



# Environmental Planning Commission

Agenda Number: 3  
Project #: 2024-010490  
Case #: SI-2024-00815  
Hearing Date: July 18, 2024

## Staff Report

<b>Agent</b>	Consensus Planning
<b>Applicant</b>	Advance Sign Group
<b>Request</b>	<b>Site Plan – EPC Major Amendment</b>
<b>Legal Description</b>	All or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO
<b>Location</b>	4600 Cutler Ave. NE between San Mateo and Washington
<b>Size</b>	Approximately 20 acres
<b>Existing Zoning</b>	MX-M and NR-C

**Staff Recommendation**  
 APPROVAL of Project # 2024-010490 and Case # SI-2024-00815 based on Findings 1-14 beginning on page 22 and subject to the Conditions of Approval 1-4 beginning on page 23.

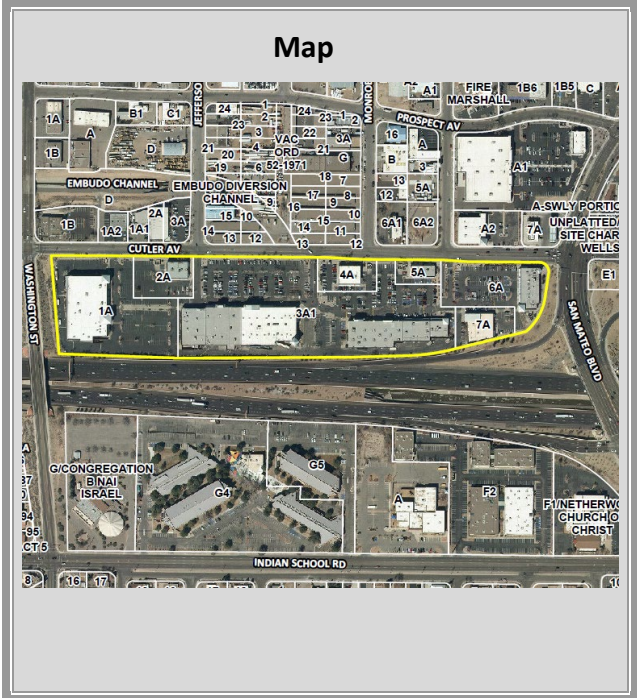
Staff Planners:  
 Jude Miller, Planner  
 William Steele, Current Planner

**Summary of Analysis**

The request is for a Site Plan – EPC, Major Amendment to remove the design standards for signage from the controlling Site Development Plan and designate signage on the site to be controlled by IDO Sign standards. This could simplify the regulations and process for applicants requesting to build new signage by allowing them to follow the same IDO sign standards that are applicable city-wide instead of specific sign standards in the Site Plan.

The affected neighborhood associations and property owners within 100 feet of the subject site were notified as required.

The request has been adequately justified pursuant to the IDO Review and Decision Criteria for a Site Plan EPC in 14-16-6-6(l)(3).



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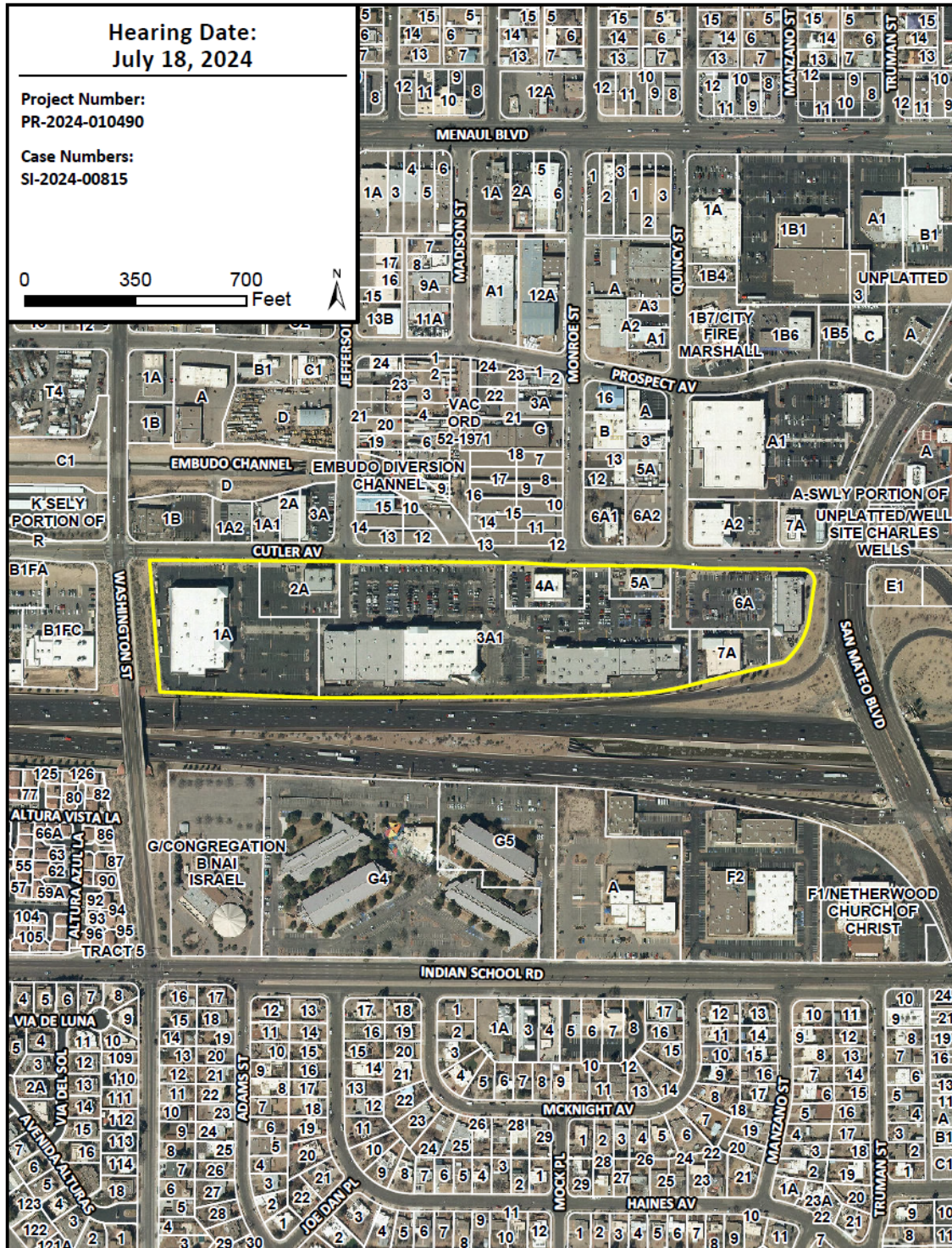
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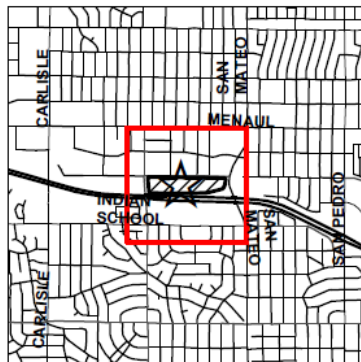
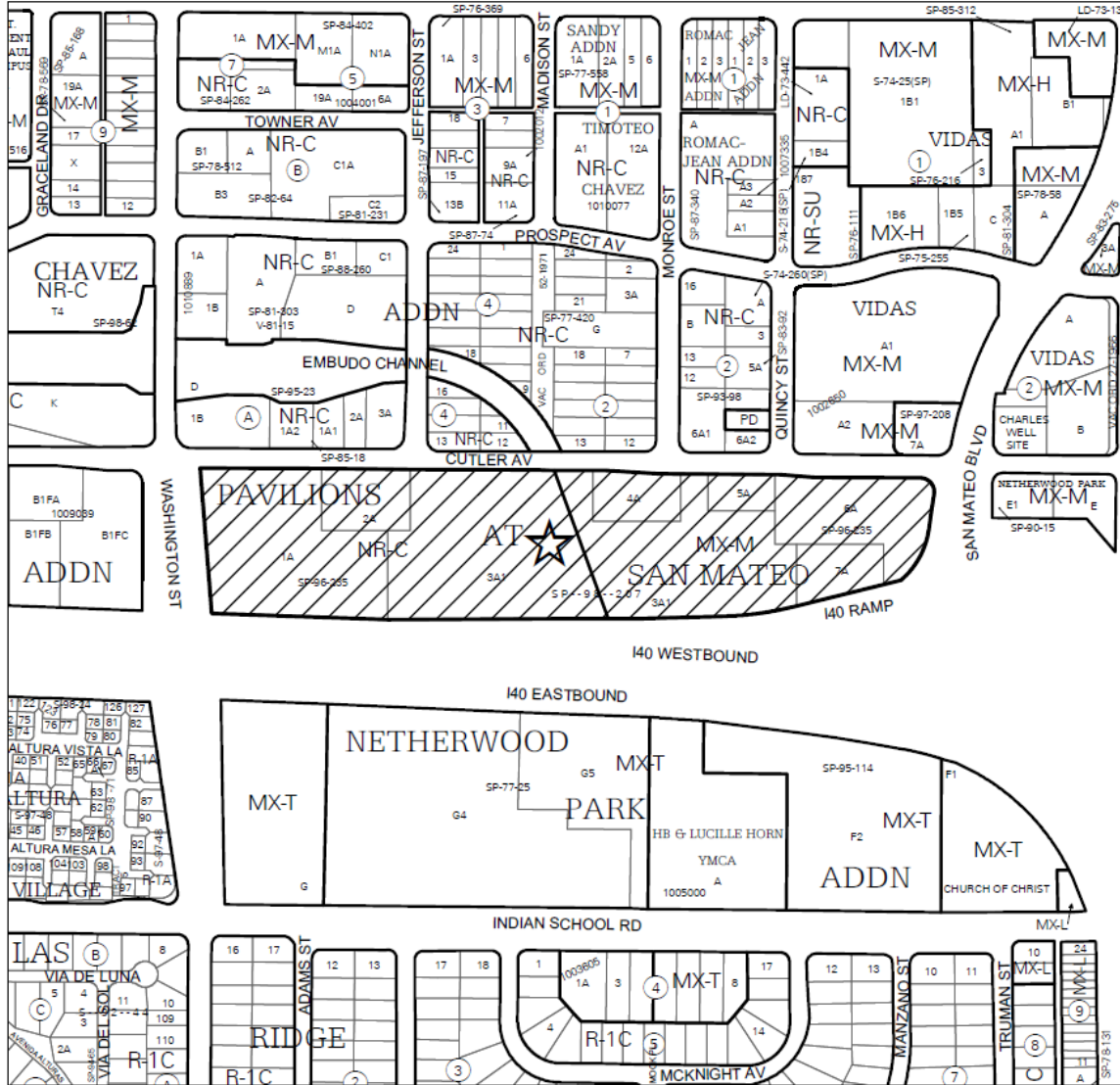
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## I. Maps

### Aerial Map



**IDO Zoning Map**



**IDO ZONING MAP**

Note: Gray shading indicates County.

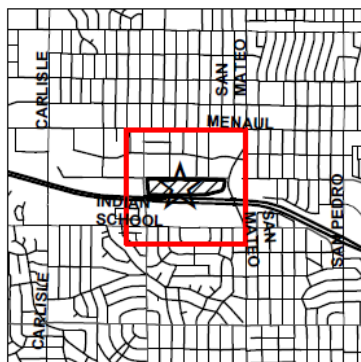
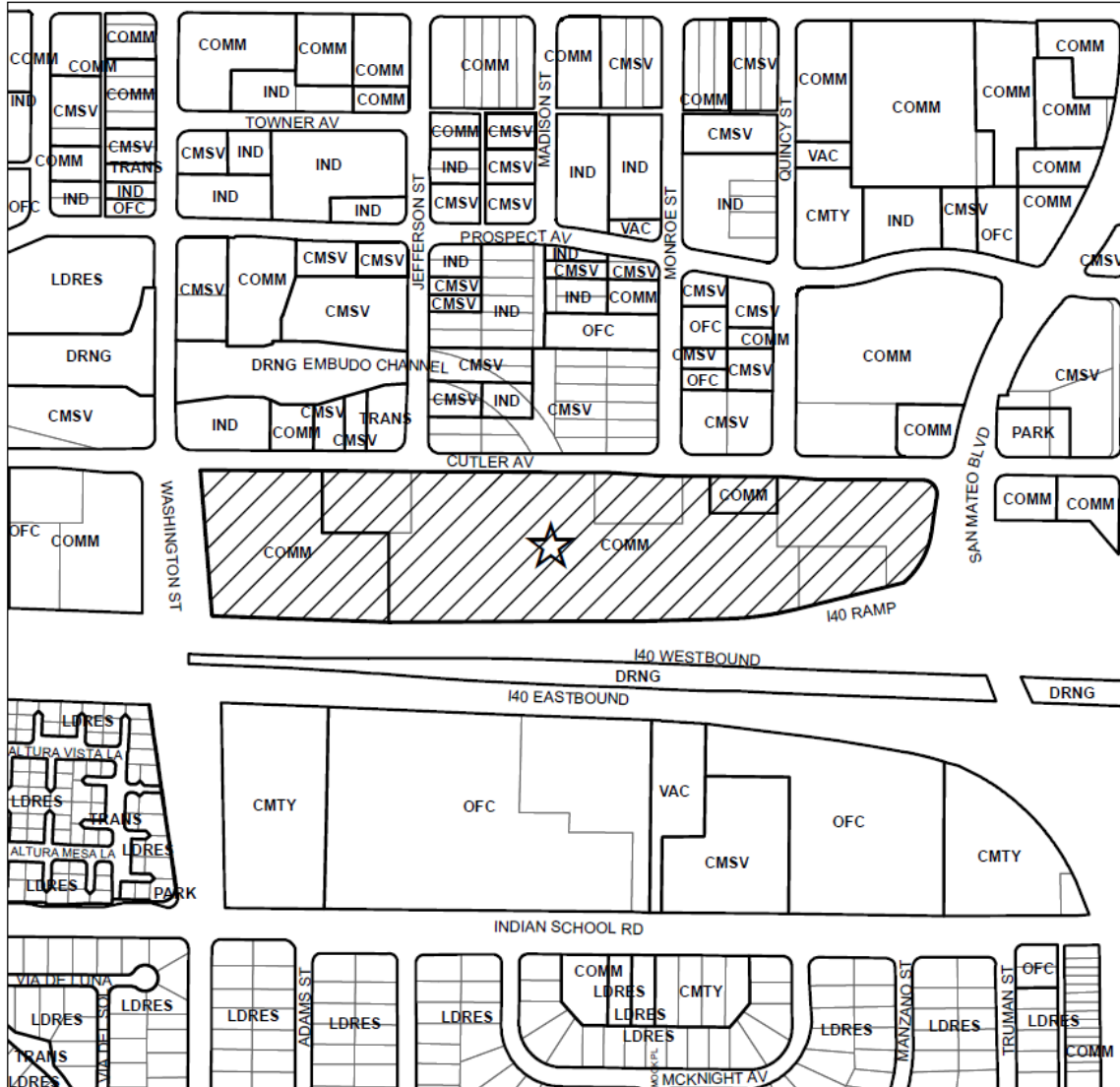


1 inch = 400 feet

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7/18/2024  
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**Land Use Map**



**LAND USE MAP**

Note: Gray shading indicates County.

- Key to Land Use Abbreviations**
- LDRES | Low-density Residential
  - MULT | Multi-family
  - COMM | Commercial Retail
  - CMSV | Commercial Services
  - OFC | Office
  - IND | Industrial
  - INSMED | Institutional / Medical
  - ED | Educational
  - APRT | Airport
  - TRANS | Transportation
  - AGRI | Agriculture
  - PARK | Parks and Open Space
  - DRNG | Drainage
  - VAC | Vacant
  - UTIL | Utilities
  - CMTY | Community
  - KAFB | Kirtland Air Force Base



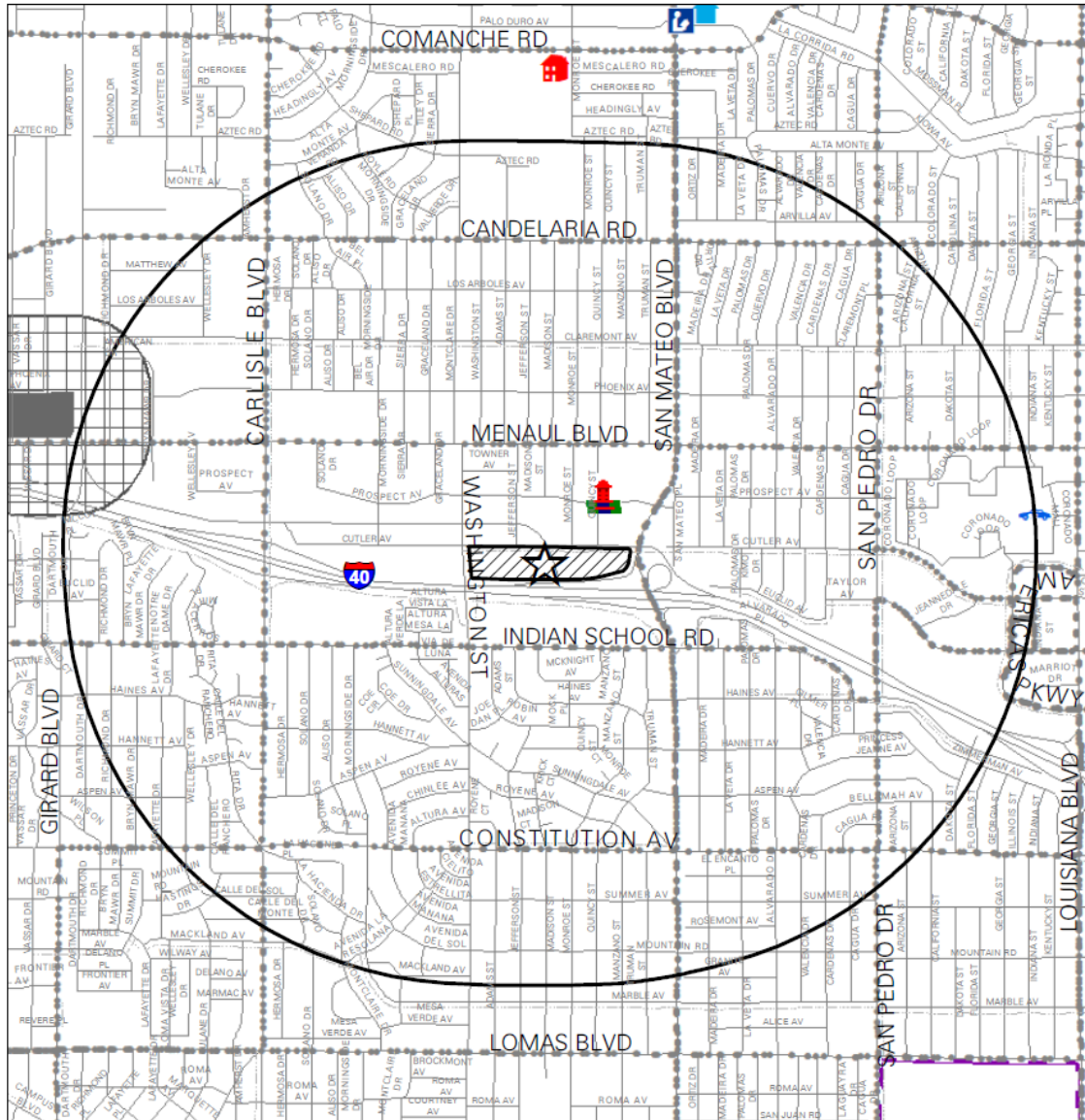
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**Public Facilities / Community Services**

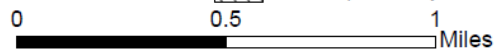


**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |



Project Number: PR-2024-010490





**II. Introduction**

	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
<i>Subject Site</i>	MX-M & NR-C	Area of Change and Area of Consistency	Commercial Retail
<i>North</i>	MX-M & NR-C	Area of Change and Area of Consistency	Commercial Retail, Commercial Services, Light Vehicle Fueling, Industrial, Transportation
<i>South</i>	MX-T	Area of Change and Area of Consistency	Office, Vacant, Religious Institution
<i>East</i>	MX-M & MX-L	Area of Change and Area of Consistency	Commercial Retail, Park and Open Space
<i>West</i>	NR-C, R-1A	Area of Consistency	Commercial Retail and Low-density Residential

**Request**

The request is for a Site Plan – EPC, Major Amendment, for an approximately 20-acre site legally described as all or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO, located at 4600 Cutler Ave. NE, between San Mateo and Washington (the “subject site”).

The applicant is requesting to eliminate the sign standards from the controlling Site Development Plan and allow the signage standards to be controlled by the IDO (Integrated Development Ordinance) sign standards.

**EPC Role**

The EPC is hearing this case as required by IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO Table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I). This is a quasi-judicial matter.

### ***History/Background***

The controlling Site Development Plan for the subject site was approved on August 8, 1996 by the EPC (Z-95-92). The site was undeveloped at the time of construction and was completed in phases over a period of several years. In 2012 the EPC approved an amendment to the Site Development Plan for Building Permit for a drive-up service window at the Neighborhood Walmart site (1007872). In 2015 the DRB approved an administrative amendment to update the façade and signage at one of the retail sites in the shopping center (PR-2021-005016). In 2021 the DRB approved an administrative amendment to update building signage and adjust parking striping for a product pick-up (PR-2021-005016).

No other history on the site is known.

### ***Context***

The subject site is situated in a developed area of the Near Northeast Heights on an approximately 20-acre site that abuts I-40 to the south, Cutler to the North, San Mateo to the East, and Washington to the West. The surrounding area is characterized by a variety of land uses including offices, commercial services/retail, and low-density residential. The properties to the north are primarily commercial retail, the properties to the west are commercial retail and office and low-density housing. Freedom high School lies directly east of the subject site across San Mateo with low density housing south of that across I-40. The parcels directly south of the subject site across I-40 are zoned MX-T with a mix of uses including offices and two religious institutions.

Pedestrian and vehicular traffic access to the site is exclusively to the north of the site. Washington to the West is elevated above the subject site, and San Mateo to the east features on and off ramps to I-40 which bounds the south side of the subject site.

### ***Roadway System***

The Long Range Roadway System (2040) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways along with their regional role.

The LRRS map classifies Cutler as a Minor Collector, San Mateo as Community Principal arterial, Washington as a Major Collector, and I-40 as an Interstate.

### ***Bikeways / Trails***

The Long Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails. The LRBS shows a proposed buffered bike lane on Cutler, a proposed paved trail along the south side of I-40, and existing bike lanes on San Mateo and Washington.

### ***Transit***

The subject site is served by the San Mateo bus (140/141) to the west and the Menaul bus (8) route about ¼ mile to the North. The San Mateo bus runs approximately 16 hours per day, every 15 minutes, on weekdays and runs from the VA hospital to the south, up to Balloon Fiesta Park to the north. The Menaul bus runs approximately 15 hours per day, every 40 minutes, and takes riders from the Alvarado Transportation Center downtown, up to Menaul, then to Menaul and Tramway to the east.

### ***III. Analysis of City Plans and Ordinances***

#### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is located in both an Area of Change and an Area of Consistency as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Areas of Consistency contain policies to protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

#### ***Comprehensive Plan Designations***

The subject site is within 660' of the San Mateo Major Transit Corridor. Major Transit Corridors are anticipated to be served by high frequency and local transit. These Corridors prioritize transit above other modes to ensure a convenient and efficient transit system.

The subject site is not within a ¼ mile of any of the three designated urban centers and is located within the Mid-Heights Community Planning Area (CPA).

The Mid-Heights is made up of many 1950s suburbs, this area includes major arroyos that form linear parks with multi-use trails. The area has a grid pattern of principal and minor arterial streets. There are commercial strips bordering major streets in this area and contains the Uptown Urban Center, a regional shopping mecca as its focal point. There are views of the Sandia Mountains to the east, particularly along east/west streets.

The Mid-Heights CPA assessment is upcoming and will work with residents and businesses to help guide future development, revitalization, and growth.

#### ***Applicable Goals & Policies***

Applicable Goals and policies which were selected by the applicant are listed below. Staff analysis follows in ***bold italics***. Goals and/or policies added by Staff are denoted with an asterisk (\*).

CHAPTER 4: COMMUNITY IDENTITY

\*POLICY 4.1.2 IDENTITY AND DESIGN: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would protect the identity and cohesiveness of the neighborhood, and character of building design by removing the existing site development signage standards and updating the Site Development Plan to adhere to IDO sign design standards. All future signage at the subject site would follow sign standards applicable to NR-C and MX-M zones. Applying the IDO sign standards to the subject site would protect the identity and cohesiveness of the development and ensure the appropriate scale of sign development is followed pursuant to the regulating zone district. This could also ensure the appropriate character of building design per the underlying zone district for the City. **The request is consistent with Policy 4.1.2 – IDENTITY AND DESIGN.**

CHAPTER 5: LAND USE

POLICY 5.1.1 DESIRED GROWTH: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request could capture regional growth in the San Mateo Major Transit Corridor by removing site development standard for signs that are nearly 30 years old to be consistent with IDO standards that align with the growth and built environment. The request would align with and help shape the existing built environment into a sustainable development pattern. **The request is consistent with Policy 5.1.1 – DESIRED GROWTH.**

\*POLICY 5.2.1 LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request could contribute to create a sustainable and distinct community with a mix of uses by enabling the construction of signs based on IDO standards. This request could enhance development and better inform neighbors of the variety of commercial uses and services available in their neighborhood. **The request is generally consistent with Policy 5.2.1 – LAND USES.**

POLICY 5.3.1 INFILL DEVELOPMENT: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request is consistent with this infill development policy by supporting additional growth and development by simplifying the signage process and eliminating the controlling Site Development Plan sign standards; thus, adhering to IDO sign standards sign standards applicable to NR-C and MX-M zones. This could encourage growth on a subject site subject site with multiple empty tenant spaces and existing

infrastructure that is near public facilities such as transit bus stops. **The request is consistent with Policy 5.3.1 – INFILL DEVELOPMENT.**

**POLICY 5.6.2 AREAS OF CHANGE:** Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request is in an area of change and along the San Mateo Blvd Major Transit Corridor. With the elimination of the original Site Development Plan sign standards, signage larger than stipulated would no longer have to go through the EPC process because the sign standards would adhere to and be consistent with the standards in the IDO. Following IDO standards could encourage more growth and revitalize development by simplifying the process to add signs on the site. **The request is generally consistent with Policy 5.6.2 – AREAS OF CHANGE.**

**POLICY 5.7 IMPLEMENTATION PROCESSES:** Employ procedures and processes to effectively and equitably implement the Comp Plan.

The request would allow for all future signage requests on the subject site to be approved by staff instead of the EPC for compliance with standards pursuant to IDO 14-16-5-12 Signs and IDO 14-16-6-5(C) Permit – Sign. The procedure for staff to process and employ procedures for a sign permit will eliminate the need for the Site Development Plan to go through the process for a Site Plan-EPC while still equitably and efficiency implementing the Comp Plan. **The request is consistent with Policy 5.7 – Implementation Processes.**

**POLICY 5.7.4 STREAMLINED DEVELOPMENT:** Encourage efficiency in the development review process.

The request is consistent with this policy by streamlining the review process that businesses have to follow to construct a new sign. All new signs in the shopping center will follow the standard IDO signage regulations that are applicable to NR-C and MX-M zones. **The request is consistent with Policy 5.7.4 – STREAMLINED DEVELOPMENT.**

#### **CHAPTER 8: ECONOMIC DEVELOPMENT**

**\*POLICY 8.1.1: DIVERSE PLACES:** Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

The request would align with this policy by encouraging economic development opportunities through the removal of site development sign standards based on an existing Site Development Plan for a shopping center that has seen regular change with new businesses coming and going throughout the previous decades. Allowing the Site Development Plan to follow IDO standards could encourage different uses

and development intensities by making it easier to obtain signage. **The request is generally consistent with Policy 8.1.1 – DIVERSE PLACES.**

### ***Integrated Development Ordinance (IDO)***

#### *IDO Zoning*

The subject site consists of both MX-M and NR-C zone districts. The purpose of the MX-M zone district (Mixed-Use – Moderate Intensity, IDO 14-16-2-4(C), which was assigned upon the adoption of the IDO) is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. Allowable uses are shown in Table 4-2-1.

The purpose of the NR-C zone district (Non-residential - Commercial, IDO 14-16-2-5(A) which was assigned upon the adoption of the IDO) is to accommodate medium-scale retail, office, commercial, and institutional uses, particularly where additional residential development is not appropriate or not desired because of a deficit of jobs or services in relation to housing units in the area. Primary land uses include a wide spectrum of retail and commercial uses intended to serve both neighborhood and area-wide needs, as well as some light industrial uses. Allowable uses are shown in Table 4-2-1 of the IDO.

#### *Definitions*

**Amendment:** Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

**Mixed-use Development:** Properties with residential development and non-residential development on a single lot or premises. For the purposes of this IDO, mixed-use development can take place in the same building (i.e., vertical mixed-use) or separate buildings on the same lot or premises (i.e., horizontal mixed-use).

**Sign:** Any display to public view of letters, words, numerals, emblems, pictures, or any parts or combinations thereof designed to inform or advertise or promote merchandise, services, or activities.

**Site Development Plan:** A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed Site Development Plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

#### ***IV. Major Amendment to Site Plan***

##### ***Request***

The Request is for a Major Amendment to a Site Development Plan approved prior to the effective date of the IDO, which can be amended by the original approving body pursuant to IDO section 14-16-6-4(Z).

The controlling Site Development Plan has sign standards that dictate the maximum height of signs based the type of building (Pad, Shop, or Anchor) on the site, and location on each building. However, as retail tenants have cycled through the shopping center, new signs have been approved administratively that are out of compliance with the Site Plan specifications.

The applicant wishes to remove the design standards for signage from the controlling Site Development Plan to allow sign standards to be governed by the IDO development standards.

##### ***Analysis***

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

*As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.*

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

*The subject site does not contain any NR-SU or PD zoned parcels.*

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

*The request complies with all applicable provisions of the IDO, the DPM, and other adopted City regulations. The original Site Development Plan has signage standards for the site but would need a Major Amendment Site Plan EPC if were over the maximum threshold. The request would remove*

*the existing sign standards from the controlling Site Development Plan and future signage would be regulated by the IDO and zone district regulating the site.*

- 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

*The request only affects the signage standards in the Site Development Plan. Any changes to sign requirements will have no effect on public infrastructure.*

- 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

*The request is to replace the Site Plan sign standards with the IDO sign standards, which aim to reduce any negative impacts to the public and neighbors of the site. Replacing the site sign standards with the IDO sign standards will ensure that new signs are governed to the same standards as any other sign in the city that is pursuant to the IDO*

- 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

*The subject property is not within a Master Development Plan.*

- 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

*The subject site is not within the Railroad and Spur Small Area; therefore, a cumulative impact analysis is not required.*



### ***Review of Proposed Site Plan***

#### ***Signs***

The controlling Site Development Plan contained signage standards that restricted the size of signs tenants could have in the shopping center. The request for signage exceeds the thresholds found in IDO Table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b). According to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals the EPC must hear this case since major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement).

Requesting the controlling Site Development Plan to adhere to IDO standards would allow future all signage on site be in pursuant with IDO Sign regulations in IDO 14-16-5-12. This would allow for all future signage requests on the subject site to be approved by staff instead of the EPC for compliance with standards pursuant to IDO 14-16-6-5(C) Permit – Sign.

### ***V. Agency & Neighborhood Concerns***

#### ***Reviewing Agencies***

Most reviewing agencies either did not send a response, or stated that they had no comments. PNM was the only agency to leave a detailed comment. Their comment states that any new construction needs to abide by the procedures of PNM easements. Please see page 24 for further details on Agency Comments.

#### ***Neighborhood/Public***

The affected neighborhood associations are the Altura Addition Neighborhood Association (NA), Altura Park NA, Alvarado Park NA, and Sandia Ridge NA, which were notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was not requested or held.

Staff has not received public comments in support or opposition to the request.

### ***VI. Conclusion***

The request is for a Site Plan – EPC, Major Amendment, for an approximately 20-acre site legally described as all or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO, located at 4600 Cutler Ave. NE, between San Mateo and Washington (the “subject site”).

The applicant is requesting to eliminate the sign standards from the controlling Site Development Plan and allow the signage standards to be controlled by the IDO sign standards.

The subject site is in an area of change, within the major transit corridor of San Mateo Blvd.  
**Staff recommends approval of the site plan subject to the conditions of approval listed on page 23 to provide clarity moving forward.**

## ***Findings, Site Plan***

### ***Project #: 2024-010490 / SI-2024-00815***

1. The request is for a Site Plan – EPC, Major Amendment, for an approximately 20-acre site legally described as all or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO, located at 4600 Cutler Ave. NE, between San Mateo and Washington.
2. The amendment would eliminate the sign standards from the controlling Site Development Plan and allow any future signs to be controlled by the IDO sign standards. All future signage at the subject site will follow sign standards applicable to NR-C and MX-M zones.
3. The EPC is hearing this case as required by IDO Subsection 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
4. The controlling Site Development Plan was finalized on August 8, 1996 by the EPC (Project Z-95-92). The site was undeveloped at the time of construction and was completed in phases over a period of several years.
5. The subject site is served by the San Mateo bus (140/141) to the west and the Menaul bus (8) route about ¼ mile to the North.

The LRRS map classifies Cutler as a Minor Collector, San Mateo as Community Principal arterial, Washington as a Major Collector, and I-40 as an Interstate. The LRBS existing bike lanes on San Mateo and Washington.

The subject site is within 660' of the San Mateo Major Transit Corridor and is located within the Mid-Heights Community Planning Area (CPA).

6. The subject site consists of both MX-M and NR-C zone districts. Allowable uses are shown in Table 4-2-1.
7. IDO 14-16-6-6(I)(3)(c) states, "The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property."

The amended Site Development Plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan, and other applicable Plans. The existing Site Plan sign standards have been removed so that future sign standards are pursuant to the

IDO. Future sign standards would be subject to the zone district regulating the site and any applicable sign standard in the IDO.

8. The City of Albuquerque Integrated Development Ordinance (IDO) and the Albuquerque/Bernalillo County Comprehensive Plan are incorporated herein by reference and made part of the record for all purposes.
9. The request is consistent with the following Policy from Comprehensive CHAPTER 4: COMMUNITY IDENTITY:

**POLICY 4.1.2 IDENTITY AND DESIGN:** Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would protect the identity and cohesiveness of the neighborhood, and character of building design by removing the existing site development signage standards and updating the Site Development Plan to adhere to IDO sign design standards. All future signage at the subject site would follow sign standards applicable to NR-C and MX-M zones. Applying the IDO sign standards to the subject site would protect the identity and cohesiveness of the development and ensure the appropriate scale of sign development is followed pursuant to the regulating zone district. This could also ensure the appropriate character of building design per the underlying zone district for the City.

10. The request is consistent with the following Policies from Comprehensive Plan CHAPTER 5: LAND USE:

**POLICY 5.1.1 DESIRED GROWTH:** Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The request could capture regional growth in the San Mateo Major Transit Corridor by removing site development standard for signs that are nearly 30 years old to be consistent with IDO standards that align with the growth and built environment. The request would align with and help shape the existing built environment into a sustainable development pattern.

**POLICY 5.2.1 LAND USES:** Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request could contribute to create a sustainable and distinct community with a mix of uses by enabling the construction of signs based on IDO standards. This request could enhance development and better inform neighbors of the variety of commercial uses and services available in their neighborhood.

**POLICY 5.3.1 INFILL DEVELOPMENT:** Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request is consistent with this infill development policy by supporting additional growth and development by simplifying the signage process and eliminating the

controlling Site Development Plan sign standards; thus, adhering to IDO sign standards sign standards applicable to NR-C and MX-M zones. This could encourage growth on the subject site subject site with multiple empty tenant spaces and existing infrastructure that is near public facilities such as transit bus stops.

**POLICY 5.6.2 AREAS OF CHANGE:** Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request is in an area of change and along the San Mateo Blvd Major Transit Corridor. With the elimination of the original Site Development Plan sign standards, signage larger than stipulated would no longer have through the EPC process because the sign standards would adhere to and be consistent with the standards in the IDO. Following IDO standards could encourage more growth and revitalize development by simplifying the process to add signs on the site.

