and pedestrian walkways that will be easily identifiable and follow consistent design standards, allowing users to navigate the area. The use of design elements such as chicanes and guardrail fencing will allow for the trails and walkways to be protected from potential hazards. **The request is consistent with policy 1.a.**

4. Increase use of the bikeway and trails network.

4.a. Policy: Support the development of an integrated bikeways and trails system that serves the interests and needs of transportation and recreation.

The improvements at the subject site such as upgraded paths and access points will make the area more appealing for recreational users while also supporting transportation goals by providing smooth and direct connections to nearby neighborhoods and facilities. This approach will cater to the diverse needs of users, encouraging increased usage of the bikeway and trail system for various activities, from commuting to outdoor recreation. **The request is consistent with policy 4.a.**

4.c. Policy: Accommodate all types, ages, and abilities of users in a comfortable manner throughout the system, while recognizing that all modes of travel and/or level of user ability may not necessarily be accommodated on every road or trail.

4.c.1. Improve and enhance cycling and pedestrian opportunities

The request is consistent with this policy as the proposed development is designed to accommodate individuals of all types, ages, and abilities by creating an inclusive and accessible bikeway and trail system that ensures comfort for a diverse range of users. **The request is consistent with Policy 4.c.1.**

***Bosque Action Plan – Rio Grande Valley State Park (Rank 2)***

The Bosque Action Plan is the adopted Rank 2 plan for the Rio Grande Valley State Park (RGVSP). The plan identifies specific environmental and recreational improvements for the RGVSP. The policies have been developed to help minimize impacts on the Bosque environment and to ensure the continued survival of the plants and animals of the Bosque habitat. The type of improvements varies from area to area in the park based on the existing conditions within the Bosque environment.

Goal: The goal is to protect and enhance the natural resources of the Rio Grande Valley State Park.

The request is consistent with this goal because the proposed development will protect and enhance the natural resources of the Rio Grande Valley State Park by incorporating measures that minimize environmental impacts, such as limiting construction footprints, ensuring habitat preservation, and appropriate mitigation measures. All disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway. **The request is consistent with this goal.**

Policy 6: All submittals for development, both private and public property located on or adjacent to the boundaries of the Rio Grande Valley State Park shall include a complete extraordinary facility form to be submitted to the Open Space Advisory Board for their action.

The applicant has submitted all required documentation and appeared before the Open Space Advisory Board on October 24, 2023, demonstrating compliance with this policy and



requirements outlined in Subsection 6-6(l)(2)(a) of the Integrated Development Ordinance.  
**The request is consistent with Policy 6.**

Policy 8: Improvements shall be located in non-sensitive areas that are appropriate for such developments, considering ecological sensitive as well as user satisfaction.

The replacement of the bridge will require shifting of the bridge to the north, which will significantly impact the subject site; however, the applicant, in collaboration with the Open Space Division, has taken steps to identify ways to reduce the number of mature trees that need to be removed to accommodate the new bridge and road alignment. While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. **The request is consistent with Policy 8.**

Policy 20: Construction methods and materials shall be compatible with the preservation of the natural character of the Rio Grande Valley State Park.

The request is consistent with this policy because the design will incorporate multi-use trails that connect surrounding parks and open spaces while adhering to the City of Albuquerque Trail and Trailhead Design Standards for Open Space. These standards ensure that the trails are designed and built to facilitate safe and accessible use for a variety of non-motorized activities, such as walking, biking, and running. By following these guidelines, the request promotes connectivity between recreational spaces, enhances the overall trail network, and supports the Comprehensive Plan vision of providing a high-quality, accessible, and well-maintained system that links community and regional parks. **The request is consistent with policy 20.**

B. Minimize the removal of vegetation on all construction sites. Require vegetation where removal is unavoidable.

While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation.

After construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas.

NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division. **The request is consistent with Policy 20.b.**

D. Continuously monitor construction projects for compliance with this plan and other relevant documents and policies.

NMDOT will implement an ongoing monitoring system through the duration of the project. In addition to pre-construction meetings with the contractor, City Open Space Division, and Urban Forestry Division staff to mitigate impacts like tree removal, NMDOT will establish regular on-site inspections and coordination meetings. These inspections will be conducted at key milestones of the project and will involve representatives from NMDOT, the City's Open Space Division, Urban Forestry Division, and other relevant agencies.

Any deviations from the agreed-upon plans and policies will be identified, and corrective actions will be promptly implemented. Additionally, NMDOT will collaborate with the City's Urban Forestry Division and the Open Space Division staff to ensure that any vegetation and habitat impacts are mitigated according to best practices. **The request is consistent with policy 20.d.**

E. Proposed methods and materials used on projects must be reviewed and approved by the City Open Space Division prior to the application.

The proposed methods and materials used for this project were reviewed and approved by the City Open Space Division prior to the application. **The request is consistent with Policy 20.e.**

F. Completed improvements should comply with the design requirements identified in the Bosque Action Plan.

The proposed improvements comply with the design requirements identified in the Bosque Action Plan. **The request is consistent with policy 20.f.**

G. Prior to construction, site boundaries must be identified and approved by the Open Space Division. Construction equipment is required to stay within the boundaries, unless otherwise approved by the Open Space Division.

The site boundaries have been clearly defined and approved by the Open Space Division. All construction equipment and activities will stay within these designated boundaries; however, if there is a need to extend beyond the site limits, prior approval will be requested and

obtained from the Open Space Division before encroaching further into the open space. **The request is consistent with policy 20.g.**

#### ***IV. Site Plan – EPC***

The request is for a Site Plan – EPC for an Extraordinary Facility in Major Public Open Space at the 9.5-acre Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail. The adjacent Rio Bravo Bridge (NM500), consisting of four structures over the Rio Grande, requires replacement due to structural deficiencies. The bridge replacement will affect the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail located northeast of the bridge, as well as a smaller parking area and trailhead on the northwest side; however, the picnic area, pier, and trail are considered the Extraordinary Facilities that are the subject of this request. Pursuant to IDO §14-16-6-6(l)(3) (Review and Decision Criteria), an application for a Site Plan – EPC will be approved if it meets all of the criteria in §14-16-6-6(l)(3)(a-h).

**6-6(l)(3)(a)** The site plan is consistent with the ABC Comp Plan, as amended.

The Site Plan – EPC for an Extraordinary Facility is consistent with the ABC Comp Plan by promoting balanced development that supports the area’s environmental sustainability, community character, transportation, and parks and open space goals and policies. The plan also addresses infrastructure needs, encourages multimodal transportation options, and adheres to policies for environmental protection, such as managing open space edges.

**6-6(l)(3)(b)** The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not zoned NR-SU or PD; therefore, the above criterion does not apply.

**6-6(l)(3)(c)** The site plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations by adhering to zoning, design, and infrastructure requirements, including standards for environmental protection, and connectivity. The site plan will respect prior approvals by incorporation conditions specific to the property’s development.

**6-6(l)(3)(d)** The City’s existing infrastructure and public improvements, including but not limited to its street, trail, drainage and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The Site Plan – EPC addresses this criterion by improving the existing infrastructure’s capacity through the replacement of the structurally deficient bridge on Rio Bravo Blvd.,

adding travel lanes, and enhancing pedestrian and vehicular access to the subject site. These improvements will mitigate burdens on the current systems by preventing further deterioration, enhancing connectivity, and improving the visitor experience, ensuring that the City's street, trail, drainage, and sidewalk systems can adequately serve the proposed development.

**6-6(I)(3)(e)** The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The proposal mitigates significant adverse impacts on the surrounding area by minimizing the number of mature trees that need to be removed and developing a restoration plan in collaboration with the Open Space Division and Urban Forestry Division. While the removal of mature Cottonwood trees and other vegetation is unavoidable due to the new bridge and road alignment, efforts have been made to reduce this impact. NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. This revegetation will help to offset the loss of mature vegetation, ensuring that the ecological balance and aesthetic value of the area are preserved as much as possible.

Furthermore, the commitment to revegetate all disturbed areas with native seed mix, along with specific restoration efforts such as planting Willow cuttings along the Rio Grande and Cottonwoods in upland areas, demonstrates a comprehensive approach to restoring the natural environment post-construction. By involving the City's Open Space Division and Urban Forestry Division in planning and executing the restoration, the application ensures that the surrounding area will be rehabilitated to the maximum extent practicable, minimizing long-term environmental impacts.

The EPC's conditions of approval would improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.

**6-6(I)(3)(f)** If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to standards applicable in the zone district the subject property is in.

Although the subject property is not within an approved Master Development Plan, the Site Plan – EPC is consistent with the applicable design standards outlined in the Rank 3 Bosque Action Plan. The Bosque Action Plan emphasizes preserving the ecological integrity of the Rio Grande's riparian environment while enhancing public access and recreational amenities. The site plan adheres to these principles by carefully balancing the need for infrastructure improvements with the protection of natural resources.

**6-6(I)(3)(g)** If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative

impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject site is not within a Railroad and Spur Area; therefore, this criterion does not apply.

**6-6(I)(3)(h)** If an outdoor or site light performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

No outdoor lighting is proposed that would trigger an evaluation under Section 14-16-5-2(E); therefore, this criterion does not apply.

### ***Site Plan Analysis***

The proposed Site Plan – EPC for the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail addresses the necessary bridge replacement on Rio Bravo Blvd. while carefully considering the environmental and recreational impacts on the surrounding area. The Rio Bravo Blvd. bridges, currently in fair condition, require replacement to meet safety and capacity demands. The project, led by FHWA in partnership with NMDOT, involves expanding the bridge and shifting it northward into the area managed by the City Open Space Division. Although this encroachment impacts the picnic area and adjacent open space, the plan outlines mitigation strategies to preserve the area’s ecological integrity.

The bridge replacement will result in the removal of some mature vegetation, including mature Cottonwood trees, which cannot be replaced in-kind. NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. These revegetation measures will help offset the loss of mature trees and contribute to restoring the site’s natural environment once construction is complete. Additional restoration efforts will include the use of native seed mixes to revegetate disturbed areas and the planting of Willow cuttings along the riverbank and Cottonwood trees in upland areas.

The subject site, a popular day-use area, currently offers amenities such as picnic tables, a fishing pier, an ADA-accessible quarter-mile loop trail, and connections to the City’s Multi-Use Trail System. NMDOT will collaborate with the Open Space Division to minimize and mitigate impacts to the existing parking lots on both sides of the river and all associated amenities, including picnic tables, trash cans, fencing, signage, and trails. This will involve redesigning and reconstructing parking areas and impacted trails, as well as relocating or compensating for any site amenities affected by the project.

As part of the improvements, the subject site will benefit from an upgraded parking lot featuring five designated handicap parking spaces on a cement pad with easy access to replacement picnic tables and trailheads. Additionally, 30 designated parking spaces with concrete wheel stops will be provided. Enhanced access control features, including updated fencing, gates, and pedestrian- and equestrian-friendly chicness, will be installed, improving the overall functionality and accessibility to the site.

### ***Site Design and Sensitive Lands***

#### ***5-2 Site Design and Sensitive Lands***

The subject site is adjacent to Major Public Open Space and is therefore subject to all of the regulations in IDO §14-16-5-2(J)(2), Lots Adjacent to Major Public Open Space.

#### ***5-2(C) Avoidance of Sensitive Lands***

Pursuant to IDO §14-16-5-2(C)(1) the site design process shall begin with an analysis of site constraints related to sensitive lands, to be included with applications for Site Plan. The site analysis shall be reviewed by relevant staff from Hydrology, Parks and Recreation, Historic Preservation, the City Forrester, and/or the City Archaeologist, depending on the type(s) of sensitive lands on the site.

To the maximum extent practicable, site design shall avoid locating development, except for open spaces and areas that would not be disturbed during the development process, in the following types of sensitive lands:

- 5-2(C)(1)(a) Arroyos
- 5-2(C)(1)(b) Floodplains and Special Flood Hazard Areas
- 5-2(C)(1)(c) Irrigation Facilities (acequias)
- 5-2(C)(1)(d) Large stands of mature trees
- 5-2(C)(1)(e) Riparian Areas
- 5-2(C)(1)(e) Rock outcroppings
- 5-2(C)(1)(f) Significant archaeological sites

A Certificate of No Effect from the City of Albuquerque was not required, since the project is located in Bernalillo County; however, NMDOT consulted with the State Historic Preservation Office, which confirmed that the project will not have an adverse impact on historic irrigation canals.

5-2(C)(1)(g) Steep slopes and escarpments

5-2(C)(1)(h) Wetlands

Please refer to the Sensitive Land Analysis submitted as part of the application.

Sensitive Lands Analysis Summary: The NM500 Bridge Replacement Project has taken extensive measures to minimize impacts on natural, cultural, and environmental sensitive lands. Throughout the development process, ongoing coordination with key stakeholders, including MRGCD, the City of Albuquerque Open Space Division, US Fish and Wildlife Service, and other agencies, has been central to addressing potential impacts. Despite these efforts to avoid sensitive areas, some impacts are unavoidable. A Class III Cultural Resources Investigation determined that the project would not affect the historic irrigation canals, and a Biological Evaluation resulted in mitigation plans to protect species and riparian habitats. These plans will include on- and off-site riparian plantings and timing construction to coincide with the river's low-flow months. Additionally, 2.9 acres of land will be revegetated with native plants, Willow, and Cottonwood poles after construction.

The project also includes removing a limited number of mature Cottonwood trees, but the City Open Space Division will coordinate with NMDOT to ensure minimal disruption to the subject site, in collaboration with the City Urban Forestry Division. A pre-construction meeting will be held to clearly mark the trees to be removed. Temporary dewatering of the river will occur during the construction of new bridge piers, but the new bridge will have fewer piers in the river, reducing long-term environmental impacts. NMDOT has worked with the US Army Corps of Engineers and FEMA to address floodplain and river impact concerns, ensuring compliance with the Clean Water Act permits and minimizing changes to floodplain elevations. Additionally, impacts to park amenities and parking areas will be mitigation by reconstructing and relocating affected features in collaboration with the Open Space Division, ensuring that the recreational activities and amenities in the area remain largely unaffected.

**5-2(J) Major Public Open Space Edges**

Pursuant to IDO §14-16-5-2(J)(1) the following standards apply to development within 330 feet in any direction of Major Public Open Space in order to enhance and protect Major Public Open Space.

5-2(J)(1)(a) Access and Connectivity

Provide pedestrian and bicycle access to the Major Public Open Space consistent with the City's adopted Bikeways and Trails Facility Plan and as acceptable to the Open Space Division of the City Parks and Recreation Department.

The project complies with the requirement to provide pedestrian and bicycle access to the Major Public Open Space by incorporating design features that align with the City's adopted Bikeways and Trails Facility Plan. The reconstruction of impacted trails and parking areas includes enhancements to pedestrian and bicycle access points, ensuring safe and efficient connectivity. Additionally, the project adds pedestrian- and equestrian-friendly chicanes and access control features to promote smooth movement for non-motorized users. NMDOT is coordinating closely with the City Open Space Division to ensure that these improvements meet their standards and are acceptable in maintaining access to the open space.

5-2(J)(1)(b) Landscaping, Buffering, and Screening

1. Use native and/or naturalized vegetation for landscaping materials.

After construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division.

2. Screen mechanical equipment pursuant to §14-16-5-6(G) (Screening of Mechanical Equipment and Support Areas).

No mechanical equipment is proposed for the site.

5-2(J)(1)(c) Outdoor Lighting

Regardless of zone district, the lighting designation shall be no higher than Lz1 and shall be subject to outdoor lighting curfew to protect natural ecosystems and their biodiversity.

Site lighting is not proposed.

5-2(J)(1)(d) Color

1. Development shall limit the colors of exterior surfaces of structures, including but not limited to mechanical devices, roof vents, and screening materials, to those with light reflective value (LRV) rating between 20 percent and 50 percent.
2. Colors shall blend with the surrounding natural environment and generally include yellow ochres, browns, dull reds, and grey greens.



3. Trim materials on facades constituting less than 20 percent of the façade's opaque surface may be any color.

§14-16-5-2(K)(1)(d) regarding color requirements is not applicable to this project, as it does not involve the development of structures with exterior surfaces, mechanical devices, roof vents, or screening materials that would be subject to these regulations.

#### 5-2(K)(1)(e) Signs

1. Electronic signs are prohibited pursuant to §14-16-5-12(H)(2)(e).

No electronic signs are proposed as part of this request.

2. Signage shall be located to minimize visibility from Major Public Open Space and designed pursuant to §14-16-5-12(E)(5) (Illumination and Motion).

No illuminated or motion signs are proposed. Future signage will be developed in coordination with the Open Space Division and will adhere to the guidelines outlined on page 11 of the Trail and Trailhead Design Standards for Open Space, specifically concerning signage. The proposed signage will be limited to those that focus on ensuring public safety, protecting wildlife and sensitive natural resources, and enhancing the user experience.

#### **5-2(J)(2) Lots Adjacent to Major Public Open Space**

5-2(J)(2)(a) Development on lots of any size adjacent to major Public Open Space shall:

1. Be platted and/or designed to incorporate a single-loaded street between the Major Public Open Space and development, with access generally prohibited unless approved by the Open Space Division of the City Parks and Recreation Department. Where a single-loaded street is not desired by the Open Space Division of the City Parks and Recreation Department, a landscape buffer with a minimum width of 45 feet may be substituted as approved by the Open Space Superintendent. Existing vegetation on the Official Albuquerque Plant Palette may count towards satisfying the requirement of Subsection 14-16-5-6(C)(2) (Minimum Landscaped Area) with approval from the Open Space Superintendent. Plant selection and location is subject to approval by the Open Space Superintendent.

All disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division.

2. For cluster development and multi-family dwellings, locate at least 25 percent of common open space or ground-level usable open space to be contiguous with Major Public Open Space. These areas shall be made accessible from the remaining lands via trails or sidewalks. Access to Major Public Open Space is only allowed if approved by the Open Space Division of the City Parks and Recreation Department.

Not applicable.

3. Locate lower densities and less intense uses abutting the Major Public Open Space in any Mixed-use zone district.

Not applicable.

4. Include a landscaped strip between off-street parking and the Major Public Open Space with a minimum width of 6 feet that varies in width to avoid the appearance of a hard, straight line. Plant selection shall include sufficient shrubs or trees to provide a visual barrier.

No off-street parking is proposed.

5. Limit height of site lighting luminaries to 20 feet.

No lighting is proposed.

6. Incorporate Crime Prevention through Environmental Design (CPTED) principles to deter crime and to facilitate security measures.

No CPTED Agency comments were received.

7. Manage stormwater per §14-16-5-4(H)

All stormwater management adheres to IDO §14-16-5-4(H) (Stormwater Management) and complies with DPM standards, Flood Hazard and Drainage Controls and requirements of AMAFCA. The development also complies with the water conservation ordinance.

Comments were received from AMAFCA. AMAFCA requests coordination and review of the plans for NMDOT's NM500 Bridge Replacement project to verify compliance with the Southeast Valley Drainage Master Plan, and other drainage projects/needs in the area, which may impact portions of the overall project. Proposed Conditions of Approval have been included in this report to ensure compliance.

8. Design grading per §14-16-5-4(J).

Grading plan has been submitted as part of the application.

9. Locate and design vehicle access, circulation, and parking per §14-16-5-5(F) (Parking Location and Design) and §14-16-5-6(F) (Parking Lot Landscaping).

Vehicular access, circulation and parking are proposed that meet these standards (see site plan).

10. Locate and design all walls, fences, retaining walls, and combinations of those site features facing the MPOS in compliance with all applicable standards in §14-16-5-7(E)(4) (Walls Adjacent to Major Arroyos or Major Public Open Space).

