



Environmental Planning Commission

Agenda Number: 1
Project #: 2022-007872
Case #: SI-2024-00674
Hearing Date: July 18, 2024

Staff Report

Agent	Barghausen Consulting Engineers Inc.
Applicant	Dutch Bros Coffee
Request	Site Plan EPC, Major Amendment
Legal Description	All or a portion of Tract C-1-A Plat of Tracts C-1-A thru C-1-E Academy Acres Unit 17; Tract C1C1A and Tract C1C1B Plat of Tracts C1C1A & C1C1B Academy Acres Unit 17; Tracts C-1-C-2 Academy Acres Unit 17 Plat of Tracts C-1-C-1 & C-1-C-2 Academy Acres.
Location	7330 San Antonio Dr. NE
Size	Approximately 3.5 acres
Existing Zoning	MX – L

Staff Recommendation

APPROVAL of Project # 2022-007872 SI#-2024-00674 based on the Findings 1-15 and subject to the Conditions of Approval 1-5 within this report.

Staff Planner
Rachel Gross, Planner
Vicente Quevedo, Senior Planner

Summary of Analysis

This request was deferred for 30 days from the June 20, 2024 EPC hearing to address comments from hydrology. The request amendment is to allow the development of a restaurant with drive thru on the subject site. The amendment will allow for a redevelopment of a vacant parcel, which was previously a gas station. The site is currently zoned MX-L (mixed use low-intensity zone district) in which a restaurant with a drive thru is a permissible use. The applicant notified the neighborhood associations and property owners as required. There is no known opposition. Staff recommends approval subject to conditions of approval.

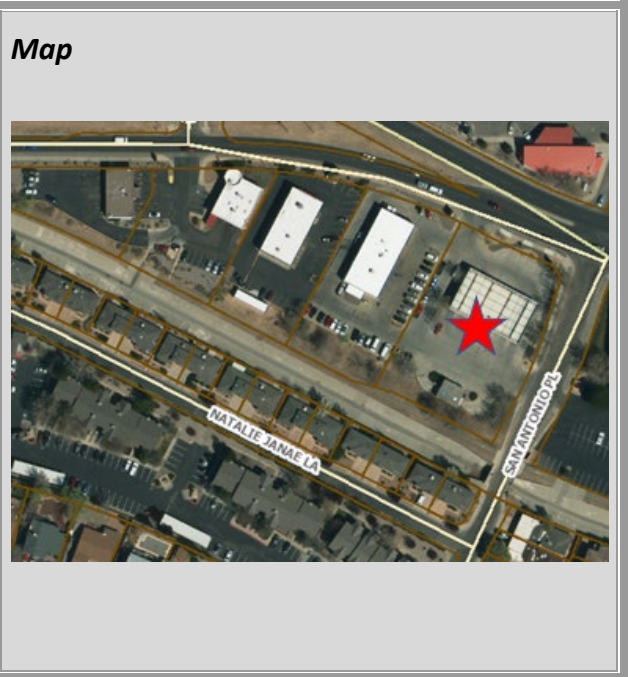
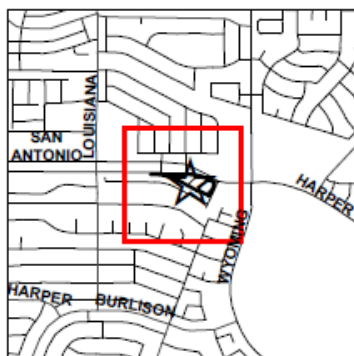
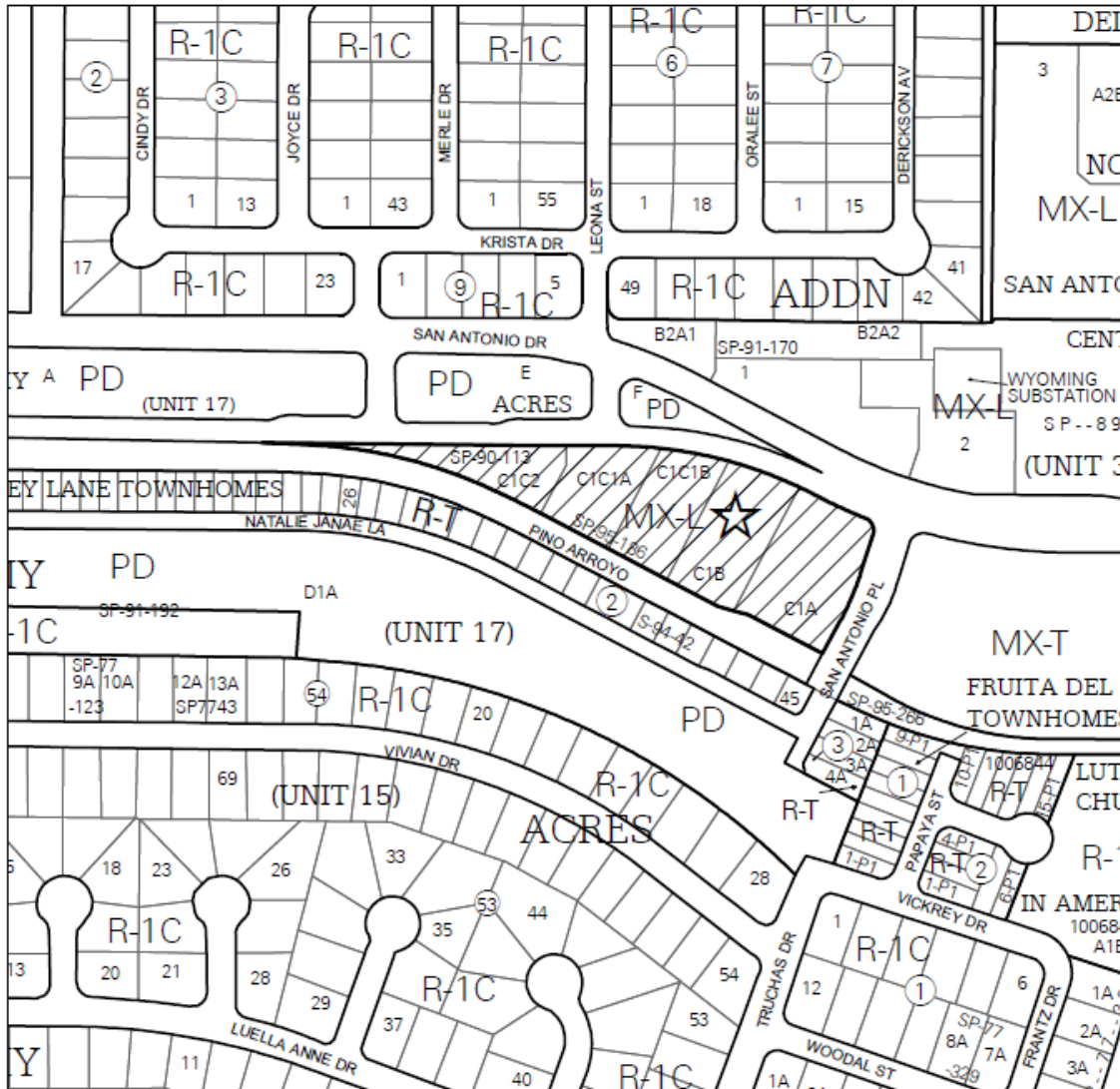


Table of Contents

I. MAPS	1
AERIAL MAP	1
IDO ZONING MAP	2
LAND USE MAP	3
HISTORY MAP	4
PUBLIC FACILITIES / COMMUNITY SERVICES	5
II. INTRODUCTION	6
REQUEST	6
EPC ROLE	6
HISTORY/BACKGROUND	7
CONTEXT	7
ROADWAY SYSTEM	7
BIKEWAYS / TRAILS	8
TRANSIT	8
III. ANALYSIS OF CITY PLANS AND ORDINANCES	8
ALBUQUERQUE / BERNALILLO COUNTY COMPREHENSIVE PLAN (RANK 1)	8
<i>Comprehensive Plan Designations</i>	8
<i>Applicable Goals & Policies</i>	8
INTEGRATED DEVELOPMENT ORDINANCE (IDO)	11
<i>IDO Zoning</i>	12
<i>Definitions</i>	12
IV. MAJOR AMENDMENT TO SITE PLAN	13
REQUEST	13
DIMENSIONAL STANDARDS	14
ACCESS AND CONNECTIVITY	14
PARKING	15
LANDSCAPING	15
WALLS AND FENCES	15
OUTDOOR LIGHTING	15
NEIGHBORHOOD EDGES	16
BUILDING DESIGN	16
SIGNS	16
V. AGENCY & NEIGHBORHOOD CONCERNS	16
REVIEWING AGENCIES	16
NEIGHBORHOOD/PUBLIC	17

VI. CONCLUSION.....	17
FINDINGS, SITE PLAN	18
RECOMMENDATION.....	23
CONDITIONS OF APPROVAL.....	23
AGENCY COMMENTS.....	25
 ATTACHMENTS	
A) PHOTOGRAPHS	A
B) HISTORY.....	H
C) APPLICATION INFORMATION.....	I
D) STAFF INFORMATION	J
E) PUBLIC NOTICE.....	K
F) NEIGHBORHOOD MEETING REPORT.....	L
G) PUBLIC COMMENT	M
H) PROPOSED SITE PLAN.....	N
I) CONTROLLING SITE PLAN.....	O

IDO Zoning Map



IDO ZONING MAP

Note: Gray shading indicates County.

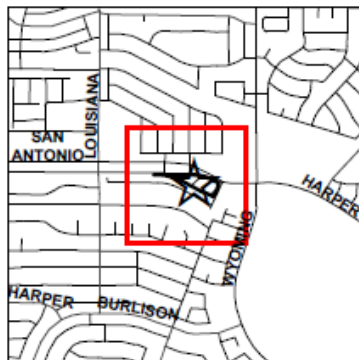


1 inch = 250 feet

Hearing Date:
6/20/2024
 Project Number:
PR-2022-007872
 Case Numbers:
SI-2024-00674

Zone Atlas Page:
E-19

Land Use Map



LAND USE MAP

Note: Gray shading indicates County.

- Key to Land Use Abbreviations**
- LDRES | Low-density Residential
 - MULT | Multi-family
 - COMM | Commercial Retail
 - CMSV | Commercial Services
 - OFC | Office
 - IND | Industrial
 - INSMED | Institutional / Medical
 - ED | Educational
 - APRT | Airport
 - TRANS | Transportation
 - AGRI | Agriculture
 - PARK | Parks and Open Space
 - VAC | Vacant
 - UTIL | Utilities
 - CMTY | Community
 - KAFB | Kirtland Air Force Base

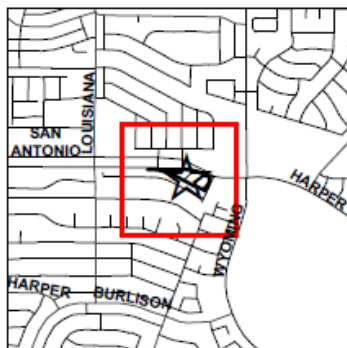
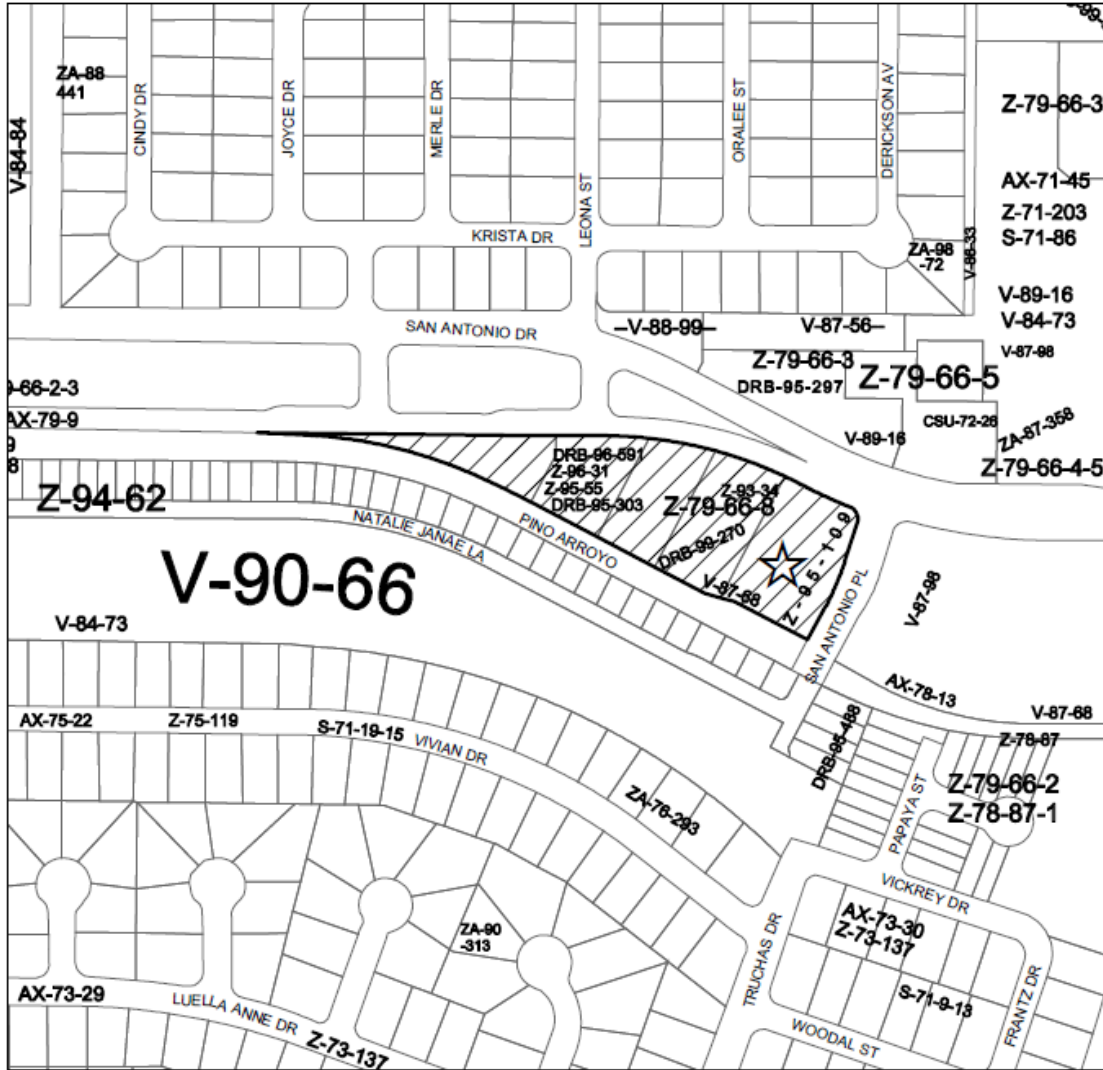


1 inch = 250 feet

Hearing Date:
 6/20/2024
 Project Number:
 PR-2022-007872
 Case Numbers:
 SI-2024-00674

Zone Atlas Page:
 E-19

History Map



HISTORY MAP

Note: Gray shading
 Indicates County.

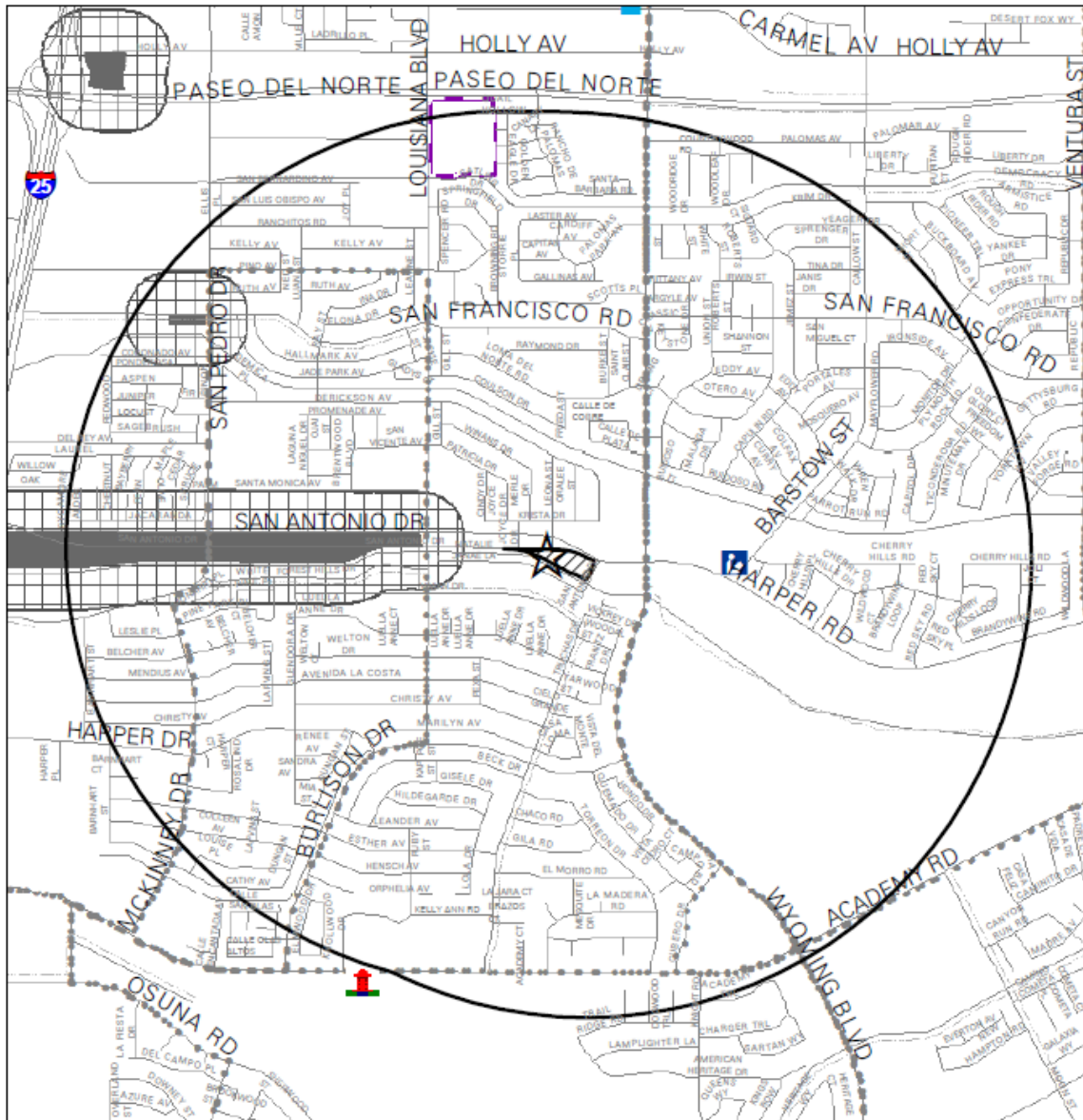


1 inch = 250 feet

Hearing Date:
 6/20/2024
 Project Number:
 PR-2022-007872
 Case Numbers:
 SI-2024-00674

Zone Atlas Page:
 E-19

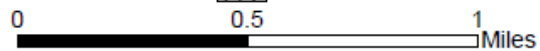
Public Facilities / Community Services



Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

Project Number: PR-2022-007872



II. Introduction

	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
<i>Subject Site</i>	MX – L	Area of Change	Commercial Retail
<i>North</i>	MX – L, PD	Area of Change	Commercial Service/ Office
<i>South</i>	R - T	Area of Change	S. Pino Arroyo, Low-density Residential
<i>East</i>	MX - T	Area of Change	Office
<i>West</i>	R – T, PD	Area of Change	Commercial Retail / Services

Request

The request is for a Site Plan EPC Major Amendment to the controlling approximately 3.5-acre Wyoming Commercial Complex Site Development Plan for Subdivision for an approximately 1.0-acre site legally described as all or a portion of Tract C-1-A, Plat of Tracts C-1-A thru C-1-E Academy Acres Unit 17, located at 7330 San Antonio Dr. NE, between San Antonio Dr. NE and San Antonio Place NE (the “subject site”). The requested will result in a restaurant with drive-thru use on the subject site, which is being reviewed as a new Site Plan as part of this request.

The site is currently zoned MX-L (Mixed-use low intensity). For the purposes of this request, staff has reviewed the proposed Site Plan pursuant to development standards listed on the controlling SDP and the MX-L zone district.

EPC Role

The EPC is hearing this request because the controlling Wyoming Commercial Complex Plan for Subdivision was originally approved by the EPC in 1979 (Z-79-66). Any major amendments to the approved site development plan for subdivision must be reviewed by the EPC to ensure compliance with Subsection 14-16-6-6(l)(3)(a)-(g) of the Integrated Development Ordinance (IDO).

The decision-making body may impose conditions necessary to ensure compliance with the development standards of the controlling site plan and where silent the IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(l).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

History/Background

The subject site was first developed under the design standards of the Wyoming Commercial Complex Site Plan for Development that was approved by the EPC in 1990 (case number, Z-79-66-8, and Notice of Decision 4-16-1990). The controlling site plan established a gas station with a car wash (building has been demolished) on the subject site, which has since closed down and the site remains unused save for overflow parking from the adjacent auto shop. The site is vacant at the time of this report publishing.

Context

The subject site is located within the controlling Wyoming Commercial Complex site plan. This site plan includes 5 tracts in approximately 3.3 acres, this request is for Tract C-1-A, approximately 1 acre located on the east side along San Antonio Pl NE and San Antonio Dr., a local urban street. The site is located in a developed area within Cherry Hills Village Activity Center, near the Wyoming Blvd, and is characterized by a variety of commercial uses.

Activity Centers incorporate a mix of residential and convenient services at a neighborhood scale, serving neighborhoods within a 20-minute walk or short bike ride. There are residential uses surrounding the Activity Center and subject site to the south and north. West of the site, within the Wyoming Commercial Complex, are Automotive care services, including a jiffy lube and Tire Shop. To the East of the site, is the Cherry Hills Center office complex. North of the site, across San Antonio Dr NE, is a commercial center with various retail adjacent to an Albertsons Market. To the South, the site abuts the Pino Arroyo, across the arroyo is the Acres Academy North residential area. The subject site is within the North Albuquerque Community Planning Area (CPA) and is entirely in an Area of Change.

The Area of Change, as designated by the Comprehensive Plan, is along Wyoming Blvd and within the Cherry Hills Village Activity Center. The subject site is not within the 660 feet buffer of Wyoming Blvd., which is not designated a major transit corridor. The subject site is not located near any transit centers.

Roadway System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classification of roadways.

The LRRS map classifies San Antonio Dr as a minor arterial street that feeds into Wyoming, a Regional Principal arterial street. San Antonio Pl is not designated.

Bikeways / Trails

The Long-Range Bikeway System (LRBS) map, produced by MRCOG, identifies existing and proposed trails.

The LRBS shows the Pino Arroyo Trail, an Existing Multi-Use Trail, paved on the south side of the site along the Pino Arroyo. The LRBS shows a Proposed Bicycle Lane on San Antonio Dr. NE.

Transit

The nearest bus stop to the subject site is stop 1119, on Wyoming Blvd. NE. This bus stop is more than a 600-foot distance from the subject site. The subject site is not located within in any designated Major Transit Corridors and does not have any transit lines adjacent to it.

III. Analysis of City Plans and Ordinances

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located wholly in an Area of Change as designated by the 2017 Albuquerque Comprehensive Plan. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation. The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. by focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Applicable Goals and Policies are listed below. IDO section 14-6-6(I)(3)(a) requires that any application for a Site Plan – EPC be consistent with the ABC Comp Plan, as amended. Staff analysis follows in bold italic text. In this case, the Goals and policies below were included by the applicant in the justification letter.

Comprehensive Plan Designations

The subject site is not within or adjacent to a designated Corridor per the Albuquerque Comprehensive Plan.

The subject site is in a designated Activity Center, the Cherry Hills Village Activity Center. Activity Centers incorporate a mix of residential and convenient services at a neighborhood scale, serving neighborhoods within a 20-minute walk or short bike ride.

Applicable Goals & Policies

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request will enhance, protect, and preserve distinct communities by redeveloping an underutilized site according to design standards contained within the controlling Wyoming Commercial Complex Site Development Plan for Subdivision and IDO as

required, within a designated mixed-use commercial area. **The request is consistent with Goal 4.1 - Character.**

POLICY 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request will result in the redevelopment of a site that has been underutilized for a significant amount of time. The proposed development will adhere to the design standards of the EPC approved Wyoming Commercial Complex Site Development Plan for Subdivision and the IDO where the site plan is silent, thereby protecting the identity and cohesiveness of the surrounding neighborhood. The proposed development will also be at an appropriate scale for the area. **The request is consistent with Policy 4.1.2. Identity and Design.**

Goal 4.2 Process: Engage communities to identify and plan for their distinct character and needs.

Although a facilitated meeting was offered to affected neighborhood associations, the applicant has not demonstrated, via the requested action, an effort to engage the nearby residential community to identify and plan for their distinct character and needs. **The request is not consistent with Goal 4.2 – Process.**

POLICY 4.2.2 Community Engagement: Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents. [ABC] Engage communities to help identify, build, and strengthen distinct identity and sense of community. [A]

The request would result in the development of a restaurant with a drive thru lanes. While the applicant has stated that customer orders will be taken in person rather than via traditional speaker boxes to facilitate personalized interactions, it is unclear from a planning perspective how these interactions will serve identify and address the needs of all residents. **The request is partially consistent with Policy 4.2.2 Community Engagement.**

Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request will result in the development of a restaurant with drive thru on the subject site which is located within the Cherry Hills Village Activity Center and is connected by a multi-modal network of Corridors via the Pino Arroyo paved multi-purpose Trail that runs along the southern edge of the subject site and connects directly to the Wyoming Boulevard Multi-modal Corridor east of the subject site. **The request is consistent with Goal 5.1 Centers and Corridors.**

POLICY 5.1.6 Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses. [ABC]

The request would result in fostering development within the designated mixed-use Cherry Hills Village Activity Center. The Wyoming Commercial Complex Site Development Plan for Subdivision includes a range of services and amenities that the request would contribute to. Additionally, the restaurant use will be accessible via multi-modal transportation means. **The request is consistent with Policy 5.1.6 Activity Centers.**

Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

POLICY 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel. [ABC]

The request would result in a restaurant use on the subject site that would be accessible by pedestrians and includes walk up services. The applicant would also improve existing sidewalks on and along the edges of the subject site. The subject sites close proximity to nearby RT zoned residential uses along with the pedestrian related improvements on the subject site will ensure convenient and comfortable pedestrian travel to and from the restaurant use. **The request is consistent with Policy 7.2.1 Walkability.**

POLICY 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located. [ABC]

The request would result in a restaurant use with a drive thru on a site that has been underutilized for a significant amount of time, and that will conform to the design standards of the controlling Wyoming Commercial Complex Site Development for Subdivision and IDO as required and thereby blending in style and building materials with surrounding commercial structures of the block in which it is located. **The request is consistent with Policy 7.3.4 – Infill.**

Goal 8.1 Placemaking: Create places where business and talent will stay and thrive.

The request will result in establishing a business on the subject site that has been underutilized for some time. The applicant states that an average of 34 jobs (full and part time) will be created as a result of the request, and will be open to recruiting local talent from the surrounding residentially zoned neighborhoods. **The request is consistent with Goal 8.1 - Placemaking.**

POLICY 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy. [ABC]

The request will serve to foster a robust and resilient economy by redeveloping a site that has been underutilized for a significant amount of time and potentially offering employment opportunities for surrounding residents that may improve their quality of life. **The request is consistent with Policy 8.1.2 Resilient Economy.**

Integrated Development Ordinance (IDO)

The application for this request was submitted subsequent to the effective date on May 17, 2018 of the Integrated Development Ordinance and is therefore subject to its regulations and processes. However, per IDO section 14-16-1-10(A)A Pre-IDO Approvals, the design standards contained within the controlling Wyoming Commercial Complex Site Development Plan for Subdivision prevail. Where the site development plan is silent, IDO standards apply.

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

6-6(I)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The site is zoned as Mixed-Use Low Intensity (MX-L); therefore, 6-6(I)(3)(b) does not apply.

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.
23204.003-Narrative

The subject site is within the Wyoming Commercial Complex Site Development Plan for Subdivision (EPC Z-79-66-8). The major amendment will result in a restaurant with drive thru use on Tract C-1-A. The associated site plan complies with all applicable site standards in the controlling site plan. Future reviewers shall check the site plan for standards; where the controlling site development plan is silent, the site plan is required to comply with all applicable provisions of the IDO. The site plan shall comply with the DPM and all other adopted City regulations.

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The subject site is currently served by infrastructure, and the site will have adequate capacity once the proposed restaurant with drive thru development has been constructed. It is using existing infrastructure from the previous development including utilities, driveways, internal drive aisles, sidewalks, and a trash enclosure. Sidewalks that have been damaged due to surrounding tree roots will be repaired to ensure customers can access the public right-of-way and nearby trail system.

6-6(l)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The request will ensure that any significant adverse impacts on the site are mitigated by maintaining and preserving positive flow of vehicles, pedestrians, and the necessary infrastructure. The modification to the Site Plan includes re-development of one site to include a Dutch Bros Coffee. The Dutch Bros Coffee building is similar in scope to the existing development. Approximately 370 feet of stacking space is available behind the drive-through window for traffic flow, designed to accommodate 18 vehicles. An approved Traffic Circulation Layout will be required with each newly developed lot.

6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan.

6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(e) (Cumulative Impacts) and 14-16-6-4(h) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property does not require a Cumulative Impact Analysis.

IDO Zoning

The site plan is consistent with the MX-L zone district, which the EPC approved during the March 15, 1990 EPC hearing. Pursuant to IDO section 14-16-2-4(b) Mixed-use – low intensity zone district (MX-L), a restaurant with a drive thru is a permissive use.

Definitions

Area of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and

development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Mixed-use Zone District: Any zone district categorized as Mixed-use in Part 14-16-2 of the IDO.

IV. Major Amendment to Site Plan

Request

This request is for a Site Plan- EPC Major Amendment to the controlling Wyoming Commercial Complex Site Development Plan for Subdivision. The proposed amendment would allow the development of a restaurant with drive thru on Tract C-1-A. Where the controlling SDP is silent on Development Standards, the IDO development Standards apply pursuant to IDO section 14-16-1-10(A) Pre-IDO Approvals.

The proposed amendment includes a Site Plan for the proposed restaurant with drive thru on Tract C-1-A which is an approximately 1-acre portion of the SDP. The Site Plan is consistent with the Site Plan for Subdivision standards and applicable IDO development standards.

The proposed Site Plan includes new development, as follows:

- A 950 SF Restaurant with Drive thru
- Site work including: parking, landscaping, utilities, grading and drainage, and signage, etc.

The proposed Site Plan is required to follow all applicable Standards outlined in the Controlling Site Development Plan for Subdivision pursuant IDO section 14-16-1-10(a) which states that: Any approvals granted prior to the effective date of this IDO shall remain valid and that any use standards or development standards associated with any pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any provision of this IDO. Where those approvals are silent, provisions in the IDO shall apply.

If this request is approved, the Site Plan would go to the DFT for final Sign-off.

Pursuant to IDO Section 14-16-6-4(q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(j).

The request was originally scheduled to be heard at the June 20, 2024 EPC hearing. The request was deferred for 30 days to ensure compliance with all site plan requirements. For the purposes of this request, staff has reviewed the proposed site plan against the controlling SDP, the IDO and the MX-L zone district. Staff has drafted and included conditions of approval for EPC review and final decision.

Dimensional Standards

The controlling site plan is silent in regard to building height and setbacks. The Dimensional Standards are pursuant IDO section 14-16-5-1 and are as follows:

Setbacks

- Front, minimum: 5 ft.
- Front, maximum: 15 ft.
- Side, minimum Interior: 0 ft.; Street side of corner lots: 5 ft.
- Side, maximum Interior: N/A; Street side of corner lots: 15 ft.
- Rear, minimum: 15 ft.; 0 ft. where rear lot line abuts a street or alley
- Rear, maximum N/A

Building Height

- 38 ft. maximum

The proposed Site Plan Meets the applicable standards of setbacks and building height.

Access and Connectivity

The Site Plan maintains the original access points off of San Antonio Dr and San Antonio Pl into the subject site.

Vehicular Access: The drive aisle on the Northwest side of the subject site allows access to the parking lot on its westernmost egress point. Continuing northward allows access

to the drive thru queue lanes circulating around the building. The north corner access to the drive aisle will serve as an exit only for restaurant staff and customers.

Pedestrian Access: The Site Plan is located adjacent to the Pino Arroyo Multi-Use Trail, and proposes restoration and extension of the existing sidewalk access along the N/E and S/W sides of the site.

Parking

Parking requirements: The controlling site plan is silent in regards to parking requirements; therefore, the site plan must comply with the commercial use requirements in the IDO (14-16-5-5) as follows:

- A total of 6 Parking spaces and 1 ADA space are required; the applicant has exceeded the minimum requirements by providing 12 regular spaces, 1 ADA space, and 2 motorcycle spaces.
- A total of 3 spaces or 10% of required off-street parking spaces is required; The applicant has provided 3 “U” type bicycle parking near the south side of the building to meet this requirement.

Landscaping

The controlling site plan is silent in regard to landscaping standards. The Site Plan proposes Landscaping calculations pursuant to IDO 14-16-5-6 Standards that requires 15% of the net lot area for the subject site. The applicant has exceeded the minimum requirements as calculated below. Additionally, the Landscape Plan provides the proposed location and type of trees and ground cover being provided which is pursuant to the Official Albuquerque Plant Pallet. The landscape plan also notes the existing trees on the site that will be preserved and the roots structures that will be removed. Tree details are provided.

- Net site area: 42,062 sf
- Landscape area required: 6,309 sf (15% of site area)
- Landscape area provided: 10,758 sf (25.6% of site area)

Walls and Fences

The site plan does not propose any walls or fences on the subject site.

Outdoor Lighting

The controlling site plan details a height standard of 18 feet for outdoor lighting, 2 feet below the IDO 14-15-5-8 standard of 20 ft. The proposed lighting fixtures are noted as 18-foot light poles, for a total of 7 outdoor light poles.

Neighborhood Edges

The subject site does not abut a protected lot, or low-density residential zone district.

Building Design

Building Design Standards are pursuant to IDO section 14-16-5-11(e). The proposed building meets applicable façade requirements by incorporating ground floor windows and awnings, all which comprise at least 30% of the horizontal length of each façade facing a street (San Antonio Pl and San Antonio Dr). The site plan provides 2 outdoor seating and gathering areas are identified on the landscaping plan as required by IDO 14-16-5-11(e)(3)(a). A condition of approval will be added requiring the applicant to show the outdoor seating and gathering on the main site sheet, C10.

Signs

Sign Guidelines for the site are pursuant the controlling site plan, Wyoming Commercial Complex. Of the 9 signage criteria outlined on the controlling site plan, the following apply to this request:

- Signs should advertise a place of business; shall be architecturally attractive and contribute to the retention of the character of the area.
- Colorful luminous plastic material is permitted.
- The typeface used on all signs will be consistent with the architectural style of the building.
- Lighting: no lights that flash or blink (internally illuminated)
- When a business name is in itself a business logo, it is exempt from any color restrictions.

Staff has reviewed the proposed signage related to the request. The site plan proposes a total of 7 free standing signs, and 3 building mounted signs. All signage complies with the controlling site plan sign guidelines and IDO standards per Table 5-12-2, (where silent). Of the free-standing signs, three types are detailed: illuminated menu signs, directional signs, and 1 illuminated monument sign.

V. Agency & Neighborhood Concerns

Reviewing Agencies

City departments and other interested agencies reviewed this application. A minimal number of comments were received.

Upon first submittal, Hydrology required additional review and updates to the grading and drainage plan. An updated plan was submitted and subsequently reviewed by the hydrology department with a few notes to include in the conditions of approval.

Transportation Development Services requested and reviewed a Traffic Impact Study in addition to the site plan. Notes were minimal and related to the flow of traffic from San Antonio Dr, updates were made to the site plan and reviewed by staff.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected registered neighborhood organization is the district 4 Coalition of Neighborhood Associations, who were notified as required. The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required.

No additional pre-application meetings were requested, nor has staff been notified of any opposition from neighbors or property owners.

VI. Conclusion

The request is for a Site Plan Amendment to the controlling approximately 3.5 acre Wyoming Commercial Complex Site Development Plan for an approximately 1 acre site legally described as All or a portion of Tract C-1-A Plat of Tracts C-1-A thru C-1-E Academy Acres Unit 17; Tract C1C1A and Tract C1C1B Plat of Tracts C1C1A & C1C1B Academy Acres Unit 17; Tracts C-1-C-2 Academy Acres Unit 17 Plat of Tracts C-1-C-1 & C-1-C-2 Academy Acres, located at 7330 San Antonio Drive on the corner of San Antonio Place and San Antonio Drive (the “subject site”).

The request amendment is to allow the development of a restaurant with drive thru on the subject site. The amendment will allow for a redevelopment of a vacant parcel, which was previously a gas station.

The subject site is located within an Area of Change, in the Cherry Hills Activity Center. The site is currently zoned MX-L (mixed use low-intensity zone district) in which a restaurant with a drive thru is a permissive use.

The affected neighborhood associations were notified and did not respond to a meeting request. Not support or opposition is known at this time.

The applicant has adequately justified the request pursuant to IDO review and decision criteria in section 14-16-6-7(l)(3).

Staff recommends approval to the site plan amendment.

Findings, Site Plan

Project #: 2022-007872 / SI 2024-00674

1. The request is for a Site Plan Amendment to the controlling approximately 3.5 acre Wyoming Commercial Complex Site Development Plan for an approximately 1 acre site legally described as All or a portion of Tract C-1-A Plat of Tracts C-1-A thru C-1-E Academy Acres Unit 17; Tract C1C1A and Tract C1C1B Plat of Tracts C1C1A & C1C1B Academy Acres Unit 17; Tracts C-1-C-2 Academy Acres Unit 17 Plat of Tracts C-1-C-1 & C-1-C-2 Academy Acres, located at 7330 San Antonio Drive on the corner of San Antonio Place and San Antonio Drive (the “subject site”).
2. The subject site is controlled by the Wyoming Commercial Complex Site Plan for Development that was approved by the EPC in 1990 (case number, Z-79-66-8, and Notice of Decision 4-16-1990). The controlling site plan established a gas station with a car wash (building has been demolished) on the subject site, which has since closed down and the site remains unused save for overflow parking from the adjacent auto shop. The site is vacant at the time of this report publishing.
3. The request amendment is to allow the development of a restaurant with drive thru on the subject site. The amendment will allow for a redevelopment of a vacant parcel, which was previously a gas station. The subject site is located within the controlling Wyoming Commercial Complex site plan. This site plan includes 5 tracts in approximately 3.3 acres, this request is for Tract C-1-A, approximately 1 acre located on the east side along San Antonio Pl NE and San Antonio Dr., a local urban street. The site is located in a developed area within Cherry Hills Village Activity Center, near the Wyoming Blvd, and is characterized by a variety of commercial uses.
4. A restaurant with a drive thru is a permissible use within the site’s zoning designation, MX-L (mixed use low-density).
5. The subject site is within the North Albuquerque Community Planning Area (CPA) and is entirely in an Area of Change.
6. Upon first submittal, Hydrology required additional review and updates to the grading and drainage plan. An updated plan was submitted and subsequently reviewed by the hydrology department with a few notes to include in the conditions of approval.
7. The City of Albuquerque Integrated Development Ordinance (IDO) and the Albuquerque Bernalillo County (ABC) Comprehensive Plan are incorporated herein by reference and made part of the record for all purposes.
8. The proposed Site Plan is required to follow all applicable Standards outlined in the Controlling Site Development Plan for Subdivision pursuant IDO section 14-16-1-10(A) which states that: Any approvals granted prior to the effective date of this IDO shall remain valid and that any use standards or development standards associated with any

pre-IDO approval or zoning designation establish rights and limitations and are exclusive of and prevail over any provision of this IDO. Where those approvals are silent, provisions in the IDO shall apply.

9. The attached site development plan has been evaluated for conformance with applicable Goals and Policies in the Comprehensive Plan, and other applicable Plans. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding Community Identity from Chapter 4:

- A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The request will enhance, protect, and preserve distinct communities by redeveloping an underutilized site according to design standards contained within the controlling Wyoming Commercial Complex Site Development Plan for Subdivision and IDO as required, within a designated mixed-use commercial area.

- B. POLICY 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request will result in the redevelopment of a site that has been underutilized for a significant amount of time. The proposed development will adhere to the design standards of the EPC approved Wyoming Commercial Complex Site Development Plan for Subdivision and the IDO where the site plan is silent, thereby protecting the identity and cohesiveness of the surrounding neighborhood. The proposed development will also be at an appropriate scale for the area.

- C. Goal 4.2 Process: Engage communities to identify and plan for their distinct character and needs.

Although a facilitated meeting was offered to affected neighborhood associations, the applicant has not demonstrated, via the requested action, an effort to engage the nearby residential community to identify and plan for their distinct character and needs.

- D. POLICY 4.2.2 Community Engagement: Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents. [ABC] Engage communities to help identify, build, and strengthen distinct identity and sense of community. [A]

The request would result in the development of a restaurant with a drive thru lanes. While the applicant has stated that customer orders will be taken in person rather than via traditional speaker boxes to facilitate personalized interactions, it is unclear from a planning perspective how these interactions will serve identify and address the needs of all residents.

10. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding Centers and Corridors from Chapter 5 Land Use:

- A. Goal 5.1 Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

The request will result in the development of a restaurant with drive thru on the subject site which is located within the Cherry Hills Village Activity Center and is connected by a multi-modal network of Corridors via the Pino Arroyo paved multi-purpose Trail that runs along the southern edge of the subject site and connects directly to the Wyoming Boulevard Multi-modal Corridor east of the subject site.

- B. POLICY 5.1.6 Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses. [ABC]

The request would result in fostering development within the designated mixed-use Cherry Hills Village Activity Center. The Wyoming Commercial Complex Site Development Plan for Subdivision includes a range of services and amenities that the request would contribute to. Additionally, the restaurant use will be accessible via multi-modal transportation means.

11. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goal and Policies regarding Centers and Corridors from Chapter 7 Urban Design:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

- B. POLICY 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel. [ABC]

The request would result in a restaurant use on the subject site that would be accessible by pedestrians and includes walk up services. The applicant would also improve existing sidewalks on and along the edges of the subject site. The subject sites close proximity to nearby RT zoned residential uses along with the pedestrian related improvements on the subject site will ensure convenient and comfortable pedestrian travel to and from the restaurant use.

- C. POLICY 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located. [ABC]

The request would result in a restaurant use with a drive thru on a site that has been underutilized for a significant amount of time, and that will conform to the design standards of the controlling Wyoming Commercial Complex Site Development for Subdivision and IDO as required and thereby blending in style and building materials with surrounding commercial structures of the block in which is it located.

12. The request is wholly or generally consistent with the following ABC Comprehensive Plan Goals and Policies regarding from Chapter 8 Economic Development:

A. Goal 8.1 Placemaking: Create places where business and talent will stay and thrive.

The request will result in establishing a business on the subject site that has been underutilized for some time. The applicant states that an average of 34 jobs (full and part time) will be created as a result of the request, and will be open to recruiting local talent from the surrounding residentially zoned neighborhoods.

B. POLICY 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy. [ABC]

The request will serve to foster a robust and resilient economy by redeveloping a site that has been underutilized for a significant amount of time and potentially offering employment opportunities for surrounding residents that may improve their quality of life.

13. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(l)(3) as follows:

A. 6-6(l)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.

B. 6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

The site is zoned as Mixed-Use Low Intensity (MX-L); therefore, 6-6(l)(3)(b) does not apply.

C. 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property. 23204.003-Narrative

The subject site is within the Wyoming Commercial Complex Site Development Plan for Subdivision (EPC Z-79-66-8). The major amendment will result in a restaurant with drive thru use on Tract C-1-A. The associated site plan complies with all applicable site standards in the controlling site plan. Future reviewers shall check the site plan for standards; where the controlling site development plan is silent, the site plan is required to comply with all applicable provisions of the IDO. The site plan shall comply with the DPM and all other adopted City regulations.

- D. 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

The subject site is currently served by infrastructure, and the site will have adequate capacity once the proposed restaurant with drive thru development has been constructed. It is using existing infrastructure from the previous development including utilities, driveways, internal drive aisles, sidewalks, and a trash enclosure. Sidewalks that have been damaged due to surrounding tree roots will be repaired to ensure customers can access the public right-of-way and nearby trail system.

- E. 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

The request will ensure that any significant adverse impacts on the site are mitigated by maintaining and preserving positive flow of vehicles, pedestrians, and the necessary infrastructure. The modification to the Site Plan includes re-development of one site to include a Dutch Bros Coffee. The Dutch Bros Coffee building is similar in scope to the existing development. Approximately 370 feet of stacking space is available behind the drive-through window for traffic flow, designed to accommodate 18 vehicles. An approved Traffic Circulation Layout will be required with each newly developed lot.

- F. 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan.

- G. 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(e) (Cumulative Impacts) and 14-16-6-4(h) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property does not require a Cumulative Impact Analysis.

14. The applicant provided notice of the application to all eligible Neighborhood Association representatives and adjacent property owners (within 100 feet) via certified mail and email as required. No opposition or support is known at this time. No public comments nor request for neighborhood meeting was received.
15. City departments and other agencies reviewed this application. Transportation Development Services (TDS), and Hydrology submitted the most substantial comments.

TDS noted that the developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Facilitation Team (DFT). An approved Traffic Circulation Layout will be required with each newly developed lot. In accordance with TDS comments, the applicant has submitted a Traffic Impact Study to the TDS department.

Hydrology noted that an updated Grading and Drainage Plan was needed for the site because the site discharges directly into Pino arroyo. The applicant submitted an updated grading and drainage plan to the Hydrology Department in accordance with the comments.

Recommendation

APPROVAL of Project #: 2022-007872 / SI #: 2024-00674, a request for development of a restaurant with a drive thru for All or a portion of Tract C-1-A Plat of Tracts C-1-A thru C-1-E Academy Acres Unit 17; Tract C1C1A and Tract C1C1B Plat of Tracts C1C1A & C1C1B Academy Acres Unit 17; Tracts C-1-C-2 Academy Acres Unit 17 Plat of Tracts C-1-C-1 & C-1-C-2 Academy Acres., based on the preceding Findings and subject to the following Conditions of Approval.

Conditions of Approval

Project #: 2022-007872 / SI #: 2024-00674, Site Plan EPC, Major Amendment

1. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met. Pursuant to IDO section 14-16- 6-6(l)(2)(m) Site Plans shall be reviewed administratively for compliance with conditions of approval, DPM, and zoning standards prior to the issuance of a building permit.
 2. The applicant shall address all comments received from City Hydrology, prior to DFT Final Sign-off, which could include adjustments to the grading and drainage plan that are less than 10% of any numerical threshold
 3. The applicant shall address all comments received from Transportation Development Services prior to DFT submittal.
 4. The site plan page C1 shall be updated to show the outdoor seating and gathering places.
 5. The Site Plan shall comply with the applicable standards in the controlling site development plan and General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.
-

Rachel Gross
Planner

Vicente Quevedo
Senior Planner

Notice of Decision cc list:

List will be finalized subsequent to the EPC hearing.

Agency Comments

PLANNING DEPARTMENT

Long Range Planning

N/A

Hydrology

1. Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215). *
2. Most of this information was provided on the Cover Sheet. However, per the DPM the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
 - a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
 - b. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
 - c. Please provide the FIRM Map and flood plain note with effective date. This can be just a note if space is limited.
 - d. Please provide a legal Description of the property.
3. Please remove the site detail sheet. These are private details that Hydrology does not approve. Also, the FIRM Map sheet can be removed by just adding a note as indicated in Comment #2 C.
4. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6-hour storm event.
5. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area by 0.26 inches for redevelopment sites.
6. For trash enclosures serving food service developments, trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan." This is shown but not labeled.

7.* Please note that Item #1 is not relevant since the arroyo is the City's and not AMAFCA's.

Transportation Development Services

Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Facilitation Team (DFT).

An approved Traffic Circulation Layout will be required with each newly developed lot.

A Traffic Impact Study is required.

Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

Zoning / Code Enforcement

N/A

OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES

Aviation Department

N/A

Department of Municipal Development

N/A

Metropolitan Redevelopment Agency

N/A

Office of Neighborhood Coordination

N/A

Police Department/Planning

N/A

Solid Waste Department

N/A

Transit Department

N/A

OTHER AGENCIES

Albuquerque-Bernalillo County Water Utility Authority (ABCWUA)

N/A

Albuquerque Public Schools (APS)

N/A

Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)

- No adverse comments to the Site Plan – EPC for Major Amendment.

Bernalillo County

N/A

Kirtland Air Force Base (KAFB)

N/A

Middle Rio Grande Conservancy District (MRGCD)

N/A

Mid-Region Council of Governments (MRCOG)

N/A

National Park Service (NPS) / Petroglyph National Monument

N/A

New Mexico Gas Company

N/A

New Mexico Department of Transportation (NMDOT)

N/A

Public Service Company of New Mexico (PNM)

N/A

A) PHOTOGRAPHS



Figure 1: Sign Posting, S/E side



Figure 2: East Corner of Subject Site



Figure 3: South Corner of Subject Site



Figure 4: North Corner of Subject Site



Figure 5: S/W Side of lot, rear view including arroyo and multi-use trail



Figure 6: N/E side of subject site



Figure 7: East Side of subject site

B) HISTORY

City of Albuquerque
Planning Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: March 16, 1990

OFFICIAL NOTIFICATION OF DECISION

Myo-San-No. 1 Partnership
7007 Wyoming NE
Albuquerque, NM 87109

FILE: Z-79-66-8
LEGAL DESCRIPTION: Tract C-1, Academy Acres, Unit 17,
zoned SU-1 for C-1 (Permissive) Uses, located between
San Antonio Drive NE and the Pino Arroyo, containing
approximately 3.35 acres. (E-19)

On March 15, 1990, the Environmental Planning Commission voted to approve Z-79-66-8, a site development plan, based on the following Findings and subject to the following Conditions:

Findings:

1. The site development plan meets the basic requirements for the SU-1 zone.
2. The Facility Plan for Arroyos is applicable to the southern boundary of this site.

Conditions:

1. The internal circulation for this site must meet with the approval of the Traffic Engineer.
2. The Facility Plan for Arroyos must be used to link the site with the bike path and arroyo on the southern boundary of the site; these revisions must meet with the approval of Planning staff and the improvements must be installed when the retaining wall is constructed.
3. Signage must be revised to use one monument sign and two pylon signs of twenty feet in height. The design of the signs must be compatible with the rest of the development; sheet one of the site development plan must be revised to indicate a total of three signs for the site. Placement of these three signs will be as explained to the Commission at the hearing.
4. Building-mounted signage is limited to a maximum of twelve per cent of the building facade; the percentage of the facade for each sign must be shown on the site development plan in addition to the dimensions. South facing building signage shall be eliminated.
5. Design guidelines for the building-mounted signs must be submitted to the Planning Department and must meet with the approval of Planning staff.
6. A six feet wide sidewalk is required along San Antonio Drive.
7. Placement of trash containers must meet with the approval of the Solid Waste Management Department.
8. The flood zones must be shown on the drainage and grading plan until they are removed from the Flood Insurance Rate Map.
9. A replat which subdivides this tract into five parcels must be submitted to the Development Review Board.
10. Landscape islands should be added to the south parking stalls to the satisfaction of staff.
11. Walls adjacent to the bike paths shall be treated to minimize graffiti potential.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MARCH 30, 1990, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

C) APPLICATION INFORMATION

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

- SITE PLAN – EPC
- MASTER DEVELOPMENT PLAN
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

~~N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____~~

~~X A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.~~

~~X Zone Atlas map with the entire site clearly outlined and labeled~~

~~X Letter of authorization from the property owner if application is submitted by an agent~~

~~____ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)~~

~~X Signed Traffic Impact Study (TIS) Form~~

~~X Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable~~

~~____ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)~~

~~X Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)~~

~~____ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)~~

~~X Office of Neighborhood Coordination neighborhood meeting inquiry response~~

~~X Proof of email with read receipt OR ~~Certified Letter~~ offering meeting to applicable associations~~

~~X Completed neighborhood meeting request form(s)~~

~~____ If a meeting was requested/held, copy of sign-in sheet and meeting notes~~

~~X Sign Posting Agreement~~

~~X Required notices with content per IDO Section 14-16-6-4(K)(1)~~

~~X Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)~~

~~X Office of Neighborhood Coordination notice inquiry response~~

~~X Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.~~

~~X Proof of emailed notice to affected Neighborhood Association representatives~~

~~X Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing~~

~~X Completed Site Plan Checklist~~

~~X Scaled Site Plan or Master Development Plan and related drawings~~

~~Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.~~

~~X Copy of the original approved Site Plan or Master Development Plan (for amendments only)~~

~~X Site Plan or Master Development Plan~~

~~____ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)~~

~~____ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.~~

~~____ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone~~


VARIANCE – EPC

____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <u>Ron Austerman</u> <small>74DA5C31CCD844E...</small>	Date: May 6, 2024
Printed Name: Dutch Bros Coffee - Ron Austerman	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

Justification
Letter
(Narrative)





BARGHAUSEN

Project Narrative – Major Amendment to Site Plan

Dutch Bros Coffee (NM0504)

PREPARED BY

Barghausen Consulting
Engineers, Inc.