**POLICY 5.7 IMPLEMENTATION PROCESSES:** Employ procedures and processes to effectively and equitably implement the Comp Plan.

The request would allow for all future signage requests on the subject site to be approved by staff instead of the EPC for compliance with standards pursuant to IDO 14-16-5-12 Signs and IDO 14-16-6-5(C) Permit – Sign. The procedure for staff to process and employ procedures for a sign permit will eliminate the for the Site Development Plan to go through the process for a Site Plan-EPC while still equitably and efficiency implementing the Comp Plan.

**POLICY 5.7.4 STREAMLINED DEVELOPMENT:** Encourage efficiency in the development review process.

The request is consistent with this policy by streamlining the review process that businesses have to follow to construct a new sign. All new signs in the shopping center will follow the standard IDO signage regulations that are applicable to NR-C and MX-M zones.

**11. The request is consistent with the following Policy from Comprehensive Plan CHAPTER 8: ECONOMIC DEVELOPMENT.**

**POLICY 8.1.1: DIVERSE PLACES:** Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

The request would align with this policy by encouraging economic development opportunities through the removal of site development sign standards based on an existing Site Development Plan for a shopping center that has seen regular change with new businesses coming and going throughout the previous decades. Allowing the Site Development Plan to follow IDO standards could encourage different uses and development intensities by making it easier to obtain signage.

12. IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

*As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.*

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

*The subject site does not contain any NR-SU or PD zoned parcels.*

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

*The request complies with all applicable provisions of the IDO, the DPM, and other adopted City regulations. The original Site Development Plan has signage standards for the site but would need a Major Amendment Site Plan EPC if were over the maximum threshold. The request would remove the existing sign standards from the controlling Site Development Plan and future signage would be regulated by the IDO and zone district regulating the site.*

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

*The request only affects the signage standards in the Site Development Plan. Any changes to sign requirements will have no effect on public infrastructure.*

6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

*The request is to replace the Site Plan sign standards with the IDO sign standards which aim to reduce any negative impacts to the public and neighbors of the site. Replacing the site sign standards with the IDO sign*

*standards will ensure that new signs are governed to the same standards as any other sign in the City that is compliant with the IDO*

- 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

*The subject property is not within a Master Development Plan.*

- 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

*The subject site is not within the Railroad and Spur Small Area; therefore, a cumulative impact analysis is not required.*

13. The affected neighborhood associations are the Altura Addition Neighborhood Association (NA), Altura Park NA, Alvarado Park NA, and Sandia Ridge NA, which were notified as required. Property owners within 100 feet of the subject site were also notified as required.
14. Staff has not received public comments in support or opposition to the request.

### ***Recommendation***

***APPROVAL of Project #: 2024-010490 / SI #: 2024-00815, for a request a Site Plan – EPC, Major Amendment to eliminate the sign standards from the controlling Site Plan and allow the signage standards to be controlled by the current IDO sign standards, for an approximately 20-acre site legally described as all or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO, located at 4600 Cutler Ave. NE, between San Mateo and Washington (the “subject site”), based on the preceding Findings and subject to the following Conditions of Approval.***

### ***Conditions of Approval***

***Project #: 2024-010490 / Case #: 2024-00815, Application Description***

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed Site Plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
  2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.
  3. The General Notes on the Site Plan shall be updated to read "Signage shall be pursuant to IDO 14-16-5-12 Sign Standards and all other applicable design regulations, including the regulating zone district for the site.
  4. All references to signage shall be correspondently updated so signage follows IDO standards.
- 

*Jude Miller*  
Planner

*William Steele*  
Current Planner

Notice of Decision cc list:

Advance Sign Group, [sales@advancedesign.com](mailto:sales@advancedesign.com)  
Consensus Planning, [cp@consensusplanning.com](mailto:cp@consensusplanning.com)  
Consensus Planning, Hsaing Wen Huang, [huang@consensusplanning.com](mailto:huang@consensusplanning.com)  
Altura Addition NA, Jon Wright, [wright.js@gmail.com](mailto:wright.js@gmail.com)  
Altura Addition NA, Denise Hammer, [archhero@aol.com](mailto:archhero@aol.com)  
Altura Park Neighborhood Association, [alturapark@gmail.com](mailto:alturapark@gmail.com)  
Altura Park NA, Robert Jackson, [rajackso@msn.com](mailto:rajackso@msn.com)  
Altura Park NA, Neal Spero, [nspero@phs.org](mailto:nspero@phs.org)  
Alvarado Park NA, Elissa Dente, [elissa.dente@gmail.com](mailto:elissa.dente@gmail.com)  
Alvarado Park NA, Mary Erwin, [marybe9@gmail.com](mailto:marybe9@gmail.com)  
Sandia Ridge NA, [sandiaridgena@gmail.com](mailto:sandiaridgena@gmail.com)  
Sandia Ridge NA, Ron Gray, [grong27@gmail.com](mailto:grong27@gmail.com)  
Sandia Ridge NA, Ed Dunn, [solar.ed@gmail.com](mailto:solar.ed@gmail.com)  
Legal, [Dking@cabq.gov](mailto:Dking@cabq.gov)  
Legal, [Nasanchez@cabq.gov](mailto:Nasanchez@cabq.gov)  
EPC file



## ***Agency Comments***

### **OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES**

#### ***Mid-Region Council of Governments (MRCOG)***

MRMPO has no adverse comments.

#### ***Solid Waste Department***

No Comment.

#### ***Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)***

AMAFCA has no adverse comments to the Site Plan EPC Major Amendment.

#### ***Bernalillo County***

No Comment.

#### ***Public Service Company of New Mexico (PNM)***

(There are PNM facilities and/or easements around the perimeter of the larger site and a transmission line crosses the site south to north near the easternmost vehicular access from Cutler Ave.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat.

Structures, especially those made of metal like restrooms, storage buildings, and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

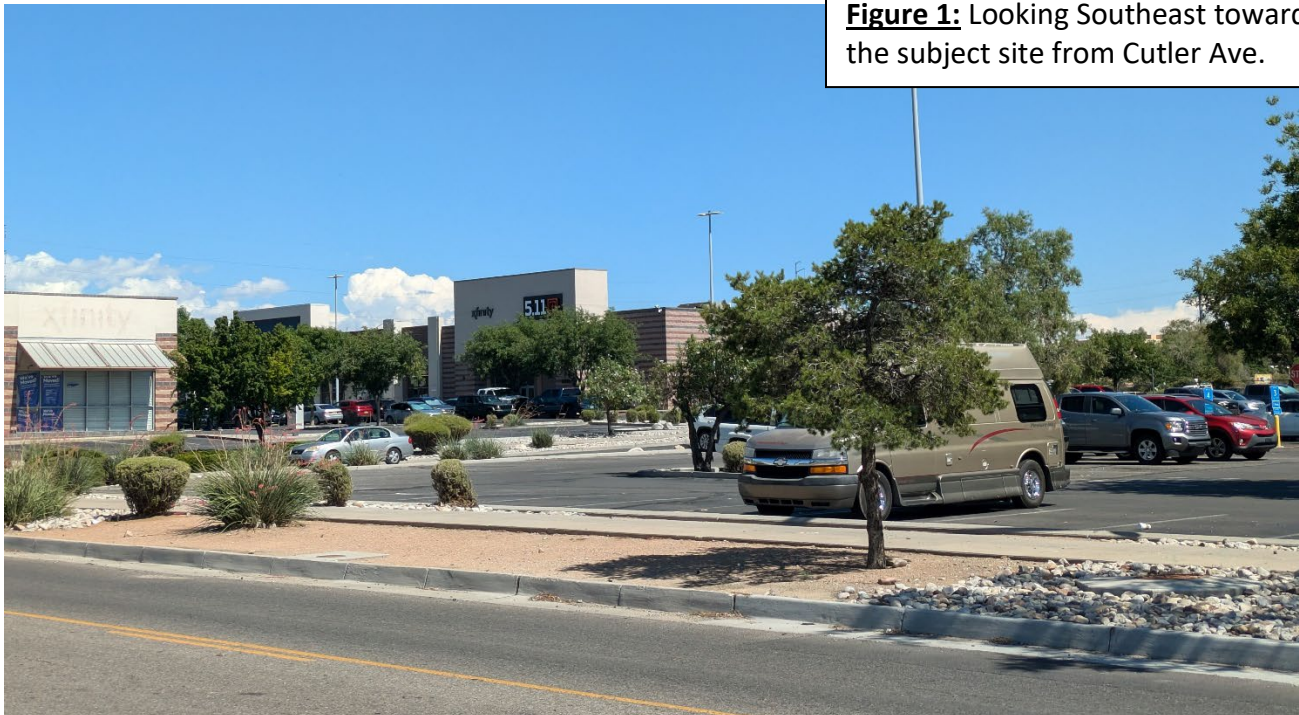
If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

A) PHOTOGRAPHS

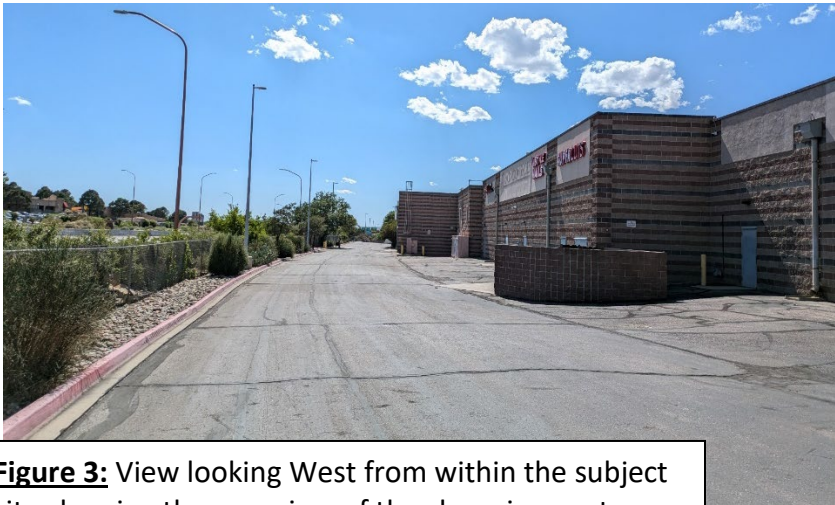
**Figure 0.0:** 3D birds eye views provided by Google Earth 2022, looking South West, showing overall site and adjacent Zoning. The Subject Site is located North the I-40 freeway and West of San Mateo Blvd.



**Figure 1:** Looking Southeast toward the subject site from Cutler Ave.



**Figure 2:** View looking West along the sidewalk along Cutler Ave along the Northern boundary of the subject site.



**Figure 3:** View looking West from within the subject site showing the rear view of the shopping center and existing wall signs facing I-40.



**Figure 4:** View looking East from within the subject site showing parking, pedestrian sidewalks, and existing signage facing Cutler Ave.

**Figure 5:** View looking West from the corner of San Mateo and Cutler showing the existing monument signage.





**Figure 6, 7, 8:** Required sign posting at the site.  
(Sign to be posted by Applicant)  
(1) sign on Cutler Ave. NE.  
(1) sign on Washington St. NE.  
(1) sign on San Mateo Blvd NE.

B) HISTORY

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: September 22, 1995

**OFFICIAL NOTIFICATION OF DECISION**

Kitchell Development Co.  
25 Executive Park  
Ste 100  
Irvine, Ca 92714-6779

FILE: Z-95-92

**LEGAL DESCRIPTION:** Lots C and D, Metherwood Park Addition, zoned C-3 and C-2 respectively, located on the south side of Cutler Avenue NE, between San Mateo Boulevard NE and Washington Street NE, containing approximately 20 acres (H-17).

On September 21, 1995 the Environmental Planning Commission voted to approve Z-95-92, your request for site development plan approval, based on the following Findings and subject to the following Conditions:

**Findings:**

1. Many of the transportation improvements required for this development are under the jurisdiction of the State Highway Department which is not obligated to furnish them per the desires of this developer. The developer will be responsible for obtaining the appropriate agreements prior to final sign-off.
2. The applicant must receive approval of the State Highway Department in order to use the drainage easement area for the required parking.
3. This project represents one of the last significant undeveloped commercial locations in this developed area. The floor area ratio of 0.25 is consistent with other existing development in the area.
4. The project will generate traffic which in turn will increase the air pollution in this critical monitoring area. That increase may effect periodic air quality pollution exceedances. The development contains some measures for mitigation of the situation. These measures along with others and including infrastructure improvements can reduce the project's impact.
5. The plan, with minor changes to the landscaping plan, circulation plan and signage plan meets the applicable plans and policies.

**Conditions:**

1. A note shall be added to the site plan stating that no drive-throughs are permitted. The applicant shall provide an automatic teller machine at a location easily accessible to employees. The applicant shall participate in any future transportation management program that might apply to this site. The applicant must provide an incentive program for the use of mass transit mutually acceptable to the Environmental Health Department and to the developer.
2. Future approvals for pad sites and minor modifications provided that these adhere strictly to the approved design standards are delegated to the Development Review Board. An additional note shall be added stating that building mounted sign area is limited to 6 percent of the elevation to which it is applied.
3. The parking provided must meet the minimum required. A minimum of 18 feet of landscaping is required at the front of the site and periodic landscaped shopping cart return areas must be provided. This may reduce the number of parking spaces, in turn generating a need to reduce the square footage on site or adjust the use mix to lower the requirement.
4. Gravel may be used as an accent material but not as a ground cover. One additional shade tree per end island and planter should be provided.
5. The applicant must receive approval for the use of the Embudo Arroyo Channel from the State Highway Department, which owns the land, and AMAFCA which controls the easement.



# D. R. B. SUBMITTAL

## PAVILIONS AT SAN MATEO

### A PROJECT OF KITCHELL DEVELOPMENT

#### PROJECT DATA

##### ARCHITECTS:

DCSW, INC.  
105 4TH ST. S.W.  
ALBUQUERQUE, N.M. 87102  
PROJECT ARCHITECT: DAVE DEKKER  
PH. NO. (505) 843-9639

GREENBERG FARROW ARCHITECTURE  
15101 RED HILL AVENUE  
TUSTIN, CA. 92780  
PROJECT ARCHITECT: MIKE ELKIN  
PH. NO. (714) 259-0500

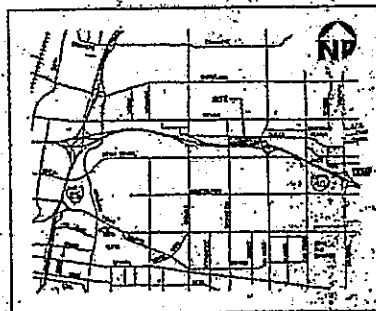
##### CIVIL ENGINEER:

BHI, INC.  
7500 JEFFERSON N.E.  
ALBUQUERQUE, N.M. 87109  
PROJECT ENGINEER: JAMES TOPMILLER  
PH. NO. (505) 823-1000

##### LANDSCAPE ARCHITECT:

BHI, INC.  
7500 JEFFERSON N.E.  
ALBUQUERQUE, N.M. 87109  
LANDSCAPE ARCHITECT: GEORGE RADNOVICH

##### LOCATION MAP



##### ARCHITECTURAL:

- A-1
- A-2
- A-3
- A-4
- A-5
- A-6
- A-7
- A-8

##### CIVIL:

- C-1

##### LANDSCAPE:

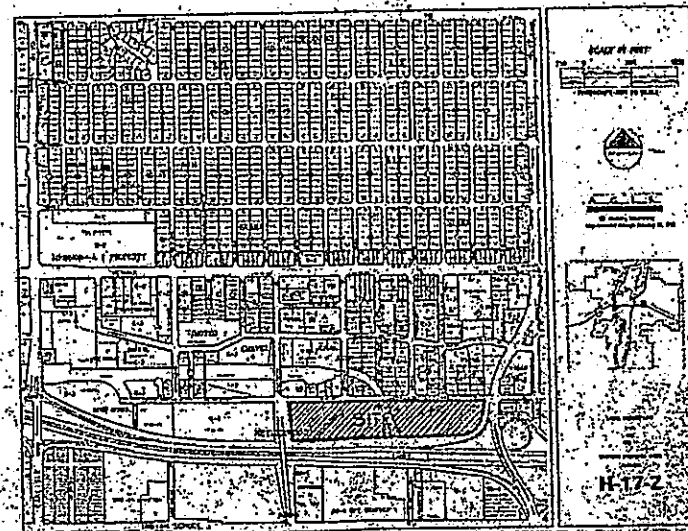
- L-1

#### SHEET LIST

- COVER SHEET
- 1" = 60'-0" SITE PLAN / SITE DETAILS
- 1" = 30'-0" WEST SITE PLAN
- 1" = 30'-0" EAST SITE PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS - CIRCUIT CITY
- CIVIL (GRADING, DRAINAGE & UTILITIES PLAN)
- LANDSCAPE PLAN

**ADMINISTRATIVE AMENDMENT**  
 FILE # 15AA 10144 PROJECT # 1007872  
REMODEL OF  
FACADE AS  
SHOWN   
 APPROVED BY: [Signature] DATE: 11-20-2015

##### VICINITY / ZONE MAP



CASE NUMBER: 2-1291-22

By agreement with the specific site development project approved by the Environmental Planning Commission (EPC) on 11/15/2015 and the final findings of the Official Map Amendment.

SITE DEVELOPER: [Signature] 11-15-2015

PLANNING DEPARTMENT: [Signature] 11-15-2015

TRAFFIC ENGINEER: [Signature] 11-15-2015

DATE: 11-15-2015

DATE: 11-15-2015

DATE: 11-15-2015

DATE: 11-15-2015

DATE: 11-15-2015

DATE: 11-15-2015

The Pavilions at San Mateo

COVER SHEET

GREENBERG FARROW ARCHITECTURE  
15101 RED HILL AVENUE SUITE 200  
TUSTIN, CALIFORNIA 92780  
TEL: (714) 259-0500 FAX: (714) 259-0501



DATE	11-20-2015
SHEET	A1-8

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPROVED BY**

**DATE**

C) APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

This site plan amendment request to eliminate the old sign standards in the site plan and allowing the signage to be controlled by the controlled by the IDO sign standards.


### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

## FORM P1: SITE PLAN – EPC

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

SITE PLAN – EPC

MASTER DEVELOPMENT PLAN

MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? NO if yes, indicate language: \_\_\_\_\_

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application* and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) **(Built site)**

Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

N/A Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) **(Not Required)**

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1)

Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in

accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

N/A Scaled Site Plan or Master Development Plan and related drawings

*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

Copy of the original approved Site Plan or Master Development Plan (for amendments only)

Site Plan or Master Development Plan

N/A Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) **(Built site)**

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

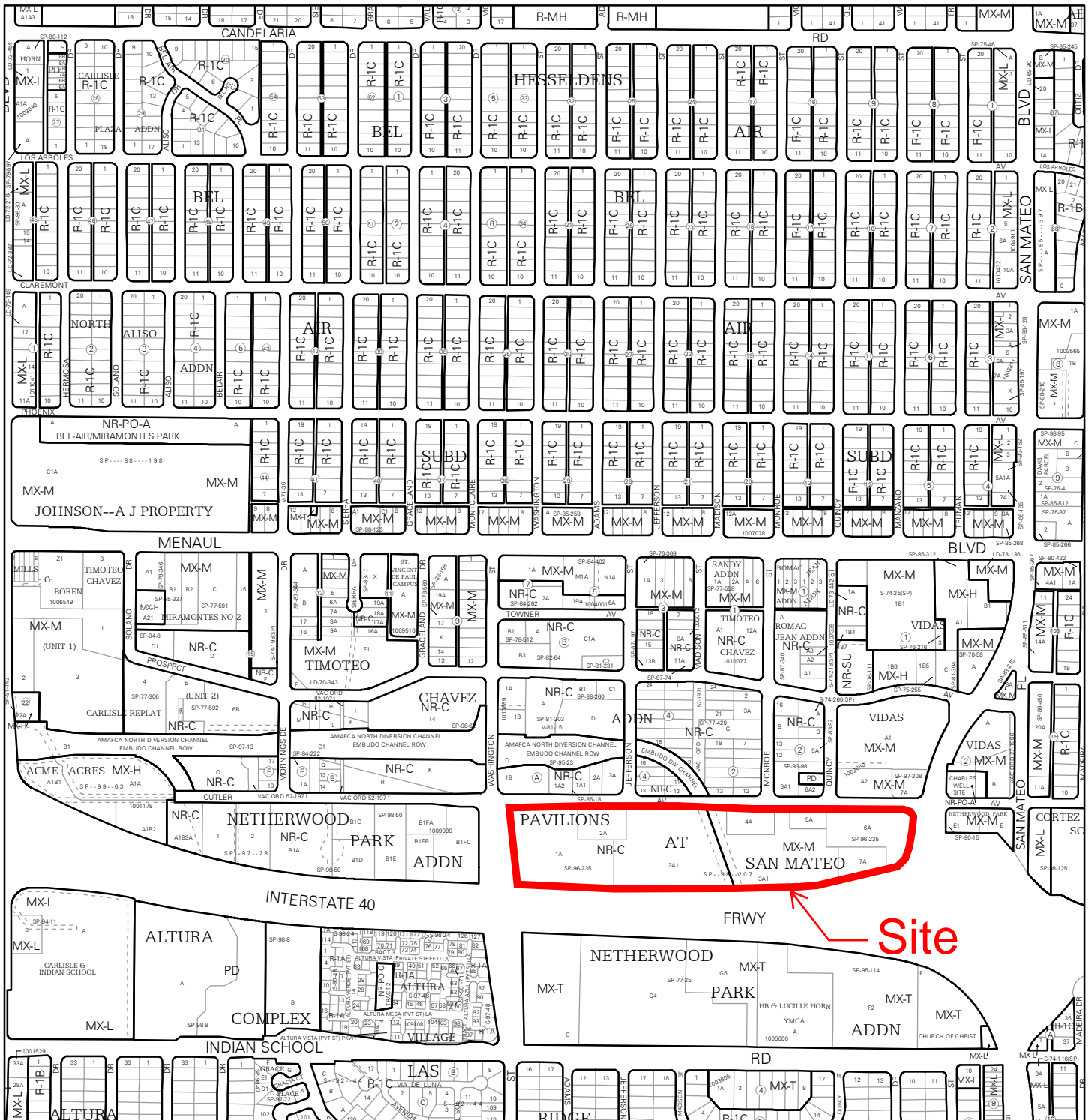
site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

\_\_\_ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

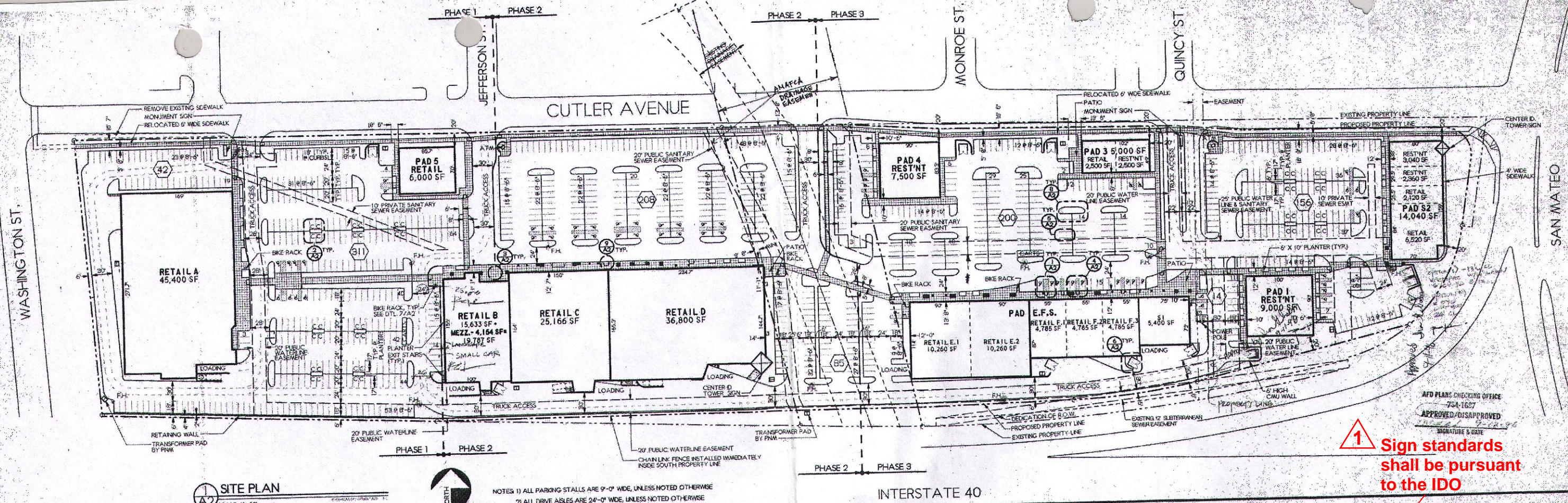
Zone Atlas Page:  
**H-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

N

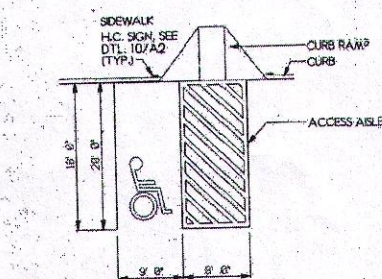
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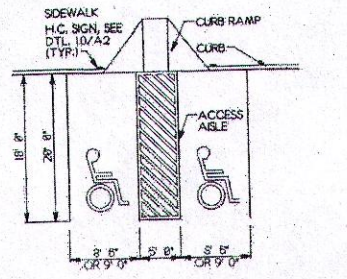
**1** SITE PLAN  
SCALE 1"=60'

NOTES 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE  
2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

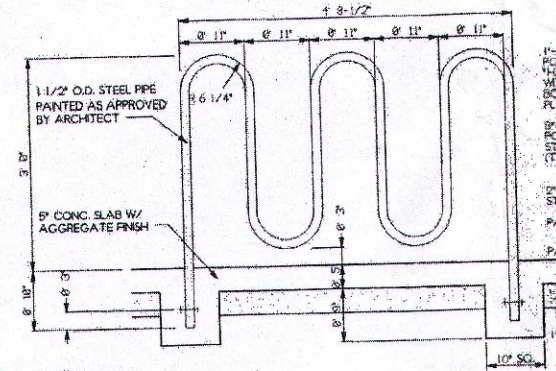
INTERSTATE 40



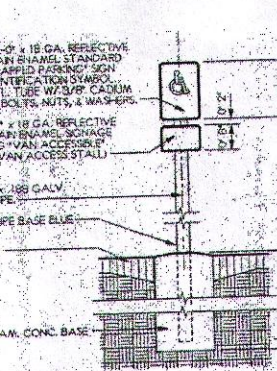
**1** DETAIL PARKING # HANDICAP VAN SPACE  
N.T.S.



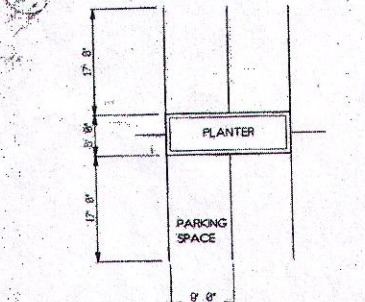
**4** DETAIL PARKING # HANDICAP SPACE  
N.T.S.



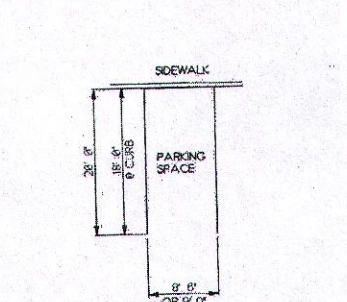
**7** DETAIL # BIKE RACK  
N.T.S.



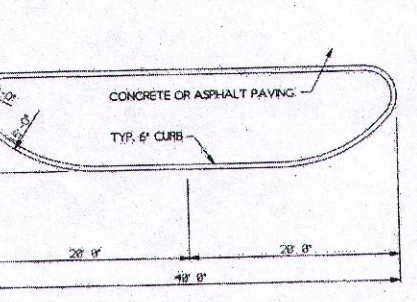
**10** DETAIL HANDICAP SIGN  
1/2" = 1'-0"



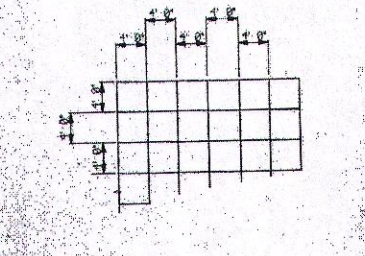
**2** DETAIL PARKING # SMALL CAR SPACE  
N.T.S.



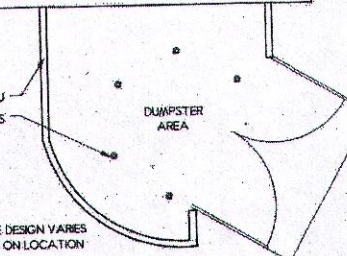
**5** DETAIL PARKING # STANDARD SPACE  
N.T.S.



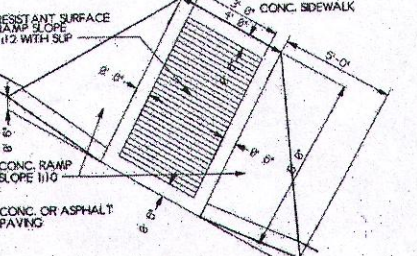
**8** DETAIL TYP. ISLAND CONFIGURATION  
N.T.S.



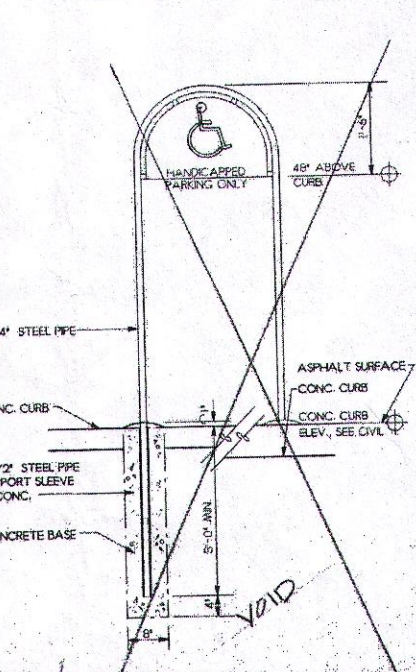
**3** DETAIL # ACCENT PAVING  
N.T.S.



**6** DETAIL # DUMPSTER ENCLOSURE  
N.T.S.



**9** DETAIL # CURB RAMP (TYP.)  
N.T.S.



**10** DETAIL  
N.T.S.

**SUMMARY**

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	19,0032 ACRES
TOTAL BUILDING AREA	208,958 SF.
TOTAL BUILDING FOOTPRINT	204,814 SF.
LAND/BUILDING (BASED ON FOOTPRINT)	24.74%
PARKING / PAVING AREA	457,971 SF.
LANDSCAPE	109,372 SF. = 17.56%
PARKING REQUIRED	
RESTAURANTS PAD 1	69,000 SF. = 220 SEATS + 5 = 74 SPACES W/ LIQUOR
RESTAURANTS PAD 4	67,500 SF. = 180 SEATS + 3 = 60 SPACES W/ LIQUOR
RESTAURANTS S2	69,040 SF. = 50 SEATS + 4 = 13 SPACES W/ LIQUOR
RESTAURANTS S2	62,360 SF. = 25 SEATS + 4 = 7 SPACES
PADS	62,500 SF. = 44 SEATS + 4 = 11 SPACES
TOTAL	24,400 SF. = 165 SPACES + 917 SPACES = 1082 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)	108 SPACES
TOTAL SPACES PROVIDED	974 SPACES
TOTAL PARKING PROVIDED	1016 SPACES
TOTAL SMALL CAR SPACES PROVIDED	44 SPACES / 4.93X
HANDICAP SPACES	

BLDG. PAD	SPACES REQ'D
RETAL A	8
RETAL B	4
RETAL C	8
RETAL D	8
RETAL E	8
RETAL F	4
RETAL S1	2
RETAL S2	4
P1	4
P2	2
P4	4
P5	2

TOTAL H.C. SPACES REQ'D: 58 SPACES  
TOTAL H.C. VAN SPACES REQ'D: 7 SPACES  
TOTAL H.C. SPACES PROVIDED: 58 SPACES  
TOTAL H.C. VAN SPACES PROVIDED: 12 SPACES

**GENERAL NOTES**

**1** SIGNAGE: ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY MOUNTED ON LETTERS 9'-0" HIGH MAXIMUM. SIGNS AND 3'-0" HIGH BUSH AND TREE BUILDINGS. SEE PARKING DESIGN GUIDELINES BELOW FOR OTHER NOTES.

**SITE LIGHTING:** THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BARRIERS TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

**ACCESS/EASEMENTS:** CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLANT (IN EVENT OF PAD PARCEL SALES). FOR PEDESTRIAN CIRCULATION, THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE IN-LINE RETAIL STORES, NORTH/SOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING.

**DRIVE CROSSINGS:** DESIGN GUIDELINES FOR ALL BLDGS: ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS, & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE (SPRITE CAULCETC.). DESIGN GUIDELINES FOR PAD BLDGS: PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDGS. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS. PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH. TO BE READ FROM CUTLER OR SAN MATEO MONUMENT SIGNAGE NOT TO EXCEED 30'. PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USER'S REQUIREMENTS.

IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:

**PHASE 1:** RETAIL 'A' BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.

**PHASE 2:** RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.

**PHASE 3:** ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

**DRAINAGE PLAN:** The drainage and grading concept for this amended site development plan substantially conform to the concept approved under the original site development plan submitted. Prior to permanent Certificate of Occupancy approval, drainage plans in City files will be updated with this amended site plan information. Since work in the field is ongoing in this area, the site contractor shall be notified immediately of all changes affecting grading and drainage.

**The Pavilions at San Mateo**

**SITE PLAN / SITE DETAILS**

**GREENBERG FARROW ARCHITECTURE**  
ARCHITECTURE • ENGINEERING • PLANNING  
16181 RED HILL AVENUE, SUITE 500  
TUSTIN, CALIFORNIA 92680  
TEL. (714) 258-8888 FAX (714) 258-8888

**DCSW**  
architects  
DESIGN COLLABORATIVE  
SOUTH-WEST INC.  
108 4TH ST. SW  
ALBUQUERQUE, NM  
87102  
505-242-2682

**KITCHELL DEVELOPMENT**

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL FEATURES, MATTERS & OTHER INFORMATION DEPOSITED HEREON OR CONTAINED THEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY. ARE SUBJECT TO MODIFICATION WITHOUT NOTICE. ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND AS TO THE SIZE & NATURE OF IMPROVEMENTS TO BE CONSTRUCTED. THIS PRELIMINARY PLAN WAS BASED ON DATA FURNISHED TO GREENBERG FARROW ARCHITECTURE AND IS SUBJECT TO VERIFICATION BY CERTIFIED LEGALS SURVEY, ETC. & GOVERNING AGENCIES. ALL DIMENSIONS & SITE CONDITIONS SHOULD BE RE-DERIVED.

G.F.A. JOB NO: 960391  
DATE: 09-30-96  
SHEET: A2 of 8

May 1, 2024

Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM, 87102

RE: 4600 CUTLER AVENUE NE

To Whom It May Concern:

This letter provides authorization for Consensus Planning, Inc. to act as our agent relating to all applications, hearings, submittals, and other formal representation for the subject property legally described as: **TRACT 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEOCONT 9.4144 AC**

*JE*  
*Signature*

Sincerely,

Name: LIESL ELLSWORTH

Signature: *L. Ellsworth*

Title: VP - Property Management

Date: 5/14/2024





July 2, 2024

Jonathan R. Hollinger, Chairman  
Environmental Planning Commission, City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Updated Request for a Major Amendment to a Pre-IDO Site Development Plan

Dear Mr. Chairman:

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

The purpose of this letter is to request a Major Amendment to the existing Site Development Plan for the property located at 4600 Cutler Avenue NE, The Pavilions at San Mateo Shopping Center. This property covers approximately 20 acres and is legally described as Tracts 1A, 2A, 3A-1, 4A, 5A, 6A and 7A Plat of Tract 3A-1 Tract A1 Pavilions at San Mateo containing, 20 acres zoned NR-C/MX-M, adjacent to I-40. An Amended Site Development Plan for Building Permit for the shopping center was approved by the Environmental Planning Commission (EPC) in 2012 (See attached Notice of Decision). This request meets the criteria for a Major Amendment as outlined in IDO Section 14-6-6-4(Y)(3) and thus requires EPC review and approval.