Fences have been designed to comply with the Trail and Trailhead Design Standards for Open Space.

5-2(J)(2)(b) Development on lots 5 acres or greater adjacent to Major Public Open Space shall:

1. Comply with the requirements of Subsection (a) above.

The development complies with the requirements of §14-16-5-2(J)(2)(a).

2. Not be located within 50 feet of the portions of Major Public Open Space with a steep slope, escarpment, wetland, and/or riparian area, except for any single-loaded street or landscaped buffer required pursuant to §14-6-5-2(K)(2)(a)1.

Please refer to the Sensitive Lands Analysis.

3. Not create any material or negative environmental impacts on the visual, recreational, or habitat values of the Major Public Open Space.

Please refer to the Sensitive Lands Analysis and the Biological Evaluation. The request meets this standard.

4. Locate and design vehicle access, circulation, and parking to minimize the impact to Major Public Open Space.

Vehicle access, circulation and parking have been located and designed to minimize the impact to MPOS. Parking has been provided and will be nestled in between the Rio Bravo Riverside Picnic Area. As part of the improvements, the subject site will benefit from an upgraded parking lot featuring five designated handicap parking spaces on a cement pad with easy access to replacement picnic tables and trailheads. Additionally, 30 designated parking spaces with concrete wheel stops will be provided.

5. Design grading and manage stormwater to minimize impact to Major Public Open Space.

The Grading and Drainage Plan (Sheet No. 3-50) has been submitted as part of the application packet (90% design submittal). Contour intervals are set at 0.5' increments

6. Locate, design, and orient site lighting to be compatible with Major Public Open Space, including consideration of periphery lighting and lighting of any pedestrian access to major Public Open Space that is acceptable to the Open Space Division of the City Parks and Recreation Department.

No site lighting is proposed.

7. Design walls to balance the following needs as an appropriate on a case-by-case basis:
  - a. Aesthetics that blend with the natural environment.
  - b. Safety and surveillance.
  - c. Screening and privacy.

No walls are proposed.

8. Locate, design, and orient signage to minimize impact to the Major Public Open Space.

No illuminated or motion signage is proposed.

9. Be reviewed by the Environmental Planning Commission (EPC), pursuant to §14-16-6-6(I).

The site plan is being submitted for review and approval by the EPC.

10. Have an approved Site Plan-EPC that meets conditions deemed necessary by the EPC to further compliance with the above standards to minimize impact on the Major Public Open Space and maximize the compatibility of the proposed development prior to the submittal of any request for platting.

The Site Plan – EPC is scheduled for review and decision by the EPC at the hearing on September 19, 2024. This review will ensure that the site plan meets all necessary conditions to further compliance with the applicable standards, particularly those aimed at minimizing the impact on the Major Public Open Space and maximizing compatibility with the surrounding environment.

### ***Site Plan Layout/Configuration***

The proposed site plan for the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail involves shifting the Rio Bravo Boulevard bridge northward to add travel lanes, impacting the picnic area and nearby trails. A straight bridge alignment was chosen to

minimize property and park impacts compared to fully offset or curved alignments, simplifying construction while maintaining better road geometry. This alignment enhances safety and offers a more comprehensive solution than a partial replacement. The plan includes redesigning and reconstructing parking areas with five handicap-accessible spaces and 30 additional spaces, along with improved pedestrian and bicycle connectivity through new access control features and trail reconstructions. Site amenities, including picnic tables, trash cans, and signage, will be relocated or replaced, with final placements to be determined post-construction to minimize environmental impact and enhance the visitor experience.

### ***Dimensional Standards***

Although the subject site is not zoned because it is located in unincorporated Bernalillo County, the site is designated as Major Public Open Space. The IDO requires any Extraordinary Facility to be reviewed and decided pursuant to §14-16-6-6(l) (Site Plan – EPC). Uses and development standards specified in a Resource Management Plan or Master Plan, approved or amended by the Open Space Division of the City Parks and Recreation Department, take precedence over the Integrated Development Ordinance (IDO) standards for each facility. These standards, outlined in the Rank 2 Major Public Open Space Facility Plan, may be incorporated into Site Plans approved under the IDO, ensuring that specific requirements for open space management prevail in such developments.

### ***Access and Connectivity***

Access to the subject site is along Poco Loco Drive SW via the Rio Bravo Boulevard bridge (NM500).

The proposed access and connectivity for parking and trails are detailed in the 1999 City of Albuquerque Major Public Open Space Facility Plan, specifically in Section 2: Issues and General Policies. This section outlines guidelines for ensuring effective access to open spaces while considering environmental and user experience factors. Furthermore, the Trail and Trailhead Design Standards for Open Space provide specific recommendations regarding the type of surfacing materials to be used for trails, along with dimensional standards for trail and trailhead design. These standards are aimed at creating sustainable, accessible, and safe pathways that blend seamlessly with the natural environment while accommodating a range of recreational activities.

### ***Subdivision of Land***

There are no specifications for Subdivision of Land within the Design Standards or the Site Plan.

### ***Parking and Loading***

The plan includes the redesign and reconstruction of parking areas, ensuring improved vehicular access with five handicap-accessible spaces and 30 additional parking spaces with concrete wheel stops.

### ***Landscaping, Buffering, and Screening***

A landscape plan is currently unavailable because it is not yet determined which trees will be salvaged, removed, or mitigated; however, after construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division.

### ***Fences, Gates & Chicanes***

The standards for fences, gates, and chicanes are detailed on page 16 of the Trail and Trailhead Design Standards for Open Space. The applicant has provided details for the gate, high-tensile wire fence, and chicanes that conform to these standards. The chicane posts and railings will be made of treated wood, 6"-8" in diameter, 4'-0" high with wire bracing, and set at least 2' deep into the ground.

For the Poco Loco SW gate, the specifications include a gate made from 2 3/8" pipe, with posts of 6" pipe and 6'-0" in length. The lock guard will also be constructed from 6" pipe. The posts will be embedded 2'-6" into the ground, and the gate will measure 3'-6" in length.

The high-tensile wire fence will feature poles 6"- 8" in diameter, standing 4'-0" above ground, and set 3'-6", spaced 40'-0" apart. The wire will consist of 5 strands of smooth 12 ½ gauge, with a maximum tensile strength of 170,000 psi. Corner braces will use posts spaced 8' -0" apart, with the top rail being 6"-8" in diameter, 8'-0" long, and featuring wires arranged in an X pattern with double-wire twisted tightly.

### ***Outdoor Lighting***

Outdoor lighting is not proposed.

### ***Neighborhood Edges***

There are no specifications proposed for Neighborhood Edges. Where the proposed Design Standards are silent, IDO regulations shall apply.

***Solar Access***

There are no specifications proposed for Solar Access. Where the proposed Design Standards are silent, IDO regulations shall apply.

***Building Design***

Buildings are not proposed.

***Signs***

No illuminated or motion signs are proposed. Future signage will be developed in coordination with the Open Space Division and will adhere to the guidelines outlined on page 11 of the Trail and Trailhead Design Standards for Open Space, specifically concerning signage. The proposed signage will be limited to those that focus on ensuring public safety, protecting wildlife and sensitive natural resources, and enhancing the user experience

***V. Agency & Neighborhood Concerns***

***Reviewing Agencies***

City departments and other interested agencies reviewed this application. Few but notable comments were received:

Open Space Division (SUMMARY): The Open Space Division (OSD) supports this significant and critical infrastructure project but emphasizes that the ecological and recreational impact should be minimized as much as possible and ensure that the NMDOT will work with OSD on remediation measures as agreed to and outlined in this letter.

The OSD recognizes that this project will have a big impact on the area, temporarily disrupting access and use of the site, and resulting in the loss of many mature Cottonwood trees. With that being said, the OSD recognizes the need for this project and appreciates NMDOT's coordinated effort to minimize the impact of the project and to replace and improve the area to the current and/or better conditions. (See attachment.)

AMAFCA: No adverse comments to the Site Plan-EPC for the Extraordinary Facility. AMAFCA requests coordination and review of the plans for NMDOT's NM500 Bridge Replacement project to verify compliance with the Southeast Valley Drainage Master Plan, and other drainage projects/needs in the area which may impact portions of the overall project.

Bernalillo County/Planning (For information only): This project is a river crossing in the South Valley that serves many major residential, commercial, and industrial areas under County jurisdiction, including the International Sunport Station Area Sector Plan, Sunport Commerce Design Overlay Zone, the Isleta Boulevard and Village Centers Sector Development Plan, and the Las Estancias Planned Development Area.

NMDOT: NMDOT is in full support of the improvements associated with this project. NMDOT will continue coordination with the City of Albuquerque as the project nears implementation.

Urban Forestry Division: Urban Forestry defers to Open Space Division for comments.

Tribal Representatives: Referral for tribal engagement was required pursuant to IDO §14-16-6-4(I), as the subject site is located in Major Public Open Space. No written comments were received.

### ***Neighborhood/Public***

The application package contains pre-application summary discussions, PowerPoint presentations, and meeting minutes from the last eighteen months. The applicant provided a Public Outreach & Comment Summary, met with the South Side Farms Community Association on April 28, 2022, and met with the Greater Albuquerque Active Transportation Committee on April 10, 2023. Public feedback from the April 10, 2023 meeting highlighted key concerns, including the complete closure of the bridge, the volume of traffic on Rio Bravo Boulevard, access to pedestrian and multi-modal trails, and noise issues.

Public notice requirements are established in IDO Table 6-1-1 and §14-16-6-4(K) (Public Notice). According to the Office of Neighborhood Coordination, there are no affected registered neighborhood organizations that were required to be notified. Property owners within 160 feet of the subject site were also notified. The official requirement is to notify property owners within 100 feet, but the applicant extended the notification area to 160 feet to ensure that no required property owners were overlooked. A total of 26 certified mail receipts were submitted.

As of the writing of this staff report, no individuals have reached out to express either opposition or support for the request.

## ***VI. Conclusion***

The request is for a Site Plan – EPC for an Extraordinary Facility in Major Public Open Space at the 9.5-acre Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail. The adjacent Rio Bravo Bridge (NM500), consisting of four structures over the Rio Grande, requires replacement due to structural deficiencies. Currently rated in fair condition, the bridges are at risk of further deterioration. In response, the New Mexico Department of Transportation (NMDOT), in partnership with the Federal Highway Administration (FHWA), has proposed replacing the east- and west-bound bridges on Rio Bravo Boulevard. This project will add travel lanes and shift the bridge northward by approximately half its width into the area managed by the City’s Open Space Division of the Parks and Recreation Department. The project is federally funded, with FHWA as the lead agency.



The bridge replacement will affect the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail located northeast of the bridge, as well as a smaller parking area and trailhead on the northwest side; however, the picnic area, pier, and trail are considered the extraordinary facilities that are the subject of this request.

The subject site is part of the Rio Grande Valley State Park (RGVSP), a 4,300-acre park extending from Sandia Pueblo to the north to Isleta Pueblo in the south, spanning both sides of the Rio Grande. While the Middle Rio Grande Conservancy District (MRGCD) owns the park, and the subject site is within the unincorporated Bernalillo County, the 1983 Rio Grande Valley State Park Act designates the City's Open Space Division as the managing agency.

This request is under review because any Extraordinary Facility in Major Public Open Space must be reviewed and decided as a Site Plan – EPC [IDO §14-16-6-6(I)].

The proposed development includes redesigning and reconstructing parking areas, adding five handicap-accessible spaces and 30 additional spaces, as well as enhancing pedestrian and bicycle connectivity through new access control features and trail improvements. Site amenities like picnic tables, trash cans, and signage will be relocated or replaced, with final placements determined post-construction to minimize environmental impact and improve the visitor experience.

The development is consistent with Goals and policies in the Comprehensive Plan by promoting accessibility, safety, and multimodal transportation. The inclusive design of the bikeway and trail system accommodates users of all ages and abilities, supporting both recreational and commuting needs. Safety measures to prevent motorized access while maintaining clear, accessible paths further demonstrate consistency with the plan's objectives. Enhanced pedestrian and bicycle connections to the Rio Bravo Activity Center and nearby neighborhoods reinforce these goals.

Generally, not finding any conflicts with the IDO or other regulations, **Staff recommends approval subject to conditions needed to improve compliance and provide clarification.**

## ***Findings, Site Plan***

### ***Project #: 2024-10771/ SI 2024-01142***

1. The request is for a Site Plan – EPC for an Extraordinary Facility in Major Public Open Space for the 9.5-acre Rio Bravo Picnic Area, Fishing Pier, and Nature Trail. The site is legally described as MRGCD Map 49, T9N R2E 12 & R3E 7 & 8 (Bernalillo County) (the “subject site”).
2. The adjacent Rio Bravo Bridge (NM500), consisting of four structures over the Rio Grande, requires replacement due to structural deficiencies. The New Mexico Department of Transportation (NMDOT), in partnership with the Federal Highway Administration (FHWA), has proposed replacing the east- and west-bound bridges on Rio Bravo Boulevard. This project will add travel lanes and shift the bridge northward by approximately half its width into the area managed by the City Open Space Division of the Parks and Recreation Department. The project is federally funded, with FHWA as the lead agency.
3. The bridge replacement will affect the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail located northeast of the bridge, as well as a smaller parking area and trailhead on the northwest side; however, the picnic area, pier, and trail are considered the extraordinary facilities that are the subject of this request.
4. The subject site is part of the Rio Grande Valley State Park (RGVSP), a 4,300-acre park extending approximately 22 miles from Sandia Pueblo to the north to Isleta Pueblo in the south, spanning both sides of the Rio Grande. While the Middle Rio Grande Conservancy District (MRGCD) owns the park, and the subject site is within the unincorporated Bernalillo county, the 1983 Rio Grande Valley State Park Act designates the City’s Open Space Division as the managing agency.
5. This project is a river crossing in the South Valley that serves many major residential, commercial, and industrial areas under County jurisdiction, including the International Sunport Station Area Sector Plan, Sunport Commerce Design Overlay Zone, the Isleta Boulevard and Village Centers Sector Development Plan, and the Las Estancias Planned Development Area.
6. The request was presented to the Open Space Advisory Board on October 24, 2023. The board unanimously recommended approval and moving forward with the EPC application process.
7. This request is under review by the EPC because any Extraordinary Facility must be evaluated and decided as a Site Plan – EPC pursuant to IDO §14-16-6-6(l).
8. The Albuquerque/Bernalillo County Comprehensive Plan, the City of Albuquerque Integrated Development Ordinance (IDO), the Major Public Open Space Facility Plan, the

Bikeways & Trails Facility Plan, and the Bosque Action Plan are incorporated herein by reference and made part of the record for all purposes.

9. Pursuant to IDO §14-16-6-6(l)(3)(c), the attached site development plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan and all applicable provisions of this IDO, the DPM, other adopted City regulations.

10. The request is consistent with the following Policies from the Comprehensive Plan Chapter 4: Community Identity:

A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request aims to enhance, protect, and preserve the distinct community by introducing new amenities that will improve the recreational experience and enhance pedestrian and vehicular access, making the area more welcoming and accessible. The proposed development will also maintain the community's character, known for its outdoor recreation and natural beauty. The request includes in-kind replacements of park infrastructure, such as benches, tables, and fencing, to maintain usability and aesthetics without altering the area's fundamental character, thereby safeguarding its rural and natural essence. Minor infrastructure improvements, like reshaping the parking lot, are intended to enhance functionality while preserving the park's landscape and recreational offerings, ensuring a balanced approach to development and conservation.

B. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to the distinct identity and sense of place.

The Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail is a unique place that contributes to the distinct identity and sense of place within the area's built environment since its construction in 2001. The proposed development will minimize intrusion into the natural environment by the relocation of the Rio Bravo Bridge northward along with repositioning the boat launch ramp and the redesign of the parking area for greater efficiency. The approach to the proposed development respects and integrates the existing natural ecosystem, while striving to harmonize essential structural improvements with the protection of the environmental integrity. The proposed approach will achieve a development that fulfills infrastructural requirements while maintaining the ecological health of the area.

C. POLICY 4.1.5 NATURAL RESOURCES: Encourage high-quality development and redevelopment that responds appropriately to the natural setting and ecosystem functions.

The request is consistent with this policy because the proposed development emphasizes efforts to minimize the environmental impact during the development of the Rio Bravo Bridge. By shifting the bridge's location and

redesigning the adjacent boat launch ramp and parking lot, the development will conserve the existing natural environment and optimize land use while still accommodating necessary structural adjustments. These measures reflect a conscientious approach to balancing development needs with environmental preservation, demonstrating compliance with the policy's emphasis on high-quality development that respects natural resources.

11. The request is consistent with the following Goals and Policies regarding Activity Centers in the Comprehensive Plan Chapter 5: Land Use:

A. GOAL 5.1 CENTERS & CORRIDORS: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

POLICY 5.1.6 ACTIVITY CENTERS: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

Policy 5.1.6(d): Ensure that Activity Centers are pedestrian-friendly and provide convenient pedestrian connections to nearby residential areas.

The request is consistent with this policy because the proposed development will improve walking paths between the site, the Rio Bravo Activity Center, and nearby neighborhoods. By filling in missing sections of the current pedestrian paths and creating new, safe routes, residents will have easier and safer access to the Activity Center, whether they are walking or biking.

B. Policy 5.1.6(e): Provide good connectivity via bicycle between Activity Centers and nearby residential areas and multi-use trails.

Activity Center. The proposed development will address the existing discontinuous multi-modal facilities. The development made possible by the request will allow for safe access to trails on either side of the bridge. The request will also allow for new trails to be added thereby improving the safety of pedestrians and cyclists. The improvement in access and safety for pedestrians and cyclists will encourage more multi-modal use of Rio Bravo Boulevard and nearby multi-use trails.

12. The request is consistent with the following Policies from Goals and Policies from Chapter 7: Urban Design.

A. GOAL 7.3 SENSE OF PLACE: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request is consistent with this Goal because the replacement of the Rio Bravo Bridge and the addition of multi-use trails will incorporate design elements that will reinforce the unique character of the surrounding area. The new bridge, trails, and improved parking lot will be designed with careful consideration of the local

environment, ensuring that they blend seamlessly with the existing landscape and community identity. The development made possible by the request will not only improve functionality, but will also create a more aesthetically pleasing and cohesive streetscape that reinforces the area's sense of place. By integrating local materials and natural features into the design, the project will contribute to a stronger connection between the community and its surroundings, fostering a distinct and recognizable sense of place.

- B. **POLICY 7.3.5 DEVELOPMENT QUALITY:** Encourage innovative and high-quality design in all development.

The request is consistent with this policy because the replacement of the Rio Bravo Bridge, along with the addition of multi-use trails, improved pedestrian access, and enhanced parking facilities, exemplifies innovative and high-quality design. The improvements integrate sustainable infrastructure, prioritize community accessibility and safety, and enhance the aesthetic appeal of the area. By fostering a well-connected and visually cohesive environment, the proposed development will ensure long-term value and resilience that will elevate the quality of the built environment.

13. The request is consistent with the following Goals and Policies from Chapter 10: Parks & Open Space:

- A. **POLICY 10.1 FACILITIES AND ACCESS:** Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

The request is consistent with this Goal because the Rio Bravo Bridge replacement, along with the creation of new trails and improved parking facilities will enhance the recreational areas and open spaces, ensuring they are accessible to all residents. The development supports the responsible use of natural resources by integrating sustainable design elements, such as environmentally friendly materials as outlined in the City of Albuquerque's Trail and Trailhead Design Standards for Open Space. These improvements will create a more inclusive, connected, and environmentally conscious space that will cater to the diverse recreational needs of the community while preserving the surrounding natural environment.

