



**Environmental
Planning
Commission**

**Agenda Number: 5
Project #: 2024-009765
Case #: SI-2024-00468
Deferral Hearing Date: July 18, 2024**

Staff Report (To replace the May 16, 2024 Staff Report)

Agent	Tierra West, LLC
Applicant	Cross Development
Request	Site Plan Major Amendment – Gateway Center Site Plan for Subdivision
Legal Description	All or a portion of Tract A Plat of Gateway Subdivision, Tract B-1, Plat of Tract B-1, Gateway Subdivision, A replat of Tracts B & C, Gateway Subdivision; Tract, D-1-B-1, Plat of Tract D-1-B-1 and D-1-B-2, Gateway Subdivision (being a replat of Tract D-1-B, Gateway Subdivision, Lots 16 and 17, Trotter Addition NO. 2 and A; and Tract D-1-A-1, Plat for Lots 1 & 2, Tract D-1-A-1, Gateway Subdivision (being a replat of Tract D-1-A, Gateway Subdivision & an unplatted parcel)
Location	1100 Woodward Pl NE, between Mountain Rd, Lomas Blvd, Edith Blvd. and I-25 frontage
Size	Approximately 23.0 acres
Existing Zoning	MX-M (MX-H pending approval of RZ-2024-00001)

Staff Recommendation

APPROVAL of PR-2024-009765, SI-2024-00468, based on Findings 1-23 and the Conditions of Approval 1-12.

Staff Planners:
Megan Jones, Principal Planner
Vicente Quevedo, Senior Planner

Summary of Analysis

The request was deferred for 2 months from the May 16th hearing for the request to be heard subsequently to the associated zone change from MX-M to MX-H at 1100 Woodward PL NE. This request is for a Major Amendment to the Gateway Center Site Development Plan (SDP) for Subdivision for an approximately 3-acre portion (the “subject site”) of the larger 23-acre site (the “subject area”) to add Hospital as a permissive use and change setbacks to be pursuant to the IDO for Area 3/Tract A. The amendment would facilitate development of the proposed Site Plan for a Rehabilitation Facility (Hospital Use) which is being reviewed as part of this request. The subject area is in an Area of Change and is located within the I-25 Frontage, Mountain Rd. and Lomas Blvd. Major Transit Corridors. It is within CPO-7, although design standards are not applicable to this request. Staff has reviewed the proposed Site Plan pursuant to development standards listed on the controlling SDP and the MX-H zone district. If the associated zone change request is not approved, the site plan shall comply with MX-M zone district standards and the controlling SDP, prior to DFT final sign off. The applicant has adequately justified the request pursuant to IDO Review and Decision Criteria 14-16-6-6(i)(3) for A Site Plan-EPC Major Amendment. The applicant notified all eligible Neighborhood Associations and adjacent property owners (within 100 feet) as required. Staff is aware of opposition to this request by the Santa Barbara Martineztown Neighborhood Association.

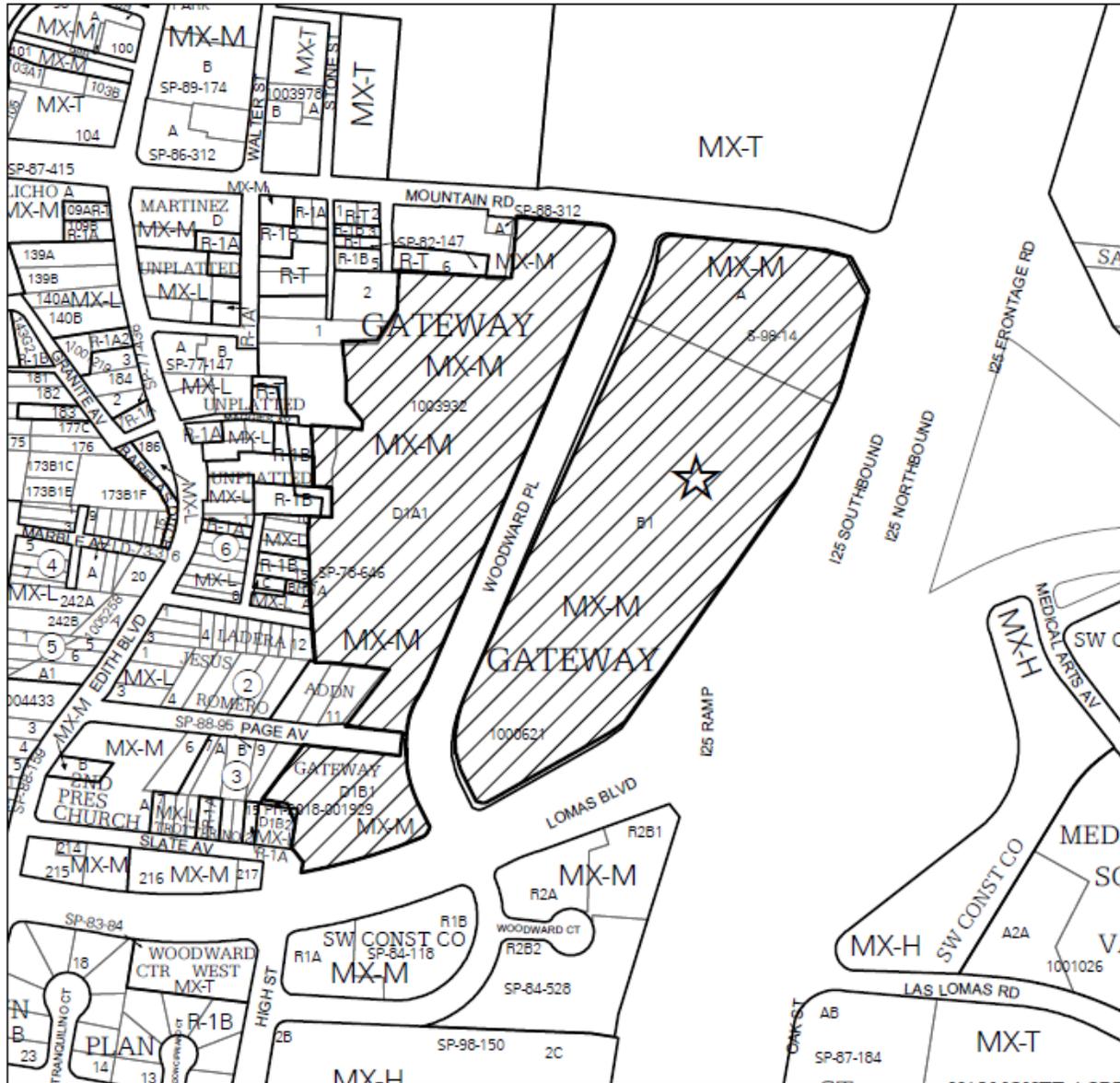
Table of Contents

I.	MAPS	1
II.	INTRODUCTION	7
	OVERVIEW/REQUEST	7
	EPC ROLE	7
	HISTORY/BACKGROUND.....	8
	CONTEXT	8
	ROADWAY SYSTEM	8
	TRAILS/BIKEWAYS.....	9
	TRANSIT.....	9
III.	ANALYSIS OF CITY PLANS AND ORDINANCES.....	9
	ALBUQUERQUE / BERNALILLO COUNTY COMPREHENSIVE PLAN (RANK 1).....	9
	<i>Applicable Goals & Policies</i>	10
	INTEGRATED DEVELOPMENT ORDINANCE (IDO)	15
	<i>IDO Zoning</i>	15
	<i>Proposed zoning</i>	15
	<i>Overlay Zones</i>	16
	<i>Definitions</i>	16
	<i>Justification & Analysis</i>	17
IV.	MAJOR AMENDMENT TO SITE PLAN.....	19
	AMENDMENT AND SITE PLAN REQUEST	19
V.	AGENCY & NEIGHBORHOOD CONCERNS	25
	REVIEWING AGENCIES	25
	NEIGHBORHOOD/PUBLIC	25
VI.	CONCLUSION	26
	FINDINGS - SITE PLAN EPC, MAJOR AMENDMENT.....	27
	RECOMMENDATION –PR-2024-009765, SI-2024-00468, MAY 16, 2024	37
	CONDITIONS OF APPROVAL - PR-2024-009765, SI-2024-00468	37
	AGENCY COMMENTS	40

ATTACHMENTS

A) PHOTOGRAPHS.....	A
B) HISTORY	B
C) APPLICATION INFORMATION	C
D) STAFF INFORMATION	D
E) PUBLIC NOTICE	E
F) NEIGHBORHOOD MEETING REPORT	F
G) PUBLIC COMMENT	G
H) CONTROLLING SITE PLAN	H
I) SITE PLAN MAJOR AMENDMENT	I

I. Maps



IDO ZONING MAP

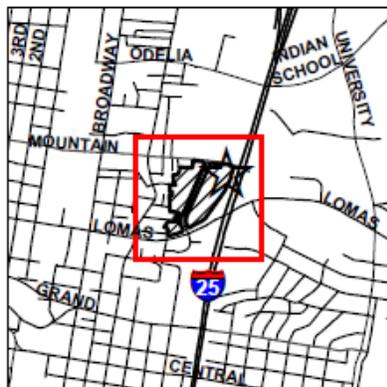
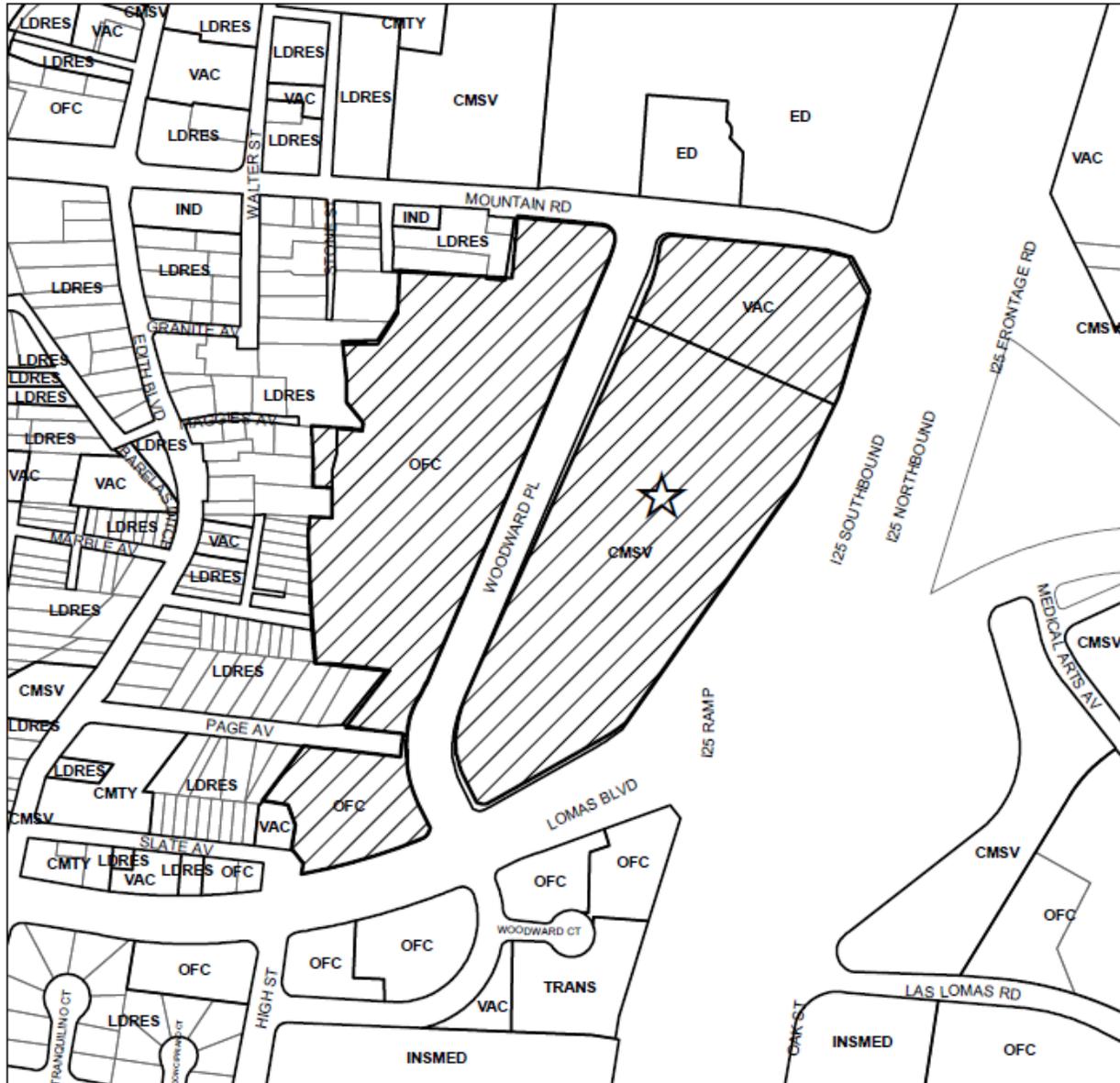
Note: Gray shading indicates County.



1 inch = 300 feet

Hearing Date:
 5/16/2024
 Project Number:
 PR-2024-009765
 Case Numbers:
 SI-2023-00468

Zone Atlas Page:
 J-15



LAND USE MAP

Note: Gray shading
 Indicates County.

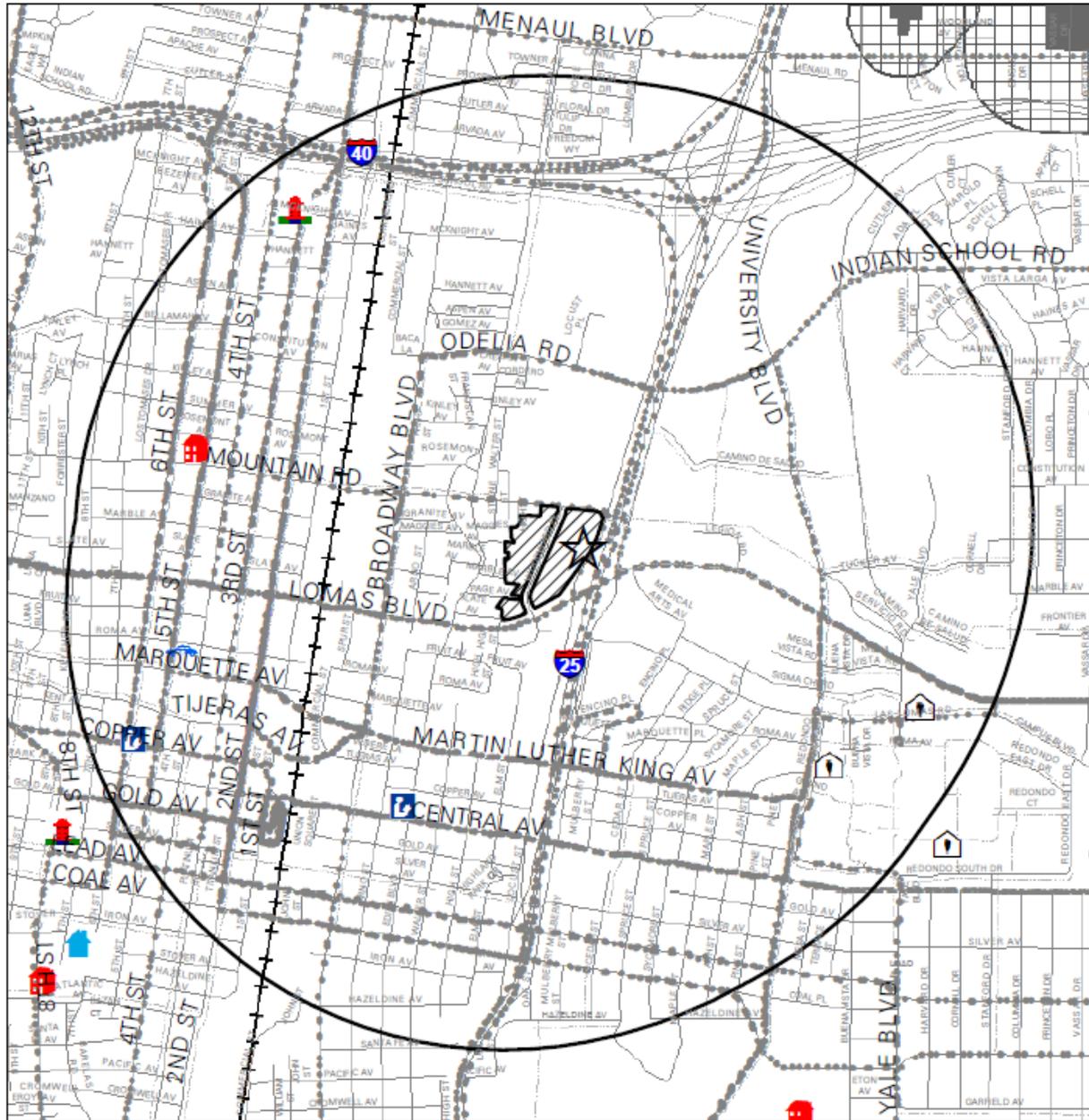
- Key to Land Use Abbreviations**
- LDRES | Low-density Residential
 - MULT | Multi-family
 - COMM | Commercial Retail
 - CMSV | Commercial Services
 - OFC | Office
 - IND | Industrial
 - INSMED | Institutional / Medical
 - ED | Educational
 - APRT | Airport
 - TRANS | Transportation
 - AGRI | Agriculture
 - PARK | Parks and Open Space
 - DRNG | Drainage
 - VAC | Vacant
 - UTIL | Utilities
 - CMTY | Community
 - KAFB | Kirtland Air Force Base



1 inch = 300 feet

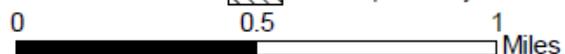
Hearing Date:
 5/16/2024
 Project Number:
 PR-2024-009765
 Case Numbers:
 SI-2023-00468

Zone Atlas Page:
 J-15



Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |



II. Introduction

Overview/Request

The EPC approved the associated zone change to MX-H (Mixed-use, high intensity) on February 16, 2024, which was appealed and heard by the Land Use Hearing Officer on May 15, 2024. The request was remanded back to the EPC to be heard De Novo (Anew), which is being heard prior to this request at the July 18, 2024 EPC Hearing. Due to this, the original request for the major amendment was deferred for a month from 5-16-2024 to the 6-20-2024 EPC hearing as requested by the applicant. An additional deferral for both requests were granted to be heard at the July 18, 2024 hearing to ensure proper notification and so that this request could be heard subsequently to the zone change (RZ-2024-00001).

This request is for a Site Plan EPC, Major Amendment for an approximately 3-acre site (Tract A) within the controlling, approximately 23-acre, Gateway Center Site Development Plan (SDP) for Subdivision (the “subject site”). The requested major amendment would 1) add the hospital use as permissive in Area 3 (Tract A) of the controlling Site Development Plan, 2) change setbacks for Area 3 (Tract A) to be pursuant to the IDO development standards, and 3) develop a new rehabilitation facility (hospital use) on the subject site, which is being reviewed as part of this request.

For the purposes of this request, staff has reviewed the proposed Site Plan as part of the Major Amendment pursuant to development standards listed on the controlling SDP and where silent, applicable IDO development standards and the MX-H zone district.

Note: If the associated zone change is not approved, the site plan shall comply with MX-M zone district standards which may cause a deferral of this request.

EPC Role

The EPC is hearing this request because the controlling Gateway Center Site Development Plan for Subdivision was originally approved by the EPC in 1994 (Z-93-46 DRB-94-183) and it exceeds the thresholds for a minor amendment in IDO section 14-16-6-4(Y)(2). In this case, the request would affect a property in an overlay zone and add a use that was not previously allowed on the Site Development Plan (SDP) pursuant to Table 6-4-4 [6-4(Y)(2)(a)11. and 6-4(Y)(2)(a)12.], therefore this request is a Major Amendment. Any major amendments to a Pre-IDO SDP must be reviewed by the original decision-making body, which in this case is the EPC. The EPC’s role is to ensure compliance with Section 14-16-6-6(I)(3)(a) – (g) of the Integrated Development Ordinance (IDO).

Pursuant to IDO §14-16-6-4(P), the decision-making body may impose conditions necessary to ensure compliance with the development standards of the IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

History/Background

The subject site has historically been vacant and undeveloped. It was originally within the rescinded Martineztown/Santa Barbara Sector Development Plan (the "Sector Plan") boundary which was recommended by the EPC to the City Council for approval (100919 12EPC-40003) and Adopted by the City Council on 02/21/90 (R-497 City Enactment No. 22-1990). The Sector Plan was repealed on 11/17/2017 (R-213, Enactment No. R-2017-102). The Sector Plan required any development on the subject site to be reviewed and approved by the EPC as a site development plan.

On 3/24/1994 the EPC voted to approve the Site Development Plan (SDP) for Subdivision for the 23-acre area that the subject site is within (Z-93-46). The SDP for Subdivision was signed off for approval by the former DRB (Development Review Board) on 7/12/1994 (DRB-94-183).

This SDP for subdivision was amended by the DRB on 2/17/1997 and included a revision to area three which reflects the most updated plat for a 2.78-acre Tract and up to 182,856 GFS (DRB-97-466). See controlling SDP for the subject site in the attachments.

Project #1000060 included two separate 2-year extensions (one in 2011, the other in 2014) of a Subdivision Improvements Agreement for the Gateway Subdivision.

No other history for the site is known at this time.

Context

The 3-acre subject site is vacant and located within the larger 23-acre subject area, which is surrounded by a mix of commercial, educational, and office land uses that generally range from mid-to-high intensity. It directly abuts I-25 and Frontage Rd South to the east. The Gateway Center Site Development Plan for Subdivision (the "subject area") is developed with a hotel that directly abuts the subject site to the south; A medical reference laboratory is adjacent to the subject site to the west; and a Health Gym to the south west of the site at the intersection of Lomas Blvd. and Woodward Pl. NE. The APS Early College Academy/Career Enrichment Center is outside of the SDP boundary, but north of the subject site, across Mountain Rd. NE.

Roadway System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classifications of roadways. Mountain Rd. is classified as a Major Collector, Woodward Pl. is classified as a

local street, Lomas Blvd. is classified as an urban principal arterial, and I-25 is classified as an interstate.

Trails/Bikeways

The section of Mountain Rd. abutting the subject site is designated as an existing bike lane, which merges into a Bike Route west of the subject site on Mountain Rd.

Transit

The subject site is directly served by Bus Route 5 (Montgomery-Carlisle) and Bus Route 11 (Lomas), which runs east to west along Lomas Blvd. The nearest Bus stop directly abuts the subject site's northern boundary. The subject site is located along two Major Transit Corridors and within 660' of one other.

III. Analysis of City Plans and Ordinances

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located wholly in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation. The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Comprehensive Plan Designations

The subject site is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and along/within 660' of the Lomas Blvd. Major Transit Corridor. Major Transit Corridors prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment and development should be transit- and pedestrian-oriented near transit stops, while auto-oriented for much of the Corridor.

The subject site is included in the Central Albuquerque Community Planning Assessment (CPA) area. The Central ABQ Community Planning Area (CPA) is centrally located in Albuquerque, spanning the area between I-25 and the Rio Grande and between I-40 and the city's southern boundary with Bernalillo County. The Central ABQ CPA area is characterized by a wealth of history, culture, nature, and urban activity that creates a dynamic environment that is home to some of the most diverse and historic neighborhoods in the city.

Applicable Goals & Policies

Applicable Goals and Policies are listed below. IDO section 14-6-6(I)(3)(a) requires that any application for a Site Plan – EPC be consistent with the ABC Comp Plan, as amended. Staff analysis follows in bold italic text. In this case, the Goals and policies below were included by the applicant in the justification letter.

CHAPTER 4: COMMUNITY IDENTITY

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request would locate a hospital use on the southern portion of the subject site, which is also the southeastern most corner of the Santa Barbara/Martineztown Neighborhood. This will ensure that the existing residential neighborhood uses will be protected and preserved. **The request is consistent with Goal 4.1 Character.**

POLICY 4.1.1 DISTINCT COMMUNITIES: Encourage quality development that is consistent with the distinct character of communities.

The request would contribute to the existing varying intensity of uses that distinctly characterize the Santa Barbara/Martineztown Neighborhood. These uses include industrial, manufacturing, mixed use zones, and residentially zoned parcels. The request would locate a hospital use away from existing residentially zoned parcels. **The request is consistent with Policy 4.1.1 Distinct Communities.**

POLICY 4.1.2. IDENTITY AND DESIGN: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request will protect the identity and cohesiveness of the Santa Barbara/Martineztown Neighborhood by locating more intense uses on the subject site at the southeastern most corner of the neighborhood. The hospital use will also be appropriately located within 660 feet of three designated Major Transit Corridors. **The request is consistent with Policy 4.1.2 Identity and Design.**

CHAPTER 5: LAND USE

GOAL 5.1 CENTERS AND CORRIDORS: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. Major Transit Corridor, and also lies between two designated Centers to the west (Downtown Center) and to the east (UNM Center). The request would allow a hospital use on the subject site which is currently vacant, and located along and within the aforementioned Corridors. **The request is consistent with Goal 5.1 Centers and Corridors.**

POLICY 5.1.1 DESIRED GROWTH: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The subject site is located along and within three Major Transit Corridors - the I-25 Frontage, Mountain Rd., and Lomas Blvd. Major Transit Corridors. Capturing growth within Transit Corridors promotes sustainable development patterns as articulated in the ABC Comp Plan. **The request is consistent with Policy 5.1.1 Desired Growth.**

POLICY 5.1.1(C): Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The request will result in a hospital use and encourage employment density, compact development, and infill on the currently-vacant subject site, which is located along and within three Major Transit Corridors. Additionally, the request will not result in the need for development at the urban edge of Albuquerque. **The request is consistent with Sub-Policy 5.1.1(c).**

POLICY 5.1.2 DEVELOPMENT AREAS: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas.

The subject site is located within an ABC Comp Plan designated Area of Change, and is located along and within three Major Transit Corridors. The request will result in a new hospital use on the vacant subject site which will serve to maintain appropriate density and scale of development within an Area of Change. **The request is consistent with Policy 5.1.2 Development Areas.**

POLICY 5.1.10 MAJOR TRANSIT CORRIDORS: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

The request fosters and promotes corridors that prioritize high frequency transit service with pedestrian-oriented development because the Mountain/Woodward transit stop is located along the northern edge of the subject site. This will allow individuals without a vehicle to access the hospital use on the subject site. Additionally, the intent of the MX-H zone district is to allow higher-density infill development in appropriate locations, which include Major Transit Corridors, according to the ABC Comp Plan. **The request is consistent with Policy 5.1.10 Major Transit Corridors.**

GOAL 5.2 COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

Tract A (the subject site) is currently vacant and surrounded by a mix of commercial, educational, and office land uses that generally range from mid-to-high intensity. The proposed hospital use may serve local residents of Santa Barbara/Martineztown and the

greater Albuquerque Metropolitan area, and may also employ local Albuquerque residents as well. **The request is partially consistent with Goal 5.2 Complete Communities.**

POLICY 5.2.1 LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request will serve to help build out a vacant lot thereby continuing to promote the existing mixed-use character of the area. The subject site is also located between two ABC Comp Plan Centers (Downtown & UNM) and is conveniently accessible from surrounding neighborhoods via the City of Albuquerque's public transit service. **The request is consistent with Policy 5.2.1 Land Uses.**

POLICY 5.2.1(H): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request will encourage infill development of a hospital use that adds complementary uses and is compatible in form and scale to the immediately surrounding/adjacent hotel use, and lab use, and nearby educational use. **The request is consistent with Sub-Policy 5.2.1(h).**

POLICY 5.2.1 N): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request will encourage the more productive use of vacant lots and under-utilized lots because the subject site is currently vacant and being used (informally) as surface parking. The development of a hospital use on the site is also more beneficial to surrounding neighborhoods and the greater Albuquerque Metropolitan area. **The request is consistent with Sub-Policy 5.2.1 n).**

GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities. The request would help to maximize the utility of this existing infrastructure by adding a hospital use to the area. Additionally, the subject site is located within three Major Transit Corridors and can be accessed by existing public transit routes. **The request is consistent with Goal 5.3 Efficient Development Patterns.**

POLICY 5.3.1 INFILL DEVELOPMENT: Support additional growth in areas with existing infrastructure and public facilities.

The request will result in additional growth in the form of a hospital use on the subject site in an area with existing infrastructure and public facilities, and is accessible by

existing public transit routes. **The request is consistent with Policy 5.3.1 Infill Development.**

POLICY 5.3.2 LEAPFROG DEVELOPMENT: Discourage growth in areas without existing infrastructure and public facilities.

The request will not result in Leapfrog Development as the hospital use will be developed in an area with existing infrastructure and public facilities. **The request is consistent with Policy 5.3.2 Leapfrog Development.**

POLICY 5.3.7 LOCALLY UNWANTED LAND USES: Ensure that land uses that are objectionable to immediate neighbors but may be useful to society are located carefully and equitably to ensure that social assets are distributed evenly and social responsibilities are borne fairly across the Albuquerque area.

There is known opposition from the Santa Barbara/Martineztown (SB/MT) Neighborhood Association for the Hospital Use. The applicant has demonstrated that the proposed use would serve a community need for healthcare services for an aging population and chronic illnesses pursuant to healthcare and census data studies for NM that have been referenced. The request will result in a rehabilitation hospital that will add to the non-emergency medical services network in the greater Albuquerque Metropolitan area. These services are useful to society by easing pressure on local hospitals by providing an avenue for outpatient care. **The request is consistent with Policy 5.3.7 Locally Unwanted Land Uses.**

POLICY 5.3.7(B): Ensure appropriate setbacks, buffers, and/or design standards to minimize offsite impacts.

Where the controlling site plan is silent with regard to design standards, the applicant will be required to follow all IDO design standard requirements which include setbacks, buffers and other design standards to minimize offsite impacts. Additionally, with regard to building height, the applicant has stated that the proposed development building height would be capped at 55 feet, which is much lower than the 180-foot building height allowance in the controlling site development plan. The request is consistent with Policy 5.3.7(b).

GOAL 5.6 CITY DEVELOPMENT AREAS: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located entirely in an ABC Comp Plan designated Area of Change, where growth is both expected and desired. Developing the hospital use on the subject site will also ensure that the character and intensity of the residential portions of the Santa Barbara/Martineztown community (that are located within an Area of

Consistency) are reinforced. **The request is consistent with Goal 5.6 City Development Areas.**

POLICY 5.6.2 AREAS OF CHANGE: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request will direct growth on the subject site under the MX-H zone district. The proposed development of a hospital use will be located along designated Major Transit Corridors within an Area of Change, which is encouraged as articulated in the ABC Comp Plan. **The request is consistent with Policy 5.6.2 Area of Change.**

CHAPTER 8: ECONOMIC DEVELOPMENT

GOAL 8.1 PLACEMAKING: Create places where businesses and talent will stay and thrive.

The request will create additional jobs in the area. A 2023 report issued from the New Mexico Health Care Workforce Committee noted that New Mexico needs over 5,800 more registered nurses (https://digitalrepository.unm.edu/nmhc_workforce/). However, it is unclear from the requested site plan major amendment how this will contribute to creating a place where businesses and talent will stay and thrive. **The request is partially consistent with Goal 8.1 Placemaking.**

POLICY 8.1.1 DIVERSE PLACES: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scales to encourage economic development opportunities.

The request will contribute to a place with different development intensities, uses and building scales, however it is unclear how the request will utilize these contexts to encourage economic development opportunities. **The request is partially consistent with Policy 8.1.1 Diverse Places.**

POLICY 8.1.1(A): Invest in Centers and Corridors to concentrate a variety of employment opportunities for a range of occupational skills and salary levels.

The request is located within three designated Major Transit Corridors and, once operational, will employ approximately one-hundred people contributing to a range of occupational skills and salary levels to include administrative staff, nurses, doctors, and night-time shift workers. **The request is consistent with Sub-Policy 8.1(a).**

POLICY 8.1.1(C): Prioritize local job creation, employer recruitment, and support development projects that hire local residents.

The request will more than likely prioritize local job creation and recruitment during the construction phase of the proposed development; however, staff notes that Nobis

Rehabilitation Partners headquarters is located in Allen, Texas. It is therefore unclear how the proposed use will continue to prioritize local job creation and hire local residents. **The request is generally consistent with Policy 8.1.1(c).**

POLICY 8.1.2 RESILIENT ECONOMY: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The request will serve to improve the quality of life for new and existing residents by providing a high-quality hospital use that can be accessed by nearby community members and the larger Albuquerque Metropolitan area. The area surrounding the subject site includes a Hotel, Reference/Science Laboratory, and a Career Enrichment Center. The proposed hospital use will help to foster a robust, resilient, and diverse economy. **The request is consistent with Policy 8.1.2 Resilient Economy.**

Integrated Development Ordinance (IDO)

IDO Zoning

As of the writing of this staff report, the subject site is zoned MX-M [Mixed-use – Medium Intensity Zone District, IDO 14-16-2-4(C)], which was assigned upon adoption of the IDO as a conversion from the former SU-2 (C-3) zoning designation (Industrial/Wholesale/Manufacturing) zoning. The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Specific permissive uses are listed in Table 4-2-1: Allowable Uses, IDO pg. 145.

Proposed zoning

The applicant has requested to change the subject site's zoning to MX-H (Mixed Use, High Intensity Zone District, IDO 14-16-2-4(D) (Project # PR-2024-009765, RZ-2024-00001) which is being heard by the EPC prior this request. If the associated zone change is not approved, the MX-M zone district will still apply to the site.

The purpose of the MX-H zone district is to provide for large-scale destination retail and high-intensity commercial, residential, light industrial, and institutional uses, as well as high-density residential uses, particularly along Transit Corridors and in Urban Centers. The MX-H zone district is intended to allow higher-density infill development in appropriate locations. Specific permissive uses are listed in Table 4-2-1 of the IDO.

Generally, the permissive uses allowed in the MX-H zone district are similar to those allowed in the MX-M zone district, with a few exceptions. For a discussion of specific uses that would become permissive see the analysis in IDO criterion D below.

Overlay Zones

The subject site is located within the Martineztown/Santa Barbara Character Protection Overlay (CPO) Zone 7 (IDO §14-16-3-4(H)). The design standards generally apply to parcels between Menaul Blvd. to the north, Lomas Blvd. to the south, Interstate 25 to the east, and the railroad tracks to the west. However, pursuant to IDO §14-16-1-10(A) the Pre-IDO approved Gateway Center Site Development Plan for Subdivision prevails over any other IDO provision. Where those approvals are silent, provisions in this IDO shall apply. Therefore, the standards outlined within CPO-7 are not applicable to this site plan request.

Definitions

Area of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Mixed-use Zone District: Any zone district categorized as Mixed-use in Part 14-16-2 of the IDO.

Overlay Zone: Regulations that prevail over other IDO regulations to ensure protection for designated areas. Overlay zones include Airport Protection Overlay (APO), Character Protection Overlay (CPO), Historic Protection Overlay (HPO), and View Protection Overlay (VPO). Character Protection and View Protection Overlay zones adopted after May 18,

2018 shall be no less than 10 acres, shall include no fewer than 50 lots, and shall include properties owned by no fewer than 25 property owners. There is no minimum size for Airport Protections Overlay or Historic Protection Overlay zones. See also Small Area.

Zone District: One of the zone districts established by the IDO and the boundaries of such zone districts shown on the Official Zoning Map. Zoning regulations include the Use Regulations, Development Standards, and Administration and Enforcement provisions of the IDO.

Justification & Analysis

IDO Section 14-16-6-6(l)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

6-6(l)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.

6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not within any previously approved NR-SU or PD zoned property. No development agreements or regulations on the site are known outside of the standards set forth in the Controlling Site Development plan for Subdivision.

6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The subject site is within the Controlling Gateway Center Site Development Plan (SDP) for Subdivision (EPC Z-93-46_DRB-94-183). The major amendment allows the hospital use in Area 3(Tract A) of the SDP. The amendment facilitates the development of a rehabilitation facility (hospital use) which complies with all applicable site standards in the controlling SDP. Where the controlling site development plan is silent, the site plan is required to comply with all applicable provisions of the IDO. The site plan shall comply with the DPM and all other adopted City regulations.

The Site Plan is subject to the allowable maximum heights, setbacks and related standards specified on the controlling site plan. All other IDO standards have been met. The Site is not subject to height standards in the

CPO-7 Overlay Zone because the Controlling Site plan takes precedent over the IDO pursuant to IDO section 1-10(A) pre-IDO approvals.

All conditions must be met prior to DFT Final Sign off.

- 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development based on existing roadways, transit, water and electric utilities. A Safety Study and Traffic Impact Study (TIS) is underway for the subject site, which will determine if any additional transportation needs are required. The applicant will be required to work with transportation, hydrology, and fire during the DFT final sign-off process to ensure that mitigation efforts are met based on the results of the Traffic Study currently under review by NM DOT and City Transportation Planning. A condition of approval has been added regarding the Traffic Study.

- 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies, and demonstrating compliance with the controlling Gateway Center Site Development Plan for Subdivision. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan aside from the maximum building height allowance on the controlling SDP.

- 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within a Master Development Plan.

- 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed

development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area, therefore, no cumulative impact analysis is required

IV. Major Amendment to Site Plan

Amendment and Site Plan Request

This request is for a Site Plan-EPC Major Amendment to the controlling Gateway Center Site Development Plan (SDP) for Subdivision. The proposed amendment would allow the proposed Hospital Use in Area 3 (Tract A) and change the setback standards within the SDP to be consistent with the IDO development standards. Where the controlling SDP is silent on Development Standards, the IDO development Standards apply pursuant to IDO section 14-16-1-10(A) Pre-IDO Approvals.

The proposed amendment includes a Site Plan for the proposed Hospital Use (Rehabilitation Facility) for area 3 (Tract A) which is an approximately 3-acre portion of the SDP. The development is consistent with the Site Development Plan for Subdivision design standards and applicable IDO development standards.

The proposed Major Amendment includes new development, as follows:

- A 55,098 SF Inpatient Rehabilitation Facility (Hospital Use) with 48 beds pursuant to the MX-H zone district
- Site work including: parking, walls/fences, landscaping, utilities, grading and drainage, and signage, etc.

The development is required to follow all applicable Standards outlined in the Controlling Site Development Plan for Subdivision pursuant IDO section 14-16-1-10(A) which states that: Any approvals granted prior to the effective date of this IDO shall remain valid and that any use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any provision of this IDO. Where those approvals are silent, provisions in the IDO shall apply.

Zone Designation

The site plan is consistent with the MX-H zone district, which is being reviewed and decided by the EPC prior to this request. Pursuant IDO section 14-16-4-3(C)(4) Hospital Use Specific Standards in the MX-M zone district, this use is limited to no more than 20 overnight beds and, if located within 330 feet of any Residential zone district, shall require a Conditional Use approval, pursuant to Subsection 14-16-6-6(A). If the EPC decision to approve the request for MX-H zoning is upheld, the hospital may be developed with over 20 beds, but is still required to obtain a conditional use approval.

With the EPC's approval, the Site Plan would go to the DFT for final Sign-off.

Pursuant to IDO Section 14-16-6-4(P), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

The site plan and related drawings were revised based on Staff and Agency Comments and were received on July 3, 2024. For the purposes of this request, staff has reviewed the proposed site plan against the controlling SDP, applicable IDO standards and the MX-H zone district. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Martineztown / Santa Barbara Character Protection Overlay Zone (CPO-7) Standards

The subject site is within CPO-7, therefore staff has provided an analysis of IDO §14-16-3-4(H) overlay zone standards. Since the site is within the boundaries of the controlling SDP, most standards do not apply pursuant to IDO §14-16-2-10(A).

3-4(H)(2)(A) & (B) SITE STANDARDS:

- (a) Lot Width, Minimum – *N/A, request is not multi-family.*
- (b) Usable Open Space, Minimum – *N/A, the request is not multi-family.*

3-4(H)(3)(A) & (B) SETBACK STANDARDS:

- (a) Low-density Residential Development – *N/A, request is not low-density residential.*
- (b) MX-L Zone District – *N/A, request is not zoned MX-L.*

3-4(H)(4)(A) & (B) BUILDING HEIGHT:

- (a) Residential and Mixed-use zone districts on project sites less than 5 acres, Maximum building height is 26 feet – *N/A, controlling site development plan for subdivision allows a maximum building height of 180 feet.*

(b) Building height bonuses do not apply – *N/A, applicant is not requesting building height bonuses.*

3-4(H)(5)(A) & (B) SIGNS:

(a) MX-L Zone District – *N/A, subject site is not zoned MX-L.*

(b) MX-M Zone District – *If the EPC approved zone change to MX-H is reversed on appeal back to MX-M, the applicant would be allowed to place signs on the subject site since it does abut arterial or collector streets pursuant to IDO Subsection 14-16-5-12 (Signs) for the MX-M zone district.*

A. Review of Proposed Site Plan

Site Plan Layout/Configuration

The applicant proposes to develop an approximately 3-acre (2.7454) vacant portion of the Gateway Center Site Development Plan for Subdivision known as Area 3, or Tract A. The subject site would be comprised of a 55,098 SF Rehabilitation Hospital at the center of the Tract with access from Woodward Pl. SE and Mountain Rd. SE. The main pedestrian entrance faces Mountain Rd. or north-east. There is a dumpster enclosure and generator in a walled-off courtyard on the western side of the building, which also contains a pedestrian exit/entrance.

Pedestrian, Bicycle and Transit Access

The proposed development standards for access and connectivity are pursuant to IDO section 14-16-5-3.

Pedestrians can access the site via Bus Route 5 (Montgomery-Carlisle). The nearest Bus stop directly abuts the subject site's northern boundary. There is existing sidewalk infrastructure along the perimeter of the site on Woodward Pl. and Mountain Rd. SE. There are proposed crosswalks from the ADA parking spaces along the front entrance to the hospital with a wraparound sidewalk along the NE and east side of the building.

Bicyclists can access the site via an existing bike lane along Mountain Rd., which merges into a Bike Route west of the subject site on Mountain Rd.

The Site Plan includes new ADA ramps, curb ramps and crosswalks at the vehicular access points.

Vehicular Access, Circulation and Parking

Traffic Safety Study

The applicant has provided a Safety Study/Crash Analysis for the proposed development. The Safety Study included an analysis of the intersections of Mountain Rd NE/Edith Blvd., Mountain Rd. NE/Woodward Pl, and Mountain Rd NW/I25 Frontage Road based on NMDOT (New Mexico Department of Transportation) database records and crash reports. This analysis was conducted due to comments received from NMDOT stating that an access points off of Mountain Rd. NE would not be approved due to previous crash analysis conducted for the area by the State. The applicant has been in contact with NMDOT and the City Transportation Planning division to discuss mitigation efforts among conducting the attached Traffic Safety Study. The applicant has submitted a full TIS and Traffic Study to the NMDOT and City Transportation Planning division which outlines mitigation efforts for the site.

As of July 2, 2024, NMDOT provided an update that the Traffic Study is under review, but has not been completed. Upon completion NMDOT will provide recommendations for mitigation.

As of July 9, 2024, the City Transportation Engineer provided updated comments stating that Transportation Planning has reviewed the Safety Study and is awaiting the Traffic Study.

Transportation mitigation measures have been discussed and City Transportation Planning is okay with the site plan moving forward to be heard by the EPC on 7-18-2024. The transportation mitigation measures will need to be finalized prior to DFT final sign-off, which has been added as a condition of approval with this report.

Access Points

The Site Plan proposes three new access points in response to the traffic safety study which will serve as the entrance/exits for staff vehicles and official vehicles as well as hospital visitors.:

- One ingress/egress point is located along Woodward Pl. SE and one is located along the center of the site off of Mountain Rd. SE.
- A second access point is proposed as a right in right out only along Mountain Rd NE
- The third is proposed as a shared access point at the southwest corner of the subject site which connects Area 3 (Tract A) and Area 2 (Tract B-1).

Parking requirements

Parking complies with the Hospital use in the IDO as noted on the site plan.

- 220 parking spaces are required
- The site qualifies for two parking reductions. 1) a 20% reduction pursuant to IDO 5-5(C)(5)(a) for the Major Transit Corridor Area designation and 2) a 10% reduction pursuant to IDO 5-5(C)(5)(c) for Proximity to Transit, therefore 154 spaces are required.
- The applicant has provided 150 Parking spaces which includes ADA spaces
- 5 Motorcycle spaces have been provided

The parking provided on the site plan does not match the parking data table provided on the site plan sheet. The table shall be updated prior to DFT final sign-off.

Bicycle Parking: The Site Plan is required to provide 15 bicycle parking spaces, which are provided. A bike rack is located near the main entrance on the NE corner of the building.

Landscaping, Buffering and Screening

The Site Plan proposes Landscaping Buffering and Screening pursuant to IDO 14-16-5-6 Standards.

The proposed landscaping plan consists of landscaping beds surrounding the entire perimeter of the property along Mountain Rd. and Woodward Pl. SE as well as parking lot landscaping and in parking lot islands.

The Landscape Plan provides the proposed location and type of trees and ground cover being provided which is pursuant to the Official Albuquerque Plant Pallet. Tree details are provided.

A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas and maintenance for landscape and irrigation would be the responsibility of the owner.

Landscape Area Coverage for the proposed development (approximately 32,769 SF of the subject site):

- 6 types of trees: total of 89 trees
- 10 types of shrubs and ground cover: 261 total shrubs
- Boulders and landscape gravel proposed, but types and amounts are not provided.

- Required Landscaping: 15,528.45 SF (15%), provided: 32,769 SF (212%)
 - Total live plants provided: 41,267.5 SF
 - Total ground cover provided: 8,752.25 SF
- The applicant shall show all square footage of planting beds and dimensions between trees on the Site Plan.

Walls/Fences and Lighting

Proposed Wall and fence Standards: The applicant has proposed an attached wall to enclose the dumpster and generator area on the western side of the building. A detail shall be provided.

Lighting is proposed pursuant to IDO 14-16-5-8 and Table 5-8-1 Maximum Height for Light Poles. A light detail package is provided. Illuminated bollards are provided along the sidewalk perimeter of the building. Light poles are provided in the parking lot area and are subject to a maximum of 20-feet pursuant to IDO Table 5-8-1: Maximum Height for Light Poles.

Signage

Sign Standards: Building mounted signage is included with this request. All signage is pursuant to IDO 14-16-5-12 and Table 5-12-2, as indicated on proposed building elevations. The proposed sign is approximately 137'6." It is a standard aluminum construction with Matthews satin acrylic polyurethane finish and an illuminated surface. The 2 proposed signs on the north and south facades are subject to a sign permit, reviewed administratively.

A 7'4" x 10' illuminated monument sign is proposed, which is also subject to Sign Standards in the IDO and is subject to a separate sign permit. The location of the monument sign shall be specified on the site plan.

Building Design/Architecture

Building Design Standards are pursuant to IDO section 5-11. The proposed building meets applicable façade requirements.

Conceptual Grading & Drainage Plan

The subject property currently drains from east to west and is located in the Gateway Center Master Drainage plan. The subject site is within Basin 1 of the master drainage plan. The proposed development will contain 4 new basins that will discharge into an underground detention facility and discharge into existing storm sewage off of Woodward Pl. Surface water will discharge to the street.

Conceptual Utility Plan

The applicant provided a Utility Plan showing new and existing utilities, sanitary sewer lines, water, meter lines, and storm sewer lines.

V. Agency & Neighborhood Concerns

Reviewing Agencies

City departments and other agencies reviewed this application for the original May EPC hearing submittal. Few but notable agency comments were received.

Albuquerque Public Schools (APS), Solid Waste Department (SWD), and Public Service Company of NM (PNM) submitted the most substantial comments. APS noted vehicular entry/exit for the subject site directly across from school entry/egress, SWD stated that an approved site plan for access will be required, and PNM noted facilities / easements on or near the site and a request for the applicant to contact the New Delivery Department to coordinate electric service.

NMDOT and City Transportation Planning submitted updated comments for the July 18, 2024 EPC deferral. NMDOT will not approve access off of Mountain Rd. without mitigation efforts or a full Traffic study and Transportation Planning is requiring that the Traffic Study is complete and that NMDOT approves the access plan prior to DFT final sign-off. The City Transportation Planning division is okay with the EPC review of the Site Plan for the July hearing. (See agency comments and attachments).

Neighborhood/Public

The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required. A facilitated meeting between the applicant and the Santa Barbara Martineztown Neighborhood Association was held virtually on March 21, 2024 from 6 – 8 PM. Aggregate community concerns noted from the facilitated meeting report (attached) include: Existing uses in the area currently exceed traffic infrastructure capacity on Mountain Rd., excessive commercial vehicle uses in the area, proximity to Albuquerque High School exacerbating traffic impacts. Community members also mentioned that a roundabout or other physical barrier at interstate frontage and Mountain Rd. along with a request for a comprehensive environmental impact study.

The applicant notes that while the neighborhood association is opposed to the request, there was no direct input on the proposed site plan amendment, or comments from the neighborhood regarding site design, or building placement. Finally, the facilitated meeting report notes community objection to the request, that consensus was not achieved, and that the parties remain at an impasse with regard to this project.

VI. Conclusion

The request is for a Site Plan-EPC Major Amendment to the Gateway Center Site Development Plan for Subdivision for an approximately 3-acre portion of the site.

The requested major amendment is to: 1) add hospital as a permissive use to Area 3 of the controlling Site Development Plan and 2) changes setbacks for Area 3 to be pursuant to the IDO. The amendment will allow for the development of a rehabilitation facility on the subject site, which is being reviewed as part of this request.

The site is currently zoned MX-M (Mixed-use, moderate intensity), but upon approval of the associated zone change request the subject site would be zoned MX-H. For the purposes of this request, staff has reviewed the proposed Site Plan pursuant to development standards listed on the controlling SDP and the MX-H zone district. If the zone change is not approved the site plan shall comply with MX-M zone district standards.

The applicant has adequately justified the request pursuant to IDO review and decision criteria in section 14-16-6-7(I)(3).

The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required. Staff is aware of opposition to this request by the Santa Barbara Martineztown Neighborhood Association.

Staff recommends approval subject to the conditions of approval beginning on page 36 to create clarity and consistency.

Findings - Site Plan EPC, Major Amendment

Project #: 2024-009765 / SI-2024-00468

1. The request is for a Major Amendment to a 3-acre portion (Area 3/Tract A) within the Gateway Center Site Development Plan for Subdivision (SDP) for an approximately 23-acre site legally described as All or a portion of Tract A Plat of Gateway Subdivision, Tract B-1, Plat of Tract B-1, Gateway Subdivision, A replat of Tracts B & C, Gateway Subdivision; Tract, D-1-B-1, Plat of Tract D-1-B-1 and D-1-B-2, Gateway Subdivision (being a replat of Tract D-1-B, Gateway Subdivision, Lots 16 and 17, Trotter Addition NO. 2 and A; and Tract D-1-A-1, Plat for Lots 1 & 2, Tract D-1-A-1, Gateway Subdivision (being a replat of Tract D-1-A, Gateway Subdivision & an un-platted parcel), located at 1100 Woodward Pl NE, between Mountain Rd, Lomas Blvd, Edith Blvd. and I-25 frontage (the “subject site”).
2. The subject site is controlled by the approved Gateway Center Site Development Plan for Subdivision. The rescinded Martineztown/Santa Barbara Sector Development Plan required this location to have an approved EPC site plan, and since the overall site is already built out more than 50%, the subject site is governed by the SDP. On March 24, 1994 the EPC voted to approve Z-93-46 and the site plan was reviewed and delegated for approval by the former DRB (Development Review Board) on July 12, 1994. The SDP for subdivision was amended by the DRB on 2/17/1997 and included a revision to area three which reflects the most updated plat for a 2.78-acre Tract and up to 182,856 GFS (DRB-97-466). Project # 1000060 included two separate 2-year extensions (one in 2011, the other in 2014) of a Subdivision Improvements Agreement for the Gateway Subdivision.
3. The requested major amendment is to 1) add hospital as a permissive use to Area 3 (Tract A) of the controlling Site Development Plan, 2) change setbacks for Area 3 to be pursuant to the IDO, and 3) facilitate development of an Inpatient Rehabilitation Facility (hospital use) on the subject site, which is being reviewed as part of this request.
4. A request for a Zone Map Amendment from MX-M (Mixed use – Medium Intensity) to MX-H (Mixed use – High Intensity) for the subject site (PR-2024-009765, RZ-2024-00001) is being heard prior to this request. The applicant designed the proposed development of the hospital to comply with the MX-H zone district standards. If the EPC does not approve the associated zone change, the site plan will be subject to MX-M zone district standards. See related condition of approval.
5. Pursuant to IDO section 14-16- 4-3(C)(4) Hospital Use Specific Standards, for the MX-M zone district, this use is limited to no more than 20 overnight beds and if located within 330 feet of any Residential zone district, shall require a Conditional Use approval, pursuant to Subsection 14-16-6-6(A). If the EPC decision to approve the request for MX-

H zoning is upheld, the hospital may have over 20 beds, but is still required to obtain a conditional use approval (see related condition of approval).

6. The proposed Site Plan is required to follow all applicable Standards outlined in the Controlling Site Development Plan for Subdivision pursuant IDO section 14-16-1-10(A) which states that: Any approvals granted prior to the effective date of this IDO shall remain valid and that any use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any provision of this IDO. Where those approvals are silent, provisions in the IDO shall apply.
7. The proposed development includes: A 55,098 SF Inpatient Rehabilitation Facility (Hospital Use) with 48 beds pursuant to the MX-H zone district; and Site work including: parking, walls/fences, landscaping, utilities, grading and drainage, and signage, etc. Staff has reviewed the Site Plan pursuant to the controlling Site Development Plan Standards and where silent Applicable IDO standards and the MX-H zone district.
8. The subject site is in an area that the Comprehensive Plan designates an Area of Change. It is not within a designated Center. It is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. Major Transit Corridor.
9. The subject site is located within the Santa Barbara Martineztown Character Protection Overlay Zone (CPO-7), although is subject to the development standards of the Controlling Site Development Plan pursuant to IDO section 14-16-1-10(A) Pre IDO-Approvals, which states that any use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any other provision of the IDO. Where those approvals are silent, provisions in this IDO shall apply.
10. The City of Albuquerque Integrated Development Ordinance (IDO) and the Albuquerque Bernalillo County (ABC) Comprehensive Plan are incorporated herein by reference and made part of the record for all purposes.
11. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding Community Identity from Chapter 4:
 - A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request would locate more intense uses to the southern portion of the subject site, which is also the southeastern most corner of the Santa Barbara/Martineztown

Neighborhood. This will ensure that the existing residential neighborhood uses will be protected and preserved.

- B. POLICY 4.1.1 DISTINCT COMMUNITIES: Encourage quality development that is consistent with the distinct character of communities.

The request would contribute to the existing varying intensity of uses that distinctly characterize the Santa Barbara/Martineztown Neighborhood. These uses include industrial, manufacturing, mixed use zones, and residentially zoned parcels. The request would locate a hospital use away from existing residentially zoned parcels.

- C. POLICY 4.1.2. IDENTITY AND DESIGN: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request will protect the identity and cohesiveness of the Santa Barbara/Martineztown Neighborhood by locating more intense uses on the subject site at the southeastern most corner of the neighborhood. The hospital use will also be appropriately located within 660 feet of three designated Major Transit Corridors.

12. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding Centers and Corridors from Chapter 5 Land Use:

- A. GOAL 5.1 CENTERS AND CORRIDORS: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The subject site is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. Major Transit Corridor, and also lies between two designated Centers to the west (Downtown Center) and to the east (UNM Center). The request would allow a broader range of higher-intensity land uses on the subject site which is currently vacant, and located along and within the aforementioned Corridors.

- B. POLICY 5.1.1 DESIRED GROWTH: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The subject site is located along and within three Major Transit Corridors - the I-25 Frontage, Mountain Rd., and Lomas Blvd. Major Transit Corridors. Capturing growth within Transit Corridors promotes sustainable development patterns as articulated in the ABC Comp Plan.

- C. POLICY 5.1.1(c): Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The request will result in a hospital use and encourage employment density, compact development, and infill on the currently-vacant subject site, which is located along and within three Major Transit Corridors. Additionally, the request will not result in the need for development at the urban edge of Albuquerque.

- D. POLICY 5.1.2 DEVELOPMENT AREAS: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas.

The subject site is located within an ABC Comp Plan designated Area of Change, and is located along and within three Major Transit Corridors. The request will result in a new hospital use on the vacant subject site which will serve to maintain appropriate density and scale of development within an Area of Change.

- E. POLICY 5.1.10 MAJOR TRANSIT CORRIDORS: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

The request fosters and promotes corridors that prioritize high frequency transit service with pedestrian-oriented development because the Mountain/Woodward transit stop is located along the northern edge of the subject site. This will allow individuals without a vehicle to access the hospital use on the subject site. Additionally, the intent of the MX-H zone district is to allow higher-density infill development in appropriate locations, which include Major Transit Corridors, according to the ABC Comp Plan.

13. The request is wholly or generally consistent with the following ABC Comprehensive Plan Policy and Sub policies from Chapter 5 Land Use:

- A. POLICY 5.2.1 LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request will serve to help build out a vacant lot thereby continuing to promote the existing mixed-use character of the area. The subject site is also located between two ABC Comp Plan Centers (Downtown & UNM) and is conveniently accessible from surrounding neighborhoods via the City of Albuquerque's public transit service.