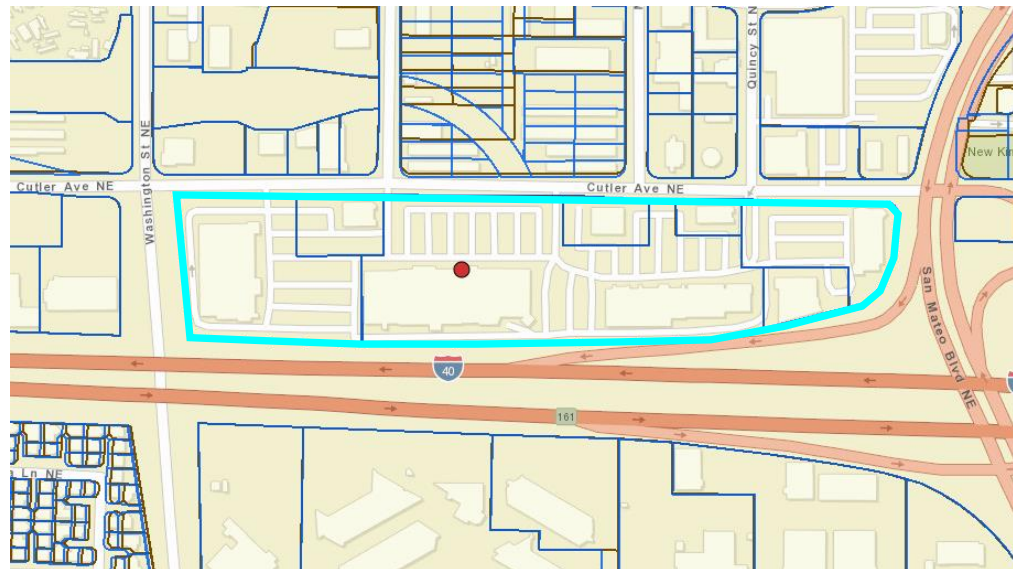


Figure 1. Subject parcel in blue box with overall shopping center.

**THE REQUEST**

The applicant seeks a Major Amendment to the existing Site Development Plan for the Pavilions at San Mateo Shopping Center, specifically to eliminate the signage guidelines from the Site Plan so that all signs will be regulated by the Integrated Development Ordinance (IDO). This change will enhance the visibility of the business signs from Cutler Avenue NE, located approximately 225 feet from the store, and from I-40.

According to IDO Table 6-4-4 regarding minor amendments, the proposed change is considered a major amendment. Therefore, we are requesting a Major Amendment to the Site Plan under the provisions for pre-IDO approval pursuant to section 14-16-6-4(Z) Amendments of Pre-IDO approvals.

**PRINCIPALS**

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

**ASSOCIATES**

Ken Romig, PLA, ASLA

**SITE HISTORY**

Developed in 1996 and amended in 2012. The Pavilion at San Mateo was established to serve the community's needs with a diverse range of commercial retail, services, business offices, and restaurants. It continues to support a mix of commercial activities, including commercial services, retail, corporate facilities, and several restaurants.

**EXISTING CONDITIONS**

The site is situated within a mixed commercial intersection featuring a variety of commercial uses such as restaurants, retail stores, corporate offices, healthcare facilities, and gas stations. The surrounding area includes Mixed-Use, Commercial, office, and Single-Family residential zones. There are multiple commercial businesses within the shopping center with wall mounted signs that exceed the allowed size and letter height such as: Old Navy, Shoe Dept., 5.11, etc. Research of previous city planning files and case history that would have shown amendments to the shopping center Site Development Plan or zoning variances to allow these signs are absent from the city's records. According to the front counter Zoning staff, these existing signs that exceed the allowed size were most likely approved in error.

**ZONING**

TABLE 1. Surrounding Zoning & Land Use		
<b>NORTH</b>	NR-C, MX-M, NR-SU	Apartment buildings, commercial retail, and restaurant.
<b>EAST</b>	MX-M, R-1A, MX-L,	Commercial retail, apartment buildings, restaurant, and shopping center.
<b>SOUTH</b>	MX-T, R-1A, MX-L	Education, churches, office, YMCA, and single family residential.
<b>WEST</b>	NR-C, PD, MX-H, NR-PO-C	Commercial retail, apartment building, public facilities, and mobile home park, and single family residential.

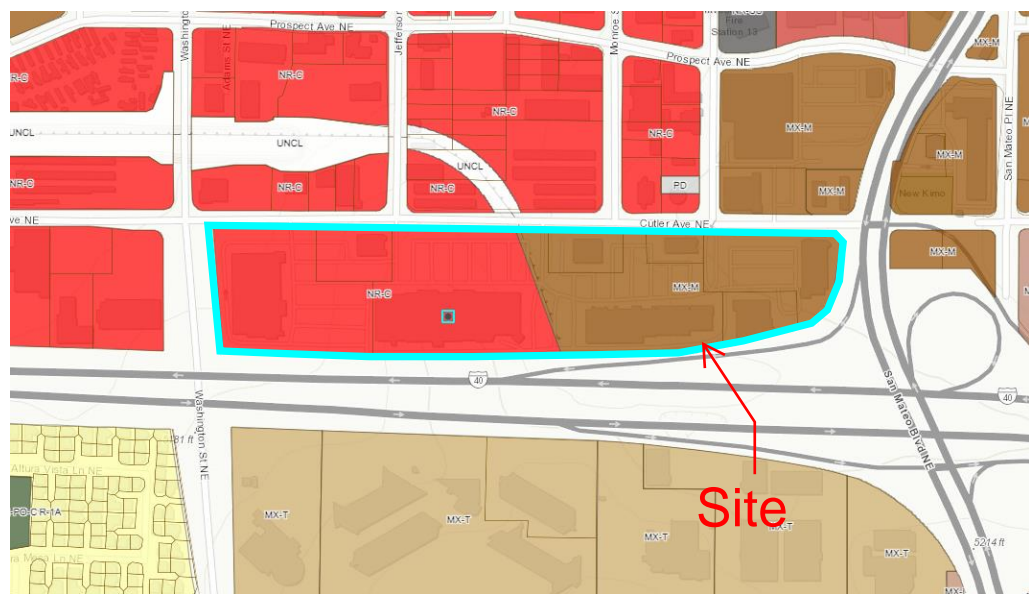


Figure 2: Zoning



Figure 3: Site Image

**1. INTEGRATED DEVELOPMENT ORDINANCE JUSTIFICATION CRITERIA**

The following explanation summarizes how the request for a Major Amendment to the existing Site Development Plan meets the IDO criteria pursuant to IDO Section 14-16-6-4(Z)(1)(b) amendments, to Site Development Plans approved prior to the adoption of the IDO.

1. **6-6(l)(3)(a):** The Site Plan is consistent with the ABC Comp Plan, as amended.

**Applicant Response:** *This request is consistent with the ABC Comp Plan as amended, as summarized by the following ABC Comp Plan goals, policies, and sub-policies.*

**Goal 5.1 Centers and Corridors:** Grow as a community of strong Centers connected by a multi-modal network of Corridors.

**Applicant response:** *This request is consistent with Goal 5.1 because the amendment addresses a constraint to the redevelopment of an existing shopping center along a Major Transit Corridor. Consistency with this goal is further articulated by the response to the policy and sub-policy below.*

**Policy 5.1.1 – Desired Growth:** Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

**Applicant response:** *This request is consistent with and will help to encourage redevelopment and growth along a Major Transit Corridor. This growth is accomplished by the request because it will allow for the redevelopment of an existing shopping center with new signage consistent with the IDO sign regulations. This is further articulated by the sub-policy analysis below.*

**Sub-policy c):** Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to



accommodate growth over time and discourage the need for development at the urban edge.

**Applicant response:** *This request is consistent with this sub-policy because it will support future redevelopment within the existing Pavilions Shopping Center. This infill occurs along a Major Transit corridor. The redevelopment of this property is infill in an existing shopping center that is along a Major Transit Corridor and will provide uniformity in signage as regulated by the IDO.*

**Policy 5.1.10 Major Transit Corridors:** Foster corridors that prioritize high-frequency transit services with pedestrian-oriented development.

**Applicant response:** *This request is consistent with this policy by fostering corridors that prioritize high-frequency transit services with pedestrian-oriented development because the subject site is located south of the San Mateo Boulevard Major Transit Corridor. There are two bus stops near the subject site. Employees and customers alike benefit from the existing shopping center uses.*

**Policy 5.3.1 Infill Development:** Support additional growth in areas with existing infrastructure and public facilities.

**Applicant response:** *This request is consistent with this policy because it supports additional growth and increases the redevelopment potential (by removing barriers) in areas with existing infrastructure, transit service, and public facilities by making the signage rules consistent with the IDO.*

**Goal 5.6 City Development Areas:** Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforce the character and intensity of the surrounding area.

**Applicant response:** *The Major Amendment is consistent with this goal by encouraging growth in an Area of Change, where it is expected and desired. The Major Amendment will allow for redevelopment of the lot which will bring economic activity and job creation to reinforce the character and intensity of the surrounding area.*

**Policy 5.6.2 Areas of Change:** Direct growth and more intense development to Centers, Corridors, industrial, and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

**Applicant response:** *This request is consistent with this policy because it directs growth to both a Major Transit Corridor and an Area of Change. The Area of Change is facilitated by this request because it will remove obstacles which or hinder redevelopment of the site.*



**Goal 5.7 Implementation Processes:** Employ procedures and processes to effectively and equitably implement the Comp Plan.

**Applicant response:** *This request is consistent with this goal because it directly removes a barrier to efficient redevelopment since future signage associated with redevelopment of the existing shopping center is currently regulated by a Site Development Plan rather than the IDO. If approved, the signage for redevelopment will follow the IDO sign regulations as opposed to the old site plan. This goal is further articulated by the policy below.*

**Policy 5.7.4: Streamlined Development:** Encourage efficiencies in the development review process.

**Applicant response:** *This request furthers this policy because having new businesses that move into the shopping center follow the standard citywide IDO signage regulations will be more efficient and more consistent.*

2. **6-6(l)(3)(b):** The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

**Applicant Response:** *The subject property areas do not have any NR-SU or PD zoning within its boundaries, so this criterion does not apply.*

3. **6-6(l)(3)(c):** The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant Response:** *According to the previously approved Site Plan, the maximum allowable square footage is different from that allowed by the IDO. The amendment removes the old sign restrictions and replaces them with the IDO regulations, which will be consistent with how signs are regulated city-wide.*

4. **6-6(l)(3)(d):** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

**Applicant Response:** *The requested amendments aim to update how building mounted signage is regulated; the improvement will not impact the existing infrastructure and public improvements.*

5. **6-6(l)(3)(e):** The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.



**Applicant Response:** *By tying future sign regulations to the IDO, this application ensures consistent sign regulation city-wide.*

6. **6-6(I)(3)(f):** If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**Applicant Response:** *This criterion is not applicable because the subject property is not within an approved Master Development Plan area.*

7. **6-6(I)(3)(g):** If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

**Applicant Response:** *This criterion is not applicable because the amendment is not within the Railroad and Spur Small Area.*

## 2. **6-4(Z)(1)(b) Major Amendments**

All requested amendments that do not qualify as minor amendments pursuant to Subsection (a) above shall be subject to relevant IDO standards, unless a different procedure described below applies.

1. Except as noted in Subsection 2 below, major amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement), including any required application fee, public notice, referral to commenting agencies, and public hearing.

**Applicant response:** *The existing Site Development Plan was approved by the EPC prior to the IDO, and per section 6-4(Z)(1)(b) qualifies as a Major Amendment to a pre-IDO approval and shall follow the procedures for the most closely equivalent decision prior to the IDO. In this case, the Site Plan – EPC process and decision-making criteria are the most closely equivalent procedures within the IDO. This request meets those criteria as identified below.*

2. The major amendments that involve any of the following, the relevant IDO procedures shall be followed, including any required application fee, public notice, referral to commenting agencies, and public hearing:

**Applicant response:** *This application for a major amendment - EPC, follows application procedures as defined by the IDO.*

- a. Any standard in the Site Development Plan that is covered by an IDO standard in Section 14-16-5-3 (Access and Connectivity), Section 14-16-5-4 (Subdivision of Land), Section 14-16-5-5 (Parking and Loading), or any DPM standard.



***Applicant Response:*** This criterion is not applicable to this application.

- b. Any change affecting an easement.

***Applicant Response:*** This criterion is not applicable to this application.

- c. Any expansion of a nonconforming use or structure.

***Applicant Response:*** This criterion is not applicable to this application.

- d. Any change affecting a nonconforming campground and recreational vehicle park use.

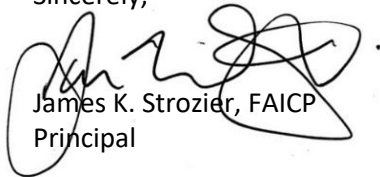
***Applicant Response:***

***Applicant Response:*** This criterion is not applicable to this application.

**CONCLUSION**

On behalf of Advance Sign Group, we respectfully request the Environmental Planning Commission's approval of this Major Amendment to the existing approved Site Development Plan. We believe this amendment will simplify future development processes and allow for new development on the site via the Site Plan – Administrative process.

Sincerely,

  
James K. Strozier, FAICP  
Principal

## D) STAFF INFORMATION



## Project Memo

DATE: June 25, 2024  
TO: James K Strozier, Consensus Planning  
FROM: Jude Miller, Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3349  
RE: Project # PR-2024-010490 / SI-2024-00815, 4600 Cutler Major Amendment

---

I've completed an initial review of the proposed Major Amendment to the controlling Site Development Plan. I would like to discuss the justification letter and project. I am available to answer questions about the process and requirements. Please provide the following:

- ⇒ Revised Site Plan Drawings (hard copy and electronic)
- ⇒ Revised Justification letter (electronic) by:  
**5 PM on Tuesday, July 2, 2024**  
Note: If you have difficulty with this deadline, please let me know.

### 1) Introduction:

- A. Though We've done my best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. This is what I have for the legal description: all or a portion of:
  - a. All or a portion of Tracts 1A, 2A, 4A, 5A, 6A and 7A REVISED PLAT OF PAVILIONS AT SAN MATEO, and Tract 3A-1 PLAT OF TRACT 3A-1 PAVILIONS AT SAN MATEO, located at 4600 Cutler Ave. NE, between San Mateo and Washington, containing approximately 20-acres.
- C. It is our understanding that this request is for a Major Amendment to: 1) amend the controlling Site Development Plan to increase the size of wall sign letters from 3ft. to 6ft. on walls facing Cutler, and from 3ft to 5ft on walls facing Interstate 40.
  - a. Notification to the neighbors says signs are 6' facing I-40', please verify sign dimensions.
  - b. The EPC is reviewing this request because the thresholds for a minor amendment have been exceeded pursuant to Table 6-4-4: Allowable Minor Amendments.
- D. Please provide a copy of the most recent approved sign (building permit).
  - a. The controlling site plan allows for up to 5-feet of signage on the north elevation and 4-feet on the south elevation.
  - b. It is our understanding that the MA is required to increase the sign height to 6-feet (from the most recently approved 3-feet) on the north elevation because it is over 10% of the allowable 5-foot sign height on the controlling SDP; and to 5-feet on the south elevation (from the most recently approved 3-feet) because it is over 10% of the allowable 4-foot sign height.

- E. Please provide a hard-copy of the original and controlling Site Plan with your revisions. This is what we are amending so the focus needs to be on this sheet. Please include redline updates to the wall sign language that you wish to be updated in the site plan.
- F. Please make any of the suggested revisions to strengthen your project letter/justification.
- G. Staff can't support the request as is because the justification letter is insufficient. More goals and policies need to be added for the analysis to support your request.
- H. *Upon discussion with the ZEO, staff would encourage the applicant to eliminate the sign standards from the original site plan on sheet A2 of 8 and allow the signage to be controlled by the current IDO sign standards.*

## 2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is July 18, 2024. Final staff reports will be available one week prior, on July 11, 2024
- C. Staff will forward agency comments to the applicant by July 5, 2024.

## 3) Notification & Neighborhood Issues:

*Notification requirements for a major amendment are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 345). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.* A. It appears that notification offering the pre-application facilitated meeting is complete.

- A. It does not appear that a pre-application facilitated meeting was held. Is this correct?
- B. The notification to property owners also appears complete with the exception of one parcel. Thank you for providing photos of the certified mail receipts and a list of the neighbors within a 100' buffer.
  - a. Please provide proof of notice to the following property owner no later than July 3, 2024.
    - **GOATCHER FAMILY LTD CO, Mailing Address: 2511 MONROE ST NE, Site Address: 2406 JEFFERSON NE**
- C. Have any neighborhood representatives or members of the public contacted you with any concerns or opposition?
- D. The letter to neighborhood associations only mentions a new height of 6ft for both signs, not 6ft on the front side facing Cutler and 5ft on rear of the building facing I-40. You need to send an updated email to the Neighborhood Associations specifying the specific changes for both locations on the building.

#### 4) Project Letter:

- A. The justification letter requires revisions for clarity and to strengthen your request in order for staff to make a recommendation.
- i. The intro of the project letter needs to be updated to the correct subject site. The major amendment is to the approximately 20 acre site (19.032-acres), and not just the smaller 9.414 acre parcel (the parcel the Xfinity store is located on). Please update for clarity.
  - ii. The Request: Please specify the actual elevations that will be amended on the site plan and show/explain the calculations as to why the amendment is required.
    - a. Will an amendment to the sign widths also be requested?
  - iii. Site history is incorrect. Please update. The original plan dates from 1996.

#### 5) Site Development Plan Major Amendments – 6-6(I)(3) Review and Decision Criteria

More policies and goals are necessary and should be cited to help reinforce your justification of the project. Existing justifications should either be changed out or revised to closely reference the goals and policies in the Comprehensive Plan.

The task in a justification is to choose applicable goals and policies from the Comprehensive Plan and demonstrate how the request is consistent with each applicable goal and policy. This can be shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.

Please be as detailed as possible in your responses:

- a. Responding to the zone change criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
  - i. answering the questions in the customary way (see examples).
  - ii. using conclusory statements such as “because \_\_\_\_\_”.
  - iii. re-phrasing the requirement itself in the response, and
  - iv. choosing an option when needed to respond to a requirement

Responses:

- A. 6-6(I)(3)(a):
- a. Policy 5.3.1 – Applicant cites this policy, but does not explain why a larger sign promotes infill. Please respond with more detail.
  - b. Policy 7.3.4 – Applicant says that this sign promotes infill by allowing a new business in an existing space. How can this site promote infill if Xfinity has already moved into the storefront mentioned in this application and already has signage; just smaller than what is requested? Please rewrite and update response.
  - c. Policy 8.1.2 – Applicant states that the larger sign will increase visibility. Please explain how this ties to the policy. Please rewrite.
  - d. Goal 8.1 – Applicant states that larger signage will attract customers and retain retail businesses. There is no guarantee that a larger sign will attract customers and retain businesses.
- B. 6-6(I)(3)(c): Needs to be updated.
- C. 6-6(I)(3)(e): Applicant states that the increased sign size mitigates any negative impacts by making a safer environment for drivers on Cutler. It is not evident how a larger sign would improve roadway safety. Please rewrite.

6) Site Development Plan Application Amendment Sheets:

- Page 35: This page is confusing as it says existing/proposed, but the current conditions of the building are an updated flat parapet façade not the old pitched roof façade. Why does the “proposed section” only show a sign with 3’ high lettering on this page?
- Page 52: Elevation of existing store front replaces an existing 3-foot Xfinity sign, but the building façade has been updated. Please provide the most recent approved sign for this location.
- Page 55: This sheet is labeled “Existing / Proposed – 2.2”. This sheet shows the rear side of the building facing I-40. This sheet is confusing because it only shows a rendering of a sign at 3ft x 8ft-10in, which meets the original site plan guidelines. The inset photo shows a blank spot where the proposed sign is installed. Please provide the most recent approved sign for this location.
- Page 64: This is the only text included in the submittal that dictates sign letter height. This section of the site plan should be redlined with the updated text need in the revision. There is an elevation of this store, E1, with a specified 5’ front façade sign height. The IDO only states that a sign cannot be more than 15% of the façade. Sign heights in the building elevations should also be redlined with the updated allowable dimensions.
- Page 68: This says that this is the existing sign, but it is obviously photoshopped. Please provide the most recent approved sign for this location.

E) PUBLIC NOTICE

**From:** Jonathan Turner  
**To:** Hsiang Wen Huang  
**Subject:** FW: 4600 Cutler Avenue NE\_ Neighborhood Meeting Inquiry Sheet Submission  
**Date:** Wednesday, April 10, 2024 3:11:00 PM  
**Attachments:** images001.png  
 IDZoneAtlasPage\_H-17-Z (1).pdf

Save/Convert the email below into a PDF. Then put it into project Folder- 2102-00 in sub folder named "Neighborhood". You can save the file as: ONC email response

**Jonathan Turner**  
**Consensus Planning, Inc.**  
 302 8<sup>th</sup> Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 x109

**From:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Sent:** Wednesday, April 10, 2024 3:03 PM  
**To:** Jonathan Turner <turner@consensusplanning.com>  
**Subject:** 4600 Cutler Avenue NE\_ Neighborhood Meeting Inquiry Sheet Submission

**PLEASE NOTE:**  
**The neighborhood association contact information listed below is valid for 30 calendar days after today's date.**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Altura Addition NA		Jon	Wright	<a href="mailto:wright.js@gmail.com">wright.js@gmail.com</a>	1826 Solano Drive NE	Albuquerque	NM	87110	9898598457	
Altura Addition NA		Denise	Hammer	<a href="mailto:archhero@aol.com">archhero@aol.com</a>	1735 Aliso Drive NE	Albuquerque	NM	87110		5052681250
Altura Park NA	<a href="mailto:alturapark@gmail.com">alturapark@gmail.com</a>	Robert	Jackson	<a href="mailto:rajackso@msn.com">rajackso@msn.com</a>	4125 Hannett NE	Albuquerque	NM	87110		5052101458
Altura Park NA	<a href="mailto:alturapark@gmail.com">alturapark@gmail.com</a>	Neal	Spero	<a href="mailto:nspero@phs.org">nspero@phs.org</a>	4205 Hannett NE	Albuquerque	NM	87110	7346585577	
Alvarado Park NA		Elissa	Dente	<a href="mailto:elissa.dente@gmail.com">elissa.dente@gmail.com</a>	PO Box 35704	Albuquerque	NM	87176	5055733387	
Alvarado Park NA		Mary	Erwin	<a href="mailto:marybe9@gmail.com">marybe9@gmail.com</a>	PO Box 35704	Albuquerque	NM	87176	5052508158	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



**Suzie Flores**  
 Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office  
E-mail: [suzannaflories@cabq.gov](mailto:suzannaflories@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

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**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>  
**Sent:** Wednesday, April 10, 2024 2:54 PM  
**To:** Office of Neighborhood Coordination <[turner@consensusplanning.com](mailto:turner@consensusplanning.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Neighborhood Meeting Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:  
Environmental Planning Commission  
If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:  
Contact Name  
Jonathan Turner  
Telephone Number  
(505) 764-9801  
Email Address  
[turner@consensusplanning.com](mailto:turner@consensusplanning.com)  
Company Name  
Consensus Planning  
Company Address  
[info@consensusplanning.com](mailto:info@consensusplanning.com)  
City  
Albuquerque  
State  
NM  
ZIP  
87102  
Legal description of the subject site for this project:  
POSSE Project Number: PR-2021-005016  
POSSE Case Number: SI-2021-00146  
Legacy Project Number:  
Specific Case Type: Site Development Plan  
Case Subtype: Minor Amendment of Site Plan - EPC or Site Plan - DRB  
Physical address of subject site:  
4600 Cutler Avenue NE  
Subject site cross streets:  
San Mateo Blvd NE and Washington St NE  
Other subject site identifiers:  
Adjacent to I-40  
This site is located on the following zone atlas page:  
Zone Atlas Page: H-17-Z  
Captcha  
x

**From:** [Jim Strozier](#)  
**To:** [solar.ed@gmail.com](mailto:solar.ed@gmail.com); [grong27@gmail.com](mailto:grong27@gmail.com); [sandiaridgena@gmail.com](mailto:sandiaridgena@gmail.com); [elissa.dente@gmail.com](mailto:elissa.dente@gmail.com); [marybe9@gmail.com](mailto:marybe9@gmail.com); [Neal Spero](mailto:Neal.Spero); [wright.js@gmail.com](mailto:wright.js@gmail.com); [archhero@aol.com](mailto:archhero@aol.com); [rajacks@msn.com](mailto:rajacks@msn.com)  
**Subject:** Updated Acreage for IDO Neighborhood Notification  
**Date:** Wednesday, July 3, 2024 1:16:00 PM  
**Attachments:** [Neighborhood Notification Forms.pdf](#)

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Dear Neighbors,

This email supersedes the previous email sent last week and we apologize for that, but we want to make sure that you have the correct information relative to this project.

This updated email provides notification that Consensus Planning has submitted an application for a Site Plan – EPC/Major Amendment to the City of Albuquerque Environmental Planning Commission (EPC) for the existing Pavilions at San Mateo shopping center, located at 4600 Cutler Avenue NE. This shopping center is on the north side of Interstate 40 between Washington and S. In order to address a conflict between the old site plan and the Integrated Development Ordinance (IDO), City staff recommended eliminating the sign standards from the original site plan and allowing the signage to be controlled by the current IDO sign standards.

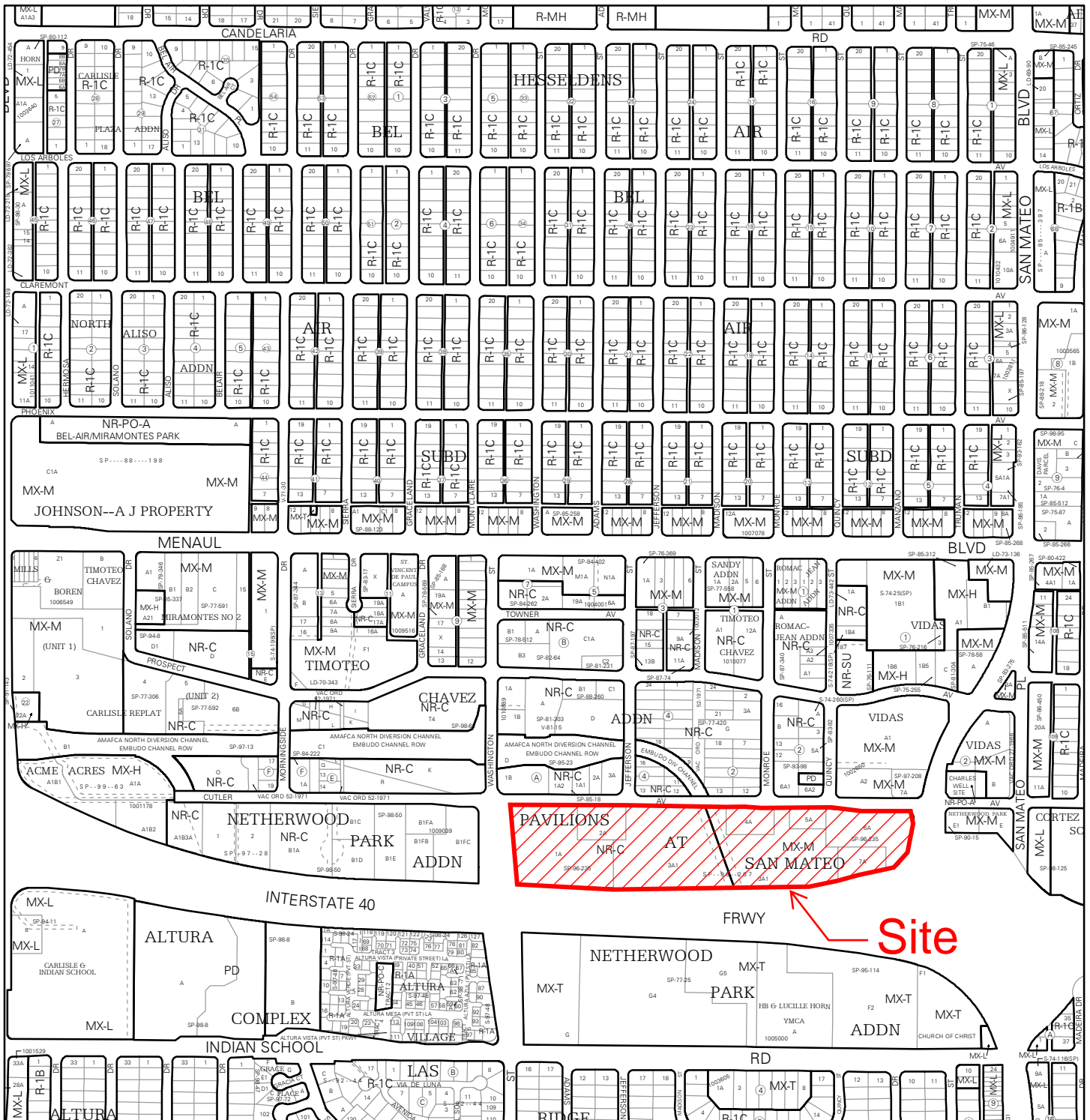
This property covers approximately 20 acres and is legally described as Tracts 1A, 2A, 3A-1, 4A, 5A, 6A, and 7A Plat of Pavilions at San Mateo, zoned NR-C/MX-M. The application will remove the sign requirements from the site plan so that all future signs will be regulated by the IDO as applied city-wide.

This item will be heard on July 18, 2024, starting at 8:40 a.m. The hearing will be via Zoom. You can access the Zoom link and agendas on the EPC website: [EPC Agendas, Reports, and Minutes](#). If you have any questions regarding this item, please do not hesitate to contact Jim Strozier at [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or Hsiang Wen Huang at [huang@consensusplanning.com](mailto:huang@consensusplanning.com) or by phone at (505) 764-9801.

**Jim Strozier, FAICP**

Consensus Planning, Inc.  
302 8<sup>th</sup> Street NW  
(505) 764-9801

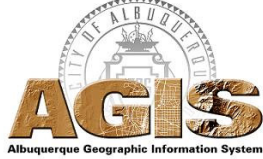




For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

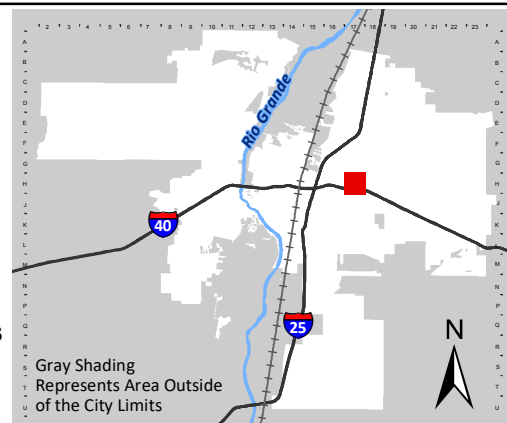
# IDO Zone Atlas

## May 2018



Albuquerque Geographic Information System

**IDO Zoning information as of May 17, 2018**  
**The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).**



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



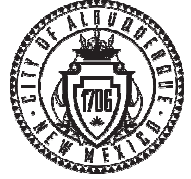
PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type:
Decision-making Body:
Pre-Application meeting required: [ ] Yes [x] No
Neighborhood meeting required: [x] Yes [ ] No
Mailed Notice required: [x] Yes [ ] No
Electronic Mail required: [x] Yes [ ] No
Is this a Site Plan Application: [x] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 4600 Cutler Avenue NE
Name of property owner: San Mateo Station LLC C/O Phillips Edison & Company LTD
Name of applicant: Advance Sign Group
Date, time, and place of public meeting or hearing, if applicable:
Via Zoom https://cabq.zoom.us/j/2269592859 July 18, 2024 Starting from 8:40am
Address, phone number, or website for additional information:
Jim Strozier, Consensus Planning - cp@consensusplanning.com (505) 764-9801
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
N/A Summary of pre-submittal neighborhood meeting, if applicable.
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten Signature] (Applicant signature) July 3, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

N/Aa. Location of proposed buildings and landscape areas. **Shopping Center is built, no changes proposed.**

N/Ab. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations. **Change to IDO sign regs**

N/Ad. For residential development: Maximum number of proposed dwelling units.

N/Ae. For non-residential development:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: July 3, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Altura Addition NA, Altura Park NA, Alvarado Park NA, Sandia Ridge NA

Name of NA Representative\*: Jon Wright, Denise Hammer, Robert Jackson, Neal Spero, Elissa Dente, Mary Erwin, , Ron Gray, Ed Dunn

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: wright.js@gmail.com, archhero@aol.com, rajackso@msn.com, elissa.dente@gmail.com, marybe9@gmail.com, sunnrun@yahoo.com, grong27@gmail.com, solar.ed@gmail.com, sandiaridgena@gmail.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 4600 Cutler Avenue NE  
Location Description North side of I-40 between Washington and San Mateo
2. Property Owner\* San Mateo Station LLC C/O Phillips Edison & Company LTD
3. Agent/Applicant\* *[if applicable]* Advance Sign Group
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan **Major Amendment**
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

This site plan amendment request is to eliminate the old sign standards in the site plan and allow the signage to be controlled by the IDO sign standards.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)
- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

Date/Time\*: July 18, 2024 8:40 A.M.

