



Environmental Planning Commission

Agenda Number: 1
Project #: PR-2024-010074
Case #: SI-2024-00320
Hearing Date: April 18, 2024

Staff Report

Agent	Modulus Architects and Land Use Planning, Inc.
Applicant	Branch Turner and Margaret
Request	Site Plan – EPC Major Amendment
Legal Description	TR A, B and C Plat of Cottonwood Tracts A Thru C (A division of a 16.1114 acre unplatted parcel), located at 3601 Seven Bar Loop Rd NW.
Location	Between Cottonwood Blvd NW and Coors Blvd NW
Size	Approximately 17-acres
Zoning	NR-BP

Staff Recommendation:

APPROVAL of SI-2024-00320, based on the Findings beginning on p. 16 and subject to the Conditions beginning on p. 22.

STAFF PLANNER
William Steele, Planner

Summary

The request is a Site Plan – EPC, Major Amendment to remove Tract A from the controlling Site Development Plan for Subdivision. Tract A would then be controlled by the IDO rather than the design standards approved in the controlling Site Plan.

The subject site is located within an area of change and within 660’ of the Seven Bar Loop Rd. and Cottonwood Dr. Major Transit Corridors and the Cottonwood Employment Center. It is within the Coors Blvd Character Protection Overlay zone (CPO)-2 and Northwest Mesa Community Planning Area.

There are no registered neighborhood associations to notify according to the Office of Neighborhood Coordination (ONC). The applicant notified property owners within 100’ of the subject site as requires. There is no known opposition.

The request generally furthers applicable Comprehensive Plan Goals and policies. Staff recommends approval subject to minor conditions.



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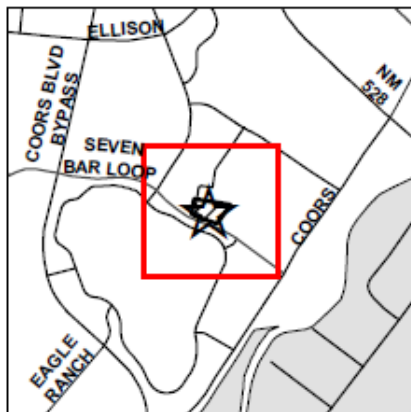
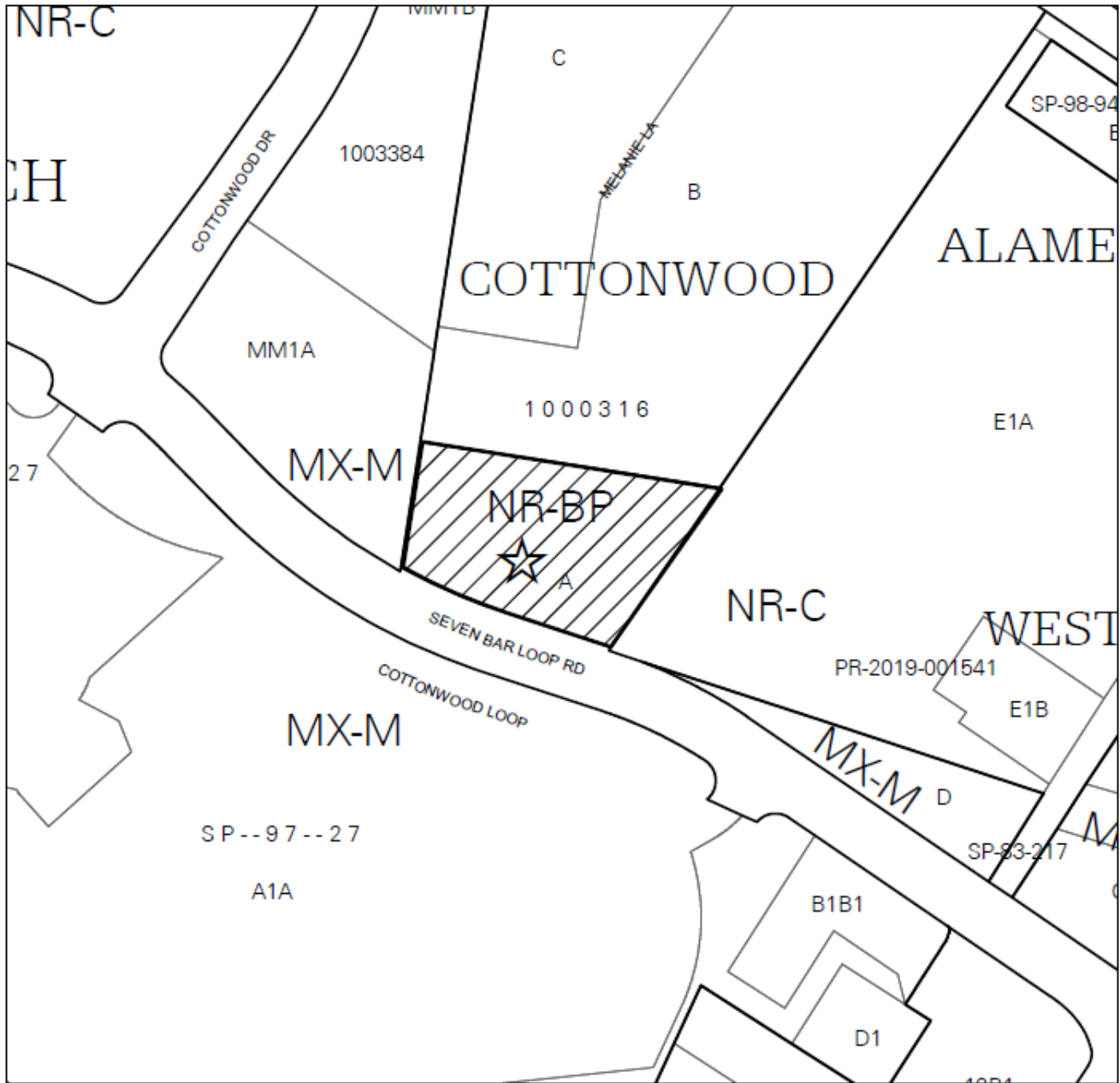
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IDO ZONING MAP

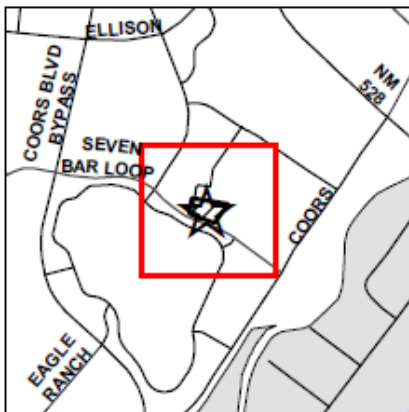
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Indicates County.



1 inch = 200 feet

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LAND USE MAP

Note: Gray shading
 Indicates County.

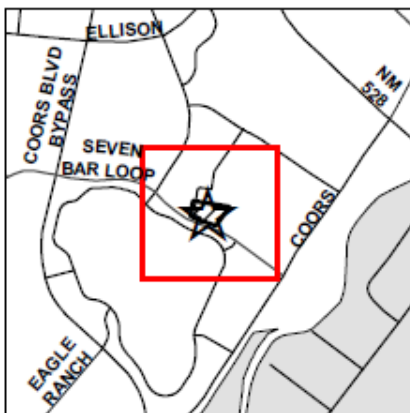
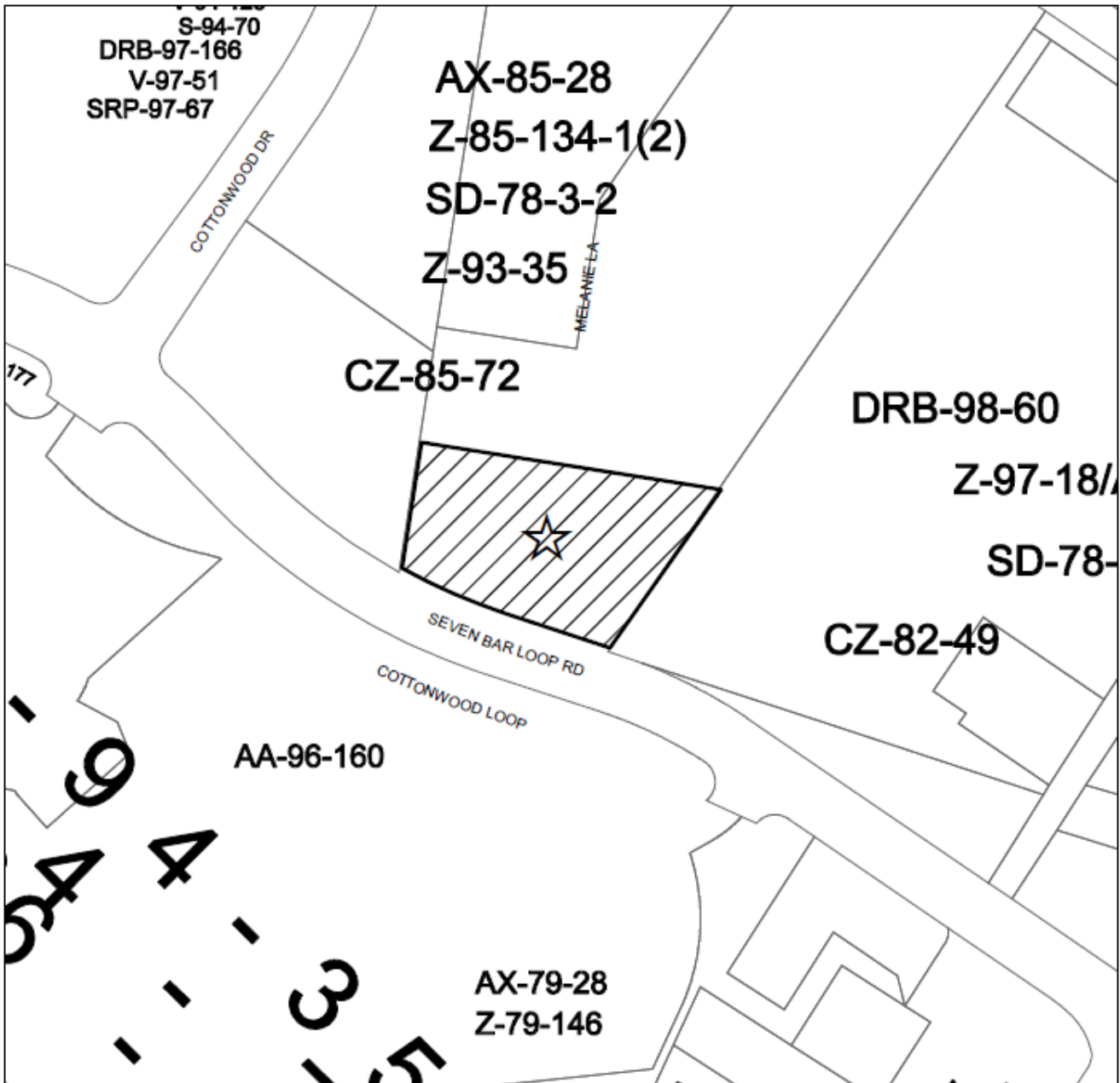
Key to Land Use Abbreviations	
LDRES Low-density Residential	APRT Airport
MULT Multi-family	TRANS Transportation
COMM Commercial Retail	AGRI Agriculture
CMSV Commercial Services	PARK Parks and Open Space
OFC Office	DRNG Drainage
IND Industrial	VAC Vacant
INSMED Institutional / Medical	UTIL Utilities
ED Educational	CMTY Community
	KAFB Kirtland Air Force Base



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HISTORY MAP

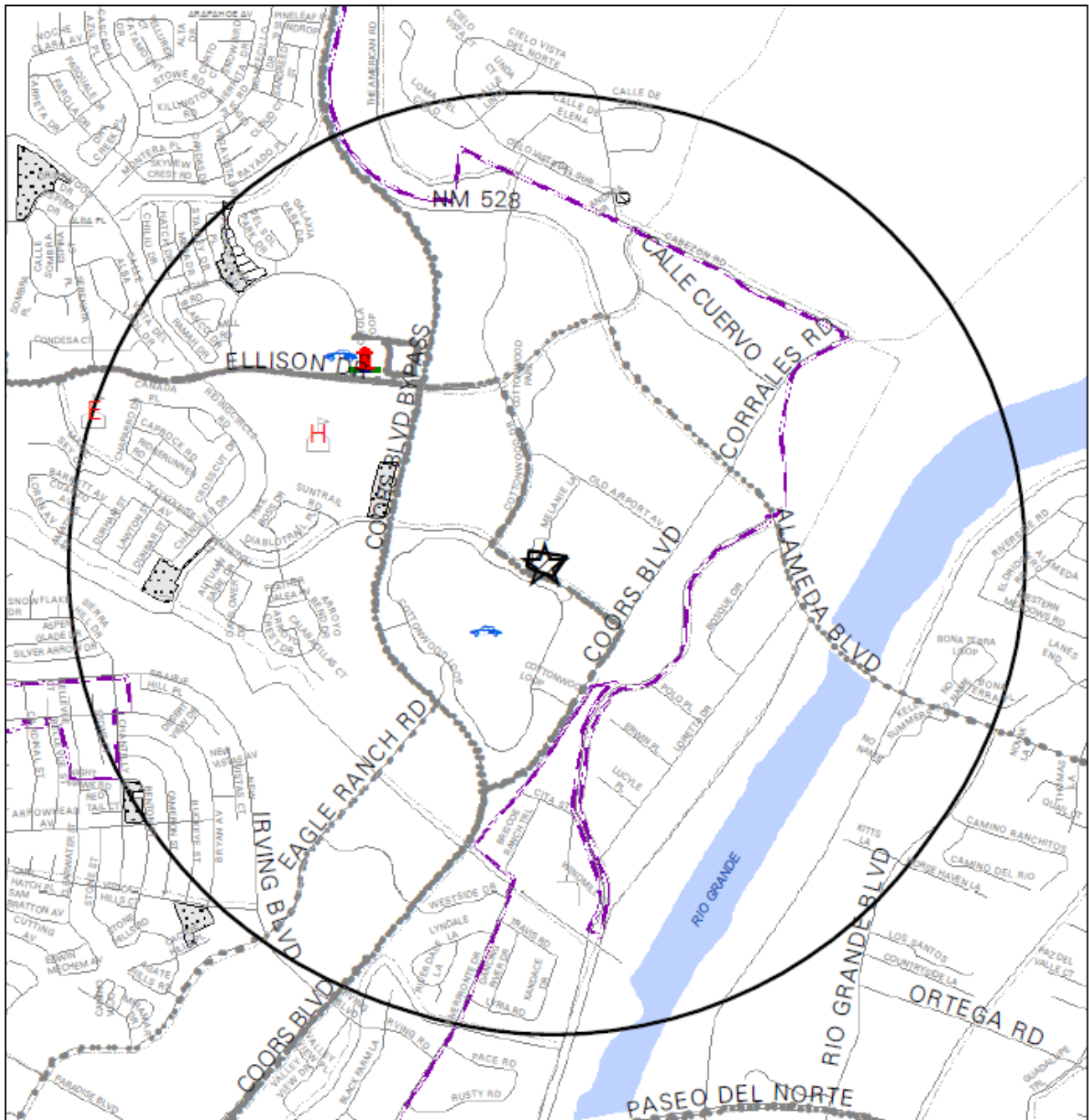
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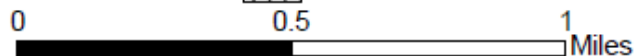
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Zone Atlas Page:



Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |



I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>Site</i>	PD/NR-BP	Area of Change	Multi-family/Vacant
<i>North</i>	NR-BP	Area of Change	Commercial Retail (General retail, Building and home improvement materials) Commercial Services
<i>South</i>	MX-M	Area of Change	Commercial Retail (General retail), Transportation (parking)
<i>East</i>	NR-C	Area of Change	Commercial Retail (General retail)
<i>West</i>	MX-M	Area of Change	Vacant, Commercial Retail (Building and home improvement materials)

Request

The request is for a Site Plan – EPC, Major Amendment to remove Tract A (“the subject site”), an approximately 2-acre portion of the larger 17-acre site, from the controlling Site Development Plan for Subdivision, which was approved prior to the effective date of the IDO (May 17, 2018).

If this request is approved, Tract A would be controlled by the IDO rather than the controlling site plan. This would allow Tract A to be in accordance with the IDO’s NR-BP zoning and any applicable use-specific standards. This amendment is also being requested to potentially facilitate future development of Tract A, which is currently vacant.

EPC Role

The EPC is hearing this case as required by IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Pursuant to IDO Section 14-16-1-10(A), prior approvals remain valid. The request exceeds the thresholds for a minor amendment because it would abandon the controlling site plan for subdivision on Tract A. Major amendments return to the original approving body which, in this case, is the EPC.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I). This is a quasi-judicial matter.

The EPC decision may be appealed and reviewed by the Land Use Hearing Officer (LUHO) who will then, make a recommendation to the City Council. City Council will make the final decision.

Context

The larger 17-acre site is developed as multi-family residential. Tract A is currently vacant, but there was a proposed access road planned through the site, which has not been developed. The surrounding

area is dominated by a range of commercial retail, commercial services, vacant land and, and other multi-family uses.

History

The subject site was annexed into the City of Albuquerque on May 5, 1986 (27-1986). It was originally within the 7-Bar Ranch Sector Plan, which was rescinded with the adoption of the IDO in 2018. The controlling Site Development Plan for Subdivision was originally approved in 2005 by the EPC (#1000316/05DRB-01652). The Site Development Plan for Subdivision included Cottonwood Tracts A, B and C. Prior to the adoption of the IDO in 2017 the subject site was zoned SU-1 for Special Use. Tracts B and C were categorized for residential and described as Planned Neighborhood Development (PND). Tract A was categorized for industrial/wholesale/manufacturing and described as Community Commercial (C-2) and Industrial Park (IP).

Roadway System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classification of roadways.

The LRRS map classifies Seven Bar Loop Rd NW as an Existing Major Collector. The subject site is also in close proximity to Coors Blvd NW, an Existing Regional Principal Arterial.

Comprehensive Plan Designations

The subject site is located wholly in an area designated by the Comprehensive Plan as an Area of Change. Areas of Change highlight places in Centers, Corridors, and Metropolitan Redevelopment Areas where new development and redevelopment are desired. They include vacant land and commercial or industrial areas that would benefit from infill or revitalization. Directing growth to Areas of Change is intended to reduce pressure on established neighborhoods and rural areas to absorb growth and infill at a scale and density that could negatively affect their character.

The Comprehensive Plan designates Seven Bar Loop Rd and Cottonwood Dr NW as a Major Transit Corridors. Major Transit Corridors are anticipated to be served by high frequency and local transit (e.g. Rapid Ride, local, and commuter buses). These corridors prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the Centers they connect.

The subject site is located in the Cottonwood Employment Center. Employment Centers are intended to remain predominately industrial, business, and retail centers. Employment Centers tend to be auto oriented and need to provide excellent access for trucks and connections for freight. For this reason, Employment Centers should be located near major intersections or along highways or major arterials.

The subject site is located within the Coors Blvd CPO-2. The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Coors Blvd CPO-2

Comprehensive Plan Community Planning Area Designation

The subject site is located within the Northwest Mesa Community Planning Area (CPA) according to the Comprehensive Plan. The Northwest Mesa CPA is a predominantly residential community, adjacent to the volcanoes and volcanic Northwest Mesa Escarpment and overlooking the Rio Grande and views of the mountains to the east. Coors Corridor provides many commercial opportunities. Corrales and Rio Rancho border this area to the north.

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO) identifies existing and proposed routes and trails. Seven Bar Loop Rd NW is classified as a proposed bike lane.

Transit

The subject site is served by Bus Route 155 (Coors Blvd) on Seven Bar Loop Rd NW. There are two bus stops near the subject site. Bus stops going north and south are located near the corner of Seven Bar Rd NW and Cottonwood Dr NW which runs Monday through Sunday. The other bus stops which travel north and south are located west of the subject site near the intersection of Seven Bar Loop Rd NW and Cottonwood Loop Rd. Bus Route 155 loops north to south primarily down Coors Blvd, beginning at the Northwest Transit Center Park and Ride and ending at either the Coors and Gun Club bus stop or Northbound Coors and Rio Bravo bus stop depending on the time of day. A Rapid Ride transit route is identified on Coors Blvd to Seven Bar Loop Rd to Cottonwood Dr in the Long Range Transit Network (LRTN).

Public Facilities/Community Services

Please refer to the Public Facilities Map attached, which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions:

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Site Development Plan: A term used prior to the effective date of the IDO for a scaled plan for development on one or more lots that specifies at minimum the site, proposed use(s), pedestrian and vehicular access, any internal circulation, maximum building height, building setbacks, maximum total dwelling units, and/or nonresidential floor area. A more detailed site development plan would also specify the exact locations of structures, their elevations and dimensions, the parking and loading areas, landscaping, and schedule of development. The equivalent approval in the IDO will be determined based on the level of detail provided in the prior approval.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Zoning

The subject site is zoned NR-BP [Non-residential – Business Park, IDO 14-16-2-5(B)]. The purpose of the NR-BP zone district is to accommodate a wide range of nonresidential uses in campus-like

settings to buffer potential impacts on surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, industrial, distribution, showroom, processing, and institutional uses. Allowable uses are shown in Table 4-2-1.

