



# Environmental Planning Commission

**Agenda Number: 5**  
**Project #: PR-2024-010349**  
**Case #s: RZ-2024-00029, SI-2024-00677**  
**Hearing Date: June 20, 2024**

## Staff Report

<b>Agent</b>	Consensus Planning Inc.
<b>Applicant</b>	City of Albuquerque Fire & Rescue
<b>Request</b>	<b>Zoning Map Amendment &amp; Site Plan, EPC</b>
<b>Legal Description</b>	All or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition
<b>Location</b>	Located at 301 McKnight Ave NW, Abq, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW
<b>Size</b>	Approximately 4.1 Acres
<b>Existing Zoning</b>	NR-PO-A
<b>Proposed Zoning</b>	NR-SU (Non-residential – Sensitive Use)

**Staff Recommendation**

*APPROVAL of Project Number: PR-2024-010349 and Case # RZ-2024-00029 based on the Findings beginning on p. (32).*

*APPROVAL of Case # SI-2024-00677 based on the Findings beginning on p. (39) and subject to conditions beginning on p. (45).*

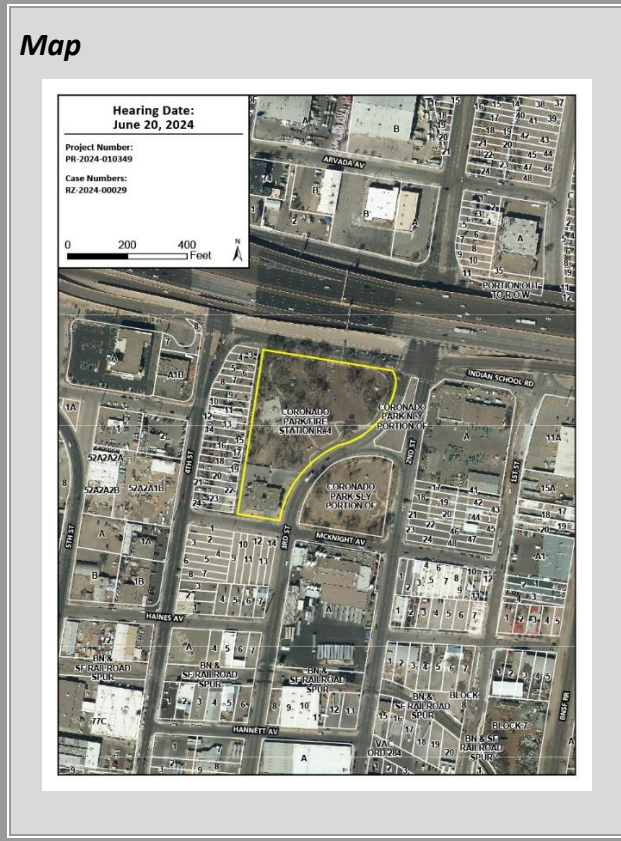
**Staff Planners**  
*Rebecca Bolen, Principal Planner*  
*Dustin Kiska, Planner*

**Summary of Analysis**

This two-part request is for a Zoning Map Amendment from NR-PO-A to NR-SU, and a new Site Plan-EPC to facilitate development of an ABQ Fire department building and training facility. Pursuant to IDO 14-16-2-5(E), Fire Stations require the NR-SU zone. Rezoning to the NR-SU zone district requires a Site Plan – EPC to be reviewed and decided by the EPC in conjunction with the zone change request.

The subject site is in an Area of Consistency and is within a MainStreet Corridor. The affected neighborhood organizations, Wells Park NA and the Near North Valley NA, were contacted, as well as property owners within 100 feet of the subject site, as required. A facilitated meeting was held March 19, 2024. As of this writing, Staff has not been contacted and is unaware of any opposition or support for the request.

The request has been adequately justified pursuant to the IDO Review and Decision Criteria for a zone change in 14-16-6-7(G)(3) and Review and Decision Criteria for Site Plan IDO Section 14-16-6-6(I)(3). The applicant has demonstrated that the request would clearly facilitate a preponderance of Comp Plan goals and policies and that the proposed zoning would be generally more advantageous to the community.



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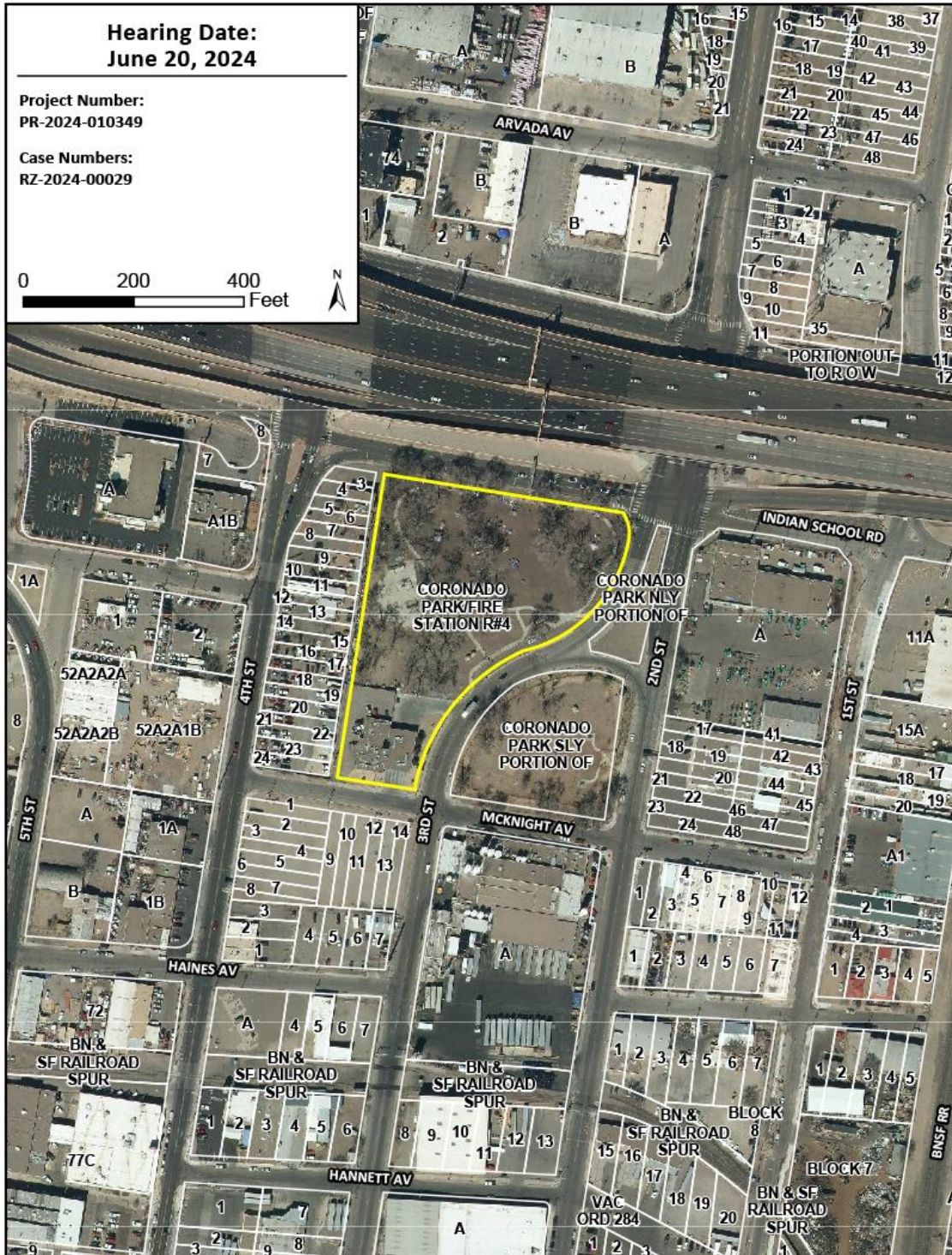
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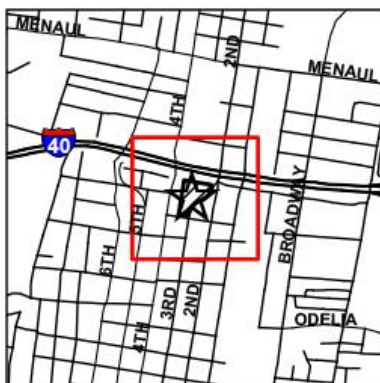
### I. Maps

#### Aerial Map





**IDO Zoning Map**



**IDO ZONING MAP**

Note: Gray shading indicates County.

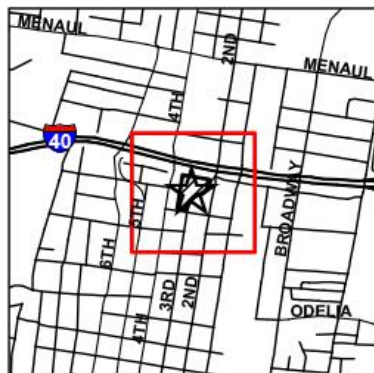


1 inch = 250 feet

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 6/20/2024  
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Zone Atlas Page:  
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**Land Use Map**



**LAND USE MAP**

Note: Gray shading indicates County.

- Key to Land Use Abbreviations**
- LDRES | Low-density Residential
  - MULT | Multi-family
  - COMM | Commercial Retail
  - CMSV | Commercial Services
  - OFC | Office
  - IND | Industrial
  - INSMED | Institutional / Medical
  - ED | Educational
  - APRT | Airport
  - TRANS | Transportation
  - AGRI | Agriculture
  - PARK | Parks and Open Space
  - DRNG | Drainage
  - VAC | Vacant
  - UTIL | Utilities
  - CMTY | Community
  - KAFB | Kirtland Air Force Base

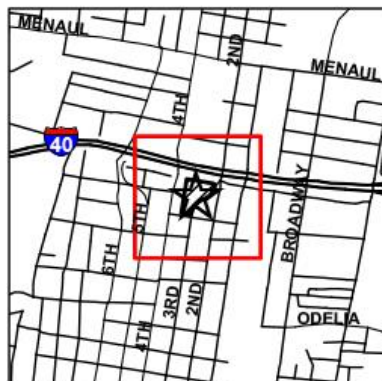


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**History Map**



**HISTORY MAP**

Note: Gray shading indicates County.



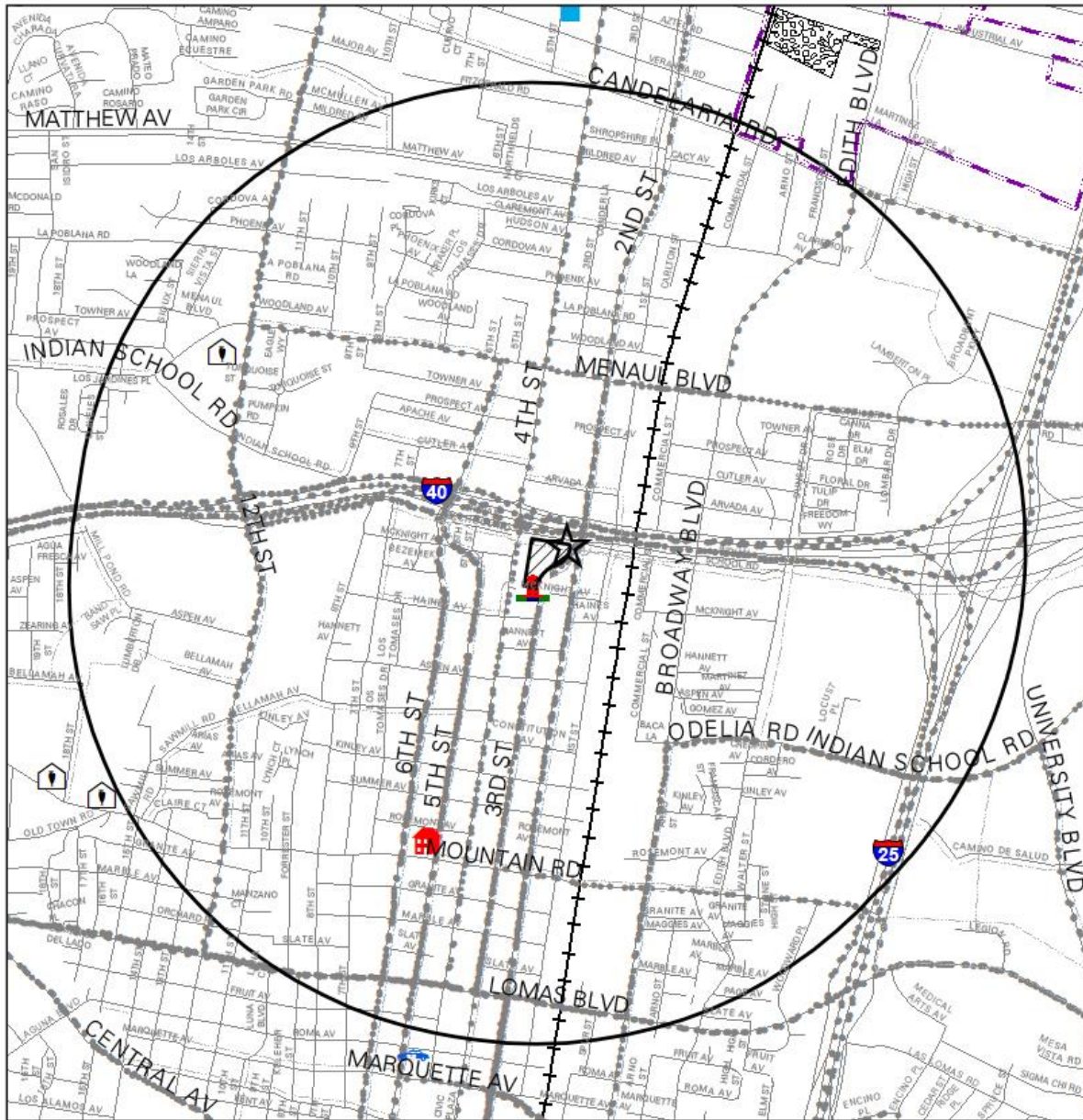
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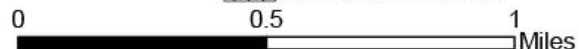
**Public Facilities / Community Service**



**Public Facilities Map with One-Mile Buffer**

- |                      |             |                          |                             |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center     | Fire        | Public School            | Landfill designated by EHD  |
| Multi-Service Center | Police      | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center        | Sheriff     | ABQ Ride Route           | Developed City Park         |
| Library              | Solid Waste | Albuquerque City Limits  | Undeveloped City Park       |
| Museum               |             |                          | Developed County Park       |
|                      |             |                          | Undeveloped County Park     |

Project Number: PR-2024-010349



**II. Introduction**

	<i>IDO Zoning</i>	<i>Comprehensive Plan Development Area</i>	<i>Existing Land Use</i>
<b>Subject Site</b>	<b>NR-PO-A</b>	<b>Area of Consistency</b>	<b>City Park</b>
<i>North</i>	MX-M, NR-LM	Area of Change and Area of Consistency	Commercial Retail and Commercial Services
<i>South</i>	MX-M NR-LM	Area of Change	Industrial, Community, and Commercial Services
<i>East</i>	NR-LM, NR-PO-A	Area of Change	Commercial Services, Industrial, and Dog Park
<i>West</i>	MX-M	Area of Change	Office, Commercial Retail, and Commercial Services

**Request**

This is a two-part request for a Zoning Map Amendment and Site Plan- EPC for an approximately 4.1-acre site which is legally described as all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Zone Map (H-14-Z).

The zone change from NR-PO-A to NR-SU would facilitate re-development of an existing Fire Station that is currently operating as a non-confirming use/structure. Fire and Police Stations require an NR-SU zoning designation, which is required to be submitted as a Site Plan-EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan shall specify uses, site standards, and development standards, which are to be negotiated at the EPC. Where the Site Plan is silent, IDO standards apply. The zone change would create a spot zone which shall clearly facilitate a preponderance of Comp Plan goals and polices.

The proposed Site Plan associated with the request is comprised of two buildings: an existing Fire Station and a proposed new Fire Station building, a crusher fines future training facility and associated site work including, parking, landscaping, grading and drainage, and signage are included with the request.

**EPC Role**

The EPC is hearing this case because Fire and Police Stations require the NR-SU zone designation and rezoning to the NR-SU zone district requires a Site Plan – EPC to be

reviewed and decided by the EPC in conjunction with review and decision of the zone change request pursuant to IDO section 14-16-2-5(E).

Pursuant to IDO section 14-16-6-7(G) the EPC is required to hear all zone change cases, regardless of site size, in the city. The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

### ***Context***

The subject site is currently zoned NR-PO-A and the surrounding area is dominated by a range of non-residential light and general manufacturing, and moderate intensity mixed uses. The existing Fire Station #4 facility is located within the subject site encompassing approximately (0.7) acres of the 4.1-acre site. The larger (3.4)-acre site is developed as a City Park, the subject site recently transferred ownership from Parks and Recreation to Albuquerque Fire Department. It is located near Downtown Albuquerque adjacent to I-40 and within the 4<sup>th</sup> St Mainstreet Corridor. One-way roads are immediately adjacent to the property, Indian School Rd NW heading east, and 3<sup>rd</sup> St NW heading south.

The request would eliminate an existing nonconforming park space and expand vital community safety services to the city. The existing fire station cannot expand to meet the needs of the community with the current zoning, and the development would help to distribute these services equitably throughout the city.

### ***History/Background***

In 1956, AT&SF No. '2926' Steam Engine was donated to the city of Albuquerque and was displayed in Coronado Park for 44 years until the New Mexico Steam Locomotive Railroad Historical Society purchased it in 1999, who then restored the engine and got it to run. Of the thirty 2900's built, six are still in existence, and '2926' in Socorro New Mexico, is the only one still running.

Fire station #4 was originally constructed in the late 1960s. The remaining portion of the subject site operated as a City Park for over 70 years, with picnic tables, tall mature Elm shade canopy, and a modular skate park added in 2006. In 2022, the park was closed due to several public safety issues centered on a large number of people experiencing homelessness inhabiting almost the entire larger park area to the north. The encampment caused the grass and trees to perish, and the property could no longer function as a park. In 2023 Real Property transferred the 'Rights of Property' from Parks and Recreation to Albuquerque Fire Department.

No further case history on the subject site is known.



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### ***Roadway System***

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classification of roadways.

The LRRS map designates Indian School Rd NW, (I-40 frontage road) as a Major Collector and 2<sup>nd</sup> St which branches into 3<sup>rd</sup> St NW as Regional Principal Arterials. Nearby to the west, 4<sup>th</sup> St NW is classified as a Minor Arterial and to the north, I-40 (E/WBD) is designated as an Interstate Freeway.

### ***Bikeways / Trails***

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO) identifies existing and proposed routes and trails. Currently north of the site along Indian School rd. NW shows a proposed paved trail titled 'I-40 Overpass'. East of the site along 3<sup>rd</sup> St NW is designated as a rout where cars and bikes share the road and shows a proposed bike lane on 3<sup>rd</sup> St heading south with one-way traffic. A proposed Bike Route is shown on Haines Rd NW south of the subject site.

### ***Transit***

ABQ Ride Route 10 transit route is walking distance to the subject site. There is a bus stop on the east and west side of 4<sup>th</sup> St near the intersection of Manual and 4<sup>th</sup> St. The transit weekday routes start at 6:12am at 4<sup>th</sup> St and Manual. The weekday route ends at 8:26pm. Saturday routes begin at 6:50am at 4<sup>th</sup> St and Manual and ends at 7:43pm. On Sunday the route begins at 8:49am and ends at 5:03pm.

## ***III. Analysis of City Plans and Ordinances***

### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is located in an Area of Consistency as designated by the Comprehensive Plan which has policies to protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space. Applicable Goals and Policies are listed below. Staff analysis follows in bold italic text.

#### ***Comprehensive Plan Designations***

The subject site is designated as an Area of Consistency, is located with the 4<sup>th</sup> St. Main Street Corridor Area, and it is not within any designated centers. Main Street Corridors are a Corridor type characterized by linear development along a pedestrian-friendly street, typically emphasizing small and local retail and office uses. Unlike other Corridors, Main Streets tend to be less than one mile long, so they share some characteristics with Centers.

*Applicable Goals & Policies*

*Chapter 4: Community Identity*

GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The development of the Fire Station #4 would enhance the ability for the existing Fire Department 4 to better serve Downtown Albuquerque and the surrounding industrial area and residential neighborhoods, making it an important and distinct part of the Downtown community. The proposed amendment enhances the distinct community by providing an expanded public safety opportunity to the City of Albuquerque.

**The request clearly facilitates Goal 4.1 – Community Identity**

POLICY 4.1.2 IDENTITY AND DESIGN: Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of the new Fire Station 4 facility would help protect the identity and cohesiveness of the Downtown area including the surrounding residential neighborhoods of Wells Park, Sawmill, and Santa Barbara Martineztown, by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development that meets edge buffer requirements and is an appropriate location for an expanded public safety complex in an established city area and being centrally located to the city as a whole. The building design is consistent with other City Fire facilities. **The request clearly facilitates Policy 4.1.2 – Identity and Design.**

POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request helps to protect and enhance special places in the built environment that contribute to the distinct identity and sense of place of the Downtown area because it will create a space for the Fire Department to train recruits and existing employees to be better equipped to serve the community. The distinct identity is enhanced because this facility improvement will help to increase the response time to the area that receives a large number of calls being that it is close to the I-40 freeway and downtown.

**The request is consistent with Policy 4.1.3 Placemaking**

GOAL 4.3: PROTECT and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The request helps to protect and enhance the cultural characteristics that contribute to the distinct identity and prioritize projects that meet the needs of the community and

neighborhood by developing a new facility to train Firemen and women to better protect and provide public safety and service.

**The request clearly facilitates Goal 4.3 – Protect.**

*Chapter 5: Land Use*

GOAL 5.2: COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

Any addition or expansion of a Fire Department facility, helps to provide protection of life, property, and the environment from the effects of fires, medical emergencies, and hazards, therefore fostering communities where residents can live, work, learn, shop and play together. The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would foster job creation and improve safety, allowing for residents to live, work, learn, shop, and play together. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in the city. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit. **The request clearly facilitates Goal 5.2 – Complete Communities.**

POLICY 5.2.1: LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the re-development of a Fire station and training center would contribute to creating a healthy and sustainable community. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in City. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

**The request clearly facilitates Policy 5.2.1 – Land uses.**

GOAL 5.3 CITY EFFICIENT DEVELOPMENT PATTERNS: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services. **The request clearly facilitates Goal 5.3 – Efficient Development Patterns.**

POLICY 5.3.1 INFILL DEVELOPMENT: Support additional growth in areas with existing infrastructure and public facilities.



The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities. **Therefore, the request clearly facilitates Policy 5.3.1 – Infill Development**

**GOAL 5.6 CITY DEVELOPMENT AREAS:** Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency where development is expected to be consistent with the established character of the surrounding context. The NR-SU Site Plan establishes the Fire Station use Site Standards and development standards that ensure the intensity of the surrounding area not adversely affected. The subject site is within CPO-9 and therefore development standards are respected.

**The request clearly facilitates Goal 5.6 - City Development Areas.**

**POLICY 5.6.2 AREAS OF CONSISTENCY:** Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is designated as an Area of Consistency. It is not within a designated Center, and does lie within the boundaries of the 4<sup>th</sup> Street Main Street Corridor. The applicant has demonstrated that the proposed development is an appropriate scale to the surrounding area through proposed building standards, including building elevations, which are negotiated at the EPC with the NR-SU Site Plan. **The request clearly facilitates Policy 5.6.2 Areas of Consistency.**

#### *Chapter 7: Urban Design*

**POLICY 7.3.4: INFILL:** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is an underused public property, formerly a park, in a developed commercial and industrial area. Proposed development of the site would create infill and enhance the built environment, particularly through streetscape improvements. **The request clearly facilitates Policy 7.3.4 – Infill.**

**POLICY 7.3.5 DEVELOPMENT QUALITY:** Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design through site circulation, building materials, and plant pallet. The Site circulation is designed in a way where the Fire trucks have the ability to pull through,

cutting time for reversing into the truck bay. The building is designed with quality materials and a simple color aesthetic, like burnished face CMU, Stucco and Metal siding, and brushed aluminum door and window framing. Last the landscaping chosen provides a diverse color pallet, by selecting a variety of trees and shrubs that are compliant with the ABQ Plant Pallet List. **The request clearly facilitates Policy 7.3.5 Development Quality.**

**POLICY 7.5.1 LANDSCAPE DESIGN:** Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place. **The request clearly facilitates Policy 7.5.1 Landscape Design.**

*Chapter 12: Infrastructure, Community Facilities & Services*

**GOAL 12.2 COMMUNITY FACILITIES:** Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would eliminate an existing nonconforming park space and expand vital community safety services. Access to 3<sup>rd</sup> St. and McKnight Ave. ensures efficient service delivery. Future development of the fire station includes a proposed community meeting space for persons of all ages, which could generally promote community involvement. **The request clearly facilitates Goal 12.2 Community Facilities.**

**POLICY 12.2.3: NEW FACILITIES:** Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would correct an existing nonconformity in the park space that has experienced blight, expand the facility to better serve the surrounding area, and expand fire services throughout the City. Easy access to Third Street, a Principal Arterial and designated Commercial Corridor, and Indian School Rd., an Urban Interstate Frontage, and I-25, an Interstate Highway and Commuter Corridor, and 4<sup>th</sup> Street, a designated Multi-modal Corridor, ensure that services would be provided to a high-need area. **The request clearly facilitates Policy 12.2.3 – New Facilities.**

**GOAL 12.3 PUBLIC SERVICES:** Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The city has planned and coordinated to expand an existing fire station, and to provide a new Fire training facility, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being. **The request clearly facilitates Goal 23.3 Public Services.**

**POLICY 12.3.1: ACCESS TO PUBLIC SERVICES:** Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services centrally located within the city. The existing fire station cannot expand to meet these needs with the current zoning, and the development would help to distribute these services equitably throughout the city. **The request clearly facilitates Policy 12.3.1 Access to Public Services.**

**POLICY 12.3.3 FIRE AND RESCUE:** Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate redevelopment and expansion of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property. **The request clearly facilitates Policy 12.3.3 Fire and Rescue.**

**GOAL 12.5 RESOURCES:** Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a redevelopment of fire public services on a property that is already owned by the City and in the possession of AFR. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars. **The request clearly facilitates Goal 12.5 resources.**

**POLICY 12.5.2: COST ALLOCATION:** Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.

The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs by expanding the existing Fire Station facility to accommodate new development of a training facility and a new upgraded Fire Station facility. The request clearly facilitates Goal 12.5.2 Cost Allocation.



### *Integrated Development Ordinance (IDO)*

#### *IDO Zoning*

The subject site is currently zoned NR-PO-A (Non-Residential – Park and Open Space, IDO 14-16-2-5(F)) The purpose of the NR-PO zone district is to protect the natural character of designated private and public parks and open space for public recreation, use, and enjoyment. Primary uses are open space and related recreation facilities, picnic and other shelters, and service/maintenance facilities.

#### *Proposed Zoning*

The request would change the zoning to NR-SU (IDO 14-16-2-5(E) Non-Residential – Sensitive Use Zone District). The purpose of the NR-SU zone district is to accommodate highly specialized public, civic, institutional, or natural resource-related uses that require additional review of location, site design, and impact mitigation to protect the safety and character of surrounding properties. Primary land uses include such as the following: Airport, Cemetery, Correctional Facility, Fire or Police Stations. For more primary land uses in the NR-SU zone district see the Use and Development Standards in IDO section 14-16-2-5(E)(2) and Table 2-5-9 which references additional allowable uses and other applicable IDO sections.

A complete list of Allowable Uses is listed in IDO Table 4-2-1 (Allowable Uses, pp. 151-156). For a discussion of specific uses that would become permissive if the request is approved, please refer to the discussion of zone change Criterion D in this report (14-16-6-7(G)(3)(d), p. 16).

#### *Overlay Zones*

The subject site is located within the North 4<sup>th</sup> Corridor Character Protection Overlay Zone (CPO-9, IDO Section 14-16-3-4(J)). The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. These areas meet 1 or more of the following characteristics: (Have recognized neighborhood identity and character) (Have high architectural value) (Have a relationship to HPO zones that make the area's conservation critical) (Have a relationship with cultural landscapes identified in the Albuquerque/Bernalillo County Comprehensive Plan as amended)

### *Definitions*

#### Amendment

Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Area of Change: An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

Area of Consistency: An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development

Fire Station

A public facility where fire engines and other equipment are housed and from which calls for emergency fire responses are handled.

Nonconforming Structure

A structure that does not conform to the IDO requirements for structures in the zone district where it is located, for reasons other than the use of the structure, but that did not violate those requirements at the time the structure was constructed. By way of example: a nonconforming structure could be one that violates height, setback, aesthetic, or form requirements.

Nonconforming Use

A use of a structure or land that does not conform to the IDO requirements for land uses in the zone district where it is located, but that was an approved use at the time the use began.

Nonconformity

A structure, use, lot, sign, or site feature that does not conform to applicable zoning but that did conform to applicable zoning in effect at the time it was built or developed.

Overlay Zone: Regulations that prevail over other IDO regulations to ensure protection for designated areas. Overlay zones include Airport Protection Overlay (APO), Character Protection Overlay (CPO), Historic Protection Overlay (HPO), and View Protection Overlay (VPO). Character Protection and View Protection Overlay zones adopted after May 18, 2018 shall be no less than 10 acres, shall include no fewer than 50 lots, and shall include properties owned by no fewer than 25 property owners. There is no minimum size for Airport Protections Overlay or Historic Protection Overlay zones.

Site Plan

An accurate plan that includes all information required for that type of application, structure, or development.

Zone District: One of the zone districts established by this IDO and the boundaries of such zone districts shown on the Official Zoning Map. Zoning regulations include the Use Regulations, Development Standards, and Administration and Enforcement provisions of this IDO.

The application for this request was submitted subsequent to the effective date on May 17, 2018 of the Integrated Development Ordinance and is therefore subject to its regulations and processes.

#### **IV. Zone Map Amendment (Zone Change)**

##### Requirements

The review and decision criteria outline policies and requirements for deciding zone change applications. The applicant must provide sound justification for the proposed change and demonstrate that several tests have been met. The burden is on the applicant to show why a change should be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: 1) there was an error when the existing zone district was applied to the property; or 2) there has been a significant change in neighborhood or community conditions affecting the site; or 3) a different zone district is more advantageous to the community as articulated by the Comprehensive Plan or other, applicable City plans.

##### Justification & Analysis

The zone-change justification letter analyzed here, is based on a revised version received on May 30, 2024. The subject site is currently NR-PO-A (Non-Residential – Park and Open Space). The requested zoning is NR-SU (Non-residential – Sensitive Use). The zone change would facilitate development of a Fire Station, which requires an NR-SU zone designation.

The applicant believes that the proposed zoning map amendment (zone change) meets the zone change decision criteria in IDO §14-16-6-7(G)(3) as elaborated in the justification letter. The citation is from the IDO. The applicant's arguments are in *italics*. Staff analysis follows in plain text.

#### ***Integrated Development Ordinance (IDO) 14-16-6-7(G)(3) - Review and Decision Criteria for Zone Map Amendments***

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

- (a) **Criterion 6-7(G)(3)(a)** The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

*Applicant's Response: The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by clearly facilitating a preponderance of the applicable Comprehensive Plan goals and policies.*

Staff response: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request clearly facilitates applicable Comprehensive Plan Goals and Policies and does not significantly conflict with them.

Applicable citations: Goal 5.2 – Complete Communities, Policy 5.2.1 – Land Uses, Goal 5.6 – City Development Areas, Policy 5.6.2 – Areas of Consistency, Policy 7.3.4 – Infill, Goal 12.2 – Community Facilities, Policy 12.2.3 – New Facilities, Goal 12.3– Public Services, Policy 12.3.1 – Access to Public Services, Policy 12.3.3 – Fire and Rescue, and Policy 12.5.2 – Cost Allocation.

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City including the Sawmill/Wells Park Area Metropolitan Redevelopment Area Plan (MRA Plan) as shown in the sections above.

The applicant's response adequately demonstrates that the request generally furthers goals and policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities and Public Services, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare. **The response to Criterion A is sufficient.**

- (b) **Criterion 6-7(G)(3)(b)** If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.
  2. There has been a significant change in neighborhood or community conditions affecting the site.
  3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

*Applicant's Justification: The subject property is completely within an Area of Consistency and is adjacent to Areas of Change to the south and west. The zone change to NR-SU will reinforce and strengthen the established character of the area*

*because it will remove a non-conforming use and upgrade the Fire Station 4 through an EPC approved site plan, ensuring the site does not differ from the existing character of the neighborhood relative to density, intensity, and connectivity.*

*Further, the NR-SU zone is more advantageous to the community as articulated in the Comprehensive Plan than the existing NR-PO-A because it will promote public safety in the area and will enable an underutilized City property to be redeveloped in an area appropriate for the proposed use. The new Fire Station 4 will serve Downtown Albuquerque and the North Valley with modern equipment and a facility that can respond quickly to calls for emergency services. The subject property's adjacency to Areas of Change zoned MX-M and NR-LM may change in use and function from what they are now; however, there are regulations and mechanisms in place that will protect the Areas of Change as they may redevelop in the future regardless of land use.*

Staff's Response: The applicant's policy-based response adequately demonstrates that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities, New Facilities, Public Services, Access to Public Services, Fire and Rescue, and Cost Allocation, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare. **The response to Criterion B is sufficient.**

(c) **Criterion 6-7(G)(3)(c)** If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:

1. There was typographical or clerical error when the existing zone district was applied to the property.
2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

*Applicant's Justification: The subject property is not located within an Area of Change.*

Staff's Response: The subject site is located wholly in an area of consistency; therefore, this criterion does not apply.

(d) **Criterion 6-7(G)(3)(d)** The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-



specific Standards in IDO §14-16-4-3 associated with that use will adequately mitigate those harmful impacts.

*Applicant’s Justification: The NR-SU zone is limited to a few permissive uses that are not allowed in any other zone district. There are no Use Specific Standards in the IDO associated with fire or police stations. To mitigate potential harm to adjacent properties, the neighborhood, or the community, the IDO specifically requires site plan approval by the EPC for any NR-SU zoned properties. Once approved, the Site Plan-EPC will control the use and development of the Subject Property. The public safety use on the subject property can only be changed through a Major Amendment to the Site Plan through a public hearing before the EPC; an exceedingly unlikely scenario.*

*The table below shows the Applicant’s proposed development standards for this project. The project design complies with established IDO standards, unless not applicable as noted in the table.*

<b>TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NR-SU ZONED PROPERTY</b>	
<b>Overlay Zones</b>	<i>North 4th Corridor (CPO-9)</i>
<b>Allowable Uses</b>	<i>Per IDO Section 4-2, Civic and Institutional Uses Subcategory - Fire Station</i>
<b>Use-Specific Standards</b>	<i>None apply</i>
<b>Dimensional Standards</b>	<i>Per Table 5-1-3 – Site Standards, Setback Standards, and Building Height</i>
<b>Site Design and Sensitive Lands</b>	<i>No Sensitive Lands present</i>
<b>Access and Connectivity</b>	<i>Per IDO Section 5-3(e)(3)(c)</i>
<b>Subdivision of Land</b>	<i>Per IDO Section 5-4</i>
<b>Parking and Loading</b>	<i>Per IDO Section 5-5</i>
<b>Landscaping, Buffering, and Screening</b>	<i>Per Site Plan and Landscape Plans</i>
<b>Walls and Fences</b>	<i>Per IDO Section 5-7 and Table 5-7-1 Maximum Wall Height</i>
<b>Outdoor and Site Lighting</b>	<i>Per IDO Section 5-8 and Table 5-8-1</i>
<b>Neighborhood Edges</b>	<i>None apply</i>
<b>Solar Access</b>	<i>Per IDO Section 5-10</i>
<b>Building Design</b>	<i>No street facing facades as defined by the IDO – building design as indicated on the proposed building elevations</i>
<b>Signs</b>	<i>Per IDO Section 5-12 and Table 5-12-2, as indicated on proposed building elevations – no freestanding sign proposed</i>

<i>Operation and Maintenance</i>	<i>Per IDO Section 5-13</i>
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*The following permissive uses are allowed within the NR-SU zone. The total size of the subject property, 4.09 acres, precludes the development of most of the permissive uses under the NR-SU zoning, including airport, cemetery, correctional facility, fairgrounds, natural resource extraction, and stadium or racetrack.*

*PERMISSIVE USES ALLOWED IN THE NR-SU ZONE:*

- *Airport*
- *Fire Station or Police Station*
- *Cemetery*
- *Natural Resource Extraction*
- *Correctional Facility*
- *Solid Waste Convenience Center*
- *Crematorium*
- *Stadium or Racetrack*
- *Fairgrounds*
- *Waste and/or recycling Transfer Station*

Staff's Response: The requested zone change to NR-SU is required for the development of Fire and Police Stations pursuant to IDO section 2-5(E), in conjunction with a Site Plan-EPC review. The Site Plan and zone change are mutually supportive. The Site Plan shall specify specifies uses, site standards, and development standards, which are approved with the associated zone change for the request. Where the Site Plan is Silent, applicable IDO standards apply.