- B. POLICY 5.2.1(h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request will encourage infill development of a hospital use that adds complementary uses and is compatible in form and scale to the immediately surrounding/adjacent hotel use, and lab use, and nearby educational use.

- C. POLICY 5.2.1 (n): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request will encourage the more productive use of vacant lots and under-utilized lots because the subject site is currently vacant and being used (informally) as surface parking. The development of a hospital use on the site is also more beneficial to surrounding neighborhoods and the greater Albuquerque Metropolitan area.

14. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding development patterns from Chapter 5 Land Use:

- A. GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities. The request would help to maximize the utility of this existing infrastructure by adding a hospital use to the area. Additionally, the subject site is located within three Major Transit Corridors and can be accessed by existing public transit routes.

- B. POLICY 5.3.1 INFILL DEVELOPMENT: Support additional growth in areas with existing infrastructure and public facilities.

The request will result in additional growth in the form of a hospital use on the subject site in an area with existing infrastructure and public facilities, and is accessible by existing public transit routes.

- C. POLICY 5.3.2 LEAPFROG DEVELOPMENT: Discourage growth in areas without existing infrastructure and public facilities.

The request will not result in Leapfrog Development as the hospital use will be developed in an area with existing infrastructure and public facilities.

- D. POLICY 5.3.7 LOCALLY UNWANTED LAND USES: Ensure that land uses that are objectionable to immediate neighbors but may be useful to society are located carefully and equitably to ensure that social assets are distributed evenly and social responsibilities are borne fairly across the Albuquerque area.

There is known opposition from the Santa Barbara/Martineztown (SB/MT) Neighborhood Association for the Hospital Use. The applicant has demonstrated that the proposed use would serve a community need for healthcare services for an aging population and chronic illnesses pursuant to healthcare and census data studies for NM that have been referenced. The request will result in a rehabilitation hospital that will add to the non-emergency medical services network in the greater Albuquerque Metropolitan area. These services are useful to society by easing pressure on local hospitals by providing an avenue for outpatient care.

- E. POLICY 5.3.7**(b)**: Ensure appropriate setbacks, buffers, and/or design standards to minimize offsite impacts.

Where the controlling site plan is silent with regard to design standards, the applicant will be required to follow all IDO design standard requirements which include setbacks, buffers and other design standards to minimize offsite impacts. Additionally, with regard to building height, the applicant has stated that the proposed development building height would be capped at 55 feet, which is much lower than the 108-foot building height allowance in the controlling site development plan.

15. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policy regarding Development Areas from Chapter 5 Land Use:

- A. GOAL 5.6 CITY DEVELOPMENT AREAS: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located entirely in an ABC Comp Plan designated Area of Change, where growth is both expected and desired. Developing the hospital use on the subject site will also ensure that the character and intensity of the residential portions of the Santa Barbara/Martineztown community (that are located within an Area of Consistency) are reinforced.

- B. POLICY 5.6.2 AREAS OF CHANGE: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request will direct growth on the subject site under the MX-H zone district. The proposed development of a hospital use will be located along designated Major Transit Corridors within an Area of Change, which is encouraged as articulated in the ABC Comp Plan.

16. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goals and Policies regarding from Chapter 8 Economic Development:

- A. POLICY 8.1.1(a): Invest in Centers and Corridors to concentrate a variety of employment opportunities for a range of occupational skills and salary levels.

The request is located within three designated Major Transit Corridors and, once operational, will employ approximately one-hundred people contributing to a range of occupational skills and salary levels to include administrative staff, nurses, doctors, and night-time shift workers.

- B. POLICY 8.1.1(c): Prioritize local job creation, employer recruitment, and support development projects that hire local residents.

The request will more than likely prioritize local job creation and recruitment during the construction phase of the proposed development; however, staff notes that Nobis Rehabilitation Partners headquarters is located in Allen, Texas. It is therefore unclear how the proposed use will continue to prioritize local job creation and hire local residents.

- C. POLICY 8.1.2 RESILIENT ECONOMY: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The request will serve to improve the quality of life for new and existing residents by providing a high-quality hospital use that can be accessed by nearby community members and the larger Albuquerque Metropolitan area. The area surrounding the subject site includes an Embassy Suites Hotel, TriCore Laboratories, and the Career Enrichment Center. The proposed hospital use will help to foster a robust, resilient, and diverse economy.

17. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 6-6(l)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.

- B. 6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not within any previously approved NR-SU or PD zoned property. No development agreements or regulations on the site are known outside of the standards set forth in the Controlling Site Development plan for Subdivision.

- C. 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The subject site is within the Controlling Gateway Center Site Development Plan for Subdivision (EPC Z-93-46_DRB-94-183). The major amendment allows the hospital use on Area 3/Tract A. The associated site plan proposes the development of the hospital which complies with all applicable site standards in the controlling site plan. Future reviewers shall check the site plan for standards. Where the controlling site development plan is silent, the site plan is required to comply with all applicable provisions of the IDO. The site plan shall comply with the DPM and all other adopted City regulations.

The Site Plan is subject to the allowable maximum heights, setbacks and related standards specified on the controlling site plan. All other IDO standards have been met. The Site is not subject to height standards applicable to CPO-7 because the Controlling Site Development Plan takes precedent over the IDO pursuant to IDO section 1-10(A) pre-IDO approvals.

All conditions must be met prior to DFT Final Sign off.

- D. 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development based on existing roadways, transit, water and electric utilities. A Safety Study and Traffic Impact Study (TIS) is underway for the subject site, which will determine if any additional transportation needs are required. The applicant will

be required to work with transportation, hydrology, and fire during the DFT final sign off process to ensure that mitigation efforts are met based on the results of the Traffic Study currently under review by NM DOT and City Transportation Planning. A condition of approval has been added regarding the Traffic Study.

- E. 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan aside from the maximum building height allowance on the controlling SDP.

- F. 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within a Master Development Plan.

- G. 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area; therefore, no cumulative impact analysis is required.

18. The subject site is within CPO-7, therefore staff has provided an analysis of IDO §14-16-3-4(H) overlay zone standards. Since the site is within the boundaries of the controlling SDP, most standards do not apply pursuant to IDO §14-16-2-10(A):

- A. 3-4(H)(2)(a) & (b) SITE STANDARDS:

Lot Width, Minimum – N/A, request is not multi-family.

Usable Open Space, Minimum – N/A, the request is not multi-family.

B. 3-4(H)(3)(a) & (b) SETBACK STANDARDS:

Low-density Residential Development – N/A, request is not low-density residential.

MX-L Zone District – N/A, request is not zoned MX-L.

C. 3-4(H)(4)(a) & (b) BUILDING HEIGHT:

Residential and Mixed-use zone districts on project sites less than 5 acres, Maximum building height is 26 feet – N/A, the controlling site development plan for subdivision allows a maximum building height of 180 feet, which prevails over IDO standards (IDO section 1-10(A))

Building height bonuses do not apply – N/A, applicant is not requesting building height bonuses.

D. 3-4(H)(5)(a) & (b) SIGNS:

MX-L Zone District – N/A, subject site is not zoned MX-L.

MX-M Zone District – If the EPC approved zone change to MX-H is reversed on appeal back to MX-M, the applicant would be allowed to place signs on the subject site since it does abut arterial or collector streets pursuant to IDO Subsection 14-16-5-12 (Signs) for the MX-M zone district.

19. The applicant has provided a Safety Study/Crash Analysis for the proposed development. The Safety Study included an analysis of the intersections of Mountain Rd NE/Edith Blvd., Mountain Rd. NE/Woodward Pl, and Mountain Rd NW/I25 Frontage Rd. based on NMDOT (New Mexico Department of Transportation) database records and crash reports.

This analysis was conducted due to comments received from NMDOT stating that an access points off of Mountain Rd. NE would not be approved due to previous crash analysis conducted for the area by the State. The applicant has been in contact with NMDOT and the City Transportation Planning division to discuss mitigation efforts among conducting a Traffic Safety Study/Crash Analysis. The applicant has submitted a full TIS and Traffic Study to the NMDOT and City Transportation Planning division which outlines mitigation efforts for the site.

20. As of July 2, 2024, NMDOT provided an update that the Traffic Study is under review, but has not been completed. Upon completion NMDOT will provide recommendations for

mitigation. As of July 9, 2024, the City Transportation Engineer provided updated comments stating that Transportation Planning has reviewed the Safety Study and is awaiting the Traffic Study. Transportation mitigation measures have been discussed and City Transportation Planning is okay with the site plan moving forward to be heard by the Environmental Planning Commission (EPC).

21. The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required.
22. A facilitated meeting between the applicant and the Santa Barbara Martineztown Neighborhood Association was held virtually on March 21, 2024 from 6 – 8 PM. The facilitated meeting report notes community objection to the request, that consensus was not achieved, and that the parties remain at an impasse with regard to this project.
23. City departments and other agencies reviewed this application. Albuquerque Public Schools (APS), Solid Waste Department (SWD), and Public Service Company of NM (PNM) submitted the most substantial comments. APS noted vehicular entry/exit for the subject site directly across from school entry/egress, SWD stated that an approved site plan for access will be required, and PNM noted facilities / easements on or near the site and a request for the applicant to contact the New Delivery Department to coordinate electric service.

RECOMMENDATION –PR-2024-009765, SI-2024-00468, May 16, 2024

APPROVAL of Project #: 2024-009765, Case #: 2024-00468, a Site Plan-EPC, Major Amendment for a 3 acre portion (Area 3/Tract A) of the controlling Gateway Center Site Development Plan for Subdivision for all or a portion of Tract A Plat of Gateway Subdivision, Tract B-1, Plat of Tract B-1, Gateway Subdivision, A replat of Tracts B & C, Gateway Subdivision; Tract, D-1-B-1, Plat of Tract D-1-B-1 and D-1-B-2, Gateway Subdivision (being a replat of Tract D-1-B, Gateway Subdivision, Lots 16 and 17, Trotter Addition NO. 2 and A; and Tract D-1-A-1, Plat for Lots 1 & 2, Tract D-1-A-1, Gateway Subdivision (being a replat of Tract D-1-A, Gateway Subdivision & an un-platted parcel), located at 1100 Woodward Pl NE, between Mountain Rd, Lomas Blvd, Edith Blvd. and I-25 frontage, approximately 23 acres., based on the preceding Findings.

CONDITIONS OF APPROVAL - PR-2024-009765, SI-2024-00468

1. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16- 6-6(l)(2)(m)

Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.

2. Pursuant to IDO section 14-16-6-4(P)(4) Any conditions shall be met within 1 year of the approval, unless stated otherwise in the approval. If any conditions are not met within that time, the approval is void. The Planning Director may extend the time limit up to an additional 1 year.
3. Upon approval by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met. The reviewer shall see the site plan analysis section of the staff report for an in-depth review of the proposed Site Plan.
4. A zoning certification for the MX-H zone designation of the site shall be obtained prior to DFT final sign off. If the associated zone change is not approved, the site plan will be subject to MX-M zone district standards, in which case the applicant shall only provide up to 20 overnight beds instead of the 48 proposed.
5. The subject site is located within 330 feet of a Residential zone district, therefore shall require a Conditional Use approval, pursuant to Subsection 14-16-6-6(A). The Conditional Use approval shall be obtained prior to DFT final sign-off.
6. Site Plan Sheet
 - A. The applicant shall define building setbacks listed under the site data section of the site plan and clarify whether they are IDO minimums or the actual setbacks dimensioned on the site plan sheet.
 - B. The parking table shall be updated to reflect the amount of parking provided. 160 Parking spaces are provided and the table reflects 154 spaces.
7. Landscape Sheet
 - A. The plan shall show all SF of planting beds and dimensions between trees on the Site Plan.
 - B. Boulders and landscape gravel types and amounts shall be provided.

8. Detail Sheet:
 - a. The applicant shall provide a detailed drawing for the generator.
 - b. A detail of the attached wall to enclose the dumpster and generator area on the western side of the building shall be provided.
 9. Signage: A 7'4" x 10' illuminated monument sign is proposed, which is also subject to Sign Standards in the IDO and is subject to a separate sign permit. The location of the monument sign shall be specified on the site plan.
 10. Solid Waste Condition: The applicant shall work with the Solid Waste Department to secure an approved site plan for access by the Solid Waste Department.
 11. PNM Condition: There are PNM facilities and/or easements along the south side of the site and at the northeast corner. Any existing and/or new PNM easements and facilities shall be reflected on a future Site Plan and any future Plat.
 12. City Transportation Planning: The transportation mitigation measures as determined based on the Traffic Safety Study/Crash Analysis and Traffic Study shall be finalized prior to DFT final sign-off.
-

Megan Jones
Megan Jones
Principle Planner

Vicente Quevedo
Vicente Quevedo
Senior Planner

Notice of Decision cc list:

Tierra West, LLC, slozoya@tierrawestllc.com
Cross Development, meagan@crossdevelopment.net
Santa Barbara Martineztown NA, Loretta Naranjo Lopez, lnjalopez@msn.com
Santa Barbara Martineztown NA, Theresa Illgen, theresa.illgen@aps.edu
EPC file
Legal, dking@cabq.gov, aconon@cabq.gov

Agency Comments

PLANNING DEPARTMENT

Transportation Development Services

Transportation Planning has reviewed the Safety Study and is awaiting the Traffic Study.

Transportation mitigation measures have been discussed and Transportation is OK with this project being heard by the commission. The transportation mitigation measures will be finalized prior to DFT approval.

OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES

Solid Waste Department

A site plan approved for access by the Solid Waste Department will be required. The site plan can be sent to hgallegos@cabq.gov for review. 30' of overhead clearance will be required if the dumpster will be service in the interior of the building. Will food be served or processed at this facility, if so a sanitary drain will be required where the trash enclosure is located

OTHER AGENCIES

Albuquerque-Bernalillo County Water Utility Authority (ABCWUA)

No Adverse Comment.

Albuquerque Public Schools (APS)

- a. EPC Description: SI-2023-00468, Site Plan, EPC, major amendment.
- b. Site Information: Gateway Subdivision, Tract B-1, Tract D-1-B-1, , Lots 16 and 17, Trotter Addition No. 2 and A, and Tract D-1-A-1.
- c. Site Location: 1100 Woodward Place, between Mountain Road and Lomas Blvd.
- d. Request Description: Major amendment to EPC Site Plan for Subdivision, medical rehab facility.
- e. APS Comment: Per comments APS previously submitted, "Location is directly across Mountain Road NW from APS Alternative Schools CEC and ECA campus. The curb cut depicted in the Option on the application indicates vehicular entry/exit will be located directly across from school entry/egress." The plan will have inevitable traffic ramifications that should be addressed. *Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)*

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

No adverse comments.

Public Service Company of New Mexico (PNM)

- There are PNM facilities and/or easements along the south side of the site and at the northeast corner.
- It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
- Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM. If existing electric lines or facilities need to be moved, then that is at the applicant's expense.
- Any existing and/or new PNM easements and facilities need to be reflected on a future Site Plan and any future Plat.
- Structures, especially those made of metal like storage buildings and canopies should not be within or near PNM easements without close coordination with and agreement from PNM.
- Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Please adhere to the landscape standards contained in IDO Section 14-16-5-6(C)(10) as applicable.
- The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.
- If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

A) PHOTOGRAPHS



Figure 1: Looking north from the subject site, toward existing APS educational uses across Mountain Road.



Figure 2: Looking south from the subject site towards adjacent hotel use.



Figure 3: Looking east from edge of subject site toward I-25 Frontage.

Figure 4: Looking west along Mountain Road, along the northern edge of the subject site. Existing bus route 5 stop (Montgomery-Carlisle) is visible.



B) HISTORY

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CITY OF ALBUQUERQUE
LAND USE APPEAL UNDER THE IDO
BEFORE AN INDEPENDENT
LAND USE HEARING OFFICER

7 **APPEAL NO. AC-24-11**
8 Project # PR-2024-009765

10 Tierra West, LLC, Inc., agent for Cross Development,

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12 Appellants,

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15 Santa Barbara-Martineztown Neighborhood Association,

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17 Opponents.
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REMAND

22 INTRODUCTION
23 DISCUSSION
24 INSTRUCTIONS

26 **I. INTRODUCTION**

27 This is an appeal of a zone-amendment decision from the Environmental Planning
28 Commission (EPC). Specifically, the EPC approved a zone amendment application to change
29 the zone district of a 3-acre, vacant parcel of land from its exiting MX-M zone district to a
30 MX-H zone district. The 3-acre site is part of a larger site plan for subdivision that may
31 arguably be controlled, to some extent, by the existing site plan that dates back to at least
32 1994.¹

1. I use the term “arguably” because, as discussed below, there is sparse and conflicting evidence in the record regarding the site plan and how it may alter the applicability of certain provisions in the IDO, including the use design standards of the character protection overlay zone.

33 Appellants, the Santa Barbara-Martineztown Neighborhood Association (SBMNA),
34 are represented by counsel. In their timely filed appeal, the Appellants request that the
35 application and decision be remanded back to the EPC because the record is inadequate, the
36 EPC was not well-informed about how the existing 1994 site plan impacts the site and the IDO
37 standards [AR-005].² The Appellants also argue that the EPC erred in its findings 7 through
38 12 because it misapplied the IDO [AR-06]. In this regard, Appellants essentially argue that
39 EPC failed to consider whether there is a public need for the zone-change [AR- 07].

40 Despite that the consolidated record is still wanting, after reviewing it, listening to
41 arguments and cross examination testimony in a two-hour quasi-judicial appeal hearing, I find
42 that the record clearly demonstrates that in approving the application, the EPC relied on
43 material inaccurate and conflicting evidence that was submitted by the City Staff Planner who
44 was assigned to this matter. As a result, this matter must be remanded back to the EPC for a
45 *de novo* hearing.

46
47 **II. DISCUSSION**

48 To avoid prejudicing a party to this appeal in the remanded hearing, I will not discuss the
49 efficacy of the appeal arguments, but I will discuss in general terms the reasoning supporting

2. The original appeal record that was compiled, presumably after the appeal was filed, lacks material evidence that was submitted to the EPC. Apparently, to remedy the deficient record, a second appeal record was created. The second record included most of the missing documents that were not included in the first appeal record. However, the second record lacks documents that were included in the first appeal record. Consequently, rather than parse through each record, both records are now consolidated into one appeal record. This unfortunately results in multiple duplications of documents. Notably though, the consolidated record is still inadequate because there are still missing documents that are unaccounted. Notwithstanding, the consolidated record has been re-Bates-stamped which is shown on the lower, right side of each page as “AR” (Appeal Record) followed by the Bates stamped page numbers.

50 a remand under IDO, § 6-4(V)(3)(d)6. In addition, basic and minimal instructions to bring any
51 quasi-judicial administrative hearing and decision into compliance with the IDO and State law
52 will be offered to the EPC. See IDO, § 6-4(V)(3)(d).

53 Briefly, the application site is for Tract A as designated in a plat which represents a
54 portion of the Gateway Subdivision encompassing several additional acres of developed land.
55 [AR-211]. Apparently, the site plan for subdivision which includes the 3-acre zone amendment
56 site was approved by the City in 1994 [AR-211]. According to former City Staff Planner,
57 Seth Tinkle, after the EPC approved the site plan, the landowner was granted several 2-year
58 extensions; the site plan has not expired as of February 15, 2024 [AR-212]. The zone map
59 amendment application materials do not include the plat or the site plan for subdivision, nor
60 did the EPC have them when evaluating the application in this matter.

61 Under the IDO, there are no regulations requiring that an applicant submit a proposed or
62 an associated site plan with a zone amendment application. However, it is well-known and
63 codified in the IDO that applicants bear *“the burden of providing a sound justification for the*
64 *requested decision, based on substantial evidence”* and the applicant *“bears the burden of*
65 *showing compliance with required standards through analysis, illustrations, or other exhibits*
66 *as necessary.”* See IDO §§ 6-4(E)(3) and 6-4(E)(4) respectively.

67 In this matter, it is clear that the Gateway site plan for subdivision is material to the zone
68 amendment request.³ Testimony at the appeal hearing confirms that because the 1994 site plan
69 has allegedly not expired, any development on the 3-acre site is subject to the design standards

3. The record does include a proposed conceptual site plan for the hospital use intended for the zone amendment [AR-086].

70 and building height allowances incorporated into the site plan for subdivision in 1994.
71 Although the extent of the site plan for subdivision design standards are unclear from the
72 consolidated record, what is clear is that according to testimony elicited in the appeal hearing,
73 the 1994 standards demonstrably exceed and *allegedly* supersede what is currently allowed
74 under the applicable character protection Overlay zone 7 (CPO-7) height standards
75 encompassed in the IDO. Yet, in his testimony before the EPC, Staff Planner Tinkle advised
76 the EPC that all development at the site must “*adhere to*” the CPO-7 standards for setbacks,
77 building height, and other standards that are “*meant to protect and preserve this area’s distinct*
78 *community*” [AR-140].

79 Furthermore, during the EPC hearing, Staff Planner Tinkle was asked by EPC
80 Commissioner Eyster if the proposed MX-H zone is a transition from an existing adjacent MX-
81 H zone. [AR-167]. In his response, Staff Planner Tinkle testified that the CPO-7 standards in
82 the IDO:

83 could foster this transition because the site standards, setback standards and
84 building height standards associated with this overlay zone would apply to
85 any future development on the subject site. The MX-H zones to the East
86 would allow greater density and intensity on the subject site because they are
87 not subject to the CPO-7 standards. The MX-M Zone districts to the
88 southwest and the MX-T, to the north allow lower density and lower
89 intensity uses than the requested MX-H, zone district. Therefore, Staff finds
90 that the request could reasonably serve as a transition between the more
91 intense mixed-use zones to the east, and the less intense mixed-use zones to
92 the West.

93
94 [AR-168].

95 Staff Planner Tinkle failed to advise the EPC that the CPO-7 overlay regulations are, or
96 could be, supplanted by the design standards incorporated in and with the 1994 site plan for
97 subdivision. The evidence drawn out of the appeal hearing results in the Staff Planner’s explicit

98 rationale or theory supporting that the proposed MX-H zone can be a transition erroneous.
99 Thus, the EPC had inaccurate material evidence in its evaluation of this application. Moreover,
100 it appears that the EPC partly relied on the staff planner's testimony in approving the
101 application. See EPC Findings 5, 8.D, 10.A, and 12.D. Based on the testimony at the appeal
102 hearing, these findings are inaccurate as they relate to the CPO-7, and therefore these material
103 findings are not supported by substantial evidence.

104 Regarding the analysis required under IDO, § 6-7(G)(3)(d), there are only assumptions
105 and guesswork to support EPC finding 12 regarding § 6-7(G)(3)(d). IDO, § 6-7(G)(3)(d) is a
106 material piece of the overall analysis required for a zone amendment application. Any finding
107 regarding it should be well-supported with substantial evidence, not conjecture.⁴ In addition,
108 because the existing zoning at the site is MX-M not C-3, EPC finding 12.C is erroneous.⁵

109 Next, if the proposed zone in fact creates a spot zone, there is insufficient evidence in the
110 record to support that the proposed MX-H zone is different from surrounding zone districts
111 and that it can function as a transition between "adjacent" zone districts. See IDO, § 6-
112 7(G)(3)(h). For that matter, without "protections" of the CPO-7 regulations, the analysis
113 required and used as a justification posited in the record for the alleged spot zone are ill-
114 founded. This issue must be revisited in the remand hearing to satisfy the evidentiary

4. Notably, apparently the applicants' agents, who have expertise in traffic engineering, were discouraged from submitting traffic evidence. Although the record shows that automobile traffic thresholds are not exceeded, making a full traffic analysis potentially unnecessary, expert traffic evidence regarding improvements, etc., would potentially address some of the open questions surrounding the traffic problems in the area and presumably would in part address what is required in § 6-7(G)(3)(d).

5. Although, the fact that at one time the site was zoned C-3 is relevant to establish the site's zoning history, to comport with State law as well as the IDO, any analysis under § 6-7(G)(3)(c) must compare the existing MX-M zone with any "significant changes" or "community conditions."

115 requirements. If the analysis is indeed necessary, evidence of “how” the MX-H zone functions
116 as a transition should be well articulated and supported with substantial evidence.

117 Finally, in reviewing the EPC transcript minutes, I respectfully remind the EPC to
118 affirmatively afford parties the opportunity of cross examination in some meaningful manner
119 that is suitable under the circumstances that satisfies minimum due process requirements for
120 quasi-judicial administrative hearings. Although the record supports a conclusion that nobody
121 requested cross examination in this matter, nonetheless, the EPC should assure that it takes the
122 time to always at a minimum afford the opportunity anyway and it should do so in the remand
123 hearing in this matter.

124

125 **III. INSTRUCTIONS**

126 1. Because the record is insufficient, partly supported on erroneous evidence and
127 partly supported in assumptions, it is not well-supported by substantial evidence for a
128 decision; to expeditiously dispose of the matter, the application shall be remanded directly to
129 the EPC for reconsideration *de novo*.

130 2. The parties and the City Planning Staff are free to supplement the record with
131 additional evidence on which the EPC can review and make a learned decision on the
132 applications based on the administrative, quasi-judicial standard.

133 3. The notice requirements of IDO, § 6-4(K) must be met by the applicants for a *de*
134 *novo*, rehearing.

135 4. The EPC must afford the opportunity for cross-examination in a manner that is
136 efficient under the circumstances and that satisfies procedural due process under New Mexico

137 law.

138 5. Because the IDO places the burden on the applicants to satisfy the numerous IDO
139 tests for zone amendments, Planning Staff must accept all evidence submitted by the applicants
140 whether Staff believes it is relevant or not.

141 6. The EPC should make independent findings and conclusions.

142 This matter is remanded.

143 Respectfully Submitted:

144



145 Steven M. Chavez, Esq.
146 Land Use Hearing Officer
147 May 17, 2024

148

149 Copies to:

150 City Council

151 EPC

152 Appellants through Counsel

153 Opposition

154 City Planning Staff

155

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

February 15, 2024

City of Albuquerque,
City Council
1 Civic Plaza NW
Albuquerque, NM 87102

Project # PR-2024-009765
RZ-2024-00001– Zoning Map Amendment
(Zone Change)

LEGAL DESCRIPTION:

Tierra West, LLC, Inc., agent for Cross Development, requests a zoning map amendment from MX-M to MX-H, for all or a portion of Tract A, Plat of Gateway Subdivision, located at 1100 Woodward Pl NE, between Mountain Rd, and Lomas Blvd, approximately 3.0 acres. (J-15-Z)
Staff Planner: Seth Tinkle

On February 15, 2024, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2024-009765, RZ-2024-00001– Zoning Map Amendment (Zone Change), based on the following Findings:

1. The request is for a zoning map amendment (zone change) for an approximately 3-acre site legally described as all or a portion of Tract A Plat of Gateway Subdivision, located at 1100 Woodward Pl NE, between Mountain Rd, and Lomas Blvd (the “subject site”).
2. The subject site is zoned MX-M (Mixed-use - Medium Intensity) and is currently vacant. The applicant is requesting a zone change to MX-H (Mixed use – High Intensity) which would result in a spot zone.
3. The applicant proposes to change the zoning to facilitate the proposed future development of a hospital use on the subject site. There is not a site plan associated with this request, therefore staff’s analysis is based solely on the zone change to MX-H.
4. The subject site is in an area that the Comprehensive Plan designates an Area of Change. It is not within a designated Center. It is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660’ of the Lomas Blvd. Major Transit Corridor.
5. The subject site is located within the Santa Barbara Martineztown Character Protection Overlay Zone (CPO-7), and thus must adhere to the standards associated with this Overlay Zone.
6. The City of Albuquerque Integrated Development Ordinance (IDO) and the Comprehensive Plan are incorporated herein by reference and made part of the record for all purposes.

7. The request clearly facilitates the following applicable Goal and Policies from Comprehensive Plan Chapter 5 - Land Use:

- A. Goal 5.1 Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request would allow a broader range of higher-intensity land uses on the subject site, which is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. Major Transit Corridor. Any development made possible by the request could result in growth on the subject site, which is currently vacant, and located along and within the aforementioned Corridors.

- B. Policy 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request would allow a broader range of higher-intensity land uses on the subject site, which is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. Major Transit Corridor. Any development made possible by the request could result in growth on the subject site, which is located within these aforementioned Corridors. Locating growth within Centers and Corridors promotes sustainable development patterns, according to the ABC Comp Plan.

- C. Policy 5.1.2 Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas.

The request would allow a broader range of higher-intensity land uses on the subject site, which is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. The subject site is also located in an Area of Change, where growth is both expected and desired, according to the ABC Comp Plan. Any development made possible by the request could result in growth on the subject site, which is vacant and located within the aforementioned Corridors and Area of Change.

8. The request clearly facilitates the following applicable Goal and Policies from Comprehensive Plan Chapter 5 - Land Use:

- A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request could foster a community where residents can live, work, learn, shop, and play together because the MX-H zone district allows a broader mix of higher-intensity land uses in comparison to the MX-M Zone District. The subject site is currently vacant and surrounded by a mix of commercial, educational, and office land uses that generally range from mid-to-high intensity. Any development made possible by the request could add to this diversity of land uses, since the subject site is currently vacant.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request could create a healthy, sustainable, and distinct community with a mix of uses that are conveniently accessible from surrounding neighborhoods. It would allow for a broader mix of higher-intensity land uses on the subject site, which is located in a distinct mixed-use area and community (Santa Barbara Martineztown), and in close proximity to numerous other communities. Any development made possible by the request could add to the already-existing mix of uses near and surrounding the subject site, which is currently vacant and located along and within several Major Transit Corridors, and in an Area of Change, where the ABC Comp Plan encourages development to accommodate growth sustainably over time.

- C. Policy 5.2.1 e): Create healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request could create a healthy, sustainable community with a mix of uses that are conveniently accessible from surrounding neighborhoods because the MX-H zone district would allow a broader mix of higher-intensity land uses on the subject site, which is conveniently accessible from surrounding neighborhoods. Any development made possible by the request could add to the already-existing mix of uses near and surrounding the subject site, which is currently vacant and located along and within several Major Transit Corridors, and in an Area of Change, where the ABC Comp Plan encourages development to accommodate growth sustainably over time.

- D. Policy 5.2.1 h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request could encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding area because the subject site is currently vacant and the uses and standards allowed in the MX-H zone district are generally similar to the surrounding properties zoned MX-M, with a few exceptions. Due to the standards established by the CPO-7 Overlay Zone, including site standards, setback standards, and building height standards, any future development that adheres to CPO-7 standards would be compatible in form and scale to the immediately surrounding development, where CPO-7 standards also apply.

- E. Policy 5.2.1 n): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request could encourage more productive use of vacant lots and under-utilized lots because the subject site is currently vacant and being used (informally) as surface parking. Any development made possible by the request could encourage more productive use than the currently vacant lot.

9. The request clearly facilitates the following applicable Goal and Policies from Comprehensive Plan Chapter 5 - Land Use:

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Any development made possible by the request could promote efficient development patterns and use of land because subject site is already served by existing infrastructure and public facilities. Future development on the subject site featuring uses allowed in the MX-H Zone District could support the public good in the form of economic development, job creation, and an expansion to the tax base.

- B. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is a vacant infill site located in an area already served by existing infrastructure and public facilities. Any future growth and development on the subject site would occur in an area that has adequate existing infrastructure and access to a range of public facilities.

10. The request clearly facilitates the following applicable Goal and Policies in Comprehensive Plan Chapter 5 – Land Use:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located wholly in an Area of Change, where growth is both expected and desired. Any future development on the subject site, which is currently vacant, could encourage, enable, and direct growth to this Area of Change. Due to the standards established by the CPO-7 Overlay Zone, including site standards, setback standards, and building height standards, any future development adhering to CPO-7 standards would be compatible in form and scale to the immediately surrounding development, where CPO-7 standards also apply. Future development could also reinforce the character and intensity of the surrounding area given the general compatibility between the MX-H and surrounding MX-M zone districts, as well as the existing buffer between the subject site and the lower-density and lower-intensity development located west of the site.

- B. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request could facilitate more intense development of the subject site because the MX-H zone district allows higher-intensity mixed-use development in comparison to the MX-M zone district. The subject site is located along the I-25 Frontage and Mountain Rd. Major Transit Corridors, within 660' of the Lomas Blvd., and within an Area of Change, where growth and more intense development is encouraged.

- C. Policy 5.6.2 d): Encourage higher-density housing and mixed-use development as appropriate land uses that support transit and commercial and retail uses.

The request could encourage higher-density mixed-use development because the MX-H zone district allows higher-density and higher-intensity mixed-use development in comparison to the MX-M zone. The subject site is served by Bus Route 5 and is abutted by a transit stop on the site's northern boundary. It is also located along the I-25 Frontage and Mountain Rd. Major Transit Corridors and within 660' of the Lomas Blvd. The subject site is in close proximity to a wide range of land uses, including both commercial and retail uses.

11. The request clearly facilitates Policy 8.1.1 Diverse Places in Comprehensive Plan Chapter 8-Economic Development: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scales to encourage economic development opportunities.

The request could foster a range of interesting places and contexts with different development intensities, densities, uses, and building scales opportunities because the MX-H zone district allows higher-intensity land use than the MX-M zone district, in an area that is already characterized by having a broad range of developmental intensities, densities, existing land uses, and building scales. Any future development of the subject site, which is currently vacant, could encourage economic development through the creation of construction jobs and a more productive use of land.

12. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- A. Criterion A: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan Goals and policies and does not significantly conflict with them. Because this is a spot zone, the applicant must further "clearly facilitate" implementation of the ABC Comp Plan (see Criterion H). The applicant's policy-based responses adequately demonstrate that the request clearly facilitates a preponderance of applicable Goals and policies in the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, morals and general welfare. The response to Criterion A is sufficient.
- B. Criterion B: The subject site is located wholly in an Area of Change, so this criterion does not apply. The response to Criterion B is sufficient.
- C. Criterion C: The subject site is located wholly in an Area of Change. The applicant argues that the existing zoning is inappropriate because it meets Criteria 2 and 3 (listed above).

The applicant states that a significant change in the conditions affecting the site justifies request because the proposed MX-H zoning is consistent with the prior zoning of C-3, as shown in IDO Table 2-2-1 Summary Table of Zone Districts. While Table 2-2-1 does show that the IDO Zone District equivalent to C-3 zone district is either the MX-H or NR-C zone district, the applicant does not demonstrate how this resulted in a significant change in the conditions of the subject site, which has remained vacant and undeveloped over time, thus remaining in the same general condition.

The applicant also states that the request meets Criteria 3 above. The applicant's policy-based analysis does demonstrate that the request would clearly facilitate a preponderance of applicable Comprehensive Plan Goals and policies and therefore would be more advantageous to the

community than the current zoning. Because Criterion C states that the applicant must demonstrate that the existing zoning is inappropriate because it meets at least one of the criteria above, and Criteria 3 is met, the response to Criterion C is sufficient.

- D. Criterion D: The applicant analyzes all new permissive, conditional, and accessory uses in the MX-H Zone District and then demonstrates how Use-specific Standards in Section 16-16-4-3 of the IDO associated with particular uses would adequately mitigate potentially harmful impacts. The applicant adequately demonstrates that the two new permissive uses in the MX-H zone, Adult Retail and Self-storage, would be mitigated by the Use-specific Standards in Section 16-16-4-3 of the IDO that are associated with these new permissive uses. In this instance, Adult Retail would be prohibited entirely due to the subject site's proximity to the school(s) to the north, while Self-storage would be controlled by Use-specific standards that reduce on-site traffic and mitigate potentially unseemly aesthetic qualities. Staff finds that the IDO's Use-specific Standards would mitigate potentially harmful impacts associated with newly permissive uses. Staff also notes that prohibitions within CPO-7 would further protect the existing community from harmful impacts associated with newly permissive, conditional, and/or accessory uses on the subject site.
- E. Criterion E: The subject site is currently served by infrastructure, which will have adequate capacity once the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement. Any future development on the subject site, which is currently vacant, would be required to adhere to all obligations and standards under the IDO, DPM, and/or an Infrastructure Improvements Agreement. Therefore, the response to Criterion E is sufficient.
- F. Criterion F: The applicant is not completely basing the justification for the request upon the subject site's location on a Major Collector roadway. Rather, the applicant has adequately demonstrated that the request clearly facilitates a preponderance of applicable Comprehensive Plan Goals and policies. The response to Criterion F is sufficient.
- G. Criterion G: The applicant's justification is not completely or predominantly based upon economic considerations. Rather, the applicant has adequately demonstrated that the request clearly facilitates a preponderance of applicable Comprehensive Plan Goals and policies. The response to Criterion G is sufficient.
- H. Criterion H: The request would result in a spot zone because it would apply a zone different from surrounding zone districts. The applicant acknowledges that the request would create a spot zone in their response to Criterion H, but explains that it would be justified because the subject site will function as a transition between adjacent zone districts and would clearly facilitate implementation of the Comprehensive Plan as shown in the response to Criterion A.

The applicant has demonstrated that subject site could function as a transition between the MX-H zone districts to the east, the properties zoned MX-M to the south and west, and the properties zoned MX-L, MX-T and R-T north and further west of the subject site due to the varying levels of developmental intensity associated with each zone district. Staff notes that the subject site is located within the CPO-7 Overlay Zone and the standards associated with this Overlay Zone could foster this transition, because the site standards, setback standards, and building height standards associated with this Overlay Zone would apply to any future development on the

subject site. Because the MX-H zones to the east would allow greater density and intensity than on the subject site due to CPO-7 standards, and the MX-M zone districts to the south and west would allow lower-density and lower-intensity uses, the requested MX-H zone district could serve as a transition between the more intense mixed-use zones to the east and the less intense mixed-use zones to the west.

As required, the applicant has shown that the request will clearly facilitate implementation of the ABC Comp Plan and is applicable to sub-criteria number one. The response to Criterion H is sufficient.

13. The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required. The applicant notified the Santa Barbara Martineztown Neighborhood Association and the North Valley Coalition of their request.
14. The Santa Barbara Martineztown Neighborhood Association accepted a Pre-Submittal Neighborhood Meeting within 15 calendar days of notification (on November 21, 2023) and proposed a meeting date of January 18th. The applicant originally agreed to a meeting sometime in January (date not specified), but requested a sooner date on November 29, 2024, citing “undue delay.” The CABQ Office of Alternative Dispute Resolution then offered a Zoom meeting format, with flexible availability, beginning as early as December 4, 2023. However, the Neighborhood association was “adamant that the meeting be held on January 18th,” according to facilitated meeting notes provided by the CABQ Office of Alternative Dispute Resolution and a timeline provided by the applicant. Based on this information, it appears that the Neighborhood Association effectively declined to meet within the 30-calendar day window specified in 6-4(B)(4) of the IDO. If the Santa Barbara Martineztown NA had accepted ADR’s offered Zoom meeting within those 30 days, the Neighborhood Association would have met with the applicant during this timeframe. However, as stated in subsection 6-4(B)(9), the requirement for a pre-submittal neighbor meeting was waived, and instead, a facilitated meeting was held on January 18th. Staff has also been informed by the applicant that a follow-up non-facilitated meeting was held on January 30th.
15. Staff is aware of opposition to this request by the Santa Barbara Martineztown Neighborhood Association. In the facilitated meeting notes provided by the CABQ Office of Alternative Dispute Resolution, objections to the request were based on the communities feeling that the MX-H designation is not equivalent to the former Sector Plan C-3 designation, the potential of increased traffic, and the Applicant’s submission prior to the date of the meeting. These notes state that “community stakeholders made several additional objections, which were not related to the subject application. Those objections were omitted, here.”
16. The Santa Barbara Martineztown Neighborhood Association has submitted a comment on the case requesting it be deferred so that the Neighborhood Association can have more time to discuss and organize around the request. These comments also state that the Santa Barbara Martineztown Neighborhood Associations objects to statements made in the facilitated meeting notes, the nature of the request as a spot zone, and the uses permitted in the MX-H zone district.
17. During public input at the February 15, 2024 EPC Hearing, community members expressed strong concern over increased traffic resulting from potential development on the subject site. Community

members also emphasized, based on existing traffic studies, the need for improved transportation infrastructure near the subject site.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **March 1, 2024**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,



for Alan M. Varela,
Planning Director

AV/ST/MJ

cc: Tierra West, LLC, slozoya@tierrawestllc.com
Cross Development, meagan@crossdevelopment.net
Santa Barbara Martineztown NA, Loretta Naranjo Lopez, lnjalopez@msn.com
Santa Barbara Martineztown NA, Theresa Illgen, theresa.illgen@aps.edu
North Valley Coalition, Peggy Norton, peggynorton@yahoo.com
North Valley Coalition, James Salazar, jasalazarnm@gmail.com
Legal, dking@cabq.gov
EPC File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 30, 2011

Project# 1000060

11DRB-70318 MAJOR - - 2YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the referenced/above action(s) for all or a portion of **GATEWAY SUBDIVISION** zoned SU-2/ C-3, located on the north side of LOMAS BLVD NE and the west side of INTERSTATE 25 containing approximately 24.8365 acre(s). (J-15)

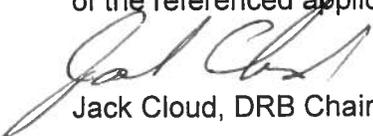
At the November 30, 2011 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 8, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: Daniel Alsup – Modrall Sperlig – 500 4th St. NW Ste 1000 – Albuquerque, NM 87103

Cc: Sandia Foundation – 6211 San Mateo Blvd. NE, Ste 100 – Albuquerque, NM 87109
Marilyn Maldonado
file



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 26, 2014

Project# 1000060

14DRB-70026 – 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)

MODRALL SPERLING agents for SANDIA FOUNDATION request the referenced/above action for all or a portion of **GATEWAY SUBDIVISION** zoned SU-2/ C-3, located on the north side of LOMAS BLVD NE and the west side of INTERSTATE 25 containing approximately 24.8365 acre(s). (J-15)

At the **February 26, 2014** Development Review Board meeting, a **two** year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by **March 13, 2014**, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: MODRALL SPERLING
File

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 18, 2000

OFFICIAL NOTIFICATION OF DECISION

John Hammons Industries
300 John O. Hammons Pkwy
Springfield, MO 65806

FILE: 00128 00000 00904
LEGAL DESCRIPTION: for Tracts B and C,
Gateway Subdivision, zoned SU-2/C-3, located on
Lomas Boulevard NE between Interstate 25 and
Woodward Place, containing approximately 9.35
acres. (J-15) Russell Brito, Staff Planner

On August 17, 2000, the Environmental Planning Commission voted to approve 00128 00000 00904, a site development plan for building permit for Tracts B and C, Gateway Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for an approximately 9.4 acre site located on Lomas Boulevard NE, adjacent to Interstate 25 and Woodward Place.
2. The submitted site plan furthers the applicable Goals and policies of the Comprehensive Plan by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in transportation, work areas, and life styles, while creating a visually pleasing built environment.
3. The submitted site plan furthers the applicable Goals, objectives and procedures of the Martineztown/Santa Barbara Sector Development Plan by proposing a development that may help improve economic conditions in the Plan area; expanding infrastructure where necessary to accommodate new development; stabilizing land use patterns; and by illustrating the relationship of the proposed development to the existing neighborhood.
4. The submitted site plan furthers and abides by the EPC approved site development plan for subdivision which created the subject site (Z-93-46).
5. The site development plan for building permit will be adequate with some minor changes, additions and clarifications.
6. Development of the western pad sites within the master plan should not occur until the site is in compliance with the and approved master plan (Z-93-46). The following concerns were presented by the adjoining neighborhood and include:

- Correct documentation.
- Restoration of property.
- Provision of amenities.

7. The Planning Commission, under the Zoning Code, can review master plans periodically if construction has not taken place within a prescribed number of years.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
2. The subject site shall be replatted to create one cohesive lot.
3. Pedestrian and bicycle amenities:
 - a. Pedestrian crossings of vehicular drives and accesses shall be minimized: the pedestrian path from Woodward Place to main hotel entrance shall be moved just south of the southernmost vehicular access; and the pedestrian path from Woodward Place to the conference center entrance shall be moved to the southern end of the conference center drop off area.
 - b. The pedestrian paths in the parking areas shall be protected from encroachment by vehicle parking with the strategic placement of bollards near vehicular drive aisles that will allow for the passage of wheelchairs.
 - c. The locations of all bicycle parking shall be clearly indicated on the site plan.
4. The following lighting note shall be added to the site plan: "Site lighting shall be full cut-off fixtures (e.g. shoe box fixtures) to minimize fugitive light."
5. Landscaping:
 - a. The planting areas adjacent to the pedestrian paths shall have shade trees in addition to the shrubs and ground cover plantings shown. Shade trees shall be planted in 5x5 planters at plus or minus 25 feet on center along the length of the entire pedestrian way.
 - b. The landscaping calculations shall be supplemented with area and percentage figures for the turf area provided. Turf areas shall not comprise more than 20% of the landscaped area.
 - c. The landscaping areas along Woodward Road and Lomas Boulevard shall be developed with berms, 2-1/2' to 3'-high, to provide buffering for the parking rows along the streets. The turf in these recommended berm areas shall be eliminated in favor of lower water use plants or severely reduced.
6. Elevations:
 - a. The elevations sheet shall specify alternate color designations for the facade colors for future reference (e.g. orange, medium brown, cream).

- b. The three, glass pyramid structures on the tower's roof and the single glass pyramid structure on the porte-cochere shall be shown on the building elevations sheet of the site development plan for building permit.
 - c. The discrepancy between the elevations sheet and the colored drawings regarding the southern end of the west facade (what appears to be a restaurant with outdoor seating) shall be resolved prior to final sign-off at the DRB.
7. The development shall have a self-contained compactor. Sanitary drain must be in place for cleanups. Incorporate some type of design to limit visibility of compactor from the public's view.
8. Public Works, Transportation Conditions:
 - a. A TIS has been performed for this request. The implementation of and/or monetary contributions for mitigation measures as required by the TIS negotiations between the developer and the City must be completed. Including the signalization of Woodward Place and Lomas Boulevard.
 - b. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - c. The site access, circulation patterns, structure orientation / configurations must be constructed to the satisfaction of the Traffic Engineer.
 - d. Location, size and radii of driveways on Woodward Place must be adjusted to the satisfaction of the Traffic Engineer.
 - e. Full size parking spaces must be placed in the nearest proximity of the structure, small car spaces to be located at the perimeter.
 - f. Vehicle access to the site from Woodward Place is inadequate. Median openings are needed, or possibly the complete removal of the median.
 - g. Placement of street trees on Interstate 25 and on Lomas Boulevard.
 - h. On Woodward Place, build median openings or remove median, as acceptable to the Traffic Engineer.
 - i. The landscaping plan must indicate an acceptable treatment of the space between curb and sidewalk (street trees as per the Street Tree Ordinance).
9. The applicant shall have this plan reviewed by the project engineer for the Big I to ensure that the elevations, shown on this plan, next to the Interstate ramps are still accurate.
10. Screen all HVAC so that the top of parapet is greater than or equal to top of any equipment and any visible equipment shall be screened or tented so that it is not viewable from the freeway.
11. The site lighting shall comply with the following:
 - a. There shall be no building mounted signs on the east or west facades of the building.
 - b. Façade lighting of the hotel shall be limited to the corners of the building. Site lighting and lighting of rooftop elements shall comply with provisions of the New Mexico Night Sky Protection Act.

AUGUST 17, 2000

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PAGE 4

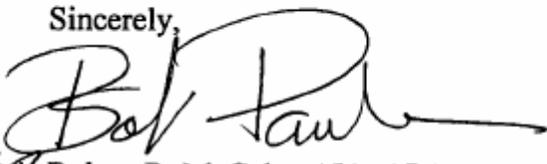
- c. Any façade lighting or lighting of rooftop elements shall require the approval of the Development Review Board; such approval may be given only after mailed notice of the DRB hearing is provided to the Citizens Information Committee of Martineztown, Martineztown/Santa Barbara Neighborhood Association and the Spruce Park Neighborhood Association. The notification will be the responsibility of the applicant and will be required 15 days prior to the public hearing.
12. The parking calculations shall specifically refer to the number of rooms and the square footages of the conference center and the restaurant.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **SEPTEMBER 1, 2000** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,


FOR Robert R. McCabe, AIA, APA
Planning Director

RM/RB/ac

AUGUST 17, 2000

00128 00000 00904

PAGE 5

cc: Herb Denish & Assoc., P.O. Box 2001, Albuquerque, NM 87103
Jess Martinez, Citizens Information Committee of Martineztown, 501 Edith NE, Albuquerque, NM 87102
Frank Martinez, Citizens Information Committee of Martinez, 501 Edith NE, Albuquerque, NM 87102
Carol Nordengren, Santa Barbara Martineztown, 2204 Broadway NE, Albuquerque, NM 87102
Christina Chavez-Apodaca, 517 Marble NE, Albuquerque, NM 87102
Jesse Lopez, 1127 Walter NE, Albuquerque, NM 87102
Loretta Naranjo-Lopez, 1127 Walter NE, Albuquerque, NM 87102
Rupert Holland, Spruce Park Neigh. Assoc., 415 Maple St. NE, Albuquerque, NM 87106

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: March 24, 1994

OFFICIAL NOTIFICATION OF DECISION

Sandia Foundation
700 Lomas Blvd NE, #240
Albuquerque, NM 87103

FILE: Z-93-46
LEGAL DESCRIPTION: The westerly portions of Tracts P and Q, Lands of Southwestern Construction Company, zoned SU-2/C-3 (SC), located at the northwest corner of Lomas Boulevard, NE and the I-25/Lomas off-ramp, containing approximately 25 acres. (J-15)

On March 24, 1994 the Environmental Planning Commission voted to approve Z-93-46, your request for approval of a site development plan for subdivision purposes, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This case was deferred from the August 26, 1993 EPC public hearing to allow the preparation of a Traffic Impact Analysis and an Air Quality Impact Assessment. These studies have been completed and reviewed by the appropriate City agencies.
2. This case was heard and approved by the EPC on May 20, 1993, appealed to the City Council, and remanded to the EPC by LUPZ on July 28, 1993.
3. A facilitated meeting was held on August 18, 1993. There was no specific resolution to the issues reached at this meeting.
4. A Master Development Plan was approved for this property in 1988, but final sign-off of the plan by DRB was never obtained. The City Council found that the 1988 EPC approval as to this site is not binding.
5. The terms "property" and "developments" as found on page 75 of the Martineztown/Santa Barbara Sector Development Plan mean a subdivided lot for the purposes of this project.
6. The grading and drainage plan has been approved for Phase 1 only.
7. A public announcement has been made by the Federal Judiciary disclosing a plan to relocate the Federal Courthouse to a site within the subdivision proposed in this application.
8. The Center City Downtown Core Revitalization Strategy sets a larger context for Downtown that includes the immediately adjacent neighborhoods, including Martineztown/Santa Barbara, as well as for the major institutional and cultural resources of Albuquerque's Center City.
9. The Downtown Core Plan states that "the neighborhood and activity centers within the Downtown Core should be complementary rather than competitive".
10. The Downtown Core Strategy states specifically that courthouses belong in the Downtown Core.
11. The Albuquerque/Bernalillo County Comprehensive Plan Policy 6.C under Urban Centers states that "structures which would dominate their environment shall be located only in Urban Centers". The site in this application is not located within an Urban Center.
12. Relocation of the Courthouse out of the Downtown Core would be a repudiation of investment decisions that have been made there to date by Federal, State and local governments, as well as private investors, and would serve as a disincentive to further investments in this Downtown Core.
13. This application is for a property that is zoned SU-2/C-3 Heavy Commercial according to the Martineztown/Santa Barbara Sector Development Plan. That Sector Plan, under this zoning definition states that "the heavy commercial zoning should restrict certain uses which would be detrimental to the community". Relocation of the Courthouse outside of the Core would be detrimental to the Albuquerque community as a whole.
14. The proposed Courthouse use for this site is inconsistent with the long range goals of the Albuquerque/Bernalillo County Comprehensive Plan and the Martineztown/Santa Barbara Sector Development Plan.

CONDITIONS:

1. The requirements of the Transportation Division of the City Public Works Department, as detailed in their memo dated March 15, 1994, shall be met.
2. There shall be two bus bays on the interior "spine" road, and one bus bay on east bound Mountain Road, east of the interior road.
3. The "NOTE:" on the site development plan for subdivision purposes stating "Structures elsewhere on the site can be up to 60 feet" shall be removed.
4. A transfer of densities among the different parcels shall not exceed 10% from those tabulated on the Site Plan for Subdivision provided that the maximum total is not exceeded.
5. A Courthouse use shall not be an approved use for this site.

THIS CASE IS SCHEDULED FOR FINAL SITE DEVELOPMENT PLAN SIGN-OFF BY THE DEVELOPMENT REVIEW BOARD ON April 12, 1994.

YOUR DRB CASE NUMBER IS DRB 94-183. IN ORDER TO RECEIVE FINAL SIGN-OFF AT THE April 12, 1994, DRB MEETING, THE FOLLOWING ITEMS NEED TO BE SUBMITTED TO THE PLANNING DEPARTMENT BY April 5, 1994:

1. A NARRATIVE DESCRIPTION (A 'COMPLIANCE LETTER') STATING HOW THE EPC'S CONDITIONS OF APPROVAL HAVE BEEN MET;
2. AN INFRASTRUCTURE LIST FOR ANY REQUIRED PUBLIC IMPROVEMENTS (STREETS, UTILITY LINES, ETC.);
3. SIX COPIES OF YOUR REVISED SITE DEVELOPMENT PLAN WHICH INCORPORATES THE CHANGES REQUIRED BY EPC.