PREPARED FOR

Dutch Bros Coffee

CLIENT ADDRESS

110 S.W. 4th Street, Grants Pass, OR 97526

SITE ADDRESS

7330 San Antonio Drive
Northeast, Albuquerque,
New Mexico 87109

PROJECT NO.

23204

DATE

July 2, 2024

JURISDICTION

City of Albuquerque

Project Overview

The project proposes to re-develop a 0.96-acre parcel with a new 950-square-foot Dutch Bros Coffee with double drive-through lanes to accommodate up to 18 vehicles in the queue. A separate covered service window will be offered for walk-up customers on the western side of the building opposite the drive-through service window. Surface parking for 15 vehicles, including one (1) ADA-compliant spot and two (2) motorcycle spots, is provided.

The former gas station and car wash have been removed from the site. The only building that remains is the existing convenience store structure that will be demolished as part of this project. Much of the property is concrete and is adjacent to a tire center to the west, duplex residential to the south, and a commercial office park to the north and east. The southern residential area is connected to the commercial area of the Activity Center via a trail that runs parallel along the southern side of the proposed Dutch Bros Coffee site.

As proposed, the Dutch Bros Coffee would offer a place for local residents to gather; customers will have the option to travel to the site and make purchases by car via the drive-through, or either by bicycle or on foot utilizing the customer walk-up window for pedestrian ordering. The Dutch Bros Coffee will enhance the neighborly character of the area as a result.

The property is currently zoned as Mixed-Use Low Intensity (MX-L) and designated Activity Center in the City of Albuquerque Comprehensive Plan. A restaurant is a permitted primary use and a drive-through is a permitted accessory use in the MX-L zone.

Justification

The Site Plan was approved in 1995. The project site has been operating as approved since. The parcel at 7330 San Antonio Drive Northeast is being redeveloped as a Dutch Bros Coffee. The project is proceeding with a Major Amendment to a Site Plan due to the project being similar in scope and nature to the existing approval. The project will be designed to comply with the previously approved standards, as well as the current IDO standards to maintain consistency with the surrounding environment.

Operational Characteristics

Dutch Bros Coffee, known for their upbeat baristas and genuinely caring service, is a growing drive-through coffee company with more than 900 locations in 17 states and over 16,000 employees. Their three main values include speed, quality, and service. All Dutch Bros Coffee locations serve Private Reserve Coffee, White Coffee, and Decaf Coffee as espresso options, all roasted in Grants Pass, Oregon. Along with coffee, the menu includes a variety of Dutch Bros Blue Rebel energy drinks, lemonade, and tea. Limited packaged food items will be provided such as muffin tops and granola bars.

Dutch Bros Coffee continues to grow; wherever it does, the love, donations and smiles grow with it. The company donates over \$3.5 million a year to its local communities and non-profit organizations. Dutch Bros Foundation and Dutch Bros Coffee are both about people first and actively engage in their communities through giving and action in four core areas: youth, music, health, and origins.

Queuing and Stacking

Approximately 370 feet of stacking space is available behind the drive-through window. Dutch Bros Coffee will implement a runner-system at the proposed facility that is designed to increase speed and efficiency in serving drive-through customers. Dutch Bros Coffee employees outside of the building travel from vehicle to vehicle to greet customers and take orders. These "runners" utilize a handheld device to transmit customers' orders to the multiple drink stations inside the building. Additionally, runners will take payments from customers while in line, so by the time they arrive at the service window they may pick up their order and be on their way. This system decreases wait times, while allowing the runners to have a more personal face-to-face interaction with customers.

Depending on the number of customers, approximately three (3) or four (4) staff will be dedicated to the parking area throughout the day to take orders and receive payments. One (1) person's sole responsibility will be traffic control. Tactics will include instructing all vehicles to pull forward as close as possible to utilize the maximum queuing available, directing cars into the waiting area or the early exit/bypass lane if needed, and ensuring no cars are blocking the road. These measures, in addition to implementing the above-described runner system, will reduce customers' time at the window to 30 to 45 seconds. If customers are taking longer than that timeframe, the drink runners will bring drinks to the customers in line behind the window to allow those customers to exit via the bypass lane. This means customers are not required to reach the drive-through window to receive their order and exit the site.

Site Design and Orientation

The proposed Dutch Bros Coffee building will be developed on a site that is mainly concrete, including a building structure of a former gas station and car wash to be demolished for the proposed Dutch Bros Coffee. Aside from the convenience store building, no other structures from the previous use remain on site.

Access to the site will be via an entrance that is shared with the adjacent tire shop business from the northeast off San Antonio Drive Northeast, and from the southeastern side on San Antonio Place Northeast. Access on site is in the counterclockwise direction with the entrance to the drive-through lanes on the northwest side of the property leading to the drive-through service window on the eastern side of the building. The project will include a separate customer window that is oriented to the west of the site to serve pedestrian walk-up traffic only.

Architecture

The proposed building is visually interesting and will be constructed with a variety of high-quality brick, el dorado stone, and stucco building materials and painted with muted, earth tones, similar to the surrounding development. Vertical and horizontal façade breaks, building massing, and modulation have all been incorporated into the design of the building. Canopy awnings are provided over all entrances and service doors, including a large 300-square-foot canopy over the customer walk-up service window providing weather protection. The building features modulation with a tower element, building wall articulation, and building materials that are aesthetically pleasing and compatible with other newer developments in the community. Wall signs depicting the Dutch Bros Coffee logos will be installed on all sides of the building.

Signs and Lighting

Signs proposed for use at the project site will conform to the City of Albuquerque Integrated Development Ordinance and the controlling Development Plan's Sign Regulations. Signs proposed to be installed at the project site include a freestanding sign, wall signs, menu signs, drive-through, parking lot, and directional signs. Signs will be constructed with high-quality materials and properly installed under a separate Building Permit.

Site lighting will be provided at the project site for the safety and security of all customers, pedestrians, and employees. Outdoor lighting and illumination at the site will include parking lot security lighting and pedestrian scale lighting within the patio space and along the pedestrian pathway. Exterior building lighting will be installed on the building façade. The drive-through area will be provided with security lighting. All lights will include shields to direct light toward the project site and keep glare away from the adjacent land uses and rights-of-way.

Findings for a Development Review Application for a Major Amendment to Site Plan – EPC Hearing

Any application for a Site Plan – EPC shall be approved if it meets all of the following criteria.

6-6(l)(3)(a) *The Site Plan is consistent with the ABC Comp Plan, as amended.*

Response: The proposed Site Plan was amended to continue to meet the standards of the ABC Comprehensive Plan. The site is designated as Activity Center in the Comprehensive Plan and supports the designation's policies by providing neighborhood-oriented customer walk-up services on a pedestrian-friendly walk-up window at the opposite side of the drive-through window to encourage pedestrians to gather at the Dutch Bros Coffee development.

The amended Site Plan is consistent with the following Comprehensive Plan Goals and Policies:

Goal 4.1 Character: *Enhance, protect, and preserve distinct communities.*

Response: The Dutch Bros Coffee use will enhance the surrounding community by offering a space to gather and commingle. Currently, the site consists of an unused convenience store structure that is to be demolished. The proposed Dutch Bros Coffee will add inviting landscaping and bicycle parking spaces that enhance the existing use of the surrounding trails by the community.

POLICY 4.1.2 Identity and Design: *Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design. [ABC]*

Response: The proposed Dutch Bros Coffee development will provide a harmonious design that provides complementary earthtone colors with the surrounding commercial uses. The signature Dutch Bros Blue tower will match the adjacent business to the west that utilizes blue as an accent color. The proposed building will also match the massing and scale of the neighborhood as it is of similar height as the surrounding properties as it will contain one-story (24-feet), blending with the neighboring properties, including the residential to the south.

Goal 4.2 Process: *Engage communities to identify and plan for their distinct character and needs.*

Response: There are no similar businesses near the proposed Dutch Bros Coffee site in the Mixed-Use Low Intensity zone. The site's close proximity to residential neighborhoods while still being situated immediately in the vicinity of other businesses places the Dutch Bros Coffee as the perfect addition to the area. Customers can visit the site via automobile, motorcycle, on foot, or via bicycle and be able to purchase from the business regardless of whether they will be able to utilize the drive-through or walk-up window. There will be options to stay onsite and enjoy the outdoor seating after making a purchase, or to quickly enter and exit the area. This fits perfectly with the community's distinct character and needs.

POLICY 4.2.2 Community Engagement: *Facilitate meaningful engagement opportunities and respectful interactions in order to identify and address the needs of all residents. [ABC]*

- a) *Engage communities to help identify, build, and strengthen distinct identity and sense of community. [A]*

Response: Dutch Bros Coffee places importance on face-to-face interaction with customers by eliminating the traditional speaker boxes that are common at drive-throughs and instead taking orders in person at each customer's vehicle. These personalized interactions allow for meaningful engagement and respectful interaction with customers. The proposed development will create an inviting atmosphere where residents can go to commingle and fulfill their beverage needs as a community. Through these measures, Dutch Bros helps build and strengthen the distinct identity and sense of community in the Mixed-Use Low Intensity zone and Activity Center designation. In addition, Dutch Bros also provides employment to members of the community addressing the needs of residents through both a service and through employment opportunities.

POLICY 5.1.6 Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses. [ABC]

Response: There is no other coffee shop offered to residents near the project site. With this Dutch Bros Coffee development, residents will be able to travel to the site on foot, via bicycle using the surrounding trails, and via car using the drive-through.

POLICY 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Response: The project site directly abuts residential development to the south and is surrounded by other commercial uses to the north, east, and west. Further out in all directions are more residential developments, placing the Dutch Bros Coffee in the perfect location to create convenient access for residents. The Dutch Bros Coffee will support the goal of creating a healthy, sustainable, and distinct community by encouraging foot traffic and pedestrian visitors through being situated north of residential trails and offering the option of ordering via a walk-up window rather than merely the drive-through. Customers will be able to stay on site after making a purchase and to sit on the outdoor seating that will be provided.

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Response: The property is designated as an Area of Change in the Comprehensive Plan. Surrounding property owners and Neighborhood Associations have been notified of this proposed development per City of Albuquerque requirements and there have been no objections or concerns brought to our attention to state a lack of desire for a Dutch Bros Coffee in this area. The Dutch Bros Coffee will bring growth to the area not only through driving more business to the City of Albuquerque as a popular coffee shop, but also through enhancing the Mixed-Use Low Intensity zone with site improvements that are inviting to residents.

***POLICY 5.6.2 Areas of Change:** Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.*

Response: The Dutch Bros Coffee will expand employment opportunities in the City of Albuquerque and repurpose a currently vacant site to direct growth in the Mixed Use Low Intensity zone. Surrounding residential neighborhoods will be positively affected by the Dutch Bros Coffee's encouragement of pedestrian visitors and offering of a sense of place in the community.

***Goal 7.2 Pedestrian-Accessible Design:** Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.*

Response: Pedestrian safety on the site will be ensured for customers who choose to visit the Dutch Bros Coffee through means of transportation other than by car in multiple ways. Dutch Bros Coffee will designate a staff member for every shift whose sole responsibility will be traffic control. This responsibility will include reinforcing safety measures for customers who are accessing the walk-up window to order on foot. There will be bicycle racks on site to encourage neighboring residents to utilize the surrounding trails to purchase Dutch Bros Coffee products. The Dutch Bros Coffee will have outdoor seating to encourage foot traffic.

***POLICY 7.2.1 Walkability:** Ensure convenient and comfortable pedestrian travel. [ABC]*

- a) *Improve the pedestrian environment through coordinated design of subdivisions, streets, development sites, and buildings.*
- b) *Improve pedestrian safety and comfort by providing wider sidewalks, street trees and landscape buffers, lighting, on-street parking, street furniture, and waiting areas and median refuges at large or busy intersections.*

Response: The proposed Dutch Bros Coffee development will include improvements to existing sidewalks, and updates to the existing landscaping. The development is pedestrian oriented by offering walk-up services via the proposed walk-up ordering window. The proximity to nearby residential areas emphasizes the City's goals in providing convenient and comfortable pedestrian travel with the updated ADA-compliant sidewalks.

***POLICY 7.3.4 Infill:** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located. [ABC]*

- a) *For Activity and Village Centers, ensure that infill and redevelopment is compatible with the character of the surrounding context and similar in height, mass, and volume to adjacent development [ABC]*
- b) *Promote buildings and massing of commercial and office uses adjacent to single-family neighborhoods that is neighborhood-scale, well-designed, appropriately located, and consistent with the existing development context and neighborhood character. [A]*

Response: The project site is surrounded by commercial uses to the north, east, and west. To the south are residential buildings. The proposed Dutch Bros Coffee is similar in height, mass, and volume to adjacent commercial development while remaining neighborhood-scaled and appropriately located for both pedestrian and vehicular traffic alike.

Goal 8.1 Placemaking: *Create places where business and talent will stay and thrive.*

Response: Dutch Bros Coffee is known to be a popular option for coffee, energy drinks, lemonade, and tea products. Each new store creates, on average, 34 new jobs; three (3) to four (4) positions are full time. Each Dutch Bros Coffee location strives to invest in its staff members and wants to see them grow while maximizing profits.

POLICY 8.1.2 Resilient Economy: *Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy. [ABC]*

- c) *Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.*
- d) *Grow the community's economic base through recruitment, retention/expansion and new business startups to bring additional income into the region*

Response: Dutch Bros Coffee will create, on average, 34 new jobs. The business model provides seven (7) to eight (8) staff members working on site at a time, with three (3) shifts. Out of these 34 positions, three (3) to four (4) are full time, while the remaining positions are part time. With the opening of this store, residents will gain new opportunities for employment.

6-6(l)(3)(b) *The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.*

Response: The site is zoned as Mixed-Use Low Intensity (MX-L); therefore, this comment does not apply.

6-6(l)(3)(c) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

Response: Per the Site Plan Checklist included in this submittal, the Site Plan complies with all applicable requirements.

6-6(l)(3)(d) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.*

Response: The proposed Dutch Bros Coffee development has adequate capacity. It is using existing infrastructure from the previous development including utilities, driveways, internal drive aisles, sidewalks, and a trash enclosure. Sidewalks that have been damaged due to surrounding tree roots will be repaired to ensure customers can access the public right-of-way and nearby trail system.

6-6(l)(3)(e) *The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.*

Response: The site was designed around the existing Site Plan development to maintain and preserve positive flow of vehicles and pedestrians and maintain the necessary infrastructure. The modification to the Site Plan includes re-development of one site to include a Dutch Bros Coffee. The Dutch Bros Coffee building is similar in scope to the existing development. It may have a different customer base than the existing business, however a traffic report is prepared and will be reviewed and approved by the City as required to ensure the site will continue to have no significant adverse impacts.

6-6(l)(3)(f) *If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

Response: The subject property is not within an approved Master Development Plan; therefore, this is not applicable to the project.

6-6(l)(3)(g) *If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.*

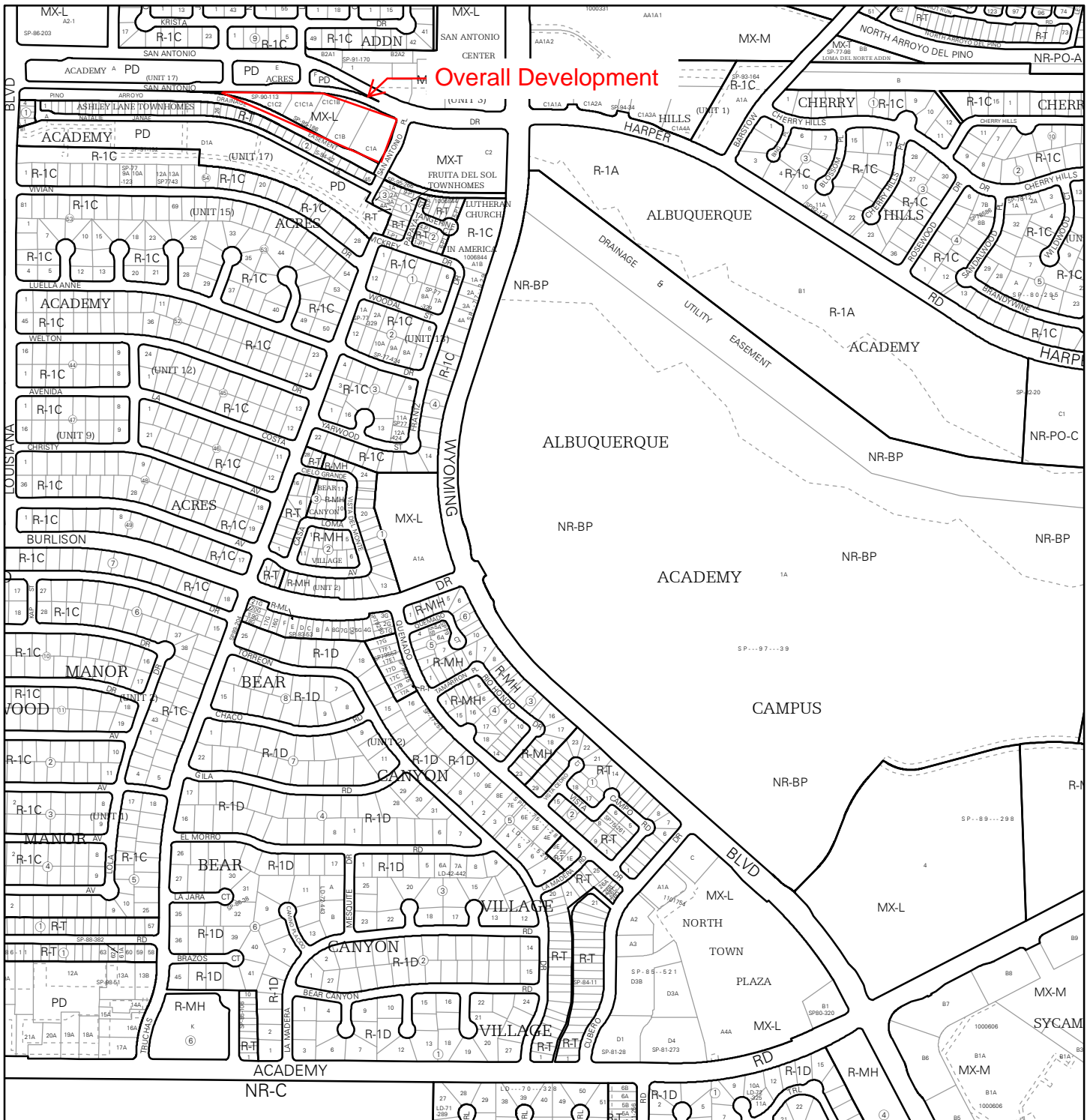
Response: The subject property does not require a Cumulative Impact Analysis; therefore, this is not applicable to the project.

Conclusion

The proposed Dutch Bros Coffee will enhance the commercial character of the Mixed-Use Low Intensity zone. Dutch Bros Coffee is a successful business that will promote improvement of the existing and future commercial area. Dutch Bros Coffee locations are known to be clean and well maintained, providing quick service from friendly staff. The proposed coffee shop will provide excellent products and service, along with enhanced landscaping areas, lighting, and pedestrian open space at the project site that will benefit all customers and users in the immediate vicinity and the surrounding areas. The above narrative demonstrates how the proposal will increase the overall quality of the project site and positively impact the citizens and businesses of the surrounding community and the City of Albuquerque.


Zone Atlas Map





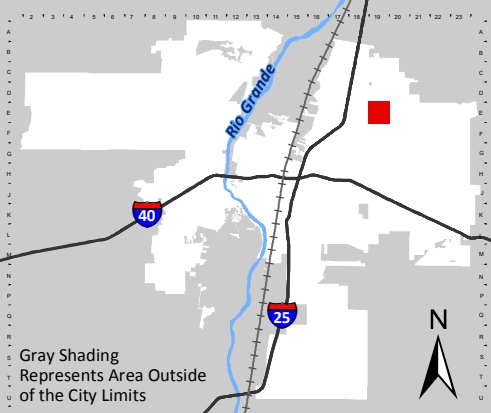
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-19-Z



-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

N
0 250 500 1,000 Feet

Letter of Authorization

7330 SAN ANTONIO LLC
7620 JEFFERSON ST NE, ALBUQUERQUE, NEW MEXICO 87109
PH:505-858-0001

March 4, 2024

City of Albuquerque
Planning Department
Plaza del Sol, 600 2nd NW
Albuquerque, NM 87102

RE: Authorization for Dutch Bros Coffee to submit a Site Plan Modification Application

We are the legal owner(s) of the property described in the attached application at 7330 San Antonio Drive NE in Albuquerque, New Mexico. I hereby authorize Dutch Bros Coffee and their agents to submit the enclosed Site Plan Modification for the proposed Dutch Bros Coffee drive-through with associated site improvements.

Applicant Information

Name/Business: Ron Austerman, Dutch Bros Coffee
Address: 110 S.W. 4th Street
City/State/Zip: Grants Pass, OR 97523
Phone: 602-320-8598

Agent Information

Name/Business: Brianna Uy, Barghausen Consulting Engineers, Inc.
Address: 18215 72nd Avenue South
City/State/Zip: Kent, WA 98032
Phone: 425-291-3776

Property Owner Signature

Business:7330 San Antonio LLC
Name: Steve Maestas
Title: Manager
Email: steve@mdgealestate.com
Phone: 505-858-0001

Signature:

DocuSigned by:

69E84B3F5C8A47C...

Signed TIS Form



SCOPE OF TRAFFIC IMPACT STUDY (TIS)

TO: Ryan Hales, PE, PTOE, AICP
Hales Engineering
1220 North 500 West, Ste. 202
Lehi, UT 84043

MEETING DATE: March 7, 2024 (Virtual)

ATTENDEES: Sabrina Rushing; Brianna Uy; Jordi Berrett; Josh Gibbons; Ryan Hales;
Matthew Grush

PROJECT: Dutch Bros 7330 San Antonio, Zone Atlas #E19

REQUESTED CITY ACTION: Zone Change Site Development Plan
 Subdivision Building Permit Sector Plan Sector Plan Amendment
 Curb Cut Permit Conditional Use Annexation Site Plan Amendment

ASSOCIATED APPLICATION: The proposed Dutch Bros development is located at 7330 San Antonio Drive NE, in Albuquerque. The development will consist of a 950 square foot coffee shop with two drive-through lanes that merge at the pick-up window. It is anticipated that the project would be built and operational by year 2025.

SCOPE OF REPORT:

The Traffic Impact Study should follow the standard report format, which is outlined in the DPM. The following supplemental information is provided for the preparation of this specific study.

1. Trip Generation - Use Trip Generation Manual, 11th Edition.
Consultant to provide.

2. Appropriate study area:
Signalized Intersections;
a. San Antonio Drive NE / Wyoming Boulevard NE

Unsignalized Intersections:
a. San Antonio Place NE / San Antonio Drive NE

Driveway Intersections: all site drives.

3. Intersection turning movement counts
Study Time – 7-9 a.m. peak hour, 4-6 p.m. peak hour
Consultant to provide for all intersections listed above.

4. Type of intersection progression and factors to be used.
Type III arrival type (see “Highway Capacity Manual, current edition” or equivalent as approved by staff). Unless otherwise justified, peak hour factors and % heavy commercial

should be taken directly from the MRCOG turning movement data provided or as calculated from current count data by consultant.

5. Boundaries of area to be used for trip distribution.
2 mile radius – commercial;
6. Basis for trip distribution.

Commercial - Use relationship based upon population. Use population data from 2040 Socioeconomic Forecasts, MRCOG – See MRCOG website for most current data.

Commercial -

$$Ts = (Tt) (Sp) / (Sp)$$

Ts = Development to Individual Subarea Trips

Tt = Total Trips

Sp = Subarea Population

7. Traffic Assignment. Logical routing on the major street system.
8. Proposed developments which have been approved but not constructed that are to be included in the analyses. Information to be provided by Matt Grush, if available.
9. Method of intersection capacity analysis - planning or operational (see “Highway Capacity Manual 7th edition” or equivalent [i.e. HCS, Synchro, Teapac, etc.] as approved by staff). Must use latest version of design software and/or current edition of design manual.
Implementation Year: 2024
10. Traffic conditions for analysis:
 - a. Existing analysis x yes ___ no - year (2024);
 - b. Project completion year without proposed development – 2025
 - c. Project completion year with proposed development – 2025
11. Background traffic growth.
Method: use 10-year historical growth based on standard data from the MRCOG Traffic Flow Maps. Minimum growth rate to be used is 1/2%.
12. Planned (programmed) traffic improvements.
List planned CIP improvements in study area and projected project implementation year:
 - a. None
13. Items to be included in the study:
 - a. Intersection analysis.
 - b. Signal progression - An analysis is required if the driveway analysis indicates a traffic signal is possibly warranted. MUTCD signal warrants
 - c. Recommended street, intersection and signal improvements.
 - d. Site design features such as turning lanes, median cuts, queuing requirements and site circulation, including driveway signalization and visibility.
 - e. Transportation system impacts.

- f. Other mitigating measures.
- g. Accident analyses yes no; Location(s): 5 years of data at study intersections (see above)
- h. Weaving analyses yes no; Location(s):

14. Other:

SUBMITTAL REQUIREMENTS:

1. Number of copies of report required
 - a. 1 digital copy
2. Submittal Fee – \$1300 for up to 3 reviews plus technology fee
 - a. Submit the TIS along with a DTIS to Planning Development Review Services email PLNDRS@cabq.gov and copy mgrush@cabq.gov.

The Traffic Impact Study for this development proposal, project name, shall be performed in accordance with the above criteria. If there are any questions regarding the above items, please contact me at 505-924-3362.



3/25/2024

Matt Grush, P.E.
Senior Engineer
City of Albuquerque, Planning
Transportation Development Section

Date

via: email

C: TIS Task Force Attendees, file

D) STAFF INFORMATION

May 22, 2024

TO: Brianna Uy
Barghausen Consulting Engineers, Inc.

FROM: Vicente Quevedo, Senior Planner
Rachel Gross, Planner
City of Albuquerque Planning Department

TEL: (505) 924-3342 (VQ), (505) 924-3879 (RG)

RE: PR-2022-007872, 7330 San Antonio NE, Site Plan-EPC, Major Amendment

We've completed a first review of the proposed Site Plan-EPC, Major Amendment. We would like to discuss the request, have a few questions, and suggested revisions. We're available to answer questions about the process and requirements. Please provide the following:

⇒ A revised project letter (one electronic copy)

⇒ Revised Site Plan Drawings (one 24x36 hard copy & one electronic copy):

- Due to modifications made to the controlling site development plan, we will require a 24 x 36 updated hard copy of the full controlling site plan for subdivision set, along with a 24 x 36 hard copy of the updated site plan set for parcel A.

by 5 PM on May 28, 2024.

Note: If you have difficulty with this deadline, please let us know.

1) Introduction:

- A. Though We've done our best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. This is what we have for the legal description:
 - a. ALL OR A PORTION OF TRACT C-1-A PLAT OF TRS C-1-A THRU C-1-E ACADEMY ACRES UNIT17 CONT 42,001 SQ FT M/L, APPROXIMATELY 1.0 ACRES.
- C. It is our understanding that this is a request for a major amendment to the Wyoming Commercial Complex SDPS to amend the allowable use table for parcel A to permit a restaurant use with drive through with an associated site plan to be reviewed by the EPC.

Additionally, the only design guidelines related to the controlling site development plan only refer to signage requirements. All other required site development plan elements are controlled and subject to the current version of the Integrated Development Ordinance (IDO). Are any other revisions proposed?

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is currently scheduled for June 20, 2024 (Please note that if all requirements are not met, the case may result in a deferral). Final staff reports will be available about one week prior, on June 13th.
- C. We will email you a copy of the agency comments once they are received and will forward any late ones to you.

3) Notification & Neighborhood Issues:

Notification requirements related to the request are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 378). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.

- A. We have reviewed the buffer map and proof of notice to property owners within 100' along with required notification to affected neighborhood associations and have determined that this meets the notification requirements of the IDO.
- B. It also appears that a neighborhood meeting request was sent to the Cherry Hills Civic Association and the District 4 Coalition of Neighborhood Associations. Was a project meeting and/or facilitated meeting requested or held?
 - a. If so, please provide a narrative as to a meeting being held or any additional communication with the two associations required to be notified.
- C. Have you received any additional requests or held any meetings with community members since the application was submitted?
- D. Please let us know if you receive any additional comments. If you do, these will be included in our staff report.
- E. The sign posting period is 15 days prior and after the EPC hearing date from Wednesday May 1, 2024 to Monday June 3, 2024.

4) Project Letter:

- A. The project letter / narrative still needs considerable revisions. The policy justification section demonstrating consistency with the Albuquerque Bernalillo County Comprehensive Plan that was submitted with the application listed goals and policies, but did not include any justification narrative for each goal and policy.
 - a. Staff sent an email on Friday 5/17/24 at 1:13 PM MST requesting an updated policy analysis section write up.
 - b. Staff notes that a revised policy analysis section was received on Tuesday 5/21/24 at 8:06 PM MST. Planning still needs to review the revised narrative for compliance and will provide additional comments as soon as that review is completed.
- B. Additionally, the applicant will be required to update the rest of the project narrative to describe the Pre-IDO approved site development plan along with a description of the context within which the subject site is located, surrounding land uses and zoning (beyond the site plan for subdivision), public services, Comprehensive plan elements such as Centers and Corridors designations, nearest transportation corridors, etc.

5) Justification Criteria, goals & policies:

- A. See 4.A., a., and b. above.

6) Pre-IDO Approved Site Plan and Proposed Site Plan Sheets Review:

A. Pre-IDO Controlling Site Development Plan

- Project data box:
 - The only allowed amendments to the project data box can only relate to the request / subject site for parcel A.
 - All other amendments made to the controlling site development plan must be removed. This includes all white labels placed on other parcels within the controlling site development plan.

B. Site Plan Sheet

- Change Header on all sheets to read Restaurant with Drive Through instead of Dutch Brothers Coffee
- Change Construction Notes to read Keyed Notes
 - Change Note 1 to read Restaurant with Drive Through
 - Remove Notes #28 & 29
- Acreage: 0.9642 (Approximate Acreage of 1.0 acres will be used for the legal description and legal case advertisement purposes)
- Site plan sheet C1.0 (A)
 - Existing and proposed easements (other than temporary vacated drainage easement)

- Are there any?
- Change proposed use to comply with zoning designation/ land use (not just Dutch Bros)
 - 4-3(D)(37) – General Retail, small
 - Change to Restaurant with Drive-through
- Construction notes #30: clarify proposed or existing
- 6 signs
- #25: please clarify what is meant by ‘tags’
- Show parking space dimensions consistently
 - Two spaces appear longer than other standard parking spaces
- Provide Lighting type (#37)
- Include Existing zoning and land use of all abutting properties (NE)
 - Highlight Pino arroyo
- Add Parking calculations table showing required and proposed
 - Verify parking requirements and numbers (IDO)
- Add details/ dimensions for bicycle parking structure (“U” type bike spaces)
- Clarify the ingress/egress drive aisle dimensions of (#34)
 - Plus/minus symbols
- End aisle?
- Location and description of amenities, including patios, benches, tables, etc.
 - Are there tables?
- Are there any off-street loading areas for the site?
- Identify existing and proposed turn lanes
- Note 37 says Area Lighting, are you referring to street lighting?
- Need to add clear sight triangle at each site access point
- Public pedestrian and bicycle path are shown on site plan, but linkages to the site are not identified. Are there any?
- A vehicle stacking space requirement note shall be added pursuant to IDO Table 5-5-8 (staff notes that the minimum requirement of 12 stacked spaces per the IDO has been met/exceeded)

C. Landscape Plan

- Combine Landscape Plan sheets 1 & 2 (Add keyed notes rather than label on LS plan sheet)
- Orient the LS sheet to match site plan sheet 1
- Make scale & north arrow match Site Plan sheet 1
- Are there any existing or proposed easements?
- Add ponding areas on LS plan?
- Will turf/grass be installed? Unclear from LS plan (only 20% of landscaped area can be high water turf)
- Label landscape buffer areas
- Identify street trees as required by City of Albuquerque Plant Palette
- Identify Parking lot edge and edge buffer landscaping on landscape plan

- Include notes regarding compliance with water conservation requirements and street tree ordinance
- Add a keyed note calling out location of parking lot landscaping

D. Signage throughout controlling site development plan and applicable proposed site development plan sheets.

- All signage requirements must conform to the Pre-IDO approved sign design guidelines on the controlling site development plan.
- A discussion about how the signage conforms to this requirement must also be included as part of the project narrative.
- Additionally, all site development plan sheets that include signage detail must also include a stated note to this effect.
- Still need to confirm that the proposed lit monument sign is allowed per the controlling site development plan. May count as a monument sign related to signage design guidelines on the controlling site development plan.

E. Grading and Drainage Plan

- Planning staff is still confirming with City Hydrology as to whether an updated Grading and Drainage Plan will be required.
- There is a large black spot labeled “Max of cut” toward the top left of G & D plan, what is this?
- Label property lines
- Identify and label any existing and proposed easements
- Are there any retaining walls? Please label
- Are there any ponding areas, erosion and sediment control facilities?
- Are there any existing or proposed storm drain facilities on the subject site?

F. Building and Structure Elevations

- Include the dimensions of roof top mechanical equipment on sheet A6-1
- Explicitly list any and all light restrictions per the IDO and provide a brief narrative showing compliance with those restrictions
- Additionally, all site development plan sheets that include signage detail must also include a stated note to this effect.

Proof of
Pre-Application
Meeting with City
Staff





DEVELOPMENT FACILITATION TEAM REVIEW SHEET

CASES FOR REVIEW AND COMMENT FOR:

December 13, 2023

Join Zoom Meeting:

<https://cabq.zoom.us/j/89785314995>

Meeting ID: 897 8531 4995

Dial by your location

+1 346 248 7799 US (Houston)

Find your local number: <https://cabq.zoom.us/u/kceqFf3L0L>

DFT - CASES FOR REVIEW AND COMMENT

Comments due – December 12th

Link to access all applications:

<https://sfftp.cabq.gov/link/pdoOjMFd2Cg/>

1. [PR-2021-005746](#)

SI-2023-01893 - SITE PLAN DFT

REQUEST: Site Plan approval for hotel use. Proposed hotel will be 64,715 sq ft – no major public infrastructure needed for development. Site currently vacant and subdivided. This request will also amend the overall site plan to show the new hotel layout.

LOTS/SUBDIVISION: Lot 1A1, FRATERNAL ORDER OF POLICE

ADDRESS/LOCATION: 5910 JEFFERSON ST NE

ZONED: NR-BP

IDO: 2022

2. [PR-2023-009563](#)

PS-2023-00198 – SKETCH PLAT

REQUEST: Subdivide the 1.3 acre lot located at 2866 Campbell Road NW, Lot 17 of Alvarado Gardens into 4 lots and be able to build 4 single family residences.

LOTS/SUBDIVISION: E ½ OF LOT 17, UNIT 2, ALVARADO GARDENS

ADDRESS/LOCATION: LOCATED ON CAMPBELL between RIO GRANDE BLVD and RIO GRANDE RIVER

ZONED: R-2

IDO: 2022

3. [PR-2023-009569](#)

PS-2023-00200 - SKETCH PLAT

REQUEST: Combine existing Tract 133-B of MRGCD map #31 and lots 294 thru 301 into new tracts A and B, Alvarado Gardens Unit 3

LOTS/SUBDIVISION: TRACT 133, LOTS 294 THRU 301, UNIT 3, ALVARADO GARDENS UNIT 3

ADDRESS/LOCATION: 3529 RIO GRANDE BLVD NW betwee ARBOR RD NW and DON ONOFRE TR NW

ZONED: R-A

IDO: 2022

4. [PR-2022-007903](#)

PS-2023-00203 - SKETCH PLAT

REQUEST: Vacate Santa Clara Ave SE and Altez ST NE (Public Right-Of-way) as shown on maps and convert into private right-of-way

LOTS/SUBDIVISION: LOT 56-A, SKYLINE HEIGHTS ADDITION

ADDRESS/LOCATION: 600 MOON SE between SOUTHERN and SANTA CLARA SE

ZONED: NR-C

IDO: 2022

5. [PR-2023-009587](#)

PS-2023-00204 - SKETCH PLAT

REQUEST: Install a Twice the Ice and water vending machine on the site. Land is currently unused.

LOTS/SUBDIVISION: PARCEL 1, UNCLE DOC ADDITION 2

ADDRESS/LOCATION: 9620 MENAUL BLVD NE between EUBANK and SNOW HEIGHTS CIRCLE

ZONED: MX-M

IDO: 2022

6. [PR-2023-009609](#)

PS-2023-00206 - SKETCH PLAT

REQUEST: Lot line adjustment is being requested for the pupose of moving the existing lot line between lot 14-A and lot 15-A thereby eliinating the zero lot line side setback that exists on lot 15-A and creating an approximately five foot setback between the existing structure on lot 15-A and property line of Lot 14-A

LOTS/SUBDIVISION: LOTS 14-A & 15-A, BLOCK 8, HIGHLAND PLACE ADDITION

ADDRESS/LOCATION: 706 & 708 SANTA FE ST between WALTER ST and I-25

ZONED: R-1A

IDO: 2022

7. [PR-2020-004171](#)

PS-2023-00208 - SKETCH PLAT

REQUEST: Subdivide 1 Tract of land into 9 lots and 1 tract, vacate existing easements and grant new public easement.

LOTS/SUBDIVISION: TRACT N-7-A-1, BULK LAND PLAT OF TANOAN PROPERTIES

ADDRESS/LOCATION: 12300 SAN ANTONIO DR between LOWELL DR NE and TENNYSON ST NE

ZONED: R1-D

IDO: 2022

8. [PR-2022-007872](#)

PS-2023-00208 - SKETCH PLAT

REQUEST: Proposed new construction of a drive-thru coffee shop with customer walk up window.

LOTS/SUBDIVISION: TRACT C-1-A, UNIT 17, ACADEMY ACRES

ADDRESS/LOCATION: 7330 SAN ANTONIO DR NE between SAN ANTONIO DR NE and SAN ANTONIO PL NE

ZONED: MX-L

IDO: 2022

9. [PR-2023-009637](#)

PS-2023-00210 - SKETCH PLAT

REQUEST: Property replat located at 4815 NorthernTrail, to split 2/3 acre lot into two new lots.

LOTS/SUBDIVISION: LOT 14, QUAKER HEIGHTS

ADDRESS/LOCATION: 4815 NORTHERN TRAIL NW, BETWEEN UNSER and COORS

ZONED:

IDO: 2022

E) PUBLIC NOTICE

Buffer Map and
List of Property
Owners Within
100 Feet, Copy
of Notifying
Letter,
Completed
Notification
Forms, Proof of
Additional
Information,
Proof of
First-Class
Mailing



Sabrina Rushing

From: Bloom, Misa K.. <mbloom@cabq.gov>
Sent: Tuesday, April 16, 2024 10:04 AM
To: Sabrina Rushing
Cc: Brianna Uy
Subject: Re: NM0504 - Albuquerque, NM: Mailed Notice to Property Owners (BCE#23204)
Attachments: San Antonio Drive NE.pdf; San Antonio Drive NE - 8.5x11 - Scale in Feet.pdf; San Antonio Drive NE - Labels.csv; San Antonio Drive NE - Labels.docx

April 16, 2024

Ms. Rushing:

Good morning. Attached is you Buffer Map with all associated documents for the subject matter.

If you have any questions, please let me know. Thank you and have a wonderful day.

Respectfully submitted,



MISA K. BLOOM

(she / hers)

associate planner

urban design & development

o 505.924.3662

e mbloom@cabq.gov

cabq.gov/planning

From: Sabrina Rushing <srushing@Barghausen.com>
Sent: Thursday, April 11, 2024 11:58 AM
To: PLNBufferMaps <plnbuffermaps@cabq.gov>
Cc: Brianna Uy <buy@Barghausen.com>
Subject: NM0504 - Albuquerque, NM: Mailed Notice to Property Owners (BCE#23204)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

We are requesting the names and addresses of the required recipients of the public notice for a Major Site Plan Amendment with EPC Meeting (Site Plan – EPC). The project site is located at the overall development encompassing addresses 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE. The controlling site plan regarding the proposed site plan amendment with EPC Hearing can be found here for reference: [PDF NM0504 Controlling Site Plan.pdf](#)

- Legal description: TRS C-1-A THRU C-1-E ACADEMY ACRES UNIT17 CONT 42,001 SQ FT M/L

Please see the attached zone atlas map with the subject site marked in red.

Thank you and best regards,

Sabrina Rushing | Administrative Assistant

Direct: 425-291-3762 | Office: 425-251-6222

Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South, Kent, WA 98032

<http://secure->

web.cisco.com/1nrqJB9ezbE6uWDPXcalVNjIE1MvrhYsKMin6PD5mwGizbc_v9_pdAhQ8Ykd2uDLFHuaR2hbd-

YXISWPOTduJig63CQgYJc94yAlp8aVYuZOPjPUCM4T-

kKGNRXX8FcvAc3Ma0q3AvEzK6lkvFsNeaRzwhqmUI8sxp5CWiSu69Ot30THO4RfiVO8EOvPliY2pKmh_iv0NByvOeLSZJToLe

aSC5VSVCJ5FqmBWISxohMq346ykk4WmFOP_ilUFcA_e8fMFEneZKo6qL5g-

GQSeONwHFrs5w1ToC6Mmjz_i0E0Qg3BGzMEEnTHVlyMlwrkkCbnsXQgwwWrumPGYxRuAMpPzc9jzfKkVu4PE3xaVwatXbY

d-5ym3knI74VCkUne_/http%3A%2F%2Fwww.barghausen.com

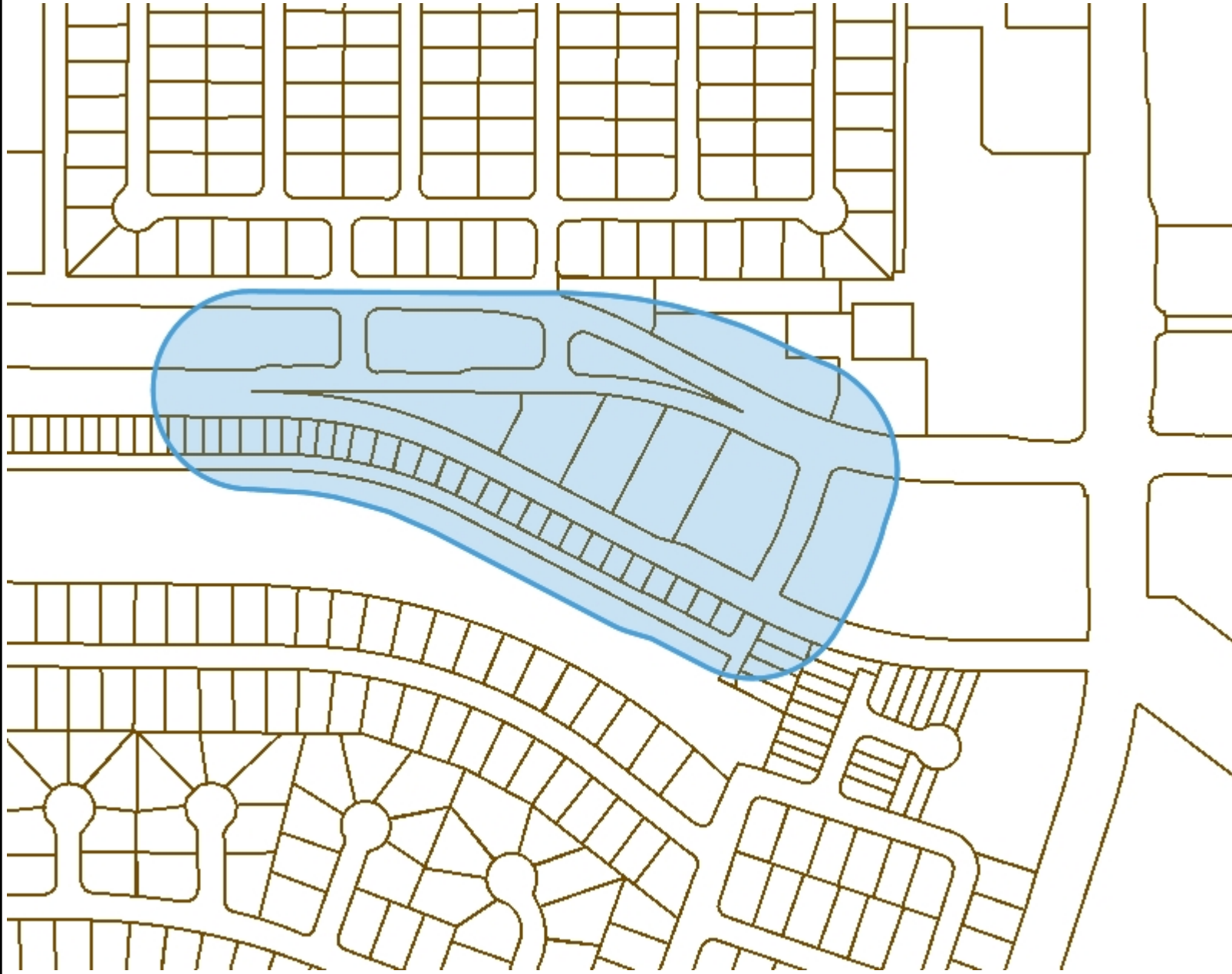


San Antonio Drive NE



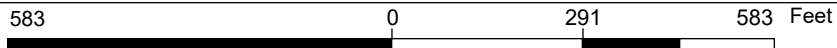
Legend

□ Bernalillo County Parcels



Notes

Buffer: 195 Ft.
ROW: San Antonio Dr NE; 95 Ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
4/16/2024 © City of Albuquerque

1: 3,496

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

7330 SAN ANTONIO LLC
7620 JEFFERSON ST NE
ALBUQUERQUE NM 87109-4340

ABBY ROSE LLC
37 AVENIDA DEL SOL
CEDAR CREST NM 87008-9415

ABDUL SAM & ALMAYYAH SHAFIQ
7339 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3994

AMERICAN STORES PROPERTIES INC
PROPERTY TAX DEPT
7830 ORLANDO AVE
LUBBOCK TX 79423-1942

ARANDA JAMIE EZRA
7331 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3994

ASHLEY LN TOWNHOME OWNERS
ASSOC INC C/O RANDALL SCHMILLE
7055 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3993

BENNETT LESLIE
7201 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3995

BERMUDEZ EUGENE & ALICIA CO-
TRUSTEES BERMUDEZ TRUST
7413 EL MORRO RD NE
ALBUQUERQUE NM 87109-3808

CHAVEZ VELDA J
7235 NATALIE JANA LN NE
ALBUQUERQUE NM 87109

CHERRY HILLS OFFICE COMPLEX LLC C/O
MAESTAS & WARD PROP MGMT
PO BOX 91090
ALBUQUERQUE NM 87199

CSP CHERRY HILL LP
7331 SAN ANTONIO DR NE
ALBUQUERQUE NM 87109-4871

D C L P TRUST
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109

D C L P TRUST
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109

DCLP TRUST III
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109

EAVES MELODY K
7139 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3996

EVANKO DEBORAH A ATTN: DEBORAH A
HAYCROFT
1511 POLO PL NW
ALBUQUERQUE NM 87114-8811

FISK MICHAEL & GINA
6616 STONECREST LN
FAIRFAX VA 22039-1200

FORD JANET
7335 NATALIE JANA LN NE
ALBUQUERQUE NM 87109

GALLEGOS MICHAEL K & COLLEEN R
7151 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3996

GOMEZ JOSE M JR & CARLA DEVORAH
6908 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755

GONZALES OONA
7147 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3996

GRIFFIN STEPHANIE M
7227 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3995

GRUCA DOROTA G
6931 PAPAYA ST NE
ALBUQUERQUE NM 87109-4064

HAHS ILYSE D
7215 NATALIE JANA LN NE
ALBUQUERQUE NM 87109

HEIGHTS PROPERTIES LLP
PO BOX 30661
TUCSON TX 85751-0661

HENDERSON WILLIAM G & CAROL F
11801 BACCARAT LN NE
ALBUQUERQUE NM 87111

HILGENDORF ROBERT & LING TONG
1824 CAMINO CORRALES
SANTA FE NM 87505-7503

JASKOLSKI JOSEPH PATRICK
7526 EL MORRO RD NE
ALBUQUERQUE NM 87109-3806

LARRANAGA LORENZO A & CHARLETTA
A
7716 LAMPLIGHTER LN NE
ALBUQUERQUE NM 87109

LOCKYEAR ELIZABETH MARIE
7223 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3995

LUBRICAR PROPERTIES III LLC
3520 CALLE CUERVO NW
ALBUQUERQUE NM 87114-9220

LUJAN SHIRLEY A & LUJAN MICHAEL L &
LISA M
6912 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755

MISHIN EVGENY V & LYUBOV P CO-
TRUSTEES MISHIN FAMILY LIVING TRUST
7315 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3994

MITCHIE GRACE
6927 PAPAYA ST NE
ALBUQUERQUE NM 87109-4064

NICHOLS ROBERT G
7343 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3994

PACHECO GABRIELLA NICOLE
7131 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996

PARKER KRISTOFFER
7135 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996

PEARSON LOWELL K & JOANNE B
7239 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109

REILLY MICHAEL P
PO BOX 2170
TIJERAS NM 87059-2170

RODRIGUEZ LOUELLA L
1025 AVENIDA LINDA
SANTA FE NM 87507-7726

SALAZAR NELLIE M
6904 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755

SANCHEZ CHRISTOPHER
7340 SAN ANTONIO DR NE
ALBUQUERQUE NM 87109-4870

SCHIEBEL KATHIE D
6900 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755

SCRIVNER GARTH & JENNIFER L
7231 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995

SLATER RYAN & HOSAKA NAO
7219 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995

SULLIVAN SEAN P
7143 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996

TELEGRAPH HILL INVESTMENTS LLC C/O
MILLBURN & COMPANIES
15 W SOUTH TEMPLE SUITE 640
SALT LAKE CITY UT 84101-1531

VERDES HEIGHTS LLC
6005 CORONADO AVE NE
ALBUQUERQUE NM 87109-4665

VIGIL MICHAEL J & DARLENE F TRUSTEE
VIGIL TRUST
6504 JADE DR NW
ALBUQUERQUE NM 87120-3284

YEE DAVID & ROSA B & YEE AUDREY
ANNE
6833 VIVIAN DR NE
ALBUQUERQUE NM 87109-3995

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: 04/17/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: 7330 San Antonio LLC

Mailing Address*: 7620 Jefferson St NE, Albuquerque, NM 87109-4340

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
Location Description _____
2. Property Owner* 7330 San Antonio LLC - Steve Maestas
3. Agent/Applicant* *[if applicable]* Barghausen Consulting Engineers, Inc. – Brianna Uy & Sabrina Rushing
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Request a Major Amendment to Site Plan from the EPC to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: June 20, 2024, 8:40 a.m.