Prior to the adoption of the IDO in 2018 the subject site was zoned SU-1/PRD (special use for planned residential development) and SU-1 for C-2 & IP (Commercial & Industrial Park). The PRD zone designation was converted to to Planned Development (PD) and IP was converted to Non-residential – Business Park (NR-BP) with the adoption of the IDO.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Areas of Change highlight places in Centers, Corridors, and Metropolitan Redevelopment Areas where new development and redevelopment are desired. They include vacant land and commercial or industrial areas that would benefit from infill or revitalization. Directing growth to Areas of Change is intended to reduce pressure on established neighborhoods and rural areas to absorb growth and infill at a scale and density that could negatively affect their character. Areas of Change should be the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Applicable Goals and policies which were selected by the applicant are listed below. Staff analysis follows in ***bold italics***. Goals and/or policies added by Staff are denoted with an asterisk (*).

Chapter 4: Community Identity

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The subject site (Tract A) would be controlled by the IDO and the NR-BP zone designation, therefore the identity and cohesiveness of the neighborhood will remain aligned with its original land use designation. Any potential development would adhere to all the IDO standards for the character of building design, including and not limited appropriate scale, dimensional and landscaping standards for the NR-BP zone district. By adhering to the development design standards as set forth in the IDO the community identity would be protected. The request is consistent with Policy 4.1.2 Identity and Design.

Chapter 5: Land Use

Policy 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

Although there is no proposed development requested with this amendment, the request could facilitate capture of regional growth on the subject site, which is located in two Major Transit Corridors and is within an Employment Center. The subject site is located in an area where employment density is encouraged and could accommodate development within Centers and Corridors thereby promoting sustainable development patterns according to the Comprehensive Plan. The request is generally consistent with Policy 5.1.1 Desired Growth.

*Policy 5.1.6 Activity Centers: Foster a mixed-use center of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

This request could facilitate development the vacant subject site which is located within an Employment Center, which is intended to remain predominately industrial, business, and retail centers. Employment Centers tend to be auto oriented and need to provide excellent access for trucks and connections for freight. Any Future development on the subject site would be in a mixed-use center of activity with a range of services and amenities and in relatively close proximity to nearby residents and businesses which meets their needs and support healthy lifestyles, according to the Comprehensive Plan. The request is generally consistent with Policy 5.1.6 Activity Centers.

*Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit services with pedestrian-oriented development.

The request could facilitate the development of the subject site, which is located within two Major Transit Corridors, that are intended to be served by served by high frequency and local transit. Any future development on the vacant subject site would be in an area well-served by transit and in walkable distance to a nearby residential neighborhood, which would foster this Major Transit Corridors by promoting transit-accessible and pedestrian-oriented development near transit stops. The request is consistent with Policy 5.1.10 Major Transit Corridors.

*Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request could facilitate future development of the vacant subject site, which is already served by existing infrastructure and public utilities. Any future development would generally promote efficient development patterns and use of land by promoting growth on a vacant infill location under the NR-BP zone. The request is consistent with Goal 5.3 Efficient Development Patterns.

Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities

The subject site is located in an Area of Change, two Major Transit Corridors, and an Employment Center, which are desirable infill development locations according to the Comprehensive Plan. The request could facilitate future development of the subject site, which is already served by existing infrastructure and public utilities. The request is consistent with Policy 5.3.1 Infill Development.

*Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired. The request could encourage future development of the subject site, which would enable and direct growth to an Area of Change. The request is consistent with Goal 5.6-City Development Areas.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request could facilitate future development of the subject site, which is located in an Area of Change, Major Transit Corridor, and an Employment Center. Adhering to IDO standards for development in this Area of Change could provide opportunity for development on the subject site which is near bus stops and highly connected streets. Future development of the subject site could direct growth and more intense development to these Centers, Corridors, and development area, where change is encouraged. The request is consistent with Policies 5.6.2 Areas of Change and Sub-policy 5.6.2.h

Integrated Development Ordinance (IDO) 14-16-6-G(J)(3)- Site Plan-EPC Review and Decision Criteria

IDO Section 14-16-6-6(I)(3) states that any application for a Site Plan-EPC, including a Major Amendment, will be approved if it meets all of the following criteria:

- 6-6(I)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the proposed major amendment to controlling Site Plan for Subdivision, the request is generally consistent with applicable Comprehensive Plan Goals and policies.

- 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not located in a previously approved NR-SU or PD zoning district; criterion b does not apply.

- 6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The request is for a Major Amendment to remove Tract A, an approximately 2 acre portion of the larger 17 acre site, from the controlling Site Development Plan for Subdivision. The subject site would then be controlled by the IDO rather than the design standards in the controlling Site Development Plan and any future development to the subject site would be required to comply with all applicable provisions of the IDO, DPM, and other City regulations.

By removing Tract A from the controlling SDPS, an approved access road from the existing mutli-family residential development to 7-Bar Loop Rd. would be removed. This access road was never developed, therefore does not affect any access points to the norther portion of the subject site.

Staff did not review any new proposed uses on the site. Tract A will remain vacant and any future development would be subject to an Administrative Review.

Since the request to remove Tract A changes approved access and circulation for the 17 acres site, the applicant has requested amendments to all associated drawings to remove the Tract from the Site Plan sheet, Landscape layout, conceptual grading and drainage sheet, and conceptual utility plan sheet. No other changes have been proposed for these approved sheets.

A traffic impact study (TIS) and Traffic Circulation Layout (TCL) may be needed upon future development of Tract A. All grading and drainage, landscaping, utilities, etc. will be subject to a new review process for future development.

- 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The request does not include any proposed development, although the subject site is already served by existing infrastructure and public improvements. Any future capacity needs would be addressed administratively through the Development Facilitation Team (DFT) and/or building permit process.

- 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The request to remove Tract A from the controlling Site Development Plan for Subdivision so that any future development on the subject site will be required to comply with the all development and use specific standards within the IDO, such as design standards, parking standards, buffering and landscaping requirements, which would help to mitigate any significant adverse impacts under the NR-BP zone designation.

- 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan.

- 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.

III. SITE PLAN MAJOR AMENDMENT

Request

The request is for a Site Plan-EPC, Major Amendment to remove Tract A (“the subject site”), an approximately 2-acre portion of the larger 17-acre site, from the controlling Site Development Plan for subdivision, which was approved prior to the effective date of the IDO (May 17, 2018). In 2005, the EPC approved the existing site plan for subdivision for all or a portion of TR A, B and C Plat of Cottonwood Tracts A Thru C (A division of a 16.1114 acre unplatted parcel) (**Project #1000316**).

The existing site development plan for subdivision controls the subject site. Upon approval of this request, the subject site to be pursuant to the IDO rather than the controlling Site Development Plan’s design standards.

Any future development on Tract A would be developed pursuant to the IDO’s NR-BP zoning development standards, as well as any applicable use specific standards.

Future proposed development on the site would be pursuant to the Site Plan-Administrative (6-5(G)) procedures.

Site Development Plan for subdivision (SDPS)

By removing Tract A from the controlling SDPS, an approved access road from the existing multi-family residential development to 7-Bar Loop Rd. would be removed. This access road was never developed, therefore does not affect any access points to the norther portion of the subject site. Since the request to remove Tract A changes approved access and circulation for the 17 acres site, the applicant has requested amendments to all associated drawings to remove the Tract from the Site Plan sheet, Landscape layout, conceptual grading and drainage sheet, and conceptual utility plan sheet. No other changes have been proposed for these approved sheets.

A Traffic Impact Study (TIS) and Traffic Circulation Layout (TCL) may be needed upon future development of Tract A. All grading and drainage, landscaping, utilities, etc. will be subject to a new review process for future development.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application. Few but notable agency comments were received. Agency Comments received were based upon the initial application submittal on March 7, 2024. Staff has based the analysis on a revised project letter submitted on April 2, 2024.

Transportation Development Review Services Section has noted that the developer is responsible for permanent improvements to the transportation facilities adjacent to any future proposed site plan, as required by the DFT. Additionally, any future site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

Albuquerque Metropolitan Arroyo Flood Control (AMAFCA) noted that a revised Grading and Drainage plan is required for any future development.

Agency comments begin on p.22.

Neighborhood/Public Notification

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. According to the Office of Neighborhood Coordination there are no affected registered neighborhood associations required to be notified. Property owners within 100 feet of the subject site were also notified as required (see attachments).

No pre-application meetings were requested, nor was any opposition from neighbors or property owners received at the time of this writing.

V. CONCLUSION

The request is for a Site Plan – EPC, Major Amendment to remove Tract A (“the subject site”), an approximately 2-acre portion of the larger 17-acre site, from the controlling site plan for subdivision. The 17-acre site is legally described as TR A, B and C Plat of Cottonwood Tracts A Thru C (A division of a 16.1114 acre unplatted parcel), located at 3601 Seven Bar Loop Rd NW between Cottonwood Blvd NW and Coors Blvd NW. The subject site would then be controlled by the IDO, DPM, and other applicable City regulations.

The subject site is zoned NR-BP (Non-residential – Business Park Zone), located within 660’ of Seven Bar Loop Rd and Cottonwood Dr NW Major Transit Corridors, Cottonwood Employment Center, Coors Blvd CPO-2, and is in a designated Area of Change. The request is generally consistent with applicable Comprehensive Plan policies.

This request would remove the subject site (Tract A) from the controlling Site Plan for Subdivision (1000316), which would then be controlled by the IDO rather than the existing design standards for the site.

According to the Office of Neighborhood Coordination there are no affected registered neighborhood associations required to be notified. Property owners within 100 feet of the subject site were notified as required. No pre-application meetings were requested and there is no known opposition to this request.

Staff recommends approval subject to minor conditions needed to improve compliance moving forward.

FINDINGS – SI-2024-00320 - Site Plan-EPC, Major Amendment, April 18, 2024

1. The request is for a Site Plan – EPC, Major Amendment, for an approximately 17-acre site legally described as all or a portion of TR A, B and C, Plat of Cottonwood Tracts A Thru C (A division of a 16.1114 acre unplatted parcel), located at 3601 Seven Bar Loop Rd NW between Cottonwood Blvd NW and Coors Blvd NW.

2. The applicant requests that the Environmental Planning Commission (EPC) remove Tract A, an approximately 2-acre portion of the larger approximately 17-acre site, from the controlling Site Development Plan for Subdivision (SDPS) (PR 1000316). The subject site (Tract A) would then be controlled by the IDO, DPM, and other applicable City regulations rather than the design standards associated with the SDPS.
3. The EPC is hearing this case pursuant to IDO section 14-16-6-4(Z) Amendments of Pre-IDO Approvals. Major amendments shall be reviewed by the decision-making body that issued the permit or approval being amended, following the procedures for the most closely equivalent decision in Part 14-16-6 (Administration and Enforcement). The amendment exceeds the thresholds found in IDO table 6-4-4: Allowable Minor Amendments, therefore it is classified as a Major Amendment pursuant to IDO section 14-16-6-4(Z)(1)(b).
4. The subject site is within an Area of change and located within 660-feet of the Seven Bar Loop Rd and Cottonwood Dr NW Major Transit Corridors. It is within the Cottonwood Employment Center and the Coors Blvd Character Protection Overlay zone (CPO-2) and Northwest Mesa Community Planning Area (CPA).
5. The subject site is comprised of Tract A, zoned NR-BP (Non-residential – Business Park) and Tracts B and C, zoned PD (Planned Development), zoning designations received upon adoption of IDO in May 2018. The subject site was formerly zoned SU-1 (Special Use) for Tracts B and C and Community Commercial (C-2) and Industrial Park (IP) for Tract A.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Comprehensive Plan Goals and Policies regarding land use and development from Chapter 4: Community Identity.
 - A. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The subject site (Tract A) would be controlled by the IDO and the NR-BP zone designation, therefore the identity and cohesiveness of the neighborhood will remain aligned with its original land use designation. Any potential development would adhere to all the IDO standards for the character of building design, including and not limited appropriate scale, dimensional and landscaping standards for the NR-BP zone district. By adhering to the development design standards as set forth in the IDO the community identity would be protected.

8. The request is consistent with the following Comprehensive Plan Goals and Policies regarding land use and development from Chapter 5: Land Use.
 - A. Policy 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

Although there is no proposed development requested with this amendment, the request could facilitate capture of regional growth on the subject site, which is located in two

Major Transit Corridors and is within an Employment Center. The subject site is located in an area where employment density is encouraged and could accommodate development within Centers and Corridors thereby promoting sustainable development patterns according to the Comprehensive Plan.

- B. Policy 5.1.6 Activity Centers: Foster a mixed-use center of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

This request could facilitate development the vacant subject site which is located within an Employment Center, which is intended to remain predominately industrial, business, and retail centers. Employment Centers tend to be auto oriented and need to provide excellent access for trucks and connections for freight. Any Future development on the subject site would be in a mixed-use center of activity with a range of services and amenities and in relatively close proximity to nearby residents and businesses which meets their needs and support healthy lifestyles, according to the Comprehensive Plan.

- C. Policy 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit services with pedestrian-oriented development.

The request could facilitate the development of the subject site, which is located within two Major Transit Corridors, that are intended to be served by served by high frequency and local transit. Any future development on the vacant subject site would be in an area well-served by transit and in walkable distance to a nearby residential neighborhood, which would foster this Major Transit Corridors by promoting transit-accessible and pedestrian-oriented development near transit stops.

9. The request is consistent with the following Comprehensive Plan Goals and Policies regarding efficient development patterns and development areas from Chapter 5: Land Use.

- A. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request could facilitate future development of the vacant subject site, which is already served by existing infrastructure and public utilities. Any future development would generally promote efficient development patterns and use of land by promoting growth on a vacant infill location under the NR-BP zone.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change, two Major Transit Corridors, and an Employment Center, which are desirable infill development locations according to the Comprehensive Plan. The request could facilitate future development of the subject site, which is already served by existing infrastructure and public utilities.

- C. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Change, where growth is expected and desired. The request could encourage future development of the subject site, which would enable and direct growth to an Area of Change.

- D. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request could facilitate future development of the subject site, which is located in an Area of Change, Major Transit Corridor, and an Employment Center. Adhering to IDO standards for development in this Area of Change could provide opportunity for development on the subject site which is near bus stops and highly connected streets. Future development of the subject site could direct growth and more intense development to these Centers, Corridors, and development area, where change is encouraged.

10. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(I)(3) as follows:

- A. 6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis of the proposed major amendment to controlling Site Plan for Subdivision, the request is generally consistent with applicable Comprehensive Plan Goals and policies.

- B. 6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not located in a previously approved NR-SU or PD zoning district; criterion b does not apply.

- C. 6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The request is for a Major Amendment to remove Tract A, an approximately 2 acre portion of the larger 17 acre site, from the controlling Site Development Plan for Subdivision. The subject site would then be controlled by the IDO rather than the design standards in the controlling Site Development Plan and any future development to the subject site would be required to comply with all applicable provisions of the IDO, DPM, and other City regulations.

By removing Tract A from the controlling SDPS, an approved access road from the existing multi-family residential development to 7-Bar Loop Rd. would be removed. This

access road was never developed, therefore does not affect any access points to the norther portion of the subject site.

Staff did not review any new proposed uses on the site. Tract A will remain vacant and any future development would be subject to an Administrative Review.

Since the request to remove Tract A changes approved access and circulation for the 17 acres site, the applicant has requested amendments to all associated drawings to remove the Tract from the Site Plan sheet, Landscape layout, conceptual grading and drainage sheet, and conceptual utility plan sheet. No other changes have been proposed for these approved sheets.

A traffic impact study (TIS) and Traffic Circulation Layout (TCL) may be needed upon future development of Tract A. All grading and drainage, landscaping, utilities, etc. will be subject to a new review process for future development.

- D. 6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The request does not include any proposed development, although the subject site is already served by existing infrastructure and public improvements. Any future capacity needs would be addressed administratively through the Development Facilitation Team (DFT) and/or building permit process.

- E. 6-6(I)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The request to remove Tract A from the controlling Site Development Plan for Subdivision so that any future development on the subject site will be required to comply with the all development and use specific standards within the IDO, such as design standards, parking standards, buffering and landscaping requirements, which would help to mitigate any significant adverse impacts under the NR-BP zone designation.

- F. 6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is not within an approved Master Development Plan.

- G. 6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.

11. According to the Office of Neighborhood Coordination there are no affected registered neighborhood associations required to be notified. Property owners within 100 feet of the subject site were notified. Property owners within 100 feet of the subject site were also notified as required.
12. A pre-submittal neighborhood meeting was not requested within the 15-day period established by the IDO.
13. As of this writing, Staff has not been contacted and is unaware of any opposition.
14. Staff has crafted conditions of approval needed to improve compliance moving forward.

RECOMMENDATION – PR-2024-010074, SI-2024-00320, April 18, 2024

APPROVAL of Project# 2024-010074, Case# SI-2024-00320, a Major Amendment to remove Tract A from the Site Development Plan for Subdivision, for an approximately 2-acre portion (Tract A) of the larger approximately 17-acre site, located at 3601 Seven Bar Loop Rd NW between Cottonwood Blvd NW and Coors Blvd NW, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – SI-2024-00320

1. The applicant shall meet with the Staff planner prior to submitting to the DFT for final sign-off, to ensure that the conditions of approval are addressed.
2. **CONDITION FROM ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)**
Submittal of a revised Grading and Drainage plan and Drainage Report is required for any future development of this lot.

William Steele

**William Steele
Planner**

Notice of Decision CC list:

Branch Turner and Margret, 2025 Rio Grande Blvd NW, Albuquerque, NM 87104
Modulus Architects and Land Use Planning, Inc., rokoye@modulusarchitects.com
Legal, Dking@cabq.gov
EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning / Code Enforcement

No comment received as of 04-04-24

Long Range Planning

No comment received as of 04-04-24

Metropolitan Redevelopment

No comment received as of 04-04-24

Hydrology

No comment received as of 04-04-24

Transportation Development Review Services

Site Plan – EPC

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Facilitation Team (DFT).
- An approved Traffic Circulation Layout will be required with each newly developed lot.
- A Traffic Scoping Form is required to determine if a Traffic Impact Study is required.
- Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

PUBLIC WORKS DEPARTMENT

No comment received as of 04-04-24

MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION

No comment received as of 04-04-24

POLICE DEPARTMENT/PLANNING

No comment received as of 04-04-24

SOLID WASTE MANAGEMENT DEPARTMENT

No comment.

TRANSIT DEPARTMENT

ABQ RIDE has no substantive comment.

PARKS AND RECREATION

No comment received as of 04-04-24

ABC WATER UTILITY AUTHORITY (ABCWUA)

1. No objections to amendment to site plan.
2. For informational purposes only:
 - a. Please make a Request for Availability to obtain conditions for service. For reference see the following link: <https://www.abcwua.org/info-for-builders-availability-statements/>

ALBUQUERQUE PUBLIC SCHOOLS

No comment received as of 04-04-24

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

No adverse comments to the Site Plan for EPC. Submittal of a revised Grading and Drainage plan and Drainage Report is required for any future development of this lot to show compliance with the effective drainage management plan and ensure downstream drainage infrastructure is protected.

COUNTY OF BERNALILLO

No comment received as of 04-04-24

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)

No comment received as of 04-04-24

MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)

MRMPO has no adverse comments. For informational purposes:

- Seven Bar Loop Rd is functionally classified as a Major Collector.
- A proposed bike lane is identified on Seven Bar Loop in the Long Range Bikeway System (LRBS).
- A Rapid Ride transit route is identified on Coors Blvd to Seven Bar Loop Rd to Cottonwood Dr in the Long Range Transit Network (LRTN) with headways of 10-15 minutes.
- Appendix G of the MTP supports the following as it relates to the subject request:
- Incentivize redevelopment, transit-oriented development, and infill in order to maximize the utility of existing infrastructure.
- Explore the use of creative financing tools and special tax assessment options to encourage development in key activity centers and transit-oriented development.
- Adopt mixed-use and higher-density zoning along transit corridors to support ridership.

PUBLIC SERVICE COMPANY OF NEW MEXICO

There are PNM facilities and/or easements along the west side of the site and along the Seven Bar Loop Rd frontage.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM. If existing electric lines or facilities need to be moved, then that is at the applicant's expense.

Any existing and/or new PNM easements and facilities need to be reflected on a future Site Plan and any future Plat.

Structures, especially those made of metal like storage buildings and canopies should not be within or near PNM easements without close coordination with and agreement from PNM.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Please adhere to the landscape standards contained in IDO Section 14-16-5-6(C)(10) as applicable.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at

<https://pnmsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

No comment received as of 04-04-24

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comment received as of 04-04-24

PETROGLYPH NATIONAL MONUMENT

No comment received as of 04-04-24

AVIATION DEPARTMENT

No comment received as of 04-04-24

KIRTLAND AIR FORCE BASE

No comment received as of 04-04-24

PHOTOGRAPHS
EXISTING CONDITIONS

Pictures Taken:
April 8, 2024



Viewing Tract A of the subject site from across Seven Bar Loop Rd NW. Residential apartments on Tract B can be seen in this view.



Looking east at the subject site along Seven Bar Loop Rd NW.

Looking west at the subject site from Seven Bar Loop Rd NW. A sign posting can be seen in this view. Vacant Tract A and apartments on Tract B are in this view.





Looking south on Tract A of the subject site. Seven Bar Loop Road and the mall parking can be seen in this view.



Looking towards the east on Tract A of the subject site. Apartments on Tract B and a shopping center can be seen in the far distance.

Viewing the two apartment complexes from Old Airport Rd NW; Tract B (left) and Tract C (right).