- B. **POLICY 10.2.1 Park Types:** Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

The request is consistent with this Goal and policy because proposed development will contribute to the development of linear parks that enhance community connectivity and recreational opportunities. Multi-use trails serve as essential

components of linear parks by promoting active transportation and outdoor activities, while the new parking lot facilitates access to these amenities. The infrastructure improvements will support the broader goal of implementing a park system that meets diverse community needs, linking neighborhoods to regional parks, and fostering a more accessible, active public space network in the area.

- C. **POLICY 10.2.3 MULTI-USE TRAILS:** Connect parks by designing, building, and maintaining trails to accepted standards.

The request is consistent with this policy because the design will incorporate multi-use trails that connect surrounding parks and open spaces while adhering to the City of Albuquerque Trail and Trailhead Design Standards for Open Space. These standards ensure that the trails are designed and built to facilitate safe and accessible use for a variety of non-motorized activities, such as walking, biking, and running. By following these guidelines, the request promotes connectivity between recreational spaces, enhances the overall trail network, and supports the Comprehensive Plan vision of providing a high-quality, accessible, and well-maintained system that links community and regional parks.

- D. **GOAL 10.3 OPEN SPACE** Protect the integrity and quality of the region's natural features and environmental assets and provide opportunities for outdoor recreation and education.

The request is consistent with this goal because the proposed development, despite its impact on riparian vegetation and mature cottonwood trees, addresses this goal by implementing significant mitigation efforts to protect the region's natural features and environmental assets. By limiting the removal of trees to the minimum necessary and scheduling work within the river channel to minimize disruption, the request demonstrates a commitment to preserving the integrity of the ecosystem. Post-construction, the revegetation of 2.9 acres with native species and the partnership with agencies for offsite riparian habitat restoration will ensure that the natural environment is restored and enhanced. Additionally, the purchase of water for the conservation of the Rio Grande Silvery Minnow reflects a proactive approach to protecting critical habitats and supporting species recovery, ultimately contributing to the long-term health and educational value of the region's open spaces.

- E. **POLICY 10.3.2 Preservation:** Identify and manage sensitive lands within the Open Space network to protect their ecological function.

The request is consistent with this policy because the proposed development incorporates careful consideration of sensitive lands within the Open Space network, particularly focusing on the Rio Grande's ecological corridor. The biological evaluations conducted for the project help identify critical habitats and species within the area, ensuring that construction activities do not negatively

impact these ecological systems. By maintaining proper environmental stewardship, the project will minimize disruptions to native flora and fauna while preserving the integrity of the Rio Grande ecosystem. Furthermore, mitigation measures, such as habitat restoration and erosion control, are incorporated to protect the long-term ecological function of the sensitive lands within the project boundaries.

- F. **POLICY 10.3.4 Bosque and Rio Grande:** Carefully design access to the Rio Grande, the Bosque, and surrounding river lands to provide entry to those portions suitable for recreational, scientific, and educational purposes, while controlling access in other more sensitive areas to preserve the natural wildlife habitat and maintain essential watershed management and drainage functions.

The request is consistent with this policy because the proposed development is designed to balance access to the Rio Grande and Bosque areas with the need to preserve sensitive wildlife habitats and protect essential watershed functions. The project includes strategically planned access points to ensure that areas suitable for recreational, scientific, and educational purposes are accessible to the public, while carefully controlling entry to more sensitive regions of the Bosque. This approach minimizes disturbance to the natural wildlife habitat and maintains critical drainage and watershed management functions along the river.

- G. **GOAL 10.4 COORDINATION:** Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public's need for parks and recreation facilities.

The request is consistent with this goal because the NMDOT, in collaboration with WSP and the FHWA, is undertaking the replacement of the Rio Bravo Boulevard bridge (NM500). This effort promotes coordination across various disciplines, jurisdictions, and geographic areas. The proposed development requires the cooperation of federal, state, and local agencies, including the Open Space Division, and integrates data from the United States Fish and Wildlife Service (USFWS), the New Mexico Department of Game and Fish (NMDGF), and the New Mexico Energy, Minerals, and Resources Department (EMNRD) to compile biological data and ensure compliance with environmental regulations. The resulting Biological Evaluation for the project demonstrates a collective effort to incorporate ecological factors into the infrastructure improvements. Through this collaboration, these groups have optimized resource use, while ensuring the public's needs for safe and environmentally responsible parks and recreation facilities is met.

- H. **POLICY 10.4.2 SYSTEM PLANNING:** Coordinate among departments and across jurisdictional boundaries to plan interconnected networks, manage natural

resources, leverages public investment, eliminate gaps in service, and avoid duplication of efforts.

The proposed development is consistent with this policy because there has been coordination among various departments and agencies. This collaboration will ensure the planning of an interconnected network that will effectively manage natural resources while optimizing public investment. Working across jurisdictional boundaries has helped address potential gaps in service such as environmental impacts and recreational needs while avoiding duplication of efforts.

- I. POLICY 10.4.4 Arroyos and Drainage: Work with MRGCD and AMAFCA to protect arroyos, drains, and acequias as part of Community Green Space.

The proposed development is consistent with this policy because the applicant is working with the Middle Rio Grande Conservancy District (MRGCD) and the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) to protect critical arroyos, drainage systems, and acequias. As listed in the Biological Evaluation, as part of the project, the development will incorporate measures that will safeguard the water management systems while maintaining the ecological integrity of the surrounding community green spaces.

14. The request is consistent with the following Policy from Chapter 11: Heritage Conservation.

- A. POLICY 11.3.3 BOSQUE: Regulate development on adjacent lands to preserve and enhance the Bosque as an important cultural landscape that contributes to the history and distinct identity of the region, as well as nearby neighborhoods

The request is consistent with this policy because the development made possible by the request adheres to the strict regulatory measures that will minimize environmental impacts on the Bosque. The development incorporates buffer zones, preserves native vegetation to the maximum extent practicable, and will limit the scale and footprint of construction to protect the area's natural and cultural significance. The project integrates sustainable practices to enhance the Bosque's role as a cultural landscape while improving the connectivity with nearby neighborhoods. The request ensures that the Bosque remains an integral part of the region's identity while accommodating necessary infrastructure improvements.

15. The request is consistent with the following Policies from Goals and Policies from Chapter 12: Infrastructure, Community Facilities & Services (ICFS):

- A. GOAL 12.1 INFRASTRUCTURE: Plan, coordinate, and provide for efficient, equitable, and environmentally sound infrastructure to support existing communities and the Comp Plan's vision for future growth.



Policy 12.1.1 INFRASTRUCTURE DESIGN: Encourage design of visible infrastructure (surface and overhead) that respects the character of neighborhoods and communities and protects significant natural and cultural features.

The request is consistent with this Goal and policy because the proposed development will incorporate elements that minimize disruption to the area's natural and cultural features, such as limiting tree removal to the essential minimum and planning revegetation efforts with native species. Additionally, the design respects the cultural and environmental significance of the Rio Grande corridor by ensuring that the new infrastructure blends with the local landscape, thereby preserving the aesthetic and cultural integrity of the area while meeting modern infrastructure needs.

16. The request meets the City's 1999 Major Public Open Space (MPOS) Rank 2 Facility Plan requirements:

Policy D.4 – Native plant species shall be protected. Exotic plant materials shall be controlled and growth of native species shall be encouraged. Native plants that historically grew in the Bosque shall be reintroduced when feasible.

The applicant, in collaboration with the Open Space Division, has taken steps to identify ways to reduce the number of mature trees that need to be removed to accommodate the new bridge and road alignment. While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the City Parks and Recreation's Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation.

Policy D.5 – Regeneration of cottonwood trees shall be encouraged through pole plantings and temporary flooding. Genetic diversity of the cottonwoods must be maintained.

If approved, after construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway.

Policy D.11 – Approved Disturbances shall be mitigated by the responsible agency or organization, including a revegetation plan that details species to be used and planting techniques.

After construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City’s Open Space Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway.

Policy D.12 – Mitigation of damage or restoration will be equal to the replacement value calculated according to the appraisal method for tree and landscape appraisals outlined in the “Valuation of Landscape Trees, Shrubs, and Other Plants.” This method of appraisal recognizes that mature vegetation has a higher value than new vegetation and ensures that mitigation of damage to mature Bosque is commensurate with the loss of vegetation.

While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation

17. The request meets the City’s 2015 Bikeways & Trails Rank 2 Facility Plan requirements:

1. Improve cyclist and pedestrian safety.

1.a. Policy: Develop a legible and predictable trail and bikeway system through planning, design, and implementation of physical improvements.

The proposed development is consistent with this policy because the project will integrate clearly demarcated bike trails and pedestrian walkways that will be easily identifiable and follow consistent design standards, allowing users to navigate the area. The use of design elements such as chicanes and guardrail fencing will allow for the trails and walkways to be protected from potential hazards.

4. Increase use of the bikeway and trails network.

4.a. Policy: Support the development of an integrated bikeways and trails system that serves the interests and needs of transportation and recreation.

The improvements at the subject site such as upgraded paths and access points will make the area more appealing for recreational users while also supporting transportation goals

by providing smooth and direct connections to nearby neighborhoods and facilities. This approach will cater to the diverse needs of users, encouraging increased usage of the bikeway and trail system for various activities, from commuting to outdoor recreation.

4.c. Policy: Accommodate all types, ages, and abilities of users in a comfortable manner throughout the system, while recognizing that all modes of travel and/or level of user ability may not necessarily be accommodated on every road or trail.

4.c.1. Improve and enhance cycling and pedestrian opportunities

The request is consistent with this policy as the proposed development is designed to accommodate individuals of all types, ages, and abilities by creating an inclusive and accessible bikeway and trail system that ensures comfort for a diverse range of users.

18. The request meets requirements of the Bosque Action Plan Rank 2 as follows:

Goal: The goal is to protect and enhance the natural resources of the Rio Grande Valley State Park.

The request is consistent with this goal because the proposed development will protect and enhance the natural resources of the Rio Grande Valley State Park by incorporating measures that minimize environmental impacts, such as limiting construction footprints, ensuring habitat preservation, and appropriate mitigation measures. All disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division. Additional riverine and riparian mitigation measures are currently being developed to satisfy the Federal Section 7 Endangered Species Act. These measures may include the purchase of water releases into the Rio Grande for silvery minnow recovery and the performance of off-site Cottonwood and Willow planting. Final mitigation details will be worked out through the Federal Section 7 consultation process, which is currently underway

Policy 6: All submittals for development, both private and public property located on or adjacent to the boundaries of the Rio Grande Valley State Park shall include a complete extraordinary facility form to be submitted to the Open Space Advisory Board for their action.

The applicant has submitted all required documentation and appeared before the Open Space Advisory Board on October 24, 2023, demonstrating compliance with this policy and requirements outlined in Subsection 6-6(l)(2)(a) of the Integrated Development Ordinance.

Policy 8: Improvements shall be located in non-sensitive areas that are appropriate for such developments, considering ecological sensitive as well as user satisfaction.

The replacement of the bridge will require shifting of the bridge to the north, which will significantly impact the subject site; however, the applicant, in collaboration with the Open Space Division, has taken steps to identify ways to reduce the number of mature trees that need to be removed to accommodate the new bridge and road alignment. While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation.

Policy 20: Construction methods and materials shall be compatible with the preservation of the natural character of the Rio Grande Valley State Park.

The request is consistent with this policy because the design will incorporate multi-use trails that connect surrounding parks and open spaces while adhering to the City of Albuquerque Trail and Trailhead Design Standards for Open Space. These standards ensure that the trails are designed and built to facilitate safe and accessible use for a variety of non-motorized activities, such as walking, biking, and running. By following these guidelines, the request promotes connectivity between recreational spaces, enhances the overall trail network, and supports the Comprehensive Plan vision of providing a high-quality, accessible, and well-maintained system that links community and regional parks.

B. Minimize the removal of vegetation on all construction sites. Require vegetation where removal is unavoidable.

While the removal of mature Cottonwood trees and other vegetation is necessary, and the mature Cottonwoods cannot be replaced in-kind, NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation.

After construction is complete, all disturbed areas will be revegetated using a native seed mix in accordance with NMDOT Standard Specifications. Additionally, Willow cuttings will be planted along the Rio Grande, while Cottonwoods will be planted in the upland areas. NMDOT officials have agreed that the restoration and revegetation of the site will be planned and executed in consultation with the City's Open Space Division and Urban Forestry Division.

D. Continuously monitor construction projects for compliance with this plan and other relevant documents and policies.

NMDOT will implement an ongoing monitoring system through the duration of the project. In addition to pre-construction meetings with the contractor, City Open Space Division, and Urban Forestry Division staff to mitigate impacts like tree removal, NMDOT

will establish regular on-site inspections and coordination meetings. These inspections will be conducted at key milestones of the project and will involve representatives from NMDOT, the City's Open Space Division, Urban Forestry Division, and other relevant agencies.

Any deviations from the agreed-upon plans and policies will be identified, and corrective actions will be promptly implemented. Additionally, NMDOT will collaborate with the City's Urban Forestry Division and the Open Space Division staff to ensure that any vegetation and habitat impacts are mitigated according to best practices.

E. Proposed methods and materials used on projects must be reviewed and approved by the Open Space Division prior to the application.

The proposed methods and materials used for this project were reviewed and approved by the City Open Space Division prior to the application.

F. Completed improvements should comply with the design requirements identified in the Bosque Action Plan.

The proposed improvements comply with the design requirements identified in the Bosque Action Plan.

G. Prior to construction, site boundaries must be identified and approved by the Open Space Division. Construction equipment is required to stay within the boundaries, unless otherwise approved by the Open Space Division.

The site boundaries have been clearly defined and approved by the Open Space Division. All construction equipment and activities will stay within these designated boundaries; however, if there is a need to extend beyond the site limits, prior approval will be requested and obtained from the Open Space Division before encroaching further into the open space.

19. The request meets the Site Plan-EPC Review & Decision Criteria in IDO §14-16-6-6(l)(3) as follows:

A. 6-6(l)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

The Site Plan – EPC for an Extraordinary Facility is consistent with the ABC Comp Plan by promoting balanced development that supports the area's environmental sustainability, community character, transportation, and parks and open space goals and policies. The plan also addresses infrastructure needs, encourages multimodal transportation options, and adheres to policies for environmental protection, such as managing open space edges.

B. 6-6(l)(3)(b) The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not zoned NR-SU or PD; therefore, the above criterion does not apply.

- C. 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations by adhering to zoning, design, and infrastructure requirements, including standards for environmental protection, and connectivity. The site plan will respect prior approvals by incorporation conditions specific to the property's development.

- D. 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The Site Plan – EPC addresses this criterion by improving the existing infrastructure's capacity through the replacement of the structurally deficient bridge on Rio Bravo Blvd., adding travel lanes, and enhancing pedestrian and vehicular access to the subject site. These improvements will mitigate burdens on the current systems by preventing further deterioration, enhancing connectivity, and improving the visitor experience, ensuring that the City's street, trail, drainage, and sidewalk systems can adequately serve the proposed development.

- E. 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The proposal mitigates significant adverse impacts on the surrounding area by minimizing the number of mature trees that need to be removed and developing a restoration plan in collaboration with the Open Space Division and Urban Forestry Division. While the removal of mature Cottonwood trees and other vegetation is unavoidable due to the new bridge and road alignment, efforts have been made to reduce this impact. NMDOT will consult with the Open Space Division and Urban Forestry Division to determine appropriate mitigation strategies, including the planting of containerized trees and Cottonwood and Willow cuttings to help offset the loss of existing vegetation. This revegetation will help to offset the loss of mature vegetation, ensuring that the ecological balance and aesthetic value of the area are preserved as much as possible.

Furthermore, the commitment to revegetate all disturbed areas with native seed mix, along with specific restoration efforts such as planting Willow cuttings along the Rio Grande and Cottonwoods in upland areas, demonstrates a comprehensive

approach to restoring the natural environment post-construction. By involving the City's Open Space Division and Urban Forestry Division in planning and executing the restoration, the application ensures that the surrounding area will be rehabilitated to the maximum extent practicable, minimizing long-term environmental impacts.

- F. 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to standards applicable in the zone district the subject property is in.

Although the subject property is not within an approved Master Development Plan, the Site Plan – EPC is consistent with the applicable design standards outlined in the Rank 3 Bosque Action Plan. The Bosque Action Plan emphasizes preserving the ecological integrity of the Rio Grande's riparian environment while enhancing public access and recreational amenities. The site plan adheres to these principles by carefully balancing the need for infrastructure improvements with the protection of natural resources.

- G. 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject site is not within a Railroad and Spur Area; therefore, this criterion does not apply.

- H. 6-6(I)(3)(h) If an outdoor or site light performance analysis is requested, the proposed lighting design must prove it will not adversely affect the lighting requirements of Section 14-16-5-2(E) without sufficient mitigation and benefits that outweigh the expected impacts.

No outdoor lighting is proposed that would trigger an evaluation under Section 14-16-5-2(E); therefore, this criterion does not apply.

20. The application package contains pre-application summary discussions, PowerPoint presentations, and meeting minutes from the last eighteen months. The applicant provided a Public Outreach & Comment Summary, met with the South Side Farms Community Association on April 28, 2022, and met with the Greater Albuquerque Active Transportation Committee on April 10, 2023.

Public feedback from the April 10, 2023 meeting highlighted key concerns, including the complete closure of the bridge, the volume of traffic on Rio Bravo Boulevard, access to pedestrian and multi-modal trails, and noise issues.

21. According to the Office of Neighborhood Coordination, there are no affected, registered neighborhood organizations that were required to be notified. Property owners within 160 feet of the subject site were notified. The official requirement is to notify property owners within 100 feet, but the applicant extended the notification area to 160 feet to ensure that no required property owners were overlooked. A total of 26 certified mail receipts were submitted.
22. As of this writing, Staff has not received any comments in support or opposition to the request.

### ***Recommendation***

***APPROVAL of Project #: 2024-10771 / SI #: 2024-01142, a request for a Site Plan – EPC for an Extraordinary Facility in Major Public Open Space at the 9.5-acre Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail, legally described as MRGCD Map 49, T9N R2E 12 & R3E 7 & 8 (Bernalillo County), based on the preceding Findings #1-22 and subject to the following Conditions of Approval #1-10.***

### ***Recommended Conditions of Approval***

***Project #: 2024-10771 / Case #: SI-2024-01142, Site Plan – EPC for an Extraordinary Facility***

1. Pursuant to IDO §14-16-6-6(I)(2)(m) Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.
2. After approval by the Environmental Planning Commission (EPC), the applicant shall coordinate with the staff planner to ensure that all Conditions of Approval are met before submitting the approved site plan to the Development Facilitation Team (DFT) for final sign-off. The DFT reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
3. Pursuant to IDO §14-16-6-4(O)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.



4. The applicant shall provide plans for NMDOT's NM500 Bridge Replacement project to AMAFCA and coordinate as necessary to verify compliance with the Southeast Valley Drainage Master Plan and other drainage projects/needs in the area that may impact portions of the overall project.
5. The applicant shall coordinate with the City Open Space Division and the Urban Forestry Division throughout the construction process to ensure that tree mitigation and salvage efforts are maximized to the fullest extent possible. All feasible measures shall be taken to preserve existing trees, and any necessary removals must be accompanied by appropriate mitigation strategies as determined in consultation with the Open Space Division and Urban Forestry Division.
6. Pre-construction meeting shall be held with the contractor, City Open Space Division, and Urban Forestry staff to mitigate impacts such as tree removal. NMDOT shall establish regular on-site inspections and coordination of meetings.
7. The applicant shall coordinate with the City Open Space Division and the Urban Forestry Division to develop a landscape plan that is to include planting containerized trees, cottonwood and willow cuttings to mitigate the loss of vegetation.
8. NMDOT shall obtain a new license agreement from MRGCD to encroach upon the open space.
9. The Site Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.
10. Conditions from the Public Service Company of New Mexico (PNM) shall be addressed.