PRIOR TO SUBDIVISION AND/OR OBTAINING A BUILDING PERMIT, YOU MUST HAVE YOUR SITE DEVELOPMENT PLAN SIGNED-OFF BY THE DEVELOPMENT REVIEW BOARD (DRB); ANY APPEAL WILL REQUIRE DEFERRAL OF SITE PLAN SIGN-OFF UNTIL THE APPEAL IS RESOLVED.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY APRIL 8, 1994, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 7-14-45.B.2.c of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

Susan J. Connors
for Rex King
Acting Planning Director

RK/SC/ck
cc:Herbert M. Denish and Assoc., P.O. Box 2001, Albuquerque, NM: 87103
Veronica Arellano, Santa Barbara/Martineztown Neigh., Assoc., 900 Edith NE, Albuquerque, NM 87102

C) APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Cross Development		Phone: 727-543-2112
Address: 4317 Marsh Ridge Road		Email: meagan@crossdevelopment.net
City: Carrollton	State: Texas	Zip: 75010
Professional/Agent (if any): Tierra West, LLC		Phone: 505-278-7088
Address: 5571 Midway Park Pl. NE		Email: slozoya@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Major Amendment to existing EPC Site Plan for Subdivision - Gateway Center

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC	Block:	Unit:
Subdivision/Addition: Gateway Subdivision	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): J-15-Z	Existing Zoning: MX-H (Recently Approved)	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 2.8

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 1100 Woodward Place NE between: Mountain Rd and: Lomas Blvd

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 4.4.24
Printed Name: Sergio Lozoya	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

- SITE PLAN – EPC
- MASTER DEVELOPMENT PLAN
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

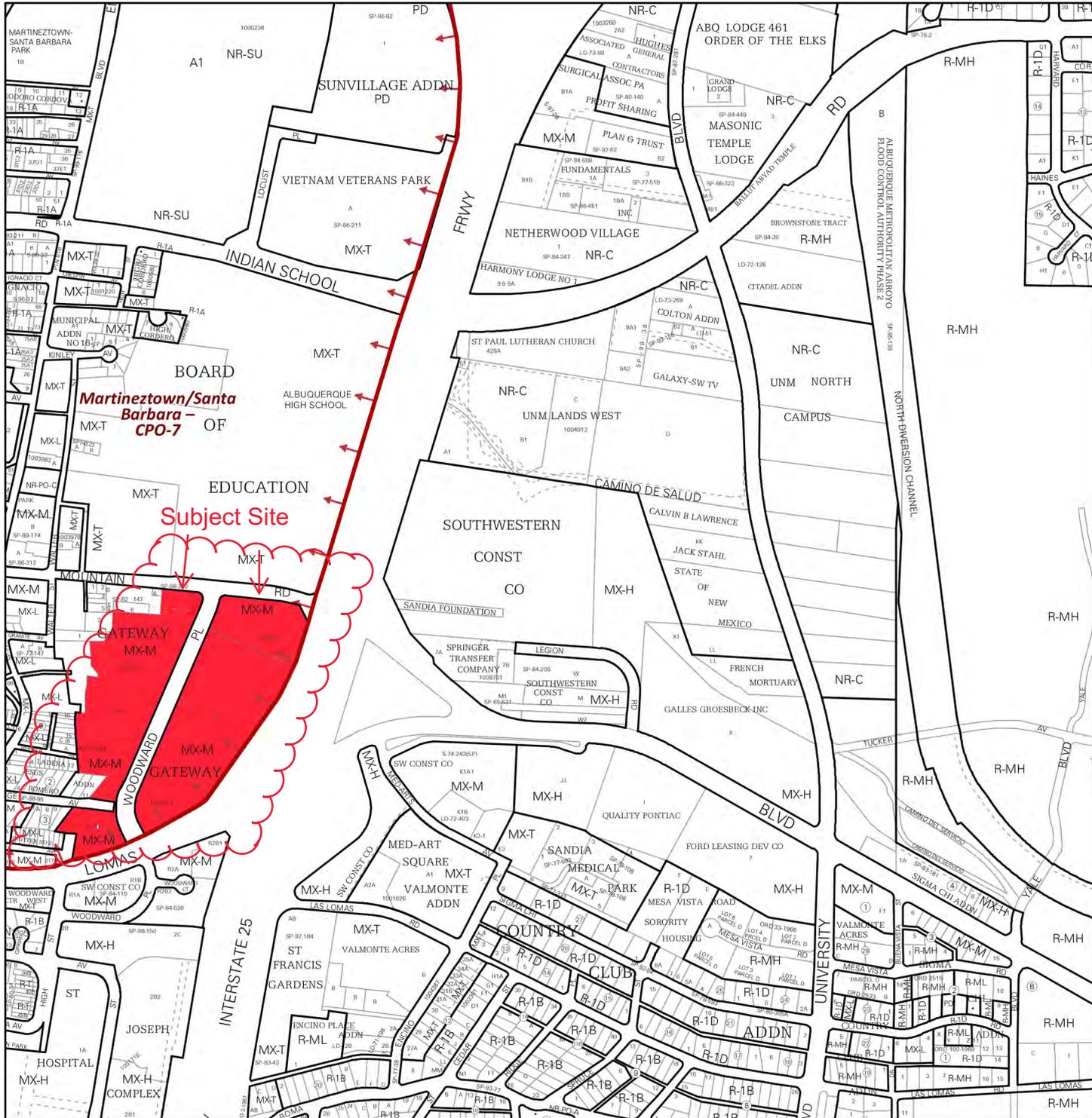
- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Signed Traffic Impact Study (TIS) Form
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable
- NA Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - Completed neighborhood meeting request form(s)
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1)
- Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- Completed Site Plan Checklist
- Scaled Site Plan or Master Development Plan and related drawings
Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.
- Copy of the original approved Site Plan or Master Development Plan (for amendments only)
- Site Plan or Master Development Plan
- Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- NA Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.
- NA Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

_____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 4.4.24
Printed Name: Sergio Lozoya	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

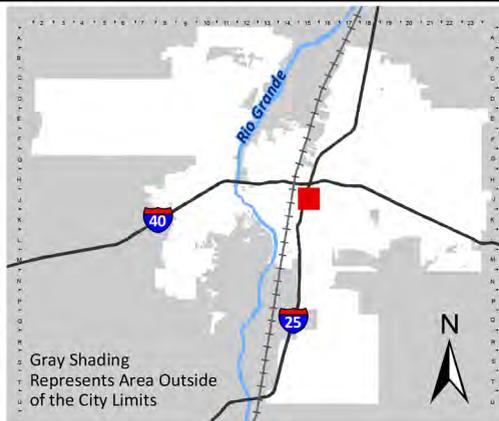
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-15-Z

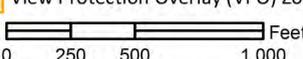
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Gray Shading
Represents Area Outside
of the City Limits

N





0 250 500 1,000 Feet

January 3, 2024

Mr. David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Memorandum of Understanding for Entitlement and Permit Applications for proposed Zone Map Amendment and associated project by Cross Development on lands owned by JHDQ Land Holding LLC C/O Atrium Holding Company, legally described as Tract A Plat of Gateway Subdivision approximately 2.7845-Acres

JHDQ Land Holding LLC C/O Atrium Holding Company hereby authorizes Cross Development to hire an agent, Tierra West LLC, to obtain information and submit entitlement and permit applications for a Zone Map Amendment at the above referenced Property, and act as Cross Development's agent for the limited purpose of entitling, permitting, and subdividing, at Cross Development's expense, the above referenced Property owned by JHDQ Land Holding Company C/O Atrium Holding Company

Sincerely,

JHDQ Land Holding LLC C/O Atrium Holding Company

Won Huang

Print Name

By: 

Signature

President

Title

1/3/2024

Date

January 3, 2024

Mr. David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Letter of Authorization for Entitlement and Permit Applications for proposed Zone Map Amendment and associated project by Cross Development on lands owned by JHDQ Land Holding LLC C/O Atrium Holding Company, legally described as Tract A Plat of Gateway Subdivision approximately 2.7845-Acres

Cross Development hereby authorizes Tierra West, LLC to obtain information and submit entitlement and permit applications for a Zone Map Amendment at the above referenced Property, and act as Cross Developments agent for the limited purpose of entitling, permitting, and subdividing the above referenced Property owned by JHDQ Land Holding Company

Sincerely,

Cross Development

Deno Maggi

Print Name



Signature

Manager

Title

1/4/24

Date



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: March 12, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2024-009765 SI-2024-00334
Agent: Tierra West, LLC
Applicant: Cross Development
Legal Description: Tract A Plat of Gateway Subdivision
Zoning: MX-H (Recently approved, awaiting appeal)
Acreage: 3.0 (approximately)
Zone Atlas Page(s): J-15-Z

CERTIFICATE OF NO EFFECT: Yes No
CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, NMCRIS records

SITE VISIT: N/A

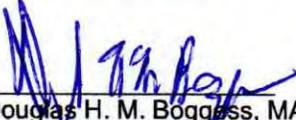
RECOMMENDATIONS:

The property has been bladed clear since at least 2002 and most of the property was surveyed under NMCRIS 18613 and NMCRIS 73483 with no significant finds. Therefore:

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..." and criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

 3-12-2024
Date
Douglas H. M. Boggess, MA, RPA
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

Planning, Development Services



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Medical Rehab Facility

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: J-15-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC

Development Street Address: 1100 WOODWARD PL NE ALBUQUERQUE NM 87102

Applicant: Amanda Herrera Contact: Tierra West LLC

Address: 5571 Midway Park Pl

Phone#: 505-858-3100 Fax#: _____

E-mail: aherrera@tierrawestllc.com

Development Information

Build out/Implementation Year: 2025 Current/Proposed Zoning: MX-M / MX-H

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:
Medical Rehab Facility with 60 beds

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 64,000 SF Hospital

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

ITE Trip Generation Land Use Code Hospital (610)

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* AM (77/30) PM (33/68)

Driveway(s) Located on: Street Name Woodward

Adjacent Roadway(s) Posted Speed: Street Name Mountain Rd Posted Speed 25
Street Name Woodward Posted Speed 25

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Major Transit Corridor - Urban Major Collector
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 4178 (22) Volume-to-Capacity Ratio (v/c): 0.243
(if applicable)

Adjacent Transit Service(s): City Bus Service Nearest Transit Stop(s): Bus Stop Route 5

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing Shared Bike Path on Mountain Rd
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing Sidewalk on both sides of the roadway along Mountain Rd.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No []

Thresholds Met? Yes [] No []

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:

M. P. E.

1/5/2024

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.



July 3, 2024

Mr. Jonathan R. Hollinger, Chair
Environmental Planning Commission
600 Second NW
Albuquerque, NM 87102

**RE: SITE PLAN – EPC MAJOR AMENDMENT
TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC
IDO ZONE ATLAS PAGE J-15-Z**

Dear Mr. Hollinger:

Tierra West LLC, on behalf of Cross Development, respectfully requests a Major Amendment to the controlling Site Plan for a subject site located at 1100 Woodward Pl. NE, Albuquerque, NM 87102.

The proposed amendment is to allow the Hospital use on the subject site, and adjusts the existing setback standards.

The legal description of the subject site is Tract A Plat of Gateway Subdivision containing 2.7845 acres. The subject site is located at 1100 Woodward Pl. NE, just south of Mountain Rd. NE and west of I-25 S Frontage Road. The current zoning of this parcel is Mixed-Use – Moderate Intensity (MX-M); the EPC has recently approved a zone change to Mixed Use – High Intensity (MX-H), which is currently undergoing an appeal.

IDO provision 14-16-6-6(I)(2)(d) 2 states that if any of the proposed (site plan) boundary with a prior approved Site Plan that will remain in place, a Major Amendment shall be required.

This justification letter will discuss the request, the history of the subject site, and will outline the request per IDO 6-6(I)(3) Review and decision criteria.

IDO Section 1-10 Transitions from Previous Regulations

Per IDO Section 14-16-1-10(A)(2), any use standards or development standards associated with pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any other provision of this IDO. In the case of the Gateway Site Plan for Subdivision, the established design standards concerning height remain valid.

Proposed Development

Nobis Rehabilitation Partners is an Inpatient Rehabilitation Facility (IRF). IRFs provide intensive rehabilitation services using an interdisciplinary team approach in a hospital environment. Admission to an IRF is appropriate for patients with complex nursing, medical management, and rehabilitative needs (such as hip replacements, knee replacements,). Rehabilitation programs at IRFs are supervised by rehabilitation physicians and include services such as physical and occupational therapy, rehabilitation nursing, and speech-language pathology. Approximately ninety percent (90%) of patients come from acute care settings with an average stay of 12-14 days so that they can be discharged back to their homes. On any given day, the

average occupancy of this facility will be approximately 85-90%. Nobis' facilities of this size typically staff approximately 60 people during the day and 40 at night.

Proposed Amendment and Zone Map Amendment Discussion

The subject site at 1100 Woodward Pl. NE, Albuquerque, NM, is currently zoned as Mixed-Use Moderate Intensity (MX-M). Tierra West LLC, on behalf of Cross Development, is proposing a rezoning to Mixed-Use High Intensity (MX-H) to develop a Physical Rehabilitation Hospital by Nobis Rehabilitation Partners. This change is essential due to the limitations imposed by the MX-M zoning, which restricts hospital use to a maximum of 20 beds. This limitation is insufficient for the proposed facility, which aims to accommodate around 60 beds.

The need for the MX-H zone arises from the community's growing healthcare demands. By 2030, over 40% of Bernalillo County's population is projected to be older adults, many of whom will require rehabilitation services due to chronic conditions such as heart disease, cancer, and stroke. A facility with only 20 beds would be inadequate to address these needs. The MX-H zoning allows for a higher bed capacity, essential for providing comprehensive rehabilitation services.

Furthermore, the increased capacity under MX-H zoning enables operational efficiency by supporting the deployment of adequate medical staff, advanced equipment, and specialized programs. The site's strategic location, well-served by major transit corridors like Mountain Rd NE, I-25 Frontage Rd, and Lomas Blvd, is ideal for a high-density medical facility. This aligns with Albuquerque's Comprehensive Plan goals, which advocate for infill development, efficient land use, and enhanced community services.

Rezoning to MX-H is crucial for developing a rehabilitation hospital that meets the community's healthcare needs. The existing MX-M zoning's 20-bed limit is inadequate, making the MX-H designation necessary to support the proposed facility's scale and scope. This amendment will facilitate the development of a vital healthcare service, improve community health outcomes, and align with the city's broader planning and development objectives.

Community Need

There is a clear community need for the requested site plan amendment. Not only does the site plan amendment clearly facilitate the ABC Comprehensive Plan by providing a request which aligns with the City's development goals; the MX-H zone and site plan would facilitate the development of a Physical Rehabilitation Hospital with the appropriate number of beds and will fill a need of healthcare services for the aging community in the greater Albuquerque Area.

The applicant did a thorough analysis regarding the City of Albuquerque, its population, and the need for additional healthcare services. In this analysis, Nobis found that by 2030 over 40% of the population in Bernalillo County will be Older Adults ([1New Census data shows New Mexicans are getting older: UNM Newsroom cabq_senioraffairs_onesheet_8-5x11_oct2021-aging-study.pdf](#)). Though New Mexico's population increased by 2.8% from 2010 to 2020, most of the increase was in the population of people ages 65 and older, which increased by 43.7%. This increase in adults who are 65 and older is consistent with national averages, which show that in 2020 the US population that was 65 and older is up from 13% in 2010.

An analysis done by UNM's Geospatial and Population studies at UNM showed that the 65+ cohort makes up a larger portion of New Mexico's population. This age group has not left the state at the same rate that younger people do, the study states, "New Mexico seniors are aging in place, rather than leaving the state like some of our working-age population. We are also

seeing retirees move to New Mexico. These two trends combined result in a rapidly aging New Mexican population.”

In addition to the aging population, New Mexico has been shown to have a high prevalence of heart disease, cancer and stroke ([2NM-IBIS - Health Indicator Report - Prevalence of Multiple Chronic Conditions among Adults Ages 45 Years and Older by Year, New Mexico, * to 2017](#)) The prevalence of these conditions demonstrate the need for more healthcare services, specifically rehabilitation services where patients can recover from major surgeries and injuries related to the illnesses outlined above. The following is taken directly from the study:

*“...many New Mexicans living with the challenge of multiple chronic conditions may not have the health literacy skills, income, community resources, or **access to healthcare services** (emphasis added) that they need to successfully take care of themselves.”*

The combination of an aging population along with the prevalence of chronic illnesses in New Mexico and Albuquerque clearly demonstrates a need for healthcare services and thus the need for the site plan and associated MX-H zone which will allow for the development of a Rehabilitation Hospital with 40+ beds. The MX-M zone does allow the hospital use, but it is limited to 20 beds, which is not sufficient to fill the need in the City of Albuquerque.

Planning Context

Tierra West LLC respectfully requests a Major Amendment to the controlling Site Plan titled Gateway Center. Currently, the lot is vacant. It is located within the Central ABQ Community Planning Area and is located within an Area of Change, as designated by the ABC Comp Plan. Furthermore, it is in the Santa Barbara / Martineztown Character Protection Overlay Zone, CPO-7. The subject site abuts two Major Transit Corridors, Mountain Rd., and I-25 Frontage, and is within 660 feet from Lomas Blvd., which is also designated as a Major Transit Corridor.

The overall area is characterized by a variety of uses. To the north, across Mountain Rd., is Early College Academy / Career Enrichment Center, along with Albuquerque High School, all zoned MX-T. Directly south of the parcel is a lot zoned MX-M, which is occupied by a hotel. Directly to the west is a medical facility, zoned MX-M and beyond that lies 50 acres of mixed-use development with a variety of zones, such as R-1B, NR-LM, and MX-M. Directly to the east is a parcel zoned MX-H, and beyond that there are parcels zoned MX-T, MX-M, and MX-H.

See Figure 1 below for zoning information, and Figure 2 for land uses surrounding the subject site.

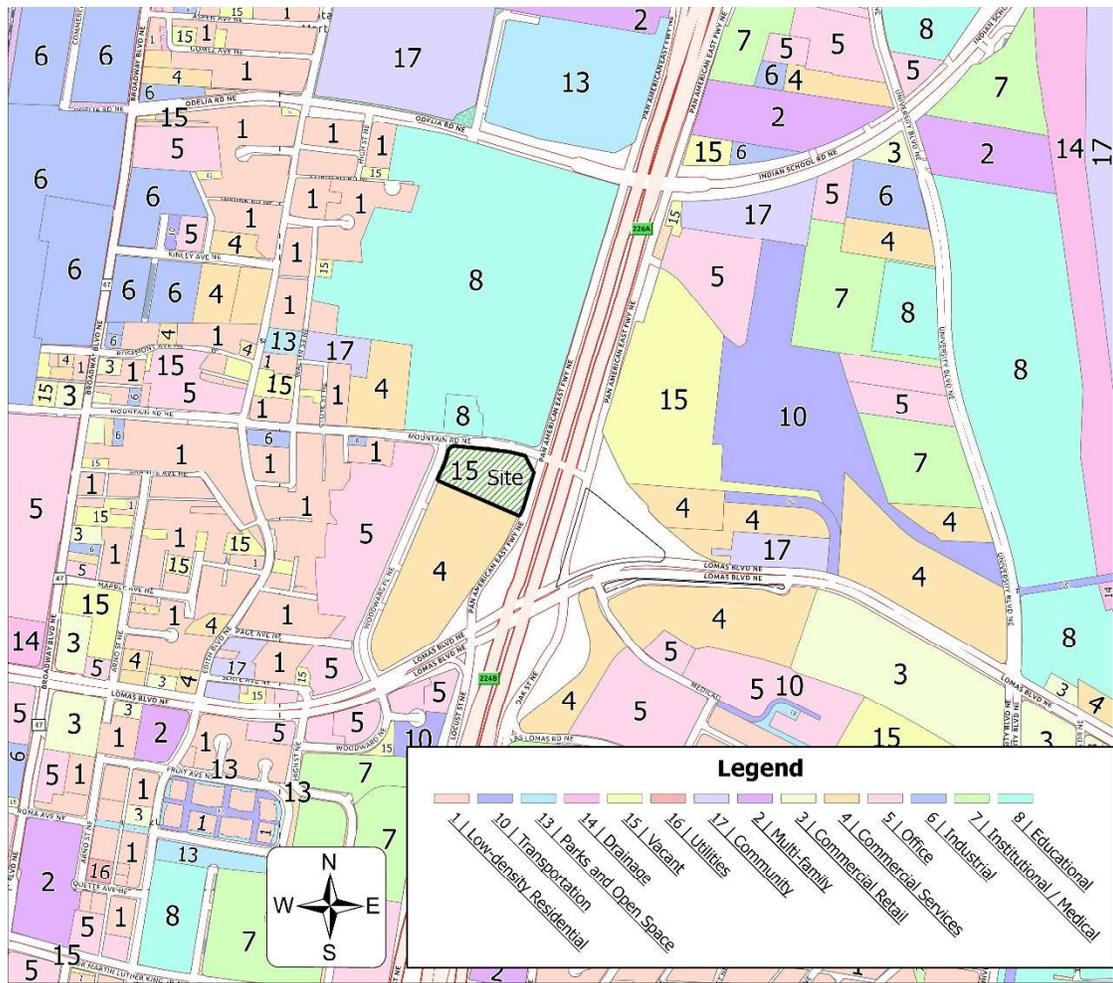


Figure 2: Land Use

Table 2. Surrounding Land Use Categories	
North	8 - Educational (school)
East	4 - Commercial services (self-storage)
South	4 - Commercial services (hotel)
West	5 - Office (medical)
Subject Site	15 - Vacant

History

The subject site is currently vacant and has no prior development history. Prior to the adoption of the IDO, this parcel was subject to the Martinez Town Sector Plan. Under this sector plan, the EPC approved a Site Plan for Gateway Center on March 24, 1994, containing seven areas of land that now contain Woodward Pl., TriCore Labs, Embassy Suites, and this vacant lot. While the other six areas have been developed as outlined in the original site plan, this site has remained vacant. The sector plan outlines a desire for mixed-use zoning and development and calls for more intense uses to be further away from developed neighborhoods and residential areas. This site lies over 300 feet from the nearest residential unit and behind the Tri-core laboratory unit.

The EPC approval of the controlling Gateway Center site plan, DRB-94-183, faced two public appeals on June 6, 1994. While the appeals themselves were not contained in the record, the responses from the City Council that were contained in the record respond similarly. Both appeals were denied by a vote of 9 for and 0 against. The response to the first appeal is wholly contained in the record and has six findings to support the appeal denial.

These findings are summarized as follows: 1) The EPC approval of this site plan was consistent with both the Comprehensive Plan and the Martineztown / Santa Barbara Sector Development Plan, 2) approval of the plan alone did not vest any property rights, 3) a courthouse use shall not be approved for this site, 4) an in-depth traffic analysis would be in order before approving site development plans for building purposes, 5) the findings and action of the EPC do not deprive owners of uses allowed under zoning, and 6) Area 7 was to be approved by the Zoning Enforcement Manager before development. Based upon those findings this site plan will not only comply with that original site plan but with the recently adopted IDO.

A Zone Map Amendment was recently approved for the subject site, though it is currently being appealed by the Santa Barbara / Martineztown Neighborhood Association. Per the IDO, the purpose of the MX-H zone district is to provide for large-scale destination retail and high-intensity commercial, residential, light industrial, and institutional uses, as well as high-density residential uses, particularly along Transit Corridors and in Urban Centers. The proposed use fits within that zoning district.

Site Plan – EPC Major Amendment Justification

The Site Plan – EPC Major Amendment will further several Goals and Policies found in the ABC Comp Plan as shown in the following analysis. The analysis describes how the proposed Site Plan – EPC Major Amendment furthers Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns. These Goals and policies are supported because the request will provide much needed high density, infill development as described in the definition of MX-H in the IDO, cited above. Further, the subject site is within 600-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard.

Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The proposed Site Plan – EPC Major Amendment would enhance, protect, and preserve the existing Santa Barbara / Martineztown area because it would facilitate mixed use development. Locating more intense uses to the southern portion of the Santa Barbara / Martineztown area would protect the existing residential areas by locating more intense uses where they are

appropriate and desired. I.e., by focusing development on the subject site, which is an area of change, and within 660-feet of 3 Major Transit Corridors, development pressure will be alleviated from the existing residential community. The request furthers Goal 4.1 – Character.

Policy 4.1.1 - Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

The proposed Major Amendment would encourage quality development that is consistent with the distinct character of the Santa Barbara / Martinez Town community. The Santa Barbara / Martineztown community has been historically characterized by land uses which vary in intensity. There are several manufacturing / industrial uses along Broadway Blvd which are zoned NR-LM. The area consists of a variety of Mixed-Use zones ranging from MX – T, MX - L, and MX – M. The existing residential areas are zoned primarily R-1A and are characterized by single family residential development.

To preserve the area’s distinct character, more intense uses should be located away from the residential areas. The site plan amendment would continue that intent and would encourage high quality development that is consistent with the distinct character of Santa Barbara / Martinez Town as described above. The request furthers Policy 4.1.1 Distinct Communities. As shown this site lies over 300 feet from the nearest resident and furthers that policy.

Policy 4.1.2. Identity and Design: Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would further Policy 4.1.2 Identity and Design because it would ensure that more intense uses are located to the southern portion of the existing and established Santa Barbara / Martineztown community. The site for the requested hospital use is appropriately located for more intense uses given its proximity to three Major Transit Corridors and the Interstate (I-25). By locating intense uses at the southern boundary of Santa Barbara / Martineztown where they are appropriate and desired, the existing residential areas are relieved of development pressure and thus are preserved. The request furthers Policy 4.1.2 - Identity and Design.

Goal 5.1 – Centers and Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The requested Site Plan Amendment would further Goal 5.1 by focusing more intense development along two Major Transit Corridors, Mountain Rd NE, and I-25 frontage. The subject site is within 660-feet of Lomas Blvd NE, a designated Major Transit Corridor. Development along these three Major Transit Corridors will ensure that the Santa Barbara / Martineztown area grows as a community of strong Centers connected by a multi-modal network of Corridors. Mountain Rd NE has a bike lane for east and south bound travel. There is a bus stop at the northern boundary, which is serviced by Route 5, and has a frequency of 25 minutes. The bike lanes, along with the public transport service both contribute to the site plans accessibility and facilitate growth connected by a multi-modal network of corridors. The request is consistent with Goal 5.1 – Centers and Corridors.

Policy 5.1.1 – Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The subject site is located within 660 feet of three Major Transit Corridors and would thus help shape the built environment into a sustainable development pattern because more intense uses are desired by Major Transit Corridors and within Areas of Change. The request would facilitate high intensity, mixed-use development which would allow a wider range of services for the public in Albuquerque, the greater metro area and beyond. Further the request would help capture regional growth as Lomas Blvd is classified as a Regional Principal Arterial by the MRMPPO Long Range Roadway System.

The request furthers with Policy 5.1.1 – Desired Growth.

c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The request furthers 5.1.1(c) as it promotes compact infill development at a subject site within 660-feet three Major Transit Corridors: Mountain Rd, I-25 Frontage Rd, and Lomas Blvd. Development of the subject site would promote infill development as it is in an established area of the city. The requested Major Amendment discourages the need for development on the urban edge by focusing development near Downtown, along designated ABC Comp Plan Corridors, in an established area already served by infrastructure and public resources such as transit. The request further sub-policy 5.1.1(c).

Policy 5.1.2 – Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The request furthers Policy 5.1.2 – Development Areas as it would direct more intense growth to the subject site, which is in proximity to three Major Transit Corridors: Mountain Rd, I-25 Frontage, and Lomas Blvd. The subject site is also within an Area of Change as designated by the ABC Comp Plan. Areas of Change and sites located along major transit corridors are appropriate for more intense growth, density, and land uses. Further, development of the vacant subject site would provide more stability to the Santa Barbara / Martineztown community and to the Central ABQ Community Planning Area by infilling a vacant lot, which can attract crime and other nuisances.

Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

The amendment request would foster development within 660-feet of three Major Transit Corridors: Mountain Rd, I-25 Frontage Rd, and Lomas Blvd. Development along these corridors help facilitate the use of transit services, and the proximity to Lomas Blvd would ensure accessibility to those who use alternative modes of transportation, i.e., riding the bus. The request furthers Policy 5.1.10 Major Transit Corridors.

Goal 5.2 – Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The requested Site Plan amendment furthers Goal 5.2 – Complete Communities since it fosters the development of a long-standing vacant subject site in an area characterized by mixed use development. The subject site is in proximity to Downtown, is within the Central ABQ CPA, and the Santa Barbara / Martineztown CPO. This site plan fosters complete communities as it will

serve the areas mentioned above along with the greater Albuquerque Metropolitan area and beyond. The requested site plan change promotes the live, work, learn, heal, and play ethos because it would be yet another service in a wide range of services provided near established residential and mixed-use communities. The request furthers Goal 5.2 – Complete Communities.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request furthers Policy 5.2.1 because the subject site is in proximity to Downtown, is within the Central ABQ CPA, and the Santa Barbara / Martineztown CPO. Development at this site creates healthy, sustainable, and distinct communities as it will serve the areas mentioned above, along with the greater Albuquerque Metropolitan area. Development facilitated by this site plan would promote the existing mixed-use character of the area and would add more amenities and variety in land uses for nearby residents to use. The subject site's proximity to transit also promotes health and sustainability by encouraging and facilitating the use of alternative modes of transportation. The request furthers Policy 5.2.1 – Land Uses.

e) Create healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The proposed Site Plan Major Amendment would support the creation of healthy, sustainable communities with a mix of uses that are conveniently accessible from surrounding neighborhoods by encouraging infill development on a lot that is easily accessible due to its location along the Mountain Rd and I-25 Frontage Major Transit Corridors. Furthermore, if approved, the hospital use would be unique to the surrounding area, increasing the variety of uses in the area and creating more sustainable, distinct communities. The request furthers sub-policy 5.2.1(e).

h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. [ABC]

If approved, this Major Amendment would encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development because the immediately surrounding development is relatively high-intensity and large. To the south sits Embassy Suites, an 8-story, 100-foot-tall building. To the west is TriCore Laboratories, a 4-story, approximately 45-foot-tall building. To the north sits the Career Enrichment Center and Albuquerque High School, whose gymnasium stands approximately 55 feet tall. To the east is I-25, a highly trafficked urban freeway. This amendment would allow for development that is compatible in form and scale to the immediately surrounding development. The request furthers sub-policy 5.2.1(h).

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

This Site Plan Major Amendment if approved, would encourage more productive use of a vacant lot by increasing its available uses, which would then spur new development on the site. The resulting new development would be significantly more productive of a use than is present in the currently vacant lot. Furthermore,

development on this vacant site would discourage misuse of the lot. For example, on Google Maps Street view, the vacant lot has been and may still be used as an unpaved parking lot, presumably for the schools across the street. This amendment would allow the lot to be developed in a safe and productive manner. The request furthers sub-policy 5.2.1(n).

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would further Goal 5.3 Efficient Development patterns because the subject site is in an area with existing infrastructure and public facilities. The subject site also promotes the use of transit, a public amenity, as it is located within 660-feet of the Lomas Blvd Major Transit Corridor, and directly abuts Mountain Rd and I-25, both of which are designated Major Transit Corridors in the ABC Comp Plan. The request furthers Goal 5.3 Efficient Development Patterns.

Policy 5.3.1 – Infill Development: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The requested major amendment furthers Policy 5.3.1 – Infill development as it promotes development patterns that maximize the utility of existing infrastructure. The subject site is in the Central ABQ CPA, and within a developed area of the city with established infrastructure and public facilities. The development of the vacant site would encourage the efficient use of land and thus supports the public good. The request furthers Policy 5.3.1.

Policy 5.3.2 – Leapfrog Development: Discourage growth in areas without existing infrastructure and public facilities.

This Site Plan Amendment would discourage growth in areas without existing infrastructure and public facilities by directing said growth to an area that has the existing infrastructure and public facilities required to support it. This lot has been vacant throughout history, despite the surrounding area being developed significantly over the past twenty years. Therefore, infrastructure and public facilities have been developed and currently exist in a capacity that can support future land uses. The request furthers Policy 5.3.2 – Leapfrog Development.

Policy 5.3.7 – Locally Unwanted Land Uses: Ensure that land uses that are objectionable to immediate neighbors but may be useful to society are located carefully and equitably to ensure that social assets are distributed evenly, and social responsibilities are borne fairly across the Albuquerque area.

The hospital use that would be allowed via this site plan amendment would be useful to society. The proposed usage, a physical rehabilitation hospital, would provide much-needed non-emergency medical services, easing the pressure on local hospitals by allowing for off-site, moderate-length outpatient treatment. Furthermore, the location of this lot, on the corner of Major Transit Corridors Mountain Rd and I-25 Frontage, would ensure that any resulting development is located carefully, away from residential streets, and equitably, in the center of Albuquerque, near I-25 (an urban freeway), making it easy to access. This would ensure even distribution of social assets and fair sharing of social responsibilities in Albuquerque.

b) *Ensure appropriate setbacks, buffers, and/ or design standards to minimize offsite impacts.*

This amendment does not modify any setbacks, buffers, and/or design standards set out in the current zone district. The controlling site plan is silent on design standards for this site other than building height. In the case of building height, the proposed development would be sitting at 55 feet high, which is lower than the 68 feet typically allowed in the MX-H zone district and significantly lower than the 180 feet allowed by the current controlling site plan. This height is in character with surrounding development. Where the controlling site plan is silent, the IDO ensures appropriate setbacks, buffers, and design standards to minimize offsite impacts from potential development resulting from this amendment.

Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers Goal 5.6 – City Development areas as it would encourage and direct growth to the subject site, which is located wholly within an Area of Change. Areas of Change are where development is generally expected and desired, the requested amendment and subsequent development would be appropriate in intensity, density, and location. The request furthers Goal 5.6 – City Development Areas.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The requested amendment is for a subject site that is located within an Area of Change and within 660-feet of three Major Transit Corridors. Approval of the requested amendment would direct growth and more intense development where change is encouraged, expected, and appropriate. The request furthers Policy 5.6.2 – Areas of Change.

Goal 8.1 – Placemaking: Create places where businesses and talent will stay and thrive.

The site plan major amendment and proposed development further Goal 8.1 – Placemaking because the request creates places where businesses and talent will stay and thrive. The proposed development will create jobs for a range of workers with varying occupational skills and salary levels. There will be 60 workers of varying qualifications working during the day (administrative staff, nurses, doctoral) and 40 workers (administrative staff, nurses, doctoral) for the nighttime shifts. The request furthers Goal 8.1 Placemaking.

Policy 8.1.1 – Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

The request furthers Policy 8.1.1 – Diverse Places because the allowance of a hospital use on this site would foster a range of development intensity, density, uses and building scale in an area with a wide range of existing land uses. Further, the subject site's location along three Major Transit Corridors, within an Area of Change, and within the Central ABQ CPA are

contributing factors to the appropriateness and success of this economic development opportunity.

- a) Invest in Centers and Corridors to concentrate a variety of employment opportunities for a range of occupational skills and salary levels.

The request would further sub-policy 8.1.1(a) by investing in a subject site that is located within 660-feet of three different Major Transit Corridors. The proposed site plan amendment and proposed subsequent hospital development would create a variety of employment opportunities for a range of occupational skills and salary levels. The request furthers sub-policy 8.1.1(a).

- c) Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The request furthers sub-policy 8.1.1(c) because the newly allowed hospital use would facilitate development which would generally hire local residents. The allowance of the requested hospital use would facilitate development on the subject site, thus prioritizing job creation and local hiring. The request furthers sub-policy 8.1.1(c).

Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

The proposed site plan amendment would encourage an economic development effort that would improve the quality of life for new and existing residents by allowing a range of land uses at the appropriate location, scale, intensity, and density. The subject site is located within the boundaries of three separate Major Transit Corridors. Development along these corridors would foster a robust, resilient, and diverse economy because the requested use would allow a needed high-quality use that would benefit the community. Further, the development would be an infill development, and would maximize existing infrastructure and resources such as public transit, and would provide opportunity for new jobs, thus ensuring a resilient economy. The request furthers Policy 8.1.2 – Resilient Economy.

Site Plan EPC – Major Amendment – Review and Decision Criteria

As outlined in IDO provisions **14-6-6-6(I)(2)(d)** this proposed site plan includes a portion of the boundary of a site plan approved by the EPC prior to the adoption of the IDO, a Major Amendment pursuant to Subsection **14-16-6-4(Z)** is necessary. Provision **14-16-6-4(Z)(1)(b)** states that the major amendment shall be reviewed by the decision-making body that originally approved the site plan, in this case being the EPC.

The request is supported by the Comprehensive Plan Goals and polices and meets the requirements for a Site Plan – EPC per IDO **Section 14-16-6-6(I)(3)**, Review and Decision Criteria a – h, as follows:

6-6(I)(3)(a): The Site Plan is consistent with the ABC Comp Plan, as amended.

As discussed above, the requested Site Pan - Major Amendment will benefit the surrounding neighborhood because it is consistent with and furthers the ABC Comp Plan and the applicable

Goals and Policies therein and clearly facilitating the implementation of the ABC Comp Plan as shown in the previous analysis. The analysis describes how the proposed Zone Map Amendment is consistent with Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns. These Goals and policies are supported because the request will provide much needed high density, infill development as described in the definition of mixed-use zoning in the IDO, cited at the beginning of this letter. Further, the subject site is within 600-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard.

6-6(I)(3)(b): The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The site plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and related development agreements and/or regulations.

6-6(I)(3)(c): The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The site plan is beholden to the existing, controlling site plan (EPC Z-94-46 / DRB-94-183). The primary purpose of this amendment is to allow a hospital use within Area 3 / Tract A of the above-mentioned site plan (EPC Z-94-46 / DRB-94-183). There are limited design standards found in the EPC Z-94-46 / DRB-94-183 site plan, however, the maximum building height and square footage shall remain as a design standard applicable to this site and project. We are also amending the site plan to allow setbacks for Area 3 / Tract A of the site plan to follow the setback provisions as described in the IDO. Where the existing controlling site plan (EPC Z-94-46 / DRB-94-183) is silent, the IDO applies. This includes but is not limited to façade design, parking, access and circulation, signage, etc. The request will comply with the DPM standards with the related improvements associated with this development.

6-6(I)(3)(d): The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development. A Traffic Impact Study is currently underway for the project. The TIS will identify any adverse impacts the development would have on the existing transportation network. Prior to the development of the site, any mitigation requirements as a result of the TIS will be addressed and made a condition of issuance of the building permit. This process ensures no negative impacts to the area's transportation infrastructure. We will be making all required submittals to Hydrology, Transportation, etc. The site plan will also follow the DFT Site Plan process, in which infrastructure will be addressed. See attached traffic safety study along with an executive summary and response from NMDOT and the City as part of this application.

6-6(I)(3)(e): The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The request mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable. The Major Amendment would introduce a new use to the existing Gateway Site Plan for Subdivision. The spirit of the existing, controlling site plan, which was approved in 1997, is maintained. The proposed hospital use would generate less traffic than the existing approved office use. Further, the site plan allows over 100' feet in building height, though the proposed development would stay well under that at 55' in height. The new proposed hospital use provides less intensity and density than the existing approved office use. The development is consistent with the portion of the Gateway Site Plan that is already built out. To the south of the subject site is a hotel at approximately 100' in height, to the west of the subject site are medical labs, which at their highest point are 45' in height. To the north of the subject site is the CEC, which is approximately 35' in height. The subject site is bound by I-25 frontage to the east and is within the boundary of three Major Transit Corridors. Not only are adverse impacts mitigated, but this development will also be a benefit to the surrounding area and communities.

6-6(I)(3)(f): If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject site is not within any Master Development Plan boundaries. However, the subject site is beholden to the Gateway Site Plan for Subdivision, and the IDO. The proposed site plan amendment adheres to the controlling site plan, and the IDO and relevant standards applicable to the zone district the subject property is in.

6-6(I)(3)(g): If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

A cumulative impact analysis is not required in this location because it does not fall within a Railroad and Spur Small Area.

Facilitated Meeting – Santa Barbara Martinez Town Neighborhood Association

A facilitated meeting with the Santa Barbara Martinez Town Neighborhood Association was held on March 21, 2024, via Zoom from 6pm-8pm. The report is attached as part of this application packet. It is important to note that the Neighborhood Association is opposed to the request, however, there was no direct input on the proposed Site Plan – Amendment, or comments from the neighborhood regarding site design, building placement, etc. The applicant is open to listening to site specific grievances should the neighborhood provide comment on that topic.

Conclusion

The requested site plan major amendment would benefit the surrounding neighborhood by being consistent with the ABC Comp Plan and furthering applicable Goals and Policies in the ABC Comp Plan as shown in the preceding analysis. The proposed amendment furthers a preponderance of Goals and Policies regarding Character, Centers and Corridors, Complete Communities, City Development Patterns, and others. These Goals and policies are supported

because the request would provide much needed high density, infill development as described in the definition of MX-H in the IDO. Further, the subject site is within 660-feet of three different Major Transit Corridors – Mountain Road NE, I-25 Frontage Road, and Lomas Boulevard, where this type of development is desired. Lastly, the request aligns with the controlling site plan adopted prior to the adoption of the IDO and promotes mixed uses as desired by the community and outlined in the now repealed sector plan.

Tierra West, on behalf of Cross Development, respectfully requests that this Site Plan Major Amendment is considered and approved by the Environmental Planning Commission. Thank you for your consideration.

Sincerely,

Sergio Lozoya
Sr. Planner

cc: Meagan Vieren

JN: 2023123
SL/db/



June 4, 2024

Mr. Jonathan R. Hollinger, Chair
Environmental Planning Commission
600 Second NW
Albuquerque, NM 87102

**RE: SITE PLAN – EPC MAJOR AMENDMENT
TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC
IDO ZONE ATLAS PAGE J-15-Z**

Dear Mr. Hollinger:

Tierra West LLC, on behalf of Cross Development, respectfully requests a Major Amendment to the controlling Site Plan for a subject site located at 1100 Woodward Pl. NE, Albuquerque, NM 87102.

The legal description of the subject site is Tract A Plat of Gateway Subdivision containing 2.7845 acres. The subject site is located at 1100 Woodward Pl. NE, just south of Mountain Rd. NE and west of I-25 S Frontage Road. The current zoning of this parcel is Mixed-Use – Moderate Intensity (MX-M); the EPC has recently approved a zone change to Mixed Use – High Intensity (MX-H), which is currently undergoing an appeal.

Please review the Executive Summary of the Traffic Safety Study, below.

Traffic Memo – Crash Analysis, Executive Summary

This Crash Analysis was prepared in conjunction with the development of a 48-bed rehabilitation center and provides a comprehensive analysis of crash data at three key intersections near Mountain Rd and the south frontage road of Interstate 25. A new 48 bed rehabilitation hospital for the period between January 1, 2018, and December 31, 2022. The intersections studied are Mountain Rd. / Edith Blvd., Mountain Rd. / Woodward Pl., and Mountain Rd. / I-25 W. Frontage Rd., utilizing crash reports and database records from the New Mexico Department of Transportation (NM DOT). This crash analysis will also be included in the full Traffic Impact Study for this project.

Intersection #1 – Mountain Rd. / Edith Blvd.: The analysis for this intersection revealed a total of seven crashes over the five-year period. Notably, two of these incidents resulted in injuries, while the remaining five were property damage only (PDO) crashes. Unfortunately, the crash database did not provide specific details on the types of crashes that occurred, limiting the depth of analysis for this location.

Intersection #2 – Mountain Rd. / Woodward Pl.: No crashes were recorded at this intersection in the past five years, prompting an extension of the analysis period back to 2015. Over the extended eight-year period, only three crashes were documented, including one right-angle crash and two fixed-object crashes occurring in 2015 and 2016. This indicates a relatively low crash frequency and severity at this intersection.

Intersection #3 – Mountain Rd. / I-25 W. Frontage Rd.: A total of 48 crashes were reported at this intersection, with six resulting in injuries and the remainder being PDO crashes. Despite being flagged as a high crash location, the data from 2018 to 2022 showed a crash rate of 0.83 crashes per million entering vehicles, suggesting past safety measures by NM DOT have been effective. The analysis identified two primary crash trends: southbound vehicles improperly turning left from the second lane and drivers mistaking the signal change at the E. Frontage Rd. for their own light change.

NMDOT performed an internal Crash Safety Analysis and subsequently installed mitigation measures about 2016? Based upon the recent review of the crash data the mitigation measures have significantly reduced the number of crashes at these three intersections. To provide further mitigation measures this report recommends additional measures.

Recommendations: To address the identified crash trends at the Mountain Rd. / I-25 W. Frontage Rd. intersection, several recommendations are made:

1. Mask the green signal indicator at E. Frontage Rd. to prevent confusion for drivers at the W. Frontage Rd.
2. Install lane configuration signage on the signal mast arm to clearly indicate the lane purposes for southbound traffic.
3. Implement bright yellow backplates on signal heads to enhance their visibility.

These measures aim to improve intersection safety and reduce the incidence of crashes, ensuring safer navigation for all road users in the area.

Tierra West, on behalf of Cross Development, respectfully requests that this Site Plan – EPC Major Amendment is considered and approved by the Environmental Planning Commission. Thank you for your consideration.

Sincerely,



Sergio Lozoya
Sr. Planner

cc: Megan Vieren

JN: 2023123
SL/db/aj

From: [Haynes, Margaret, DOT](#)
To: [Ron Bohannon](#)
Cc: [Sergio Lozoya](#); [Cherne, Curtis](#); [Jon Niski](#); [Terry Brown](#); [Haynes, Margaret, DOT](#); [Perea, Nancy, DOT](#)
Subject: Mountain Rd. Rehab Facility (Mountain Rd. / I-25)- Safety Study
Date: Tuesday, July 2, 2024 8:40:02 AM

Good morning Ron,

NMDOT is currently reviewing the requested safety study for the Rehab Facility adjacent to I-25 Southbound Frontage Road and Mountain. We have discussed preliminary recommendations for this project to move forward. The study is in the queue to review. NMDOT will finalize its recommendations when the review is complete.

Thanks,
Margaret

Margaret L. Haynes, P.E.
District 3 Assistant Traffic Engineer
New Mexico Department of Transportation
7500 Pan American Freeway N.E.
Albuquerque, NM 87109
505-288-2086 cell (VOICE ONLY)

Sergio Lozoya

From: Cherne, Curtis <CCherne@cabq.gov>
Sent: Wednesday, June 26, 2024 8:54 AM
To: Terry Brown; Ron Bohannon; Haynes, Margaret, DOT
Cc: Jon Niski; Sergio Lozoya; Armijo, Ernest M.
Subject: RE: [#2023123] {#2023123} - Mountain Rd. Rehab Facility (Mountain Rd. / I-25)- Looks good

Terry,
Looks good to me.

Thanks,



CURTIS CHERNE, P.E.

senior engineer

o 505.924.3986

e ccherne@cabq.gov

cabq.gov/planning

From: Terry Brown <tbrown@tierrawestllc.com>
Sent: Tuesday, June 25, 2024 10:38 AM
To: Ron Bohannon <rbr@tierrawestllc.com>; Haynes, Margaret, DOT <margaret.haynes@dot.nm.gov>
Cc: Cherne, Curtis <CCherne@cabq.gov>; Jon Niski <JNiski@tierrawestllc.com>; Sergio Lozoya <SLozoya@tierrawestllc.com>
Subject: RE: [#2023123] {#2023123} - Mountain Rd. Rehab Facility (Mountain Rd. / I-25)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Margaret / Curtis,

Here are the proposed mitigation measures for the Mountain Rd. Rehabilitation Center TIS / Safety Analysis:

- 1) Install signal masking on westbound signal indicators (green) at the Mountain Rd. / I-25 E. Frontage Rd. to prevent green indicators from being visible at the I-25 W. Frontage Rd.*
- 2) Install laneage signing on top of mastarms for southbound traffic on the I-25 W. Frontage Rd. approaching Mountain Rd.*

- 3) *Install new bright yellow backplates on all signal heads at the intersection of Mountain Rd. / I-25 W. Frontage Rd.*
- 4) *Install new curbing to close outside shoulder within 500 feet north of stop bar at Mountain Rd. Include transition back to existing curbing.*
- 5) *Re-stripe Mountain Rd. from I-25 W. Frontage Rd. to approximately 200 feet west of new Rehab Hospital driveway to comply with MUTCD. Also, construct new 4" P.C.C. raised curbing (or other delineators as approved by the City of Albuquerque and the NM DOT) along north side of eastbound lane on Mountain Rd. approximately 50 feet to the east and 50 feet to the west of the new right-in, right-out driveway.*

Please call me if you have questions or need additional information.

Best Regards,

Terry O. Brown, P.E.



5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 – Office
(505) 270-6981 – Cell
e-mail: tbrown@tierrawestllc.com

From: Ron Bohannan <rrb@tierrawestllc.com>
Sent: Monday, June 24, 2024 3:59 PM
To: Terry Brown <tbrown@tierrawestllc.com>; Haynes, Margaret, DOT <margaret.haynes@dot.nm.gov>
Cc: Cherne, Curtis <CCherne@cabq.gov>; Jon Niski <JNiski@tierrawestllc.com>
Subject: RE: [#2023123] {#2023123} - Mountain Rd. Rehab Facility (Mountain Rd. / I-25)

Terry can you list out all of the mitigation measures we discussed today as well.

Thanks
Ron

From: Terry Brown <tbrown@tierrawestllc.com>
Sent: Monday, June 24, 2024 11:47 AM
To: Haynes, Margaret, DOT <margaret.haynes@dot.nm.gov>
Cc: Cherne, Curtis <CCherne@cabq.gov>; Ron Bohannan <rrb@tierrawestllc.com>; Jon Niski <JNiski@tierrawestllc.com>
Subject: [#2023123] {#2023123} - Mountain Rd. Rehab Facility (Mountain Rd. / I-25)

Margaret –

Here is the concept I think you want for the right-in, right-out driveway on Mountain Rd. I marked it up on an MUTCD display that is four lanes, but the concept is the same except Mountain Rd. is two lanes with a TWTL.

Curtis,

Also, the attached sketch shows the proposed striping for the existing AHS Student driveway to the east of our proposed right-in, right-out driveway.

Please call me if you have questions or need additional information.

Best Regards,

Terry O. Brown, P.E.



5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 – Office
(505) 270-6981 – Cell
e-mail: tbrown@tierrawestllc.com



February 29, 2024

Jonathan Hollinger
Chair - Environmental Planning Commission
City of Albuquerque
600 2nd Street NW
Albuquerque NM 87102

RE: SENSITIVE LANDS ANALYSIS FOR 1100 WOODWARD PL NE, LEGALLY DESCRIBED AS: TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC

Dear Mr. Hollinger:

This report outlines the constraints identified within the proposed Major Amendment to an EPC controlled Site Plan. The subject site is located at 1100 Woodward and is legally described as Tract A Plat of Gateway Subdivision and is approximately 2.8 – acres.

The subject site is zoned Mixed-Use – High Intensity (MX-H) and is currently vacant with desert shrubs with minor to no previous grading.

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land, documenting the below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	Area of minimal flood hazard.	The site is an area with minimal flood risk.
Steep Slopes	None	The overall site is not in an area with steep slopes
Unstable Soils	None	Based on USDS Web Soil Survey Data, the site soils are mainly sandy.
Wetlands (Constant supply of water)	None	No areas of standing water are present on site.
Arroyo	None	No Arroyos were identified.
Irrigation Facilities	None	No irrigation facilities were identified.
Escarpment	None	No areas of escarpment were identified.
Large stands of mature trees	None	No trees present.
Archeological sites	None	No archaeological issues have been uncovered.

The sensitive lands analysis has found that none of the above features have been determined to constrain the development of the site. Additionally, none of the above features have been determined to be present on this site or have negative impacts as identified in the various documents supporting our findings of no sensitive land issues.



If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Sergio Lozoya
Sr. Planner

CC: Meagan Vieren

JN: 2023123
sl/jn/RRB

Market Development Criteria Supports 40 Bed Inpatient Rehab Hospital In Albuquerque



The proprietary analysis by Nobis Rehabilitation Partners, an inpatient rehabilitation hospital operator with decades of experience, has facilitated the growth and success of establishing new inpatient rehab hospitals in 16 markets over the past 4 years.

The robust analysis by Nobis considers the size of a market (>750k), population growth with a focus on senior adult population growth and projections in addition to numerous data points around the acute care hospitals volume, their performance and types of cases, as well as needs for additional inpatient rehabilitation services compared to the availability of existing inpatient rehab services.

The analysis supports the need for a 40-bed inpatient rehabilitation hospital in Albuquerque



*The Proposed Albuquerque Inpatient Rehabilitation
Hospital Will Provide the Needed Rehab Services
to Meet the Growth Projected in
the Increased Aging Population in Albuquerque*

By 2030 Over 40% of the Population in Bernalillo County will be Older Adults¹

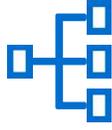
New Mexico Has High Prevalence of Heart Disease, Cancer, and Stroke²

¹[New Census data shows New Mexicans are getting older: UNM Newsroom cabq_senioraffairs_onesheet_8-5x11_oct2021-aging-study.pdf](#)

²[NM-IBIS - Health Indicator Report - Prevalence of Multiple Chronic Conditions among Adults Ages 45 Years and Older by Year, New Mexico, * to 2017](#)

Snapshot of Nobis

BUSINESS OVERVIEW



- Founded in 2018 by Chester Crouch, Nobis Rehabilitation Holdings, LLC (“Nobis”) is a privately held healthcare management company headquartered in Allen, Texas. Nobis management has significant experience developing, scaling, and operating IRFs with a history of successful exits for investors.
- Nobis has an indirect minority interest (through wholly owned Nobis Hospital Investments, LLC) in each of its operating partners holdings companies or individual IRF’s. Nobis is the hospital operations manager and provides management services to these IRFs through Nobis Rehabilitation Partners, LLC, a wholly-owned subsidiary of Nobis Rehabilitation Holdings, LLC. Nobis receives a pre-opening fee, a 5% of Patient Net Revenue Fee once hospital operations commence, a profit interest in each hospital, and a buyout of its management in the event of an OpCo transaction.

IT’S PEOPLE

- Nobis Executive Team is made up of professionals who are top within the IRF Industry
- 40 support personnel in the Nobis Corporate Office
- 2,500 total employees across all the companies
- Nobis Advisory Board made up of highly experienced industry professionals



OUR GROWTH

- Opened 16 free standing IRF’s in 9 states since 2021 to current
- 2 additional opening in 2024 and 5 planned for opening in 2025
- Targeting to open a total of 30 free standing IRF’s
- IRF’s range in size from 40-60 beds. All 40 bed facilities are able to expand an additional 20 beds

OUR PARTNERS



Reunion
REHABILITATION HOSPITALS

- Nobis currently partners with 4 development groups to develop and build each IRF to Nobis specifications.
- Development group brings all equity and debt for each IRF PropCo and majority of equity for each IRF PropCo
- Each group holds the IRF OpCo’s under a Holding Co.
- Each IRF PropCo is an individual SPE.



CROSS
HOSPITALS



N2W HOSPITALS



NKD HOSPITALS

Nobis Executive Team



Chester Crouch
Founder & President

- 30+ years of healthcare leadership experience, Chester has held various hospital leadership roles in the acute, post-acute, non-profit, for-profit, and private sectors of healthcare.
- Chester founded Nobis in 2018 that today has developed 16 new IRF across 10 states.
- Co-Founded Reliant Hospital Partners, LLC, an operator of IRFs, and grew the company until Reliant sold to Encompass, FKA HealthSouth, in 2015.
- He also served many years as a member of the Board of Directors for AMRPA



Tracey Nixon
Chief Compliance Officer

- 30+ years of experience in post-acute care serving in local, regional and national roles. She is a regular speaker and educator for the IRF industry. At Nobis, Tracey has executive oversight for corporate compliance, licensure, quality assurance, all regulatory and risk management as well as facilities, HIM, coding, credentialing and internal operational audits.
- Tracey is certified in healthcare compliance (CHC) and serves on the Board of Directors for AMRPA



Jerry Huggler
Chief Financial Officer

- 25+ years healthcare financial expertise and leadership in both for profit and non-profit acute and post-acute organizations with a focus in (IRF), LTACH, and home health. At Nobis, Jerry has executive oversight for all aspects of finance, revenue cycle and accounting.
- Jerry has provided leadership on 9 home health acquisitions totaling more than \$211M in revenue as well as leading the acquisition of 7 LTAC hospitals.



Gina Thomas
Chief Development Officer & Public Relations Officer

- 40+ years of healthcare expertise holding a number of clinical and leadership roles in non-profit acute care hospitals, and for-profit, public, and private organizations.
- At Nobis, Gina has executive oversight for new market development, partnerships, and corporate communication and digital marketing.
- The early portion of her career was devoted to clinical roles at 11 different healthcare organizations.

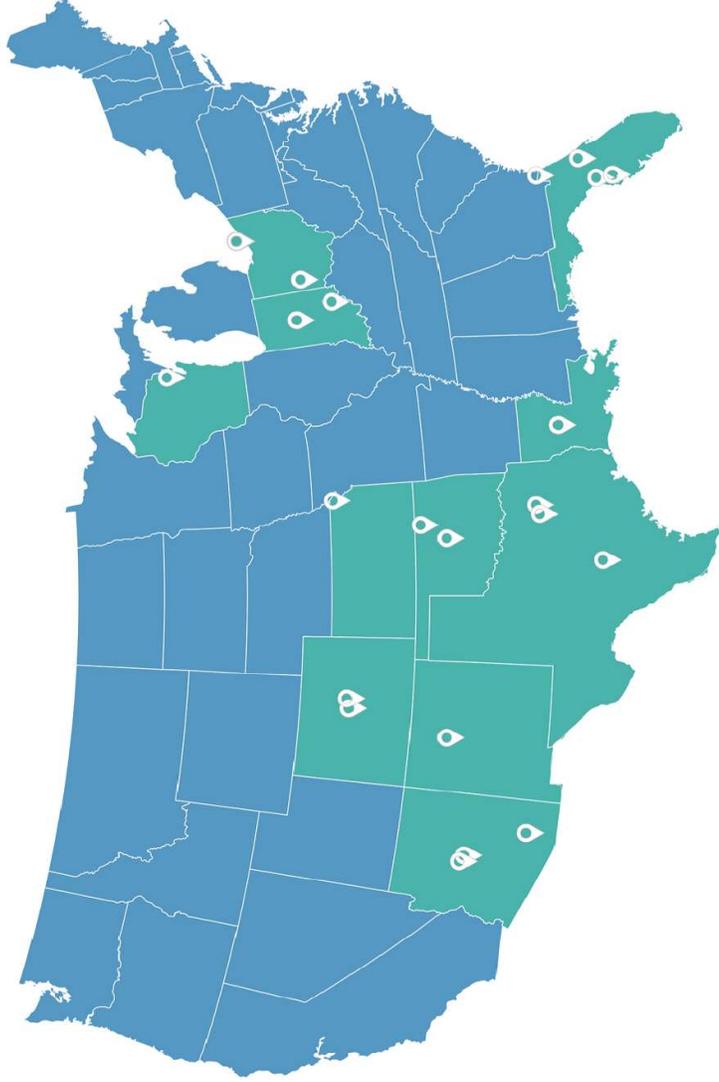


Christopher Bergh
Chief Operating Officer

- 25+ years of healthcare leadership expertise in post-acute operations, budgetary accountability and marketing for multiple inpatient rehabilitation hospitals and long-term acute care hospitals.
- At Nobis, Chris has executive oversight for all hospital operations and corporate leadership in therapy, nursing, pharmacy, sales, and managed care.
- Chris served previously as the EVP at Ernest Health over 24 inpatient rehab hospitals and 7 long-term acute care hospitals

Nobis Managed Hospitals

Nobis partners with 4 different investors for the hospital development has opened 16 hospitals over the last 3 years. Nobis will open 2 more by end of 2024. Beyond 2024: We have another 5 under development with the latest announcement in Albuquerque and we are planning future growth beyond these.