ZONING

Please refer to IDO Section 14-16-2-5(B) for the NR-BP Zone District

HISTORY
NOTICE OF DECISION



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 20, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1000316**
05EPC-00352 EPC Site Development Plan-
Subdivision
05EPC-00353 Zone Map Amendment
05EPC-00354 Sector Development Plan
Amendment

GSL Properties
2164 SW Park Place
Portland, OR 97205

LEGAL DESCRIPTION: for all or a portion of Tract H, **Seven Bar Ranch**, a zone map amendment from SU-1 for C-2 & IP Uses & Bumper Boats to SU-1 PRD and SU-1 for C-2 and IP Uses, located on SEVEN BAR LOOP RD NW, between COTTONWOOD DRIVE NW and COORS BLVD. NW, containing approximately 17 acres. (B-14) Carmen Marrone, Staff Planner

On May 19, 2005 the Environmental Planning Commission voted to recommend approval to the City Council Project #1000316/05EPC 00354, a Sector Plan Amendment, for Tract H, Seven Bar Ranch Subdivision, containing approximately 16 acres, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request to amend the Land Use Map of the Seven Bar Ranch Sector Development Plan, Exhibit 3, dated 1994, for a 16-acre portion of Tract "mm" from SU-1/C-2 & IP to SU-1/PRD (14 acres) and SU-1/C-2 & IP (2 acres), located north of Cottonwood Mall between Coors Blvd. and Cottonwood Drive NW.
2. The existing zoning, SU-1 for C-2 and IP, allows dwelling units as a permissive use, but limits it to a total of eight acres (City Council Enactment No. 27-1986), hence the subject request

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3. The subject request is associated with a request for a Zone Map Amendment from SU-1/C-2 & IP & Bumper Boats to SU-1/PRD and SU-1/C-2 & IP and a request for approval of a site plan for subdivision for the same 16-acre parcel. The applicant proposes development of approximately 434 multi-family dwelling units on the site. The applicant requests that the codification and the issuance of a zoning certificate be contingent on final sign off of the site development plan for subdivision by the Development Review Board (DRB). The Zoning Code allows a delay of the issuance of a zoning certificate for six months after City approval of zoning. The Planning Director may extend this time limit up to an additional six months at the request of the applicant.
4. The subject site is within a designated Major Activity Center and is located in the area designated "Established Urban" per the *Comprehensive Plan*. The request for SU-1/PRD zoning furthers the general goal for Established Urban Areas to encourage quality urban development that offers variety and maximum choice in housing, transportation, work areas, and life styles. In particular, the request is consistent with Policy 5h because the zone will allow higher density housing in a designated Activity Center that has excellent access to the major street network. The request for SU-1/PRD zoning will further the goal for Activity Centers to create mixed-use developments that promote transit and pedestrian access both to and within the Activity Center. The request will allow multi-unit housing with net densities above 30 dwelling units per acre within a designated Major Activity Center (Policies b and i, Section II.B.7, Activity Centers).
5. The subject request to allow higher density housing may exacerbate overcrowding at Cibola High School based on comments from APS, thereby not respecting existing neighborhood values or resources of social concern; however, the applicant has provided evidence that the addition of students to Cibola High School will be minimal (*Comprehensive Plan, Established Urban Area, Policy d*).
6. The subject request will allow new growth to be accommodated through development in an area where vacant land is contiguous to existing urban facilities and services, (*Comprehensive Plan, Established Urban Area, Policy e*).
7. The subject request will allow for an intense use in an Activity Center located away from the nearest low-density residential development and buffered from those residential uses by existing commercial development (*Comprehensive Plan, Activity Centers, Policy f*).
8. The subject site is within the West Side Regional Center (Cottonwood Mall area) as designated per the *West Side Strategic Plan* (WSSP). This Regional Center is intended to include the largest commercial and highest density development of anywhere on the West Side (Policy 3.1, WSSP). The request for SU-1/PRD zoning, pursuant to the R-3 zoning standards of the Zoning Code, will allow high-density, multifamily development that is appropriate in or near the Regional Center to encourage multi-modal transportation systems (Policies 3.2 and 3.3, WSSP).

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9. The applicant has indicated that approximately 30% - 40% of the units in this proposal will be one-bedroom units, 60% will be two-bedroom units and there will be no three-bedroom units. The applicant forecasts a maximum of approximately 75 school-age children would be generated by the complex at any given time. An apartment complex of this type is expected to generate fewer school-age children than apartment complexes that have a mix of units that include three or more bedrooms. The proposed development would create the potential for approximately 13 more school-age children than could occur with the existing zoning (WSSP Policy 2.5).
10. The subject site is located within the *Seven Bar Ranch Sector Development Plan* (Plan) with a goal to create a self-sufficient "community within a community." When the Plan was proposed in 1985, the subject site was designated SU-1/R-3 to provide high-density condominiums and apartments in order to achieve this goal. The site was rezoned to SU-1/C-2 & IP by the City Council when they adopted the Plan. Reintroduction of SU-1/PRD zoning on the subject site, pursuant to the R-3 zoning standards of the Zoning Code, will further the original intent and purpose of the Plan to create a self-sufficient, mixed-use community that will help minimize automobile travel and encourage development of a heterogeneous community (Goal 1, page 6).
11. The applicant has adequately justified the request for Sector Plan Amendment pursuant to Resolution 270-1980 as follows:
 - The proposed zone change will contribute to the health, safety and general welfare of the City by facilitating development of a mixed income housing development on the City's West Side that will offer variety and choice in housing, transportation, and life styles, which is the primary goal for Established Urban Areas in the Comprehensive Plan. (Section A)
 - The proposed zone change will not destabilize surrounding land use and zoning since the proposed zoning is consistent with applicable goals and policies of the Comprehensive Plan, the West Side Strategic Plan, and the Seven Bar Ranch Sector Development Plan. (Section B)
 - The proposed zone change is not in significant conflict with adopted elements of the Comprehensive Plan, the West Side Strategic Plan or the Seven Bar Ranch Sector Development Plan and will further the preponderance of goals and policies of all three Plans to provide high-density housing in designated activity centers to help minimize automobile travel and encourage development of a heterogeneous community. (Section C)
 - The proposed zone change is more advantageous to the community as articulated in the analysis for each ranked plan above. (Section D(3))
 - The proposed SU-1/PRD zone will not be harmful to adjacent property, the neighborhood or the community per Section E because this zone requires EPC approval of a site development plan with specific design requirements to ensure compatible design with adjacent properties; but, the proposed use may create additional stress on already overcrowded High school in the community, however, a new high school is proposed in the area for 2007.
 - The proposed change does not require any major or unprogrammed capital expenditures by the City (Section F).

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- The cost of land or other economic considerations pertaining to the applicant is not a determining factor for the proposed change (*Section G*).
 - The site's location on a collector or major street is not in itself the only justification for the proposed apartment zoning (*Section H*).
 - The proposed SU-1/PRD zoning is considered a "spot" zone because it is different from surrounding zoning. However, this spot zone is justified because it will facilitate development of a mixed-use Activity Center as recommended in the Comprehensive Plan, the West Side Strategic Plan, and the Seven Bar Ranch Sector Plan (*Section I(1)*).
12. A preliminary Air Quality Impact Analysis (AQIA) is required for this sector development plan amendment per Zoning Code Section 14-16-3-14. A preliminary AQIA was submitted to the Environmental Health Department on May 6, 2005.
13. Notification has been provided as per City Ordinance. No public comments have been received regarding this request. There is no known neighborhood or other opposition to this request.

CONDITIONS:

1. The amendment to the Seven Bar Ranch Sector Development Plan is contingent on final sign off of the associated site development plan for subdivision by the Development Review Board (DRB) within six months after all appeal deadlines and possibilities.
 2. Review of the preliminary Air Quality Impact Analysis is delegated to the DRB; should the study indicate possible exceedance of Federal air quality standards, the project shall not be approved.
-

On May 19, 2005 the Environmental Planning Commission voted to recommend approval to the City Council Project #1000316/05EPC 00353, a Zone Map Amendment from SU-1 /C-2 & IP & Bumper Boats to SU-1/PRD for 14 acres and SU-1/C-2 & IP for 2 acres of Tract H, Seven Bar Ranch Subdivision, based on the following Findings and subject to the following Conditions.

FINDINGS:

1. This is a request for a Zone Map Amendment from SU-1/C-2 & IP and Bumper Boats to SU-1/PRD and SU-1/C-2 & IP for approximately 16 acres located north of Cottonwood Mall between Coors Blvd. and Cottonwood Drive NW.

2. The existing zoning, SU-1 for C-2 and IP, allows dwelling units as a permissive use, but limits it to a total of eight acres (City Council Enactment No. 27-1986), hence the subject request. An application for SU-1 zoning requires a plan that includes, at a minimum, all of the elements of a site plan for subdivision, which the applicant has provided.
3. The applicant requests that the codification and the issuance of a zoning certificate be contingent on final sign off of the site plan for subdivision by the Development Review Board (DRB). The Zoning Code allows a delay of the issuance of a zoning certificate for six months after City approval of zoning. The Planning Director may extend this time limit up to an additional six months at the request of the applicant.
4. The subject site is within a designated Major Activity Center and is located in the area designated "Established Urban" per the *Comprehensive Plan*. The request for SU-1/PRD zoning furthers the general goal for Established Urban Areas to encourage quality urban development that offers variety and maximum choice in housing, transportation, work areas, and life styles. In particular, the request is consistent with *Policy 5h* because the zone will allow higher density housing in a designated Activity Center that has excellent access to the major street network. The request for SU-1/PRD zoning will further the goal for Activity Centers to create mixed-use developments that promote transit and pedestrian access both to and within the Activity Center. The request will allow multi-unit housing with net densities above 30 dwelling units per acre within a designated Major Activity Center (*Policies b and i, Section II.B.7, Activity Centers*).
5. The subject request to allow higher density housing may exacerbate overcrowding at Cibola High School based on comments from APS, thereby not respecting existing neighborhood values or resources of social concern; however, the applicant has provided evidence that the addition of students to Cibola High School will be minimal (*Comprehensive Plan, Established Urban Area, Policy d*).
6. The subject request will allow new growth to be accommodated through development in an area where vacant land is contiguous to existing urban facilities and services, (*Comprehensive Plan, Established Urban Area, Policy e*).
7. The subject request will allow for an intense use in an Activity Center located away from the nearest low-density residential development and buffered from those residential uses by existing commercial development (*Comprehensive Plan, Activity Centers, Policy f*).
8. The subject site is within the West Side Regional Center (Cottonwood Mall area) as designated per the *West Side Strategic Plan* (WSSP). This Regional Center is intended to include the largest commercial and highest density development of anywhere on the West Side (*Policy 3.1, WSSP*). The request for SU-1/PRD zoning, pursuant to the R-3 zoning standards of the Zoning Code, will allow high-density, multifamily development that is appropriate in or near the Regional Center to encourage multi-modal transportation systems (*Policies 3.2 and 3.3, WSSP*).

9. The applicant has indicated that approximately 30% - 40% of the units in this proposal will be one-bedroom units, 60% will be two-bedroom units and there will be no three-bedroom units. The applicant forecasts a maximum of approximately 75 school-age children would be generated by the complex at any given time. An apartment complex of this type is expected to generate fewer school-age children than apartment complexes that have a mix of units that include three or more bedrooms. The proposed development would create the potential for approximately 13 more school-age children than could occur with the existing zoning (WSSP Policy 2.5).
10. The subject site is located within the *Seven Bar Ranch Sector Development Plan* (Plan) with a goal to create a self-sufficient "community within a community." When the Plan was proposed in 1985, the subject site was designated SU-1/R-3 to provide high-density condominiums and apartments in order to achieve this goal. The site was rezoned to SU-1/C-2 & IP by the City Council when they adopted the Plan. Reintroduction of SU-1/PRD zoning on the subject site, pursuant to the R-3 zoning standards of the Zoning Code, will further the original intent and purpose of the Plan to create a self-sufficient, mixed-use community that will help minimize automobile travel and encourage development of a heterogeneous community (Goal 1, page 6).
11. The applicant has adequately justified the request for Zone Map Amendment pursuant to Resolution 270-1980 as follows:
- The proposed zone change will contribute to the health, safety and general welfare of the City by facilitating development of a mixed income housing development on the City's West Side that will offer variety and choice in housing, transportation, and life styles, which is the primary goal for Established Urban Areas in the Comprehensive Plan. (Policy A)
 - The proposed zone change will not destabilize surrounding land use and zoning since the proposed zoning is consistent with applicable goals and policies of the Comprehensive Plan, the West Side Strategic Plan, and the Seven Bar Ranch Sector Development Plan. (Policy B)
 - The proposed zone change is not in significant conflict with adopted elements of the Comprehensive Plan, the West Side Strategic Plan or the Seven Bar Ranch Sector Development Plan and will further the preponderance of goals and policies of all three Plans to provide high-density housing in designated activity centers to help minimize automobile travel and encourage development of a heterogeneous community. (Policy C)
 - The proposed zone change is more advantageous to the community as articulated in the analysis for each ranked plan above. (Policy D)
 - The proposed SU-1/PRD zone will not be harmful to adjacent property, the neighborhood or the community per Policy E because this zone requires EPC approval of a site development plan with specific design requirements to ensure compatible design with adjacent properties; but, the proposed use may create additional stress on already overcrowded High school in the community, however, a new high school is proposed in the area for 2007.
 - The proposed change does not require any major or unprogrammed capital expenditures by the City (Section F).

- The cost of land or other economic considerations pertaining to the applicant is not a determining factor for the proposed change (*Section G*).
 - The site's location on a collector or major street is not in itself the only justification for the proposed apartment zoning (*Section H*).
 - The proposed SU-1/PRD zoning is considered a "spot" zone because it is different from surrounding zoning. However, this spot zone is justified because it will facilitate development of a mixed-use Activity Center as recommended in the Comprehensive Plan, the West Side Strategic Plan, and the Seven Bar Ranch Sector Plan (*Section I(1)*).
12. Notification has been provided as per City Ordinance. No public comments have been received regarding this request. There is no known neighborhood or other opposition to this request.

CONDITION:

1. The codification and the issuance of a zoning certificate is contingent on final sign off of the associated site development plan for subdivision by the Development Review Board (DRB) within six months after all appeal deadlines and possibilities.
-

On May 19, 2005 the Environmental Planning Commission voted to recommend approval to the City Council Project #1000316/05EPC 00353, a Site Plan for Subdivision, for Tract H, Seven Bar Ranch Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Plan for Subdivision for a 16-acre site located just north of the Cottonwood Mall between Coors Blvd. and Cottonwood Drive NW. The applicant proposes to subdivide the site into three tracts and to construct approximately 434 mixed income multi-family dwelling units on Tracts 1 and 2. Tract 3 is proposed to be zoned SU-1 for C-2 and IP Uses. No specific use is proposed for Tract 3.
2. This request is associated with a request for SU-1 for PRD zoning that requires EPC approval of a site development plan for subdivision with specific design requirements to ensure compatible design with adjacent properties. The proposed use, multi-family apartments, is permitted per the proposed zoning.

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3. The site will be developed per the R-3 zone regulations regarding building heights, setbacks, density, usable open space, and floor area ratio. The density and development standards of the R-3 zone are appropriate for this site because the site is within a Major Activity Center that is intended to be developed with high density, multi-family residential development to support multi-modal transportation systems within the Center.
4. The subject site is within a designated Major Activity Center and is located in the area designated "Established Urban" per the *Comprehensive Plan*. The request furthers the general goal for Established Urban Areas to encourage quality urban development that offers variety and maximum choice in housing, transportation, work areas, and life styles. In particular, the request is consistent with Policy 5h because the proposed higher density housing is located in a designated Activity Center that has excellent access to the major street network. The request will further the goal for Activity Centers to create mixed-use developments that promote transit and pedestrian access both to and within the Activity Center. The request is for multi-unit housing with net densities above 30 dwelling units per acre within a designated Major Activity Center (Policies b and i, Section II.B.7, Activity Centers).
5. The proposal for higher density housing may exacerbate overcrowding at Cibola High School based on comments from APS, thereby not respecting existing neighborhood values or resources of social concern; however, the applicant has provided evidence that the addition of students to Cibola High School will be minimal (*Comprehensive Plan, Established Urban Area, Policy d*).
6. The subject request is for new growth to be accommodated through development in an area where vacant land is contiguous to existing urban facilities and services (*Comprehensive Plan, Established Urban Area, Policy e*).
7. The subject request is for an intense use in an Activity Center located away from the nearest low-density residential development and buffered from those residential uses by existing commercial development (*Comprehensive Plan, Activity Centers, Policy f*).
8. The subject site is within the West Side Regional Center (Cottonwood Mall area) as designated per the *West Side Strategic Plan* (WSSP). This Regional Center is intended to include the largest commercial and highest density development of anywhere on the West Side (Policy 3.1, WSSP). The request is for high-density, multifamily development that is appropriate in or near the Regional Center to encourage multi-modal transportation systems (Policies 3.2 and 3.3, WSSP).
9. The applicant has indicated that approximately 30% - 40% of the units in this proposal will be one-bedroom units, 60% will be two-bedroom units and there will be no three-bedroom units. The applicant forecasts a maximum of approximately 75 school-age children would be generated by the complex at any given time. An apartment complex of this type is expected to generate fewer school-age children than apartment complexes that have a mix of units that include three or more bedrooms. The proposed development would create the potential for approximately 13 more school-age children than could occur with the existing zoning (WSSP Policy 2.5).

10. The subject site is located within the *Seven Bar Ranch Sector Development Plan* (Plan) with a goal to create a self-sufficient “community within a community.” When the Plan was proposed in 1985, the subject site was designated SU-1/R-3 to provide high-density condominiums and apartments in order to achieve this goal. The site was rezoned to SU-1/C-2 & IP by the City Council when they adopted the Plan. Reintroduction of SU-1/PRD zoning on the subject site, pursuant to the R-3 zoning standards of the Zoning Code, will further the original intent and purpose of the Plan to create a self-sufficient, mixed-use community that will help minimize automobile travel and encourage development of a heterogeneous community (Goal 1, page 6).
11. The submittal is in conformance with the preponderance of applicable *Comprehensive Plan* goals and policies, particularly policies for Major Activity Centers that encourage high-density residential development to provide for visual variety and functional diversity in the metropolitan area. The submittal furthers the preponderance of *West Side Strategic Plan* policies by providing high density, multi-family residential development within the Center to support multi-modal transportation systems within the Center. The submittal is also in conformance with the *Seven Bar Ranch Sector Development Plan* by re-introducing multi-family residential development in the plan area to help create a self-sufficient “community within a community.” In addition, the design standards, as proposed, are consistent with the design requirements of the *Coors Corridor Plan* and the *Seven Bar Ranch Sector Plan*.
12. The design requirements, as submitted, will provide sufficient guidance for future development of Tracts 1 and 2, as required by the SU-1/PRD zoning, therefore, individual site plans for building permit may be submitted directly for building permit approval for both of these tracts after final sign-off of the site development plan for subdivision by the DRB. Future development of Tract 3 will require EPC approval of a Site Development Plan for Building Permit.
13. According to the proposed design standards for Off-Street Parking, the applicant does intend to provide visitor parking on the site and intends to apply a 10% Transit Credit to reduce the amount of required parking.
14. Notification has been provided as per City Ordinance. No public comments have been received regarding this request. There is no known neighborhood or other opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Walls/Fences
 - a. The Walls/Fences design standards should include the painted tube steel fencing as an option, along with the other options listed.
 - b. The fourth bullet under "Walls/Fences" states that perimeter walls will contain pedestrian openings to access adjacent public space. The term "public space" should be replaced with "commercial activities".
 - c. Delete the last bullet under "Screening" that refers to perimeter walls and fences.
3. Roundabouts will need to meet design requirements of Fire and Solid Waste and they should be mentioned under "Internal Circulation Requirements".
4. Include discussion of covered parking in the Off-Street Parking Design Standards
5. Pedestrian Ingress & Egress:
 - a. The last sentence on Sheet 1, shall be revised to delete the word "potential" and to replace the words "the adjacent site" with "Seven Bar Loop Road."
 - b. The southernmost trail that provides pedestrian access to the private road east of the site should be connected to the sidewalk running along the east side of the building.
6. The second bullet under "Site Lighting" states that the fixtures will comply with the City of Albuquerque's Dark Skies requirements. This statement should be deleted since "Dark Sky" requirements have not yet been adopted by the City.
7. A variety of plant container sizes is encouraged to provide an immediate pleasing appearance as the landscape plantings mature.
8. Private Common Areas:
 - a. Provide a note stating that the private common areas and pools will be maintained by the property owner.
 - b. If clubhouses are going to be provided on the site, they should be mentioned under "Private Common Areas".
9. Under "Roof Materials and Colors", change the word "preferred" to "required"
10. The building mounted signage standards should be revised to be consistent with the General Signage Regulations of the Zoning Code, Section 14-16-3-5.C.6.
11. **CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, and NMDOT:**
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

OFFICIAL NOTICE OF DECISION
PROJECT #1000316
MAY 19, 2005
PAGE 11 OF 12

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. A Traffic Impact Study is required (has been reviewed for this proposal).
 - d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS)).
 - e. Roundabouts will need to meet design requirements of Fire and Solid Waste.
 - f. Provide detail of bump outs.
 - g. Inside radii for 24' drive aisle should be 25' to accommodate larger SU-30 type vehicles (i.e. fire, solid waste, delivery).
 - h. Internal drive aisle widths, between raised medians and on-street parking, should be 20' or as approved by the Traffic Engineer.
 - i. General notes 3 and 4 should be modified at the beginning of the paragraph, to read As approved by the Traffic Engineer, ...
 - j. Provide cross access agreement.
 - k. Site plan shall comply and be designed per DPM Standards.
 - l. Platting must be a concurrent DRB action.
 - m. Dedication of an additional 6 feet of right-of-way along Seven Bar Loop Road, as required by the City Engineer to provide for on-street bicycle lanes as designated on the Long Range Bikeway System map.
12. There shall be tot lots for both sides.
13. There shall be playground equipment for older children on both sides in the drainage area.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JUNE 3, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

OFFICIAL NOTICE OF DECISION
PROJECT #1000316
MAY 19, 2005
PAGE 12 OF 12

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD//ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson NE, Suite 100 87109
David T. Thuma, 500 Marquette Ave NW 87102
Sarah Taylor, 10000 Coors Blvd NW 87114
Marc Smith, 5730 Chandler Ct, Rancho Cucamonga, CA 91739

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: BRANCH TURNER & MARGARET		Phone:
Address: 2025 RIO GRANDE BLVD NW		Email:
City: ALBUQUERQUE	State: NM	Zip: 87104
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc.		Phone: 505.338.1499 (Ext. 1003)
Address: 8220 San Pedro NE, Suite 520		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: New Mexico	Zip: 87113
Proprietary Interest in Site: Agent	List all owners: BRANCH TURNER & MARGARET	

BRIEF DESCRIPTION OF REQUEST

Major Amendment to the prior approved Site Plan for Subdivision to remove the subject site and remove the associated design standards. As a result, the Site Plan will no longer apply and the subject site will follow the Integrated Development Ordinance (IDO).