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*Silvia Bolivar*

**Silvia Bolivar, PLA, ASLA**  
**Planner**

Notice of Decision cc list:

cc:

Meghan Myers, P.E., [Meghan.Myers@wsp.com](mailto:Meghan.Myers@wsp.com)

Gregory Clarke, P.E., [Luke.Smith@dot.nm.gov](mailto:Luke.Smith@dot.nm.gov)

William Hutchinson, [WilliamS.Hutchinson@dot.nm.gov](mailto:WilliamS.Hutchinson@dot.nm.gov)

Jennifer Hyre, [Jennifer.Hyre@wsp.com](mailto:Jennifer.Hyre@wsp.com)

Dominic Montoya, [Domonic.Montoya@wsp.com](mailto:Domonic.Montoya@wsp.com)

Nick Fazio, [Nick.Fazio@wsp.com](mailto:Nick.Fazio@wsp.com)

Dustin Chavez-Davis, [dchavezdavis@cabq.gov](mailto:dchavezdavis@cabq.gov)

EPC File

Legal, [acon@cabq.gov](mailto:acon@cabq.gov)

## ***Agency Comments***

### **OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES**

#### *Solid Waste Department*

*No comment at this time.*

#### *Open Space Division*

*Please see attachment.*

#### *Urban Forestry*

*Urban Forestry defers to Open Space Division for comments.*

### **OTHER AGENCIES**

#### *Albuquerque-Bernalillo County Water Utility Authority (ABCWUA)*

#### *Albuquerque Public Schools (APS)*

*No comment.*

#### *Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)*

*No adverse comments to the Site Plan-EPC for the Extraordinary Facility. AMAFCA requests coordination and review of the plans for NMDOT's NM500 Bridge Replacement project to verify compliance with the Southeast Valley Drainage Master Plan, and other drainage projects/needs in the area which may impact portions of the overall project.*

#### *Bernalillo County Planning*

*For information only: This project is a river crossing in the South Valley that serves many major residential, commercial, and industrial areas under County jurisdiction, including the International Sunport Station Area Sector Plan, Sunport Commerce Design Overlay Zone, the Isleta Boulevard and Village Centers Sector Development Plan, and the Las Estancias Planned Development Area.*

#### *New Mexico Department of Transportation (NMDOT)*

*NMDOT is in full support of the improvements associated with this project. NMDOT will continue coordination with the City of Albuquerque as the project nears implementation.*

#### *Public Service Company of New Mexico (PNM)*

*There are PNM street lights on the Rio Bravo Boulevard bridge. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.*

*Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.*

*Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat.*

*The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.*

*If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.*

*Tribal Engagement*

*No comments received.*

A) PHOTOGRAPHS



**Figure 1:** Existing conditions – Rio Bravo Riverside Picnic Area, Fishing Pier & Nature Trail.

**Figure 2:** Subject site from Poco Loco SW.



**Figure 3:** Existing site amenities that will have to be relocated.





**Figure 4:** View looking towards Poco Loco SW/Entrance to the Rio Bravo Riverside Picnic Area.



**Figure 5:** Fishing Pier.



**Figure 6:** Trail entrance from existing parking lot.



**Figure 7:** View of the Albuquerque Riverside Drain from the fishing pier.



**Figure 8:** Mature Cottonwoods that will require removal.



**Figure 9:** Existing site amenities.



**Figure 10:** Chicanes/existing picnic tables.





**Figure 11:** Existing trails.



**Figure 12:** Posted sign.



**Figure 13:** Condition of the bridge over the Albuquerque Riverside Drain.



**Figure 14:** Rio Grande facing south.



**Figure 15:** Rio Grande facing north.

## B) HISTORY

The Rio Bravo Picnic Area, parking area, and fishing pier were constructed as part of a single project in 2001 by the City's Open Space Division. The Division located some signage notes, details for the fishing pier railing, fencing, and a punch list, but no formal construction documents or site plan were found.

## C) APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: <b>NMDOT</b>		Phone:
Address: <b>1120 Cerrillos Rd</b>		Email:
City: <b>Santa Fe</b>	State: <b>NM</b>	Zip: <b>87504</b>
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

**Site Plan EPC for an extraordinary facility**


### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <b>unknown</b>	Block: <b>unknown</b>	Unit: <b>unknown</b>
Subdivision/Addition: <b>N/A</b>	MRGCD Map No.:	UPC Code: <b>unknown</b>
Zone Atlas Page(s): <b>P12/P13</b>	Existing Zoning: <b>NR-PO-C</b>	Proposed Zoning: <b>NR-PO-C</b>
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: <b>Rio Bravo Riverside Park</b>	Between: <b>Poco Loco</b>	and: <b>Isleta Blvd</b>
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date: <b>8/8/2024</b>
Printed Name: <b>Meghan Myers</b>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P1: SITE PLAN – EPC**

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

**SITE PLAN – EPC**

**MASTER DEVELOPMENT PLAN**

**MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

**EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

**NO** Interpreter Needed for Hearing? \_\_\_\_ if yes, indicate language: \_\_\_\_\_

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application* and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

N/A Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1)

Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

N/A Scaled Site Plan or Master Development Plan and related drawings

*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only)

Site Plan or Master Development Plan

Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

**VARIANCE – EPC**

\_\_\_\_ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*



New Mexico DEPARTMENT OF  
**TRANSPORTATION**  
MOBILITY FOR EVERYONE

August 8, 2024  
Jonathan Hollinger, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 2nd Street NW  
Albuquerque, NM 87102

Dear Mr. Chairman,  
This letter authorizes WSP to act as agent for all matters related to the request for a Site Plan-EPC to the Environmental Planning Commission for the Rio Grande State park Property as well as the nearby features of the boat launch and a parking lot. The NMDOT is planning to construct and replacement a new bridge as part of the, NM 500/Rio Bravo Bridge Replacement Project CN:A301000.

Sincerely,  
**Luke Smith,**  
**PE, CFM**  
Luke Smith, PE, CFM  
NMDOT  
Central Region Design

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Smith, PE, CFM  
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**Michelle Lujan  
Grisham**  
Governor

**Ricky Serna**  
Cabinet Secretary

#### Commissioners

**Vacant**  
Commissioner  
District 1

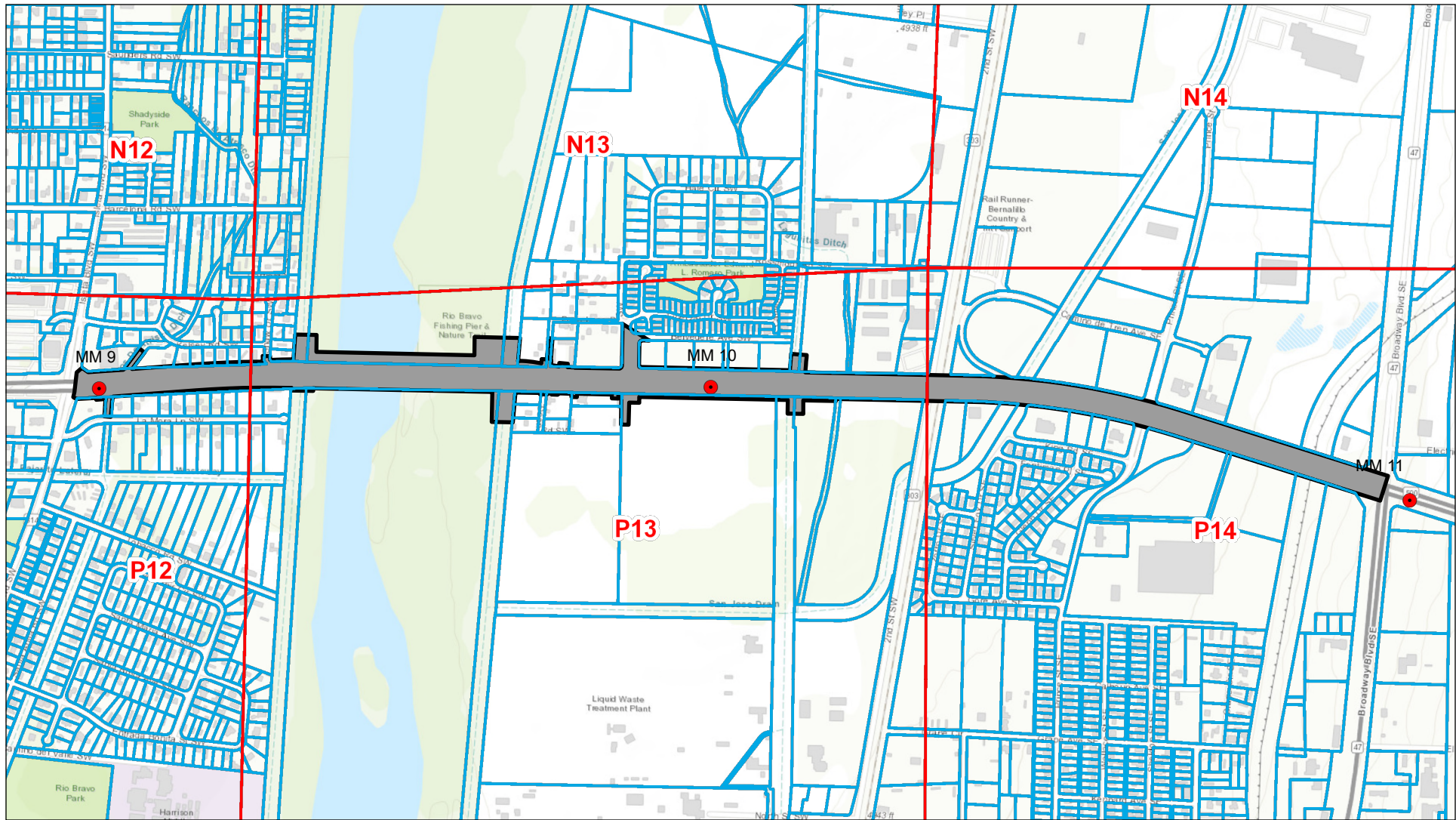
**Gary Tonjes**  
Commissioner  
District 2

**Hilma E. Chynoweth**  
Commissioner, Vice Chairman  
District 3

**Walter G. Adams**  
Commissioner, Chairman  
District 4

**Thomas C. Taylor**  
Commissioner  
District 5

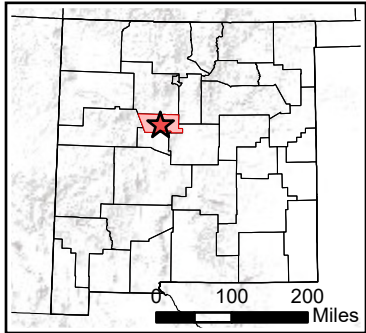
**Charles Lundstrom**  
Commissioner, Secretary  
District 6



- Milemarkers
- Survey Area
- Zone Atlas Index
- BC Platted Parcels

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Feet



## NM 500 Zone Atlas Map

NM500 Bridge Replacement  
Bernalillo County, New Mexico



August 4, 2024

Jonathan Hollinger, Chairman  
Environmental Planning Commission City of  
Albuquerque  
600 Second Street NW Albuquerque,  
NM 87102

**RE: Site Plan-EPC for an Extraordinary Facility for the Rio Bravo Picnic Area**

Dear Mr. Chairman:

The purpose of this letter is to request approval for a Site Plan-EPC for an Extraordinary Facility for the Rio Bravo Picnic Area. This existing picnic area is located in the Bosque at the eastern end of the Rio Bravo Boulevard/Rio Grande Bridge. The site, covering approximately XX acres, is zoned NR-PO-C and is managed by the City of Albuquerque Open Space Division. The request is before the EPC because any Extraordinary Facility is to be reviewed and decided pursuant to Subsection 14-16-6-6(I) Site Plan – EPC.

The proposed plan, as part of the NMDOT NM500 Bridge Replacement project, includes the addition of new amenities and enhancements to both pedestrian and vehicular access. The applicant for this request is the New Mexico Department of Transportation (NMDOT). The Open Space Division has jurisdiction over the Rio Grande Valley State Park, which encompasses the Bosque areas throughout Albuquerque and Bernalillo County. The bridge expansion will require encroaching beyond the NMDOT easement into the Bosque managed by the Open Space Division.

According to state legislation, any developments within the Rio Grande Valley State Park must comply with Open Space policy. Hence, we request your approval to ensure adherence to these guidelines and to advance the improvements planned for the Rio Bravo Picnic Area/NM500 Bridge Replacement.

The Rio Grande Valley State Park is located on the north side of NM 500/Rio Bravo bridge on the northeast side of the Rio Grande. The park is currently used by the surround community for recreational activities and trail access. A boat ramp is currently located on the north side of NM 500/Rio Bravo on the northwest side of the Rio Grande River. The boat ramp is currently used not only by the public, but also emergency services that patrol Rio Grande and Bosque area. As part of the bridge reconstruction the boat ramp will need to be relocated to the southeast side of the Rio Grande River. The size and grade of the boat ramp will be maintained upon relocation. Lastly the parking lot is located on the west side of the river and mainly services public access to the boat ramp and surrounding trails. The site contains multiple features that will be maintained during development. Portions of the sites will be replaced in kind by the NMDOT post construction.

Site Plan – EPC  
6-6(I)(3) Review and Decision Criteria

Any application for a Site Plan-EPC shall be approved if it meets criteria A through G:

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comprehensive Plan, as amended.

**Goal 4.1** Character: Enhance, protect, and preserve distinct communities.

**Applicant Response:** The proposed Site Plan-EPC request seeks to enhance, protect and preserve the distinct community in Bernalillo County and the surrounding areas near the Rio Bravo Bridge, which is known for their lush green valley, outdoor recreation, and the rural character along the Rio Grande. This request is consistent with this goal because it proposes new amenities and improvements to both pedestrian and vehicular access, while also enhancing recreational activities and trail access in the area. the proposed in-kind replacements for a park bench/table combo, fencing, posts, and reshaping of a parking lot at the Rio Grande State Park will help preserve the current character of the park.

**Policy 4.1.3** Placemaking: Protect and enhance special places in the built environment that contribute to the distinct identity and sense of place.

**Applicant Response:** The proposed Site Plan-EPC will help maintain the built environment by replacing in kind areas that contribute to the beautification of the Rio Grane State Park. Improved access for pedestrian and vehicular patrons to enhance community access to the park and its surrounding amenities will foster a sense of place and character within the community. In accordance with the policy stakeholder outreach has been completed to provide opportunities for resident to input creative solutions to the areas issues.

**Policy 4.1.5** – Natural Resources Encourage high-quality development and redevelopment that responds appropriately to the natural setting and ecosystem functions.

**Applicant Response:** The proposed Site Plan-EPC was completed with the goal of minimizing the amount of natural environment that would be affected. The design and construction of the Rio Bravo Bridge required the bridge to be located half its current width to the north. This shift is unavoidable. Because of the northern shift and to conserve the current natural environment as much as feasible, the boat launch ramp was relocated to the southeastern side of the Bridge and the parking lot was redesigned to more efficiently make use of its footprint. These changes were made to protect the natural resources in the area as much as possible by minimizing the impact to the environment.

**Policy 6.8.1-** Natural and Cultural Context: Locate, design, and construct roads to minimize their impact to natural, historic, archaeological, or other cultural resources, including view corridors.

**Applicant Response:** As part of the study phase of the larger NM 500 project a number of alternatives were developed and analyzed. Not taking buildings/residences and limiting ROW impacts was a top priority for these bridge replacements. That constraint only allowed for a certain number of alignments to be considered. Many had fatal flaws such as the no build scenario which would result in additional emergency repairs to be required to keep the bridge in service. Others such as In-line replacement would have the most impact to traffic and create

complicated constructability issues. The selected alternative which is the North Straight Partially Offset Alignment only partially offset which provided less property and park impacts than the fully offset and curved alignments while simplifying construction from the curved options and the more in-line options, increasing safety from the split alignment, maintaining more consistency in the current road geometry than the curved and fully offset alignments, and providing a better final product than the partial replacement.

**Goal 7.3** – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

**Applicant Response:** The proposed Site Plan-EPC outlines the impacts to the current state of the Rio Grande State park and its amenities. The impacts to the existing vegetation along the impacted section of the Bosque will be reduced as much as feasible and are outlined in the environmental sensitive analysis. Adequate access will be maintained to the facilities post construction and will provide appropriate transitions to Open spaces. Post construction the integrity and quality of the regions natural features and environmental assets will be protected and access to the facilities for outdoor recreation and education will be maintained if not improved.

**Policy 7.3.5** – Development Quality: Encourage innovative and high-quality design in all development.

**Applicant Response:** The proposed Site Plan-EPC will achieve the goal of development quality by following the guidelines set forth in the Community identity goal, the economic development policy, by maintaining access and usefulness of the park and its associated amenities. Innovative energy efficient design and construction standards, and techniques will be used where possible during construction of the park amenities.

**Goal 7.5** Context Sensitive Design: Design sites, buildings, and landscape elements to respond to the high desert environment.

**Applicant Response:** The proposed Site Plan-EPC is located within a natural green and vegetative microclimate within the overall high desert environment of Albuquerque, New Mexico. All plants that are reestablished will be selected based on being native to the Bosque area. Currently the area of potential impact is a mix of Black willow, Cottonwoods, Russian Olives, and Siberian elms. To maintain the character of the community any plants re planted will be of the aforementioned variety.

**Goal 10.1** – Facilities and Access: Provide parks Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

**Applicant Response:** As part of the overall NM 500 project the Open Space and City Parks department have been a part of the design and development review process. During construction, for the safety of the public, access to the park will be either restricted or limited. Detours and informational signs will be in place for the Bosque Trails. Post construction the park will re-open with the following improvements: A New boat launch on the Southeast side of the Rio Bravo Blvd Rio Grande crossing, a new parking lot that will expand access to the

park on the Northeast side of the crossing, and a new parking lot on the northwest side of the crossing to facilitate Rio Grande River and Bosque access from the west. All facilities that need to be removed as part of construction will be replaced in kind by the NMDOT.

**Policy 10.1.2(a):** Design and maintain landscaping and park features appropriate to the location, function, public expectations, and intensity of use.

**Applicant Response:** The new bridge alignment would impact the Rio Bravo Riverside Open Space located on the east side of the river, north of Rio Bravo Boulevard. The new bridge alignment would impact the boat launch located on the west side of the river, north of Rio Bravo Boulevard. NMDOT has coordinated with the City of Albuquerque Open Space to minimize and mitigate impacts to the existing parking areas on the east and west sides of the river, including all of the park amenities such as picnic tables, trash cans, mutt mitt stations, fencing, signage and trails. This will include a combination of reconstructing parking areas as well as compensation and relocation of park amenities. The project will not adversely affect the activities, features, and attributes of these recreational areas.

**Goal 10.3 – Open Space:** Protect the integrity and quality of the region’s natural features and environmental assets and provide opportunities for outdoor recreation and education.

**Applicant Response:** The proposed Site Plan will maintain current access to the park and the Rio Grande River. Access to the boat ramp will change from the Northwest side of NM 500/Rio Bravo to the Southeast side. This change will provide improved access and a newly graded boat ramp for recreational use. For the safety of the public park access will be restricted during portions of constructions. Clearly marked signs will be placed in the area to display detours and announce closures.