Hospital Name	City/State	Status
Indianapolis Rehabilitation Hospital	Carmel, IN	2021
Reunion Rehabilitation Hospital Denver	Denver, CO	2021
Reunion Rehabilitation Hospital Phoenix	Phoenix, AZ	2022
Shreveport Rehabilitation Hospital	Shreveport, LA	2022
Reunion Rehabilitation Hospital Inverness	Englewood, CO	2022
Milwaukee Rehabilitation Hospital	Milwaukee, WI	2022
Johnson County Rehabilitation Hospital	Overland Park, KS	2022
Tulsa Rehabilitation Hospital	Tulsa, OK	2022
Oklahoma City Rehabilitation Hospital	Oklahoma City, OK	2022
Reunion Rehabilitation Hospital Peoria	Peoria, AZ	2023
Reunion Rehabilitation Hospital Arlington	Arlington, TX	2023
Reunion Rehabilitation Hospital Plano	Plano, TX	2023
San Antonio Rehabilitation Hospital	San Antonio, TX	2023
Cincinnati Rehabilitation Hospital	Cincinnati, OH	2023
Reunion Rehabilitation Hospital Jacksonville	Jacksonville, FL	2023
Orlando Rehabilitation Hospital	Orlando, FL	2024
Florida Rehabilitation Hospital at Tampa	Tampa, FL	2024
Bradenton Rehabilitation Hospital	Bradenton, FL	2025
Tucson Rehabilitation Hospital	Tucson, AZ	2025
Clarksville Rehabilitation Hospital	Clarksville, IN	2025
Cleveland Rehabilitation Hospital at Seven Hills	Seven Hills, OH	2025
Albuquerque Rehabilitation Hospital	Albuquerque, NM	2025

D) STAFF INFORMATION

April 25, 2024

TO: Sergio Lozoya
Tierra West, LLC

FROM: Megan Jones, Principal Planner
Vicente Quevedo, Senior Planner
City of Albuquerque Planning Department

TEL: (505) 924-3352

RE: PR-2024-009765, SI-2024-00468, Gateway Center/1100 Woodward Pl NE Site Plan-EPC, Major Amendment

We've completed a first review of the proposed amendment and Site Plan. We would like to discuss the request, have a few questions, and suggested revisions. We're available to answer questions about the process and requirements. Please provide the following:

⇒ A revised project letter (one electronic copy)

⇒ Revised Site Plan Drawings (one 24x36 hard copy & one electronic copy)

by 9 AM on May 1, 2024.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though We've done our best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. This is what we have for the legal description:
 - a. All or a portion of Tract A, Plat of Gateway Subdivision; Tract B-1, Plat of Tract B-1, Gateway Subdivision, A replat of Tracts B & C, Gateway Subdivision; Tract, D-1-B-1, Plat of Tract D-1-B-1 and D-1-B-2, Gateway Subdivision (being a replat of Tract D-1-B, Gateway Subdivision, Lots 16 and 17, Trotter Addition NO. 2 and A; and Tract D-1-A-1, Plat for Lots 1 & 2, Tract D-1-A-1, Gateway Subdivision (being a replat of Tract D-1-A, Gateway Subdivision & an unplatted parcel), between Mountain Rd, Lomas Blvd, Edith Blvd. and I-25 frontage, approximately 23 acres.

- C. It is our understanding that this is a request for a major amendment to the Gateway Center SDPS to amend the allowable use table for area 3 to permit a hospital use with the associated site plan for the rehab hospital to be reviews by the EPC. Are any other revisions proposed?

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is on May 16, 2024. Final staff reports will be available about one week prior, on May 9th.
- C. I will email you a copy of the agency comments once they are received and will forward any late ones to you.

3) Notification & Neighborhood Issues:

Notification requirements for a zone change are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 378). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.

- A. Please provide an updated buffer Map and proof of notice to property owners within 100' no later than Wednesday May 1, 2024
- B. It appears that a facilitated meeting was held on March 21, 2024 with SBMT. Can you please tell us about this meeting?
 - a. The facilitated meeting notes state: "SBNA objects to this interpretation of the IDO and does not agree that the 1994 site plan is controlling. This issue remains unresolved between the parties."
- C. Have you received any additional requests or held any meetings with community members since the meeting.
- D. Please let me know if you receive any additional comments. If you do, these will be included in our staff report.
- E. The sign posting period is 15 days prior and after the EPC hearing date from Wednesday May, 2023 to Friday May 31, 2024.

4) Project Letter:

- A. The project letter looks good, one item of note for the Planning Context section – Table 1, Zoning shows the zoning for the subject site as MX-M but then a purpose statement for the MX-H zone district is included at the bottom of page 3. The last paragraph of the History

section mentions a Zone Map Amendment. Please list the requested MX-H zone and move the MX-H purpose statement to the last paragraph of the History section. Also, consider re-reviewing the project letter in light of the recent LUHO recommendation to City Council.

5) Justification Criteria, goals & policies:

- A. Policy 4.1.1. Applicant is interpreting “distinct character” to mean varying intensity of land uses. Advise that applicant refrain from utilizing repealed SDP citations. See example below:
- “The now repealed Sector Development plan discusses how more intense uses should be located away from the residential areas. The site plan amendment would continue that intent and would encourage high quality development that is consistent with the distinct character of Santa Barbara / Martinez Town as described above. The request furthers Policy 4.1.1 Distinct Communities. As shown this site lies over 300 feet from the nearest resident and furthers that policy.”
- B. Goal 5.1 Centers and Corridors – Mentions the Central ABQ CPA and multi-modal network of corridors is mentioned but not detailed out. Recommend removing both references. Or, if the Central ABQ CPA will continue to be used as justification, additional detailed analysis throughout the policy justification section is warranted.
- C. Policy 5.1.1 Desired Growth – Consider revising statement to reference that the subject site is within 660 feet of 3 Major Transit Corridors. Also, consider removing the second paragraph that references surrounding communities, unless the rehabilitation facility staff has confirmed that residents from surrounding areas will specifically drive to the hospital to utilize their services?
- D. 5.1.1(c) – Consider revising statement regarding transit corridors. An additional reference to the Central ABQ CPA is mentioned (See item B above).
- E. 5.1.10 – Regarding Major transit corridor reference has changed to “within 660-feet of three Major Transit Corridors”. See item C above.
- F. Goal 5.2 – Complete Communities – How would this development foster a live, work, learn, shop and play together area? Consider removing Goal 5.2.
- G. 5.2.1(a) – Will local residents that need to utilize the rehab hospital’s services be walking or biking to the site?
- H. Goal 8.1 – Is the reference to the Central ABQ CPA report with related to businesses and talent staying and thriving, or ensuring a variety of land uses? This is unclear per the justification language. Is the applicant able to detail how the proposed development will in fact create jobs for a range of workers and recruit local talent?
- I. Goal 8.2 – Not sure how this goal fits related to the justification. Entrepreneurship usually relates to new and innovative business ventures which a rehab hospital does not necessarily fit within. There is another reference to the Central ABQ CPA boundary but this time it states that the subject site is near rather than within the boundary. Consider removing Goal 8.2.

- J. Criterion C – Project letter states that the site plan “complies with all applicable provisions of this IDO”. Applicant is required to provide a more detailed response than the one provided, please expand on how the development is compliant with the controlling site development plan versus the IDO and what provisions of the IDO are being followed.

6) Site Plan Drawing Review

A. Site Plan Sheet

1. Please provide a list of what development standards are being followed by the controlling site plan. Where the site plan is silent IDO standards apply.
2. Parking spaces shall be Setback 20-feet from the ROW pursuant to IDO 5-5(F)
3. Please provide dimensions for all Setbacks
4. The listed land use on the site plan sheet is incorrect. The use should be “Hospital”
5. The note on the site plan sheets shall specify that this is an amendment to Area 3 of the controlling site plan for “Tract A” only.
6. The Scale seems off. sidewalk is measuring at 15’. Please confirm. The width of the sidewalk is listed as 5’
7. Table 5-3-1 Required walkway width shall be 11’ wide along the street facing façade if there’s a pedestrian entrance. Please confirm or revise.
8. IDO 5-3(D)(3)(c) ensure that materials to alert motorists is met
9. Is there an access point off of mountain road? The drawing is hard to read at this location. Please explain.
10. Did you find out if the Route 5 bus stop on mountain has a peak service of 30-45 minutes? Is that why you are claiming a transit reduction to parking.
11. Missing 1 motorcycle parking space per table 5-5-4.

B. Landscape Plan

1. Total lot area is off. Should be 119,790 according to the acreage of 2.75 provided. The acreage calculated should be 2.78 acres.
2. Building GFA does not match the site plan sheet. The building GFA 55098 is calculated as SF on the Landscape Plan.

3. Trees shall be in compliance with the street tree ordinance 25' a part. Please dimension.

C. Sign detail sheets

1. please label these as sign details with a title block similar to the rest of the drawing set.
2. All signs shall specify colors and materials.
3. Signs shall be pursuant to IDO section 14-16-5-12

D. Elevations

1. The East and west building elevations were missing from the print out, but they are in the electronic copy.
2. The west facing facade appears to have a door/entrance on the site plan, but there is no door on the elevation. Please revise or explain.

E. Detail sheet 1

1. Dumpster elevations shall include dimensions
2. Lighting shall be pursuant to IDO section 14-16-5-8
 - a. We cannot locate a light pole detail with dimensions. Light poles shall not be taller than 20' pursuant to IDO Table 5-8-1: Maximum Height for Light Poles
 - b. Wall scones and flood lights shall be pursuant to 5-8(D)(4) and 5-8(E)

Memo 2:

TO: Sergio Lozoya
Tierra West, LLC

FROM: Megan Jones, Principal Planner
Vicente Quevedo, Senior Planner
City of Albuquerque Planning Department

TEL: (505) 924-3352

RE: PR-2024-009765, SI-2024-00468, Gateway Center/1100 Woodward Pl NE Site Plan-EPC, Major Amendment

We conducted a re-review of the revised site plan drawings and there are several items that have not been addressed or still need updating. Please see the following and get a revised site plan set to us by:

Monday May 6th at 9:00 AM

The items that are not addressed will be added as conditions in the staff report.

A. Controlling SDP

1. Please submit the controlling SDP sheet which is page 2 of 5 (or page 4 in the set) with the signature block and most recent amendments.
2. Please provide an updated Land use Scenario table that reflects the requested land use/amendment.
3. Items 1-5 under Major Amendment look good.

B. Site Plan:

1. Please add a note similar to note 5 on the controlling site plan, to the Site Plan sheet so future reviewers know to look back at the controlling site plan.
2. Please update the title of the Controlling site plan from Gateway to Center City to "Gateway Center"
3. Building setbacks listed do not match the actual setbacks on the sheet. Please list out what they are and/or provide dimensions. It seems that what is listed are IDO standards, but is not specified.
4. Thanks for providing keyed note 19 specifying the screen wall, but the legend reflects this symbol as a sidewalk. Please update.

C. Landscape Plan: Landscape calculations are still off. Please update to reflect correct calculations:

Total lot area: 119.589 -

Building Footprint: 160068 =

total lot area: 103563 x .15 = Landscape required: 117,179 SF

- Off by almost 3000 SF.

- D. Detail sheet: Please provide a detail of the generator.
- E. Sign Sheet: Shall provide a note that sign standards are pursuant to IDO section 14-16-5-12
- F. Elevations: Please provide a west facing façade showing the door/entrance without the wall enclosure. Two elevations are fine specifying the wall, but since this enclosure is not a part and the screen wall is just attached, we need to see the full façade of the building.

E) PUBLIC NOTICE



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Major Amendment Site Plan EPC		
Decision-making Body: EPC		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application: 1100 Woodward Place NE 87102		
Name of property owner: JDHQ LAND HOLDING LLC C/O ATRIUM HOLDING COMPANY		
Name of applicant: Cross Development		
Date, time, and place of public meeting or hearing, if applicable:		
EPC May 16, 2024 at 8:40am		
Address, phone number, or website for additional information:		
slozoya@tierrawestllc.com		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 3.1.24 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Undeliverable: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To:kris042898@icloud.com <kris042898@icloud.com>

p00-iscream-smtp-6bc4d7b9c-bsf5q rejected your message to the following email addresses:

kris042898@icloud.com (kris042898@icloud.com)

Your message is larger than the size limit for messages. Please make it smaller and try sending it again.

p00-iscream-smtp-6bc4d7b9c-bsf5q gave this error: Message size exceeds fixed limit

Diagnostic information for administrators:

Generating server: DS7PR03MB5560.namprd03.prod.outlook.com

kris042898@icloud.com
p00-iscream-smtp-6bc4d7b9c-bsf5q
Remote server returned '552 5.3.4 Message size exceeds fixed limit'

Original message headers:

ARC-Seal: i=1; a=rsa-sha256; s=arcselector9901; d=microsoft.com; cv=none;

b=aylwjgFzFnKamrIQUBoIwBD0CTbICJyi1H5r7rsZT54cDbAx10vWLJgwZimG+Ju06WKzziIYNkG1tDCtpx50891NZuMddIJkAH3D
TdaE7cCk4T+UH55/vjXsSdUm7NSD7gHmV1Qy0xzHx77/18nzfNKEWE9C8YhsAiTPbgR2tU2t9VvGQXyRtB+1ypVHeAegRwuCVuz8e3
IQZmPBpWZDbcSskAx0wx00SjypJu0wfPSo33dFQn+mvZ23yPZRWamU8imnw5kncmSA1I6fGKgQBtpJwM2h/M15qAB9IoMq39nMXYa0
wW8vuY15FbpCZYtcqcq/IkLm7Uki1/DbcYUgw==

ARC-Message-Signature: i=1; a=rsa-sha256; c=relaxed/relaxed; d=microsoft.com;
s=arcselector9901;

h=From:Date:Subject:Message-ID:Content-Type:MIME-Version:X-MS-Exchange-AntiSpam-MessageData-
ChunkCount:X-MS-Exchange-AntiSpam-MessageData-0:X-MS-Exchange-AntiSpam-MessageData-1;
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LNj5QTCKmWNZayIzJj5y8CrpDOUzBIOafu4110FhJLrJ74DgxpT85wLpyDiCqWj0g+i4njZxIOcZe+7+IFr3PwPIVW9ie7oEyPI1E/
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+Ejr9/ZiCRwUmSSMTgKGwmVQwv0ZweiqbklJoQ==

ARC-Authentication-Results: i=1; mx.microsoft.com 1; spf=pass
smtp.mailfrom=tierrawestllc.com; dmarc=pass action=none
header.from=tierrawestllc.com; dkim=pass header.d=tierrawestllc.com; arc=none

Received: from BN7PR03MB3681.namprd03.prod.outlook.com (2603:10b6:406:ce::22)
by DS7PR03MB5560.namprd03.prod.outlook.com (2603:10b6:5:2d0::17) with
Microsoft SMTP Server (version=TLS1_2,
cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384) id 15.20.7409.55; Wed, 10 Apr

Relayed: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To: martinez.renee@gmail.com <martinez.renee@gmail.com>

 1 attachments (18 KB)

[#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice;

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

martinez.renee@gmail.com (martinez.renee@gmail.com).

Subject: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

From: Office of Neighborhood Coordination
To: Sergio Lozoya
Subject: 1100 WOODWARD PL NE - Neighborhood Meeting Inquiry Sheet Submission
Date: Tuesday, April 9, 2024 12:21:29 PM
Attachments: image001.png
Zone Atlas - Gateway Center for Subdivision.onx

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Citizens Information Committee of Martineztown	Kristi	Houde	kris042898@icloud.com	617 Edith Boulevard NE	#8	Albuquerque	NM	87102	5053661439	
Citizens Information Committee of Martineztown	Renee	Martinez Naranjo	martinez.renee@gmail.com	515 Edith Boulevard NE		Albuquerque	NM	87102	5054108122	5052474605
Santa Barbara Martineztown NA	Loretta	Lopez	Injalopez@msn.com	1127 Walter NE		Albuquerque	NM	87102		5052707716
Santa Barbara Martineztown NA	Theresa	Illgen	theresa.illgen@aps.edu	214 Prospect NE		Albuquerque	NM	87102		5055048620

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://do.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, April 9, 2024 11:02 AM
To: Office of Neighborhood Coordination <slozoya@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
Environmental Planning Commission
If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:
Contact Name
Sergio Lozoya
Telephone Number
5052787088
Email Address
slozoya@tierrawestllc.com
Company Name
Tierra West LLC
Company Address
5571 Midway Park Place NE
City
Albuquerque
State
NM
ZIP
87109

Legal description of the subject site for this project:

There are four parcels that are part of the subject site:

1. Project Site

Situs Address: 1100 WOODWARD PL NE ALBUQUERQUE NM 87102

Legal Description: TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC

2. Tricore

Situs Address: 1001 WOODWARD PL NE ALBUQUERQUE NM 87102

Legal Description: TR D-1-A-1 PLAT FOR LOTS 1 & 2 TR D-1-A-1 GATEWAY SUBD (BEING A REPLAT OF TR D-1-A GATEWAY SUBD & AN UNPLATTED PARCEL) CONT 8.3708 AC

3. New Heart Inc

Situs Address: 600 LOMAS BLVD NE ALBUQUERQUE NM 87102

Legal Description: TR D1B1 PLAT OF TRACT D-1-B-1 AND D-1-B-2 GATEWAY SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, GATEWAY SUBDIVISION, LOTS 16 AND 17, TROTTER ADDITION NO.2 AND A

4. Embassy Suites

Situs Address: 1000 WOODWARD PL NE ALBUQUERQUE NM 87102 2704

Legal Description: TR B-1 PLAT OF TRACT B-1 GATEWAY SUBDIVISION A REPLAT OF TRACTS B & C GATEWAY SUBDIVISION CONT 9.3316 AC

Physical address of subject site:

1100 WOODWARD PL NE ALBUQUERQUE NM 87102

Subject site cross streets:

Mountain and Woodward

Other subject site identifiers:

This site is located on the following zone atlas page:

J-15-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 4/4/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Santa Barbara Martineztown NA

Name of NA Representative*: Loretta Naranjo Lopez

Email Address* or Mailing Address* of NA Representative¹: Injalopez@msn.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1100 Woodward PI NE
Location Description Tract A Plat of Gateway Subdivision
2. Property Owner* JDHQ Land Holding LLC C/O Atrium Holding Company
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Major Amendment to controlling Gateway Center site plan to allow for
Hospital Use for subject site

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- ▣ a. Location of proposed buildings and landscape areas.*
 - ▣ b. Access and circulation for vehicles and pedestrians.*
 - ▣ c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - ▣ e. **For non-residential development***:
 - ▣ Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - ▣ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.7845 Acres
 2. IDO Zone District MX-H (Appealed, previously MX-M)
 3. Overlay Zone(s) [if applicable] Martineztown/Santa Barbara - CPO-7
 4. Center or Corridor Area [if applicable] Mountain Rd and I-25 Frontage Corridors
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 4/4/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Santa Barbara Martineztown NA

Name of NA Representative*: Theresa Illgen

Email Address* or Mailing Address* of NA Representative¹: theresa.illgen@aps.edu

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1100 Woodward PI NE
Location Description Tract A Plat of Gateway Subdivision
2. Property Owner* JDHQ Land Holding LLC C/O Atrium Holding Company
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Major Amendment to controlling Gateway Center site plan to allow for
Hospital Use for subject site

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - ▣ a. Location of proposed buildings and landscape areas.*
 - ▣ b. Access and circulation for vehicles and pedestrians.*
 - ▣ c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - ▣ e. **For non-residential development***:
 - ▣ Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - ▣ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 2.7845 Acres
 - 2. IDO Zone District MX-H (Appealed, previously MX-M)
 - 3. Overlay Zone(s) [if applicable] Martineztown/Santa Barbara - CPO-7
 - 4. Center or Corridor Area [if applicable] Mountain Rd and I-25 Frontage Corridors
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 4/10/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Citizens Informaton Committee of Martineztown

Name of NA Representative*: Renee Martinez

Email Address* or Mailing Address* of NA Representative¹: martinez.renee@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1100 Woodward PI NE
Location Description Tract A Plat of Gateway Subdivision
2. Property Owner* JDHQ Land Holding LLC C/O Atrium Holding Company
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Major Amendment to controlling Gateway Center site plan to allow for
Hospital Use for subject site

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- ▣ a. Location of proposed buildings and landscape areas.*
 - ▣ b. Access and circulation for vehicles and pedestrians.*
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 - d. **For residential development***: Maximum number of proposed dwelling units.
 - ▣ e. **For non-residential development***:
 - ▣ Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - ▣ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.7845 Acres
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 4. Center or Corridor Area [if applicable] Mountain Rd and I-25 Frontage Corridors
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

CC: Santa Barbara/Martineztown Neighborhood Association [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 4/10/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Citizens Informaton Committee of Martineztown

Name of NA Representative*: Kristi Houde

Email Address* or Mailing Address* of NA Representative¹: kris042898@icloud.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1100 Woodward PI NE
Location Description Tract A Plat of Gateway Subdivision
2. Property Owner* JDHQ Land Holding LLC C/O Atrium Holding Company
3. Agent/Applicant* [if applicable] Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Other: _____

Summary of project/request²*:

Major Amendment to controlling Gateway Center site plan to allow for
Hospital Use for subject site

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- ▣ a. Location of proposed buildings and landscape areas.*
 - ▣ b. Access and circulation for vehicles and pedestrians.*
 - ▣ c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - ▣ e. **For non-residential development***:
 - ▣ Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - ▣ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.7845 Acres
 2. IDO Zone District MX-H (Appealed, previously MX-M)
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- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

CC: Santa Barbara/Martineztown Neighborhood Association [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[#2023123] 1100 Woodward PI - Notice of Submittal

Adam Johnstone <AJohnstone@tierrawestllc.com>

Thu 4/4/2024 9:27 AM

To: Injalopez@msn.com <Injalopez@msn.com>;theresa.illgen@aps.edu <theresa.illgen@aps.edu>

Cc: Sergio Lozoya <SLozoya@tierrawestllc.com>; Donna Bohannan <djb@tierrawestllc.com>

 6 attachments (17 MB)

3 - Zone Atlas J-15-Z.pdf; 13 - Site Plan.pdf; DRB-94-183 (2).pdf; Elevations 3.18.24.pdf; Loretta Naranjo Lopez Notice.pdf; Theresa Illgen Notice.pdf;

Good morning, SBMTNA representatives,

Attached is a notice of submittal for the 1100 Woodward PI project, along with the Zone Atlas Map and related drawings.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



[#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Adam Johnstone <AJohnstone@tierrawestllc.com>

Wed 4/10/2024 9:27 AM

To:kris042898@icloud.com <kris042898@icloud.com>

Cc:Sergio Lozoya <SLozoya@tierrawestllc.com>;Donna Bohannan <djb@tierrawestllc.com>;martinez.renee@gmail.com <martinez.renee@gmail.com>

 4 attachments (2 MB)

Kristi Houde Meeting Request.pdf; Kristi Houde Submittal Notice.pdf; 13 - Site Plan.pdf; Elevations 3.18.24.pdf;

Kristi,

Attached is both a meeting request and submittal notice for the aforementioned project, along with relevant attachments. I had sent both you and Renee Martinez an email containing this, but it was not delivered to you due to a message size limitation. I have not attached the Zone Atlas Map or the controlling site plan as they were too large - they are both attached to the email successfully sent to Renee earlier today.

Please let us know if you have any questions.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



Delivered: [#2023123] 1100 Woodward PI - Notice of Submittal

postmaster@outlook.com <postmaster@outlook.com>

Thu 4/4/2024 9:31 AM

To:Injalopez@msn.com <Injalopez@msn.com>

 1 attachments (30 KB)

[#2023123] 1100 Woodward PI - Notice of Submittal;

Your message has been delivered to the following recipients:

[Injalopez@msn.com \(Injalopez@msn.com\)](mailto:Injalopez@msn.com)

Subject: [#2023123] 1100 Woodward PI - Notice of Submittal

Relayed: [#2023123] 1100 Woodward PI - Notice of Submittal

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Thu 4/4/2024 9:27 AM

To:theresa.illgen@aps.edu <theresa.illgen@aps.edu>

 1 attachments (18 KB)

[#2023123] 1100 Woodward PI - Notice of Submittal;

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

theresa.illgen@aps.edu (theresa.illgen@aps.edu)

Subject: [#2023123] 1100 Woodward PI - Notice of Submittal

Re: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Renee Martinez <martinez.renee@gmail.com>

Wed 4/10/2024 11:42 AM

To: Adam Johnstone <AJohnstone@tierrawestllc.com>; Kristi Houde <kris042898@icloud.com>; Roslyn Kloeppel <roslyn_kloeppel@live.com>; Sergio Viscoli <Sviscoli@yahoo.com>; susanhobson95@Yahoo.com <susanhobson95@yahoo.com>; Meghan Martinez <meghan.martinez@gmail.com>

Thanks Adam,

I will look at the documents and share them with the CICM board. The document seems too large to send on its own.

Renee Martinez, CICM president.

martinez.renee@gmail.com

On Wed, Apr 10, 2024 at 9:21 AM Adam Johnstone <AJohnstone@tierrawestllc.com> wrote:

Good morning, Citizens Information Committee of Martineztown representatives,

Attached are both Meeting Requests and Submittal Notices for the aforementioned project, along with all relevant materials. Please let us know if you have any questions.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



Relayed: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To:martinez.renee@gmail.com <martinez.renee@gmail.com>

 1 attachments (18 KB)

[#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice;

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

martinez.renee@gmail.com (martinez.renee@gmail.com).

Subject: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

Undeliverable: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Microsoft Outlook <MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:27 AM

To:kris042898@icloud.com <kris042898@icloud.com>

1 attachments (2 MB)

[#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice;



Your message to kris042898@icloud.com couldn't be delivered.

Security or policy settings at icloud.com have rejected your message.

AJohnstone

Office 365

icloud.com

Sender

Action Required

Security or policy violation

How to Fix It

The recipient's email server won't accept your message because it appears to violate their security or policy settings. Check the **Reported error** below to see if you can determine why it was blocked. Then try one or more of the following:

- If the error mentions SPF, DKIM, or DMARC issues, forward this message to your email admin for assistance.
- The recipient's email server might suspect that your message is spam. Follow the guidance in this article: [E-mailing Best Practices for Senders](#). Then resend your message.
- If the error suggests your message is too large, try to reduce the size of your attachment. If that isn't possible, place the file on a publicly accessible cloud storage location, like OneDrive. Then add a link to the file in your message, and resend the message.
- Contact the recipient (by phone, for example) and tell them to ask their email admin to add you or your email domain to their allowed senders list.

If the problem continues, forward this message to your email admin. If you're an email admin, refer to the **More Info for Email Admins** section below.

Was this helpful? [Send feedback to Microsoft](#).

More Info for Email Admins

Status code: 550 5.7.1

This error occurs when the recipient's domain has security or policy settings that reject the sender's message. However, we were unable to determine the specific setting that's causing this rejection. Usually the error is reported by an email server outside of Office 365. Common issues include the following: the receiving server suspects the message is malicious or spam; the Sender Policy Framework (SPF) record for tierrawestllc.com is incorrectly configured or doesn't exist; or the message includes an attachment larger than the receiving server will accept. Try one or more of the following:

Review the reported error - Check the **Reported error** shown below to help determine what the issue might be. For example, if the issue is related to an SPF failure, the reported error will usually include the acronym "SPF" or the phrase "Sender Policy Framework."

Correctly configure your SPF records - If you're the sender's email admin, make sure your domain's SPF records at your domain registrar are properly configured. Office 365 supports only one SPF record (a TXT record that defines SPF) for your domain. Include

the following domain name: **spf.protection.outlook.com**. If you have a hybrid configuration (some mailboxes in the cloud and some mailboxes on premises) or if you're an Exchange Online Protection standalone customer, add the outbound IP address of your on-premises servers to the TXT record. To learn how, see [Customize an SPF record to validate outbound email sent from your domain](#) and [External Domain Name System records for Office 365](#).

Unable to relay - If the **Reported error** indicates a problem with relaying (e.g. "unable to relay"), then the email server that reported the error likely isn't set up correctly to receive and relay messages from the sender's domain. This server will usually be one of your on-premises servers in a hybrid environment, a smart host email service that you're trying to route messages through, or possibly even an email hosting service you used in the past yet still have mail flow settings pointing to (e.g. your MX record at your domain registrar still points to your previous email service provider). Check **Error reported by** shown below to determine what domain, service, or server is reporting the error. The email server needs to be configured to either accept messages from anonymous users or to include the sending domain or IP in its list of authenticated senders. On an Exchange server, you can set this up in the server's receive connector. If it's a smart host managed by another service or partner, contact the service or partner to configure their servers to accept and relay messages from your senders. Also, work with your domain registrar to make sure your MX records are properly configured.

Contact the recipient's email admin - For some scenarios, you can fix the issue by contacting the email admin at the recipient domain to ask them to add the sender's email address or your domain to their allowed senders list, or to relax the setting that's causing the rejection.

For more information and tips for fixing this issue, see [Fix email delivery issues for error code 5.7.1 in Office 365](#).

Original Message Details

Created Date: 4/10/2024 3:27:32 PM
Sender Address: AJohnstone@tierrawestllc.com
Recipient Address: kris042898@icloud.com
Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Error Details

Error: 554 5.7.1 [CS01] Message rejected due to local policy. Please visit <https://support.apple.com/en-us/HT204137>
Message rejected by: p00-iscream-smtp-6bc4d7b9c-ph2c5

Notification Details

Sent by: DS7PR03MB5560.namprd03.prod.outlook.com

Message Hops

HOP	TIME (UTC)	FROM	TO	WITH	RELAY TIME
1	4/10/2024 3:27:32 PM	BN7PR03MB3681.namprd03.prod.outlook.com	BN7PR03MB3681.namprd03.prod.outlook.com	map	*
2	4/10/2024 3:27:32 PM	BN7PR03MB3681.namprd03.prod.outlook.com	DS7PR03MB5560.namprd03.prod.outlook.com	Microsoft SMTP Server (version=TLS1_2, cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384)	*

Original Message Headers

ARC-Seal: i=1; a=rsa-sha256; s=arcselector9901; d=microsoft.com; cv=none;
b=SGywjBNjgDPeFaOUTBJMiBNwns1xDX9WwrXLtzy6PAu+MqpWxeS/awKYVr01sshPs22y5FiMTmQTEvUAYXBIRSGrS1j11rsPA5KgYV8TMjG+RctkiFgmfj01v0KrV1qn7iaoMZITQJpMwx162VDwmxDWBfS5ekygiLT+XTw42XorTJJJFbDc3aNNP9MHuoz3ld1E/IAUDA88NCEwVK18LRKHyoDatrVY1ArU+UTHx1er1jndIQBnZ12oV+9rgig/BbpWa3VLUYtIMsmfUgIp0E7zfw02zKHUEGvrMNgjwBI11srhGAPgPDBSJx1iCKR7nWjT0kSmm/C6DGIWhrTEHQ==
ARC-Message-Signature: i=1; a=rsa-sha256; c=relaxed/relaxed; d=microsoft.com; s=arcselector9901;
h=From:Date:Subject:Message-ID:Content-Type:MIME-Version:X-MS-Exchange-AntiSpam-MessageData-ChunkCount:X-MS-Exchange-AntiSpam-MessageData-0:X-MS-Exchange-AntiSpam-MessageData-1;
bh=WuMw0tbtWs0YVoz7YED80JVf9Xxc9dRX6t6wZfE+Ws=;
b=hnmJk0du9xEcQrjbopYKwWTxbaYjyfpTtLrjVeThFITBiP/MeNI20QD94kwzPjFbn8xw1l8MEpYBR0Jq22GNsKIvc1DB0It25cAPuW9DqmkWw3/MaEfCLV4FNiHzTsdBtaC1IMSr0fNXJ7o7A+yU1cmGjFBCxYi++KLSb7YcJX/2s/6mwMKa0pVRRziZpt1G08E8U979CQmqCoZfsKrycFNDcuQYAzFF61oiiArDrcEPg

4o6yKeKQh2HS1kLCA4r0SxHbN8knBB55RpqKBAI85QNztc7t7IPnq2ZL/2biVnChnpZ0Quordd6Q0rOtUrOQz0GX4Hg0GKpjEkqb1ZQQ==

ARC-Authentication-Results: i=1; mx.microsoft.com 1; spf=pass smtp.mailfrom=tierrawestllc.com; dmarc=pass action=none header.from=tierrawestllc.com; dkim=pass header.d=tierrawestllc.com; arc=none Received: from BN7PR03MB3681.namprd03.prod.outlook.com (2603:10b6:406:ce::22) by DS7PR03MB5560.namprd03.prod.outlook.com (2603:10b6:5:2d0::17) with Microsoft SMTP Server (version=TLS1_2, cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384) id 15.20.7409.55; Wed, 10 Apr 2024 15:27:32 +0000

Received: from BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2]) by BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2%4]) with mapi id 15.20.7409.053; Wed, 10 Apr 2024 15:27:32 +0000

From: Adam Johnstone <AJohnstone@tierrawestllc.com>
To: "kris042898@icloud.com" <kris042898@icloud.com>
CC: Sergio Lozoya <SLozoya@tierrawestllc.com>, Donna Bohannan <djb@tierrawestllc.com>, "martinez.renee@gmail.com" <martinez.renee@gmail.com>

Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice
Thread-Topic: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Index: AQHai1sb19AP8i40fkWH8vbUG+FdmA==
Return-Receipt-To: <AJohnstone@tierrawestllc.com>
Date: Wed, 10 Apr 2024 15:27:32 +0000

Message-ID: <BN7PR03MB36810E1EFA9DE809EF695BC5DB062@BN7PR03MB3681.namprd03.prod.outlook.com>
Accept-Language: en-US
Content-Language: en-US

X-MS-Has-Attach: yes
X-MS-TNEF-Correlator:

msip_labels:
x-ms-publictraffictype: Email
x-ms-traffictypediagnostic: BN7PR03MB3681:EE_|DS7PR03MB5560:EE_
x-ms-exchange-senderadcheck: 1
x-ms-exchange-antispam-relay: 0
x-microsoft-antispam: BCL:0;
x-microsoft-antispam-message-info:

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x-forefront-antispam-report:

CIP: 255.255.255.255; CTRY: ; LANG: en; SCL: 1; SRV: ; IPV: NLI; SFV: NSPM; H: BN7PR03MB3681.namprd03.prod.outlook.com; PTR: ; CAT: NONE; SF
S: (13230031)(1800799015)(376005)(366007); DIR: OUT; SFP: 1102;

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=?iso-8859-1?Q?3D=3D?=?

Content-Type: multipart/mixed;
boundary=" _009_BN7PR03MB36810E1EFA9DE809EF695BC5DB062BN7PR03MB3681nampr_"
MIME-Version: 1.0

X-OriginatorOrg: tierraestllc.com
X-MS-Exchange-CrossTenant-AuthAs: Internal
X-MS-Exchange-CrossTenant-AuthSource: BN7PR03MB3681.namprd03.prod.outlook.com
X-MS-Exchange-CrossTenant-Network-Message-Id: 265d1851-f7bf-44a9-7556-08dc5972bde2
X-MS-Exchange-CrossTenant-originalarrivaltime: 10 Apr 2024 15:27:32.4101
(UTC)
X-MS-Exchange-CrossTenant-fromentityheader: Hosted
X-MS-Exchange-CrossTenant-id: 0148d582-3a5e-4f85-83d7-6c0b6269b5f0
X-MS-Exchange-CrossTenant-mailboxtype: HOSTED
X-MS-Exchange-CrossTenant-userprincipalname:
OxiLub8VsnJQCL2x4l3vsZULWmg1o1Cm/xgs5xh2tbrk1EPet3RyWzqLiE14jdDGBTr5ftxZsnLQgcrQE0Vv3I4mUCOC3gR4WejC2n9REsc=
X-MS-Exchange-Transport-CrossTenantHeadersStamped: DS7PR03MB5560

Undeliverable: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To:kris042898@icloud.com <kris042898@icloud.com>

p00-iscream-smtp-6bc4d7b9c-bsf5q rejected your message to the following email addresses:

kris042898@icloud.com (kris042898@icloud.com)

Your message is larger than the size limit for messages. Please make it smaller and try sending it again.

p00-iscream-smtp-6bc4d7b9c-bsf5q gave this error: Message size exceeds fixed limit

Diagnostic information for administrators:

Generating server: DS7PR03MB5560.namprd03.prod.outlook.com

kris042898@icloud.com

p00-iscream-smtp-6bc4d7b9c-bsf5q

Remote server returned '552 5.3.4 Message size exceeds fixed limit'

Original message headers:

ARC-Seal: i=1; a=rsa-sha256; s=arcselector9901; d=microsoft.com; cv=none;

b=aylwjgFZFnKamrIQUBoIwBD0CTbICJyi1H5r7rsZT54cDbAx10vWLJgwZimG+Ju06WKzziIYNkG1tDCtpx50891NZuMddIJkAH3D
TdaE7cCk4T+UH55/vjXsSdUm7NSD7gHmV1Qy0xzHx77/18nzfNKEWE9C8YhsAiTPbgR2tU2t9VvGQXyRtB+1ypVHeAegRwuCVuz8e3
IQZmPBpWZDbcSskAx0wx00SjypJu0wfPSo33dFQn+mvZ23yPZRWamU8imnw5kncmSA1I6fGKgQBtpJwM2h/M15qAB9IoMq39nMXYa0
wW8vuY15FbpCZYtcqcq/IkLm7Uki1/DbcYUgw==

ARC-Message-Signature: i=1; a=rsa-sha256; c=relaxed/relaxed; d=microsoft.com;
s=arcselector9901;

h=From:Date:Subject:Message-ID:Content-Type:MIME-Version:X-MS-Exchange-AntiSpam-MessageData-
ChunkCount:X-MS-Exchange-AntiSpam-MessageData-0:X-MS-Exchange-AntiSpam-MessageData-1;
bh=jR2p+N3ziae33gALUbuFkHAMuWTKqNr7NPD19Ooryxs=;

b=dBu6uIamdAh36K7I6I4Ajjy80rpE7lGRqAzu+E3dHfCi2vSp7p4+JGHTHxoXzanFK57S2lu1Mg/Dvn70lpJZmCVJ/nLZa+y3uy3v+
LNj5QTCKmWNZayIzJj5y8CpD0UzBIOafu4110FhJLrJ74DgxpT85wLpyDiCqWj0g+i4njZxIOcZe+7+IFr3PwPIVW9ie7oEyPI1E/
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+Ejr9/ZiCRwUmSSMTgKGmVQwv0ZweiqbklJoQ==

ARC-Authentication-Results: i=1; mx.microsoft.com 1; spf=pass
smtp.mailfrom=tierrawestllc.com; dmarc=pass action=none
header.from=tierrawestllc.com; dkim=pass header.d=tierrawestllc.com; arc=none

Received: from BN7PR03MB3681.namprd03.prod.outlook.com (2603:10b6:406:ce::22)
by DS7PR03MB5560.namprd03.prod.outlook.com (2603:10b6:5:2d0::17) with
Microsoft SMTP Server (version=TLS1_2,
cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384) id 15.20.7409.55; Wed, 10 Apr

2024 15:20:43 +0000

Received: from BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2]) by BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2%4]) with mapi id 15.20.7409.053; Wed, 10 Apr 2024 15:20:43 +0000

From: Adam Johnstone <AJohnstone@tierrawestllc.com>
To: "kris042898@icloud.com" <kris042898@icloud.com>, "martinez.renee@gmail.com" <martinez.renee@gmail.com>

CC: Sergio Lozoya <SLozoya@tierrawestllc.com>, Donna Bohannan <djb@tierrawestllc.com>

Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Topic: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Index: AQHai1omhIF2MTbA+E0Jn/zhByrbpg==

Return-Receipt-To: <AJohnstone@tierrawestllc.com>

Date: Wed, 10 Apr 2024 15:20:42 +0000

Message-ID: <BN7PR03MB36816643D08BE38B27E49918DB062@BN7PR03MB3681.namprd03.prod.outlook.com>

Accept-Language: en-US

Content-Language: en-US

X-MS-Has-Attach: yes

X-MS-TNEF-Correlator:

msip_labels:

x-ms-publictraffictype: Email

x-ms-trafficdiagnostic: BN7PR03MB3681:EE_|DS7PR03MB5560:EE_

x-ms-exchange-senderadcheck: 1

x-ms-exchange-antispam-relay: 0

x-microsoft-antispam: BCL:0;

x-microsoft-antispam-message-info:

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x-forefront-antispam-report:

CIP: 255.255.255.255; CTRY: ; LANG: en; SCL: 1; SRV: ; IPV: NLI; SFV: NSPM; H: BN7PR03MB3681.namprd03.prod.outlook.com; PTR: ; CAT: NONE; SFS: (13230031)(1800799015)(376005)(366007); DIR: OUT; SFP: 1102;

x-ms-exchange-antispam-messagedata-chunkcount: 1

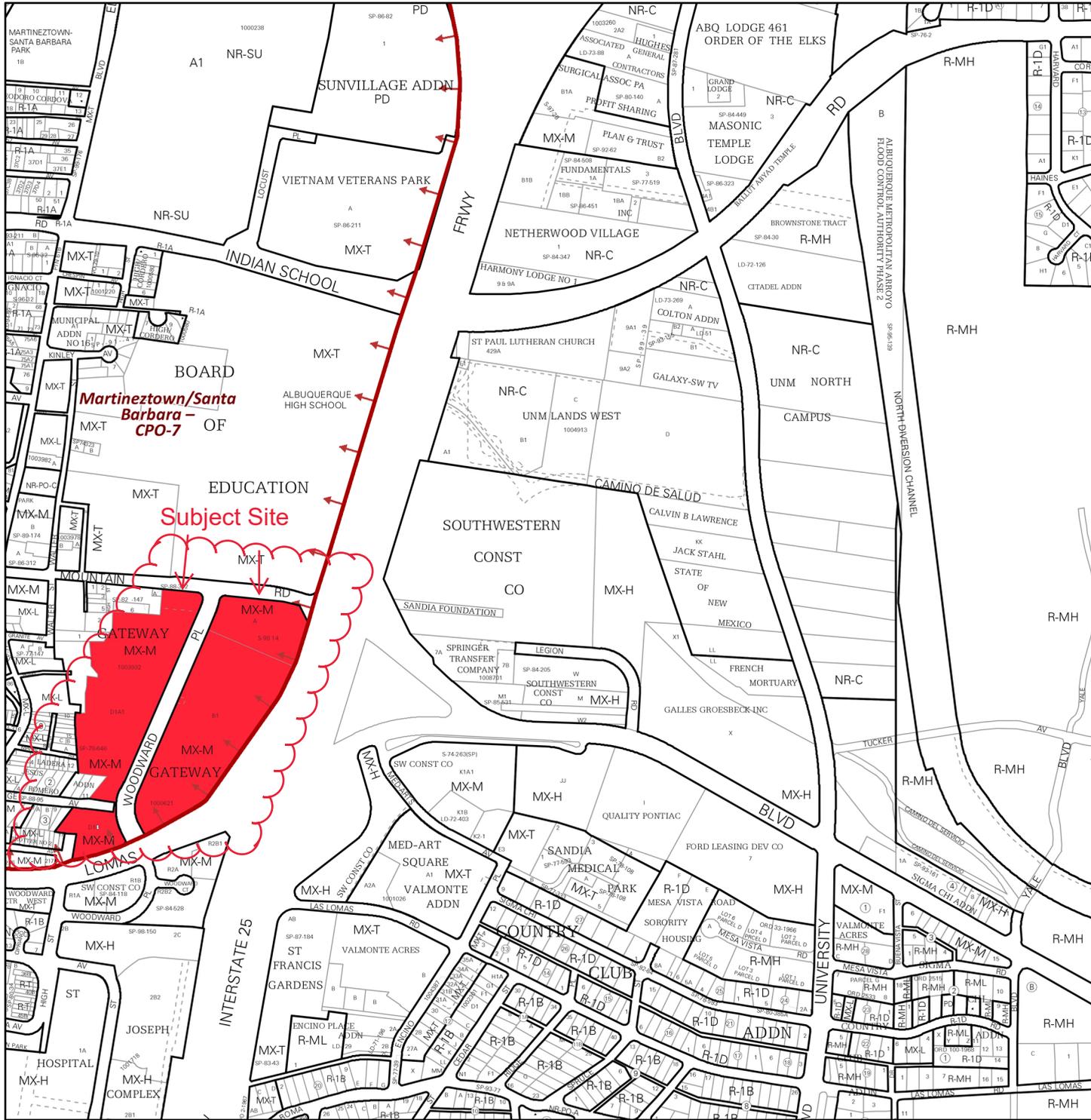
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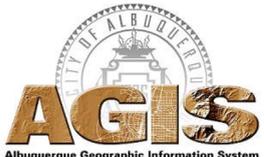
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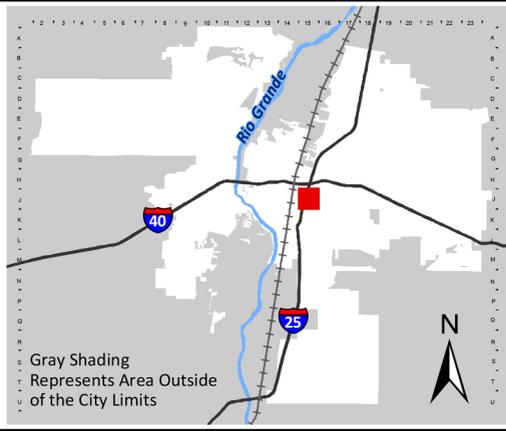


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

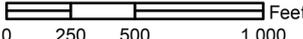


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



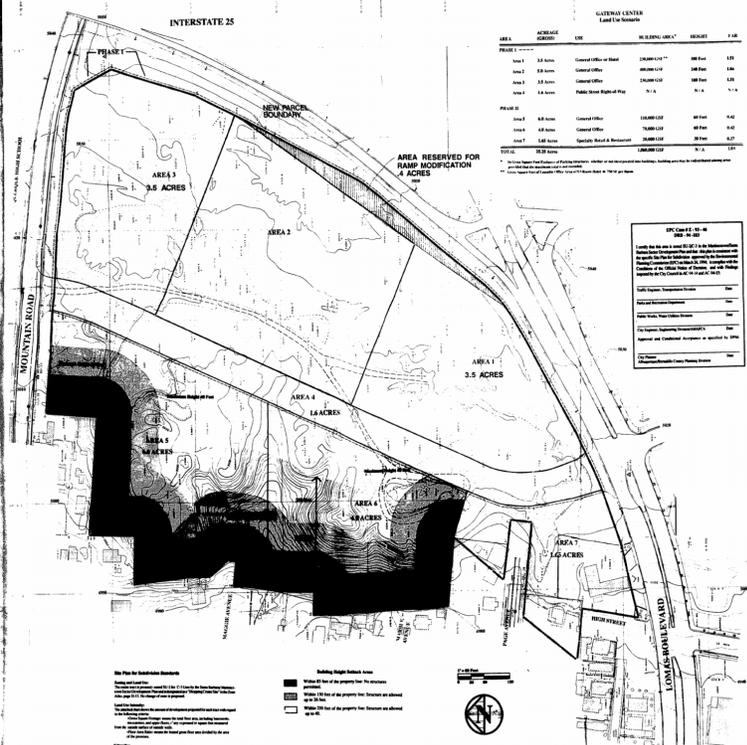
Zone Atlas Page:
J-15-Z

-  Easement
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

 Escarpment
 N
 Feet
 0 250 500 1,000

DEVELOPMENT REVIEW BOARD

DRB-94-183



GATEWAY CENTER
Land Use Schedule

AREA	APPROXIMATE ACRES	USE	NO. BUILDING UNITS**	RESERVED	FLOOR AREA (SQ. FT.)
PHASE I					
Area 1	3.5 acres	General Office or Retail	20,000-25,000**	100 Feet	500,000
Area 2	3.5 acres	General Office	20,000-25,000	100 Feet	500,000
Area 3	3.5 acres	General Office	20,000-25,000	100 Feet	500,000
Area 4	3.5 acres	Public Open Space or Play	N/A	N/A	N/A
PHASE II					
Area 5	3.5 acres	General Office	20,000-25,000	100 Feet	500,000
Area 6	3.5 acres	General Office	20,000-25,000	100 Feet	500,000
Area 7	3.5 acres	Specialty Retail or Restaurant	20,000-25,000	100 Feet	500,000
TOTAL	28.00 acres		100,000-125,000	N/A	5,000,000

** The maximum height of buildings shall be 100 feet. The maximum height of buildings shall be 100 feet. The maximum height of buildings shall be 100 feet.

DRB-94-183-01-01
I hereby certify that I am a duly qualified and duly sworn member of the Board of Directors of the Gateway Center, Inc. and that I am qualified to perform the duties of the office of the Secretary of the Gateway Center, Inc. as provided in the Charter of the Gateway Center, Inc. and that I am qualified to perform the duties of the office of the Secretary of the Gateway Center, Inc. as provided in the Charter of the Gateway Center, Inc.

W. H. WOODRUFF
CITY OF ALBUQUERQUE
I, the undersigned, do hereby certify that I am a duly qualified and duly sworn member of the Board of Directors of the Gateway Center, Inc. and that I am qualified to perform the duties of the office of the Secretary of the Gateway Center, Inc. as provided in the Charter of the Gateway Center, Inc. and that I am qualified to perform the duties of the office of the Secretary of the Gateway Center, Inc. as provided in the Charter of the Gateway Center, Inc.

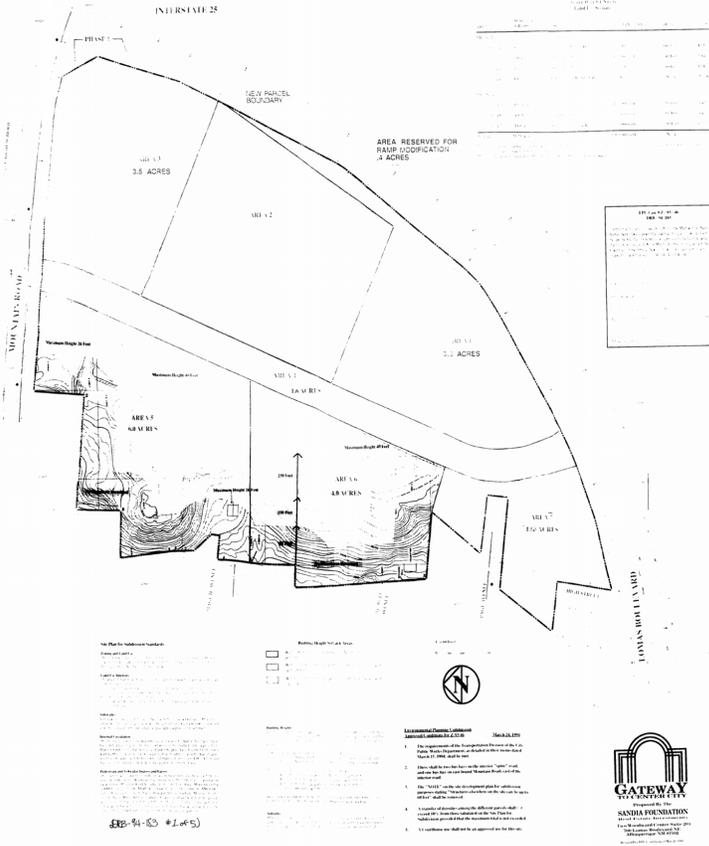
PLANS/PLATS ON FILE
FILE DESC: DRB-94-183



PLANS/PLATS 5

CITY OF ALBUQUERQUE

DRB 44-183



DRB 44-183
 AREA RESERVED FOR RAUM (RESERVATION)
 3.3 ACRES

See Plan for additional details.
 AREA 1.1
 AREA 1.2
 AREA 1.3
 AREA 1.4
 AREA 1.5
 AREA 1.6
 AREA 1.7

Building Height (ft. max.)
 1. 10
 2. 15
 3. 20
 4. 25
 5. 30
 6. 35
 7. 40
 8. 45
 9. 50
 10. 55
 11. 60
 12. 65
 13. 70
 14. 75
 15. 80
 16. 85
 17. 90
 18. 95
 19. 100



CITY OF ALBUQUERQUE
 SANDIA FOUNDATION
 1000 SANDIA AVENUE, N.W.
 ALBUQUERQUE, N.M. 87102
 (505) 263-1000

DEVELOPMENT REVIEW BOARD

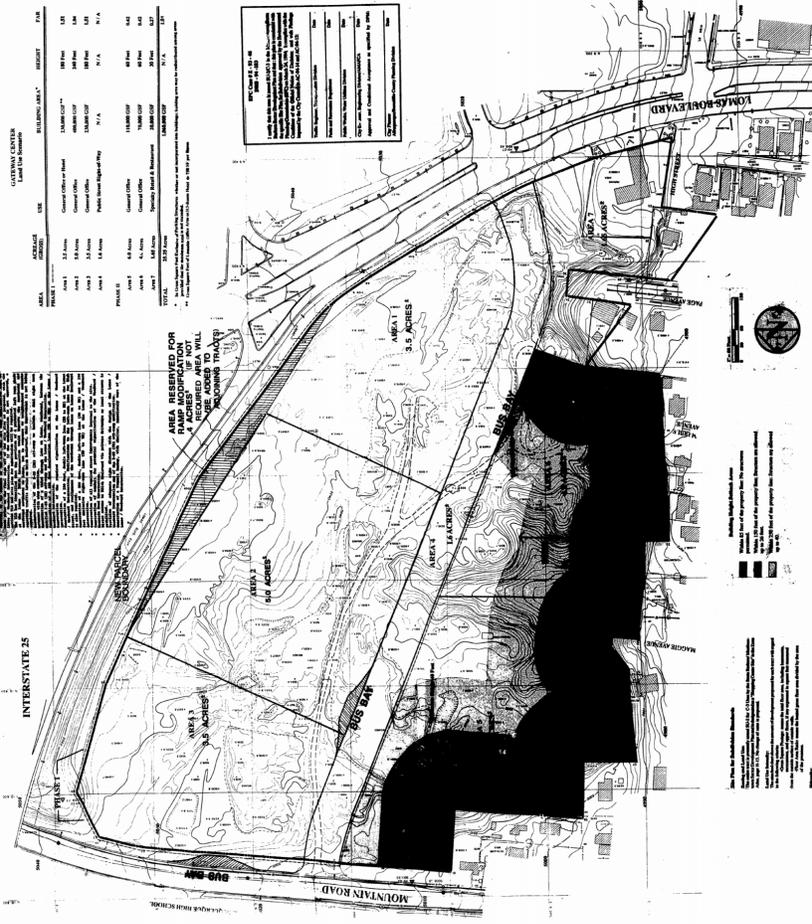
DRP-96-183
(1/18/97)

LATVANA CENTER
LANTA, GEORGIA

AREA	ACREAGE	USE	RESERVATION AREA	HEIGHT	FLOOR
AREA 1	3.5 Acres	General Office/Hotel	1500000000	100 Feet	10
AREA 2	1.8 Acres	General Office	1500000000	100 Feet	10
AREA 3	3.5 Acres	General Office	1500000000	100 Feet	10
AREA 4	1.4 Acres	Public/Community Facility	1500000000	100 Feet	10
AREA 5	4.8 Acres	General Office	1500000000	100 Feet	10
AREA 6	4.1 Acres	General Office	1500000000	100 Feet	10
AREA 7	1.88 Acres	Specialty Retail & Restaurant	1500000000	100 Feet	10

CONDITIONS OF SITE PLAN
 1. The applicant shall comply with all applicable codes, ordinances, and regulations of the City of Alameda.
 2. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 3. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 4. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 5. The applicant shall provide a site plan showing the proposed development and its location within the project area.

AREA RESERVED FOR
 4 ACRES
 THIS AREA WILL
 BE ADDED TO
 EXISTING TRACT



NO.	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	1/18/97
2	FINAL SITE PLAN	1/18/97



NOTES:
 1. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 2. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 3. The applicant shall provide a site plan showing the proposed development and its location within the project area.
 4. The applicant shall provide a site plan showing the proposed development and its location within the project area.



CITY OF ALAMEDA
 THE ENGINEER HAS REVIEWED THE SITE PLAN AND FINDS IT TO BE IN ACCORDANCE WITH THE CITY CODE AND THE CITY ENGINEER'S OFFICE RECORDS.

[Signature]
 CITY ENGINEER



CITY OF ALAMEDA

C

F

1RB (1.5 acres)

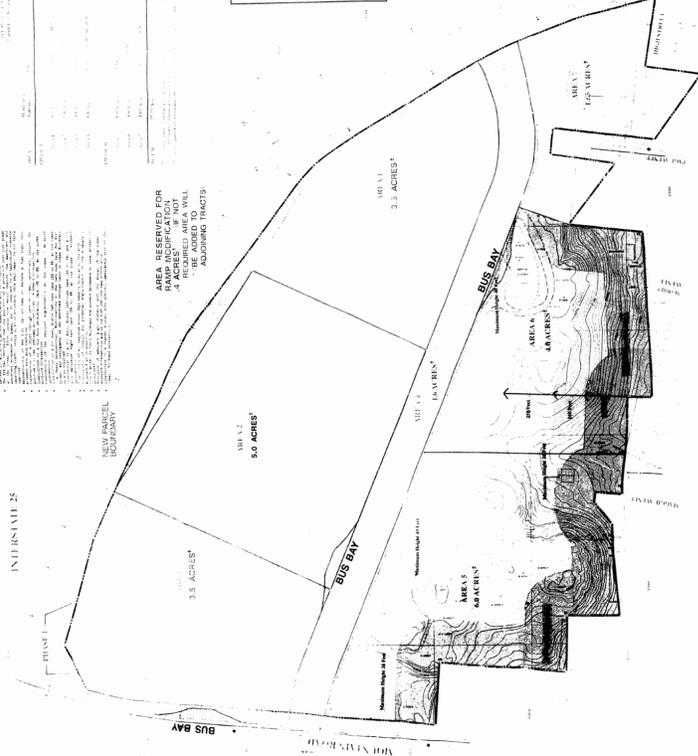
CONDITIONS OF SITE PLAN FOR SUBDIVISION APPROVAL

1. The applicant shall provide a copy of this site plan to the City of Albuquerque, New Mexico, for review and approval. The City of Albuquerque shall have the right to review and approve or disapprove this site plan within a reasonable period of time. If the City of Albuquerque disapproves this site plan, the applicant shall be required to revise the site plan and resubmit it to the City of Albuquerque for review and approval. The City of Albuquerque shall not be liable for any costs incurred by the applicant in preparing this site plan or in revising it.