Location*²: https://cabq.zoom.us/j/2269592859

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
s.rushing@barghausen.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ E-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ~~d. For residential development*:~~ Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

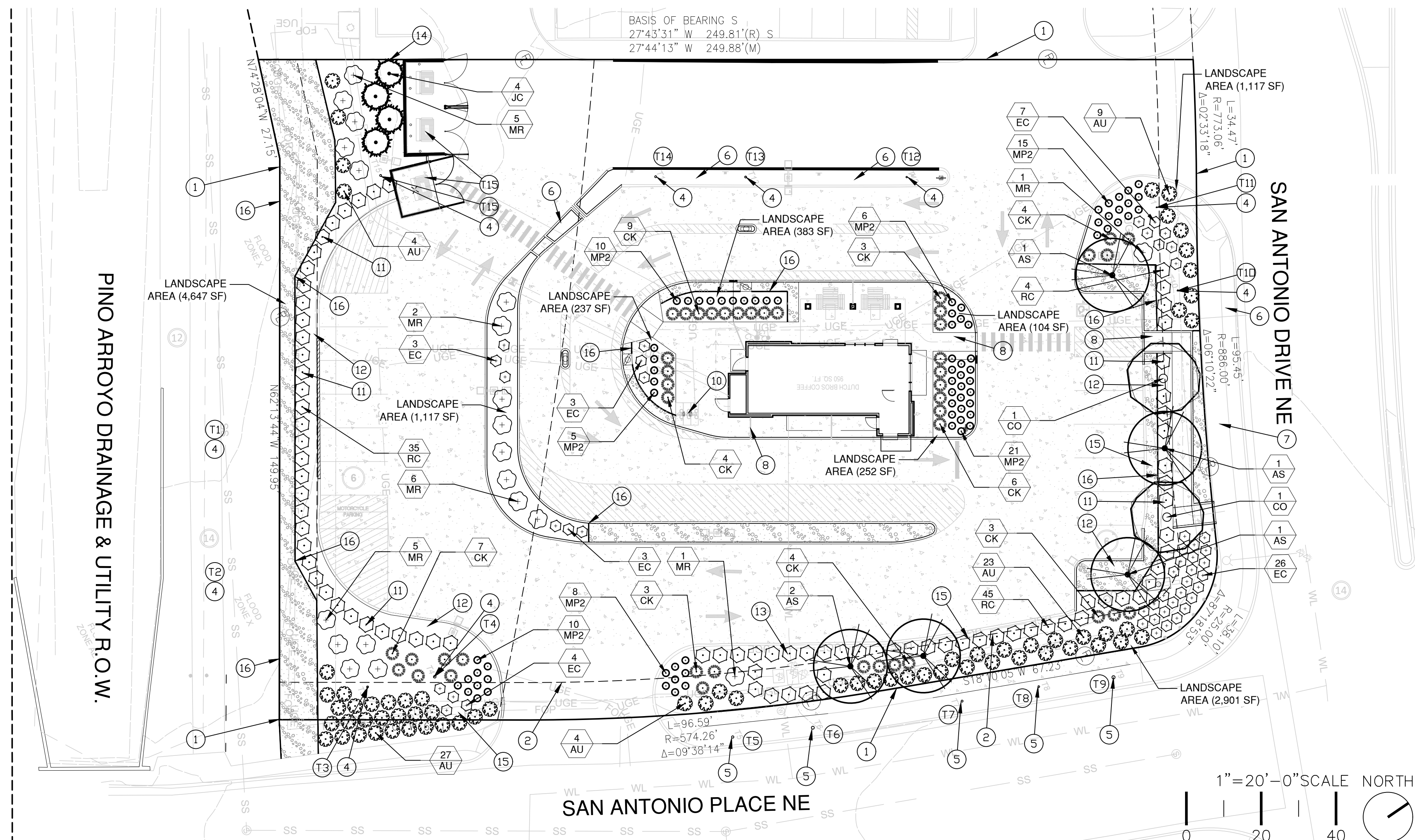
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



Know what's below.
Call before you dig.
Dial 811

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	QTY	
TREES							
	AS	ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	CONT.	2" CAL	8'-10"	5	
	JC	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	CONT.	-	8'	4	
	CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK	CONT.	2" CAL	8'-10"	2	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (W'X'H')	ADDITIONAL	SPACING	QTY
SHRUBS							
	RC	RHAMNUS CALIFORNICA CALIFORNIA COFFEEBERRY	3 GAL			48" o.c.	84
ORNAMENTAL GRASSES							
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1 GAL			42" o.c.	43
	MR	MUHLENBERGIA RIGENS DEER GRASS	5 GAL			60" o.c.	20
	MP2	MUHLENBERGIA RIGIDA PURPLE MUHLY	1 GAL			24" o.c.	75
GROUND COVER							
	AU	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK	1 GAL			48" o.c.	67
	EC	EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER	5 GAL			36" o.c.	46
GROUND COVERS							
	DGG2	2-4" COBBLE - DESERT BRONZE 4" DEPTH OVER FABRIC					2,876 SF

AMENITY LEGEND

- 1 PROPERTY LINE
- 2 EASEMENT
- 3 SETBACK
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING TREE TO BE REMOVED
- 6 EXISTING LANDSCAPE TO REMAIN
- 7 EXISTING SIDEWALK
- 8 SIDEWALK BY OTHERS
- 9 TRASH ENCLOSURE BY OTHERS
- 10 BIKE RACK BY OTHERS
- 11 PARKING LOT SCREENING HEDGE
- 12 PARKING LOT EDGE LANDSCAPING
- 13 DRIVE-THROUGH LANE SCREENING HEDGE
- 14 TRASH ENCLOSURE SCREENING HEDGE 6' HT. MIN.
- 15 LANDSCAPE EDGE BUFFER AREA
- 16 STEEL EDGING BETWEEN COBBLE & SHRUBS (TYP.)

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.

EXISTING TREE LEGEND

Tag	Trunk	Tree Type	Drip	DISPOSITION
T1	19"		15'	REMAIN
T2	16"		12'	REMAIN
T3	12"		12'	REMAIN
T4	16"		12'	REMAIN
T5	15"		15'	REMOVE
T6	19"		18'	REMOVE
T7	12"		15'	REMOVE
T8	11"		12'	REMOVE
T9	20"		12'	REMOVE
T10	8"		9'	REMAIN
T11	6"		6'	REMAIN
T12	9"		12'	REMAIN
T13	12"		15'	REMAIN
T14	12"		15'	REMAIN
T15	12"		15'	REMAIN
varies	187		180	

NOTE: PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL ENG. DEMOLITION PLAN FOR MORE INFORMATION

PROJECT TEAM

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
11801 PIERCE STREET, SUITE 200
RIVERSIDE, CA 92505
800-680-6630
WWW.EVERGREENDESIGNGROUP.COM
CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA
EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

LANDSCAPE CALCULATIONS

NET SITE AREA:	42,062 SF
LANDSCAPE AREA REQUIRED:	6,309 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	10,758 SF (25.6% OF SITE AREA)
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH - SAN ANTONIO DRIVE:	168.02 LF
STREET TREES REQUIRED:	7 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	5 PROPOSED + 2 EXISTING
FRONTAGE LENGTH - SAN ANTONIO PLACE:	
FRONTAGE LENGTH - SAN ANTONIO PLACE:	230.8 LF
STREET TREES REQUIRED:	9 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	2 PROPOSED + 7 EXISTING
PARKING LOT LANDSCAPING	
PARKING LOT AREA:	2,297 SF
LANDSCAPE AREA REQUIRED:	230 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	1,419 SF (61.7% OF PARKING AREA)
TOTAL PARKING SPACES:	
TOTAL PARKING SPACES:	13 SPACES
TREES REQUIRED:	1.3 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED:	1 TREES
TOTAL LANDSCAPE AREA:	
MINIMUM REQUIRED COVERAGE:	10,758 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	9,043 SF (84%)
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS:	
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS:	3,227 SF (25%)
PROVIDED GROUND LEVEL COVERAGE:	3,338 SF (31%)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF DECOMPOSED GRANITE, COLOR: VALLEY GOLD, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

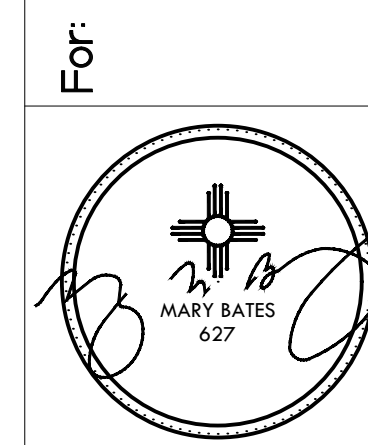
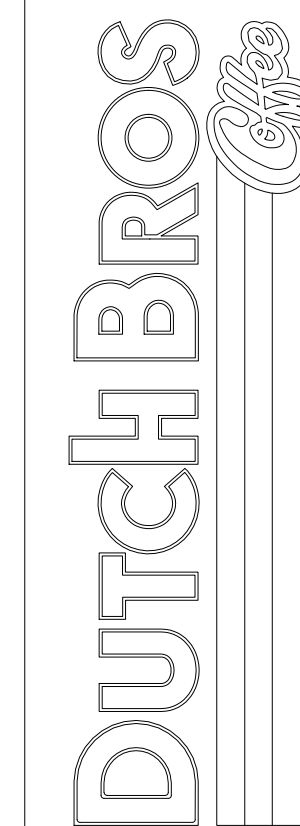
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

CITY REQUIREMENT COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS AND THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

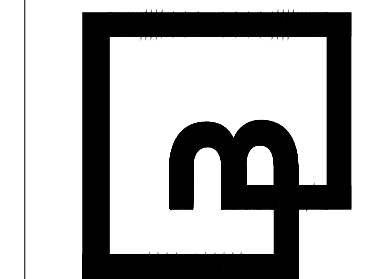
PRELIMINARY NOT FOR CONSTRUCTION

Title: LANDSCAPE PLANTING PLAN
7380 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



Scale: Horizontal Vertical
Designed _____
Drawn _____
Checked _____
Approved _____
Date _____

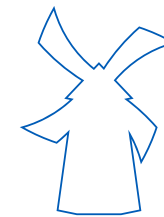
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number: 23204
Sheet: LP-1
2019 DB
Evergreen Design Group, LLC



(800) 680-6630
11801 Pierce Street, Suite 200
Riverside, CA 92505
www.EvergreenDesignGroup.com



Approval Signature

DATE:
03/14/2024

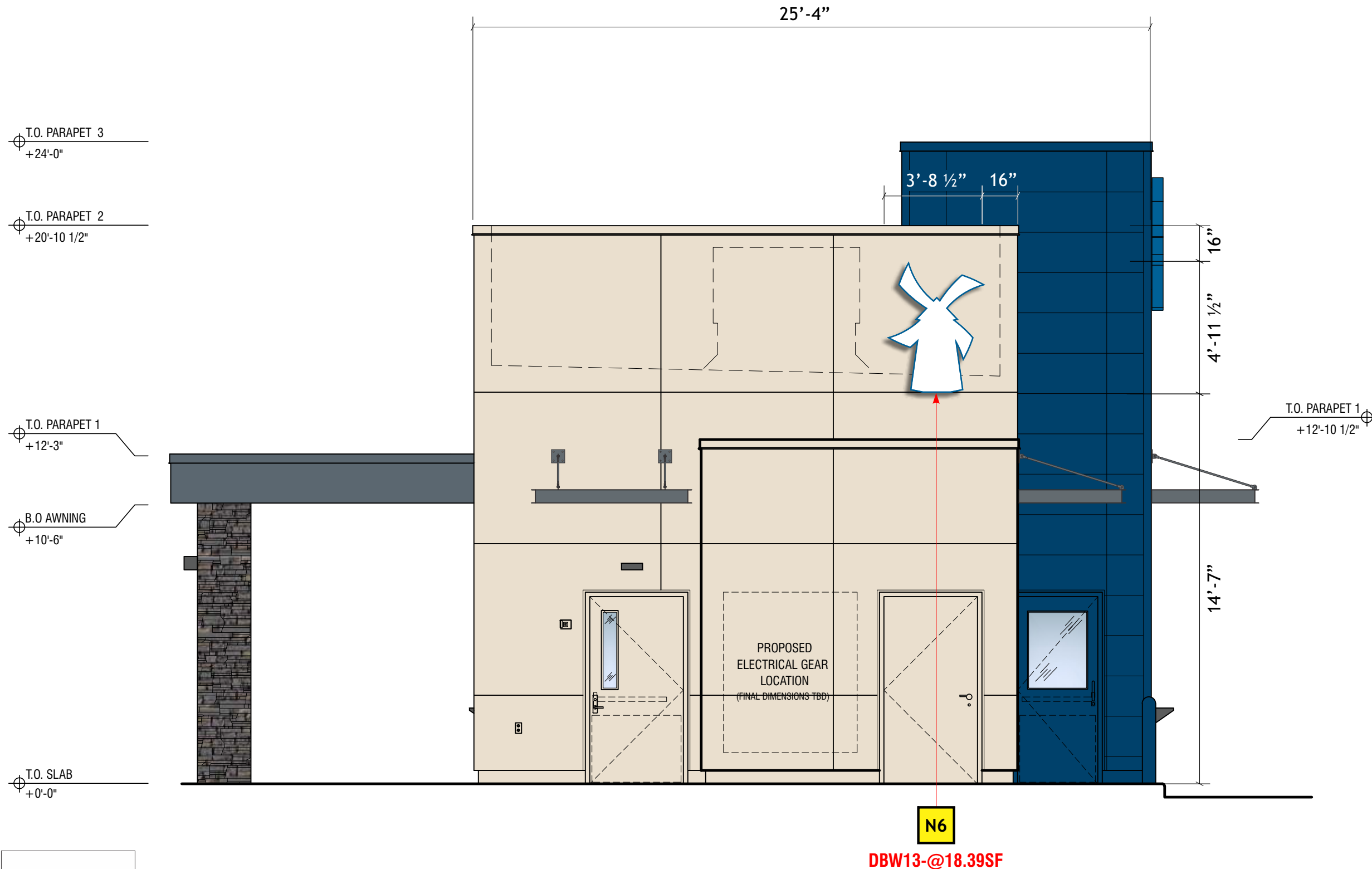
PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



CONSTRUCTION MGR.

DIRECTOR



SOUTH ELEVATION

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

TOTAL SQ. FT.: 18.39

Scale: 1/4"=1'-0"

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: 04/17/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: Yee David & Rosa B & Yee Audrey Anne

Mailing Address*: 6833 Vivian Dr NE, Albuquerque, NM 87109-3995

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
Location Description _____
2. Property Owner* 7330 San Antonio LLC - Steve Maestas
3. Agent/Applicant* [if applicable] Barghausen Consulting Engineers, Inc. – Brianna Uy & Sabrina Rushing
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Request a Major Amendment to Site Plan from the EPC to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: June 20, 2024, 8:40 a.m.

Location*²: https://cabq.zoom.us/j/2269592859

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
s.rushing@barghausen.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ E-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- ~~d. For residential development*:~~ Maximum number of proposed dwelling units.
- e. For non-residential development*:**
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>




**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	
Decision-making Body:	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No PR-2023-007872
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application: Amendment (Yes)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 7330 San Antonio Drive NE, Albuquerque, NM 87109	
Name of property owner: Maestas Development Group - Steve Maestas	
Name of applicant: Dutch Bros - Ron Austerman	
Date, time, and place of public meeting or hearing, if applicable:	
Zoom: https://cabq.zoom.us/j/2269592859 June 20 2024, 8:40 p.m.	
Address, phone number, or website for additional information:	
srushing@barghausen.com	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

DocuSigned by:

 74DA5C31CCD844F... (Applicant signature) May 3, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT, 600 2ND ST. NW, ALBUQUERQUE, NM 87102 505.924.3860

www.cabq.gov

Printed 11/1/2020



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**

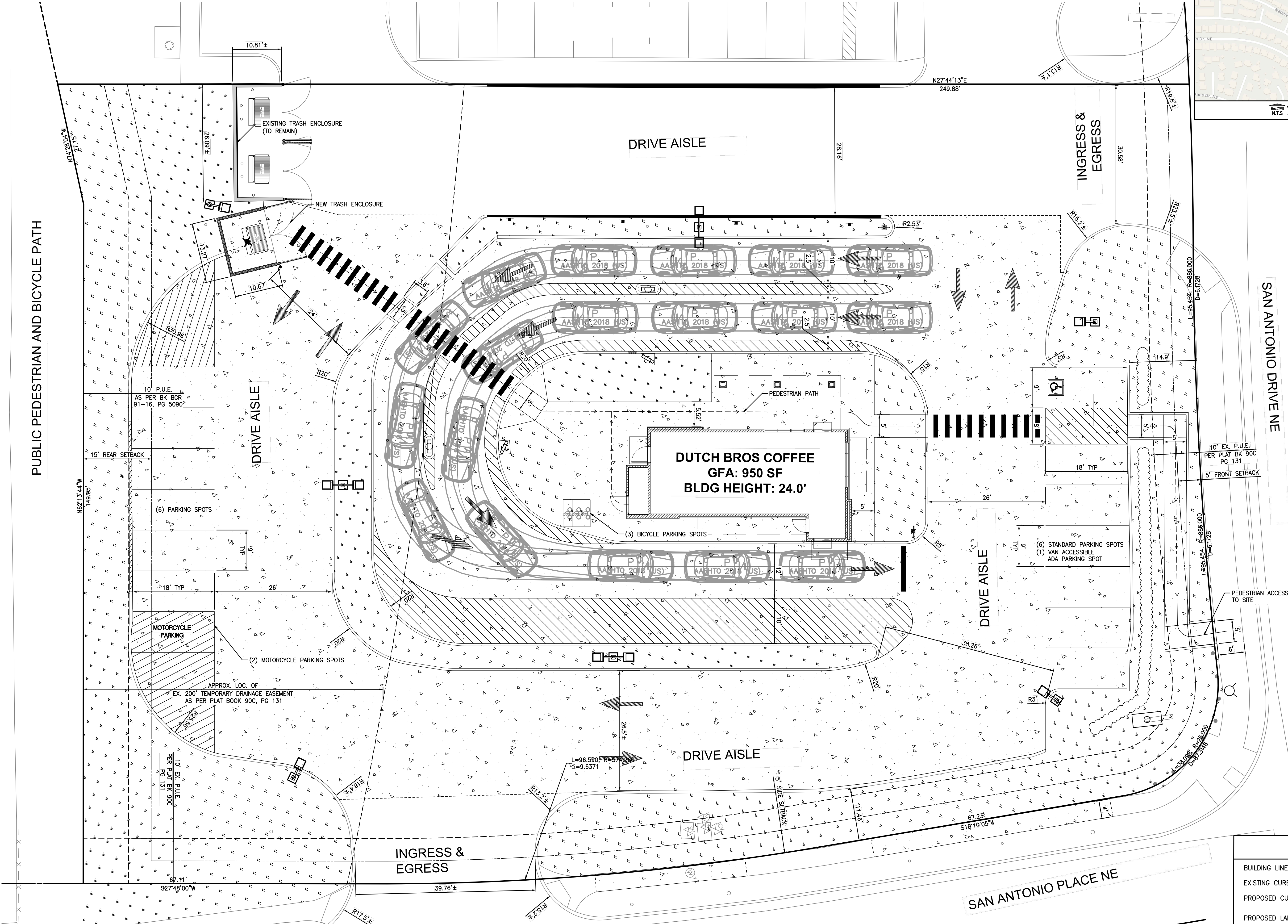
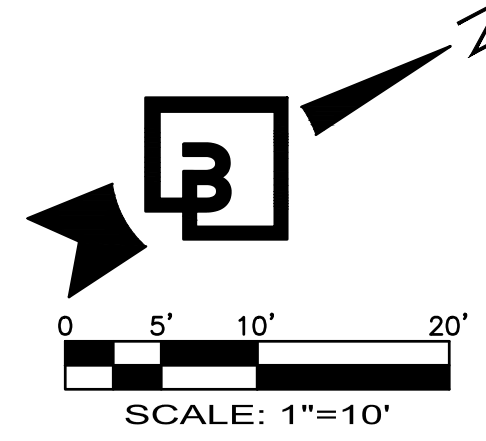
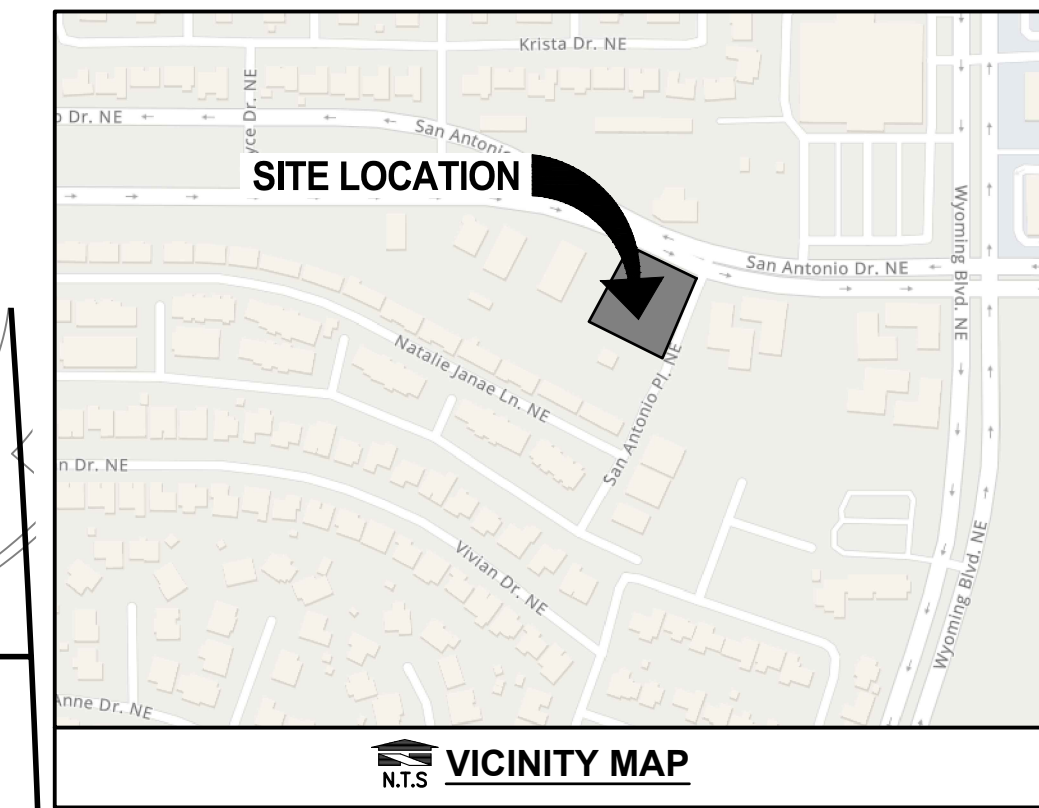


PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

DUTCH BROS. COFFEE - NM0504, ALBUQUERQUE, NM
 7330 SAN ANTONIO DR NE
 WYOMING COMMERCIAL COMPLEX (Z-95-109) AMENDED SITE PLAN



LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE PAVEMENT	

Title: Z-95-109 AMENDED SITE PLAN
 7330 SAN ANTONIO DR NE
 ALBUQUERQUE, NM 87109

For:

Scale: Horizontal 1" = 10', Vertical N/A

Designed: BB
Drawn: BB
Checked: AEM
Approved: AEM
Date: 4/04/24

Job Number: 23204
Sheet: 1 OF 3
2019 IBC
 Framing USA, LLC

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222 barghausen.com

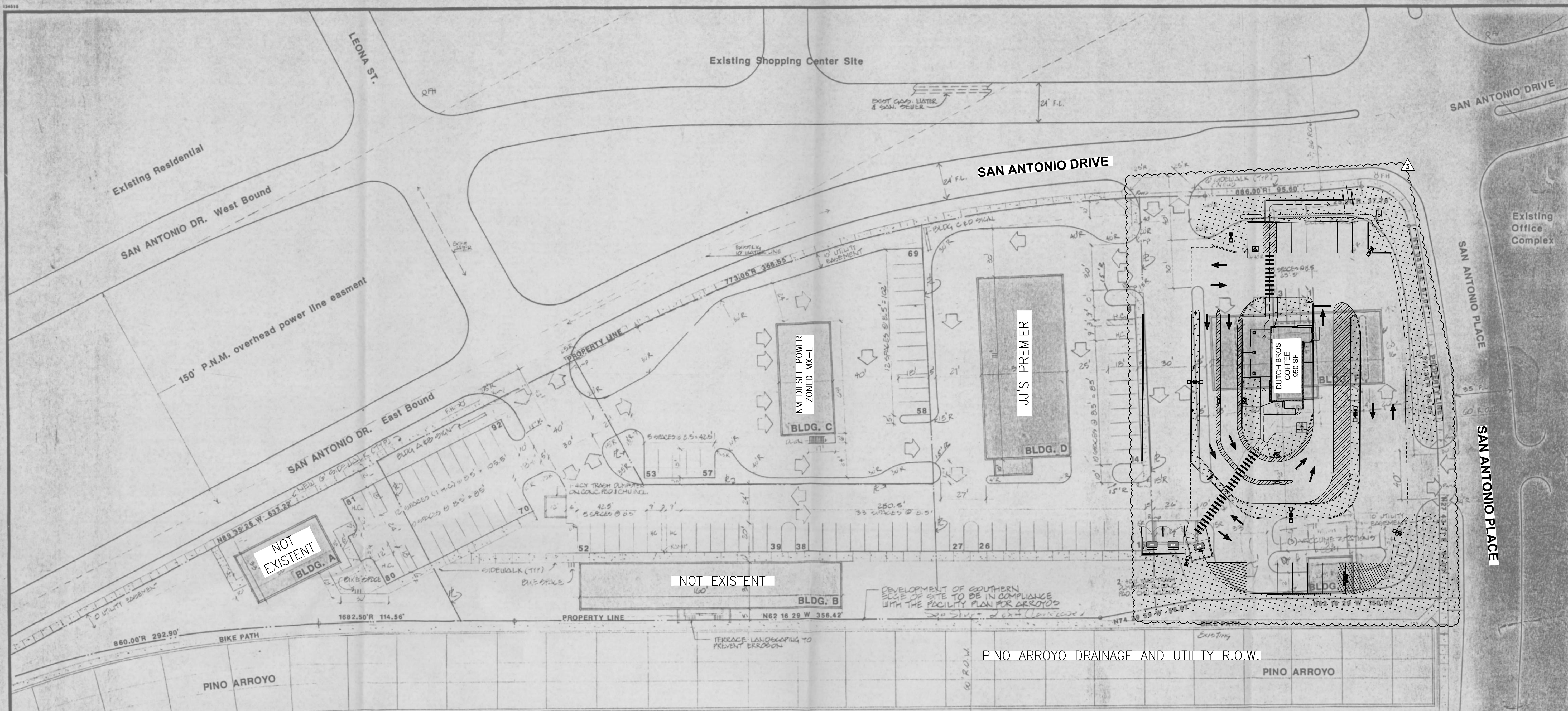
ANTHONY ERNESTO OLIVERA
 29486
 PROFESSIONAL ENGINEER

PA:230005\23204\preliminary\23204-SP.dwg 4/4/2024 5:04 PM BBL/ABES

Know what's below.
 Call before you dig.
 Dial 811

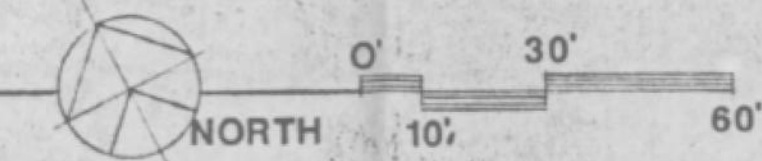
The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

PRELIMINARY NOT FOR CONSTRUCTION



SITE PLAN

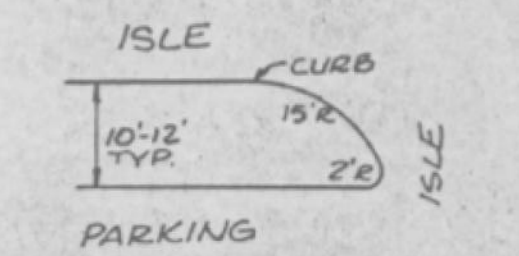
SCALE: 1" = 30'



PROJECT DATA:	WYOMING COMMERCIAL COMPLEX
LEGAL DESCRIPTION:	TRACT C-1 ACADEMY ACRES UNIT 17
ZONING:	MX-L
ZONE MAP:	IDO ZONE LOOK-UP MAP
SECTOR DEVELOPMENT PLAN:	N/A
COMPREHENSIVE PLAN:	ESTABLISHED URBAN
TOTAL SITE AREA:	3.3662 ACRES 146,632 SQUARE FEET
BUILDING AREA:	ALL BUILDINGS SINGLE LEVEL
	BUILDING A (NOT EXISTENT) REPLACED BY JIFFY LUBE ~2600 SF
	BUILDING B (NOT EXISTENT) REPLACED BY BRAKE MASTERS ~2350 SF
	BUILDING C 2277 SF
	BUILDING D 6002 SF
	BUILDING E (NOT EXISTENT) N/A
	BUILDING F (CURRENT DEVELOPMENT) 950 SF
TOTAL BUILDING AREA:	14,179 SF (9.7%)
TOTAL PAVED AREA:	86,209 SF (58.8%)
TOTAL LANDSCAPE AREA:	46,244 SF (31.5%)
PARKING REQUIREMENTS:	1 SPACE PER 200 OF LEASABLE AREA
REQUIRED:	14,179/200=
PROVIDED:	71 SPACES
DISABLED PARKING REQ.:	5 SPACES
DISABLED PARKING PROV.:	4 SPACES
BIKE SPACES REQ.:	4 SPACES
BIKE SPACES PROV.:	4 SPACES
REFUSE DATA:	4 DUMPSTERS PROVIDED

- SIGN GUIDELINES**
- All signs within Wyoming Commercial Complex will be designed to provide consistent reinforcement of the Wyoming Commercial Complex character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area. Signs in Wyoming Commercial Complex should advertise a place of business or provide directions and information. Signs shall be architecturally attractive and contribute to the character of the area. Signs should not compete with each other or dominate the setting via inconsistent height, size, shape, number, color, lighting or movement. Signs shall conform to the guidelines set forth herein:
- No signs unless lawfully permitted shall be placed upon or project from or above the public property or right-of-way, except as noted herein and approved.
 - Application for sign approval shall be accompanied by sketches and drawings to scale and dimensions showing details of construction, and shall delineate the size, shape, design, material, coloring, lettering, lighting and position in relationship to the building form or place where it will be displayed.
 - Painted signs shall use fade-resistant, durable, exterior finish paint. Luminous paints or plastics are permitted.
 - The typeface used on all signs will be consistent with the architectural style of the building.
 - Signs may be lighted, however, no light that flashes or blinks or effects changes in hue or intensity of illumination is permitted. Illumination sources for the sign will be hidden from view.
 - Bright glossy enamel, fluorescent or iridescent paint materials are not acceptable.
 - It is the responsibility of the owner of the land and/or improvements to ensure any sign abandoned or not in use for a period in excess of ninety (90) days.
 - Sign colors shall be consistent with the Wyoming Commercial Complex Architectural Style and be harmonious with the building it identifies. All signs except temporary signs, traffic regulating signs and logos, will have a maximum of two colors, one for the face, post and base, and another for the lettering. A third color may be introduced for a complex of two or more buildings to distinguish buildings or phases, when a business name is in itself a business logo, it is exempt from color restrictions.
 - Clear sight triangles shall be observed and enforced at all intersections, corners, parking areas and drives at all times.

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90



TYPICAL ISLE INTERSECTION

DEVELOPMENT REVIEW BOARD	
<i>Robert H. Daulton</i>	4-10-90
TRAFFIC ENGINEER	DATE
<i>Paul M. Stone</i>	4-10-90
PARKS AND RECREATION DIRECTOR	DATE
<i>Robert W. Kane</i>	4-10-90
WATER RESOURCES ENGINEER	DATE
<i>Frank J. Aguirre</i>	4-10-90
CITY ENGINEER / HYDROLOGY	DATE
2-79-66-8	
I certify that this area is zoned SU-1 and that this plan is consistent with the specific development plan approved by the Environmental Planning Commission on: 3-15-90	
<i>Jack Cloud</i>	4-10-90
PLANNING DIRECTOR	DATE

APPROVALS

CUSTER-BASARICH LTD
Architects-Planners AIA
300 Central SW Suite 1000W
Albuquerque, New Mexico 87102
Telephone: 1505 765-1020



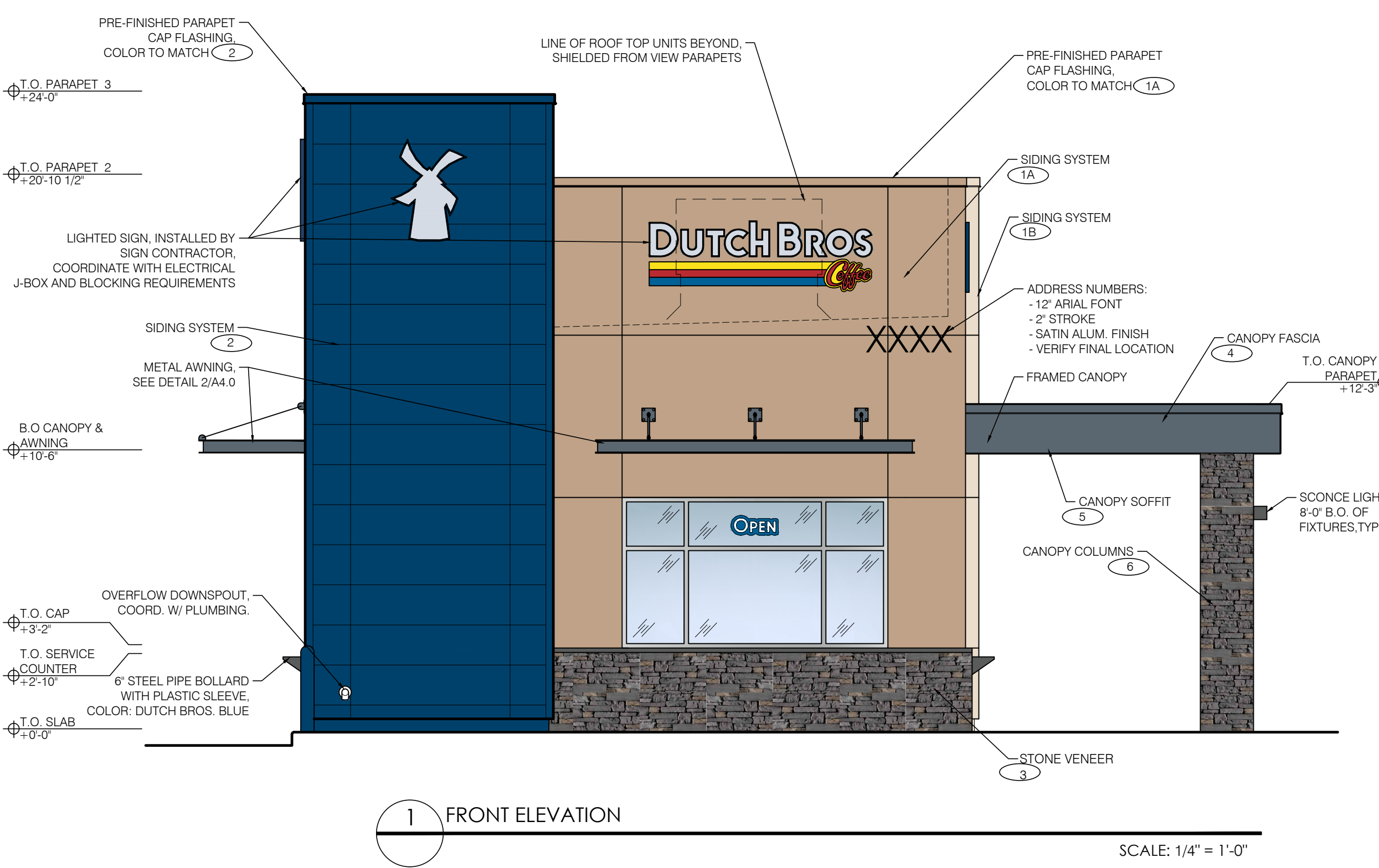
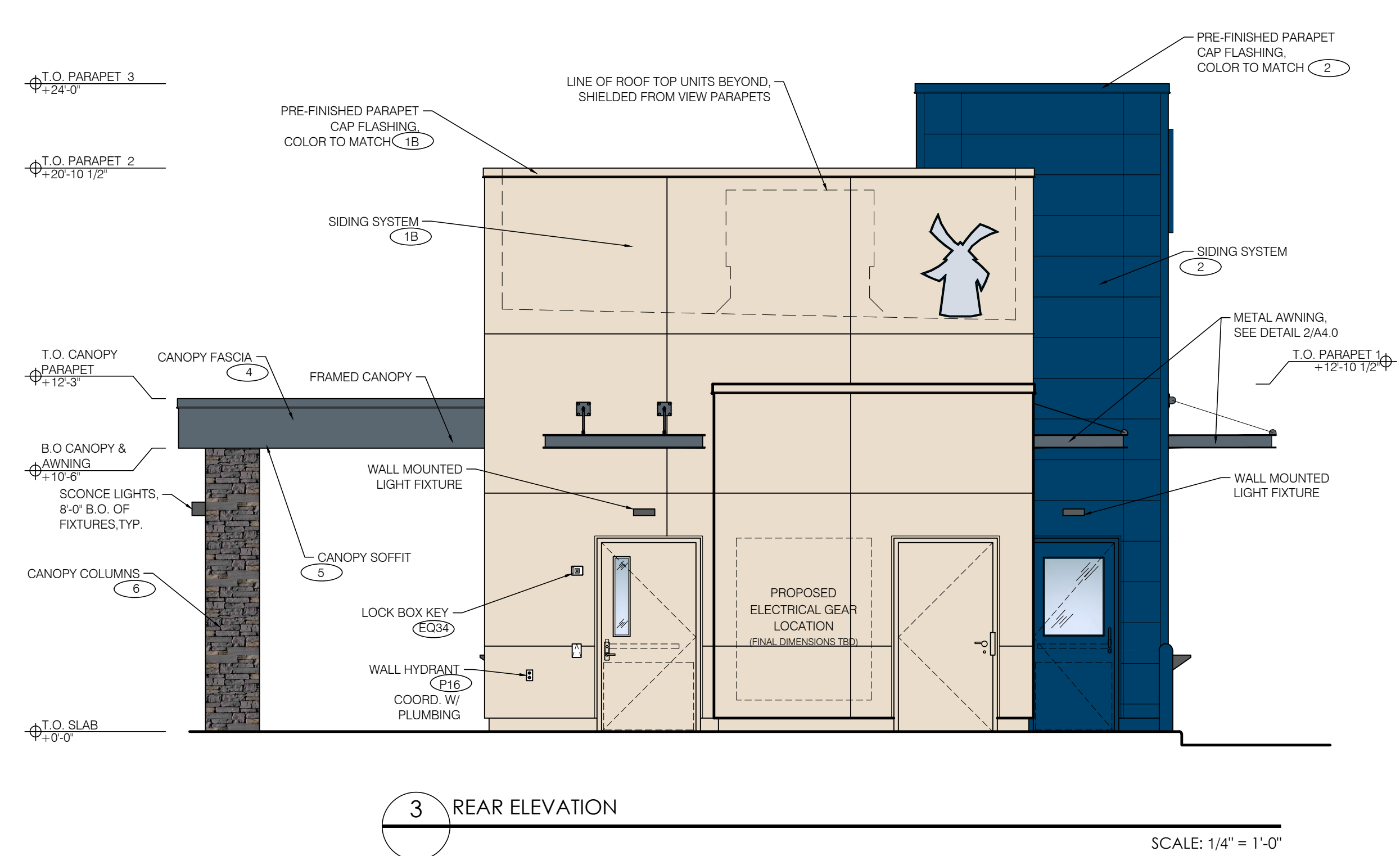
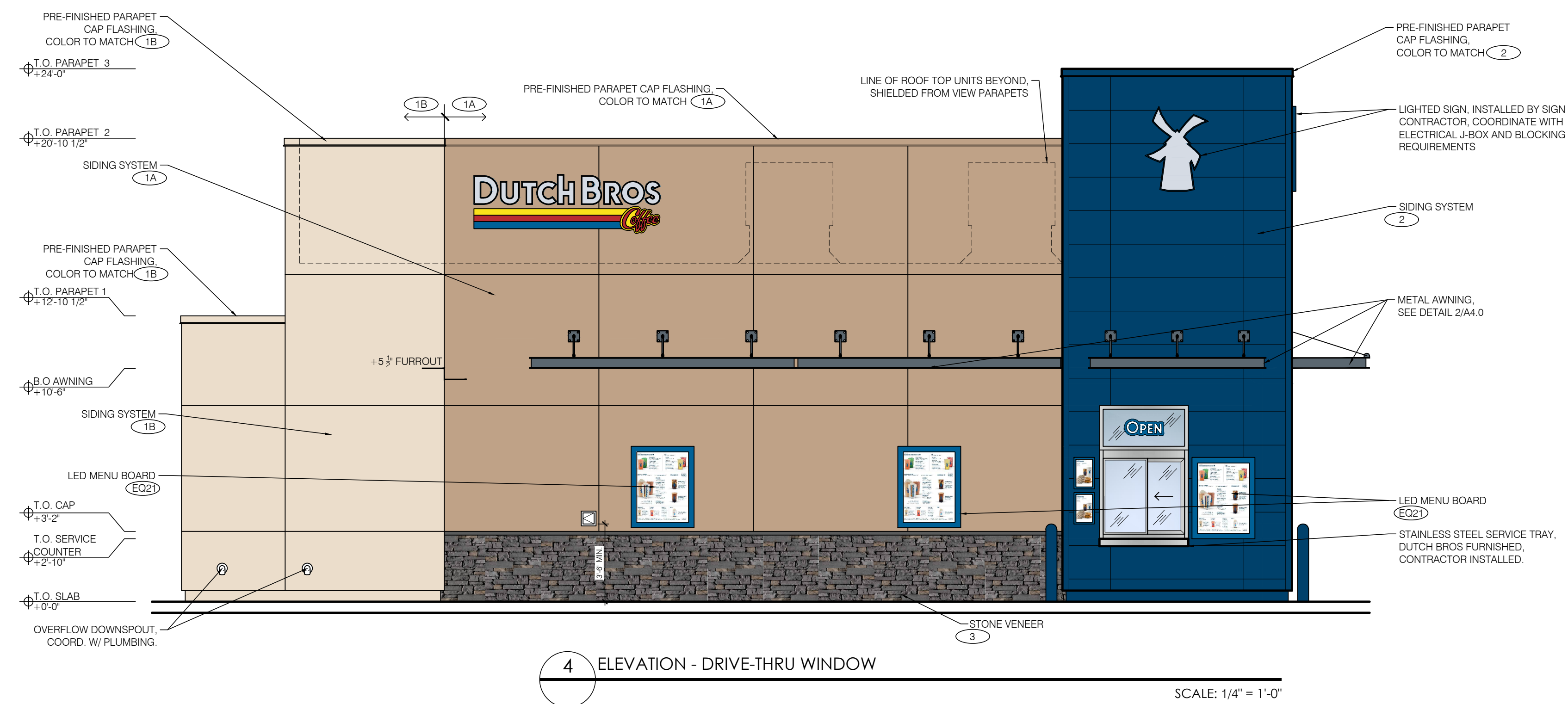
WYOMING COMMERCIAL COMPLEX
SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
Albuquerque, New Mexico

PROJECT	WYOMING COMMERCIAL COMPLEX
REVISIONS	PER CITY OF ALBUQUERQUE 3-15-90
DATE	4-10-90
BY	FRANK J. AGUIRRE
TITLE	SITE PLAN MODIFICATION DUTCH BROS. COFFEE
DATE	04/04/2024

DATE	1-26-90
SHEET TITLE	SITE DEVELOPMENT PLAN
SHEET NO.	2 OF 5

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "lock and leaf" of the establishments and products, all text, images, colors, configurations, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

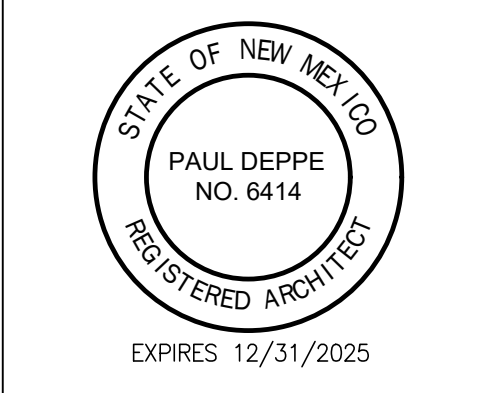
EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	OAK BARREL #SW 7714	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	BISCUIT #SW 6112	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS	FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 1/2" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	



ad
ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

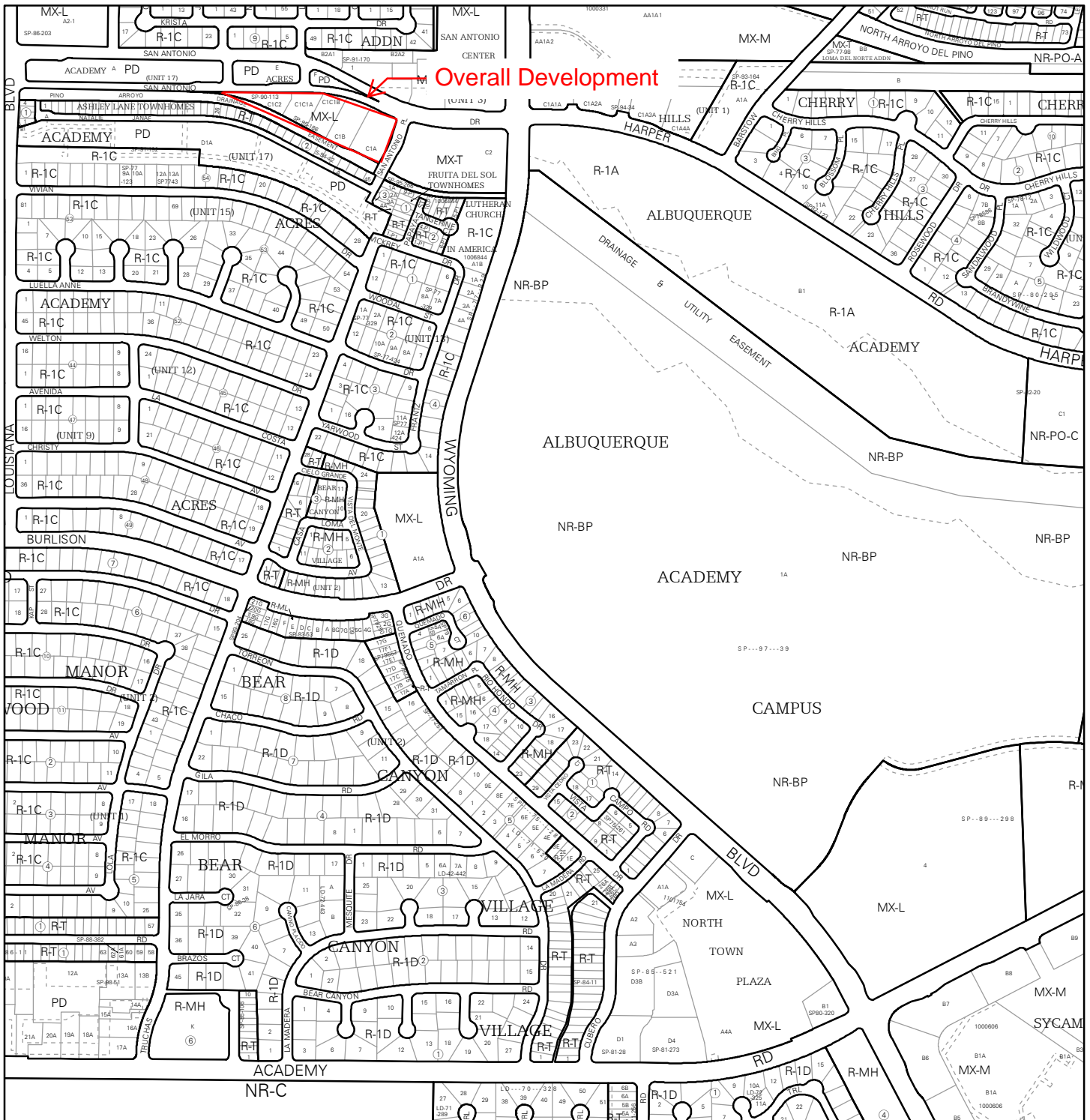


Project No: NM0504
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
7330 SAN ANTONIO DR NE.
ALBUQUERQUE, NM 87109

DATE: 02/01/2024
REV: DATE: DESCRIPTION:

SHEET NAME:
BUILDING ELEVATIONS
COLOR

SHEET NUMBER:
A6.1



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

ABBY ROSE LLC
37 AVENIDA DEL SOL
CEDAR CREST NM 87008-9415



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

CSP CHERRY HILL LP
7331 SAN ANTONIO DR NE
ALBUQUERQUE NM 87109-4871



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

D C L P TRUST
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

D C L P TRUST
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

DCLP TRUST III
7600 PAN AMERICAN PL NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

EAVES MELODY K
7139 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

EVANKO DEBORAH A ATTN: DEBORAH A
HAYCROFT
1511 POLO PL NW
ALBUQUERQUE NM 87114-8811



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

FISK MICHAEL & GINA
6616 STONECREST LN
FAIRFAX VA 22039-1200



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

FORD JANET
7335 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

GALLEGOS MICHAEL K & COLLEEN R
7151 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

GOMEZ JOSE M JR & CARLA DEVORAH
6908 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

GONZALES OONA
7147 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

GRIFFIN STEPHANIE M
7227 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

GRUCA DOROTA G
6931 PAPAYA ST NE
ALBUQUERQUE NM 87109-4064



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

HAHS ILYSE D
7215 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

HEIGHTS PROPERTIES LLP
PO BOX 30661
TUCSON TX 85751-0661



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

HENDERSON WILLIAM G & CAROL F
11801 BACCARAT LN NE
ALBUQUERQUE NM 87111



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

HILGENDORF ROBERT & LING TONG
1824 CAMINO CORRALES
SANTA FE NM 87505-7503



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

JASKOLSKI JOSEPH PATRICK
7526 EL MORRO RD NE
ALBUQUERQUE NM 87109-3806



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

LARRANAGA LORENZO A & CHARLETTA
A
7716 LAMPLIGHTER LN NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

LOCKYEAR ELIZABETH MARIE
7223 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

ABDUL SAM & ALMAYYAH SHAFQA
7339 NATALIE JANA LN NE
ALBUQUERQUE NM 87109-3994



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

AMERICAN STORES PROPERTIES INC
PROPERTY TAX DEPT
7830 ORLANDO AVE
LUBBOCK TX 79423-1942

BARGHAUSEN



18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

7330 SAN ANTONIO LLC

7620 JEFFERSON ST NE

ALBUQUERQUE NM 87109-4340



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

ARANDA JAMIE EZRA
7331 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3994



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

BENNETT LESLIE
7201 NATALIE JANAE LN NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

BERMUDEZ EUGENE & ALICIA CO-
TRUSTEES BERMUDEZ TRUST
7413 EL MORRO RD NE
ALBUQUERQUE NM 87109-3808



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

CHAVEZ VELDA J
7235 NATALIE JANAE LN NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

CHERRY HILLS OFFICE COMPLEX LLC C/O
MAESTAS & WARD PROP MGMT
PO BOX 91090
ALBUQUERQUE NM 87199



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

LUBRICAR PROPERTIES III LLC
3520 CALLE CUERVO NW
ALBUQUERQUE NM 87114-9220



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

LUJAN SHIRLEY A & LUJAN MICHAEL L &
LISA M
6912 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

MISHIN EVGENY V & LYUBOV P CO-
TRUSTEES MISHIN FAMILY LIVING TRUST
7315 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3994



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

MITCHIE GRACE
6927 PAPAYA ST NE
ALBUQUERQUE NM 87109-4064



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

NICHOLS ROBERT G
7343 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3994



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

PACHECO GABRIELLA NICOLE
7131 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

PARKER KRISTOFFER
7135 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

PEARSON LOWELL K & JOANNE B
7239 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

REILLY MICHAEL P
PO BOX 2170
TIJERAS NM 87059-2170



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

RODRIGUEZ LOUELLA L
1025 AVENIDA LINDA
SANTA FE NM 87507-7726



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SALAZAR NELLIE M
6904 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SANCHEZ CHRISTOPHER
7340 SAN ANTONIO DR NE
ALBUQUERQUE NM 87109-4870



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SCHIEBEL KATHIE D
6900 SAN ANTONIO PL NE
ALBUQUERQUE NM 87109-4755



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SCRIVNER GARTH & JENNIFER L
7231 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SLATER RYAN & HOSAKA NAO
7219 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

SULLIVAN SEAN P
7143 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3996



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

TELEGRAPH HILL INVESTMENTS LLC C/O
MILLBURN & COMPANIES
15 W SOUTH TEMPLE SUITE 640
SALT LAKE CITY UT 84101-1531



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

VERDES HEIGHTS LLC
6005 CORONADO AVE NE
ALBUQUERQUE NM 87109-4665



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

ASHLEY LN TOWNHOME OWNERS
ASSOC INC C/O RANDALL SCHMILLE
7055 NATALIE JANA E LN NE
ALBUQUERQUE NM 87109-3993



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

YEE DAVID & ROSA B & YEE AUDREY
ANNE
6833 VIVIAN DR NE
ALBUQUERQUE NM 87109-3995



BARGHAUSEN

18215 72ND AVENUE SOUTH
KENT, WA 98032

barghausen.com

VIGIL MICHAEL J & DARLENE F TRUSTEE
VIGIL TRUST
6504 JADE DR NW
ALBUQUERQUE NM 87120-3284

23204



TUKWILA
225 ANDOVER PARK W
TUKWILA, WA 98188-9997
(800)275-8777

04/18/2024 02:47 PM

Product	Qty	Unit Price	Price
Global Afrn Daisy	50	\$1.55	\$77.50
10c Pears	50	\$0.10	\$5.00

Grand Total: \$82.50

Credit Card Remit \$82.50

Card Name: VISA
Account #: XXXXXXXXXXXX3616
Approval #: 042042
Transaction #: 576
AID: A0000000031010 Chip
AL: VISA CREDIT
PIN: Not Required

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail
Track your Packages
Sign up for FREE @
<https://informedelivery.usps.com>

All sales final on stamps and postage.
Refunds for guaranteed services only.
Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos>
or scan this code with your mobile device,



or call 1-800-410-7420.