**Policy 10.3.4(a):** Minimize disturbance or removal of existing natural vegetation from the Bosque.

**Applicant Response:** As part of the study phase for the overall NM 500 Bridge project an alternatives analysis was completed. The analysis was done in order to best select an alignment which minimized the impacts to ROW, public and private property, Rio Grand River, and Bosque. No alternative beyond the no build scenario had no impacts to the existing vegetation and because of the state of disrepair of the bridge was not an option. As part of the project development process, the NM 500 Bridge Replacement Project Team has worked to minimize impacts to the natural and cultural resources and environmentally sensitive lands to the extent feasible and practicable. The project has included on-going coordination with multiple stakeholder agencies including Middle Rio Grande Conservancy District, City of Albuquerque Open Space, Bureau of Reclamation, Bernalillo County, US Army Corps of Engineers, US Fish and Wildlife Service, Interstate Stream Commission and Federal Emergency Management Agency.

**Goal 10.4 – Coordination:** Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public’s need for parks and recreation facilities.

**Applicant Response:** WSP and NMDOT have made considerable efforts to coordinate across

disciplines and jurisdictions. Coordination has been ongoing between The City of Albuquerque, Bernalillo County, NMDOT, USACE, MRGCD, and Public stakeholders. Efforts consisted of design and review meetings for all major milestones to coordinate with all agencies as well as interim coordination meetings during design development and two public meetings, one in December 2020 and another in April 2022.

**Policy 10.4.3 – Co-located Facilities:** Maximize opportunities for multi-functional, co-located, and joint use of compatible parks, Open Space, trails, and recreation facilities to best leverage public investment.

**Applicant Response:** The proposed project will not add additional facilities to the areas around the parks and trails. Opportunities for improved access was considered as part of the designing process, and access to the existing facilities will be maintained or improved. Plans for additional facilities by stakeholder agencies were considered so that the project would not prevent these future possibilities.

**Policy 11.3.1(a):** - Minimize negative impacts and maximize enhancements and design that complement the natural environment, particularly features unique to Albuquerque, in development and redevelopment in light of the relationship to and effect upon the following: Indigenous vegetation and other materials appropriate to landscapes, Topography and landscape features such as arroyos, the Rio Grande and Bosque, the foothills, and escarpments, Soils and erosion potential, Colors and textures of the natural environment; and Scenic views from the public right-of-way.

**Applicant Response:** As part of the Biological Evaluation a few strategies were identified to implement post construction in order to mitigate the loss of habitat and vegetation. 2.9 acres in the larger NM 500 project limits would be revegetated to reestablish the natural riparian vegetation and offset loss of habitat, 1 acre of cottonwood pole planting, and 1 acre of willow pole planting.. Exposed soils will be reseeded with a native seed mix in accordance with NMDOT standard specifications. The proposed project would remove mature cottonwood tree during construction of the new bridge alignment. The number of removed trees would be the minimum feasible to safely construct the project. The City of Albuquerque Open Space will join WSP, NMDOT Project Manager and Contractor Project Manager prior to removing of the cottonwood trees in the part to ensure clear marking of the trees being removed.

**Goal 13.4: -Natural Resources;** Protect, conserve, and enhance natural resources, habitat and ecosystems.

**Applicant Response:** WSP and NMDOT completed a Biological Evaluation which details mitigation measures that will occur during and post construction. During construction to preserves natural habitat and mitigate impacts to flycatcher cuckoo, Rio Grande Silvery Minnow, Southwestern Willow Flycatcher, Bats, and Migratory Birds. NMDOT will see a partnership with an agency having existing or future planned restoration projects within the Middle Rio Grande Basin to replace riparian habitat offsite for species mitigation. Other measures include a onetime purchase of 500 acre foot of new water to be used at the timing discretion of the USFWS toward the conservation and recovery of the Rio Grande Silvery Minnow; as well as, 2.9 acres in the project limits would be revegetated to reestablish riparian vegetation on site including 2 acres of reseeded with native seed mix, 1 acre of

willow pole planting, and 1 acre of cottonwood pole planting.

**6-6(I)(3)(b)** The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

**Applicant Response:** There is not a previously approved NR-SU or PD zoning covering the subject property.

**6-6(I)(3)(c)** The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant Response:** The proposed Site Plan complies with current IDO standards and adopted City regulations.

**6-6(I)(3)(d)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

**Applicant Response:** The proposed Site Plan for the Rio Grande State Park will not add a measurable increase of patronage to existing trail and sidewalk systems. Drainage and roadway capacity improvement will be addressed by the larger NM 500/Rio Bravo project.

**6-6(I)(3)(e)** The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

**Applicant Response:** The proposed Site Plan and layout have been designed to mitigate any adverse impacts to the project site and surrounding area. The project will maintain the current use, access, and amenities that were in place prior to construction.

**6-6(I)(3)(f)** If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**Applicant Response:** The subject property is not within an approved Master Development Plan.

**6-6(I)(3)(g)** If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

**Applicant Response:** The subject property of this Site-EPC is not within a Railroad and Spur

Area. The proposed development will not result in an increase of traffic congestion, parking congestion, noise, vibration, light spill over or another nuisance. The area has been used for a park, boat ramp, and parking lot for many years and has not been a cause for concern of negative impact to the area.

#### PUBLIC OUTREACH/PROPERTY OWNER NOTIFICATION

Public notifications were sent out via first class mail on July 25, 2024

#### CONCLUSION:

The proposed Site Plan-EPC will provide necessary administrative and legal means to further the City of Albuquerque's goals and policies for development. The plans are consistent with current community facilities and design. Further improvements in the area are part of the larger NM 500/Rio Bravo Bridge replacement and are not part of this Site Plan-EPC. This project will help maintain public access to parks, Open Spaces, and trails.

Sincerely,



Meghan Myers, P.E.

Assistant Vice President, Structural Engineer

## Sensitive Land Analysis

As part of the project development process, the NM 500 Bridge Replacement Project Team has worked to minimize impacts to the natural and cultural resources and environmentally sensitive lands to the extent feasible and practicable. The project has included on-going coordination with multiple stakeholder agencies, including the Middle Rio Grande Conservancy District (MRGCD), City of Albuquerque Open Space, Bureau of Reclamation, Bernalillo County, US Army Corps of Engineers (USACE), US Fish and Wildlife Service (USFWS), Interstate Stream Commission (ISC), and Federal Emergency Management Agency (FEMA). Development of the project cannot avoid all sensitive lands.

- A Class III cultural resources investigation has been completed for the project. The NMDOT has completed consultation with the State Historic Preservation Office and received concurrence from the agency that the project will not adversely affect historic irrigation canals in the project.
- A Biological Evaluation has been completed for the project. The NMDOT has completed consultation with the US Fish and Wildlife Service regarding impacts to protected species, the Rio Grande, and riparian habitat. Measures to minimize and mitigate impacts have been developed and are included in the design plans. This includes on- and off-site riparian plantings, as well as timing work in the river to coincide with the base flow months for this reach.
  - Following construction, 2.9 acres in the project limits would be revegetated to reestablish riparian vegetation on-site to include 2 acres of re-seeding with a native seed mix, 1 acre of willow pole planting, and 1 acre of cottonwood pole planting.
- Exposed soil surfaces would be reseeded in accordance with NMDOT standard specifications, and riparian vegetation would be allowed to naturally recolonize areas previously disturbed by the bridge
- The proposed project would remove mature cottonwood trees for the new bridge alignment. However, the number removed would be the minimum needed in order to safely construct the project. At the request of the City of Albuquerque Open Space, an on-site pre-construction meeting between the NMDOT Project Manager and the Contractor's Project Manager will occur prior to removing cottonwood trees in the park to ensure clear marking of trees being removed.
- Removal of the existing bridge piers in the river and construction of the new piers will require temporary dewatering or narrowing of the active river channel during construction. The new bridge will have fewer concrete piers within the active river channel. NMDOT has coordinated with USACE regarding minimizing impacts to the river to the extent practicable. Clean Water Act permits are currently being prepared for submittal. No wetlands are present in the project area.
- NMDOT has coordinated with MRGCD regarding work at the irrigation facilities and the project design has incorporated those discussions. The project will not change the function or character of the existing irrigation facilities.
- NMDOT has consulted with FEMA regarding floodplains and the project design. The project cannot avoid increase the base floodplain elevations of the Rio Grande at this location, resulting in an increase by 0.456 inches.



- The new bridge alignment would impact the Rio Bravo Riverside Open Space located on the east side of the river, north of Rio Bravo Boulevard. The new bridge alignment would impact the boat launch located on the west side of the river, north of Rio Bravo Boulevard. NMDOT has coordinated with the City of Albuquerque Open Space to minimize and mitigate impacts to the existing parking areas on the east and west sides of the river, including all of the park amenities such as picnic tables, trash cans, mutt mitt stations, fencing, signage and trails. This will include a combination of reconstructing parking areas as well as compensation and relocation of park amenities. The project will not adversely affect the activities, features, and attributes of these recreational areas.

## D) STAFF INFORMATION

## PROJECT MEMORANDUM

August 15, 2024

TO: Meghan Myers, P.E.  
Assistant Vice President, Structural Engineer  
WSP

FROM: Silvia Bolivar, PLA, ASLA/ SB  
Senior Planner  
City of Albuquerque Planning Department

RE: PROJECT #PR-2024-10771/SI-2024-01142  
Site Plan – EPC for an Extraordinary Facility  
Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail.

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I have completed the initial review of the application, including the justification letter for the proposed Site Plan-EPC for the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail. The subject site, which is located within the Rio Grande Valley State Park, spans approximately 9.24 acres (we will round up to 9.5 acres for the legal ad). Due to the deteriorating condition of the Rio Bravo Bridge (NM500), it needs to be replaced. The replacement will involve adding travel lanes, requiring the bridge to be shifted north by about half its width. This expansion will necessitate encroaching beyond the NMDOT easement into the Bosque, which is managed by the Open Space Division.

The proposed plan includes new amenities and improvements to both pedestrian and vehicular access. Additionally, there is a boat ramp currently located on the northwest side of the Rio Grande River, north of the bridge, which is used by the public and emergency services patrolling the Rio Grande and Bosque area. This boat ramp will need to be relocated to the southeast side of the river. The request is scheduled to go before the EPC on September 19, 2024, as the site is classified as an extraordinary facility.

The project letter is coming along well, but I have identified a few areas where the responses to the criteria need revisions. Specifically, for the Site Plan – EPC criteria, it is important that the Goals and Policies are clearly demonstrated as being “consistent with” the Comprehensive Plan. I will address this in detail within the Site Plan – EPC justification analysis (Refer to #6).

Please provide a revised justification letter (one copy) by the end of the day on Friday, August 23, 2024, along with an updated sign posting agreement that includes the required posting dates (see #4). If you foresee any difficulty meeting this deadline, please let me know.

1. Introduction:

A. This site is somewhat complex because it is located in Bernalillo County and within the Rio Grande Valley State Park. Although everyone has been referring to the project as the NM500 Bridge, the extraordinary facility is the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail.

B. The legal ad will be posted as:

WSP/NMDOT, requests a Site Plan-EPC for an Extraordinary Facility for the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail, a part of the Rio Grande Valley State Park, MRGCD Map 49, T9N R2E 12 & R3E 7 & 8 (Bernalillo County), bounded by the Albuquerque Riverside Drain to the east and Rio Bravo Blvd SW to the south, approximately 9.5 acres (N-13 & P-13).

2. Process

A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

B. Timelines and EPC calendar: EPC Public Hearing is scheduled for Thursday, September 19, 2024. Final Staff Reports will be available on Friday, September 13, 2024.

C. Once Agency comments are received I will email you a copy and will forward any late comments to you.

3. Notification & Neighborhood Issues

*Notification requirements for a Site Plan-EPC are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 399). The required notification consists of: 1) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.*

A. As per the office of Neighborhood Coordination (ONC) , there are no affected, registered neighborhood organizations.

B. The notification requirements for property owners within 160 feet of the subject site have been correctly and thoroughly met. Although the official requirement is to notify property owners within 100 feet, the applicant extended the notification

area to 160 feet to ensure that no required property owners were overlooked. A total of 26 certified mail receipts were submitted.

C. Pre-Application Meetings

The application package contains pre-application summary discussions, PowerPoint presentations, and meeting minutes from the last eighteen months. Furthermore, it includes the Open Space Advisory Board agenda and minutes, demonstrating compliance with the requirement for any exceptional facility to undergo review by the EPC as per IDO Subsection 6-6(l)(2)(a).

- NM500 Rio Bravo Bridge Replacement Project – Public Outreach & Comment Summary
- South Side Farms Community Association Agenda – April 28 2022
- Greater Albuquerque Active Transportation Committee (GAATC) Meeting Agenda April 10 2023
- Greater Albuquerque Active Transportation Committee (GAATC) Presentation April 2023
- Open Space Advisory Board Agenda October 24 2023
- Open Space Advisory Board Minutes October 24 2023

D. Have any members of the public reached out to you with comments since the Site Plan-EPC application was submitted?

4. Posted Sign Agreement

Four signs must be posted for this request, with at least one sign on each side of the property boundary. These signs are required to be displayed for a minimum of 15 calendar days before the public hearing and for the 15 calendar days following any decisions during the appeal period. The posting period is from September 3 to October 4, 2024. A new sign posting agreement with the correct dates is attached to this project memo.

Additionally, since this is the first Site Plan-EPC for an extraordinary facility submitted by WSP/NMDOT, the signs will be available for pickup at my office during the week of August 26th, as they need to be posted by September 3rd. Once the signs are in place, please provide documentation to confirm their posting so that I can include photographs in my staff report packet. Applicants/agents are requested to email me the documentation in case the signs are removed.

5. Application and Required Documentation

- A. A City of Albuquerque Traffic Scoping Form is not required as the project is located in Bernalillo County.
- B. A Sensitive Lands Analysis must be submitted in accordance with IDO Section 5-2(C). The subject site is within or adjacent to Major Public Open Space, so it must comply with the regulations outlined in IDO Section 5-2(J)(2), which pertains to Lots Adjacent to Major Public Open Space. If you have the NEPA/CE list, please provide it as soon as possible. The replacement of the bridge will involve adding travel lanes, necessitating a northward shift of the bridge by approximately half its width. Consequently, several trees will need to be removed, and the project must adhere to IDO Section 5-2(C). I have attached a Sensitive Lands Analysis conducted for a project in 2022, which you may use as a reference. If you have not already, you will need to contact a landscape architecture or planning firm to perform this analysis. Without it, the case cannot be presented at the September EPC hearing.
- C. Sheet No. 6-6 (Sequence of Construction) outlines the construction sequence, so you should specify in your project letter which phase the proposed development will take place. It appears that it will occur during Phase 2.

6. Site Plan-EPC -IDO Subsection 6-6(l)(3)(a) - Justification and Policy Analysis

- A. For the Site Plan-EPC criteria, the goals and policies outlined in your submission must be in alignment with the Comprehensive Plan. Please provide detailed responses to each Goal and Policy, clearly explaining how they are fulfilled. Each response should directly reference the specific Goal or Policy and highlight its intent. For example, if you select Goal 4.1 Character: Enhance, protect, and preserve distinct communities, your response might be as follows:

The proposed Site Plan-EPC request seeks to enhance, protect, and preserve the unique community in Bernalillo County and the surrounding areas near the Rio Bravo Bridge, which are known for their lush green valley, outdoor recreation, and the rural character along the Rio Grande. This request is consistent with this goal because it proposes new amenities and improvements to both pedestrian and vehicular access, while also enhancing recreational activities and trail access in the area.

The responses for Goal 4.1, Policy 4.13 (Placemaking), Policy 4.1.5 (Natural Resources), Goal 7.3 (Sense of Place), Policy 7.3.5 (Development Quality), and Policy 7.5 (Context Sensitive Design) need to be revised, as detailed responses

were not provided. Additionally, please remove Policy 7.5.1 (Landscape Design) from the request, as it will not involve any landscaping. Only the relevant goals and policies should be included.

Responses to Criteria B through G are sufficient for the request.

7. Site Plan-EPC – Submittals

Please provide an existing Site Plan without the proposed development overlay, and label it "Site Plan." Following that, include the Riverside Park Proposed Parking and Pedestrian Access Plan. Be sure to include detailed site information, specifically the proposed chicane, the new trail connections, and the 8' concrete wheel stop. Additionally, an existing landscape plan should be provided, indicating the trees that are slated for removal. The submittals should be only for the Rio Bravo Riverside Picnic Area, Fishing Pier, and Nature Trail areas affected by the relocation of the bridge.

Please feel free to contact me if you have any questions.

Thank you.



July 18, 2024

Meghan M. Myers, P.E.  
Assistant Vice President, Structural Engineer  
WSP  
2440 Louisiana Boulevard NE  
Suite 400  
Albuquerque, NM 87110

Via email: [Meghan.Myers@wsp.com](mailto:Meghan.Myers@wsp.com)

Meghan,

I have downloaded the necessary EPC forms and will attach them to this email. These forms are essential to complete the application packet for the Extraordinary Facility associated with the NM500 Bridge replacement. As mentioned earlier, the request scheduled for the Environmental Planning Commission on September 19, 2024, at 8:40 am pertains exclusively to the parking lot and trailhead improvements.

The required forms include:

1. Development Review Application
2. Form P1: Site Plan – EPC
3. Official Public Notification Form for Mailed/Electronic Mail Notice COA Planning Dept.
4. Public Notice of a Proposed Project in the COA for Decisions Requiring a Meeting or Hearing Mailed to a Property Owner
5. Sign Posting Agreement
6. Sensitive Lands Analysis Form (The Category Exclusion you have on file should contain this information).
7. Since the trailhead is located within Bernalillo County, a Certificate of No Effect/Certificate of Approval is not required because it is only necessary for projects that are 5 acres or larger within the City of Albuquerque. What is the acreage for the trailhead/parking lot?
8. Template for the property owner letter that contains the Zoom link and other pertinent information. Please revise accordingly.
9. Buffer Map for Property Owners
10. Mailing Labels for Property Owners that fall within the 160-foot buffer zone.
11. Excel Spreadsheet Contact List



Michael Vos helped with the preparation of the mailing labels. He mentioned that in the Excel list of contacts, duplicate property owner lines are highlighted. They are included in the mailing labels, but the applicant may choose to mail only one letter to the associated contacts and either revise the mail merge Word document to remove them and reprint or discard those duplicates after printing.

To comply with the requirements for the September 19th hearing, you must mail notifications to the property owners by Monday, July 22nd. The property owner packet should include your cover letter (Item #8), buffer map (Item #9), the Official Public Notification Form (#3), Public Notice of a Proposed Project (#4), and supporting documentation, including the A301000 Parking Area\_Fnl Drft 06-09-23, A301001\_NM500 Boat Ramp Plan, A301001\_NM500\_NE Access Road Plan, and A301001\_NM500\_Parking Lot Plan NE & NW. Please photograph the envelopes so that we have proof the information was mailed out.

Please submit a justification letter along with your application, addressed to Chair Jonathan Hollinger. The justification letter should reference relevant goals and policies from the ABC Comprehensive Plan that apply to your request. For your reference, I have included examples of justification letters for extraordinary facilities and similar projects. You can access the Comprehensive Plan here: <https://www.cabq.gov/planning/plans-publications/abc-comprehensive-plan>

As Megan and I mentioned yesterday, the application will be reviewed according to the Integrated Development Ordinance (IDO), which will take effect on August 3, 2024. In the meantime, please follow the current Review and Decision Criteria for a Site Plan-EPC, which can be found <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1>. The criteria are listed in IDO Subsection 14-16-6-6(I)(2).

I have included three projects reviewed by the EPC that may assist you in completing the justification letter and supporting documentation. These cases are:

1. Alameda Open Space Trailhead - Extraordinary Facility
2. Alameda Open Space Solar Panels - Extraordinary Facility
3. Volcano Cliffs WUA Major Amendment (submitted by Consensus Planning, included for reference despite not being an extraordinary facility request).

If you have any questions or concerns, please feel free to contact me, and I will gladly assist you.