The NR-SU zone district does not establish Permissive Uses with use-specific standards. There are no Use Specific Standards for Fire Stations and the applicant has provided a table demonstrating that the proposed development would follow all applicable IDO standards, mitigating potential harmful impacts on the surrounding community to the greatest extent possible. Future development could not occur on site without a Major or Minor amendment. Staff generally agrees with the discussion and that any potential harm to the surrounding properties, the neighborhood, or the community could be mitigated.

**The response to Criterion D is sufficient.**

(e) **Criterion 6-7(G)(3)(e)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:

1. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
2. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
3. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a city- approved Development Agreement between the City and the applicant.

*Applicant's Justification: The request meets both Criterion 1 and 2. The site has adequate capacity to serve the development made possible by the zone change that will remove the non-conforming status of the existing fire station. The site is an infill site in Downtown Albuquerque, and as an extension of Fire Station 4, it is already served by water, sewer, electric, and gas utilities. The site is served by a designated bike route along 3rd Street and a proposed bike route for McKnight Avenue. Along Indian School Road, the I-40 Overpass Trail is proposed, which will provide east/west access and connections to the Frontage Road. The request meets Criterion 2 because the project was approved by the City Council (with concurrence from the Mayor's office), which budgeted capital funds for design and construction of the expanded Fire Station, clearance of the dead trees, and installation of the fence and cobble around the perimeter of the site. The Department of Municipal Development was assigned to oversee the project development on behalf of Albuquerque Fire and Rescue.*

Staff's Response: The request meets the requirement that the City's existing infrastructure and public improvements adequately serve the subject site and have adequate capacity to serve the development made possible by the change of zone.

**The response to Criterion E is sufficient.**

(f) **Criterion 6-7(G)(3)(f)** The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

*Applicant's Justification: The justification for this zone change is not solely based on the property's location on a major street. The community safety, health, and welfare rely on the provision of and response times to emergency calls for service and is the main driver of this project. The residents within Fire Station 4 District have been well served from this site and will continue to be so once the facility has been expanded.*

Staff's Response: The applicant's justification is not based on the subject site's location along a major street. The subject site is within the 4<sup>th</sup> Street Main Street Area Corridor. The applicant adequately justifies the request based on applicable

Comprehensive Plan goals and policies and for the need of fire protection services in the area. **The response to Criterion F is sufficient.**

- (g) **Criterion 6-7(G)(3)(g)** The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

*Applicant's Justification: The justification for this zone change is not based on the cost of land or economic considerations. Fire Station 4 has the highest number of calls in Albuquerque; the need to improve services and provide a training center is the primary reason driving this project. Secondly, the existing Fire Station is a non-conforming use, which the IDO regulates by restricting the expansion per IDO Sections 6-8(C)(2), 6-8(C)(5), and 6-6(C). In order to expand the non-conforming use, the request must meet all of the criteria listed under 6-6(C)(3). The Applicant's request does not meet the criteria because the project will expand the non-conforming use by more than 25%. The existing Fire Station is 8,105 square feet and the proposed Fire Station is 11,987 square feet. The proposed project represents a 48% expansion of the non-conforming use.*

Staff Response: The cost of land and economic considerations are not the factor for the requested zone change. The applicant's justification is based predominantly on providing fire and police services to an high-need area, which has been demonstrated to clearly facilitate applicable Comprehensive Plan Goals and policies.

**The response to criterion G is sufficient.**

- (h) **Criterion 6-7(G)(3)(h)** The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

*Applicant's Response: While the NR-SU zone district is a spot zone and will be at spot zone in this location, the zone change will correct the non-conforming use of the existing Fire Station on the property, as well as clearly facilitate the ABC Comp Plan as demonstrated in the policy analysis contained in this letter. The current fire station use on the property is only permissive in the NR-SU zone and is not permissive in the adjacent NR-PO-A, MX-M, or NR-LM zones. The current zoning designation of NR-PO-A for a City-owned site containing an existing Fire Station should be corrected. It is not suitable for the uses allowed in the MX-M, NR-PO-A, or NR-LM*

*zone. The City is also in the process of expanding Wells Park, a significant public investment, and is a much better suited area for park use than the subject property. NR-SU zoning is appropriate for the subject property as a means to support public safety.*

Staff's Response: Criterion H is a two-part test which the request generally meets. The request to NR-SU would create a spot zone. The applicant has demonstrated that the request would (1) clearly facilitate implementation of several applicable goals and policies of the ABC Comp Plan from Chapters 4-Community Identity, 5-Land Use, 7-Urban Design, and 12-Infrastructure, Community Facilities and Services. The NR-SU zone district would correct the nonconforming Fire Station use, as well as facilitate the development of a much-needed training center, which requires the NR-SU Zoning designation and A Site Plan to be reviewed by the EPC.

The subject site is surrounded by industrial and commercial uses, with very few residences within walking distance. The applicant claims that the subject site is no longer able to function as a park. A Fire and Police Station use would benefit the safety of the surrounding community, residential uses, and schools nearby.

Staff generally agrees with the applicant's justification to create a spot zone. **The response to Criterion H is sufficient.**

## ***V. Site Plan – EPC***

### ***A. Request and NR-SU Zone***

This two-part request is for a Zoning Map Amendment and a Site Plan-EPC, which are mutually supportive.

The proposed zone change from NR-PO-A to NR-SU would facilitate the development of a Fire Station, which requires a NR-SU zoning designation. Fire Stations are required to be submitted with a Site Plan-EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan shall specify uses, site standards, and development standards, which are to be negotiated at the EPC. Where the Site Plan is silent, IDO standards apply.

The proposed Site Plan would facilitate development of a new Fire Station Building, a Training area and small turf area, and includes the existing Fire Station facility located at the northeast corner of 3rd St. and Indian School Rd NW (I-40 Frontage rd.), containing approximately 4.1-acres, as follows:

- 11,987 SF Fire Station

- 8,105 SF Existing Fire Station
- 11,500 SF Crusher Fine area (Proposed future training facility)
- 6,500 SF Detention Pond
- Site work including: parking, walls/fences, landscaping, utilities, grading and drainage, signage, and details.

The proposed Site Plan is required to follow all applicable provisions and Design Standards for the NR-SU zone district, which is determined on a case-by-case basis to reflect a negotiated agreement for uses and standards with the applicant, pursuant to IDO 14-16-2-5(E).

The negotiated standards under the NR-SU zone district approval may not reduce requirements in Section 14-16-5-9 (Neighborhood Edges) designed to protect abutting properties from potential adverse impacts of development. The proposed development is required to follow all applicable provisions in the DPM. (See Criterion 6-7(G)(3)(d), This report)

*Proposed Standards*

With the EPC's approval, the Site Plan would go to the DFT for final Sign-off. Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J).

The site plan and related drawings were revised based on Staff and Agency Comments and were received on May 22, 2024. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

***B. Integrated Development Ordinance (IDO))- Site Plan-EPC Review and Decision Criteria***

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC will be approved if it meets all of the following criteria:

- 6-6(I)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies.

- 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.



The request is for a Fire Station use, which requires the zone designation of NR-SU. The request for a Site Plan-EPC is in conjunction with a zone change from NR-PO-A to NR-SU. The Site Plan proposes uses, standards, and development standards pursuant to the IDO. Any future development would be required to comply with the approved NR-SU Site Plan associated with this request.

- 6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The request is for Zoning Map Amendment to NR-SU for development of a Fire Station. Fire and Police Stations require an NR-SU zoning designation, which is required to be submitted as a Site Plan-EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan shall specify uses, site standards, and development standards, which are to be negotiated at the EPC. Where the Site Plan is silent, IDO standards apply.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. Staff has conducted an in-depth analysis of the proposed site plan drawings required for an EPC submittal (pursuant to the required Site Plan Checklist). The analysis is included in the staff report posted for the EPC's review. Staff has crafted conditions of approval where compliance or clarity is needed. All conditions must be met prior to building permit approval.

- 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.

- 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan.

- 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within a Master Development Plan.

- 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is within the Railroad and Spur Area. The proposed development for Fire Station 4 does not meet all of the criteria of Subsection 14-16-5-2(E)(1), therefore, there are no requirements for mitigation. There is a minimal amount of residential development on the west side of 5th Street approximately 687 feet to the west of the subject property and no residential use in any mixed-use zone district within 1,320 feet. The Applicant is not proposing any of the uses listed in Section 5-2(E)(1)(c).

### ***C. Review of Proposed Site Plan***

#### ***Site Plan Layout/Configuration***

The Applicant proposes to re-develop an approximately 4.1-acre site comprised of the existing Fire Station #4 building at the south west corner of the property, a new 11,987 sf Fire Station building sized for (3) Fire Engine bays situated in the center of the property. Drive paths lead to (2) parking lots, a small lot feeding the old building and a larger lot feeding the new building, and a drive path for fire vehicles to access the engine bays. Exterior spaces consist of a crusher fines training grounds, a detention pond, and a 1-acre green space and street landscaping at the perimeter of the property and along streets.

#### ***Pedestrian, Bicycle and Transit Access***

*Proposed Access & Connectivity Standards:* The proposed development standards for access and connectivity are pursuant to IDO 5-3(e)(3)(c). Where the Site Plan is silent IDO (C) General Access and Circulation and 5-3(D) Pedestrian Circulation 5-3

Pedestrians can access the site via sidewalk infrastructure, transit, and bicycle.

There is adequate sidewalk infrastructure that serves the site. An existing sidewalk is located on the east side of the subject site along 3rd Street and along the north side of the site along Indian School (I-40 Frontage Rd) (See site plan key note #4). New 7' wide sidewalks and 5' wide secondary sidewalk paths will be constructed to connect the user from the street and parking lots between the two buildings where pedestrians can access the site.

The Site Plan includes new ADA ramps, curb ramps and truncated dome mats at crosswalks at the vehicular access points along 3<sup>rd</sup> St NW. ADA requirements are met and shall be followed.

There is an existing bus transit route walking distance away along 4<sup>th</sup> Street. Currently, 3rd St has a proposed parallel bike lane, and 3<sup>rd</sup> St is road designed for vehicles and bikes to share the road. Bicycles can access the site along 3<sup>rd</sup> St and McKnight Ave NW.

#### ***Vehicular Access, Circulation and Parking***

*Access and Connectivity Standards:* The Site Plan proposes (3) vehicular access points into the site. Two access points, one off McKnight and the other off 3<sup>rd</sup> St, will be the only entrance/exit for the public into public safety complex. It will also serve as the entrance/exit for staff vehicles and official vehicles. EMT vehicles will access only off of McKnight Ave as an entrance only. The second access point on 3rd St will serve as an exit for EMT vehicles onto 3<sup>rd</sup> St NW one way traffic heading south.

Parking requirements comply with the Office, Fire and Police Station use in the IDO as noted on the site plan. 42 spaces are required, and 44 spaces are provided. 2 ADA spaces are provided. A total of 2 motorcycle spaces required, and 2 motorcycle spaces are provided in the staff parking lot area.

The Site Plan proposes two bicycle racks with a total of 6 spaces.

There is a new gate that will be at the vehicle access off of McKnight and a reused gate that will provide private and secure parking for the larger parking lot used by the employees of the public safety complex. The small lot is not gated off of 3<sup>rd</sup> St and will act as the public parking lot with 2 ADA spaces.

#### ***Landscaping, Buffering and Screening***

*Buffering & Screening Standards:* The Site Plan proposes Landscaping Buffering and Screening pursuant to IDO 14-16-5-6 Standards.

The proposed landscaping plan consist of landscaping surrounding the entire perimeter of the proposed public safety complex including in parking lot islands. Landscaping will be limited to the frontage along Amole Mesa Ave. between the two new access points.

The Landscape Plan shows the proposed location and type of trees and ground cover being provided. A fully automated irrigation system would be used to irrigate the trees, shrubs and groundcover planting areas and maintenance for landscape and irrigation would be the responsibility of the owner. An irrigation detail is needed.

Landscape Area Coverage for the proposed development (approximately 3 acres of the subject area):

- 5 types of trees
- 7 types of shrubs
- 3 types of native grasses
- 2 types of Perennials
- 1 species of succulent
- 5 types of Gravel/mulch
- 24,926 SF Required / 52,282 SF Provided

The applicant shall show all SF of planting beds and dimensions between trees on the Site Plan. Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan are allowed, unless EPC authorizes alternative species pursuant to IDO 5-6(C)(4)(b).

### ***Walls/Fences and Lighting***

*Proposed Wall and fence Standards:* The applicant has noted a 5'6" ornamental existing fence to remain along the north property edge and get re-purposed to enclose the 1 acre green space at the east side of the building.

An 8' CMU wall is proposed to be constructed at the rear of the fire station to enclose the backflow preventor irrigation mechanical units, at the east side of the building.

Lighting is proposed pursuant to IDO 14-16-5-8 and Table 5-8-1 Maximum Height for Light Poles. The color and finish of the light poles is specified. See the site plan and detail sheets for the location of the dark bronze or black 16' night sky compliant light poles. The light poles are located throughout, near parking bays, drive paths, walk paths and near the perimeter of the new building.

***Signage***

*Sign Standards:* Building mounted signage is included with this request. All signage is pursuant to IDO 14-16-5-12 and Table 5-12-2, as indicated on proposed building elevations – no freestanding sign proposed. Signage needs to be dimensioned and the square footage indicated. Signage is pursuant to a separate permitting process.

New Standard "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" sign is located at both vehicle gate locations

Standard Traffic and parking signs with CABQ Standard Language signs (see detail A2/AS-502) are provided in this request.

***Building Design/Architecture***

*Building Design Standards:* The applicant has stated Site Plan will follow have no street facing facades as defined by the IDO – For the building design please see the proposed building elevations.

Building design and material aesthetics consist of (4) main materials, Burnished face CMU – beige color, Elastomeric synthetic stucco – brown color, perforated metal panels – Red color, and fiber cement siding – grey color. Windows and mullions and coping, are typically glazed aluminum metal color.

***Grading & Drainage Plan***

The subject property has one large water harvesting area (retention pond) that will collect flows discharging from the site, located on the northwest corner of the property. The proposed grading will include standard curb and gutter, with curb cuts and rundown allowing storm-water into proposed water harvesting areas.

Drainage runs from west-east. All roof drainage and proposed asphalt parking areas will discharge into water harvest areas and into 36" drain swales located in the center of each parking lot and along the drive path at the west of the project site. The drain swales will discharge onto McKnight Street. The subject property is not located within a FEMA designated flood zone.

***Utility Plan***

The applicant provided a Utility Plan showing new and existing utilities, sanitary sewer lines, water, meter lines, and storm sewer lines.

All utilities, including water sewer are directly connected from Indian School Rd NW Street to the north.

The Albuquerque Fire Marshal's Office has approved the Fire Hydrant Location and Access Plan for the Site Plan

## ***VI. Agency and Neighborhood Concerns***

### ***Reviewing Agencies***

A site plan approved by the Solid Waste Department will be required. The applicant shall provide a Traffic and fire truck Circulation Layout. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.

### ***Neighborhood/Public***

Notification requirements are found in Table 6-1-1 (Summary of Development Review Procedures) of Part 14-16-6 Administration and Enforcement, and are further explained in Part 14-16-6-4(K) Public Notice section. The registered neighborhood associations (NA) that required notification include the Wells Park and the Near North Valley Neighborhood Associations (NAs). All were emailed as required. Property owners within 100 feet of the subject site were also notified by mail as required (see attachments).

A pre-application neighborhood meeting was requested by the Near North Valley NA (NNVNA); Wells Park NA (WPNA) and Neighbors. A public meeting was held by the applicant, Consensus Planning on March 19, 2024 from 5:00 pm to 7:00 pm via Zoom. Questions and comments from the neighborhood representative regarding the request were addressed during the meeting. There were no unresolved issues or concerns, and at the conclusion of the facilitated meeting, participants support the intended Fire Station and one-half acre park. There was no opposition to the request (see attached Neighborhood Meeting Notes).

## ***VII. Conclusion***

The two-part request is for a Zoning Map Amendment from NR-PO-A to NR-SU and a Site Plan- EPC for a Fire Station for an approximately 4.1-acre site legally described as all of or a portion of Block 0000, Tract Coronado Park/ Fire Station #4, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, between 3rd St NW and 4th St NW. The subject site is in an Area of Consistency.

The applicant's policy-based analysis demonstrates that the request would reinforce and strengthen the established character of the surrounding Area of Change along the Minor Arterial 4<sup>th</sup> St Mainstreet Corridor and CPO-9. The applicant has adequately justified the request based upon the proposed zoning being more advantageous to the community than the current zoning because it would clearly reinforce and strengthen the established character of the area, it would not permit development that is significantly different from that character, and bring an existing blighted property into compliance.

The request would create a spot zone. The applicant has adequately justified the zone change by showing that the request clearly facilitates applicable Goals in the Comprehensive Plan and there are no major conflicts with the development of a Fire Station Facility.



The affected neighborhood organizations of Wells Park NA and the Near North Valley NA, were notified as required as were all property owners within 100 feet of the subject site. A neighborhood meeting was requested and held March 19, 2024. Staff is unaware of any support or opposition as of this writing. Staff recommends approval, subject to conditions of approval.

***Findings – Zoning Map Amendment, June 20, 2024***

***Project #: PR-2014-010349 / RZ: 2024-00029***

1. The request is for a Zoning Map Amendment for an approximately 4.1-acre site legally described as all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Zone Map (H-14-Z).
2. The applicant is requesting a zone change from NR-PO-A (Non-Residential Park and Open Space) to NR-SU (Non-residential – Sensitive Use), which would create a spot zone.
3. The request would facilitate development of a Fire Station, which requires a NR-SU zoning designation. Fire Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
4. The subject site is in an Area of Consistency and is within a Mainstreet Corridor, but not in a designated Activity Center as designated by the Comprehensive Plan
5. The subject site is located within the North 4<sup>th</sup> Corridor Character Protection Overlay Zone (CPO-9, IDO Section 14-16-3-4(J)).
6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request clearly facilitates the following Comprehensive Plan Goals and policies from Chapter 4: Community Identity
  - A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The development of the Fire Station #4 would enhance the ability for the existing Fire Department 4 to better serve Downtown Albuquerque and the surrounding industrial area and residential neighborhoods, making it an important and distinct part of the Downtown community. The proposed amendment enhances the distinct community by providing an expanded public safety opportunity to the City of Albuquerque.
  - B. POLICY 4.1.2 IDENTITY AND DESIGN: Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of the new Fire station 4 facility would help protect the identity and cohesiveness of the Downtown area including the surrounding residential neighborhoods of Wells Park, Sawmill, and Santa Barbara Martineztown, by specifying specific uses, site standards, and development standards pursuant to

the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development that meets edge buffer requirements and is an appropriate location for an expanded public safety complex in an established city area and being centrally located to the city as a whole. The building design is consistent with other City Fire facilities.

- C. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request helps to protect and enhance special places in the built environment that contribute to the distinct identity and sense of place to the Downtown area because it will create a way for the Fire Department to train and better serve the community. The distinct identity is enhanced because this facility improvement will help to increase the response time to an area that receives one of the largest number of calls.

- D. GOAL 4.3: PROTECT and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The request helps to protect and enhance the cultural characteristics that contribute to the distinct identity and prioritize projects that meet the needs of the community and neighborhood by developing a new facility to train Firemen and women to better protect and provide public safety and service.

8. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.

- A. GOAL 5.2: COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

Any addition or expansion of a Fire Department facility, helps to provide protection of life, property, and the environment from the effects of fires, medical emergencies, and hazards, therefore fostering communities where residents can live, work, learn, shop and play together. The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would foster job creation and improve safety, allowing for residents to live, work, learn, shop, and play together. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in the city. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. POLICY 5.2.1: LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would contribute to creating a healthy and sustainable community. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in City. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- C. GOAL 5.3 CITY EFFICIENT DEVELOPMENT PATTERNS: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- D. POLICY 5.3.1 INFILL DEVELOPMENT: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

- 9. The request clearly facilitates the following Comprehensive Plan Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. POLICY 7.3.4: INFILL: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is an underused public property, formerly a park, in a developed commercial and industrial area. Proposed development of the site would create infill and enhance the built environment, particularly through streetscape improvements.

- B. POLICY 7.3.5 DEVELOPMENT QUALITY: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design through site circulation, building materials, and plant pallet. The Site circulation is designed in a way where the Fire trucks have the ability to pull through, cutting time for reversing into the truck bay. The building is designed with quality materials and a simple color aesthetic, like burnished face CMU, Stucco and Metal siding, and brushed aluminum door and window framing. Last the landscaping chosen provides a diverse color pallet, by selecting a variety of trees and shrubs that are compliant with the ABQ Plant Pallet List.

- C. POLICY 7.5.1 LANDSCAPE DESIGN: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City’s approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

- 10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. GOAL 12.2 COMMUNITY FACILITIES: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would eliminate an existing nonconforming park space and expand vital community safety services. Access to 3<sup>rd</sup> St. and McKnight Ave. ensures efficient service delivery. Future development of the fire station includes a proposed community meeting space for persons of all ages, which could generally promote community involvement.

- B. POLICY 12.2.3: NEW FACILITIES: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would correct an existing nonconformity in the park space that has experienced blight, expand the facility to better serve the surrounding area, and expand Fire services throughout the City through the new facility and proposed future training center. Easy access to 3<sup>rd</sup> St., a Principal Arterial and designated Commercial Corridor, and Indian School Rd., an Urban Interstate Frontage, and I-25, an Interstate Highway and Commuter Corridor, and 4<sup>th</sup> St., a designated Multi-modal Corridor, ensure that services would be provided to a high-need area.

- C. GOAL 12.3 PUBLIC SERVICES: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The city has planned and coordinated to expand an existing fire station, and to provide a new Fire training facility, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- D. POLICY 12.3.1: ACCESS TO PUBLIC SERVICES: Maximize residents’ access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents’ access to Public Safety services centrally located within the city. The existing fire station cannot expand to meet these needs



with the current zoning, and the development would help to distribute these services equitably throughout the city.

- E. POLICY 12.3.3 FIRE AND RESCUE: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate redevelopment and expansion of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- F. GOAL 12.5 RESOURCES: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a redevelopment of fire public services on a property that is already owned by the City and in the possession of AFR. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

- G. POLICY 12.5.2: COST ALLOCATION: Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.

The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs by expanding the existing Fire Station facility to accommodate new development of a training facility and a new upgraded Fire Station facility.

- 11. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-7(G)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:

- (a) Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request clearly facilitates applicable Comprehensive Plan Goals and Policies and does not significantly conflict with them.

Applicable citations: Goal 5.2 – Complete Communities, Policy 5.2.1 – Land Uses, Goal 5.6 – City Development Areas, Policy 5.6.2 – Areas of Consistency, Policy 7.3.4 – Infill, Goal 12.2 – Community Facilities, Policy 12.2.3 – New Facilities, Goal 12.3 – Public Services, Policy 12.3.1 – Access to Public Services, Policy 12.3.3 – Fire and Rescue, and Policy 12.5.2 – Cost Allocation

The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City including the Sawmill/Wells Park

Area Metropolitan Redevelopment Area Plan (MRA Plan) as shown in the sections above

The applicant's response adequately demonstrates that the request generally furthers goals and policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities and Public Services, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare

- (b) The applicant's policy-based response adequately demonstrates that the request clearly facilitates a preponderance of applicable Goals and Policies regarding Complete Communities, Land Uses, City Development Areas, Areas of Consistency, Infill, Community Facilities, New Facilities, Public Services, Access to Public Services, Fire and Rescue, and Cost Allocation, and does not present any significant conflicts with the Comprehensive Plan. Therefore, the request is consistent with the City's health, safety, and general welfare.
- (c) The subject site is located wholly in an area of consistency; therefore, this criterion does not apply.
- (d) The requested zone change to NR-SU is required for the development of Fire and Police Stations pursuant to IDO section 2-5(E), in conjunction with a Site Plan-EPC review. The Site Plan and zone change are mutually supportive. The Site Plan shall specify specifies uses, site standards, and development standards, which are approved with the associated zone change for the request. Where the Site Plan is Silent, applicable IDO standards apply.

The NR-SU zone district does not establish Permissive Uses with use-specific standards. There are no Use Specific Standards for Fire Stations and the applicant has provided a table demonstrating that the proposed development would follow all applicable IDO standards, mitigating potential harmful impacts on the surrounding community to the greatest extent possible. Future development could not occur on site without a Major or Minor amendment. Staff generally agrees with the discussion and that any potential harm to the surrounding properties, the neighborhood, or the community could be mitigated.

- (e) The request meets the requirement that the City's existing infrastructure and public improvements adequately serve the subject site and have adequate capacity to serve the development made possible by the change of zone.
- (f) The applicant's justification is not based on the subject site's location along a major street. The subject site is within the 4<sup>th</sup> Street Main Street Area Corridor. The applicant adequately justifies the request based on applicable Comprehensive Plan goals and policies and for the need of fire protection services in the area.

- (g) The cost of land and economic considerations are not the factor for the requested zone change. The applicant's justification is based predominantly on providing fire and police services to an high-need area, which has been demonstrated to clearly facilitate applicable Comprehensive Plan Goals and policies.
- (h) Criterion H is a two-part test which the request generally meets. The request to NR-SU would create a spot zone. The applicant has demonstrated that the request would (1) clearly facilitate implementation of several applicable goals and policies of the ABC Comp Plan from Chapters 4-Community Identity, 5-Land Use, 7-Urban Design, and 12-Infrastructure, Community Facilities and Services. The NR-SU zone district would correct the nonconforming Fire Station use, as well as facilitate the development of a much-needed training center, which requires the NR-SU Zoning designation and A Site Plan to be reviewed by the EPC.

The subject site is surrounded by industrial and commercial uses, with very few residences within walking distance. The applicant claims that the subject site is no longer able to function as a park. A Fire and Police Station use would benefit the safety of the surrounding community, residential uses, and schools nearby.

Staff generally agrees with the applicant's justification to create a spot zone.

12. The affected neighborhood organizations, Wells Park NA and the Near North Valley NA, were contacted, as well as property owners within 100 feet of the subject site, as required.
13. A pre-application facilitated neighborhood meeting was held March 19, 2024.
14. There were no unresolved issues or concerns, and at the conclusion of the facilitated meeting, participants support the intended Fire Station and one-half acre park. There was no opposition to the request.

### ***Recommendation***

***APPROVAL of Project #: PR-2024-010349 / RZ: 2024-00029, a request for Zone Map Amendment, for a property legally described as for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Map (H-14-Z), approximately 4.1 acres, based on the preceding Findings and subject to the following Conditions of Approval.***

***Findings, Site Plan - June 20, 2024******Project #: PR-2014-010349 / SI-2024-00677***

1. The request is for a Site Plan EPC for an approximately 4.1-acre site which is legally described as for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Zone Map (H-14-Z).
2. The request would facilitate development of a Fire Station, which requires a NR-SU zoning designation. Fire Stations are required to be submitted via a Site Plan - EPC pursuant to the NR-SU zoning district in accordance with IDO section 14-16-2-5(E). The Site Plan associated with this request shall be reviewed by the EPC in conjunction with the zone change request.
3. The proposed Site Plan is being reviewed in conjunction with the requested NR-SU zone designation.
4. The proposed Site Plan is comprised of a new Fire Department Station facility, an existing Fire Station building to be used as storage and office space. Associated Site work including Parking, Landscaping, Grading and Drainage, Utilities, and signage are included with the request.
5. The southern portion of the site is developed with the existing Fire Station #4 which the northern portion of the Subject site was the location of the City Owned, Coronado Park. The Park is not considered a site of any historic significance. It was closed in 2023 because it was determined to be a blighted property, and no longer able to function as a park. In 2023 Real Property transferred the 'Rights of Property' from Parks and Recreation to Albuquerque Fire Department. It was concluded that the subject site would be appropriate for a new Fire Station #4.
6. The subject site is located within the North 4<sup>th</sup> Corridor Character Protection Overlay Zone (CPO-9, IDO Section 14-16-3-4(J)).
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request clearly facilitates the following Comprehensive Plan goals and policies from, Chapter 4: COMMUNITY IDENTITY
9. The request clearly facilitates the following Comprehensive Plan policy from Chapter 4: Community Identity
  - A. GOAL 4.1 CHARACTER: Enhance, protect, and preserve distinct communities.

The development of the Fire Station #4 would enhance the ability for the existing Fire Department 4 to better serve Downtown Albuquerque and the surrounding industrial area and residential neighborhoods, making it an important and distinct part of the Downtown community. The proposed amendment enhances the distinct community by providing an expanded public safety opportunity to the City of Albuquerque.

- B. POLICY 4.1.2 IDENTITY AND DESIGN: Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed development of the new Fire station 4 facility would help protect the identity and cohesiveness of the Downtown area including the surrounding residential neighborhoods of Wells Park, Sawmill, and Santa Barbara Martineztown, by specifying specific uses, site standards, and development standards pursuant to the NR-SU zone district. The proposed standards are of similar scale to the surrounding area. The applicant has demonstrated that the zone change would facilitate development that meets edge buffer requirements and is an appropriate location for an expanded public safety complex in an established city area and being centrally located to the city as a whole. The building design is consistent with other City Fire facilities.

- C. POLICY 4.1.3 PLACEMAKING: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request helps to protect and enhance special places in the built environment that contribute to the distinct identity and sense of place to the Downtown area because it will create a way for the Fire Department to train and better serve the community. The distinct identity is enhanced because this facility improvement will help to increase the response time to an area that receives one of the largest number of calls.

- D. GOAL 4.3: PROTECT and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

The request helps to protect and enhance the cultural characteristics that contribute to the distinct identity and prioritize projects that meet the needs of the community and neighborhood by developing a new facility to train Firemen and women to better protect and provide public safety and service.

10. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding land use, efficient development patterns, and infill development from Chapter 5: Land Use.

- A. GOAL 5.2: COMPLETE COMMUNITIES: Foster communities where residents can live, work, learn, shop, and play together.

Any addition or expansion of a Fire Department facility, helps to provide protection of life, property, and the environment from the effects of fires, medical emergencies, and hazards, therefore fostering communities where residents can live, work, learn, shop and play together. The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would foster job creation and improve safety, allowing for residents to live, work, learn, shop, and play together. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in the city. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- B. POLICY 5.2.1: LAND USES: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request to change the subject sites zoning to NR-SU for the development of a Fire station and training center would contribute to creating a healthy and sustainable community. The request would facilitate expansion of the existing fire station and development of additional Fire Station uses that are lacking in City. Additionally, a community meeting room is proposed on site, which is conveniently accessible from surrounding neighborhoods via streets, adequate sidewalk infrastructure, bike routes, and transit.

- C. GOAL 5.3 CITY EFFICIENT DEVELOPMENT PATTERNS: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land by facilitating development that maximized the utility of existing infrastructure and public facilities including streets, transit, and water and sewer services.

- D. POLICY 5.3.1 INFILL DEVELOPMENT: Support additional growth in areas with existing infrastructure and public facilities.

The request would support growth on a vacant infill site within an existing residential area. The proposed development would be served by existing infrastructure and public facilities.

11. The request clearly facilitates the following Comprehensive Plan Policies regarding Infill and Development Quality from Chapter 7: Urban Design

- A. POLICY 7.3.4: INFILL: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

The subject site is an underused public property, formerly a park, in a developed commercial and industrial area. Proposed development of the site would create



infill and enhance the built environment, particularly through streetscape improvements.

- B. POLICY 7.3.5 DEVELOPMENT QUALITY: Encourage innovative and high-quality design in all development.

The request would facilitate development of a Fire Station. The proposed Site Plan specifies building design, site, and development standards that would ensure high quality design through site circulation, building materials, and plant pallet. The Site circulation is designed in a way where the Fire trucks have the ability to pull through, cutting time for reversing into the truck bay. The building is designed with quality materials and a simple color aesthetic, like burnished face CMU, Stucco and Metal siding, and brushed aluminum door and window framing. Last the landscaping chosen provides a diverse color pallet, by selecting a variety of trees and shrubs that are compliant with the ABQ Plant Pallet List.

- C. POLICY 7.5.1 LANDSCAPE DESIGN: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The landscape plan proposes a plant list that is pursuant to the City's approved Plant Palette containing only low water usage plants that are consistent with the high desert climate. The Landscape plan also follows all IDO section 5-6 Landscaping, Buffering and screening requirements and contributes to sense of place.

12. The request clearly facilitates the following Comprehensive Plan Goals and Policies regarding Community Facilities from Chapter 12: Infrastructure, Community Facilities & Services

- A. GOAL 12.2 COMMUNITY FACILITIES: Provide community facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The request would eliminate an existing nonconforming park space and expand vital community safety services. Access to 3<sup>rd</sup> St. and McKnight Ave. ensures efficient service delivery. Future development of the fire station includes a proposed community meeting space for persons of all ages, which could generally promote community involvement.

- B. POLICY 12.2.3: NEW FACILITIES: Locate new facilities in areas with excellent access to provide services to underserved and developing areas.

The request would correct an existing nonconformity in the park space that has experienced blight, expand the facility to better serve the surrounding area, and expand Fire services throughout the city through the new facility and proposed future training center. Easy access to 3<sup>rd</sup> St., a Principal Arterial and designated Commercial Corridor, and Indian School Rd., an Urban Interstate Frontage, and I-

25, an Interstate Highway and Commuter Corridor, and 4<sup>th</sup> St., a designated Multi-modal Corridor, ensure that services would be provided to a high-need area.

- C. GOAL 12.3 PUBLIC SERVICES: Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.

The city has planned and coordinated to expand an existing fire station, and to provide a new Fire training facility, an efficient and equitable use, to best serve residents of the surrounding area to protect their health safety and well-being.

- D. POLICY 12.3.1: ACCESS TO PUBLIC SERVICES: Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.

The request would maximize residents' access to Public Safety services centrally located within the city. The existing fire station cannot expand to meet these needs with the current zoning, and the development would help to distribute these services equitably throughout the city.

- E. POLICY 12.3.3 FIRE AND RESCUE: Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.

The request would facilitate redevelopment and expansion of a City Fire Station, which would provide fire and rescue EMS services to the surrounding community to help save and protect lives and property.

- F. GOAL 12.5 RESOURCES: Identify and allocate sufficient resources to support infrastructure, community facility, and public service needs in order to invest public dollars efficiently and effectively and to maintain a sound fiscal position.

The City is allocating public resources to support a redevelopment of fire public services on a property that is already owned by the City and in the possession of AFR. The resource would support infrastructure needs for the area and would generally result in an efficient investment of public dollars.

- G. POLICY 12.5.2: COST ALLOCATION: Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.

The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs by expanding the existing Fire Station facility to accommodate new development of a training facility and a new upgraded Fire Station facility.

13. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(l)(3)-Review and Decision Criteria for a Site Plan-EPC, as follows:

A. Criterion A:

As demonstrated by the policy-based analysis, the proposed Site Plan is consistent with applicable Comprehensive Plan Goals and policies

B. Criterion B:

The request is for a Fire Station use, which requires the zone designation of NR-SU. The request for a Site Plan-EPC is in conjunction with a zone change from NR-PO-A to NR-SU. The Site Plan proposes uses, standards, and development standards pursuant to the IDO. Any future development would be required to comply with the approved NR-SU Site Plan associated with this request.