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A	Block:	Unit:
Subdivision/Addition: COTTONWOOD	MRGCD Map No.:	UPC Code: 101406507240520210
Zone Atlas Page(s): B-14-Z	Existing Zoning: NR-BP	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.957

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3601 SEVEN BAR LOOP RD NW	Between: 7 Bar Loop NW	and: Cottonwood DR NW
--	------------------------	-----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000316

Signature: <i>Regina Okoye</i>	Date: 3/7/2024
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

SITE PLAN – EPC

MASTER DEVELOPMENT PLAN

MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? ____ if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application* and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

N/A Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

N/A Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1)

Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

N/A Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

N/A Completed Site Plan Checklist

N/A Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

Copy of the original approved Site Plan or Master Development Plan (for amendments only)

Site Plan or Master Development Plan

N/A Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

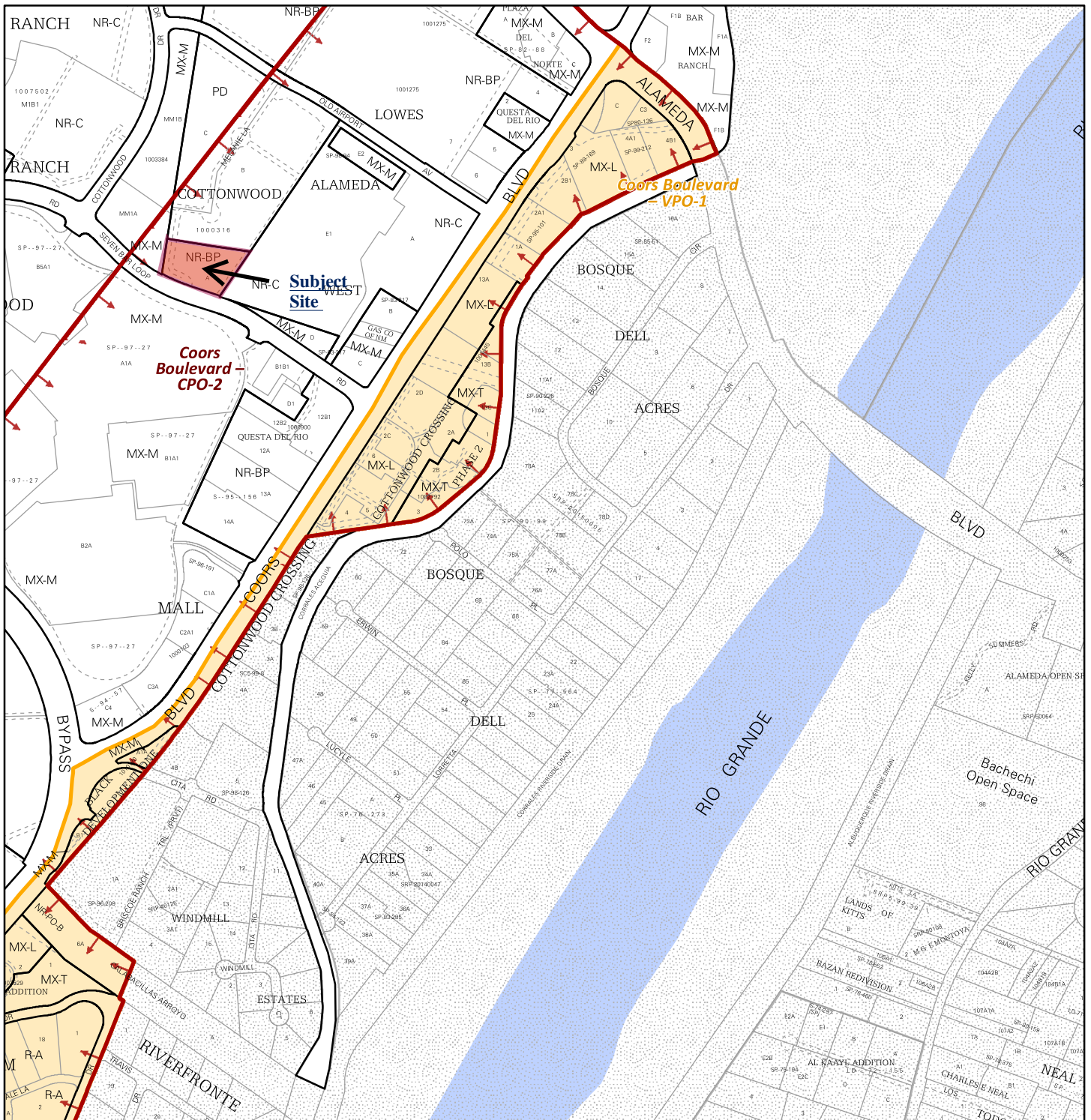
site plans except if the development is industrial or the multifamily is less than 25 units.

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

___ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

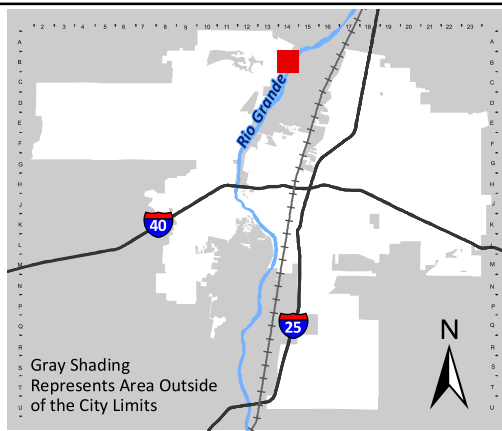


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

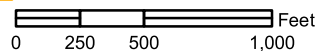


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page: **B-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



City of Albuquerque
Environmental Planning Commission
Plaza Del Sol, 600 Second Street NW
Albuquerque, NM 87102

RE: AGENT AUTHORIZATION NOTICE – MAJOR AMENDMENT TO SITE PLAN – 3601 SEVEN BAR LOOP RD NW ALBUQUERQUE NM 87114

To Whom It May Concern,

BRANCH TURNER & MARGARET, hereby authorizes Modulus Architects and Land Use Planning Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at 3601 SEVEN BAR LOOP RD NW ALBUQUERQUE NM 87114 and legally described as:

TR A PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 1.9570 AC

This authorization is valid until further written notice from BRANCH TURNER & MARGARET or Modulus Architects and Land Use Planning Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Environmental Planning Commission and all supplemental submittals.

Sincerely,

 *Margaret Branch* 02/23/24

BRANCH TURNER & MARGARET
2025 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87104



Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM. 87102

April 2, 2024

MAJOR AMENDMENT TO CONTROLLING SITE DEVELOPMENT PLAN FOR SUBDIVISION TO REMOVE TRACT A WHICH WOULD THEN BE CONTROLLED BY THE INTEGRATED DEVELOPMENT ORDINANCE (IDO) AND NOT SUBJECT TO THE EXISTING DESIGN STANDARD

THE EPC REQUEST AFFECTS TRACT A ONLY (2 ACRES) – 3601 SEVEN BAR LOOP RD NW ALBUQUERQUE NM 87114.

Dear Mr. Chairman,

Modulus Architects, Inc., hereafter referred to as "Agent" represents Branch Turner & Margaret hereafter referred to as "Property Owners". The overall site is located at the 3601 Seven Bar Loop RD NW (Tract A) & 3550 OLD AIRPORT AV NW (Tract B) & 3600 OLD AIRPORT AV NW (Tract C). The overall site is approximately 17 acres. The overall development has a legal description of the following:

Tract A (Tract that is requesting to be removed from the Site Development Plan)

TR A PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 1.9570 AC

Tract B

TR B PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 7.8560 AC

Tract C

TR C PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 5.8110 AC

The subject site involved in this request is Tract A only and is approximately 2 acres. This letter provides background and justification of the review and decision criteria for the proposed EPC Major Amendment.

Figure 1: Overall Subject Site (Highlighted in Blue)



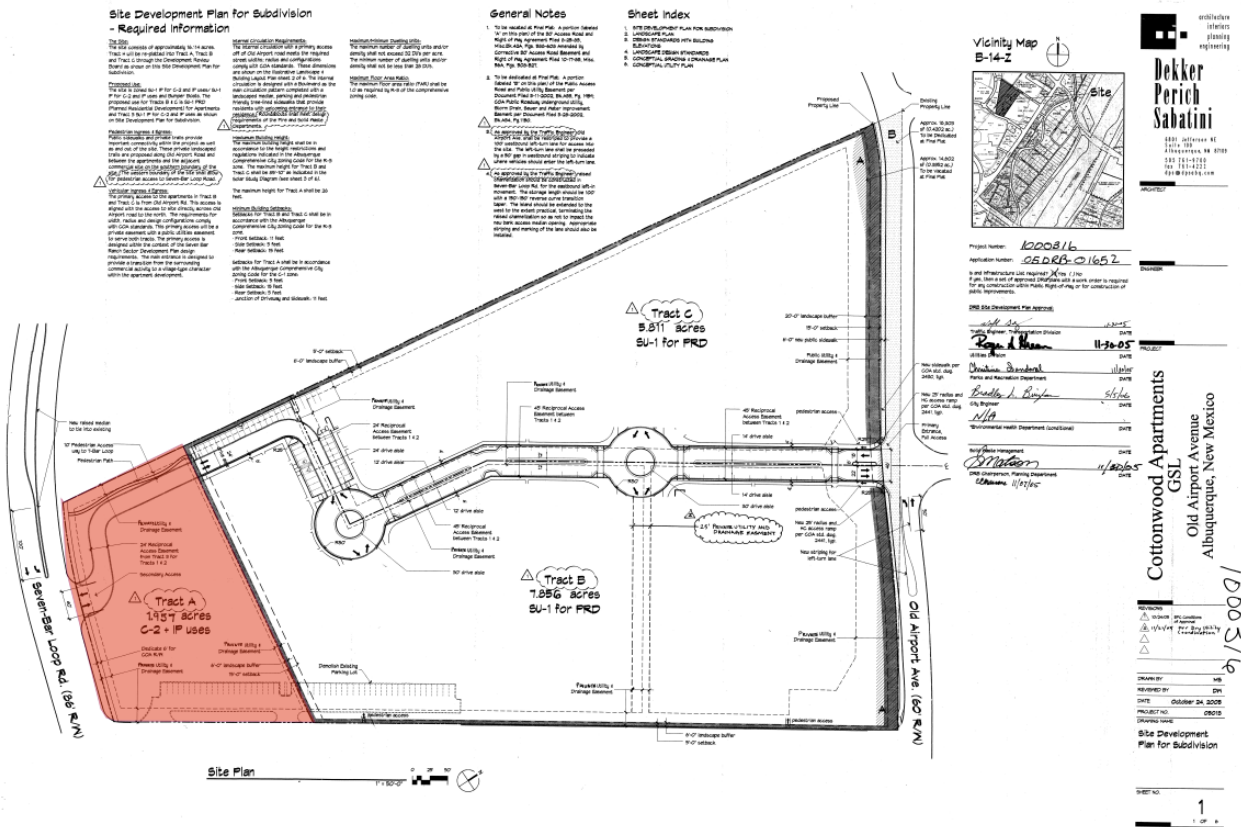
According to the Office of Neighborhood Associations, there were no neighborhood associations to notify of this request. All property owners were notified of this request, as required. The Agent did not receive any correspondence from the notified property owners as of this letter.

PROPOSED AMENDMENT

The purpose of this request is to amend the controlling Site Development Plan for Subdivision (Project #1000316/05DRB-01652) to remove Tract A only. The subject sites will then be controlled by the Integrated Development Ordinance (IDO) rather than the existing design standards. Tract A has not developed and is currently vacant. This request will not affect the plat and layout of the lots because they have been replatted in a prior approval. Tract B and C will remain in the Site Development Plan and controlled by the design standards.

The applicant is requesting to remove the Design and Sign standards for this subject site because of the change in the zoning codes. The Design Standards were initially put in place in 2006 to follow the Comprehensive Zoning Code that was applicable at the time of approval. Since the IDO was adopted, all prior zoning codes became obsolete. Throughout the standards it refers to the C-1 and C-2 zoning for the subject site being removed. The C-1 and C-2 zoning document states "WARNING: This document has been repealed and replaced with the Integrated Development Ordinance, available online: ido.abc-zone.com". This identifies that the area and the city as a whole has changed the zoning and ordinances since the time of original approval. The IDO currently regulates all parcels within the City of Albuquerque limits. This ordinance is updated yearly, meaning the site will stay relevant and up-to-date with the changing environment.

Figure 2: Controlling Site Development Plan for Subdivision (Tract A, highlighted in Red, is included in this request)



This amendment is also being requested to facilitate future development of the vacant subject site (Tract A). The lot has stayed vacant and the property owners want to be able to develop the lot per the current market demand. The uses/design standards were anticipated for a completely different market 19 years ago. Times have changed and will continue to change. By following the IDO the lot can develop in a way that the city and the property owners can all benefit from by staying consistent and up to date on current rules and regulations.

Pursuant to IDO, prior approvals remain valid. The request exceeds the thresholds for a Minor Amendment and therefore is being considered pursuant to Section 14-16-6-4(Z)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. In this case, the EPC approved the existing controlling Site Plan for Subdivision and Design Standards for the subject site prior to the effective date of the IDO.

ZONING

The overall subject sites were formerly zoned SU-1. The IDO was adopted by the City Council through Ordinance 2017-49 (O-17-49) in November 2017. The IDO became effective on May 17, 2018. The adoption of the IDO replaced the City's Zoning Code, Subdivision Ordinance and Sector Development plans. After the IDO was adopted, Tract A was zoned Non-Residential - Business Park Zone District (NR-BP) and Tract B and C were zoned Planned Development (PD).

The purpose of the NR-BP zone district is to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts on surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, industrial, distribution, showroom, processing, and

institutional uses. The NR-BP zone district standards for this vacant site will be more in line with the continuation of developing within this community. This request is currently more advantageous/appropriate to the community and location as opposed to tract A remaining vacant. This request would allow the undeveloped land to be developed in a way that is consistent with the surrounding land uses. Future development on the subject site under the NR-BP zone district would be subject to IDO and DPM requirements. These would help ensure appropriate scale and location of development and character of building design. Use Specific Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements and various other measures. The NR-BP standards are appropriate in this location and would achieve and exceed the original goal that was envisioned in the controlling Site Development Plan for Subdivision. Additionally, continuous development of this subject site must still go through a review with the City of Albuquerque to ensure compliance and adherence to the standards of the IDO as well as the DPM.

The approval of this request will be more suitable for development and ensure the best development outcomes and protections for the community. There are no specific uses being proposed at this time. This will allow flexibility for future developments while still abiding by the IDO allowable uses (Table 4-2-1) for the NR-BP zone district.

Figure 3: The Overall Subject Site Zoning (Tract A - NR-BP & Tract B/C - PD)



CONTEXT

The site is located within the Seven Bar Loop Rd & Cottonwood Drive Major Transit Corridor, within the Cottonwood Center Employment Center, within the Coors Blvd Character Protection Overlay Zone (CPO-2) and within an Area of Change as designated in the Albuquerque Comprehensive Plan. The site is also within the Northwest Mesa Community Planning area.

“Major Transit corridors are anticipated to be served by high frequency and local transit (e.g. Rapid Ride, local, and commuter buses). These Corridors prioritize transit above other modes to ensure a convenient and efficient transit system” (ABC Comp Plan). The Comprehensive Plan designates Centers as areas of

more intense development with a variety of uses that allow many different activities connected by Corridors that include a mix of uses and transportation connections within walking distance. The subject site is within two corridors and a center, the proposed amendment will be in line with the intent and definition of a Major Transit Corridor and an Employment Center.

The overall site is bounded by Seven Bar Loop RD (Urban Major Collector) to the south and Melanie LA NW (Local Urban Street) to the west of the property. Tract B and C are currently developed with a multi-family use and Tract A is vacant (subject site). North of the site and across Old Airport Av is Lowe's and a shopping center. To the east of the site is a Shopping Center. To the south of the site and across Seven Bar Loop RD is Cottonwood Mall. To the west of the site is vacant land.

BACKGROUND

In 2005, the EPC approved a Site Development Plan for Subdivision (Project # 1000316/05EPC-00352) for the entire site. The EPC delegated final sign off for Site Development Plan for Subdivision (Project #100316/05DRB-01652) to the Development Review Board (DRB). The Site Development Plan was approved with Design Standards. There was also an infrastructure list associated with the DRB approval. The plat for the entire subject site was recorded on 01/09/2006. Tracts B and C developed into a multi-family use, per the controlling Site Plan. Tract A remained vacant.

Figure 4. Existing Controlling Site Development Plan for Subdivision (Tracts A will be Abandoned with Approval of this Request, as Highlighted in Figure 2).

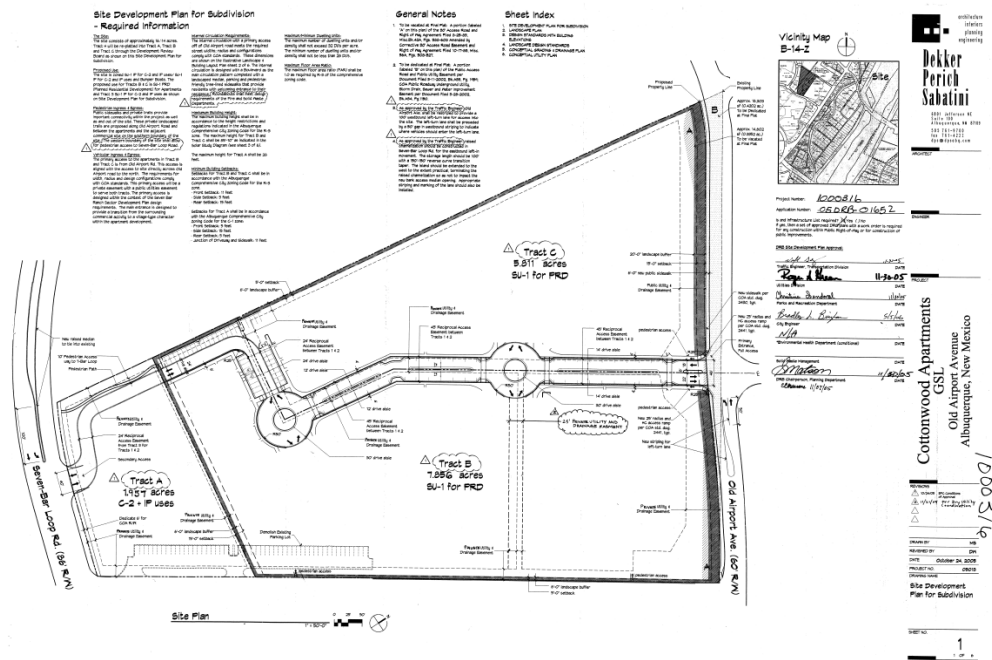


Figure 5. Existing Controlling Site Development Plan for Subdivision (Tracts A will be Abandoned with Approval of this Request, as Highlighted in Figure 2).