Location\*<sup>3</sup>: Via Zoom <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

[cp@consensusplanning.com](mailto:cp@consensusplanning.com) (505) 764-9801

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> H-17
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation\*:

None Requested (The application does not required deviation, variance, and waiver)

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

None Requested

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - ☐ a. Location of proposed buildings and landscape areas.\*
  - ☐ b. Access and circulation for vehicles and pedestrians.\*
  - ☐ c. Maximum height of any proposed structures, with building elevations.\*
  - N/A d. **For residential development\***: Maximum number of proposed dwelling units.
  - ☐ e. **For non-residential development\***:
    - N/A Total gross floor area of proposed project.
    - N/A Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 20 Acres
- 2. IDO Zone District NR-C/MX-M
- 3. Overlay Zone(s) [if applicable] Not applicable
- 4. Center or Corridor Area [if applicable] Not applicable
- Current Land Use(s) [vacant, if none] Commercial

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

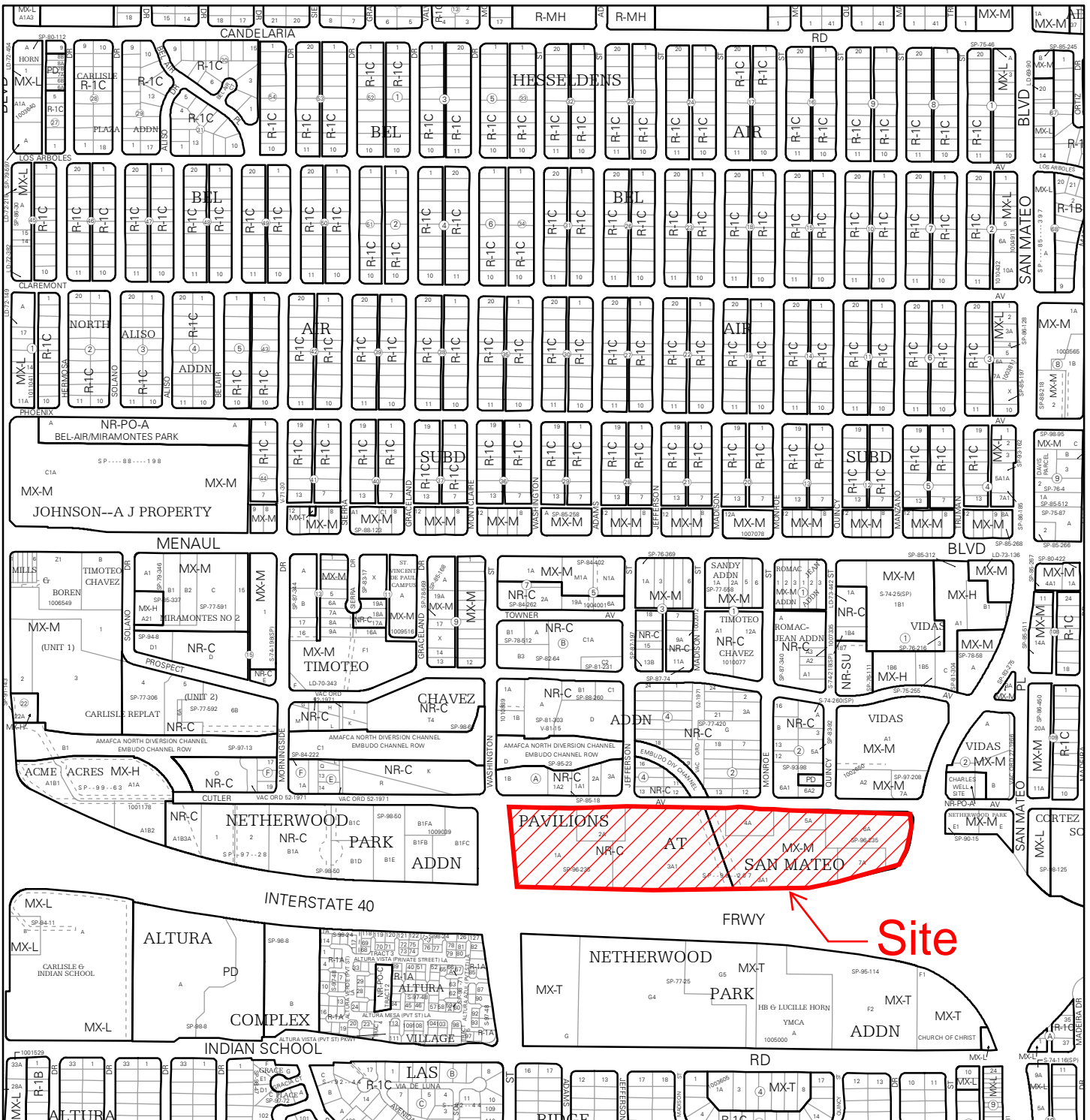
<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

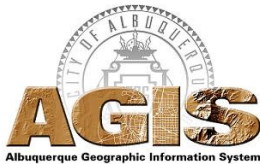
Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

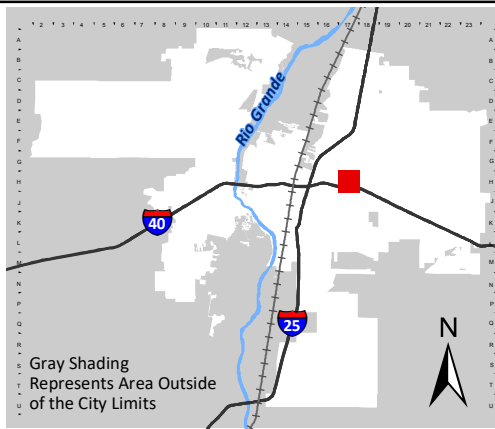


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

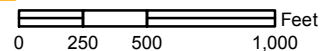


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**H-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone







**From:** [postmaster@outlook.com](mailto:postmaster@outlook.com)  
**To:** [rajackso@msn.com](mailto:rajackso@msn.com)  
**Subject:** Delivered: Updated Acreage for IDO Neighborhood Notification  
**Date:** Wednesday, July 3, 2024 1:17:24 PM  
**Attachments:** [Updated Acreage for IDO Neighborhood Notification .msg](#)

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Your message has been delivered to the following recipients:  
[rajackso@msn.com](mailto:rajackso@msn.com) <<mailto:rajackso@msn.com>>  
Subject: Updated Acreage for IDO Neighborhood Notification

**From:** [Microsoft Outlook](#)  
**To:** [Neal Spero](#)  
**Subject:** Relayed: Updated Acreage for IDO Neighborhood Notification  
**Date:** Wednesday, July 3, 2024 1:16:50 PM  
**Attachments:** [Updated Acreage for IDO Neighborhood Notification .msg](#)

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Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:  
Neal Spero (sunrun@yahoo.com) <mailto:sunrun@yahoo.com>  
Subject: Updated Acreage for IDO Neighborhood Notification

**From:** [Microsoft Outlook](#)  
**To:** [archhero@aol.com](mailto:archhero@aol.com)  
**Subject:** Relayed: Updated Acreage for IDO Neighborhood Notification  
**Date:** Wednesday, July 3, 2024 1:16:48 PM  
**Attachments:** [Updated Acreage for IDO Neighborhood Notification .msg](#)

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Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:  
archhero@aol.com (archhero@aol.com) <mailto:archhero@aol.com>  
Subject: Updated Acreage for IDO Neighborhood Notification

**From:** [Microsoft Outlook](#)  
**To:** [solar.ed@gmail.com](mailto:solar.ed@gmail.com); [grong27@gmail.com](mailto:grong27@gmail.com); [sandiaridgena@gmail.com](mailto:sandiaridgena@gmail.com); [elissa.dente@gmail.com](mailto:elissa.dente@gmail.com); [marybe9@gmail.com](mailto:marybe9@gmail.com); [wright.js@gmail.com](mailto:wright.js@gmail.com)  
**Subject:** Relayed: Updated Acreage for IDO Neighborhood Notification  
**Date:** Wednesday, July 3, 2024 1:16:48 PM  
**Attachments:** [Updated Acreage for IDO Neighborhood Notification .msg](#)

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Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

[solar.ed@gmail.com](mailto:solar.ed@gmail.com) ([solar.ed@gmail.com](mailto:solar.ed@gmail.com)) <<mailto:solar.ed@gmail.com>>  
[grong27@gmail.com](mailto:grong27@gmail.com) ([grong27@gmail.com](mailto:grong27@gmail.com)) <<mailto:grong27@gmail.com>>  
[sandiaridgena@gmail.com](mailto:sandiaridgena@gmail.com) ([sandiaridgena@gmail.com](mailto:sandiaridgena@gmail.com)) <<mailto:sandiaridgena@gmail.com>>  
[elissa.dente@gmail.com](mailto:elissa.dente@gmail.com) ([elissa.dente@gmail.com](mailto:elissa.dente@gmail.com)) <<mailto:elissa.dente@gmail.com>>  
[marybe9@gmail.com](mailto:marybe9@gmail.com) ([marybe9@gmail.com](mailto:marybe9@gmail.com)) <<mailto:marybe9@gmail.com>>  
[wright.js@gmail.com](mailto:wright.js@gmail.com) ([wright.js@gmail.com](mailto:wright.js@gmail.com)) <<mailto:wright.js@gmail.com>>  
Subject: Updated Acreage for IDO Neighborhood Notification



July 3, 2024

Re: IDO Notice – Property owners within 100 feet of subject property

Landscape Architecture  
Urban Design  
Planning Services

Dear property owner,

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

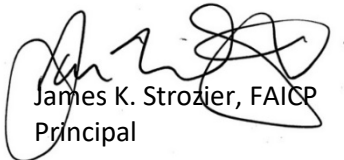
On behalf of Consensus Planning, Inc. is providing you with this updated notice that we are re-submitting a Site Plan Amendment application for EPC approval for the property located at 4600 Cutler Avenue NE. The city staff recommended eliminating the sign standards from the original site plan and allowing the signage to be controlled by the current Integrated Development Ordinance (IDO) sign standards. This will result in future signs being reviewed based on the IDO.

The item will be heard on July 18, 2024, starting at 8:40 a.m. The hearing will be via Zoom. You can access the Zoom link and agendas on the EPC website:

<https://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>. The required notice forms and information regarding the public hearing are included in this mailed notice.

Per the IDO section, 6-4(K)(3)(a) mailed public notice to all property owners within 100 feet of the subject site is required. Please reach out to cp@consensusplanning.com or call 505.764.9801 with any questions regarding this mail.

Sincerely,



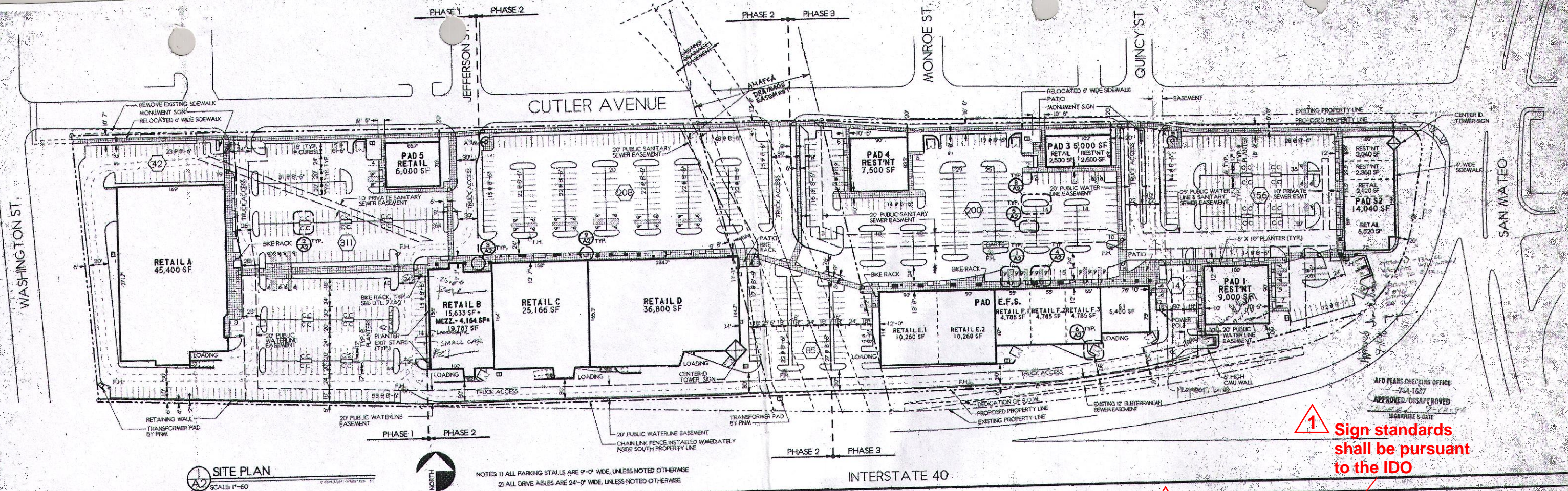
James K. Strozier, FAICP  
Principal

#### PRINCIPALS

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

#### ASSOCIATES

Ken Romig, PLA, ASLA



1 SITE PLAN  
SCALE 1"=60'

NOTES 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE  
 2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

1 Sign standards shall be pursuant to the IDO

**SUMMARY**

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	19,0032 ACRES
TOTAL BUILDING AREA	208,958 SF
TOTAL BUILDING FOOTPRINT	204,814 SF
LAND/BUILDING (BASED ON FOOTPRINT)	24.74%
PARKING / PAVING AREA	457,971 SF
LANDSCAPE	109,372 SF = 17.56%
PARKING REQUIRED	
RESTAURANTS PAD 1	69,000 SF = 220 SEATS + 5 = 74 SPACES
W/ LIQUOR PAD 4	67,500 SF = 180 SEATS + 3 = 60 SPACES
RESTAURANTS S2	63,040 SF = 50 SEATS + 4 = 13 SPACES
W/ LIQUOR S2	62,360 SF = 25 SEATS + 4 = 7 SPACES
PADS	62,500 SF = 44 SEATS + 4 = 11 SPACES
TOTAL	24,400 SF, 165 SPACES, +917 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)	1082 SPACES, -108 SPACES, 974 SPACES
TOTAL PARKING PROVIDED	1016 SPACES
TOTAL SMALL CAR SPACES PROVIDED	44 SPACES/4.93X
HANDICAP SPACES	

**GENERAL NOTES**

**SIGNAGE:**  
 ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY MOUNTED WITH LETTERS 9'-0" HIGH MAXIMUM. SIGNS AND 3'-0" HIGH BUSHES AND PILLARS SHALL BE PERMITTED. SEE PARCEL # 2 DESIGN GUIDELINES BELOW FOR OTHER NOTES.

**SITE LIGHTING:**  
 THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BARRIERS TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

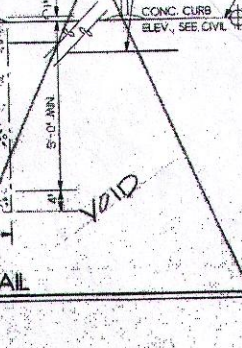
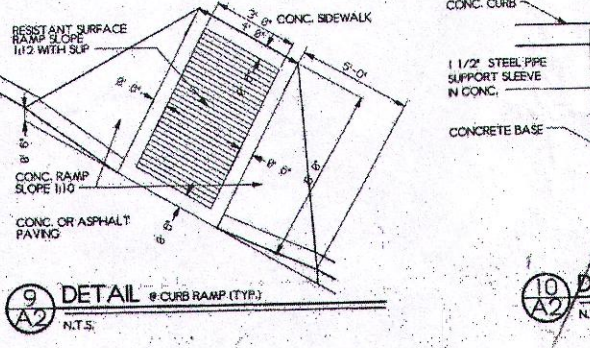
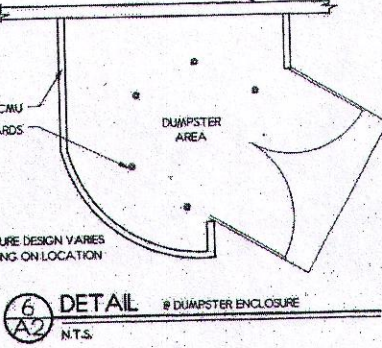
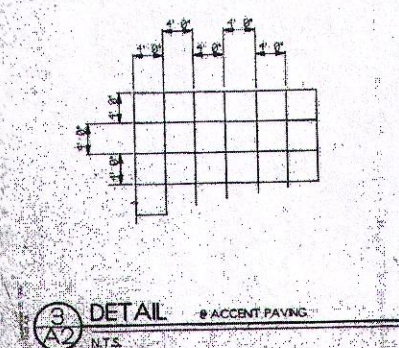
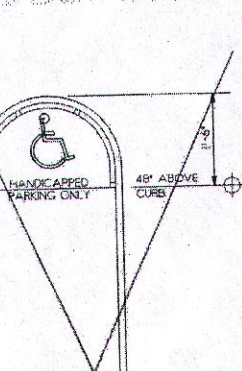
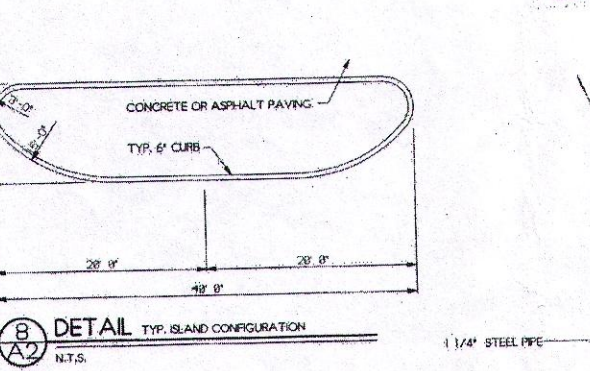
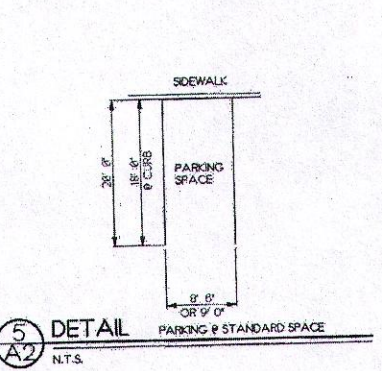
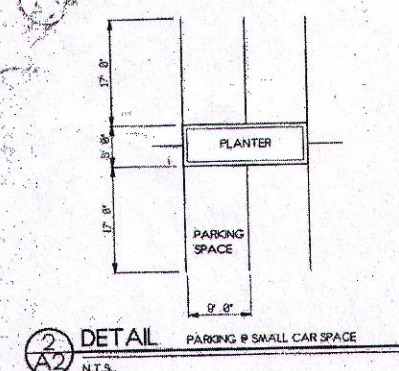
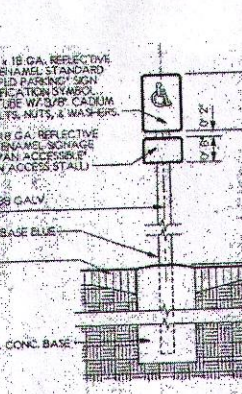
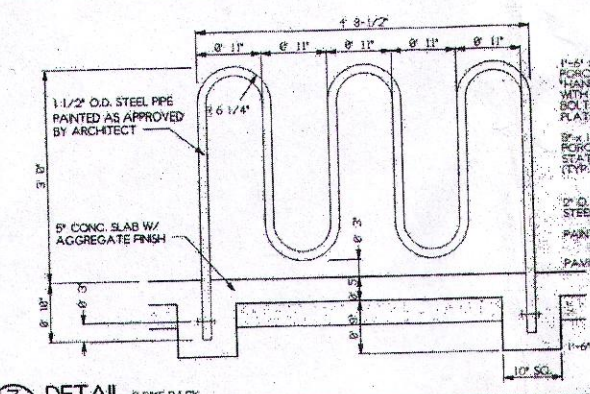
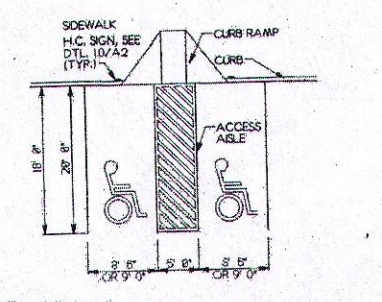
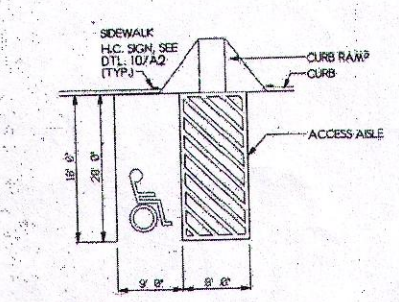
**ACCESS/EASEMENTS:**  
 CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLANT (IN EVENT OF PAD PARCEL SALES). FOR PEDESTRIAN CIRCULATION, THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE IN-LINE RETAIL STORES, NORTH/SOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING.

**DRIVE CROSSINGS:**  
 DESIGN GUIDELINES FOR ALL BLDGS: ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS, & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE SPURFACE (ELECTC.). DESIGN GUIDELINES FOR PAD BLDGS: PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDGS. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS. PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH. TO BE READ FROM CUTLER OR SAN MATEO MONUMENT SIGNAGE NOT TO EXCEED 30'. PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USER'S REQUIREMENTS.

**PHASING:**  
 IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:  
 PHASE 1:  
 RETAIL 'A' BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.  
 PHASE 2:  
 RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.  
 PHASE 3:  
 ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

**DRAINAGE PLAN:**  
 THE DRAINAGE AND GRADING CONCEPTS FOR THIS AMENDED DEVELOPMENT PLAN SUBMITTAL SHALL BE CONSISTENT WITH THE CONCEPT APPROVED UNDER THE ORIGINAL DEVELOPMENT PLAN SUBMITTAL. PRIOR TO PERMITTING CERTIFICATE OF OCCUPANCY APPROVAL, DRAINAGE PLANS IN CITY FILE WILL BE UPDATED WITH THIS AMENDED SITE PLAN INFORMATION. SINCE WORK IS IN HAND & ONGOING IN THIS AREA, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL CHANGES AFFECTING GRADING AND DRAINAGE.

**The Pavilions at San Mateo**  
 SITE PLAN / SITE DETAILS



BLDG. PAD	SPACES REQ'D
RETAL A	8
RETAL B	4
RETAL C	8
RETAL D	8
RETAL E	8
RETAL F	4
RETAL SI	2
RETAL S2	4
P1	4
P2	2
P4	4
P5	2

TOTAL H.C. SPACES REQ'D: 58 SPACES  
 TOTAL H.C. VAN SPACES REQ'D: 7 SPACES  
 TOTAL H.C. SPACES PROVIDED: 58 SPACES  
 TOTAL H.C. VAN SPACES PROVIDED: 12 SPACES

**KITCHELL DEVELOPMENT**

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL FEATURES, MATTERS & OTHER INFORMATION DEPOSITED HEREON OR CONTAINED THEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY. ARE SUBJECT TO MODIFICATION WITHOUT NOTICE. ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND AS TO THE SIZE & NATURE OF IMPROVEMENTS TO BE CONSTRUCTED. THIS PRELIMINARY PLAN WAS BASED ON DATA FURNISHED TO GREENBERG FARROW ARCHITECTURE AND IS SUBJECT TO VERIFICATION BY CERTIFIED LEGALS, SURVEY, ETC. & GOVERNING AGENCIES. ALL DIMENSIONS & SITE CONDITIONS SHOULD BE RE-DERIVED.

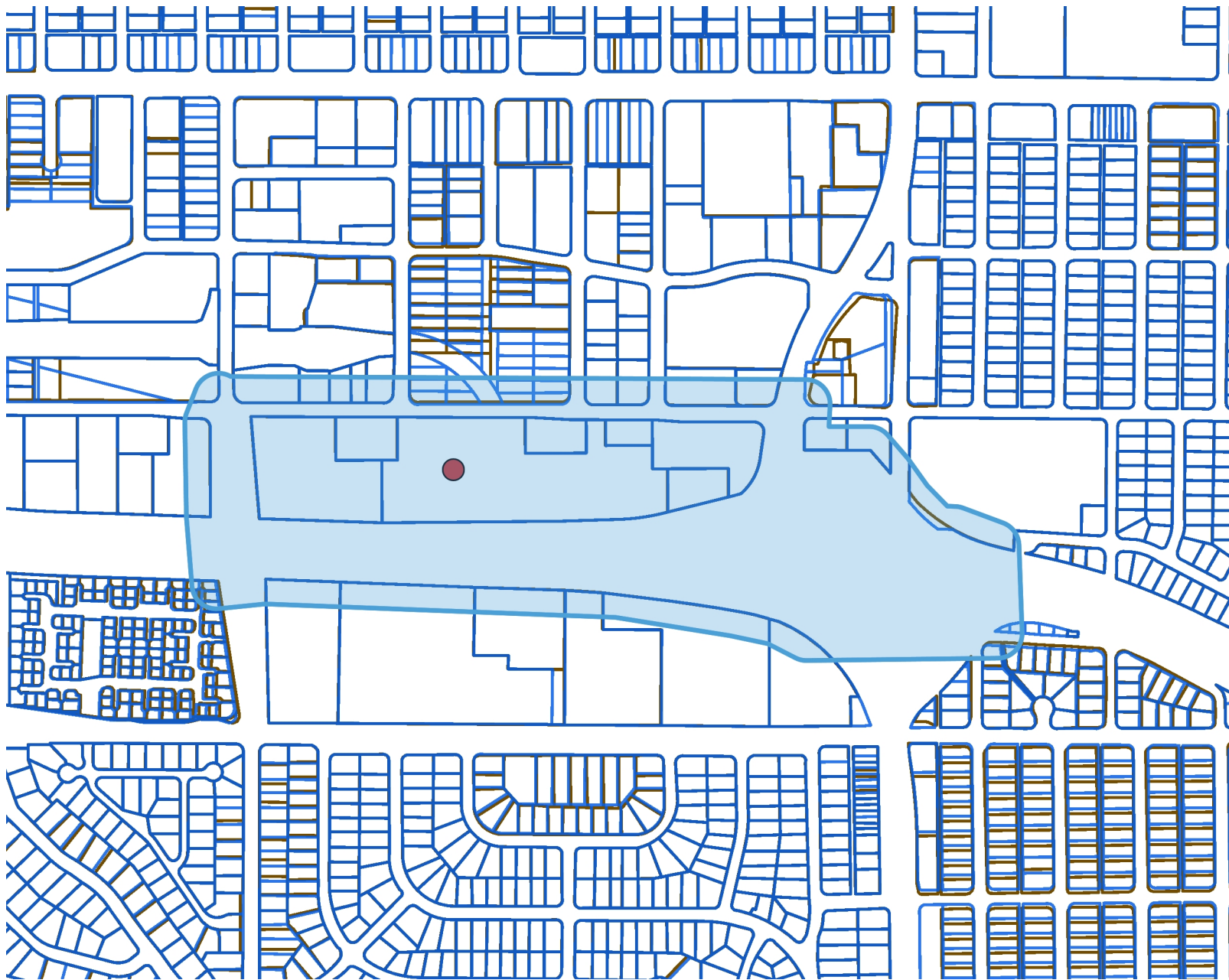
**GREENBERG FARROW ARCHITECTURE**  
 ARCHITECTURE • ENGINEERING • PLANNING  
 16181 RED HILL AVENUE, SUITE 500  
 TUSTIN, CALIFORNIA 92680  
 TEL: (714) 258-8888 FAX: (714) 258-5888

**DCSW**  
 architects

DESIGN COLLABORATIVE  
 SOUTH-WEST INC.  
 108 4TH ST. SW  
 ALBUQUERQUE, NM  
 87102  
 505-948-2682  
 G.F.A. JOB NO: 960391  
 DATE: 08-30-96  
 SHEET: A2 of 8



# Xfinity Property Owners Buffer Map

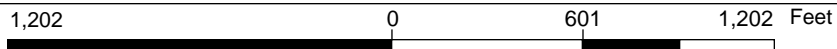


## Legend

- City Parcels
  - Dwelling, Cluster Development
  - Dwelling, Multi-family (4-3(B))
  - Bar, Nightclub, Restaurant, and (4-3(D))
  - Car Wash (4-3(D))
  - Light Vehicle Fueling Station (4-3(D))
  - Light Vehicle Repair (4-3(D))
  - Light Vehicle Sales and Rental
  - Paid Parking Lot (4-3(D))
  - General Retail (4-3(D))
  - Liquor Retail (4-3(D))
  - WTF (4-3(E))
  - Drive-through or Drive-up (4-3(D))
  - Dwelling Unit, Accessory (4-3(D))
  - Hot Air Balloon Takeoff/Landing
  - Industrial Uses (various) (4-3(E))
  - Commercial Uses (various) (4-3(E))
  - Bernalillo County Parcels
- Municipal Limits**
- Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED

## Notes

Notes:  
 Prepared by Consensus Planning  
 July 1, 2024



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 6/4/2024 © City of Albuquerque

1: 7,213

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

KIMO PARK LLC  
PO BOX 7459  
ALBUQUERQUE NM 87194-7459

SHAIKH ISLAM KHATOON  
1112 SAN PEDRO DR NE  
ALBUQUERQUE NM 87110-6724

BELL PAUL E & OTERO-BELL DIANE  
1124 CALLE CATALINA  
SANTA FE NM 87501-1016

NETHERWOOD PARK CH OF CHRIST  
5101 INDIAN SCHOOL RD NE  
ALBUQUERQUE NM 87110-3931

MAES JOHN D  
4381 ALTURA VISTA LN NE  
ALBUQUERQUE NM 87110

KIMO PARK LLC  
PO BOX 7459  
ALBUQUERQUE NM 87194-7459

NM DEPT OF TRANSPORTATION  
PO BOX 1149  
SANTA FE NM 87504-1149

WILLIAMS KYMBRA D & JOHNSTONE  
STEPHEN E  
4361 ALTURA VISTA LN NE  
ALBUQUERQUE NM 87110-5063

ROBBINS MARK & JEANNE  
4377 ALTURA VISTA LN NE  
ALBUQUERQUE NM 87110

ABEITA LAWRENCE C  
2209 MADEIRA DR NE  
ALBUQUERQUE NM 87110-5143

GUERECA ELIAS MEDINA  
4365 ALTURA VISTA LN NE  
ALBUQUERQUE NM 87110-5063

ALTURA VILLAGE HOMEOWNERS ASSOC  
INC  
PO BOX 67590  
ALBUQUERQUE NM 87193-7590

BOARD OF EDUCATION  
PO BOX 25704  
ALBUQUERQUE NM 87125-0704

MIDTOWN SELF STORAGE LLC  
4339 CUTLER AVE NE  
ALBUQUERQUE NM 87110-3945

LIBERTY CAP PROPERTIES LLC  
10624 NOTTINGHAM RD  
EDMONDS WA 98020-6159

MARTINEZ RICHARD E  
5306 ALVARADO PL NE  
ALBUQUERQUE NM 87110

ALTURA VILLAGE HOMEOWNERS ASSOC  
INC  
PO BOX 67590  
ALBUQUERQUE NM 87193-7590

GOATCHER FAMILY LTD CO  
2511 MONROE ST NE  
ALBUQUERQUE NM 87110



SANCHEZ CHARLES A  
1316 AVENIDA MANANA NE  
ALBUQUERQUE NM 87110-5710

SAN MATEO STATION LLC C/O PHILLIPS  
EDISON & COMPANY LTD  
11501 NORTHLAKE DR  
CINCINNATI OH 45249-1669

TELEMUNDO 2400 MONROE STREET LLC  
1235 NORTH LOOP W SUITE 125  
HOUSTON TX 77008-1755

WEIG ROBERT W ETUX  
4701 CUTLER AVE NE  
ALBUQUERQUE NM 87110-4016

REFINEMENT HOUSE LLC  
6909 WELTON DR NE  
ALBUQUERQUE NM 87109-4083

GAYLOR DOUGLAS  
2401 JEFFERSON ST NE  
ALBUQUERQUE NM 87110-3901

BROADSTONE PMI PORTFOLIO LLC C/O  
PMI - CHRIS NEBEL  
40 N SWAN RD SUITE 100  
TUCSON AZ 85711-3019

CARROLL VENTURES INC  
PO BOX 2905  
DURANGO CO 81302-2905

REVEX 2016-1 LLC  
5051 JOURNAL CENTER BLVD NE SUITE  
200  
ALBUQUERQUE NM 87109-5903

STATE OF NEW MEXICO GSD FACILITIES  
MGMT DIVISION  
PO BOX 6850  
SANTA FE NM 87502

LEGACY INNOVATIONS LLC  
2400 WASHINGTON NE  
ALBUQUERQUE NM 87110

YMCA  
PO BOX 3308  
ALBUQUERQUE NM 87190-3308

2400 MONROE LLC  
2400 MONROE ST NE  
ALBUQUERQUE NM 87110-4063

ANLIAN EDWARD & DAL SANTO PAUL  
1200 WASHINGTON NE  
ALBUQUERQUE NM 87110

WESTERN REFINING RETAIL LLC ATTN:  
PROPERTY TAX DEPT  
PO BOX 592809; TX1-047  
SAN ANTONIO TX 78259-0190

GAYLOR DOUGLAS W & DORINE A  
TRUSTEE GAYLOR FAMILY RVT  
8843 DESERT FOX WAY NE  
ALBUQUERQUE NM 87122-3648

CONEJO DANIEL  
4405 CUTLER AVE NE  
ALBUQUERQUE NM 87110-3940

BNAI ISRAEL CONGREGATION  
4401 INDIAN SCHOOL RD NE  
ALBUQUERQUE NM 87110-3914



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Land Ventures Inc  
Po Box 396  
Durango Co 81302-0396

YNCA  
PO Box 3348  
Billings MT 59104-3348

Cony Hotel  
New Center Ave NE  
Billings MT 59104-3904

River 2017 LLC  
5011 Journal Center Blvd NE Suite 300  
Billings MT 59104-5903

Boston Equity Real LLC  
Property Tax Dept  
PO Box 83097-792-047  
San Antonio TX 78283-0470

Brook Island Congregation  
441 Indian School RD NE  
Billings MT 59104-3404

200 Avenue LLC  
2400 Avenue 1E NE  
Billings MT 59104-4403

Conley Douglas W & Diane A  
Thomas Conley Realty 207  
8743 Deane Fox Way NE  
Billings MT 59122-3647

State of New Mexico QTD Fullfill  
NGAT Division  
PO Box 428  
Santa Fe NM 87502

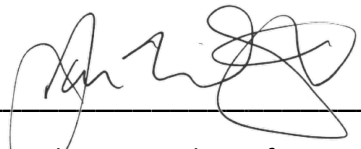


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type:		
Decision-making Body:		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: 4600 Cutler Avenue NE		
Name of property owner: San Mateo Station LLC C/O Phillips Edison & Company LTD		
Name of applicant: Advance Sign Group		
Date, time, and place of public meeting or hearing, if applicable:		
Via Zoom <a href="https://cabq.zoom.us/j/2269592859">https://cabq.zoom.us/j/2269592859</a> July 18, 2024 Starting from 8:40am		
Address, phone number, or website for additional information:		
Jim Strozier, Consensus Planning - cp@consensusplanning.com (505) 764-9801		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
N/A Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 \_\_\_\_\_ (Applicant signature)      July 3, 2024 \_\_\_\_\_ (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

Aa. Location of proposed buildings and landscape areas.

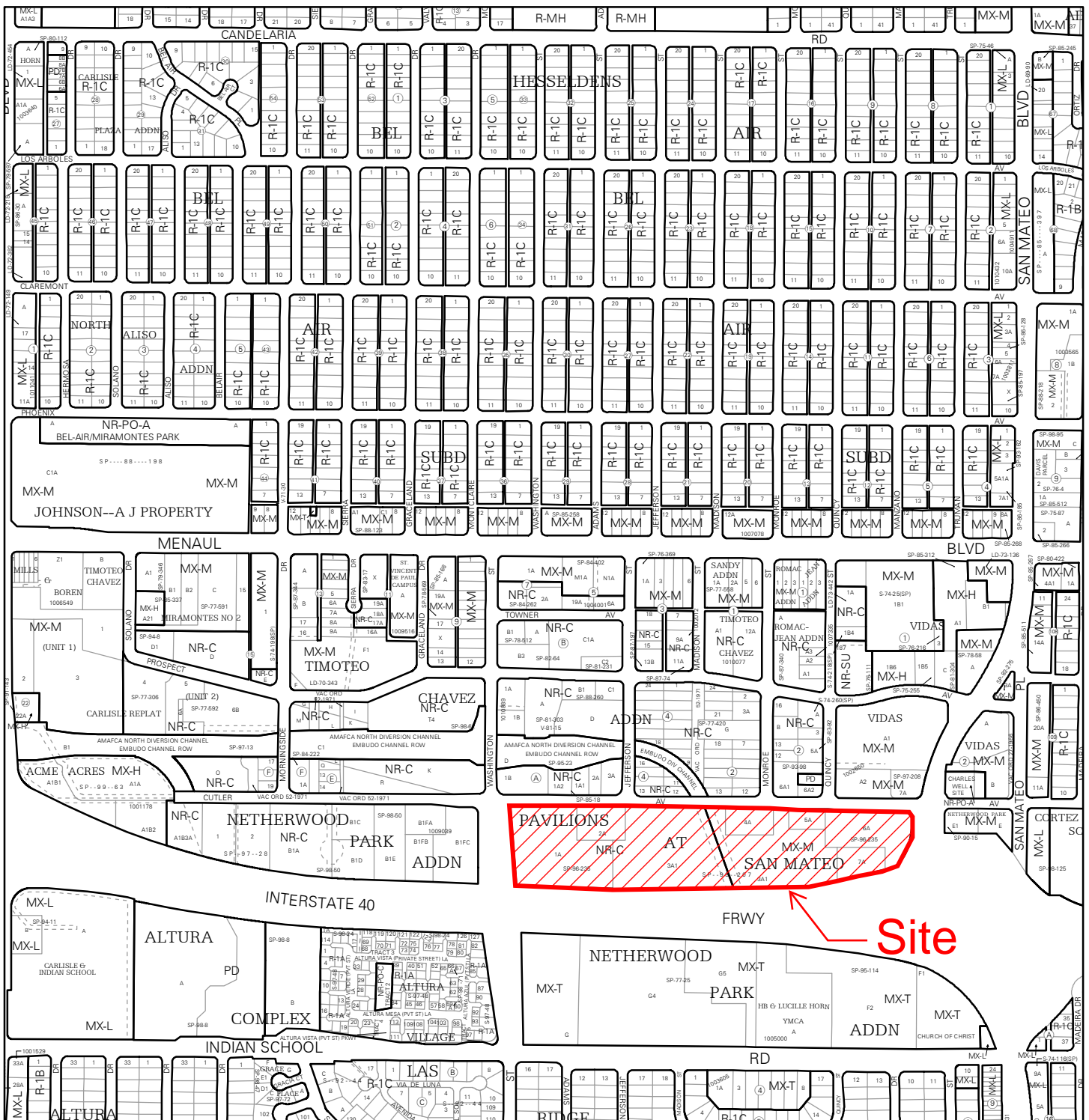
Ab. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations. **Change to IDO sign regs**

Ad. For residential development: Maximum number of proposed dwelling units.