UFN: 547641-0043
Receipt #: 840-59800370-4-8033224-2
Clerk: 23

F) NEIGHBORHOOD MEETING REPORT

Neighborhood
Meeting – Proof of
Email with Read
Receipt

Sabrina Rushing

From: Sabrina Rushing
Sent: Thursday, April 18, 2024 4:38 PM
To: rvaughn.rv@gmail.com; k2riley@msn.com; mgriffee@noreste.org; edueweke@juno.com
Cc: Brianna Uy
Subject: NM0504 - 7200, 7320, 7330, 7340, 7300 San Antonio Drive Northeast, Albuquerque, NM: Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque (BCE#23204)
Attachments: NeighborhoodMeetingRequest-Print&Fill.pdf; NM0504 - A6.0 - BUILDING ELEVATIONS - A1-A6.1 BLDG ELEVS COLOR.pdf; Site Plan.pdf; IDOZoneAtlasPage_E-19-Z.pdf; Public Notice Form Signed.pdf; NM0504 - 7200, 7320, 7330, 7340, 7300 San Antonio Drive Northeast, Albuquerque, NM: Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque (BCE#23204); NM0504 - 7200, 7320, 7330, 7340, 7300 San Antonio Drive Northeast, Albuquerque, NM: Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque (BCE#23204)

Tracking:

Recipient

Delivery

rvaughn.rv@gmail.com
k2riley@msn.com
mgriffee@noreste.org
edueweke@juno.com
Brianna Uy

Delivered: 4/18/2024 4:38 PM

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request: April 18, 2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-6-6-4(K) Public Notice to:

Neighborhood Association (NA): Cherry Hills Civic Association, District 4 Coalition of Neighborhood Associations

Name of NA Representative: Roger Vaughn, Kent Riley, Mildred Griffee, Ellen Dueweke

Email Address or Mailing Address of NA Representative: rvaughn.rv@gmail.com, k2riley@msn.com, mgriffee@noreste.org, edueweke@juno.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.

Email address to respond yes or no: srushing@barghausen.com

Meeting Date/Time/Location: TBD – All Neighborhood Associations have 15 calendar days from the date of this offer letter (04/18/2024) in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address: 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE

- 2. Property Owner: 7330 San Antonio LLC – Steve Maestas
- 3. Agent/Applicant: Barghausen Consulting Engineers, Inc. – Brianna Uy & Sabrina Rushing
- 4. Application Type per IDO Table 6-1-1:

Site Plan

Summary of project/request: The purpose of this Major Site Plan Amendment is to propose a 950-square-foot Dutch Bros Coffee Shop with drive-through located on the southwest corner of the intersection of San Antonio Drive Northeast and San Antonio Place Northeast in Albuquerque, NM.

- 5. This type of application will be decided by a public meeting or hearing by:

Environmental Planning Commission (EPC)

- 6. Where more information about the project can be found:

Sabrina Rushing, Administrative Assistant at Barghausen Consulting Engineers, Inc.

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

- 1. Zone Atlas Page(s): E-19-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice
- 3. The following exceptions to IDO standards will be requested for this project: N/A
- 4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1: **X YES**
- 5. For Site Plan Applications only, attach a site plan showing, at a minimum:
 - a. **Location of proposed buildings and landscape areas.**
 - b. **Access and circulation for vehicles and pedestrians.**
 - c. **Maximum height of any proposed structures, with building elevations.**
 - d. **For non-residential development**

Total gross floor area of proposed project

Gross floor area for each proposed use

- 1. Pursuant to IDO Subsection 14-16-6-4{K}{1}{a}, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.
- 2. If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.
- 3. Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information.

Sabrina Rushing | Administrative Assistant
 Direct: 425-291-3762 | Office: 425-251-6222

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South, Kent, WA 98032
www.barghausen.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 04/17/2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Cherry Hills Civic Association & District 4 Coalition of Neighborhood
Neighborhood Association (NA)*: Associations

Name of NA Representative*: Roger Vaughn, Kent Riley, Mildred Griffee, Ellen Dueweke

Email Address* or Mailing Address* of NA Representative¹: rvaughn.rv@gmail.com, k2riley@msn.com,
mgriffee@noreste.org, edueweke@juno.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: srushing@barghausen.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
Location Description _____
2. Property Owner* 7330 San Antonio LLC - Steve Maestas
3. Agent/Applicant* [if applicable] Brianna Uy & Sabrina Rushing
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Request a Major Amendment to Site Plan to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

5. This type of application will be decided by^{*}: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} E-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s) N/A

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - ~~d. For residential development*: Maximum number of proposed dwelling units.~~
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] _____
 - b. IDO Zone District _____
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] _____
 - 2. Current Land Use(s) [vacant, if none] _____
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

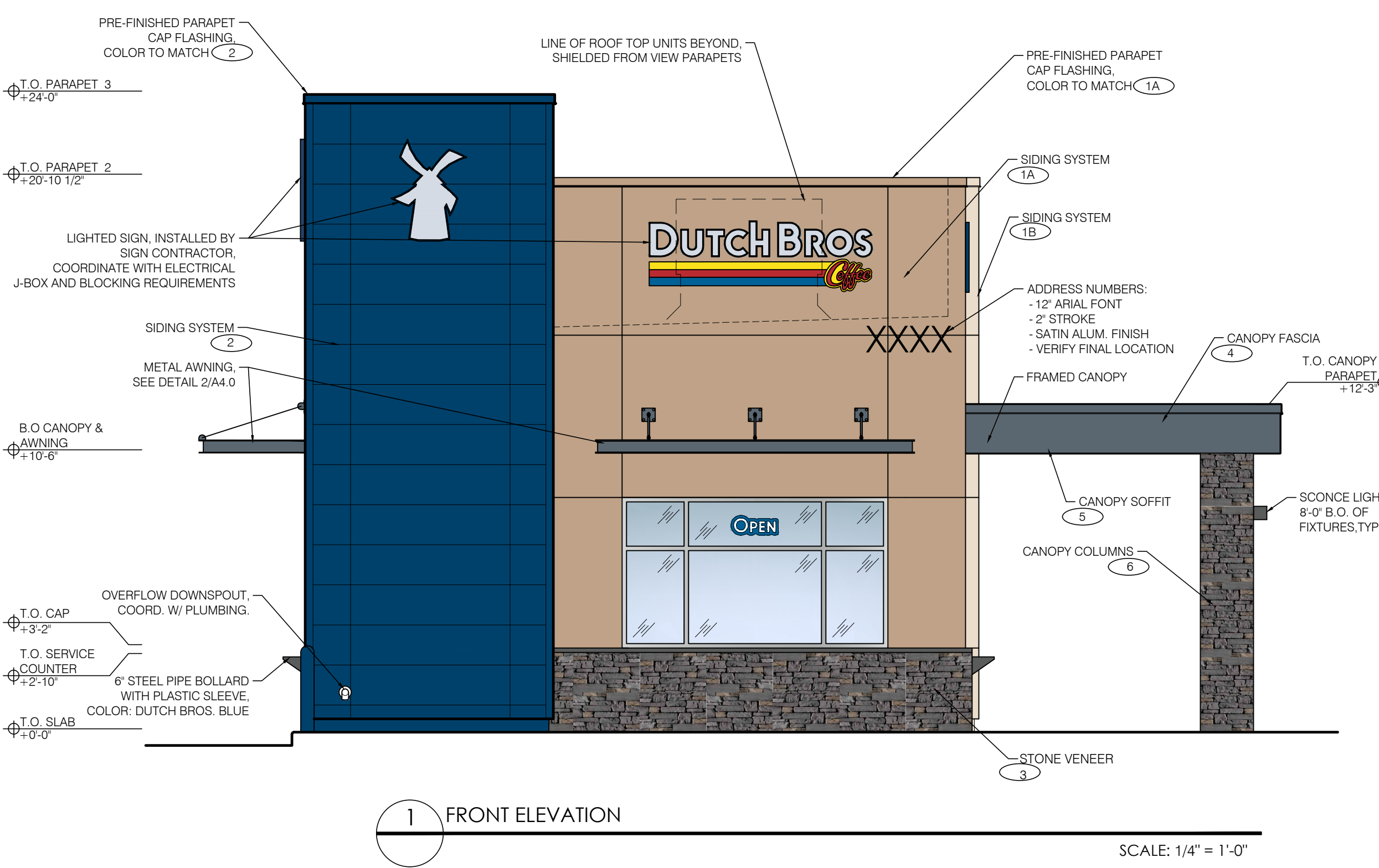
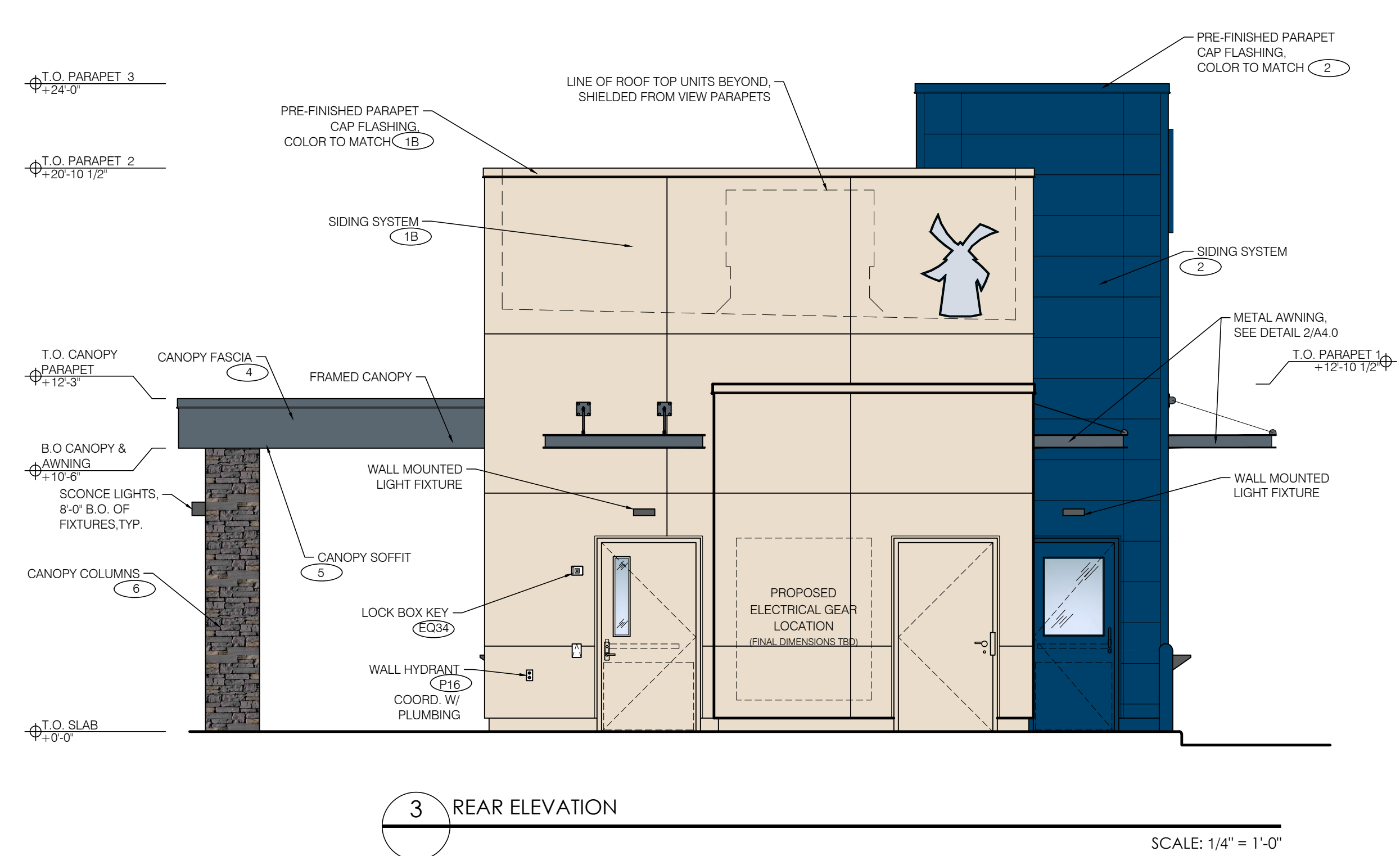
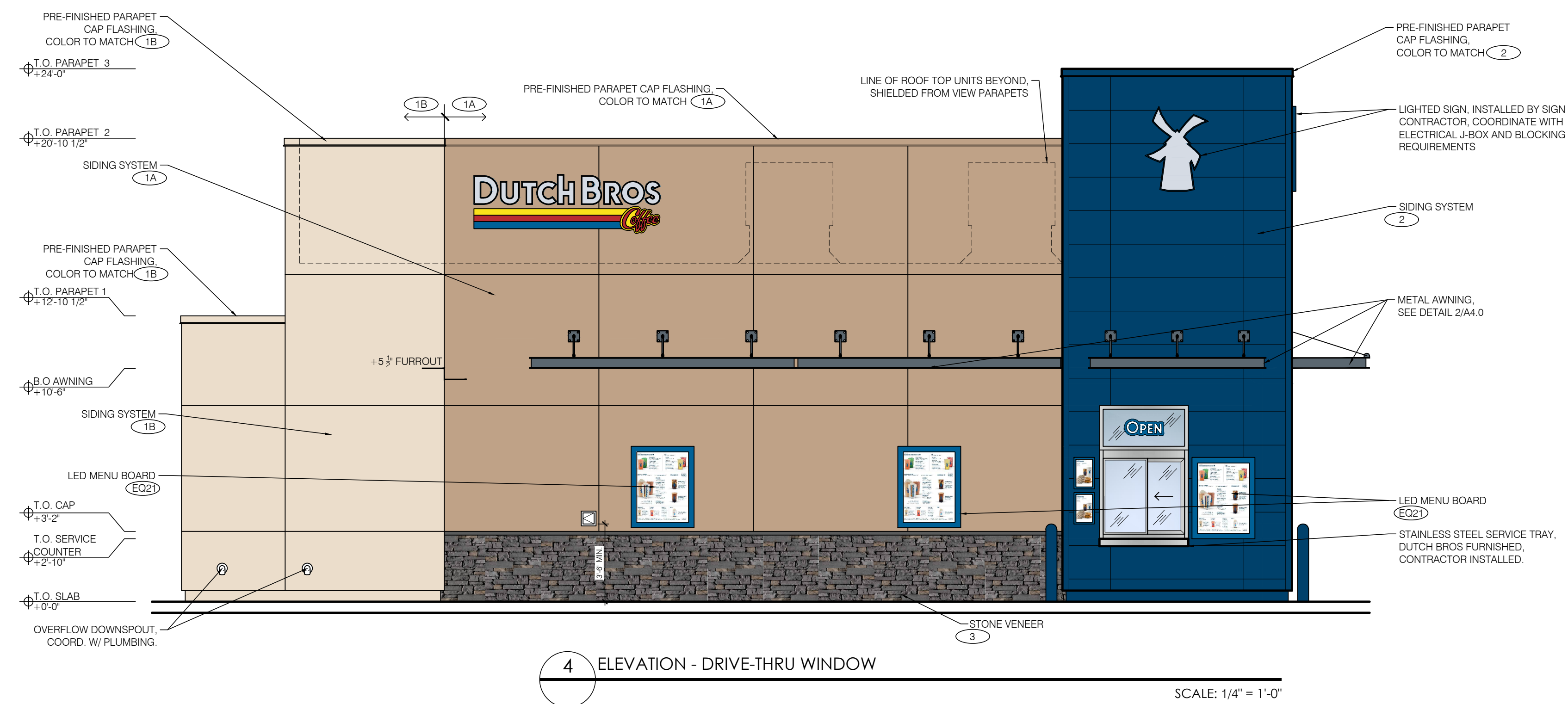
<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "lock and leaf" of the establishments and products, all text, images, colors, configurations, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

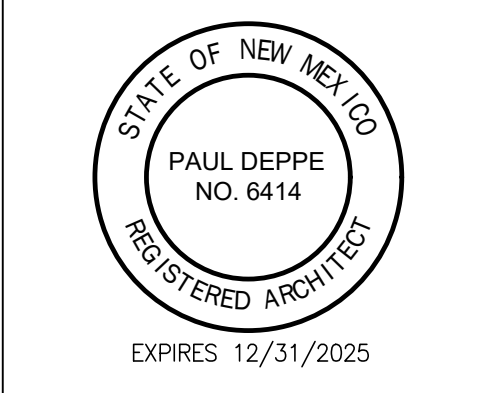
EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	OAK BARREL #SW 7714	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	BISCUIT #SW 6112	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS	FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 1/2" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	



ad
ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

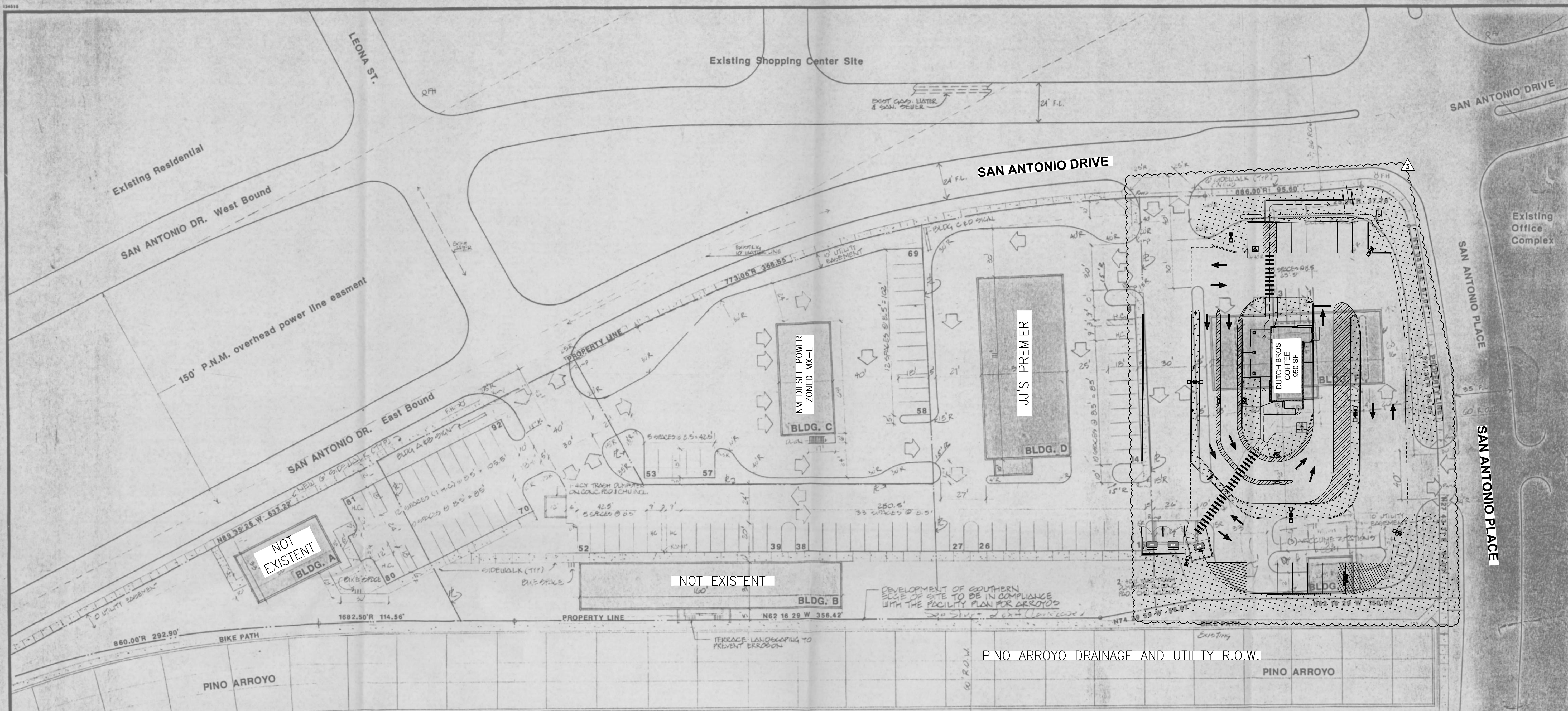


Project No: NM0504
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
7330 SAN ANTONIO DR NE.
ALBUQUERQUE, NM 87109

DATE: 02/01/2024
REV: DATE: DESCRIPTION:

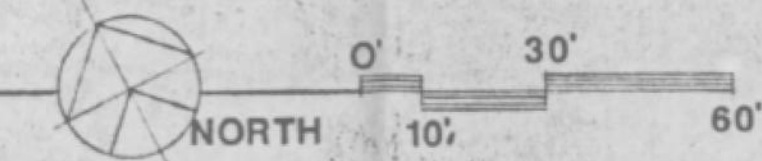
SHEET NAME:
BUILDING ELEVATIONS
COLOR

SHEET NUMBER:
A6.1



SITE PLAN

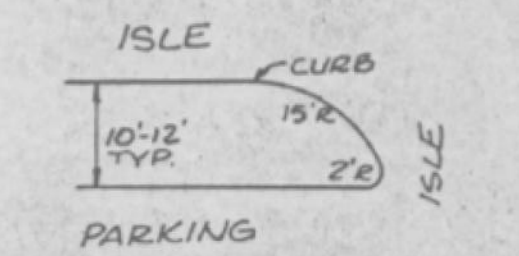
SCALE: 1" = 30'



PROJECT DATA:	WYOMING COMMERCIAL COMPLEX
LEGAL DESCRIPTION:	TRACT C-1 ACADEMY ACRES UNIT 17
ZONING:	MX-L
ZONE MAP:	IDO ZONE LOOK-UP MAP
SECTOR DEVELOPMENT PLAN:	N/A
COMPREHENSIVE PLAN:	ESTABLISHED URBAN
TOTAL SITE AREA:	3.3662 ACRES 146,632 SQUARE FEET
BUILDING AREA:	ALL BUILDINGS SINGLE LEVEL
	BUILDING A (NOT EXISTENT) REPLACED BY JIFFY LUBE ~2600 SF
	BUILDING B (NOT EXISTENT) REPLACED BY BRAKE MASTERS ~2350 SF
	BUILDING C 2277 SF
	BUILDING D 6002 SF
	BUILDING E (NOT EXISTENT) N/A
	BUILDING F (CURRENT DEVELOPMENT) 950 SF
TOTAL BUILDING AREA:	14,179 SF (9.7%)
TOTAL PAVED AREA:	86,209 SF (58.8%)
TOTAL LANDSCAPE AREA:	46,244 SF (31.5%)
PARKING REQUIREMENTS:	1 SPACE PER 200 OF LEASABLE AREA
REQUIRED:	14,179/200=
PROVIDED:	71 SPACES
DISABLED PARKING REQ.:	5 SPACES
DISABLED PARKING PROV.:	4 SPACES
BIKE SPACES REQ.:	4 SPACES
BIKE SPACES PROV.:	4 SPACES
REFUSE DATA:	4 DUMPSTERS PROVIDED

- SIGN GUIDELINES**
- All signs within Wyoming Commercial Complex will be designed to provide consistent reinforcement of the Wyoming Commercial Complex character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area. Signs in Wyoming Commercial Complex should advertise a place of business or provide directions and information. Signs shall be architecturally attractive and contribute to the character of the area. Signs should not compete with each other or dominate the setting via inconsistent height, size, shape, number, color, lighting or movement. Signs shall conform to the guidelines set forth herein:
- No signs unless lawfully permitted shall be placed upon or project from or above the public property or right-of-way, except as noted herein and approved.
 - Application for sign approval shall be accompanied by sketches and drawings to scale and dimensions showing details of construction, and shall delineate the size, shape, design, material, coloring, lettering, lighting and position in relationship to the building form or place where it will be displayed.
 - Painted signs shall use fade-resistant, durable, exterior finish paint. Luminous paints or plastics are permitted.
 - The typeface used on all signs will be consistent with the architectural style of the building.
 - Signs may be lighted, however, no light that flashes or blinks or effects changes in hue or intensity of illumination is permitted. Illumination sources for the sign will be hidden from view.
 - Bright glossy enamel, fluorescent or iridescent paint materials are not acceptable.
 - It is the responsibility of the owner of the land and/or improvements to ensure any sign abandoned or not in use for a period in excess of ninety (90) days.
 - Sign colors shall be consistent with the Wyoming Commercial Complex Architectural Style and be harmonious with the building it identifies. All signs except temporary signs, traffic regulating signs and logos, will have a maximum of two colors, one for the face, post and base, and another for the lettering. A third color may be introduced for a complex of two or more buildings to distinguish buildings or phases, when a business name is in itself a business logo, it is exempt from color restrictions.
 - Clear sight triangles shall be observed and enforced at all intersections, corners, parking areas and drives at all times.

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90



TYPICAL ISLE INTERSECTION

DEVELOPMENT REVIEW BOARD	
<i>Robert H. Daulton</i>	4-10-90
TRAFFIC ENGINEER	DATE
<i>Paul M. Stone</i>	4-10-90
PARKS AND RECREATION DIRECTOR	DATE
<i>Robert W. Kane</i>	4-10-90
WATER RESOURCES ENGINEER	DATE
<i>Frank J. Aguirre</i>	4-10-90
CITY ENGINEER / HYDROLOGY	DATE
2-79-66-8	
I certify that this area is zoned SU-1 and that this plan is consistent with the specific development plan approved by the Environmental Planning Commission on: 3-15-90	
<i>Jack Cloud</i>	4-10-90
PLANNING DIRECTOR	DATE

APPROVALS

CUSTER-BASARICH LTD
Architects-Planners AIA
300 Central SW Suite 1000W
Albuquerque, New Mexico 87102
Telephone: 1505 765-1020



WYOMING COMMERCIAL COMPLEX
SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
Albuquerque, New Mexico

PROJECT	WYOMING COMMERCIAL COMPLEX
REVISIONS	PER CITY OF ALBUQUERQUE 3-15-90
DATE	4-10-90
BY	FRANK J. AGUIRRE
TITLE	SITE PLAN MODIFICATION DUTCH BROS. COFFEE
DATE	04/04/2024

DATE	1-26-90
SHEET TITLE	SITE DEVELOPMENT PLAN
SHEET NO.	2 OF 5

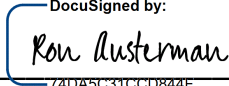


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Major Amendment to Site Plan	
Decision-making Body: completed but was	
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No PR-2023-007872 not required
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application: Amendment	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 7330 San Antonio Drive NE, Albuquerque, NM 87109	
Name of property owner: Maestas Development Group - Steve Maestas	
Name of applicant: Dutch Bros - Ron Austerman	
Date, time, and place of public meeting or hearing, if applicable:	
Zoom: https://cabq.zoom.us/j/2269592859 June 20 2024, 8:40 p.m.	
Address, phone number, or website for additional information:	
srushing@barghausen.com	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
NA Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

DocuSigned by:
 (Applicant signature) April 1, 2024 (Date)
74DA5C31CCD844F...

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Completed
Neighborhood
Meeting
Request Form



[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 04/17/2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Cherry Hills Civic Association & District 4 Coalition of Neighborhood
Neighborhood Association (NA)*: Associations

Name of NA Representative*: Roger Vaughn, Kent Riley, Mildred Griffee, Ellen Dueweke

Email Address* or Mailing Address* of NA Representative¹: rvaughn.rv@gmail.com, k2riley@msn.com,
mgriffee@noreste.org, edueweke@juno.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: srushing@barghausen.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
Location Description _____
2. Property Owner* 7330 San Antonio LLC - Steve Maestas
3. Agent/Applicant* [if applicable] Brianna Uy & Sabrina Rushing
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Request a Major Amendment to Site Plan to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

5. This type of application will be decided by^{*}: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} E-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s) N/A

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - ~~d. For residential development*: Maximum number of proposed dwelling units.~~
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] _____
 - b. IDO Zone District _____
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] _____
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

Office of
Neighborhood
Coordination
Notice Inquiry
Response



Sabrina Rushing

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Thursday, April 11, 2024 12:15 PM
To: Sabrina Rushing
Subject: 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE_Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_E-19-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Alternative Email
Cherry Hills Civic Association	Roger	Vaughn	rvaughn.rv@gmail.com	
Cherry Hills Civic Association	Kent	Riley	k2riley@msn.com	
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	sec.dist4@gmail.com
District 4 Coalition of Neighborhood Associations	Ellen	Dueweke	edueweke@juno.com	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: https://secure-web.cisco.com/1XAYZO32AHm59YdSuM5oStbpUtUo1D4Y9hlieR3NghdlUyJBAo7AUXbhUnz_T7LuJLFU_8LmZK7egruPYCbeXJFKK-LtnbiO1AIWsNj9k68rF-u4uqLcZfoxEcnjLRlyo_KUiOuRmDu-x1yGyIINxAHKd2SkWBBm9HtlhyZAeFoMbc_aEN1OJtfrVUo0jWtZbN5PFwcAKQxzFrNABtHo6KU5q0lh9XBOA88SHku3vKRu3wAvGg0IKYOnMiE52U4n4Q3JBZhx8VAzd4vHyQkoWA5boStrOrR9KXBNv5mg2x5QFkQzlvwuYBadLhXjr4XL0WTb8EcdhUdkw31C-j439gQgnJcEAI5SxNDb0ZsMpic0UYAppj2GnIUNREpHq_j_8BqARnw5ZVBdx08FdkPjssg/https%3A%2F%2Fwww.cabq.gov%2Fplanning%2Fonline-planning-permitting-applications with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. https://secure-web.cisco.com/1vpUKh8ZPy4aHxgRyBRXnuzxczrZPgG_BsxOHnqtkeE8XTijA6XoK-rLZOWVXjZmgJL9iCwHIO2x8FQs7YYHcs2zlSeW9w7vT3cdontmdjtbNq1Xd2gu_w7Glay-ShjHN4ILAQ4nc6gjiV62ngg8LZoFzW8wHxkplBxvBEO_k8K4ZyzWdBROvmxHxZtvoh9xHgkCIARQJIMDJwx78ji6R6_yaUc8chEoNbm8YHFHEg2en52wce36OI7ZOxkBgpoUxK6iUEfy18R18cC3vrqN9GMu80eSGbSLP_xMrRp1xYM9ihY6HoXztpEjAzZnA2RNzWxFO8kCrDWNvbJDm40_a5j5x_DfKCaG8e_fslWUIrCmf05a

[5sihXdkkDyz8DCG3gdC6qIY3V0wnHz9x_PhGA/https%3A%2F%2Fwww.cabq.gov%2Fplanning%2Furban-design-development%2Fpublic-notice.](https://secure-web.cisco.com/1AAPBWvaf-Pdcsf8RHhd4_OSinKzJMD1mzTXSII_1xlo8pPd_ZfiFbHTV0tip9WWjm24NHJecGPsBQ4MH76xUKIXjHIGoKs1IKJjpWVfmGO3JxgbdNWZ4FaSXmQW2aAw_gxMEGkHYxBVMNA6onnc31WX0HNRyXvcnLn74IE-rX2Zl_M64UrDYpcUbTZfdq6ez0HHDInkGYfzvSYwsF76tU62_FBucB0NisXePU4F3UVpcsJ5m0ei9uHOSTc1cPtmxy7Eng9VsJx9FN0cXGF-fxsLbYY3g4gJDqjkg-I7CU19osVKXF6Yz2P3SDJB0RZ_lkAjYm5GBWLGvK4J_ByeThR_OBSsEUREPjNevCl_iS1GXjk3RAKYcgGCVyv_rFYarWG0oxdZUIEYbBV9qlhaPEQ/https%3A%2F%2Fdocuments.cabq.gov%2Fplanning%2Fonline-forms%2FPublicNotice%2FCABQ-Official_public_notice_form-2019.pdf)

- The Checklist form you need for notifying neighborhood associations can be found here: https://secure-web.cisco.com/1AAPBWvaf-Pdcsf8RHhd4_OSinKzJMD1mzTXSII_1xlo8pPd_ZfiFbHTV0tip9WWjm24NHJecGPsBQ4MH76xUKIXjHIGoKs1IKJjpWVfmGO3JxgbdNWZ4FaSXmQW2aAw_gxMEGkHYxBVMNA6onnc31WX0HNRyXvcnLn74IE-rX2Zl_M64UrDYpcUbTZfdq6ez0HHDInkGYfzvSYwsF76tU62_FBucB0NisXePU4F3UVpcsJ5m0ei9uHOSTc1cPtmxy7Eng9VsJx9FN0cXGF-fxsLbYY3g4gJDqjkg-I7CU19osVKXF6Yz2P3SDJB0RZ_lkAjYm5GBWLGvK4J_ByeThR_OBSsEUREPjNevCl_iS1GXjk3RAKYcgGCVyv_rFYarWG0oxdZUIEYbBV9qlhaPEQ/https%3A%2F%2Fdocuments.cabq.gov%2Fplanning%2Fonline-forms%2FPublicNotice%2FCABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: https://secure-web.cisco.com/16Wjw6LWITGjQvTmoogXZq0Ke00byM5y9mgbDBeh6ZgFFcnwSMkKczVFo1sQ9ZJbKaCruc8lgZ_-I53nHFhMbGPPRG8oHOtQotps-knfjfxX7wFkBo0EFAf3-gBJCGqgPWwtig5AHMAINUsOvksqw5OwsLCy_6Eg-4Ab8mwsir09TJukVqi3-D9g_RG8hWm1yE8Lj2b7cFllid1UVJYWutRaP949ejJN6mz1q6wSLqjwD7QuWcqxgMILQD599Otvww_wnoU6wWJKJwr7b_ZBE_4og8k5VTKlgkNxYjs_tx7Yg_v9ydDe3v15jkWvkMcyserdjPEAcAUAWCXOb-GDhpmv7fVy--GnJtOO_LWd6BFHEDQCVcmfB_O1a8v87tdOeJTGjEgF1ZUalvBuBnnIA/https%3A%2F%2Fdocuments.cabq.gov%2Fplanning%2Fonline-forms%2FPublicNotice%2FEmail-Notice-Administrative-Print%26amp;Fill.pdf
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

http://secure-web.cisco.com/1iFIFb-DJptm_eg0QGtwbgCFifTb5jsff5QFIFr6acTn0Mtr1IEQoQbrMKd-GE3BS8QUg55GwOoxU16O09j7iD2QO8Srzo3bGzTylZvZUI3ZHkIveXh8I5I_SHboOsAVq891zifRoRGdHfFD5oyhqd_sb-fBmOUI9mfrAcnjREomFwlyAc-ySFR0rZqTAlcMWUaU41Eiouy0sW3bQY5kpWGvJocHWkLGrj1nRilHhgAN0GBWUfs6suR422Ze6_oFRdwSsJhOLpbhSxWwEOkXvN_DnihptoFdl24c9jHdE9PNe6UE2EXaskEWZfOFdxV5Ve9VXsus5W8Njy_Ab_VQDe6np35XTn4glv_s5BQKmbqr57LnmELY57cARN7ZD1B3GgIBLUDFMJLS4jsaydSezX4Q/http%3A%2F%2Fwww.cabq.gov%2Fplanning%2Furban-design-development%2Fneighborhood-meeting-requirement-in-the-integrated-development-ordinance

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

https://secure-web.cisco.com/1YgMaVMpDjO4s5tEsenog0RYfZMzINLx7NQypVA9C-zpCRX_TSoFtZDNGVDcXoND7RxZugYebLsDJ0j85CJndf7T8elg3kt9GANBjF8pOZtYXOSAcMfDHJcBjeNeapTWyLi6tuK_ajEEuHgQOYmBijy_UOI3LRuCuJGS1KONDcwwjCPB5o3rcejxHrsprHqQSmOffQIP25cPAEWSd4oPrBgmpqaHEUyCkBEtED5dMHDnH1h5Td0-mOKrtllVoSs9hbNc00--CL9CMLiQ2IIR_yXy7OgMKsIA2It6V5MJlq9nCiCEKkPCyPifsIKxK4luWvymkz4vQcnBNo2qYWjOOHJwL1zLiGPS_kuPFItzjfXvgNuRfc-

[bhJn2131zgFKhi/https%3A%2F%2Fido.abc-zone.com%2Fintegrated-development-ordinance-ido%3Fdocument%3D1%26outline-name%3D6-1%2520Procedures%2520Summary%2520Table](https://www.cabq.gov/development-ordinance-ido%3Fdocument%3D1%26outline-name%3D6-1%2520Procedures%2520Summary%2520Table)

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: <http://secure->

[web.cisco.com/1ubGaLhVKllKCjGv6ZBl0fjSgpMg4jXO9mQvOltAisj_LryVuJLPr4YCqSp8yPjhJFWgpl5eKikFbQwQzeQ8bGMAnuYT1EN96OWlqFFrWzsBNaAmuyG1K803tpE9-aPheenTVYrmWv9f9mE0vOkHiXth08EGQSghGfSW2haLluMJUSs3PZ3-Oh7F0TdeedW3Z2XZ1wZHh3n8kiQuk9sYqZBarAD5c_oxWqjnCMnSzzHc8N6ljWXGW5otiCxsbdroZOobhz3uaVEAtpvxkjw0SCRSSuaaZsgU2r7DS0aWJ7xRwzKAoQOrNfslOOW788YK0ilw_1egHK7yQrNlmx778saNVEibO0fxCfcpA2HE9S85EjVXplcKe2eKuX0Gk_tK_3aO0eZajHxANnaGSiZ6Ygw/http%3A%2F%2Fwww.cabq.gov%2Fneighborhoods](http://secure-web.cisco.com/1ubGaLhVKllKCjGv6ZBl0fjSgpMg4jXO9mQvOltAisj_LryVuJLPr4YCqSp8yPjhJFWgpl5eKikFbQwQzeQ8bGMAnuYT1EN96OWlqFFrWzsBNaAmuyG1K803tpE9-aPheenTVYrmWv9f9mE0vOkHiXth08EGQSghGfSW2haLluMJUSs3PZ3-Oh7F0TdeedW3Z2XZ1wZHh3n8kiQuk9sYqZBarAD5c_oxWqjnCMnSzzHc8N6ljWXGW5otiCxsbdroZOobhz3uaVEAtpvxkjw0SCRSSuaaZsgU2r7DS0aWJ7xRwzKAoQOrNfslOOW788YK0ilw_1egHK7yQrNlmx778saNVEibO0fxCfcpA2HE9S85EjVXplcKe2eKuX0Gk_tK_3aO0eZajHxANnaGSiZ6Ygw/http%3A%2F%2Fwww.cabq.gov%2Fneighborhoods)

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Thursday, April 11, 2024 11:33 AM

To: Office of Neighborhood Coordination <srushing@barghausen.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Sabrina Rushing

Telephone Number

4252913762

Email Address

srushing@barghausen.com

Company Name

Barghausen Consulting Engineers, Inc.

Company Address

18215 72nd Avenue South

City

Kent

State

WA

ZIP

98032

Legal description of the subject site for this project:

A certain tract of land situate within Projected Section 30, Township 11 North, Range 4 East, N.M.P.M in the Elena Gallegos Grant, Albuquerque, New Mexico, comprising Tract C-1 Academy Acres, Unit 17, as shown on the plat filed in the Office of the County Clerk of Bernadillo County, NM on March 26, 1985, Book C26, Page 162

Physical address of subject site:

7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE

Subject site cross streets:

San Antonio Dr. NE, San Antonio Pl. NE

Other subject site identifiers:

Tracts C-1-A through C-1-E, Academy Acres, Unit 17 as recorded March 1990

This site is located on the following zone atlas page:

E-19-Z

Captcha

x

Proof of Emailed
Notice to
Affected
Neighborhood
Association
Representatives

Sabrina Rushing

From: Sabrina Rushing
Sent: Thursday, May 2, 2024 11:22 AM
To: rvaughn.rv@gmail.com; k2riley@msn.com; mgriffee@noreste.org; edueweke@juno.com
Cc: Brianna Uy
Subject: NM0504 - 7330 San Antonio Dr NE, Albuquerque, NM: Public Notice of a Proposed Project in the City of Albuquerque to a Neighborhood Association (BCE# 23204)
Attachments: Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill (1).pdf; Address Reports 7200, 7300, 7320, 7330, 7340.pdf; Zone Atlas Page.pdf

Tracking:	Recipient	Read
	rvaughn.rv@gmail.com	
	k2riley@msn.com	
	mgriffee@noreste.org	
	edueweke@juno.com	
	Brianna Uy	Read: 5/2/2024 11:24 AM

Please see this link, along with the attached supporting documents, for the proposed Site Plan Amendment:  [NM0504 Site Plan.pdf](#)

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice: May 2, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA)*: Cherry Hills Civic Association, District 4 Coalition of Neighborhood Associations

Name of NA Representative: Roger Vaughn, Kent Riley, Mildred Griffee, Ellen Dueweke

Email Address or Mailing Address of NA Representative: rvaughn.rv@gmail.com, k2riley@msn.com, mgriffee@noreste.org, edueweke@juno.com

Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address: 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
2. Property Owner: 7330 San Antonio, LLC – Steve Maestas & Wes Butero
3. Agent/Applicant [if applicable]: Dutch Bros – Ron Austerman
4. Application(s) Type per IDO Table 6-1-1 [mark all that apply]: (Major Amendment to) Site Plan

Summary of project/request: Request a Major Amendment to Site Plan from the EPC to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

5. This application will be decided at a public meeting or hearing by: Environmental Planning Commission (EPC)

Date/Time: June 20, 2024, 8.40 a.m.

Location:

Via Zoom,

<https://cabq.zoom.us/j/2269592859>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found: s.rushing@barghausen.com

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page E-19-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*: N/A
4. A Pre-submittal Neighborhood Meeting was required by Table 6-1-1: Yes.
Summary of the Pre-submittal Neighborhood Meeting, if one occurred: No meeting was requested on behalf of the Neighborhood Associations as of May 2, 2024.
5. For Site Plan Applications only*, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - e. For non-residential development*:
Total gross floor area of proposed project.
Gross floor area for each proposed use.

Sabrina Rushing | Administrative Assistant

Direct: 425-291-3762 | Office: 425-251-6222

Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South, Kent, WA 98032

www.barghausen.com

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: May 02, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Cherry Hills Civic Association, District 4 Coalition of Neighborhood Associations

Name of NA Representative*: Roger Vaughn, Kent Riley, Mildred Griffiee, Ellen Dueweke

Email Address* or Mailing Address* of NA Representative¹: rvaughn.rv@gmail.com, k2riley@msn.com, mgriffiee@noreste.org, edueweke@juno.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7200, 7320, 7330, 7340 & 7300 San Antonio Drive NE
Location Description _____
2. Property Owner* 7330 San Antonio, LLC - Steve Maestas & Wes Butero
3. Agent/Applicant* [if applicable] Barghausen Consulting Engineers, Inc. - Sabrina Rushing & Brianna Uy
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Request a Major Amendment to Site Plan to allow a Dutch Bros Coffee with an accessory drive-through on Tract C-1-A of the controlling site plan.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - ~~d. For residential development*: Maximum number of proposed dwelling units.~~
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] _____
 - 2. IDO Zone District _____
 - 3. Overlay Zone(s) [if applicable] _____
 - 4. Center or Corridor Area [if applicable] _____
 - Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

City of Albuquerque Property Report



www.cabq.gov/gis

Platted Parcel Address: 7200 SAN ANTONIO DR NE
Assessor Parcel Address: 7200 SAN ANTONIO NE
Report Date: 4/17/2024

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: LUBRICAR PROPERTIES III LLC
Owner Address: 3520 CALLE CUERVO NW ALBUQUERQUE NM 87114-9220
Uniform Property Code (UPC): 101906213749722102 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: TRACT C-1-C-2 ACADEMY ACRES UNIT 17 PLAT OF TRACTS C-1-C-1 & C-1-C-2 ACADEMY ACRES UNIT 17 CONT 23,000 SQ FT M/L
Property Class: C **Document Number:** 2005023842 021805 WD - **Acres:** 0.528

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [E-19](#)
IDO Zone District: [MX-L](#) **IDO District Definition:** Low Intensity
Land Use: 04 | Commercial Services **Lot:** C1C2 **Block:** 0000 **Subdivision:** ACADEMY ACRES UNIT 17

Neighborhood Associations

[Office of Neighborhood Coordination](#)

City Recognized Neighborhood Associations: N/A

Services

Police Beat: 432 **Area Command:** NORTHEAST
Residential Trash Pickup and Recycling: Tuesday

City Council Districts

City Council District: [4 - Brook Bassan](#) **Councilor Email:** bbassan@cabq.gov
Policy Analyst: Dawn Marie Emillio **Policy Analyst Email:** dawnmarie@cabq.gov **Policy Analyst Phone #:** 505-768-3101

Other Legislative Districts

US Congressional District: 1 - Melanie Stansbury
County Commission District: 4 - Walt Benson
NM House Of Representatives: 30 - Natalie Figueroa
NM Senate: 21 - Mark Moores

APS School Service Areas

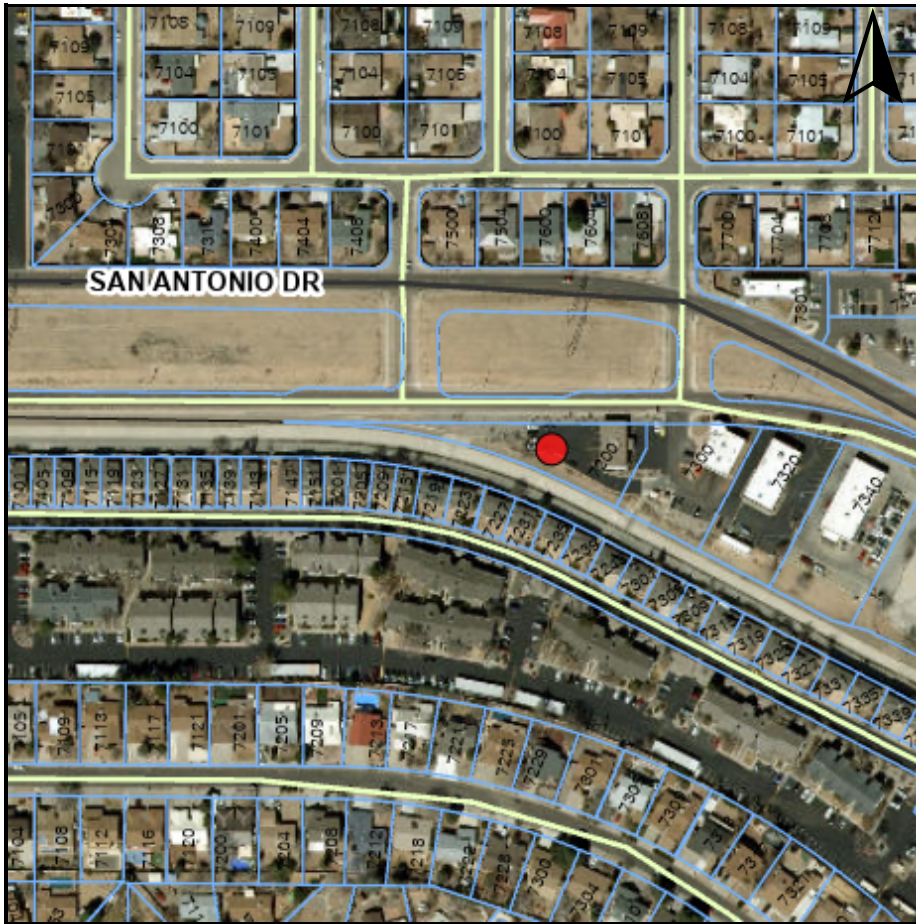
[Albuquerque Public Schools](#)

Elementary School: ARROYO DEL OSO **Middle School:** CLEVELAND **High School:** DEL NORTE

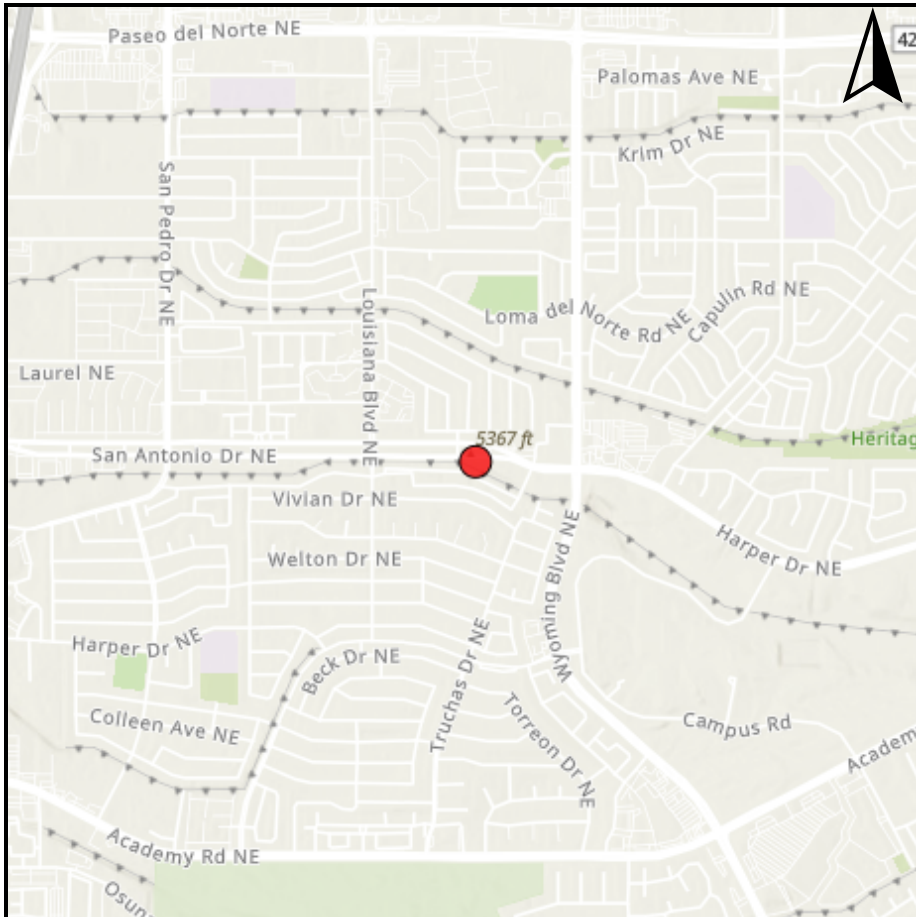
FEMA Flood Zone: X

[FEMA Flood Map Service Center](#)

Property Map



Context Map



Sign Posting Agreement



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from May 1, 2024 To July 1, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Brianna Uy
Digitally signed by Brianna Uy
Date: 2024.04.04
15:53:28-07'00'

(Applicant or Agent)

4/4/2024

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____







AVAILABLE



REQUEST
I am interested in learning more about the property located at [address] and would like to request a copy of the [document type]. Please contact me at [phone number] or [email address].

REQUEST

Minor Amendment to site plan for:
DUTCH BROS Coffee
7330 San Antonio Dr NE
VIA ZOOM: <https://abqzoom.us/j/2269592859>

The City of Albuquerque Environmental Planning Commission will hold a public hearing via Zoom on July 18, 2024 at 8:30 AM. All Persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant.