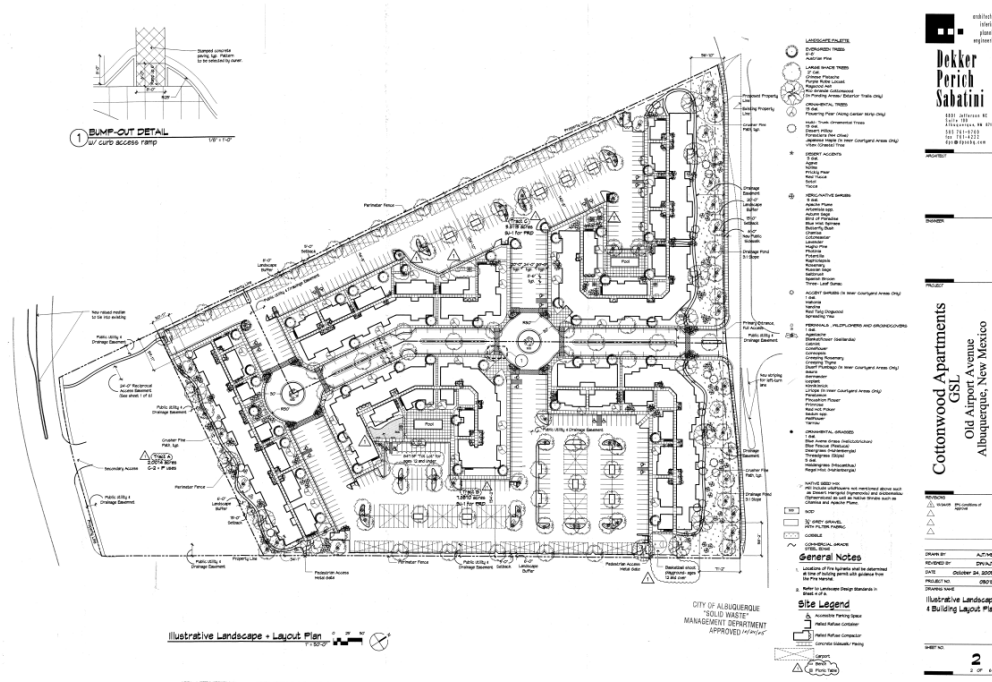
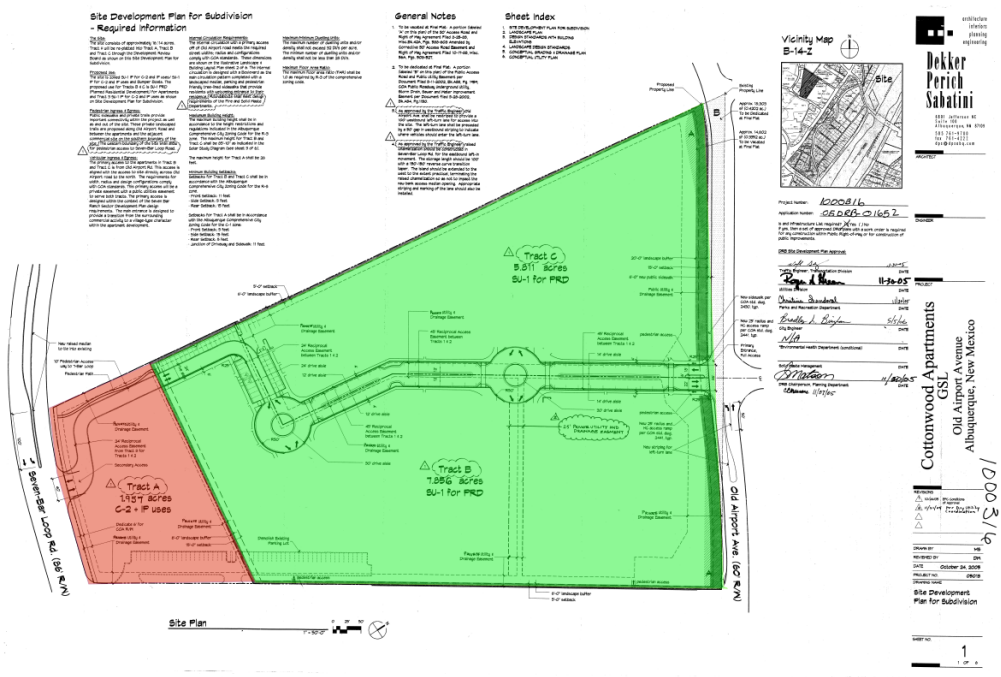


Figure 6: Current Conditions of Controlling Site Development Plan for Subdivision: Legend – Green: Developed, Red: Undeveloped



REVIEW AND DECISION CRITERIA

6-6(I) SITE PLAN – EPC

6-6(I)(3) REVIEW AND DECISION CRITERIA

Any application for a Site Plan – EPC shall be approved if it meets all of the following criteria:

6-6(l)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Applicant Response: *The proposed Site Plan Amendment is consistent with the ABC Comp Plan, as amended. This is shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comprehensive Plan.*

CHAPTER 4 – COMMUNITY IDENTITY

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Applicant Response: *This request is consistent with Policy 4.1.2 because future development will protect the identity and cohesiveness of the neighborhoods. We are not changing the underlying zoning designation. Development would be subject to IDO requirements and uses that will be in line with the existing community. Future development will follow the IDO standards including, the non-residential zone district dimensional standards (Table 5-1-3), landscaping, buffering and screening (14-16-5-6), and building design standards (14-16-5-11). These standards are put in place to protect the community and allow for cohesiveness by ensuring the appropriate scale and location of development, mix of uses, and character of building design. The request furthers Policy 4.1.2.*

CHAPTER 5 – LAND USE

POLICY 5.1.1 Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern. [ABC]

Applicant Response: *This request is consistent with Policy 5.1.1 because it will facilitate change to help shape the build environment into sustainable development patterns. The property is located in two Major Transit Corridors, in an Employment Center and within an Area of Change where growth is desired. The ability to develop the property is crucial in order to provide employment and services necessary to create opportunities to live, learn and work. That all leads to sustainable development patterns. This request will allow for private market conditions to be tailored because the land will be more appealing and the process will be clearer. The location is most appropriate to accommodate development and encourage employment density in an Employment Center and thus discourage the need for development at the urban edge. This request furthers Policy 5.1.1.*

POLICY 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods. [ABC]

Applicant Response: *This request is consistent with Policy 5.2.1 because the proposed Major Site Plan amendment request would allow for a mixture of uses that could help create a healthy, sustainable and distinct community in an Area of Change. The request would make possible a wide array of non-residential uses in a community that includes mixed uses, planned development and non-residential uses. Ultimately leading to a community with a mix of uses that are conveniently accessible from the surrounding neighborhoods. There is a multi-family development, to the north, abutting the subject site being removed. The site is conveniently accessible through a network of roadways. The roadways include Seven Bar Loop, Coors Blvd and Cottonwood Dr. Future development will bring goods and services within*

walking and biking distance of the neighborhood. The location within two Transit Corridors offering choice transportation to services and employment. This request furthers Policy 5.2.1.

POLICY 5.3.1

Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

Applicant Response: This request is consistent with Policy 5.3.1 because the proposed Site Plan amendment will support additional growth in an Area of Change with existing infrastructure and public facilities. The property is well serviced by existing infrastructure and other public facilities including access roads, water and sewage. This request furthers Policy 5.3.1.

POLICY 5.6.2

Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]

Applicant Response: This request is consistent with Policy 5.6.2 because the subject property is located in an Area of Change and will direct growth and more intense development to the Major Transit Corridors and the Employment Center, where change is encouraged. The proposed amendment will encourage growth and high-quality future development, in an area with adequate infrastructure. According to the ABC Comp Plan, developments of higher density and intensity, typically with a mixture of uses, are encouraged within Areas of Change. Under the current controlling site development plan, the subject site has remained vacant. This proposed amendment will encourage future growth and high-quality development in accordance with goals and policies of the IDO. Future development will contribute too and have a positive impact on the Employment Center that the subject site is within. The subject site is currently under-utilized. A large commercial site in a highly accessible area should be developed to its full potential. The ABC Comp Plan highlights that there needs to be change in order to direct growth within the developed metropolitan footprint and ensure sustainable growth over time (ABC Comp Plan P. 2-8). With the approval of this amendment, it will further the ABC Comp Plan's vision on changing and utilizing existing vacant sites. This request furthers Policy 5.6.2.

POLICY 5.6.2.h: Encourage development in areas with a highly connected street grid and frequent transit service.

Applicant Response: This request is consistent with Policy 5.6.2.h because the Major Site Plan amendment is in an area with a highly connected street grid with frequent transit services. The Comp Plan designates Seven Bar Loop Rd & Cottonwood Drive as Major Transit Corridors. The site is served by ABQ Ride Route #96, #155, and #790. There are multiple bus stops in close proximity to the subject site along Seven Bar Loop, to include two (2) Rapid Ride bus stops. The site is accessible by vehicle from 7 Bar Loop, Cottonwood Drive, Coors Blvd, and Old Airport Ave. The approval of this amendment will allow the subject site to develop with a variety of non-residential uses. The site becomes more marketable with the approval of this request, encouraging economic development. The IDO eliminates any interpretation and gray areas. This request furthers Policy 5.6.2.h.

CHAPTER 8: ECONOMIC DEVELOPMENT

GOAL 8.1

Placemaking: Create places where business and talent will stay and thrive.

Applicant Response: This request is consistent with Goal 8.1 because it will create a place where business and talent can stay and thrive by facilitating the development of the underutilized tract. With this amendment, it will allow for a variety of permissive uses under the NR-BP zone district to develop on the subject site. The benefit of that is the subject site being removed would not be tied to obsolete zoning and design standards and will allow for future development to follow the IDO. In turn, future development has the ability to attract a variety of businesses and talent. This request furthers Goal 8.1.

POLICY 8.1.2

Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy. [ABC]

Applicant Response: This request is consistent with Policy 8.1.2 because the proposed amendment will encourage economic development that will provide jobs, goods, and services. Which in turn will improve the life for new and existing residents in this community and contribute to a diverse and vibrant economy. This will be done by creating new opportunities for neighborhood scale commercial development that is consistent with and enhances the established character of existing development. This type of economic development is best suited for locations supported by commercial corridors. The site, as it currently sits, is being underutilized. The original approvals tie back to an obsolete "Comprehensive City Zoning Code". The prior zoning code has been repealed and the city now follows the IDO. The IDO was put in place to "Ensure all development in the City is consistent with the spirit and intent of any other plans and policies adopted by City Council" (IDO, P1). It was also put in places to protect all communities, protect the quality of life and promote economic development. With this request we are relying on the very intent of the IDO to have the opportunity to protect the community, at the same time promote economic development. This subject site and site location encompasses all aspects of successful economic development furthers Policy 8.1.2.

As demonstrated in our policy narrative, the proposed Site Plan Amendment would further a preponderance of Goals and Policies found in the ABC Comprehensive Plan and would clearly facilitate the desired goals of the Comp Plan. Which provides a framework to guide private development land use decisions, and decision-makers as they contemplate new plans affecting the whole community.

6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

Applicants Response: The overall site was previously zoned SU-1 with associated design standards. Since adoption of the IDO, Tract A was zoned Non-Residential - Business Park Zone District (NR-BP) NR-BP and Tract B and C were zoned Planned Development (PD). Tract B and C are not a part of this application. Thus, the parcels will remain consistent with terms of the controlling Site Plan. Tract A is zoned NR-BP, this criterion is not applicable because the subject site does not have any terms, conditions, or development agreements related to the NR-SU or PD zoning.

6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: By amending the controlling Site Development Plan for Subdivision to remove Tract A, and by abandoning the controlling design standards, the site will be consistent with the City's goals and policies for future development. All future development subsequent to this approval shall follow all standards of the IDO as adopted and amended as well any DPM standards.

6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Applicant Response: This request furthers this criterion because the City's existing infrastructure and public improvements currently have adequate capacity to serve the existing development. This Major Amendment request will not burden the existing infrastructure. However, it is fully understood that future development of this property may require upgraded infrastructure, both public and/or private to adequately service the needs of the development. Although specific improvements are unknown at this time, the applicant has sufficient resources to guarantee any work needed via the Infrastructure Agreement process with the City of Albuquerque.

6-6(l)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Applicant Response: The permissive uses that are allowed in the IDO compared to the existing Design Standards will not cause any significant adverse impacts on the surrounding area. The IDO has provisions in place to protect the community. This is shown through the IDO's Use Specific Standards, Development Standards, Parking and Loading, and Building Design Standards. These would help ensure appropriate scale and location of development and character of building design. Use Specific Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements and various other measures. Future development of this property and possible uses that could be considered harmful to adjacent property owners have been mitigated by use-specific standards regulations identified in the IDO. All uses shall comply with City ordinances regulating noise, odors, vibration, glare, heat, and other special nuisance conditions affecting other properties as well as use-specific standards.

6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: The site is not within a Master Development Plan. The purpose of this Major Amendment is to amend the controlling Site Development Plan for Subdivision to remove Tract A only. The subject sites will then be controlled by the IDO rather than the existing design standards. The site being removed is zoned NR-BP and the development of this site will be designed per the IDO and the DPM regulations.

6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(F) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Applicant Response: This request does not require a cumulative impact analysis as the site is not within the Railroad and Spur Small Area.

CONCLUSION

This request is for a Major Amendment to remove Tract A from the controlling Site Development Plan for Subdivision (Project # 1000316/05DRB-01652). As a result, Tract A will have no controlling site plan or design standards tied to it and it will follow the IDO. The overall site is approximately 17 acres and the subject site being removed is approximately 2 acres. Based on how the market is driving developments, this request will best suit the community and will bring life to the vacant piece of land.

Pursuant to an approval for a Major Site Plan Amendment, Criterion 14-16-6-6-6(I)(3) a-g, must all be met. Our request meets all of the identified criteria. This request will further a preponderance of Goals and Policies found in the ABC Comprehensive Plan and will not cause harm to the community. This request will not cause any deficiencies to the overall site.

Future development on the subject site under the NR-BP zone would be subject to IDO requirements including the non-residential zone dimensional standards (Table 5-1-3), landscape, buffering, and screening (14-16-5-6), and building design standards (14-16-5-11). These would help ensure appropriate scale and location of development and character of building design. These Use Specific Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements, and various other measures. Additionally, development of the subject site must still go through a review with the City of Albuquerque to ensure compliance with the standards of the IDO as well as the DPM.

Future development of the site will be consistent with the intent of the IDO which was to provide consistent standards and simplify the review & approval process of enforcing these standards.

Sincerely,

REGINA OKOYE, VICE PRESIDENT
MODULUS ARCHITECTS & LAND USE PLANNING, INC.
8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NM 87113
Office 505.338.1499 (Ext. 1003)
Mobile + Text 505.267.7686
Email: rokoye@modulusarchitects.com
Website: www.modulusarchitects.com
Join us on Facebook: [Modulus Architects on Facebook](#)
New Mexico | Texas | Arizona | Colorado | Oklahoma



STAFF INFORMATION

March 27, 2024

TO: Regina Okoye
Modulus Architects and Land Use Planning, Inc.

FROM: William Steele, Planner
City of Albuquerque Planning Department

TEL: (505) 924-3349

RE: PR-2024-010074, 3601 Seven Bar Loop Rd NW Major Amendment

I've completed a first review of the proposed major amendment. I would like to discuss the request and have suggested revisions. I am available to answer questions about the process and requirements. Please provide the following:

⇒ A revised project letter (one electronic copy)

by 11 AM on April 2, 2024.

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you immediately.
- B. This is what I have for the legal description:
 - a. Modulus Architects and Land Use Planning, agent for Branch Turner and Margaret, requests a Site Plan-EPC, for all or a portion of TR A, B and C Plat of Cottonwood Tracts A Thru C (A division of a 16.1114 acre unplatted parcel), located at 3601 Seven Bar Loop Rd NW, between Cottonwood Blvd NW and Coors Blvd NW, approximately 17 acres. (B-14-Z)
- C. It is my understanding that you have submitted a Site Plan-EPC, Major Amendment to remove Tract A from the controlling Site Development Plan for the subdivision, which would facilitate Tract A to developed individually in the future adhering to IDO standards.

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing for April is on the 18th. Final staff reports will be available about one week prior, on April 11th.
- C. I will email you a copy of the agency comments once they are received and will forward any late ones to you.

3) Notification & Neighborhood Issues:

Notification requirements for a Site Plan-EPC, Major Amendment are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 409). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.

- A. It appears that the applicant has provided notice of the application to all adjacent property owners via certified mail and email as required by the IDO. Did you receive any comments or request?
- B. According to the Office of Neighborhood Coordination there are no Neighborhood Associations in this area to contact.
- C. Please let me know if you receive any additional comments. If you do, these will be included in our staff report.
- D. The sign posting period is 15 days prior and after the EPC hearing date from Wednesday April 3, 2024 to Friday May 3, 2024.
- E. Please resubmit the signed sign posting agreement with the sign posting dates filled in on the form.

4) Project Letter:

- A. The project letter is off to a good start, though I have some questions and revisions to the description of the request and the responses to review and decision criteria.
- B. Please bold the legal description for Tract A on the first page so it stands out as the subject site and there is no question to which site is being referred.
- C. Was access to Seven Bar Loop Rd from Tract C through the subject site (Tract A) ever completed?

- D. Context Section – Second Paragraph – Please change words “Activity Center” to “Employment Center”.
- E. Proposed Amendment Section - This is a one part request. By removing Tract A The property would automatically be subject to the IDO, therefore there isn't a two or second part request to abandon the design standards. Please remove any text referring to this as a two (2) part request.

Remove Paragraph 2 on Page 3. Discussing the process of the IDO updates and its purpose isn't necessary for this justification letter.

- F. There is only one site that is currently vacant and only one site development plan. Please change the appropriate words from plural to singular. (e.g., change where appropriate the word sites to site and plans to plan.)
- G. Please doublecheck grammar within the justification letter and revise to be concise when responding to the Criterion.

5) Justification Criteria, goals & policies:

- A. The justification and responses to the review and decision criteria are sufficient with only a few exceptions. I have some suggested revisions in these instances.
- B. Criterion A: Please revise your response to Criterion A in your justification letter based on the following information:
 - 1. The responses to Criterion A use the terms “clearly facilitates and furthers.” I suggest revising your response to reflect the language used in 6-6(I)(3)(a) - “is consistent with”.

Policy 5.1.1 Desired Growth – How does this amendment capture regional growth in Centers and Corridors to help shape the built environment. Referencing the economy and the previous IDO zoning needs to be removed because this information doesn't respond to the policy. How does the “IDO capture regional growth through yearly amendments” that would help this major amendment to the site plan? Please revise.

Policy 5.6.2 Areas of Change – The response is mentions corridors but not centers. This subject site is in an employment center. Please include how this would direct more growth to employment centers.

Policy 5.6.2h Encourage development in areas with highly connected... – Please verify that multiple bus stops are “being removed” along Seven Bar Loop Rd. Plural use of the word “sites” when mentioning the subject site. Please review and edit letter to alleviate any possible confusion.

- C. Criterion C: Please revise your response to Criterion C in your justification letter based on the following information:

1. Second Paragraph in the Applicant Response to Criterion C can be removed because it does not address mitigation and buffering is already mentioned in the first paragraph.
- D. Criterion F: Please revise your response to Criterion F in your justification letter based on the following information:
1. Upon approval of the amendment the subject site would automatically be subject to the IDO, therefore there isn't a two or second part request to abandon the design standards. Please remove any text referring to this as a two (2) part or purpose request.

NOTIFICATION

Regina Okoye

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Monday, February 5, 2024 3:19 PM
To: Regina Okoye
Subject: 3601 SEVEN BAR LOOP RD NW_ Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_B-14-Z.pdf

Dear Applicant:

As of February 5, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Monday, February 5, 2024 2:36 PM
To: Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
Other (please specify in field below)
If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:
EPC / Development Facilitation Team
Contact Name
Regina Okoye

Telephone Number
5052677686
Email Address
ROKOYE@MODULUSARCHITECTS.COM
Company Name
Modulus Architects
Company Address
8220 San Pedro NE, Suite 520 (Paseo Nuevo Building)
City
Albuquerque
State
NM
ZIP
87107

Legal description of the subject site for this project:
UPC: 101406507240520210
Owner: BRANCH TURNER & MARGARET
Owner Address: 2025 RIO GRANDE BLVD NW ALBUQUERQUE NM 87104
Situs Address: SEVEN BAR LP NW ALBUQUERQUE 87114
Legal Description: TR A PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 1.9570 AC
Acres: 1.957
Tax Year: 2023

Physical address of subject site:
3601 SEVEN BAR LOOP RD NW

Subject site cross streets:
SEVEN BAR LOOP RD NW & MELANIE LA NW

Other subject site identifiers:
This site is located on the following zone atlas page:
B-14-Z

Captcha
x

Regina Okoye

From: Natalie Ayala
Sent: Thursday, February 29, 2024 9:20 AM
To: Regina Okoye
Subject: FW: 3601 Seven Bar Loop RD NW_Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_B-14-Z.pdf

NATALIE AYALA, INTERN
MODULUS ARCHITECTS & LAND USE PLANNING, INC.