TRACT	AREA (ACRES)	AREA (SQ. FT.)	PERCENTAGE OF TOTAL AREA
AREA V.1	3.3	143,000	14.3%
AREA V.2	5.0	215,000	21.5%
AREA V.3	3.3	143,000	14.3%
AREA V.4	3.3	143,000	14.3%
AREA V.5	3.3	143,000	14.3%
AREA V.6	3.3	143,000	14.3%
AREA V.7	3.3	143,000	14.3%
AREA V.8	3.3	143,000	14.3%
AREA V.9	3.3	143,000	14.3%
AREA V.10	3.3	143,000	14.3%
AREA V.11	3.3	143,000	14.3%
AREA V.12	3.3	143,000	14.3%
AREA V.13	3.3	143,000	14.3%
AREA V.14	3.3	143,000	14.3%
AREA V.15	3.3	143,000	14.3%
AREA V.16	3.3	143,000	14.3%
AREA V.17	3.3	143,000	14.3%
AREA V.18	3.3	143,000	14.3%
AREA V.19	3.3	143,000	14.3%
AREA V.20	3.3	143,000	14.3%
AREA V.21	3.3	143,000	14.3%
AREA V.22	3.3	143,000	14.3%
AREA V.23	3.3	143,000	14.3%
AREA V.24	3.3	143,000	14.3%
AREA V.25	3.3	143,000	14.3%
AREA V.26	3.3	143,000	14.3%
AREA V.27	3.3	143,000	14.3%
AREA V.28	3.3	143,000	14.3%
AREA V.29	3.3	143,000	14.3%
AREA V.30	3.3	143,000	14.3%
AREA V.31	3.3	143,000	14.3%
AREA V.32	3.3	143,000	14.3%
AREA V.33	3.3	143,000	14.3%
AREA V.34	3.3	143,000	14.3%
AREA V.35	3.3	143,000	14.3%
AREA V.36	3.3	143,000	14.3%
AREA V.37	3.3	143,000	14.3%
AREA V.38	3.3	143,000	14.3%
AREA V.39	3.3	143,000	14.3%
AREA V.40	3.3	143,000	14.3%
AREA V.41	3.3	143,000	14.3%
AREA V.42	3.3	143,000	14.3%
AREA V.43	3.3	143,000	14.3%
AREA V.44	3.3	143,000	14.3%
AREA V.45	3.3	143,000	14.3%
AREA V.46	3.3	143,000	14.3%
AREA V.47	3.3	143,000	14.3%
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AREA V.58	3.3	143,000	14.3%
AREA V.59	3.3	143,000	14.3%
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AREA V.63	3.3	143,000	14.3%
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AREA V.65	3.3	143,000	14.3%
AREA V.66	3.3	143,000	14.3%
AREA V.67	3.3	143,000	14.3%
AREA V.68	3.3	143,000	14.3%
AREA V.69	3.3	143,000	14.3%
AREA V.70	3.3	143,000	14.3%
AREA V.71	3.3	143,000	14.3%
AREA V.72	3.3	143,000	14.3%
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AREA V.82	3.3	143,000	14.3%
AREA V.83	3.3	143,000	14.3%
AREA V.84	3.3	143,000	14.3%
AREA V.85	3.3	143,000	14.3%
AREA V.86	3.3	143,000	14.3%
AREA V.87	3.3	143,000	14.3%
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AREA V.89	3.3	143,000	14.3%
AREA V.90	3.3	143,000	14.3%
AREA V.91	3.3	143,000	14.3%
AREA V.92	3.3	143,000	14.3%
AREA V.93	3.3	143,000	14.3%
AREA V.94	3.3	143,000	14.3%
AREA V.95	3.3	143,000	14.3%
AREA V.96	3.3	143,000	14.3%
AREA V.97	3.3	143,000	14.3%
AREA V.98	3.3	143,000	14.3%
AREA V.99	3.3	143,000	14.3%
AREA V.100	3.3	143,000	14.3%

AREA RESERVED FOR RAMP MODIFICATION AS NOT REQUIRED AREA WILL BE ADDED TO TRACTS:

1. The applicant shall provide a copy of this site plan to the City of Albuquerque, New Mexico, for review and approval. The City of Albuquerque shall have the right to review and approve or disapprove this site plan within a reasonable period of time. If the City of Albuquerque disapproves this site plan, the applicant shall be required to revise the site plan and resubmit it to the City of Albuquerque for review and approval. The City of Albuquerque shall not be liable for any costs incurred by the applicant in preparing this site plan or in revising it.



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DEVELOPMENT REVIEW BOARD

CONDITIONS OF SITE PLAN FOR SUBDIVISION APPROVAL

1. The applicant shall comply with all applicable laws, ordinances, rules and regulations of the City of Alabaster, Alabama, and the State of Alabama, and shall obtain all necessary permits from the appropriate agencies.

2. The applicant shall provide and maintain adequate drainage for the entire site, including the installation of storm sewers and culverts as shown on the site plan.

3. The applicant shall provide and maintain adequate fire protection for the entire site, including the installation of fire hydrants and fire alarm boxes as shown on the site plan.

4. The applicant shall provide and maintain adequate utility services for the entire site, including the installation of water, gas, and electric lines as shown on the site plan.

5. The applicant shall provide and maintain adequate access to the site from the public road network.

6. The applicant shall provide and maintain adequate parking facilities for the entire site.

7. The applicant shall provide and maintain adequate landscaping and screening for the entire site.

8. The applicant shall provide and maintain adequate lighting for the entire site.

9. The applicant shall provide and maintain adequate signage for the entire site.

10. The applicant shall provide and maintain adequate security for the entire site.

11. The applicant shall provide and maintain adequate safety for the entire site.

12. The applicant shall provide and maintain adequate health and safety for the entire site.

13. The applicant shall provide and maintain adequate environmental protection for the entire site.

14. The applicant shall provide and maintain adequate historical preservation for the entire site.

15. The applicant shall provide and maintain adequate cultural preservation for the entire site.

16. The applicant shall provide and maintain adequate archaeological preservation for the entire site.

17. The applicant shall provide and maintain adequate historical preservation for the entire site.

18. The applicant shall provide and maintain adequate cultural preservation for the entire site.

19. The applicant shall provide and maintain adequate archaeological preservation for the entire site.

20. The applicant shall provide and maintain adequate historical preservation for the entire site.

AREA	ACRES	PERCENTAGE	REMARKS
Area 1	1.2	100%	Residential
Area 2	1.5	100%	Residential
Area 3	1.8	100%	Residential
Area 4	2.1	100%	Residential
Area 5	2.4	100%	Residential
Area 6	2.7	100%	Residential
Area 7	3.0	100%	Residential
Area 8	3.3	100%	Residential
Area 9	3.6	100%	Residential
Area 10	3.9	100%	Residential
Area 11	4.2	100%	Residential
Area 12	4.5	100%	Residential
Area 13	4.8	100%	Residential
Area 14	5.1	100%	Residential
Area 15	5.4	100%	Residential
Area 16	5.7	100%	Residential
Area 17	6.0	100%	Residential
Area 18	6.3	100%	Residential
Area 19	6.6	100%	Residential
Area 20	6.9	100%	Residential
Area 21	7.2	100%	Residential
Area 22	7.5	100%	Residential
Area 23	7.8	100%	Residential
Area 24	8.1	100%	Residential
Area 25	8.4	100%	Residential
Area 26	8.7	100%	Residential
Area 27	9.0	100%	Residential
Area 28	9.3	100%	Residential
Area 29	9.6	100%	Residential
Area 30	9.9	100%	Residential
Area 31	10.2	100%	Residential
Area 32	10.5	100%	Residential
Area 33	10.8	100%	Residential
Area 34	11.1	100%	Residential
Area 35	11.4	100%	Residential
Area 36	11.7	100%	Residential
Area 37	12.0	100%	Residential
Area 38	12.3	100%	Residential
Area 39	12.6	100%	Residential
Area 40	12.9	100%	Residential
Area 41	13.2	100%	Residential
Area 42	13.5	100%	Residential
Area 43	13.8	100%	Residential
Area 44	14.1	100%	Residential
Area 45	14.4	100%	Residential
Area 46	14.7	100%	Residential
Area 47	15.0	100%	Residential
Area 48	15.3	100%	Residential
Area 49	15.6	100%	Residential
Area 50	15.9	100%	Residential
Area 51	16.2	100%	Residential
Area 52	16.5	100%	Residential
Area 53	16.8	100%	Residential
Area 54	17.1	100%	Residential
Area 55	17.4	100%	Residential
Area 56	17.7	100%	Residential
Area 57	18.0	100%	Residential
Area 58	18.3	100%	Residential
Area 59	18.6	100%	Residential
Area 60	18.9	100%	Residential
Area 61	19.2	100%	Residential
Area 62	19.5	100%	Residential
Area 63	19.8	100%	Residential
Area 64	20.1	100%	Residential
Area 65	20.4	100%	Residential
Area 66	20.7	100%	Residential
Area 67	21.0	100%	Residential
Area 68	21.3	100%	Residential
Area 69	21.6	100%	Residential
Area 70	21.9	100%	Residential
Area 71	22.2	100%	Residential
Area 72	22.5	100%	Residential
Area 73	22.8	100%	Residential
Area 74	23.1	100%	Residential
Area 75	23.4	100%	Residential
Area 76	23.7	100%	Residential
Area 77	24.0	100%	Residential
Area 78	24.3	100%	Residential
Area 79	24.6	100%	Residential
Area 80	24.9	100%	Residential
Area 81	25.2	100%	Residential
Area 82	25.5	100%	Residential
Area 83	25.8	100%	Residential
Area 84	26.1	100%	Residential
Area 85	26.4	100%	Residential
Area 86	26.7	100%	Residential
Area 87	27.0	100%	Residential
Area 88	27.3	100%	Residential
Area 89	27.6	100%	Residential
Area 90	27.9	100%	Residential
Area 91	28.2	100%	Residential
Area 92	28.5	100%	Residential
Area 93	28.8	100%	Residential
Area 94	29.1	100%	Residential
Area 95	29.4	100%	Residential
Area 96	29.7	100%	Residential
Area 97	30.0	100%	Residential
Area 98	30.3	100%	Residential
Area 99	30.6	100%	Residential
Area 100	30.9	100%	Residential

APPROVED: _____

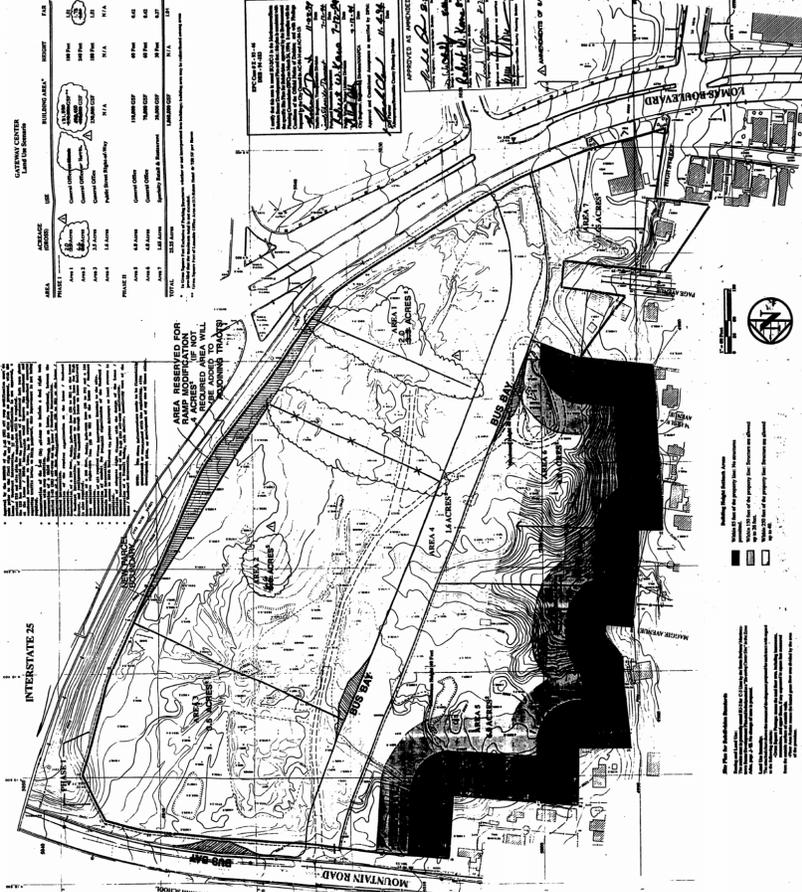
DATE: _____

AREA RESERVED FOR FUTURE DEVELOPMENT

THE AREA RESERVED FOR FUTURE DEVELOPMENT SHALL BE KEPT OPEN AND UNDEVELOPED UNTIL SUCH TIME AS THE CITY OF ALABASTER SHALL HAVE ADEQUATE FACILITIES TO SERVE THE AREA.

APPROVED: _____

DATE: _____



NOTICE TO CONTRACTORS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE FIRE PROTECTION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE UTILITY SERVICES THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO THE SITE THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE PARKING FACILITIES THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE LANDSCAPING AND SCREENING THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE LIGHTING THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SIGNAGE THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SECURITY THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE HEALTH AND SAFETY THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ENVIRONMENTAL PROTECTION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE HISTORICAL PRESERVATION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE CULTURAL PRESERVATION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ARCHAEOLOGICAL PRESERVATION THROUGHOUT THE PROJECT.

CITY OF ALABASTER

C

F

CITY OF ALABASTER

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

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THE CONTRACTOR SHALL MAINTAIN ADEQUATE UTILITY SERVICES THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO THE SITE THROUGHOUT THE PROJECT.

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THE CONTRACTOR SHALL MAINTAIN ADEQUATE LANDSCAPING AND SCREENING THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE LIGHTING THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SIGNAGE THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SECURITY THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY THROUGHOUT THE PROJECT.

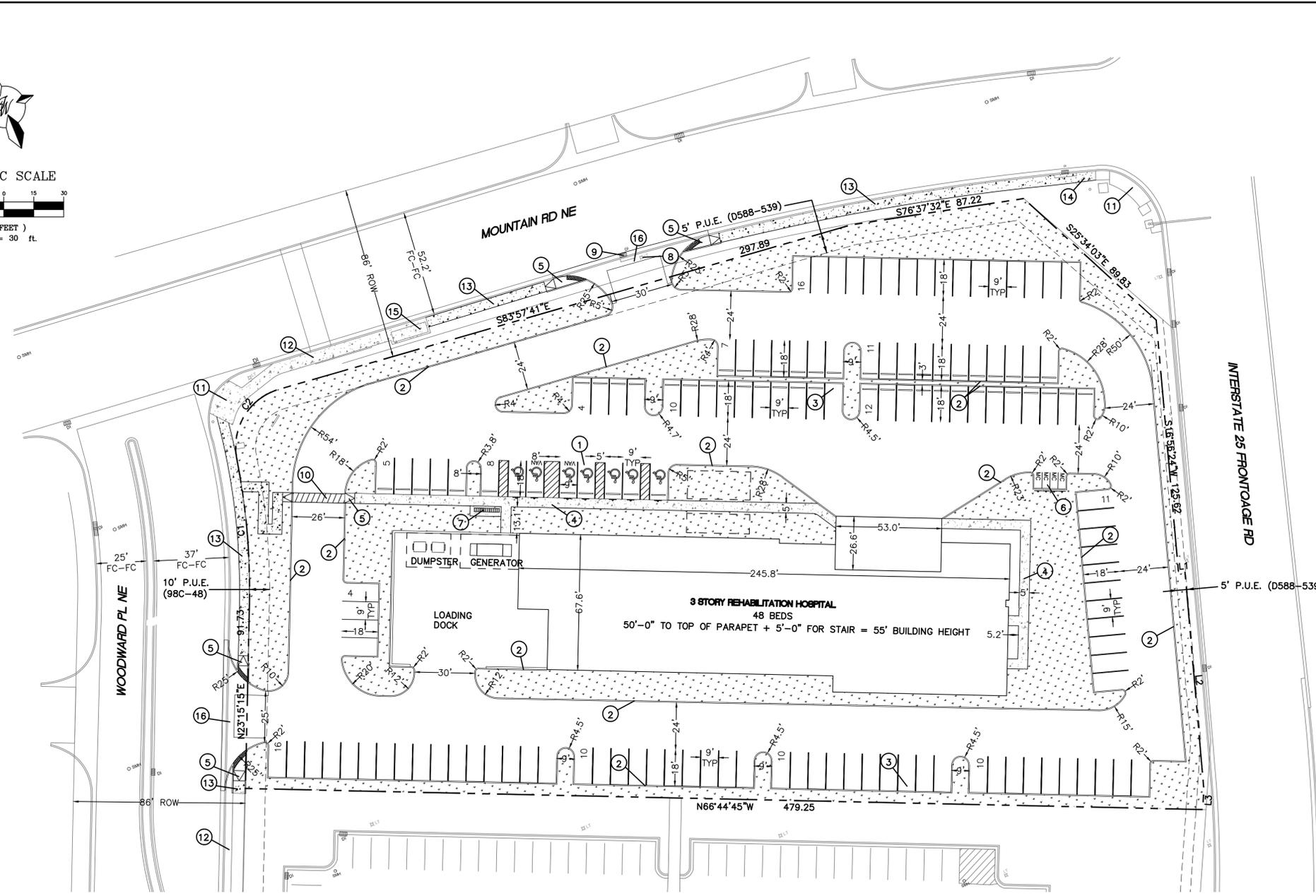
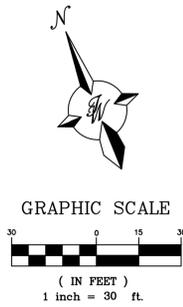
THE CONTRACTOR SHALL MAINTAIN ADEQUATE HEALTH AND SAFETY THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ENVIRONMENTAL PROTECTION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE HISTORICAL PRESERVATION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE CULTURAL PRESERVATION THROUGHOUT THE PROJECT.

THE CONTRACTOR SHALL MAINTAIN ADEQUATE ARCHAEOLOGICAL PRESERVATION THROUGHOUT THE PROJECT.



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING

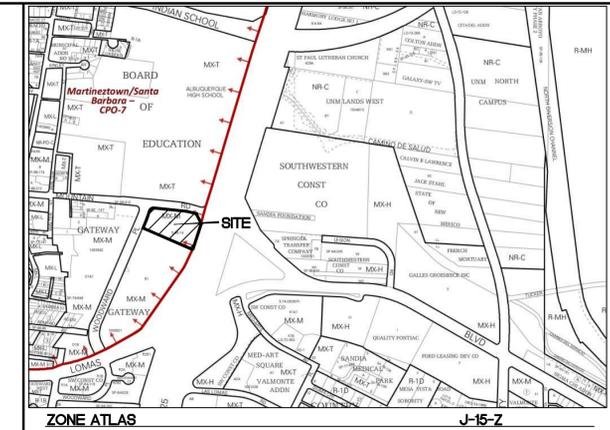
LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

- KEYED NOTES**
- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
 - 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
 - 3 WHEEL STOP SEE DETAIL SHEET DET-1
 - 4 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 5 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
 - 6 MOTORCYCLE SPACES (4, 8'x4') W/SIGN
 - 7 BICYCLE RACK
 - 8 LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
 - 9 CURB INLET TO BE RELOCATED EAST OF ENTRANCE
 - 10 5' PEDESTRIAN CROSSWALK
 - 11 EXISTING ACCESSIBLE RAMP
 - 12 EXISTING CONCRETE SIDEWALK
 - 13 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 14 EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
 - 15 EXISTING BUS STOP
 - 16 6' VALLEY GUTTER PER COA STD DWG 2420



LEGAL DESCRIPTION:
TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	MEDICAL BUILDING
LOT AREA	119591 SF (2.75 ACRES)
ZONING	MX-M
BUILDING AREA	48000 SF
BUILDING FOOTPRINT	16015 SF
BUILDING COVERAGE	13%

BUILDING SETBACK

FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE

GFA 48,000 SF/4 SPACE PER 1,000 = 192 SPACES
 5-5(C)(5)(A) PARKING REDUCTION = 20%
 5-5(C)(5)(C) PARKING REDUCTION = 20%
 REDUCED PARKING REQUIRED = 134 SPACES

PARKING PROVIDED	126 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
ACCESSIBLE SPACES PROVIDED	8 SPACES (2 VAN ACCESSIBLE)
TOTAL	134 SPACES

BICYCLE SPACES REQUIRED	13
BICYCLE SPACES PROVIDED	13
MOTORCYCLE SPACES REQUIRED	4 SPACES
MOTORCYCLE SPACES PROVIDED	4 SPACES

LANDSCAPE REQUIRED	20340 SF
LANDSCAPE PROVIDED	33062 SF

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

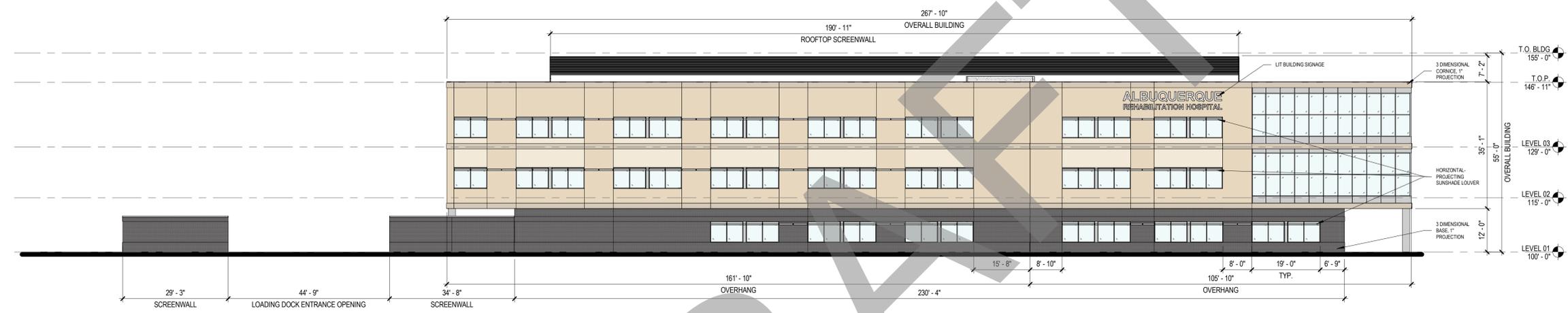
DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
Hydrology	_____	Date	_____
Code Enforcement	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
Planning Department	_____	Date	_____

ENGINEER'S SEAL	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	SITE PLAN	DATE 2-26-24
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2023123-SP
		SHEET # SP-1
		JOB # 2023123

EXTERIOR FINISH LEGEND

	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: LIGHT GRAY STYLE: SANDBLAST		DESC.: MODULAR BRICK MANUF.: SUMMIT BRICK CO. COLOR: PEBBLE GRAY STYLE: RUNNING BOND
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: COTTON STYLE: SANDBLAST		DESC.: ACM PANEL MANUF.: ALUCOBOND COLOR: PLATINUM ICE STYLE: 4MM RAINSCREEN
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: TAN STYLE: SANDBLAST		DESC.: CLEAR GLAZING MANUF.: COLOR: 1/4\" SN 68 CRYSTAL GRAY STYLE: LOW-E



SOUTH ELEVATION - NOT STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
 UPPER FLOOR WINDOWS
 GROUND FLOOR WINDOWS - YES BUT SILLS AT 32"
 OVERHANGS / COLUMNS
 SUNSHADE LOUVERS
 SCREENWALL TO MATCH BUILDING

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
 CHANGES IN COLOR
 BRICK GROUND FLOOR
 3 EIFS COLORS ON UPPER FLOORS
 FIELD COLOR
 HORIZONTAL BAND COLOR (1\" PROJECTION)
 COLOR AT 1\" INSET (PLANE CHANGE) BETWEEN WINDOWS
 MASONRY 1\" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
 EIFS BAND 1\" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

LOADING DOCK SCREENWALL COMPLIANCE WITH 5-6(G)(2)
 PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS. PER 5-6(G)(2)(G)(1) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNICE AND BASE, SIMILAR TO THE BUILDING.

02 SOUTH ELEVATION
 1/16\" = 1'-0\" | NOT STREET FACING



NORTH ELEVATION - STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NEED 2
 UPPER FLOOR WINDOWS
 GROUND FLOOR WINDOWS / MAIN ENTRY
 CANOPY / OVERHANGS / COLUMNS
 SUNSHADE LOUVERS

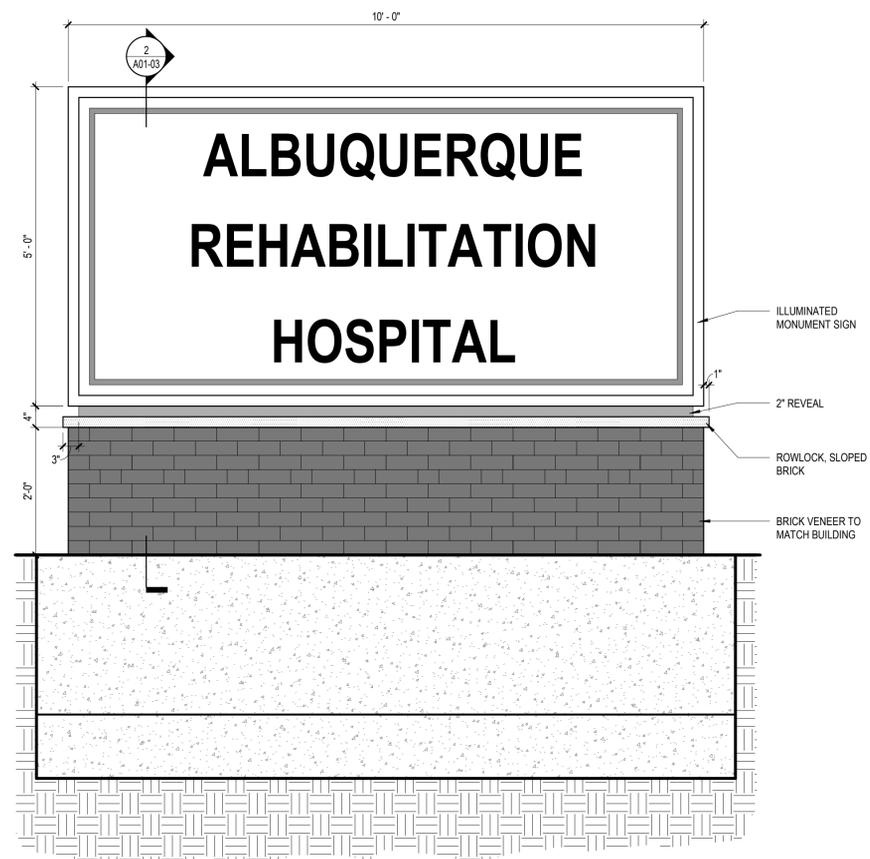
COMPLIANCE WITH 5-11(E)(3) - NEED 1
 CHANGES IN COLOR
 BRICK GROUND FLOOR
 3 EIFS COLORS ON UPPER FLOORS
 FIELD COLOR
 HORIZONTAL BAND COLOR (1\" PROJECTION)
 COLOR AT 1\" INSET (PLANE CHANGE) BETWEEN WINDOWS
 MASONRY 1\" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
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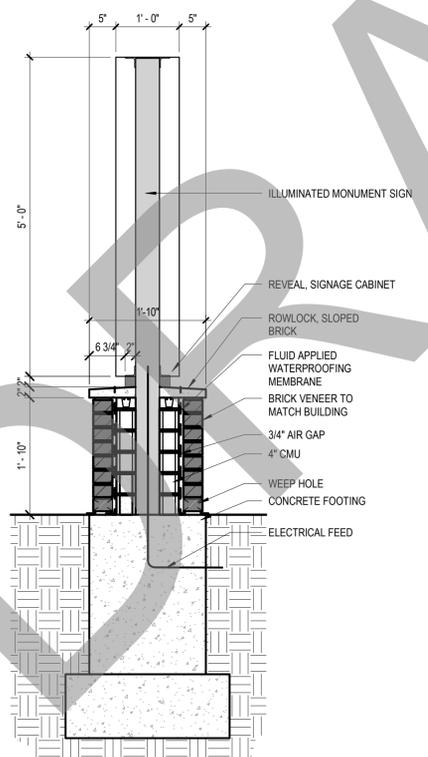
01 NORTH ELEVATION
 1/16\" = 1'-0\" | STREET FACING

EXTERIOR FINISH LEGEND

	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: LIGHT GRAY STYLE: SANDBLAST		DESC.: MODULAR BRICK MANUF.: SUMMIT BRICK CO. COLOR: PEBBLE GRAY STYLE: RUNNING BOND
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: COTTON STYLE: SANDBLAST		DESC.: ACM PANEL MANUF.: ALUCOBOND COLOR: PLATINUM ICE STYLE: 4MM RAINSCREEN
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: TAN STYLE: SANDBLAST		DESC.: CLEAR GLAZING MANUF.: 1/4\" SM 66 CRYSTAL GRAY COLOR: 1/4\" SM 66 CRYSTAL GRAY STYLE: LOW-E



04 MONUMENT SIGN
3/4" = 1'-0"



03 MONUMENT SIGN SECTION
3/4" = 1'-0"

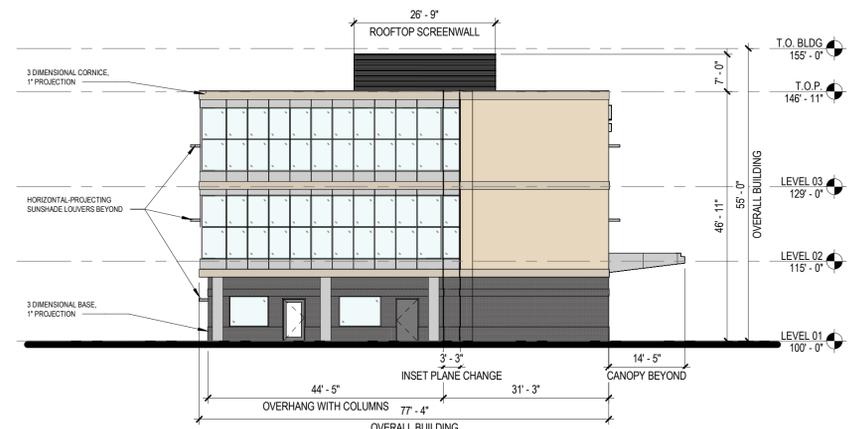


02 WEST ELEVATION
1/16" = 1'-0" | STREET FACING

WEST ELEVATION - STREET FACING, PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL

COMPLIANCE WITH 5-11(E)(2) - NEED 2 UPPER FLOOR WINDOWS
CANOPY / OVERHANGS / COLUMNS
SECONDARY STAFF ENTRY

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, BUT PROVIDED SIMILAR TO NORTH FACADE
CHANGES IN COLOR
BRICK GROUND FLOOR
2 EIFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1\"/>



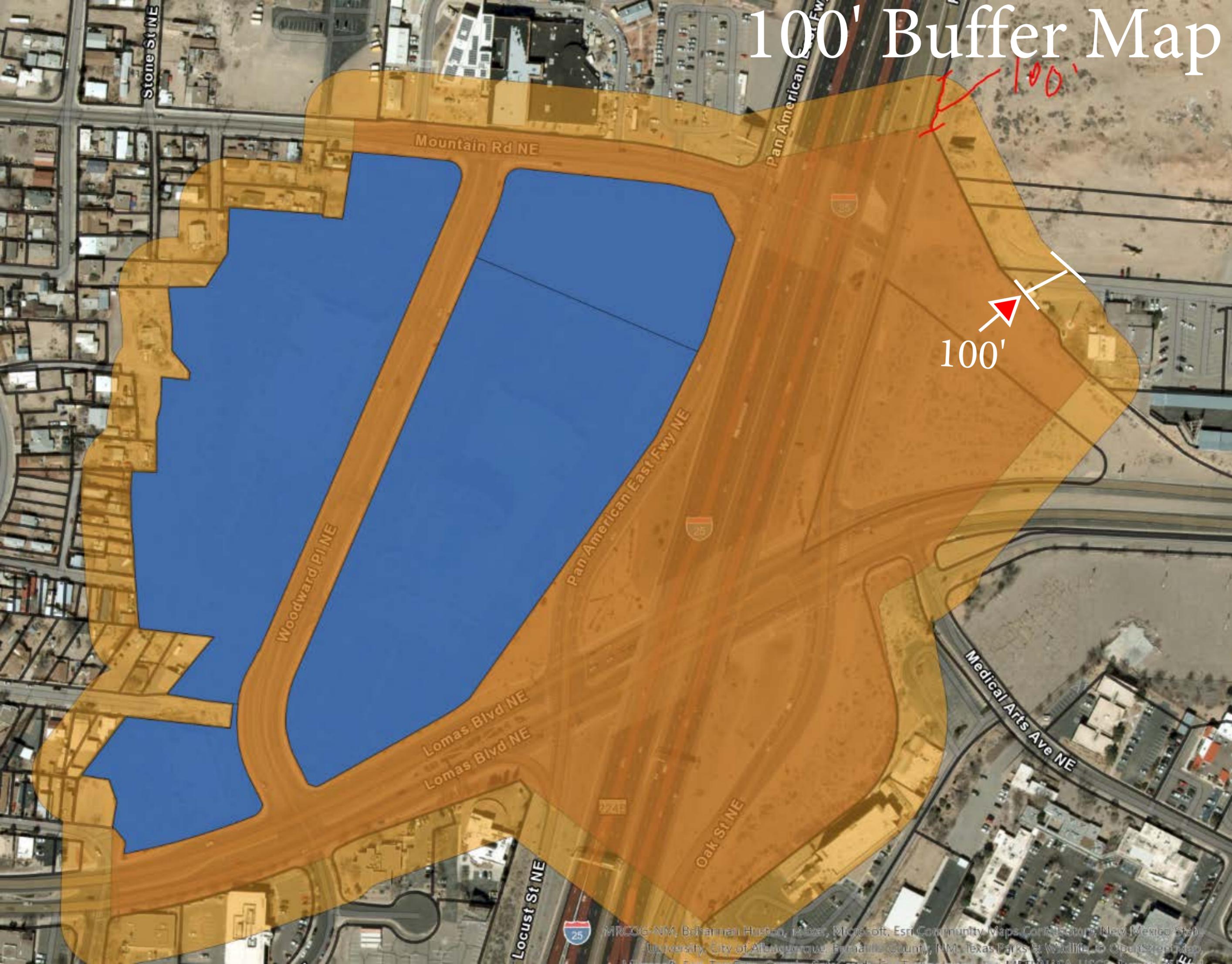
01 EAST ELEVATION
1/16" = 1'-0" | STREET FACING

EAST ELEVATION - STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NEED 2 UPPER FLOOR WINDOWS
GROUND FLOOR WINDOWS - YES BUT SILLS AT 32"
CANOPY / OVERHANGS / COLUMNS
PRIMARY STAFF ENTRY

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
CHANGES IN COLOR
BRICK GROUND FLOOR
2 EIFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1\"/>

100' Buffer Map



JDHQ LAND HOLDING LLC C/O ATRIUM
HOLDING COMPANY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

JDHQ HOTELS LLC ATTN: ATRIUM
HOSPITALITY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

TRICORE REFERENCE LABORATORIES
1001 WOODWARD PL NE
ALBUQUERQUE NM 87102

NEW HEART INC
601 LOMAS BLVD NE
ALBUQUERQUE NM 87102

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORPORATION
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714

BOARD OF EDUCATION C/O PROPERTY
MANAGER
PO BOX 25704
ALBUQUERQUE NM 87125-0704

REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

LOPEZ JUAN A & KRAUSE CAROL A
800 MOUNTAIN RD NE
ALBUQUERQUE NM 87102

VIGIL FRIEDA & GEORGE WYLER &
LOUIE WYLER & ELIZABETH GRIEGO
ETAL
2733 GRACELAND DR NE
ALBUQUERQUE NM 87102

DUNEMAN CHRISTOPHER S & JAYMIE A
919 GRECIAN AVE NW
ALBUQUERQUE NM 87102

CHAVEZ ALVIN
1122 HIGH ST NE
ALBUQUERQUE NM 87102

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

CHAVEZ VALENTINO REYES
1117 HIGH ST NE
ALBUQUERQUE NM 87102-2425

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

POLISAR SHIRLEY ELIZABETH CHAVEZ
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1121 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

HUGH A CARLISLE POST 13 DEPT OF
NEW MEXICO
1201 MOUNTAIN RD NE
ALBUQUERQUE NM 87102-2716

SANDIA FOUNDATION C/O PARADIGM
TAX GROUP – ESS #0116
PO BOX 71870
SALT LAKE CITY UT 84171-0870

CROCKETT LAWRENCE & WOLFE
MARIA
2539 DURANES RD NW
ALBUQUERQUE NM 87104

MARTINEZ LORRAINE
1124 WALTER NE
ALBUQUERQUE NM 87120

BACA C JOHN JR
10100 CALLE BELLA NW
ALBUQUERQUE NM 87114

JAMES DELBERT & MARIA C
1020 WALTER ST NE
ALBUQUERQUE NM 87102

BACA TERESA A
BOX 5482
SANTA FE NM 87502-5482

HERNANDEZ KATHERINE
1024 WALTER ST NE
ALBUQUERQUE NM 87102

BACA JOAQUIN F & MINDY S
1006 EDITH BLVD NE
ALBUQUERQUE NM 87102

SOLANO DAVID M
1004 WALTER ST SE
ALBUQUERQUE NM 87102

SALAZAR DULCE
1002 WALTER ST NE
ALBUQUERQUE NM 87102

MONTOYA JUSTO ET UX
PO BOX 6092
ALBUQUERQUE NM 87197

DURAN JOHANNA L
920 WALTER NE
ALBUQUERQUE NE 87102

ROBLES ANDREW RAY
916 WALTER NE
ALBUQUERQUE NM 87102

CORRALEZ ANGELIQUE
916 WALTER ST NE
ALBUQUERQUE NM 87102

BACA CARLOS RAY
618 MARBLE AVE NE
ALBUQUERQUE NM 87102

GRIEGO LILLIAN
639 RESERVIOR ST
SOCORRO NM 87801-4332

MICHELMAN EVELYN
620 MARBLE AVE NE
ALBUQUERQUE NM 87102

VASQUEZ PERFECTO & LYDIA
617 PAGE AVE NE
ALBUQUERQUE NM 87102-2476

KARSTEN ELIZABETH C
1911 RICHMOND DR NE
ALBUQUERQUE NM 87106

GANBATTÉ HOLDINGS LLC
3431 MONTE VISTA BLVD NE
ALBUQUERQUE NM 87106

BAUER ASHLEY
614 PAGE AVE NE
ALBUQUERQUE NM 87102

SANCHEZ PATRICIA B & BACA
FILODELFINO R
616 PAGE AVE NE
ALBUQUERQUE NM 87102

SANCHEZ JOEY J JR & ALMITRA
618 ½ PAGE AVE NE
ALBUQUERQUE NM 87102

ORDONEZ-CARAVEO JUAN CARLOS &
ORDONEZ-CARAVEO RUBEN GERALDO
8400 CASA GRIS CT NW
ALBUQUERQUE NM 87102

AVILA-BORUNDA ARIADNA I &
BORUNDA LAURA
523 SLATE AVE NE
ALBUQUERQUE NM 87102

MARTHA LILLEY LLC & YELLOW HORSE
ENTERPRISES LLC
7244 SAVAGE DR NE
ALBUQUERQUE NM 87109

CHAVEZ RAMIE NICHOLE
2315 MUIR DR NW
ALBUQUERQUE NM 87120

SWEET & COMPANY LLC
PO BOX 3082
HUNTINGTON BEACH CA 92605-3082

522 LOMAS LLC
522 LOMAS BLVD NE
ALBUQUERQUE NM 87102

WHITFIELD ENTERPRISES INC
617 I STREET
PETALUMA CA 94952-4904

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131

SPINE ORTHOPAEDIC &
REHABILITATION CENTER LLC C/O
WHITEMAN COMPANY LLC
7850 JEFFERSON ST NE SUITE 140
ALBUQUERQUE NM 87109

SANTA TERESA GIANT LLC
601 N MESA SUITE 1500
EL PASO TX 79901-1225

SANDIA FOUNDATION
6211 SAN MATEO BLVD NE SUITE 100
ALBUQUERQUE NM 87109

I-25 HOTEL CORPORATION
20342 SW ACACIA ST
NEWPORT BEACH CA 92660-1704

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131-0001

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: April 24, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: 522 LOMAS LLC

Mailing Address*: 522 LOMAS BLVD NE, ALBUQUERQUE NM 87102

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address*: 1100 Woodward Pl NE, Albuquerque, NM 87102

Location Description: Tract A Plat of Gateway Subdivision

2. Property Owner*: JDGQ Land Holding LLC C/O Atrium Holding Company

3. Agent/Applicant* [if applicable]: Tierra West LLC

4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

- Conditional Use Approval
- Permit _____ (Carport or Wall/Fence – Major)
- Site Plan
- Subdivision _____ (Minor or Major)
- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Other: _____

Summary of project/request¹*:

Major amendment to existing Gateway Center Site Plan to allow for Hospital Use on subject lot

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: Thursday, May 16th, 8:40 AM

Location*²: CABQ Zoom - <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
tierrawestllc.com - slozoya@tierrawestllc.com - (505) 858-3100

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴: J-15-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: _____

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A meeting between Agent, Tierra West, and the Santa Barbara Martineztown Neighborhood Association (SBMTNA) occurred on March 21, 2024, and the Site Plan was presented and discussed. Concerns such as traffic and public roadway capacity were discussed, but no consensus was reached.

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres]: 2.7845 Acres
2. IDO Zone District: MX-H (Appealed, previously MX-M)
3. Overlay Zone(s) [if applicable]: Martineztown/Santa Barbara - CPO-7
4. Center or Corridor Area [if applicable]: Mountain Rd and I-25 Frontage Corridors
5. Current Land Use(s) [vacant, if none]: Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



522 LOMAS LLC
522 LOMAS BLVD NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORPORATION
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714



AVILA-BORUNDA ARIADNA I &
BORUNDA LAURA
523 SLATE AVE NE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



BACA C JOHN JR
10100 CALLE BELLA NW
ALBUQUERQUE NM 87114



BACA CARLOS RAY
618 MARBLE AVE NE
ALBUQUERQUE NM 87102

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BACA JOAQUIN F & MINDY S
1006 EDITH BLVD NE
ALBUQUERQUE NM 87102





TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BACA TERESA A
BOX 5482
SANTA FE NM 87502-5482



TIERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BAUER ASHLEY
614 PAGE AVE NE
ALBUQUERQUE NM 87102

TIERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



BOARD OF EDUCATION C/O PROPERTY
MANAGER
PO BOX 25704
ALBUQUERQUE NM 87125-0704

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ 1121 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ ALVIN
1122 HIGH ST NE
ALBUQUERQUE NM 87102



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CHAVEZ RAMIE NICHOLE
2315 MUIR DR NW
ALBUQUERQUE NM 87120

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ VALENTINO REYES
1117 HIGH ST NE
ALBUQUERQUE NM 87102-2425





TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CORRALEZ ANGELIQUE
916 WALTER ST NE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CROCKETT LAWRENCE & WOLFE
MARIA
2539 DURANES RD NW
ALBUQUERQUE NM 87104



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



DUNEMAN CHRISTOPHER S & JAYMIE A
919 GRECIAN AVE NW
ALBUQUERQUE NM 87102

TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DURAN JOHANNA L
920 WALTER NE
ALBUQUERQUE NE 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



GANBATE HOLDINGS LLC
3431 MONTE VISTA BLVD NE
ALBUQUERQUE NM 87106



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GRIEGO LILLIAN
639 RESERVIOR ST
SOCORRO NM 87801-4332

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HERNANDEZ KATHERINE
1024 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HUGH A CARLISLE POST 13 DEPT OF
NEW MEXICO
1201 MOUNTAIN RD NE
ALBUQUERQUE NM 87102-2716



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



I-25 HOTEL CORPORATION
20342 SW ACACIA ST
NEWPORT BEACH CA 92660-1704

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JAMES DELBERT & MARIA C
1020 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



JDHQ HOTELS LLC ATTN: ATRIUM
HOSPITALITY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



JDHQ LAND HOLDING LLC C/O ATRIUM
HOLDING COMPANY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

KARSTEN ELIZABETH C
1911 RICHMOND DR NE
ALBUQUERQUE NM 87106

TIERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LOPEZ JUAN A & KRAUSE CAROLA
800 MOUNTAIN RD NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MARTHA LILLEY LLC & YELLOW HORSE
ENTERPRISES LLC
7244 SAVAGE DR NE
ALBUQUERQUE NM 87109

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MARTINEZ LORRAINE
1124 WALTER NE
ALBUQUERQUE NM 87120

TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MICHELMAN EVELYN
620 MARBLE AVE NE
ALBUQUERQUE NM 87102





TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MONTOYA JUSTO ET UX
PO BOX 6092
ALBUQUERQUE NM 87197



NEW HEART INC
601 LOMAS BLVD NE
ALBUQUERQUE NM 87102

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA MEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



ORDONEZ-CARAVEO JUAN CARLOS &
ORDONEZ-CARAVEO RUBEN GERALDO
8400 CASA GRIS CT NW
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

POLISAR SHIRLEY ELIZABETH CHAVEZ
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131-0001



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROBLES ANDREW RAY
916 WALTER NE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SALAZ DULCE
1002 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANCHEZ JOEY J JR & ALMITRA
618 ½ PAGE AVE NE
ALBUQUERQUE NM 87102



TERRA MEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SANCHEZ PATRICIA B & BACA
FILODELFIO R
616 PAGE AVE NE
ALBUQUERQUE NM 87102

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANDIA FOUNDATION C/O PARADIGM
TAX GROUP – ESS #0116
PO BOX 71870
SALT LAKE CITY UT 84171-0870

TERRA MEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANDIA FOUNDATION
6211 SAN MATEO BLVD NE SUITE 100
ALBUQUERQUE NM 87109

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SANTA TERESA GIANT LLC
601 N MESA SUITE 1500
EL PASO TX 79901-1225





TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SOLANO DAVID M
1004 WALTER ST SE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SPINE ORTHOPAEDIC &
REHABILITATION CENTER LLC C/O
WHITEMAN COMPANY LLC
7850 JEFFERSON ST NE SUITE 140
ALBUQUERQUE NM 87109



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SWEET & COMPANY LLC
PO BOX 3082
HUNTINGTON BEACH CA 92605-3082



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TRICORE REFERENCE LABORATORIES
1001 WOODWARD PL NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VASQUEZ PERFECTO & LYDIA
617 PAGE AVE NE
ALBUQUERQUE NM 87102-2476



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VIGIL FRIEDA & GEORGE WYLER &
LOUIE WYLER & ELIZABETH GRIEGO
ETAL
2733 GRACELAND DR NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

WHITFIELD ENTERPRISES INC
617 I STREET
PETALUMA CA 94952-4904



From: Office of Neighborhood Coordination
To: Sergio Lozoya
Subject: 1100 WOODWARD PL NE - Neighborhood Meeting Inquiry Sheet Submission
Date: Tuesday, April 9, 2024 12:21:29 PM
Attachments: image001.png
Zone Atlas - Gateway Center for Subdivision.onx

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Citizens Information Committee of Martineztown	Kristi	Houde	kris042898@icloud.com	617 Edith Boulevard NE	#8	Albuquerque	NM	87102	5053661439	
Citizens Information Committee of Martineztown	Renee	Martinez Naranjo	martinez.renee@gmail.com	515 Edith Boulevard NE		Albuquerque	NM	87102	5054108122	5052474605
Santa Barbara Martineztown NA	Loretta	Lopez	lnjalopez@msn.com	1127 Walter NE		Albuquerque	NM	87102		5052707716
Santa Barbara Martineztown NA	Theresa	Illgen	theresa.illgen@aps.edu	214 Prospect NE		Albuquerque	NM	87102		5055048620

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application: <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://do.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Tuesday, April 9, 2024 11:02 AM
To: Office of Neighborhood Coordination <slozoya@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
Environmental Planning Commission
If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:
Contact Name
Sergio Lozoya
Telephone Number
5052787088
Email Address
slozoya@tierrawestllc.com
Company Name
Tierra West LLC
Company Address
5571 Midway Park Place NE
City
Albuquerque
State
NM
ZIP
87109

Legal description of the subject site for this project:

There are four parcels that are part of the subject site:

1. Project Site

Situs Address: 1100 WOODWARD PL NE ALBUQUERQUE NM 87102

Legal Description: TRACT A PLAT OF GATEWAY SUBDIVISION CONT 2.7845 AC

2. Tricore

Situs Address: 1001 WOODWARD PL NE ALBUQUERQUE NM 87102

Legal Description: TR D-1-A-1 PLAT FOR LOTS 1 & 2 TR D-1-A-1 GATEWAY SUBD (BEING A REPLAT OF TR D-1-A GATEWAY SUBD & AN UNPLATTED PARCEL) CONT 8.3708 AC

3. New Heart Inc

Situs Address: 600 LOMAS BLVD NE ALBUQUERQUE NM 87102

Legal Description: TR D1B1 PLAT OF TRACT D-1-B-1 AND D-1-B-2 GATEWAY SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, GATEWAY SUBDIVISION, LOTS 16 AND 17, TROTTER ADDITION NO.2 AND A

4. Embassy Suites

Situs Address: 1000 WOODWARD PL NE ALBUQUERQUE NM 87102 2704

Legal Description: TR B-1 PLAT OF TRACT B-1 GATEWAY SUBDIVISION A REPLAT OF TRACTS B & C GATEWAY SUBDIVISION CONT 9.3316 AC

Physical address of subject site:

1100 WOODWARD PL NE ALBUQUERQUE NM 87102

Subject site cross streets:

Mountain and Woodward

Other subject site identifiers:

This site is located on the following zone atlas page:

J-15-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] _____
 - 2. IDO Zone District _____
 - 3. Overlay Zone(s) [if applicable] _____
 - 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

Date/Time*: _____

Location*³: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

_____ tierrawestllc.com - slozoya@tierrawestllc.com - (505) 858-3100

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] _____
 - 2. IDO Zone District _____
 - 3. Overlay Zone(s) [if applicable] _____
 - 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] _____
 - 2. IDO Zone District _____
 - 3. Overlay Zone(s) [if applicable] _____
 - 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

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1. Subject Property Address* _____
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4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
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 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

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 - a. Location of proposed buildings and landscape areas.*
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 - e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] _____
 - 2. IDO Zone District _____
 - 3. Overlay Zone(s) [if applicable] _____
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- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[#2023123] 1100 Woodward PI - Notice of Submittal

Adam Johnstone <AJohnstone@tierrawestllc.com>

Thu 4/4/2024 9:27 AM

To: Injalopez@msn.com <Injalopez@msn.com>;theresa.illgen@aps.edu <theresa.illgen@aps.edu>

Cc: Sergio Lozoya <SLozoya@tierrawestllc.com>; Donna Bohannan <djb@tierrawestllc.com>

 6 attachments (17 MB)

3 - Zone Atlas J-15-Z.pdf; 13 - Site Plan.pdf; DRB-94-183 (2).pdf; Elevations 3.18.24.pdf; Loretta Naranjo Lopez Notice.pdf; Theresa Illgen Notice.pdf;

Good morning, SBMTNA representatives,

Attached is a notice of submittal for the 1100 Woodward PI project, along with the Zone Atlas Map and related drawings.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



[#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Adam Johnstone <AJohnstone@tierrawestllc.com>

Wed 4/10/2024 9:27 AM

To:kris042898@icloud.com <kris042898@icloud.com>

Cc:Sergio Lozoya <SLozoya@tierrawestllc.com>;Donna Bohannan <djb@tierrawestllc.com>;martinez.renee@gmail.com <martinez.renee@gmail.com>

 4 attachments (2 MB)

Kristi Houde Meeting Request.pdf; Kristi Houde Submittal Notice.pdf; 13 - Site Plan.pdf; Elevations 3.18.24.pdf;

Kristi,

Attached is both a meeting request and submittal notice for the aforementioned project, along with relevant attachments. I had sent both you and Renee Martinez an email containing this, but it was not delivered to you due to a message size limitation. I have not attached the Zone Atlas Map or the controlling site plan as they were too large - they are both attached to the email successfully sent to Renee earlier today.

Please let us know if you have any questions.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



Delivered: [#2023123] 1100 Woodward PI - Notice of Submittal

postmaster@outlook.com <postmaster@outlook.com>

Thu 4/4/2024 9:31 AM

To:Injalopez@msn.com <Injalopez@msn.com>

 1 attachments (30 KB)

[#2023123] 1100 Woodward PI - Notice of Submittal;

Your message has been delivered to the following recipients:

[Injalopez@msn.com \(Injalopez@msn.com\)](mailto:Injalopez@msn.com)

Subject: [#2023123] 1100 Woodward PI - Notice of Submittal

Relayed: [#2023123] 1100 Woodward PI - Notice of Submittal

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Thu 4/4/2024 9:27 AM

To:theresa.illgen@aps.edu <theresa.illgen@aps.edu>

 1 attachments (18 KB)

[#2023123] 1100 Woodward PI - Notice of Submittal;

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

theresa.illgen@aps.edu (theresa.illgen@aps.edu)

Subject: [#2023123] 1100 Woodward PI - Notice of Submittal

Re: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Renee Martinez <martinez.renee@gmail.com>

Wed 4/10/2024 11:42 AM

To: Adam Johnstone <AJohnstone@tierrawestllc.com>; Kristi Houde <kris042898@icloud.com>; Roslyn Kloeppel <roslyn_kloeppel@live.com>; Sergio Viscoli <Sviscoli@yahoo.com>; susanhobson95@Yahoo.com <susanhobson95@yahoo.com>; Meghan Martinez <meghan.martinez@gmail.com>

Thanks Adam,

I will look at the documents and share them with the CICM board. The document seems too large to send on its own.

Renee Martinez, CICM president.

martinez.renee@gmail.com

On Wed, Apr 10, 2024 at 9:21 AM Adam Johnstone <AJohnstone@tierrawestllc.com> wrote:

Good morning, Citizens Information Committee of Martineztown representatives,

Attached are both Meeting Requests and Submittal Notices for the aforementioned project, along with all relevant materials. Please let us know if you have any questions.

Thank you,

Adam Johnstone

Associate Land Use Planner

AJohnstone@tierrawestllc.com

Tierra West LLC

5571 Midway Park Place NE

Albuquerque, NM 87109

(505) 858-3100



Relayed: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To:martinez.renee@gmail.com <martinez.renee@gmail.com>

 1 attachments (18 KB)

[#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice;

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

martinez.renee@gmail.com (martinez.renee@gmail.com).

Subject: [#2023123] 1100 Woodward PI NE - Meeting Request and Submittal Notice

Undeliverable: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Microsoft Outlook <MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:27 AM

To:kris042898@icloud.com <kris042898@icloud.com>

1 attachments (2 MB)

[#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice;



Your message to kris042898@icloud.com couldn't be delivered.

Security or policy settings at icloud.com have rejected your message.

AJohnstone

Office 365

icloud.com

Sender

Action Required

Security or policy violation

How to Fix It

The recipient's email server won't accept your message because it appears to violate their security or policy settings. Check the **Reported error** below to see if you can determine why it was blocked. Then try one or more of the following:

- If the error mentions SPF, DKIM, or DMARC issues, forward this message to your email admin for assistance.
- The recipient's email server might suspect that your message is spam. Follow the guidance in this article: [E-mailing Best Practices for Senders](#). Then resend your message.
- If the error suggests your message is too large, try to reduce the size of your attachment. If that isn't possible, place the file on a publicly accessible cloud storage location, like OneDrive. Then add a link to the file in your message, and resend the message.
- Contact the recipient (by phone, for example) and tell them to ask their email admin to add you or your email domain to their allowed senders list.

If the problem continues, forward this message to your email admin. If you're an email admin, refer to the **More Info for Email Admins** section below.

Was this helpful? [Send feedback to Microsoft](#).

More Info for Email Admins

Status code: 550 5.7.1

This error occurs when the recipient's domain has security or policy settings that reject the sender's message. However, we were unable to determine the specific setting that's causing this rejection. Usually the error is reported by an email server outside of Office 365. Common issues include the following: the receiving server suspects the message is malicious or spam; the Sender Policy Framework (SPF) record for tierrawestllc.com is incorrectly configured or doesn't exist; or the message includes an attachment larger than the receiving server will accept. Try one or more of the following:

Review the reported error - Check the **Reported error** shown below to help determine what the issue might be. For example, if the issue is related to an SPF failure, the reported error will usually include the acronym "SPF" or the phrase "Sender Policy Framework."