Required to be posted from June 5, 2024 to July 18, 2024
by Dutch Bros / Barabausen Consulting Engineers Inc. 405-291-5222
applicant/agent phone

REFER TO FILE# 51-2024-00674

It is illegal for an unauthorized person to remove or tamper with this sign

G) PUBLIC COMMENT

H) PROPOSED SITE PLAN

Completed Site Plan Checklist



SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Brianna Uy Digitally signed by Brianna Uy
Date: 2024.07.05
16:09:50-07'00'

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- √ 1. Date of drawing and/or last revision
- √ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable ONLY 1 PHASE TO PROPOSED AMENDMENT

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities NO PROPOSED LOADING FACILITY
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces NO ON STREET PARKING SPACES
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable NO OTHER FACILITIES
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

 - B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required
- NO ALTERATIONS PROPOSED TO EXISTING ACCESS POINTS
- NO TRANSIT FACILITIES RELATED TO SITE

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities. NONE PLANNED
- 4. Cross Sections GRADE CHANGES DO NOT EXCEED 4FT
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

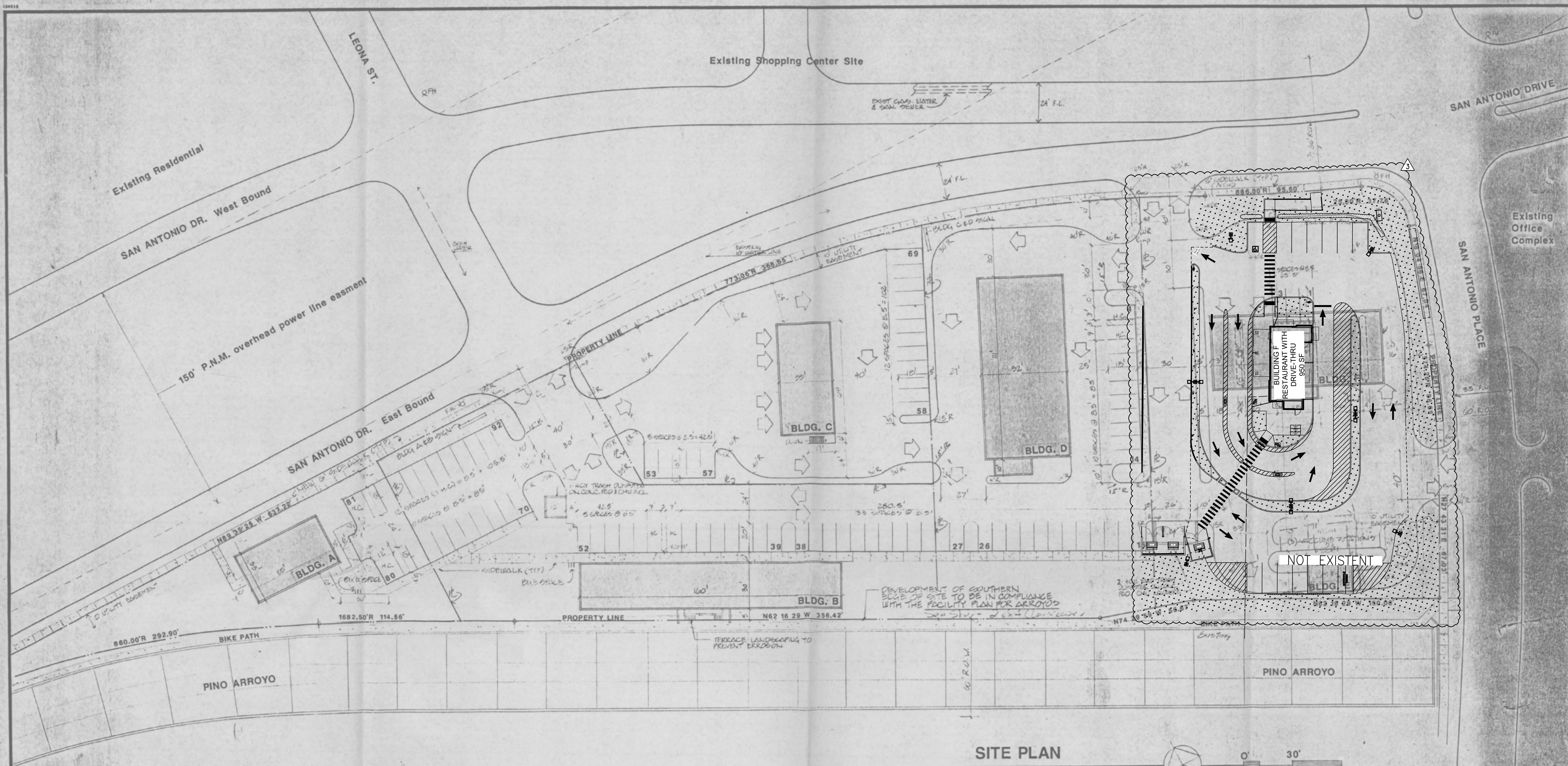
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

Site Plan or Master Development Plan





SITE PLAN
SCALE: 1" = 30'



PROJECT DATA: WYOMING COMMERCIAL COMPLEX

LEGAL DESCRIPTION: Tract C-1 Academy Acres Unit 17
ZONING: SU-1 for C-1
ZONE MAP: E-19-Z
SECTOR DEVELOPMT. PLAN: Not Applicable
COMPREHENSIVE PLAN: Established Urban

TOTAL SITE AREA: 3.3662 acres
 146,632 square feet

BUILDING AREA: ALL BUILDINGS SINGLE LEVEL

Building A	1,815 SF
Building B	4,800 SF
Building C	2,277 SF
Building D	1,800 SF
Building E	NOT EXISTENT
Building F	950 SF

TOTAL BUILDING AREA:	15,844 SF (10.8%)
TOTAL PAVED AREA:	92,293 SF (62.9%)
TOTAL LANDSCAPE AREA:	38,495 SF (26.3%)

DEVELOPMENT PARKING REQUIREMENTS: 1 SPACE PER 200 SF OF LEASABLE AREA

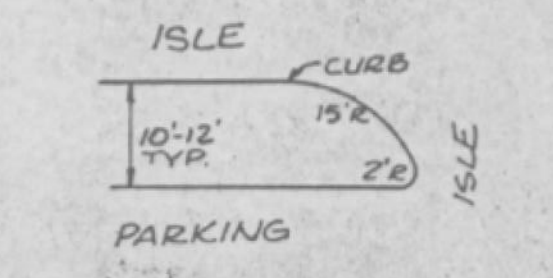
REQUIRED:	15,844/200= 80 SPACES
PROVIDED:	81 SPACES
DISABLED PARKING REQ.:	4 SPACES
BIKE SPACES REQ.:	6 SPACES
BIKE SPACES PROV.:	4 SPACES

REFUSE DATA: 4 DUMPSTERS PROVIDED

SIGN GUIDELINES
 All signs within Wyoming Commercial Complex will be designed to provide consistent reinforcement of the Wyoming Commercial Complex character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area. Signs in Wyoming Commercial Complex should advertise a place of business or provide directions and information. Signs shall be architecturally attractive and contribute to the character of the area. Signs should not compete with each other or detract the setting via inconsistent height, size, shape, number, color, lighting or movement. Signs shall conform to the guidelines set forth herein:

- No signs unless lawfully permitted shall be placed upon or project from or above the public property or right-of-way, except as noted herein and approved.
- Application for sign approval shall be accompanied by sketches and drawings to scale and dimensions showing details of construction, and shall delineate the size, shape, design, material, coloring, lettering, lighting and position in relationship to the building form or place where it will be displayed.
- Painted signs shall use fade-resistant, durable, exterior finish paint. Luminous paints or plastics are permitted.
- The typeface used on all signs will be consistent with the architectural style of the building.
- Signs may be lighted, however, no light that flashes or blinks or effects changes in hue or intensity of illumination is permitted. Illumination sources for the sign will be hidden from view.
- Bright glossy enamel, fluorescent or iridescent paint materials are not acceptable.
- It is the responsibility of the owner of the land and/or improvements to ensure any sign abandoned or not in use for a period in excess of ninety (90) days.
- Sign colors shall be consistent with the Wyoming Commercial Complex Architectural Style and be harmonious with the building it identifies. All signs except temporary signs, traffic regulating signs and logos, will have a maximum of two colors, one for the face, post and base, and another for the lettering. A third color may be introduced for a complex of two or more buildings to distinguish buildings or phases. When a business name is in itself a business logo, it is exempt from color restrictions.
- Clear sight triangles shall be observed and enforced at all intersections, corners, parking areas and drives at all times.

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90



TYPICAL ISLE INTERSECTION

DEVELOPMENT REVIEW BOARD

<i>Robert H. Daulton</i>	4-10-90
TRAFFIC ENGINEER	DATE
<i>Paul M. Stone</i>	4-10-90
PARKS AND RECREATION DIRECTOR	DATE
<i>Robert W. Kane</i>	4-10-90
WATER RESOURCES ENGINEER	DATE
<i>Frank Aguirre</i>	4-10-90
CITY ENGINEER / HYDROLOGY	DATE
2-79-66-8	
I certify that this area is zoned SU-1 and that this plan is consistent with the specific development plan approved by the Environmental Planning Commission on: 3-15-90	
<i>Jack Cloud</i>	4-10-90
PLANNING DIRECTOR	DATE

APPROVALS

CUSTER-BASARICH LTD
 Architects-Planners AIA
 500 Central SW Suite 1000W
 Albuquerque, New Mexico 87102
 Telephone: 1505 765-1020



WYOMING COMMERCIAL COMPLEX
 SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
 Albuquerque, New Mexico

PROJECT

REVISIONS

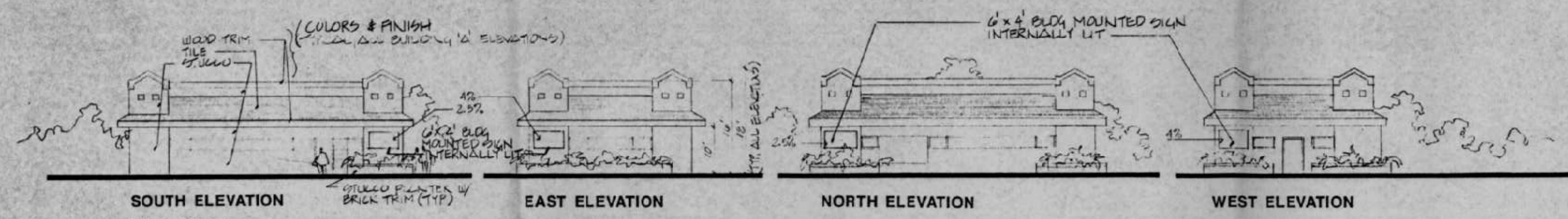
PER CITY OF ALBUQ	3-14-90
1-27-90	
MAJOR SITE PLAN MODIFICATION RESTAURANT WITH DRIVE-THRU	07/08/2024

SHEET TITLE
 SITE DEVELOPMENT PLAN
SHEET NO.
 2 OF 5

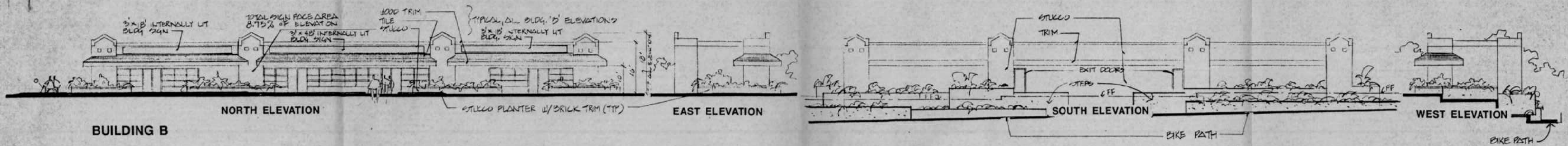
PROJECT COLORS

NOTE: Project colors to match those of adjoining developments. Corporate colors may apply to metal trim on buildings D, E, & F

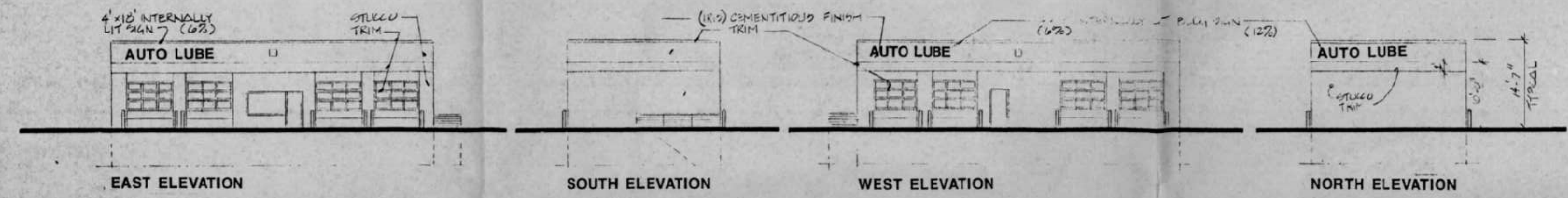
STUCCO	R-WALL	2062 IRIS
TRIM	WELBORN	Q12-15D (blue-green)
BRICK	ROBINSON	MISSION GREY
ROOF	EVERGREEN	BLACK



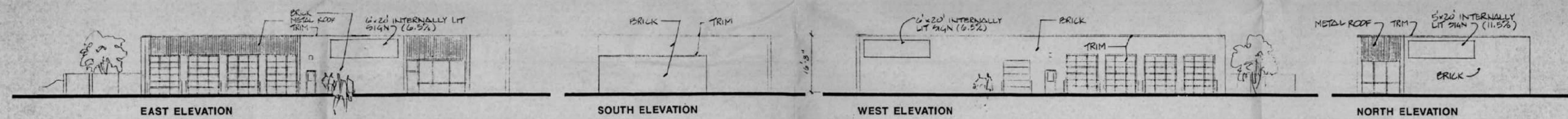
SOUTH ELEVATION BUILDING A EAST ELEVATION NORTH ELEVATION WEST ELEVATION



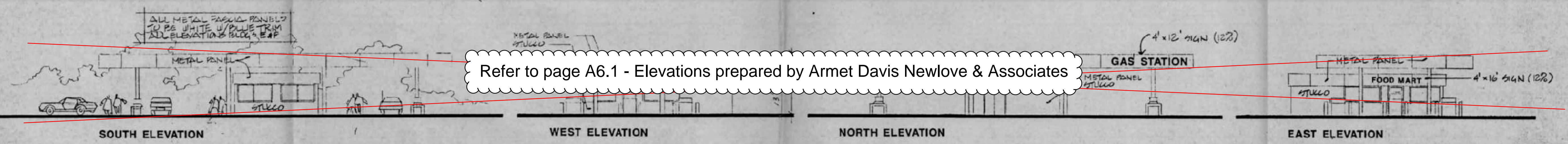
NORTH ELEVATION BUILDING B EAST ELEVATION SOUTH ELEVATION WEST ELEVATION



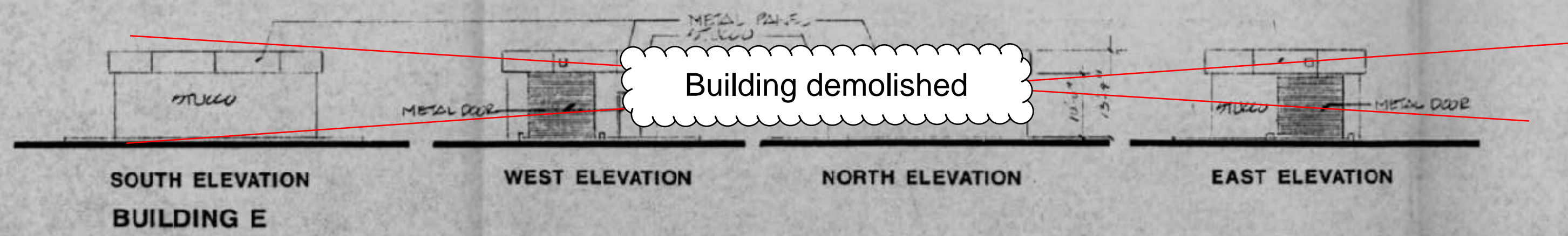
EAST ELEVATION BUILDING C SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION



EAST ELEVATION BUILDING D SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION



SOUTH ELEVATION BUILDING F WEST ELEVATION NORTH ELEVATION EAST ELEVATION

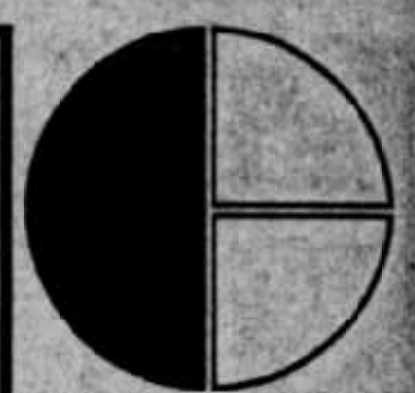


SOUTH ELEVATION BUILDING E WEST ELEVATION NORTH ELEVATION EAST ELEVATION

Refer to page A6.1 - Elevations prepared by Armet Davis Newlove & Associates

Building demolished

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90



CUSTER-BASARCH LTD Architects-Planners AIA

300 Central SW Suite 1300W Albuquerque, New Mexico 87102 Telephone: (505) 768-9020



WYOMING COMMERCIAL COMPLEX SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E. Albuquerque, New Mexico

PROJECT

REVISIONS

3-1-90
4-2-90

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF CUSTER-BASARCH, ARCHITECTS LTD. THIS DRAWING MUST NOT BE REPRODUCED OR REPRESENTATIONS MADE THEREOF WITHOUT THEIR WRITTEN PERMISSION.

DATE 1-26-90

SHEET TITLE

ELEVATIONS

SHEET NO. 5 OF 5



Know what's below.
Call before you dig.
Dial 811

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE

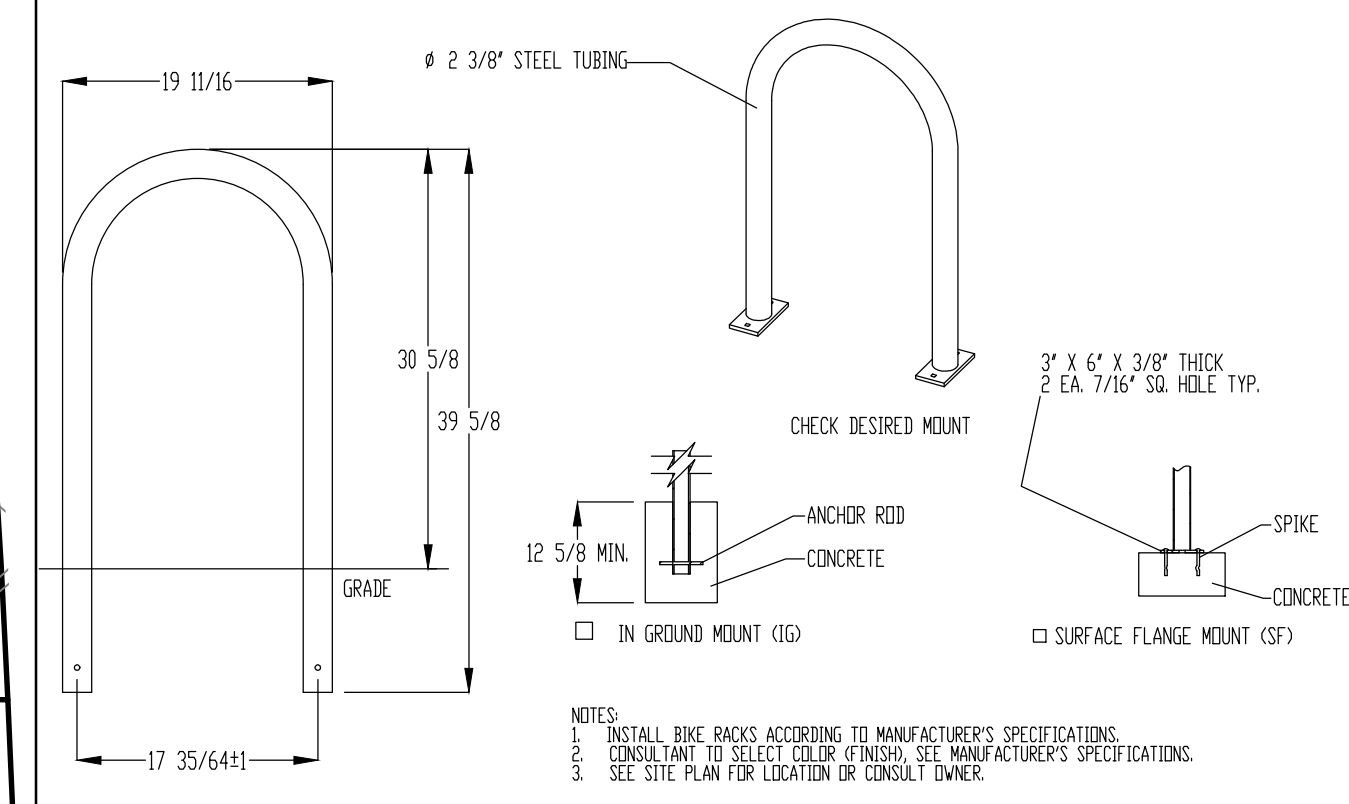
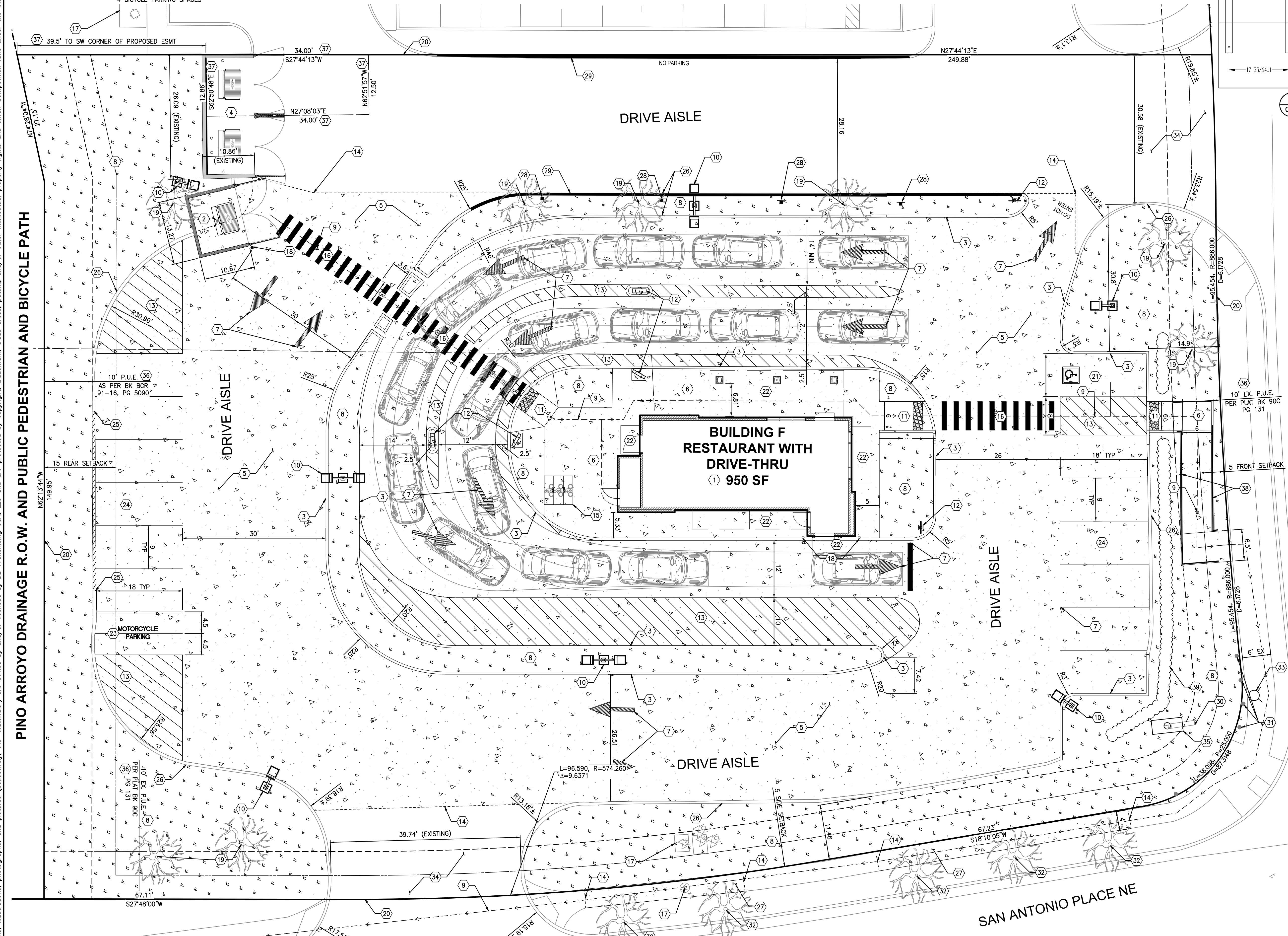
SITE PLAN SHEET

BUILDING F PARKING CALCULATIONS:

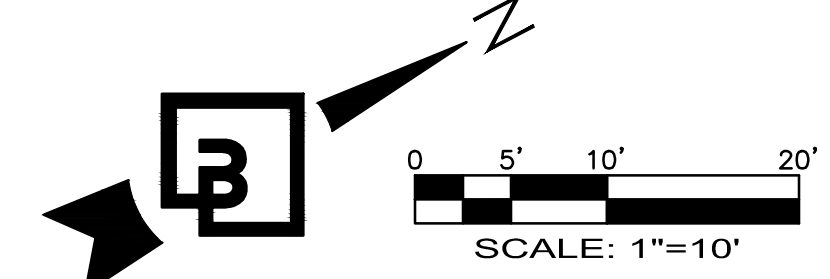
- REQUIRED:
- 6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA)
 - 1 ACCESSIBLE ADA PARKING SPACE
 - 1 MOTORCYCLE PARKING SPACE
 - 3 BICYCLE PARKING SPACES
- PARKING SPACES PROVIDED:
- 12 AUTOMOBILE SPACES
 - 1 VAN ACCESSIBLE ADA SPACE
 - 2 MOTORCYCLE PARKING SPACES
 - 4 BICYCLE PARKING SPACES

STACKING CALCULATIONS:

- REQUIRED: 12 VEHICLES
PROVIDED: 18 VEHICLES
- ADJACENT PARCEL ZONING AND LAND USE
- NORTH: MX-L (DRY CLEANING ESTABLISHMENT)
EAST: MX-T (COMMERCIAL COMPLEX)
SOUTH: R-T (RESIDENTIAL NEIGHBORHOOD)
WEST: MX-L (AUTOMOBILE SERVICE ESTABLISHMENT)



1 "U" TYPE BICYCLE PARKING
C1.0 SCALE: NOT TO SCALE



CONSTRUCTION NOTES:

- PROPOSED RESTAURANT WITH DRIVE-THRU.
- PROPOSED RECYCLING ENCLOSURE
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- EXISTING TRASH ENCLOSURE TO REMAIN. GATES AND BOLLARDS TO BE ADDED PER CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- PROPOSED CONCRETE PAVEMENT.
- PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
- PROPOSED PAVEMENT MARKING, TYPICAL.
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
- ACCESSIBLE PATH, TYPICAL. ACCESSES PUBLIC WALKWAY, AND ARROYO BIKE PATH VIA PUBLIC SIDEWALK.
- PROPOSED ON-SITE LIGHT. 18' MAX HEIGHT. POLE HEAD TYPE WITH ARCHITECTURAL SWEEP ARM MOUNT. BRONZE COLORED FIXTURE. 4000K BRIGHTNESS.
- PROPOSED ADA ACCESSIBLE RAMP TO CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED FREESTANDING SIGN.
- PROPOSED NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE, TYPICAL.
- PROPOSED EXTENT OF SAWCUT, TYPICAL.
- PROPOSED "U" TYPE BIKE PARKING PER 1/C1.0 (4 SPACES PROVIDED)
- PROPOSED PEDESTRIAN CROSSWALK STRIPING
- EXISTING UTILITY APPURTENANCES TO BE PROTECTED DURING CONSTRUCTION.
- PROPOSED BOLLARD, TYP.
- PRESERVE EXISTING TREE- STUBS/ROOTS TO BE REMOVED AS REQUIRED.
- EXISTING PROPERTY/PARCEL LINE, TYPICAL.
- PROPOSED ADA PARKING STALL.
- PROPOSED AWNING/CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED (2) MOTORCYCLE PARKING SPACES.
- PROPOSED TYPICAL PARKING SPACE, TYP.
- PROPOSED CURB WALL AND EXISTING WALL TO MATCH HEIGHT AND WIDTH OF ADJACENT GUARDRAIL, BETWEEN KEYNOTES.
- EXISTING CURB/WALL TO REMAIN
- PROPOSED REPLACEMENT OF SIDEWALK TO THE NEAREST PANEL OR JOINT PER CITY OF ALBUQUERQUE STANDARDS WHEREVER EXISTING TREES HAVE FORCED SIDEWALK OUT OF COMPLIANCE.
- PROPOSED NO PARKING SIGNAGE FOR FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED CURB STRIPING FOR FIRE LANE
- EXISTING SIGN TO BE REMOVED
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING TREE TO BE REMOVED TO FACILITATE SIDEWALK REPAIR.
- EXISTING FIRE HYDRANT.
- EXISTING DRIVEWAY AND INGRESS/EGRESS TO BE PROTECTED.
- PROPOSED MONUMENT SIGN. SEE SIGN DRAWINGS FOR DETAILS.
- EXISTING EASEMENT
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
- PROPOSED RAMP WITH HANDRAIL TO CITY STANDARDS.
- PROPOSED SCREENING HEDGE. SEE LANDSCAPING DRAWINGS FOR DETAILS.

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

PINO ARROYO DRAINAGE R.O.W. AND PUBLIC PEDESTRIAN AND BICYCLE PATH

SAN ANTONIO DRIVE NE

SAN ANTONIO PLACE NE

PRELIMINARY NOT FOR CONSTRUCTION

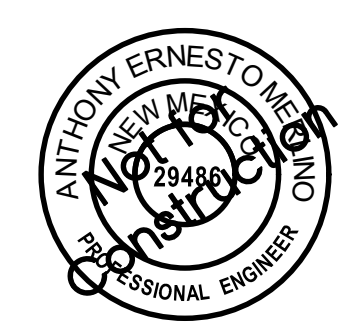
Job Number
23204

Sheet
C1.0

Title:

DUTCHBROS

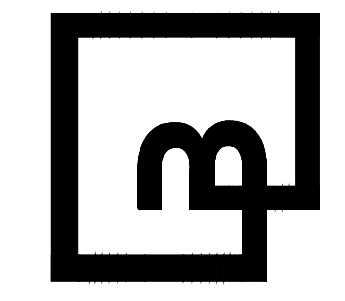
For:



Scale:
Horizontal 1" = 10'
Vertical N/A

Designed: BB
Drawn: BB
Checked: MTL
Approved: AEM
Date: 7/8/24

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



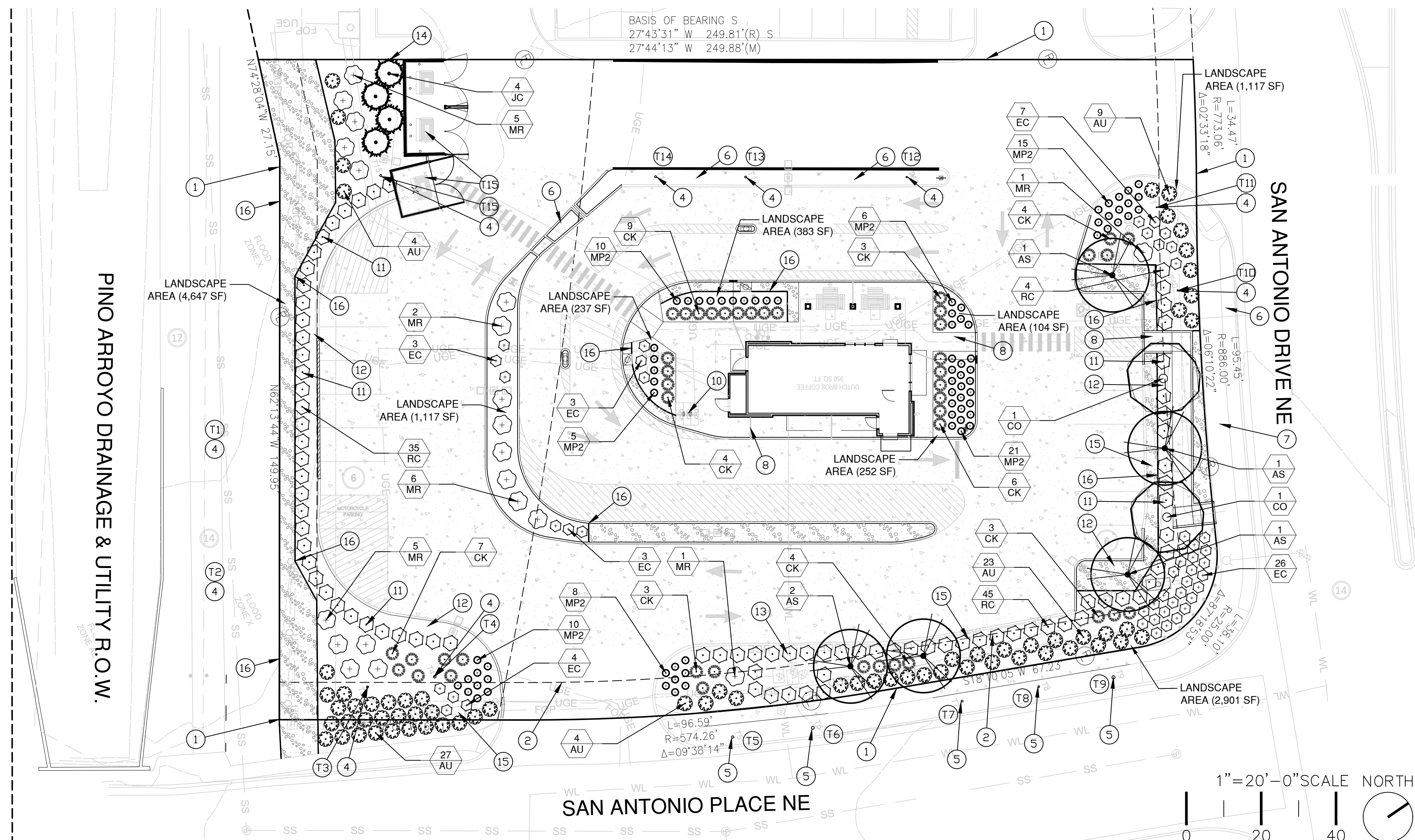
PA:230005\23204\preliminary\23204-SP.dwg 7/5/2024 2:59 PM MLESMEISTER

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.



Know what's below.
Call before you dig.
Dial 811

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	QTY	
TREES							
	AS	ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	CONT.	2" CAL	8'-10"	5	
	JC	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	CONT.	-	8'	4	
	CO	QUERCUS MUEHLENBERGII CHINKAPIN OAK	CONT.	2" CAL	8'-10"	2	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (W'X'H')	ADDITIONAL	SPACING	QTY
SHRUBS							
	RC	RHAMNUS CALIFORNICA CALIFORNIA COFFEEBERRY	3 GAL			48" o.c.	84
ORNAMENTAL GRASSES							
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	1 GAL			42" o.c.	43
	MR	MUHLENBERGIA RIGENS DEER GRASS	5 GAL			60" o.c.	20
	MP2	MUHLENBERGIA RIGIDA PURPLE MUHLY	1 GAL			24" o.c.	75
GROUND COVER							
	AU	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK	1 GAL			48" o.c.	67
	EC	EUONYMUS FORTUNEI 'COLORATUS' COLORATUS PURPLE WINTERCREEPER	5 GAL			36" o.c.	46
GROUND COVERS							
	DGG2	2-4" COBBLE - DESERT BRONZE 4" DEPTH OVER FABRIC					2,876 SF

AMENITY LEGEND

- 1 PROPERTY LINE
- 2 EASEMENT
- 3 SETBACK
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING TREE TO BE REMOVED
- 6 EXISTING LANDSCAPE TO REMAIN
- 7 EXISTING SIDEWALK
- 8 SIDEWALK BY OTHERS
- 9 TRASH ENCLOSURE BY OTHERS
- 10 BIKE RACK BY OTHERS
- 11 PARKING LOT SCREENING HEDGE
- 12 PARKING LOT EDGE LANDSCAPING
- 13 DRIVE-THROUGH LANE SCREENING HEDGE
- 14 TRASH ENCLOSURE SCREENING HEDGE 6' HT. MIN.
- 15 LANDSCAPE EDGE BUFFER AREA
- 16 STEEL EDGING BETWEEN COBBLE & SHRUBS (TYP.)

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.

EXISTING TREE LEGEND

Tag	Trunk	Tree Type	Drip	DISPOSITION
T1	19"		15'	REMAIN
T2	16"		12'	REMAIN
T3	12"		12'	REMAIN
T4	16"		12'	REMAIN
T5	15"		15'	REMOVE
T6	19"		18'	REMOVE
T7	12"		15'	REMOVE
T8	11"		12'	REMOVE
T9	20"		12'	REMOVE
T10	8"		9'	REMAIN
T11	6"		6'	REMAIN
T12	9"		12'	REMAIN
T13	12"		15'	REMAIN
T14	12"		15'	REMAIN
T15	12"		15'	REMAIN
varies	187		180	

NOTE: PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL ENG. DEMOLITION PLAN FOR MORE INFORMATION

PROJECT TEAM

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
11801 PIERCE STREET, SUITE 200
RIVERSIDE, CA 92505
800-680-6630
WWW.EVERGREENDESIGNGROUP.COM
CONTACT: BLAKE TOMILLOSO-RHINEHART, PLA
EMAIL: BLAKE@EVERGREENDESIGNGROUP.COM

LANDSCAPE CALCULATIONS

NET SITE AREA:	42,062 SF
LANDSCAPE AREA REQUIRED:	6,309 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	10,758 SF (25.6% OF SITE AREA)
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH - SAN ANTONIO DRIVE:	168.02 LF
STREET TREES REQUIRED:	7 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	5 PROPOSED + 2 EXISTING
FRONTAGE LENGTH - SAN ANTONIO PLACE:	
FRONTAGE LENGTH - SAN ANTONIO PLACE:	230.8 LF
STREET TREES REQUIRED:	9 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	2 PROPOSED + 7 EXISTING
PARKING LOT LANDSCAPING	
PARKING LOT AREA:	2,297 SF
LANDSCAPE AREA REQUIRED:	230 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	1,419 SF (61.7% OF PARKING AREA)
TOTAL PARKING SPACES:	
TOTAL PARKING SPACES:	13 SPACES
TREES REQUIRED:	1.3 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED:	1 TREES
TOTAL LANDSCAPE AREA:	
MINIMUM REQUIRED COVERAGE:	10,758 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	9,043 SF (84%)
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS:	
MINIMUM COVERAGE REQUIRED FROM GROUND LEVEL PLANTS:	3,227 SF (25%)
PROVIDED GROUND LEVEL COVERAGE:	3,338 SF (31%)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF DECOMPOSED GRANITE, COLOR: VALLEY GOLD, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

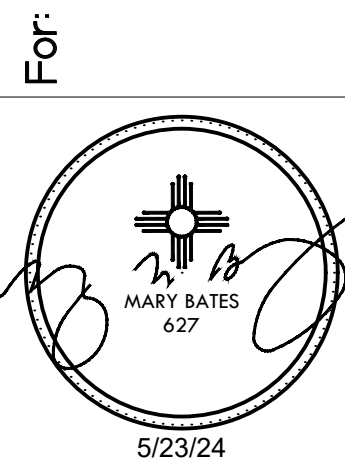
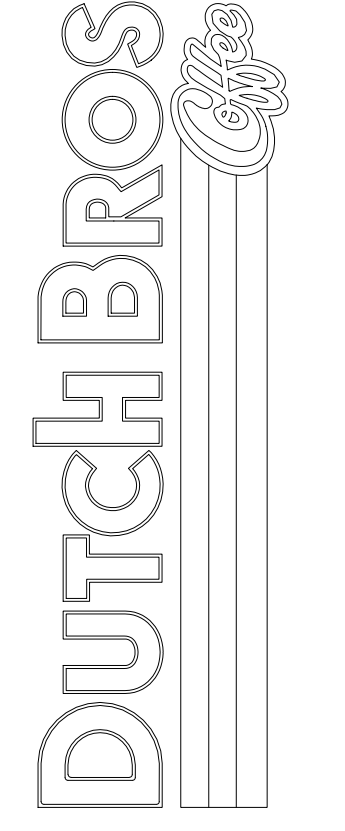
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

CITY REQUIREMENT COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS AND THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

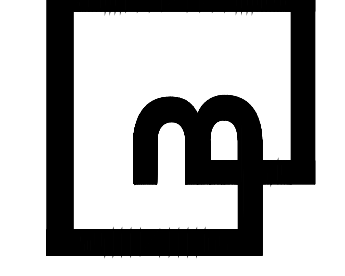
PRELIMINARY NOT FOR CONSTRUCTION

Title: LANDSCAPE PLANTING PLAN
7380 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



Scale: Horizontal Vertical
Designed _____
Drawn _____
Checked _____
Approved _____
Date _____

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number: 23204
Sheet: LP-1
2019 DB
Evergreen Design Group, LLC



The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials"), are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

P:\Shared\Projects\2024\Dutch Bros\Dutch Bros - Albuquerque NM - Albuquerque NM - 5/22/2024 10:31 PM - BLAKE



Know what's below.
Call before you dig.
Dial 811

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE

PLANTING SPECIFICATIONS

- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL ORDINANCES AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PLANTS.

- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR RE-PLANT IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - #15 CNT - 24" BOX TREES - TWO STAKES PER TREE
 - 36" 48" BOX TREES - THREE STAKES PER TREE
 - OVER 48" BOX TREES - GUY AS NEEDED
 - MULTI-TRUNK TREES - THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- H. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

- I. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- J. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

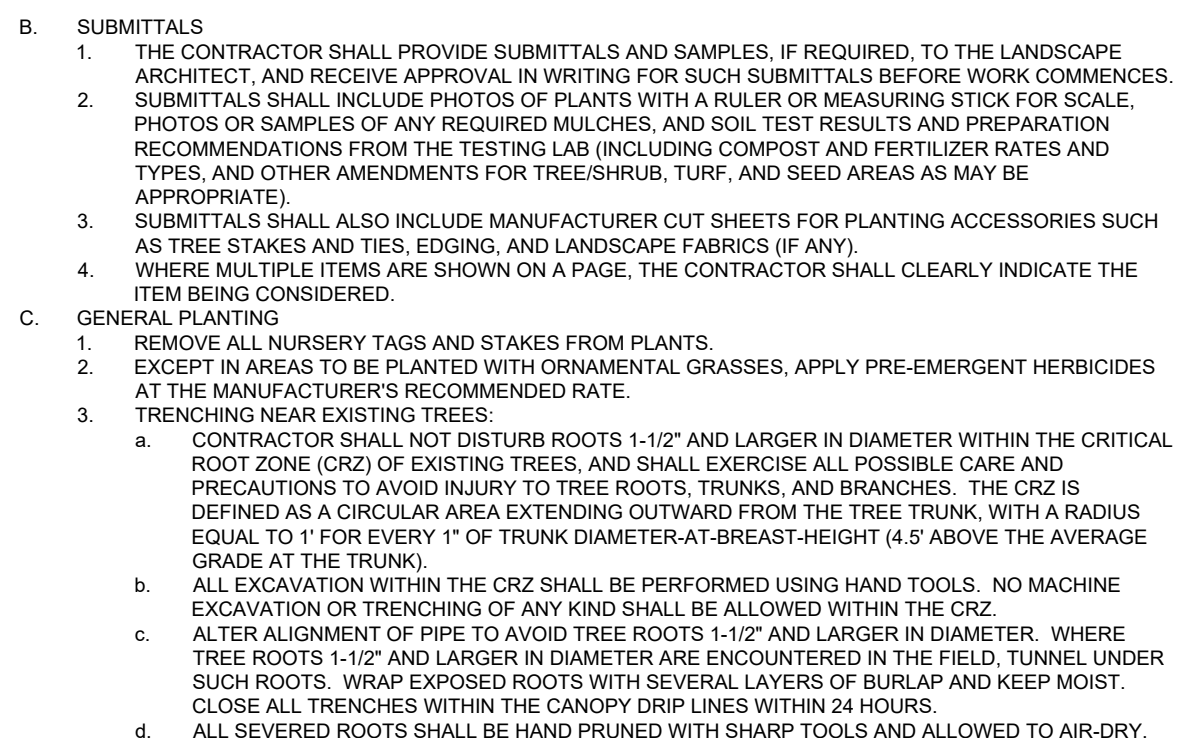
- K. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

- L. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGING HUMAN ACTIONS.

- M. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**

- METHODS**
- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOILS REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TREES, SHRUBS, AND PERENNIALS - INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - IRON SULPHATE - 2 LBS. PER CU. YD.

- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

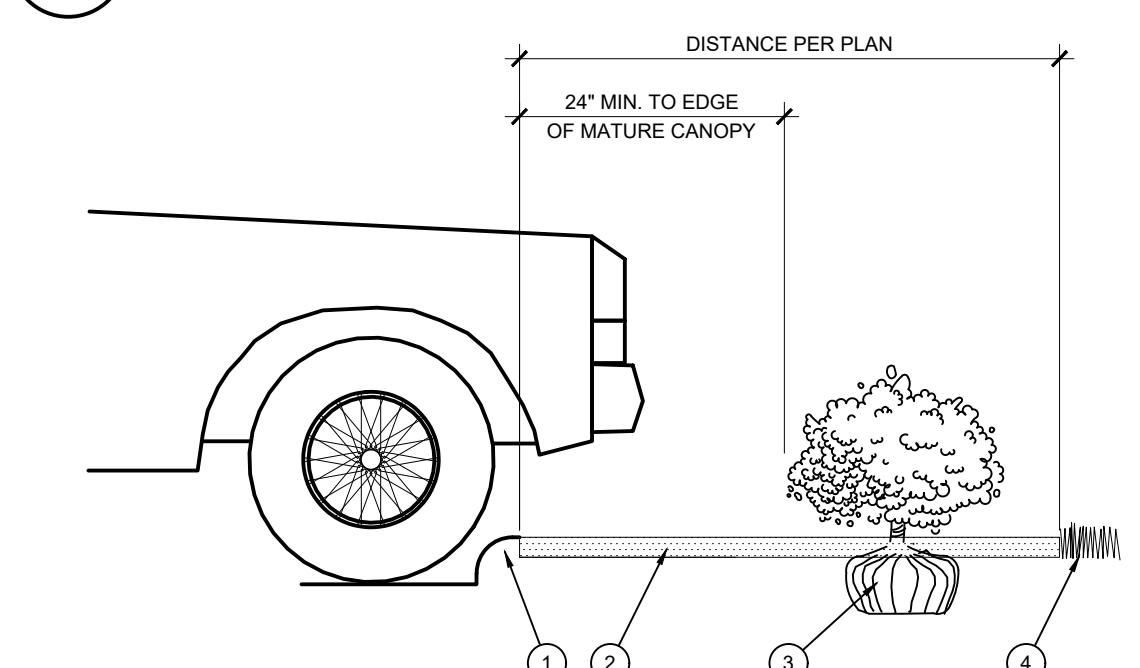


- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

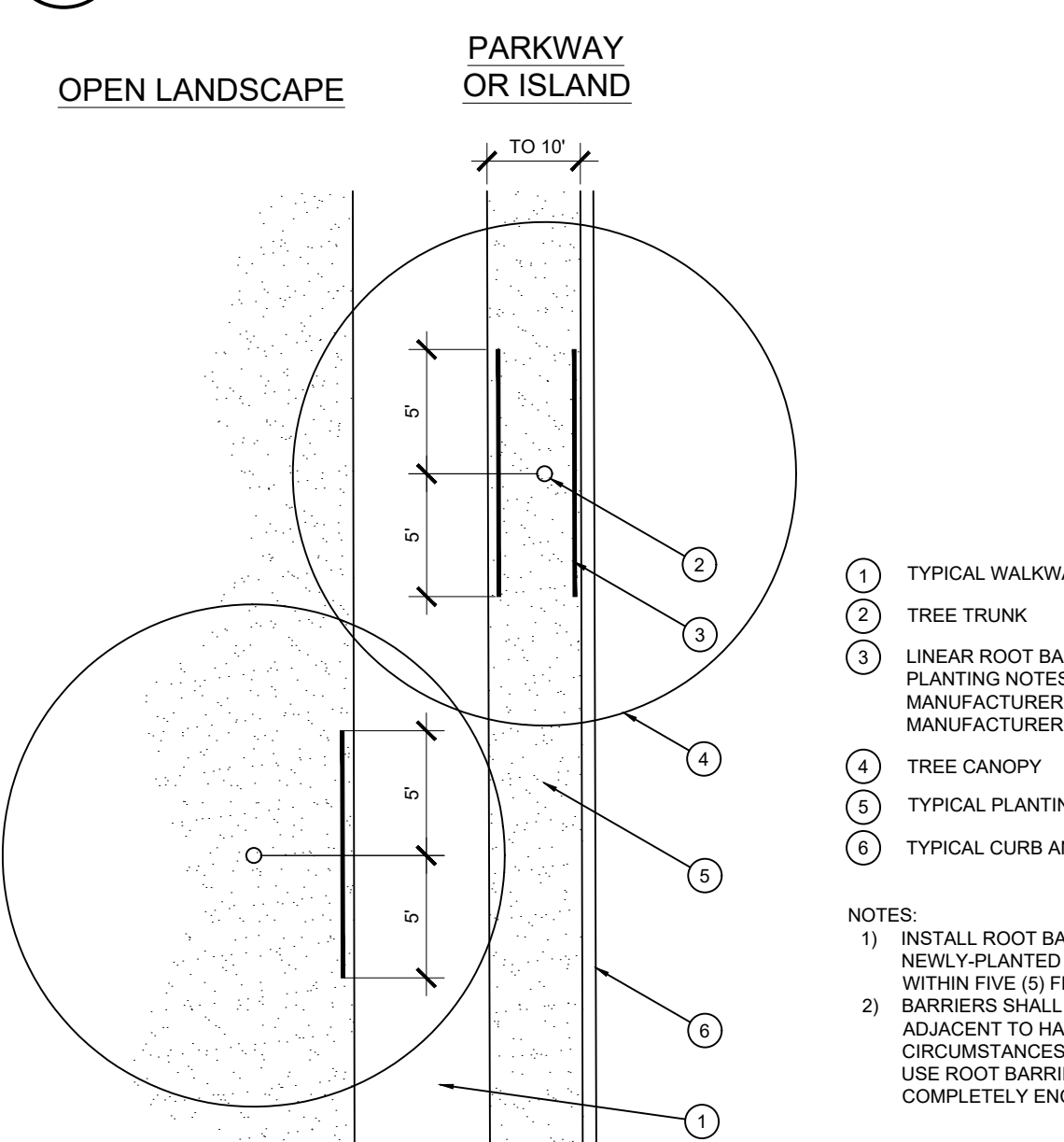
D STEEL EDGING

SCALE: NOT TO SCALE



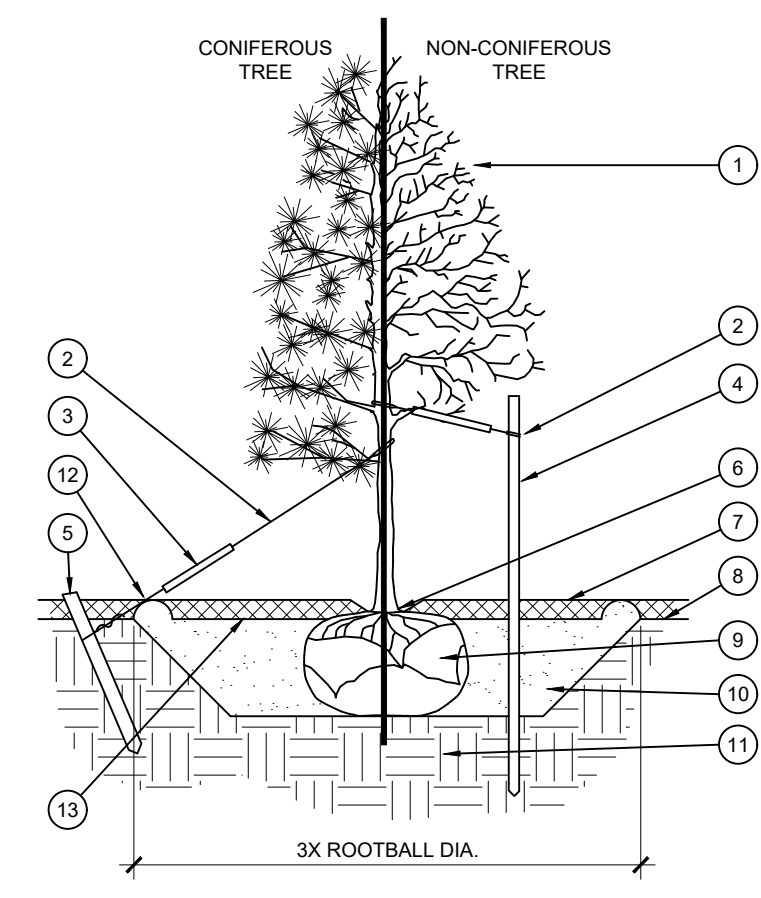
E PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE



- TREE CANOPY.
- CINCH-TIES (24" BOX2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX2 5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN. 1" BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL).
- TRUNK FLARE.
- MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 4" HIGH EARTHEN WATERING BASIN.
- FINISH GRADE.

- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
 - FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 36" BOX2 5" CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING

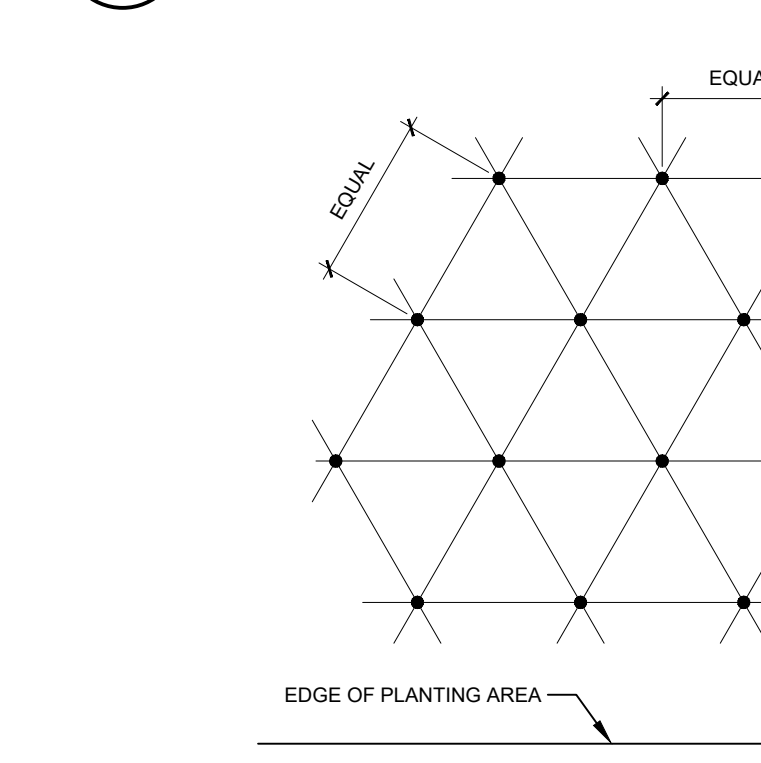
SCALE: NOT TO SCALE



- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

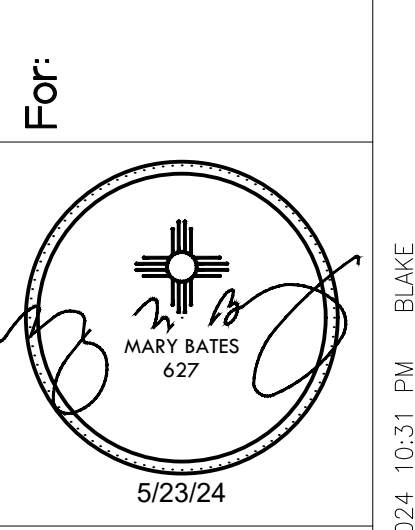
EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING

SCALE: NTS



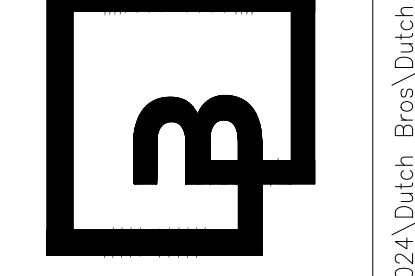
The: PLANTING SPECIFICATIONS & DETAILS
 7380 SAN ANTONIO DR NE
 ALBUQUERQUE, NM 87109



Scale:
Horizontal
Vertical

Designed _____
Drawn _____
Checked _____
Approved _____
Date _____

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
 barghausen.com

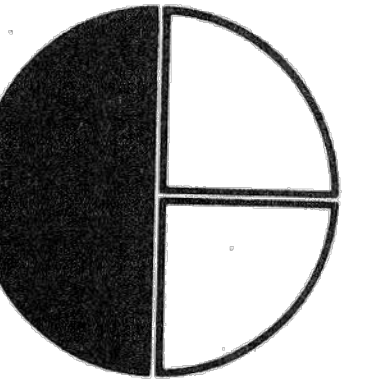


Job Number: 23204
 Sheet: LP-2
 2019 08
 Evergreen Design Group, LLC

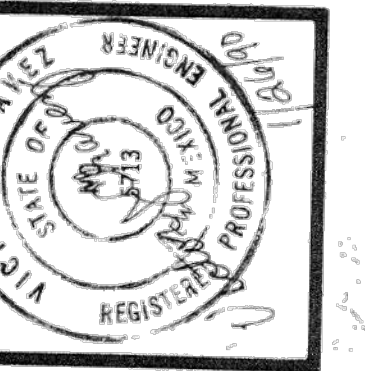
PRELIMINARY NOT FOR CONSTRUCTION

*The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials"), are owned by and/or licensed by Dutch Bros., LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

P:\Shared\Projects\2024\Dutch Bros\Dutch Bros - Albuquerque NM - 50m Antonio Dr\Barghausen-Albuquerque_Site_LP.dwg - 5/22/2024 10:31 PM BUKE



CUSTER-BASARCH LTD
Architects-Planners AIA
300 Central SW Suite 1200W
Albuquerque, New Mexico 87102
Telephone: (505) 765-1020



WYOMING COMMERCIAL COMPLEX
SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
Albuquerque, New Mexico

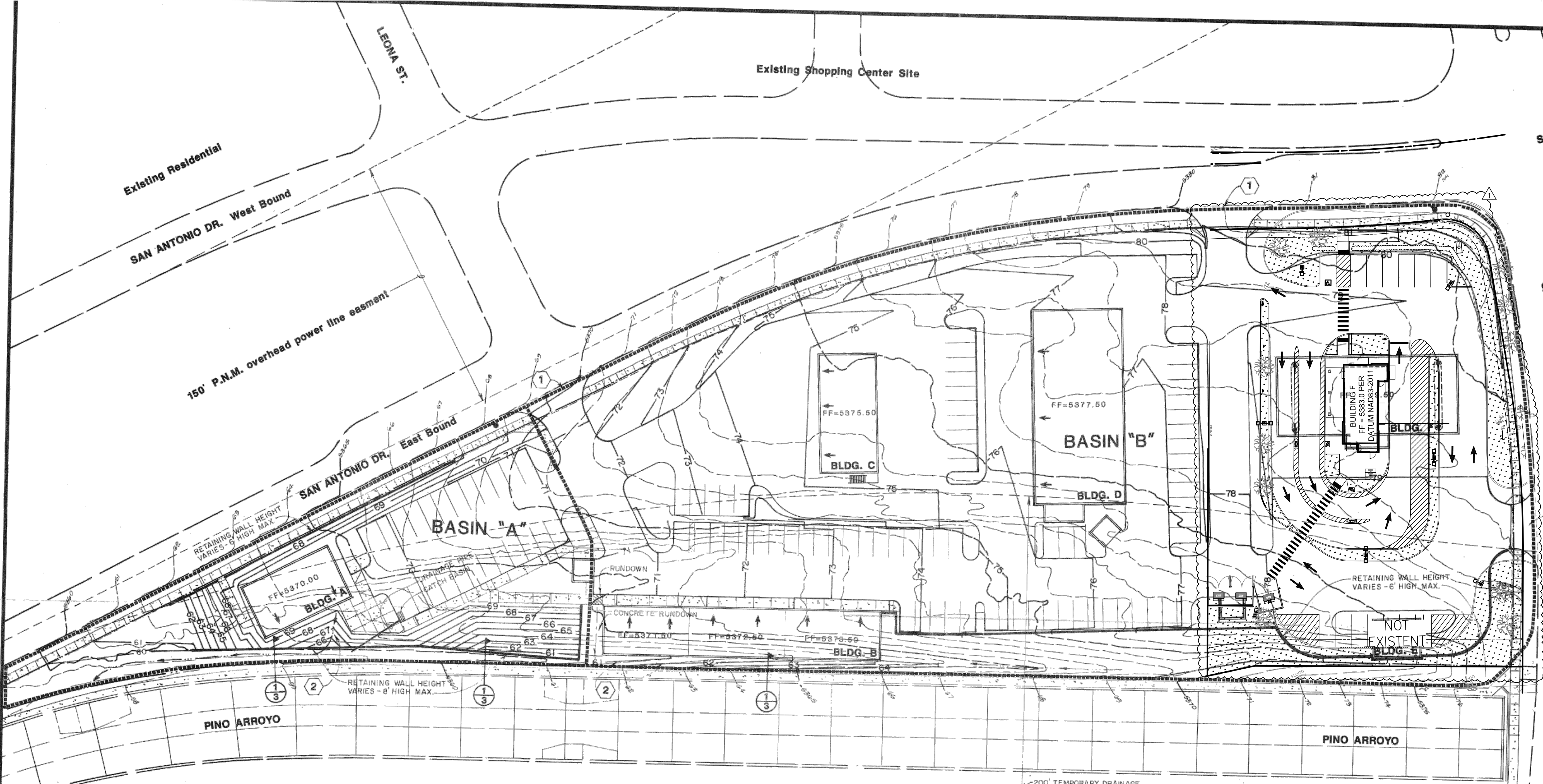
PROJECT REVISIONS

1. MAKE SITE PLAN AMENDMENT RESTAURANT WITH DRIVE-THRU 07/08/2024

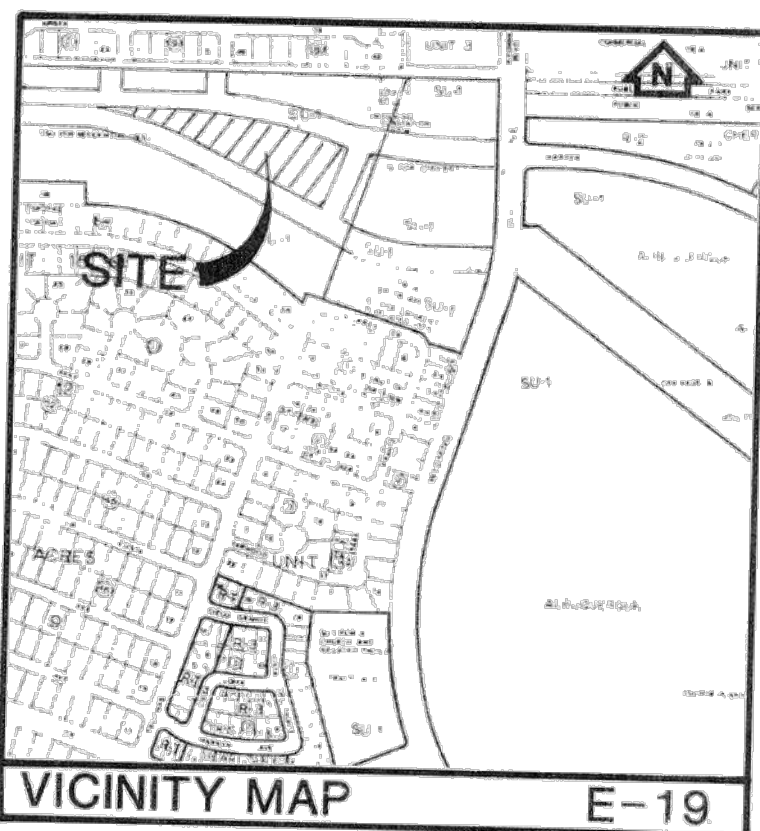
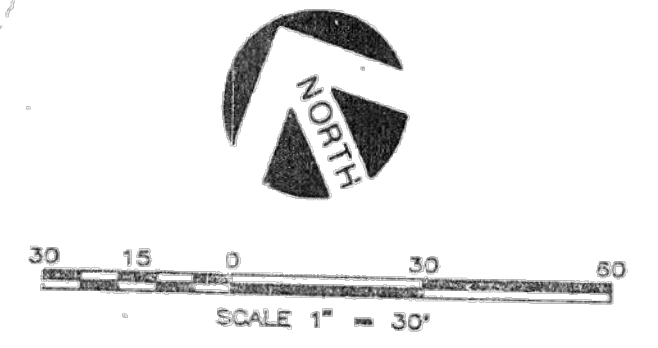
DATE 1-26-90

SHEET TITLE GRADING & DRAINAGE PLAN

SHEET NO. 3 OF 4



CONCEPTUAL DRAINAGE PLAN
WYOMING COMMERCIAL COMPLEX



LEGAL DESCRIPTION
TRACT 3, UNIT 3, BELLAMAH'S LOMA DEL NORTE SUBDIVISION.
BENCHMARK
THE STATION IS A STANDARD ACS BRASS CAP STAMPED "6-D19-1978", SET ON TOP OF A CONCRETE POST FLUSH WITH THE GROUND LOCATED AT THE NORTHWEST CORNER OF SAN ANTONIO DR. AND WYOMING BLVD. N.E. ELEVATION = 5403.54 FT.

LEGEND

DESCRIPTION	NEW	EXISTING
PROPERTY LINE	---	---
EASEMENT	---	---
BUILDING	[Outline]	[Outline]
CURB & GUTTER	---	---
CURB	---	---
VALLEY GUTTER	---	---
SIDE WALK, CONC / SLAB	---	---
CONTOUR	---	---
SPOT ELEV	---	---
BASIN LINE	---	---
ROOF DRAINS	---	---

SURVEY DATA
SURVEY DATA PROVIDED BY ANDREWS, ASBURY & ROBERTS, ALBUQUERQUE, NEW MEXICO.
THE PROJECT BENCHMARK IS LOCATED ON THE SOUTHWEST CURB RETURN OF SAN ANTONIO DR. AND SAN ANTONIO PL. ELEVATION = 5382.63 FT.

LOCATION AND DESCRIPTION:
THE SITE IS LOCATED ON THE SOUTHWEST CORNER OF SAN ANTONIO DRIVE AND SAN ANTONIO PLACE N.E. WITHIN UNIT 3, BELLAMAH'S LOMA DEL NORTE SUBDIVISION IN ALBUQUERQUE, NEW MEXICO. THE SITE, CONTAINING APPROXIMATELY 3.37 ACRES, IS PRESENTLY UNDEVELOPED. EXISTING SLOPES ARE FROM THE EAST TO THE WEST. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN.

EXISTING CONDITIONS:
PRESENTLY, RUNOFF FROM THE SITE DISCHARGES TO THE PINO ARROYO THROUGH CONCRETE RUNDOWNS. NO OFF-SITE FLOWS ENTERS THE SITE DUE TO EXISTING ELEVATIONS.

PROPOSED CONDITIONS:
PROPOSED DEVELOPMENT OF THE SITE INCLUDES NEW BUILDINGS WITH RELATED PARKING AND LANDSCAPING. DUE TO PROPOSED DEVELOPMENT, RUNOFF FROM THE SITE WILL INCREASE FROM 7.12 CFS TO 12.87 CFS. THE FLOWS WILL BE ROUTED TO EXISTING RUNDOWNS AT THE PINO ARROYO.

CALCULATIONS:
Area = 3.37 acres
 $I = 2.2 \text{ in./hr. Plate 22.2 D-2}$
 $6\text{-hour, } 100\text{-year rainfall} = 2.4 \text{ in. Plate 22.2 D-1}$
 $i = (2.2)(2.4) = 5.28 \text{ in./hr.}$

EXISTING ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	COMPOSITE "C" X A	"C" X A / A
Streets, Drives, Walks	0.95			
Roofs	0.90			
Lawns & Landscaping	0.25			
Undeveloped	0.40			
TOTAL		3.37	1.35	0.40

$Q(100) = (0.40)(5.28)(3.37) = 7.12 \text{ cfs}$
 $Q(10) = (0.657)(7.12) = 4.68 \text{ cfs}$
 $CN = 68 \text{ Plate 22.2 C-2}$
Direct Runoff = 0.3 in. Plate 22.2 C-4
 $V(100) = (0.3)(3.37)(43560)/12 = 3670 \text{ cu. ft.}$
 $V(10) = (0.657)(3670) = 2411 \text{ cu. ft.}$

PROPOSED ON-SITE CONDITIONS: BASIN "A"

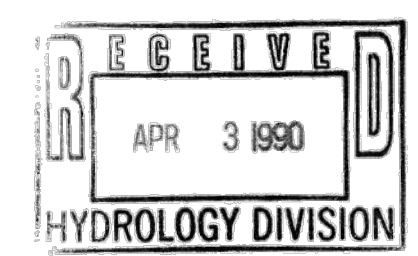
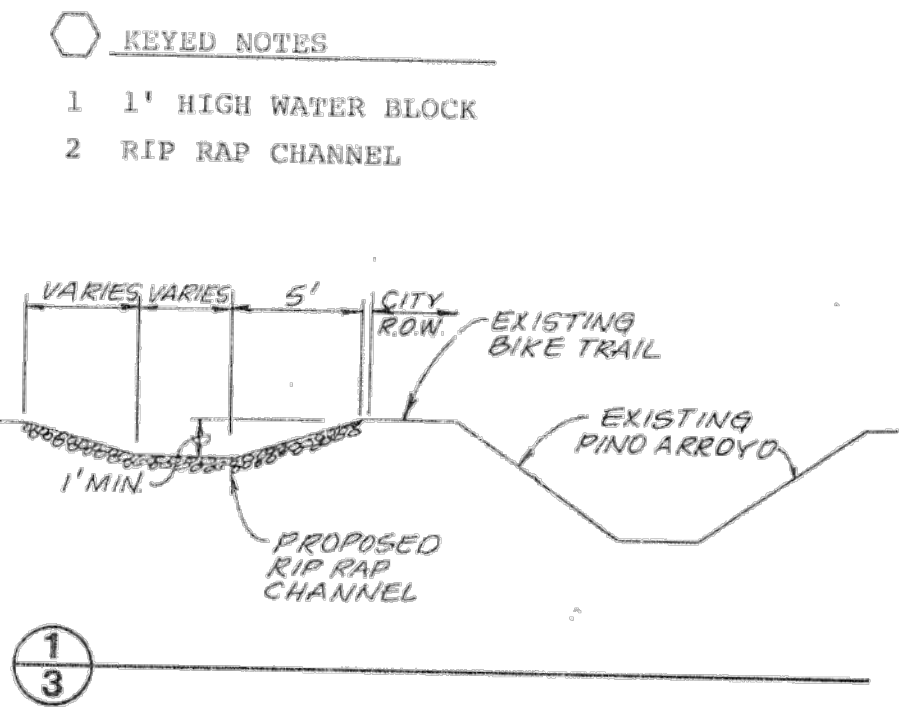
SURFACE TYPE	"C" VALUE	A (ACRES)	COMPOSITE "C" X A	"C" X A / A
Streets, Drives, Walks	0.95	0.24	0.23	
Roofs	0.90	0.04	0.04	
Lawns & Landscaping	0.25	0.34	0.09	
Undeveloped	0.40	0.00	0.00	
TOTAL			0.62	0.56

$C(100) = (0.56)(5.28)(0.62) = 1.83 \text{ cfs}$
 $C(10) = (0.657)(1.83) = 1.20 \text{ cfs}$
 $CN = 0.75 \text{ Plate 22.2 C-2}$
Direct Runoff = 0.5 in. Plate 22.2 C-4
 $V(100) = (0.5)(0.62)(43560)/12 = 1125 \text{ cu. ft.}$
 $V(10) = (0.657)(1125) = 739 \text{ cu. ft.}$

PROPOSED ON-SITE CONDITIONS: BASIN "B"

SURFACE TYPE	"C" VALUE	A (ACRES)	COMPOSITE "C" X A	"C" X A / A
Streets, Drives, Walks	0.95	1.73	1.64	
Roofs	0.90	0.28	0.25	
Lawns & Landscaping	0.25	0.74	0.19	
Undeveloped	0.40	0.00	0.00	
TOTAL			2.75	2.08

$C(100) = (0.76)(5.28)(2.75) = 11.04 \text{ cfs}$
 $C(10) = (0.657)(11.04) = 7.28 \text{ cfs}$
 $CN = 68 \text{ Plate 22.2 C-2}$
Direct Runoff = 0.80 in. Plate 22.2 C-4
 $V(100) = (0.80)(2.75)(43560)/12 = 7986 \text{ cu. ft.}$
 $V(10) = (0.657)(7986) = 5246 \text{ cu. ft.}$



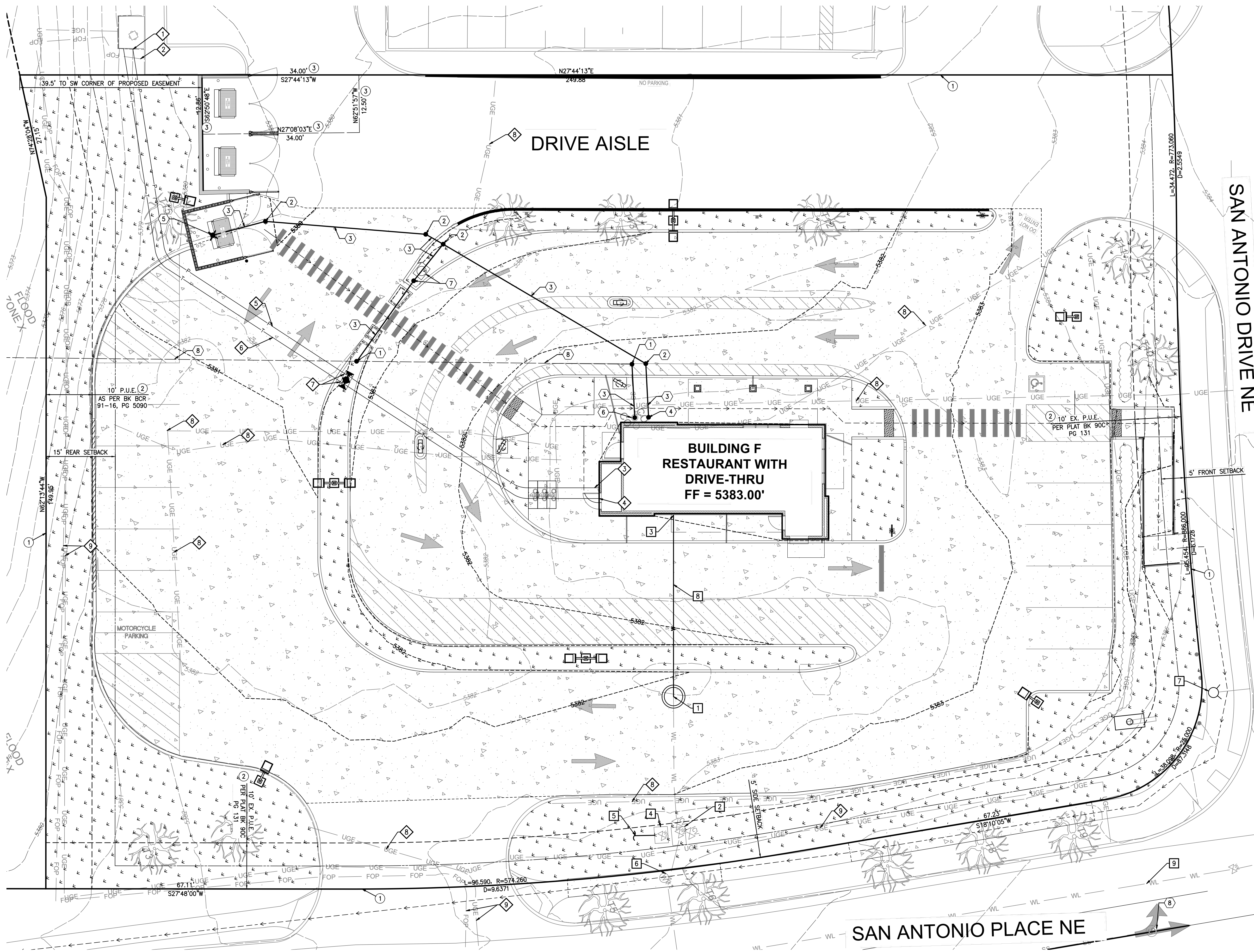
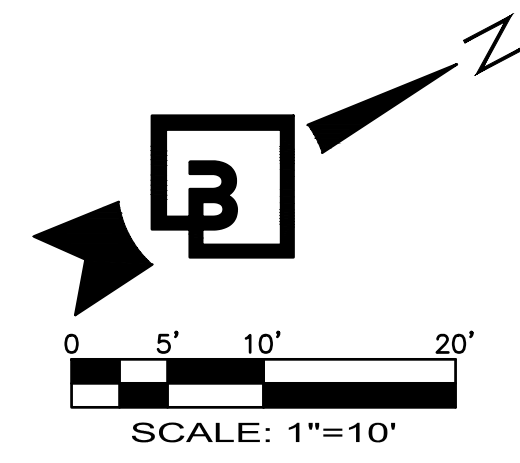


Know what's below.
Call before you dig.
Dial 811

UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

THIS IS A MAJOR AMENDMENT TO THE CONTROLLING SITE DEVELOPMENT PLAN FOR BUILDING F TO ALLOW A RESTAURANT WITH DRIVE THROUGH USE
UTILITY PLAN SHEET



GENERAL UTILITY NOTES:

- A. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- B. ALL UTILITY STRUCTURES EXPOSED TO TRAFFIC SHALL BE TRAFFIC RATED INCLUDING STRUCTURE, LID, ETC.
- C. ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
- D. PROVIDE ALL INCIDENTAL FITTINGS, BENDS, WYES, TEES, COUPLINGS, GASKETS, ETC. REQUIRED TO CONSTRUCT THE INFRASTRUCTURE DEPICTED.
- E. ALL TRENCHING SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE PURVEYOR.
- F. PROVIDE MARKING TAPE AND LOCATE WIRE WITH ALL TRENCH INSTALLATIONS.
- G. ALL SANITARY SEWER PIPING SHALL BE PVC UNLESS DENOTED OTHERWISE. ALL PVC SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM D3034.
- H. ALL WATER PIPING DENOTED AS PVC SHALL CONFORM TO C-900 DR14 OR DR18

1 SITE KEYNOTES

1. EXISTING PROPERTY/PARCEL LINE
2. EXISTING EASEMENT
3. PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE

4 SANITARY CONSTRUCTION NOTES:

1. PROPOSED CONNECTION TO EXISTING 4" SANITARY SEWER LATERAL. INSTALL CLEANOUT PER CITY OF ALBUQUERQUE STANDARDS.
2. PROPOSED 4" SANITARY SEWER CLEANOUT TO GRADE IN COMPLIANCE WITH CITY OF ALBUQUERQUE STANDARDS.
3. PROPOSED 4" SDR-35 SEWER LATERAL. TYPICAL.
4. PROPOSED CONNECTION TO BUILDING. INSTALL 6" SANITARY SEWER CLEANOUT TO GRADE IN COMPLIANCE WITH CITY OF ALBUQUERQUE STANDARDS. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
5. PROPOSED FLOOR DRAIN AT NEW TRASH ENCLOSURE INSTALLED TO CITY OF ALBUQUERQUE STANDARDS.
6. LOCATION OF EXISTING SANITARY SEWER CLEANOUT. CONTRACTOR TO REUSE/REPLACE AS REQUIRED.
7. PROPOSED GREASE INTERCEPTOR TO CITY OF ALBUQUERQUE STANDARDS.
8. EXISTING SANITARY SEWER.

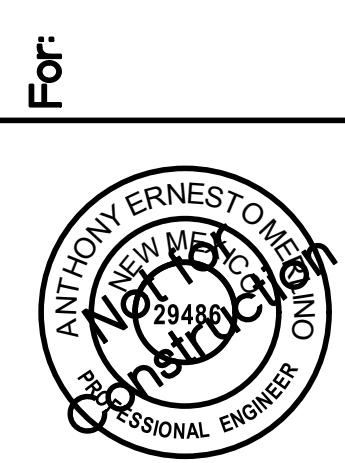
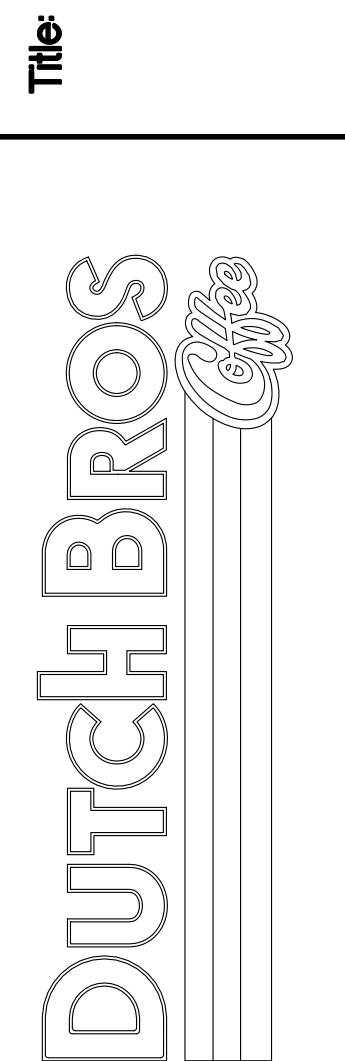
7 WATER CONSTRUCTION NOTES:

1. APPROXIMATE LOCATION OF CONNECTION TO EXISTING WATER SERVICE STUB. POTHOLE AND VERIFY POINT OF CONNECTION LOCATION, PIPE DIAMETER, PIPE MATERIAL, AND DEPTH PRIOR TO CONSTRUCTION. REPORT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH ORDERING MATERIALS. INSTALL CLEANOUT TO CITY OF ALBUQUERQUE STANDARDS.
2. APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED DOMESTIC). CONTRACTOR TO VERIFY SIZE AND INTENDED USE PRIOR TO CONSTRUCTION.
3. APPROXIMATE LOCATION OF WATER SERVICE CONNECTION TO BUILDING. REFER TO PLUMBING PLANS FOR FINAL LOCATION.
4. APPROXIMATE LOCATION OF EXISTING BACKFLOW PREVENTION DEVICE (ASSUMED IRRIGATION). CONTRACTOR TO VERIFY SIZE AND INTENDED USE PRIOR TO CONSTRUCTION.
5. APPROXIMATE LOCATION OF IRRIGATION SERVICE STUB. SEE LANDSCAPE DRAWINGS FOR CONTINUATION.
6. LOCATION OF EXISTING WATER METERS SERVING SITE. CONTRACTOR TO VERIFY QUANTITY SIZE PRIOR TO CONSTRUCTION AND COORDINATION START OF SERVICE WITH PURVEYOR.
7. EXISTING FIRE HYDRANT.
8. PROPOSED 1.5" PVC WATER LINE.
9. EXISTING WATER MAIN

8 DRY UTILITIES CONSTRUCTION NOTES:

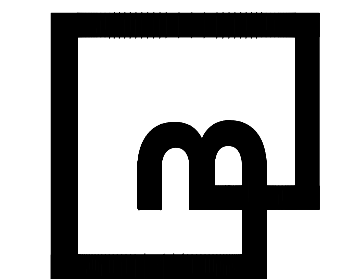
1. PROPOSED POINT OF CONNECTION TO EXISTING TRANSFORMER. CONTRACTOR SHALL COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
2. PROPOSED LOCATION OF CONNECTION TO TELECOMMUNICATIONS SERVICE. CONTRACTOR TO COORDINATE SCOPE OF WORK WITH MEP PLANS AND PURVEYOR PRIOR TO CONSTRUCTION.
3. APPROXIMATE LOCATION OF POWER CONNECTION TO BUILDING. REFER TO MEP PLANS FOR FINAL LOCATION.
4. APPROXIMATE LOCATION OF UNDERGROUND PHONE, CABLE AND INTERNET CONNECTION TO BUILDING. REFER TO MEP PLANS FOR FINAL LOCATION.
5. PROPOSED LOCATION OF UNDERGROUND ELECTRICAL CONDUIT. CONSISTING OF 150 LF OF (1) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
6. PROPOSED LOCATION OF UNDERGROUND TELECOMMUNICATIONS ROUTING. CONSISTING OF 150 LF OF (1) 4" CONDUIT WITH PULL TAPE FOR INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
7. PROPOSED PULLBOX
8. EXISTING DRY UTILITY LINE TO BE DECOMMISSIONED PENDING CITY APPROVAL
9. EXISTING DRY UTILITY LINE TO BE PROTECTED

UTILITY PLAN SHEET
7380 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109



Scale:	Horizontal	Vertical
	1" = 10'	N/A
Designed:	BB	
Drawn:	BB	
Checked:	MTL	
Approved:	AEM	
Date:	7/8/24	

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com

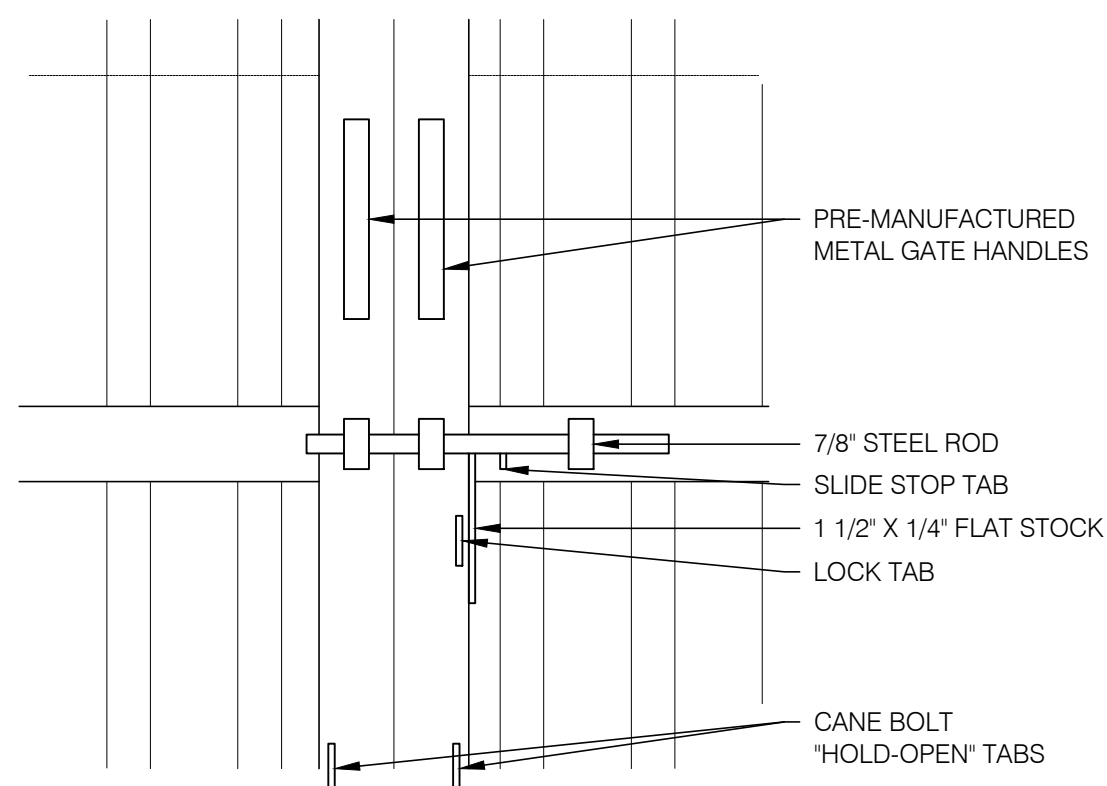


Job Number: 23204
Sheet: C30
2019 IBC
P:\23000s\23204\preliminary\23204-Pl.dwg 7/5/2024 3:35 PM MLESMESTER

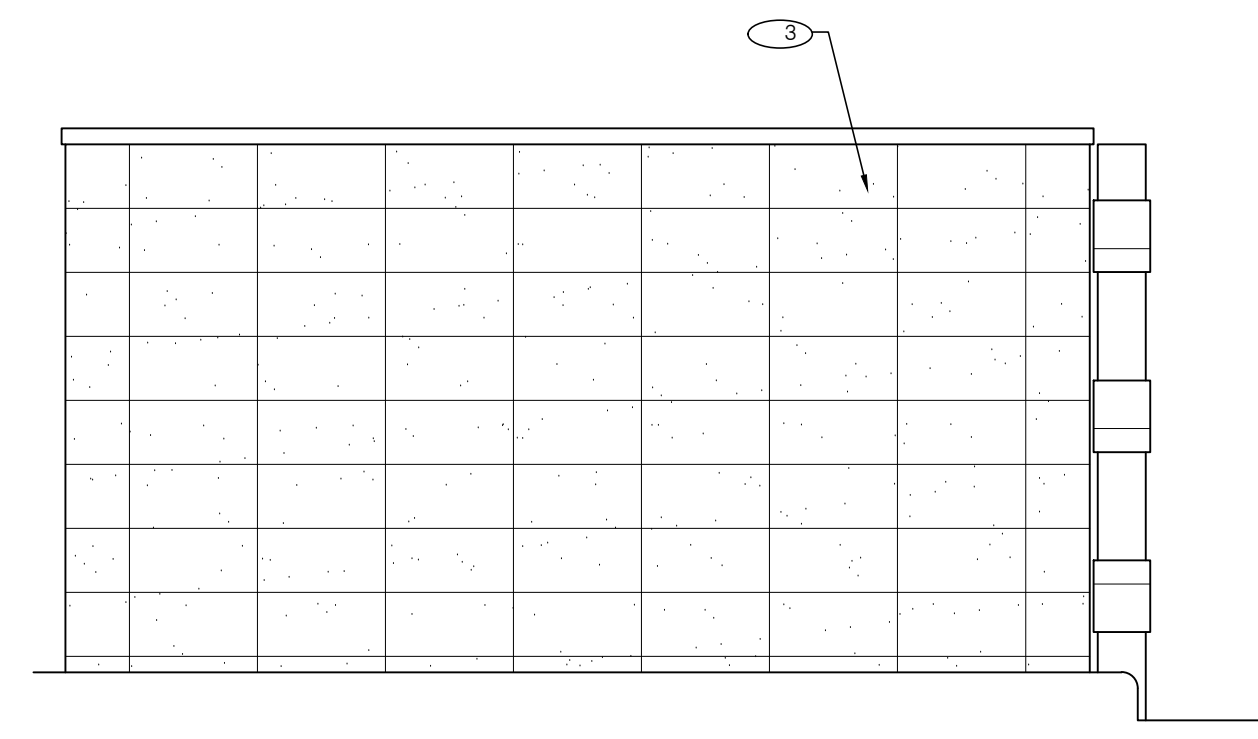
PRELIMINARY NOT FOR CONSTRUCTION

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to the "hook and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "lock and leaf" of the establishments and products, all text, images, colors, configurations, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.



6 TRASH ENCLOSURE GATE LOCKING HANDLE
SCALE: 1-1/2" = 1'-0"

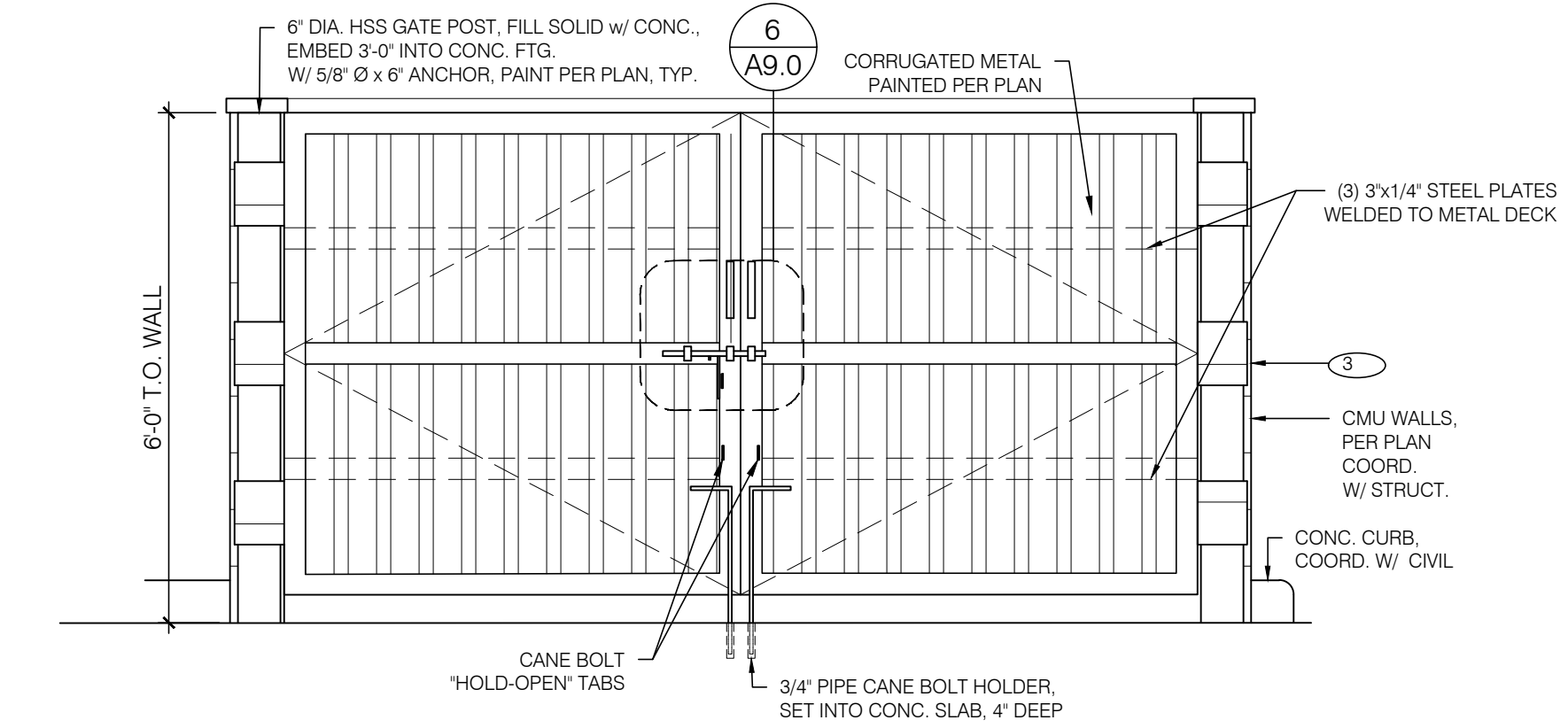


3 TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"

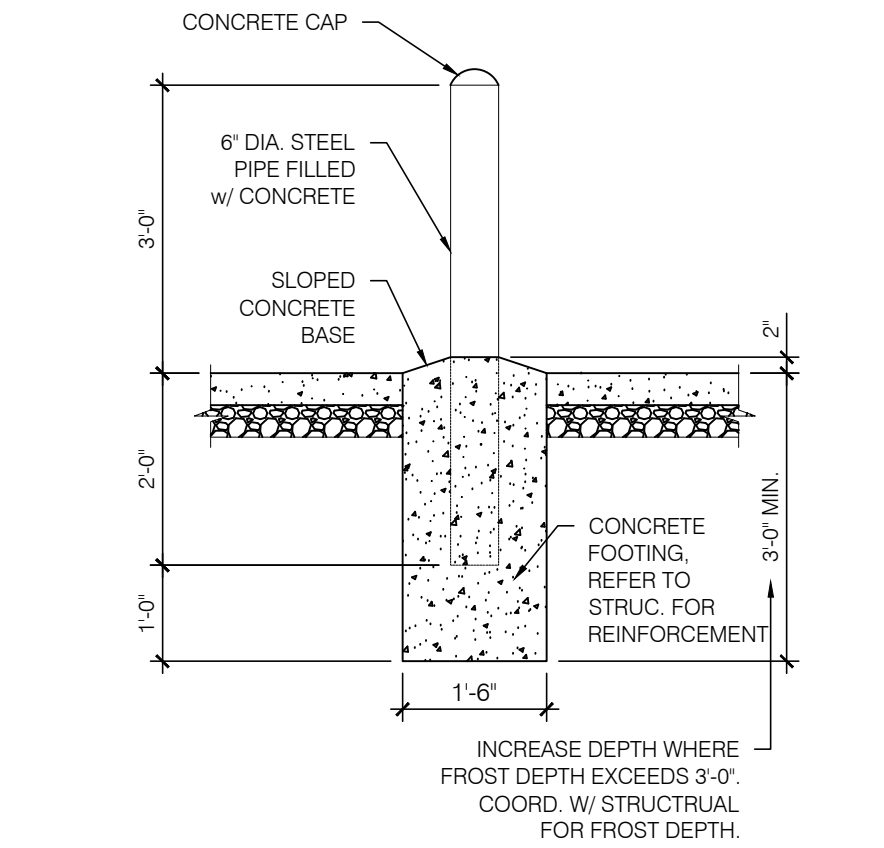
TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	SPLIT FACE 8X8X16	BASALITE	CHARCOAL	IF INTEGRAL COLOR BLOCK IS UNAVAILABLE, BLOCK TO BE STAINED TO MATCH
	CMU CAP	BASALITE	CHARCOAL	12X16X2
PT-2	PAINT	SHERWIN-WILLIAMS	8656-1125 - BLDG DB DARK GRAY	BLDG DB DARK GRAY, GATES BODY
PT-3	PAINT	SHERWIN-WILLIAMS	8656-12045 - BLDG DB BLUE	BLDG DB BLUE, GATE FRAMES & POSTS

TRASH ENCLOSURE GENERAL NOTES:

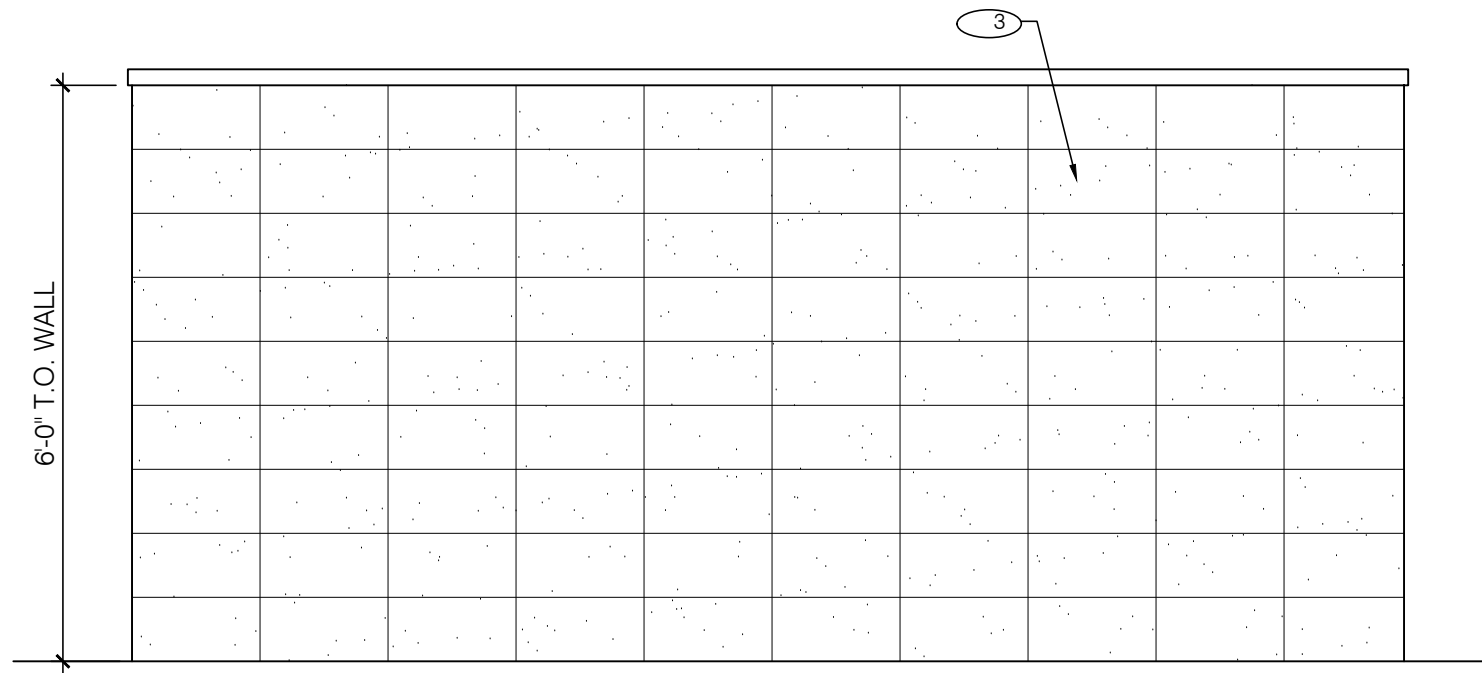
- REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
- PROVIDE LOCKING MECHANISM ON MAIN DOORS AND PEDESTRIAN DOOR
- PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
- GATE TO BE BUILT WITH 3"x2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.
- REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS (GENERAL NOTES) AND TYPICAL DETAILS FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL.