Ae. For non-residential development:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**H-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: July 3, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: See attached

Mailing Address\*: See attached

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Cutler Avenue NE  
Location Description North side of I-40 between Washington and San Mateo
2. Property Owner\* San Mateo Station LLC C/O Phillips Edison & Company LTD
3. Agent/Applicant\* [if applicable] Consensus Planning
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan - Major Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

This site plan amendment request to eliminate the old sign standards in the  
site plan and allowing the signage to be controlled by the IDO sign standards.

5. This application will be decided at a public meeting or hearing by\*:
- |  |   |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB)                     |
| <input type="checkbox"/> Landmarks Commission (LC)     | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: July 18, 2024 starting at 8:40am

Location\*<sup>2</sup>: Via Zoom <https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
[cp@consensusplanning.com](mailto:cp@consensusplanning.com) (505) 764-9801

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> H-17
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

None Requested

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

None Requested

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum: **See Attached**

N/A a. Location of proposed buildings and landscape areas.\*

N/A b. Access and circulation for vehicles and pedestrians.\*

N/A c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

N/A d. For residential development\*: Maximum number of proposed dwelling units.

N/A e. For non-residential development\*:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 20 Acres
  2. IDO Zone District NR-C/MX-M
  3. Overlay Zone(s) [if applicable] Not applicable
  4. Center or Corridor Area [if applicable] Not applicable
- Current Land Use(s) [vacant, if none] Commercial
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

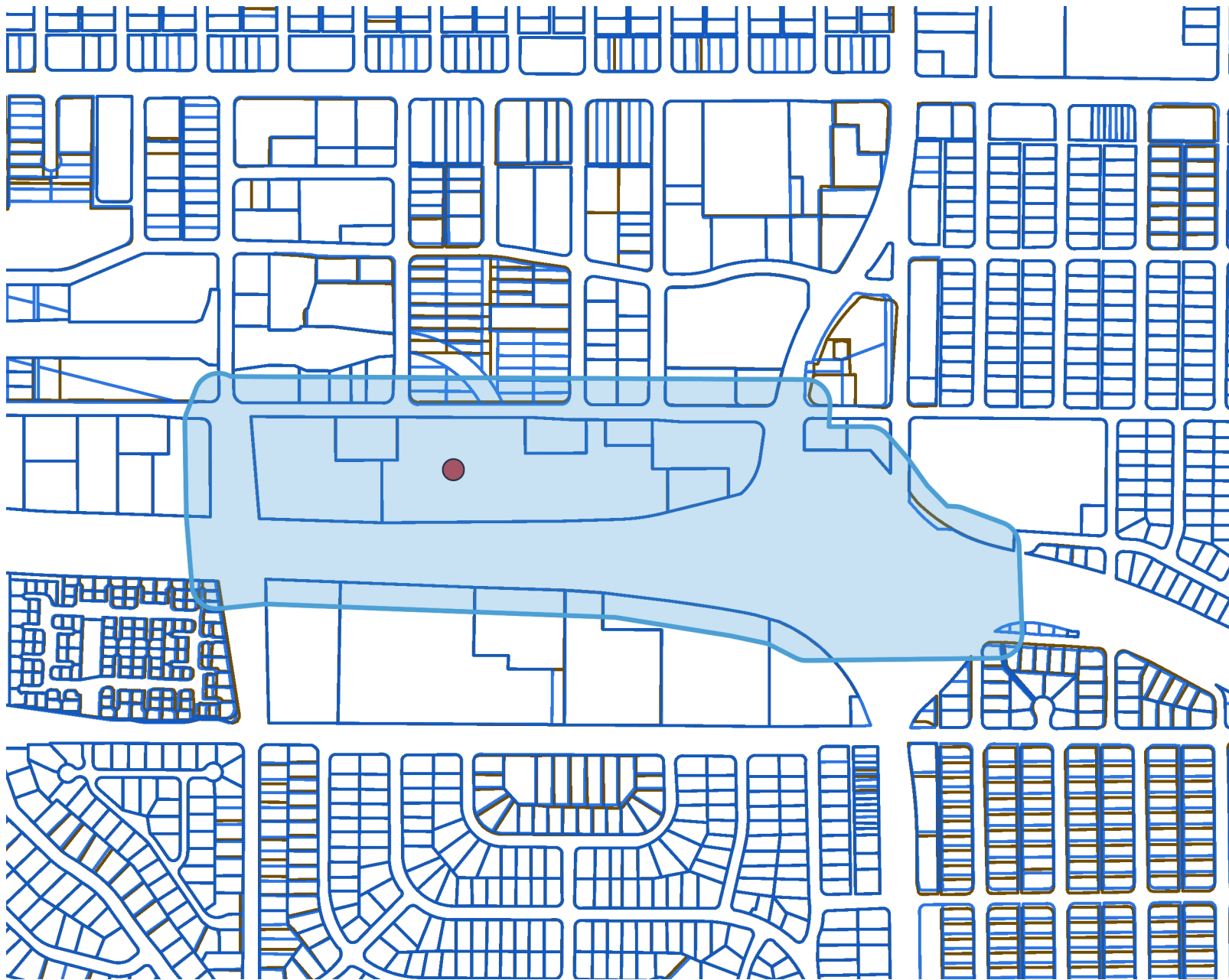
<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



# Xfinity Property Owners Buffer Map

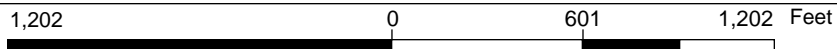


## Legend

- City Parcels
  - Dwelling, Cluster Development
  - Dwelling, Multi-family (4-3(B))
  - Bar, Nightclub, Restaurant, and (4-3(D))
  - Car Wash (4-3(D))
  - Light Vehicle Fueling Station (4-3(D))
  - Light Vehicle Repair (4-3(D))
  - Light Vehicle Sales and Rental
  - Paid Parking Lot (4-3(D))
  - General Retail (4-3(D))
  - Liquor Retail (4-3(D))
  - WTF (4-3(E))
  - Drive-through or Drive-up (4-3(D))
  - Dwelling Unit, Accessory (4-3(D))
  - Hot Air Balloon Takeoff/Landing
  - Industrial Uses (various) (4-3(E))
  - Commercial Uses (various) (4-3(E))
  - Bernalillo County Parcels
- Municipal Limits**
- Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED

## Notes

Notes:  
 Prepared by Consensus Planning  
 July 1, 2024

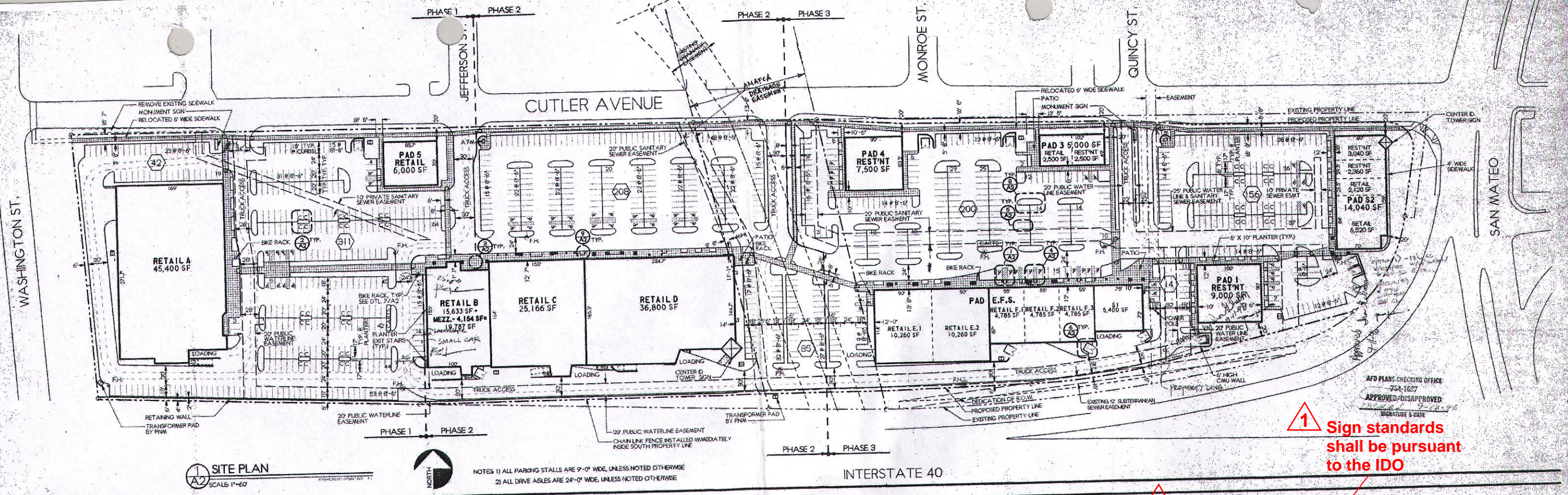


WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 6/4/2024 © City of Albuquerque

1: 7,213

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



1 SITE PLAN  
SCALE 1"=60'

NOTES 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE  
2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

1 Sign standards shall be pursuant to the IDO

SUMMARY

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	19,0032 ACRES
TOTAL BUILDING AREA	208,958 SF.
TOTAL BUILDING FOOTPRINT	204,814 SF.
LAND/BUILDING (BASED ON FOOTPRINT)	24.74%
PARKING / PAVING AREA	457,971 SF.
LANDSCAPE	109,372 SF. = 17.56%
PARKING REQUIRED	
RETAIL @ 200SF./SPACE	180,414 SF. / 903 SPACES
RETAIL (MEZZANINE) @ 300 SF./SPACE	4,154 SF. / 14 SPACES
RESTAURANTS PAD 1 @ 69,000 SF. = 220 SEATS + 5 = 74 SPACES W/ LIQUOR	
PAD 4 @ 67,500 SF. = 180 SEATS + 3 = 60 SPACES	
RESTAURANTS S2 @ 63,040 SF. = 50 SEATS + 4 = 13 SPACES W/ LIQUOR	
S2 @ 62,360 SF. = 25 SEATS + 4 = 7 SPACES	
PADS @ 62,500 SF. = 44 SEATS + 4 = 11 SPACES	
TOTAL	24,400 SF. 165 SPACES + 917 SPACES = 1082 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)	108 SPACES
TOTAL PARKING PROVIDED	1016 SPACES
TOTAL SMALL CAR SPACES PROVIDED	44 SPACES / 4.93%
HANDICAP SPACES	

1 GENERAL NOTES

**SIGNAGE:**  
ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY MOUNTED WITH LETTERS 9'-0" HIGH MAXIMUM. SIGNS AND 3'-0" HIGH BUSHES AND TRAIL BUILDINGS SEE PARKING DESIGN GUIDELINES BELOW FOR OTHER NOTES.

**SITE LIGHTING:**  
THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BARRIERS TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

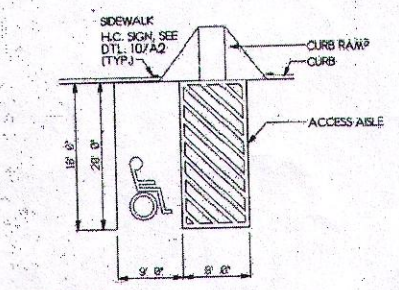
**ACCESS/EASEMENTS:**  
CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLANT (IN EVENT OF PAD PARCEL SALES).  
FOR PEDESTRIAN CIRCULATION, THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE IN-LINE RETAIL STORES, NORTH/SOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING.  
DRIVE CROSSINGS:  
DESIGN GUIDELINES FOR ALL BLDGS:  
ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS, & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE SPURFACE (A/E/C).  
DESIGN GUIDELINES FOR PAD BLDGS:  
PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDGS. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS.  
PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH, TO BE READ FROM CUTLER OR SAN MATEO MONUMENT SIGNAGE NOT TO EXCEED 30'.  
PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USER'S REQUIREMENTS.

**PHASING:**  
IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:  
PHASE 1:  
RETAIL 'A' BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.  
PHASE 2:  
RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.  
PHASE 3:  
ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

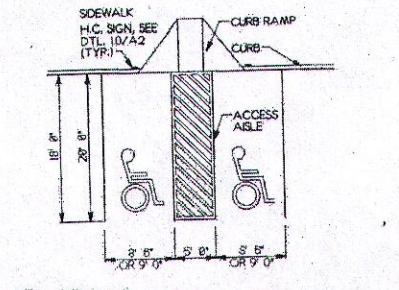
**DRAINAGE PLAN:**  
The drainage and grading concept for this amended site development plan substantially conform to the concept approved under the original site development plan submitted. Prior to permanent Certificate of Occupancy approval, drainage plans in City files will be updated with this amended site plan information. Since work in the field is ongoing in this area, the site contractor shall be notified immediately of all changes affecting grading and drainage.

The Pavilions at San Mateo

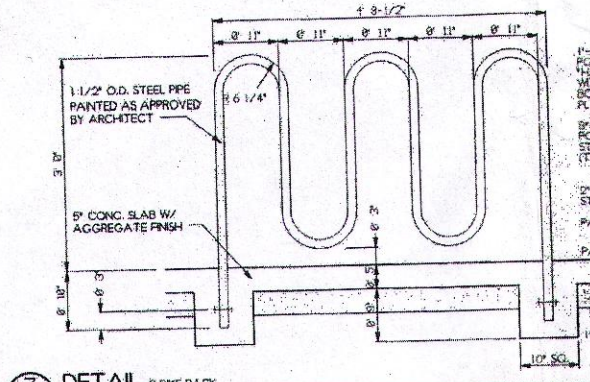
SITE PLAN / SITE DETAILS



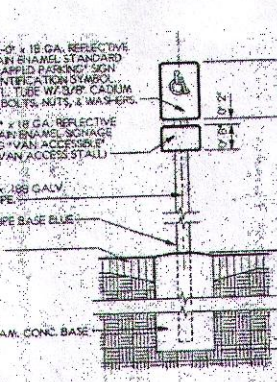
1 DETAIL PARKING @ HANDICAP VAN SPACE  
N.T.S.



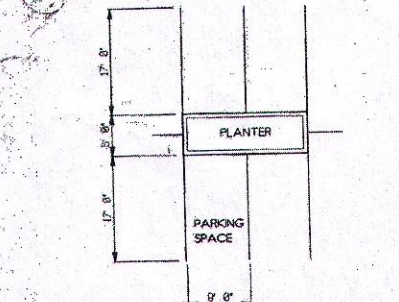
4 DETAIL PARKING @ HANDICAP SPACE  
N.T.S.



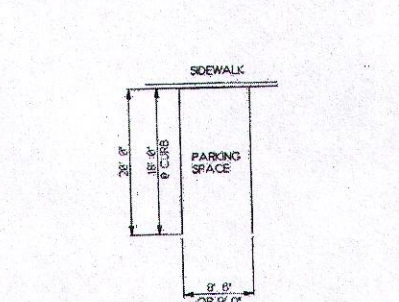
7 DETAIL BIKE RACK  
N.T.S.



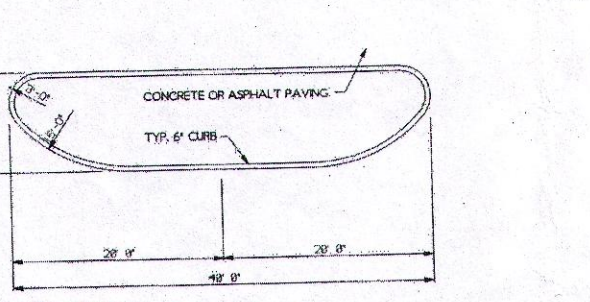
10 DETAIL HANDICAP SIGN  
1/2" = 1'-0"



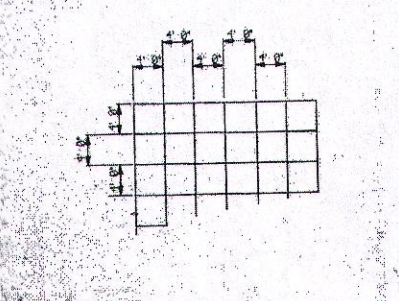
2 DETAIL PARKING @ SMALL CAR SPACE  
N.T.S.



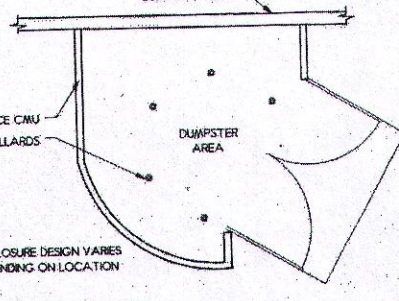
5 DETAIL PARKING @ STANDARD SPACE  
N.T.S.



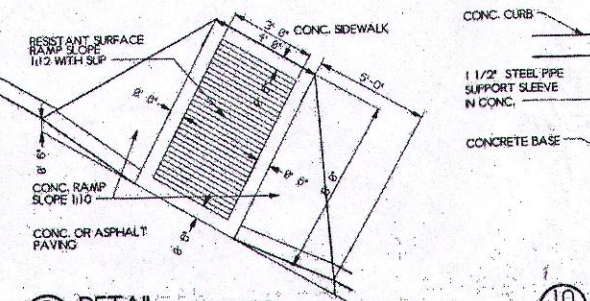
8 DETAIL TYP. ISLAND CONFIGURATION  
N.T.S.



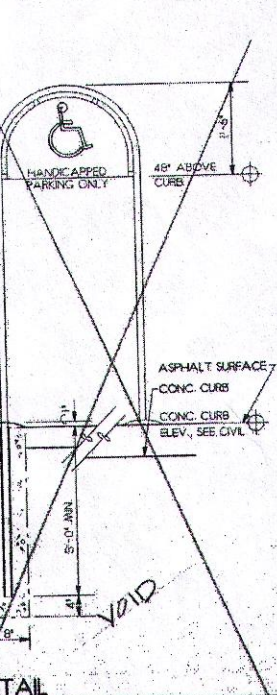
3 DETAIL ACCENT PAVING  
N.T.S.



6 DETAIL DUMPSTER ENCLOSURE  
N.T.S.



9 DETAIL CURB RAMP (TYP.)  
N.T.S.



10 DETAIL HANDICAP SIGN  
N.T.S.

BLDG. PAD	SPACES REQ'D
RETAIL A	8
RETAIL B	4
RETAIL C	8
RETAIL D	8
RETAIL E	8
RETAIL F	4
RETAIL S1	2
RETAIL S2	4
P1	4
P2	2
P4	4
P5	2

TOTAL H.C. SPACES REQ'D: 58 SPACES  
TOTAL H.C. VAN SPACES REQ'D: 7 SPACES  
TOTAL H.C. SPACES PROVIDED: 58 SPACES  
TOTAL H.C. VAN SPACES PROVIDED: 12 SPACES

KITCHELL DEVELOPMENT

DISCLAIMER THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL FEATURES, MATTERS & OTHER INFORMATION DEPOSITED HEREON OR CONTAINED THEREIN ARE FOR ILLUSTRATIVE MARKETING PURPOSES ONLY. ARE SUBJECT TO MODIFICATION WITHOUT NOTICE. ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND AS TO THE SIZE & NATURE OF IMPROVEMENTS TO BE CONSTRUCTED. THIS PRELIMINARY PLAN WAS BASED ON DATA FURNISHED TO GREENBERG FARROW ARCHITECTURE AND IS SUBJECT TO VERIFICATION BY CERTIFIED LEGALS SURVEY, ETC. & GOVERNING AGENCIES. ALL DIMENSIONS & SITE CONDITIONS SHOULD BE RE-DERIVED.

GREENBERG FARROW ARCHITECTURE ARCHITECTURE + ENGINEERING + PLANNING  
16181 RED HILL AVENUE, SUITE 500  
TUSTIN, CALIFORNIA 92680  
TEL: (714) 258-8888 FAX: (714) 258-5588

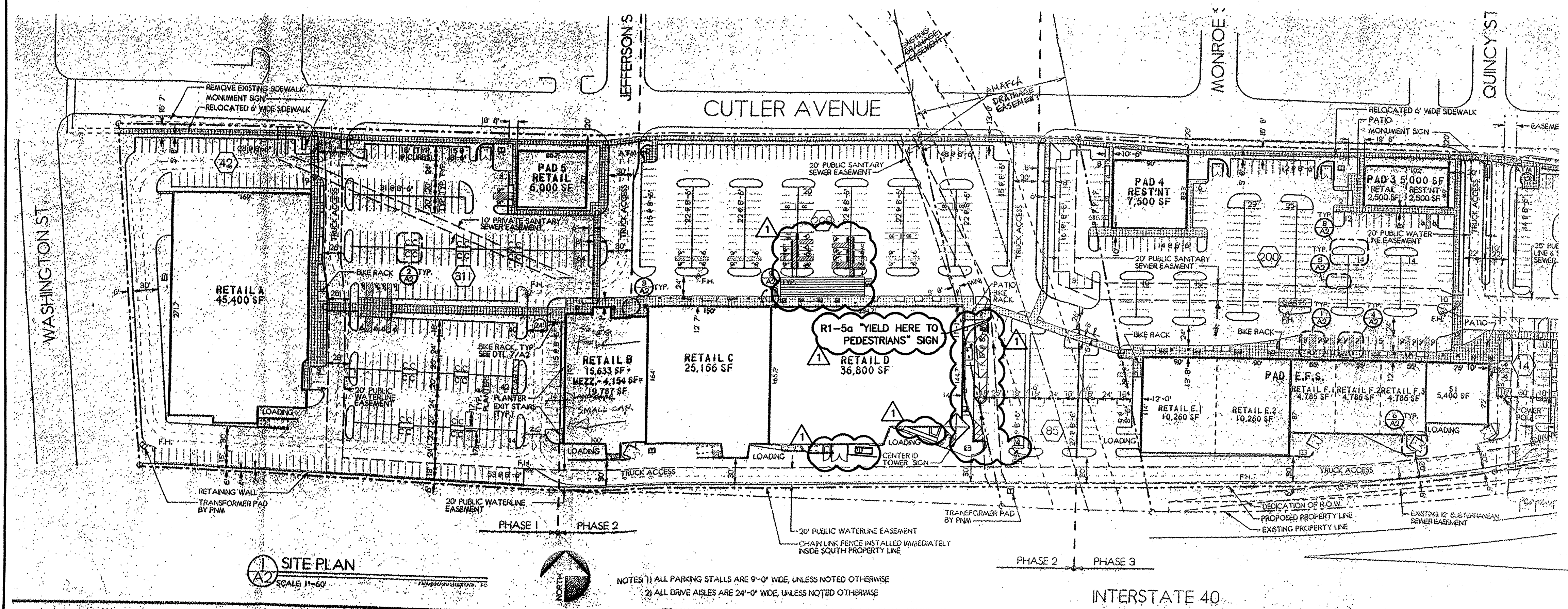
DESIGN COLLABORATIVE  
SOUTH-WEST INC.  
108 4TH ST. SW  
ALBUQUERQUE, NM  
87102  
505-242-2682

G.F.A. JOB NO: 960391  
DATE: 09-30-96  
SHEET: A2 of 8

F) CONTROLLING SITE PLAN

1007872

PROJECT NUMBER: 1007872  
 APPLICATION NUMBER: 12DRB-70324  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9-18-2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes (X) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**  
 Traffic Engineer / Transportation Division: *R.D.S.* 10-17-12 Date  
 Water Utility Development: *Allen Patten* 10/17/12 Date  
 Parks & Recreation Department: *Card S. Dumow* 10-17-12 Date  
 City Engineer: *Ante S. Chm* 11-17-12 Date  
 \* Environmental Health Department (conditional): *NA* Date  
 Solid Waste Management: *NA* Date  
 DRB Chairperson, Planning Department: *John...* 10-17-12 Date  
 \* Environmental Health, if necessary



**SITE PLAN**  
 SCALE: 1"=60'  
 NORTH

NOTES: 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE  
 2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

**SUMMARY**

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

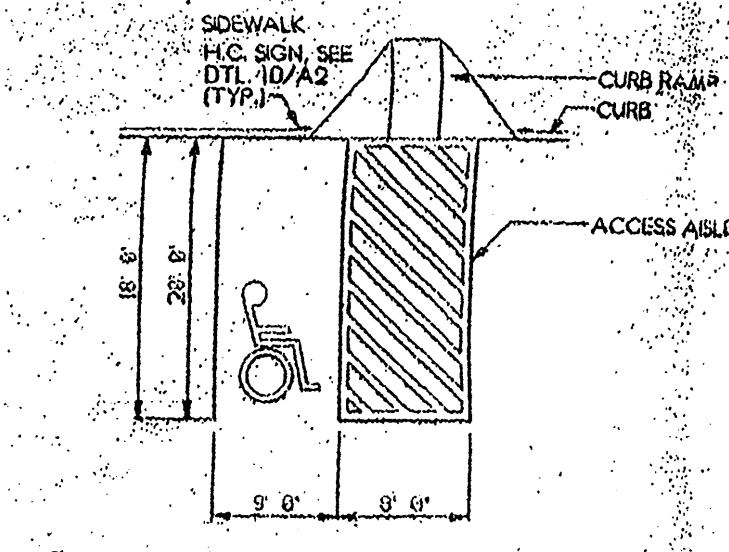
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TOTAL BUILDING FOOTPRINT	204,814 SF
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SIDEWALKS	55,276 SF
LANDSCAPE	109,972 SF = 17.56%
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RETAIL (MEZZANINE) @ 500 SF/SPACE	4,154 SF / 14 SPACES
RESTAURANTS PAD 1 @ 29,000 SF = 230 SEATS + 3 = 74 SPACES	
RESTAURANTS W/O LIQUOR PAD 4 @ 67,500 SF = 180 SEATS + 3 = 60 SPACES	
RESTAURANTS W/O LIQUOR @ 29,000 SF = 230 SEATS + 3 = 74 SPACES	
RESTAURANTS W/O LIQUOR @ 67,500 SF = 180 SEATS + 3 = 60 SPACES	
PADS @ 92,500 SF = 44 SEATS + 4 = 11 SPACES	
TOTAL	165 SPACES
TOTAL SPACES PROVIDED	-917 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LINE CREDIT)	-108 SPACES
TOTAL SPACES PROVIDED	974 SPACES

**GENERAL NOTES**

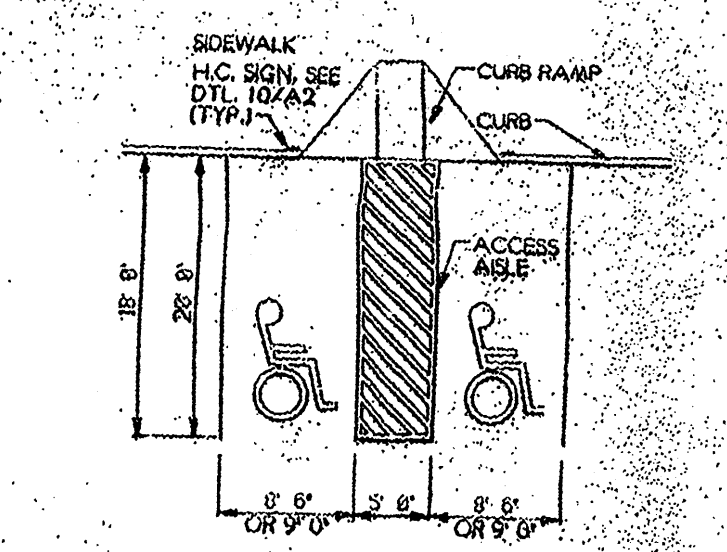
**STORAGE:**  
 ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY, INDIVIDUALLY LIT LETTERS 9"-0" HIGH MAXIMUM @ ANCHORS AND 9'-0" HIGH @ SHOP AND PAD BUILDINGS. SEE PAD BLDG. DESIGN GUIDELINES BELOW FOR OTHER NOTES.  
**HOUSE:**  
 10 DUMPSTERS @ 8 CUBIC YDS. & 3 COMPACTORS  
**SITE LIGHTING:**  
 THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 30' HIGH LIGHT POLE MOUNTED W/ MAX. BARFILES TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.  
**ACCESS/EASEMENTS:**  
 \*CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLAT (IN EVENT OF PAD PARCEL SALES)  
 \*FOR PEDESTRIAN CIRCULATION THERE WILL BE A CONTINUOUS SIDEWALK ALONG THE 84'-LINE RETAIL STORES, NORTH-SOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING @ DRIVE CROSSINGS.  
**DESIGN GUIDELINES FOR ALL BLDGS.**  
 \*ALL BLDGS. SHALL BE CONSISTENT W/ ARCHITECTURAL MATERIALS, COLORS & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE (SPLIT-FACE CONCRETE...)  
 \*ACCENT GUIDELINES FOR PAD BLDGS.  
 \*PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDG. CONFIGURATION & SITING MAY VARY FROM CONCEPTUAL LOCATIONS.  
 \*PAD BLDGS. ARE PERMITTED TO HAVE MONUMENT-STYLE SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY REPETITIVE W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDGS. MUST CHOOSE EITHER BLDG. MOUNTED SIGNAGE OR MONUMENT SIGNAGE, BUT NOT BOTH, TO BE READ FROM CUTLER OR SAN MATEO. MOUNTING SIGNAGE NOT TO EXCEED 501'  
 \*PAD BLDGS. SHALL NOT EXCEED 26'-0" IN HEIGHT AND WILL VARY DEPENDING ON USUR'S REQUIREMENTS.  
**DRIVE-UP SERVICE WINDOWS**  
 \*ONLY ONE DRIVE-UP SERVICE WINDOW IS PERMITTED, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION THROUGH AN AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

**The Pavilions at San Mateo**

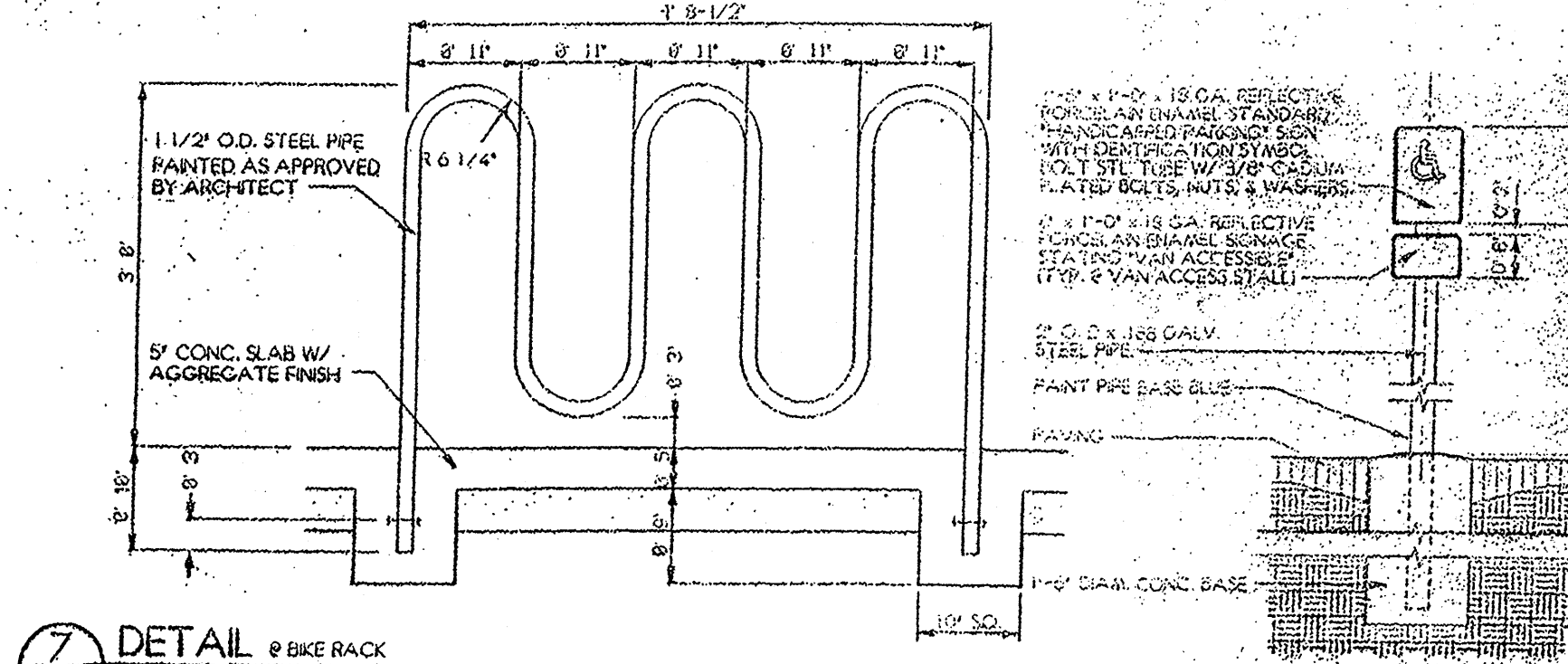
**SITE PLAN / SITE DETAILS**



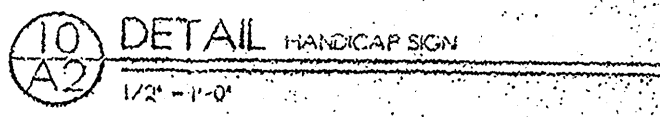
**1 DETAIL** PARKING @ HANDICAP VAN SPACE  
 N.T.S.



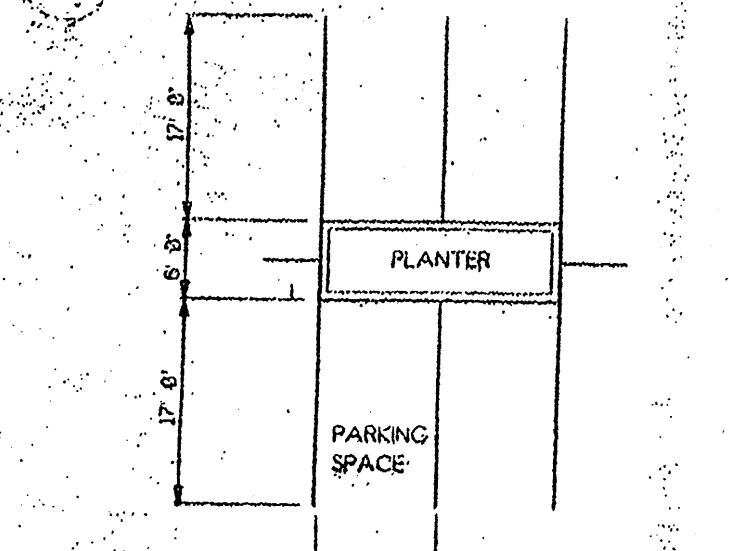
**4 DETAIL** PARKING @ HANDICAP SPACE  
 N.T.S.



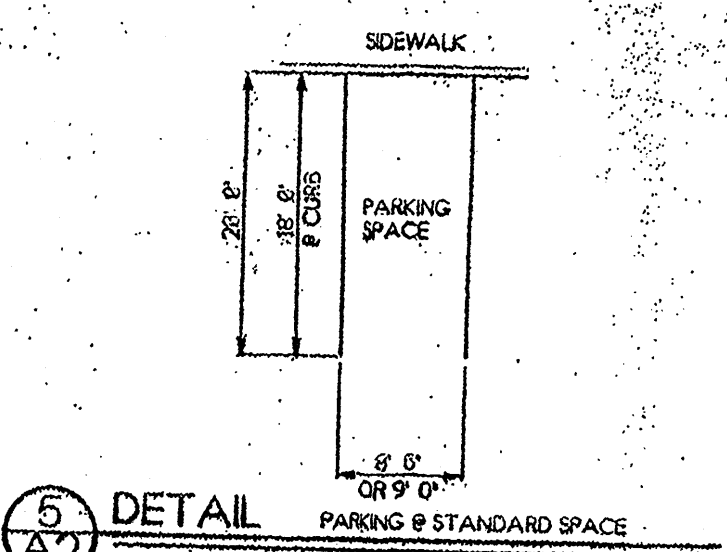
**7 DETAIL** BIKE RACK  
 N.T.S.