Correctly configure your SPF records - If you're the sender's email admin, make sure your domain's SPF records at your domain registrar are properly configured. Office 365 supports only one SPF record (a TXT record that defines SPF) for your domain. Include

the following domain name: **spf.protection.outlook.com**. If you have a hybrid configuration (some mailboxes in the cloud and some mailboxes on premises) or if you're an Exchange Online Protection standalone customer, add the outbound IP address of your on-premises servers to the TXT record. To learn how, see [Customize an SPF record to validate outbound email sent from your domain](#) and [External Domain Name System records for Office 365](#).

Unable to relay - If the **Reported error** indicates a problem with relaying (e.g. "unable to relay"), then the email server that reported the error likely isn't set up correctly to receive and relay messages from the sender's domain. This server will usually be one of your on-premises servers in a hybrid environment, a smart host email service that you're trying to route messages through, or possibly even an email hosting service you used in the past yet still have mail flow settings pointing to (e.g. your MX record at your domain registrar still points to your previous email service provider). Check **Error reported by** shown below to determine what domain, service, or server is reporting the error. The email server needs to be configured to either accept messages from anonymous users or to include the sending domain or IP in its list of authenticated senders. On an Exchange server, you can set this up in the server's receive connector. If it's a smart host managed by another service or partner, contact the service or partner to configure their servers to accept and relay messages from your senders. Also, work with your domain registrar to make sure your MX records are properly configured.

Contact the recipient's email admin - For some scenarios, you can fix the issue by contacting the email admin at the recipient domain to ask them to add the sender's email address or your domain to their allowed senders list, or to relax the setting that's causing the rejection.

For more information and tips for fixing this issue, see [Fix email delivery issues for error code 5.7.1 in Office 365](#).

Original Message Details

Created Date: 4/10/2024 3:27:32 PM
Sender Address: AJohnstone@tierrawestllc.com
Recipient Address: kris042898@icloud.com
Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Error Details

Error: 554 5.7.1 [CS01] Message rejected due to local policy. Please visit <https://support.apple.com/en-us/HT204137>
Message rejected by: p00-iscream-smtp-6bc4d7b9c-ph2c5

Notification Details

Sent by: DS7PR03MB5560.namprd03.prod.outlook.com

Message Hops

HOP	TIME (UTC)	FROM	TO	WITH	RELAY TIME
1	4/10/2024 3:27:32 PM	BN7PR03MB3681.namprd03.prod.outlook.com	BN7PR03MB3681.namprd03.prod.outlook.com	map	*
2	4/10/2024 3:27:32 PM	BN7PR03MB3681.namprd03.prod.outlook.com	DS7PR03MB5560.namprd03.prod.outlook.com	Microsoft SMTP Server (version=TLS1_2, cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384)	*

Original Message Headers

ARC-Seal: i=1; a=rsa-sha256; s=arcselector9901; d=microsoft.com; cv=none;
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h=From:Date:Subject:Message-ID:Content-Type:MIME-Version:X-MS-Exchange-AntiSpam-MessageData-ChunkCount:X-MS-Exchange-AntiSpam-MessageData-0:X-MS-Exchange-AntiSpam-MessageData-1;
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ARC-Authentication-Results: i=1; mx.microsoft.com 1; spf=pass smtp.mailfrom=tierrawestllc.com; dmarc=pass action=none header.from=tierrawestllc.com; dkim=pass header.d=tierrawestllc.com; arc=none Received: from BN7PR03MB3681.namprd03.prod.outlook.com (2603:10b6:406:ce::22) by DS7PR03MB5560.namprd03.prod.outlook.com (2603:10b6:5:2d0::17) with Microsoft SMTP Server (version=TLS1_2, cipher=TLS_ECDHE_RSA_WITH_AES_256_GCM_SHA384) id 15.20.7409.55; Wed, 10 Apr 2024 15:27:32 +0000

Received: from BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2]) by BN7PR03MB3681.namprd03.prod.outlook.com ([fe80::159:7754:9ac5:c2%4]) with mapi id 15.20.7409.053; Wed, 10 Apr 2024 15:27:32 +0000

From: Adam Johnstone <AJohnstone@tierrawestllc.com>
To: "kris042898@icloud.com" <kris042898@icloud.com>
CC: Sergio Lozoya <SLozoya@tierrawestllc.com>, Donna Bohannan <djb@tierrawestllc.com>, "martinez.renee@gmail.com" <martinez.renee@gmail.com>

Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice
Thread-Topic: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Index: AQHai1sb19AP8i40fkWH8vbUG+FdmA==
Return-Receipt-To: <AJohnstone@tierrawestllc.com>
Date: Wed, 10 Apr 2024 15:27:32 +0000

Message-ID: <BN7PR03MB36810E1EFA9DE809EF695BC5DB062@BN7PR03MB3681.namprd03.prod.outlook.com>
Accept-Language: en-US
Content-Language: en-US

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X-MS-TNEF-Correlator:

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x-microsoft-antispam-message-info:

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S: (13230031)(1800799015)(376005)(366007); DIR: OUT; SFP: 1102;

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Undeliverable: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Microsoft Outlook

<MicrosoftExchange329e71ec88ae4615bbc36ab6ce41109e@tierrawestllc.com>

Wed 4/10/2024 9:21 AM

To:kris042898@icloud.com <kris042898@icloud.com>

p00-iscream-smtp-6bc4d7b9c-bsf5q rejected your message to the following email addresses:

kris042898@icloud.com (kris042898@icloud.com)

Your message is larger than the size limit for messages. Please make it smaller and try sending it again.

p00-iscream-smtp-6bc4d7b9c-bsf5q gave this error: Message size exceeds fixed limit

Diagnostic information for administrators:

Generating server: DS7PR03MB5560.namprd03.prod.outlook.com

kris042898@icloud.com
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2024 15:20:43 +0000

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From: Adam Johnstone <AJohnstone@tierrawestllc.com>
To: "kris042898@icloud.com" <kris042898@icloud.com>, "martinez.renee@gmail.com" <martinez.renee@gmail.com>

CC: Sergio Lozoya <SLozoya@tierrawestllc.com>, Donna Bohannan <djb@tierrawestllc.com>

Subject: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Topic: [#2023123] 1100 Woodward Pl NE - Meeting Request and Submittal Notice

Thread-Index: AQHai1omhIF2MTbA+E0Jn/zhByrbpg==

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Date: Wed, 10 Apr 2024 15:20:42 +0000

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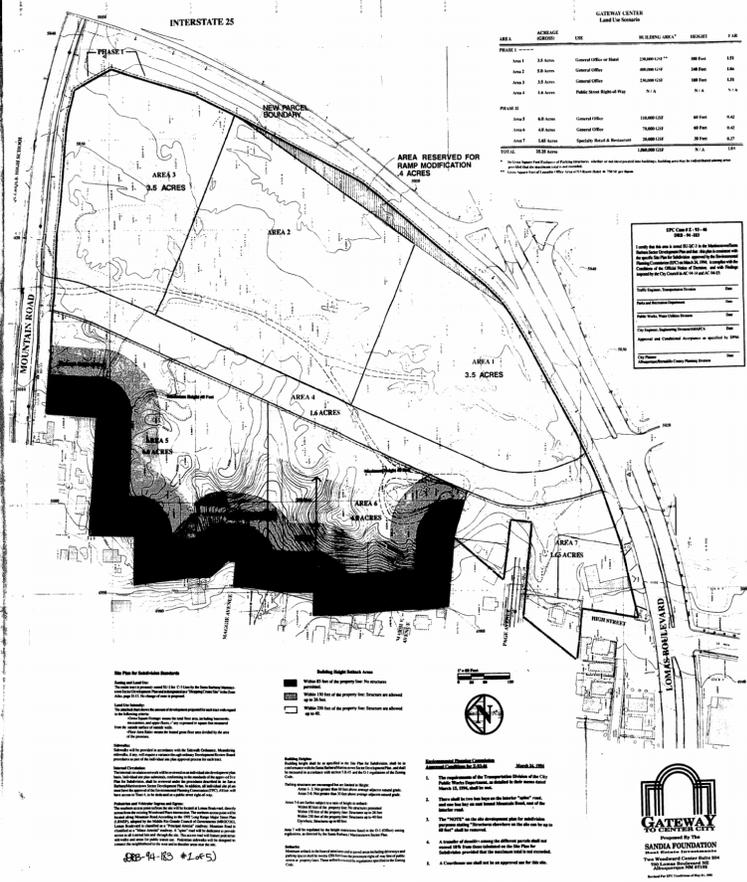
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DEVELOPMENT REVIEW BOARD

DRB-94-183



City of Albuquerque
 Planning and Development Department
 Planning Director
 City Engineer
 City Attorney
 City Clerk

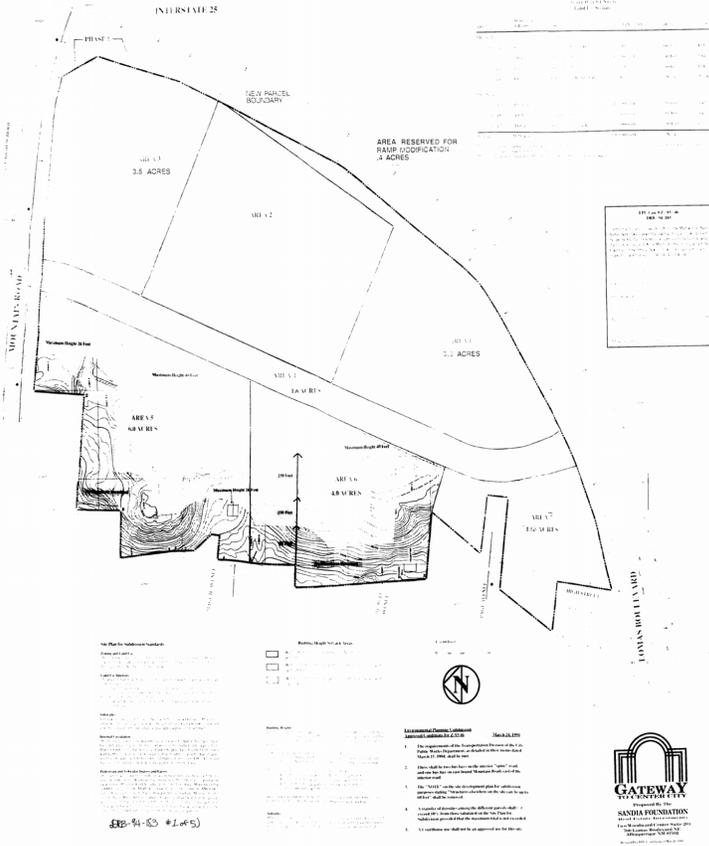
PLANS/PLATS ON FILE
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 DRB-94-183

PLANS/PLATS 5



CITY OF ALBUQUERQUE

DRB 44-183



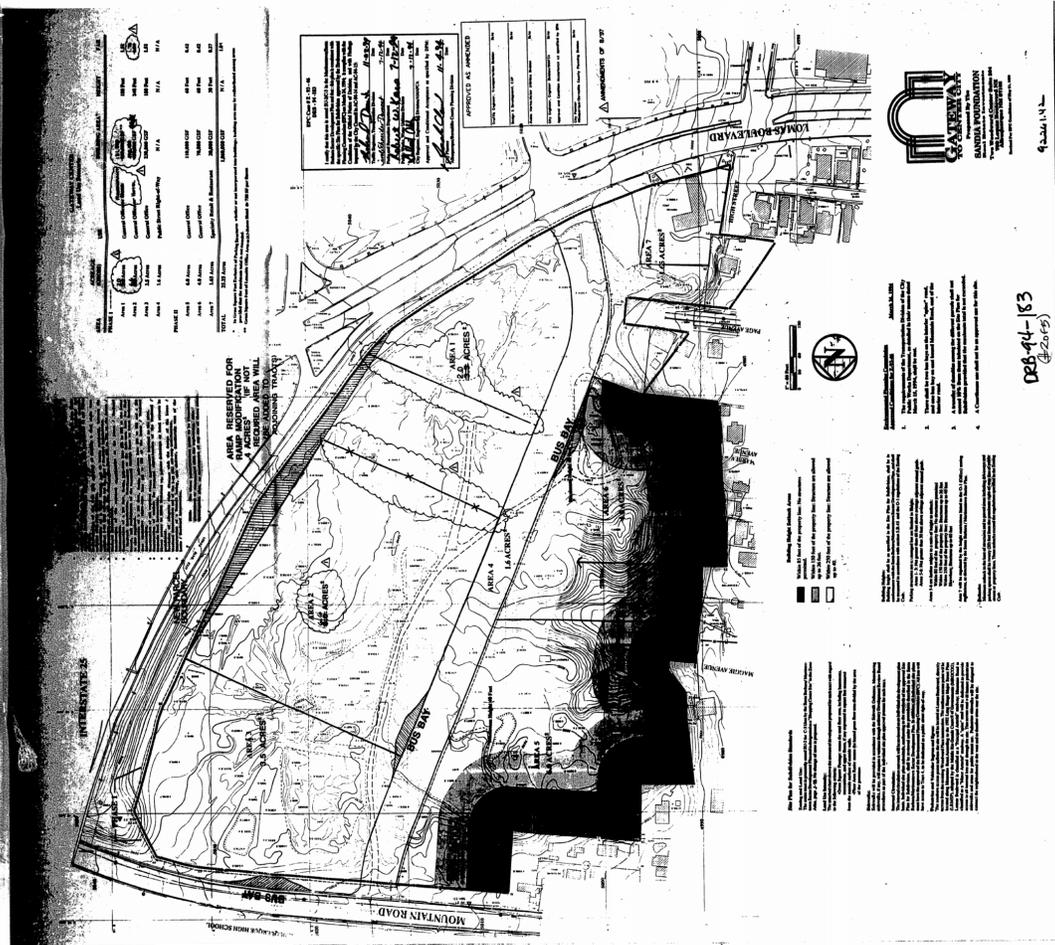
THE CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 200 NORTH MORGAN AVENUE, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87102
 TEL: 505-763-3300
 FAX: 505-763-3301
 WWW.CITYOFALBUQUERQUE.ORG

See Plans for additional details.
 AREA 1.1
 AREA 1.2
 AREA 1.3
 AREA 1.4
 AREA 1.5
 AREA 1.6
 AREA 1.7

Building Height (ft. max.)
 1. 10
 2. 15
 3. 20
 4. 25
 5. 30
 6. 35
 7. 40
 8. 45
 9. 50
 10. 55
 11. 60
 12. 65
 13. 70
 14. 75
 15. 80
 16. 85
 17. 90
 18. 95
 19. 100



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 200 NORTH MORGAN AVENUE, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87102
 TEL: 505-763-3300
 FAX: 505-763-3301
 WWW.CITYOFALBUQUERQUE.ORG



D
20
B
A

CITY OF ALBUQUERQUE

C D F



DEB-94-153
(4-20-95)

PLAN AND SPECIFICATIONS FOR THE CITY OF ALBUQUERQUE

CITY OF ALBUQUERQUE
THIS NOTICE IS THE BEST
LEGAL NOTICE TO BE
GIVEN TO THE PUBLIC OF THE
CITY OF ALBUQUERQUE.

CITY OF ALBUQUERQUE
This document is certified
to be a correct and accurate
copy of the original as
shown on the file of the
City of Albuquerque
and not intended to be used
for any other purpose.
The City of Albuquerque
Department of Public Works
Albuquerque, New Mexico
88103-1010

OFFICE OF THE CITY CLERK
CITY OF ALBUQUERQUE
NEW MEXICO

DEVELOPMENT REVIEW BOARD

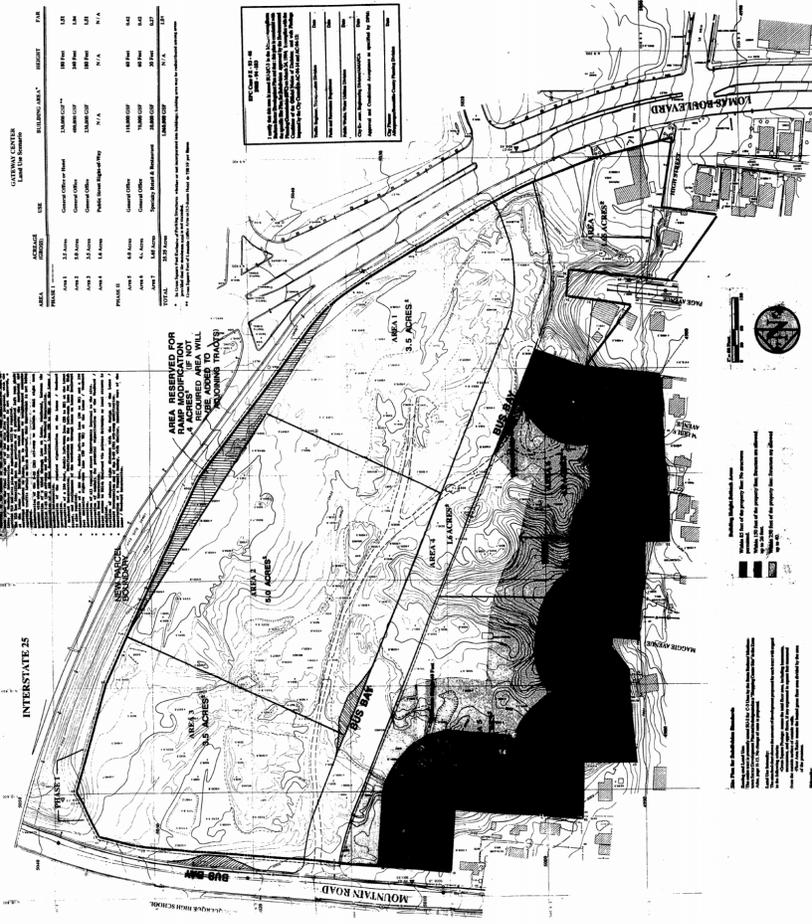
DRP-96-183
(1/18/97)

LATVANA CENTER
LANTA, GEORGIA

AREA	ACREAGE	USE	REVISIONS AREA	HEIGHT	FLOOR
AREA 1	3.5 Acres	General Office/Hotel	1/18/97	100 Feet	10
AREA 2	1.8 Acres	General Office	1/18/97	100 Feet	10
AREA 3	3.5 Acres	General Office	1/18/97	100 Feet	10
AREA 4	1.4 Acres	Public/Community Center	1/18/97	100 Feet	10
AREA 5	4.8 Acres	General Office	1/18/97	100 Feet	10
AREA 6	4.1 Acres	General Office	1/18/97	100 Feet	10
AREA 7	1.8 Acres	Specialty Retail & Restaurant	1/18/97	100 Feet	10

CONDITIONS OF SITE PLAN
 1. The applicant shall comply with all applicable zoning, subdivision, and other laws of the City of Albany, Georgia.
 2. The applicant shall provide a site plan showing the proposed building footprint, parking, and other site features.
 3. The applicant shall provide a site plan showing the proposed building footprint, parking, and other site features.
 4. The applicant shall provide a site plan showing the proposed building footprint, parking, and other site features.
 5. The applicant shall provide a site plan showing the proposed building footprint, parking, and other site features.

AREA RESERVED FOR
 4 ACRES
 THIS AREA WILL
 BE ADDED TO
 ZONING TRACT



AREA	ACREAGE	USE	REVISIONS AREA	HEIGHT	FLOOR
AREA 1	3.5 Acres	General Office/Hotel	1/18/97	100 Feet	10
AREA 2	1.8 Acres	General Office	1/18/97	100 Feet	10
AREA 3	3.5 Acres	General Office	1/18/97	100 Feet	10
AREA 4	1.4 Acres	Public/Community Center	1/18/97	100 Feet	10
AREA 5	4.8 Acres	General Office	1/18/97	100 Feet	10
AREA 6	4.1 Acres	General Office	1/18/97	100 Feet	10
AREA 7	1.8 Acres	Specialty Retail & Restaurant	1/18/97	100 Feet	10



NOTICE TO THE PUBLIC
 The City of Albany is holding a public hearing on the proposed site plan for the Latvana Center. The hearing will be held on [Date] at [Time] in the [Location]. Any person who wishes to object to the proposed site plan should appear at the hearing and state their objections in writing.



CITY OF ALBANY
 THE PROPOSAL IS THE BEST
 INTEREST OF THE CITY OF ALBANY

[Signature]
 CITY OF ALBANY
 THE PROPOSAL IS THE BEST
 INTEREST OF THE CITY OF ALBANY



CITY OF ALBANY

C

F

DEVELOPMENT REVIEW BOARD

CONDITIONS OF SITE PLAN FOR SUBDIVISION APPROVAL

1. The applicant shall comply with all applicable laws, ordinances, rules and regulations of the City of Alabaster, Alabama, and the State of Alabama, and shall obtain all necessary permits from the appropriate agencies.

2. The applicant shall provide and maintain adequate drainage for the entire site, including the proposed parking areas, and shall install and maintain a stormwater management system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

3. The applicant shall provide and maintain adequate lighting for the entire site, including the proposed parking areas, and shall install and maintain a lighting system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

4. The applicant shall provide and maintain adequate security for the entire site, including the proposed parking areas, and shall install and maintain a security system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

5. The applicant shall provide and maintain adequate signage for the entire site, including the proposed parking areas, and shall install and maintain a signage system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

6. The applicant shall provide and maintain adequate landscaping for the entire site, including the proposed parking areas, and shall install and maintain a landscaping system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

7. The applicant shall provide and maintain adequate access to the site, including the proposed parking areas, and shall install and maintain an access system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

8. The applicant shall provide and maintain adequate utilities for the entire site, including the proposed parking areas, and shall install and maintain a utilities system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

9. The applicant shall provide and maintain adequate parking for the entire site, including the proposed parking areas, and shall install and maintain a parking system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

10. The applicant shall provide and maintain adequate safety for the entire site, including the proposed parking areas, and shall install and maintain a safety system in accordance with the requirements of the City of Alabaster, Alabama, and the State of Alabama.

AREA	ACRES	PERCENTAGE	REMARKS
AREA 1	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 2	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 3	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 4	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 5	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 6	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 7	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 8	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 9	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT
AREA 10	1.00	100%	RESERVED FOR FUTURE DEVELOPMENT



AREA 1
RESERVED FOR FUTURE DEVELOPMENT

AREA 2
RESERVED FOR FUTURE DEVELOPMENT

AREA 3
RESERVED FOR FUTURE DEVELOPMENT

AREA 4
RESERVED FOR FUTURE DEVELOPMENT

AREA 5
RESERVED FOR FUTURE DEVELOPMENT

AREA 6
RESERVED FOR FUTURE DEVELOPMENT

AREA 7
RESERVED FOR FUTURE DEVELOPMENT

AREA 8
RESERVED FOR FUTURE DEVELOPMENT

AREA 9
RESERVED FOR FUTURE DEVELOPMENT

AREA 10
RESERVED FOR FUTURE DEVELOPMENT

DRB-94-183



CITY OF ALABASTER
THE RECORDS OF THE CITY
PUBLIC INFORMATION ARE
TO BE KEPT IN THE
CITY OFFICE.

BY *H. W. WOOD*

CITY OF ALABASTER

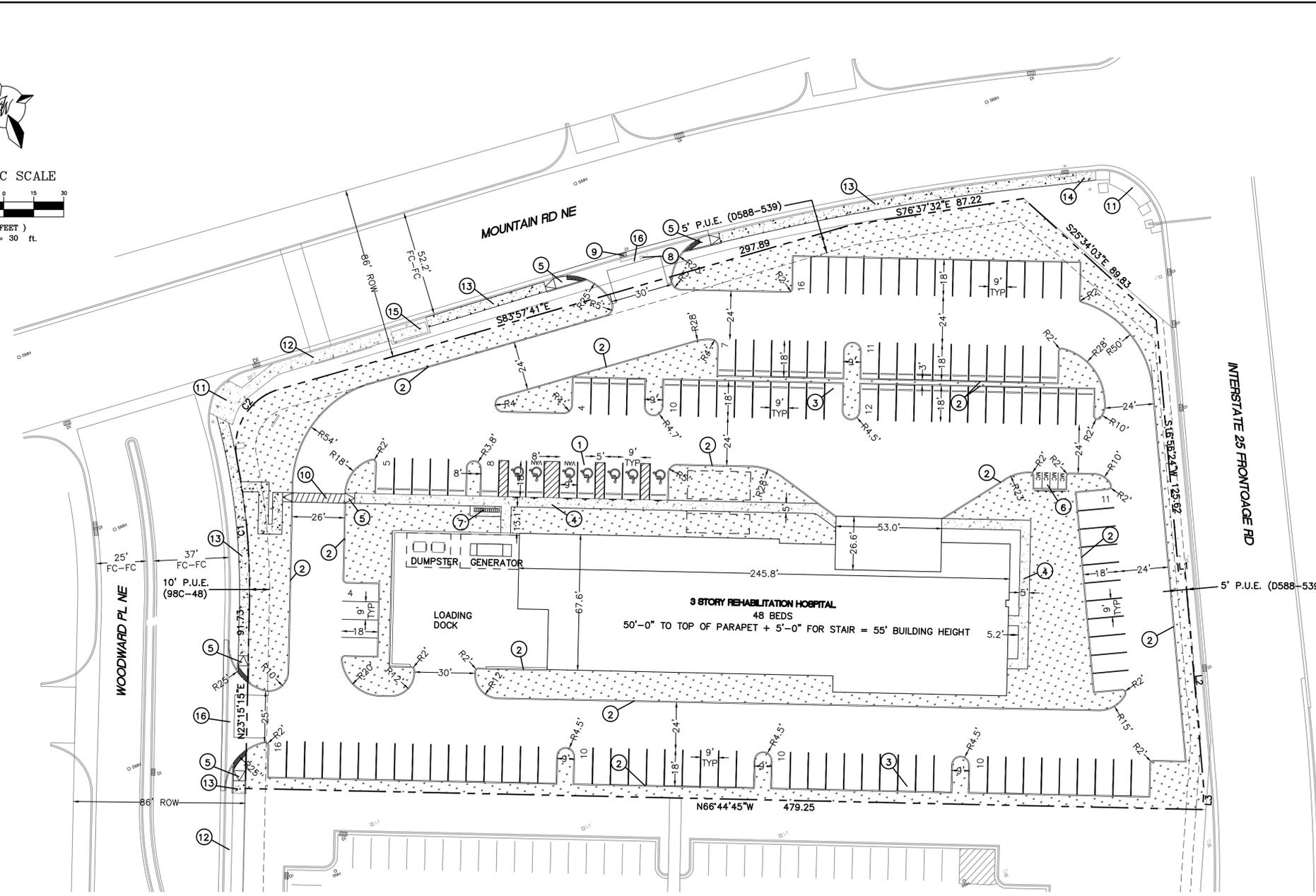
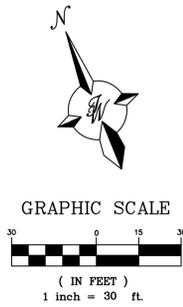
THE RECORDS OF THE CITY
PUBLIC INFORMATION ARE
TO BE KEPT IN THE
CITY OFFICE.



CITY OF ALABASTER

C

F



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING

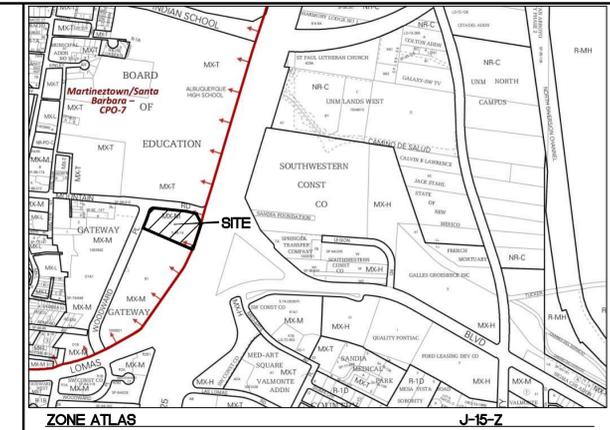
LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.58'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	12°29'23"
C2	30.00'	44.66'	85°17'07"

- KEYED NOTES**
- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
 - 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
 - 3 WHEEL STOP SEE DETAIL SHEET DET-1
 - 4 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 5 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
 - 6 MOTORCYCLE SPACES (4, 8'x4') W/SIGN
 - 7 BICYCLE RACK
 - 8 LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
 - 9 CURB INLET TO BE RELOCATED EAST OF ENTRANCE
 - 10 5' PEDESTRIAN CROSSWALK
 - 11 EXISTING ACCESSIBLE RAMP
 - 12 EXISTING CONCRETE SIDEWALK
 - 13 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 14 EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
 - 15 EXISTING BUS STOP
 - 16 6' VALLEY GUTTER PER COA STD DWG 2420



LEGAL DESCRIPTION:
TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	MEDICAL BUILDING
LOT AREA	119591 SF (2.75 ACRES)
ZONING	MX-M
BUILDING AREA	48000 SF
BUILDING FOOTPRINT	16015 SF
BUILDING COVERAGE	13%

BUILDING SETBACK

FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE

GFA 48,000 SF/4 SPACE PER 1,000 = 192 SPACES
 5-5(C)(5)(A) PARKING REDUCTION = 20%
 5-5(C)(5)(C) PARKING REDUCTION = 20%
 REDUCED PARKING REQUIRED = 134 SPACES

PARKING PROVIDED	126 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
ACCESSIBLE SPACES PROVIDED	8 SPACES (2 VAN ACCESSIBLE)
TOTAL	134 SPACES

BICYCLE SPACES REQUIRED	13
BICYCLE SPACES PROVIDED	13
MOTORCYCLE SPACES REQUIRED	4 SPACES
MOTORCYCLE SPACES PROVIDED	4 SPACES

LANDSCAPE REQUIRED	20340 SF
LANDSCAPE PROVIDED	33062 SF

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

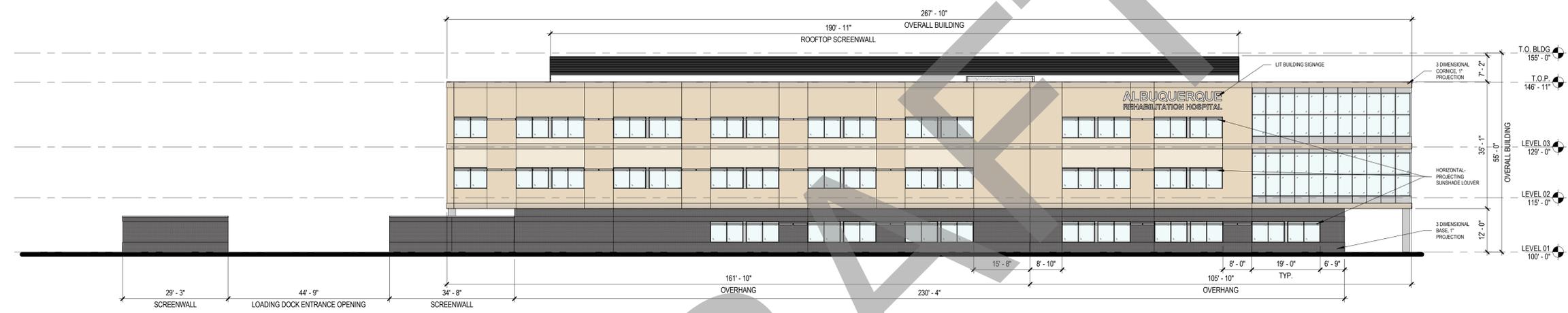
DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
Hydrology	_____	Date	_____
Code Enforcement	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
Planning Department	_____	Date	_____

ENGINEER'S SEAL	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pm
	SITE PLAN	DATE 2-26-24
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2023123-SP
		SHEET # SP-1
		JOB # 2023123

EXTERIOR FINISH LEGEND

	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: LIGHT GRAY STYLE: SANDBLAST		DESC.: MODULAR BRICK MANUF.: SUMMIT BRICK CO. COLOR: PEBBLE GRAY STYLE: RUNNING BOND
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: COTTON STYLE: SANDBLAST		DESC.: ACM PANEL MANUF.: ALUCOBOND COLOR: PLATINUM ICE STYLE: 4MM RAINSCREEN
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: TAN STYLE: SANDBLAST		DESC.: CLEAR GLAZING MANUF.: COLOR: 1/4\" SN 68 CRYSTAL GRAY STYLE: LOW-E



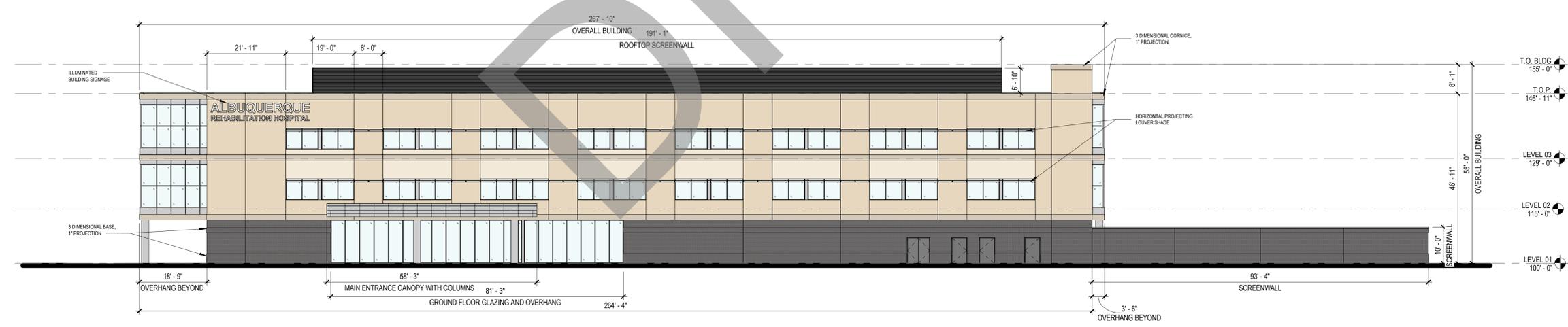
SOUTH ELEVATION - NOT STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
 UPPER FLOOR WINDOWS
 GROUND FLOOR WINDOWS - YES BUT SILLS AT 32"
 OVERHANGS / COLUMNS
 SUNSHADE LOUVERS
 SCREENWALL TO MATCH BUILDING

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
 CHANGES IN COLOR
 BRICK GROUND FLOOR
 3 EIFS COLORS ON UPPER FLOORS
 FIELD COLOR
 HORIZONTAL BAND COLOR (1\" PROJECTION)
 COLOR AT 1\" INSET (PLANE CHANGE) BETWEEN WINDOWS
 MASONRY 1\" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
 EIFS BAND 1\" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

LOADING DOCK SCREENWALL COMPLIANCE WITH 5-6(G)(2)
 PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS. PER 5-6(G)(2)(G)(1) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNICE AND BASE, SIMILAR TO THE BUILDING.

02 SOUTH ELEVATION
 1/16\" = 1'-0\" | NOT STREET FACING



NORTH ELEVATION - STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NEED 2
 UPPER FLOOR WINDOWS
 GROUND FLOOR WINDOWS / MAIN ENTRY
 CANOPY / OVERHANGS / COLUMNS
 SUNSHADE LOUVERS

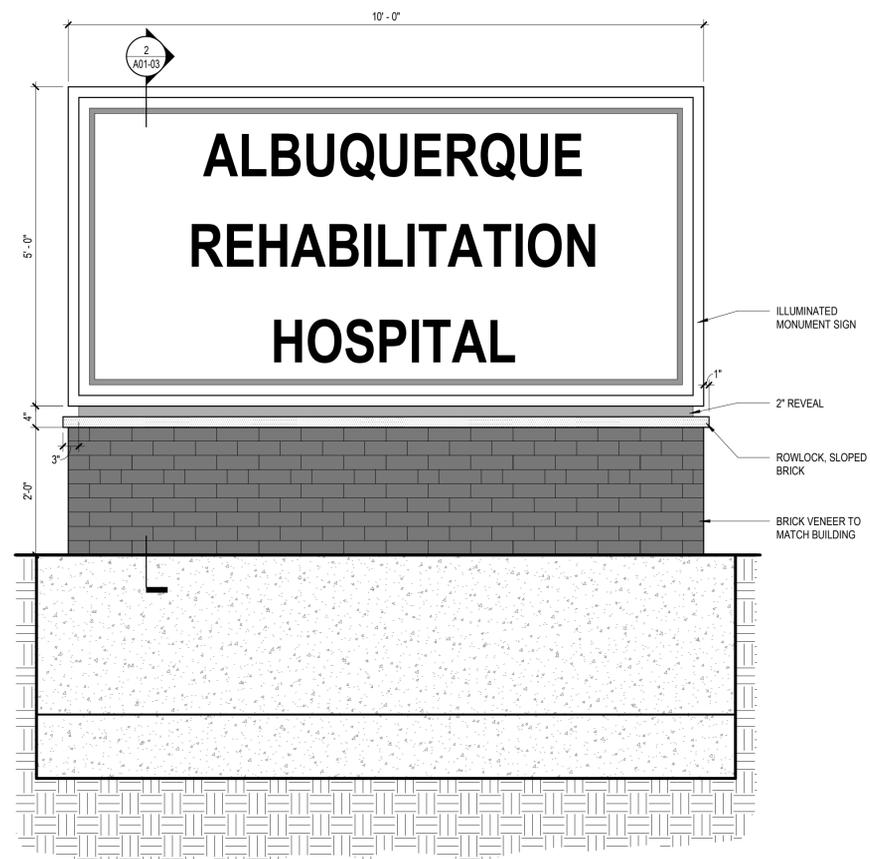
COMPLIANCE WITH 5-11(E)(3) - NEED 1
 CHANGES IN COLOR
 BRICK GROUND FLOOR
 3 EIFS COLORS ON UPPER FLOORS
 FIELD COLOR
 HORIZONTAL BAND COLOR (1\" PROJECTION)
 COLOR AT 1\" INSET (PLANE CHANGE) BETWEEN WINDOWS
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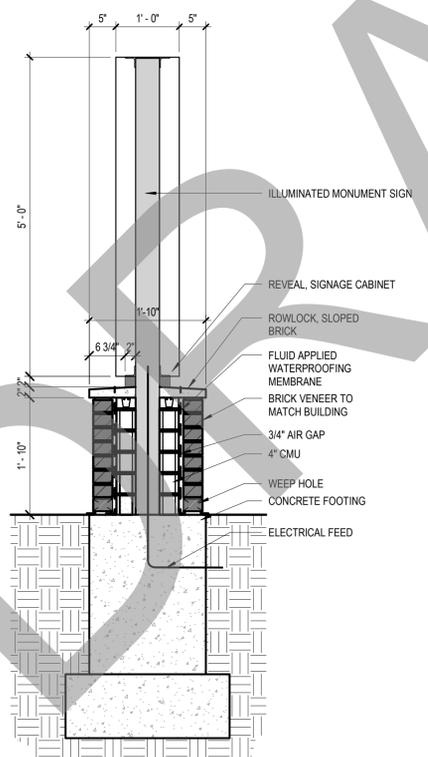
01 NORTH ELEVATION
 1/16\" = 1'-0\" | STREET FACING

EXTERIOR FINISH LEGEND

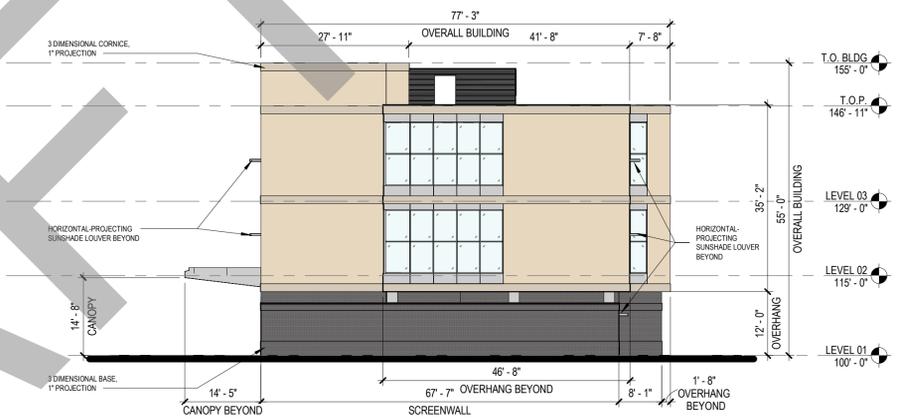
	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: LIGHT GRAY STYLE: SANDBLAST		DESC.: MODULAR BRICK MANUF.: SUMMIT BRICK CO. COLOR: PEBBLE GRAY STYLE: RUNNING BOND
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	DESC.: EIFS COLOR MANUF.: STOCORP COLOR: TAN STYLE: SANDBLAST		DESC.: CLEAR GLAZING MANUF.: 1/4\" SM 68 CRYSTAL GRAY COLOR: 1/4\" SM 68 CRYSTAL GRAY STYLE: LOW-E



04 MONUMENT SIGN
3/4" = 1'-0"



03 MONUMENT SIGN SECTION
3/4" = 1'-0"



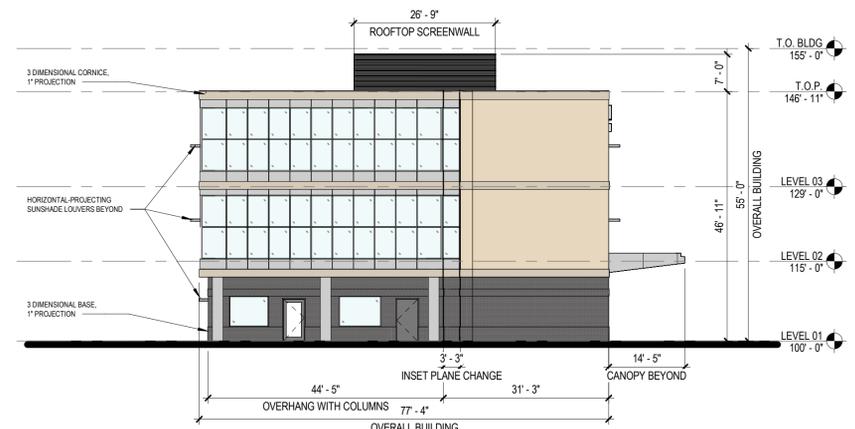
02 WEST ELEVATION
1/16" = 1'-0" | STREET FACING

WEST ELEVATION - STREET FACING, PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL

COMPLIANCE WITH 5-11(E)(2) - NEED 2 UPPER FLOOR WINDOWS
CANOPY / OVERHANGS / COLUMNS
SECONDARY STAFF ENTRY

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, BUT PROVIDED SIMILAR TO NORTH FACADE
CHANGES IN COLOR
BRICK GROUND FLOOR
2 EIFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1" PROJECTION)
MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
EIFS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

LOADING DOCK SCREENWALL COMPLIANCE WITH 5-6(G)(2)
PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS.
PER 5-6(G)(2)(G)(1) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNICE AND BASE, SIMILAR TO THE BUILDING.



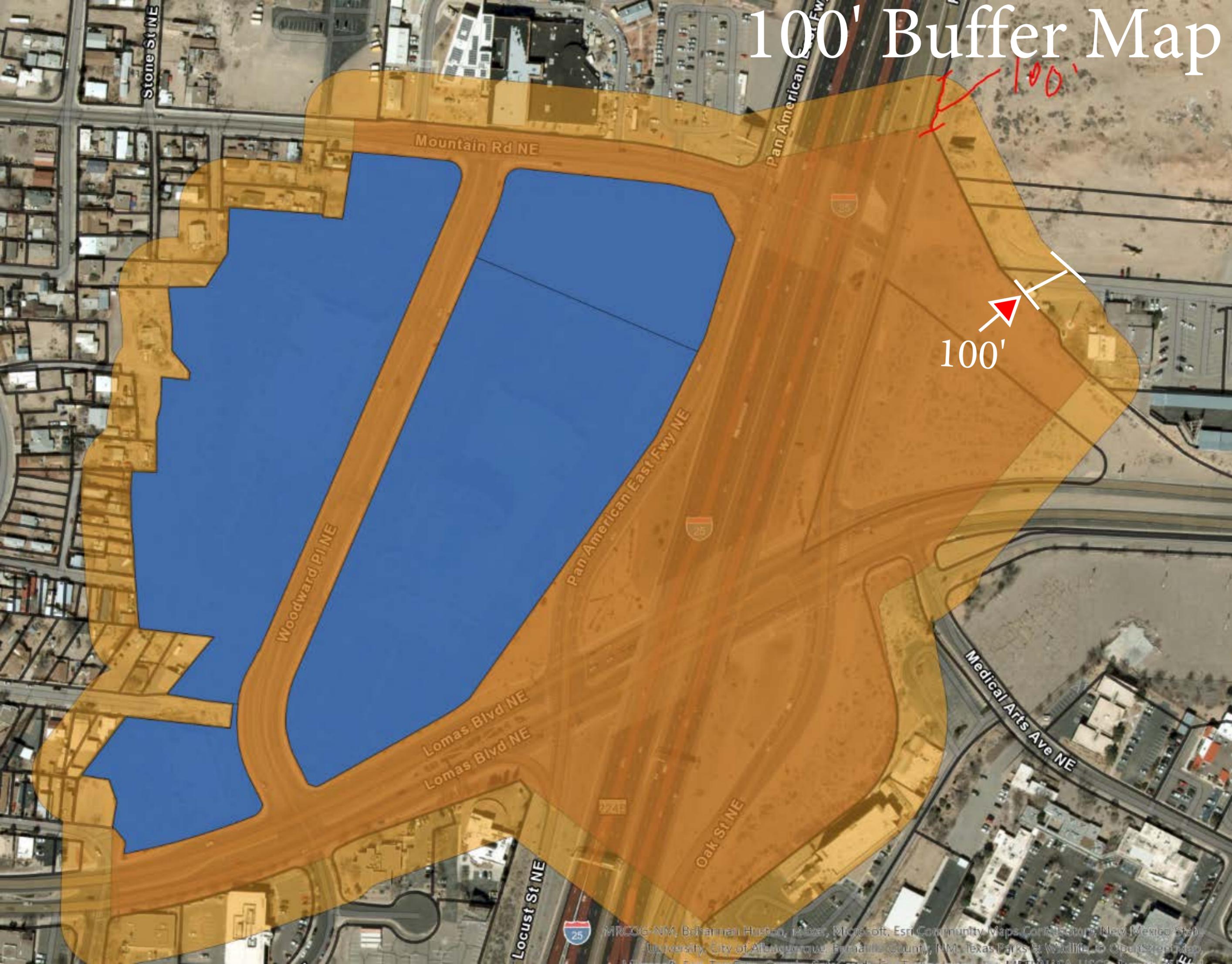
01 EAST ELEVATION
1/16" = 1'-0" | STREET FACING

EAST ELEVATION - STREET FACING

COMPLIANCE WITH 5-11(E)(2) - NEED 2 UPPER FLOOR WINDOWS
GROUND FLOOR WINDOWS - YES BUT SILLS AT 32"
CANOPY / OVERHANGS / COLUMNS
PRIMARY STAFF ENTRY

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE
CHANGES IN COLOR
BRICK GROUND FLOOR
2 EIFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1" PROJECTION)
MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
EIFS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

100' Buffer Map



JDHQ LAND HOLDING LLC C/O ATRIUM
HOLDING COMPANY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

JDHQ HOTELS LLC ATTN: ATRIUM
HOSPITALITY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

TRICORE REFERENCE LABORATORIES
1001 WOODWARD PL NE
ALBUQUERQUE NM 87102

NEW HEART INC
601 LOMAS BLVD NE
ALBUQUERQUE NM 87102

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORPORATION
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714

BOARD OF EDUCATION C/O PROPERTY
MANAGER
PO BOX 25704
ALBUQUERQUE NM 87125-0704

REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

LOPEZ JUAN A & KRAUSE CAROL A
800 MOUNTAIN RD NE
ALBUQUERQUE NM 87102

VIGIL FRIEDA & GEORGE WYLER &
LOUIE WYLER & ELIZABETH GRIEGO
ETAL
2733 GRACELAND DR NE
ALBUQUERQUE NM 87102

DUNEMAN CHRISTOPHER S & JAYMIE A
919 GRECIAN AVE NW
ALBUQUERQUE NM 87102

CHAVEZ ALVIN
1122 HIGH ST NE
ALBUQUERQUE NM 87102

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

CHAVEZ VALENTINO REYES
1117 HIGH ST NE
ALBUQUERQUE NM 87102-2425

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

POLISAR SHIRLEY ELIZABETH CHAVEZ
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1121 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828

HUGH A CARLISLE POST 13 DEPT OF
NEW MEXICO
1201 MOUNTAIN RD NE
ALBUQUERQUE NM 87102-2716

SANDIA FOUNDATION C/O PARADIGM
TAX GROUP – ESS #0116
PO BOX 71870
SALT LAKE CITY UT 84171-0870

CROCKETT LAWRENCE & WOLFE
MARIA
2539 DURANES RD NW
ALBUQUERQUE NM 87104

MARTINEZ LORRAINE
1124 WALTER NE
ALBUQUERQUE NM 87120

BACA C JOHN JR
10100 CALLE BELLA NW
ALBUQUERQUE NM 87114

JAMES DELBERT & MARIA C
1020 WALTER ST NE
ALBUQUERQUE NM 87102

BACA TERESA A
BOX 5482
SANTA FE NM 87502-5482

HERNANDEZ KATHERINE
1024 WALTER ST NE
ALBUQUERQUE NM 87102

BACA JOAQUIN F & MINDY S
1006 EDITH BLVD NE
ALBUQUERQUE NM 87102

SOLANO DAVID M
1004 WALTER ST SE
ALBUQUERQUE NM 87102

SALAZ DULCE
1002 WALTER ST NE
ALBUQUERQUE NM 87102

MONTOYA JUSTO ET UX
PO BOX 6092
ALBUQUERQUE NM 87197

DURAN JOHANNA L
920 WALTER NE
ALBUQUERQUE NE 87102

ROBLES ANDREW RAY
916 WALTER NE
ALBUQUERQUE NM 87102

CORRALEZ ANGELIQUE
916 WALTER ST NE
ALBUQUERQUE NM 87102

BACA CARLOS RAY
618 MARBLE AVE NE
ALBUQUERQUE NM 87102

GRIEGO LILLIAN
639 RESERVIOR ST
SOCORRO NM 87801-4332

MICHELMAN EVELYN
620 MARBLE AVE NE
ALBUQUERQUE NM 87102

VASQUEZ PERFECTO & LYDIA
617 PAGE AVE NE
ALBUQUERQUE NM 87102-2476

KARSTEN ELIZABETH C
1911 RICHMOND DR NE
ALBUQUERQUE NM 87106

GANBATTE HOLDINGS LLC
3431 MONTE VISTA BLVD NE
ALBUQUERQUE NM 87106

BAUER ASHLEY
614 PAGE AVE NE
ALBUQUERQUE NM 87102

SANCHEZ PATRICIA B & BACA
FILODELFIO R
616 PAGE AVE NE
ALBUQUERQUE NM 87102

SANCHEZ JOEY J JR & ALMITRA
618 ½ PAGE AVE NE
ALBUQUERQUE NM 87102

ORDONEZ-CARAVEO JUAN CARLOS &
ORDONEZ-CARAVEO RUBEN GERALDO
8400 CASA GRIS CT NW
ALBUQUERQUE NM 87102

AVILA-BORUNDA ARIADNA I &
BORUNDA LAURA
523 SLATE AVE NE
ALBUQUERQUE NM 87102

MARTHA LILLEY LLC & YELLOW HORSE
ENTERPRISES LLC
7244 SAVAGE DR NE
ALBUQUERQUE NM 87109

CHAVEZ RAMIE NICHOLE
2315 MUIR DR NW
ALBUQUERQUE NM 87120

SWEET & COMPANY LLC
PO BOX 3082
HUNTINGTON BEACH CA 92605-3082

522 LOMAS LLC
522 LOMAS BLVD NE
ALBUQUERQUE NM 87102

WHITFIELD ENTERPRISES INC
617 I STREET
PETALUMA CA 94952-4904

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131

SPINE ORTHOPAEDIC &
REHABILITATION CENTER LLC C/O
WHITEMAN COMPANY LLC
7850 JEFFERSON ST NE SUITE 140
ALBUQUERQUE NM 87109

SANTA TERESA GIANT LLC
601 N MESA SUITE 1500
EL PASO TX 79901-1225

SANDIA FOUNDATION
6211 SAN MATEO BLVD NE SUITE 100
ALBUQUERQUE NM 87109

I-25 HOTEL CORPORATION
20342 SW ACACIA ST
NEWPORT BEACH CA 92660-1704

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131-0001

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: April 24, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: 522 LOMAS LLC

Mailing Address*: 522 LOMAS BLVD NE, ALBUQUERQUE NM 87102

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address*: 1100 Woodward Pl NE, Albuquerque, NM 87102
Location Description: Tract A Plat of Gateway Subdivision
2. Property Owner*: JDGQ Land Holding LLC C/O Atrium Holding Company
3. Agent/Applicant* [if applicable]: Tierra West LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Major amendment to existing Gateway Center Site Plan to allow for Hospital Use on subject lot

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: Thursday, May 16th, 8:40 AM

Location*²: CABQ Zoom - <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
tierrawestllc.com - slozoya@tierrawestllc.com - (505) 858-3100

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴: J-15-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*: _____

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A meeting between Agent, Tierra West, and the Santa Barbara Martineztown Neighborhood Association (SBMTNA) occurred on March 21, 2024, and the Site Plan was presented and discussed. Concerns such as traffic and public roadway capacity were discussed, but no consensus was reached.

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project. Hospital Use - 48,000 SF
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres]: 2.7845 Acres
2. IDO Zone District: MX-H (Appealed, previously MX-M)
3. Overlay Zone(s) [if applicable]: Martineztown/Santa Barbara - CPO-7
4. Center or Corridor Area [if applicable]: Mountain Rd and I-25 Frontage Corridors
5. Current Land Use(s) [vacant, if none]: Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



522 LOMAS LLC
522 LOMAS BLVD NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORPORATION
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714



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523 SLATE AVE NE
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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



BACA C JOHN JR
10100 CALLE BELLA NW
ALBUQUERQUE NM 87114



BACA CARLOS RAY
618 MARBLE AVE NE
ALBUQUERQUE NM 87102

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BACA JOAQUIN F & MINDY S
1006 EDITH BLVD NE
ALBUQUERQUE NM 87102





TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BACA TERESA A
BOX 5482
SANTA FE NM 87502-5482



TIERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BAUER ASHLEY
614 PAGE AVE NE
ALBUQUERQUE NM 87102

TIERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



BOARD OF EDUCATION C/O PROPERTY
MANAGER
PO BOX 25704
ALBUQUERQUE NM 87125-0704

TERRA WEST, LLC
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ALBUQUERQUE NM 87109

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ 1119 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ 1121 LLC
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CHAVEZ ALVIN
1122 HIGH ST NE
ALBUQUERQUE NM 87102



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CHAVEZ RAMIE NICHOLE
2315 MUIR DR NW
ALBUQUERQUE NM 87120



CHAVEZ VALENTINO REYES
1117 HIGH ST NE
ALBUQUERQUE NM 87102-2425

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CORRALEZ ANGELIQUE
916 WALTER ST NE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CROCKETT LAWRENCE & WOLFE
MARIA
2539 DURANES RD NW
ALBUQUERQUE NM 87104



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



DUNEMAN CHRISTOPHER S & JAYMIE A
919 GRECIAN AVE NW
ALBUQUERQUE NM 87102

TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DURAN JOHANNA L
920 WALTER NE
ALBUQUERQUE NE 87102



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GANBATE HOLDINGS LLC
3431 MONTE VISTA BLVD NE
ALBUQUERQUE NM 87106





TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GRIEGO LILLIAN
639 RESERVIOR ST
SOCORRO NM 87801-4332

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HERNANDEZ KATHERINE
1024 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HUGH A CARLISLE POST 13 DEPT OF
NEW MEXICO
1201 MOUNTAIN RD NE
ALBUQUERQUE NM 87102-2716



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



I-25 HOTEL CORPORATION
20342 SW ACACIA ST
NEWPORT BEACH CA 92660-1704

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JAMES DELBERT & MARIA C
1020 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



JDHQ HOTELS LLC ATTN: ATRIUM
HOSPITALITY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



JDHQ LAND HOLDING LLC C/O ATRIUM
HOLDING COMPANY
12735 MORRIS RD SUITE 400 EXT
ALPHARETTA GA 30004-8904



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

KARSTEN ELIZABETH C
1911 RICHMOND DR NE
ALBUQUERQUE NM 87106

TIERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LOPEZ JUAN A & KRAUSE CAROLA
800 MOUNTAIN RD NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MARTHA LILLEY LLC & YELLOW HORSE
ENTERPRISES LLC
7244 SAVAGE DR NE
ALBUQUERQUE NM 87109



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MARTINEZ LORRAINE
1124 WALTER NE
ALBUQUERQUE NM 87120

TERRA *MEST*. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MICHELMAN EVELYN
620 MARBLE AVE NE
ALBUQUERQUE NM 87102





TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MOFFETT DOLORES & ALESHA MYRA
DILLANDER
103 E ARAGON RD
BELEN NM 87002-4601

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MONTOYA JUSTO ET UX
PO BOX 6092
ALBUQUERQUE NM 87197



NEW HEART INC
601 LOMAS BLVD NE
ALBUQUERQUE NM 87102

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TERRA MEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



ORDONEZ-CARAVEO JUAN CARLOS &
ORDONEZ-CARAVEO RUBEN GERALDO
8400 CASA GRIS CT NW
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

POLISAR SHIRLEY ELIZABETH CHAVEZ
1000 CAMINO RANCHITOS NW
ALBUQUERQUE NM 87114-1828



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NM MSC06 3595
ALBUQUERQUE NM 87131-0001

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



REGENTS OF UNM REAL ESTATE DEPT
MSC06-3595-1 UNIVERSITY OF NM
ALBUQUERQUE NM 87131-0001



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROBLES ANDREW RAY
916 WALTER NE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SALAZ DULCE
1002 WALTER ST NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANCHEZ JOEY J JR & ALMITRA
618 ½ PAGE AVE NE
ALBUQUERQUE NM 87102



TERRA MEST. LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SANCHEZ PATRICIA B & BACA
FILODELFIO R
616 PAGE AVE NE
ALBUQUERQUE NM 87102

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANDIA FOUNDATION C/O PARADIGM
TAX GROUP – ESS #0116
PO BOX 71870
SALT LAKE CITY UT 84171-0870

TERRA MEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SANDIA FOUNDATION
6211 SAN MATEO BLVD NE SUITE 100
ALBUQUERQUE NM 87109

TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SANTA TERESA GIANT LLC
601 N MESA SUITE 1500
EL PASO TX 79901-1225





TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SOLANO DAVID M
1004 WALTER ST SE
ALBUQUERQUE NM 87102

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SPIKE
SPIRE ORTHOPAEDIC &
REHABILITATION CENTER LLC C/O
WHITEMAN COMPANY LLC
7850 JEFFERSON ST NE SUITE 140
ALBUQUERQUE NM 87109



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SWEET & COMPANY LLC
PO BOX 3082
HUNTINGTON BEACH CA 92605-3082



TERRA *MEST*.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TRICORE REFERENCE LABORATORIES
1001 WOODWARD PL NE
ALBUQUERQUE NM 87102



TERRA WEST. LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VASQUEZ PERFECTO & LYDIA
617 PAGE AVE NE
ALBUQUERQUE NM 87102-2476



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VIGIL FRIEDA & GEORGE WYLER &
LOUIE WYLER & ELIZABETH GRIEGO
ETAL
2733 GRACELAND DR NE
ALBUQUERQUE NM 87102



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

WHITFIELD ENTERPRISES INC
617 I STREET
PETALUMA CA 94952-4904



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 3rd, 2024 To August 2nd, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 _____ 7/1/24
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2024-009765, RZ-2024-00001

REQUEST

SITE PLAN - EPC, MAJOR AMENDMENT TO GATEWAY
SITE PLAN FOR SUBDIVISION TO ALLOW HOSPITAL USE
* ADJUST SET BACK STANDARDS ON TRACT A SITE
PLAN - EPC REVIEW OF PROPOSED HOSPITAL

The City of Albuquerque Environmental Planning Commission will hold a public hearing on Zoom Calga Zoom US / 12269572259, on July 18, 2024 at 8:30 AM. All persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant. Required to be posted from 7-3-24 to 8-2-24 by TIERRA WEST ON BEHALF OF CROSS DEVELOPMENT phone 505-858-3100 applicant/agent PR-2024-009765 SI-2024-0046P

REFER TO FILE#

It is illegal for an unauthorized person to remove or tamper with this sign.