8220 SAN PEDRO DR. NE, SUITE 520
ALBUQUERQUE, NM 87113
Office: (505) 338.1499
Email: nayala@modulusarchitects.com
Website: www.modulusarchitects.com
Join us on Facebook: [Modulus Architects on Facebook](#)
New Mexico | Texas | Arizona | Colorado | Oklahoma

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Wednesday, February 28, 2024 11:33 AM
To: Natalie Ayala <nayala@modulusarchitects.com>
Subject: 3601 Seven Bar Loop RD NW_Public Notice Inquiry Sheet Submission

Dear Applicant:

As of February 28, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores
Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office
E-mail: suzannaflores@cabq.gov
Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, February 28, 2024 10:37 AM
To: Office of Neighborhood Coordination <nayala@modulusarchitects.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Natalie Ayala

Telephone Number

5053381499

Email Address

nayala@modulusarchitects.com

Company Name

Modulus Architects

Company Address

8220 San Pedro Dr NE Ste 520

City

ALBUQUERQUE

State

NM

ZIP

87113

Legal description of the subject site for this project:

UPC: 101406507240520210

Owner: BRANCH TURNER & MARGARET

Owner Address: 2025 RIO GRANDE BLVD NW ALBUQUERQUE NM 87104

Situs Address: SEVEN BAR LP NW ALBUQUERQUE 87114

Legal Description: TR A PLAT OF COTTONWOOD TRACTS A THRU C (A DIVISION OF A16.1114 ACRE UNPLATTED PARCEL) CONT 1.9570 AC

Acres: 1.957

Tax Year: 2023

Physical address of subject site:

3601 Seven Bar Loop RD NW

Subject site cross streets:

7 Bar Loop NW & Melanie La NW

Other subject site identifiers:

This site is located on the following zone atlas page:

B-14-Z

Captcha

x

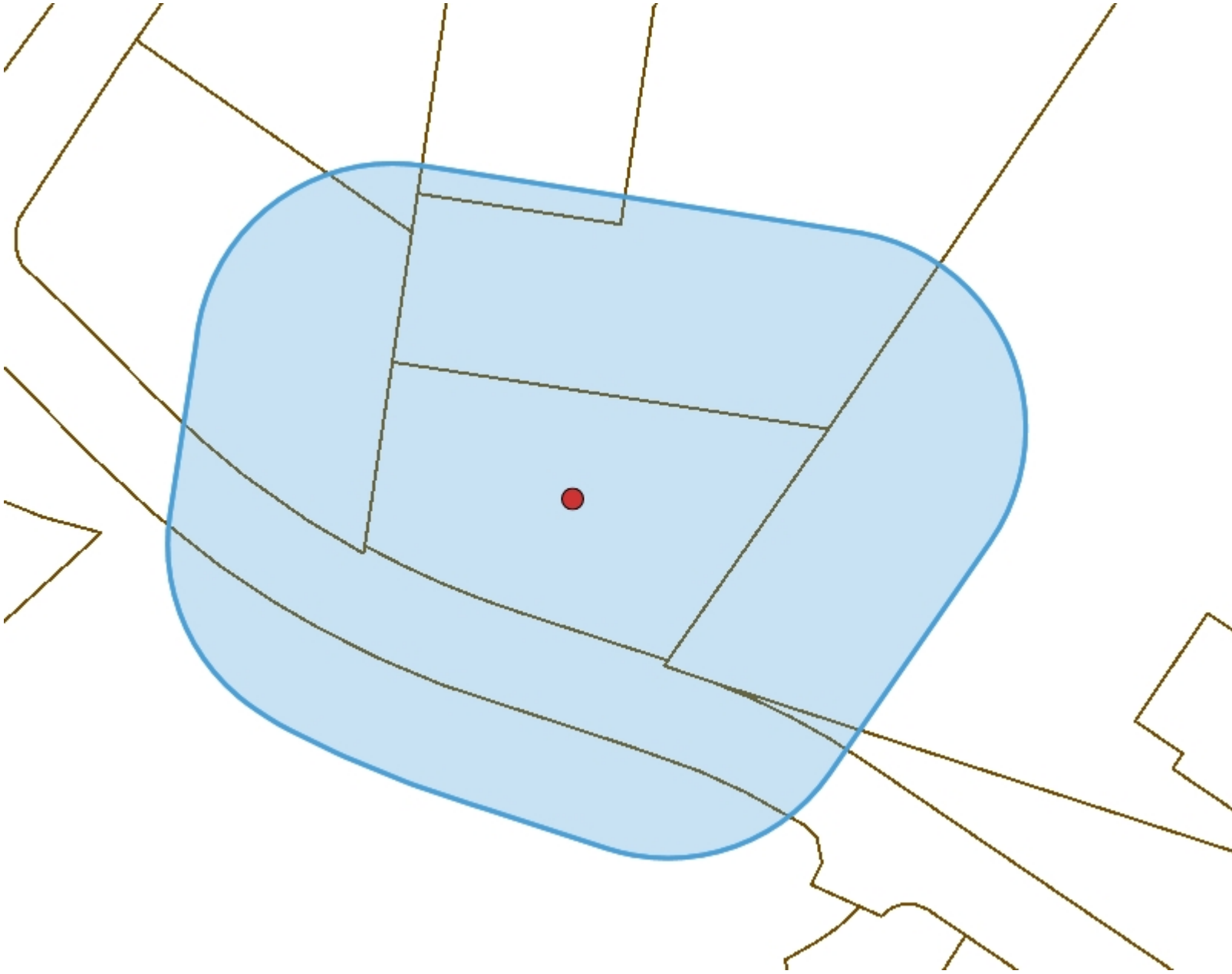


3601 Seven Bar Loop Rd NW



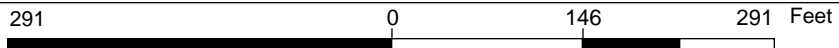
Legend

□ Bernalillo County Parcels



Notes

Buffer: 195 Ft.
ROW: 7 Bar Loop NW; 95 ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
2/15/2024 © City of Albuquerque

1: 1,748

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

IRONSTONE BANK ATTN: FACILITIES
PO BOX 27131
RALEIGH NC 27611-7131

SOLAIRE APARTMENTS SPE LLC ATTN:
MILLBURN & COMPANY-JAKE MILBURN
15 W SOUTH TEMPLE ST SUITE 640
SALT LAKE CITY UT 84101-1540

BRANCH TURNER & MARGARET
2025 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87104

RSF LAND & CATTLE COMPANY LLC
4801 LANG AVE NE SUITE 210
ALBUQUERQUE NM 87109-4474

ALAMO CENTER LLC
13405 PINO RIDGE PL NE
ALBUQUERQUE NM 87111-8274

BERNALILLO COUNTY C/O COUNTY
MANAGER
415 SILVER AVE SW
ALBUQUERQUE NM 87102-3225

MALL AT COTTONWOOD LLC ATTN: K E
ANDREWS & COMPANY
2424 RIDGE RD
ROCKWALL TX 75087-5116

ALAMO CENTER LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: 3/6/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3601 Seven Bar Loop Rd NW
Location Description 7 Bar Loop NW & Melanie La NW
2. Property Owner* Branch Turner & Margaret
3. Agent/Applicant* [if applicable] Modulus Architects & Land Use Planning (agent)
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Major Amendment to the prior approved Site Development Plan for Subdivision to remove the subject site (Tract A only). As a result, the Site Development Plan for Subdivision will no longer apply and the subject site will follow the Integrated Development Ordinance (IDO). This request will allow future development to be consistent with the surrounding area and allow for a more clear and concise development process with the City of Albuquerque. There are no uses being proposed at this time.

5. This application will be decided at a public meeting or hearing by*:

- | | |
|--|---|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input checked="" type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: April 18, 2024 @8:40am

Location*²: VIA ZOOM - Join Zoom Meeting <https://cabq.zoom.us/j/2269592859>
Meeting ID: 226 959 2859

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
Regina Okoye with Modulus Architects & Land Use Planning 505.338.1499 (EXT. 1003)

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ B-14-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

There was no neighborhood associations to notify of a pre-submittal meeting per the Office

of Neighborhood Coordination.

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] +/- 2 _____
 2. IDO Zone District NR-BP _____
 3. Overlay Zone(s) [if applicable] Coors Boulevard – CPO-2 _____
 4. Center or Corridor Area [if applicable] Cottonwood Center Employment Center/ Seven Bar Loop Rd & Cottonwood Dr (Major Transit Corridor) _____
- Current Land Use(s) [vacant, if none] _____
Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

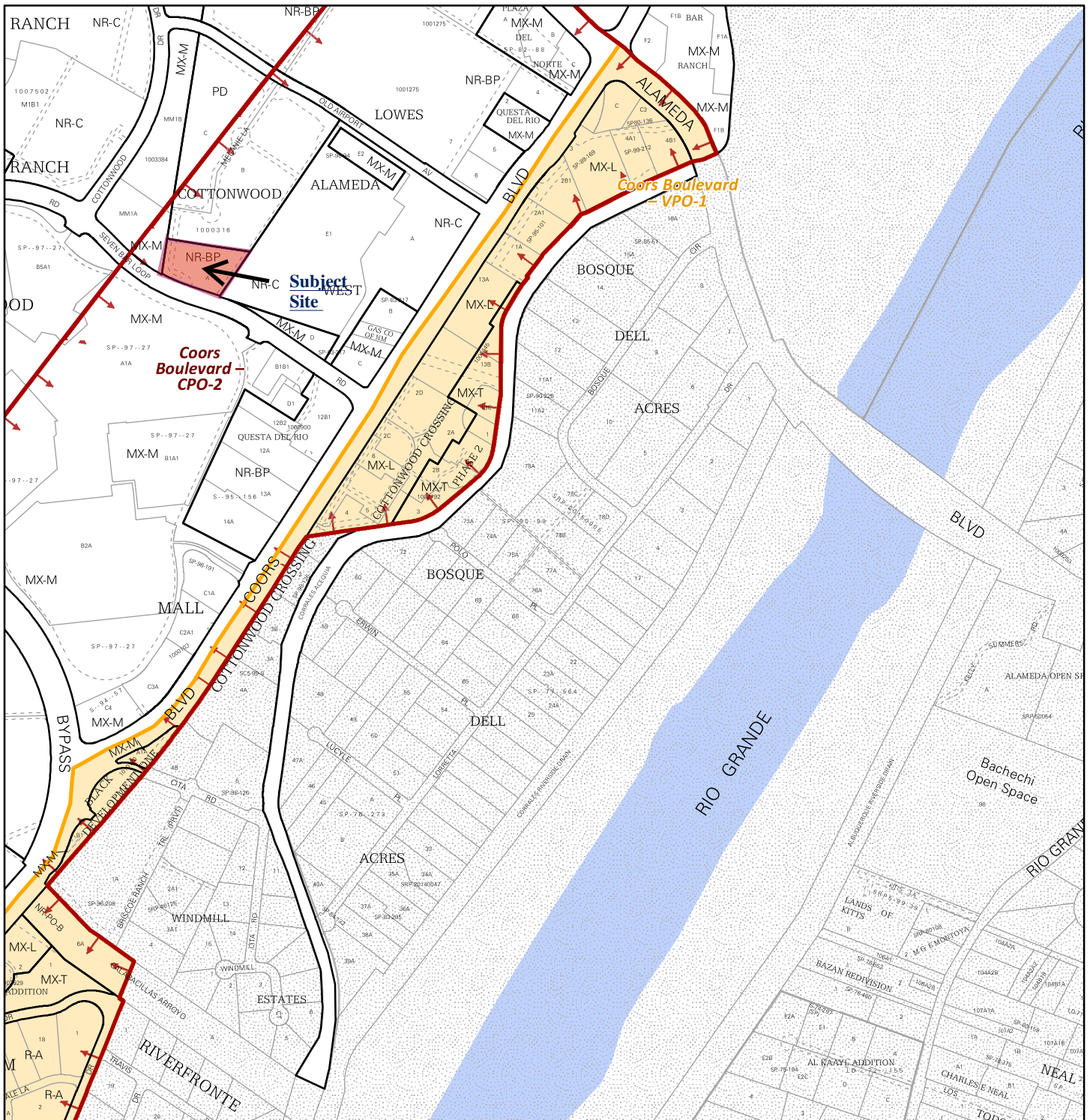
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

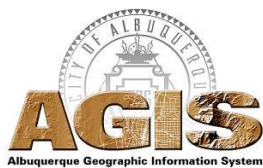
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

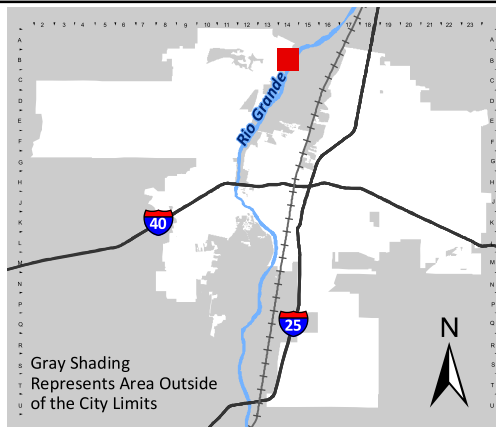


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

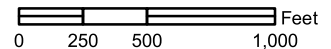


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
B-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Major Amendment to Site Plan		
Decision-making Body: Environmental Planning Commission (EPC)		
Pre-Application meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application: 3601 Seven Bar Loop Rd NW		
Name of property owner: Branch Turner & Margaret		
Name of applicant: Modulus Architects & Land Use Planning (agent)		
Date, time, and place of public meeting or hearing, if applicable:		
April 18, 2024 @8:40am, VIA Zoom		
Address, phone number, or website for additional information:		
Regina Okoye with Modulus Architects & Land Use Planning, Inc. (505) 338-1499 ext. 1003		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okoye (Applicant signature) 3/6/2024 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

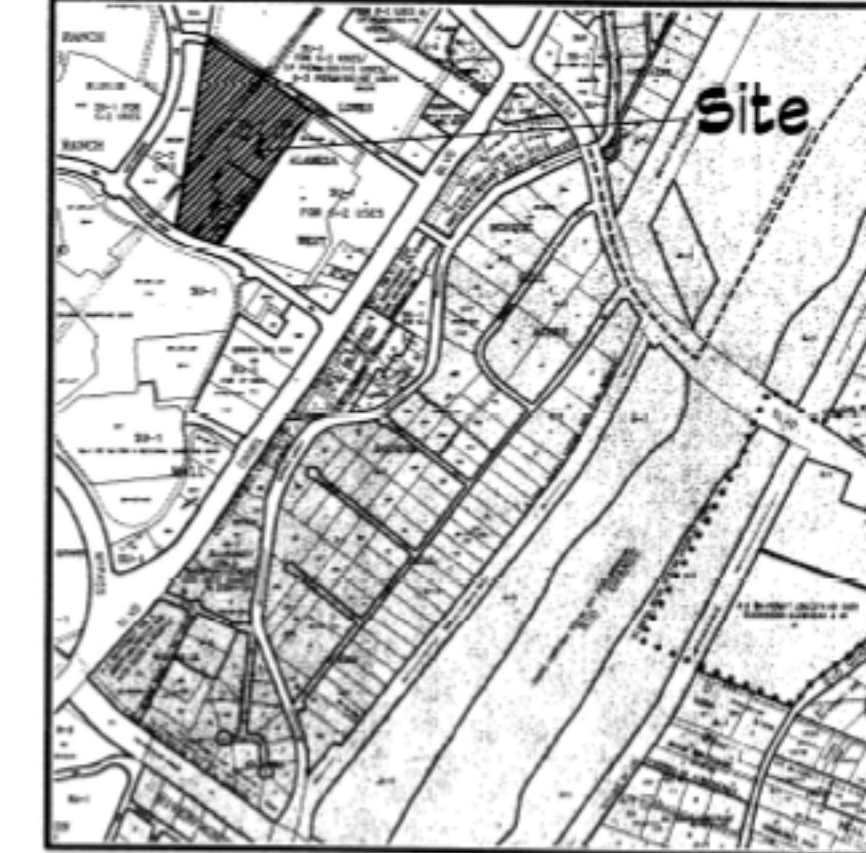
- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

REVISIONS

10/24/05	EPC Conditions of Approval
11/2/05	Per Dry Utility Coordination

DRAWN BY	MS
REVIEWED BY	DM
DATE	October 24, 2005
PROJECT NO.	05018
DRAWING NAME	Site Development Plan for Subdivision

Vicinity Map
B-14-Z



Project Number: 1000316
Application Number: 05DRB-01652

Is an Infrastructure List required? Yes No
If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRS Site Development Plan Approval:

Traffic Engineer, Transportation Division	<u>11/30/05</u>	DATE
Utilities Division	<u>11/30/05</u>	DATE
Parks and Recreation Department	<u>11/30/05</u>	DATE
City Engineer	<u>5/5/06</u>	DATE
Environmental Health Department (conditional)		DATE
Public Works Management	<u>11/22/05</u>	DATE
DRS Chairperson, Planning Department	<u>11/07/05</u>	DATE

Sheet Index

1. SITE DEVELOPMENT PLAN FOR SUBDIVISION
2. LANDSCAPE PLAN
3. DESIGN STANDARDS WITH BUILDING ELEVATIONS
4. LANDSCAPE DESIGN STANDARDS
5. CONCEPTUAL GRADING & DRAINAGE PLAN
6. CONCEPTUAL UTILITY PLAN

General Notes

1. To be vacated at Final Plat: A portion (labeled "A" on this plan) of the 30' Access Road and Right of Way Agreement Filed 8-25-88, Misc. Bk. 42A, Pgs. 508-608 Amended by Corrective 30' Access Road Easement and Right of Way Agreement Filed 10-11-88, Misc. Bk. 42A, Pgs. 508-527.
2. To be dedicated at Final Plat: A portion (labeled "B" on this plan) of the Public Access Road and Public Utility Easement per Document Filed 8-11-2002, Bk. 488, Pg. 1494; COA Public Roadway Underground Utility, Storm Drain, Sewer and Water Improvement Easement per Document Filed 8-28-2002, Bk. 484, Pg. 1180.
3. As approved by the Traffic Engineer, Old Airport Ave. shall be restriped to provide a 100' westbound left-turn lane for access into the site. The left-turn lane shall be preceded by a 30' gap in westbound striping to indicate where vehicles should enter the left-turn lane.
4. As approved by the Traffic Engineer, raised channelization should be constructed in Seven-Bar Loop Rd. for the eastbound left-in movement. The storage length should be 100' with a 180'-150' reverse curve transition taper. The island should be extended to the west to the extent practical, terminating the raised channelization so as not to impact the new bank access median opening. Appropriate striping and marking of the lane should also be installed.

Site Development Plan for Subdivision
- Required Information

The Site:
The site consists of approximately 16.14 acres. Tract H will be re-platted into Tract A, Tract B and Tract C through the Development Review Board as shown on this Site Development Plan for Subdivision.

Proposed Use:
The site is zoned SU-1 IP for C-2 and IP uses/ SU-1 IP for C-2 and IP uses and Bumper Boats. The proposed use for Tracts B & C is SU-1 PRD (Planned Residential Development) for Apartments and Tract 3 SU-1 IP for C-2 and IP uses as shown on Site Development Plan for Subdivision.

Pedestrian Ingress & Egress:
Public sidewalks and private trails provide important connectivity within the project as well as and out of the site. These private landscaped trails are proposed along Old Airport Road and between the apartments and the adjacent commercial site on the southern boundary of the site. The western boundary of the site shall allow for pedestrian access to Seven-Bar Loop Road.

Vehicular Ingress & Egress:
The primary access to the apartments in Tract B and Tract C is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

Internal Circulation Requirements:
The internal circulation with a primary access off of Old Airport road meets the required street widths; radius and configurations comply with COA standards. These dimensions are shown on the illustrative Landscape & Building Layout Plan sheet 2 of 6. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with welcoming entrance to their residence. Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.

Maximum Building Height:
The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-3 zone. The maximum height for Tract B and Tract C shall be 85'-10" as indicated in the Solar Study Diagram (see sheet 3 of 6).

The maximum height for Tract A shall be 26 feet.

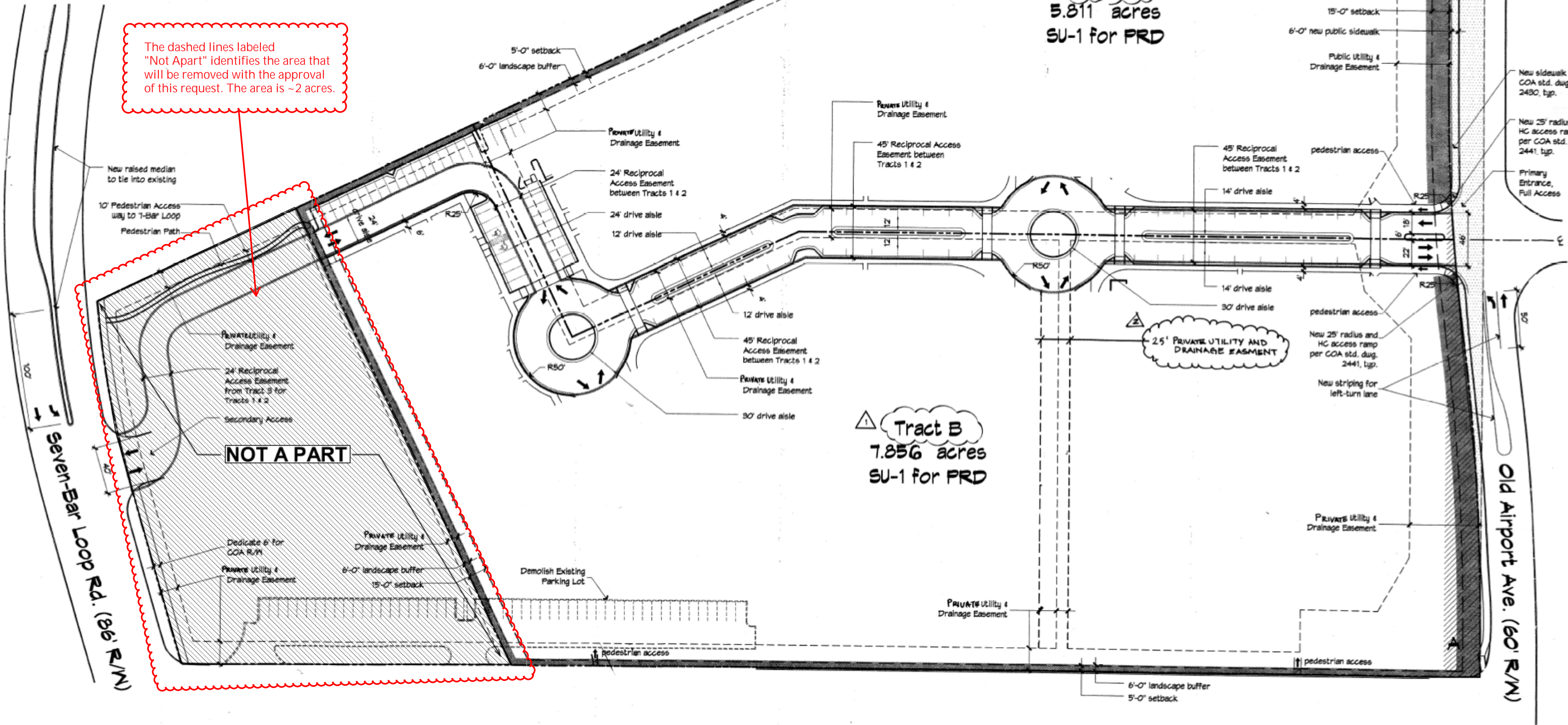
Minimum Building Setbacks:
Setbacks for Tract B and Tract C shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the R-3 zone.
• Front Setback: 11 feet
• Side Setback: 5 feet
• Rear Setback: 15 feet

Setbacks for Tract A shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the C-1 zone:
• Front Setback: 5 feet
• Side Setback: 15 feet
• Rear Setback: 5 feet
• Junction of Driveway and Sidewalk: 11 feet

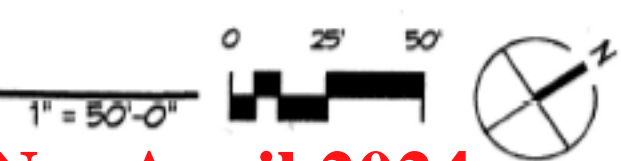
Maximum/Minimum Dwelling Units:
The maximum number of dwelling units and/or density shall not exceed 32 DU's per acre. The minimum number of dwelling units and/or density shall not be less than 28 DU's.