C. Criterion C:

The request is for Zoning Map Amendment to NR-SU for development of a Fire Station. The Site Plan specifies uses, standards and development standards which are negotiated at the EPC.

The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

D. Criterion D:

The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure has adequate capacity for the proposed development made possible by this request.

E. Criterion E:

The applicant has demonstrated that the request would not negatively impact the surrounding area based on responses to applicable Comprehensive Plan Goals and Policies. The applicant has stated that they have taken steps to mitigate any adverse impacts on the surrounding community by choosing to follow applicable IDO Standards for the Site Plan.

F. Criterion F:

The subject property is not within a Master Development Plan.

G. Criterion G:

The subject property is within the Railroad and Spur Area. The proposed development for Fire Station 4 does not meet all of the criteria of Subsection 14-16-5-2(E)(1), therefore, there are no requirements for mitigation. There is a minimal amount of residential development on the west side of 5th Street approximately 687 feet to the west of the subject property and no residential use in any mixed-use zone district within 1,320 feet. The Applicant is not proposing any of the uses listed in Section 5-2(E)(1)(c).

14. The affected neighborhood organizations, Wells Park NA and the Near North Valley NA, were contacted, as well as property owners within 100 feet of the subject site, as required.
15. A pre-application facilitated neighborhood meeting was held March 19, 2024.
16. There were no unresolved issues or concerns, and at the conclusion of the facilitated meeting, participants support the intended Fire Station and one-half acre park. There was no opposition to the request.

### ***Recommendation***

***APPROVAL of Project #: PR-2024-010349 / SI-2024-00677, a request for Site Plan EPC, for a property legally described as for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, Map (H-14-Z), approximately 4.1 acres, based on the preceding Findings and subject to the following Conditions of Approval.***

### ***Recommended Conditions of Approval***

***Case #: SI-2024-00677, Application Description***

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that the EPC Conditions in the Official Notification of Decision have been met. The staff planner will provide a post-EPC memo.
3. **CONDITIONS FROM SOLID WASTE:** A site plan approved by the Solid Waste Department will be required. The scaled site plan can be sent to [hgallegos@cabq.gov](mailto:hgallegos@cabq.gov) for review. Reference <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordfont14.pdf> for minimum requirements for a trash enclosure.

4. **CONDITIONS FROM PNM:** It is the applicant’s obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.  
Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.  
Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat.  
Structures, especially those made of metal like restrooms, storage buildings, and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM.  
Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.  
The applicant should contact PNM’s New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.
5. **TRANSPORTATION DEVELOPMENT REVIEW SERVICES CONDITION:** The applicant shall provide a Traffic and fire truck Circulation Layout.
- 

*Rebecca Bolen*

**Rebecca Bolen  
Principal Planner**

*Dustin Kiska*

**Dustin Kiska  
Planner**

**Notice of Decision cc list:**

Consensus Planning, Jackie Fishman, [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com)

City of Albuquerque Fire and Rescue, PO Box 1293 Albuquerque, NM 87103

City Legal, Devon King, [Dking@cabq.gov](mailto:Dking@cabq.gov)

City Legal, Nicole Sanchez [nasancez@cabq.gov](mailto:nasancez@cabq.gov)

Wells Park NA, Doreen McKnight, [doreenmcknightnm@gmail.com](mailto:doreenmcknightnm@gmail.com)

Near North Valley NA, Joe Sabatini, [jsabatini423@gmail.com](mailto:jsabatini423@gmail.com)

North Valley Coalition, Peggy Norton, [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com)

***Agency Comments***

**PLANNING DEPARTMENT**

*Long Range Planning*

No comments

*Hydrology*

No comments

*Transportation Development Services*

Transportation has no objection to the Zoning Map Amendment for this item.

*Zoning / Code Enforcement*

No comments

**OTHER CITY OF ALBUQUERQUE DEPARTMENTS / OFFICES**

*Aviation Department*

No comments

*Department of Municipal Development*

No comments

*Metropolitan Redevelopment Agency*

No comments

*Office of Neighborhood Coordination*

No comments

*Police Department/Planning*

No comments

*Solid Waste Department*

A site plan approved by the Solid Waste Department will be required. The scaled site plan can be sent to [hgallegos@cabq.gov](mailto:hgallegos@cabq.gov) for review. Reference <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordfont14.pdf> for minimum requirements for a trash enclosure.

*Transit Department*

ABQ Ride has no substantive comment on any of the June EPC cases.

**OTHER AGENCIES**

*Albuquerque-Bernalillo County Water Utility Authority (ABCWUA)*

No comments

*Albuquerque Public Schools (APS)*

- a. EPC Description:
  - i. RZ-2024-00029, Zoning Map Amendment (Zone Change).
    - ii. SI-2024-00677, Site Plan EPC
  - b. Site Information: Tract Coronado Park/Fire Station R #4, Franciscan Addition.
  - c. Site Location: 301 McKnight Ave NW, between 3<sup>rd</sup> St. NW and 4<sup>th</sup> St. NW.
  - d. Request Description: Request for a zoning map amendment from NR-PO-A to NR-SU and a Site Plan EPC for a Fire Station.
  - e. No Comment.

*Albuquerque Metropolitan Arroyo Flood Control (AMAFCA)*

- RZ-2024-00029– Zoning Map Amendment (Zone Change) • No adverse comments to the zone map change.
- SI-2024-00677 – Site Plan EPC • No adverse comments to the Site Plan- EPC.

*Bernalillo County*

No comments

*Kirtland Air Force Base (KAFB)*

No comments

*Middle Rio Grande Conservancy District (MRGCD)*

No comments

*Mid-Region Council of Governments (MRCOG)*

No comments

*National Park Service (NPS) / Petroglyph National Monument*

No comments

*New Mexico Gas Company*

No comments

*New Mexico Department of Transportation (NMDOT)*

No comments

*Public Service Company of New Mexico (PNM)*

There are PNM facilities and/or easements along the west side of the site, the I-40 / Indian School Rd frontage (norths side) and the 3<sup>rd</sup> Street frontage.



It is the applicant's obligation to determine if existing utility easements or rights-of-way are located within the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on any future Site Plan and any future Plat.

Structures, especially those made of metal like restrooms, storage buildings, and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

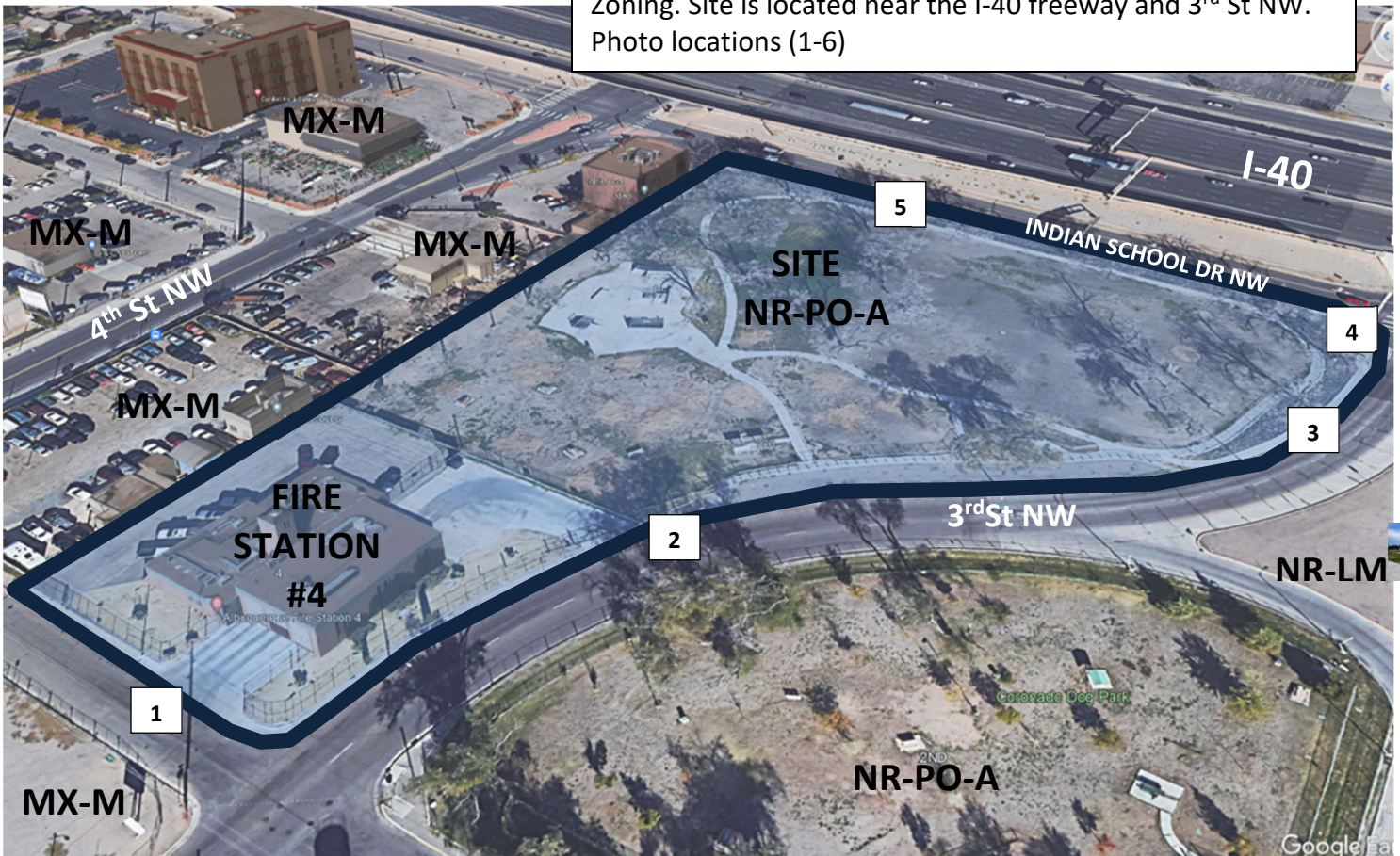
*If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.*

*Mid-Region Metropolitan Planning Organization (MRMPO)*

MRMPO has no adverse comments.

**A) PHOTOGRAPHS**

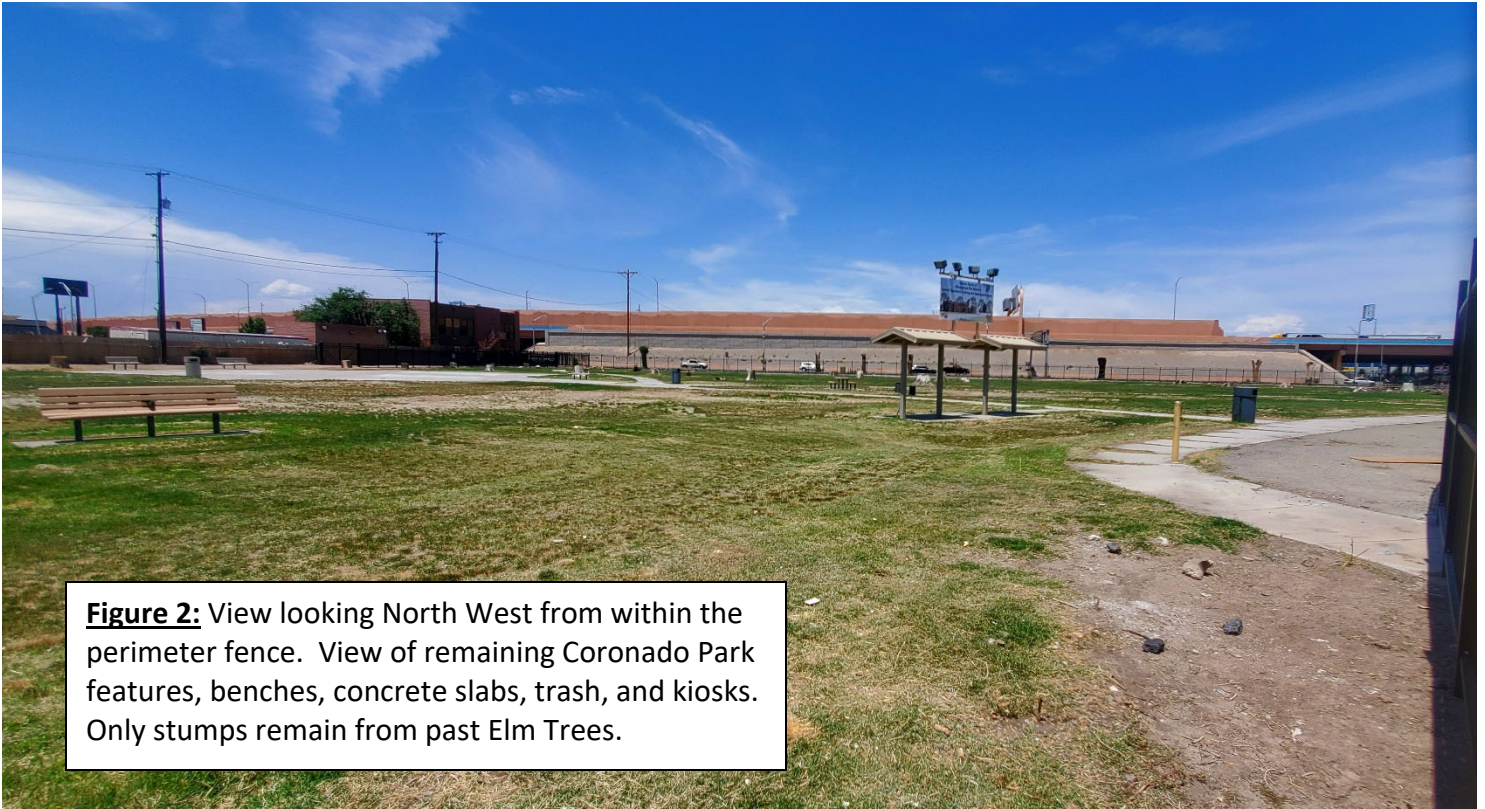
**Figure 0.0:** 3D birds eye views provided by Google Earth 2022, looking North West, showing overall site and adjacent Zoning. Site is located near the I-40 freeway and 3<sup>rd</sup> St NW. Photo locations (1-6)



**Figure 1:** Looking North at the existing Fire Station #4 Facility, from McKnight Ave NW. This is the southern most edge of the subject site.





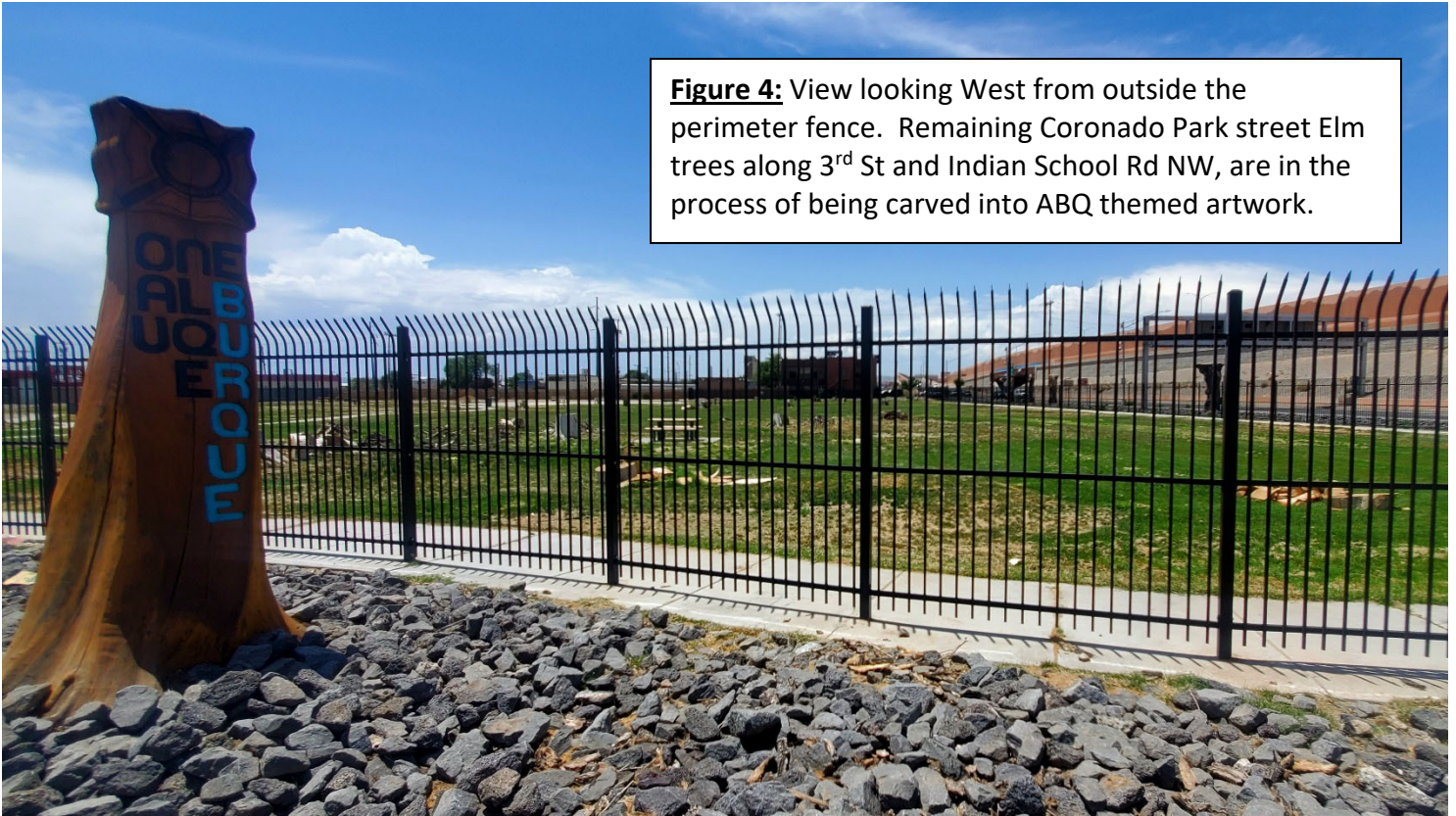


**Figure 2:** View looking North West from within the perimeter fence. View of remaining Coronado Park features, benches, concrete slabs, trash, and kiosks. Only stumps remain from past Elm Trees.



**Figure 3:** View looking West from within the perimeter fence. View of remaining Coronado Park features, benches, concrete slabs, trash, and kiosks. Only stumps remain from past Elm Trees.





**Figure 4:** View looking West from outside the perimeter fence. Remaining Coronado Park street Elm trees along 3<sup>rd</sup> St and Indian School Rd NW, are in the process of being carved into ABQ themed artwork.



**Figure 5:** View looking South from outside the perimeter fence at the northern most edge of the site along Indian School Rd NW. Large landscaping rock outside of fence to remain.





**Figure 6, 7, 8:** Required sign posting at the site.  
(Sign to be posted by Applicant)  
(1) sign on 301 McKnight Ave NW.  
(1) sign on 3<sup>rd</sup> St NW.  
(1) sign on Indian School Blvd NW.

**B) HISTORY**

**PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946**

## **OFFICIAL NOTIFICATION OF DECISION**

Supreme Investments, LLC  
P.O. Box 9043  
ABQ, NM 87119

**Project# PR-2019-003030**  
**Application#**  
**SD-2020-00213 PRELIMINARY/FINAL PLAT**

### **LEGAL DESCRIPTION:**

For all or a portion of: **TRACT B1, LAND OF MEL SANCHEZ & LATH & PLASTER SUPPLY** zoned NR-LM, located at **5300 2ND ST between MONTANO and GRIEGOS**, containing approximately 5.45 acre(s).  
(F15)

On February 10, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to ABCWUA and Planning, based on the following Findings:

1. This Preliminary/Final Plat subdivides one tract 5.45 acres in size into three tracts; Tract B-1-A at 3.5232 acres in size, Tract B-1-B at 0.6083 acres in size, and Tract B-1-C at 1.3199 acres in size.
2. The property is zoned NR-LM. Future development must be consistent with the underlying zone district.
3. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

### **Conditions:**

1. Final sign-off is delegated to ABCWUA for an off-site public water and sanitary sewer easement to be signed and recorded with the county and populated onto the plat.
2. Final sign-off is delegated to Planning for utility/AMAFCA signatures, MRGCD signature line and signature on the Plat, and the AGIS DXF file.
3. The applicant will obtain final sign off from ABCWUA and Planning by April 10, 2021 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.



Official Notice of Decision

Project # PR-2019-003030 Application# SD-2020-00213

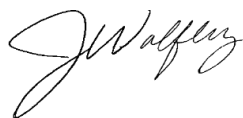
Page 2 of 2

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **FEBRUARY 25, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) (if files are less than 9MB in size). Files larger than 9MB can be sent to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) using <https://wettransfer.com>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Wolfley', written in a cursive style.

Jolene Wolfley  
DRB Chair

JW/jr

**C) APPLICATION INFORMATION**



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input checked="" type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: City of Albuquerque Fire and Rescue		Phone: 505 764-9801
Address: PO Box 1293		Email: jeserna@cabq.gov
City: Albuquerque	State: NM	Zip: 87103
Professional/Agent (if any): Consensus Planning, Inc.		Phone: 505 764-9801
Address: 302 Eighth Street, NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

Zone Map Amendment for NR-SU for Fire Station and associated Site Plan-EPC.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Coronado Park/Fire Station R #4	Block: 0000	Unit:
Subdivision/Addition: Franciscan Addition	MRGCD Map No.:	UPC Code: 101405931311141604
Zone Atlas Page(s): H-17	Existing Zoning: NR-PO-A	Proposed Zoning: NR-SU
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 4.09 acres

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 301 McKnight Avenue NW	Between: 3rd Street	and: 4th Street
---	---------------------	-----------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: May 9, 2024
Printed Name: Jacqueline Fishman, AICP, Principal, Consensus Planning, Inc.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P1: SITE PLAN – EPC**

*Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.*

- SITE PLAN – EPC**
- MASTER DEVELOPMENT PLAN**
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

No Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

Signed Traffic Impact Study (TIS) Form

Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

N/A Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

If a meeting was requested/held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1)

Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

Scaled Site Plan or Master Development Plan and related drawings

*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only)

N/A Site Plan or Master Development Plan

N/A Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

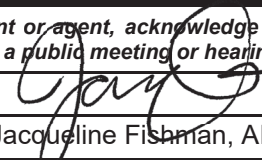

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

**VARIANCE – EPC**

\_\_\_\_\_ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: May 9, 2024</p>
<p>Printed Name: Jacqueline Fishman, AICP, Principal, Consensus Planning, Inc.</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Case Numbers:</p>	<p>Project Number:</p>
<p>Staff Signature:</p>	
<p>Date:</p>	

**Form Z: Policy Decisions**

**Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)**

- Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Letter of authorization from the property owner if application is submitted by an agent
- Traffic Impact Study (TIS) form (*not required for Amendment to IDO Text*)
- Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (*not required for Amendment to IDO Text*) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

**ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN**

**ADOPTION OR AMENDMENT OF FACILITY PLAN**

- Plan, or part of plan, to be amended with changes noted and marked
- Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

**AMENDMENT TO IDO TEXT**

- Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

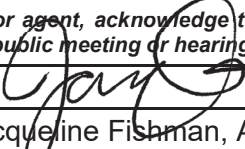

**ZONING MAP AMENDMENT – EPC**

**ZONING MAP AMENDMENT – COUNCIL**

- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement

**ANNEXATION OF LAND**

- Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*
- Petition for Annexation Form and necessary attachments
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)
- Board of County Commissioners (BCC) Notice of Decision

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: </p>	<p>Date: May 9, 2024</p>	
<p>Printed Name: Jacqueline Fishman, AICP, Principal, Consensus Planning, Inc.</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p><b>FOR OFFICIAL USE ONLY</b></p>		
<p>Project Number:</p>	<p>Case Numbers</p>	
	-	
	-	
	-	
<p>Staff Signature:</p>		
<p>Date:</p>		





For more details about the Integrated Development Ordinance visit: <http://www.caba.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Gray Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:  
**H-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

# CITY OF ALBUQUERQUE

*Department of Municipal Development / Interim Director / Jennifer Turner*



May 6, 2024  
Jonathan Hollinger, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Dear Mr. Chairman,  
This letter authorizes Consensus Planning, Inc. to act as agent for all matters related to the request for Zone Map Amendment and a Site Plan-EPC to the Environmental Planning Commission for the property located 301 McKnight Avenue, NW. The property is legally described as *Portion of Coronado Park less portion to right-of-way Franciscan Addition*. The City is planning to construct a new Fire Station at this location.

Sincerely,

Juan Serna  
Construction Project Manager  
DMD  
jeserna@cabq.gov



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** AFR FIRE STATION #4 SPECIAL OPERATIONS CENTER

Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: H-14-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: PORT OF CORONADO PARK LESS PORT TO R/W FRANCISCAN ADDN CONTAINS 4.09 ACRES

Development Street Address: 301 MCKNIGHT AVE NW

Applicant: CITY OF ALBUQUERQUE, DEPARTMENT OF MUNICIPAL DEVELOPMENT via CONSENSUS PLANNING Contact: JACKIE FISHMAN

Address: 302 EIGHTH ST NW, ALBUQUERQUE, NM 87102

Phone#: 505-764-9801 Fax#: \_\_\_\_\_

E-mail: fishman@consensusplanning.com

### Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: NR-PO-A / NR-SU

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:  
NEW 11,987 SF FIRE STATION TO REPLACE EXISTING 8,105 SF FIRE STATION ON SITE. EXISTING FIRE STATION TO BE USED FOR STORAGE AND WILL NOT BE OCCUPIED FULLY

Days and Hours of Operation (if known): 24 HOURS A DAY/7 DAYS A WEEK (ANTICIPATED)

### Facility

Building Size (sq. ft.): 11,987 SF TOTAL- SEE ABOVE

Number of Residential Units: NONE

Number of Commercial Units: NONE

### Traffic Considerations

ITE Trip Generation Land Use Code (710)- GENERAL OFFICE BUILDING, UNKNOWN FOR FIRE STATION

Expected Number of Daily Visitors/Patrons (if known):\* 8 TOTAL ACROSS FACILITY

Expected Number of Employees (if known):\* 12 FIRESTATION EMPLOYEES TOTAL

Expected Number of Delivery Trucks/Buses per Day (if known):\* +/- 1 (FEDEX UPS ETC)

Trip Generations during PM/AM Peak Hour (if known):\*\* 12 FOR SHIFT CHANGE AT FIRE STATION (WORST CASE), SO +/-12 TOTAL

Driveway(s) Located on: Street Name BOTH ON MCKNIGHT AND 3RD STREET- WILL UTILIZE EXISTING DRIVEPADS



Adjacent Roadway(s) Posted Speed: Street Name 3RD STREET NW Posted Speed 30 MPH  
Street Name MCKNIGHT AVE NW Posted Speed 30 MPH

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: 3RD ST- REGIONAL PRINCIPAL ARTERIAL; MCKNIGHT AVE- LOCAL; INDIAN SCHOOL TO THE NORTH IS MAJOR COLLECTOR (I-40 FRONTAGE ROAD)  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: \_\_\_\_\_  
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): CITY

Adjacent Roadway(s) Traffic Volume: < 5,000 (3RD ST) Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): BUS ROUTE 7, 13 Nearest Transit Stop(s): 3RD AND HAINES (1 BLOCK SOUTH ON 3RD)

Is site within 660 feet of Premium Transit?: YES (BASED ON ABOVE BUS ROUTES?)

Current/Proposed Bicycle Infrastructure: EXISTING (PROPOSED BY CITY FUTURE PROJECT) BIKE PATH ALONG 3RD STREET , NONE PLANNED  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: NONE EXCEPT EXISTING SIDEWALKS ON SHOULDER OF 3RD AND MCKNIGHT - WILL PRESERVE THESE WITH THIS PROJECT- NO CHANGE.

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

*M.P. P.E.*

5/7/2024

TRAFFIC ENGINEER

DATE

**Submittal**

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

## Preapplication Notification

Jackie Fishman <fishman@consensusplanning.com>

Fri 2/23/2024 5:22 PM

To:jsabatini423@gmail.com <jsabatini423@gmail.com>;nearthvalley@gmail.com <nearthvalley@gmail.com>;  
peggynorton@yahoo.com <peggynorton@yahoo.com>;jasalazarm@gmail.com <jasalazarm@gmail.com>;  
doreenmcknightm@gmail.com <doreenmcknightm@gmail.com>;mprando@msn.com <mprando@msn.com>  
Cc:Charlene Johnson <Johnson@consensusplanning.com>

 1 attachments (2 MB)

Fire Station 4 - Combined NA Notification Packet.pdf;

Dear Neighbors,

This email is intended to notify you that Consensus Planning is preparing an application to the Environmental Planning Commission (EPC) on behalf of the City of Albuquerque for a Zone Map Amendment and Site Plan-EPC for the property at 301 McKnight Avenue NW. The City Fire Department is requesting a zone change from NR-PO-A to NR-SU for a Fire Station and Training Facility. The NR-SU zone requires an associated site plan to be approved by the EPC. The new facility will be located just north of the existing Fire Station 4 at what is currently Coronado Park.

In accordance with the Integrated Development Ordinance (IDO) requirements, we are providing you with an opportunity to discuss this request prior to the application being submitted. Should you desire to meet or would like additional information, please feel free to contact me via email or Char Johnson at [johnson@consensusplanning.com](mailto:johnson@consensusplanning.com) or by phone at (505) 764-9801. Per the IDO, you have 15 days or until March 9<sup>th</sup> to request a meeting.

Attached: Pre-Application Notification Packet

**Jacqueline Fishman, AICP**

Principal

Consensus Planning, Inc.

302 Eighth Street NW

Albuquerque, NM 87102

P: 505.764.9801



May 30, 2024 (replaces the May 9, 2024 letter)

Jonathan Hollinger, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

**RE: Request for Zoning Map Amendment and Site Plan-EPC**

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Mr. Hollinger:

The purpose of this letter is to request approval of a Zoning Map Amendment (zone change) and a Site Plan-EPC on behalf of the City Fire and Rescue. The Subject Property is located on what was previously Coronado Park, located just east of 4<sup>th</sup> Street, and south of Indian School Road NW. The subject property is 4.09 acres in size, and is zoned NR-PO-A. The property is legally described as *Portion of Coronado Park less portion to right-of-way Franciscan Addition*. The Applicant is requesting a Zone Map Amendment from NR-PO-A to NR-SU to allow a new Fire Station and a Site Plan-EPC for the new Fire Station.



*Project Site.*

**PROJECT DESCRIPTION**

The proposed Fire Station is an 11,987 square foot, single-story building designed to follow the Albuquerque Fire Department’s prototype, which incorporates common design and operational elements to reduce the development costs for the facility. The current zoning of NR-PO-A was designated with the adoption of the Integrated Development Ordinance in 2018, thus making the existing fire station on the property non-conforming. The existing fire station has caused no disruption to the surrounding area. A change of zoning to NR-SU will correct the non-conformance on the property and bring the site into compliance with the IDO. As part of a zone change to NR-SU,

**PRINCIPALS**

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

**ASSOCIATES**

Ken Romig, PLA, ASLA,  
SITES AP

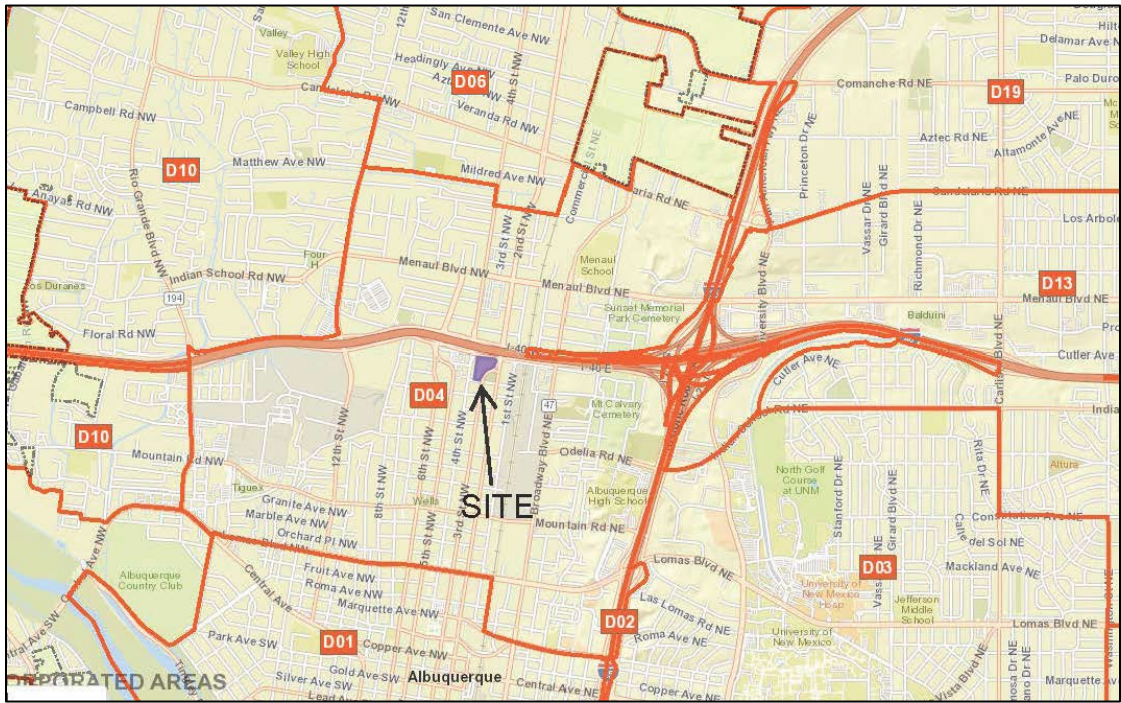




the Site Plan is required to be approved by the Environmental Planning Commission (EPC).

**BACKGROUND**

There are 22 Fire Districts in Albuquerque. Fire District 4 serves the Downtown area, including the neighborhoods of Wells Park, Santa Barbara Martineztown, and Sawmill. Fire District 4 Geographic Response Zone is 3.0 miles, and it responds to the largest number of emergency calls of any other Fire District. The existing Fire Station 4 is located at the southern end of the subject property along McKnight Avenue. The northern end was most recently Coronado Park, which was closed in 2023 by Mayor Keller. The City Administration determined the best use of the site was to serve as the location for a new expanded Fire Station 4 and associated training facilities.



Surrounding Fire Districts.

**Historic Significance**

In 1999, the site was reviewed for historical significance due to the presence of a historic train locomotive. In 1999, the Railroad Historical Society sought to move Locomotive 2926 from Coronado Park to a temporary site to assess the Locomotive’s condition and determine where it would be stored permanently. Coronado Park was not considered a site of any historic significance.

**EXISTING CONDITIONS**

The subject property is located at the southwest corner of Indian School Road (an Urban Interstate Frontage) and 3<sup>rd</sup> Street NW (an Urban Principal Arterial). The 2<sup>nd</sup> Street on-ramp to I-40 is located just to the east of the subject property. The subject property is within a designated Area of Consistency and is bordered on its south and west sides by Areas of Change.

The subject property is also located within the North 4<sup>th</sup> Corridor CPO-9 and the 4<sup>th</sup> Street Main Street Corridor. CPO-9 (IDO Section 14-16-3-4-(J)(1-5) provides requirements for setbacks abutting 4<sup>th</sup> Street, maximum building height and

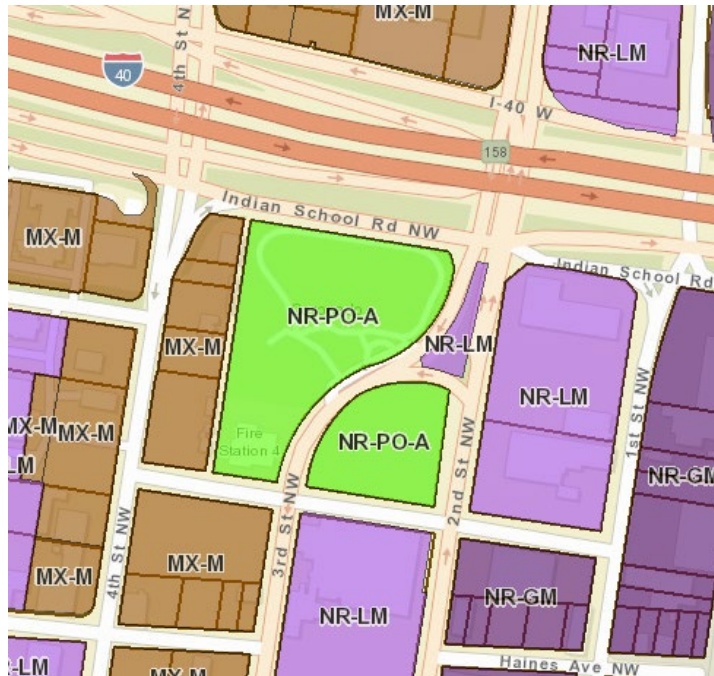
stepbacks, and building design; however, where the Site Plan is silent on any standard, the IDO and CPO standards apply on NR-SU zoned sites per IDO Section 2-5 (see page 8 for the table containing Applicable Standards for Development on NR-SU Site).