REQUEST

ZONE MAP AMENDMENT FROM MX-M TO MX-H
AT 1100 WOODWARD PL. NE
WHO REMAND AC-24-11
2.7 ACRES

The City of Albuquerque Environmental Planning Commission will hold a public hearing cabu.zoom.us/j/2269592859, on 7/18, 20 24 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant. Required to be posted from 7/3/24 to 8/2/24 by TIERA WEST on BEHALF OF CROSS DEVELOPMENT phone 505-310-858 applicant/agent AC-24-11

REFER TO FILE# PR 2024-009705, RZ 2024-0000 +

It is illegal for an unauthorized person to remove or tamper with this sign



REQUEST
SITE PLAN - EPC MAJOR AMENDMENT TO GATEWAY
SITE PLAN FOR SUBDIVISION TO ALLOW HOSPITAL USE
* ADJUST SET BACK STANDARDS ON TRACT A, SITE
PLAN - EPC REVIEW OF PROPOSED HOSPITAL

The City of Albuquerque Environmental Planning Commission will hold a public hearing on Zoom cityofalbuquerque.us/j/22w4572829 on July 18, 2024 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant. Required to be posted from 7-3-24 to 8-2-24 by TIEDA WEST ON BEHALF OF CROSS DEVELOPMENT applicant/agent PR-2024-0071us SI-2024-00468 phone 505-955-3100

REFER TO FILE# PR-2024-0071us SI-2024-00468
It is illegal for an unauthorized person to remove or tamper with this sign.





REQUEST
 ZONE MAP AMENDMENT FROM MX-M TO MX-H
 AT 1100 WOODWARD PL. NE
 LUHO REMAND AC-24-11
 2.9 ACRES

The City of Albuquerque Environmental Planning Commission will hold a public hearing cabq.com.us/j/3269592859 on 7/18, 2024 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant. Required to be posted from 7/13/24 to 8/2/24 by TERRA WEST on behalf of CROSS Development, 805-858-5100 applicant/agent

REFER TO FILE# PR 2024-009765 R2-2024-00023 AC-24-11 phone

It is illegal for an unauthorized person to remove or tamper with this sign.



**GATEWAY
TO CENTER CITY**

REQUEST
SITE PLAN-EPC MAJOR AMENDMENT TO GATEWAY SITE
PLAN FOR SUBDIVISION TO ALLOW HOSPITAL USE & ADJUST
SET BACK STANDARDS ON TRACT A. SITE PLAN-EPC
REVIEW OF PROPOSED HOSPITAL

The City of Albuquerque Environmental Planning Commission will hold a
public hearing on Zoom 0099.200m.us/j/2269592859
on July 18, 2024 at 8:30 AM. All Persons
have a right to appear at such a hearing. For information on this case or
other instructions on filing written comments, call the Planning
Department at (505) 924-3860 or contact the applicant.
Required to be posted from 7-3-24 to 8-2-24
by TIEDRA WEST ON BEHALF OF CROSS DEVELOPMENT
applicant/agent
REFER TO FILE# PR-2024-009765 SI-2024-00468 phone 505 858-3100
It is illegal for an unauthorized person to remove or tamper with this sign.



REQUEST

ZONE MAP AMENDMENT FROM MX-M
TO MX-H @ 1100 WOODWARD PL NE
LUHO REMAND AC-24-11
2.7 ACRES

The City of Albuquerque Environmental Planning Commission will hold a public hearing cabq.zoom.us/j/2269592859, on 7/18, 20 24 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant.

Required to be posted from 7/3/24 to 8/2/24
by TIERRA WEST on behalf of CROSS DEVELOPMENT phone 505-858-3100
applicant/agent

REFER TO FILE# PR-2024-009765-R2-2024-00001 • AC-24-11

It is illegal for an unauthorized person to remove or tamper with this sign

F) NEIGHBORHOOD MEETING REPORT

CABQ Facilitated Meeting Report
EPC - Site Plan Amendment (Major)
1100 Woodward PI NE - Matter #2023123
March 21, 2024 – 6-8PM – Remote Format (ZOOM)
Facilitator, Tyson R. Hummell

Meeting Background

This Meeting was to address Applicant’s request for Site Plan Amendment (Major). The current site plan provides for general office facilities. The subject amendment would allow development of a Physical Rehabilitation Hospital. Pursuant to IDO, 14-16-1-10(A)(2) the original “Gateway” site plan, cir.1994, is controlling. SBNA objects to this interpretation of the IDO and does not agree that the 1994 site plan is controlling. This issue remains unresolved between the parties.

This same Applicant also recently submitted for a Zone Map Amendment at the same subject property. ADR provided a separate Facilitated Meeting for that application on January 18, 2024. Many of the Community objections heard at that meeting were re-iterated, and are therefore restated herein.

*The corresponding Application for Zone Map Amendment is currently under appeal.

Meeting Process

This meeting was conducted remotely, via ZOOM. Applicants shared project details and proposed Community benefits, via PowerPoint presentation. The remainder of this Facilitated Meeting included questions, answers, discussion and Community comments.

There were two important changes in Applicants’ presentation, since our first Facilitated Meeting. CABQ and NMDOT will now require a formal traffic/safety study, to be completed for the subject site. The second change was a significant reduction in total proposed patient capacity.

Community Objections

The Community objects to this project, contextually, not generally. The Community specifically objects to several existing, negative impacts, which this project might exacerbate. These Community concerns and objections do transcend the parameters of the subject application. However, these objections are relevant to understand how existing, negative impacts might act in concert with Applicants’ proposed use.

Aggregate Community Concerns

1. Traffic capacity deficit on Mountain Road (existing)
 - 1.1. Historic Mountain Road, between Edith and the Frontage Road, is very narrow, and was not built to support current uses. Existing uses already exceed traffic infrastructure capacity on Mountain Road
 - 1.2. Excessive Commercial vehicle use (existing)
 - 1.2.1. Roadway damage due to excessive use and large commercial vehicle traffic
 - 1.2.2. Damage to adjacent structures due to large commercial vehicle traffic
 - 1.3. Applicants’ proposed Site Plan is adjacent to, and may exacerbate traffic impacts of AHS and CEC facilities (4000+/- daily users)

- 1.4. Applicants' site plan could worsen traffic congestion, noise and pollution in SBMT
2. Safety concerns near the intersection Frontage Road / Mountain Road (adjacent to site)
 - 2.1. Intersection already sees excessive speeding, frequent serious collisions and dangerous conditions, generally.
 - 2.2. Community is currently not protected from improper commercial vehicles entering SBMT, via the Frontage Road at Mountain.
 - 2.2.1. Community suggests that a Roundabout, physical barriers and/or effective traffic law enforcement may help mitigate this issue, in aggregate
 - 2.3. Community is concerned that Applicants' proposed use could worsen these existing impacts
3. Community voiced concern regarding any Gentrification impacts, which might be associated with this application.
4. Community also voiced concern regarding any Disruption of Historic Community identity, which may be associated with this project
5. Environmental Impacts and Concerns
 - 5.1. Community requests a comprehensive environmental impact study, to include assessments of:
 - 5.1.1. Aggregate vehicle traffic
 - 5.1.2. Air Quality
 - 5.1.3. Noise
 - 5.1.4. Building Height (objection to 3-story building)
 - 5.1.4.1. Solar Blocking / Solar Loss
 - 5.1.5. Freeway Impacts, and
 - 5.1.6. "Heat Wave" Impacts
 - 5.2. Community proposes an alternative site use - as City Owned Open Space, to provide:
 - 5.2.1. Natural buffer to Freeway
 - 5.2.2. Relief from urban infill, congestion and crowding
 - 5.2.3. Amenities similar to North Domingo Baca Multigenerational Center
 - 5.2.4. Mitigation of urban environmental impacts (noise, pollution, crowding, infill)

Conclusion

Community objects to Applicants' request. Consensus was not achieved. The Parties remain at impasse, with regard to this project.

Participants

Applicant Team	Tierra West LLC. Sergio Lozoya Adam Johnstone
Community Stakeholders	SBMTNA (Participated Collectively Online) *Individual Community Stakeholders were not documented
Facilitator	CABQ ADR Office Tyson R. Hummell

G) PUBLIC COMMENT



EMBASSY SUITES

by HILTON™

Albuquerque Hotel & Spa

Jonathan R. Hollinger

July 10, 2024

Chair, Environmental Planning Commission

City of Albuquerque

600 Second Street NW

Albuquerque, NM 87102

RE: SUPPORT FOR THE NOBIS ALBUQUERQUE REHABILITATION HOSPITAL

EPC Project and Case Numbers: PR-2024-009765, RZ-2024-00001 Zone Map Amendment and SI-2024-00468, Site Plan-EPC, Major Amendment @ Gateway Center/1100 Woodward Pl NE

Hello EPC Commissioners:

I am a General Manager of the Embassy Suites by Hilton Albuquerque, located off Lomas Blvd at 1000 Woodward Pl NE. As a key part of the local business community, Embassy Suites is supportive of initiatives that contribute to the overall well-being and growth of Albuquerque.

I am writing to voice our support for the NOBIS Albuquerque Rehabilitation Hospital and the requests being brought forward to the Environmental Planning Commission on July 18th. This development is a desirable use that furthers the health and well-being of our community, families, and friends in multiple ways, including the following:

1. **Addressing Healthcare Needs:** Our state lacks sufficient hospital care, leaving many without necessary support. An intensive care rehabilitation hospital will free up beds in our hospital system for other high-needs patients.
2. **Social Infrastructure:** Healthcare is more than treatment—it's social infrastructure. This project represents an investment in the well-being of our community. This is especially important as our communities, families, and neighbors age.
3. **Job Creation:** Approximately 100 healthcare jobs will be created—60 during the day and 40 at night—boosting our local economy and providing essential services.
4. **Strategic Location:** Situated in our greater downtown area, this project will build on an infill site adjacent to other medical uses, and will add a buffer between residential neighborhoods and the freeway.
5. **Compatibility:** We see no adverse impact to our hotel operation and find it to be a very compatible adjacent use. Located directly north of our hotel, the proposed hospital can include family members traveling from across the state. To the extent of any such travel,

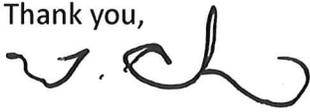
we believe our hotel will provide a comfortable place for family member to stay while supporting their loved ones in rehabilitation.

6. **Specialized Care:** We understand that this hospital will bring a specialized rehabilitation facility to New Mexico for complex issues like stroke, spinal cord injury, brain injury, and other medical and neurological disorders.

The requests being brought forward include a Major Amendment to a Site Plan controlled by the EPC and a zone map amendment from MX-M to MX-H.

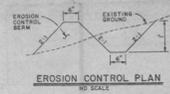
In closing, we want to express our full support for this project and the medical and economic benefits it will bring to our community.

Thank you,

A handwritten signature in black ink, appearing to read 'T. Clark', with a stylized flourish at the end.

Thad Clark
Hotel General Manager

H) CONTROLLING SITE PLAN



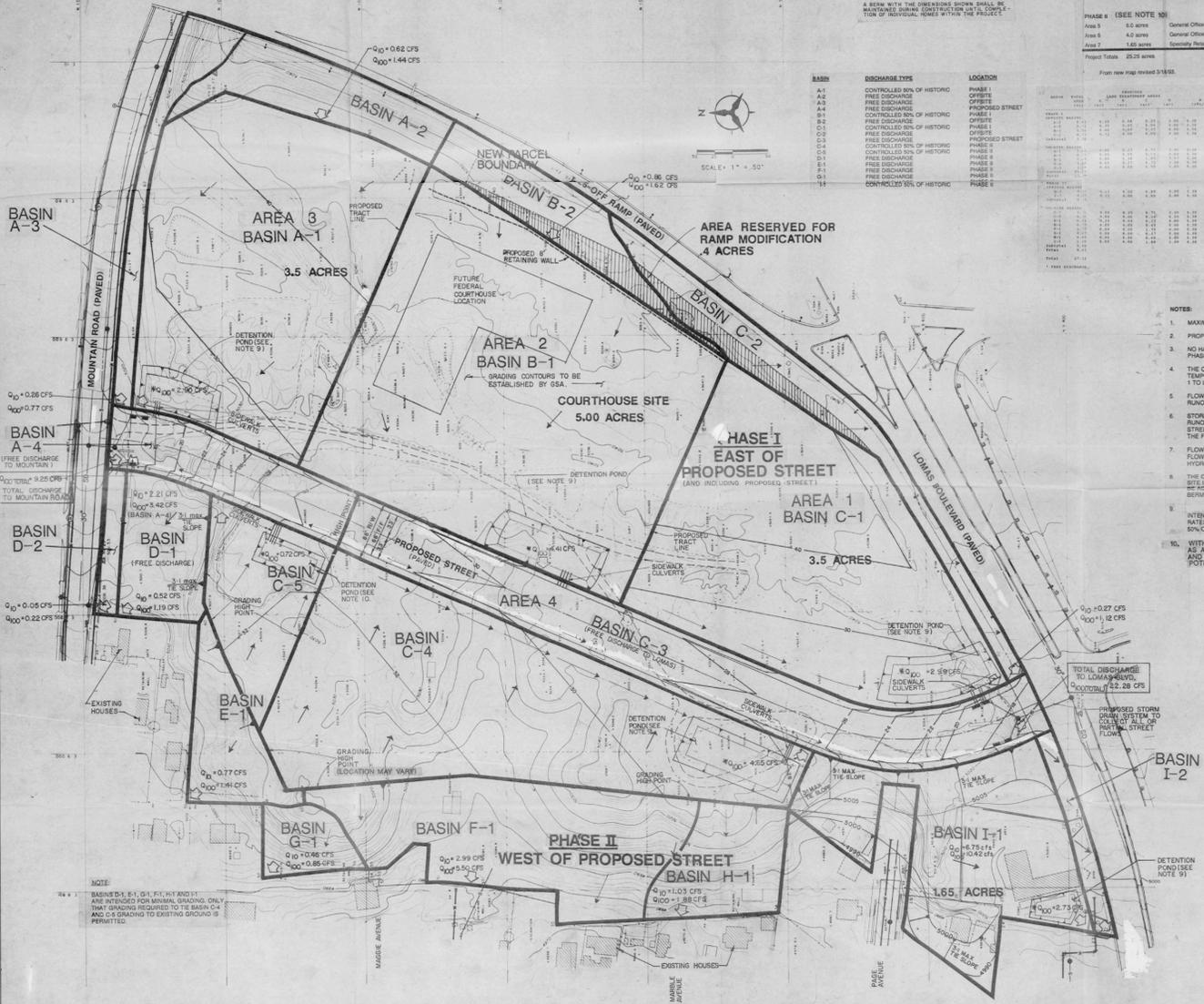
GATEWAY CENTER
Land Use Schedule

Area	Average Density	Use	Building Area	Height	PAR
PHASE I (TO BE PLATTED)					
Area 1	3.5 acres	General Office or Hotel	200,000 GSF	180 feet	1.85
Area 2	5.0 acres	General Office (Courtroom)	300,000 GSF	180 feet	1.85
Area 3	3.5 acres	General Office	270,000 GSF	180 feet	1.65
Area 4	1.6 acres	Public Street Right-of-Way	n/a	n/a	0.0
PHASE II (SEE NOTE 10)					
Area 5	6.0 acres	General Office	110,000 GSF	60 feet	0.50
Area 6	4.0 acres	General Office	70,000 GSF	60 feet	0.50
Area 7	1.6 acres	General Office & Restaurant	60,000 GSF	50 feet	0.22
Phase II Total	25.20 acres		1,060,000 GSF	n/a	1.0

From new map issued 3/19/93.

Basin	Discharge Type	Location
A-1	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
A-2	FREE DISCHARGE	PROPOSED STREET
A-3	FREE DISCHARGE	PHASE I
A-4	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-1	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-2	FREE DISCHARGE	PROPOSED STREET
B-3	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-4	FREE DISCHARGE	PROPOSED STREET
B-5	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-6	FREE DISCHARGE	PHASE I
B-7	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-8	FREE DISCHARGE	PHASE I
B-9	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-10	FREE DISCHARGE	PHASE I
B-11	CONTROLLED 50% OF HISTORIC	PHASE I OFFSITE
B-12	FREE DISCHARGE	PHASE I

Basin	Area	Flow Rate																		
[Detailed flow rate data table with multiple columns for various basins and flow rates]																				



- CONCEPTUAL GRADING PLAN NOTES
- MAXIMUM ALLOWABLE DISCHARGE RATE DESIGNATED BY #
 - PROPOSED STREET TO BE CONSTRUCTED WITH PHASE I
 - NO HARDENED IMPROVEMENTS ARE TO BE CONSTRUCTED WITHIN PHASE II AT THIS TIME.
 - THE CONTRACTOR SHALL CARRY ALL GRADING OR CONSTRUCT TEMPORARY DETENTION PONDS IN BASINS A-1, A-2, C-1, C-4, C-5 AND 1 TO LIMIT RUNOFF TO THE FLOW RATES SHOWN ON THIS SHEET.
 - FLOW RATES FROM BASINS A-1 AND A-2 SHOWN DO NOT INCLUDE RUNOFF FROM UPLAND BASINS.
 - STORM DRAIN IMPROVEMENTS ARE TO BE DESIGNED TO CONVEY RUNOFF FROM ALL PHASE I AND PHASE II BASINS AND THE PROPOSED STREET. DETAILS FOR STORM DRAIN IMPROVEMENTS WILL OCCUR AT THE FINAL REPORT STAGE.
 - FLOW RATES ARE BASED UPON ASSUMED DEVELOPMENT PLANS. THE FLOW RATES ARE EXACT BASED UPON CURRENTLY ACCEPTED HYDROLOGICAL METHODOLOGY.
 - THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY ON ADJACENT PROPERTY. THIS CAN BE AVOIDED PER THE DETAIL ON THIS SHEET BY SCOUR CONTROL.
 - DETENTION PONDS DESCRIBED IN THIS PLAN ARE INTENDED TO REDUCE THE PEAK DISCHARGE TO THE CONTROLLED RATES AS SHOWN ON THIS PLAN. THESE CONTROLLED RATES ARE 50% OF THE HISTORIC PEAK DISCHARGE RATE.
 - WITH THE PLATTING OF PHASE I, PHASE II WILL BE PLATTED AS A SINGLE, UNSUBDIVIDED TRACT OF LAND. AREAS 5, 6 AND 7, AS SHOWN ON THE LAND USE SCENARIO TABLE, ARE POTENTIAL FUTURE TRACTS OF LAND.



GATEWAY CENTER

CONCEPTUAL GRADING/DRAINAGE PLAN

DRAINAGE REPORT

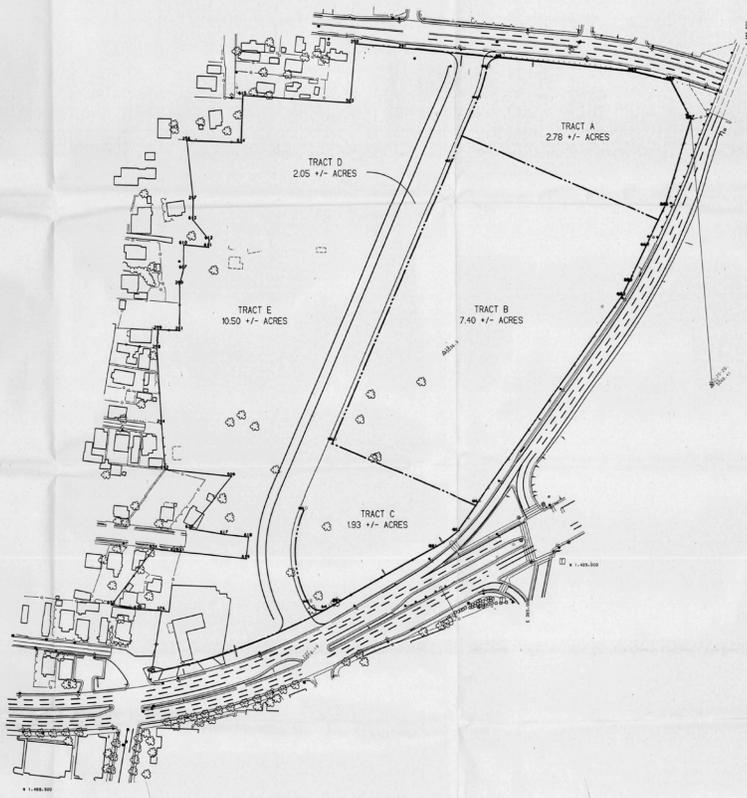
DATE: 11/28/92

BY: KW

PROJECT: GATEWAY CENTER

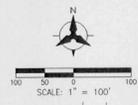
SCALE: AS SHOWN

CONCEPTUAL GRADING/DRAINAGE PLAN



SKETCH PLAT
EMBASSY SUITES
OCTOBER 1997





NMGSIC Brass Tablet stamped "51A 1-25-24"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X = 385,985.66 Y = 1,491,231.05
 Ground-to-Grid Factor = 0.99992338
 ΔX = -00'13.99"
 SLD 1929 Elevation = 5070.232

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - ADJOINING PROPERTY LINE
- - - MONUMENT TIE LINE
- - - ORIGINAL PROPERTY

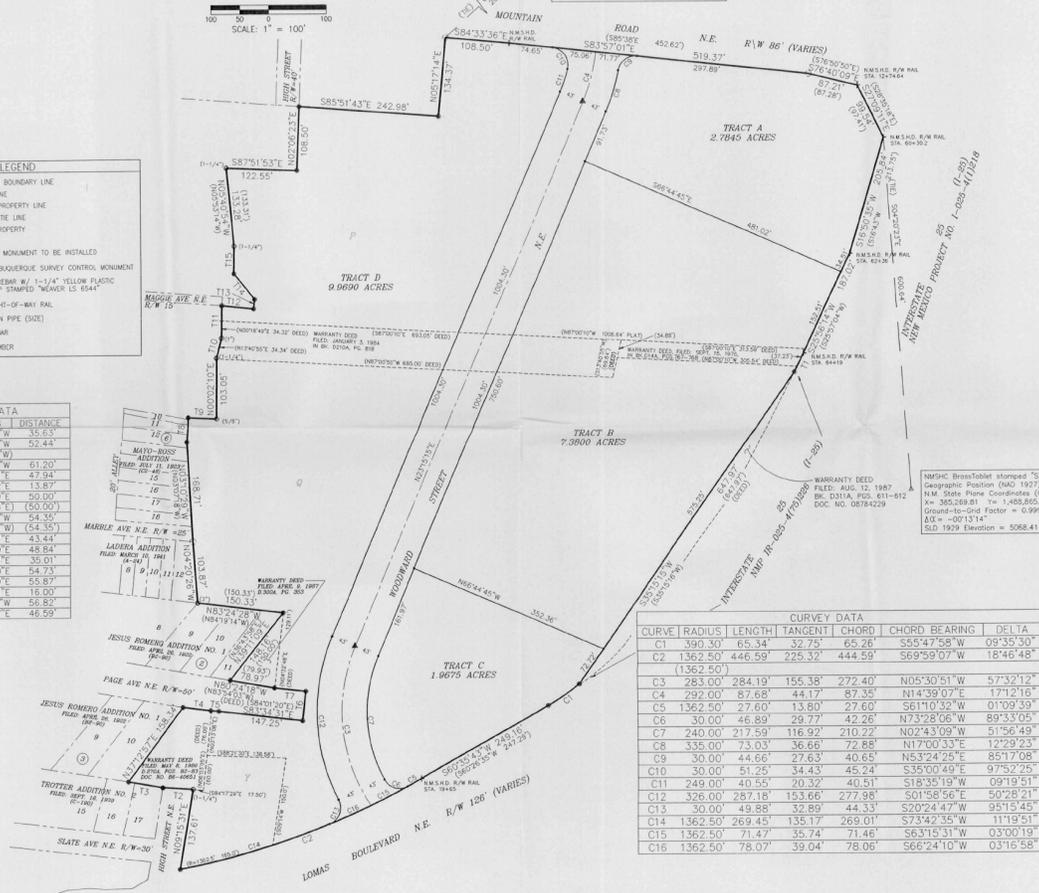
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- A CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- SET 5/8" NEARBY W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WELAR LS 6541"
- ⊥ FOUND RIGHT-OF-WAY RAIL
- FOUND IRON PIPE (SIZ)
- FOUND PEBBAR
- Ⓢ BLOCK NUMBER

TANGENT DATA

TANGENT	BEARING	DISTANCE
T1	S28°20'54" W	35.63
T2	N86°23'10" W	52.44
T3	N80°32'33" W	61.20
T4	S83°07'11" E	47.94
T5	S85°09'22" E	13.87
T6	N06°25'29" E	50.00
T7	N80°52'48" E	150.00
T8	N83°34'44" W	54.35
T9	N83°39'08" W	54.35
T10	N04°17'54" E	43.44
T11	S87°12'19" E	48.84
T12	N14°37'24" E	35.01
T13	N00°47'20" E	54.73
T14	S84°12'40" E	55.87
T15	N65°47'11" E	16.00
T16	N39°18'15" W	56.82
T17	N00°45'57" E	46.59

CURVEY DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA
C1	390.30	65.34	32.75	65.26	S55°47'58" W	09°35'30"
C2	1362.50	446.59	225.32	444.59	S69°59'07" W	18°46'48"
(1362.50)						
C3	283.00	284.19	155.38	279.40	N05°30'51" W	57°32'12"
C4	292.00	87.68	44.17	87.35	N14°39'07" E	17°12'16"
C5	1362.50	27.60	13.80	27.60	S61°10'32" W	01°09'39"
C6	30.00	46.89	29.77	42.26	N73°28'06" W	89°33'05"
C7	240.00	217.59	116.92	210.22	N02°43'09" W	51°56'49"
C8	335.00	73.03	36.66	72.88	N17°00'33" E	12°29'23"
C9	30.00	44.56	27.63	40.65	N53°24'28" E	85°17'08"
C10	30.00	51.25	34.43	45.24	S35°00'49" E	97°52'25"
C11	249.00	40.55	20.32	40.51	S18°35'19" W	09°19'51"
C12	326.00	287.18	153.66	277.98	S01°58'56" E	50°28'21"
C13	30.00	49.88	32.89	44.33	S20°24'47" W	95°15'45"
C14	1362.50	269.45	135.17	269.01	S73°42'35" W	11°19'51"
C15	1362.50	71.47	35.74	71.46	S63°15'31" W	03°00'19"
C16	1362.50	78.07	39.04	78.06	S66°24'10" W	03°16'58"



NMGSIC Brass Tablet stamped "51A 1-25-25"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X = 395,268.81 Y = 1,488,866.26
 Ground-to-Grid Factor = 0.99997256
 ΔX = -00'13.14"
 SLD 1929 Elevation = 5068.411

JOB NO. 97-2864-03



Bohannon & Huston
 Surveyors
 7500 REVERSON NE
 Albuquerque
 NEW MEXICO 87109

I) SITE PLAN MAJOR AMENDMENT

CONDITIONS OF SITE PLAN FOR SUBDIVISION APPROVAL

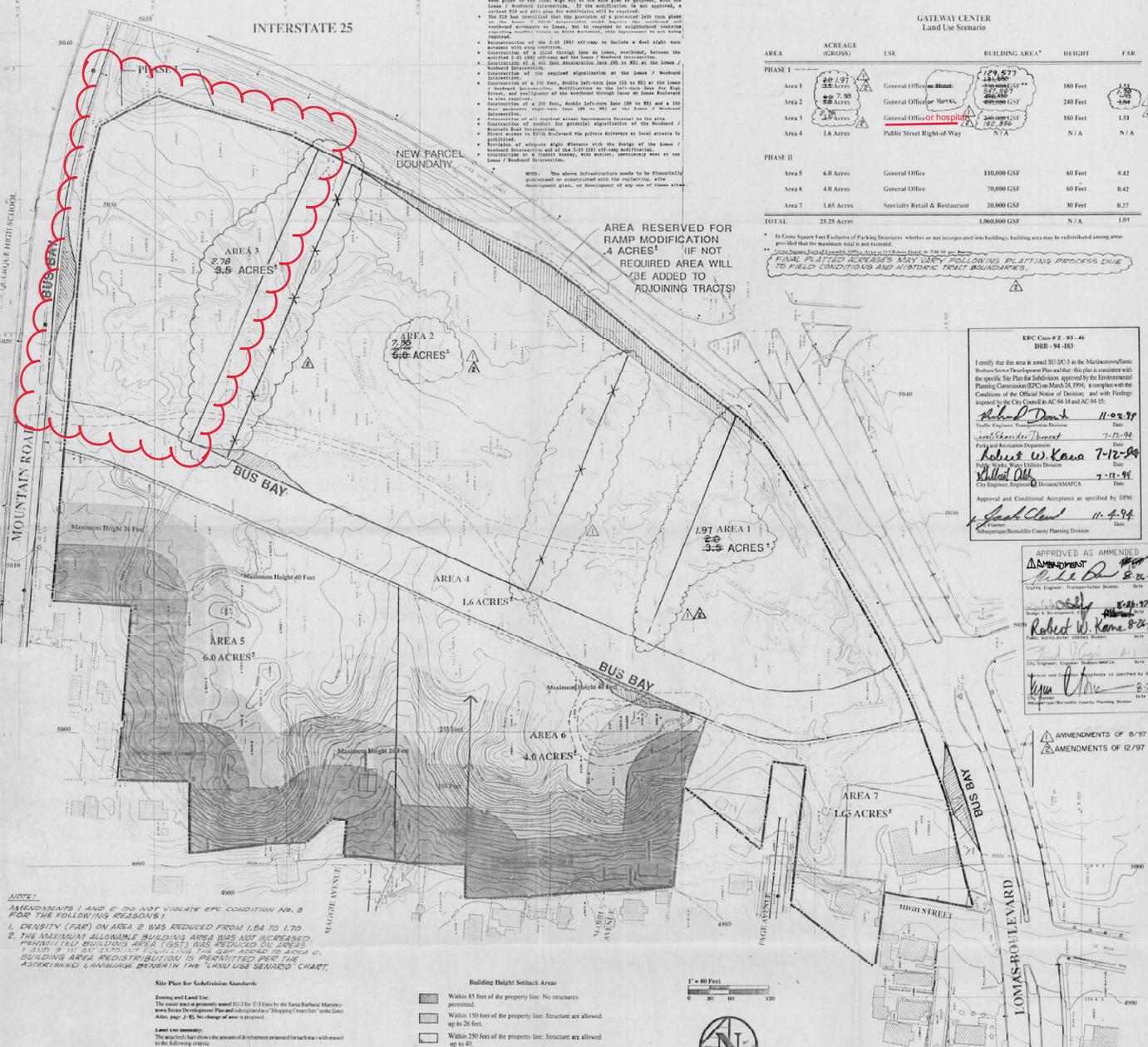
- Approval by the IDO of the 7-10 (ID) off map modification must be made prior to the final IDO of the site plan as proposed, with the revised IDO and site plan for modification will be required.
- The IDO has identified that the portion of a parcelized lots that are shown on the 7-10 (ID) off map modification must be included in the final IDO of the site plan as proposed.
- Reconstruction of the 7-10 (ID) off map modification to include a final site plan as proposed.
- Construction of a 100 foot wide easement, westward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, eastward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, southward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, northward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, westward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, eastward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, southward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, northward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, westward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, eastward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, southward, between the parcelized lots and the 7-10 (ID) off map modification.
- Construction of a 100 foot wide easement, northward, between the parcelized lots and the 7-10 (ID) off map modification.

GATEWAY CENTER Land Use Scenario

AREA	ACREAGE (GROSS)	USE	BUILDING AREA*	HEIGHT	FAR
PHASE I					
Area 1	2.97 Acres	General Office/Hotel	27,577 GSF	180 Feet	2.38
Area 2	2.90 Acres	General Office/Hotel	27,577 GSF	240 Feet	4.94
Area 3	2.90 Acres	General Office/Hotel	27,577 GSF	180 Feet	1.51
Area 4	1.6 Acres	Public Street Right-of-Way	N/A	N/A	N/A
PHASE II					
Area 5	4.0 Acres	General Office	110,000 GSF	60 Feet	0.42
Area 6	4.0 Acres	General Office	70,000 GSF	60 Feet	0.42
Area 7	1.65 Acres	Socially Retail & Restaurant	20,000 GSF	50 Feet	0.27
TOTAL	25.25 Acres		1,060,000 GSF	N/A	1.04

AREA RESERVED FOR RAMP MODIFICATION 4 ACRES* (IF NOT REQUIRED AREA WILL BE ADDED TO ADJOINING TRACTS)

* In Gross Square Feet Excludes of Parking Structures whether or not incorporated into buildings; building area may be redefined among parcels provided that maximum total is not exceeded.
 ** Final PLATTED AREAS MAY VARY FOLLOWING PLATTING PROCESS DUE TO FIELD CONDITIONS AND HISTORIC TOWN BOUNDARIES



NOTE:
 AMENDMENTS 1 AND 2 DO NOT VIOLATE EPC CONDITION NO. 3 FOR THE FOLLOWING REASONS:
 1. DENSITY (FAR) ON AREA 2 WAS REDUCED FROM 1.04 TO 1.70.
 2. THE MAXIMUM ALLOWABLE BUILDING AREA WAS NOT INCREASED.
 3. THE MAXIMUM ALLOWABLE BUILDING AREA 1 (GSI) WAS REDUCED ON AREAS 1 AND 2 IN AN AMOUNT EXCEEDING THE GSE ADDED TO AREA 1.
 4. BUILDING AREA REDISTRIBUTION IS PERMITTED PER THE BUILDING AREA REDISTRIBUTION CHART.
 5. BUILDING AREA REDISTRIBUTION IS PERMITTED PER THE BUILDING AREA REDISTRIBUTION CHART.

Site Plan for Subdivision Standards

Zoning and Land Use:
 The zoning use is presently zoned S1-C3 Use by the Santa Barbara/Monterey Bay Area Development Plan and the "Shopping Center Use" with Zoning Ordinance, page J-40. No change of zone is proposed.

Lot Area Summary:
 The maximum lot area for the proposed development proposed for each tract is subject to the following criteria:
 - Gross Square Footage: maximum lot area, including setbacks, easements, and open spaces, if any, as represented in square feet measured from the outside surface of setbacks with:
 - Over Area Ratio: means the total area above divided by the area of the parcel.

Setbacks:
 Setbacks will be provided in accordance with the Subdivision Ordinance. Minimum setbacks shall be provided in accordance with the Subdivision Ordinance. Minimum setbacks shall be provided in accordance with the Subdivision Ordinance.

Internal Circulation:
 The internal circulation network will be reviewed on individual site development plan basis. Individual site plan submitted, conforming to the standards of the Santa Barbara/Monterey Bay Area Development Plan. In addition, all individual site plans must have the approval of the Environmental Planning Commission (EPC). All plans will have access to State 4, or the equivalent as a public street of way.

Provision and Vehicular Egress and Entry:
 The maximum number of vehicles shall be based on the number of direct access from the existing Woodway Plaza structure. The northern access point will be located along Mountain Road according to the 1991 Long Range Major Street Plan (LRMSP), adopted by the Middle Rio Grande Council of Governments (MRGCOG). Limited driveway is identified as "Private Access" including Mountain Road is identified as a "Public Access" driveway. A "note" will be included in the plan indicating the location of the "Public Access" driveway. This access shall be provided to the public and shall be used for public access. Driveway setbacks will be designed to connect the neighborhood to the west and to the east near the site.

Building Height Setback Areas

Within 85 feet of the property line: No structures permitted.
Within 150 feet of the property line: Structure are allowed up to 20 feet.
Within 250 feet of the property line: Structure are allowed up to 40 feet.

1" = 60 Feet



APPROVED AS AMENDED
AMENDMENT
 12-31-97
 12-30-97
 2-7-98
 2/17/98

AMENDMENT DESCRIPTIONS

DATED 9/97:

- AREA 2 INCREASED IN SIZE TO 6.6 ACRES
- AREA 2 BUILDING AREA INCREASED TO 200,000 GSF
- AREA 2 FAR (DENSITY) REDUCED TO 1.70
- AREA 2 DECREASED IN SIZE TO 6.0 ACRES
- AREA 1 BUILDING AREA INCREASED TO 27,577 GSF
- NOTE: HOTEL USE ADDED TO AREA 2 AND DELETED FROM AREA 1

DATED 12/97:

- AREA 3 REDUCED IN SIZE TO 2.78 ACRES
- AREA 3 BUILDING AREA REDUCED TO 27,577 GSF
- AREA 3 INCREASED IN SIZE TO 2.90 ACRES
- AREA 3 BUILDING AREA INCREASED TO 27,577 GSF
- AREA 3 FAR (DENSITY) REDUCED TO 1.70
- AREA 1 REDUCED IN SIZE TO 1.97 ACRES
- AREA 1 BUILDING AREA REDUCED TO 27,577 GSF

Environmental Planning Commission

- Approved Conditions for 7-10 (ID) March 24, 1994**
- The requirements of the Transportation Division of the City Public Works Department, as detailed in their memo dated March 15, 1994, shall be met.
 - There shall be two bus bays on the interior "right-of-way" road, and one bus bay on east Mountain Road, east of the interior road.
 - A transfer of densities among the different parcels shall not exceed 10% from those tabulated on the Site Plan for Subdivision provided that the maximum total is not exceeded.
 - A Courthouse use shall not be an approved use for this site.

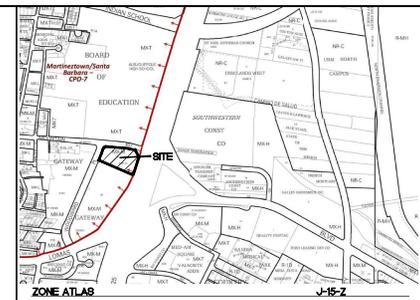
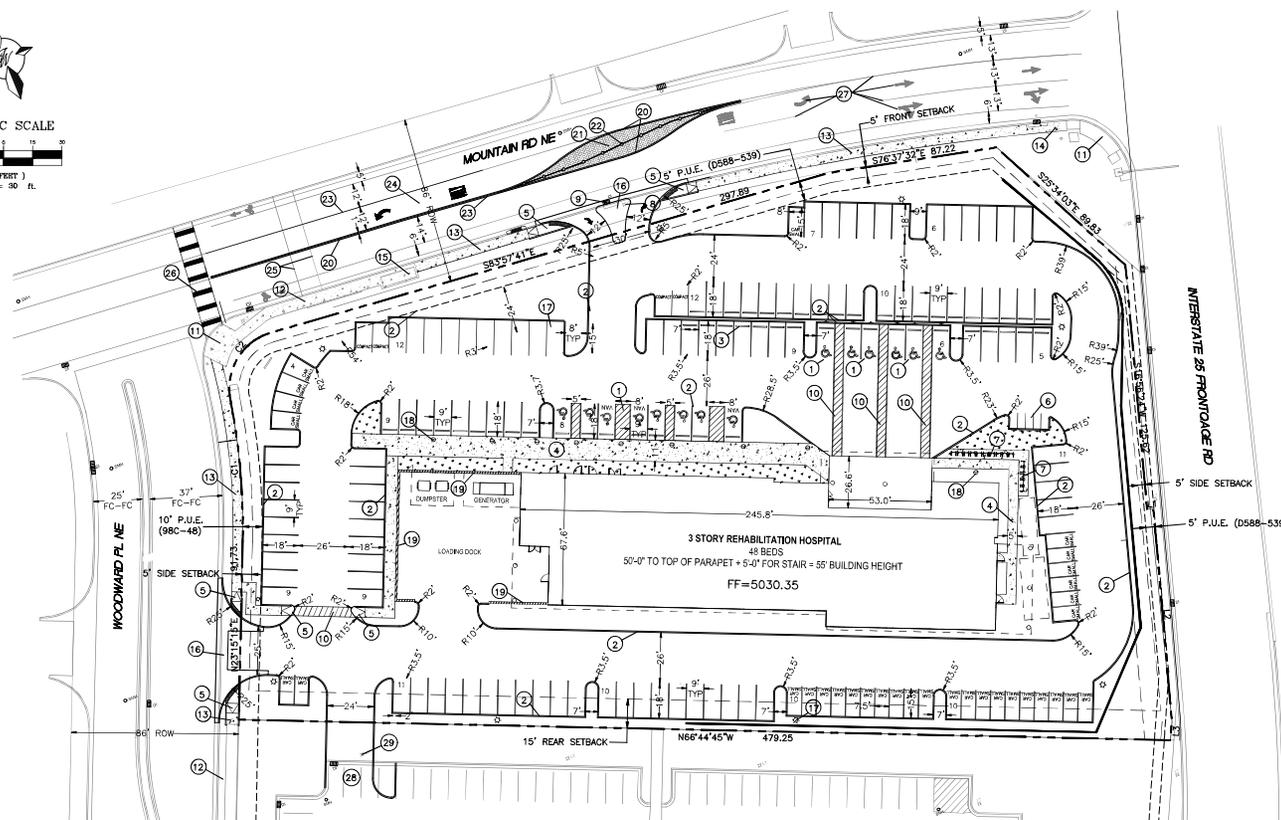
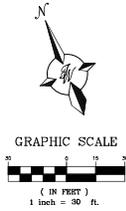


Prepared By The SANDIA FOUNDATION Real Estate Investments Two Woodward Center Suite 204 7500 Lomas Boulevard NE Albuquerque NM 87102

Major Amendment - Site Plan EPC PR-2024-009765, S1-2024-00468

- Major Amendment for Area 3 of the controlling site plan for "Tract A" Only.
- This amendment would change the allowable use on area 3 "Tract A" to include Hospital.
- Building area and height maximums as described in controlling site plan, remain applicable to area 3 "Tract A".
- Setbacks for Area 3 to be controlled by IDO.
- Per IDO Section 1-10(A)(2). Any use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any other provision of this IDO. Where those approvals are silent, provisions in the IDO shall apply.

9/26/24



LEGAL DESCRIPTION
TRACT LETTERED "A" OF THE PLAT OF GATEWAY SUBDIVISION

SITE DATA

PROPOSED USAGE	HOSPITAL
LOT AREA	119591 SF (2,7454 ACRES)
ZONING	MX-H
BUILDING AREA	55098 SF
BUILDING FOOTPRINT	16068 SF
BUILDING COVERAGE	13%
BUILDING SETBACK	
FRONT	5'
REAR	15'
SIDE	0' SOUTH SIDE, 5' NORTH SIDE
GFA 55098 SF/4 SPACE PER 1,000 = 220 SPACES	
5-(C)(5)(A) PARKING REDUCTION = 20%	
5-(C)(5)(C) PARKING REDUCTION = 10%	
REDUCED PARKING REQUIRED = 154 SPACES	
PARKING PROVIDED	140 SPACES
ACCESSIBLE PARKING REQUIRED	14 SPACES (3 VAN ACCESSIBLE)
ACCESSIBLE SPACES PROVIDED	14 SPACES
TOTAL	154 SPACES
BICYCLE SPACES REQUIRED	15
BICYCLE SPACES PROVIDED	15
MOTORCYCLE SPACES REQUIRED	5 SPACES
MOTORCYCLE SPACES PROVIDED	5 SPACES
LANDSCAPE REQUIRED	15528 SF
LANDSCAPE PROVIDED	16205 SF

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	RETAINING WALL
	SETBACK LINE
	SCREEN WALL

LINE TABLE

NO.	BEARING & DISTANCE
L1	S 73°02'15" E, 3.27'
L2	S 17°01'04" W, 109.94'
L3	S 26°24'22" W, 9.56'

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA
C1	335.00'	73.03'	122°29'23"
C2	30.00'	44.66'	85°17'07"

MAJOR AMENDMENT - SITE PLAN EPC PR - 2024 - 009765, SI - 2024 - 00468

1. MAJOR AMENDMENT FOR AREA 3 OF THE CONTROLLING SITE PLAN FOR "TRACT A" ONLY.
2. THIS AMENDMENT WOULD CHANGE THE ALLOWABLE USE ON AREA 3 "TRACT A" TO INCLUDE HOSPITAL.
3. BUILDING AREA AND HEIGHT MAXIMUMS AS DESCRIBED IN CONTROLLING SITE PLAN, REMAIN APPLICABLE TO AREA 3 "TRACT A".
4. SETBACKS FOR AREA 3 TO BE CONTROLLED BY IDO.
5. PER IDO SECTION 1-10(A)(2) : ANY USE STANDARDS OR DEVELOPMENT STANDARDS ASSOCIATED WITH ANY PRE-IDO APPROVAL OR ZONING DESIGNATION ESTABLISH RIGHTS AND LIMITATIONS AND ARE EXCLUSIVE OF AND PREVAIL OVER ANY OTHER PROVISION OF THIS IDO, WHERE THOSE APPROVALS ARE SILENT, PROVISIONS IN THE IDO SHALL APPLY.

KEYED NOTES

- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN (2 VAN ACCESSIBLE, 5 AUTO)
- 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 WHEEL STOP SEE DETAIL SHEET DET-1
- 4 11" CONCRETE SIDEWALK PER COA STD DWG 2430
- 5 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 6 MOTORCYCLE SPACES (5, 8'x4') W/SIGN
- 7 BICYCLE RACK
- 8 LIGHT POLE TO BE RELOCATED EAST OF ENTRANCE
- 9 CURB INLET TO BE RELOCATED EAST OF ENTRANCE
- 10 5' PEDESTRIAN CROSSWALK, SEE DETAIL SHEET DET-1
- 11 EXISTING ACCESSIBLE RAMP
- 12 EXISTING CONCRETE SIDEWALK
- 13 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430
- 14 EXISTING LIGHT POLE TO BE RELOCATED BEHIND WALK
- 15 EXISTING BUS STOP
- 16 6" VALLEY GUTTER PER COA STD DWG 2420
- 17 SITE LIGHTING (TYP)
- 18 ILLUMINATED BOLLARD (TYP)
- 19 SCREEN WALL
- 20 MOUNTABLE MEDIAN CURB PER COA STD 2415A
- 21 RAISED CONCRETE MEDIAN
- 22 CHAIN LINK FENCE
- 23 NEW 4" SOLID WHITE STRIPE
- 24 LEFT TURN PAVEMENT MARKING
- 25 OBLITERATE EXISTING STRIPE
- 26 NEW CROSSWALK
- 27 EXISTING STRIPING TO REMAIN
- 28 REMOVE EXISTING PARKING SPACES AND CURB
- 29 RELOCATE LIGHT POLE TO BEHIND THE CURB

THIS SITE PLAN AMENDMENT ONLY APPLIES TO AREA 3 OF THE GATEWAY CENTER SITE PLAN FOR SUBDIVISION

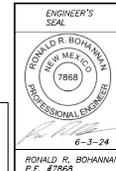
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABC/WVA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

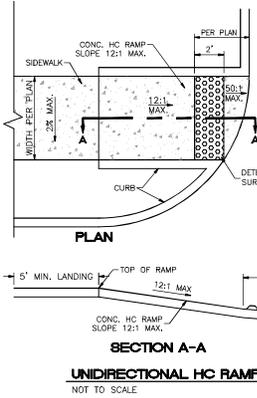


NOBIS REHAB HOSPITAL
1100 WOODWARD PL.

SITE PLAN

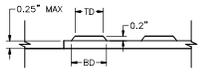
TERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 558-3100
www.terrawestllc.com

DRAWN BY	prh
DATE	6-3-24
DRAWING	2023123-SP
SHEET #	SP-1
JOB #	2023123

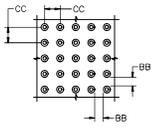


NOTES

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.

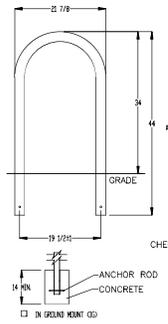


DOME SECTION
BD = BASE DIAMETER 0.9' MIN
TD = TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

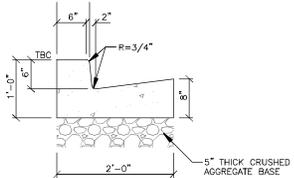


DOME SPACING
CC = CENTER TO CENTER SPACING 2.35'
BB = BASE TO BASE SPACING 1.48' MIN

UNIDIRECTIONAL HC RAMP
NOT TO SCALE



MINOR DIVISION
CROWN MANUFACTURING, INC.
500 WEST 10TH
SALMON FALLS, ID 83420
WWW.CROWN-INC.COM
WWW.SALMONFALLS.COM



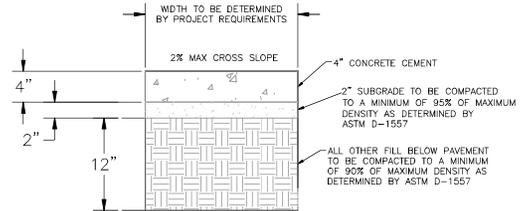
STANDARD CURB AND GUTTER
NTS

FIGURE 1006-3007
DESCRIPTION OF THE MARK
DATE: 10-4-15
ENG: SH

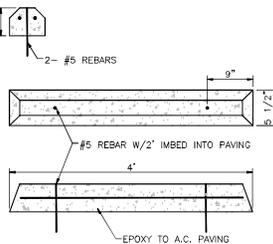
- NOTES:
1. METAL END BLOCK ATTENDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONCRETE TO BE CAST IN PLACE OR MANUFACTURED PRECASTING.
 3. SEE THE PLAN FOR DIMENSIONS OF CURB AND GUTTER.
 4. BIEL RACK SHALL HAVE A 1/2\"/>

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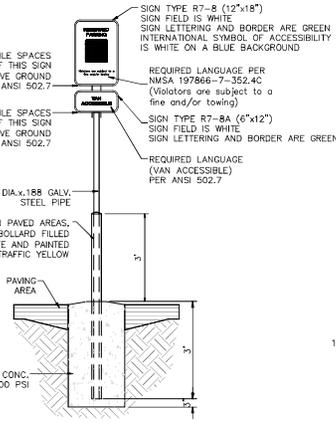
BIKE RACK DETAIL
NTS



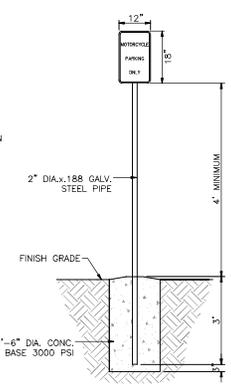
CONCRETE SIDEWALK SECTION



WHEEL BUMPER
NTS



ACCESSIBLE PARKING SIGN
NTS



MOTORCYCLE PARKING SIGN
NTS

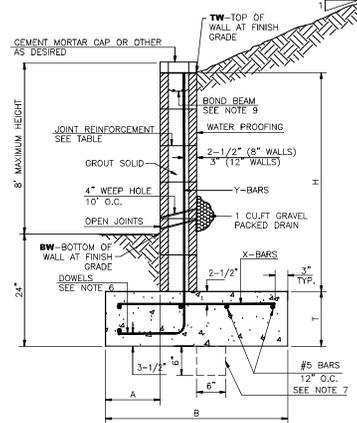
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#5 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#5 @8" O.C.	#4 @12" O.C.

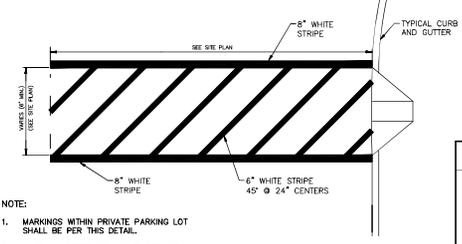
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
 8. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4",

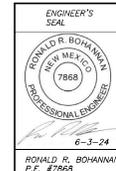


RETAINING WALL DETAIL
NTS



- NOTE:
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

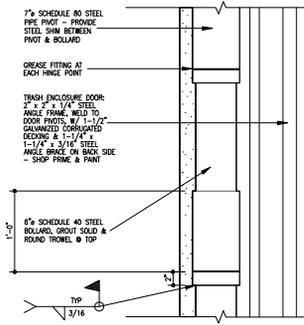
CROSSWALK/PED. CROSSING
NTS



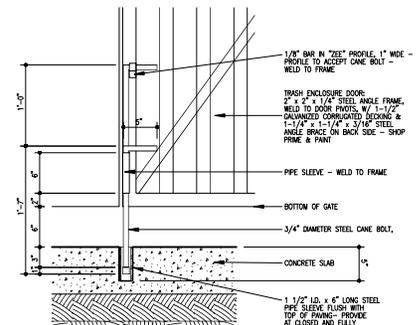
NOBIS REHAB HOSPITAL
1100 WOODWARD PL.
CONSTRUCTION DETAILS

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5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 558-3100
www.terrawest.com

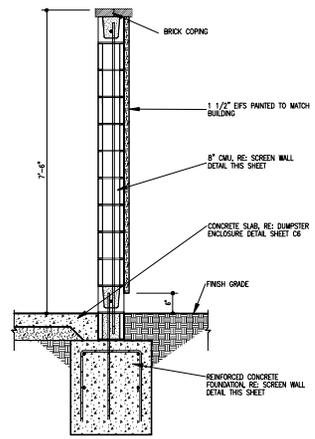
DRAWN BY
pjh
DATE
6-3-24
DRAWING
2023123-SP
SHEET #
DET-1
JOB #
2023123



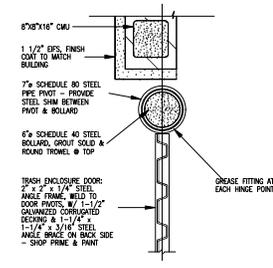
3 Dumpster Door Pivot
112-110



8 Cane Bolt Detail
112-110



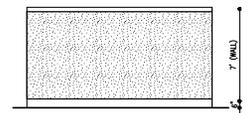
7 Wall Section
112-110



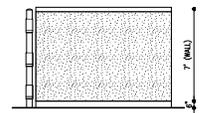
6 Plan Detail
112-110



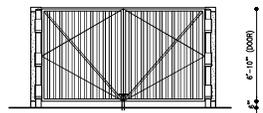
5 Side Elevation
MS



4 Back Elevation
MS



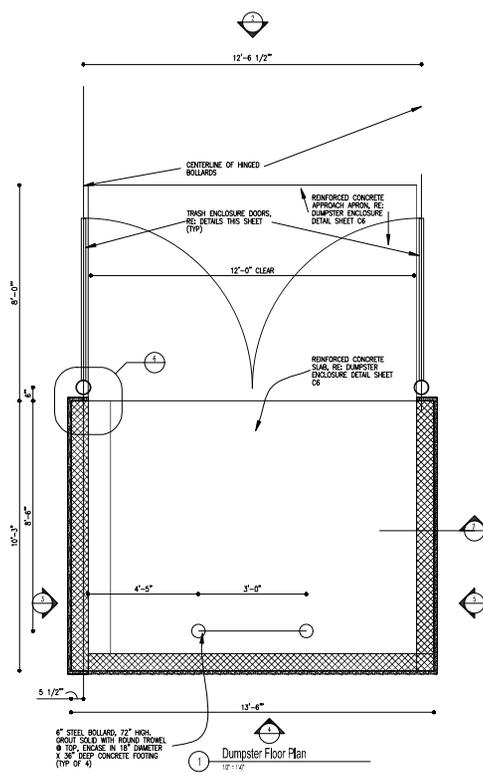
3 Side Elevation
MS



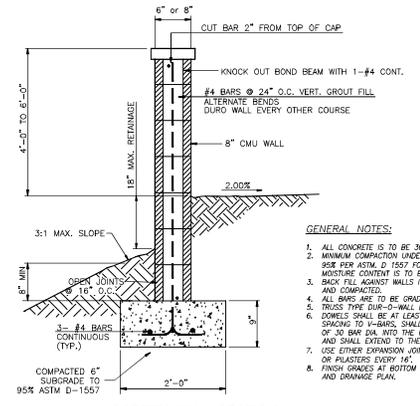
2 Front Elevation
MS

SPLIT-FACE CMU BLOCK WALL TO MATCH BUILDING

General Notes
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT TO MATCH BUILDING

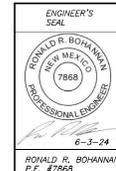


1 Dumpster Floor Plan
112-110



SCREEN WALL SECTION
MS

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM CONCRETION UNDER FOOTINGS IS TO BE 50# PER ASTM D-1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. JOISTS TYPE DUB-9-WALL EVERY OTHER COURSE.
 6. CORNERS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORNER, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 7. USE EITHER EXPANSION JOINTS ON 20' SPANS OR PLASTERS EVERY 16'.
 8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.