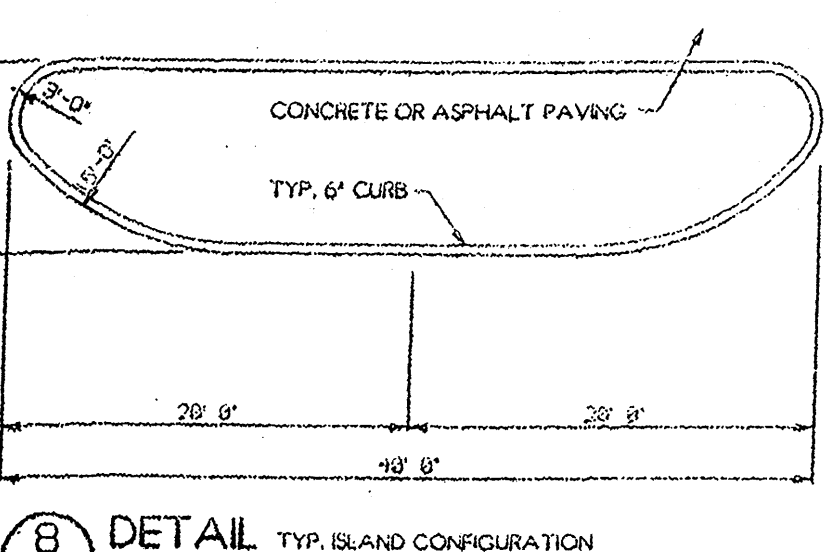
**10 DETAIL** HANDICAP SIGN  
 1 1/2" - 1'-0"



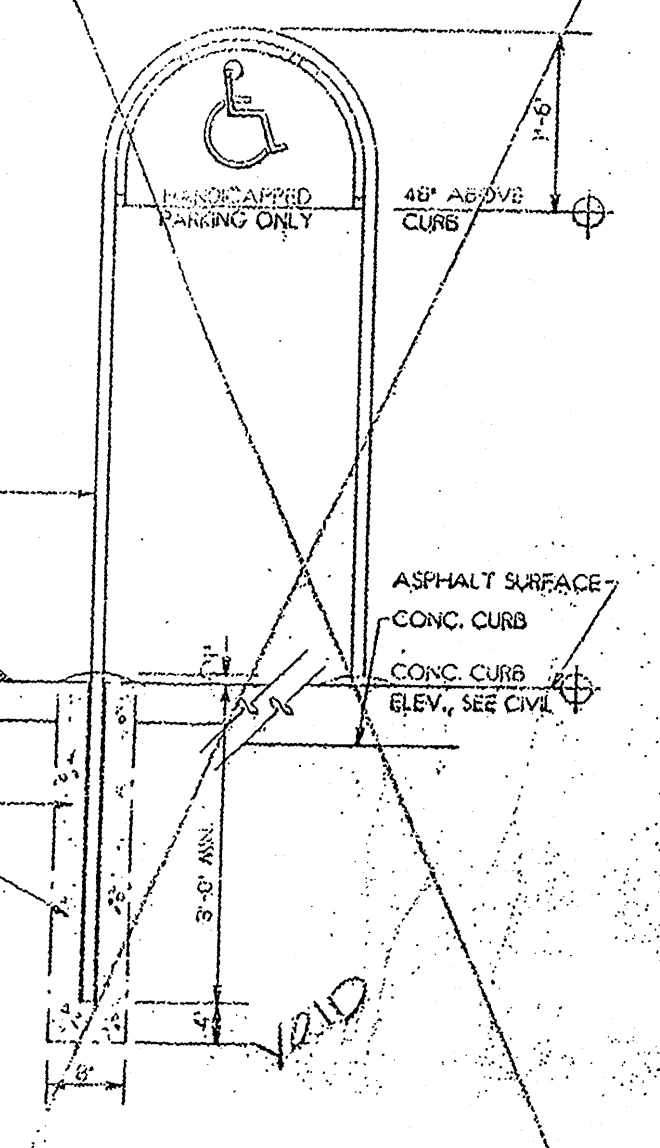
**2 DETAIL** PARKING @ SMALL CAR SPACE  
 N.T.S.



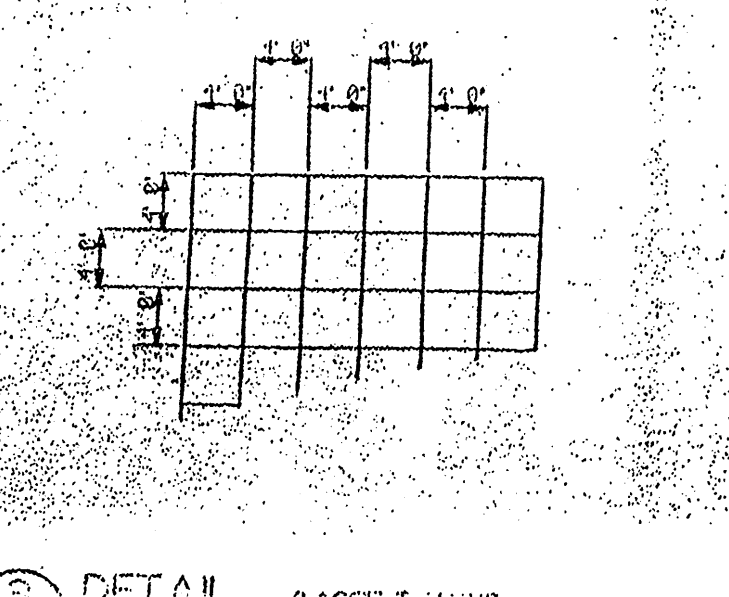
**5 DETAIL** PARKING @ STANDARD SPACE  
 N.T.S.



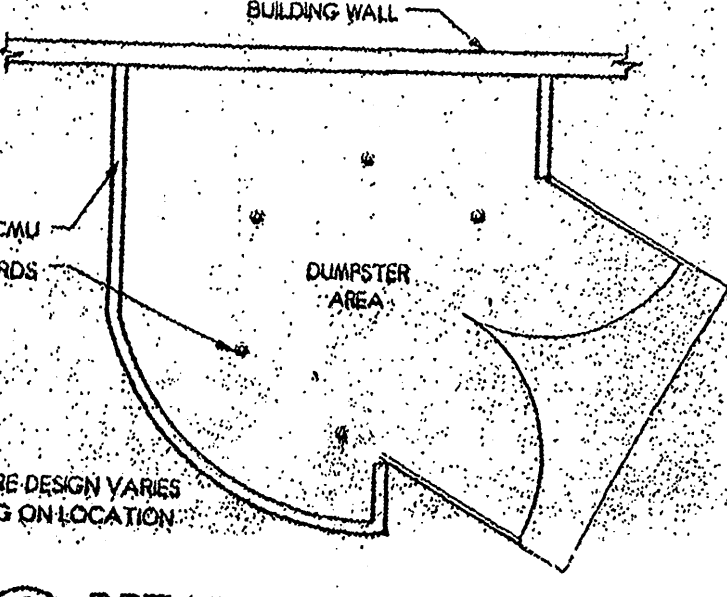
**8 DETAIL** TYP. ISLAND CONFIGURATION  
 N.T.S.



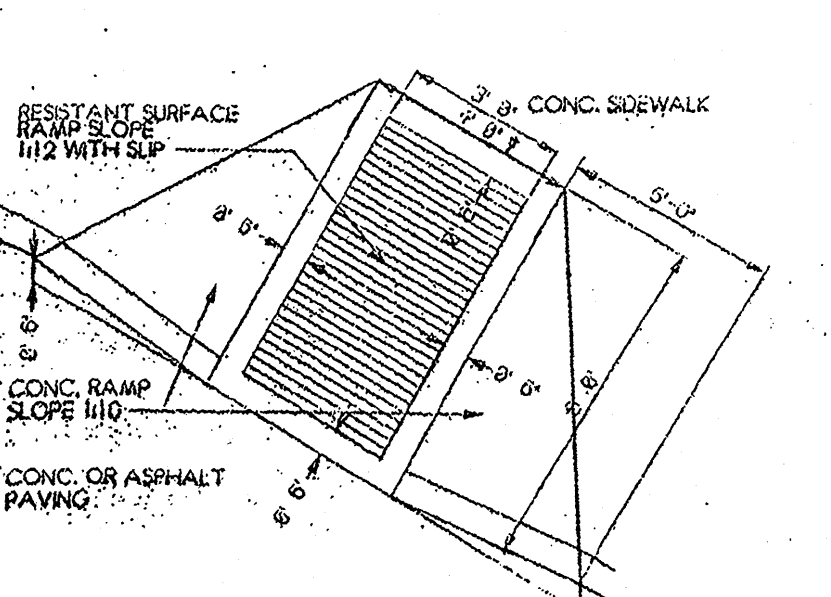
**11 DETAIL** HANDICAP RAMP  
 N.T.S.



**3 DETAIL** ACCESS AISLE  
 N.T.S.



**6 DETAIL** DUMPSTER AREA  
 N.T.S.



**9 DETAIL** RAMP SLOPE  
 N.T.S.

**TOTAL PARKING PROVIDED:** 992 SPACES  
**TOTAL SMALL CAR SPACES PROVIDED:** 51 SPACES (5.14%)  
**HANDICAP SPACES:** 11 SPACES

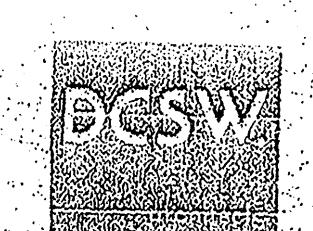
BLDG. / PAD	SPACES REQ'D
RETAIL A	8
RETAIL B	4
RETAIL C	6
RETAIL D	8
RETAIL E	8
RETAIL F	4
RETAIL SI	2
RETAIL S2	2
PI	1
PS	2
P4	1
PS	2

TOTAL H.C. SPACES REQ'D: 8 SPACES  
 TOTAL H.C. SPACES PROVIDED: 8 SPACES  
 TOTAL H.C. VAN SPACES PROVIDED: 9 SPACES  
 MOTORCYCLE SPACES PROVIDED: 2 SPACES

**KITCHELL DEVELOPMENT**

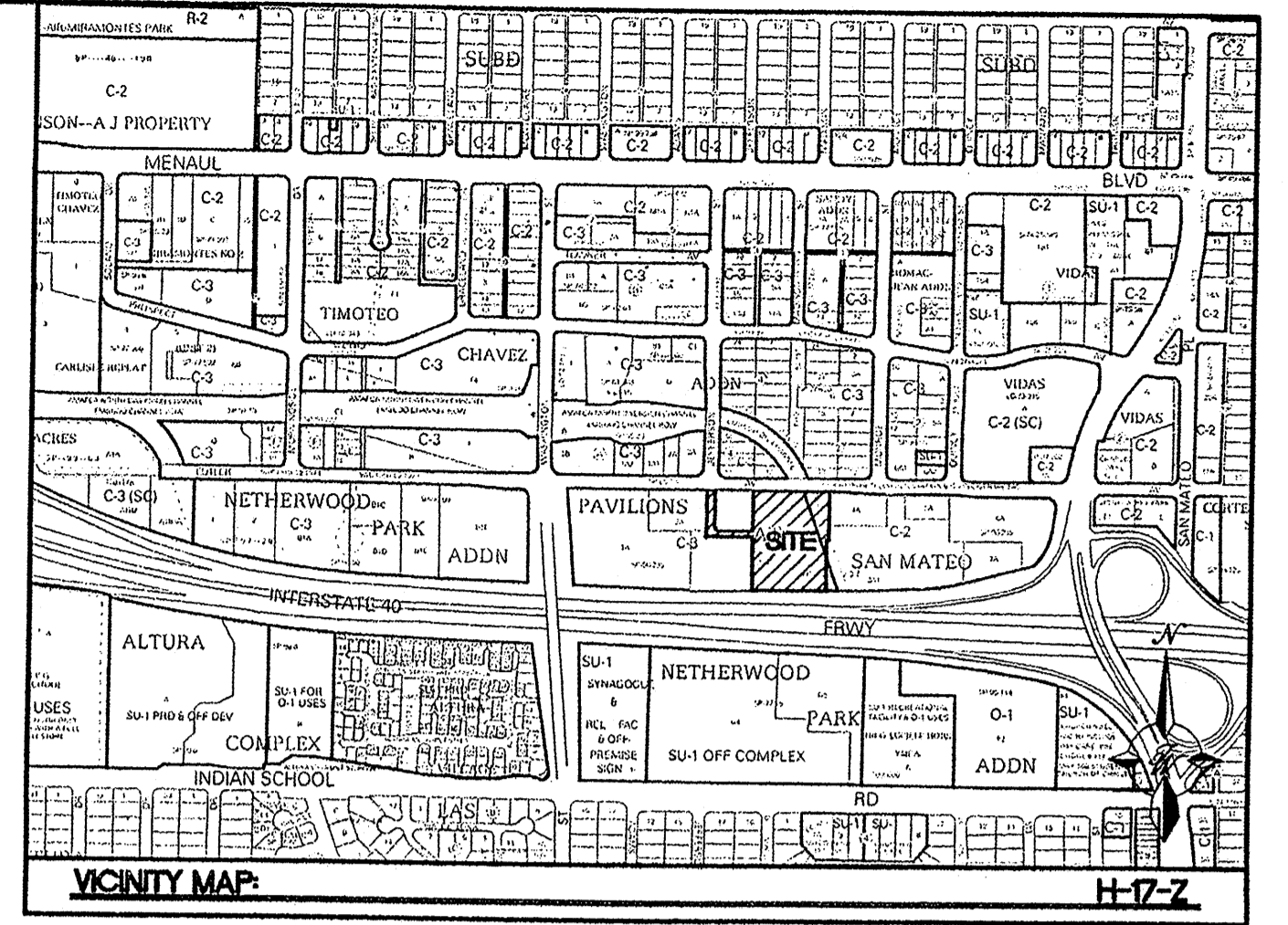
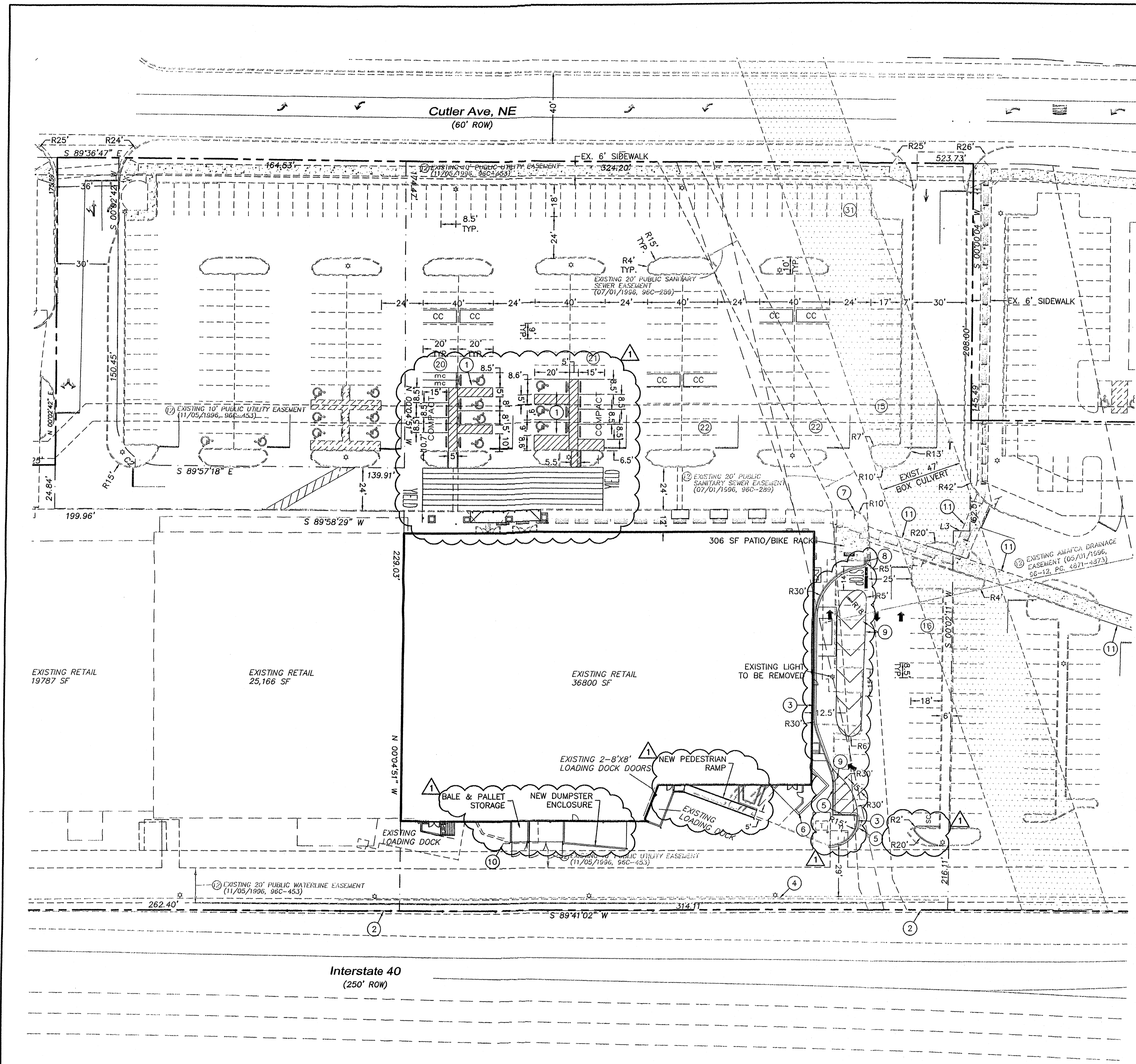
DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY INFORMATION DEPICTED HEREON OR CONTAINED HEREIN IS FOR ILLUSTRATIVE PURPOSES ONLY, AND IS NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE OR APPROVE ANYTHING TO BE CONSTRUCTED FOR THAT ANY IMPROVEMENTS WILL BE

GREENBERG FARROW ARCHITECTURE  
 ARCHITECTURE \* ENGINEERING \* PLANNING  
 16101 RED HILL AVENUE, SUITE 200  
 TUSTIN, CALIFORNIA 92680  
 TEL: (714) 666-6666 FAX: (714) 666-6666



DESIGN COLLABORATIVE  
 SOUTH WEST INC.  
 105 4TH ST SW  
 ALBUQUERQUE, NM  
 87102  
 505-242-0328  
 505-242-0329  
 G.F.A. JOB NO. 960231  
 DATE: 10.17.12

ENGINEER'S SEAL  
  
**RONALD R. BOHANNAN**  
 P.E. #7868



**LEGAL DESCRIPTION:**  
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

- LEGEND**
- CURB & GUTTER
  - PROPERTY LINE
  - - - AREA OF CONTROL LIMITS
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - ▭ BUILDING
  - ☼ EXISTING LIGHTS TO REMAIN
  - STRIPING
  - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING SIDEWALK
  - - - EXISTING LANE
  - - - EXISTING STRIPING
  - - - SAWCUT
  - ADA ACCESSIBLE ROUTE
  - ② PROPOSED PARKING SPACES
  - CC CART CORRAL
  - mc MOTORCYCLE PARKING

- KEYED NOTE:**
- ① ACCESSIBLE PARKING SEE DETAIL SHEET C1
  - ② EXISTING 6' CHAIN LINK FENCE (INTERSTATE 40 ACCESS CONTROL)
  - ③ 6" CURB AND GUTTER PER COA STD DWG #2415B
  - ④ EXISTING TAN CMU RETAINING WALL
  - ⑤ REMOVE AND DISPOSE EXIST. CURB
  - ⑥ EXISTING MONUMENT SIGNS
  - ⑦ EXISTING "STOP" SIGN
  - ⑧ "DO NOT ENTER" SIGN & R1-5a "YIELD HERE TO PEDESTRIANS" SIGN
  - ⑨ 4" SOLID YELLOW STRIPING
  - ⑩ EXISTING DUMPSTER ENCLOSURE TO BE REMOVED
  - ⑪ EXISTING CONCRETE CROSSING, 8 FT WIDTH

- NOTES:**
1. CHAIN LINK FENCE EXISTS IMMEDIATELY INSIDE SOUTH PROPERTY LINE.
  2. REMOVE ALL EXISTING NON-APPLICABLE SIGNS.

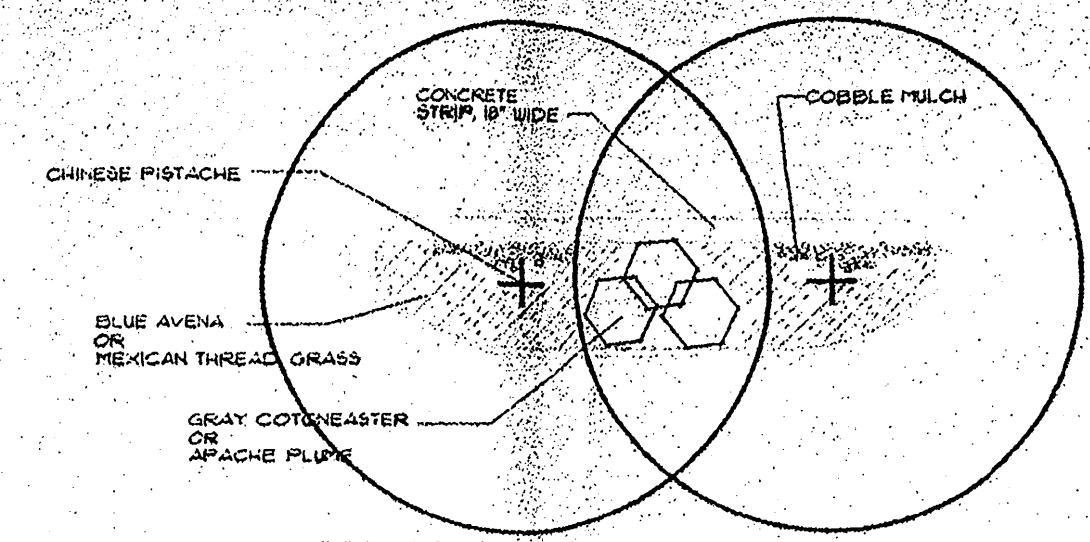
**NOTES FROM PLAT (11/25/1998, 98C-334)**

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1998, IN VOLUME 96C, FOLIO 453, FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. Z-95-092)

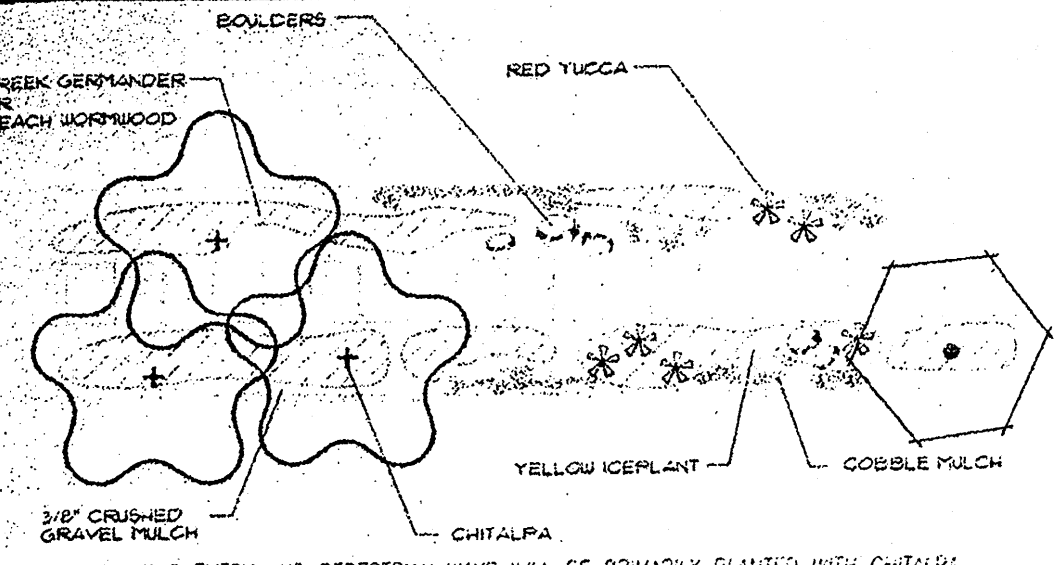
**NOTES FROM PLAT (11/05/1996, 96C-453)**

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS. (REF. Z-95-092)
10. "PRIVATE SANITARY SEWER EASEMENTS" ARE FOR THE BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS IS THE RESPONSIBILITY OF SAME TRACTS.
11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION.
12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.

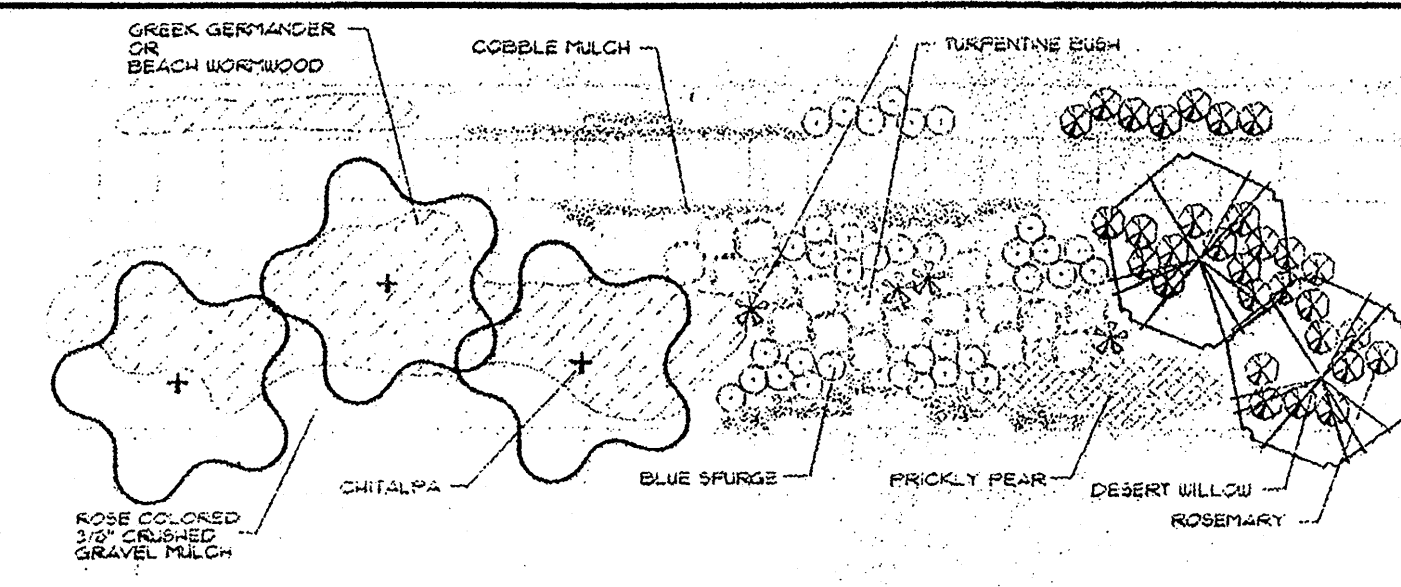
8-22-12	ADDED PHARMACY DRIVE-UP, MODIFIED ADA PARKING & DUMPSTERS, ADDED PEDESTRIAN RAMP	VC
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL	<b>THE PAVILIONS AT SAN MATEO (TRACT 3A-1)</b>	DRAWN BY DY
	<b>SITE PLAN FOR BUILDING PERMIT (AREA OF CONTROL)</b>	DATE 5/15/12
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011071-SP-AA-30
		SHEET # C2
		JOB # 2011071



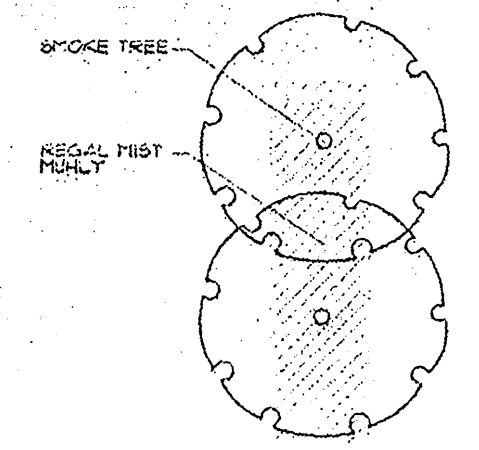
TYPICAL PARKING ISLANDS SHALL BE SHADED BY TWO CHINESE PISTACHE TREES. BELOW ISLANDS SHALL BE PLANTED WITH GRAY COTONEASTER IN THE CENTER, FLANKED BY MASSES OF ORNAMENTAL GRASS AND ROSE COLORED COBBLE MULCH. PLANTING BEDS WILL BE BUFFERED FROM ADJACENT FOOT TRAFFIC WITH AN 18" STRIP OF CONCRETE.



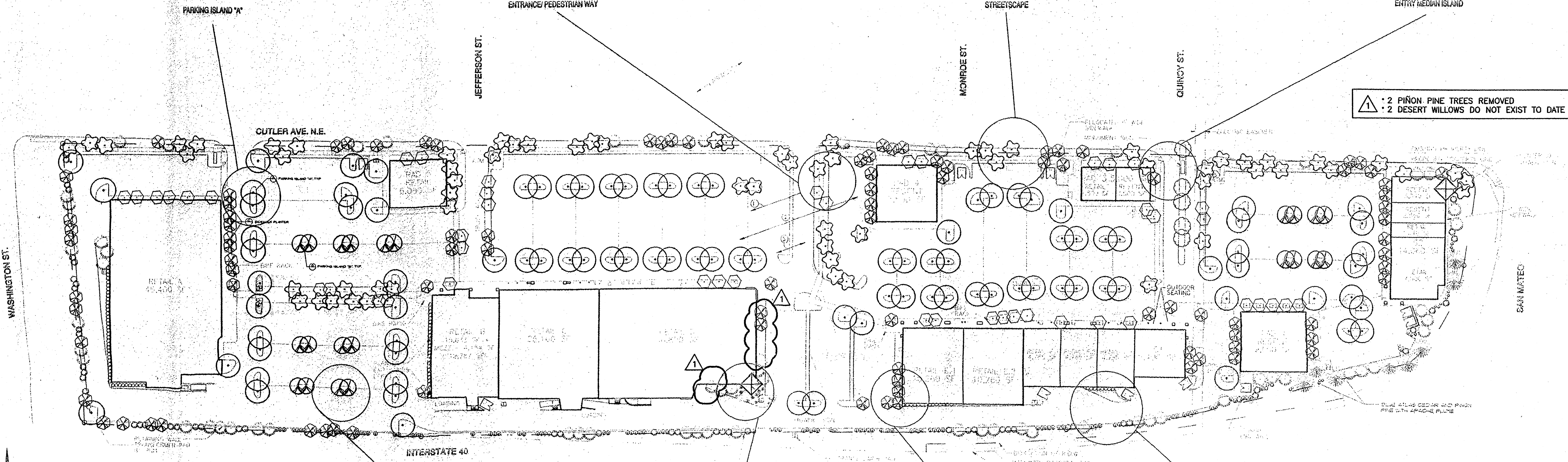
THE ENTRY AND PEDESTRIAN WAYS WILL BE PRIMARILY PLANTED WITH CHITALPA TREES, WITH ADDED THORNLESS HAWTHORN LINKING THE ROUTE VISUALLY WITH THE PEDESTRIAN CORRIDOR ON THE NORTH SIDE OF THE BUILDINGS. BENEATH THE CHITALPA WILL BE PLANTED EITHER BEACH WORMWOOD OR GREEK GERMANDER, WITH COLOR ADDED IN SUNNY OPEN AREAS AT THE ENTRANCES WITH RED YUCCA UNDERPLANTED WITH YELLOW ICEPLANT. ROSE COLORED COBBLE WILL BE USED FOR MULCH IN OPEN AREAS, WITH 3/8" CRUSHED GRAVEL BENEATH TREES.



THE CUTLER AVENUE STREETSCAPE WILL BE PLANTED WITH PRIMARILY CHITALPA PINON PINE AND DESERT WILLOW TREES. DESERT WILLOW AREAS WILL BE PLANTED BENEATH WITH ROSEMARY, SIMILARLY TO BUILDING PLANTING BEDS. CHITALPA AREAS WILL BE PLANTED WITH EITHER BEACH WORMWOOD OR GREEK GERMANDER WITH OPEN AREAS IN BETWEEN TREES PLANTED WITH TURPENTINE BUSH ACCENTED WITH RED YUCCA AND PRICKLY PEAR. MULCH WILL BE ROSE COLORED COBBLE IN THE OPEN AREAS, WITH 3/8" CRUSHED GRAVEL UNDER TREES.



THE MEDIAN ISLAND AT THE QUINCY STREET ENTRANCE WILL BE HIGHLIGHTED WITH PURPLE SMOKE TREES, UNDERPLANTED WITH REGAL MIST ORNAMENTAL GRASS MULCHED WITH ROSE COLORED COBBLE.



2 PIÑON PINE TREES REMOVED  
 2 DESERT WILLOWS DO NOT EXIST TO DATE

1 LANDSCAPE PLAN  
 SCALE 1" = 60'

BOTANICAL NAME	COMMON NAME	SIZE	NOTES/SPACING
<b>TREES</b>			
Pistacia chinensis	CHINESE PISTACHE	2" CAL	
Chilopsis linearis	DESERT WILLOW	2" CAL	
Quercus emoryi	EMORY OAK	2" CAL	
Chitalpa tashkentensis	CHITALPA	2" CAL	
Cedrus atlantica	BLUE ATLAS CEDAR	20 GAL	
Pinus edulis	PINON PINE	B + B 5'-7" HT.	
Cotinus coggygria	PURPLE SMOKE TREE	20 GAL	
Crataegus crus galli	THORNLESS HAWTHORN	2" CAL	
<b>SHRUBS/VINES</b>			
Yucca elata	SOAPTREE YUCCA	BASE ROOT 6'-8" HT.	
Folgia paradisa	APACHE PLUME	9 GAL	
Taxodium arabinum	GREEK GERMANDER	1 GAL	2' OC.
Artemisia stelleriana	BEACH WORMWOOD	1 GAL	2' OC.
Rosmarinus officinalis	"SAR" ROSEMARY	5 GAL	3' OC.
Hesperaloe parviflora	RED YUCCA	5 GAL	
Euphorbia myrsinites	BLUE SPURGE	1 GAL	2' OC.
Cercocarpus montanus	CURLLEAF MOUNTAIN MANOGANY	5 GAL	
Cotoneaster glaucophyllus	GRAY COTONEASTER	5 GAL	
Spartium junceum	SPANISH BROOM	5 GAL	
Opuntia sp.	PRICKLY PEAR	1 GAL	3'-4' OC.
Eriogonum fasciculatum	TURPENTINE BUSH	5 GAL	
Vauquelinia californica	ARIZONA ROSEWOOD	5 GAL	6' OC.
Perthandreasia quinquefolia	WOODSINE	1 GAL	2' OC.
<b>GROUND COVER/GRASSES</b>			
Dactyloctenium aegyptium	PURPLE ICEPLANT	1 GAL	12' OC.
Dactyloctenium aegyptium	YELLOW ICEPLANT	1 GAL	12' OC.
Heteropogon sempervirens	BLUE AVENA	1 GAL	2' OC.
Stipa tenuiflora	MEXICAN THREAD GRASS	1 GAL	2' OC.
Stipa tenuiflora	MEXICAN THREAD GRASS	1 GAL	3' OC.

SMALLER PARKING PLANTERS WILL FEATURE EMORY OAKS FOR SHADE, WITH THE GROUND COVER BEING AN ORNAMENTAL GRASS, MEXICAN THREAD GRASS. MULCH WILL BE ROSE COLORED COBBLE

THE SOUTHWEST SIDE OF BUILDING D WILL FEATURE PLANTING BEDS WITH SOAPTREE YUCCA, UNDERPLANTED WITH PURPLE ICEPLANT AND ACCENTED WITH BOULDERS.

BUILDING PLANTERS WITH AN EAST, SOUTH OR WEST SIDE EXPOSURE WILL BE PLANTED WITH DESERT WILLOW, WITH ROSEMARY SHRUBS AND ROSE COLORED COBBLE MULCH. BUILDING PLANTERS WITH A NORTHERN EXPOSURE WILL BE PLANTED WITH THORNLESS HAWTHORN WITH BEACH WORMWOOD AND ROSE COLORED COBBLE MULCH.