The site contains several features that will be retained during redevelopment, including a 6-foot perimeter fence and sidewalks along 3<sup>rd</sup> Street and Indian School Road. The City has removed all of the trees on the site, which were severely damaged or dead.

**Zoning and Land Use**

The area surrounding the subject property contains a diversity of higher intensity zones and land uses. To the north, the property abuts the I-40 frontage with commercial retail and services on the north side of I-40; to the east, the property is zoned NR-LM, and the land use consists of commercial services and light industrial; to the south, across McKnight Avenue NW, zoning is MX-M and NR-LM with land uses of office, community, and light industrial; to the west, the property is zoned MX-M and the land use consists of commercial services, retail, and offices.

TABLE 1: SURROUNDING ZONING AND LAND USE		
Direction	Zoning	Land Use
North	MX-M, NR-LM	Commercial Retail and Services
East	NR-LM, NR-PO-A	Commercial Services, Industrial, and Dog Park
South	MX-M & NR-LM	Industrial, Community, and Commercial Services
West	MX-M	Office, Commercial Retail, and Commercial Services



*Existing Zoning*



Existing Land Use

## ZONING MAP AMENDMENT CRITERIA

This request for a Zoning Map Amendment complies with the criteria in *IDO Section 14-16-6-7(G)(3)* as follows:

**Criterion 6-7(G)(3)(a)** *The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not conflicting with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.*

**Applicant's Response:** The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by its furthering of the applicable Comprehensive Plan's goals and policies, as follows:

### Comprehensive Plan Goals and Policies

**Goal 5.2: Complete Communities:** *Foster communities where residents can live, work, learn, shop, and play together.*

**Applicant's Response:** The zone change clearly facilitates Goal 5.2 by reclaiming the property for a public safety use to support community safety, quality of life, and allow for more Fire Department personnel to work in that location. As the most active Fire Station in Albuquerque, the addition of an updated station and training facilities will create a safer community where residents feel secure to gather and experience their neighborhood.

**Policy 5.2.1: Land Uses:** *Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.*

**Applicant's Response:** The zone change will clearly facilitate Policy 5.2.1 because neighborhood health hinges on public safety, and the inclusion of a modern fire station and fire training academy will increase safety, increase the mix



of land uses in the area, and provide Wells Park and Near North Valley neighborhoods with a facility that is conveniently accessible. The subject site is surrounded by NR-LM and MX-M zoned properties with uses ranging from wholesaling distribution centers to office buildings. The NR-SU zone will allow for expanded emergency services and support the overall community need for a new fire training academy that produces new firefighters.

**Goal 5.6 City Development Areas:** *Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.*

**Applicant's Response:** The zone change to NR-SU will clearly facilitate the implementation of Goal 5.6 because while the property is located within an Area of Consistency, it is adjacent to 3<sup>rd</sup> Street, an appropriate area for new development that is characterized by higher intensity development and is zoned MX-M and NR-LM. The proposed zoning to NR-SU will ensure the new Fire Station 4 will be designed appropriately for a site within CPO-9 because it will be controlled by an EPC approved site plan.

**Policy 5.6.2 Areas of Consistency:** *Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.*

**Applicant's Response:** The zone change to NR-SU will clearly facilitate the implementation of Policy 5.6.2 because it requires the approval of a Site Plan-EPC, including building elevations, that will ensure the proposed development is at an appropriate scale and protects and enhances the existing character, size, and scale of the surrounding neighborhoods.

**Policy 7.3.4: Infill:** *Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.*

**Applicant's Response:** The zone change will clearly facilitate Policy 7.3.4 by supporting infill development on a currently underutilized property that had sustained major damage over time from its previous use as the City's largest homeless encampment. The zone change will allow the subject property to be repurposed and support the enhancement of the built environment with a new public building and streetscape improvements that will enhance this entry to Downtown from I-40 and the North Valley. The current NR-PO-A zoning supports park use and development and does not allow fire stations or other buildings unless related to parks and recreation.

**Goal 12.2 Community Facilities:** *Provide communities facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.*

**Applicant's Response:** The zone change to NR-SU will clearly facilitate the implementation of Goal 12.2 through its visibility and convenient access from 3rd Street and McKnight Avenue. It utilizes a site that is familiar to the community and will have convenient access to surrounding neighborhoods. Fire Station 4 will incorporate a meeting room in future phases that community members can utilize for a variety of activities aimed at enhancing quality of life and promoting





community involvement such as public meetings, education classes, social gatherings.

***Policy 12.2.3: New Facilities:*** *Locate new facilities in areas with excellent access to provide services to underserved and developing areas.*

**Applicant's Response:** The zone change will clearly facilitate Policy 12.2.3 by allowing for the development of a new public safety facility in this area of Downtown Albuquerque, which is adjacent to 3<sup>rd</sup> Street, a Principal Arterial and designated Commercial Corridor, and Indian School Road, an Urban Interstate Frontage, and I-25, an Interstate Highway and Commuter Corridor. The site is just east of Fourth Street, a designated Multi-modal Corridor, and within the Fourth Street Main Street Corridor Area. Proximity to the City's major street network provides the necessary access to meet the City's guarantee of a four-minute response time to emergency calls in an area that has a high need for services.

***Goal 12.3 Public Services:*** *Plan, coordinate, and provide efficient, equitable, and environmentally sound services to best serve residents and protect their health, safety, and well-being.*

**Applicant's Response:** The zone change to NR-SU will clearly facilitate Goal 12.3 by planning, coordinating, and providing for the efficient and equitable provision of public safety services in an area of high need and that will best serve residents and protect their health, safety, and well-being. The expansion of Fire Station 4 in this location will allow Fire and Rescue to respond more efficiently to emergency calls for service.

***Policy 12.3.1: Access to Public Services:*** *Maximize residents' access to public services and distribute services equitably, whether they are provided by the City or County or in partnership with other agencies.*

**Applicant's Response:** The zone change will clearly facilitate Policy 12.3.1 by increasing access to emergency services, as well as creating a space that can serve as a community gathering area in the future. The construction of the new Fire Station 4 will improve the current response times and the Fire and Rescue's ability to serve the community more equitably within a high need area of the City.

***Sub-policy a:*** *Ensure that the location of public safety facilities provides adequate response rates.*

**Applicant's Response:** The zone change will clearly facilitate this Sub-policy, because the new facility will have enhanced resources to serve Fire District 4 more efficiently and at better response rates. The subject property has direct access to the major street network, which provides excellent connectivity to the neighborhoods within Fire District 4.

***Policy 12.3.3 Fire and Rescue:*** *Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies.*

**Applicant's Response:** The zone change will clearly facilitate Policy 12.3.3 by providing this area with increased access to emergency medical services that will save lives, property, and the environment. Albuquerque Fire and Rescue is utilizing an existing City property for the new Fire Station, which was discussed



and supported by the public through their neighborhood representatives at a facilitated meeting (*see attached meeting notes*). From this location, Albuquerque Fire and Rescue can coordinate with the Albuquerque Police Department and Albuquerque Community Safety Departments to ensure District 4 neighborhoods are adequately served. This location is also near several non-profit entities that serve the unhoused population, such as HopeWorks and Healthcare for the Homeless, which Albuquerque Fire and Rescue cooperates with regularly.

***Policy 12.5.2: Cost Allocation:*** *Allocate the costs of new community and public facilities and infrastructure extensions and upgrades fairly and equitably to support new development.*

**Applicant's Response:** The zone change will clearly facilitate Policy 12.5.2 by allocating costs to expand a crucial community and public facility in an area that bears a disproportionate share of emergency calls and situations. New fire stations have been constructed or planned in other parts of Albuquerque in recent years, such as Fire Station 9 on Menaul and Eubank Boulevards (Northeast Heights), Fire Station 23 on 98<sup>th</sup> Street and Amole Mesa SW (Southwest Mesa), which is currently under construction, and a planned Fire Station 12 on Central Avenue and Shirley Street NE (East Central), which will be submitted to the EPC for approval next month. The development of the new Fire Station 4 clearly demonstrates the City's policy to allocate costs for new and expanded facilities in an equitable manner to meet community needs.

***Criterion 6-7(G)(3)(b)*** *If the subject property is located partially or completely in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria.*

- 1. There was typographical or clerical error when the existing zone district was applied to the property.*
- 2. There has been a significant change in neighborhood or community conditions affecting the site.*
- 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).*

**Applicant's Response:** The subject property is completely within an Area of Consistency and is adjacent to Areas of Change to the south and west. The zone change to NR-SU will reinforce and strengthen the established character of the area because it will remove a non-conforming use and upgrade the Fire Station 4 through an EPC approved site plan, ensuring the site does not differ from the existing character of the neighborhood relative to density, intensity, and connectivity.

Further, the NR-SU zone is more advantageous to the community as articulated in the Comprehensive Plan than the existing NR-PO-A because it will promote public safety in the area and will enable an underutilized City property to be redeveloped



in an area appropriate for the proposed use. The new Fire Station 4 will serve Downtown Albuquerque and the North Valley with modern equipment and a facility that can respond quickly to calls for emergency services. The subject property's adjacency to Areas of Change zoned MX-M and NR-LM may change in use and function from what they are now; however, there are regulations and mechanisms in place that will protect the Areas of Change as they may redevelop in the future regardless of land use.

**Criterion 6-7(G)(3)(c)** *If the subject property is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets any of the following criteria.*

1. *There was typographical or clerical error when the existing zone district was applied to the property.*
2. *There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.*
3. *A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).*

**Applicant's Response:** The subject property is not located within an Area of Change.

**Criterion 6-7(G)(3)(d)** *The requested zoning does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 14-16-4-3 associated with that use will adequately mitigate those harmful impacts.*

**Applicant's Response:** The NR-SU zone is limited to a few permissive uses that are not allowed in any other zone district. There are no Use Specific Standards in the IDO associated with fire or police stations. To mitigate potential harm to adjacent properties, the neighborhood, or the community, the IDO specifically requires site plan approval by the EPC for any NR-SU zoned properties. Once approved, the Site Plan-EPC will control the use and development of the Subject Property. The public safety use on the subject property can only be changed through a Major Amendment to the Site Plan through a public hearing before the EPC; an exceedingly unlikely scenario.

The table below shows the Applicant's proposed development standards for this project. The project design complies with established IDO standards, unless not applicable as noted in the table.

APPLICABLE STANDARDS FOR DEVELOPMENT ON NR-SU ZONED PROPERTY	
Overlay Zones	North 4 <sup>th</sup> Corridor (CPO-9)
Allowable Uses	Per IDO Section 4-2, Civic and Institutional Uses Subcategory - Fire Station
Use-Specific Standards	None apply
Dimensional Standards	Per Table 5-1-3 – Site Standards, Setback Standards, and Building Height



Site Design and Sensitive Lands	No Sensitive Lands present
Access and Connectivity	Per IDO Section 5-3(e)(3)(c)
Subdivision of Land	Per IDO Section 5-4
Parking and Loading	Per IDO Section 5-5
Landscaping, Buffering, and Screening	Per Site Plan and Landscape Plans
Walls and Fences	Per IDO Section 5-7 and Table 5-7-1 Maximum Wall Height
Outdoor and Site Lighting	Per IDO Section 5-8 and Table 5-8-1
Neighborhood Edges	None apply
Solar Access	Per IDO Section 5-10
Building Design	No street facing facades as defined by the IDO – building design as indicated on the proposed building elevations
Signs	Per IDO Section 5-12 and Table 5-12-2, as indicated on proposed building elevations – no freestanding sign proposed
Operation and Maintenance	Per IDO Section 5-13

The following permissive uses are allowed within the NR-SU zone. The total size of the subject property, 4.09 acres, precludes the development of most of the permissive uses under the NR-SU zoning, including airport, cemetery, correctional facility, fairgrounds, natural resource extraction, and stadium or racetrack.

PERMISSIVE USES ALLOWED IN THE NR-SU ZONE	
Airport	Fire Station or Police Station
Cemetery	Natural Resource Extraction
Correctional Facility	Solid Waste Convenience Center
Crematorium	Stadium or Racetrack
Fairgrounds	Waste and/or Recycling Transfer Station

**Criterion 6-7(G)(3)(e)** *The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems, meet any of the following criteria:*

1. *Have adequate capacity to serve the development made possible by the change of zone.*
2. *Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.*
3. *Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement (IIA).*
4. *Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City approved Development Agreement between the City and the applicant.*

**Applicant's Response:** The request meets both Criterion 1 and 2. The site has adequate capacity to serve the development made possible by the zone change that will remove the non-conforming status of the existing fire station. The site is an infill site in Downtown Albuquerque, and as an extension of Fire Station 4, it is already served by water, sewer, electric, and gas utilities. The site is served by a designated bike route along 3<sup>rd</sup> Street and a proposed bike route for McKnight Avenue. Along Indian School Road, the I-40 Overpass Trail is proposed, which will provide east/west access and connections to the Frontage Road. The request meets Criterion 2 because the project was approved by the City Council (with



concurrence from the Mayor's office), which budgeted capital funds for design and construction of the expanded Fire Station, clearance of the dead trees, and installation of the fence and cobble around the perimeter of the site. The Department of Municipal Development was assigned to oversee the project development on behalf of Albuquerque Fire and Rescue.

**Criterion 6-7(G)(3)(f)** *The applicant's justification for the Zoning Map Amendment is not completely based on the property's location on a major street.*

**Applicant's Response:** The justification for this zone change is not solely based on the property's location on a major street. The community safety, health, and welfare relies on the provision of and response times to emergency calls for service and is the main driver of this project. The residents within Fire Station 4 District have been well served from this site and will continue to be so once the facility has been expanded.

**Criterion 6-7(G)(3)(g)** *The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.*

**Applicant's Response:** The justification for this zone change is not based on the cost of land or economic considerations. Fire Station 4 has the highest number of calls in Albuquerque; the need to improve services and provide a training center is the primary reason driving this project. Secondly, the existing Fire Station is a non-conforming use, which the IDO regulates by restricting the expansion per IDO Sections 6-8(C)(2), 6-8(C)(5), and 6-6(C). In order to expand the non-conforming use, the request must meet all of the criteria listed under 6-6(C)(3). The Applicant's request does not meet the criteria because the project will expand the non-conforming use by more than 25%. The existing Fire Station is 8,105 square feet and the proposed Fire Station is 11,987 square feet. The proposed project represents a 48% expansion of the non-conforming use.

**Criterion 6-7(G)(3)(h)** *The Zoning Map Amendment does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the requested zoning will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least 1 of the following applies.*

- 1. The subject property is different from surrounding land because it can function as a transition between adjacent zone districts.*
- 2. The subject property is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.*
- 3. The nature of structures already on the subject property makes it unsuitable for the uses allowed in any adjacent zone district.*

**Applicant's Response:** While the NR-SU zone district is a spot zone and will be at spot zone in this location, the zone change will correct the non-conforming use of the existing Fire Station on the property, as well as clearly facilitate the ABC Comp Plan as demonstrated in the policy analysis contained in this letter. The current fire station use on the property is only permissive in the NR-SU zone and is not permissive in the adjacent NR-PO-A, MX-M, or NR-LM zones. The current zoning designation of NR-PO-A for a City-owned site containing an existing Fire Station



should be corrected. It is not suitable for the uses allowed in the MX-M, NR-PO-A, or NR-LM zone. The City is also in the process of expanding Wells Park, a significant public investment, and is a much better suited area for park use than the subject property. NR-SU zoning is appropriate for the subject property as a means to support public safety.

### **SITE PLAN-EPC**

The proposed Site Plan-EPC complies with the criteria in Section 14-16-6-6(l)(3) of the IDO as follows:

**Criterion 6-6(l)(3)(a):** *The Site Plan is consistent with the ABC Comp Plan, as amended.*

**Community Identity Goal 4.1 Character:** *Enhance, protect, and preserve distinct communities.*

**Applicant's Response:** The Site Plan and building elevations for the proposed fire station at 3<sup>rd</sup> Street and Indian School Road are consistent with Goal 4.1. The site has been designed with a modestly scaled building, one story in height, and with building materials and articulation details, including changes in building height; projections and recessions in the building massing; well-proportioned windows, doors, and translucent panels; a main entry protected from the elements by a portal; and a color palette that will enhance, protect, and preserve the distinct community of Wells Park. The Applicant is proposing a more extensive landscaped area with warm season turf at the 3<sup>rd</sup> Street and Indian School Road intersection as acknowledgement of the subject site's previous history as a park.

**Policy 4.1.2 Identity and Design:** Protect identity and cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

**Applicant's Response:** The proposed building elevations are consistent with the Policy 4.1.2 because the maximum height of the building is 29 feet and the buildings are relatively modest in size and scale, will not be intrusive to the neighborhoods, and will protect the identity and cohesiveness of the area. The building design and elevations are attractive, incorporate changes in materials, wall planes, and heights, and will thereby enhance the character of the area.

**Community Identity Policy 4.1.3 Placemaking:** *Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.*

**Applicant's Response:** The proposed Site Plan, Landscape Plan, and building design are consistent with Policy 4.1.3 because they help protect and enhance this entry into Downtown and Wells Park and contribute to a distinct identity and sense of place in the built environment. The project design supports community placemaking by encouraging positive community engagement at a location with a troubled recent history as the City's largest homeless encampment. A community meeting space and outdoor space will also support placemaking on this underutilized property. The design incorporates materials, colors, and landscaping that reflect and are consistent with the high desert climate.

**Community Identity Goal 4.3:** *Protect and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.*

**Applicant's Response:** The proposed Site Plan is consistent with Goal 4.3 because it will help the City of Albuquerque protect and enhance the natural and cultural characteristics and features that contribute to the distinct identity of Fire District 4 area. The City has prioritized the construction of Fire Station 4 to meet the public safety needs of Downtown and surrounding areas and provide a modern facility that fits the character of the area. The existing Fire Station 4 has served the community well, and the City Administration determined that this proposed site for the future Fire Station 4 was the right location. The new Fire Station will continue to serve the community and respond to the highest number of emergency calls in Albuquerque and will advance the Comprehensive Plan goal of providing public safety services to meet existing and future needs in an equitable manner.

**Goal 5.3 Efficient Development Patterns:** *Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.*

**Applicant's Response:** The Site Plan is consistent with Goal 5.3 by promoting a development pattern that maximizes existing infrastructure and proposes the efficient use of an existing City owned property to support the public good, specifically public safety. Fire Station 4 is in a high need area that is served by municipal infrastructure, including the major street network, transit, and water and sewer services.

**Policy 5.3.1 Infill Development:** *Support additional growth in areas with existing infrastructure and public facilities.*

**Applicant's Response:** The proposed Site Plan is consistent with Goal 5.3 because it supports additional growth in an area with existing infrastructure and public facilities as follows:

- Parks: Coronado Dog Park and Santa Barbara Martineztown Park and Ballfields
- Community Centers: Wells Park Community Center
- Bus Routes: Bus Route 7 (Candelaria Commuter), Bus Route 13 (Comanche Commuter), Bus Route 10 (North Fourth Street), and Bus Route 93 (Academy Commuter)
- Trails and Bike Facilities: 3<sup>rd</sup> Street Bike Route

**Policy 5.6.2 Areas of Consistency:** *Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.*

**Applicant's Response:** The Site Plan is consistent with this policy because it protects and enhances the character of the surrounding area. While an NR-SU site is not subject to design standards for Main Street Corridors, the Applicant is proposing one modestly scaled building, with a maximum height of 29 feet, which

reinforces and complements the scale and height of the surrounding non-residential neighborhood. Future development may include an outdoor training facility and a community meeting room. The northeast corner of the site is a relatively large, landscaped area lined with street trees that will provide an attractive and welcoming entry to Downtown for motorists, pedestrians, and bicyclists.

***Urban Design Goal 7.3 Sense of Place:*** Reinforce sense of place through context-sensitive design of development and streetscapes.

**Applicant's Response:** The Site Plan, Landscape Plan, and building elevations are consistent with this Urban Design Goal by reinforcing a sense of place through the context sensitive design of the Fire Station, its relationship to the surrounding development in this area, and its function as an entry point to Downtown. The design proposes quality development at an appropriate scale for this non-residential area. The project will enhance the built environment and bring new development to an otherwise blighted site. The exterior finishes include burnished block in a light grey color, fiber cement siding, stucco in light yellow color, and a bright red, perforated metal screen. The standing seam roof is in charcoal grey color. The proposed landscape plan provides a rich palette of plant materials appropriate for Downtown Albuquerque and an engaging and attractive streetscape, including Box Elder and Lacebark Elm trees, park area, sidewalks, and view fencing along 3<sup>rd</sup> Street and Indian School Road. In anticipation of this project, the City removed the dying, diseased trees.

***Policy 7.3.4 Infill:*** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

**Applicant's Response:** The Site Plan is consistent with Policy 7.3.4 because it promotes infill and redevelopment of a blighted City owned property with access to municipal utilities, transit services, and major street network. The built environment will be enhanced with the proposed mix of building materials, including burnished block, metal, stucco, fiber cement, and standing seam roof. The proposed street trees will greatly enhance the 3<sup>rd</sup> Street and Indian School Road streetscapes.

***Policy 7.3.5 Development Quality:*** Encourage innovative and high-quality design in all development.

**Applicant's Response:** The Site Plan and building design are consistent with the Policy 7.3.5 because it incorporates the required elements for fire stations in Albuquerque and incorporates an innovative application of building materials, resulting in a high-quality design for the proposed development of a currently underutilized, blighted property. The Landscape Plan includes tree lined walkways, planters, and a large landscaped area at the northeast corner of the property, all which contribute to a high quality design.

***Policy 7.5.1 Landscape Design:*** Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

**Applicant's Response:** The Landscape Plan is consistent with the Policy 7.5.1 by providing a wide range of plant materials, including trees, shrubs and





groundcovers, ornamental grasses, warm season grass, and desert accents appropriate for the high desert climate and the urban environment at a major entry to Downtown Albuquerque.

**Policy 12.2.3 New Facilities:** *Site new facilities in areas with excellent access to provide services to underserved and developing areas.*

**Applicant's Response:** This project is consistent with Policy 12.2.3 by siting the project in an appropriate location that has the highest number of emergency response calls in Albuquerque. The subject property has excellent multi-modal access through its connection to the major street network with designated multi-modal corridor (4<sup>th</sup> Street), transit services, and bike and pedestrian facilities.

**Criterion 6-6(I)(3)(b):** *The Site Plan is consistent with applicable terms and conditions in any previously approved NR-SU zoning covering the subject property and any related development agreements and/or regulations.*

**Applicant's Response:** There is not a previously approved NR-SU or PD zoning covering the subject property.

**Criterion 6-6(I)(3)(c):** *The Site Plan complies with all applicable provisions in the IDO, the DPM, other adopted City Regulations, and any terms and conditions specifically applied to the development of the property in a prior permit or approval affecting the property.*

**Applicant's Response:** The proposed Site Plan complies with many provisions of the IDO as indicated in the table on pages 8-9 of this letter; however, the NR-SU zone does not carry specific development standards, and instead is required to be determined through the EPC Site Plan approval process. The proposed Site Plan, Landscape Plan, and elevations show sensitivity to the surrounding context, with a maximum building height of 29 feet, interesting mix of building materials, street trees, and landscaping throughout the project site area. Vehicular and bicycle parking is consistent with the IDO. There are no previous approvals or permits that affect development on the subject property.

**Criterion 6-6(I)(3)(d):** *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development and any burdens on those systems have been mitigated to the maximum extent practicable.*

**Applicant Response:** The City's current infrastructure has adequate capacity to service the proposed Fire Station 4, including water, sewer, and storm drainage systems; access to the major street network; and transit services along 3<sup>rd</sup> Street and 4<sup>th</sup> Street; bike path along I-40 frontage and proposed bike lanes along both roadways. The existing Fire Station 4 has functioned out of the southern portion of this site for many years.

**Criterion 6-6(I)(3)(e):** *The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.*

**Applicant's Response:** The proposed building design, site layout, and landscaping has been designed to mitigate any adverse impacts to the project site and the surrounding area. The buildings are set back from the property edges



along 3<sup>rd</sup> Street and Indian School Road. The existing view fence was recently installed along the perimeter of the property and landscaping is provided along 3<sup>rd</sup> Street and Indian School Road. The project will bring a positive impact to the area and the surrounding neighborhoods, which will be gaining a future community meeting space and an attractively designed modern building on a currently blighted, prior park. This project is an important investment in Downtown Albuquerque and represents a positive step towards addressing one of the City's high priority areas for improved public safety.

**Criterion 6-6(I)(3)(f)** *If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

**Applicant's Response:** The subject property is not within an approved Master Development Plan.

**Criterion 6-6(I)(3)(g)** *If a cumulative impact analysis is required in the Railroad Spur Small Area pursuant to Subsections 14-16-5-2(F)(Cumulative Impacts) and 14-16-6-4(H)(Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.*

**Applicant's Response:** The property is within the Railroad and Spur Area. However, since the proposed development for Fire Station 4 does not meet all of the criteria of Subsection 14-16-5-2(E)(1), there are no requirements for mitigation. There is a minimal amount of residential development on the west side of 5<sup>th</sup> Street approximately 687 feet to the west of the subject property and no residential use in any mixed-use zone district within 1,320 feet. The Applicant is not proposing any of the uses listed in Section 5-2(E)(1)(c).

Regardless, the Applicant believes the proposed development will not create material adverse impacts on water quality or other land in the surrounding water through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances. The southern area of the subject property has been used as Fire Station 4 for many years without causing a negative impact to the area. The public safety land use will not create an increase in traffic congestion; it was determined by City Transportation that a traffic study was not warranted. Parking requirements for this use have been easily accommodated on the subject property. Noise generated from fire trucks is sporadic and the use is not adjacent to residential zones or existing residential development within a mixed-use zone.

## CONCLUSION

The proposed Zone Map Amendment and Site Plan-EPC will provide the necessary administrative and legal means to further the City's goals and policies regarding land use, new facilities, public safety services, infill development, efficient development patterns, community facilities, community design, landscape design, Areas of Consistency, etc. The Zone Map Amendment will also address the non-conforming



status of the current fire station use within a NR-PO-A zoned property owned by the City of Albuquerque. The proposed streetscape will provide a much-needed improvement to this important entry to Downtown Albuquerque and Wells Park. Redevelopment of this site for an expanded public safety purpose is a positive change for this area, which has the highest number of calls for emergency services. The project will bring quality development to this site that was most recently used as the largest homeless encampment in Albuquerque until it was closed by Mayor Keller due to negative activity.

On behalf of the City of Albuquerque Fire and Rescue, we respectfully request that the Environmental Planning Commission approve the request for this Zone Map Amendment and Site Plan-EPC to allow for the expansion and redevelopment of Fire Station 4. Thank you for your consideration.

Sincerely,

Jacqueline Fishman, AICP  
Principal

**D) STAFF INFORMATION**

May 22, 2024

TO: Jacqueline Fishman, Consensus Planning

FROM: Rebecca Bolen, Principal Planner  
Dustin Kiska, Planner

City of Albuquerque Planning Department

TEL: (505)-924-3843 – RB (505) 924-3366 - DK

RE: PR-2024-010349, RZ-2024-00029 SI-2024-00677, 301 McKnight - ZMA and Site Plan-EPC

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We've completed a first review of the proposed zone change and associated site plan. We would like to discuss the request and have suggested revisions. We're available to answer questions about the process and requirements. Please provide the following:

⇒ A revised project letter (one electronic copy) by 12 PM on May 30, 2024.

Revised Drawings by

Note: If you have difficulty with this deadline, please let me know

**1) Introduction:**

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. It is my understanding that this is a two-part request for 1) a zone change from NR-PO-A to NR-SU and 2) a new Site Plan EPC for a Public Safety Complex – Fire Station #4 extension and associated training facilities.
  - a. Fire and Police stations require the NR-SU zone district, which also requires a Site Plan-EPC review and decision, hence the two-part request.

C. This is what I have for the legal description:

Consensus Planning, agent for Department of Municipal Development, requests a ZMA and Site Plan-EPC, for all or a portion of the portion of Coronado Park, less portion to the right-of-way of Franciscan Addition, located at 301 McKnight Ave NW, Albuquerque, NM 87102, at the south west quadrant of the intersection of Indian School Rd NW and 2nd St NW, containing 4.1 acres. Zone Map (H-14-Z)

**2) Process:**

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

B. Timelines and EPC calendar: the EPC public hearing for June is on the 20<sup>th</sup>.

Final staff reports will be available about one week prior, on June 13<sup>th</sup>.

C. Note: If a zone change request is denied, you cannot re-apply again for one year.

D. Agency comments will be distributed after June 6<sup>th</sup>. I will email you a copy of the agency comments once they are received and will forward any late ones to you.

### 3) Notification & Neighborhood Issues:

Notification requirements for a Site Plan-EPC, Major Amendment are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 409). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.

A. It appears that the applicant has provided notice of the application to all adjacent property owners via certified mail and email as required by the IDO. Did you receive any comments or request?

B. According to the Office of Neighborhood Coordination there are (6) Neighborhood Associations in this area and adjacent to the property to contact: Wells Park NA, Santa Barbara Martineztown NA, Near North Valley NA, Sawmill NA, ABQ Core NA, and the Downtown NA.

a. I see NNVNA and WPNA as interested parties, were others notified from the above list of (6)?

C. A facilitated meeting was held March 19, 2024. Meeting minutes were provided from the Facilitator.

a. Have any neighborhood representatives or members of the public contacted you with any comments?

b. Please let me know if you receive any additional comments. If you do, these will be included in our staff report.

D. The sign posting period is 15 days prior and after the EPC hearing date from Wednesday June 5, 2024 to Friday July 5, 2024.

E. Please submit photos of the posted signs on June 5<sup>th</sup>.

### 4) Project Letter:

A. The project letters are off to a great start, though we have revisions to some sections of narrative and some of the responses to Criterion.

B. Please check your application for consistency in spelling and punctuation.

C. Zone change justification is to be “clearly facilitated” while the Major amendment and site plan is to be “consistent with”.

- D. Please remove the reference that CPO-9 standards do not apply. Pursuant to IDO Table 2-5-9 Applicable IDO Standards, Overlay zones are applicable.

## 5) Zone Change – 6-7(G)(3) Review and Decision Criteria

- A. The task in a zone change justification is to choose applicable Goals and Policies from the Comprehensive Plan and demonstrate how the request furthers each applicable Goal and Policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or Policy.
- B. Please note: Responding to the zone change criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
1. answering the questions in the customary way
  2. using conclusory statements such as “because\_\_\_\_\_”.
  3. re-phrasing the requirement itself in the response, and
  4. choosing an option when needed to respond to a requirement.
- E. Please revise your responses to Criterion A in your justification letter based on the following information:
- a. This request would create a “zone change,” so the justification letter must “clearly facilitate” implementation of the ABC Comp Plan throughout. Therefore, the response needs to cite more applicable Goals and policies to show that the request “clearly facilitates” implementation of the ABC Comp Plan.
  - b. The response simply needs to demonstrate that a zone change is more advantageous to the community as articulated by the ABC Comp Plan.
  - c. Suggestion: review responses for syntax and word choice. For example, in your response to policy 7.3.4 the sentence indicated that the homeless encampment, rather than the park, sustained major damage over time.
- F. Criterion B and C:
- a. The response clearly illustrates how the zone change is more advantageous to the community as articulated by the ABC Comp Plan. This is adequately demonstrated in the second paragraph of The applicant’s response to Criterion B. This narrative should be kept in your revised justification letter.
- G. Criterion D: Thank you for providing tables to better illustrate your response. This narrative should be kept in your revised justification letter.
- H. Criterion E, F, G, H:
- a. (E) The response to Criterion 1 is adequate, please expand on your response to Criterion 2, and explain what upcoming improvements have been planned.
  - b. (F) The applicant’s response to Criterion A underlines the importance of the expanded and upgraded service, consider rewriting this response to reflect that argument.

- c. (G) The first two facts given in this response are, in fact, economic considerations. Expand the final sentence to emphasize additional motivations.
- d. (H) The response should be expanded to speak directly to the criteria (option #3). It may be worth stating explicitly that the fire station use is only permissible in the requested zone.

## 6) Site Plan EPC 6-6(I)(3)(a) Review and Decision Criteria

- A. For the Site Plan-EPC criteria, the test is lesser- request must be “consistent with” the Comprehensive Plan. For the Zone Change, the test is, clearly facilitates.
- B. See zone change section above for examples.
- C. Please provide responses to each goal and Policy provided and expand on each. The responses should tie back to the Goal/policy and reiterate the intention. Restate the goal and policy and use conclusionary statements.
  - a. Goal 4.1 Character: Explain how the building height, materials and articulation details will enhance the character of the neighborhood making it distinct.
  - b. Goal 7.3 Sense of Place: The Applicant response partially reinforces a sense of place by adequately explaining the relationship between the natural and built environment and touching on a few aspects like, plant pallet, and aesthetic attributes of building materials.

## D. Site Plan Overview - Drawings:

- A. Pursuant to IDO 2-5(E)(3) rezoning to the NR-SU zone district requires a Site Plan – EPC to be submitted that specifies uses, site standards, and development standards, reviewed and decided by the EPC in conjunction with review and decision of the zone change request.
- B. Where the Site Plan is silent on any standard, IDO standards apply pursuant to IDO 2-5(E)(3)(C). Staff has analyzed the site plan drawing pursuant to all IDO standards since the Site Plan does not specify standards.
- C. Thank you for providing a table specifying uses and standards that are being followed.
  - a. The table specifies that Dimensional standards are pursuant to Table 5-1-3, but does not specify which standards within that table. Please update.

## Site Plan Sheet

- A. Is this request divided into any phases for the project?

## Proposed Development – Structural

- A. Are there any loading docks/facilities proposed at the back of the existing facility for example?

## Parking Sheet



- A. Has AFR reviewed a Fire 1 Plan? Although this plan is not needed until DFT final -sign off, we would like to verify that all turn radius are approved for the fire trucks and emergency vehicles. I see the turn radius is between 50' and 51' for the Fire Truck drive path ingress and egress, however, does that need to hold true for the exit onto 3<sup>rd</sup> street? The turn radius is not shown. Does it matter, or is the exit approach adequate, because 3<sup>rd</sup> street is a one-way street, and line-of-sight is achieved.