Sincerely,

Silvia Bolivar, PLA ASLA  
Senior Planner  
(505) 924 3844  
[sabolivar@cabq.gov](mailto:sabolivar@cabq.gov)

E) PUBLIC NOTICE



Date: July 24, 2024

Dear Neighbors:

This is to inform you that WSP, on behalf of the New Mexico Department of Transportation (NMDOT), will be submitting a Site Plan – EPC-Extraordinary Facility application for the Rio Bravo Riverside Picnic Area. The plan will include new amenities and improved pedestrian and vehicular access design as part of the NMDOT NM500 Bridge Replacement project. The existing picnic area property is in the bosque at the eastern end of the Rio Bravo Boulevard Rio Grande bridge, in Bernalillo County. This request seeks approval for the development of improvements at the picnic area.

Per the Integrated Development Ordinance (IDO), this amendment will need to be reviewed and approved by the Environmental Planning Commission (EPC). The EPC Hearing will be held on September 19, 2024, at 8:40 am via Zoom: <https://cabq.zoom.us/j/89846432824> or by calling the following number: (346) 248-7799 or (669) 444-9171 and entering Meeting ID: 898 4643 2824. More details and updates about the hearing can be found on the EPC website: <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>.

Please see the documents included with this letter for additional details about the request. If you have any questions, please do not hesitate to contact WSP at [Meghan.Myers@wsp.com](mailto:Meghan.Myers@wsp.com) or contact us by phone at (505) 881-5357.

Sincerely,

A handwritten signature in black ink that reads "Meghan M. Myers". The signature is written in a cursive style with a large initial 'M'.

Meghan Myers, P.E.

Assistant Vice President, Structural Engineer

[Note:-Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice\*: 7/24/24

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) §14-16-6-4(K) Public Notice. This notice is being provided to (mark as relevant):

- Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.<sup>1</sup>
- Property Owners within 100 feet of the Subject Property.

### Information Required by IDO §14-16-6-4(K)(1)(a)

1. Subject Property Address\* Rio Bravo Riverside Picnic Area  
Location Description Unnamed Road, Albuquerque NM 87105
2. Property Owner\* Middle Rio Grande Conservancy District
3. Agent/Applicant\* [if applicable] WSP / NMDOT
4. Application Type(s)<sup>2</sup>\* per IDO Table 6-1-1
  - Site Plan – EPC
  - Subdivision \_\_\_\_\_ (Minor or Major or Bulk Land)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance – EPC
  - Waiver \_\_\_\_\_ (DHO or Wireless Telecommunication Facility)
  - Other: \_\_\_\_\_

Summary of project/request<sup>3</sup>\*:

New amenities and improved pedestrian and vehicular access design for the Rio Bravo Riverside Picnic Area.

5. This application will be decided at a public meeting or hearing by\*:

- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

<sup>1</sup> If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

<sup>2</sup> Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

<sup>3</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Hearing Date/Time\*: September 19, 2024 at 8:40 am

Location\*<sup>4</sup>: Via Zoom: <https://cabq.zoom.us/j/89846432824>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select the option for "Boards, Commissions, and ZHE Signs."

6. Where more information about the project can be found\*:

Preferred project contact information:

Name: Meghan Myers at WSP

Email: Meghan.Myers@wsp.com

Phone: (505) 881-5357

Attachments:

Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination\*

Others: Property Owners (see attached list)

Online website or project page: <https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>

**Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> P12/P13

2. Project Illustrations, as relevant\*<sup>6</sup>

Architectural drawings

Elevations of the proposed building(s)

Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above.*

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)

Variance(s)

Waiver(s)

Explanation\*:

N/A

<sup>4</sup> Physical address or Zoom link

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas>

<sup>6</sup> While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (\*) are required.]

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

---

---

---

---

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information from IDO Zoning Map<sup>7</sup>:**

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District NR-PO (B)
  3. Overlay Zone(s) [if applicable]
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] City of Albuquerque Open Space

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select option for “Boards, Commissions, and ZHE Signs.”

**Useful Links**

**Integrated Development Ordinance (IDO):** <https://ido.abc-zone.com>

**IDO Interactive Map:** <https://tinyurl.com/idozoningmap>

<sup>7</sup> Available here: <https://tinyurl.com/idozoningmap>

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

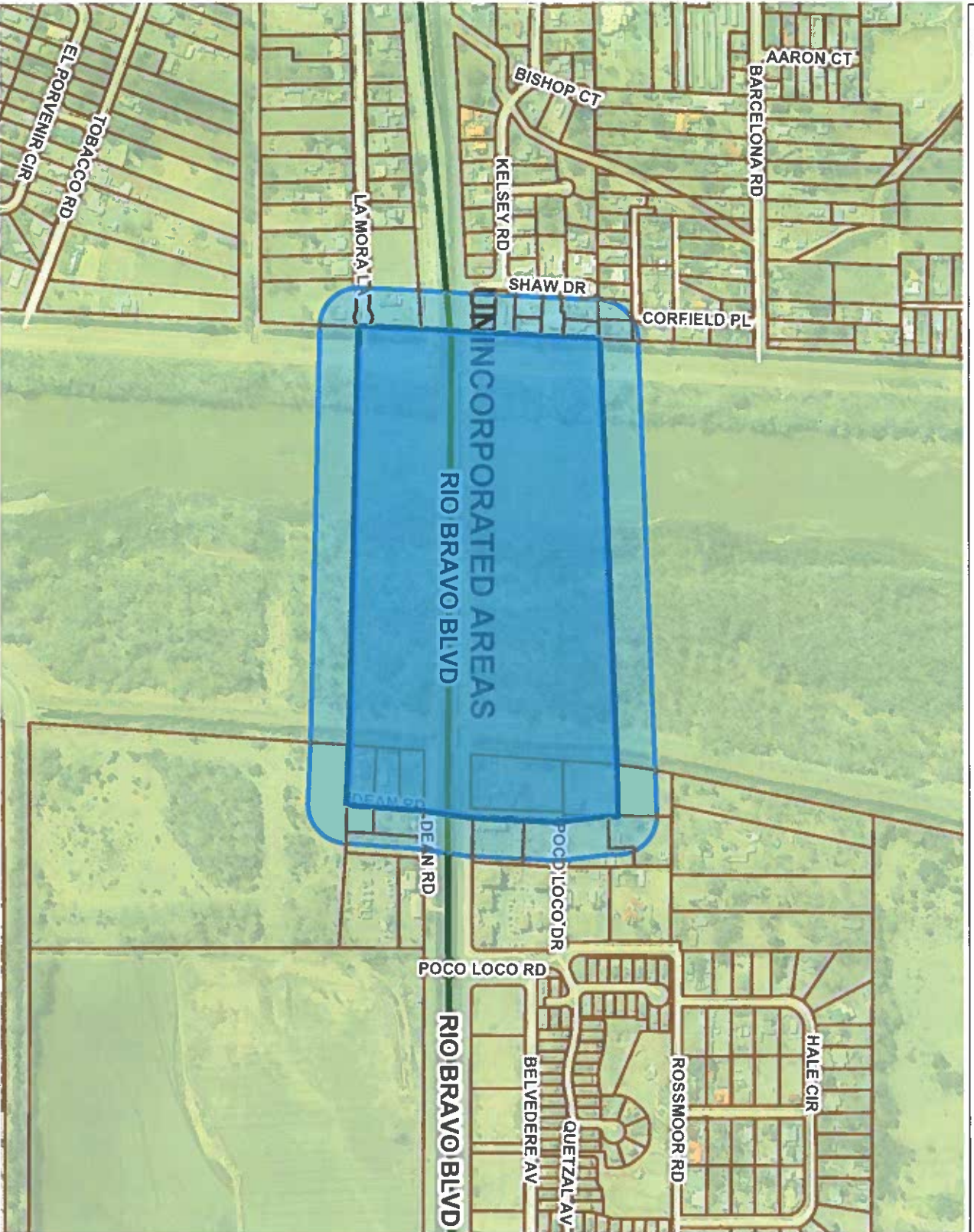
**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**



# Rio Bravo Bridge Notice Buffer Map



1,202 0 601 1,202 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
7/18/2024 © City of Albuquerque

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-discclaimer-1> for more information. THIS MAP IS NOT TO BE USED FOR NAVIGATION

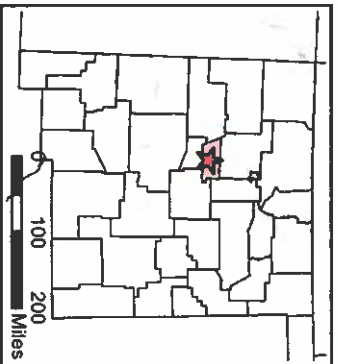
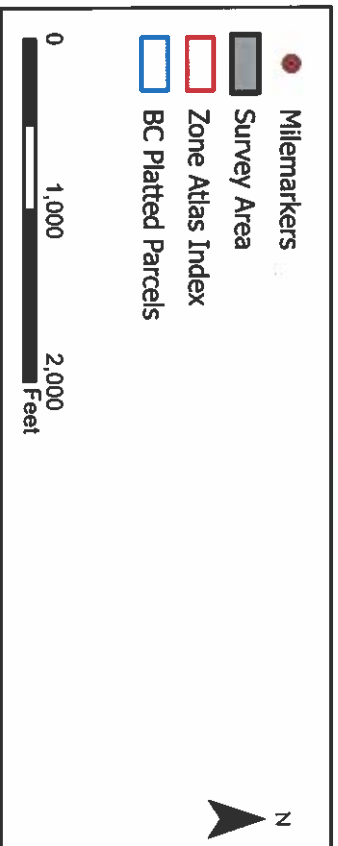
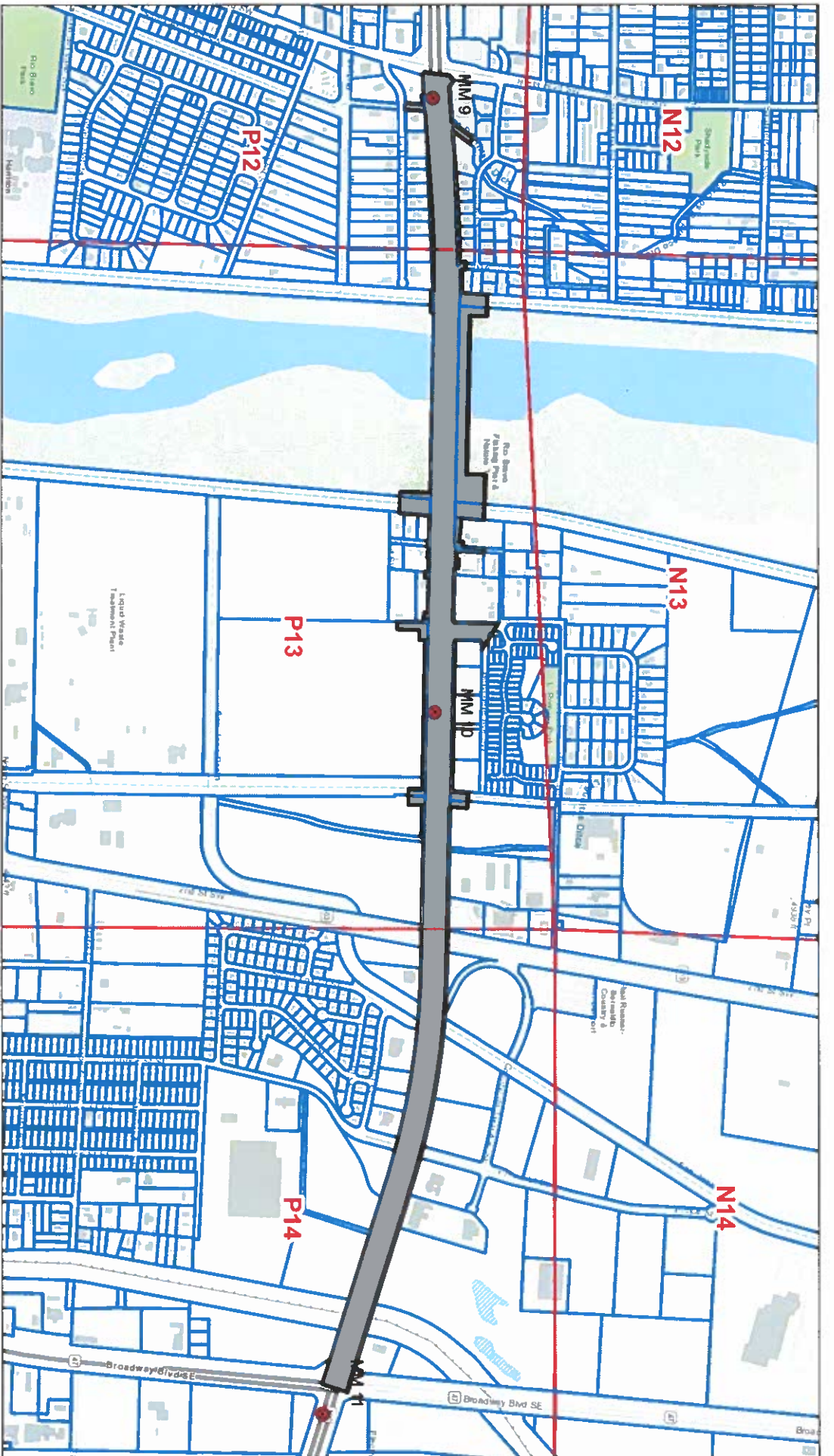
### Legend

- Primary Streets
  - Freeway
  - Principal Arterial
  - Minor Arterial
  - Local Streets
  - + BN and SF Railroad
- Bernalillo County Parcels
- IDO Zoning
  - R-A
  - R-1A
  - R-1B
  - R-1C
  - R-1D
  - R-1T
  - R-1MC
  - R-1M
  - R-1H
  - R-MH
  - R-M
  - R-T
  - R-X-L
  - R-X-M
  - R-X-H
  - R-X-FB-ID
  - R-X-FB-FX
  - R-X-FB-LUD
  - NR-C
  - NR-BP
  - NR-LM
  - NR-GM
  - NR-SU
  - NR-PO-A
  - NR-PO-B
  - NR-PO-C
  - NR-PO-D
  - PD
  - PC
  - UNCL
  - Corralls
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED

### Notes

160-foot buffer from proposed project area, as shown. Map produced by Michael Vos, CABQ Planning Department.





**NM 500**  
**Zone Atlas Map**

NM500 Bridge Replacement  
 Bernalillo County, New Mexico

**RIVERSIDE PARK PROPOSED PARKING AND PEDESTRIAN ACCESS PLAN - FINAL DRAFT**  
**CN A301001 NM 500 Bridge Reconstruction**  
 June 09, 2023

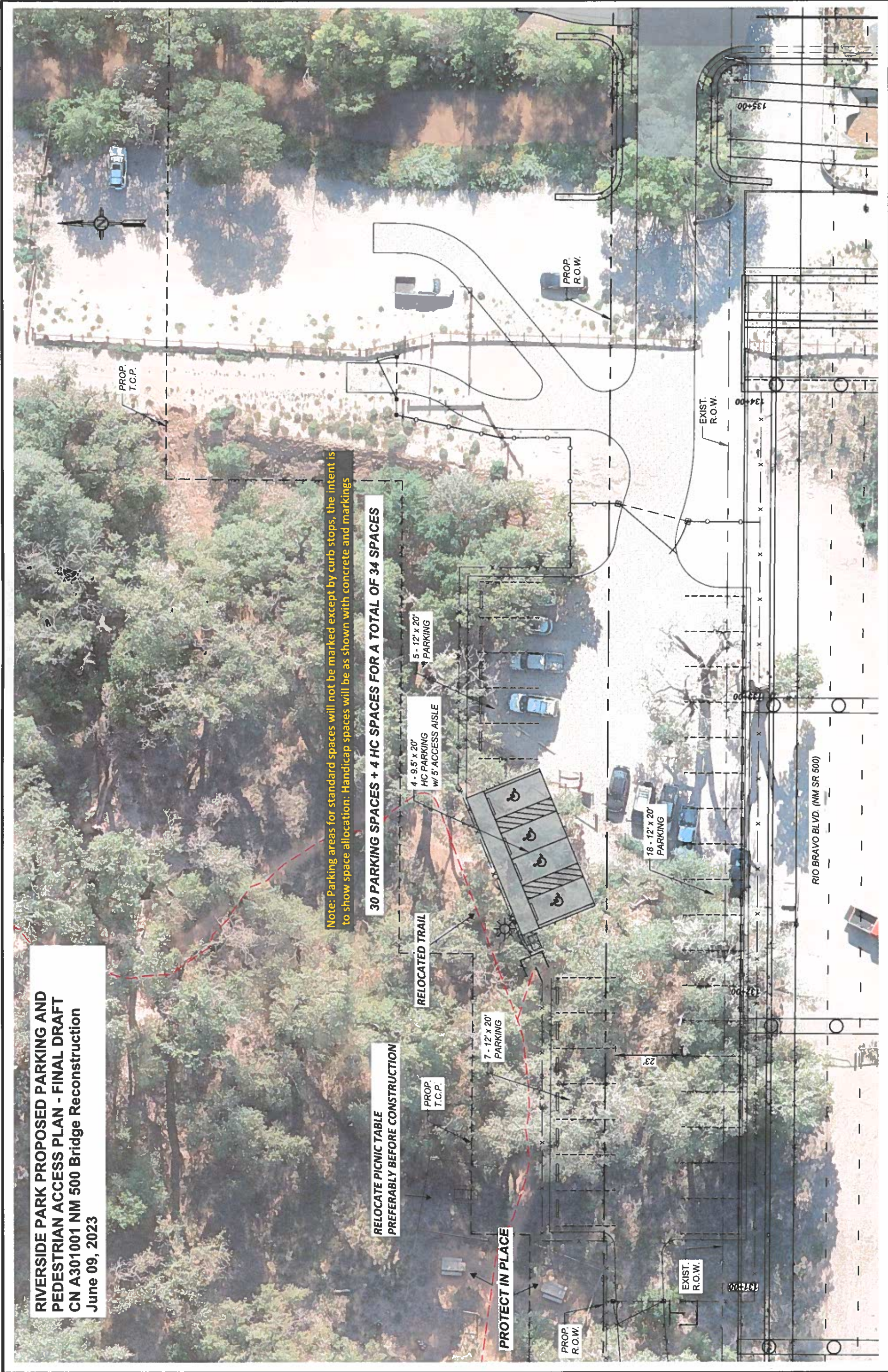
**Note: Parking areas for standard spaces will not be marked except by curb stops, the intent is to show space allocation: Handicap spaces will be as shown with concrete and markings**