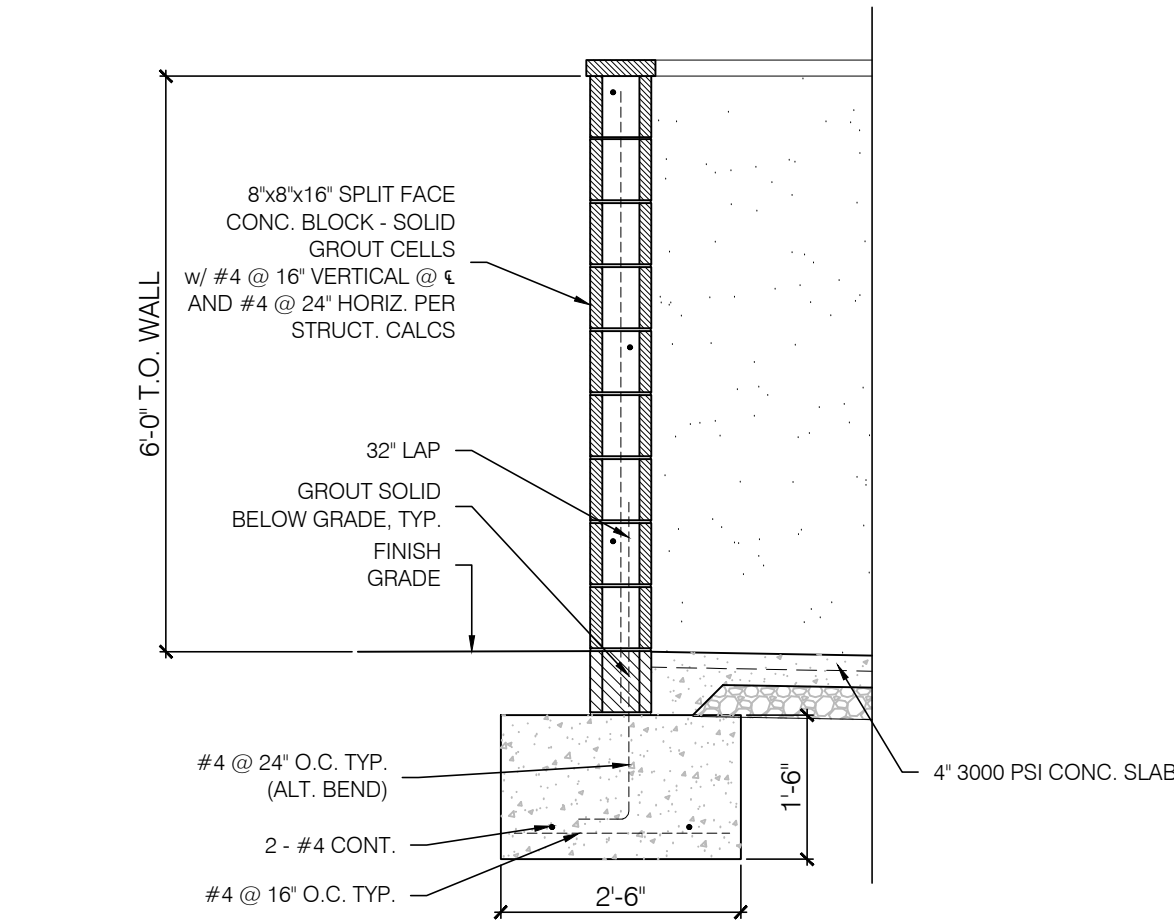
2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



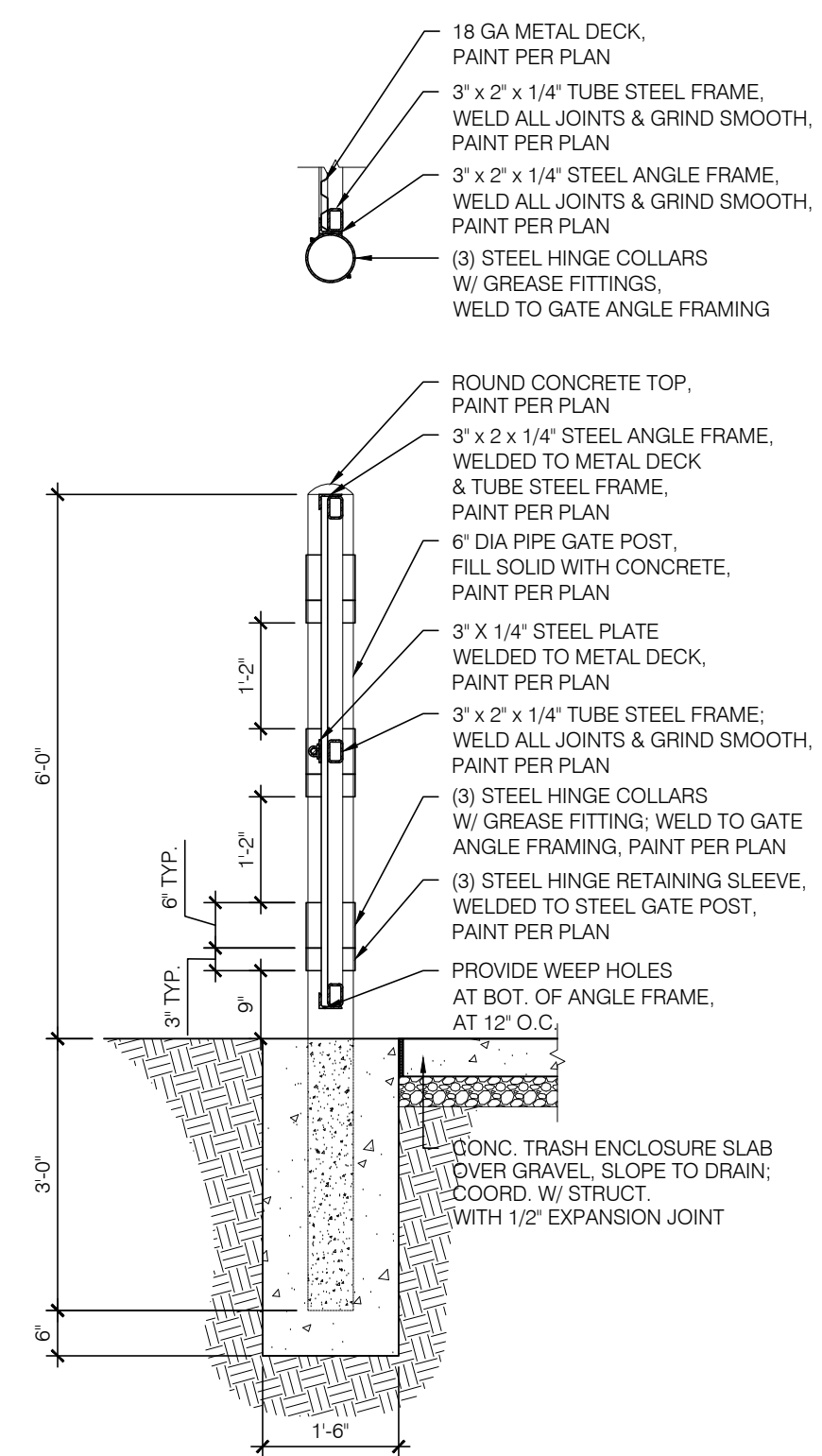
7 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



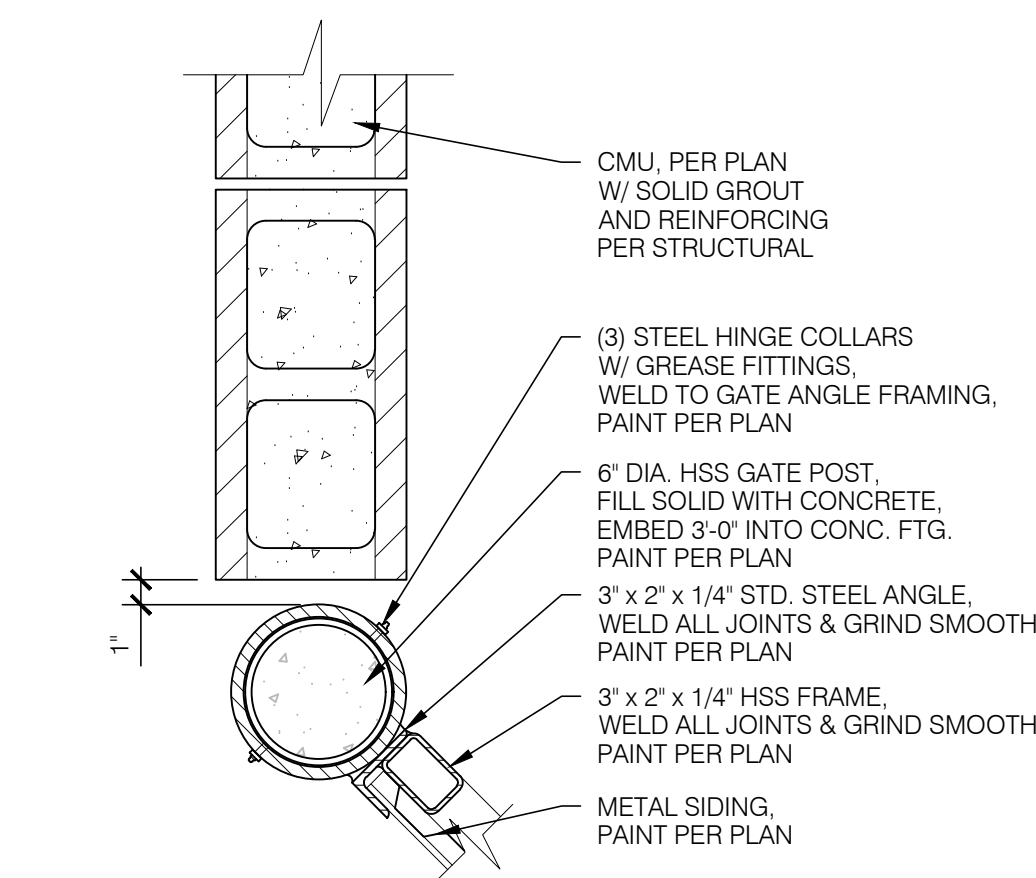
4 TRASH ENCLOSURE REAR ELEVATION
SCALE: 1/2" = 1'-0"



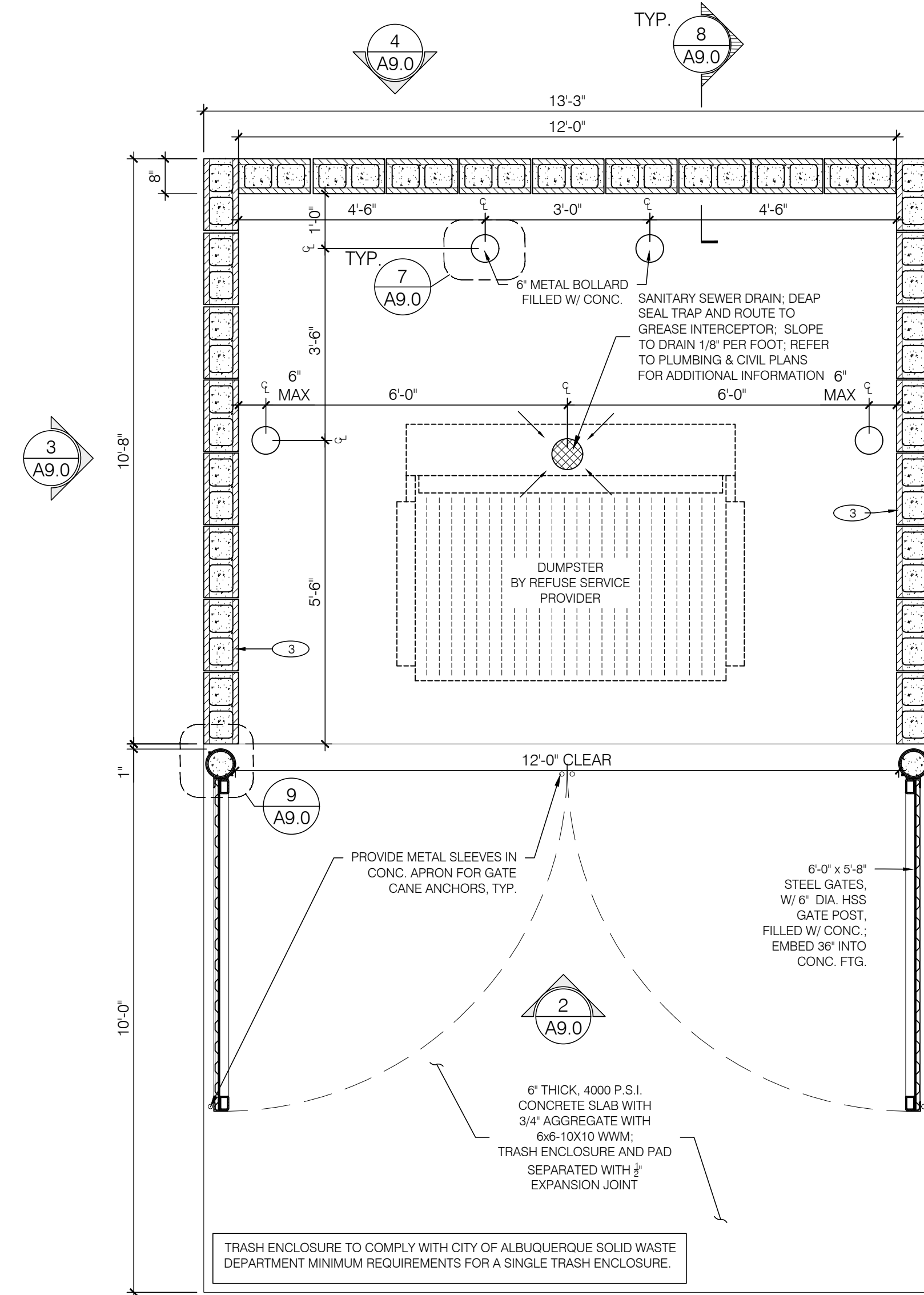
8 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



5 TRASH ENCLOSURE GATE JAMB DETAIL
SCALE: 1/2" = 1'-0"



9 TRASH ENCLOSURE GATE JAMB DETAIL
SCALE: 1-1/2" = 1'-0"



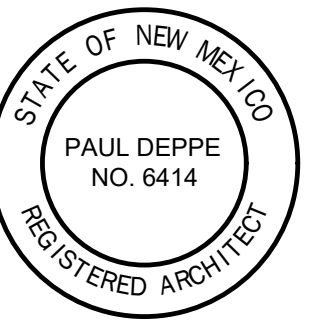
1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



ARMET DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



Project No: NM0504
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
7330 SAN ANTONIO DR NE.
ALBUQUERQUE, NM 87109

DATE: 02/01/2024
REV: DATE: DESCRIPTION:

SHEET NAME:
TRASH ENCLOSURE PLAN/ ELEVATIONS

SHEET NUMBER:

A9.0



Approval Signature

DATE:
03/14/2024

PROJECT MANAGER:
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



CONSTRUCTION MGR.

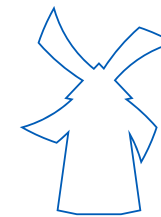
DIRECTOR

NORTH ELEVATION

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

TOTAL SQ. FT.: 46.72

Scale: 1/4"=1'-0"



Approval Signature

DATE:
03/14/2024

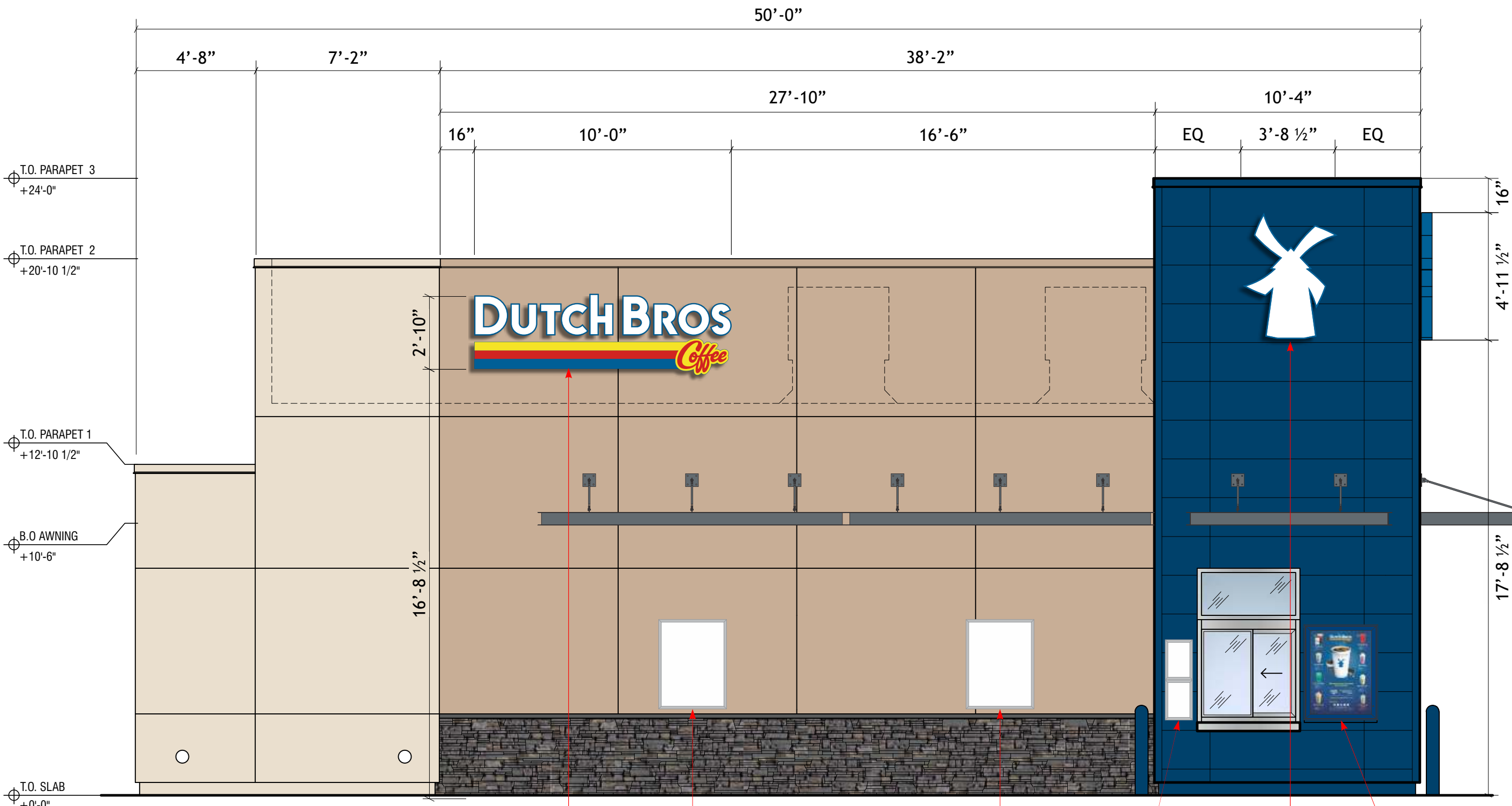
PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



CONSTRUCTION MGR.

DIRECTOR

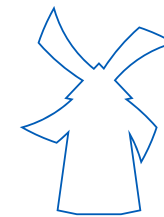
EAST ELEVATION

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

- N2**
DBCL10-@28.33SF
- N10**
SNAP FRAMES
- N10**
SNAP FRAMES
- N11**
SNAP FRAMES
- N5**
DBW13-@18.39SF
- N8**
DBMENU-WM-SF

TOTAL SQ. FT.: 46.72

Scale: 1/4"=1'-0"



Approval Signature

DATE:
03/14/2024

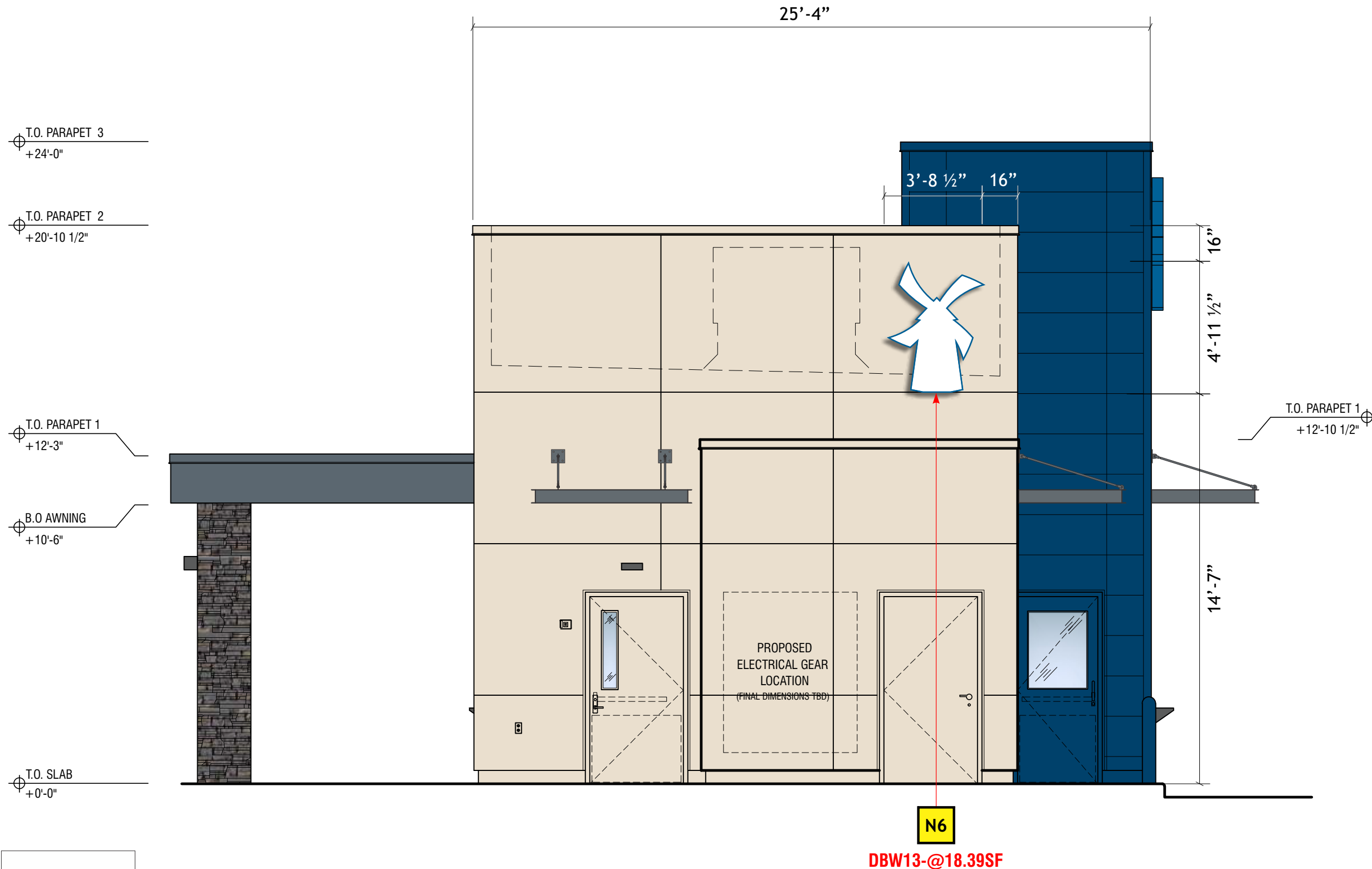
PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



CONSTRUCTION MGR.

DIRECTOR

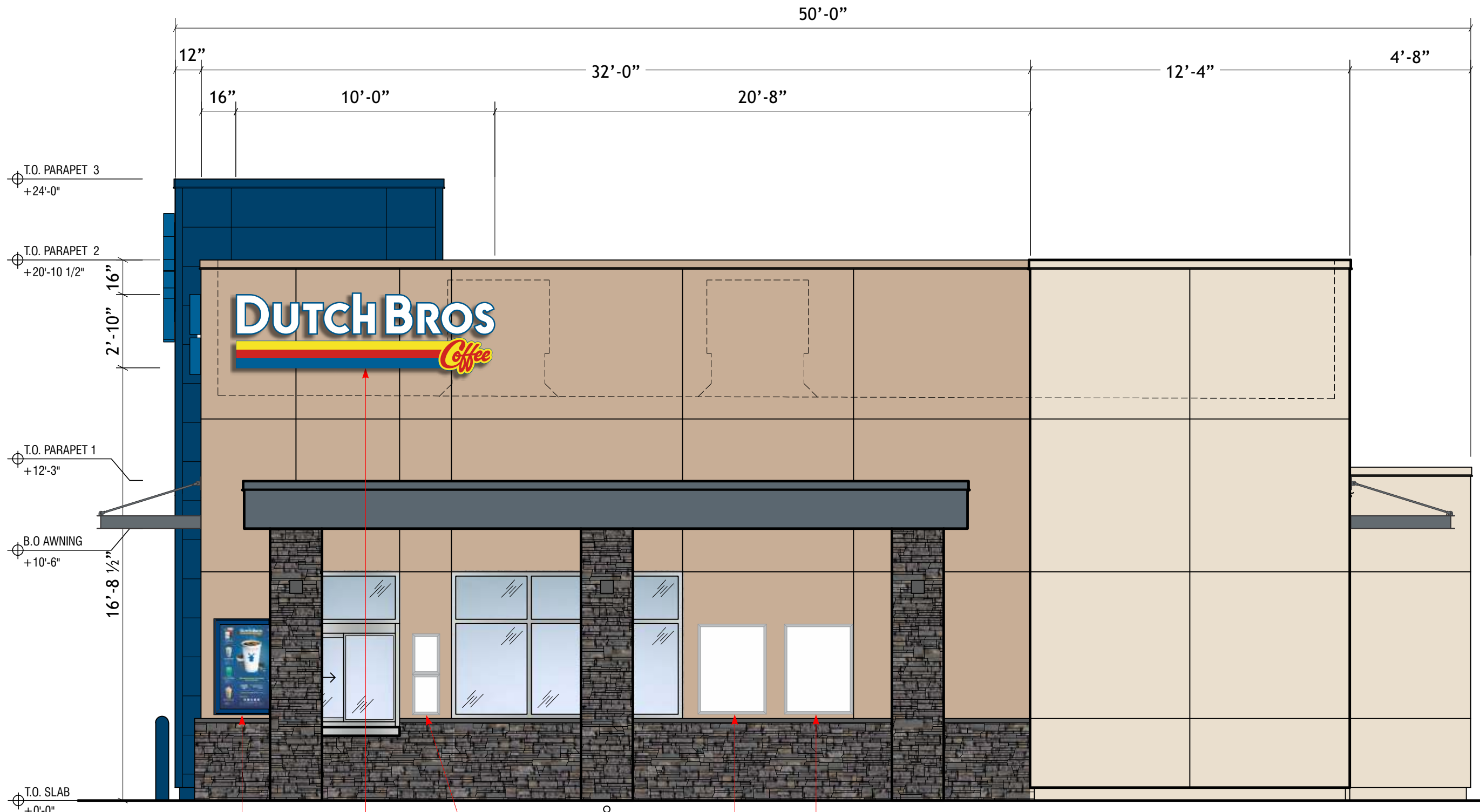


SOUTH ELEVATION

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

TOTAL SQ. FT.: 18.39

Scale: 1/4"=1'-0"



T.O. PARAPET 3
+24'-0"

T.O. PARAPET 2
+20'-10 1/2"

T.O. PARAPET 1
+12'-3"

B.O AWNING
+10'-6"

T.O. SLAB
+0'-0"

50'-0"
12" 16" 10'-0" 32'-0" 20'-8" 12'-4" 4'-8"

DUTCH BROS
Coffee

N8
DBMENU-WM-SF

N3
DBCL10-@28.33SF

N11
SNAP FRAMES

N10
SNAP FRAMES

N10
SNAP FRAMES

CONSTRUCTION MGR.

DIRECTOR

WEST ELEVATION

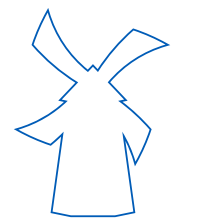
SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

TOTAL SQ. FT.: 28.33

Scale: 1/4"=1'-0"



12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
03-24-0014
SIGNS AND MENUS

PAGE NO.:
6 OF **18**

CLIENT:
DUTCH BROS

ADDRESS
7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:
03/14/2024

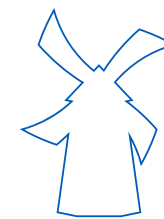
PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



Approval Signature

DATE:
03/14/2024

PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN. USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.

PUBLIC PEDESTRIAN AND BICYCLE PATH

PUBLIC PEDESTRIAN AND BICYCLE PATH

SAN ANTONIO DRIVE NE

SAN ANTONIO PLACE NE

DRIVE AISLE

DRIVE AISLE

DRIVE AISLE

DRIVE AISLE

DBMENU-PM-SF N9

SNAP FRAMES N11

DBCL10@28.33SF N2

SNAP FRAMES N10

DBMENU-WM-SF N8

N7 ADDRESS NUMBERS

N3 DBCL10@28.33SF

N6 DBW13-@18.39SF

N12 DB-DIR-E0-DF

DBW13-@18.39SF N5

N9 DBMENU-PM-SF

DBCL10@28.33SF N1

SNAP FRAMES N10

N4 DBW13-@18.39SF

N8 DBMENU-WM-SF

N11 SNAP FRAMES

N14 PYLON CUP SIGN

CONSTRUCTION MGR.

DIRECTOR

SITE PLAN

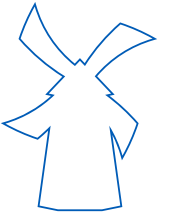
SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES



Scale: 1"=20'

SCOPE OF WORK: MANUFACTURE & INSTALL (3) SETS OF ILLUMINATED CHANNEL LETTERS WITH REMOTE RACEWAYS

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
03-24-0014
SIGNS AND MENUS

PAGE NO.:
7 OF 18

CLIENT:
DUTCH BROS

ADDRESS
7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:
03/14/2024

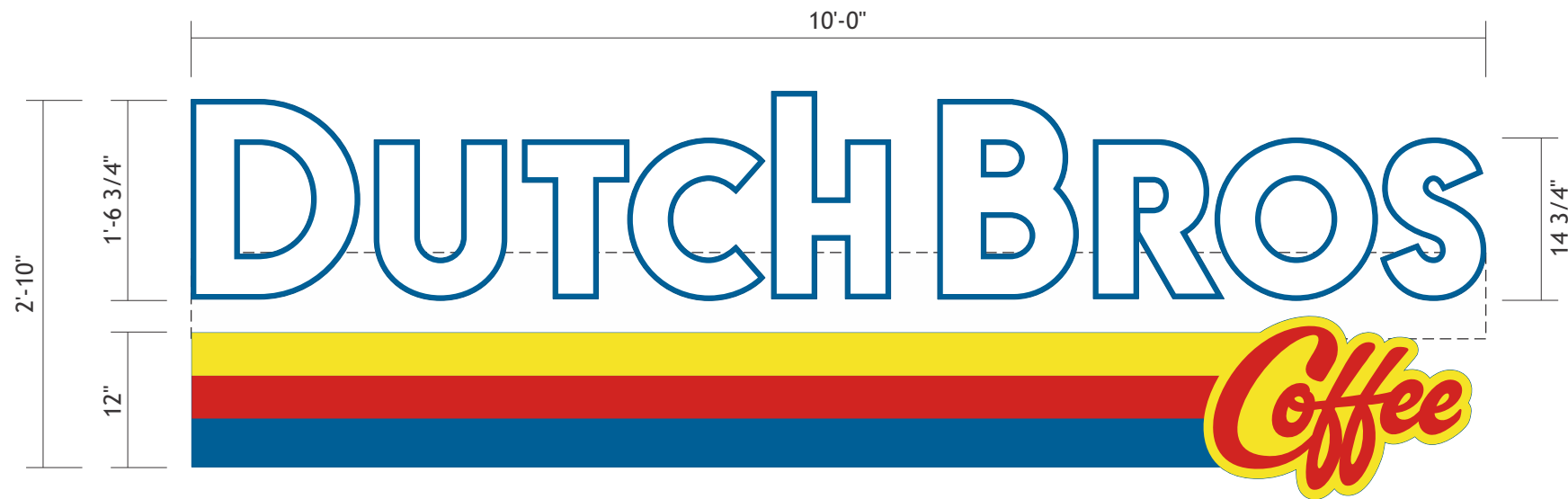
PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

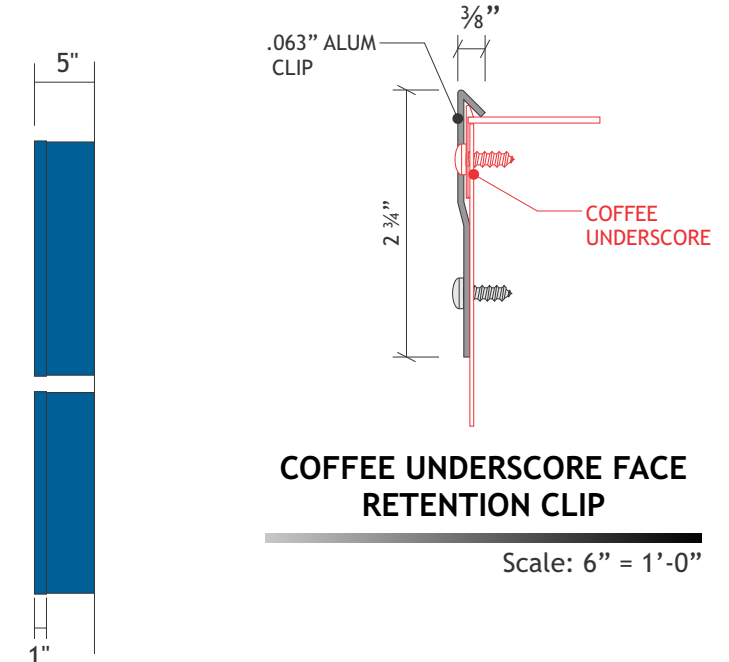
REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



SIDE VIEW



N1 N2 N3

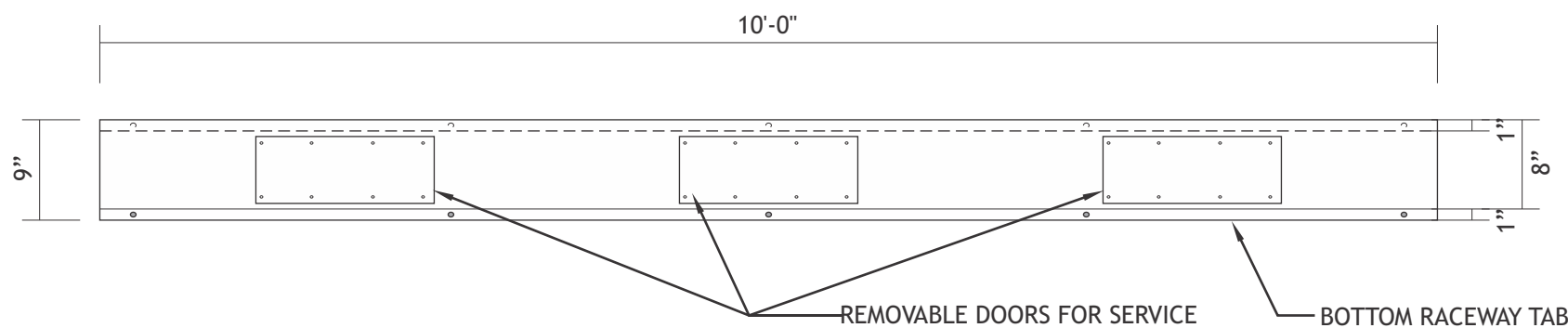
SIGN TYPE DBCL10: SELF CONTAINED LOGO

TOTAL SQ. FT.: 28.33

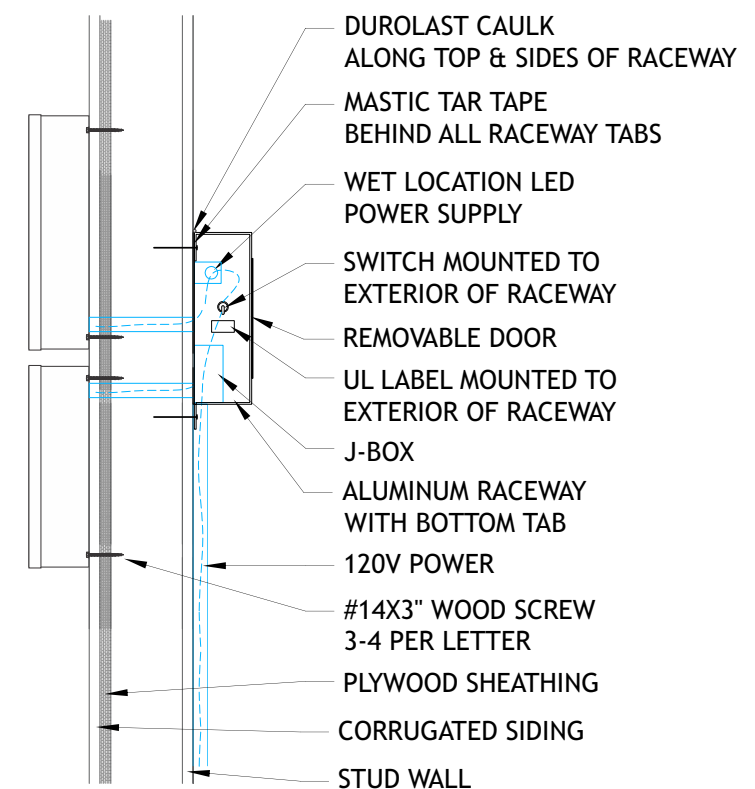
QTY. 3

Scale: 3/4" = 1'-0"

FABRICATED REMOTE RACEWAY
.040 PRE-COAT WHITE ALUMINUM



ATTACHMENT DETAIL
CHANNEL LETTERS WITH REMOTE RACEWAY



INTERNALLY ILLUMINATED FACE-LIT FLUSH MOUNTED CHANNEL LETTERS
5" DEEP CHANNEL LETTERS.
5" RETURNS & 1" TRIM CAP PAINTED TO MATCH PANTONE 7691 C "INTENSE BLUE".
WHITE ACRYLIC FACES.
230-127 INTENSE BLUE PSV, 230-015 YELLOW PSV, 230-33 RED PSV.
LED ILLUMINATION.
FLUSH MOUNTED CHANNEL LETTERS WITH REMOTE MOUNTED RACEWAY.
RACEWAY SHALL HAVE A CAULKING APPLIED ALONG THE TOP AND SIDES.
ALL HOLE PENETRATIONS WILL BE SEALED WITH CAULKING.

COLOR SPECIFICATIONS:

- 230-015 YELLOW PSV PMS 116C
- 230-33 RED PSV PMS 1797C
- 230-127 INTENSE BLUE PSV PMS 300C
- PMS 7691C
- WHITE

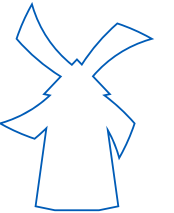
CONSTRUCTION MGR.

DIRECTOR

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

SCOPE OF WORK: MANUFACTURE& INSTALL (3) ILLUMINATED WINDMILL LOGOS

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:

03-24-0014
SIGNS AND MENUS

PAGE NO.:

8 OF 18

CLIENT:

DUTCH BROS

ADDRESS

7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:

03/14/2024

PROJECT MANAGER

Joanne P.

DESIGNER:

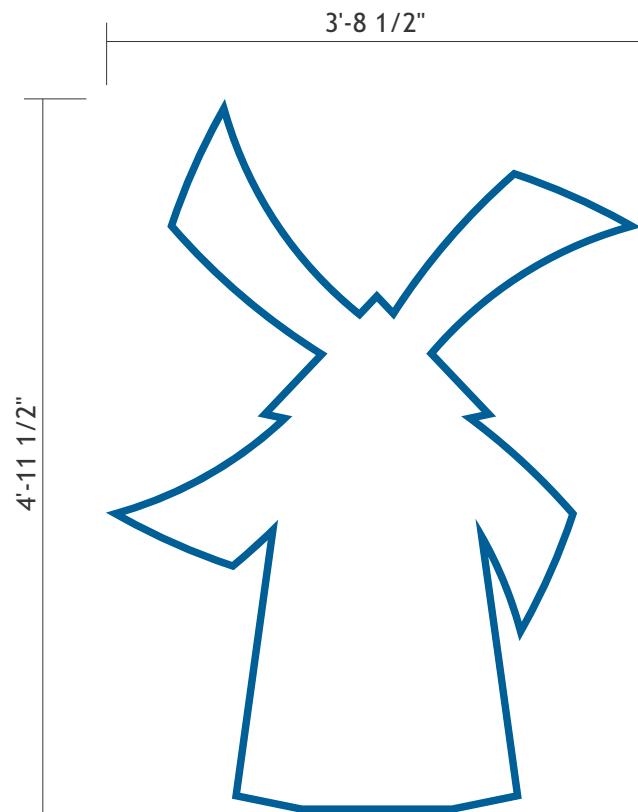
Trong T.

REVISION DATE:

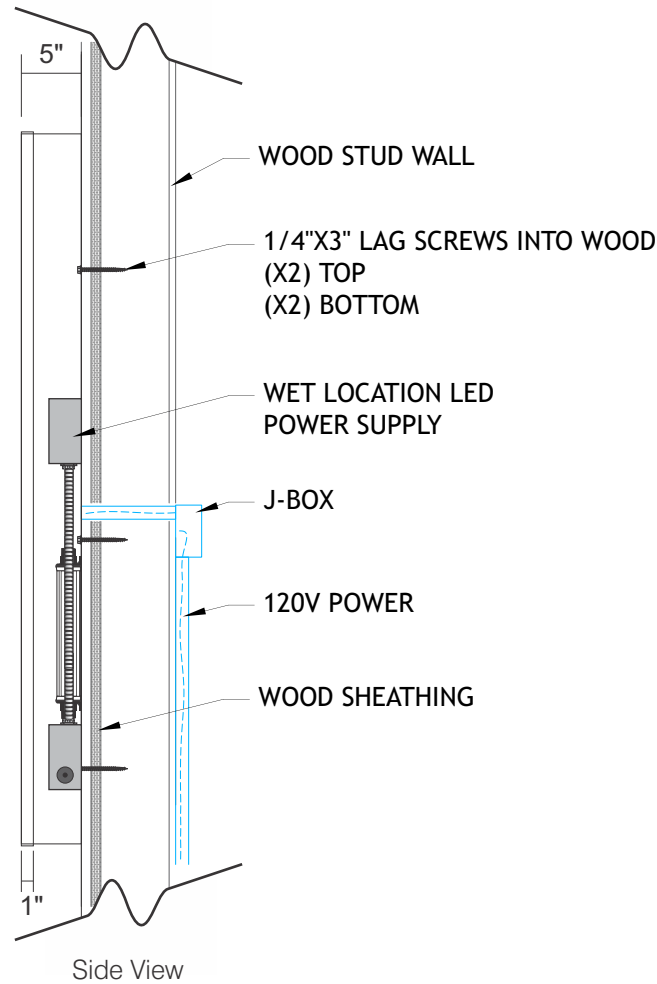
REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.

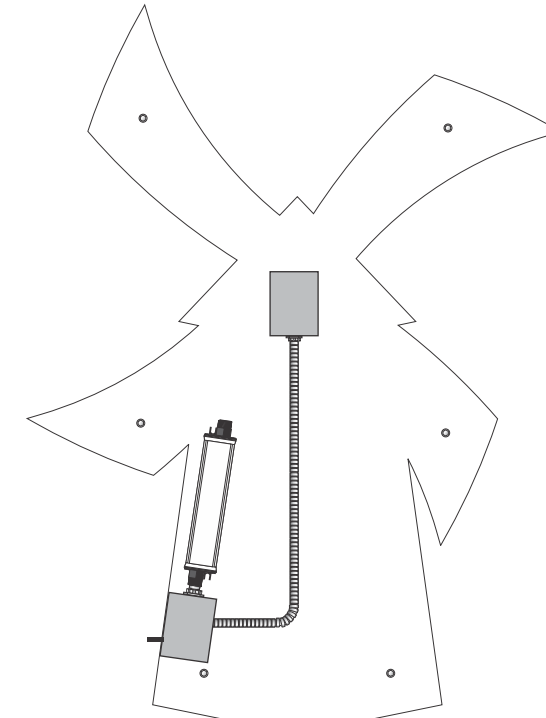
DBW13
SCALE: 3/4"=1'-0"



ATTACHMENT DETAIL
SELF CONTAINED CHANNEL LOGO



ATTACHMENT DETAIL
SELF CONTAINED CHANNEL LOGO



N4 N5 N6

SIGN TYPE DBW13: SELF CONTAINED LOGO

QTY. 3

TOTAL SQ. FT.: 18.39

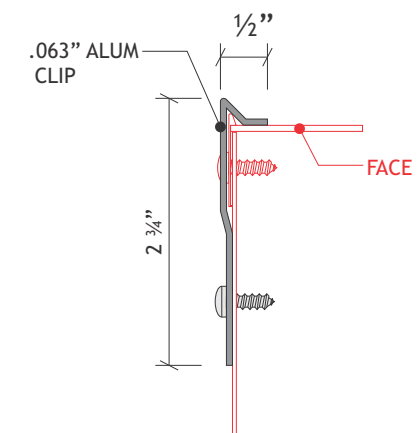
Scale: 3/4" = 1'-0"

COLOR CODE

- 230-127 INTENSE BLUE PSV
- WHITE

INTERNALLY ILLUMINATED FACE-LIT FLUSH MOUNTED CHANNEL WRAP LOGO
5" DEEP CHANNEL WRAP.
5" RETURNS & 1" TRIM CAP PAINTED TO MATCH PANTONE 7691 C "INTENSE BLUE".
WHITE ACRYLIC FACE.
230-127 INTENSE BLUE PSV OUTLINE.
LED ILLUMINATION.
FLUSH MOUNTED SELF CONTAINED INSTALLATION.

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES



FACE RETENTION CLIP

Scale: 6" = 1'-0"



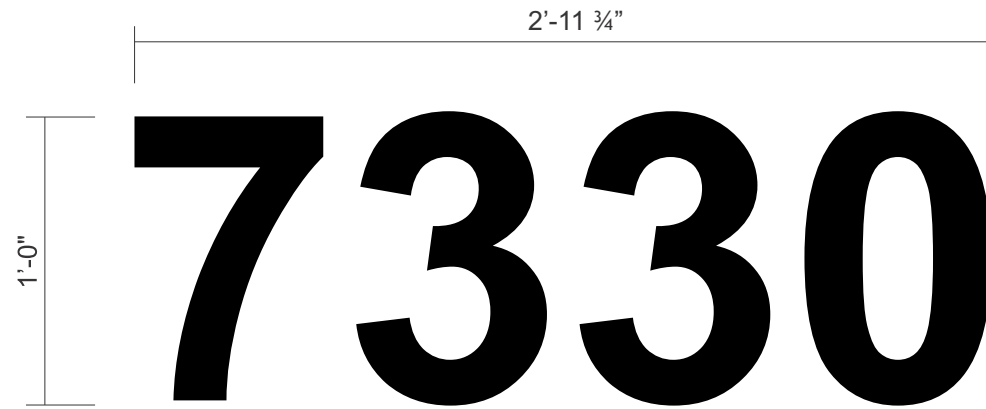
CONSTRUCTION MGR.



DIRECTOR

BUILDING ADDRESS NUMBERS

BUILDING ADDRESS
SCALE: 1 1/2" = 1'-0"



COLOR CODE

■ PAINTED BLACK W/ REFLECTIVE BLACK VINYL OVERLAY

ADDRESS NUMBERS:
FONT: ARIAL BOLD
MATERIAL: 1/4" THICK ALUMINUM
COLOR: REFLECTIVE BLACK VINYL
INSTALLATION: STUD MOUNTED FLUSH TO BUILDING
 SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

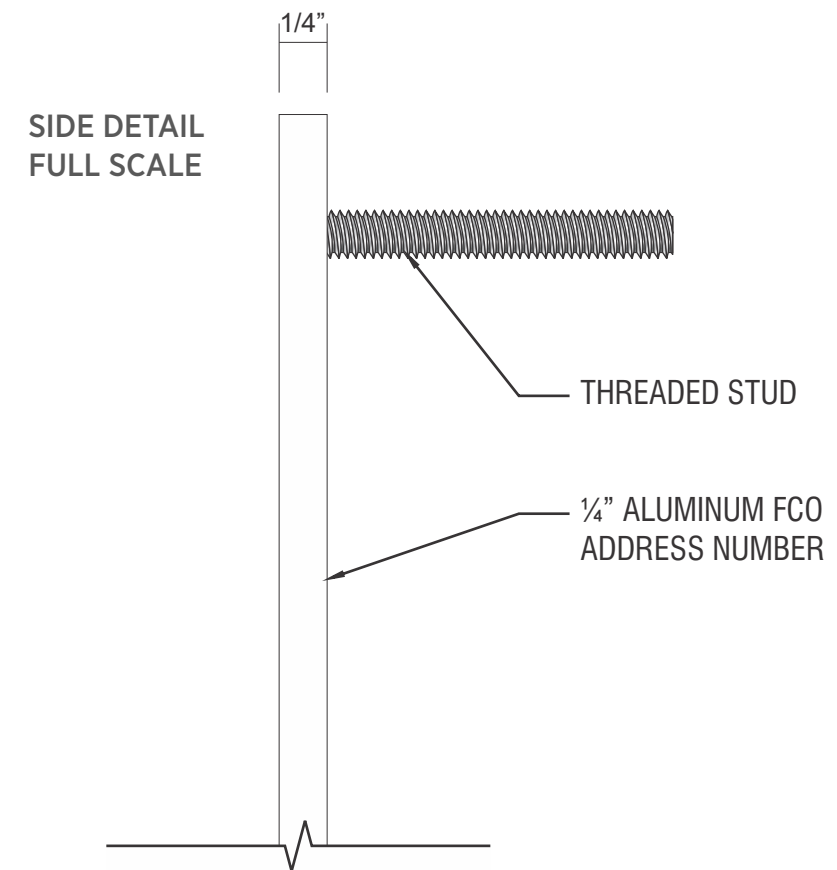
N7 ADDRESS NUMBERS

QTY. 1

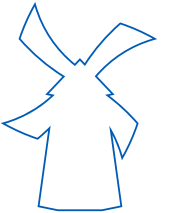
Scale: 1 1/2" = 1'-0"

CONSTRUCTION MGR.

DIRECTOR



12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
03-24-0014
SIGNS AND MENUS

PAGE NO.:
9 OF **18**

CLIENT:
DUTCH BROS

ADDRESS
7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:
03/14/2024

PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

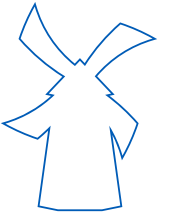
REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.

SCOPE OF WORK: MANUFACTURE & INSTALL (2) S/F WALL MOUNTED MENU SIGNS

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:

03-24-0014
SIGNS AND MENUS

PAGE NO.:

10 OF 18

CLIENT:

DUTCH BROS

ADDRESS

7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:

03/14/2024

PROJECT MANAGER

Joanne P.

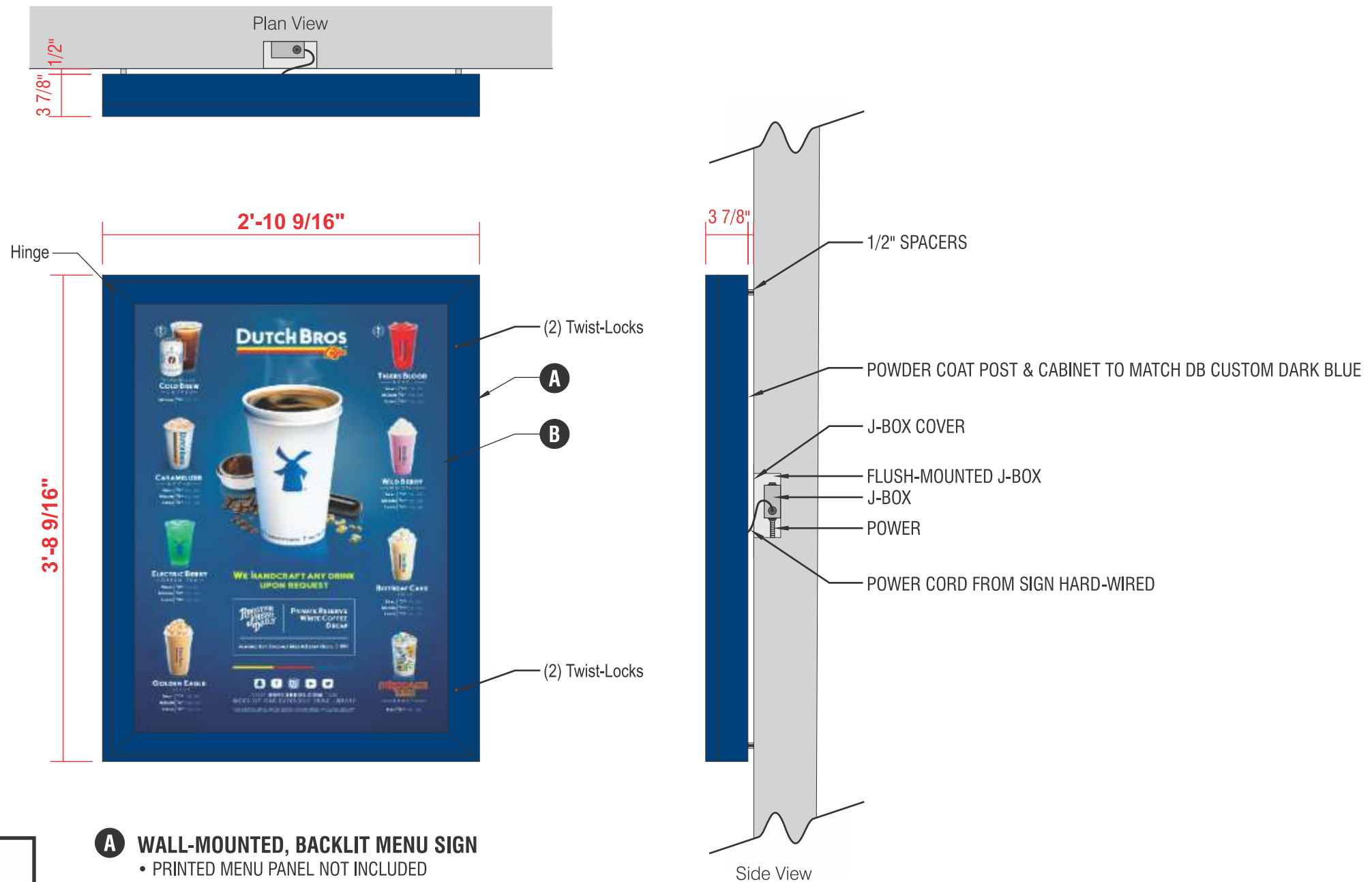
DESIGNER:

Trong T.



REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



COLOR CODE

	DIGITAL PRINT
	DB CUSTOM DARK BLUE

- A WALL-MOUNTED, BACKLIT MENU SIGN**
- PRINTED MENU PANEL NOT INCLUDED
 - LED OUTDOOR LIGHT BOX
 - LOCKABLE HINGED DOOR
 - ALUMINUM CONSTRUCTION
- B PRINTED LIGHT GUIDE PANEL**
- AS SEPARATE ORDER

CONSTRUCTION MGR.