Landscape Plan

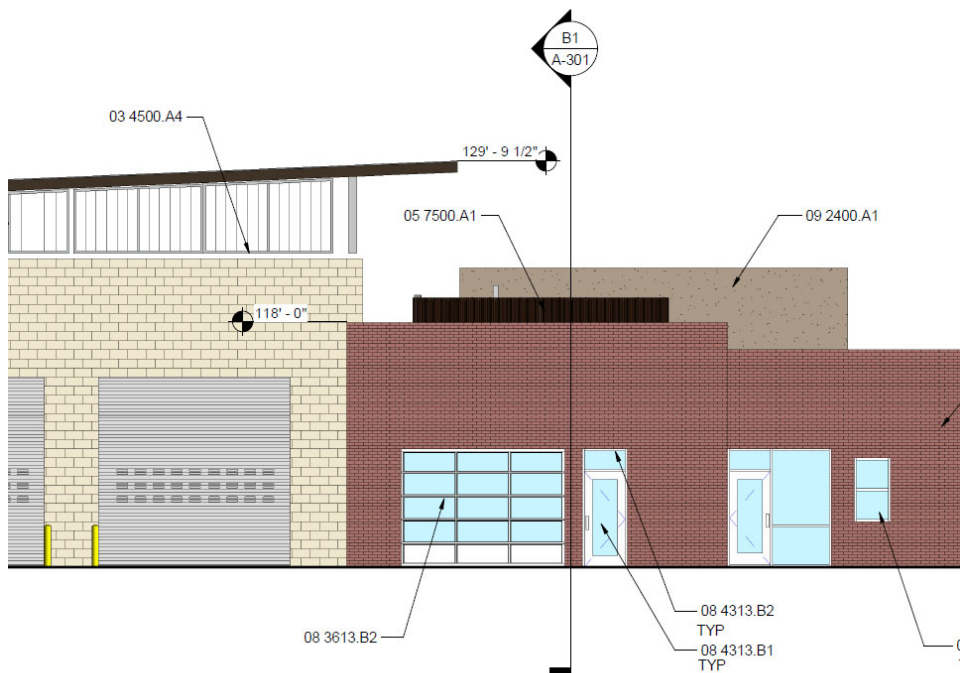
- A. Existing Basalt Cobble hatch detail, please clarify/modify text in parenthesis, (NOT A PART)
- B. Add a note on sheet LS-501, that all plants chosen are part of the ABQ Plant pallet list. Please replace with different plant species if a plant is not in compliance. See: [Official Albuquerque Plant Palette and Sizing List-2018-07-03.xlsx \(cabq.gov\)](#)

Grading and Drainage Sheet

- A. Please remove old site features, like skate park features and old picnic benches, that can be seen, or please increase the opacity if they have to remain.

Elevation Sheets

- A. Check final top of building height. The sheets presented in the notification letter showed height of (29'-9.5") Please clarify final height is correct on the final Elevation sheets and all other sheets that apply. (see below photo clipping)



Site Details

- A. Please provide a drain swale detail, (valley gutter detail typ.) for the proposed valley gutter to drain the parking lots and west drive path.
- B. Does the flag pole have a light?

**E) PUBLIC NOTICE**

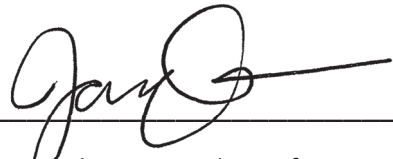


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Zone Map Amendment and Site Plan-EPC		
Decision-making Body: Environmental Planning Commission (EPC)		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: 301 McKnight Avenue NW		
Name of property owner: City of Albuquerque		
Name of applicant: City of Albuquerque / Consensus Planning (Agent)		
Date, time, and place of public meeting or hearing, if applicable:		
To be determined.		
Address, phone number, or website for additional information:		
fishman@consensusplanning.com or johnson@consensusplanning.com or (505) 764-9801		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 \_\_\_\_\_ (Applicant signature)      February 23, 2024 \_\_\_\_\_ (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

FW: 301 McKnight Ave. NW\_Neighborhood Meeting Inquiry Sheet Submission

Flores, Suzanna A. <Suzannaflores@cabq.gov>

Thu 2/22/2024 1:25 PM

To:Charlene Johnson <Johnson@consensusplanning.com>

1 attachments (556 KB)

IDOZoneAtlasPage\_H-14-Z.pdf;

Hi Char,

Yes, as of today, February 22, 2024, that information is still current.

Thank you,

Suzie

From: Charlene Johnson <Johnson@consensusplanning.com>
Sent: Thursday, February 22, 2024 1:08 PM
To: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Subject: Re: 301 McKnight Ave. NW\_Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Suzie,
Can you verify that the contact information below is still accurate?
Thank you,

Charlene Johnson, AICP

Senior Planner

Consensus Planning, Inc.

302 Eighth Street, NW

Albuquerque, NM 87102

Phone: 505 764-9801

From: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Sent: Friday, January 19, 2024 2:45 PM
To: Charlene Johnson <Johnson@consensusplanning.com>
Subject: 301 McKnight Ave. NW\_Neighborhood Meeting Inquiry Sheet Submission

PLEASE NOTE:
The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Table with 11 columns: Association Name, First Name, Last Name, Email, Alternative Email, Address Line 1, City, State, Zip, Mobile Phone, Phone. It lists contact information for various neighborhood associations like Near North Valley NA, North Valley Coalition, Wells Park NA, etc.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: https://www.cabq.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf)
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

---

From: [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>

Sent: Thursday, January 18, 2024 3:55 PM

To: Office of Neighborhood Coordination <[johnson@consensusplanning.com](mailto:johnson@consensusplanning.com)>

Cc: Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

[johnson@consensusplanning.com](mailto:johnson@consensusplanning.com)

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

PORT OF CORONADO PARK LESS PORT TO R/W FRANCISCAN ADDN

Physical address of subject site:

301 McKnight Ave. NW

Subject site cross streets:

Indian School Road & 3rd St.

Other subject site identifiers:

Coronado Park/Fire Station 4 Site

This site is located on the following zone atlas page:

H-14-Z



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: February 23, 2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: See attached Public Notice Inquiry

Name of NA Representative\*: See attached Public Notice Inquiry

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached Public Notice Inquiry

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: fishman@consensusplanning.com or johnson@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

To be determined.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 301 McKnight Avenue NW  
Location Description Corner of Indian School Road and 3rd Street NW
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Consensus Planning, Inc./City of Albuquerque
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Zone change to NR-SU and Site Plan-EPC for a Fire Station and Training Facility.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
fishman@consensusplanning.com or 505-764-9801

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> H-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

None requested at this time.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 4.09 acres
  - b. IDO Zone District H-14
  - c. Overlay Zone(s) [if applicable] North 4th Corridor – CPO-9
  - d. Center or Corridor Area [if applicable] 4th Street Main Street Corridor
2. Current Land Use(s) [vacant, if none] NR-PO-A
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

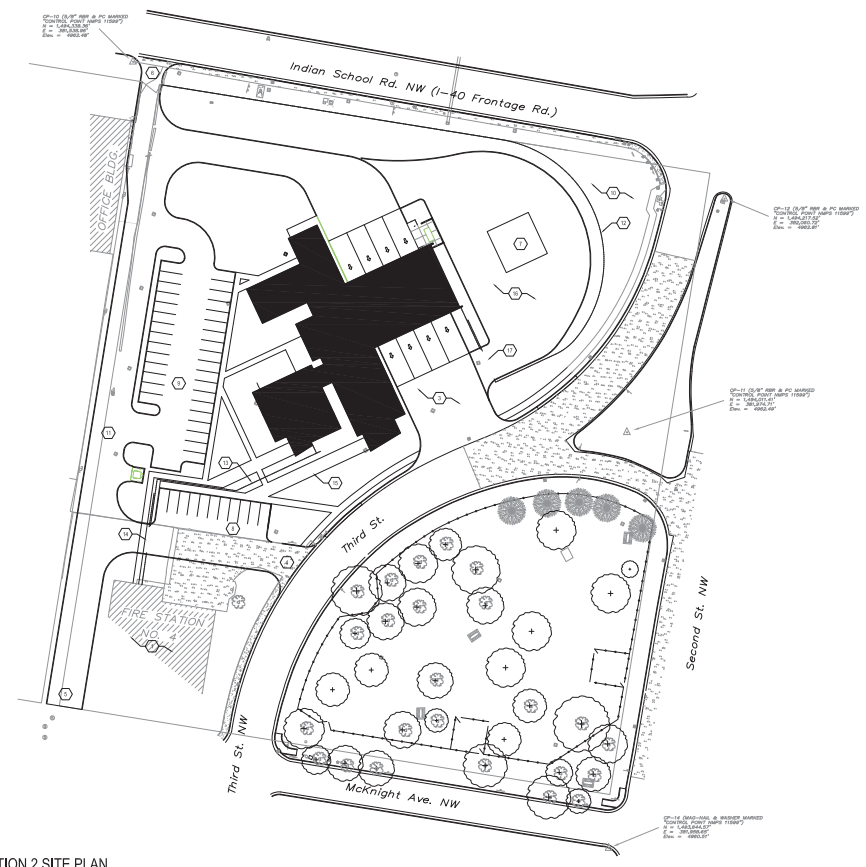
\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

1 2 3 4 5

D PROJECT PAGE  
C  
B  
A



A1 OPTION 2 SITE PLAN  
SCALE 1/8"=1'-0"

### GENERAL SHEET NOTES

- 1. ALL AREAS OF CUTTING AND TRENCHING AT EXISTING ASPHALT SURFACES FOR NEW WORK, THE CONTRACTOR SHALL PATCH AND FINISH THE CHANGED ASPHALT TO MATCH EXISTING ADJACENT SURFACES AS PART OF THE SCOPE OF WORK.
- 2. ALL UNDERSTANDING OF THE BOUNDARIES ARE BASED ON THE RECORDED DRAWINGS AND HAVE NOT BEEN FIELD CHECKED. GENERAL CONTRACTOR RESPONSIBLE TO VERIFY LOCAL SURVEYING AND FIELD MEASUREMENTS, SURVEY CORRECTION AND TO BE FIELD CHECKED. ALL WORK SHALL BE SUBJECT TO THE RESULTS OF THE SURVEYING VERIFICATION PRIOR TO WORK.
- 3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS IN UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- 4. CONTRACTOR SHALL COORDINATE TREE ACCESS AND STAKING AREA WITH OWNERS/PROPERTY.
- 5. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGE TO EXISTING UTILITIES, SEWER, ILLUMINATION, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RISK. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF THESE UTILITIES AS REQUIRED TO PROTECT CONTRACTOR'S CONSTRUCTION WORK.
- 6. SEE THE PLANS FOR SPECIFICATIONS FOR TREE PROTECTION AND PRESERVATION.
- 7. SEE PLANS FOR TREE PROTECTION AND PRESERVATION.
- 8. SEE PLANS FOR TREE PROTECTION AND PRESERVATION.
- 9. SEE PLANS FOR TREE PROTECTION AND PRESERVATION.
- 10. SEE PLANS FOR TREE PROTECTION AND PRESERVATION.

### ○ SHEET KEYNOTES

- 1. EXISTING TREE SYSTEM TO REMAIN OPERATIONAL DURING WORK.
- 2. NEW TREE PLANTING AND STAKING DETAILS.
- 3. NEW LANDSCAPING DETAILS.
- 4. EXISTING TREE ACCESS DETAILS TO REMAIN.
- 5. POTENTIAL UTILITY TREE ACCESS POINTS.
- 6. POTENTIAL UTILITY TREE ACCESS POINTS.
- 7. POTENTIAL UTILITY TREE ACCESS POINTS.
- 8. POTENTIAL UTILITY TREE ACCESS POINTS.
- 9. POTENTIAL UTILITY TREE ACCESS POINTS.
- 10. POTENTIAL UTILITY TREE ACCESS POINTS.
- 11. POTENTIAL UTILITY TREE ACCESS POINTS.
- 12. POTENTIAL UTILITY TREE ACCESS POINTS.
- 13. POTENTIAL UTILITY TREE ACCESS POINTS.
- 14. POTENTIAL UTILITY TREE ACCESS POINTS.
- 15. POTENTIAL UTILITY TREE ACCESS POINTS.
- 16. POTENTIAL UTILITY TREE ACCESS POINTS.


City of Albuquerque Electronic Stamp

NO.	DATE	REMARKS	BY

SURVEY INFORMATION	PROJECT NO.	
	SHEET NO.	
FIELD NOTES	DATE	
	TIME	
BENCHMARKS	BENCHMARK	
AS-BUILT INFORMATION	DATE	
MAPPING INFORMATION	PROJECT NO.	

00/00/00	SEAL	BY

**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
Albuquerque, New Mexico, 87111  
PH: 505.836.2000 FAX: 505.836.2001  
www.vigilandassociates.com

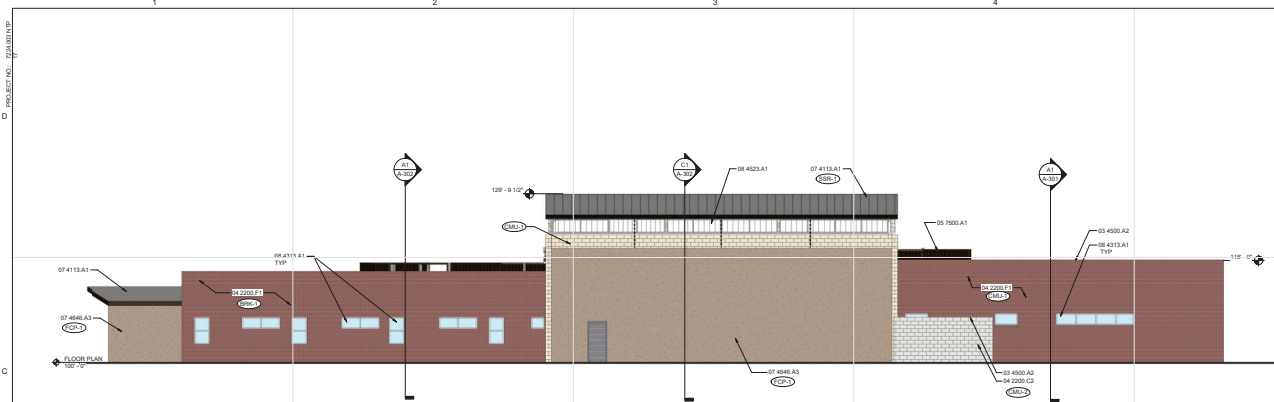


**CAPITAL IMPLEMENTATION PROGRAM**

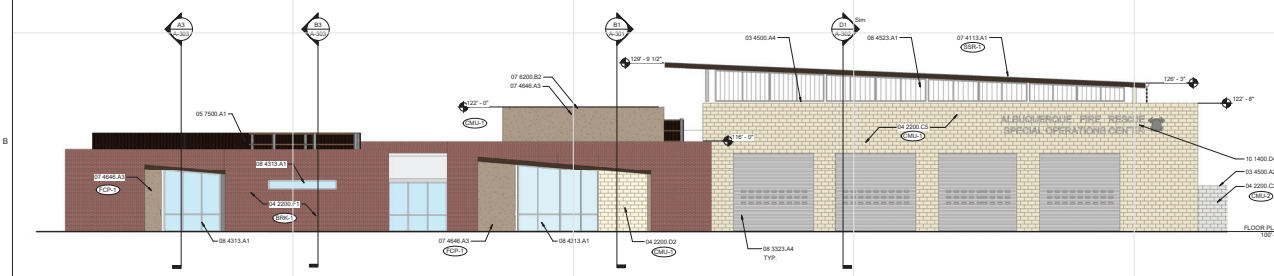
Drawing Title: \_\_\_\_\_

Design Review Committee	City Engineer Approval		

Issue Date: \_\_\_\_\_ City Project No: \_\_\_\_\_

**C1** NORTHEAST ELEVATION  
Scale: 1/8" = 1'-0"



**B1** SOUTHEAST ELEVATION  
Scale: 1/8" = 1'-0"

**GENERAL SHEET NOTES**

- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLLARS AND DOOR STOPS SHALL BE PAINTED. SEE SHEET 1101 FOR COLOR SCHEDULE.
- REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
- REFER O&M SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

REFERENCE KEYNOTES	
03 4300.A3	PRECAST ARCHITECTURAL CONCRETE CORNING
03 4300.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C2	1" BURNER-SHIFT FACE CMU
04 2200.C3	1" BURNER-SHIFT FACE CMU
04 2200.C4	1" BURNER-SHIFT FACE CMU
04 2200.F1	FACE BRICK VENEER
08 7500.A1	PERFORATED METAL PANELS - HORIZONTAL
07 4113.A1	STANDING SEAM METAL ROOF SYSTEM
07 4646.A3	ROOF CONCRETE WALL PANEL SYSTEM
07 4500.B2	PREF. FINISHED METAL COPING
08 1303.B4	SYSTEM ROOF TOP ROOF - ELECTRICAL MOTOR OPERATED
08 4213.A1	ALUMINUM FRAMED STYROPORON
08 4202.B1	INSULATED CONCRETE BOARD/STYROPORON PANEL ASSEMBLY
10 1400.O4	BUILDING IDENTIFICATION LETTERS - 24" HIGH

**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
4017 Central Ave.  
Albuquerque, New Mexico 87110  
Tel: 505.833.3333 Fax: 505.833.3334

**CITY OF ALBUQUERQUE  
CAPITAL IMPLEMENTATION PROGRAM**

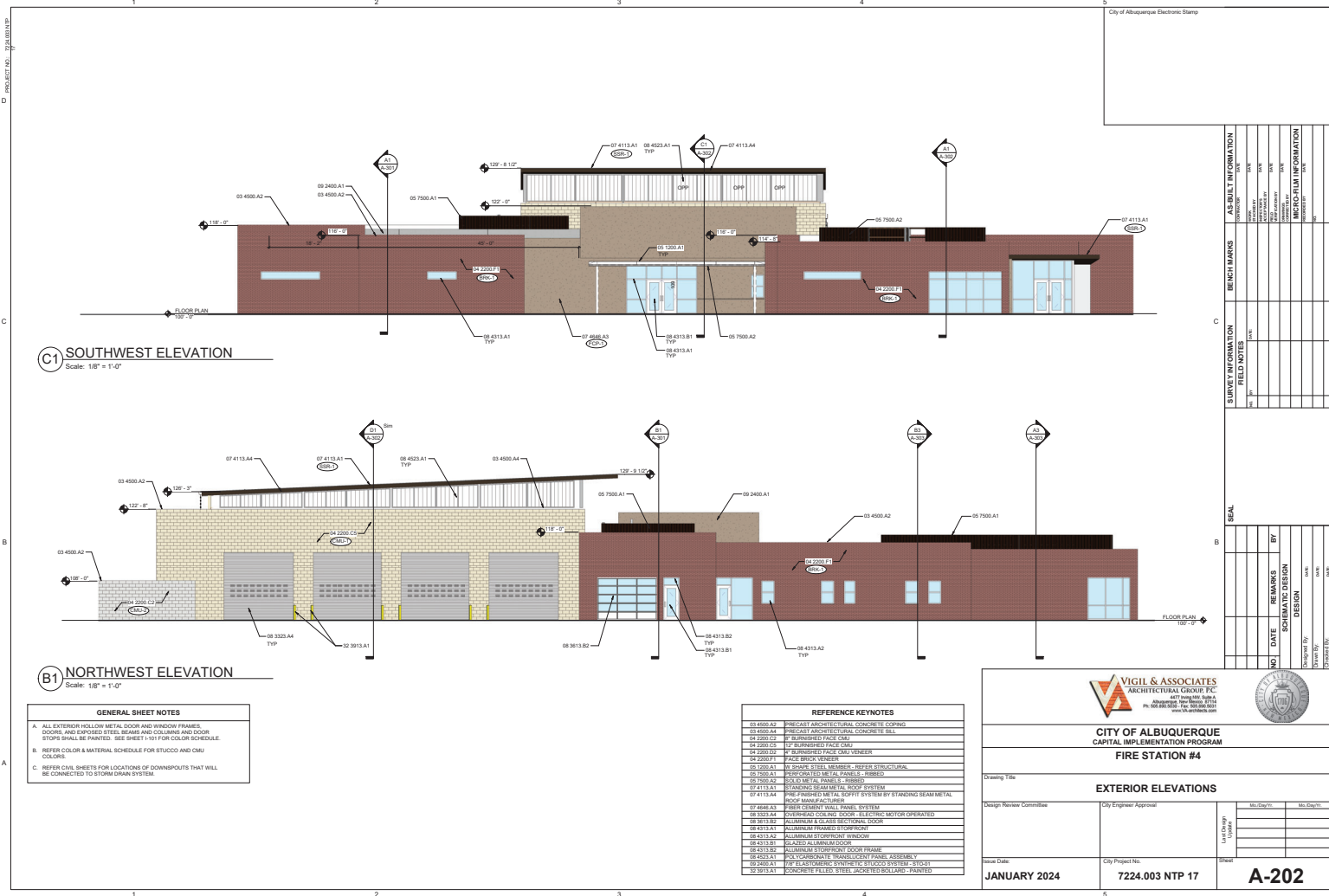
**FIRE STATION #4**

EXTERIOR ELEVATIONS			
Design Title	City Engineer Approval	Ms. City/1	Ms. City/2
Design Review Committee			

Issue Date: **JANUARY 2024** City Project No.: **7224.003 NTP 17** Sheet: **A-201**

SURVEY INFORMATION		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE
REMARKS		REMARKS	
SCHEMATIC DESIGN		SCHEMATIC DESIGN	
DESIGN		DESIGN	
Drawn By:	Checked By:	Approved By:	DATE:

City of Albuquerque Electronic Stamp




**C1** SOUTHWEST ELEVATION  
Scale: 1/8" = 1'-0"

**B1** NORTHWEST ELEVATION  
Scale: 1/8" = 1'-0"

- GENERAL SHEET NOTES**
- A. ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED. SEE SHEET 1-01 FOR COLOR SCHEDULE.
  - B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
  - C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

**REFERENCE KEYNOTES**

03 4000.A2	PRECAST ARCHITECTURAL CONCRETE CORNING
03 4000.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C2	8" BURRHEID FACE CMU
04 2200.C5	8" BURRHEID FACE CMU
04 2200.D2	8" BURRHEID FACE CMU
04 2200.F1	FACE BRICK, VENEER
05 1200.A1	12" SHAPED STEEL MEMBER, REPEL STRUCTURAL
05 1200.A2	PERFORATED METAL PANELS - RIBBED
05 1200.A3	COLD METAL PANELS - RIBBED
07 4113.A1	STANDING SEAM METAL ROOF SYSTEM
07 4113.A4	PAINT FINISHED METAL ROOF SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4600.A3	ROOF CURB/DRY PANEL SYSTEM
08 3323.A4	OVERHEAD COCKING DOOR, ELECTRIC MOTOR OPERATED
08 3313.B1	WALKING FRAME DOOR
08 4313.A1	WALKING FRAME WINDOW
08 4313.B1	SLAZED ALUMINUM DOOR
08 4313.B2	SLAZED ALUMINUM WINDOW
08 4323.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
08 4323.A2	12" POLYCARBONATE TRANSLUCENT PANEL SYSTEM - STUCCO
08 5013.A1	CONCRETE FLEED STEEL JACKETS/SOLARS, PAINTED



**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

**FIRE STATION #4**

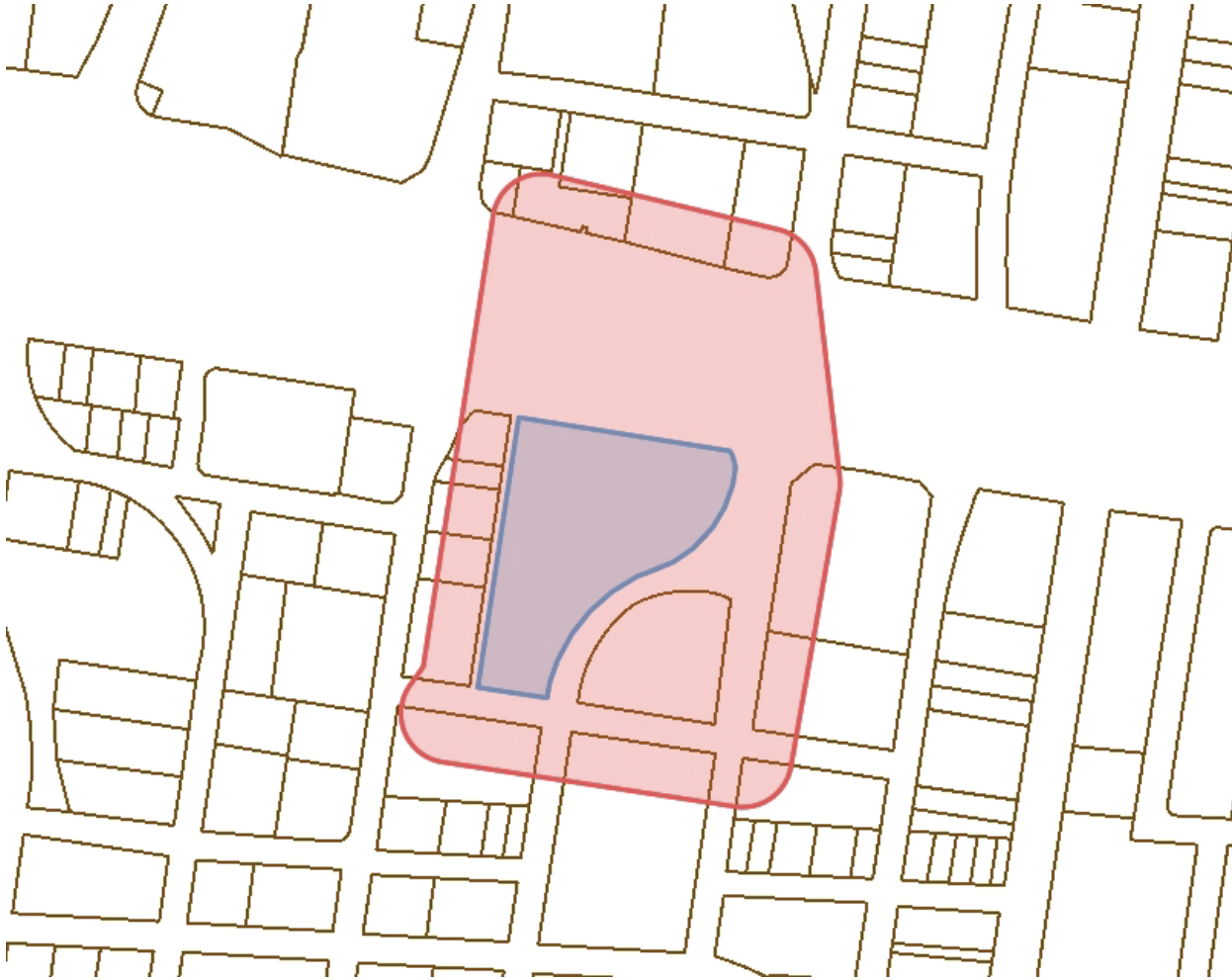
**EXTERIOR ELEVATIONS**

Drawing Title	City Engineer Approval	Mn. City/yr	Mn. City/yr	
Design Review Committee				
Issue Date	City Project No.			
<b>JANUARY 2024</b>	<b>7224.003 NTP 17</b>			<b>A-202</b>

SURVEY INFORMATION		FIELD NOTES		AS-BUILT INFORMATION		BENCH MARKS	
NO.	DATE	REMARKS	BY	NO.	DATE	REMARKS	BY
DESIGN				AS-BUILT INFORMATION			
Designed By: _____				As-Built By: _____			
Checked By: _____				Checked By: _____			
Drawn By: _____				Drawn By: _____			
Reviewed By: _____				Reviewed By: _____			
Approved By: _____				Approved By: _____			



# 100-Foot Buffer\_Fire Station 4



### Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED

### Notes

601 0 300 601 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
5/7/2024 © City of Albuquerque

1: 3,606

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**301 McKnight Avenue NE - 100-Foot Buffer Addresses**

<b>Owner</b>	<b>Owner Address</b>	<b>Owner Address 2</b>
CITY OF ALBUQUERQUE	PO BOX 2248	ALBUQUERQUE NM 87103-2248
PERRY GEORGE M III & LEEANNE F	1124 E 19TH ST	TULSA OK 74120-7417
CITY OF ALBUQUERQUE	PO BOX 2248	ALBUQUERQUE NM 87103-2248
TADAY STEPHEN T JR & THERESA A TRUSTEES TADAY LVT	PO BOX 2064	CORRALES NM 87048-2064
ELENA IACONO FAMILY LIMITED PARTNERSHIP	1916 2ND ST NW	ALBUQUERQUE NM 87102-1455
PERMACS PROPERTIES LLC	300 ARVADA AVE NW	ALBUQUERQUE NM 87102
DEAN DAIRY FLUID LLC	PO BOX 91119	ALPHARETTA GA 30005-2044
CITY OF ALBUQUERQUE	PO BOX 2248	ALBUQUERQUE NM 87103-2248
TADAY STEPHEN T JR & THERESA A TADAY TRUSTEES TADAY LVT	PO BOX 2064	CORRALES NM 87048
CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248
SAYLOR RICHARD B & SUSAN J & BUNGAY PROPERTIES LLC	5565 EAKES RD NW	ALBUQUERQUE NM 87107
STEELBRIDGE MINISTRIES	PO BOX 331	ALBUQUERQUE NM 87103-0331
STEELBRIDGE MINISTRIES	PO BOX 331	ALBUQUERQUE NM 87103-0331
BERNALILLO COUNTY C/O COUNTY MANAGER	415 SILVER AVE SW	ALBUQUERQUE NM 87102-3225
TADAY STEPHEN T JR & TADAY THERESA A TRUSTEES TADAY LVT	PO BOX 2064	CORRALES NM 87048-2064
BEZEMEK GORMAN SHARON LOUISE	9005 HANNETT AVE NE	ALBUQUERQUE NM 87112
PERMACS PROPERTIES LLC	300 ARVADA AVE NW	ALBUQUERQUE NM 87102-1000



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Zone Map Amendment and Site Plan-EPC
Decision-making Body: Environmental Planning Commission (EPC)
Pre-Application meeting required: [ ] Yes [x] No
Neighborhood meeting required: [x] Yes [ ] No
Mailed Notice required: [x] Yes [ ] No
Electronic Mail required: [x] Yes [ ] No
Is this a Site Plan Application: [x] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 301 McKnight Avenue NW
Name of property owner: City of Albuquerque
Name of applicant: City of Albuquerque Fire and Rescue / Consensus Planning (Agent)
Date, time, and place of public meeting or hearing, if applicable: Thursday, June 20, 2024 at 8:30 AM
Zoom meeting link at cabq.gov/planning/boards-commissions/environmental-planning-commission
Address, phone number, or website for additional information:
fishman@consensusplanning.com or johnson@consensusplanning.com or (505) 764-9801
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
[x] Summary of pre-submittal neighborhood meeting, if applicable.
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Signature] (Applicant signature) May 9, 2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

d. For residential development: Maximum number of proposed dwelling units.

e. For non-residential development:

Total gross floor area of proposed project.

Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed to a Property Owner

Date of Notice\*: May 9, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: \_\_\_\_\_

Mailing Address\*: \_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 301 McKnight Avenue NW  
Location Description Corner of Indian School Road and 3rd Street NW
2. Property Owner\* City of Albuquerque Fire and Rescue
3. Agent/Applicant\* [if applicable] Consensus Planning/City of Albuquerque
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]

- Zoning Map Amendment  
 Other: Site Plan-EPC

Summary of project/request<sup>1\*</sup>:

Zone change to NR-SU and Site Plan-EPC for a Fire Station.

5. This application will be decided at a public hearing by\*:

- Environmental Planning Commission (EPC)  City Council

This application will be first reviewed and recommended by:

- Environmental Planning Commission (EPC)  Landmarks Commission (LC)

- Not applicable (Zoning Map Amendment – EPC only)

Date/Time\*: Thursday, June 20, 2024 at 8:30 AM

Location\*<sup>2</sup>: Online meeting via Zoom unless otherwise noted by the EPC.

<sup>1</sup> Attach additional information, as needed to explain the project/request.

<sup>2</sup> Physical address or Zoom link

[Note: Items with an asterisk (\*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found<sup>\*3</sup>:

Please contact Jackie Fishman, [fishman@consensusplanning.com](mailto:fishman@consensusplanning.com) or Charlene Johnson, [johnson@consensusplanning.com](mailto:johnson@consensusplanning.com) or (505) 764-9801

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*4</sup> H-17
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project<sup>\*</sup>:

Deviation(s)             Variance(s)             Waiver(s)

Explanation<sup>\*</sup>:

None requested.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A facilitated meeting occurred on March 19, 2024 with Near North Valley NA, Wells Park NA, and other neighbors. The participants support the intended Fire Station.

Neighbors have requested a .5 acre park. The fire station will include a secured

community meeting room to be open to the public.

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 4.09 acres
  2. IDO Zone District NR-PO-A
  3. Overlay Zone(s) [if applicable] North Fourth Corridor CPO-9
  4. Center or Corridor Area [if applicable] 4th Street Main Street Corridor
- Current Land Use(s) [vacant, if none] Fire Station and Park
- 

**NOTE:** For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>





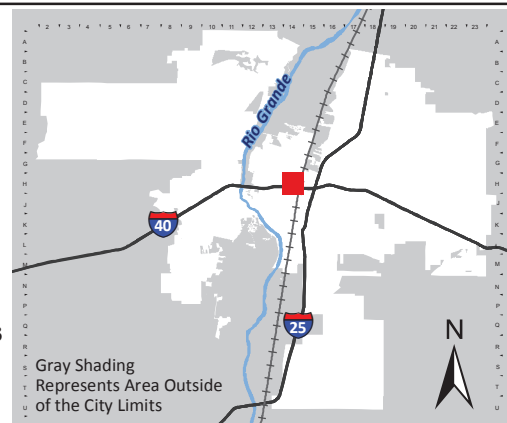
For more details about the Integrated Development Ordinance visit: <http://www.caba.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**H-14-Z**



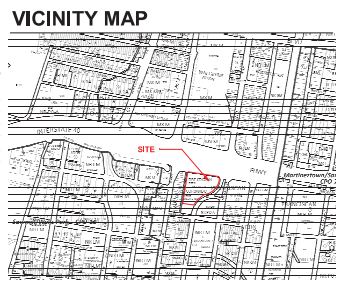
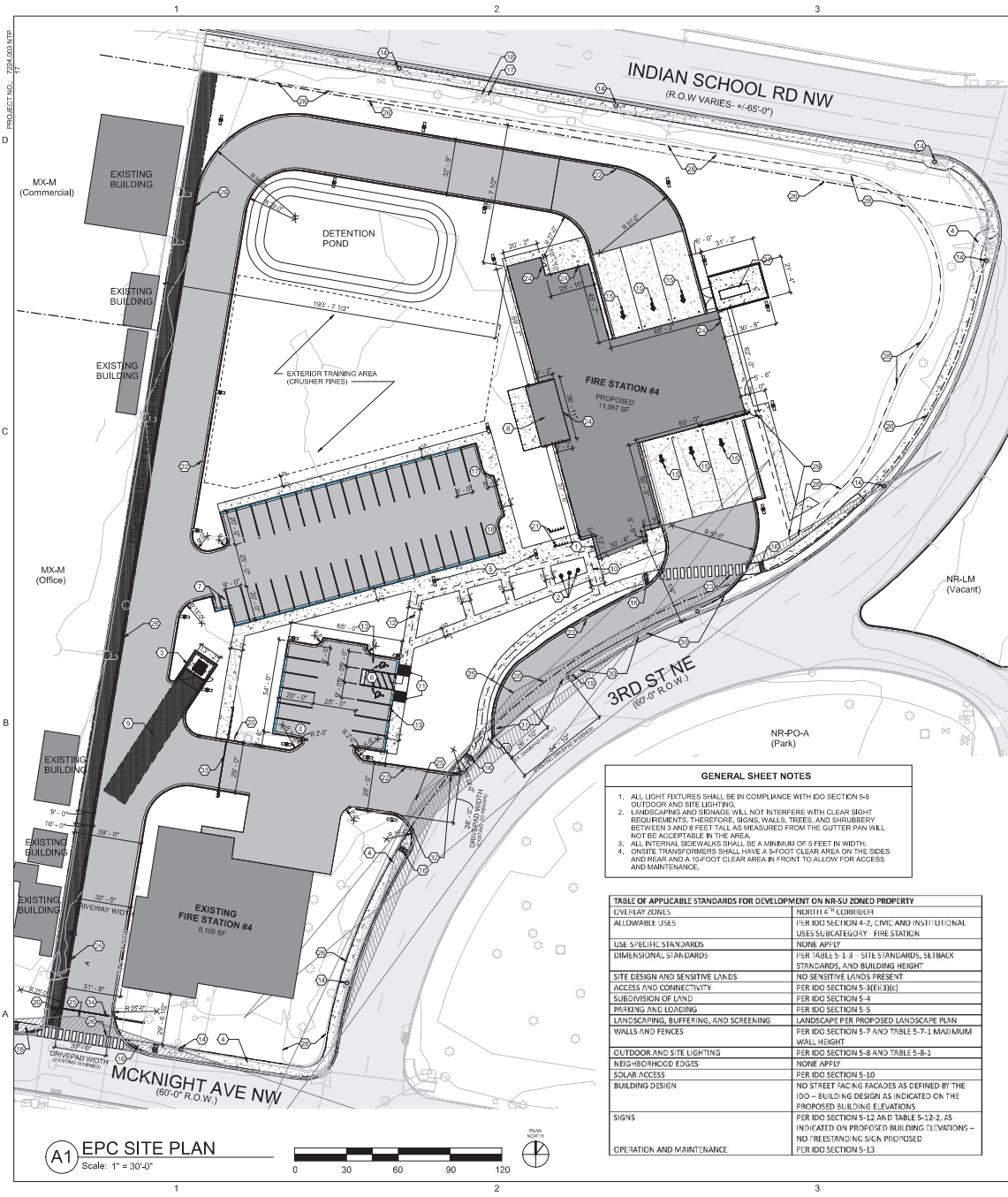
Gray Shading  
Represents Area Outside  
of the City Limits

-  Easement
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

-  Escarpment
-  Petroglyph National Monument

0 250 500 1,000 Feet





**PROJECT NUMBER:** xxx-xxxxxx  
**Application Number:** Sxxxx-xxxx

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated October 19th, 2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

- DET. SITE DEVELOPMENT PLAN APPROVAL:**
- Traffic Engineering, Transportation Division
  - ABCWUA
  - Parks and Recreation Department
  - Hydrology
  - Code Enforcement
  - \*Environmental Health Department (conditional)
  - Solid Waste Management
  - Planning Department

**SITE DATA**

**LEGAL DESCRIPTION:**  
 PORT OF CORONADO PARK LESS PORT TO RW FRANCISCAN ADDL.  
 UPC: 10140559311414804  
 SIZE: 4.69 ACRES

**EXISTING ZONING:** NR-PO-A  
**PROPOSED ZONING:** NR-SU  
**PROPOSED LAND USE:** FIRE STATION

**PEDESTRIAN AND VEHICLE ACCESS:** PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM 3RD STREET. A NEW 6 FOOT SIDEWALK WILL BE CONSTRUCTED TO CONNECT TO THE EXISTING ONE ALONG 3RD STREET. WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDINGS. BUS ROUTES: ROUTE 7 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 30 MINUTES; AND ROUTE 15 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 40 MINUTES.