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DATE
6-3-24
DRAWING
2023123-SP
SHEET #
DET-1
JOB #
2023123

LUMINIS

TYPE	QUANTITY	PROJECT
B1		
CATALOG NUMBER	LQ427	LTD LR 2P
FEATURE	SURFACE	VOLTAGE
OPTION	OPTION	OPTION
OPTION	OPTION	OPTION

LQ427 SERIES Lumiquad 4 BOLLARD



MATERIALS
Lumiquad is made of corrosion resistant 6061 aluminum alloy with copper (Cu) content of less than 0.2%.

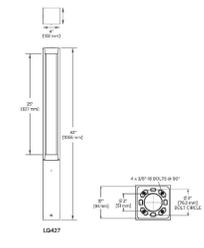
ELECTRICAL DRIVER
Lumiquad driver is 100V dimmable (0-10V), with 1000mA maximum current, 1000mA maximum power, 40°C-40°F to 100°C/32°F, actual over-temperature protection, adjustable over-temperature protection, adjustable over-temperature protection, adjustable over-temperature protection.

LIFE
Lumiquad is based on LED technology with a life expectancy of 50,000 hours.

FINISH
The finish is anodized aluminum. Anodizing is a surface treatment process that creates a thin, protective layer of aluminum oxide on the surface of the metal.

CERTIFICATION
Lumiquad is certified to meet the requirements of the International Electrotechnical Commission (IEC) and the National Electrical Manufacturers Association (NEMA).

Mounting
Mounts with a set of 4" x 3/8" x 3/8" gasket and anchor bolts.



LUMINIS: Toll free 866.586.6647 Fax: 514.683.8872 Email: info@luminois.com
3001 Boulevard, Saint-Jerome, Quebec H5B 1S5, Canada
Luminaire may be altered for design improvement without prior notice.

D-Series Size 1 LED Area Luminaire



Specifications

EPAL	0.60" (15.24)
Length	32.1" (817.6)
Width	16.25" (412.7)
Height H1	7.88" (200.1)
Height H2	2.73" (69.3)
Weight	31.8 lb (14.4)

Ordering Information

EXAMPLE: DSX1 LED P1 40K T3M MVLDT SPA NLTAR2 PIRHN DBXDK

Series	Color Temperature	Beam Spread	Mounting
DSX1	3000K	30°	Surface Mount
DSX1	4000K	30°	Surface Mount
DSX1	5000K	30°	Surface Mount

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater space saving and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P1 40K T3M MVLDT SPA NLTAR2 PIRHN DBXDK

Series	Color Temperature	Beam Spread	Mounting
DSX1	3000K	30°	Surface Mount
DSX1	4000K	30°	Surface Mount
DSX1	5000K	30°	Surface Mount

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LITHONIA LIGHTING RTA 6G DM28AS DBXDK

Ordering Information

EXAMPLE: RTA 6G DM28AS DBXDK

Series	Color Temperature	Beam Spread	Mounting
RTA 6G	3000K	30°	Surface Mount
RTA 6G	4000K	30°	Surface Mount
RTA 6G	5000K	30°	Surface Mount

Introduction
The RTA 6G DM28AS DBXDK is a high performance, high efficiency, long-life luminaire. It features a highly refined aesthetic that blends seamlessly with its environment. The RTA 6G DM28AS DBXDK offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

Ordering Information

EXAMPLE: RTA 6G DM28AS DBXDK

Series	Color Temperature	Beam Spread	Mounting
RTA 6G	3000K	30°	Surface Mount
RTA 6G	4000K	30°	Surface Mount
RTA 6G	5000K	30°	Surface Mount

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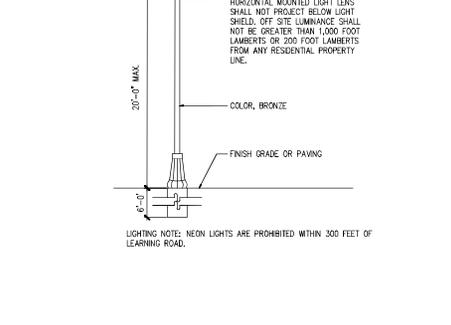
LITHONIA LIGHTING RTA 6G DM28AS DBXDK

Ordering Information

EXAMPLE: RTA 6G DM28AS DBXDK

Series	Color Temperature	Beam Spread	Mounting
RTA 6G	3000K	30°	Surface Mount
RTA 6G	4000K	30°	Surface Mount
RTA 6G	5000K	30°	Surface Mount

Introduction
The RTA 6G DM28AS DBXDK is a high performance, high efficiency, long-life luminaire. It features a highly refined aesthetic that blends seamlessly with its environment. The RTA 6G DM28AS DBXDK offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.



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D-Series DSX1 LED Floodlight



Specifications

EPAL	0.60" (15.24)
Length	32.1" (817.6)
Width	16.25" (412.7)
Height H1	7.88" (200.1)
Height H2	2.73" (69.3)
Weight	31.8 lb (14.4)

WST LED Architectural Wall Sconce



Specifications

Height	8.12" (207.3)
Width	1.71" (43.3)
Depth	10.24" (260.1)
Weight	20.8 lb (9.4)

WST LED Architectural Wall Sconce



Specifications

Height	8.12" (207.3)
Width	1.71" (43.3)
Depth	10.24" (260.1)
Weight	20.8 lb (9.4)

WST LED Architectural Wall Sconce



Specifications

Height	8.12" (207.3)
Width	1.71" (43.3)
Depth	10.24" (260.1)
Weight	20.8 lb (9.4)

Ordering Information

EXAMPLE: DSX1 LED P1 40K MSP MVLDT THK DBXDK

Series	Color Temperature	Beam Spread	Mounting
DSX1	3000K	30°	Surface Mount
DSX1	4000K	30°	Surface Mount
DSX1	5000K	30°	Surface Mount

Notes

1. WST LED is available in 100V and 277V.
2. WST LED is available in 100V and 277V.
3. WST LED is available in 100V and 277V.
4. WST LED is available in 100V and 277V.
5. WST LED is available in 100V and 277V.
6. WST LED is available in 100V and 277V.
7. WST LED is available in 100V and 277V.
8. WST LED is available in 100V and 277V.
9. WST LED is available in 100V and 277V.
10. WST LED is available in 100V and 277V.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVLDT DBXDK

Series	Color Temperature	Beam Spread	Mounting
WST LED	3000K	30°	Surface Mount
WST LED	4000K	30°	Surface Mount
WST LED	5000K	30°	Surface Mount

Notes

1. WST LED is available in 100V and 277V.
2. WST LED is available in 100V and 277V.
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8. WST LED is available in 100V and 277V.
9. WST LED is available in 100V and 277V.
10. WST LED is available in 100V and 277V.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVLDT DBXDK

Series	Color Temperature	Beam Spread	Mounting
WST LED	3000K	30°	Surface Mount
WST LED	4000K	30°	Surface Mount
WST LED	5000K	30°	Surface Mount

Notes

1. WST LED is available in 100V and 277V.
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8. WST LED is available in 100V and 277V.
9. WST LED is available in 100V and 277V.
10. WST LED is available in 100V and 277V.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVLDT DBXDK

Series	Color Temperature	Beam Spread	Mounting
WST LED	3000K	30°	Surface Mount
WST LED	4000K	30°	Surface Mount
WST LED	5000K	30°	Surface Mount

Notes

1. WST LED is available in 100V and 277V.
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9. WST LED is available in 100V and 277V.
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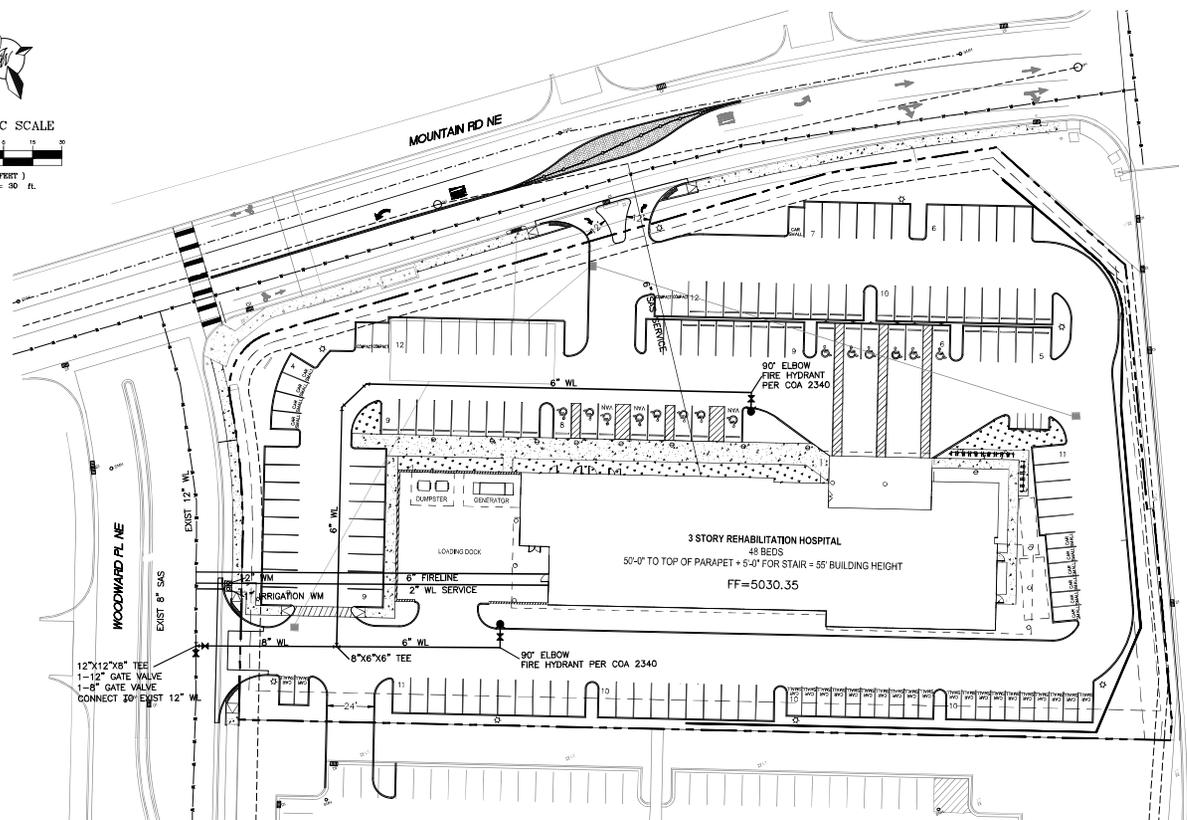
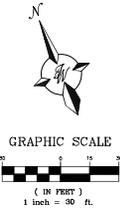
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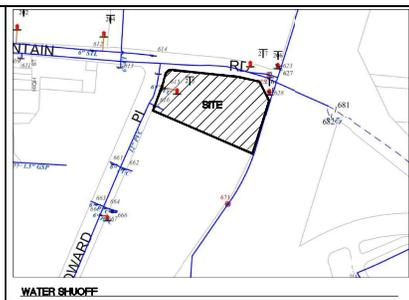
	NOBIS REHAB HOSPITAL 1100 WOODWARD PL. CONSTRUCTION DETAILS	DRAWN BY pjh DATE 6-3-24 DRAWING 2023123-SP SHEET # DET-1
	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 www.tierwest.com	JOB # 2023123



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	RETAINING WALL
	6" SAS
	8" SAS
	6" WL
	8" WL
	12" WL
	PROPOSED HYDRANT
	NEW SAS MH
	NEW WATER METER

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

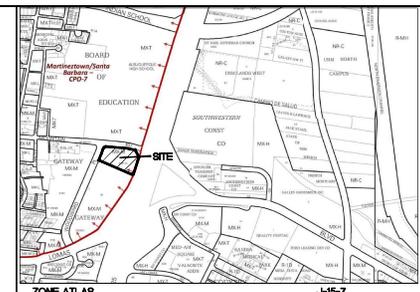
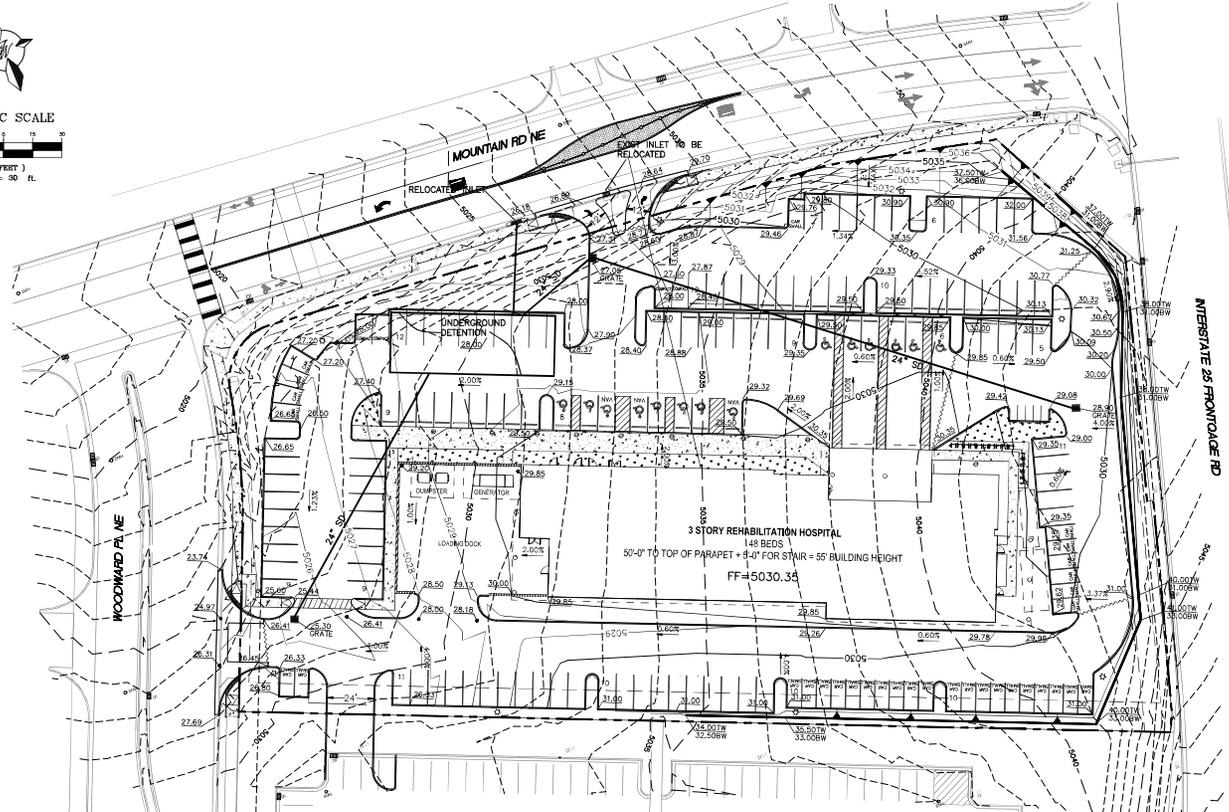
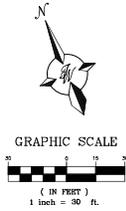


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWU6.ORG/CONTENT/VIEW/463729/](http://abcwu6.org/content/view/full/463729/).

- GENERAL UTILITY NOTES**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING.
 - ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 - PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE. CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 - PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 - SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE
 CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

	NOBIS REHAB HOSPITAL 1100 WOODWARD PL.	DRAWN BY pmh
	MASTER UTILITY PLAN	DATE 6-3-24
ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	DRAWING 2023123-OR
		SHEET # MU-1
		JOB # 2023123



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	LANDSCAPING
	GRADE BREAK
	PROPOSED STORM SEWER
	DROP INLET

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

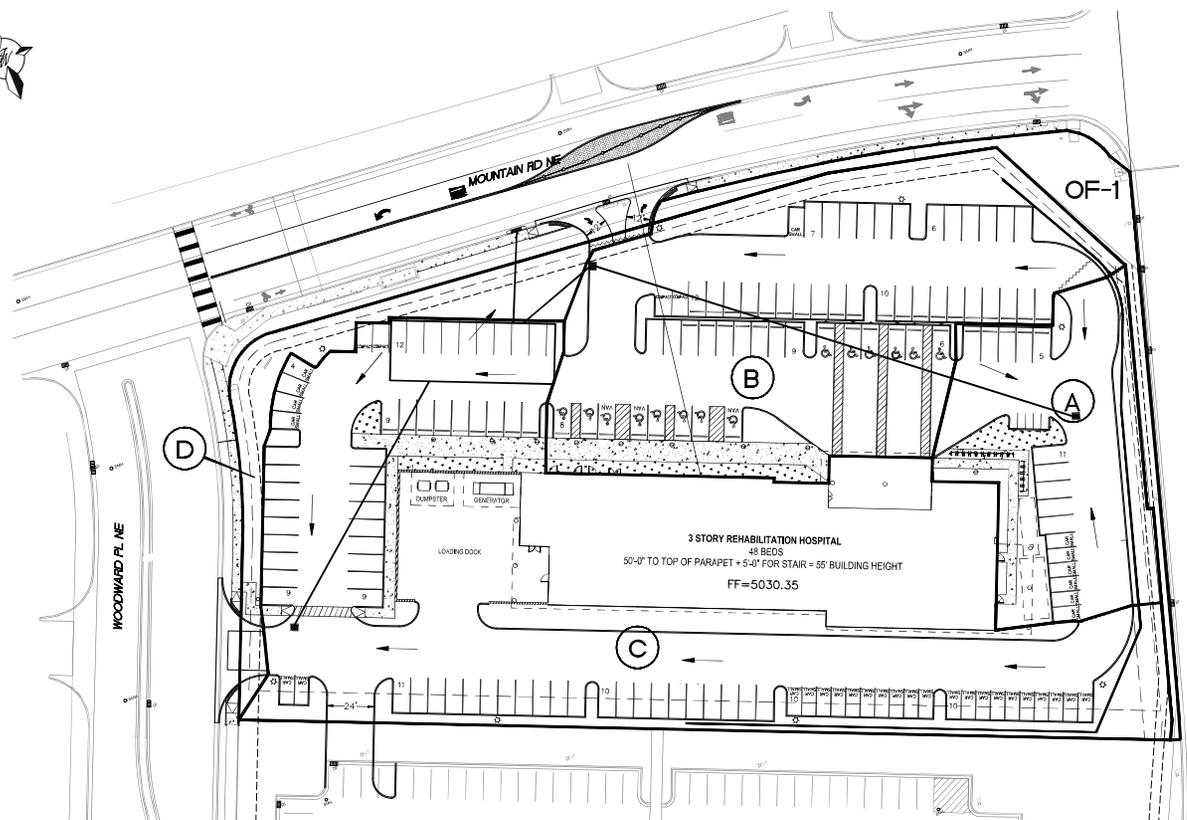
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 2" GRAVEL.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL RONALD R. BOHMAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	NOBIS REHAB HOSPITAL 1100 WOODWARD PL. CONCEPTUAL GRADING PLAN	DRAWN BY pmh DATE 6-3-24 DRAWING 2023123-GR
	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 258-3100 www.terrawestllc.com	SHEET # GR-1 JOB # 2023123	



EXISTING DRAINAGE

THIS SITE IS LOCATED AT THE SOUTHEAST CORNER OF WOODWARD PLACE AND MOUNTAIN ROAD. THE SITE IS BOUNDED BY A HOTEL ON THE SOUTH, BY WOODWARD PLACE ON THE EAST, MOUNTAIN ROAD ON THE NORTH AND THE INTERSTATE 26 FRONTAGE ROAD ON THE EAST CONTAINING APPROXIMATELY 2.75 ACRES. THE SITE IS CURRENTLY VACANT AND DRAINS FROM EAST TO WEST. THERE ARE MINIMAL OFFSITE FLOWS THAT ENTER THE SITE FROM THE EAST ALONG THE FRONTAGE ROAD. THE SITE IS NOT LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP 3500100334G. THE SITE CURRENTLY DISCHARGES 8.37 CFS.

PROPOSED DRAINAGE

THE PROJECT IS LOCATED WITHIN THE GATEWAY CENTER MASTER DRAINAGE PLAN AREA AND CONSISTS OF THREE DEVELOPED BASINS WITHIN THAT PLAN AREA. BASIN A-1 CONSISTS OF MOST OF THIS PROJECT AREA AND MAY RELEASE A RESTRICTED DISCHARGE OF 2.90 CFS TO THE EXISTING STORM SEWER LOCATED IN WOODWARD PLACE. BASIN A-2 CONSISTS MAINLY AN OFFSITE AREA ALONG THE FRONTAGE ROAD THAT DRAINS THROUGH THE SITE AND FREELY DISCHARGES 1.42 CFS TO MOUNTAIN ROAD. BASIN A-3 IS THE SLOPE ALONG MOUNTAIN ROAD AND FREELY DISCHARGES 0.77 CFS TO THE STREET WHICH IS CAPTURED IN EXISTING DROP INLETS.

THE PROPOSED SITE IS DIVIDED INTO FOUR NEW BASINS. BASINS A, B AND C WILL DRAIN TO DROP INLETS AND BE CONVEYED TO AN UNDERGROUND DETENTION FACILITY THAT WILL DISCHARGE AT A CONTROLLED RATE TO THE EXISTING STORM SEWER IN WOODWARD PLACE. BASIN D IS A SLOPED AREA DRAINING 0.34 CFS TO WOODWARD PLACE AND MOUNTAIN ROAD. BASIN OF-1 IS THE OFF-SITE BASIN THAT WILL BE ALLOWED TO PASS THROUGH THE SITE. PER THE GATEWAY CENTER MASTER DRAINAGE PLAN THIS SITE MAY DISCHARGE A TOTAL OF 5.09 CFS TO THE EXISTING STORM SEWER. THEREFORE THE DISCHARGE FROM THE UNDERGROUND DETENTION FACILITY WILL BE LIMITED TO 4.75 CFS AS 0.34 CFS WILL SURFACE DISCHARGE TO THE STREET.

THE UNDERGROUND DETENTION FACILITY WILL RETAIN THE REQUIRED WATER QUALITY VOLUME OF 2,000 CUBIC FEET, WHICH WILL BE ALLOWED TO INFILTRATE INTO THE GROUND.

Weighted E Method

On-Site Basins															
Basin	Area (sf)	Area (acres)	Treatment				100-Year			10-Year					
			A (%)	B (%)	C (%)	D (%)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)			
OF-1	5,065	0.12	0%	0%	0.00	100%	0.12	0%	0.90	0.010	0.35	0.480	0.005	0.18	
A	14,581	0.33	0%	0%	0.07	12%	0.04	68%	0.23	1.838	0.652	1.27	1.144	0.032	0.74
B	35,679	0.82	0%	0%	0.14	10%	0.08	76%	0.62	1.996	0.36	3.22	1.238	0.084	1.93
C	64,571	1.48	0%	0%	0.11	10%	0.08	76%	0.62	2.110	0.261	6.03	1.336	0.165	3.66
D	4,791	0.11	0%	0%	0.00	95%	0.10	5%	0.01	1.095	0.010	0.34	0.532	0.005	0.18
						2.12			0.448			10.87			

Equations:			
Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)			
Volume = Weighted D * Total Area			
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad			
Water Quality Calculation: 0.26" x 2.12 ac = 2,000 cubic feet (0.046 ac-ft)			

Excess Precipitation, E (inches)			
Zone	2	100-Year	10-Year
Ea	0.62	0.15	
Eb	0.8	0.3	
Ec	1.03	0.48	
Ed	2.33	1.51	

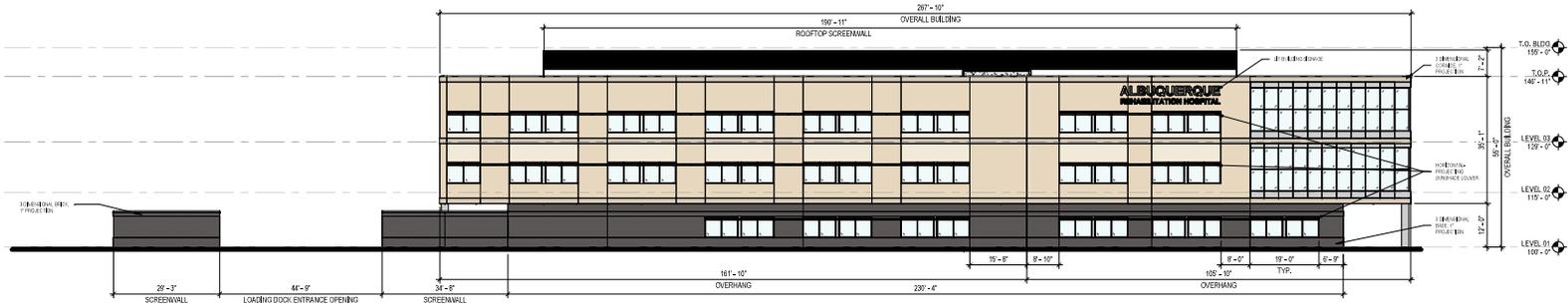
Peak Discharge (cfs/acre)			
Zone	2	100-Year	10-Year
Qa	1.71	0.41	
Qb	2.36	0.95	
Qc	3.05	1.59	
Qd	4.34	2.71	

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	NOBIS REHAB HOSPITAL 100 WOODWARD PL. DRAINAGE PLAN	DRAWN BY pmh DATE 6-3-24 DRAWING 2023123-GR
	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	SHEET # GR-2 JOB # 2023123

EXTERIOR FINISH LEGEND			
		MODULAR BRICK - PEBBLE GRAY	
		ACM PANEL - PREFABRICATED METAL WALL PANEL - PLATINUM ICE	
		STOREFRONT SYSTEM - PLATINUM ICE GLAZING - GUARDIAN SWSB CRYSTAL GRAY	



02 SOUTH ELEVATION
1/16" = 1'-0" | NOT STREET FACING

SOUTH ELEVATION - NOT STREET FACING

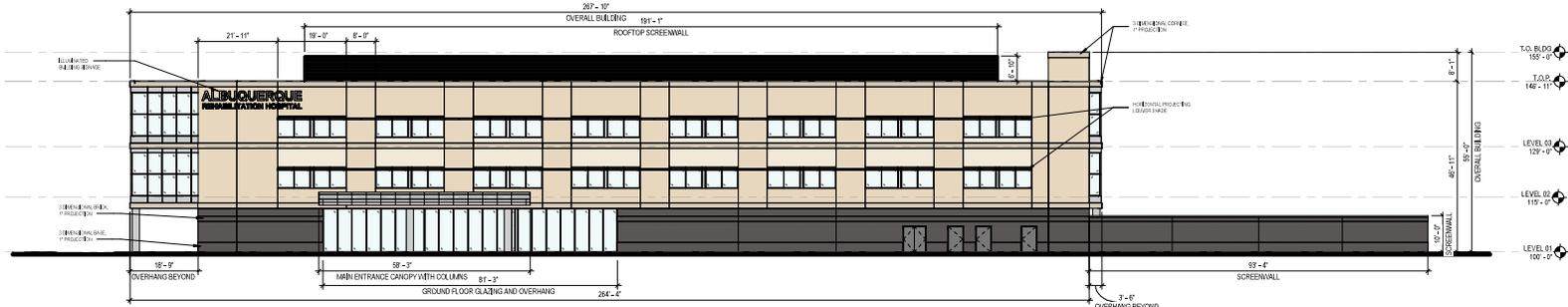
COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE

UPPER FLOOR WINDOWS
GROUND FLOOR WINDOWS - YES BUT SHLTS AT 32"
OVERHANGS / COLUMNS
SUNSHADE LOUVERS
SCREENWALL TO MATCH BUILDING

COMPLIANCE WITH 5-11(E)(3) - NOT REQUIRED, PROVIDED SIMILAR TO CHANGES IN COLOR

BRICK GROUND FLOOR
3 EFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1" PROJECTION)
COLOR AT 1" FIRST PLANE CHANGES BETWEEN WINDOWS
MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
EFS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNER)

LOADING DOCK SCREENWALL COMPLIANCE WITH 4-6(G)(2)
PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS. PER 4-6(G)(2)(A) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNER AND BASE, SIMILAR TO THE BUILDING.



01 NORTH ELEVATION
1/16" = 1'-0" | STREET FACING

NORTH ELEVATION - STREET FACING

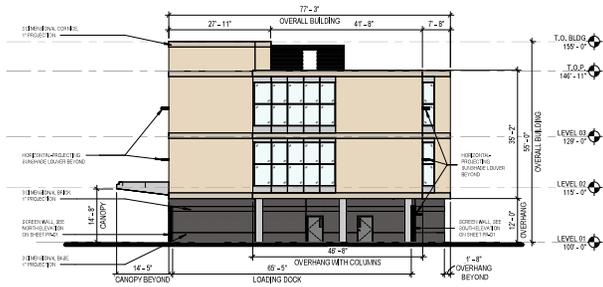
COMPLIANCE WITH 5-11(E)(3) - NEED 2

UPPER FLOOR WINDOWS
GROUND FLOOR WINDOWS (MAIN ENTRY)
CANOPY OVERHANGS / COLUMNS
SUNSHADE LOUVERS

COMPLIANCE WITH 5-11(E)(3) - NEED 1

CHANGES IN COLOR
BRICK GROUND FLOOR
3 EFS COLORS ON UPPER FLOORS
FIELD COLOR
HORIZONTAL BAND COLOR (1" PROJECTION)
COLOR AT 1" FIRST PLANE CHANGES BETWEEN WINDOWS
MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE)
EFS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNER)

LOADING DOCK SCREENWALL COMPLIANCE WITH 4-6(G)(2)
PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS. PER 4-6(G)(2)(A) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNER AND BASE, SIMILAR TO THE BUILDING.

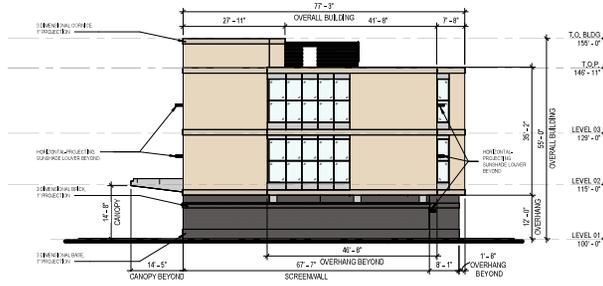


WEST ELEVATION - STREET FACING (PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL)

COMPLIANCE WITH 5-11E(2) - NEED 2 UPPER FLOOR WINDOWS CANOPY / OVERHANGS / COLUMNS SECONDARY STAFF ENTRY

COMPLIANCE WITH 5-11E(3) - NOT REQUIRED, BUT PROVIDED SIMILAR TO NORTH FACADE CHANGES IN COLOR BRICK GROUND FLOOR 2 EPS COLORS ON UPPER FLOORS FIELD COLOR HORIZONTAL BAND COLOR (1" PROJECTION) MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE) EPS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

05 WEST ELEVATION WITHIN LOADING DOCK
1/16" = 1'-0" | STREET FACING



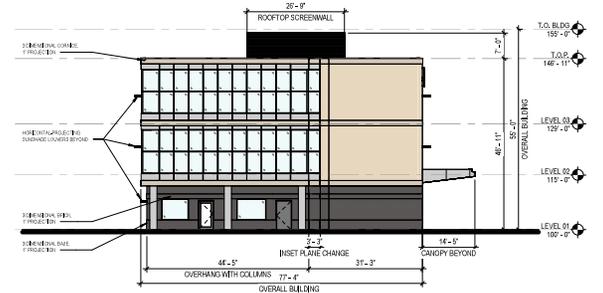
WEST ELEVATION - STREET FACING, PARTIALLY BLOCKED BY LOADING DOCK SCREEN WALL

COMPLIANCE WITH 5-11E(2) - NEED 2 UPPER FLOOR WINDOWS CANOPY / OVERHANGS / COLUMNS SECONDARY STAFF ENTRY

COMPLIANCE WITH 5-11E(3) - NOT REQUIRED, BUT PROVIDED SIMILAR TO NORTH FACADE CHANGES IN COLOR BRICK GROUND FLOOR 2 EPS COLORS ON UPPER FLOORS FIELD COLOR HORIZONTAL BAND COLOR (1" PROJECTION) MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE) EPS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

LOADING DOCK SCREEN WALL COMPLIANCE WITH 5-8(3)(2) PROVIDES SCREENING OF LOADING DOCK ACTIVITIES, DUMPSTERS, EMERGENCY GENERATOR, AND GROUND SET CONDENSING UNITS. PER 5-8(3)(2)(H) THE WALL AROUND THE LOADING DOCK IS REQUIRED TO BE 10' TALL TO PROVIDE FULL HEIGHT SCREENING OF THE EMERGENCY GENERATOR. THE WALL WILL BE THE SAME BRICK AS LEVEL 1 OF THE BUILDING WITH BRICK 3 DIMENSIONAL PROJECTING CORNICE AND BASE, SIMILAR TO THE BUILDING.

04 WEST ELEVATION AT SCREEN WALL
1/16" = 1'-0" | STREET FACING



EAST ELEVATION - STREET FACING

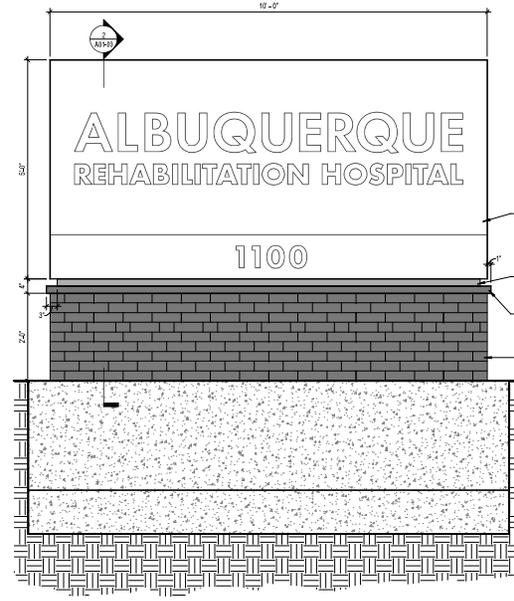
COMPLIANCE WITH 5-11E(2) - NEED 2 UPPER FLOOR WINDOWS GROUND FLOOR WINDOWS - YES BUT SELLS AT 32" CANOPY / OVERHANGS / COLUMNS PRIMARY STAFF ENTRY

COMPLIANCE WITH 5-11E(3) - NOT REQUIRED, PROVIDED SIMILAR TO NORTH FACADE CHANGES IN COLOR BRICK GROUND FLOOR 2 EPS COLORS ON UPPER FLOORS FIELD COLOR HORIZONTAL BAND COLOR (1" PROJECTION) MASONRY 1" PROJECTION CHANGE IN PLANE (3 DIMENSIONAL BASE) EPS BAND 1" PROJECTION AT PARAPET (3 DIMENSIONAL CORNICE)

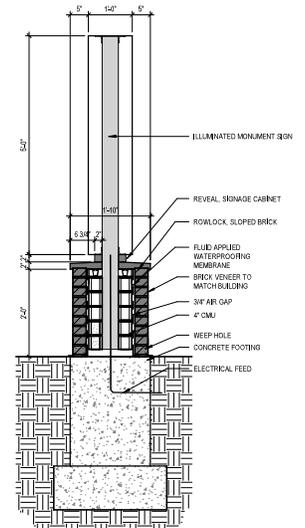
03 EAST ELEVATION
1/16" = 1'-0" | STREET FACING

EXTERIOR FINISH LEGEND

	EPS-1 STOUT 1.0 COLOR 3135 JUTE		MODULAR BRICK - PEBBLE GRAY		LOUVERED SUNSHADES - PLATINUM ICE
	EPS-2 STOUT 1.0 COLOR - 32-38 COTTON		ACM PANEL / PREFORMED METAL WALL PANEL - PLATINUM ICE		ACM PANELS AT CANOPY, COLUMN WRAPS - PLATINUM ICE
	EPS-3 STOUT 1.0 COLOR - 3134 THATCH		STOREFRONT SYSTEM - PLATINUM ICE GLAZING - GUARDIAN SNEB CRYSTAL GRAY		



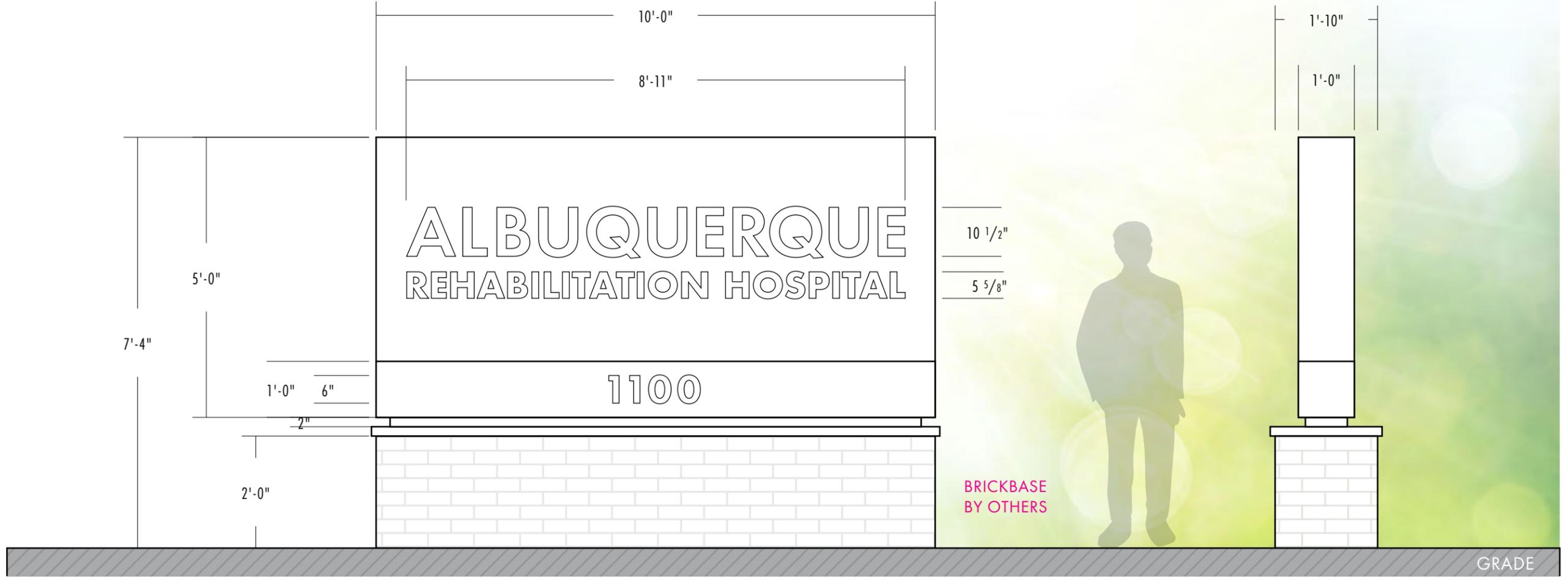
02 MONUMENT SIGN
3/4" = 1'-0" |



01 MONUMENT SIGN SECTION
3/4" = 1'-0" |

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PRIMARY ELECTRICAL TO SIGN LOCATIONS IS TO BE PROVIDED BY OTHERS. 20 AMP DEDICATED CIRCUIT(S) WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR ALL INSTALLATIONS. COLORS REPRESENTED IN THIS DRAWING ARE FOR PRESENTATION PURPOSES ONLY. THEY MAY NOT MATCH YOUR FINISHED PRODUCT PERFECTLY. COLOR CALL-OUTS ARE FOR A MATCH AS CLOSE AS POSSIBLE. THIS ORIGINAL DESIGN IS THE SOLE PROPERTY OF BENNU ARCHITECTURAL SIGNAGE. IT CANNOT BE REPRODUCED, COPIED OR EXHIBITED IN WHOLE OR PART, WITHOUT FIRST OBTAINING WRITTEN CONSENT FROM BENNU ARCHITECTURAL SIGNAGE. ELECTRICAL SIGNS ARE INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.



M MONUMENT

QUANTITY: 1 (ONE)

SCALE: 1:24

FACE: DOUBLE

CONSTRUCTION:

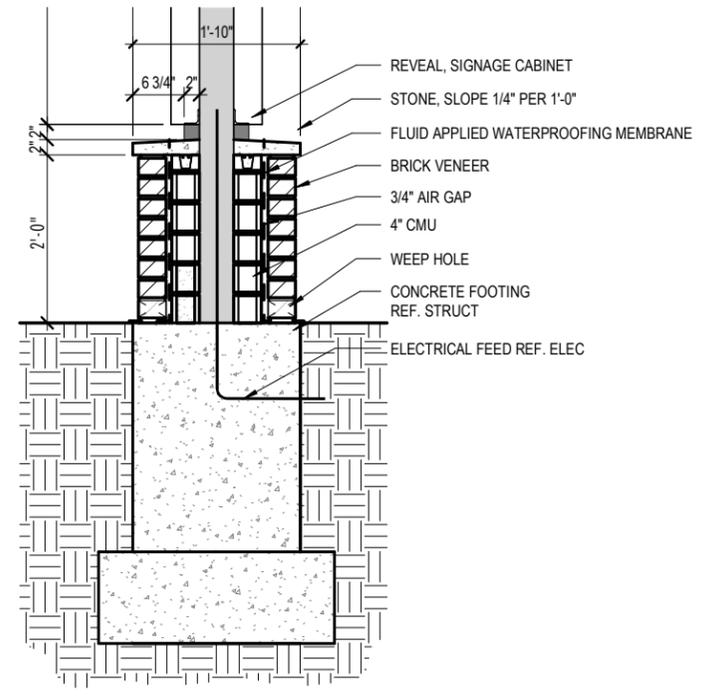
USE STANDARD ALUMINUM CONSTRUCTION. PUSH-THRU ILLUMINATED LOGO AND ADDRESS NUMBERS.

SQ/FT: 50

ILLUMINATED: PUSH-THRU

COLORS: TBD

COLORS TO MATCH OR COMPLIMENT BUILDING COLORS (PLEASE PROVIDE BUILDING COLORS)



1116 FOWLER STREET,
OLD HICKORY, TN 37138
615.226.4577 / bennusigns.com

NOBIS REHAB -
ALBUQUERQUE
CLIENT

1100 WOODWARD PL NE
ALBUQUERQUE, NM, 87102
PROJECT ADDRESS

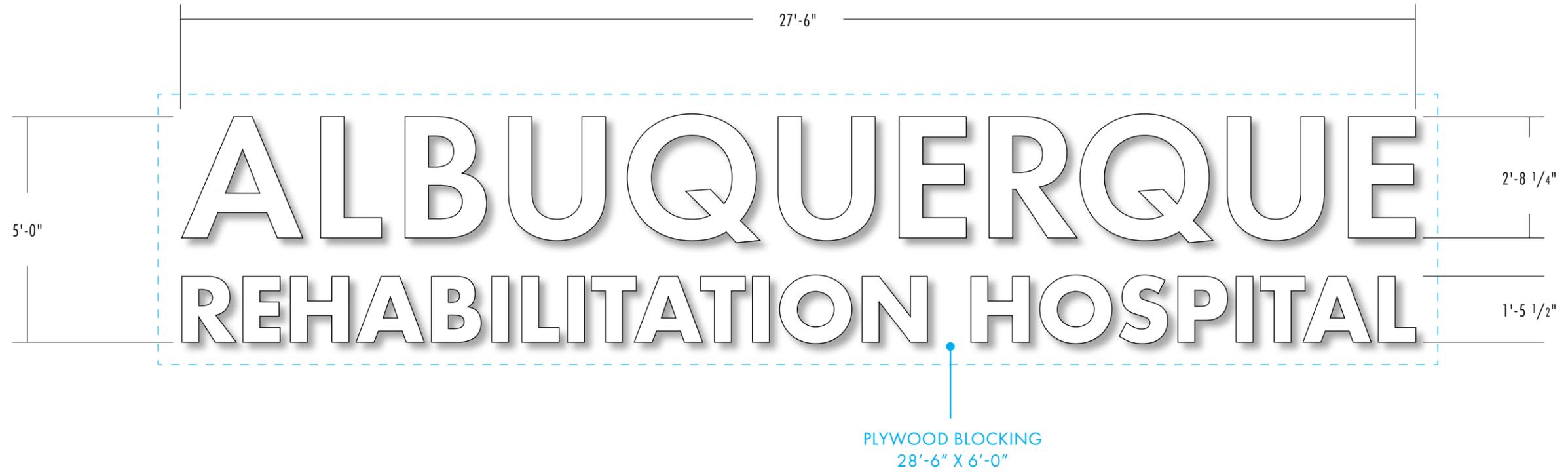
HARRISON BARINAGA
PRESENTED BY
ELLIOT BAE
PREPARED BY

EXT - NOBIS ALBUQUERQUE
- SIGNAGE
PROJECT NAME

602507
QUOTE #
SALES #

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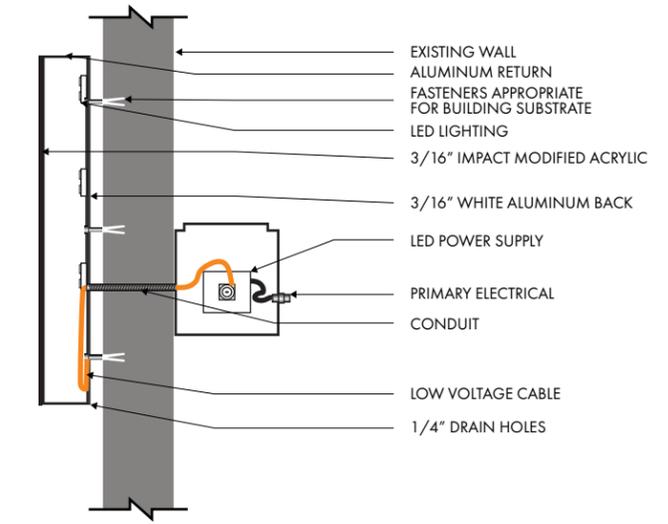
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CL CHANNEL LETTER DISPLAY / FLUSH MOUNTED

QUANTITY: 2 (TWO)
SCALE: 1:32 **SQ/FT:** 138
FACE: SINGLE **ILLUMINATED:** FACE
CONSTRUCTION:
 STANDARD ALUMINUM CONSTRUCTION WITH MATTHEWS SATIN ACRYLIC POLYURETHANE FINISH.
INSTALL:
 3/16" WHITE IMPACT MODIFIED ACRYLIC ILLUMINATED WITH WHITE LED'S WITH FACE PLATE TREATED WITH HIGH PERFORMANCE CAST TRANSLUCENT VINYL.
 PAINT EXPOSED STRUCTURE MAP BLACK.
 1" TRIMCAP (BLACK) WITH 5.3" LETTER COIL (BLACK)

100% WHITE



FLUSH MOUNTED CHANNEL LETTERS
-LED FACE ILLUMINATED

01	03/28/2024
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NEED TO FIELD VERIFY

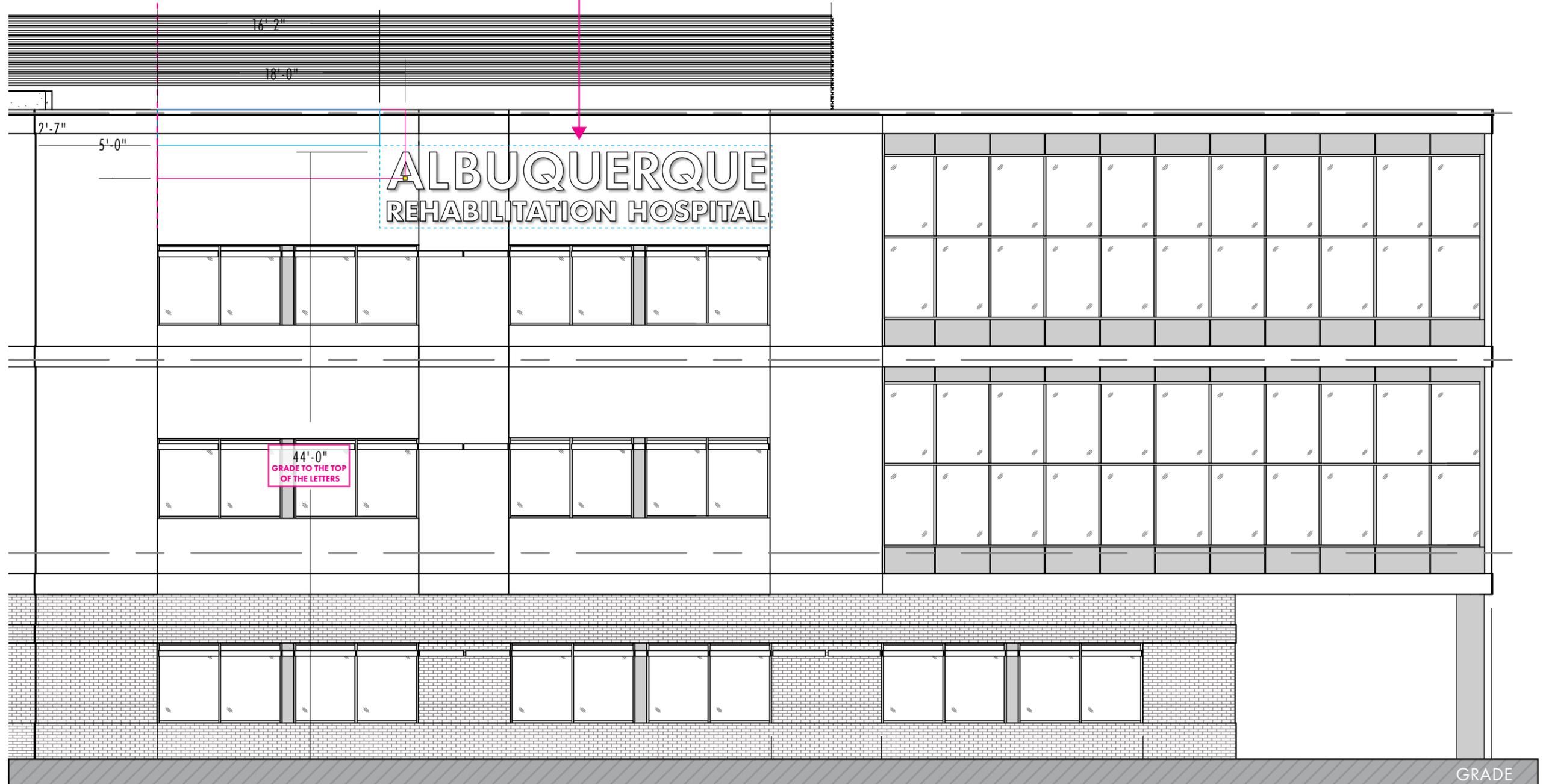
CL1

120V / 277V 15 AMP

**BLOCKING TO BE COME IN
16'-2" FROM LEFT
AND 2'-7" FROM TOP**

**POWER TO BE COME IN
18'-0" FROM LEFT
AND 5'-0" FROM TOP**

MEASUREMENT FROM LEFT SIDE OF THIS PANEL



PARTIAL SOUTH ELEVATION

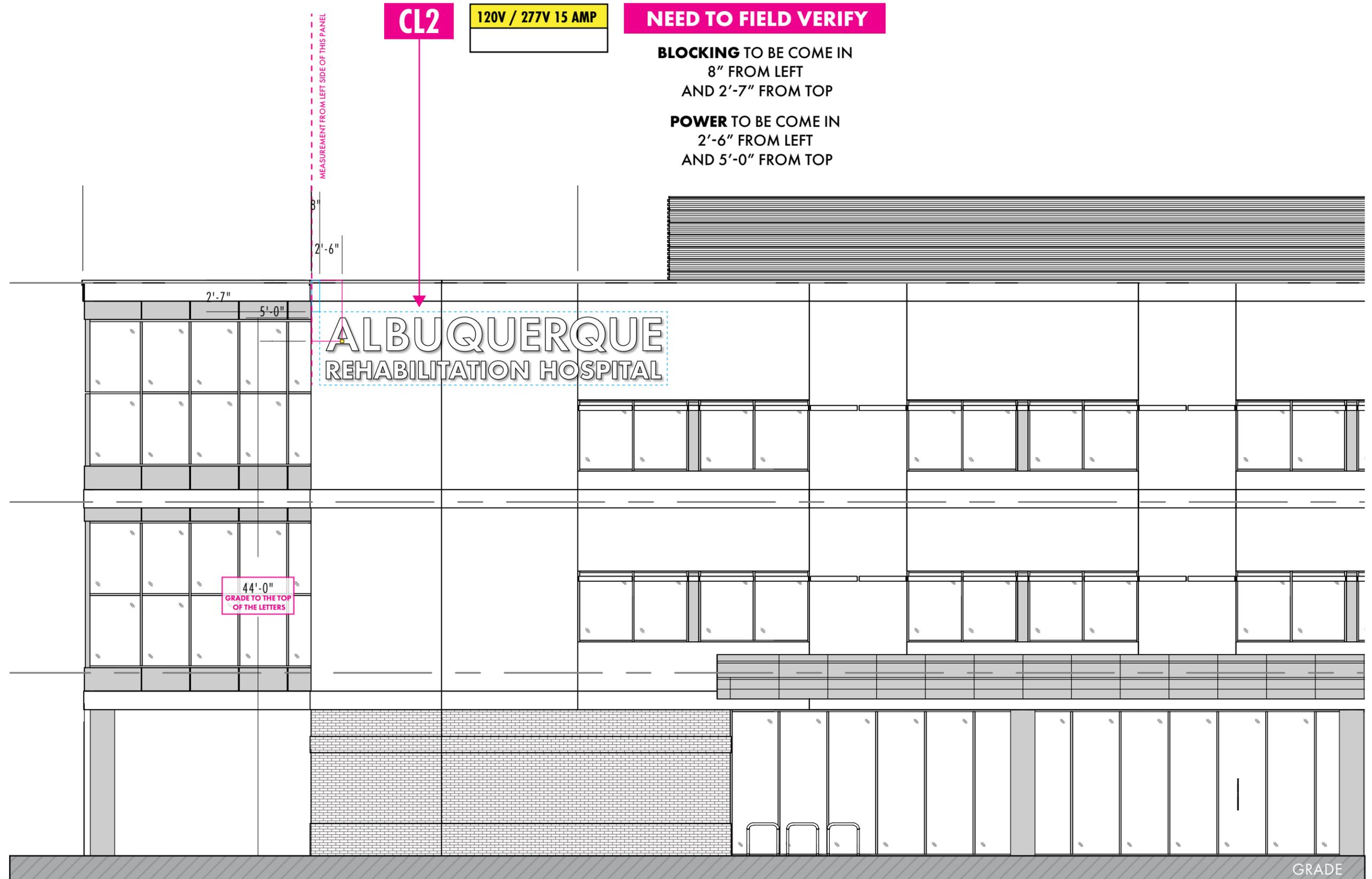
SCALE: 1/8" = 1'-0"

ELEVATION WIDTH: 267'-10"

ELEVATION HEIGHT: 46'-11"

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PARTIAL NORTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION WIDTH: 267'-10"

ELEVATION HEIGHT: 46'-11"