**30 PARKING SPACES + 4 HC SPACES FOR A TOTAL OF 34 SPACES**

**RELOCATE PICNIC TABLE PREFERABLY BEFORE CONSTRUCTION**

**RELOCATED TRAIL**

**PROTECT IN PLACE**

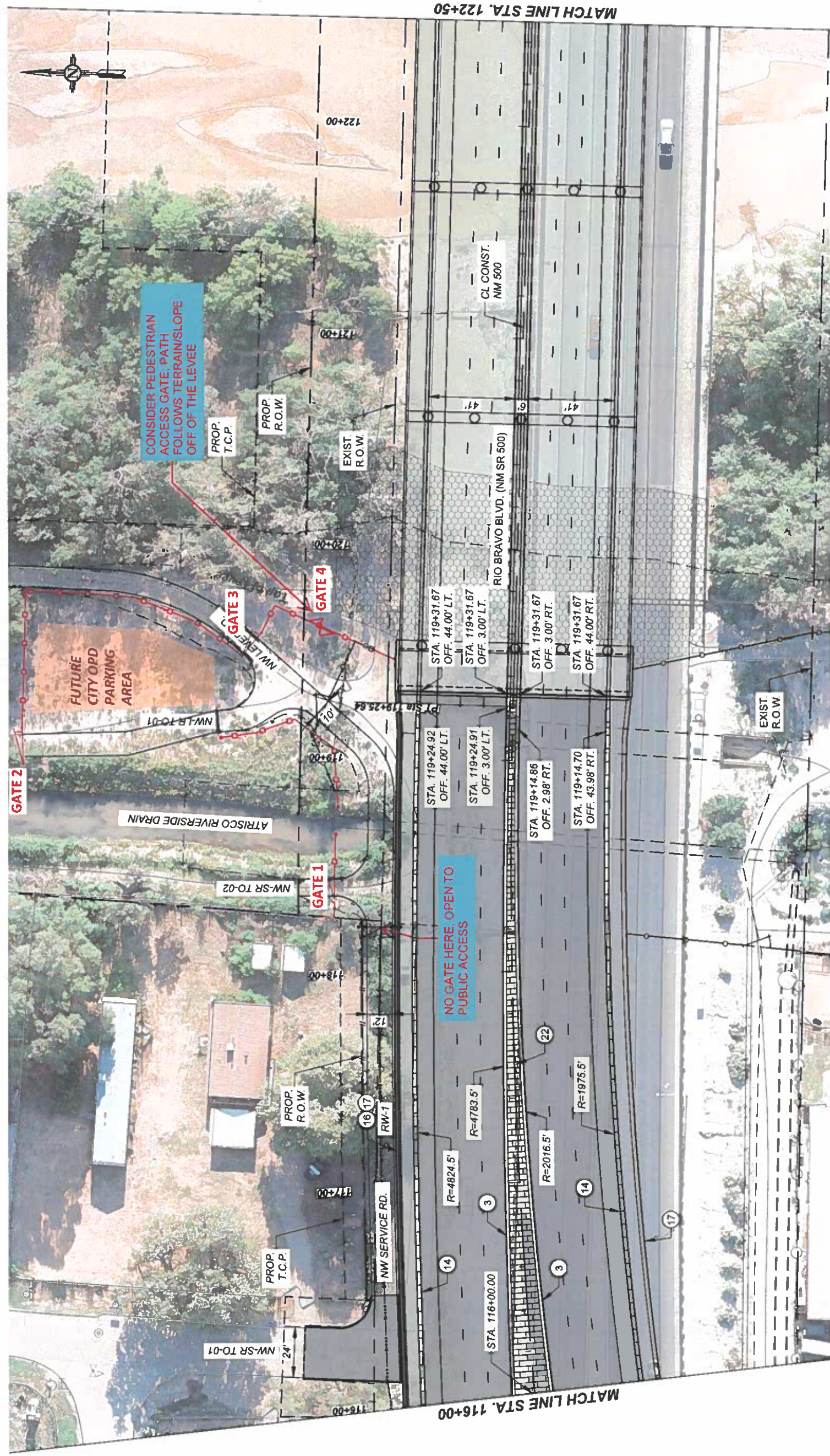




NEW MEXICO DEPARTMENT OF TRANSPORTATION

NO	DESCRIPTION	DATE	BY
1			
2			
3			
4			

A301001  
NM 500 RIO BRAVO BRIDGE REPLACEMENT  
ROADWAY LAYOUT PLANS



**LEGEND**

	PROP. SLOPE LIMITS		PROP. ASPHALT PAVEMENT
	PROP. WALL BARRIER		PROP. CONCRETE PAVEMENT
	PROP. PEDESTRIAN RAILING		PROP. BASE COURSE
	PROP. T.C.P.		PROP. MEDIAN PAVEMENT
	PROP. R.O.W.		PROP. LANDSCAPE GRAVEL
	PROP. GATE		PROP. RIPRAP CLASS A
	PROP. CULVERT		
	EXIST. CULVERT		
	EXIST. R.O.W.		

- KEYED NOTES**
- STATIONS AND OFFSETS PROVIDED
  - REFERENCE NM 500 ROADWAY CL OF CONSTRUCTION UNLESS OTHERWISE NOTED.
  - STATIONS, OFFSETS, CURVE DATA PROVIDED FOR CURB AND GUTTER ARE TO LIP OF GUTTER UNLESS OTHERWISE NOTED.
  - SEE CURB RAMP DETAIL SHEETS FOR ADDITIONAL INFORMATION.
  - SEE FENCING AND GATE PLANS FOR ADDITIONAL INFORMATION.
  - SEE RETAINING WALL PLANS FOR ADDITIONAL INFORMATION.
  - CONCRETE VERTICAL CURB AND GUTTER TYPE C 8" X 32"
  - CONCRETE VERTICAL CURB AND GUTTER TYPE B 6" X 24"
  - CONCRETE SLOPED CURB AND GUTTER 6" X 18"
  - CONCRETE SLOPED CURB AND GUTTER 6" X 24"
  - CONCRETE SLOPED CURB AND GUTTER 8" X 30"
  - CONCRETE VALLEY GUTTER 6" X 24"
  - CONCRETE LAYDOWN CURB 6" HEADER CURB
  - CURB RAMP
  - CONCRETE SIDEWALK 4"
  - DRIVE PAD 6"
  - MULTI-USE TRAIL
  - PEDESTRIAN/BICYCLE RAILING
  - CONCRETE WALL BARRIER 42"
  - MSE WALL
  - C.I.P. WALL
  - NOISE WALL
  - GRAVITY WALL
  - CONCRETE CUT OFF WALL
  - PERMANENT VEHICULAR IMPACT ATTENUATOR UNIT
  - HANDICAP PARKING
  - CONCRETE MEDIAN PAVEMENT 4" (COLORED)
  - LANDSCAPE GRAVEL

NOTES

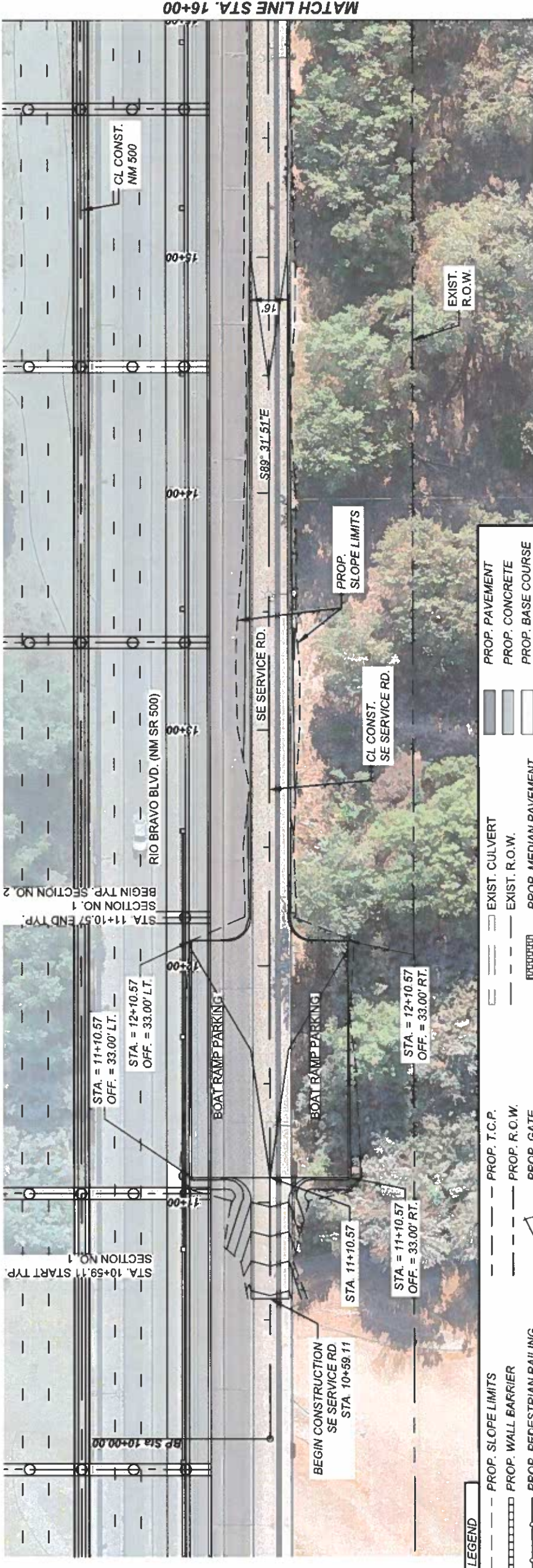
NOT FOR CONSTRUCTION  
90% DESIGN



NEW MEXICO DEPARTMENT OF TRANSPORTATION

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A301001  
NM 500 RIO BRAVO BRIDGE REPLACEMENT  
SE SERVICE RD. PLAN AND PROFILE

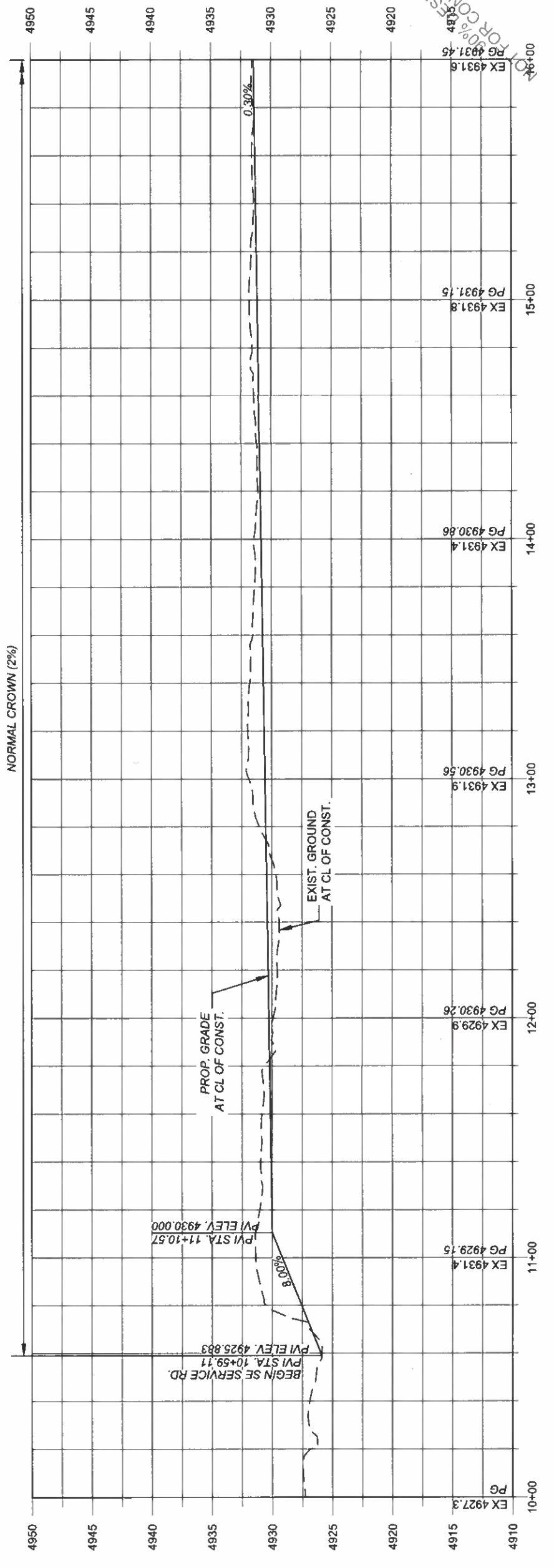


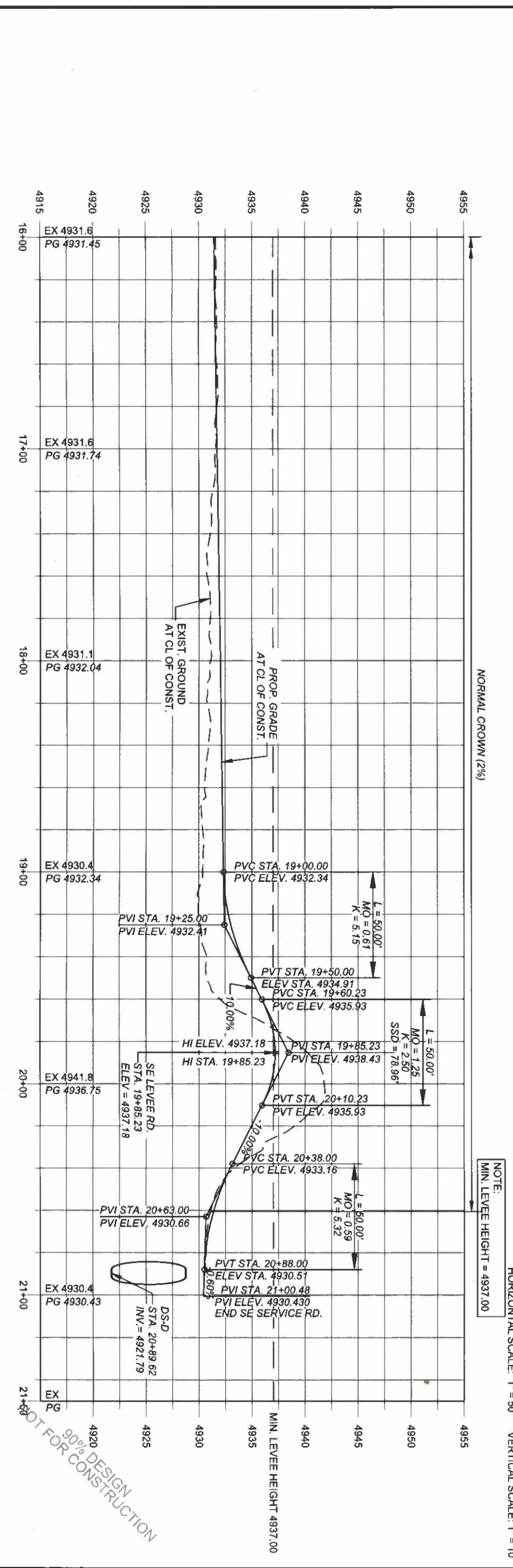
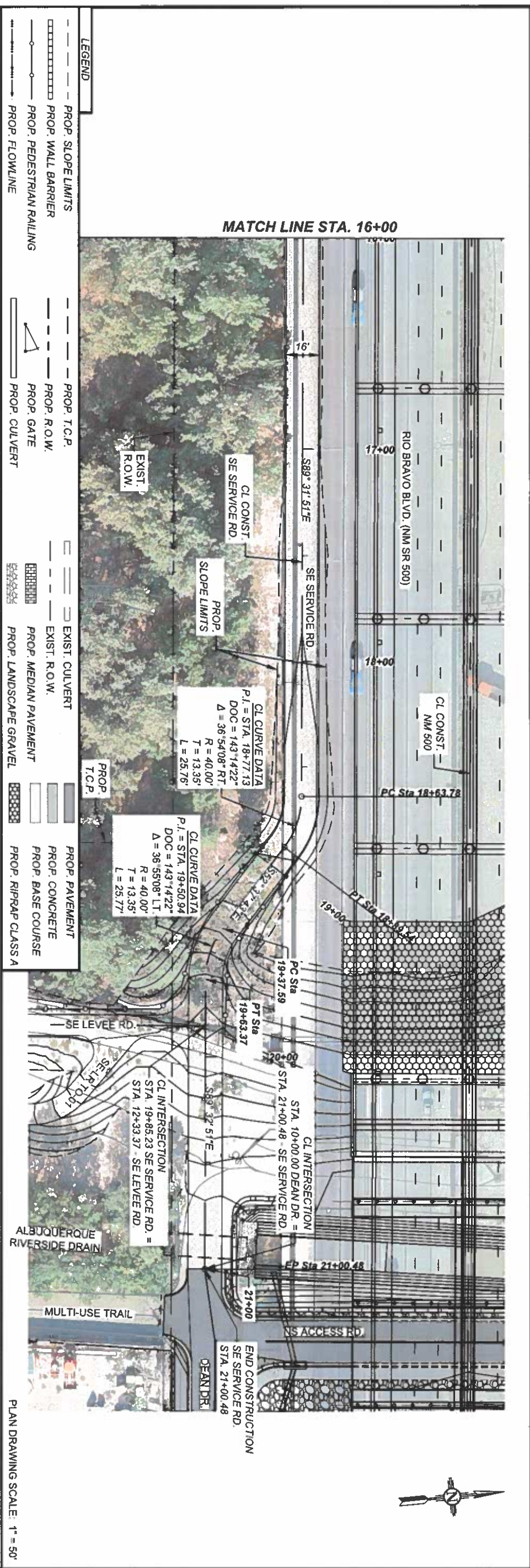
MATCH LINE STA. 16+00

**LEGEND**

---	PROP. SLOPE LIMITS	---	PROP. T.C.P.	---	PROP. PAVEMENT
---	PROP. WALL BARRIER	---	PROP. R.O.W.	---	PROP. CONCRETE
---	PROP. PEDESTRIAN RAILING	---	PROP. GATE	---	PROP. BASE COURSE
---	PROP. FLOWLINE	---	PROP. CULVERT	---	PROP. RIPRAP CLASS A
---		---	EXIST. CULVERT	---	
---		---	EXIST. R.O.W.	---	
---		---	PROP. MEDIUM PAVEMENT	---	
---		---	PROP. LANDSCAPE GRAVEL	---	

HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 10'





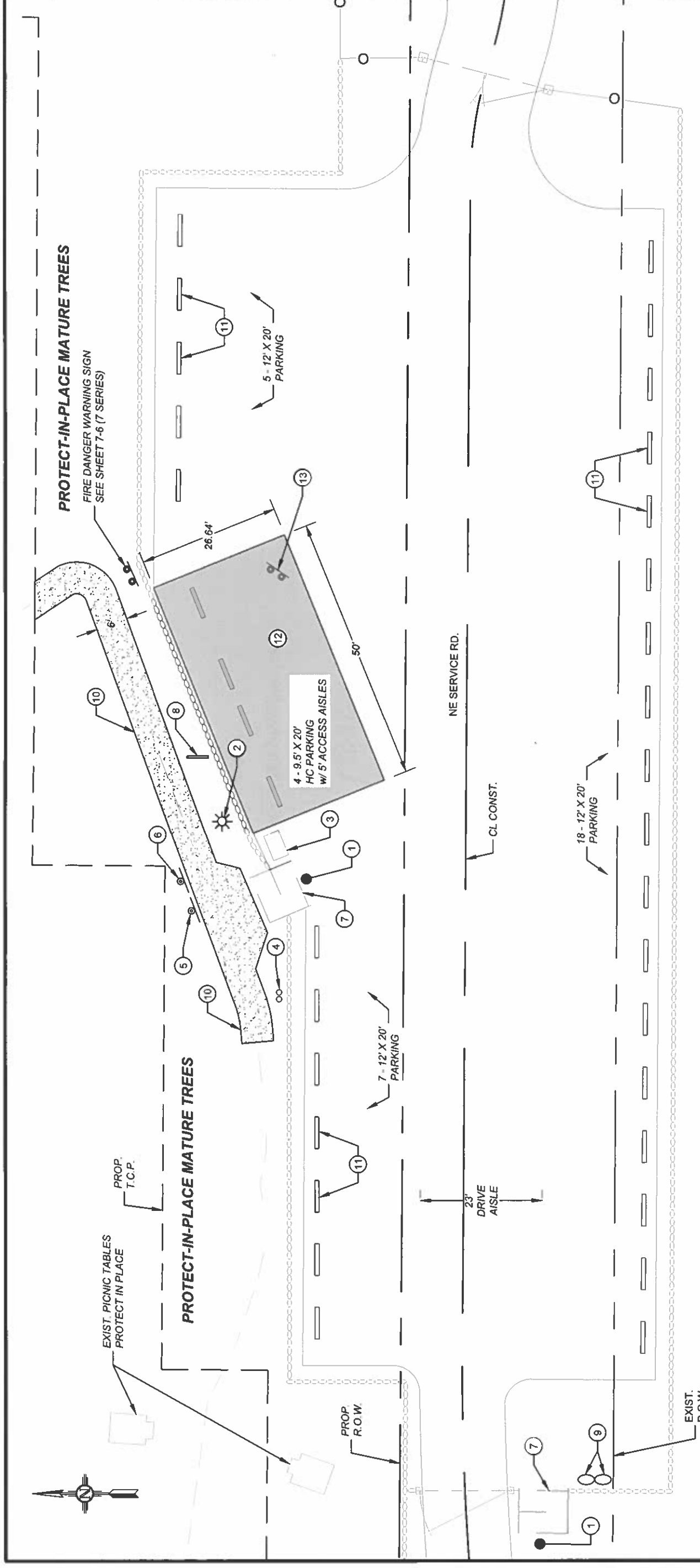
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NEW MEXICO DEPARTMENT OF TRANSPORTATION

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A301001  
 NM 500 RIO BRAVO BRIDGE REPLACEMENT  
 RIVERSIDE PARK AREA LAYOUT PLAN



**RIVERSIDE PARK AREA LAYOUT PLAN**

**LEGEND**

---	PROP. T.C.P.	○	PROP. HIGH TENSILE WIRE FENCE
---	PROP. R.O.W.	□	PROP. WHEEL STOP
---	EXIST. R.O.W.	△	PROP. GATE
○	PROP. PEDESTRIAN RAILING	■	PROP. CONCRETE PAD

- NOTES:**
- ALL HORIZONTAL CURVES ON THIS PROJECT ARE BASED ON THE ARC DEFINITION. RADIUS OF 1° (ONE DEGREE) = 5129.578'
  - STATIONS AND OFFSETS PROVIDED REFER TO CL CONST. NE SERVICE RD.
  - SEE SHEET 3-0A FOR SURVEY CONTROL MAP
  - SEE SHEETS 3-0B TO 3-0I FOR CL HORIZONTAL CONTROL
  - SEE SHEETS 3-17 AND 3-18 FOR NE SERVICE RD.
  - SEE SHEET 2-71 FOR FENCING PLAN
  - CONTOUR INTERVALS ARE SET TO 0.5' INCREMENTS.
  - CONTRACTOR TO COORDINATE WITH CITY OF ALBUQUERQUE OPEN SPACE DIVISION (COA OSD) WHEN INSTALLING PARK FEATURES.
  - WITHIN T.C.P. AREAS, PROTECT MATURE TREES TO EXTENT POSSIBLE.
  - SEE NOTICE TO CONTRACTOR FOR RIVERSIDE PARK AREA LAYOUT ITEMIZED LIST, TO BE PAID ON LUMP SUM BASIS (L.S).