**PARKING REQUIREMENTS**

**PARKING CALCULATIONS**

**PARKING SPACES:**  
 PER IDO TABLE 55-1 MINIMUM OFF STREET PARKING REQUIREMENTS:  
 - FIRE STATION 2 SPACES PER 1,000 SQ. FT. GFA

**TOTAL REQUIRED:**  
 FIRE STATION: 11,987 SF. SO  $(11,987/1000) \times 2 = 23.9 \approx 24$  SPACES  
 (EXISTING) FIRE STATION #4 TO BE USED AS TRAINING/OFFICE SPACE: 8,105 SF. SO  $(8,105/1000) \times 2 = 16.21 \approx 17$  SPACES

**TOTAL PROVIDED:**  
 41 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

**MOTORCYCLE SPACES:**  
 PER IDO TABLE 55-1  
 TOTAL REQUIRED - 2  
 TOTAL PROVIDED - 2

**BICYCLE SPACES:**  
 PER IDO TABLE 55-5 MINIMUM BICYCLE PARKING REQUIREMENTS - 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES, WHICHEVER IS GREATER IS REQUIRED.  
 TOTAL REQUIRED - 5  
 TOTAL PROVIDED - 6

GENERAL SHEET NOTES	
1.	ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
2.	LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE AREA.
3.	ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH, 4. ONE-SIDE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.

TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NR-SU ZONED PROPERTY	
CIVILIAN ZEMLIS	MINIMUM 4" CORROSION
ALLOWABLE USES	PER IDO SECTION 4-2, CIVIC AND INSTITUTIONAL USES SUBCATEGORY FIRE STATION
USE SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1.3 - SITE STANDARDS, SETBACK STANDARDS, AND BUILDING HEIGHT
PARKING AND LOADING	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(1)(3)(C)
SUBDIVISION OF LAND	PER IDO SECTION 5-4
LANDSCAPING, BUFFERING, AND SCREENING	LANDSCAPE PER PROPOSED LANDSCAPE PLAN
WALLS AND FENCES	PER IDO SECTION 5-7 AND TABLE 5-7.1 MAXIMUM WALL HEIGHT
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8 AND TABLE 5-8.1
NEG-HDR/HC/CP EGGIS	NONE APPLY
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	NO STREET FACING FACADES AS DEFINED BY THE IDO - BUILDING DESIGN AS INDICATED ON THE PROPOSED BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12 AND TABLE 5-12.2, AS INDICATED ON PROPOSED SIGN ELEVATIONS - NO FREESTANDING SIGN PROPOSED
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

**A1 EPC SITE PLAN**  
 Scale: 1" = 30'-0"

**SHEET KEYNOTES AS-101 EPC**

1	PROPOSED ENTRY DOOR
2	NEW 30' FLAGPOLE TOP OF 3 SEE CSAS-512
3	REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL BSAS-RM + CSAS-RM
4	EXISTING SIDEWALK TO REMAIN
5	NEW 18' LIGHT POLE
6	HANDICAP PARKING PER CABQ STANDARD
7	MOTORCYCLE PARKING
8	COVERED PATIO WITH LOOSE FURNITURE, 613 SF
9	PROPOSED REFUSE VEHICLE CLEARANCE
10	ADA ACCESS PATH (150 FT TOTAL PATH FROM ROW)
11	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A14B-503
12	ADA ACCESS PATH (186 FT TOTAL PATH FROM ADA PARKING)
13	ACCESSIBLE HANDICAP PARKING SIGN WITH WITH CABQ STD LANGUAGE SIGN SEE A2-634-01
14	EXISTING STREET LIGHT TO REMAIN
15	PAVEMENT DIRECTION MARKERS SEE A14B-503
16	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 DETAIL C
17	EXISTING TRANSFORMER TO REMAIN
18	EXISTING ELECTRICAL POWER BOX TO REMAIN
19	NEW CABQ STANDARD "DO NOT ENTER" SIGN
20	NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
21	NEW BICYCLE RACK SEE BSAS-541
22	6" CURB AND GUTTER PER CABQ STD DETAIL TYP.
23	CROSSWALK STRIPES INTEGRALLY COLORED CONCRETE; CAST FLUSH W/ ADJACENT COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE-2X6" STRIPES EA AT 2' APART TO EXTENTS SHOWN
24	PROPOSED EXIT DOOR LOCATION
25	CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.39
26	PROPERTY LINE
27	SEPARATOR ENCLOSURE
28	EXISTING SITE FENCE
29	RE-USED SITE FENCE INSTALLATION
30	EXISTING CURB BELAND TO REMAIN IN PLACE
31	EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT WIDEN TO EXTENTS SHOWN
32	EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT REPLACE ENTERING CURB RADIUS TO EXTENTS SHOWN
33	RE-USED EXISTING GATE INSTALLATION
34	NEW GATE INSTALLATION TO MATCH EXISTING

**LEGEND**

	PROPOSED LIGHT POLE
	PROPOSED BUILDING
	EXISTING BUILDING
	PAVED ASPHALT
	EXISTING PAVED ASPHALT
	PAVED CONCRETE
	LANDSCAPE AREA
	PROPOSED 10' WIDE ELECTRICAL EASEMENT
	STEEL ORNAMENTAL FENCE TO MATCH EXISTING
	STEEL GATE TO MATCH EXISTING

**VIGIL & ASSOCIATES**  
 ARCHITECTURAL GROUP PC  
 4477 Irving NW, Suite 404  
 Albuquerque, New Mexico 87104  
 Ph: 505.250.5100 www.va-architect.com

**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
**FIRE STATION #4**

**SITE PLAN - EPC**

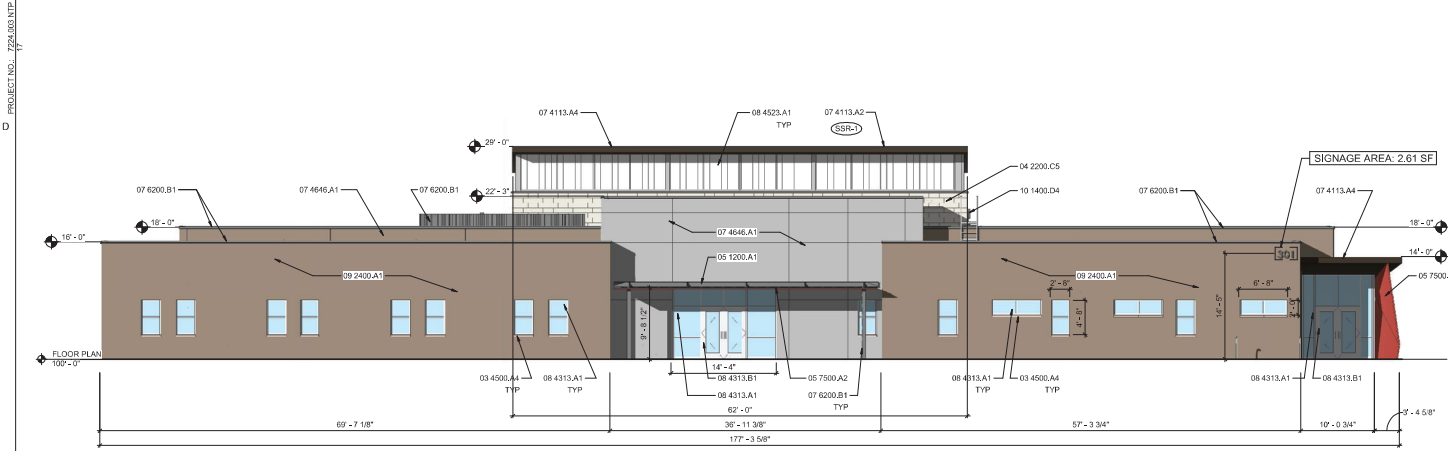
Drawing Title: \_\_\_\_\_  
 Design Review Committee: City Engineer Approval  
 City Project No: 7224.003 NTP 17  
 Issue Date: MAY 2024

NO.	DATE	REMARKS	BY

Designed By: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_

**EPC-AS-101**

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
DATE	DATE	DATE	DATE	DATE	DATE
PROJECTED BY	PROJECTED BY	DATE	DATE	DATE	DATE
DESIGNED BY	DESIGNED BY	DATE	DATE	DATE	DATE
CHECKED BY	CHECKED BY	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE



**C1** **SOUTHWEST ELEVATION**  
 Scale: 1/8" = 1'-0"

SIGNAGE AREA: 2.61 SF



- GENERAL SHEET NOTES**
- A. ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
  - B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
  - C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

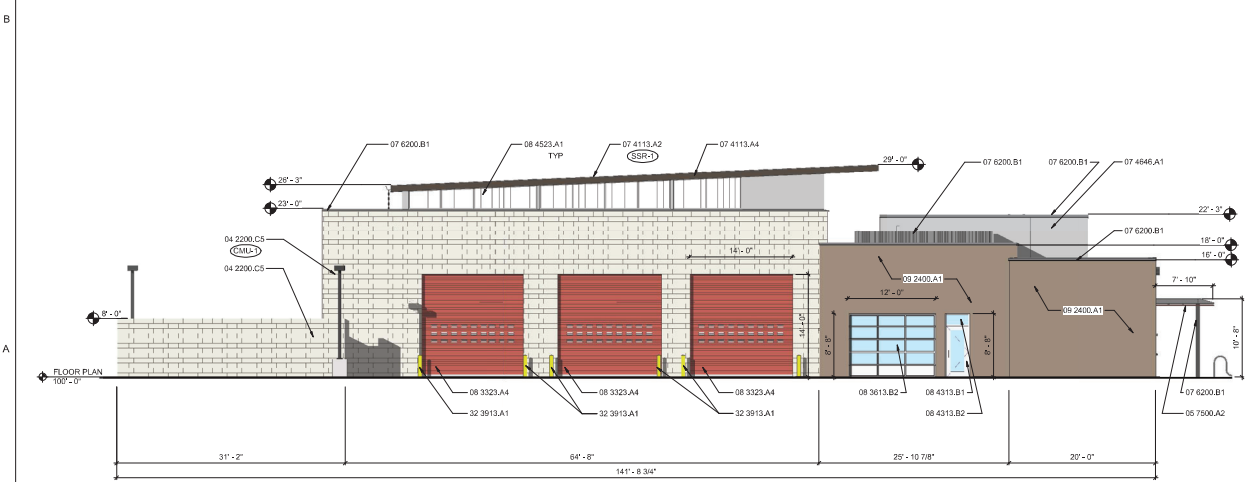
**REFERENCE KEYNOTES**

03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C5	12" BURNISHED FACE CMU
05 1200.A1	W SHAPE STEEL MEMBER-REFER STRUCTURAL
05 7000.A1	PERFORATED METAL PANELS - RIBBED
05 7500.A2	SOLID METAL PANELS - RIBBED
07 4113.A2	PRE-FINISHED METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL ROOF SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4846.A1	FIBER CEMENT SIDING
07 6200.B1	COPINGS
08 3323.A4	OVERHEAD COILING DOOR- ELECTRIC MOTOR OPERATED
08 3813.B2	ALUMINUM & GLASS SECTIONAL DOOR
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B1	GLAZED ALUMINUM DOOR
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STD-01
13 1600.04	BUILDING IDENTIFICATION LETTERS-24" HIGH
32 3813.A1	CONCRETE FILLED STEEL JACKETED BOLLARD - PAINTED

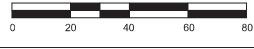
**COLOR AND MATERIAL SCHEDULE - EPC**

CODE	MATERIAL	STYLE	COLOR
<b>EXTERIOR FINISHES</b>			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	OFF WHITE
STD	STUCCO 01	SAND STUCCO FINISH	TAUPE
FCP	FIBER CEMENT PANEL	SMOOTH	LIGHT GRAY
PC-#	WALL COPING CAP	METAL	CHARCOAL
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	CHARCOAL
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CHARCOAL
STEEL-2	METAL SCREEN	MATTE	BRIGHT RED
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB V6451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL # EPI 300	BRIGHT RED
OH2	OVERHEAD SECTIONAL DOOR	MODEL # 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	FLAT GREY

**B1** **EXTERIOR ELEVATION SIGNAGE PREMISE ID**  
 Scale: 3/8" = 1'-0"



**A1** **NORTHWEST ELEVATION**  
 Scale: 1/8" = 1'-0"



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
DATE	BY	DATE	BY	DATE	BY	DATE	BY

**VIGIL & ASSOCIATES**  
 ARCHITECTURAL GROUP, P.C.  
 477 Irving Ave., Suite 100  
 Albuquerque, New Mexico 87104  
 Ph: 505.550.5500 Fax: 505.550.5234  
 www.vigilarchitects.com

**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

Drawing Title: **EXTERIOR ELEVATIONS - EPC**

Design Review Committee	City Engineer Approval		

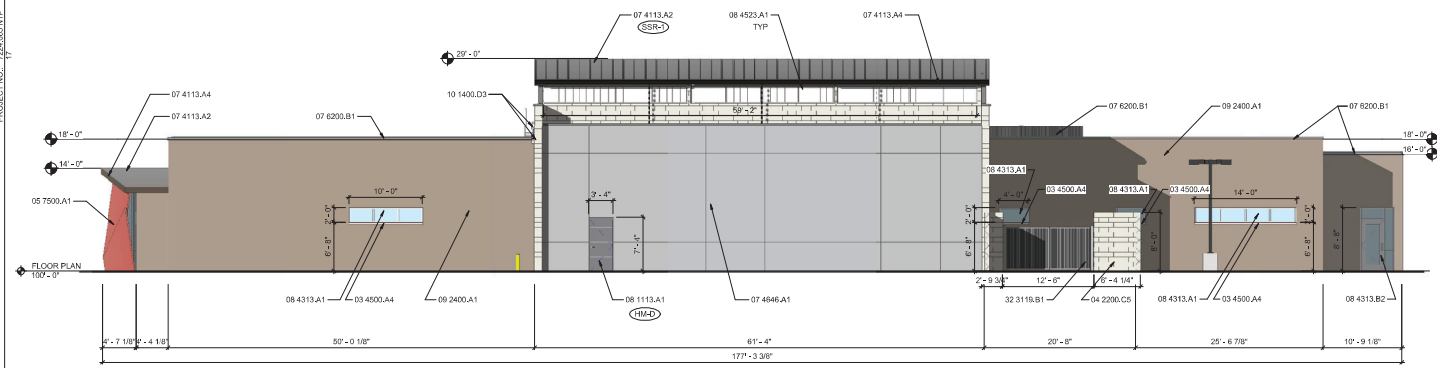
Issue Date: **MAY 2024**

City Project No.: **7224.003 NTP 17**

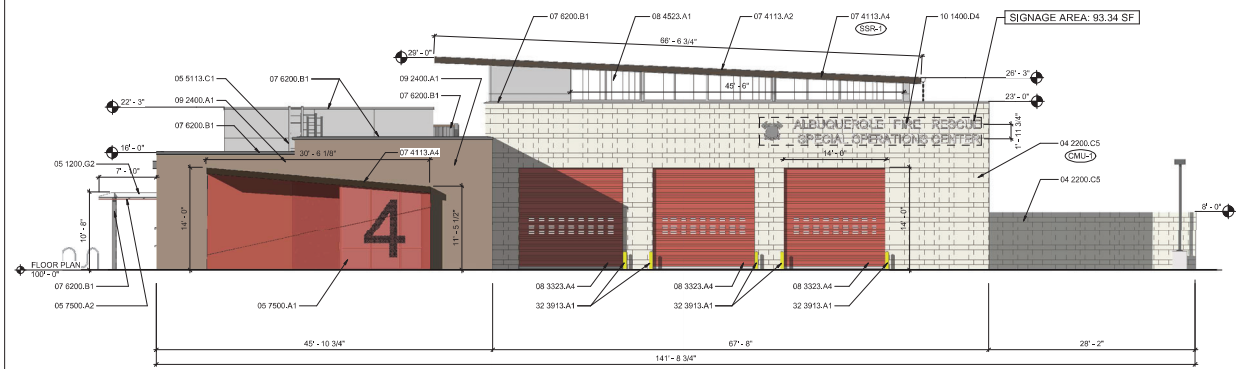
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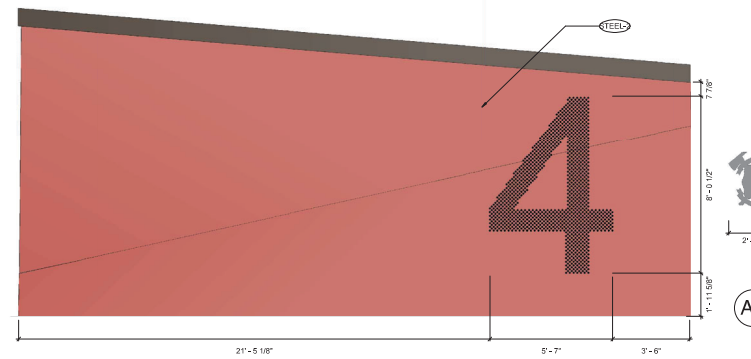
PROJECT NO.: 7224.003.NTP



**C1 NORTHEAST ELEVATION**  
Scale: 1/8" = 1'-0"



**B1 SOUTHEAST ELEVATION**  
Scale: 1/8" = 1'-0"



**A1 EXTERIOR BUILDING SIGNAGE - FIRE STATION**  
Scale: 3/8" = 1'-0"



**A3 EXTERIOR BUILDING SIGNAGE - FIRE STATION**  
Scale: 3/8" = 1'-0"

- GENERAL SHEET NOTES**
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  - B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
  - C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

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05 5113.C1	STEEL ROOF ACCESS UNDER-PANT
05 7900.A1	PERFORATED METAL PANELS - RIBBED
05 7900.A2	SOLID METAL PANELS - RIBBED
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
08 1113.A1	HOLLOW METAL DOOR AND FRAME
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4623.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STG-01
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH
32 3119.B1	DECORATIVE METAL GATE
32 3013.A1	CONCRETE FILLED STEEL JACKETED BOLLARD - PAINTED

**COLOR AND MATERIAL SCHEDULE - EPC**

CODE	MATERIAL	STYLE	COLOR
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FCP	FIBER CEMENT PANEL	SMOOTH	LIGHT GRAY
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STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CHARCOAL
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HM-4	HOLLOW METAL DOORS AND FRAMES	MATTE	FLAT GREY

**AS-BUILT INFORMATION**

DATE	CONTRACTOR	NO.	REMARKS	DATE	NO.	REMARKS

**BENCH MARKS**


**SURVEY INFORMATION**


**NO. DATE REMARKS BY**


Designed By: [ ]  
Drawn By: [ ]  
Checked By: [ ]

City of Albuquerque Electronic Stamp

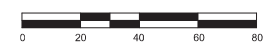
**VIGIL & ASSOCIATES ARCHITECTURAL GROUP, P.C.**  
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www.VA-architects.com



**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
**FIRE STATION #4**

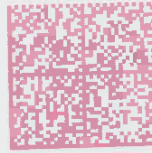
**EXTERIOR ELEVATIONS - EPC**

Drawing Title	City Engineer Approval	Mu, Day/r/c	Mu, Day/r/c
Design Review Committee			
Issue Date: <b>MAY 2024</b>	City Project No. <b>7224.003 NTP 17</b>	Sheet <b>EPC-A-202</b>	



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BERNALILLO COUNTY C/O COUNTY  
MANAGER  
415 SILVER AVE SW  
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TRUSTEES TADAY LVT

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City, State  
ALBUQUERQUE NM 87107

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 Return Receipt (electronic)  
 Certified Mail Restricted Delivery  
 Adult Signature Required  
 Adult Signature Restricted Delivery

Postage  
\$

**Total Post**  
\$

**Sent To**  
PERMACS PROPERTIES LLC  
Street and  
300 ARVADA AVE NW  
City, State  
ALBUQUERQUE NM 87102-1000

PS Form 3800, April 2013 PSN 7530-02-000-9007



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Certified Mail Fee  
\$

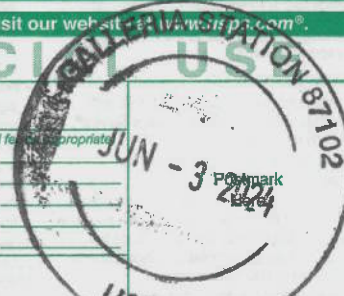
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy)  
 Return Receipt (electronic)  
 Certified Mail Restricted Delivery  
 Adult Signature Required  
 Adult Signature Restricted Delivery

Postage  
\$

**Total Post**  
\$

**Sent To**  
ELENA IACONO FAMILY LIMITED  
PARTNERSHIP  
Street and  
1916 2ND ST NW  
City, State  
ALBUQUERQUE NM 87102-1455

PS Form 3800, April 2013 PSN 7530-02-000-9007



7021 0950 0000 2787 2046

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy)  
 Return Receipt (electronic)  
 Certified Mail Restricted Delivery  
 Adult Signature Required  
 Adult Signature Restricted Delivery

Postage  
\$

**Total Post**  
\$

**Sent To**  
BERNALILLO COUNTY C/O COUNTY  
MANAGER  
Street and  
415 SILVER AVE SW  
City, State  
ALBUQUERQUE NM 87102-3225

PS Form 3800, April 2013 PSN 7530-02-000-9007



7021 0950 0000 2787 2006

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Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy)  
 Return Receipt (electronic)  
 Certified Mail Restricted Delivery  
 Adult Signature Required  
 Adult Signature Restricted Delivery

Postage  
\$

**Total Post**  
\$

**Sent To**  
PERRY GEORGE M III & LEEANNE F  
Street and  
1124 E 19TH ST  
City, State  
TULSA OK 74120-7417

PS Form 3800, April 2013 PSN 7530-02-000-9007



7021 0950 0000 2787 2022

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy)  
 Return Receipt (electronic)  
 Certified Mail Restricted Delivery  
 Adult Signature Required  
 Adult Signature Restricted Delivery

Postage  
\$

**Total Post**  
\$

**Sent To**  
CITY OF ALBUQUERQUE  
Street and  
PO BOX 2248  
City, State  
ALBUQUERQUE NM 87103-2248

PS Form 3800, April 2013 PSN 7530-02-000-9007





7021 0950 0000 2787 1964

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To **DEAN DAIRY FLOID** **USPS**

Street and Apt. **PO BOX 91119**

City, State, Zip **ALPHARETTA GA 30005-2044**

PS Form 3800, April 2019 Edition



7021 0950 0000 2787 1995

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To **BEZEMEK GORMAN** **USPS**

Street and Apt. **9005 HANNETT AVE NE**

City, State, Zip **ALBUQUERQUE NM 87112**

PS Form 3800, April 2019 Edition



7021 0950 0000 2787 1957

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To **TADAY STEPHEN T JR & TERESA A** **USPS**

Street and Apt. **TRUSTEES TADAY LN**

City, State, Zip **PO BOX 2064**  
**CORRALES NM 87048-2064**

PS Form 3800, April 2019 Edition



7021 0950 0000 2787 1958

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

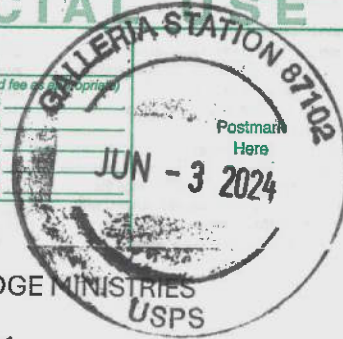
Total Postage \$

Sent To **STEELBRIDGE MINISTRIES** **USPS**

Street and Apt. **PO BOX 331**

City, State, Zip **ALBUQUERQUE NM 87103-0331**

PS Form 3800, April 2019 Edition



7021 0950 0000 2787 1971

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**OFFICIAL USE**

Certified Mail Fee  
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To **CITY OF ALBUQUERQUE** **USPS**

Street and Apt. **PO BOX 1293**

City, State, Zip **ALBUQUERQUE NM 87103-2248**

PS Form 3800, April 2019 Edition



**F) NEIGHBORHOOD MEETING REPORT**

# **CABQ FACILITATED ZOOM MEETING REPORT**

## **301 McKnight NW- EPC Pre-Application**

### **CABQ Fire Station Number Four**

#### **March 19, 2024 5:00 pm-7:00 pm**

#### **Jocelyn M. Torres, Facilitator**

**Project:** CABQ Facilitated Meeting - EPC Pre-Application

**Property Description/Address:** 301 McKnight NW, ABQ NM

**Date Submitted:** March 24, 2024

**Submitted By:** Jocelyn M. Torres, Land Use Facilitator

**Meeting Date/Time:** March 19, 2024, 5:00 PM- 7:00 PM

**Meeting Location:** Zoom

**Applicants/Owner:** CABQ

**Project Managers:** Kevin DeGrauw, Vicente Castillo and Alisa Jiron, Vigil & Associates Architectural Group

**Agents:** Jackie Fishman, Principal and Charlene Johnson, Architect Consensus Planning;

**Neighborhood Associations/Interested Parties:** Near North Valley NA (NNVNA); Wells Park NA (WPNA) and Neighbors.

**Please note that this is a summary, not a transcript, of the March 19, 2024 CABQ facilitated meeting.**

#### **Background Summary.**

The City of Albuquerque is filing an EPC Application for the purpose of constructing Fire Station Number Four at the prior Coronado Park location. The site is currently zoned NR-POA and will be rezoned as NR-SU. The City's dog park is not included in this development. The current fire station is situated south of this location. The new station will encompass approximately 15,700 square feet and will be constructed in phases. The enclosed site will include the main building, a training facility, secured parking, garage and driveway. The training facility will be constructed at a later phase. As shown in the elevations, the building façade will be articulated and constructed with different materials. As a result of value engineering, the original brick façade will likely be replaced with stucco. The development will include a one-half acre fire themed park. Landscaping will comply with IDO requirements.

#### **Discussion.**

1. Participant comments and questions primarily pertained to the intended site plan, park, landscaping, access, egress, security fencing and parking.
2. The development team will respond to Action Item 1.

#### **Conclusions.**

1. Participants support the intended fire station and one-half acre park.
2. It is important that the park be safe yet accessible to the public.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

3. The fire station will include a secured community meeting room; to be reserved by prior appointment.

**Meeting Specifics.** *Participant Questions and Comments are Italicized.* Others are displayed in regular font. *Q- Question; C-Comment; A-Answer; C- Comment.*

### 1. **Building Design, Landscaping and Purpose.**

- a. *Q: Is that landscaping in the southeast corner where there is a triangle?*

A: The dog park is not part of this project. We will rezone the intended parcel to NR-SU.

*Q: Is NR-SU a discouraged category? Why does it have to be rezoned?*

A: This zoning is necessary for police and fire stations. The zone change is required because fire stations are not permissive uses under the current NR-POA zone, which applies to nonresidential parks and open space.

- b. *Q: Is this the same layout that the Mayor demonstrated at his press conference? Is this the same square footage?*

A: The renderings have been slightly modified but it is basically the same layout. Square footage is based on a fire station prototype that generally remains the same.

*C/Q: I'm assuming that the current fire station will be used for storage. Is that right?*

A: Yes. The current fire station will be used for AFR administration and for fire equipment storage.

*Q: Will half an acre be used for a public park as promised?*

A: Yes. The northeast corner of the property will be used for a fire themed park.

*Q: What about the northeast and northwest sections of the property? Will they be covered with grass?*

A: Portions will be covered with grass and foliage. There will also be a walkway. We are in the planning stages and will require access to the training facility once it is constructed.

*Q: How will we be ensured that half an acre will be reserved for a public park?*

A: We are talking about the dimensions on that.

*Q: Will the site plan approval require the half acre of park space?*

A: Yes. Whatever we plan for the design must be shown on the site plan.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

*Q: What about landscaping? We don't want too much concrete.*

A: Consensus planning will ensure proper landscaping. The IDO requires landscaping, specified plant density, street trees and landscaped street frontages. Landscaping will face both Indian School and Third Street. There will also be interior landscaping, as well as a variety of plant species.

*Q: Will the (southbound) bus lane on Third Street be closed?*

A: Yes that bus lane will be removed. The site plan depicts the driveway where the firetrucks will exit onto Third Street.

c. *Q: Will the fire trucks enter from the north side of the building?*

A: We are working on the return path now. There are currently three access points. One is on the northwest corner through the frontage road. The other two are on Third Street and on McKnight. We plan to retain two of the three, depending on how the frontage road access works out with the NMDOT.

d. *C/Q: We have lost the skateboard park. Will there be a bike path at that location?*

A: Parks and Recreation removed the skateboard park last week. I don't know where it will be relocated.

*Q: How wide is the current sidewalk? Is it five feet?*

A: We will likely incorporate the current sidewalk into the site plan. Although it may have to be expanded to six feet depending on the zoning.

*C/Q: I know that's not a great area for bicyclists but how might they transit in that area?*

Facilitator: Is there bike riding in that area? I'm thinking about freeway related traffic congestion.

*C: The question is related to a broader discussion regarding the Alameda Drain trail. We are talking about having a trail on either Second or Fourth Street. The Greater Albuquerque Active Transportation Board is considering whether there can be another route to the Alameda drain.*

A: This will be handled by the City's Transportation Department. It is not within the scope of our authority on this project.

*C: This question is only offered as something to ponder.*

e. *Q: Will there be a landscape buffer on Third Street?*



# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

A: Yes. The IDO requires a landscape buffer between the curb and the sidewalk.

### 2. Meeting Room.

- a. C: There is a plan for a meeting room. There is currently a meeting room at Station Number Nine, which is located at Menaul and Eubank.

Facilitator: Will people be required to call ahead to reserve that room; as required by community centers?

A: The fire stations are locked. People will need to call to reserve the room.

### 3. Security.

*Q: Will the property be secured?*

A: Yes there will be a secured perimeter of fencing around the building.

*C: It would be nice to have the park fenced in as well.*

A: We are still in the planning stage regarding park fencing.

*C: It will be better if the park area is fenced. Especially with a fire themed park. Quigley Park on San Pedro has a buffer fence.*

Facilitator: View fencing might serve the purpose of fencing the park area.

C: We can potentially move the fence towards the corner of the property.

*C: We could possibly have an access gate in the current fencing. The fencing should be outside the landscaping in order to protect the park.*

Facilitator: How will that question be answered? Would it be possible to add a security gate that will be opened during specified hours?

A: We will follow up on responding to those questions. Parks and Recreation may also need to weigh in on that question. *See Action Item 1.*

*C: It is important to determine whether Parks and Recreation will be responsible for maintaining the park area. We need to determine whether Parks and Recreation and/or AFR will maintain the park area. See Action Item 1.*

### f. Parking.

*Q: Is there sufficient public parking?*

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

A: There is a large public parking bay, on the west side of the building, that is located outside the fencing. There is also a secured parking bay, on the south side of the building, that must be reserved by prior appointment.

### Action Items:

1. The development team will determine the use and design of park fencing. The team will also inquire and report as to whether Parks and Recreation, AFR or both will maintain the one-half acre park.

### Timelines

EPC Application may be filed: April 4, 2024 for a May 16, 2024 hearing date; or May 9, 2024 for a June 20, 2024 hearing date. EPC virtual hearings commence at 8:40 am.

Facilitated Meeting Report submitted: March 24, 2024.

## Meeting Adjourned

### CABQ Representative

Deputy Chief Alejandro Marrufo      AFR

### Project Manager

Kevin deGraauw	Project Manager
Vicente Castillo	Architect
Alisa Jiron	Architect

### Agents

Jackie Fishman	Principal Architect
Charlene Johnson	Architect

### Participants

Peggy Norton	NNVNA
Joe Sabatini	NNVNA
Doreen McKnight	WPNA
Mike Prando	Wells Park
Joe Calkins	Wells Park

### CABQ Land Use Facilitation

Jocelyn M. Torres	Land Use Facilitator
Tyson R. Hummel	Land Use Coordinator



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from June 5, 2024 To July 5, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 (Applicant or Agent) May 9, 2024 (Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_ (Date), \_\_\_\_\_ (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Policy Decisions Mailed/Emailed to a Neighborhood Association

Date of Notice\*: May 9, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: See attached Public Notice Inquiry

Name of NA Representative\*: See attached Public Notice Inquiry

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached Public Notice Inquiry

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 301 McKnight Avenue NW  
Location Description Corner of Indian School Road and 3rd Street NW
2. Property Owner\* City of Albuquerque Fire and Rescue
3. Agent/Applicant\* *[if applicable]* Consensus Planning / City of Albuquerque Fire and Rescue
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*

- Zoning Map Amendment  
 Other: Site Plan-EPC

Summary of project/request<sup>2</sup>:

Zone change to NR-SU and Site Plan-EPC for a Fire Station.

5. This application will be decided at a public hearing by\*:

- Environmental Planning Commission (EPC)  City Council

This application will be first reviewed and recommended by:

- Environmental Planning Commission (EPC)  Landmarks Commission (LC)  
 Not applicable (Zoning Map Amendment – EPC only)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Thursday, June 20, 2024 at 8:30 AM

Location\*<sup>3</sup>: Online meeting via Zoom unless otherwise noted by the EPC.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Please contact Jackie Fishman, fishman@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or

(505) 764-9801

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> H-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:
  - Deviation(s)
  - Variance(s)
  - Waiver(s)

Explanation\*:

None requested.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A facilitated meeting occurred on March 19, 2024 with Near North Valley NA, Wells Park NA,

and other neighbors. The participants support the intended Fire Station.