Maximum Floor Area Ratio:
The maximum Floor area ratio (FAR) shall be 1.0 as required by R-3 of the comprehensive zoning code.

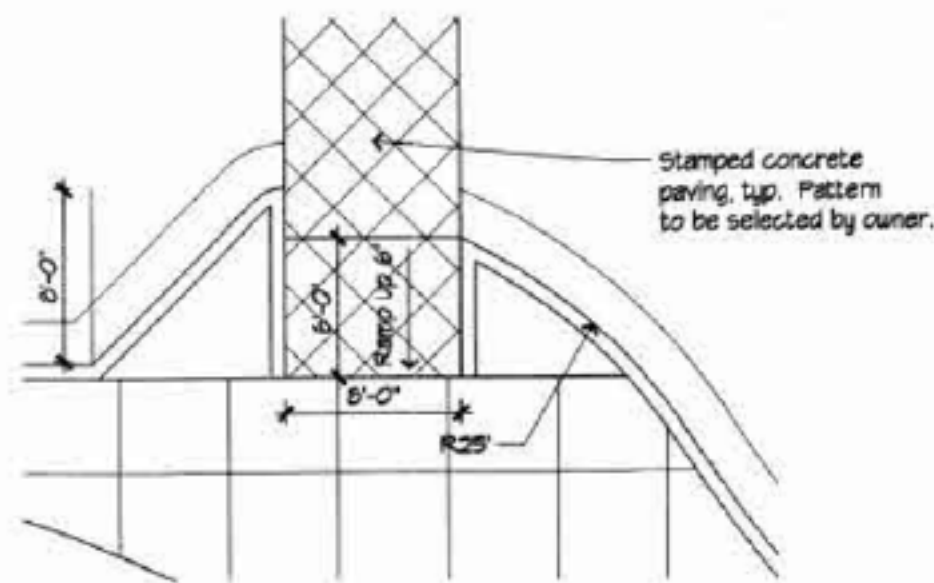
The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres.



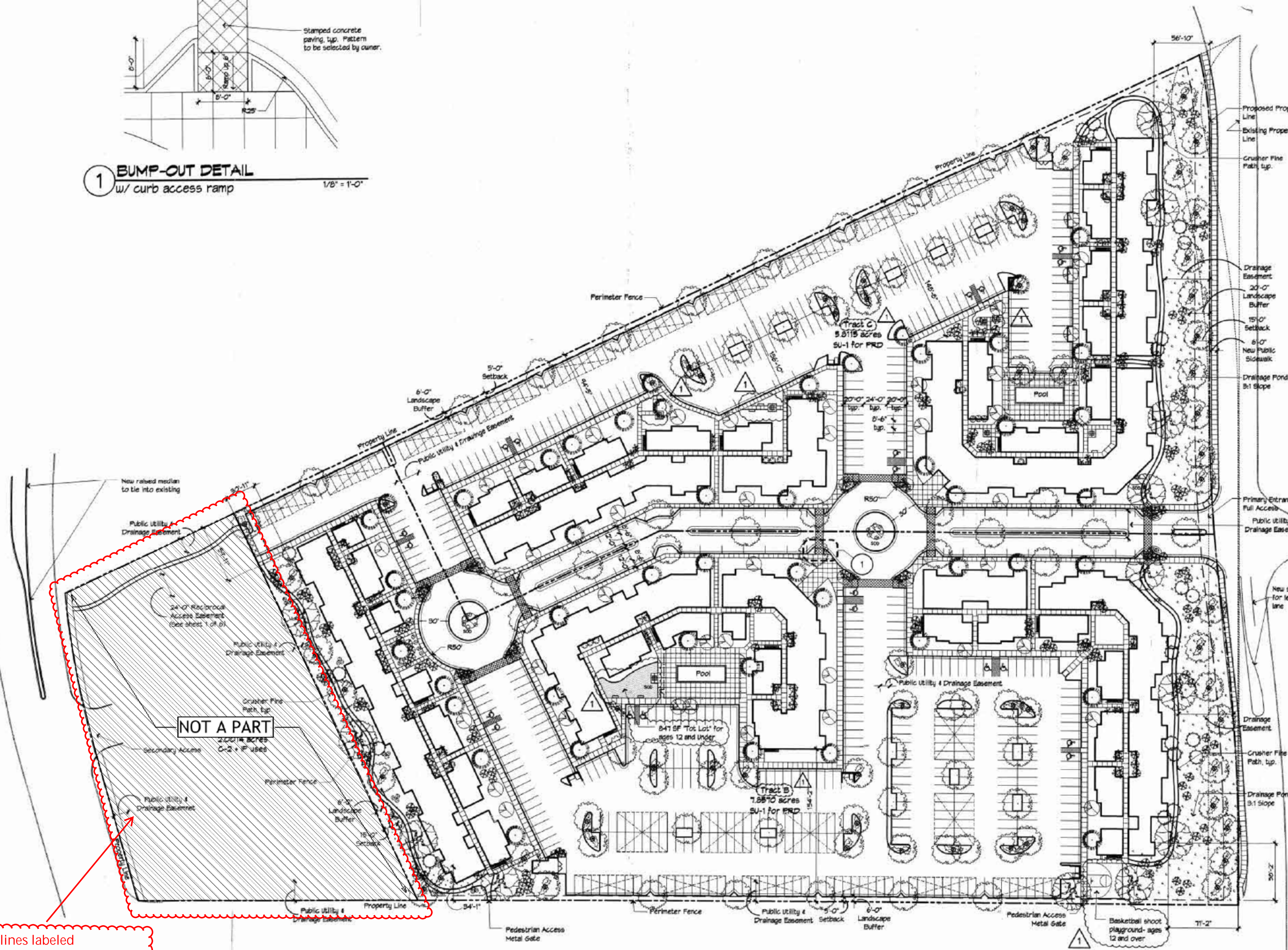
Site Plan



EPC MAJOR AMENDMENT TO SITE DEVELOPMENT PLAN - April 2024
Site Development Plan has been amended to follow the current Integrated Development Ordinance (IDO) Rules and Regulations
The dashed area that is labeled "Not Apart" (approximately 2 acres) is no longer apart of the Site Development Plan and will follow all IDO Standards.



1 BUMP-OUT DETAIL
w/ curb access ramp
1/8" = 1'-0"



- LANDSCAPE PALETTE**
- EVERGREEN TREES**
 - 6'-8' Austrian Pine
 - LARGE SHADE TREES**
 - 2' Cal. Chinese Pistache
 - Purple Robe Locust
 - Rainwood Ash
 - Rio Grande Cottonwood (in Ponding Areas/ Exterior Trails Only)
 - ORNAMENTAL TREES**
 - 15 Gal. Flowering Pear (Along Center Strip Only)
 - Multi-Trunk Ornamental Trees
 - 15 Gal. Desert Willow
 - Forstersia (New Olive)
 - Japanese Maple (in Inner Courtyard Areas Only)
 - Vibex (Chaste) Tree
 - DESERT ACCENTS**
 - 5 Gal. Agave
 - Nolina
 - Prickly Pear
 - Red Yucca
 - Sisal
 - Yucca
 - XERIC/NATIVE SHRUBS**
 - 5 Gal. Apache Plume
 - Artemisia spp.
 - Autumn Sage
 - Bird of Paradise
 - Blue Mist Spines
 - Butterfly Bush
 - Chama
 - Cotoneaster
 - Lavender
 - Hugho Pine
 - Phloxia
 - Potentilla
 - Raphiolepis
 - Rosemary
 - Russian Sage
 - Saltbrush
 - Spanish Broom
 - Three-Leaf Sumac
 - ACCENT SHRUBS (in Inner Courtyard Areas Only)**
 - 1 Gal. Manolis
 - Nandina
 - Red Twig Dogwood
 - Spreading Yew
 - PERENNIALS, WILDFLOWERS AND GROUNDCOVERS**
 - 1 Gal. Agastache
 - Blanketflower (Gallardia)
 - Catmint
 - Coneflower
 - Coneopsis
 - Creeping Rosemary
 - Creeping Thyme
 - Dwarf Plumbago (in Inner Courtyard Areas Only)
 - Gaura
 - Germander
 - Icelandic
 - Kinikinnick
 - Liriope (in Inner Courtyard Areas Only)
 - Pensamom
 - Pincushion Flower
 - Primrose
 - Red Hot Poker
 - Sedum spp.
 - Wallflower
 - Yarrow
 - ORNAMENTAL GRASSES**
 - 1 Gal. Blue Avena Grass (Helictotrichon)
 - Blue Fescue (Festuca)
 - Deergrass (Muhlenbergia)
 - Threadgrass (Scipa)
 - 5 Gal. Haldengrass (Miscanthus)
 - Regal Mist (Muhlenbergia)
 - NATIVE SEED MIX**
Will include wildflowers not mentioned above such as Desert Marigold (Nymenoxis) and Globemallow (Sphaeralcea) as well as Native Shrubs such as Chama and Apache Plume.

- General Notes**
- Locations of fire hydrants shall be determined at time of building permit with guidance from the Fire Marshal.
 - Refer to Landscape Design Standards in Sheet 4 of 6.
- Site Legend**
- Accessible Parking Space
 - Walled Refuse Container
 - Walled Refuse Compactor
 - Concrete Slidewalk/ Paving
 - Carport
 - Bench
 - Picnic Table

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

Illustrative Landscape + Layout Plan
1" = 50'-0"

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 10/24/05

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-3700
fax 761-4222
dps@dpsobq.com

ARCHITECT

ENGINEER

PROJECT

**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

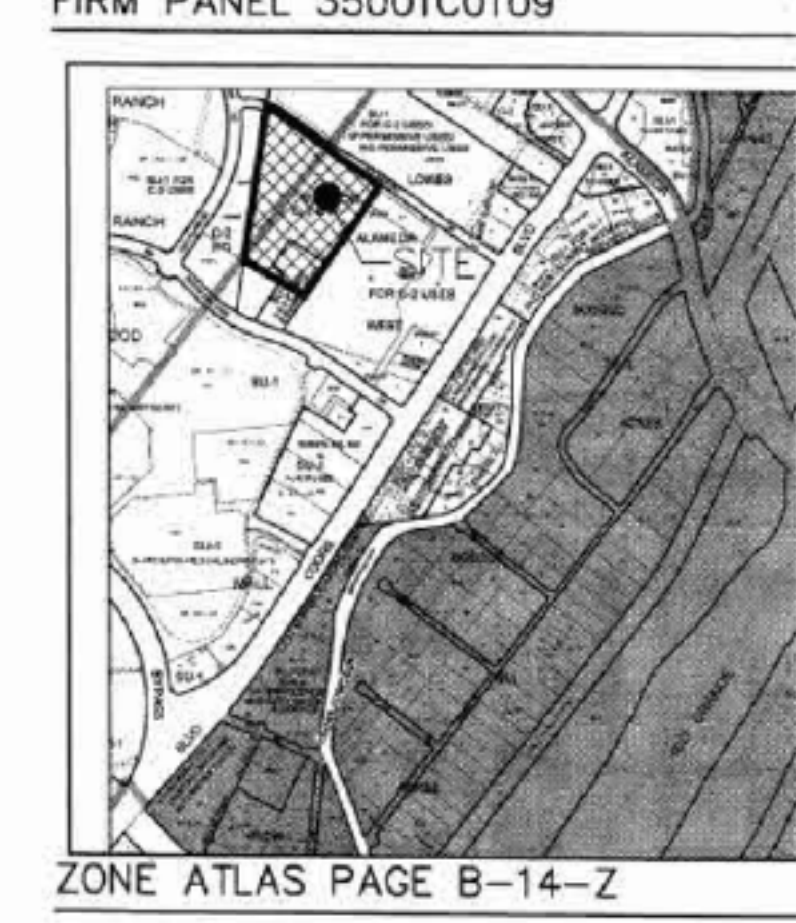
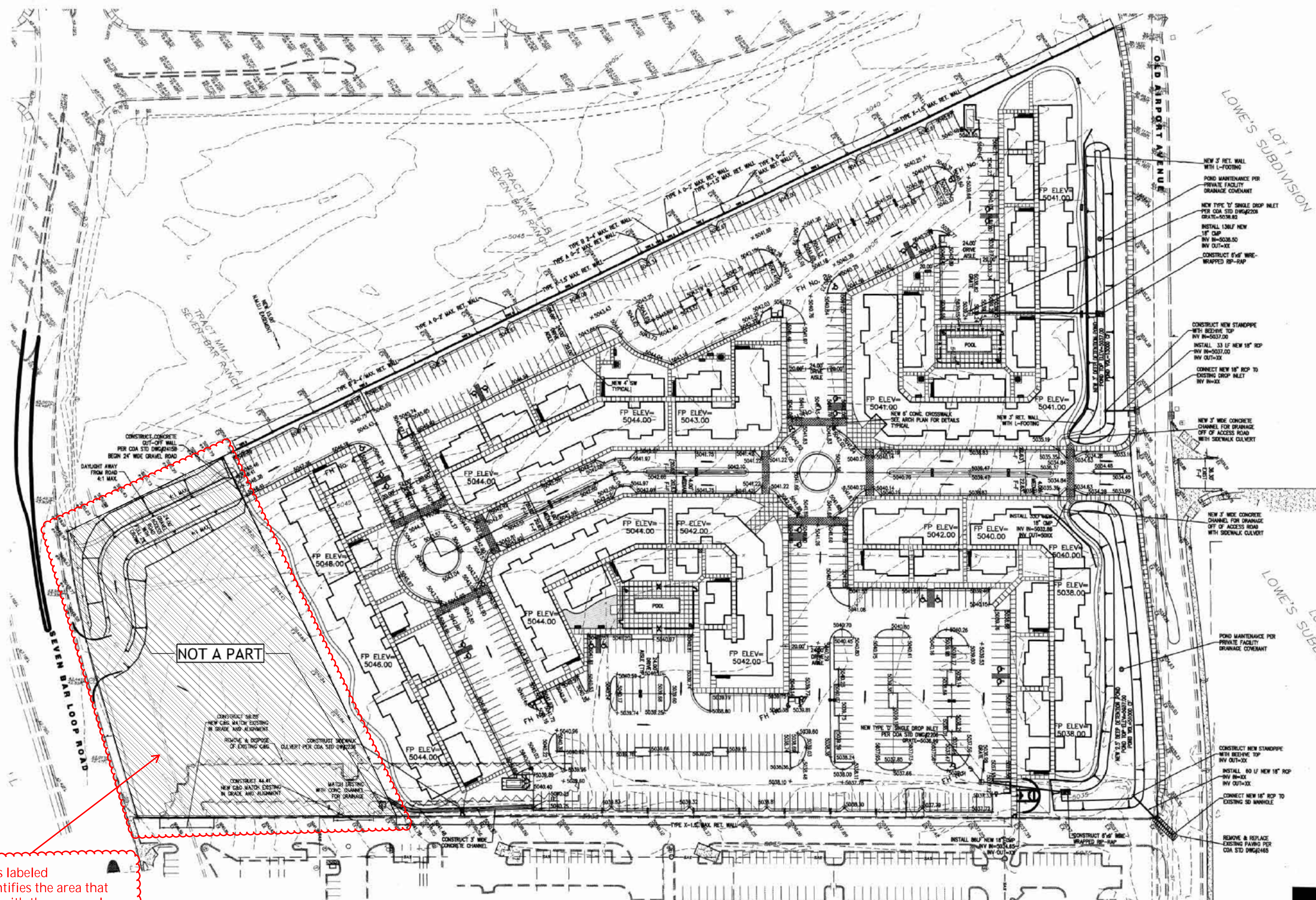
REVISIONS

10/24/05	SPC Conditions of Approval
----------	----------------------------

DRAWN BY ALT/MS
REVIEWED BY DIV/AT
DATE October 24, 2005
PROJECT NO. C801B
DRAWING NAME

Illustrative Landscape & Building Layout Plan

SHEET NO.



- GENERAL NOTES**
1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
 2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

- NEW 3" RET. WALL WITH L-FOOTING
- POND MAINTENANCE PER PRIVATE FACILITY DRAINAGE COVENANT
- NEW TYPE "V" SINGLE DROP INLET PER COA STD DWG#2200 GRAVE-5038.82
- INSTALL 1/2" NEW 18" CAP INV IN-5038.50 INV OUT-XX
- CONSTRUCT 8" W/ WIRE-WRAPPED RP-RAP
- CONSTRUCT NEW STANDPIPE WITH BEARING TOP INV IN-5037.00
- INSTALL 33 LF NEW 18" RP INV IN-5038.50 INV OUT-XX
- CONNECT NEW 18" RP TO EXISTING DROP INLET INV IN-XX
- NEW 3" WIDE CONCRETE CHANNEL FOR DRAINAGE OFF OF ACCESS ROAD WITH SIDEWALK CULVERT
- NEW 3" WIDE CONCRETE CHANNEL FOR DRAINAGE OFF OF ACCESS ROAD WITH SIDEWALK CULVERT
- CONSTRUCT NEW STANDPIPE WITH BEARING TOP INV IN-5037.00
- INSTALL 60 LF NEW 18" RP INV IN-5038.50 INV OUT-XX
- CONNECT NEW 18" RP TO EXISTING SD MANHOLE
- REMOVE & REPLACE EXISTING PAVING PER COA STD DWG#468

NOT A PART

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

- S.O. 19 REQUIREMENTS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

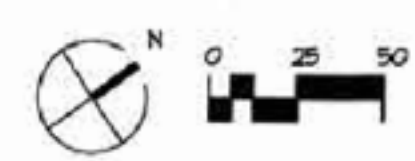
FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0109 DATED SEPTEMBER 20, 1996 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

ENGINEER'S CERTIFICATION

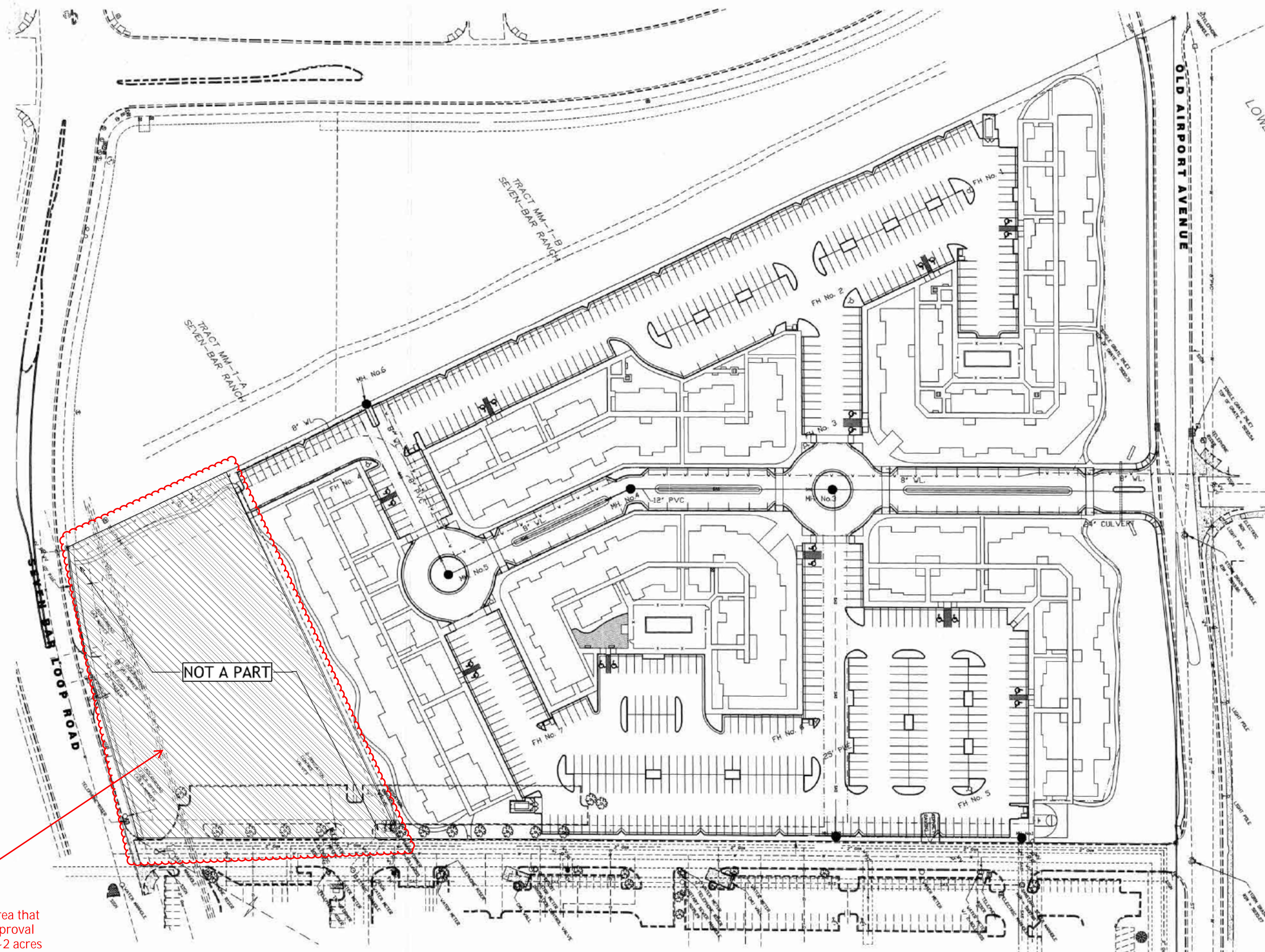
I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