**KEYED NOTES**

- REMOVE AND RESET TRAIL COUNTER
- REMOVE AND RESET SOLAR LIGHT POLE
- REMOVE AND RESET TRASH RECEPTACLE
- REMOVE AND RESET TRASH CANS
- REMOVE AND RESET PET WASTE STATION
- REMOVE AND RESET WELCOME TO OPEN SPACE SIGN
- INSTALL CHICANE
- REMOVE AND RESET BIKE RACK
- REMOVE AND RESET BOULDERS
- GRADE NEW TRAIL CONNECTION
- INSTALL 8' CONCRETE WHEEL STOP (TYP. AS SHOWN)
- CONCRETE PAD FOR HANDICAP PARKING SPACES
- REMOVE AND SALVAGE KIOSK TO COA OSD
- REMOVE AND SALVAGE SIGNS NOT SHOWN TO COA OSD

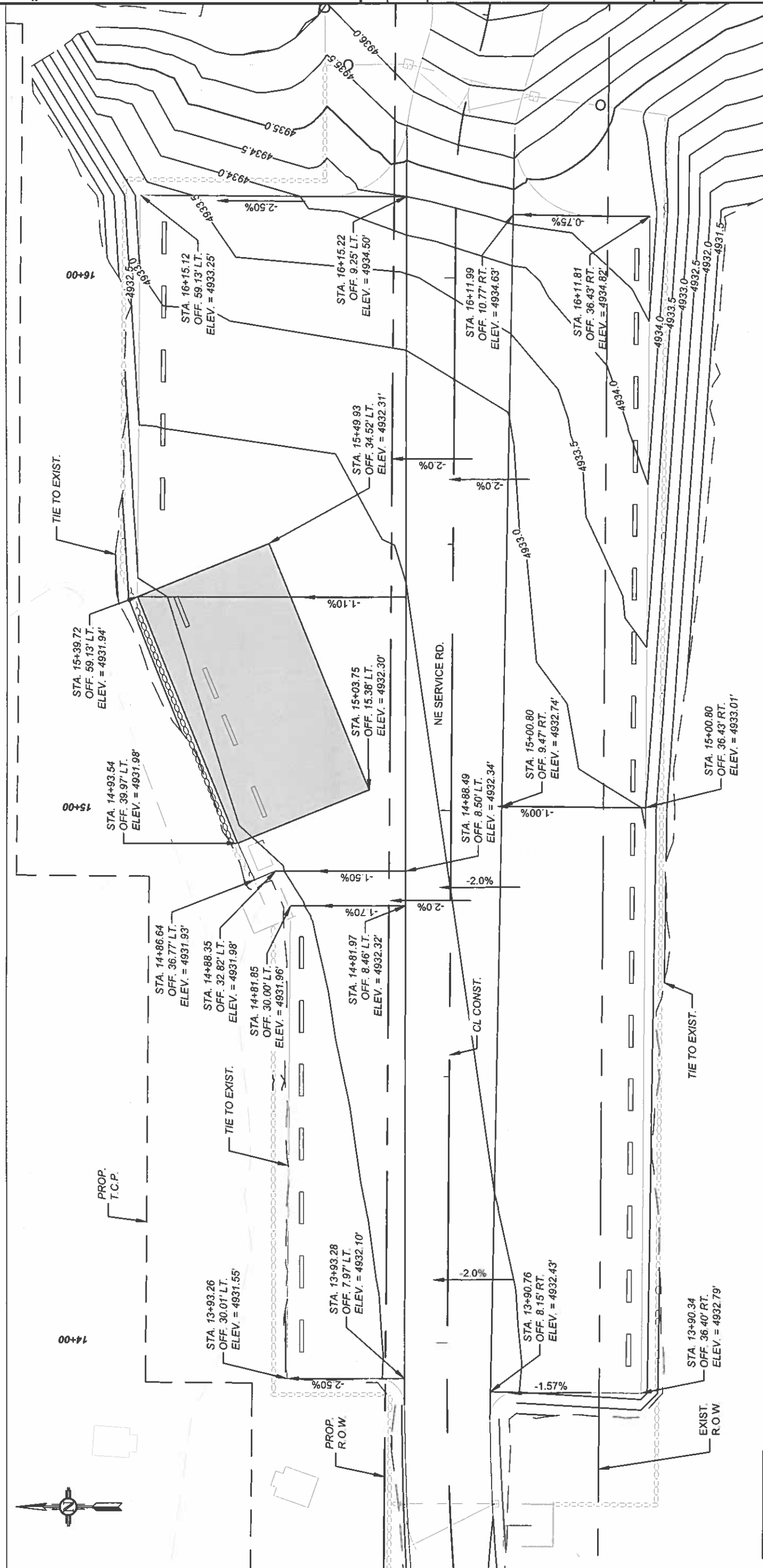
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 NOT FOR CONSTRUCTION



NEW MEXICO DEPARTMENT OF TRANSPORTATION

NO	DESCRIPTION	DATE	BY
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A301001  
 NM 500 RIO BRAVO BRIDGE REPLACEMENT  
 RIVERSIDE PARK AREA GRADING PLAN



90% DESIGN  
 NOT FOR CONSTRUCTION

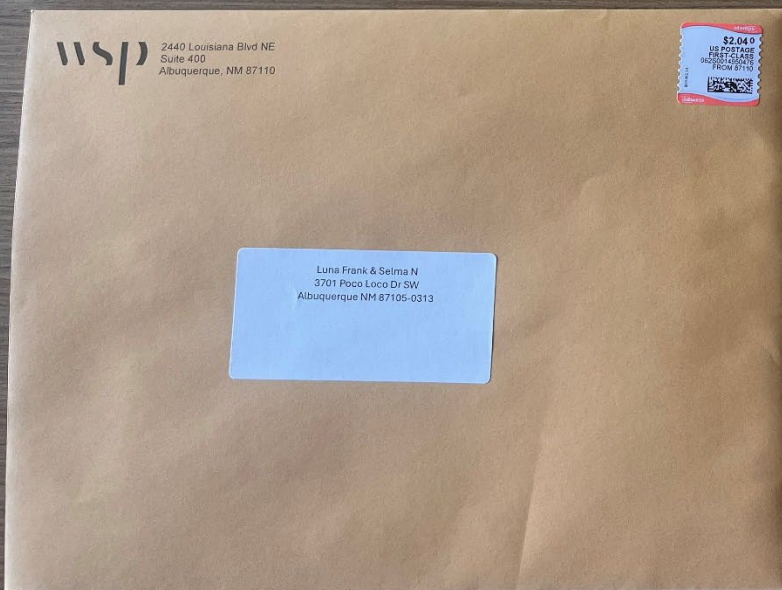
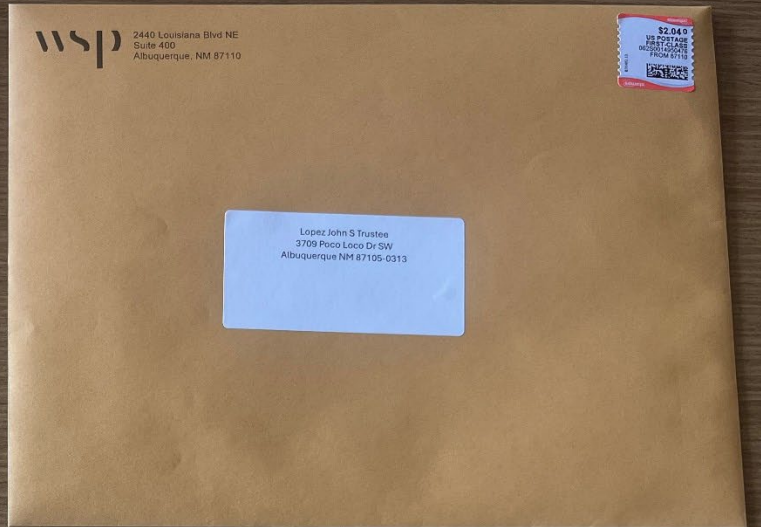
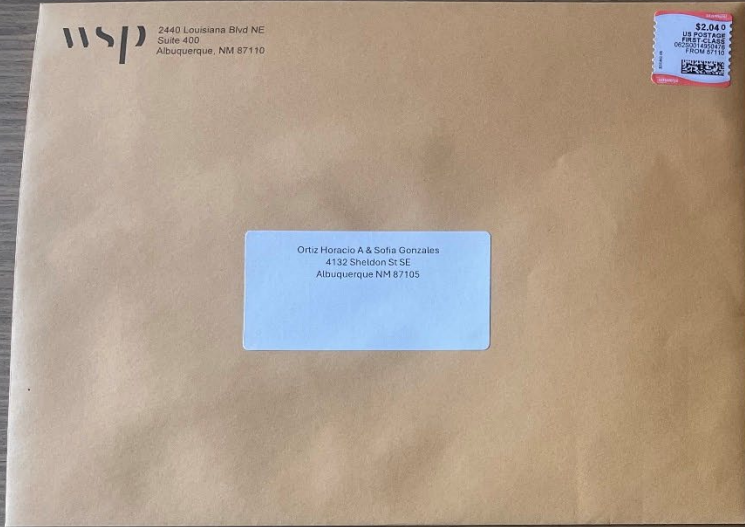
RIVERSIDE PARK AREA GRADING PLAN

**LEGEND**

--- PROP. T.C.P.	--- PROP. HIGH TENSILE WIRE FENCE
--- PROP. R.O.W.	--- PROP. WHEEL STOP
--- EXIST. R.O.W.	--- PROP. GATE
--- PROP. PEDESTRIAN RAILING	--- PROP. CONCRETE PAD

- NOTES:**
- ALL HORIZONTAL CURVES ON THIS PROJECT ARE BASED ON THE ARC DEFINITION. RADIUS OF 1" (ONE DEGREE) = 5129.578'
  - STATIONS AND OFFSETS PROVIDED REFER TO CL CONST. NE SERVICE RD.
  - SEE SHEET 3-04 FOR SURVEY CONTROL MAP
  - SEE SHEETS 3-08 TO 3-01 FOR CL HORIZONTAL CONTROL.
  - SEE SHEETS 3-17 AND 3-18 FOR NE SERVICE RD.
  - SEE SHEET 2-71 FOR FENCING PLAN.
  - CONTOUR INTERVALS ARE SET TO 0.5' INCREMENTS
  - CONTRACTOR TO COORDINATE WITH CITY OF ALBUQUERQUE OPEN SPACE DIVISION (COA OSD) WHEN INSTALLING PARK FEATURES.
  - WITHIN T.C.P. AREAS, PROTECT MATURE TREES TO EXTENT POSSIBLE.
  - SEE NOTICE TO CONTRACTOR FOR RIVERSIDE PARK AREA LAYOUT ITEMIZED LIST. TO BE PAID ON LUMP SUM BASIS (LS).

# PROPERTY OWNER NOTIFICATION





wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Paiz Ronald SR  
2255 Muniz Rd SW  
Albuquerque NM 87105-6533

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Garcia Ignacio  
802 Rio Bravo Blvd SW  
Albuquerque NM 87105

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Paseo del Rio Apartments LLC  
PO Box 9923  
Albuquerque NM 87119-1023

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Jaramillo Daniel D & Angelina R  
3302 Shaw Dr SW  
Albuquerque NM 87105-5845

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Gonzales Emilia  
3112 Corfield PL SW  
Albuquerque NM 87105-5852

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Corfield Bob E  
10017 Sienna Peak Ct  
Las Vegas NV 89144-1507

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Chavez Lorenzo J & Monique B  
2828 Porto St SW  
Albuquerque NM 87121-5399

wsp 2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Chavez Alfred J SR  
3424 Shaw Rd SW  
Albuquerque NM 87105



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Chapa Arnulfo Bolivar & Gonzalez Silvia  
3723 Dean Blvd SW  
Albuquerque NM 87105-7433



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Amezcuea Kimberly  
1307 La Mora Ln SW  
Albuquerque NM, 87105-5938



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Lopez Charlotte M  
1414 Corfield PL SW  
Albuquerque NM 87105



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Garcia Gloria  
3016 Shaw Dr SW  
Albuquerque NM 87105-5843



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Gallipoli Frances & Hubbard Cary Ashford  
3308 Shaw Dr SW  
Albuquerque NM 87105-5845



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



ALBUQUERQUE BERNALILLO COUNTY WATER  
UTILITY AUTHORITY  
PO BOX 1293  
Albuquerque NM, 87103-1293



2440 Louisiana Blvd NE  
Suite 400  
Albuquerque, NM 87110



Galindo Adan J & Lorena  
504 Rio Bravo Blvd SW  
Albuquerque NM 87105-5910

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

AMEZCUA KIMBERLY  
1307 LA MORA LN SW  
ALBUQUERQUE NM 87105-5936

CHAPA ARNULFO BOLIVAR &  
GONZALEZ SILVIA  
3723 DEAN BLVD SW  
ALBUQUERQUE NM 87105-7433

CHAVEZ ALFRED J SR  
3424 SHAW RD SW  
ALBUQUERQUE NM 87105

CHAVEZ ALFRED J SR  
3424 SHAW RD SW  
ALBUQUERQUE NM 87105

CHAVEZ LORENZO J & MONIQUE B  
2828 PORTO ST SW  
ALBUQUERQUE NM 87121-5399

CORFIELD BOB E  
10017 SIENNA PEAK CT  
LAS VEGAS NV 89144-1507

GALINDO ADAN J & LORENA  
504 RIO BRAVO BLVD SW  
ALBUQUERQUE NM 87105-5910

GALLIPOLI FRANCES & HUBBARD CARY  
ASHFORD  
3308 SHAW DR SW  
ALBUQUERQUE NM 87105-5845

GARCIA GLORIA  
3016 SHAW DR SW  
ALBUQUERQUE NM 87105-5843

GARCIA GLORIA  
3016 SHAW DR SW  
ALBUQUERQUE NM 87105-5843

GARCIA IGNACIO  
602 RIO BRAVO BLVD SW  
ALBUQUERQUE NM 87105

GARCIA IGNACIO  
602 RIO BRAVO BLVD SW  
ALBUQUERQUE NM 87105-5912

GONZALES EMILIE  
3112 CORFIELD PL SW  
ALBUQUERQUE NM 87105-5852

JARAMILLO DANIEL D & ANGELINA R  
3302 SHAW DR SW  
ALBUQUERQUE NM 87105-5845

LOPEZ CHARLOTTE M  
1414 CORFIELD PL SW  
ALBUQUERQUE NM 87105-5853

LOPEZ JOHN S TRUSTEE LOPEZ TRUST  
3709 POCO LOCO DR SW  
ALBUQUERQUE NM 87105-0313

LUNA FRANK & SELMA N LUNA  
3701 POCO LOCO DR SW  
ALBUQUERQUE NM 87105-0313

LUNA SELMA N & FRANK  
3701 POCO LOCO DR SW  
ALBUQUERQUE NM 87105-0313

LUNA SELMA N & FRANK LUNA  
3701 POCO LOCO DR SW  
ALBUQUERQUE NM 87105-0313

LUNA SELMA N & FRANK LUNA  
3701 POCO LOCO DR SW  
ALBUQUERQUE NM 87105-0313

ORTIZ HORACIO A & SOFIA GONZALES  
4132 SHELDON ST SE  
ALBUQUERQUE NM 87105

ORTIZ HORACIO A & SOFIA GONZALES  
4132 SHELDON ST SE  
ALBUQUERQUE NM 87105

PAIZ RONALD SR  
2255 MUNIZ RD SW  
ALBUQUERQUE NM 87105-6533

PASEO DEL RIO APARTMENTS LLC  
PO BOX 9923  
ALBUQUERQUE NM 87119-1023

VAZQUEZ MARTIN  
3300 SHAW DR SW  
ALBUQUERQUE NM 87105-5845

**From:** [Flores, Suzanna A.](#)  
**To:** [Bolivar, Silvia A.](#)  
**Subject:** Unnamed Road, Albuquerque NM 87105\_ Public Notice Inquiry Sheet Submission  
**Date:** Tuesday, July 23, 2024 11:11:42 AM  
**Attachments:** [NM 500 Zone Atlas Map.pdf](#)  
[image001.png](#)

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Dear Applicant:

As of July 23, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

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**From:** webmaster@cabq.gov <webmaster@cabq.gov>  
**Sent:** Monday, July 22, 2024 10:33 AM  
**To:** Bolivar, Silvia A. <sabolivar@cabq.gov>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

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**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Silvia Bolivar

Telephone Number

505 924 3844

Email Address

[sabolivar@cabq.gov](mailto:sabolivar@cabq.gov)

Company Name

City of Albuquerque Planning Department - UD & D

Company Address

600 2nd Street NW

City

Albuquerque

State

NM

ZIP

87112

Legal description of the subject site for this project:

Rio Grande Picnic Area

Unnamed Road, Albuquerque NM 87105

Physical address of subject site:

Unnamed Road, Albuquerque NM 87105

Subject site cross streets:

Rio Bravo Bridge

Other subject site identifiers:

This site is located on the following zone atlas page:

P12 and P 13

Captcha

x