**LANDSCAPE NOTES**

- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER/DEVELOPER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVER WILL BE IRRIGATED WITH A DRIP SPRINKLER SYSTEM.
- TREES IN PARKING ISLANDS SHALL BE LOCATED AT THE CENTERMOST PORTION OF THE ISLAND, TYPICALLY.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

**LANDSCAPE AREA**

- TOTAL LAND AREA: 130.25 ACRES (871,816 SF)
- BUILDING AREA: 120,000 SF
- LANDSCAPE AREA REQUIRED: 12,233 SF (84')
- LANDSCAPE AREA PROVIDED: [ ]

**EXISTING EASEMENTS**

- EXISTING APLA/C.A. DRAINAGE EASEMENT NO. 3
- EXISTING NEW MEXICO DEPARTMENT OF TRANSPORTATION DRAINAGE RIGHT OF WAY
- FOUR (4) EXISTING 12" x 12" CONCRETE BOX CULVERTS

**general notes**

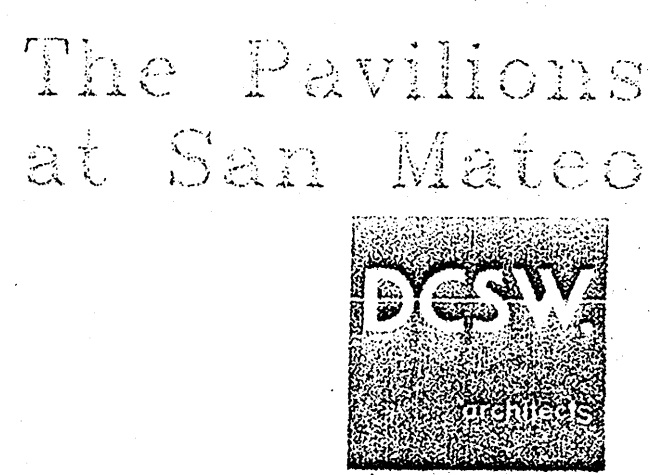
contractor to coordinate professional plans with structural, plumbing, mechanical, and electrical plans for routing, subsurface utility location, and placement, etc.

if any conflicts in the construction documents exist, the contractor shall advise the architect immediately, and the specifications govern over drawings.

the contractor is to verify the quantities immediately of any errors or omissions or conflicts in the construction documents.

contractor to verify all existing on-site conditions prior to construction.

contractor to verify all existing on-site conditions prior to construction.



SOUTHERN BUILDING SCREENING DOCKS WILL BE SCREENED WITH EVERGREEN PLANTINGS WITHIN THE VIEW CORRIDORS FROM INTERSTATE 40. THESE SPECIES WILL INCLUDE PINON PINE, MOUNTAIN MANOGANY, SPANISH BROOM, PRICKLY PEAR AND WOODSINE CLIMBING THE PERIMETER FENCE. ADJACENT TO THE BUILDINGS, PLANTERS WILL FEATURE DRAMATIC ARIZONA ROSEWOOD SHRUBS UP AGAINST THE WALLS WITH PRICKLY PEAR BELOW.

The Pavilions at San Mateo



revisions:  
 architect:  
 collaborative:  
 southwest inc.  
 engineer: 105 4th st. sw  
 cibuquerque nm

SEDBERRY and ASSOCIATES COMMERCIAL REAL ESTATE SERVICES  
 ADDRESS: 6301 INDIAN SCHOOL RD., STE. 690  
 ALBUQUERQUE, NM. 87110  
 PHONE: (505)883-0339  
 FAX: (505)883-0870

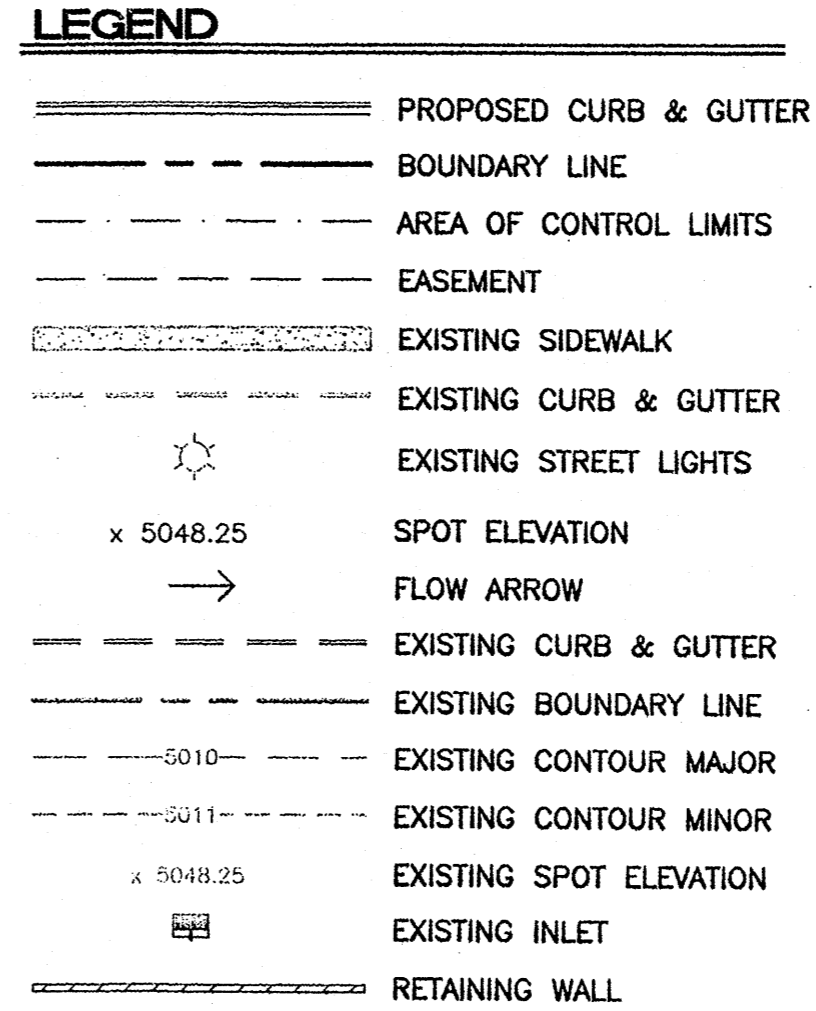
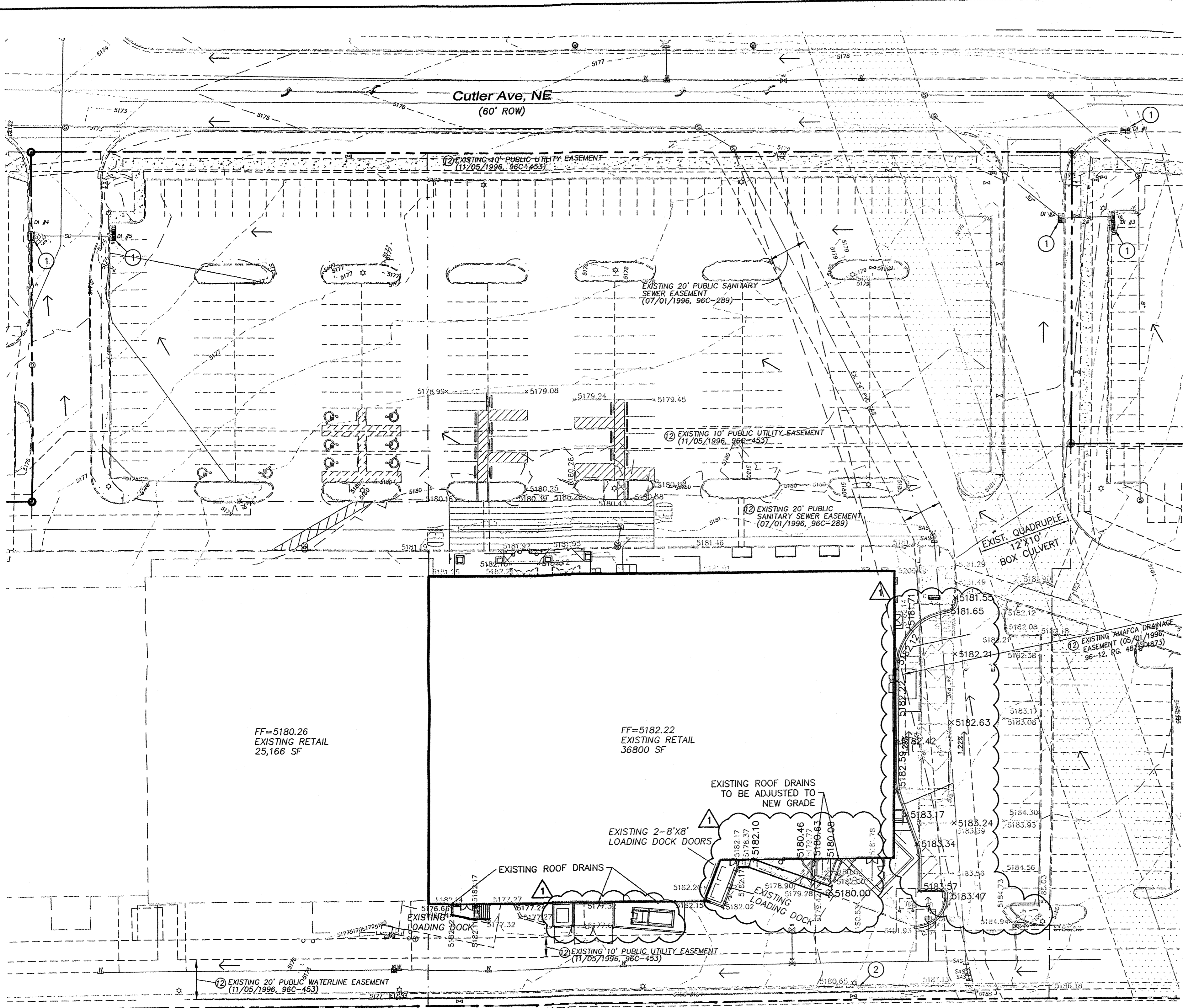
APPROVED FOR CONSTRUCTION

LARRY A. BLAIR  
 EXECUTIVE ENGINEER

DATE: 8/22/12  
 JOB NO: 9521  
 DATE: 8/20/12

87102  
 SHEET # C3

BOHANNAN-HUSTON INC.  
 1100 W. UNIVERSITY BLVD. SUITE 100  
 ALBUQUERQUE, NM 87102



**DRAINAGE NARRATIVE:**

**PURPOSE:** The purpose of this report is to provide a revised grading and drainage plan for a single retail store take-over in the Pavilions Shopping Center at San Mateo. It is intended to give an overview of the approved drainage management plan for the overall shopping center and illustrate the minor grading changes and drainage design for the subject suite take-over, and act as an accurate record for future reference.

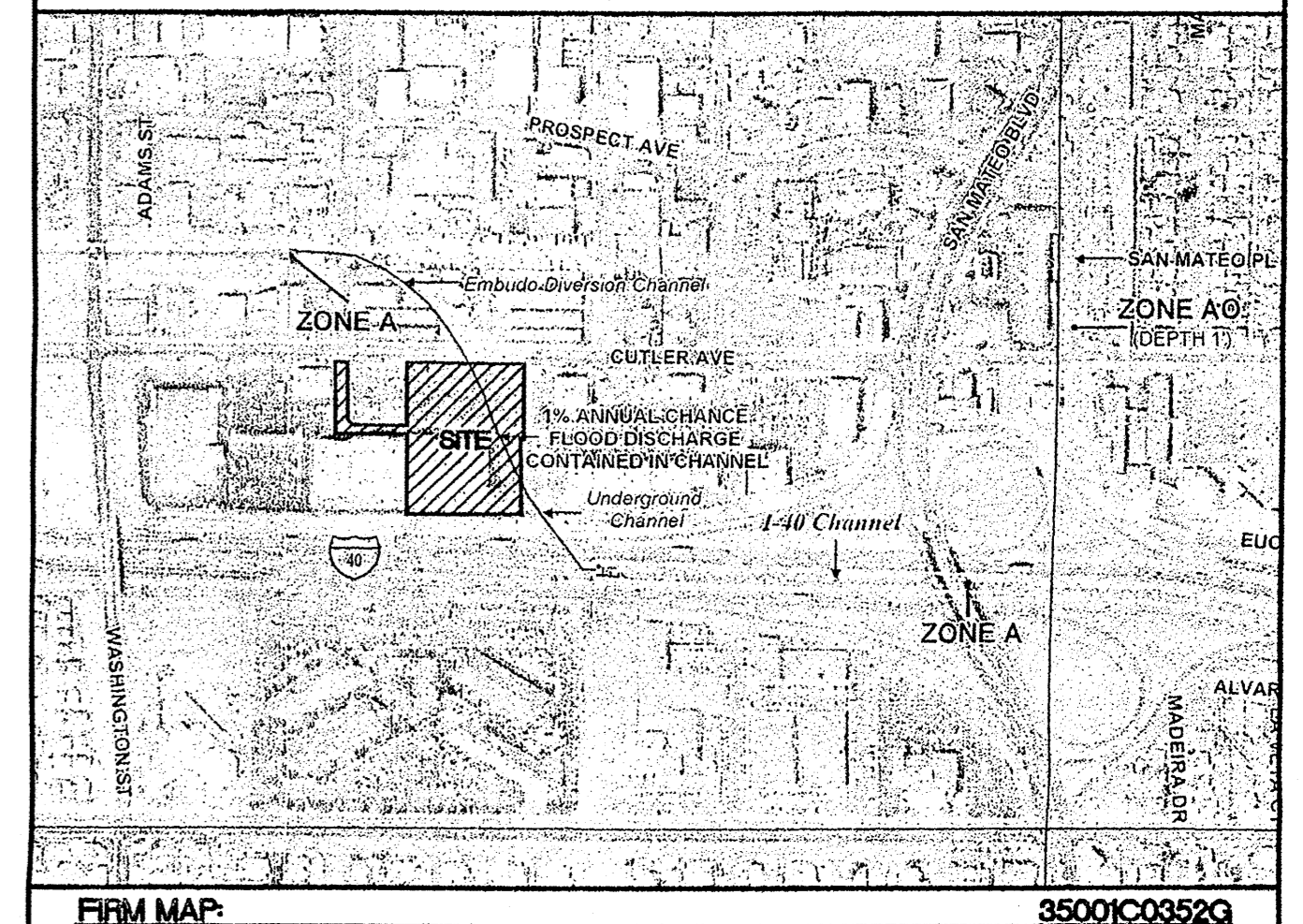
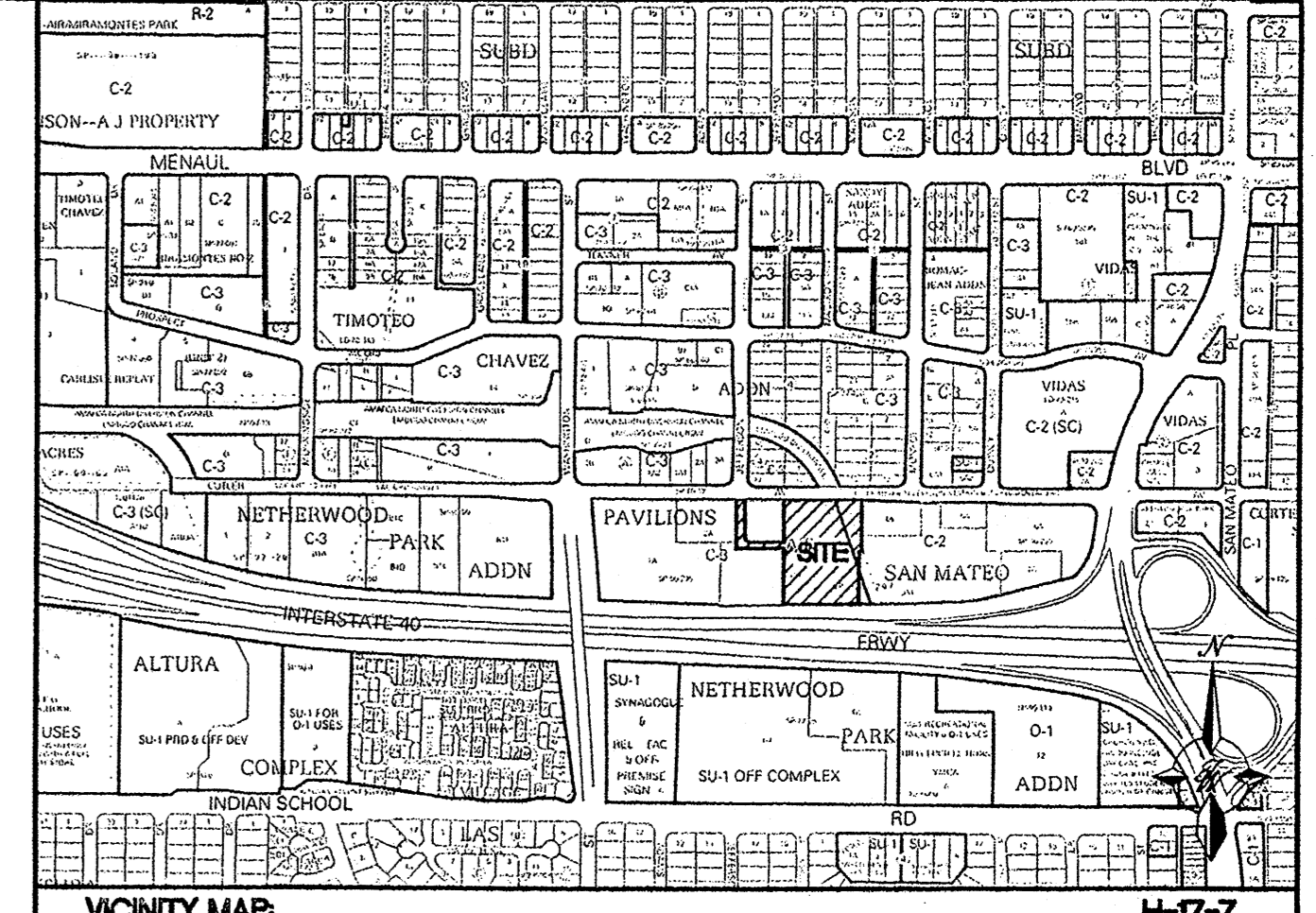
**PREVIOUS GRADING AND DRAINAGE PLAN AND REPORT:** On file with the City of Albuquerque are the approved Grading and Drainage Plan and approved drainage report for the development of the Pavilions Shopping Center. This report and accompanying Grading and Drainage Plan which will amend the subject site, references the above mentioned grading and drainage plan (6/29/1996) and report (Revised June 1996), developed by Bohannon-Houston Inc.

**EXISTING CONDITIONS:** The Pavilions Shopping Center is located on the northwest corner of San Mateo and Interstate 40; bound by Cutler Avenue to the north and Washington Street to the west. The shopping center occupies approximately 20 acres and currently contains eight buildings (several with multiple tenants per building). The subject suite is an existing 36,800 square foot retail space recently vacated by Ultimate Electronics.

The east half of the shopping center conveys storm water in a northerly direction along the parking surface where it is directed into a series of existing storm inlets and 36" storm drain located in the Cutler Avenue right-of-way. This existing Cutler Ave. storm drain conveys runoff to the existing AMAFCA box culverts, which cross the shopping center below grade, and become the Embudo Channel near the northwest portion of the site. Similarly, the remaining west half of the shopping center conveys runoff in a northerly direction along the parking surface to a series of existing storm inlets and storm drain system on the west portion of the shopping center, which then connects to the existing 36" storm drain line in Cutler Avenue, and ultimately enter the Embudo Channel.

According to the Bohannon-Houston drainage report, the total peak discharge for the entire shopping center during the 100 year event is 111.03 cfs (including an assumed offsite flow of 10 cfs from the I-40 right-of-way).

**PROPOSED CONDITIONS:** The proposed conversion is for a 36,800 sf take-over of the existing retail space. The conversion will include interior building changes to accommodate the new use with minor exterior building changes; east side grades will be altered per this Grading and Drainage Plan to accommodate a new pharmacy drive up window. Positive drainage will be maintained for this area and existing drainage patterns will not be altered. Impervious areas will remain... and peak discharge will not be increased.



**LEGAL DESCRIPTION:**  
A PORTION OF TRACT 3A-1 PAVILIONS AT SAN MATEO

**NOTES:**  
1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

- KEYED NOTE:**
- 1 EXISTING DROP INLET
  - 2 EXISTING RETAINING WALL

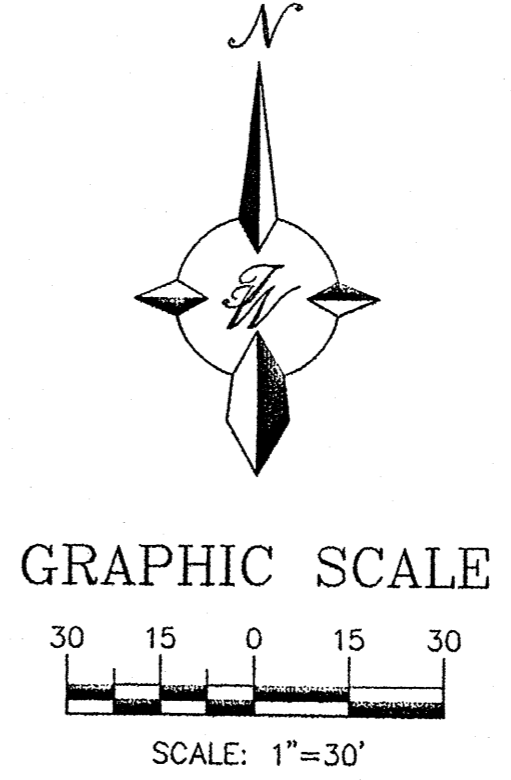
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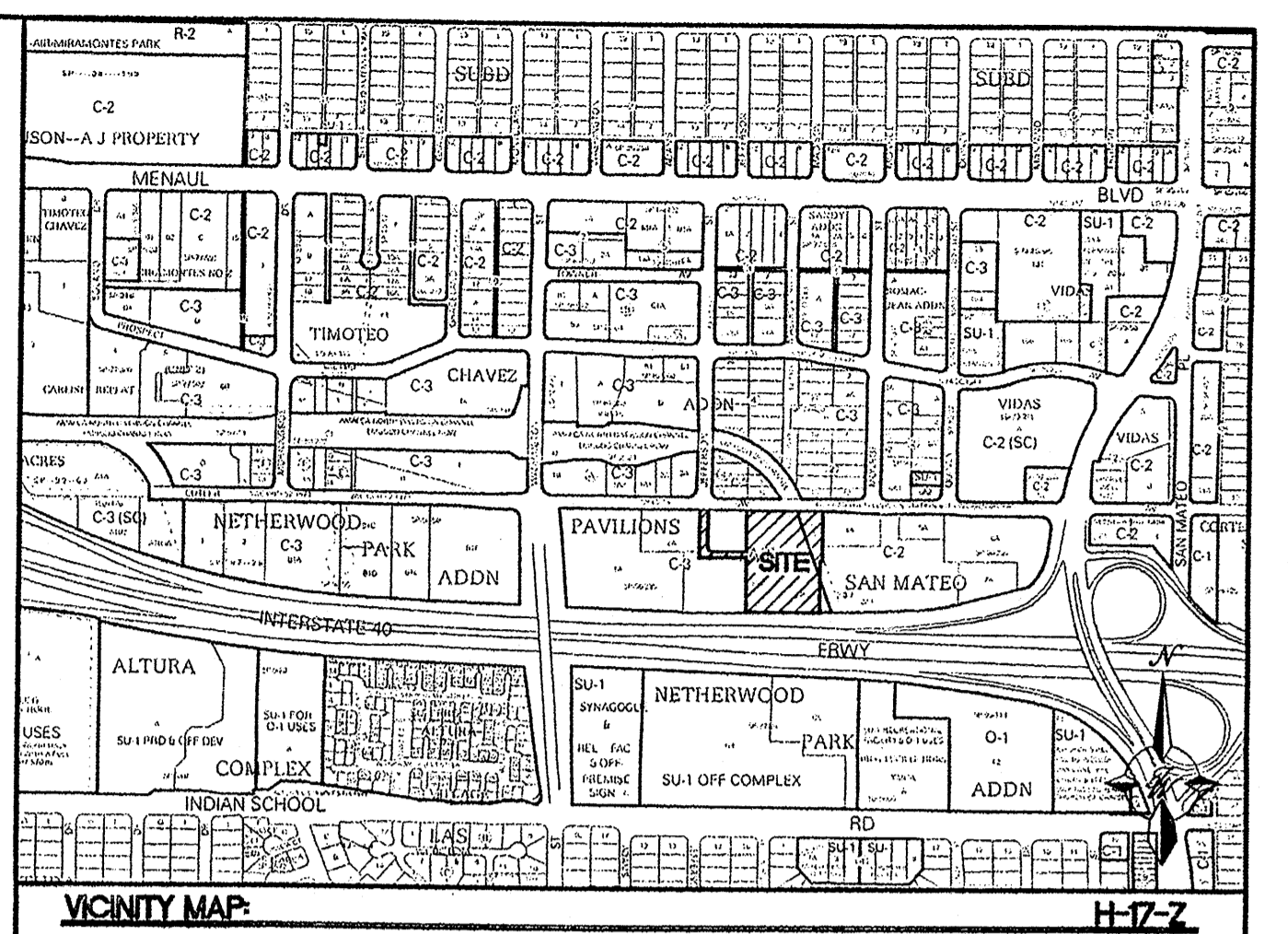
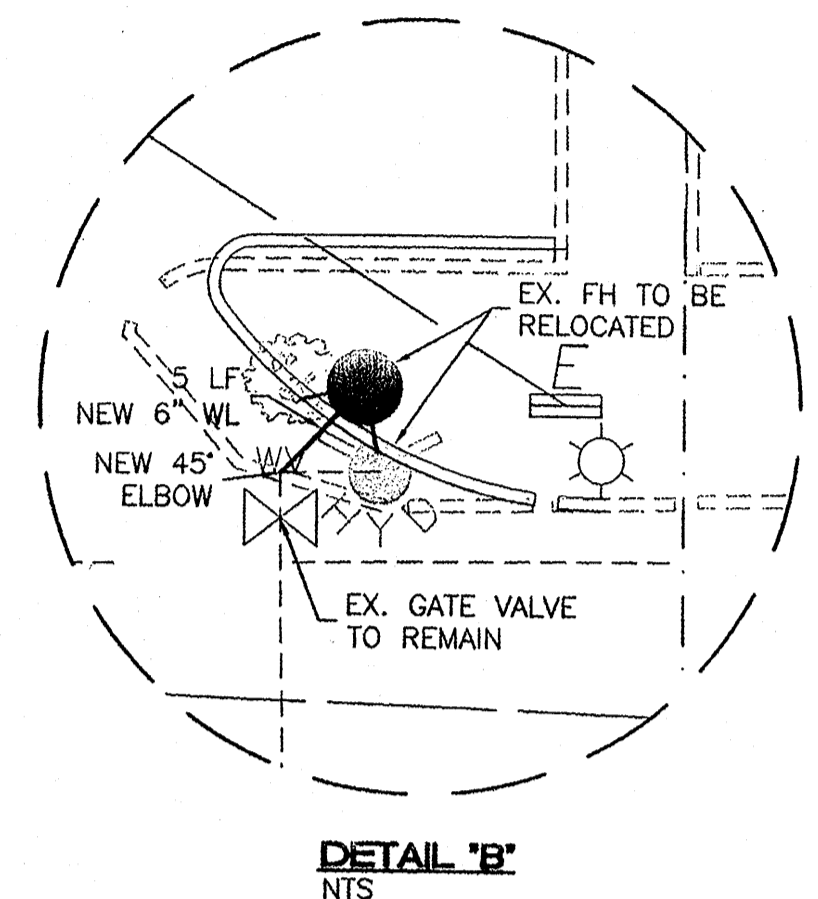
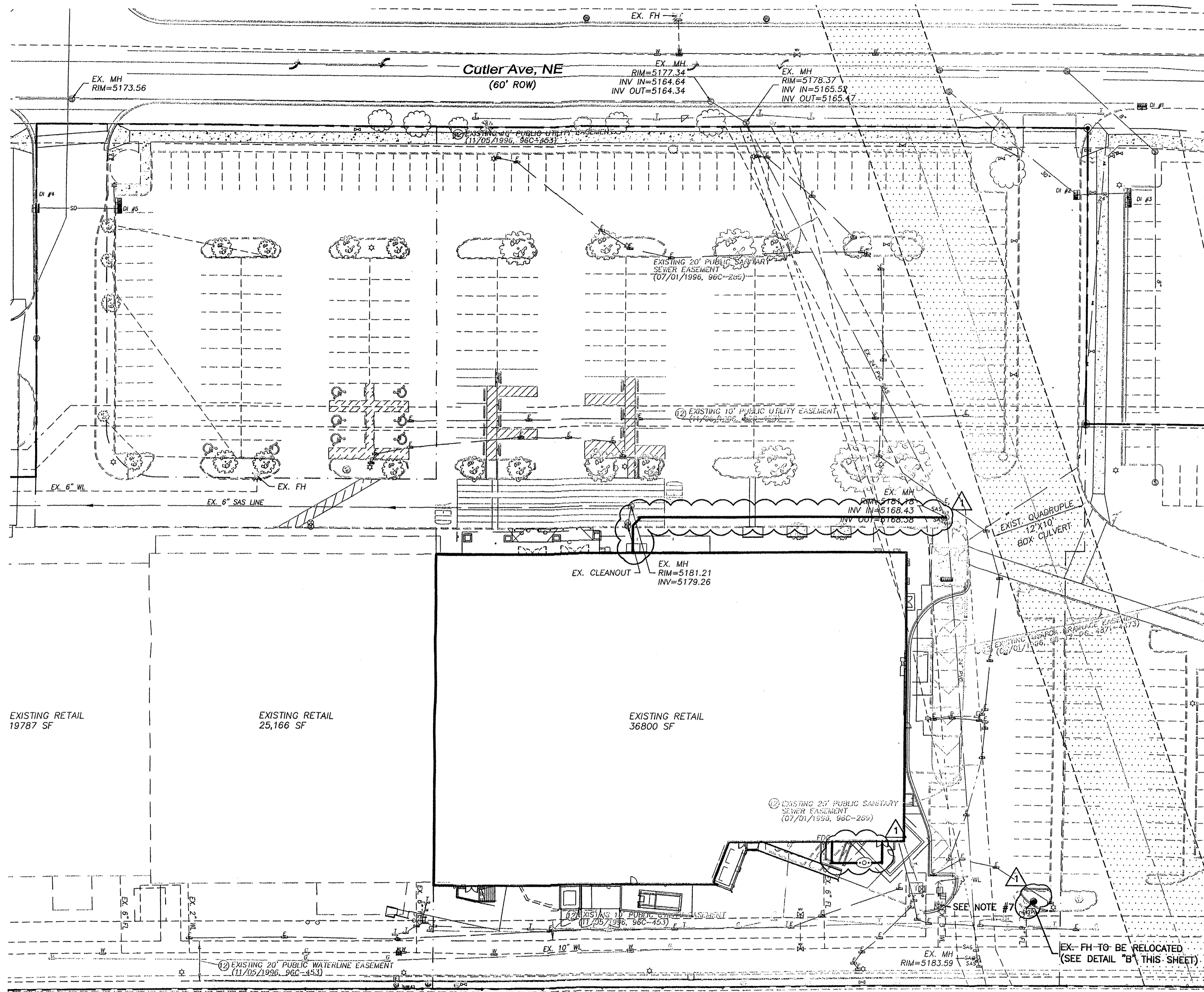
9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. 2-95-092)

11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION



NO.	DATE	REVISIONS	REMARKS	VC	BY
	8-22-12	IMPROVEMENTS REQUIRING RE-GRADING			
REVISIONS					
ENGINEER'S SEAL		THE PAVILIONS AT SAN MATEO (TRACT 3A-1)		DRAWN BY	
		GRADING PLAN		DY	
				DATE	
				2011071-GR-AA	
				SHEET #	
				C4	
				JOB #	
				2011071	
RONALD R. BOHANNON P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 855-3100 www.tierrawestllc.com			





1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	AREA OF CONTROL LIMITS
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING GAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

**NOTES FROM PLAT (11/25/1998, 98C-334)**

9. TRACT 3A-1 IS SUBJECT TO A RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS AS DEFINED IN THE REVISED PLAT OF PAVILIONS AT SAN MATEO RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 5, 1996, IN VOLUME 96C, FOLIO 453, FOR THE USE AND BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS SHALL BE BY TRACTS 1A THRU 7A. (REF. 2-95-092)

**NOTES FROM PLAT (11/05/1996, 96C-453)**

9. RECIPROCAL CROSS-ACCESS, CROSS-PARKING, AND CROSS-DRAINAGE EASEMENTS ARE PROVIDED OVER AND ACROSS TRACTS 1A THRU 7A FOR THE USE AND BENEFIT OF SOME TRACTS. MAINTENANCE OF THESE EASEMENTS SHALL BE BY SOME TRACT OWNERS (REF. 2-95-092)
10. "PRIVATE SANITARY SEWER EASEMENTS" ARE FOR THE BENEFIT OF TRACTS 1A THRU 7A. MAINTENANCE OF THESE EASEMENTS IS THE RESPONSIBILITY OF SAME TRACTS.
11. CONSTRUCTION WITHIN AMAFCA EASEMENTS WILL REQUIRE ENCROACHMENT AGREEMENTS PRIOR TO CONSTRUCTION
12. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO PAVILIONS AT SAN MATEO MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT

**SITE LIGHTING:**  
THE PARKING LOT WILL BE ILLUMINATED W/ MAX. 35' HIGH LIGHT POLE MOUNT FIXTURES W/ BAFFLES TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL PACKS WILL BE LOCATED ALONG THE BACKS OF STORES.