Neighbors have requested a .5 acre park. The fire station will include a secured

community meeting room to be open to the public.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 4.09 acres
  - 2. IDO Zone District NR-PO-A
  - 3. Overlay Zone(s) [if applicable] North Fourth Corridor CPO-9
  - 4. Center or Corridor Area [if applicable] 4th Street Main Street Corridor
- Current Land Use(s) [vacant, if none] Fire Station and Park

**NOTE:** For Zoning Map Amendment – EPC only, pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.caba.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**H-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

0 250 500 1,000 Feet

**G) PROPOSED SITE PLAN**




# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

  
\_\_\_\_\_  
Applicant or Agent Signature / Date

May 9, 2024

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- ~~N/A~~ Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- ~~X~~ G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - ~~X~~ 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - ~~X~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- N/A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

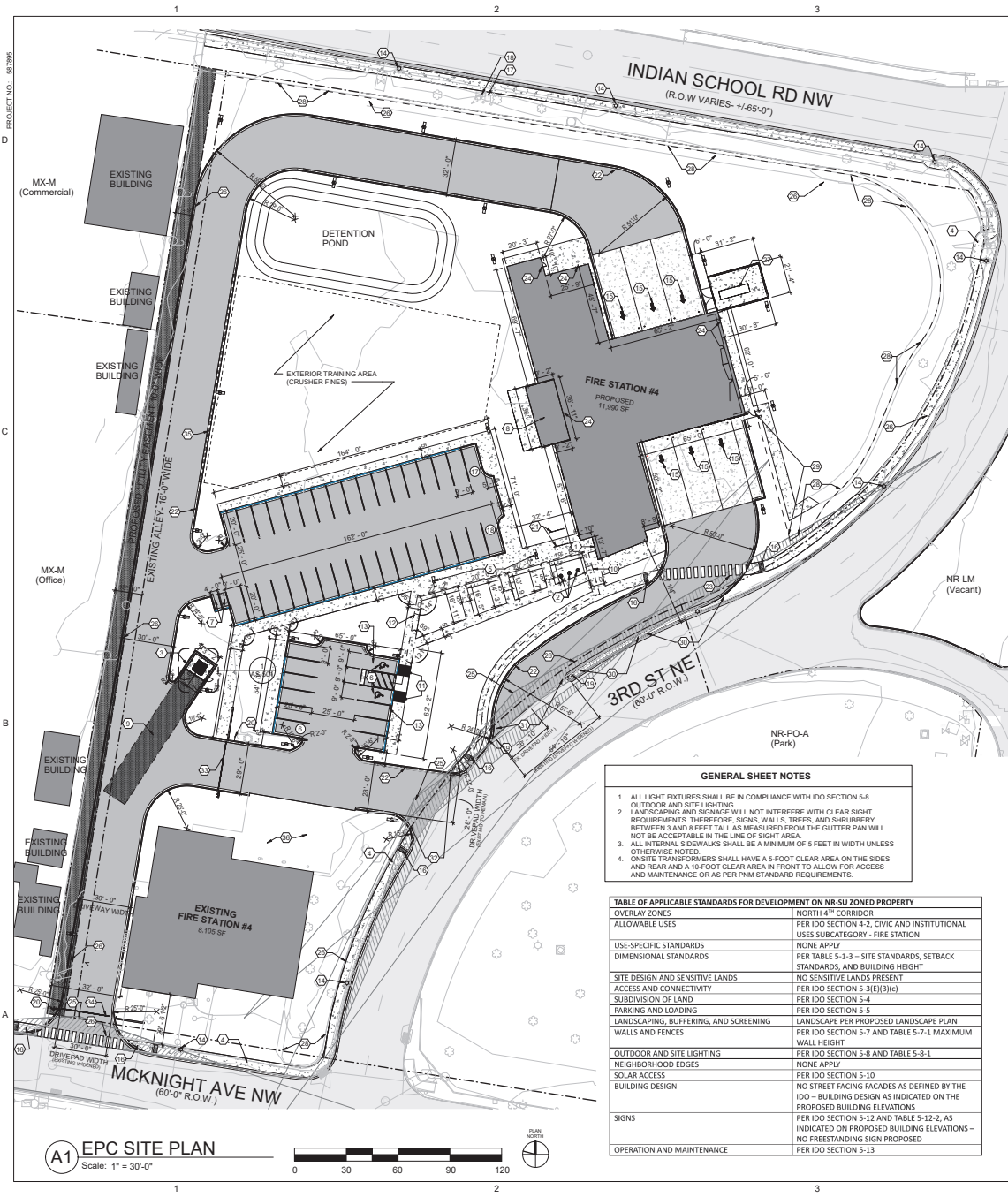
## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

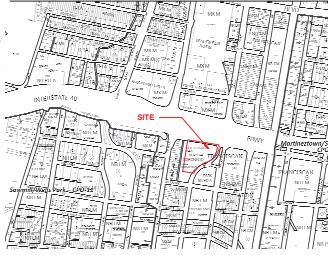
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



**VICINITY MAP**



PROJECT NUMBER: xxxxx-xxxxxx  
 Application Number: SI-xxxx-xxxxxx

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated October 19th, 2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

- DT SITE DEVELOPMENT PLAN APPROVAL:**
- Traffic Engineering, Transportation Division
  - ABCWUA
  - Parks and Recreation Department
  - Hydrology
  - Code Enforcement
  - \*Environmental Health Department (conditional)
  - Solid Waste Management
  - Planning Department

**SITE DATA**

**LEGAL DESCRIPTION:**  
 PORT OF CORONADO PARK LESS PORT TO RW FRANCISCAN AODN  
 UPC: 101405993131141804  
 SIZE: 4.09 ACRES

**EXISTING ZONING:** NR-PO-A  
**PROPOSED ZONING:** NR-SU  
**PROPOSED LAND USE:** FIRE STATION

**PEDESTRIAN AND VEHICLE ACCESS:** PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM 3RD STREET. A NEW 8 FOOT SIDEWALK WILL BE CONSTRUCTED TO CONNECT TO THE EXISTING ONE ALONG 3RD STREET, WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDINGS.

**BUS ROUTES:** ROUTE 1 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 30 MINUTES; AND ROUTE 13 ALONG 3RD STREET, WITH A PEAK FREQUENCY OF 40 MINUTES.

**PARKING REQUIREMENTS**

**PARKING CALCULATIONS**

**PARKING SPACES:**  
 PER IDO TABLE 5-1-1 MINIMUM OFF STREET PARKING REQUIREMENTS:  
 FIRE STATION 2 SPACES PER 1,000 SQ. FT. GFA

**TOTAL REQUIRED:**  
 FIRE STATION #4: 11,987 SF, SO (11,987/1000)\*2 = 23.9 = 24 SPACES  
 (EXISTING) FIRE STATION #4 (TO BE USED AS TRAINING/OFFICE SPACE): 8,105 SF, SO (8,105/1000)\*2 = 16.21 = 17 SPACES

**TOTAL PROVIDED:**  
 41 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

**MOTORCYCLE SPACES:**  
 PER IDO 5-5(0)(1)  
 TOTAL REQUIRED - 2  
 TOTAL PROVIDED - 2

**BICYCLE SPACES:**  
 PER IDO TABLE 5-5-5 OF IDO MINIMUM BICYCLE PARKING REQUIREMENTS:  
 3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES, WHICHEVER IS GREATER, IS REQUIRED.  
 TOTAL REQUIRED - 5  
 TOTAL PROVIDED - 6

- GENERAL SHEET NOTES**
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GROUND SHALL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
  - ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
  - ON-SITE TRANSFORMERS SHALL HAVE A 8-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.

TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON NR-SU ZONED PROPERTY	NORTH 4TH CORRIDOR
OVERLAY ZONES	PER IDO SECTION 4.3, CIVIC AND INSTITUTIONAL USES SUBCATEGORY - FIRE STATION
ALLOWABLE USES	NONE APPLY
USE-SPECIFIC STANDARDS	NONE APPLY
DIMENSIONAL STANDARDS	PER TABLE 5-1-3 - SITE STANDARDS, SETBACK STANDARDS, AND BUILDING HEIGHT
SITE DESIGN AND SENSITIVE LANDS	NO SENSITIVE LANDS PRESENT
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(C)
SUBDIVISION OF LAND	PER IDO SECTION 5-4
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	LANDSCAPE PER PROPOSED LANDSCAPE PLAN
WALLS AND FENCES	PER IDO SECTION 5-7 AND TABLE 5-7-1 MAXIMUM WALL HEIGHT
OUTDOOR AND SITE LIGHTING	PER IDO SECTION 5-8 AND TABLE 5-8-1
NEIGHBORHOOD EDGES	NONE APPLY
SOLAR ACCESS	PER IDO SECTION 5-10
BUILDING DESIGN	NO STREET FACING FACADES AS DEFINED BY THE IDO - BUILDING DESIGN AS INDICATED ON THE PROPOSED BUILDING ELEVATIONS
SIGNS	PER IDO SECTION 5-12 AND TABLE 5-12-2, AS INDICATED ON PROPOSED BUILDING ELEVATIONS - NO FREESTANDING SIGN PROPOSED
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

**SHEET KEYNOTES AS-101 EPC**

1	PROPOSED ENTRY DOOR
2	NEW 30' FLAGPOLE W/ INTEGRAL LIGHT, TYP. OF 3 SEE C3AS-502
3	REFUSE ENCLOSURE COMPLIANT WITH CABO STANDARDS SEE DETAIL B3AS-501 + C3AS-501
4	EXISTING SIDEWALK TO REMAIN
5	NEW 16' LIGHTPOLE
6	HANDICAP PARKING PER CABO STANDARD
7	MOTORCYCLE PARKING
8	COVERED PATIO WITH LOOSE FURNITURE, 813 SF
9	PROPOSED BY REFUSE VEHICLE CLEARANCE
10	ADA ACCESS PATH (163 FT TOTAL PATH FROM ROW)
11	ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABO STD DTL 2443 SEE A1AS-403
12	ADA ACCESS PATH (188 FT TOTAL PATH FROM ADA PARKING)
13	ACCESSIBLE HANDICAP PARKING SIGN WITH WITH CABO STD LANGUAGE SIGN SEE A2AS-402
14	EXISTING STREET LIGHT TO REMAIN
15	PAVEMENT DIRECTION MARKERS SEE A4AS-503
16	ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABO STD DTL 2443 DETAIL C
17	EXISTING TRANSFORMER TO REMAIN
18	EXISTING ELECTRICAL POWER BOX TO REMAIN
19	NEW CABO STANDARD "DO NOT ENTER" SIGN
20	NEW STANDARD OFFICIAL VEHICLES ONLY BEYOND THIS POINT SIGN
21	NEW BICYCLE RACK SEE B3AS-501
22	6" CURB AND GUTTER PER CABO STD DETAIL TYP.
23	CROSSWALK STRIPES: INTEGRALLY COLORED CONCRETE - CAST FLUSH W/ ADJACENT COLOR TO BE SOLID YELLOW INTEGRAL CONCRETE - 2"X6" STRIPES EA AT 2' APART TO EXTENTS SHOWN
24	PROPOSED EXIT DOOR LOCATION
25	CLEAR SIGHT TRIANGLE PER CABO DPM 7.4.93
26	PROPERTY LINE
27	GENERATOR ENCLOSURE
28	EXISTING SITE FENCE
29	RE-USED SITE FENCE INSTALLATION
30	EXISTING CURB RELATED TO REMAIN IN PLACE
31	EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT WIDEN TO EXTENTS SHOWN
32	EXISTING DRIVEPAD ENTRANCE TO REMAIN BUT REPLACE ENTERING CURB RAMP TO EXTENTS SHOWN
33	RE-USED EXISTING GATE - CONTRACTOR TO CONFIRM AND PROCURE NECESSARY PARTS TO COMPLETE RELOCATION, INCLUDING ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR.
34	NEW GATE INSTALLATION TO MATCH EXISTING - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR.
35	10" ROLLED CURB & GUTTERS SEE CIVIL
36	EXISTING CONCRETE DRIVEPAD TO REMAIN

**LEGEND**

[Symbol]	PROPOSED LIGHT POLE
[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	PAVED ASPHALT
[Symbol]	EXISTING PAVED ASPHALT
[Symbol]	PAVED CONCRETE
[Symbol]	LANDSCAPE AREA
[Symbol]	PROPOSED 10' WIDE ELECTRICAL EASEMENT
[Symbol]	STEEL ORNAMENTAL FENCE TO MATCH EXISTING
[Symbol]	STEEL GATE TO MATCH EXISTING

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**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM

**FIRE STATION #4**

**SITE PLAN - EPC**

Design Review Committee	City Engineer Approval	Ms./Day/Yr	Ms./Day/Yr
Issue Date:	City Project No.	Sheet	
<b>MAY 2024</b>	<b>587895</b>	<b>EPC-AS-101</b>	

PROJECT NO. 097956

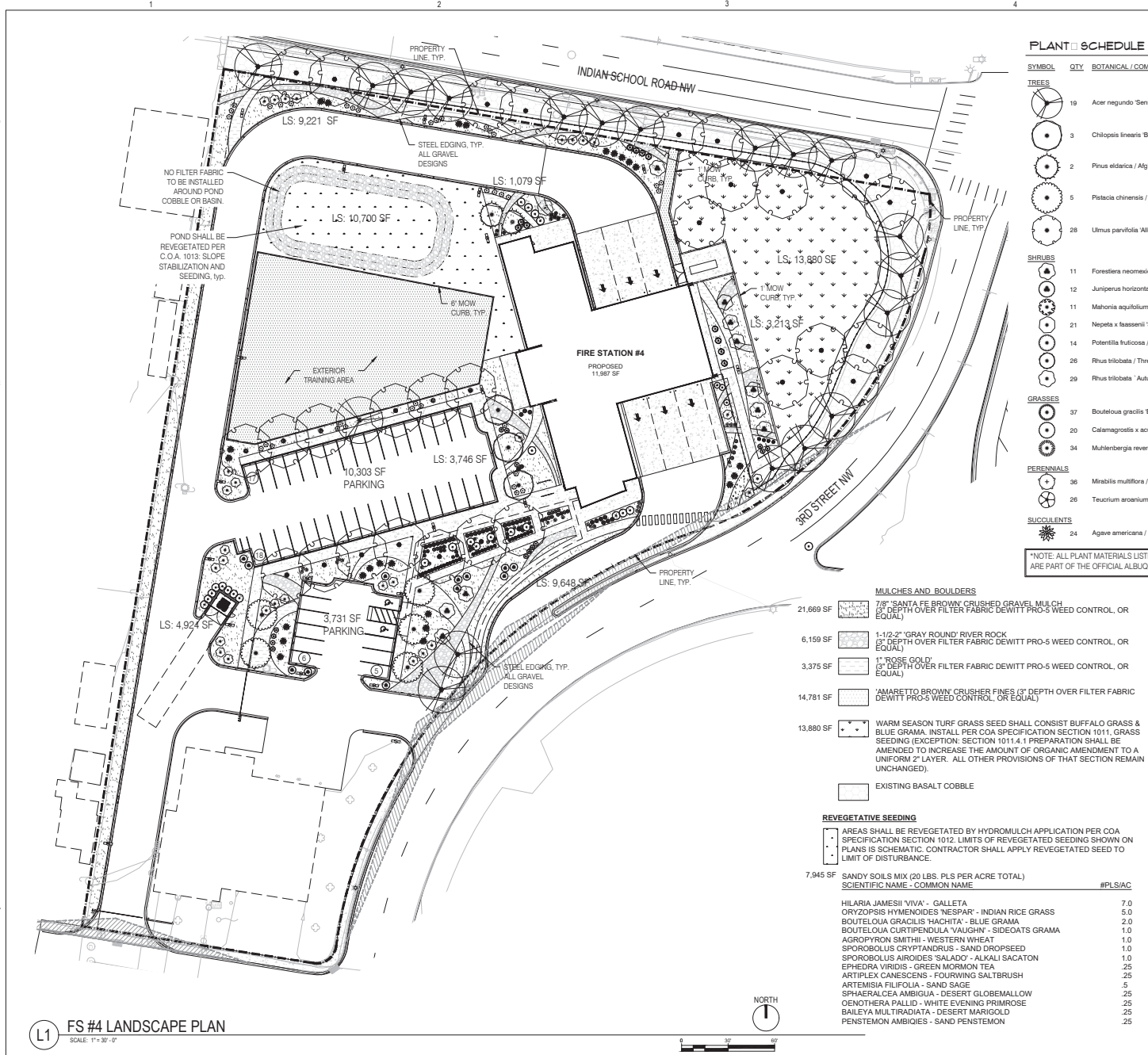
City of Albuquerque Electronic Stamp

1 2 3 4 5

**A1 EPC SITE PLAN**  
 Scale: 1" = 30'-0"







**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>		
(Symbol)	19	Acer negundo 'Sensation' / Sensation Box Elder
(Symbol)	3	Chilopsis linearis 'Bubbe' / Bubbe Desert Willow
(Symbol)	2	Pinus eldarica / Afghan Pine
(Symbol)	5	Pistacia chinensis / Chinese Pistache
(Symbol)	28	Ulmus parviflora 'Ailee' / Ailee® Lacebark Elm
<b>SHRUBS</b>		
(Symbol)	11	Foerstera neomexicana / NM Olive
(Symbol)	12	Juniperus horizontalis 'Blue Chip' / Blue Chip Creeping Juniper (Female only)
(Symbol)	11	Mahonia aquifolium 'Compacta' / Compact Oregon Grape
(Symbol)	21	Neptis x taasseni 'Select Blue' / Select Blue Catmint
(Symbol)	14	Potentilla fruticosa / Shrubby Cinquefoil
(Symbol)	26	Rhus trilobata / Three-Leaf Sumac
(Symbol)	29	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac
<b>GRASSES</b>		
(Symbol)	37	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama
(Symbol)	20	Calamagrostis x scutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass
(Symbol)	34	Muhlenbergia reverchonii 'PUNDO15' / Undaunted Ruby Muhly Grass
<b>PERENNIALS</b>		
(Symbol)	36	Mirabilis multiflora / Colorado Four O'Clock
(Symbol)	26	Teucrium arcanium / Creeping Germander
<b>SUCCULENTS</b>		
(Symbol)	24	Agave americana / Century Plant

\*NOTE: ALL PLANT MATERIALS LISTED ON THE PLANT SCHEDULE ARE PART OF THE OFFICIAL ALBUQUERQUE PLANT PALETTE LIST.

- MULCHES AND BOULDERS**
- 21,669 SF 7/8" SANTA FE BROWN CRUSHED GRAVEL MULCH (6" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL OR EQUAL)
  - 6,159 SF 1-1/2" "GRAY ROUND" RIVER ROCK (6" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL OR EQUAL)
  - 3,375 SF 1" "ROSE GOLD" (6" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL OR EQUAL)
  - 14,781 SF "MARETTO BROWN CRUSHER FINES" (6" DEPTH OVER FILTER FABRIC DEWITT PRO-5 WEED CONTROL OR EQUAL)
  - 13,880 SF WARM SEASON TURF GRASS SEED SHALL CONSIST BUFFALO GRASS & BLUE GRAMA. INSTALL PER COA SPECIFICATION SECTION 1011. GRASS SEEDING (EXCEPTION: SECTION 1011.4.1 PREPARATION SHALL BE AMENDED TO INCREASE THE AMOUNT OF ORGANIC AMENDMENT TO A UNIFORM 2" LAYER. ALL OTHER PROVISIONS OF THAT SECTION REMAIN UNCHANGED).
  - EXISTING BASALT COBBLE

- REVEGETATIVE SEEDING**
- AREAS SHALL BE REVEGETATED BY HYDROMULCH APPLICATION PER COA SPECIFICATION SECTION 1012. LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE.
- | 7,945 SF SANDY SOILS MIX (20 LBS. PLS PER ACRE TOTAL) | SCIENTIFIC NAME - COMMON NAME                     | #PLS/AC |
|---|---|---------|
|   | HILARIA JAMESII 'VIVA' - GALLETA                  | 7.0     |
|   | ORYZOPSIS HYMENOIDES 'NESPAR' - INDIAN RICE GRASS | 5.0     |
|   | BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA         | 2.0     |
|   | BOUTELOUA CURTIPENDULA 'VAUGHN' - SIDEOATS GRAMA  | 1.0     |
|   | AGROPYRON SMITHII - WESTERN WHEAT                 | 1.0     |
|   | SPOROBOLUS CRYPTANDRUS - SAND DROPSEED            | 1.0     |
|   | SPOROBOLUS AIROIDES 'SALADO' - ALKALI SACATON     | 25      |
|   | EPHEDRA VIRIDIS - GREEN MORMON TEA                | 25      |
|   | ARTILEX CANESCENS - FOURWING SALTBRUSH            | 25      |
|   | ARTEMISIA FILIFOLIA - SAND SAGE                   | .5      |
|   | SPHAERALCEA AMBIGUA - DESERT GLOBEMALLOW          | .25     |
|   | OENOTHERA PALLID - WHITE EVENING PRIMROSE         | .25     |
|   | BAILEYA MULTIRADIATA - DESERT MARIGOLD            | .25     |
|   | PENSTEMON AMBIGUUS - SAND PENSTEMON               | .25     |

City of Albuquerque Electronic Stamp

DESIGN	
Drawn By: JAL	4/18/24
Checked By: JAL	4/18/24
Designed By: JAL	4/18/24

AS BUILT INFORMATION	
CONTRACTOR	DATE

BENCH MARKS	
MARK	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

SEAL	
NO.	DATE

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**CITY OF ALBUQUERQUE**  
 CAPITAL IMPLEMENTATION PROGRAM  
**AFR FIRE STATION 4**  
 ALBUQUERQUE, NM

Design Review Committee	City Engineer Approval	Ms. Day/Ti 05/09/2024	Ms. Day/Ti
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Issue Date:	City Project No:	Sheet
<b>MAY 9, 2024</b>	XXXXX XXXXX	<b>LS-101</b>

**L1 FS #4 LANDSCAPE PLAN**  
 SCALE: 1" = 30' 0"

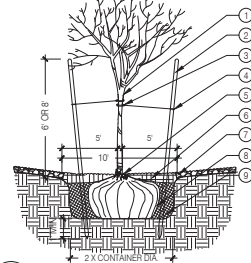


**LANDSCAPE CALCULATIONS**

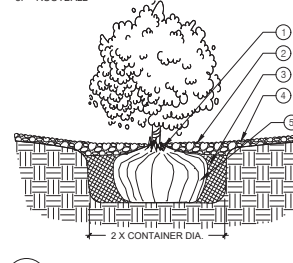
<b>LANDSCAPE AREA COVERAGE</b>	
TOTAL SITE AREA (4.09 AC.):	176,160 SF
BUILDING AREA:	-11,987 SF
NET AREA:	166,173 SF
REQUIRED / PROVIDED LANDSCAPE:	24,926 SF / 52,282 SF
<b>COVERAGE</b>	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 70% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	39,212 SF / 85,200
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	9,803 SF / 28,099
<b>PARKING LOT TREES</b>	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED	46
REQUIRED/PROVIDED PARKING LOT TREES:	4/4
<b>PARKING LOT AREA</b>	
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, SHALL BE LANDSCAPED.	
TOTAL PARKING LOT AREA:	14,034 SF
REQUIRED/PROVIDED LANDSCAPE AREA:	1,403 SF / 8,667
<b>WARM SEASON NATIVE GRASSES</b>	
70% OF THE REQUIRED LANDSCAPE AREAS CAN BE 'WARM SEASON' GRASSES.	
ALLOWABLE NATIVE GRASS AREA	17,448 SF
PROVIDED NATIVE GRASS AREA	13,880 SF
<b>STREET TREES</b>	
STREET TREE REQUIREMENTS ARE BASED UPON AN AVERAGE SPACING OF 25' O.C. (INDIAN SCHOOL ROAD); STREET FRONTAGE = 438'	
REQUIRED/PROVIDED STREET TREES = 18/18	
(3RD STREET) STREET FRONTAGE = 247'	
REQUIRED/PROVIDED STREET TREES = 10/12	
<b>NMDOT ROW</b>	
A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDOT FOR ANY LANDSCAPING WITHIN NMDOT HIGHWAY RIGHT OF WAY.	
<b>GRAVEL MULCH COVERAGE</b>	
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(1)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA, OR 50 PERCENT IND-TJ-MS AREAS	
ALLOWED:	50,144 SF (no more than 75%) / NON GRVL. 12,356 (25%)
PROVIDED:	45,984 SF (69%) / REVEG 21,825 SF (25%)
ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-4-2 OF R.O.A 1804 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.	
5-6-(c) (4) (i) SHADE TREES REQUIRED EVERY 25' O.C. ALONG ALL PEDESTRIAN PATHWAYS. (SITE COMPLIANT)	

- STRESS POINT OF TREE
- 8" OR 10" LODGEPOLE STAKES DRIVEN AT ANGLE (8° FOR MULTI OR CANOPY, 10° FOR TALL COLUMNAR)
- 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
- #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 5' RADIUS OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS

- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
- WATER RETENTION BASIN - 3" LAYER OF ORGANIC BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL



1 TREE PLANTING SCALE: N.T.S.



2 SHRUB PLANTING SCALE: N.T.S.

**GENERAL LANDSCAPE NOTES**

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING. PURSUANT TO 5-6(C)(14)(C) THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PMM COORDINATION**  
COORDINATION WITH PMMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 5 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED ORGANIC MULCH AT TREES**  
SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 5' DIAMETER CIRCLE.

**IDO STANDARDS**

**CLEARANCE**  
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8'-0" FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9'-0" FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

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<b>AS BUILT INFORMATION</b>		CONTRACTOR	DATE
<b>BENCH MARKS</b>		MARK	DATE
<b>SURVEY INFORMATION</b>		FIELD NOTES	DATE
<b>SEAL</b>		NO.	DATE
		BY	
		REMARKS	
		DESIGN	
		Drawn by: JAL	4/18/24
		Checked by: JAL	4/18/24
		Permitted by: AK	4/18/24

**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
302 Eighth Street NW  
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**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP, P.C.  
4477 Irving NW, Suite A  
Albuquerque, New Mexico 87114  
PH: 505.850.5225 Fax: 505.850.8031  
www.VA-architects.com

**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**AFR FIRE STATION 4**  
ALBUQUERQUE, NM

Drawing Title: **NOTES AND DETAILS EPC**

Design Review Committee: City Engineer Approval

Issue Date: **MAY 9, 2024**

City Project No: XXXXX  
XXXXX

Sheet: **LS-501**

Ms. Day/11: 05/09/2023

Ms. Day/11:

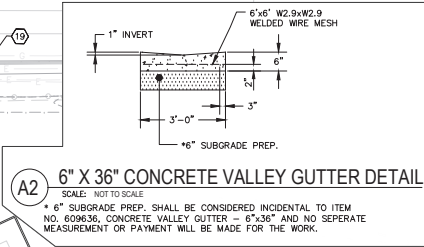
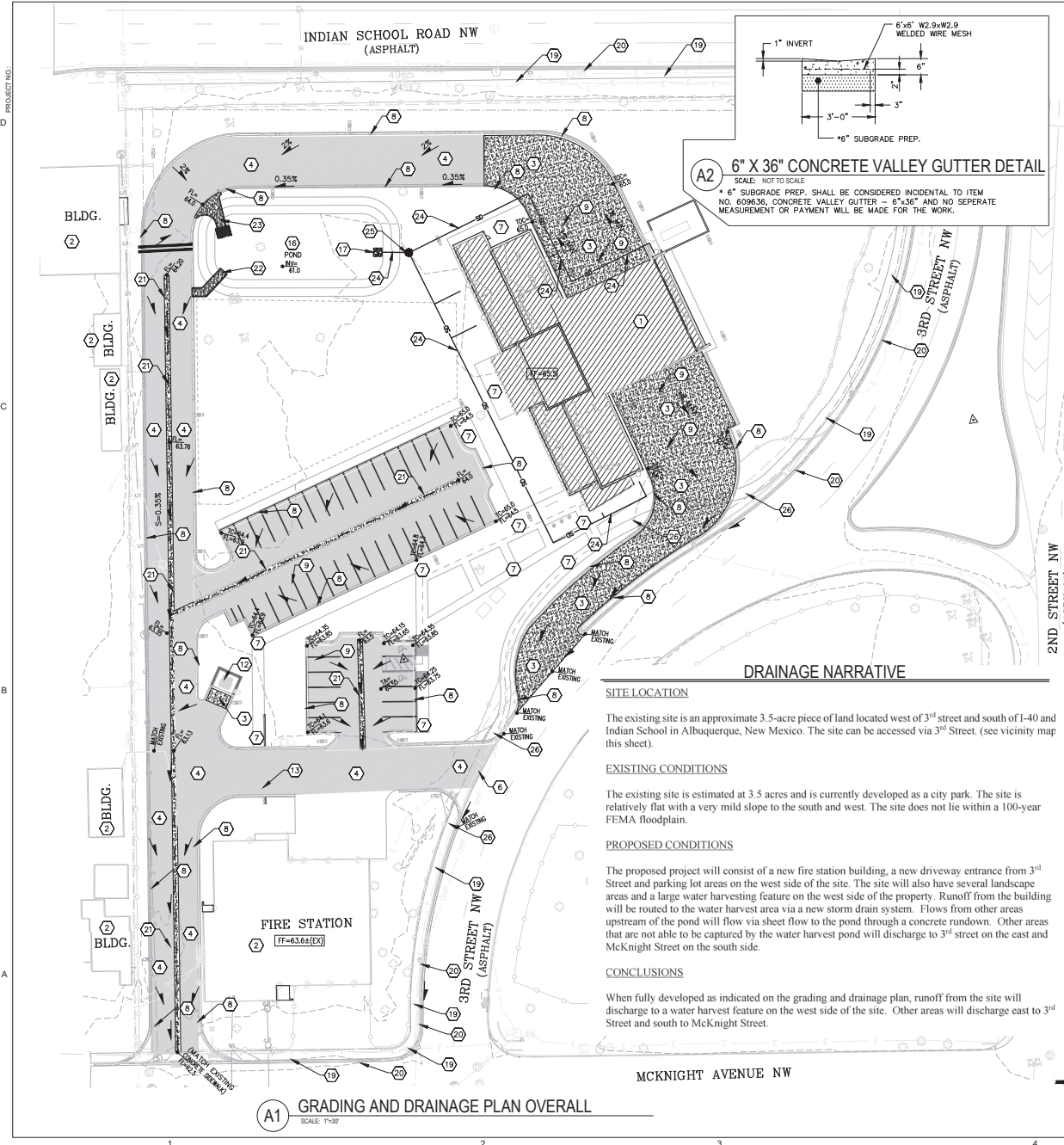
Ms. Day/11:

Ms. Day/11:

Ms. Day/11:

Ms. Day/11:

T:\Clients\VIGIL & ASSOCIATES\CADD\SD\Electronic 100 GRADING AND DRAINAGE PLAN 05 01 2024.dwg, 5/20/2024 2:05:35 PM, 1:1



- LEGEND:**
- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
  - MATCH (6x19) MATCH EXISTING ELEVATIONS
  - TOC TOP OF CONCRETE
  - FL FLOW LINE, CURB
  - INV INVERT
  - FG FINISH GRADE
  - TBC TOP OF BASE COURSE
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TA TOP OF ASPHALT
  - FV FIELD VERIFY
  - FLOW ARROW FLOW ARROW
  - GRADE BREAK-HIGH POINT GRADE BREAK-HIGH POINT
  - PROPOSED STORM DRAIN MANHOLE PROPOSED STORM DRAIN MANHOLE
  - SWALE SWALE
  - SD STORM DRAIN LINE
  - PROPOSED MAJOR CONTOUR PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR PROPOSED MINOR CONTOUR

- KEYED NOTES:**
- 1 NEW BUILDING SEE ARCHITECTURAL PLANS.
  - 2 EXISTING BUILDING TO REMAIN.
  - 3 NEW HEAVY DUTY CONCRETE PAVING.
  - 4 NEW HEAVY DUTY ASPHALT PAVING.
  - 5 NEW LIGHT DUTY ASPHALT PARKING.
  - 6 NEW CONCRETE VALLEY GUTTER WITH FILLETS.
  - 7 NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL PLANS FOR DETAILS.
  - 8 NEW CONCRETE CURB AND GUTTER.
  - 9 NEW PARKING STRIPES AND ADA MARKINGS, SEE ARCHITECTURAL PLANS FOR DETAILS.
  - 10 NOT USED.
  - 11 NOT USED.
  - 12 NEW TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
  - 13 NEW SITE FENCE, SEE ARCHITECTURAL PLANS FOR DETAILS.
  - 14 NEW FIRE FIGHTER PARKING, (30 SPACES)
  - 15 NEW VISITOR PARKING, (11 SPACES)
  - 16 NEW WATER HARVEST AREA #1.
  - 17 NEW 5'X5' RIP RAP PAD.
  - 18 NOT USED.
  - 19 EXISTING SIDEWALK TO REMAIN.
  - 20 EXISTING CURB AND GUTTER TO REMAIN.
  - 21 NEW 36" CONCRETE VALLEY GUTTER, S=0.35% SEE DETAIL THIS SHEET.
  - 22 NEW 48" WIDE CONCRETE CHANNEL POND OVERFLOW INV=64.0.
  - 23 NEW CONCRETE ROUNDOWN.
  - 24 NEW 12" STORM DRAIN LINE @ 1% SLOPE.
  - 25 NEW STORM DRAIN MANHOLE.
  - 26 NEW ADA RAMP PER COA STD DWG #2443

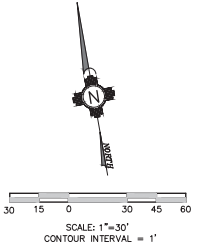
**DRAINAGE NARRATIVE**

**SITE LOCATION**  
The existing site is an approximate 3.5-acre piece of land located west of 3<sup>rd</sup> street and south of I-40 and Indian School in Albuquerque, New Mexico. The site can be accessed via 3<sup>rd</sup> Street. (see vicinity map this sheet).

**EXISTING CONDITIONS**  
The existing site is estimated at 3.5 acres and is currently developed as a city park. The site is relatively flat with a very mild slope to the south and west. The site does not lie within a 100-year FEMA floodplain.

**PROPOSED CONDITIONS**  
The proposed project will consist of a new fire station building, a new driveway entrance from 3<sup>rd</sup> street and parking lot areas on the west side of the site. The site will also have several landscape areas and a large water harvesting feature on the west side of the property. Runoff from the building will be routed to the water harvest area via a new storm drain system. Flows from other areas upstream of the pond will flow via sheet flow to the pond through a concrete roundown. Other areas that are not able to be captured by the water harvest pond will discharge to 3<sup>rd</sup> street on the east and McKnight Street on the south side.

**CONCLUSIONS**  
When fully developed as indicated on the grading and drainage plan, runoff from the site will discharge to a water harvest feature on the west side of the site. Other areas will discharge east to 3<sup>rd</sup> Street and south to McKnight Street.