DIRECTOR

N8 SIGN TYPE DBMENU-WM-SF: WALL MOUNTED MENU BOARDS
TOTAL SQ. FT.: 10.70

QTY. 2

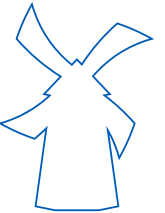
Scale: 1" = 1'-0"

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

SCOPE OF WORK: MANUFACTURE & INSTALL (4) S/F POST MOUNTED MENU SIGN



12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
03-24-0014
SIGNS AND MENUS

PAGE NO.:
11 OF **18**

CLIENT:
DUTCH BROS

ADDRESS
7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:
03/14/2024

PROJECT MANAGER
Joanne P.

DESIGNER:
Trong T.

REVISION DATE:

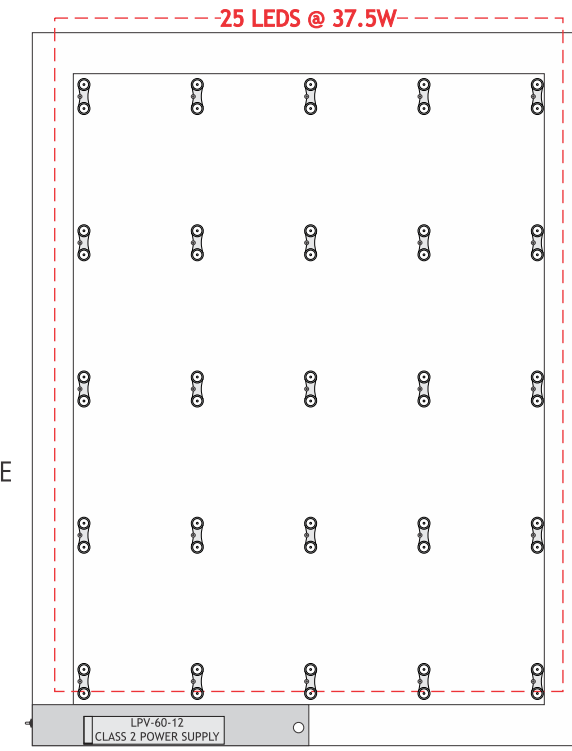
REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.

ELECTRICAL SPECIFICATIONS:
(25) WHITE LED MODULES @ 1.5W EA= 37.5 W TOTAL
(1) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED
**TOTAL CIRCUIT LOAD:
1.2 AMPS @ 120 VAC**

FREESTANDING BACKLIT MENU SIGN
• ASSEMBLE POST & MENU
• FOOTING INSTALLED BY G.C.
• 120 V @ 1.0 AMP

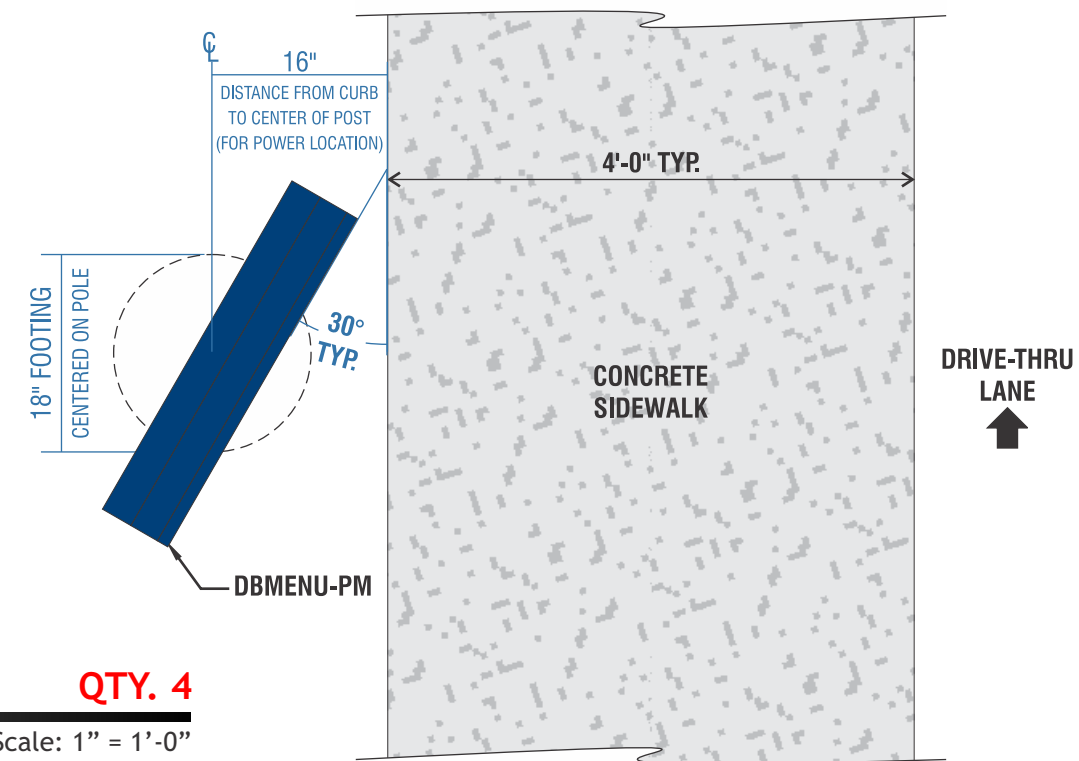
COLOR CODE
[Digital Print Icon] DIGITAL PRINT
[Dark Blue Icon] DB CUSTOM DARK BLUE



ELECTRICAL DETAIL

Scale: 1" = 1'-0"

**INSTALLATION ORIENTATION DETAIL
NOT TO SCALE**



SIDE VIEW

FOOTING PER ENGINEERING
CONCRETE FOOTING INSTALLED BY GC WITH ELECTRICAL CONDUIT IN THE CENTER OF THE PIER.

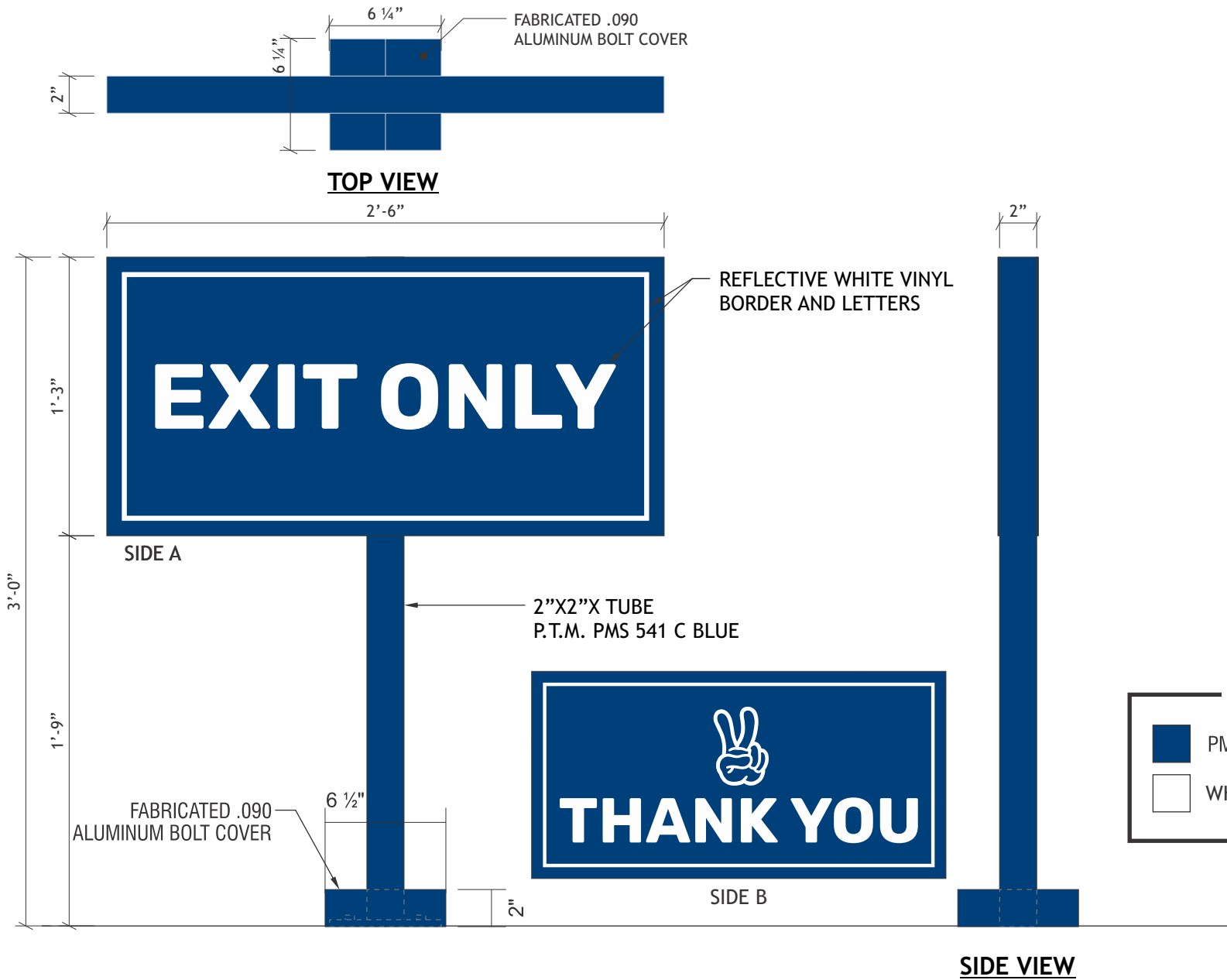
CONSTRUCTION MGR.

DIRECTOR

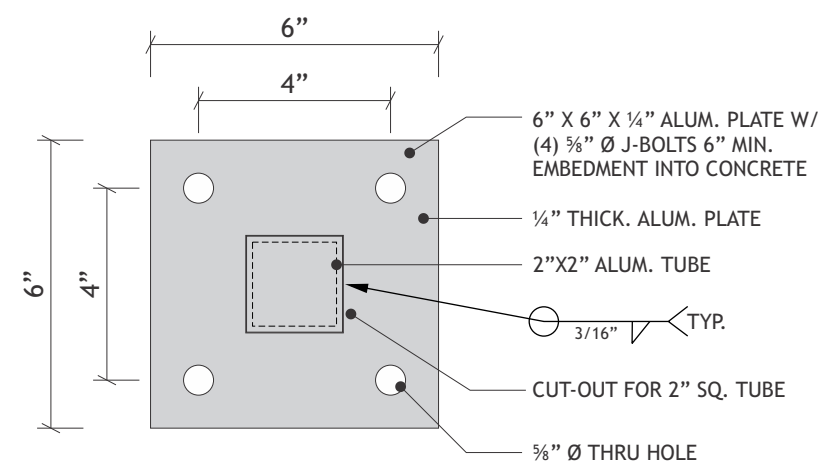
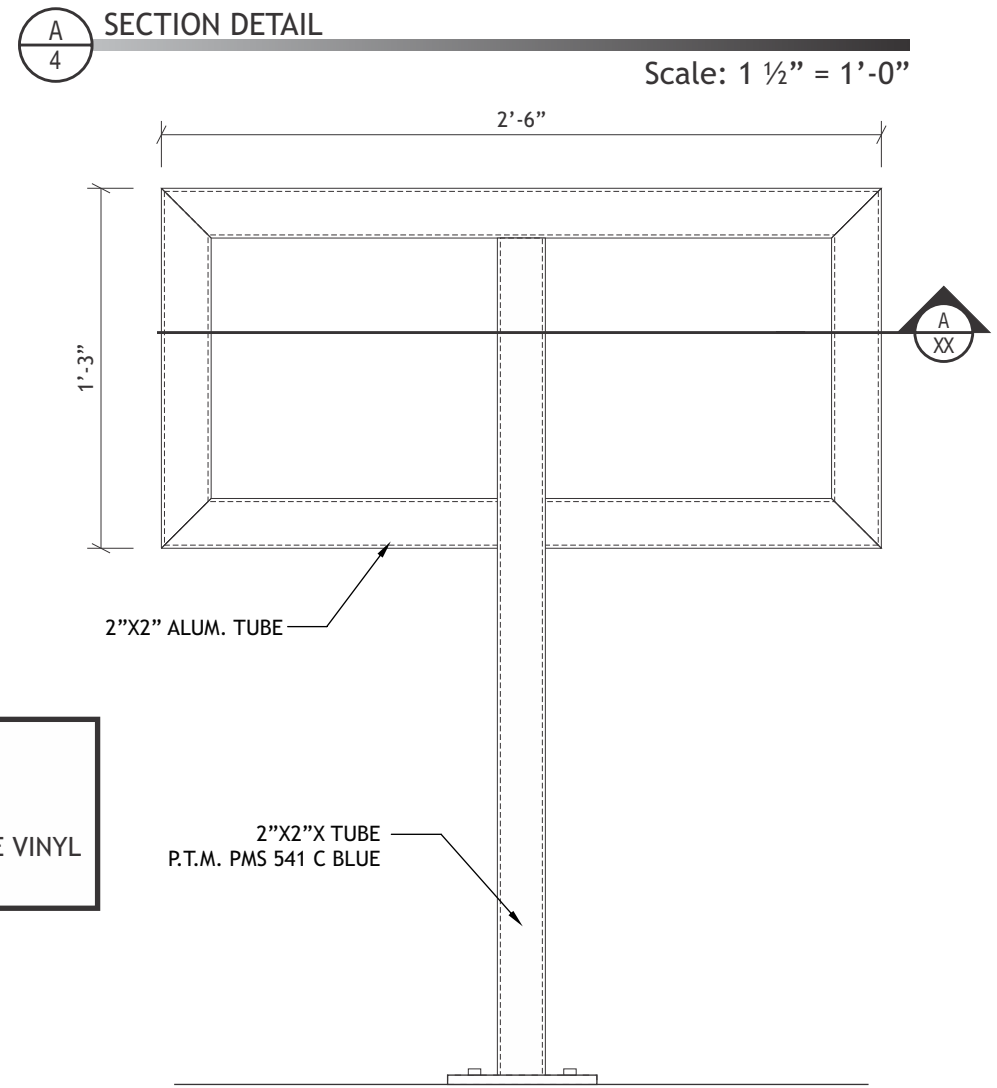
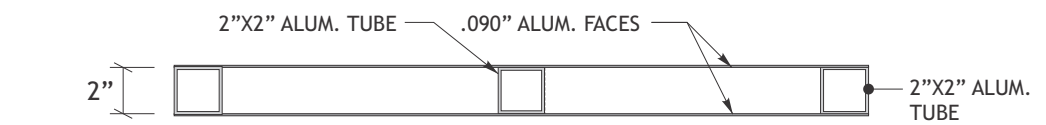
N9 SIGN TYPE DBMENU-PM-SF: FREE STANDING MENU BOARD **QTY. 4**
TOTAL SQ. FT.: 10.7
Scale: 1" = 1'-0"

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

SCOPE OF WORK: MANUFACTURE & INSTALL (1) D/F NON-ILLUMINATED DIRECTIONAL SIGN



COLOR CODE	
	PMS 541 C
	WHITE REFLECTIVE VINYL



N12 SIGN TYPE DBDIR-DT-DF: NON-ILLUMINATED D/F DIRECTIONAL QTY. 1
 TOTAL SQ. FT.: 3.13 Scale: 1 1/2" = 1'-0"

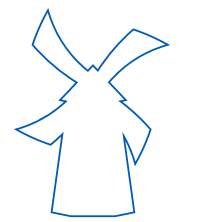
CONSTRUCTION MGR.
 DIRECTOR

REFLECTIVE WHITE VINYL WITH DIGITALLY PRINTED BACKGROUND TO MATCH DB CUSTOM DARK BLUE.
 (SPECIAL PRODUCTION NOTE: GRAPHICS TO BE INSET FROM EDGE 1/8").
 2" X 2" SQUARE TUBE ALUMINUM FRAME & POST WITH ALUMINUM FACES & 1/4" X 6" X 6" PLATE.
 FABRICATED .090 ALUMINUM BOLT COVER PAINT DB CUSTOM DARK BLUE.
 INSTALL PLATE-MOUNTED.
 PAD FOOTING INSTALLED BY GC.

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES



12226 Coast Drive
 Whittier, CA 90601
 Tel: (562) 946-7545
 Fax: (562) 949-5707
 St. Lic.: 455415
 Los Angeles, CA



DRAWING/REVISION NO.:
 03-24-0014
 SIGNS AND MENUS

PAGE NO.:
 14 OF 18

CLIENT:
 DUTCH BROS

ADDRESS
 7330 San Antonio Drive NE
 Albuquerque, NM 87108

Approval Signature

DATE:
 03/14/2024

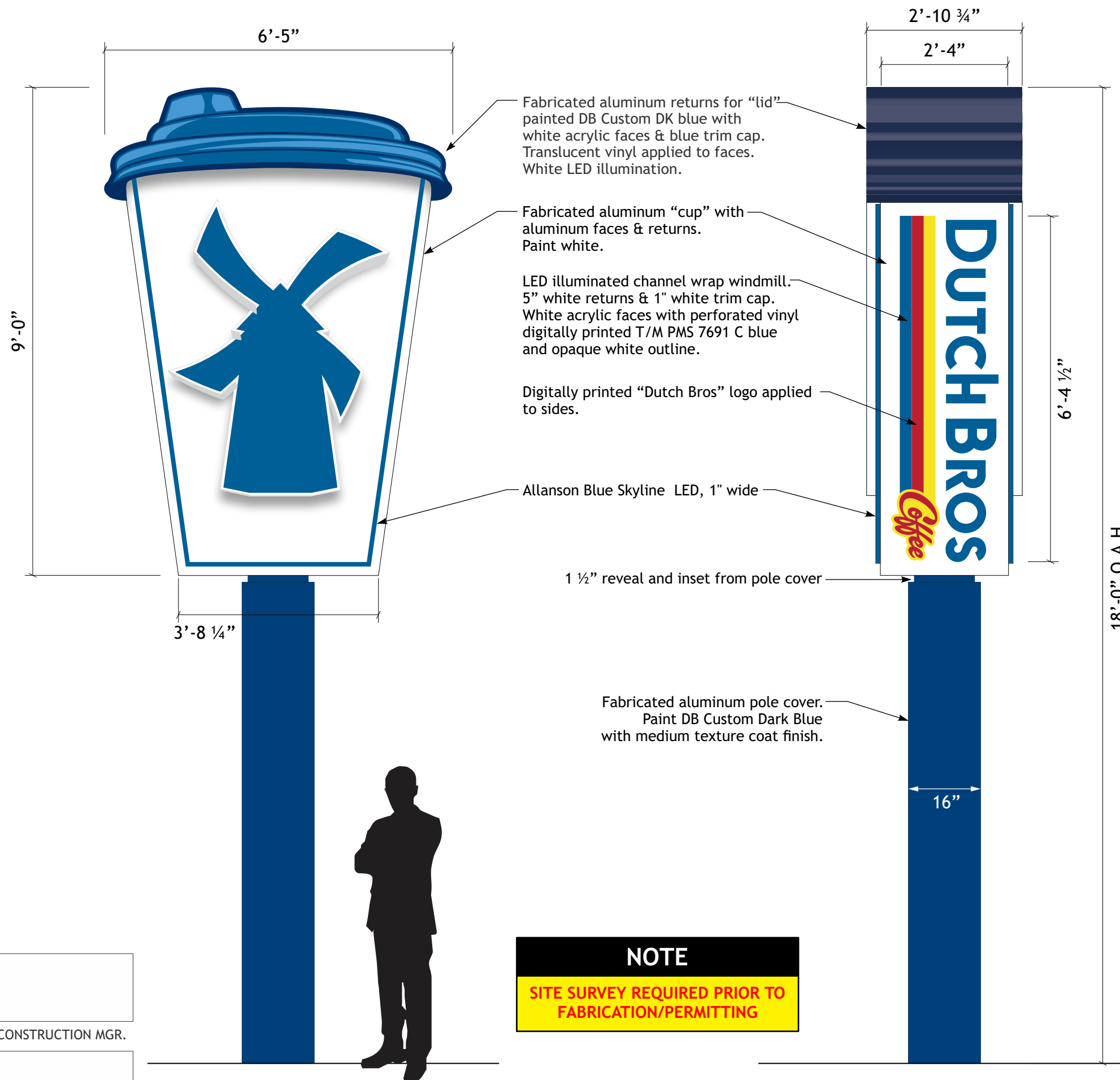
PROJECT MANAGER
 Joanne P.

DESIGNER:
 Trong T.

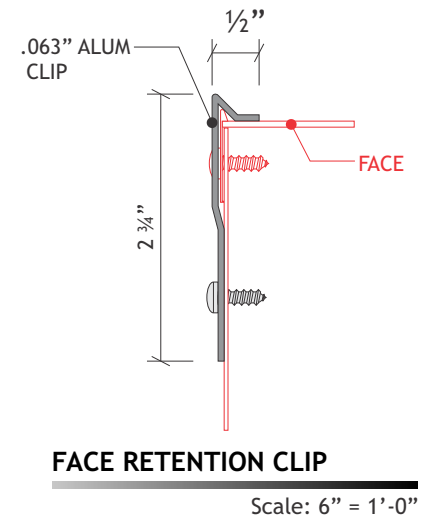
REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.



NOTE
 SITE SURVEY REQUIRED PRIOR TO FABRICATION/PERMITTING



COLOR CODE

	PANTONE 107 C YELLOW
	PANTONE 1795 C RED
	PANTONE 7691 C BLUE
	DB CUSTOM DK BLUE (POLE)
	WHITE
	DB CUSTOM DK BLUE (LID)
	RGB LIGHT BLUE (LID)
	RGB BLUE (LID)

CONSTRUCTION MGR.
 DIRECTOR

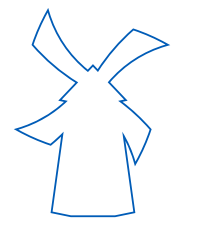
N14

SIGN TYPE : D/F ILLUMINATED PYLON CUP SIGN
 SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES

Scale: 1/2"=1'-0"



12226 Coast Drive
 Whittier, CA 90601
 Tel: (562) 946-7545
 Fax: (562) 949-5707
 St. Lic.: 455415
 Los Angeles, CA



DRAWING/REVISION NO.:
03-24-0014
 SIGNS AND MENUS

PAGE NO.:
18 OF **18**

CLIENT:
DUTCH BROS

ADDRESS
 7330 San Antonio Drive NE
 Albuquerque, NM 87108

Approval Signature

DATE:
03/14/2024

PROJECT MANAGER
Joanne P.

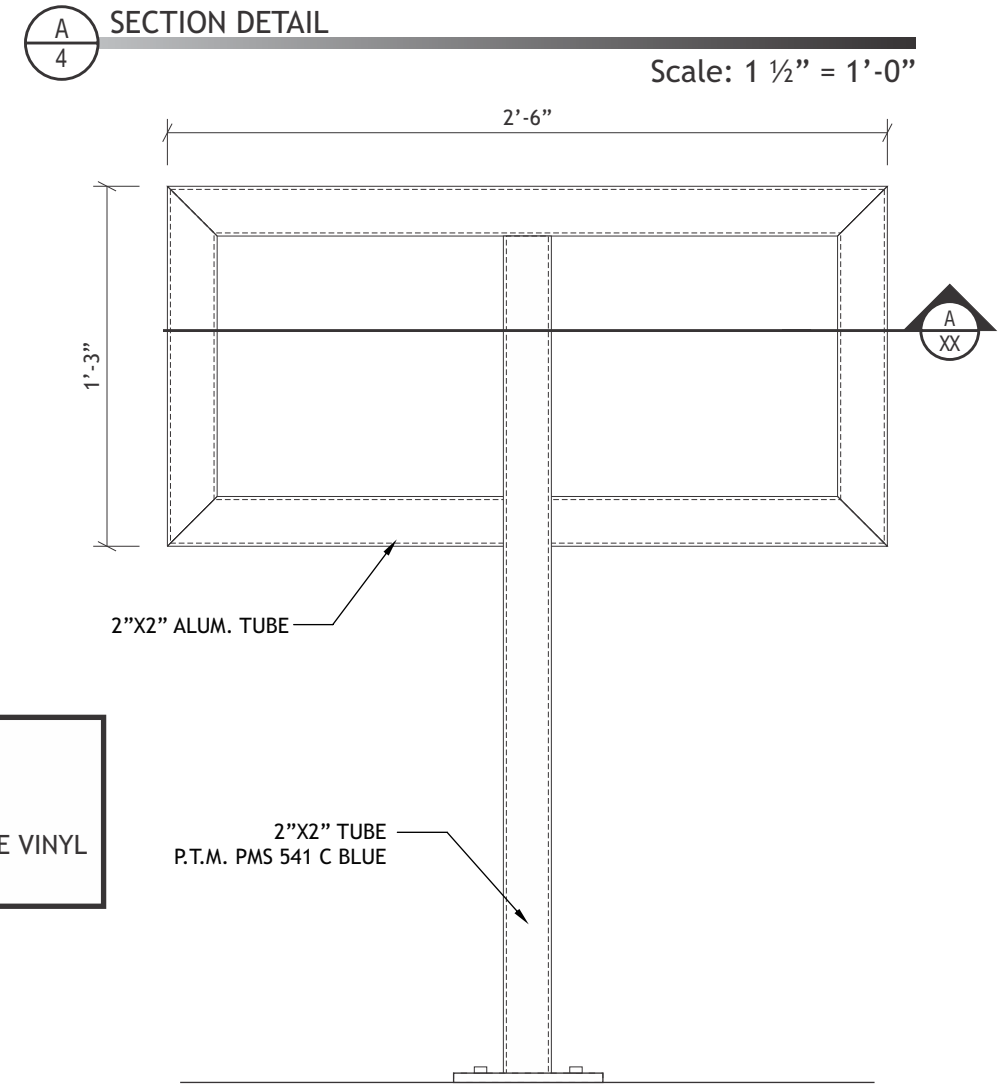
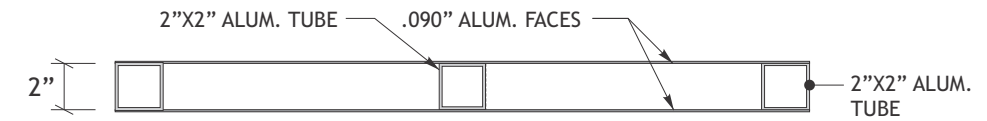
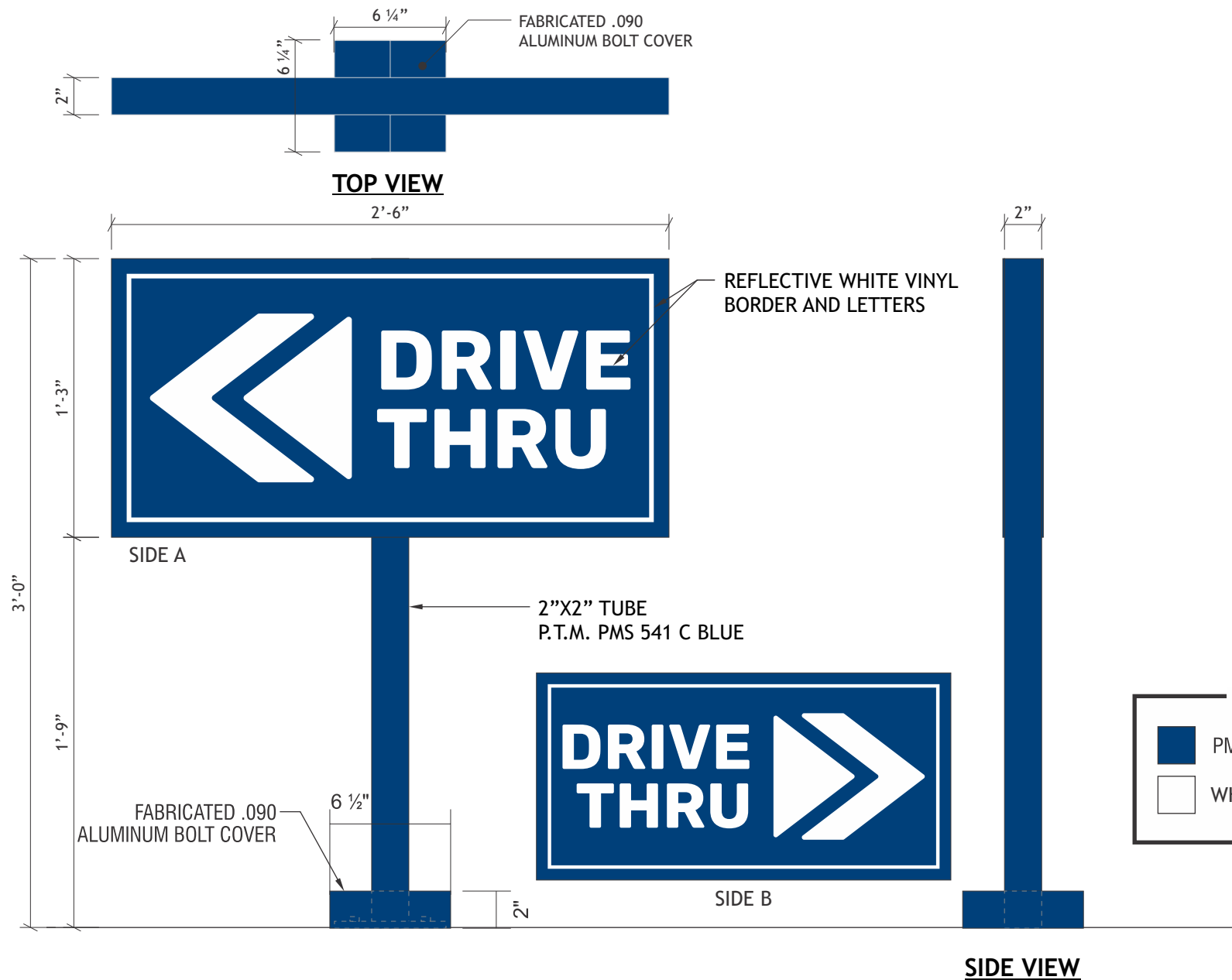
DESIGNER:
Trong T.

REVISION DATE:

REVISION BY:

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY FUSION SIGN AND DESIGN AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF FUSION SIGN AND DESIGN.

SCOPE OF WORK: MANUFACTURE & INSTALL (1) D/F NON-ILLUMINATED DIRECTIONAL SIGN



STRUCTURE DETAIL
Scale: 1 1/2" = 1'-0"

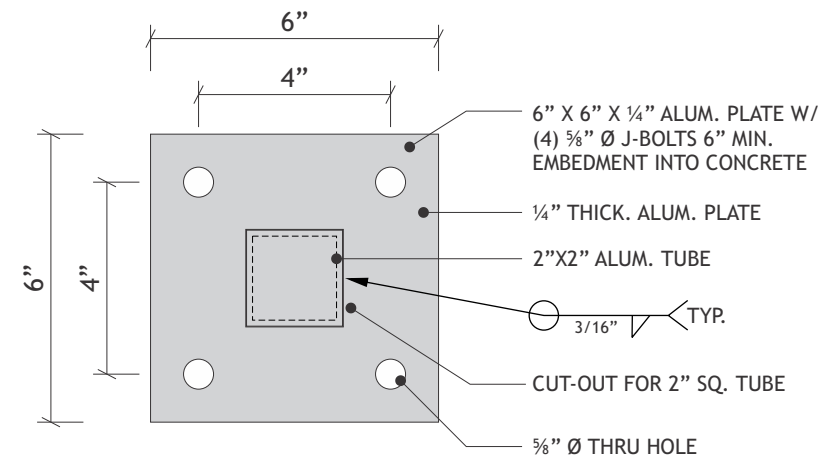


PLATE DETAIL
Scale: 3" = 1'-0"

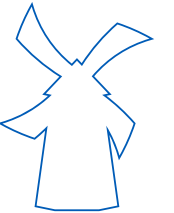
N13 SIGN TYPE DBDIR-DT-DF: NON-ILLUMINATED D/F DIRECTIONAL **QTY. 1**
TOTAL SQ. FT.: 3.13 Scale: 1 1/2" = 1'-0"

CONSTRUCTION MGR.

DIRECTOR

REFLECTIVE WHITE VINYL WITH DIGITALLY PRINTED BACKGROUND TO MATCH DB CUSTOM DARK BLUE.
(SPECIAL PRODUCTION NOTE: GRAPHICS TO BE INSET FROM EDGE 1/8").
2" X 2" SQUARE TUBE ALUMINUM FRAME & POST WITH ALUMINUM FACES & 1/4" X 6" X 6" PLATE.
FABRICATED .090 ALUMINUM BOLT COVER PAINT DB CUSTOM DARK BLUE.
INSTALL PLATE-MOUNTED.
PAD FOOTING INSTALLED BY GC.

SIGNS WILL CONFORM WITH 1995 CONTROLLING SITE PLAN GUIDELINES



DRAWING/REVISION NO.:

03-24-0014
SIGNS AND MENUS

PAGE NO.:

15 OF 18

CLIENT:

DUTCH BROS

ADDRESS

7330 San Antonio Drive NE
Albuquerque, NM 87108

Approval Signature

DATE:

03/14/2024

PROJECT MANAGER

Joanne P.

DESIGNER:

Trong T.

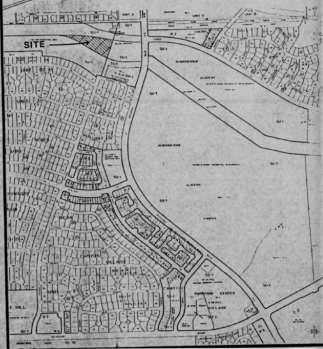
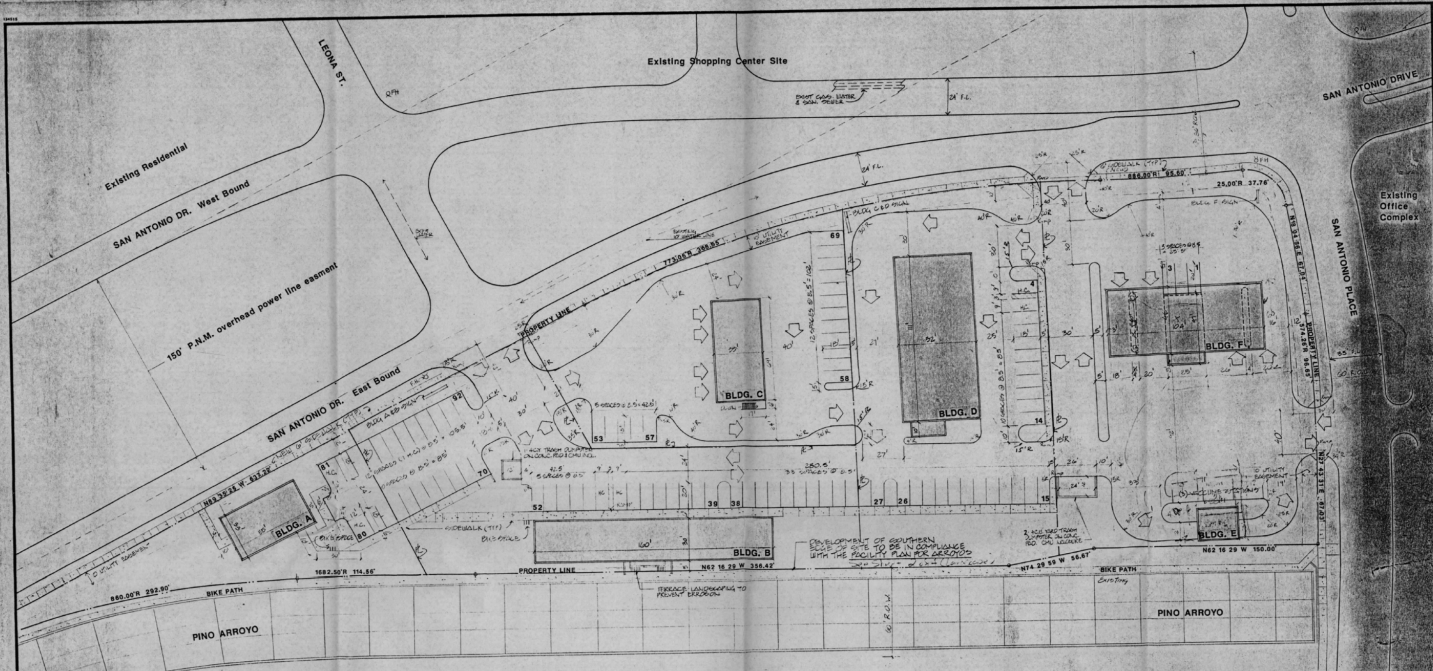
REVISION DATE:

REVISION BY:

I) CONTROLLING SITE PLAN

Copy of the
Original
Approved
Master
Development
Plan





PROJECT DATA: WYOMING COMMERCIAL COMPLEX

LEGAL DESCRIPTION: Tract C-1 Academy Acres Unit 17
ZONING: SU-1 for C-1
ZONE MAP: E-19-Z
SECTOR DEVELOP. PLAN: Not Applicable
COMPREHENSIVE PLAN: Established Urban

TOTAL SITE AREA: 33,662 acres
 146,522 square feet

BUILDING AREA:
 ALL BUILDINGS SINGLE LEVEL
 Building A 1,815 SF
 Building B 4,880 SF
 Building C 2,277 SF
 Building D 2,002 SF
 Building E 644 SF
 Building F 1,175 SF

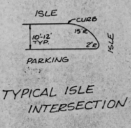
TOTAL BUILDING AREA: 14,793 SQUARE FEET 11%
TOTAL PAVED AREA: 91,291 SQUARE FEET 63%
TOTAL LANDSCAPE AREA: 36,628 SQUARE FEET 30%

PARKING REQUIREMENTS: 1 space per 200 of leasable area
REQUIRED: 16,713 / 200 = 84 spaces
PROVIDED: 92 spaces
DISABLED PARKING REQ.: 4 spaces
BIKE SPACES REQUIRED: 5 spaces
BIKE SPACES PROVIDED: 5 spaces

REFUSE DATA: Three 4 CU. YD. Dumpsters Provided

SITE PLAN
 SCALE: 1" = 30'

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90



DEVELOPMENT REVIEW BOARD

Richard H. Drake 4-10-90
 TRAFFIC ENGINEER DATE

John M. Stone 4-10-90
 PARKS AND RECREATION DIRECTOR DATE

Robert W. Kane 4-10-90
 WATER RESOURCES ENGINEER DATE

Frank O. Gagnier 4-10-90
 CITY ENGINEER / HYDROLOGY DATE

2-79-66-B
 I certify that this area is zoned SU-1 and that this plan is consistent with the specific development plan approved by the Environmental Planning Commission on: 3-15-90

Jack Chubb 4-10-90
 PLANNING DIRECTOR DATE

APPROVALS

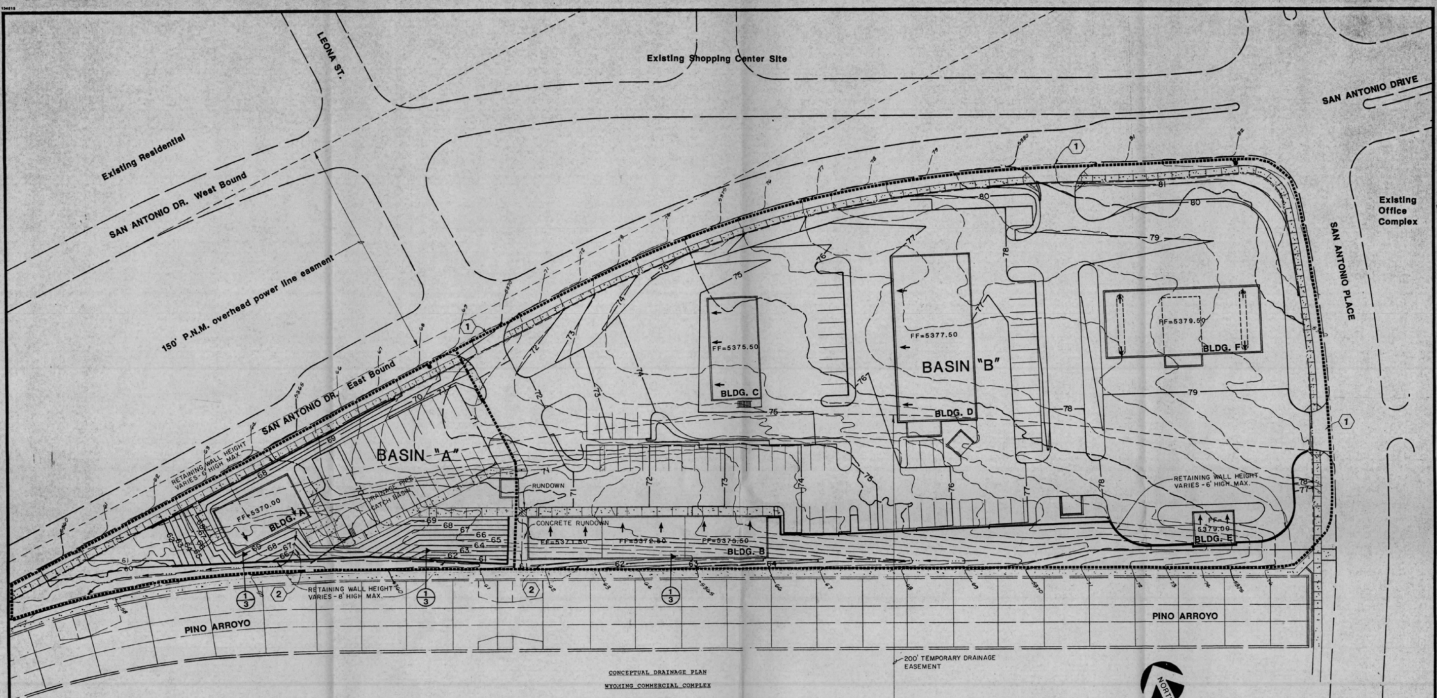
CUSTER-BASARICH LTD.
 ARCHITECTS-PLANNERS P.A.
 10000 SAN ANTONIO DRIVE, SUITE 100
 SAN ANTONIO, TEXAS 78203
 (512) 343-1100

Existing Office Complex

WYOMING COMMERCIAL COMPLEX
 SAN ANTONIO DRIVE & SAN ANTONIO BLVD.
 ALBUQUERQUE, NEW MEXICO

PROJECT: WYOMING COMMERCIAL COMPLEX
 REVISIONS: 1. 4-10-90
 2. 4-10-90
 3. 4-10-90

DATE: 1-26-90
 SHEET TITLE: SITE DEVELOPMENT PLAN
 SHEET NO: 2 OF 5



CONCEPTUAL DRAINAGE PLAN
WYOMING COMMERCIAL COMPLEX



VICINITY MAP
E-19

LEGAL DESCRIPTION
TRACT 3, UNIT 3, BELLAIR'S LOMA DEL NORTE SUBDIVISION.

BENCHMARK
THE STATION IS A STANDARD ACS BRASS CAP STAMPED 84-034-1217. SET ON TOP OF A CONCRETE FOOT ALONG WITH THE CURB LOCATED AT THE NORTHWEST CORNER OF SAN ANTONIO DR. AND PINO ARROYO. W.C. ELEVATION = 5493.94 FT.

LEGEND

DESCRIPTION	NEW	EXISTING
PROPERTY LINE	---	---
EASEMENT	---	---
BUILDING	[Hatched Box]	[Hatched Box]
CURB & GUTTER	[Dashed Line]	[Dashed Line]
VALLEY GUTTER	[Dashed Line]	[Dashed Line]
SIDE WALK / CONC / SLM	[Dashed Line]	[Dashed Line]
CONTOUR	[Solid Line]	[Dashed Line]
SPOT ELEV.	[Circle]	[Circle]
BASIN LINE	[Solid Line]	[Dashed Line]
ROOF DRAINS	[Arrow]	[Arrow]

SURVEY DATA
SURVEY DATA PROVIDED BY ANDREWS, ASBURY & ROBERTS, ALBUQUERQUE, NEW MEXICO.

BENCHMARK
THE PROJECT BENCHMARK IS LOCATED ON THE SOUTHWEST CORNER RETURN OF SAN ANTONIO DR. AND PINO ARROYO. W.C. ELEVATION = 5382.43 FT.

LOCATION AND DESCRIPTION
THE SITE IS LOCATED ON THE SOUTHWEST CORNER OF SAN ANTONIO DRIVE AND SAN ANTONIO PLACE N.E. WITHIN UNIT 3, BELLAIR'S LOMA DEL NORTE SUBDIVISION IN ALBUQUERQUE, NEW MEXICO. THE SITE, CONTAINING APPROXIMATELY 2.37 ACRES, IS PRESENTLY UNDEVELOPED. EXISTING ELEVATIONS ARE FROM THE EBM TO THE SOUTHWEST CORNER OF SAN ANTONIO DRIVE AND PINO ARROYO.

EXISTING CONDITIONS
PRESENTLY, RUNOFF FROM THE SITE DISCHARGES TO THE PINO ARROYO THROUGH CONCRETE RUNOFFS. NO OFF-SITE PLOTS ENTER THE SITE DUE TO EXISTING ELEVATIONS.

PROPOSED CONDITIONS
PROPOSED DEVELOPMENT OF THE SITE INCLUDES NEW BUILDINGS WITH RELATED PARKING AND LANDSCAPING. DUE TO PROPOSED DEVELOPMENT, RUNOFF FROM THE SITE WILL INCREASE FROM 7.12 CFS TO 11.85 CFS. THE RUNOFF WILL BE ROUTED TO EXISTING RUNOFFS AT THE PINO ARROYO.

CALCULATIONS
Area = 2.37 acres
S = 2.2 (10% slope) Plate 22.2 D-2
1-Hour, 100-year rainfall = 2.4 in. Plate 22.2 D-1
A = 17,212.4 sq. ft. (10% slope)

EXISTING ON-SITE CONDITIONS

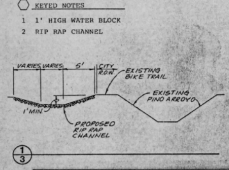
SURFACE TYPE	C ² VALUE	A (ACRES)	COMPOSITE C ² VALUE	A (ACRES)	C ² A
Streets, Drives, Walks	0.95	0.24	0.95	0.24	0.23
Lawns & Landscaping	0.25	0.25	0.25	0.25	0.06
Undeveloped	0.40	1.88	0.40	1.88	0.75
TOTAL					
	0.40	2.37	0.40	2.37	0.40

Q(100) = (0.40)(15.28)(2.37) = 7.12 cfs
Q(10) = (0.40)(10.25)(2.37) = 4.98 cfs
Q(2) = 0.88 Plate 22.2 C-4
Direct Runoff = 0.1 in. Plate 22.2 C-4
V(100) = (0.40)(10.25)(18660)/32 = 2470 cu. ft.
V(10) = (0.40)(10.25)(18660) = 2470 cu. ft.

PROPOSED ON-SITE CONDITIONS - BASIN "A"

SURFACE TYPE	C ² VALUE	A (ACRES)	COMPOSITE C ² VALUE	A (ACRES)	C ² A
Streets, Drives, Walks	0.95	0.24	0.95	0.24	0.23
Lawns & Landscaping	0.25	0.25	0.25	0.25	0.06
Undeveloped	0.40	1.88	0.40	1.88	0.75
TOTAL					
	0.40	2.37	0.40	2.37	0.40

Q(100) = (0.40)(15.28)(2.37) = 7.12 cfs
Q(10) = (0.40)(10.25)(2.37) = 4.98 cfs
Q(2) = 0.88 Plate 22.2 C-4
Direct Runoff = 0.1 in. Plate 22.2 C-4
V(100) = (0.40)(10.25)(18660)/32 = 2470 cu. ft.
V(10) = (0.40)(10.25)(18660) = 2470 cu. ft.



THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90

CUSTER-BASARCH LTD.
ARCHITECTS-PLANNERS-ENGINEERS

200 Center St. Suite 1000
Albuquerque, New Mexico 87102
Telephone: (505) 243-1100

WYOMING COMMERCIAL COMPLEX
SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
Albuquerque, New Mexico

PROJECT REVISIONS

NO.	DATE	DESCRIPTION
1	1-26-90	AS SHOWN

SHEET TITLE
GRADING & DRAINAGE PLAN

SHEET NO.
4 OF 5



CUSTER-BASARCH LTD
Architects-Planners AIA

300 Capitol St. Suite 1000
Albuquerque, New Mexico 87102
Phone: (505) 243-1000
Fax: (505) 243-1001



WYOMING COMMERCIAL COMPLEX
SAN ANTONIO DRIVE & SAN ANTONIO PLACE N.E.
Albuquerque, New Mexico

PROJECT

REVISIONS

2-1-90

4-2-90

DATE
1-26-90

SHEET TITLE

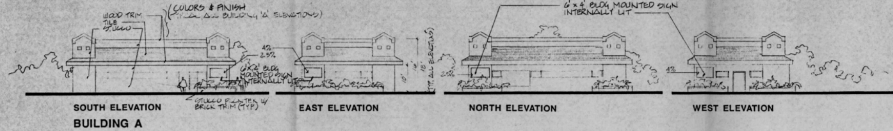
ELEVATIONS

SHEET NO.
5 OF 5

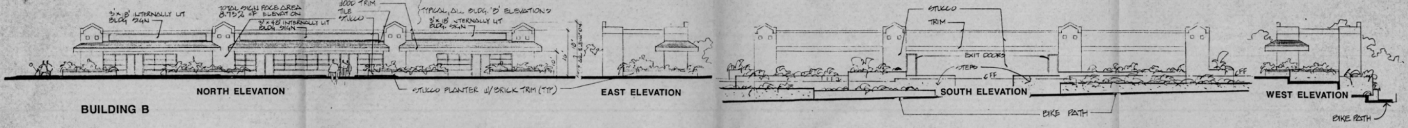
PROJECT COLORS

NOTE: Project colors to match those of adjoining developments. Corporate colors may apply to metal trim on buildings D, E, & F

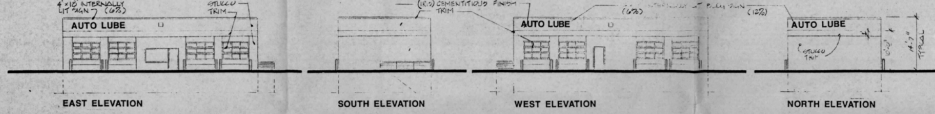
STUCCO: 2842 IRIS
TRIM: WELBORN
BRICK: ROBINSON
ROOF: EVERGREEN



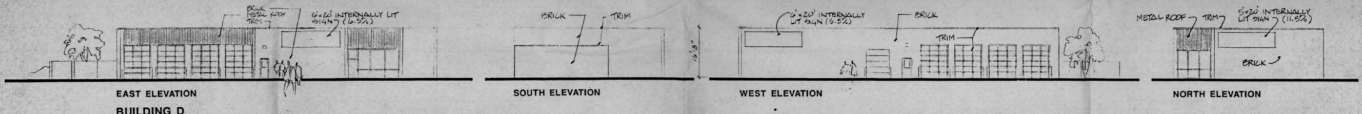
SOUTH ELEVATION EAST ELEVATION NORTH ELEVATION WEST ELEVATION
BUILDING A



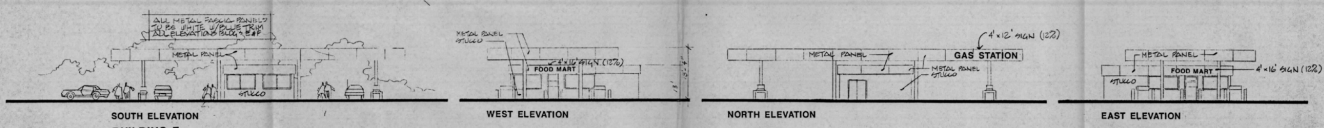
NORTH ELEVATION EAST ELEVATION SOUTH ELEVATION WEST ELEVATION
BUILDING B



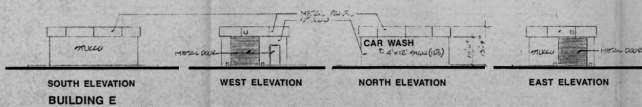
EAST ELEVATION SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION
BUILDING C



EAST ELEVATION SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION
BUILDING D



SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION EAST ELEVATION
BUILDING F



SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION EAST ELEVATION
BUILDING E

THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. THIS REPRESENTS WHAT WAS APPROVED BY EPC ON 3-15-90