**NOTICE TO CONTRACTORS**

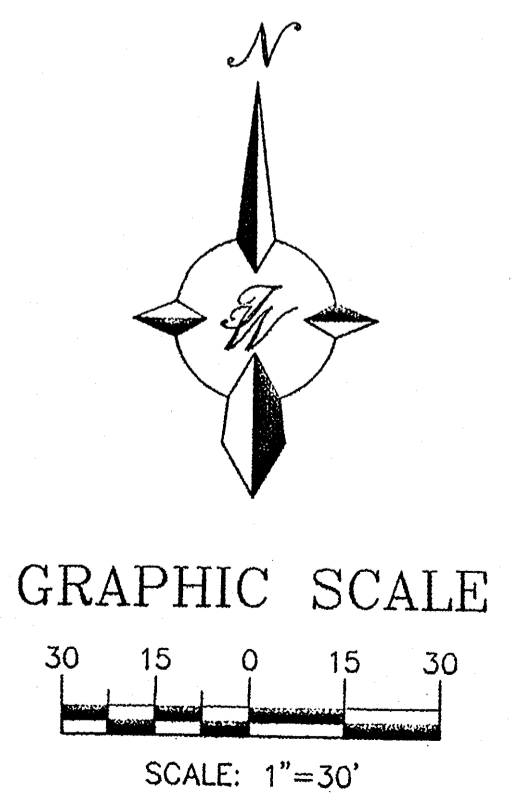
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. REPLACE EXISTING 2" WATER METER WITH A 3" WATER METER & 3" SERVICE LINE TO THE BUILDING.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NO.	DATE	REMARKS	BY
8-22-12		REROUTE SANITARY SEWER SERVICE, ADD GREASE TRAP, RELOCATE FIRE HYDRANT	VC
<b>REVISIONS</b>			
ENGINEER'S SEAL		<b>THE PAVILIONS AT SAN MATEO (TRACT 3A-1)</b>	DRAWN BY
		<b>MASTER UTILITY PLAN</b>	DATE
			2011071-MU-AA
			SHEET #
			<b>C5</b>
RONALD R. BOHANNAN P.E. #7868		<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB #
			2011071

COLOR AND MATERIAL PALETTE

CMU

- Existing split-face CMU field: A blend of 2 colors, (Crego) Burgundy with scoria and (Crego) Tan in a ratio of 3:2 or 2:3 between accent bands of CMU. The ratio will vary with building location.
- Existing smooth CMU accent: (Crego) Petroglyph black with scoria at 4'-0" O.C.
- Existing smooth CMU accent insets at building transitions and insets shall be the following colors:  
(Crego) Burgundy with scoria, (Crego) Tan and (Crego) Petroglyph black with scoria

STUCCO

- Stucco colors shall be one of the following:
- Cobble Brown
  - Exterior Dromedary Camel

TILE

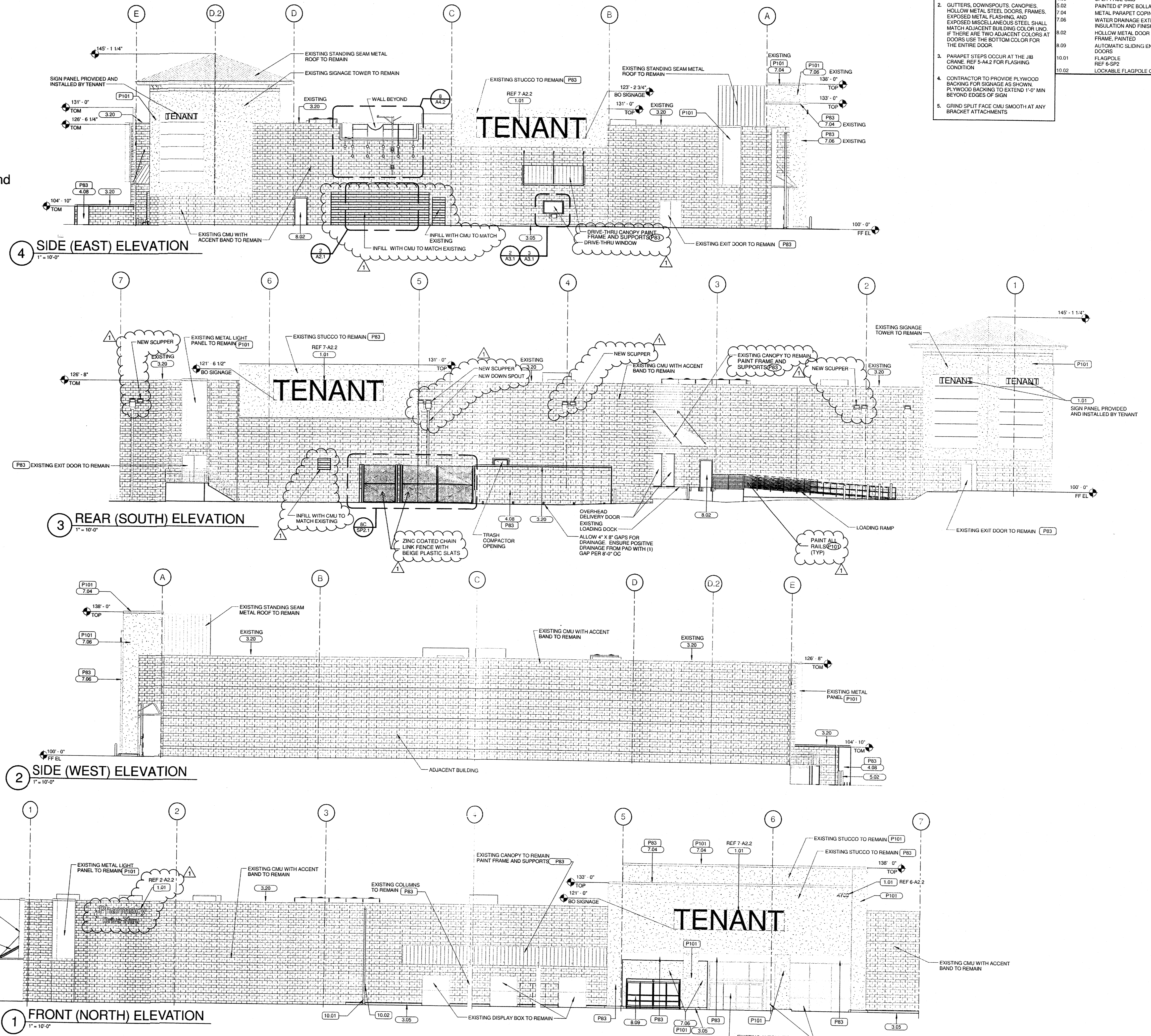
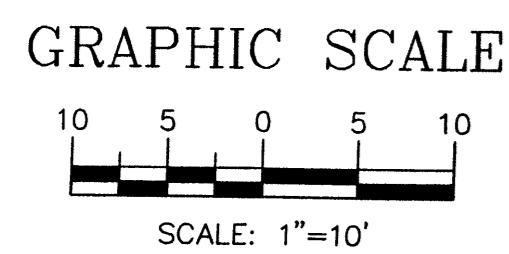
Existing tile accents may be used at entry areas for an accent color. The color shall be similar to storefront colors.

METAL FINISHES

- Existing pitched roof - galvanized metal
- Fascia - galvanized metal
- Existing awnings - galvanized metal
  - Canvas awnings shall be in the color range of storefront finishes.
  - No plastic awnings shall be allowed.
- Cable - galvanized metal
- Brackets - galvanized metal
- Storefront - shall be one of the following Kawneer colors:
  - Sterling gray
  - Metal column enclosures - sterling gray
  - Column capital - sterling gray
  - Metal light panel - exterior dromedary camel

BUILDING SIGNAGE SCHEDULE				
BUILDING SIGNAGE	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
TENANT	3	WHITE	36.00 SF	108.00 SF
PHARMACY DRIVE THRU	1	WHITE	62.68 SF	62.68 SF
<b>SITE SIGNAGE SCHEDULE</b>				
TENANT	2	WHITE	50.00 SF	100.00 SF

Calculations are based on box method



COLOR LEGEND

P83	"COBBLE BROWN" SW #6962
P101	"EXTERIOR DROMEDARY CAMEL" SW #7894 (EXT)

- SHEET NOTES
- DOWNSPUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
  - GUTTERS, DOWNSPOUTS, CANOPIES, HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO. IF THERE ARE TWO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE ENTIRE DOOR.
  - PARAPET STEPS OCCUR AT THE JOB CRANE. REF 5-A4.2 FOR FLASHING CONDITION.
  - CONTRACTOR TO PROVIDE PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND 1'-0" MIN BEYOND EDGES OF SIGN.
  - GRIND SPLIT FACE CMU SMOOTH AT ANY BRACKET ATTACHMENTS.

KEYNOTE LEGEND

1.01	SIGNAGE
3.05	CONCRETE CURB
4.08	REF 9-SP2
5.02	4" PRECAST CONCRETE CAP
7.04	SPLIT FACE CMU
7.06	PAINTED 6" PIPE BOLLARD
8.02	METAL PARAPET COPING
8.09	WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM
10.01	HOLLOW METAL DOOR AND FRAME, PAINTED
10.02	AUTOMATIC SLIDING ENTRANCE DOORS
	FLAGPOLE
	REF 6-SP2
	LOCKABLE FLAGPOLE CLEAT

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CONSULTANTS: **BARR**

TENANT: **ALBUQUERQUE (SAN MATEO), NM**

JOB NUMBER: 87120135 | PHOTO: 41

ISSUE BLOCK

CHECKED BY: \_\_\_\_\_  
 DRAWN BY: BW  
 PHOTO CYCLE: 042712  
 DOCUMENT DATE: 08/10/12

EXTERIOR ELEVATIONS

SHEET: **A2**

## G) MAJOR AMENDMENT

1007872

**PROJECT NUMBER:** 1007872  
**APPLICATION NUMBER:** 12DRB-70324

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9-13-2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.

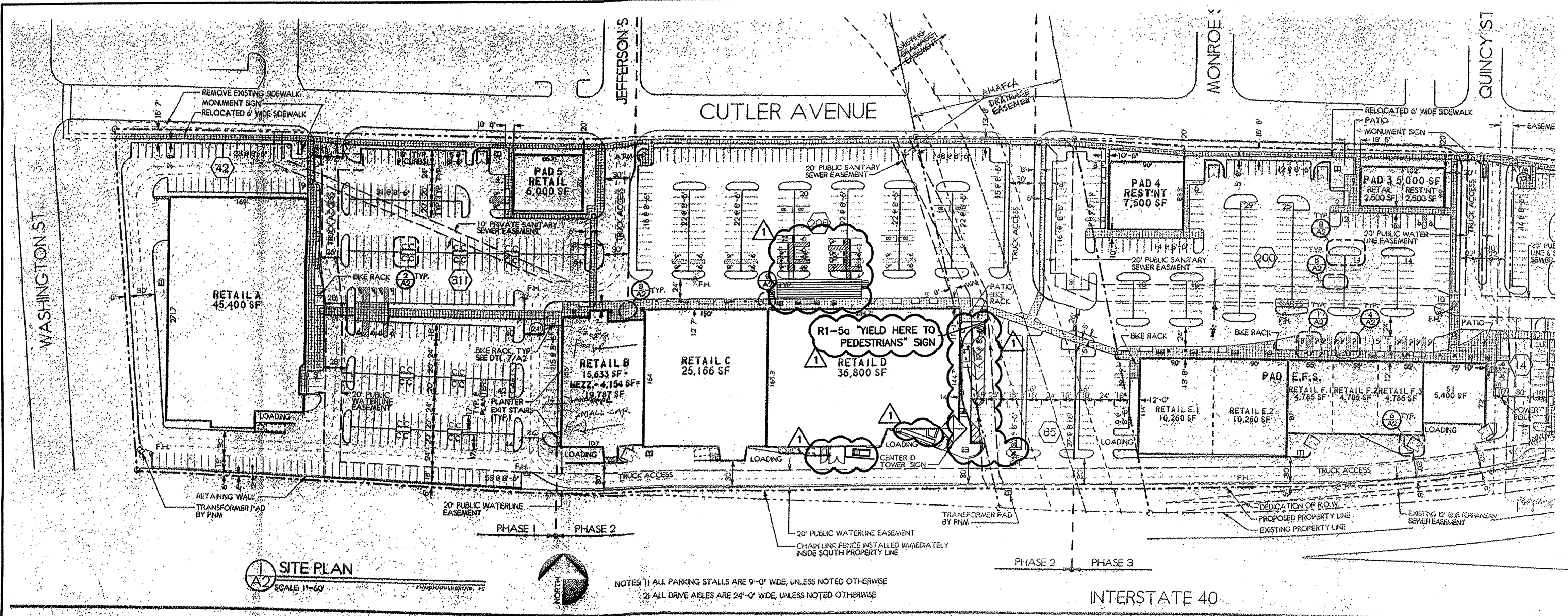
Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	10-17-12
Water Utility Development	10-17-12
Parks & Recreation Department	10-17-12
City Engineer	11-17-12
* Environmental Health Department (conditional)	-
Solid Waste Management	-
DRB Chairperson, Planning Department	10-17-12

\* Environmental Health, if necessary

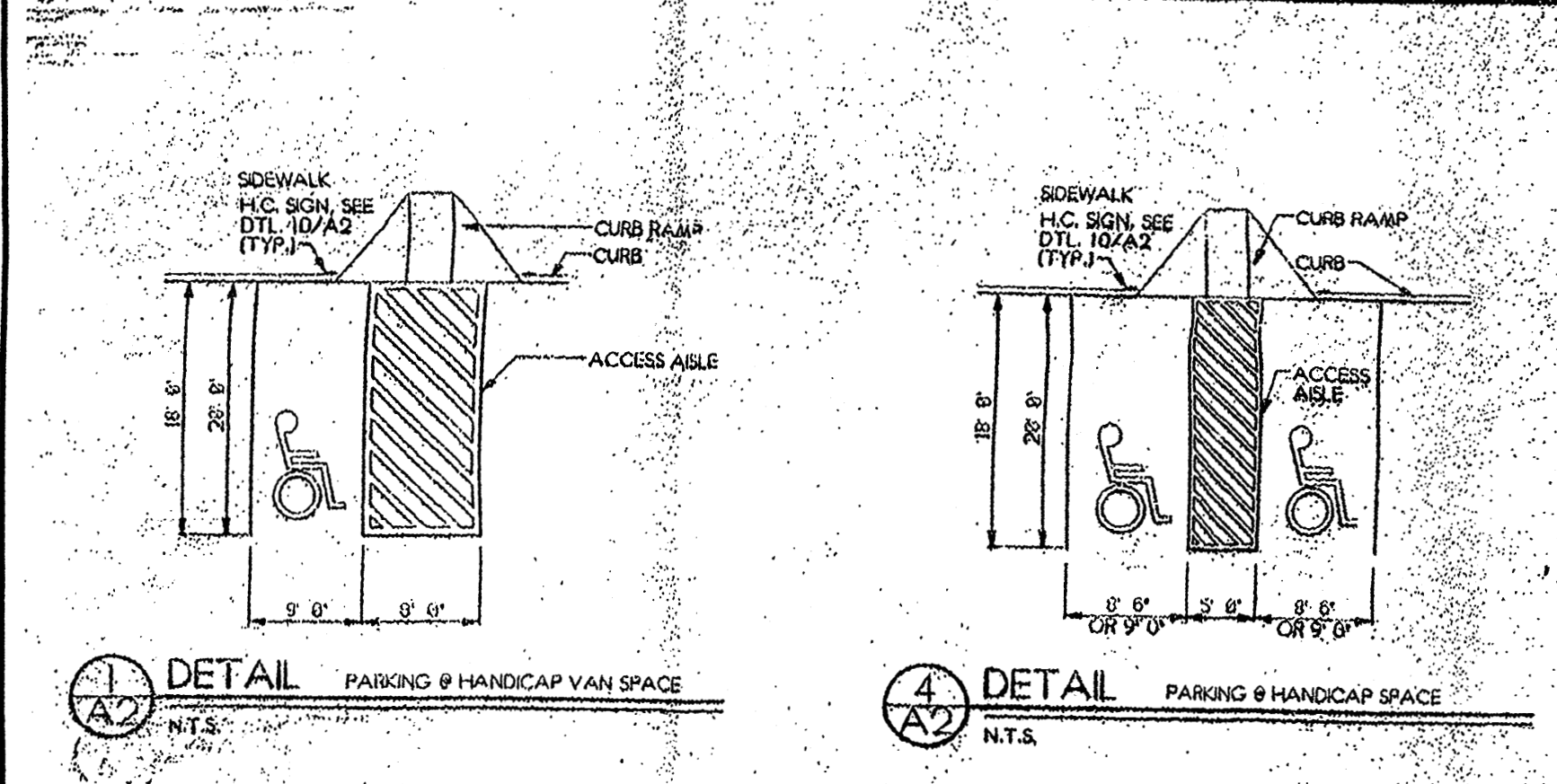
NO.	DATE	REVISIONS
VC		BY
8/22/12		REVISED ADA HANDICAP PARKING, ADDED DRIVE THRU PHARMACY, MOVED DUMPSTER RELOCATION



**1 SITE PLAN**  
SCALE 1"=50'

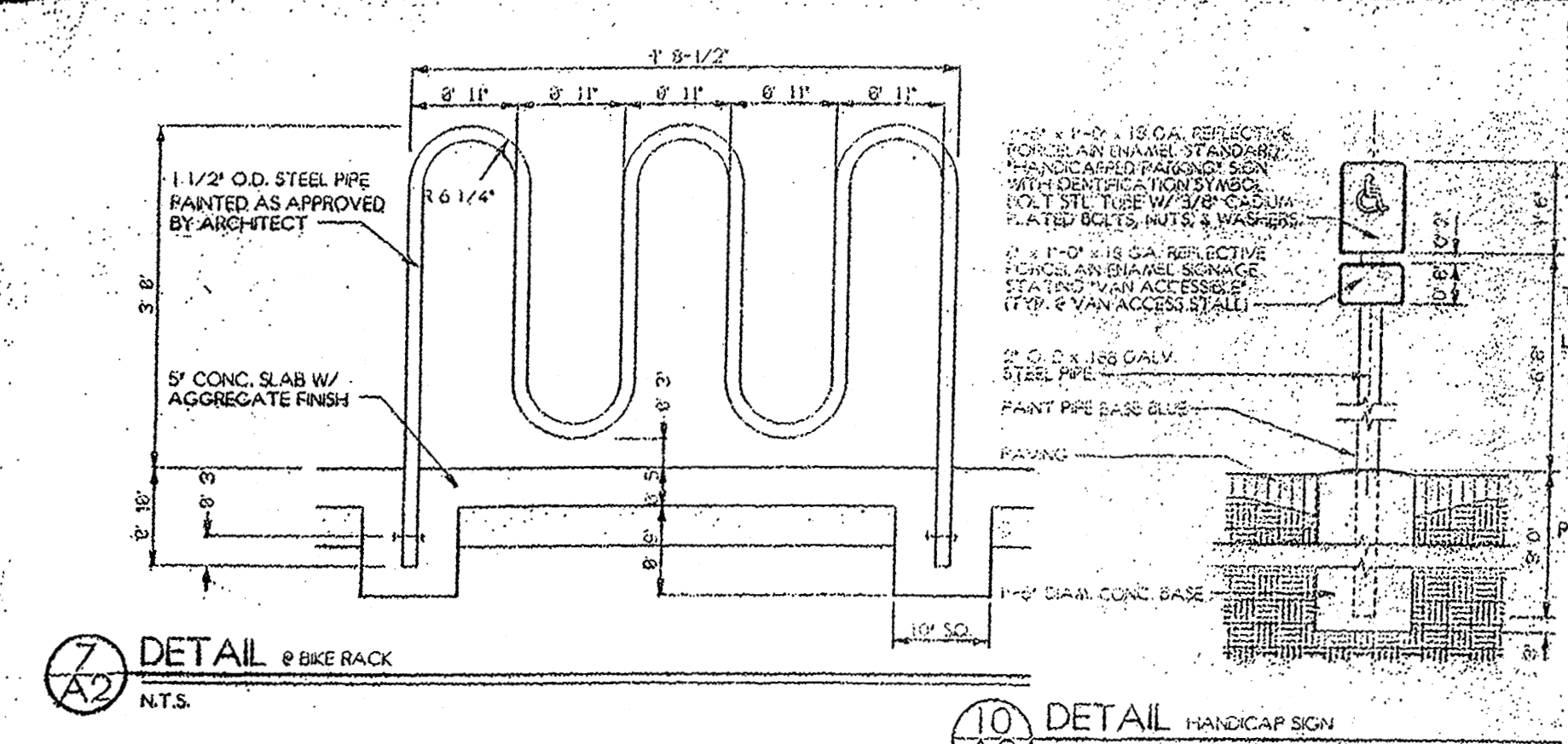
NOTES: 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE  
 2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

Sign standards shall be pursuant to the IDO



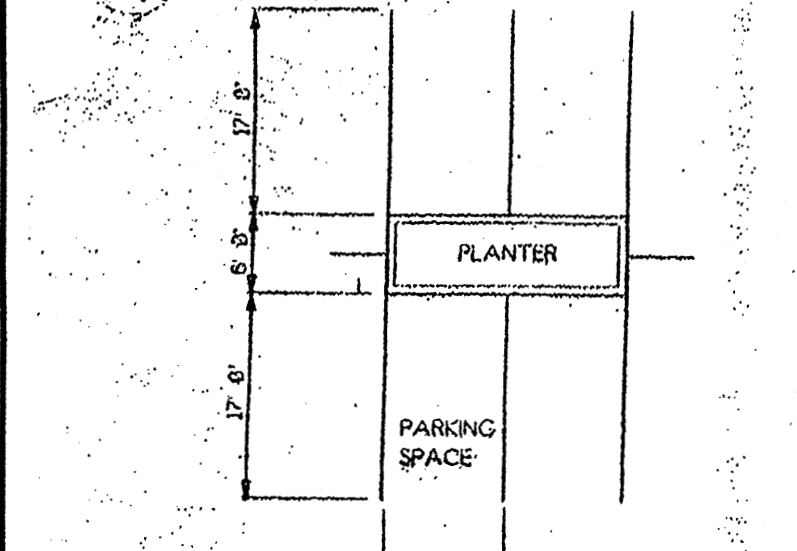
**1 DETAIL** PARKING @ HANDICAP VAN SPACE  
N.T.S.

**2 DETAIL** PARKING @ HANDICAP SPACE  
N.T.S.

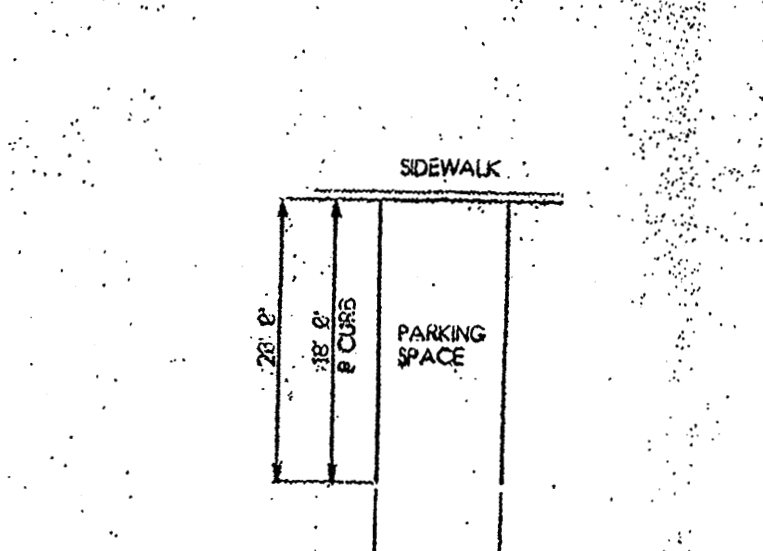


**7 DETAIL** BIKE RACK  
N.T.S.

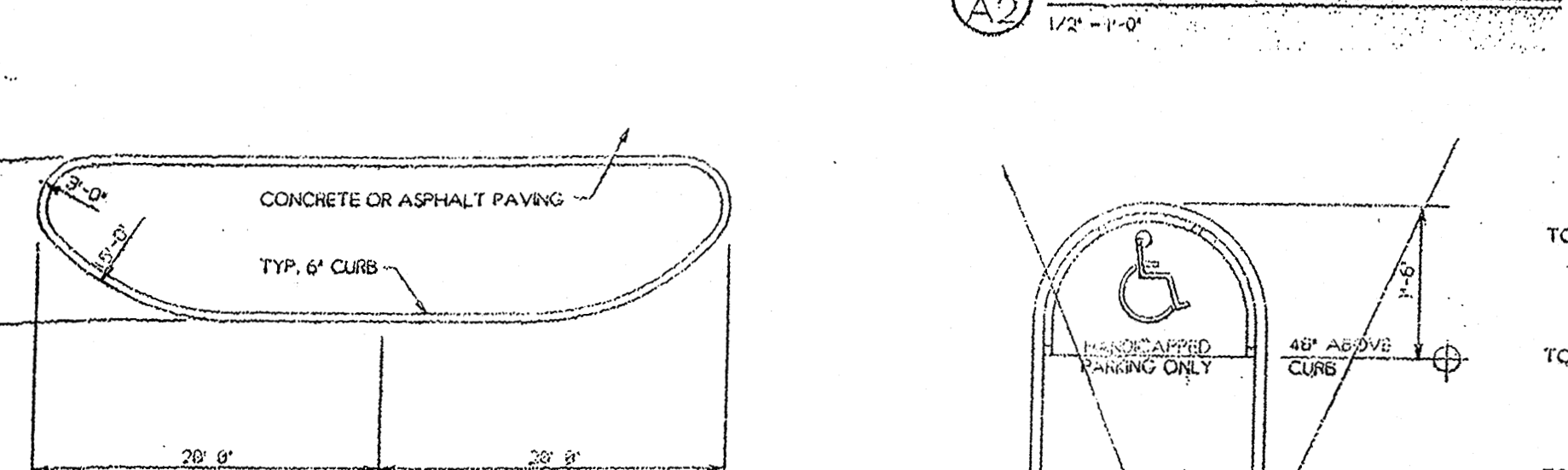
**10 DETAIL** HANDICAP SIGN  
1/2" = 1'-0"



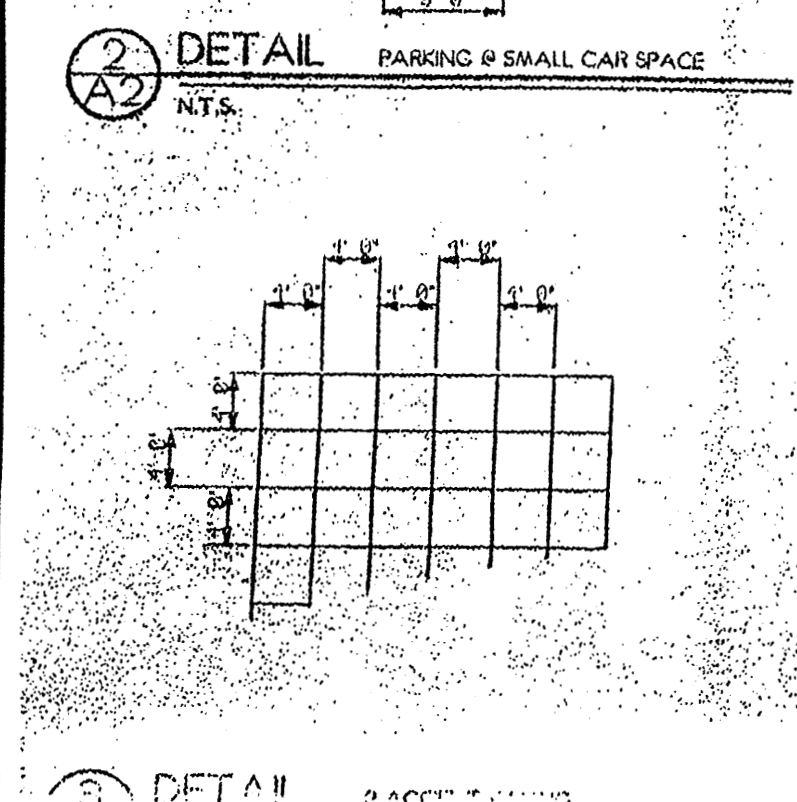
**3 DETAIL** PARKING @ SMALL CAR SPACE  
N.T.S.



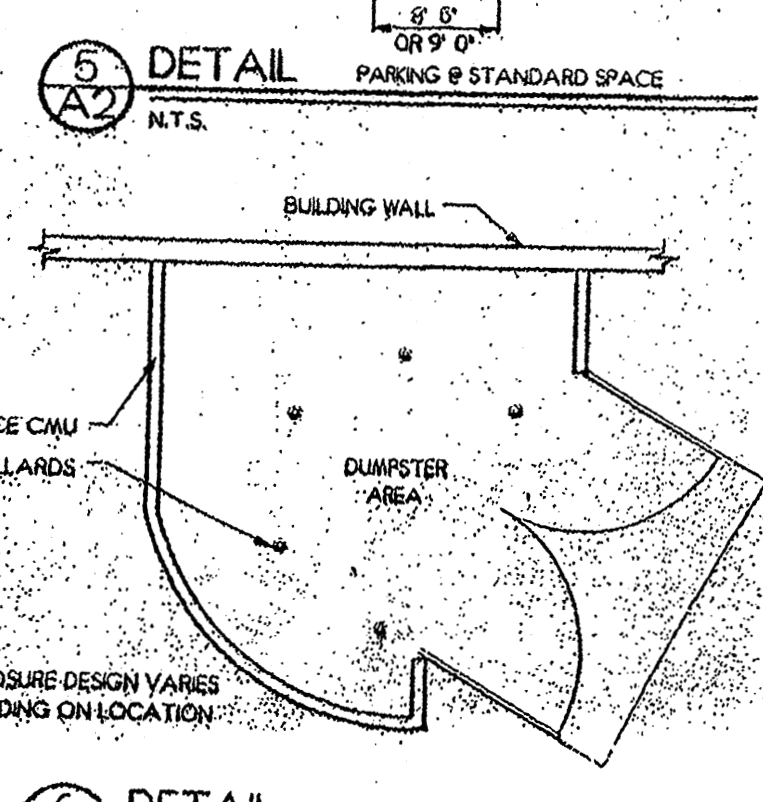
**5 DETAIL** PARKING @ STANDARD SPACE  
N.T.S.



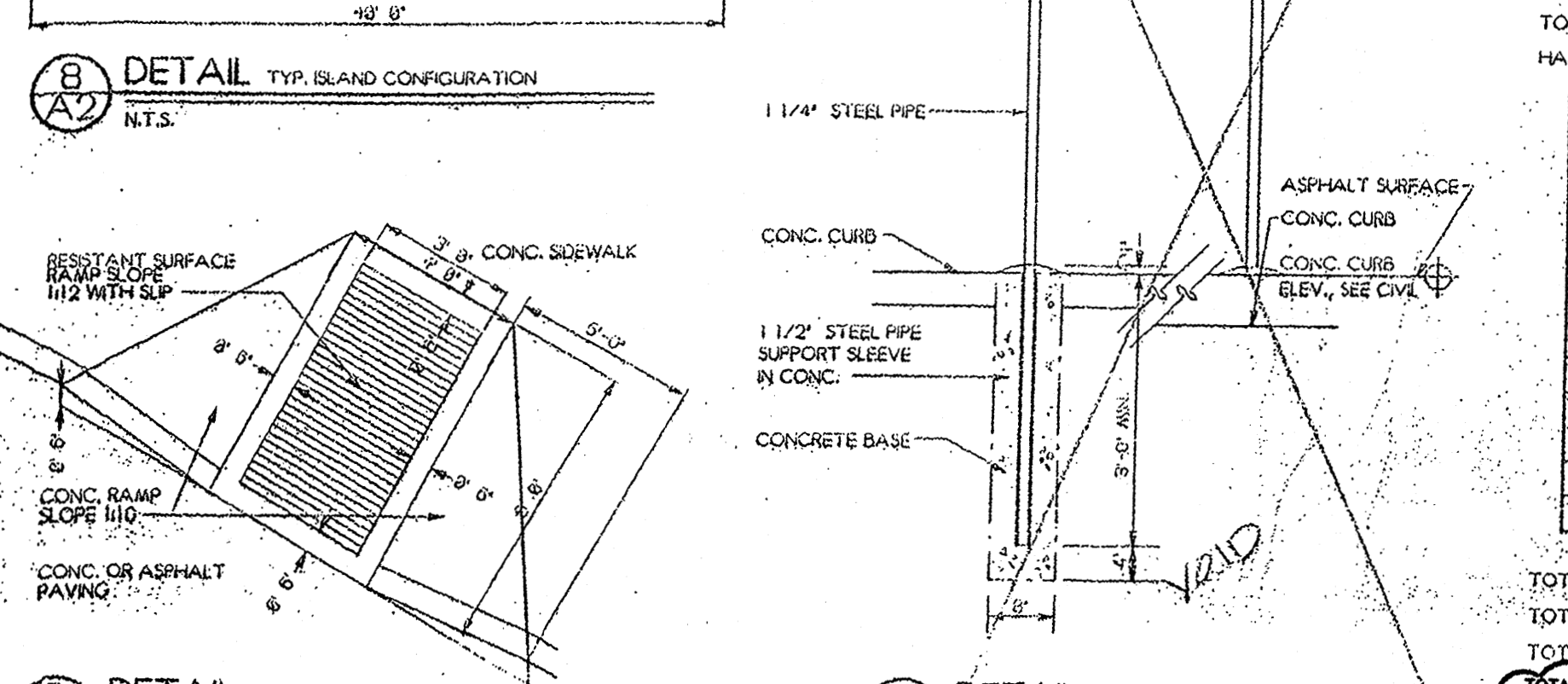
**8 DETAIL** TYP. ISLAND CONFIGURATION  
N.T.S.



**4 DETAIL** ACCESSIBLE RAMP  
N.T.S.



**6 DETAIL** DUMPSTER AREA  
N.T.S.



**9 DETAIL** HANDICAP SIGN  
N.T.S.

**SUMMARY**

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT INCREASE GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	19,0032 ACRES
TOTAL BUILDING AREA	208,960 SF.
TOTAL BUILDING FOOTPRINT	204,814 SF.
LAND/BUILDING (BASED ON FOOTPRINT)	24.74X
PARKING / PAVING AREA	457,971 SF.
LANDSCAPE	109,372 SF. = 17.56%
PARKING REQUIRED	
RETAIL @ 2000 SF/SPACE	180,414 SF. / 903 SPACES
RETAIL (MEZZANINE) @ 500 SF/SPACE	4,154 SF. / 14 SPACES
RESTAURANTS PAD 1	89,000 SF. = 230 SEATS + 3- 74 SPACES
W/ LIQUOR PAD 4	87,500 SF. = 180 SEATS + 9- 60 SPACES
RESTAURANTS W/O LIQUOR	89,040 SF. = 80 SEATS + 4- 13 SPACES
	82,550 S.F. 25 SEATS + 4- 7 SPACES
PADS	82,500 SF. = 44 SEATS + 4- 11 SPACES
TOTAL	165 SPACES
	-917 SPACES
TOTAL SPACES REQUIRED (LESS 10% BUS LANE CREDIT)	1082 SPACES
	-108 SPACES
	974 SPACES

**2 GENERAL NOTES**

**1 SIGNAGE:**  
 ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY, INDIVIDUALLY FIT LETTERS 3'-6" HIGH MAXIMUM @ 18" SPACES AND 3/4" HIGH @ 24" SPACES AND PAD BUILDINGS. SEE PAD BLDG. DESIGN GUIDELINES BELOW FOR OTHER NOTES.

**2 ACCESS/EASEMENTS:**  
 \*CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLAT (IN EVENT OF PAD PARCEL SALES)

**3 DRIVE-UP SERVICE WINDOWS:**  
 \*ONLY ONE DRIVE-UP SERVICE WINDOW IS PERMITTED, UNLESS OTHERWISE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION THROUGH AN AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

**3 PHASING:**

IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BUILDINGS SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:

**PHASE 1:**  
 RETAIL 'A' BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.

**PHASE 2:**  
 RETAIL 'B' & 'C' BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.

**PHASE 3:**  
 ANY INDIVIDUAL PAD BUILDING COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.

**4 DRAINAGE PLAN:**

The drainage and grading concepts for this amended site development plan substantially conform to the concepts developed under the original site development plan submitted. Prior to permit issuance, the developer shall submit a final drainage plan to the City for review and approval. This amended site plan information. Since work in the field is ongoing at this time, the site contractor shall be responsible for any changes to the drainage and grading.

**The Pavilions at San Mateo**

**SITE PLAN / SITE DETAILS**

**1 992 4616 SPACES**  
**51 44 SPACES ABOVE 5.14%**

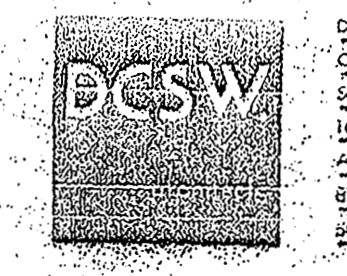
BLDG. PAD	SPACES REQ'D
RETAIL A	8
RETAIL B	4
RETAIL C	6
RETAIL D	8
RETAIL E	4
RETAIL F	1
RETAIL S1	2
RETAIL S2	2
P1	4
P2	2
P3	1
P4	1
P5	2

TOTAL H.C. SPACES REQ'D: 59 SPACES  
 TOTAL H.C. VAN SPACES REQ'D: 7 SPACES  
 TOTAL H.C. SPACES PROVIDED: 58 SPACES  
 TOTAL H.C. VAN SPACES PROVIDED: 9 SPACES  
 MOTORCYCLE SPACES PROVIDED: 2 SPACES

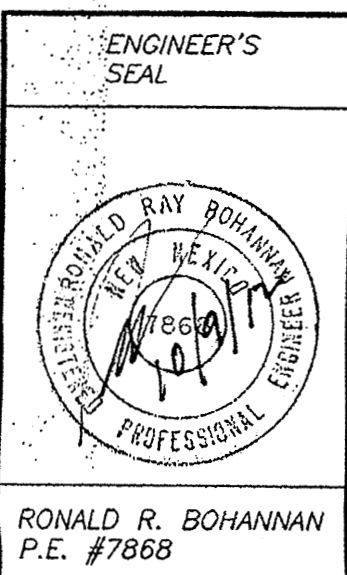
**KITCHELL DEVELOPMENT**

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**GREENBERG FARROW ARCHITECTURE ARCHITECTS & ENGINEERS P.L.L.C.**  
 16101 RED HILL AVENUE, SUITE 200  
 TUSTIN, CALIFORNIA 92680  
 TEL: (714) 260-0200 FAX: (714) 260-0201



**DESIGN COLLABORATIVE SOUTHWEST INC.**  
 105 4TH ST. SW  
 ALBUQUERQUE, NM 87102  
 505-262-0200



**RONALD R. BOHANNAN**  
P.E. #7868