**A1 GRADING AND DRAINAGE PLAN OVERALL**  
SCALE: 1"=30'

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FOUNDER	DATE	REVISION	DATE	REVISION	DATE

FOUNDER	DATE	REVISION	DATE	REVISION	DATE
DESIGNER	DATE	CHECKED	DATE	REVISION	DATE



**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

**AFD FIRE STATION 4**  
301 MCKNIGHT AVENUE, N.W.  
ALBUQUERQUE, NM 87107

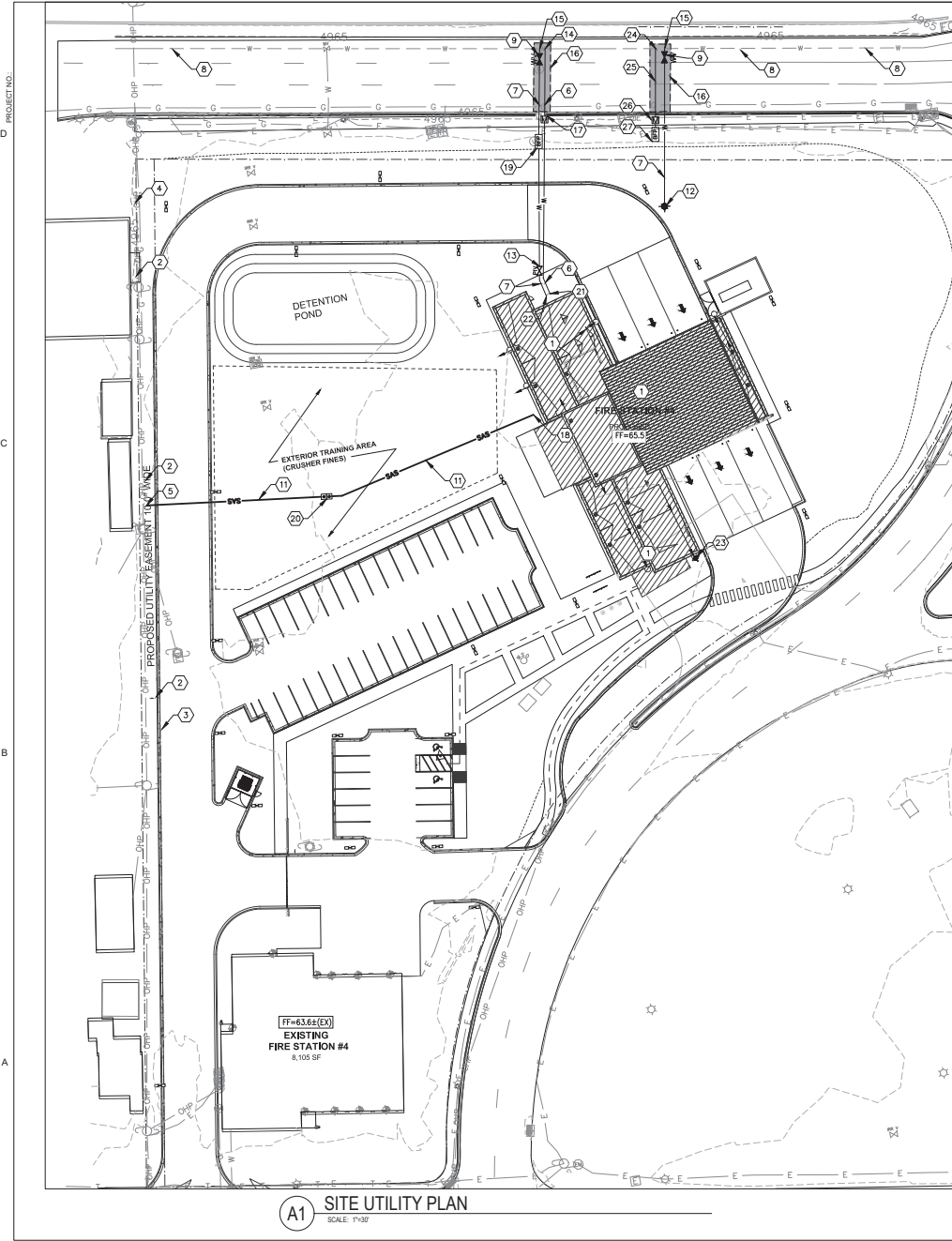
Design Title: DESIGN DEVELOPMENT GRADING AND DRAINAGE PLAN OVERALL

Design Review Committee	City Engineer Approval	Mo, Day/Yr	Mo, Day/Yr
		7/10/18	

Issue Date: MAY 24, 2024  
City Project No. .  
Sheet: C-101







- LEGEND:**
- W— NEW WATER LINE
  - PW- PROPOSED WATER LINE
  - SAS--- PROPOSED SANITARY SEWER LINE
  - PSAS--- EXISTING SANITARY SEWER LINE
  - F- NEW FIRE HYDRANT
  - ◆ EXISTING FIRE HYDRANT
  - ◆ NEW WATER METER
  - ◆ NEW POST INDICATOR VALVE

- EXISTING SAS MANHOLE
- PROPOSED SAS MANHOLE
- EXISTING SD LINE
- PROPOSED SD LINE
- EXISTING SD MANHOLE
- PROPOSED SD MANHOLE
- ◆ PROPOSED GATE VALVE
- ◆ PROPOSED CLEANOUT
- PROPOSED BACK FLOW PREVENTER

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**KEYED NOTES**

1. NEW BUILDINGS SEE ARCHITECTURAL DRAWINGS.
  2. EXISTING 8" VITRIFIED CLAY PIPE SANITARY SEWER LINE.
  3. EXISTING SAS MANHOLE TO REMAIN. INV(N)=54.76
  4. EXISTING SAS MANHOLE TO REMAIN.
  5. POINT OF CONNECTION FOR NEW 4" SAS LINE TO EXISTING SAS MAIN LINE.
  6. NEW 2" DIA. DOMESTIC WATER SERVICE LINE WITH METER.
  7. NEW 6" DIA. DEDICATED FIRE LINE.
  8. EXISTING 6" CAST IRON WATER MAIN LINE.
  9. NEW 6" GATE VALVE.
  10. NEW 6"x6"x6" TEE.
  11. NEW 4" SAS LINE @ 0.5% MINIMUM SLOPE.
  12. NEW FIRE HYDRANT.
  13. NEW POST INDICATOR VALVE (PIV).
  14. CONNECT NEW 2" DIA. DOMESTIC WATER LINE TO EXISTING WATER MAIN.
  15. CONNECT NEW 6" DIA. DEDICATED FIRE LINE TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE.
  16. SAW CUT, EXISTING ASPHALT TO CLEAN STRAIGHT EDGE. REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL WATER AND SAS LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. (9' MAX. WIDTH).
  17. NEW 2" WATER METER.
  18. POINT OF CONNECTION OF NEW 4" SAS TO NEW BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
  19. NEW REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY, PER COA STD DWG #2385.
  20. NEW DOUBLE SAS CLEANOUT.
  21. POINT OF CONNECTION OF NEW 2" DOMESTIC LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
  22. POINT OF CONNECTION OF 6" DEDICATED FIRE LINE TO BUILDING, SEE PLUMBING PLAN FOR LOCATION AND ELEVATION.
  23. NEW REMOTE FDC.
  24. POINT OF CONNECTION OF NEW 1½" IRRIGATION LINE TO EXISTING WATER MAIN.
  25. NEW 1½" IRRIGATION LINE.
  26. NEW 1½" WATER METER.
  27. NEW 1½" BACK FLOW PREVENTER AND HOT BOX. SEE LANDSCAPING FOR CONTINUATION.
- GENERAL NOTE:**  
 1. ALL WATER LINES SHALL HAVE A 3' MINIMUM BURY.



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**CITY OF ALBUQUERQUE**  
**CAPITAL IMPLEMENTATION PROGRAM**  
**AFD FIRE STATION #4**  
 301 MANNING AVENUE, N.W.  
 ALBUQUERQUE, NM 87112

**DESIGN DEVELOPMENT**  
**SITE UTILITY PLAN**

NO.	DATE	REMARKS	BY

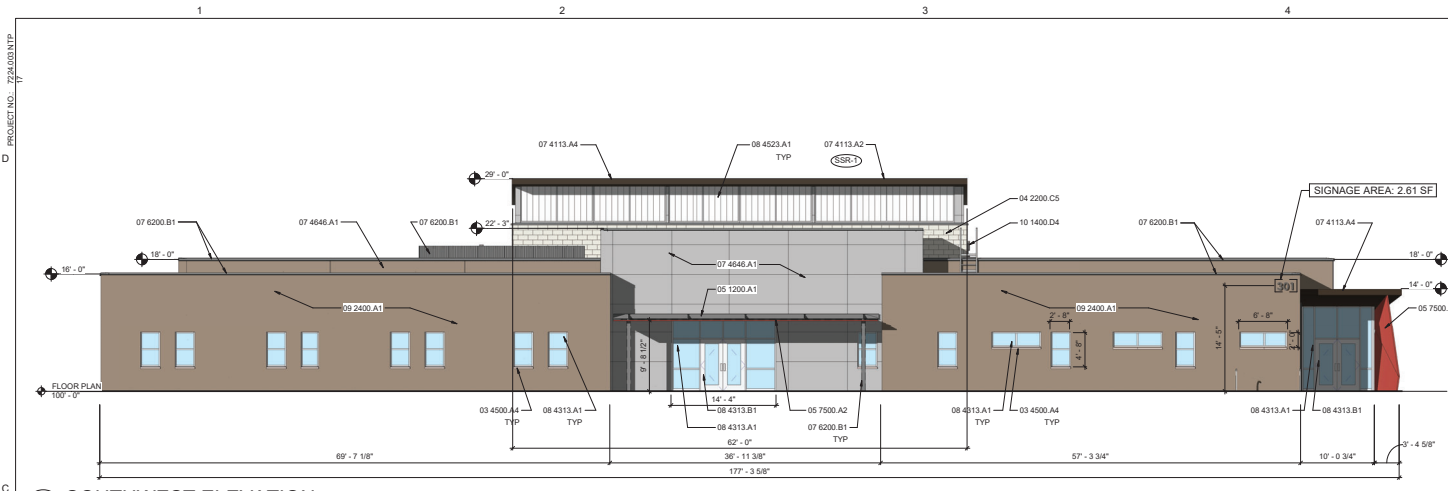
Design By:	DATE:	Mo./Day/Yr:
Drawn By:	DATE:	Mo./Day/Yr:
Checked By:	DATE:	Mo./Day/Yr:

**A1** **SITE UTILITY PLAN**  
 SCALE: 1"=30'

PROJECT NO. \_\_\_\_\_

Drawing Title	City Engineer Approval	Mo./Day/Yr: 7/10/18
Design Review Committee	City Project No.	Mo./Day/Yr:
Issue Date:		
<b>MAY 24, 2024</b>		

PROJECT NO. 7224.003NTP

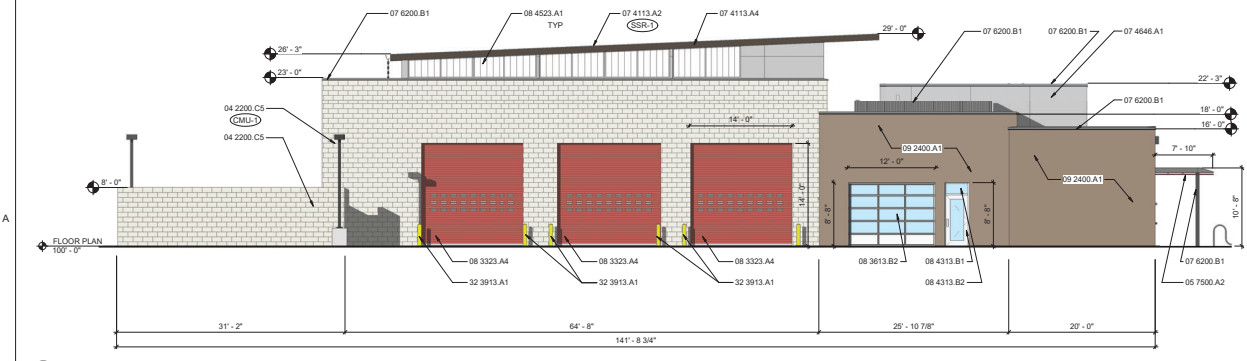


**(C1) SOUTHWEST ELEVATION**  
Scale: 1/8" = 1'-0"



SIGNAGE AREA: 2.61 SF

**(B1) EXTERIOR ELEVATION SIGNAGE PREMISE ID**  
Scale: 3/8" = 1'-0"



**(A1) NORTHWEST ELEVATION**  
Scale: 1/8" = 1'-0"

- GENERAL SHEET NOTES**
- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
  - REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
  - REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

**REFERENCE KEYNOTES**

03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C5	12" BURNISHED FACE CMU
05 1200.A1	W SHAPE STEEL MEMBER - REFER STRUCTURAL
05 7000.A1	PERFORATED METAL PANELS - RIBBED
05 7500.A2	SOLID METAL PANELS - RIBBED
07 4113.A2	PRE-FINISHED STANDING SEAM METAL ROOF PANEL
07 4113.A4	PRE-FINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4646.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 3613.B2	ALUMINUM & GLASS SECTIONAL DOOR
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B1	GLAZED ALUMINUM DOOR
08 4523.A1	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	7/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STO-01
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH
32 3913.A1	CONCRETE FILLED STEEL JACKETED BOLLARD - PAINTED

**COLOR AND MATERIAL SCHEDULE - EPC**

CODE	MATERIAL	STYLE	COLOR
EXTERIOR FINISHES			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	OFF WHITE
STO	STUCCO 01	SAND STUCCO FINISH	TAUPE
FCP	FIBER CEMENT PANEL	SMOOTH	LIGHT GRAY
PC-#	WALL COPING CAP	METAL	CHARCOAL
SSR-1	STANDING SEAM METAL ROOF	RAWHIDE	CHARCOAL
STEEL-1	SUNSHADE STRUCTURAL STEEL	MATTE	CHARCOAL
STEEL-2	METAL SCREEN	MATTE	BRIGHT RED
AL-1	ALUMINUM FRAMED OPENINGS	EXTERIOR: TRIFAB V0451T INTERIOR: TRIFAB 450	CLEAR ANODIZED ALUMINUM (SILVER)
OH1	HIGH SPEED OVERHEAD DOOR	MODEL # EPI 300	BRIGHT RED
OH2	OVERHEAD SECTIONAL DOOR	MODEL # 904U	CLEAR ANODIZED ALUMINUM (SILVER)
H&M	HOLLOW METAL DOORS AND FRAMES	MATTE	FLAT GREY

**AS-BUILT INFORMATION**

CONTRACTOR	DATE	DATE
DRAWN BY	DATE	DATE
CHECKED BY	DATE	DATE
DESIGNED BY	DATE	DATE
RECORDED BY	DATE	DATE
NO.	DATE	DATE

**BENCH MARKS**

NO.	DATE
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**SURVEY INFORMATION**

FIELD NOTES	DATE
BY	DATE
NO.	DATE

**REMARKS**

NO.	DATE	REMARKS
NO.	DATE	REMARKS
NO.	DATE	REMARKS

**DESIGN**

DESIGNED BY	DATE
CHECKED BY	DATE

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**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

Drawing Title: **EXTERIOR ELEVATIONS - EPC**

Design Review Committee: City Engineer Approval

Issue Date: **MAY 2024**

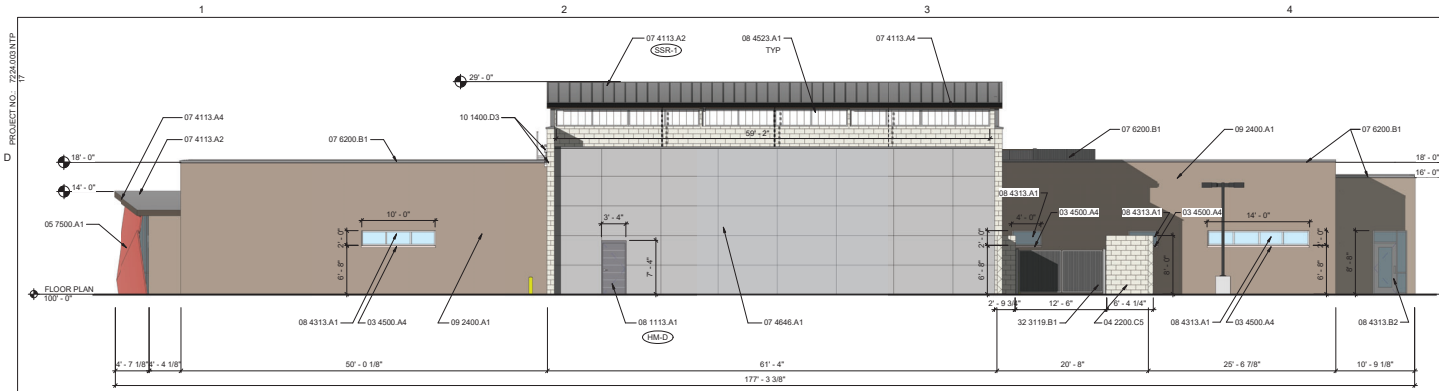
City Project No.: **7224.003 NTP 17**

Sheet: **EPC-A-201**

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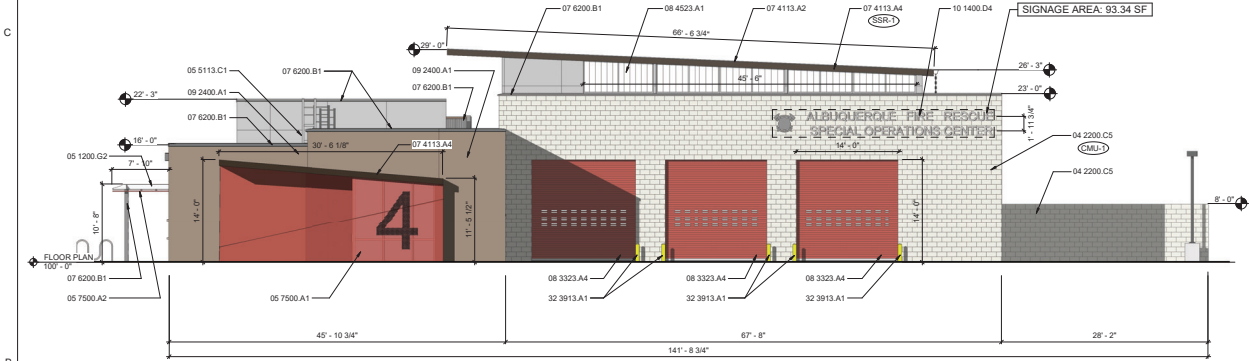
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PROJECT NO. 7224.003 NTP



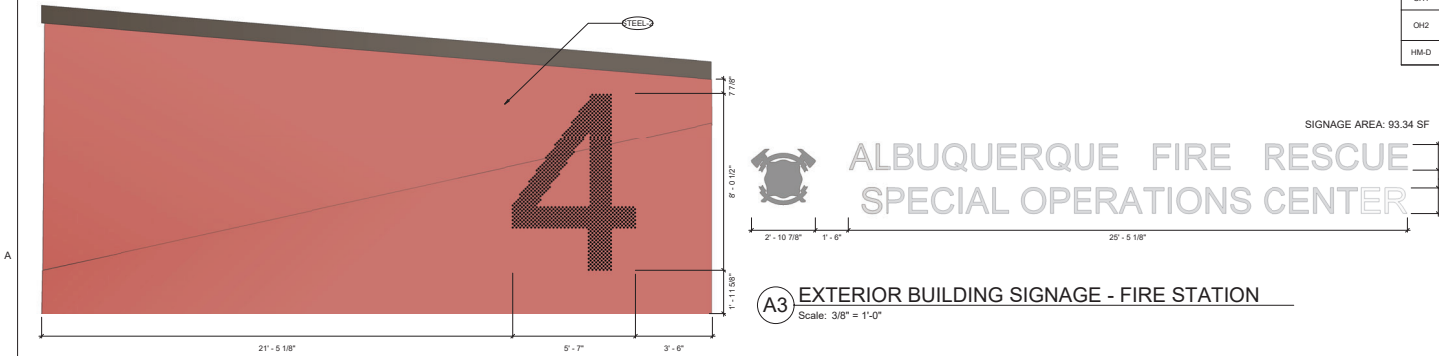
**C1 NORTHEAST ELEVATION**

Scale: 1/8" = 1'-0"



**B1 SOUTHEAST ELEVATION**

Scale: 1/8" = 1'-0"



**A3 EXTERIOR BUILDING SIGNAGE - FIRE STATION**

Scale: 3/8" = 1'-0"

**A1 EXTERIOR BUILDING SIGNAGE - FIRE STATION**

Scale: 3/8" = 1'-0"

**GENERAL SHEET NOTES**

- A. ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES, DOORS, AND EXPOSED STEEL BEAMS AND COLUMNS AND DOOR STOPS SHALL BE PAINTED.
- B. REFER COLOR & MATERIAL SCHEDULE FOR STUCCO AND CMU COLORS.
- C. REFER CIVIL SHEETS FOR LOCATIONS OF DOWNSPOUTS THAT WILL BE CONNECTED TO STORM DRAIN SYSTEM.

**REFERENCE KEYNOTES**

03 4500.A4	PRECAST ARCHITECTURAL CONCRETE SILL
04 2200.C5	12" BURNISHED FACE CMU
05 1200.G2	TUBE STEEL COLUMN - REFER STRUCTURAL
05 5113.C1	STEEL ROOF ACCESS LADDER - PAINT
05 7500.A1	PERFORATED METAL PANELS - RIBBED
05 7500.A2	SOLID METAL PANELS - RIBBED
07 4113.A2	PREFINISHED STANDING SEAM METAL ROOF PANEL ROOF MANUFACTURER
07 4113.A4	PREFINISHED METAL SOFFIT SYSTEM BY STANDING SEAM METAL ROOF MANUFACTURER
07 4846.A1	FIBER-CEMENT SIDING
07 6200.B1	COPING
08 1113.A1	HOLLOW METAL DOOR AND FRAME
08 3323.A4	OVERHEAD COILING DOOR - ELECTRIC MOTOR OPERATED
08 4313.A1	ALUMINUM FRAMED STORFRONT
08 4313.B2	ALUMINUM STORFRONT DOOR FRAME
08 4523.A1	POLYCARBONATE TRANSLUCENT PANEL ASSEMBLY
09 2400.A1	1/8" ELASTOMERIC SYNTHETIC STUCCO SYSTEM - STO-01
10 1400.D3	BUILDING IDENTIFICATION LETTERS - 12" HIGH
10 1400.D4	BUILDING IDENTIFICATION LETTERS - 24" HIGH
32 3119.B1	DECORATIVE METAL GATE
32 3913.A1	CONCRETE FILLED, STEEL JACKETS BOLLARD - PAINTED

**COLOR AND MATERIAL SCHEDULE - EPC**

CODE	MATERIAL	STYLE	COLOR
<b>EXTERIOR FINISHES</b>			
CMU-1	BURNISHED - CMU	BURNISHED BLOCK	OFF WHITE
STO	STUCCO 01	SAND STUCCO FINISH	TALUPE
FCP	FIBER CEMENT PANEL	SMOOTH	LIGHT GRAY
PC-#	WALL COPING CAP	METAL	CHARCOAL
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OH1	HIGH SPEED OVERHEAD DOOR	MODEL # EPI 300	BRIGHT RED
OH2	OVERHEAD SECTIONAL DOOR	MODEL # 904U	CLEAR ANODIZED ALUMINUM (SILVER)
HM-D	HOLLOW METAL DOORS AND FRAMES	MATTE	FLAT GREY

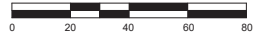
City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION	
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DESIGNED BY	DATE
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APPROVED BY	DATE
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MICRO-FILM INFORMATION	
RECORDED BY	DATE
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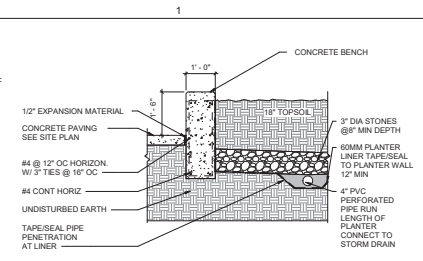
**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

Drawing Title			
<b>EXTERIOR ELEVATIONS - EPC</b>			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
Issue Date:	City Project No.	Sheet	
<b>MAY 2024</b>	<b>7224.003 NTP 17</b>	<b>EPC-A-202</b>	

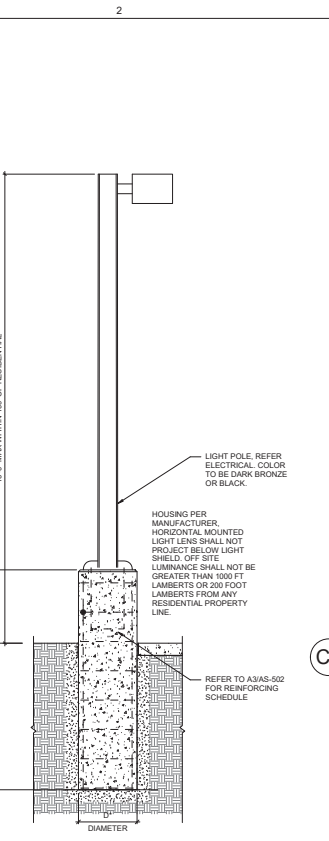




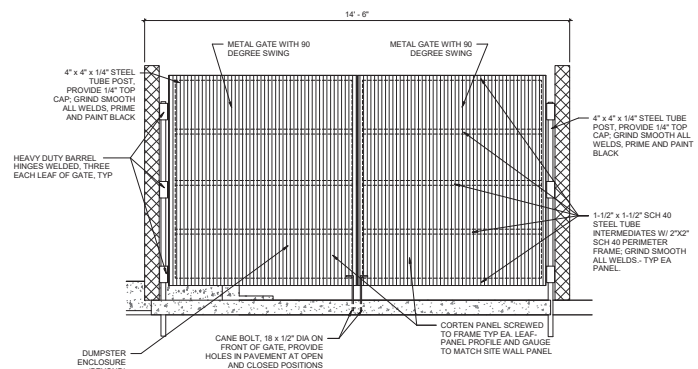
PROJECT NO. 7224.003 NTP



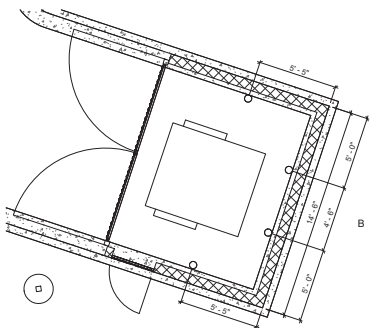
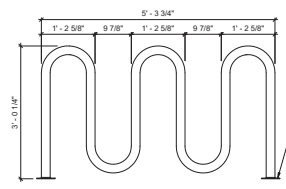
**D1 CONCRETE PLANTER DRAINAGE**  
Scale: 1/2" = 1'-0"



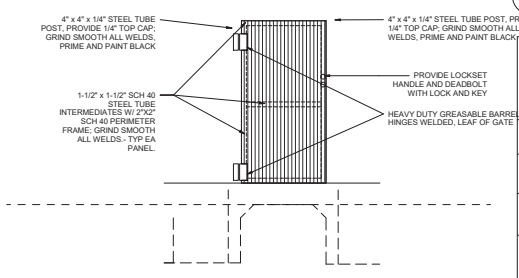
**C3 ELEVATION - TRASH GATE**  
Scale: 1/2" = 1'-0"



**B3 BIKE RACK**  
Scale: 3/4" = 1'-0"

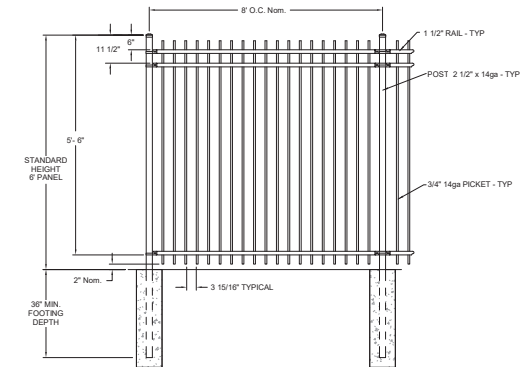


**B5 TRASH ENCLOSURE**  
Scale: 1/4" = 1'-0"



**A3 ELEVATION - SWING GATE**  
Scale: 1/2" = 1'-0"

**B2 PARKING LOT FIXTURE DETAIL**  
Scale: 1/2" = 1'-0"



**A2 ORNAMENTAL FENCING ELEVATION**  
Scale: 1/2" = 1'-0"

City of Albuquerque Electronic Stamp

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

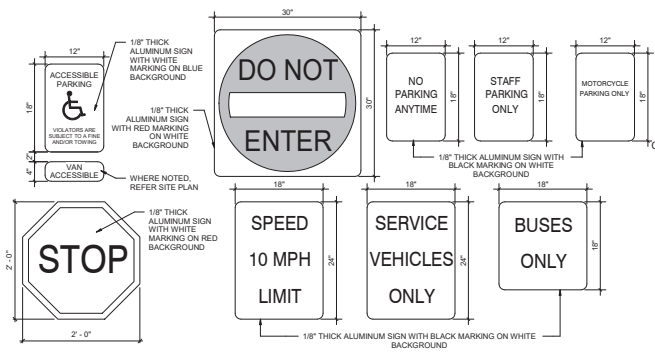
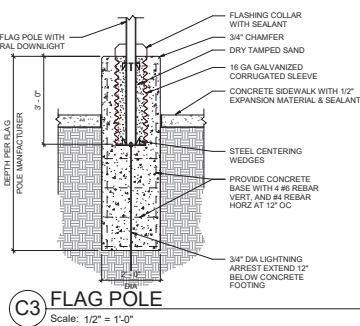
**VIGIL & ASSOCIATES**  
ARCHITECTURAL GROUP P.C.  
Abuquerque, New Mexico 87114  
Ph: 505.850.5500  
www.vigil-arch.com



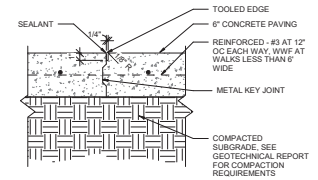
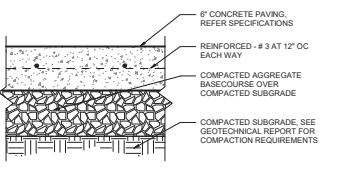
**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

**SITE DETAILS - EPC**

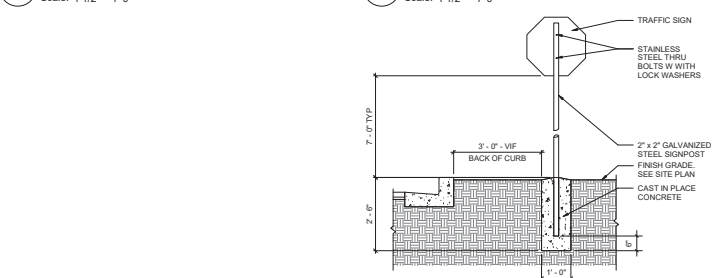
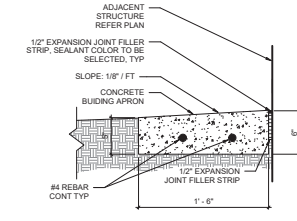
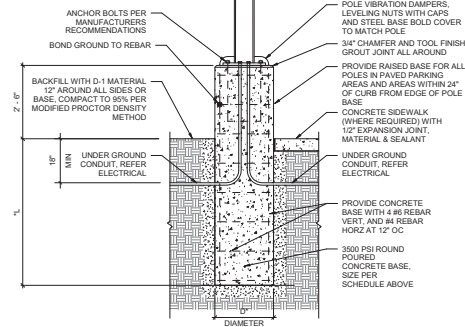
Drawing Title	City Engineer Approval	Ms./Day/Yr	Ms./Day/Yr
Design Review Committee			
Issue Date:	City Project No.	Sheet	
<b>MAY 2024</b>	<b>7224.003 NTP 17</b>	<b>EPC-AS-501</b>	



REFER AS-101 FOR LOCATIONS  
NOTE: FOR REFERENCE ONLY; UTILIZE INDUSTRY STANDARDS FOR TYPICAL SIZE/COLOR/STYLIZATION



TOP OF POLE HEIGHT (HT) AFS	CONCRETE BASE LENGTH BELOW GRADE & DIAMETER
0' < HT ≤ 10'	48" L x 16" D
10' < HT ≤ 20'	60" L x 20" D
20' < HT ≤ 40'	72" L x 24" D



AS-BUILT INFORMATION	
CONTRACTOR	DATE
MICRO-FILM INFORMATION	

NO.	DATE	REMARKS	BY
		DESIGN DEVELOPMENT	
		NOT FOR CONSTRUCTION	

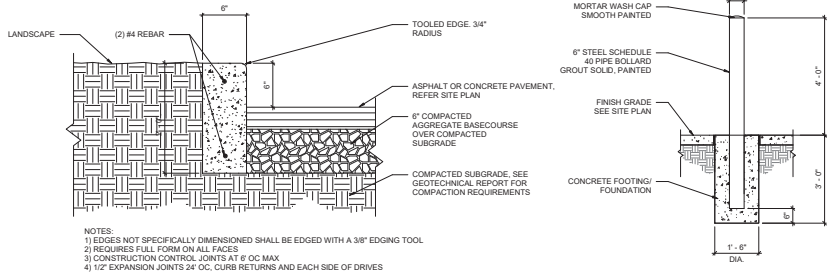


**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM

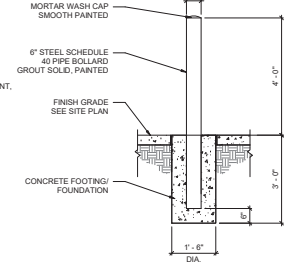
**FIRE STATION #4**

**SITE DETAILS - EPC**

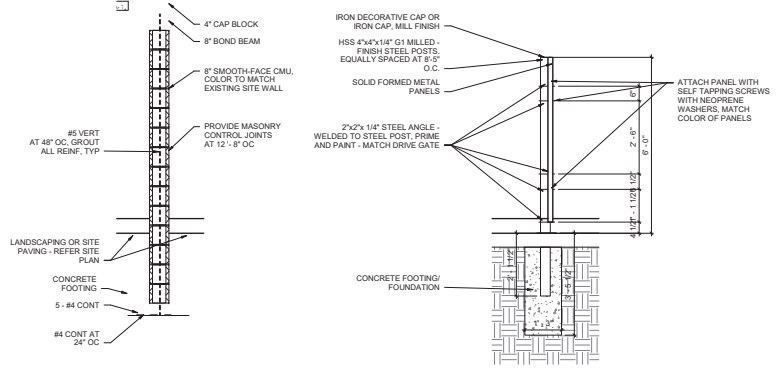
Drawing Title	City Engineer Approval	Ms./Day/Yr	Ms./Day/Yr
Design Review Committee			
Issue Date:	City Project No.	Sheet	
<b>MAY 2024</b>	<b>587895</b>	<b>EPC-AS-502</b>	



**C1** HEADER CURB  
Scale: 1 1/2" = 1'-0"

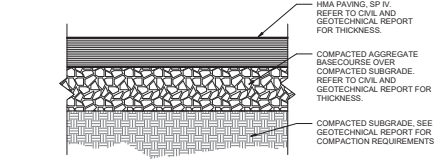


**C2** BOLLARD  
Scale: 1/2" = 1'-0"

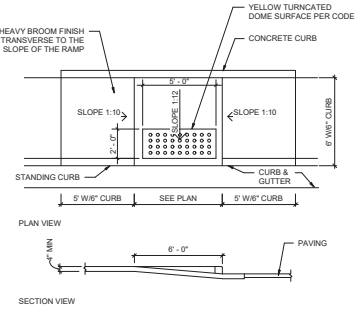


**C4** SITE WALL  
Scale: 1/2" = 1'-0"

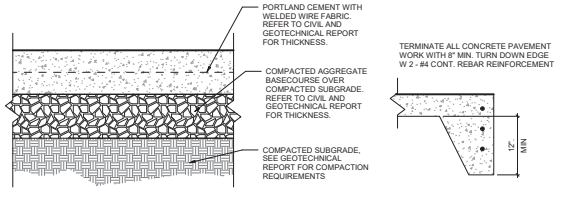
**C5** SITE WALL  
Scale: 1/2" = 1'-0"



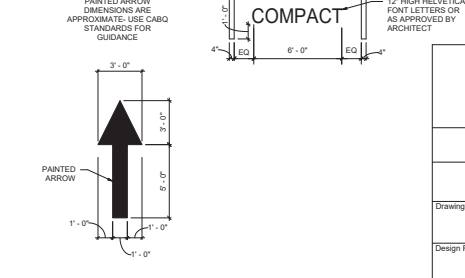
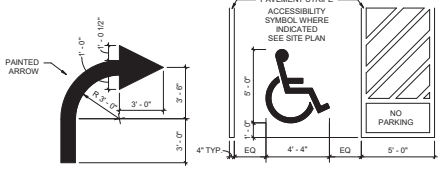
**B2** ASPHALT PAVEMENT - HEAVY DUTY  
Scale: 1 1/2" = 1'-0"



**A1** HANDICAP RAMP, TYPICAL  
Scale: 1/4" = 1'-0"



**A2** HEAVY DUTY CONCRETE PAVEMENT  
Scale: 1 1/2" = 1'-0"



**A4** PAVEMENT MARKERS  
Scale: 1/4" = 1'-0"

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		MICRO-FILM INFORMATION	
CONTRACTOR	DATE	PROVIDED BY	DATE	DATE	DATE	DATE	DATE

NO.	DATE	REMARKS	BY



**CITY OF ALBUQUERQUE**  
CAPITAL IMPLEMENTATION PROGRAM  
**FIRE STATION #4**

**SITE DETAILS - EPC**

Drawing Title	City Engineer Approval			
Design Review Committee				
Issue Date:	City Project No.			
<b>MAY 2024</b>	<b>7224.003 NTP 17</b>			

Sheet  
**EPC-AS- 503**