GSL - Cottonwood
Albuquerque, New Mexico



Designed By
HUITT-ZOLLARS
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222



LEGEND

---	PROPERTY LINE
- - -	NEW EASEMENT
- - - SAS	EXISTING SANITARY SEWER
- - - W	EXISTING WATER LINE
- - - S	EXISTING STORM DRAIN
□	EXISTING WATER METER
⌈	EXISTING CAP
⌋	EXISTING VALVE
⬮	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
- - - SAS	PROPOSED SANITARY SEWER
- - - W	PROPOSED WATER LINE
- - - S	PROPOSED STORM DRAIN
⌈	PROPOSED VALVE
⌋	PROPOSED HYDRANT
⌈	PROPOSED CAP
□	PROPOSED WATER METER
○	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
★	PROPOSED STREET LIGHT

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

GSL - Cottonwood
Albuquerque, New Mexico
NOVEMBER 4, 2005



ATD IN ARD CHECKING OFFICE
924-3511
APPROVED WITH APPROVED
HYDRANT(S) ONLY
R.C. JAMES 11-30-05

Designed By:
HUITT-ZOLIARS
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
Fax 761-4222



**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico



DRAWN BY: ms
REVIEWED BY: RJA, Hult-Zollars
DATE: October 19, 2005
PROJECT NO.: 08015
DRAWING NAME:

Traffic Circulation
Layout
OCT 19 2005
HYDROLOGY SECTION

Vicinity Map
B-14-Z



Parking

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-18-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Tract 1	Unit type / size	Qty	Space Factor	# Spaces
	1BR/1BA (575 SF)	60	1.5	40
	2BR/1BA (650 SF)	60	1.5	40
	2BR/2BA (642 SF)	65	2.0	130
	Clubhouse (1664 SF)	1	1 per 200 SF	4
			Subtotal:	214

10% Transit Reduction per 14-18-3-1 (C)(6)(a): (32)

Total Required Parking: 281

Designated Disabled Parking incl:
Van-accessible (NMAC Table 110b.1): 1

Tract 2	Unit type / size	Qty	Space Factor	# Spaces
	1BR/1BA (575 SF)	46	1.5	64
	1BR/1BA (650 SF)	62	1.5	93
	2BR/1BA (650 SF)	42	1.5	63
	2BR/2BA (650 SF)	65	2.0	126
	2BR/2BA (1100 SF)	96	2.0	192
	Clubhouse (1664 SF)	1	1 per 200 SF	4
			Subtotal:	482

10% Transit Reduction per 14-18-3-1 (C)(6)(a): (43)

Total Required Parking: 304

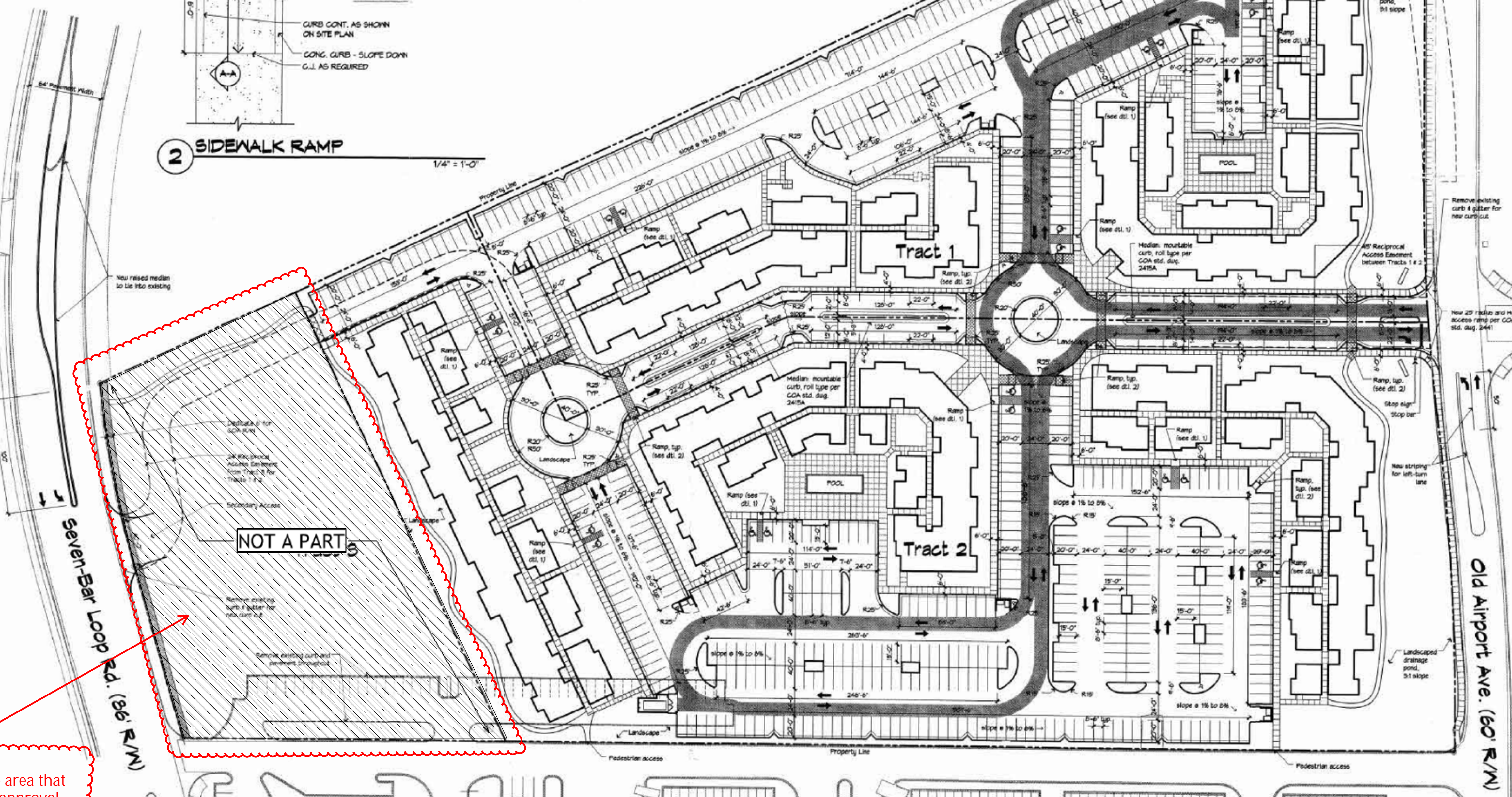
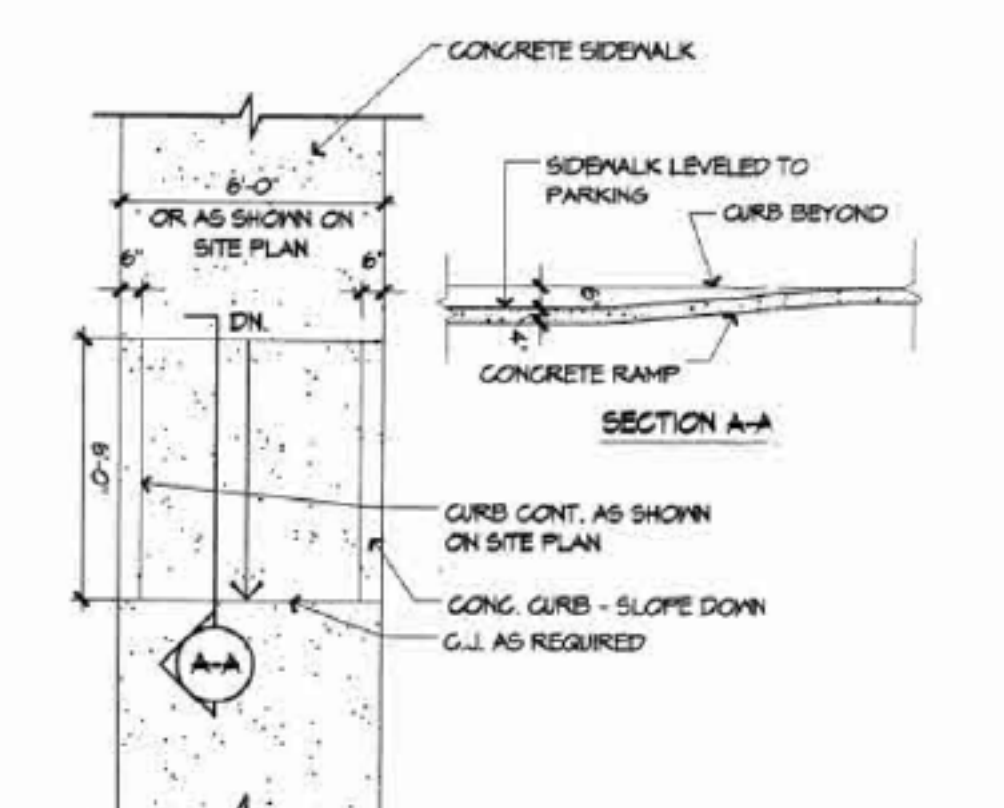
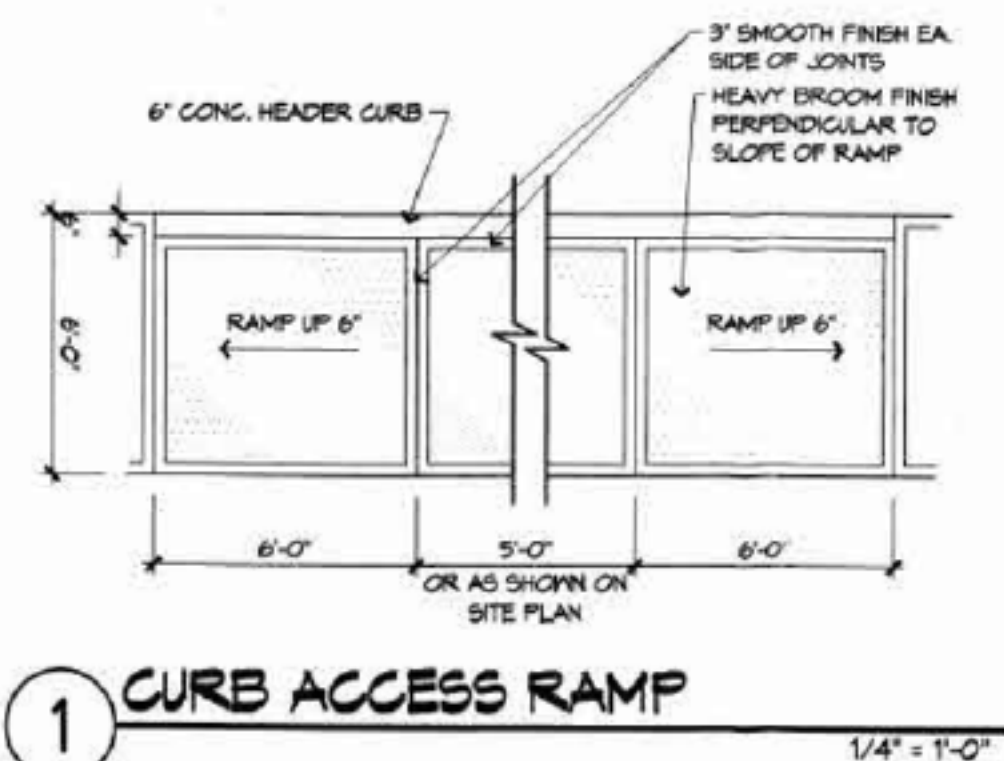
Designated Disabled Parking incl:
Van-accessible (NMAC Table 110b.1): 2

Description

Legal Description: Tract H, Seven Bar Ranch Subdivision

Type of Development: Apartments

Size of Development:
Tract 1 - 5.8115 acres
Tract 2 - 1.0570 acres
Tracts 1 & 2 - 13.6665 acres
Tract 3 - 2.0014 acres



- Legend**
- R25, R15: Landscaped Parking Aisle Island w/ 25' radius, top - conc. header curb GOA std. diag. 2415B
 - R2, R15, R15, R2: Landscaped Parking Aisle Island w/ 15' radius, top - conc. header curb GOA std. diag. 2415B
 - R2, R2: Landscaped Parking Aisle Island w/ 17'-0" radius, top - conc. header curb GOA std. diag. 2415B
 - 8'-0", 5'-0": Landscaped Parking Aisle Island for Compact Spaces, top - conc. header curb GOA std. diag. 2415B
 - 8'-0", 8'-0": Landscaped Parking Aisle Island for Compact Spaces, top - conc. header curb GOA std. diag. 2415B
 - 8'-0", 8'-0": Accessible Parking Space for Car: 5'-0" Access Aisle; White RTI HC Symbol; 4' solid spaced striping spaced at 45°; sloped 1% to 2%
 - 8'-0", 8'-0": Accessible Parking Space for Van: 8'-0" Access Aisle; White RTI HC Symbol; 4' solid spaced striping spaced at 45°; sloped 1% to 2%
 - 8'-0", 8'-0": Accessible Parking Space for Van: 8'-0" Access Aisle; White RTI HC Symbol; 4' solid spaced striping spaced at 45°; sloped 1% to 2%
 - Refuse Container Enclosure (no truck access req.)
 - Compactor (truck access req.)
 - Proposed Sidewalk, top.
 - Stamped concrete paving, top. Pattern to be selected by Owner
 - Per proposed Council Ord. 7.0.1 Pedestrian Trail, top.
 - Path of Travel - Solid Waste Vehicle
 - Property Boundary
 - New Apartment Building, top.
 - Demo
 - Existing
 - New Standard Concrete Curb & Gutter per GOA std. det. 2415A
 - New Mountable Concrete Curb & Gutter per GOA std. det. 2415A
 - New Concrete Header Curb per GOA std. det. 2415B
 - Fire Lane - Paint curb red
 - New Fire Hydrant
 - Direction of Traffic Flow

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres



Modulus Architects, Inc.
8220 San Pedro Dr. N.E. Ste 520
Albuquerque, New Mexico 87113



RSF LAND & CATTLE COMPANY LLC
4801 LANG AVE NE SUITE 210
ALBUQUERQUE NM 87109-4474



Modulus Architects, Inc.
8220 San Pedro Dr. N.E. Ste 520
Albuquerque, New Mexico 87113



MALL AT COTTONWOOD LLC ATTN: K E
ANDREWS & COMPANY
2424 RIDGE RD
ROCKWALL TX 75087-5116



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Albuquerque, New Mexico 87113



BERNALILLO COUNTY C/O COUNTY
MANAGER
415 SILVER AVE SW
ALBUQUERQUE NM 87102-3225



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BRANCH TURNER & MARGARET
2025 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87104



Modulus Architects, Inc.
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ALAMO CENTER LLC
13405 PINO RIDGE PL NE
ALBUQUERQUE NM 87111-8274



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Albuquerque, New Mexico 87113



ALAMO CENTER LLC
5951 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109



Modulus Architects, Inc.
8220 San Pedro Dr. N.E. Ste 520
Albuquerque, New Mexico 87113



IRONSTONE BANK ATTN: FACILITIES
PO BOX 27131
RALEIGH NC 27611-7131



Modulus Architects, Inc.
8220 San Pedro Dr. N.E. Ste 520
Albuquerque, New Mexico 87113



SOLAIRE APARTMENTS SPE LLC ATTN:
WILLBURN & COMPANY-JAKE MILBURN
15 W SOUTH TEMPLE ST SUITE 640
SALT LAKE CITY UT 84101-1540

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 4/3/2024 To 5/3/2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Regina Okaya 4/2/2024
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2024-010074

EXISTING SITE PLAN

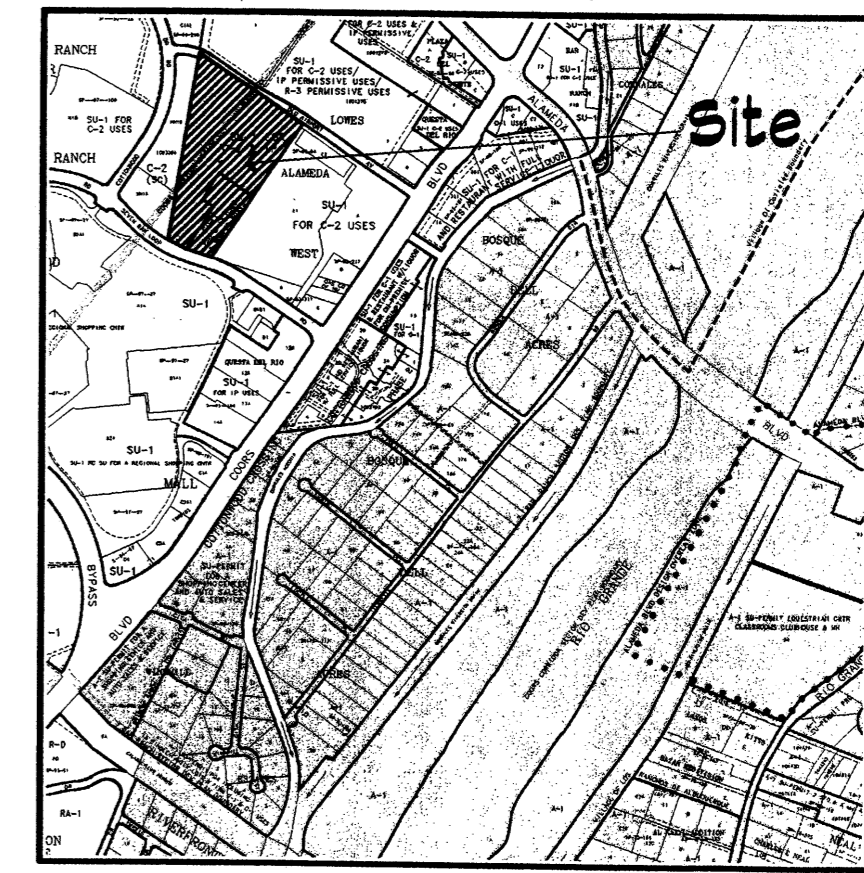
REVISIONS

10/24/05	EPC Conditions of Approval
11/2/05	Per Dry Utility Coordination

DRAWN BY	MS
REVIEWED BY	DW
DATE	October 24, 2005
PROJECT NO.	0501B
DRAWING NAME	

Site Development
Plan for Subdivision

Vicinity Map
B-14-Z



Project Number: **1000316**
Application Number: **05DRB-01652**

Is an Infrastructure List required? Yes No
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Approval:

<i>[Signature]</i>	11/22/05	DATE
Traffic Engineer, Transportation Division		
<i>[Signature]</i>	11-30-05	DATE
Utilities Division		
<i>[Signature]</i>	11/30/05	DATE
Parks and Recreation Department		
<i>[Signature]</i>	5/5/06	DATE
City Engineer		
<i>[Signature]</i>		
*Environmental Health Department (conditional)		
Solid Waste Management		
<i>[Signature]</i>	11/22/05	DATE
DRB Chairperson, Planning Department		
<i>[Signature]</i>	11/07/05	DATE

General Notes

- To be vacated at Final Plat: A portion (labeled 'A' on this plan) of the 30' Access Road and Right of Way Agreement Filed 8-25-89, Misc. Bk. 42A, Pgs. 588-608 Amended by Corrective 30' Access Road Easement and Right of Way Agreement Filed 10-11-89, Misc. Bk. 42A, Pgs. 509-527.
- To be dedicated at Final Plat: A portion (labeled 'B' on this plan) of the Public Access Road and Public Utility Easement per Document Filed 8-11-2002, Bk. A38, Pg. 1184; COA Public Roadway Underground Utility, Storm Drain, Sewer and Water Improvement Easement per Document Filed 8-28-2002, Bk. A34, Pg. 1180.
- As approved by the Traffic Engineer, Old Airport Ave. shall be restriped to provide a 100' westbound left-turn lane for access into the site. The left-turn lane shall be preceded by a 30' gap in westbound striping to indicate where vehicles should enter the left-turn lane.
- As approved by the Traffic Engineer, raised channelization should be constructed in Seven-Bar Loop Rd. for the eastbound left-in movement. The storage length should be 100' with a 150'-150' reverse curve transition taper. The island should be extended to the west to the extent practical, terminating the raised channelization so as not to impact the new bank access median opening. Appropriate striping and marking of the lane should also be installed.

Sheet Index

- SITE DEVELOPMENT PLAN FOR SUBDIVISION
- LANDSCAPE PLAN
- DESIGN STANDARDS WITH BUILDING ELEVATIONS
- LANDSCAPE DESIGN STANDARDS
- CONCEPTUAL GRADING & DRAINAGE PLAN
- CONCEPTUAL UTILITY PLAN

Site Development Plan for Subdivision
- Required Information

The Site:
The site consists of approximately 16.114 acres. Tract H will be re-platted into Tract A, Tract B and Tract C through the Development Review Board as shown on this Site Development Plan for Subdivision.

Proposed Use:
The site is zoned SU-1 IP for C-2 and IP uses/ SU-1 IP for C-2 and IP uses and Bumper Boats. The proposed use for Tracts B & C is SU-1 PRD (Planned Residential Development) for Apartments and Tract A SU-1 IP for C-2 and IP uses as shown on Site Development Plan for Subdivision.

Pedestrian Ingress & Egress:
Public sidewalks and private trails provide important connectivity within the project as well as and out of the site. These private landscaped trails are proposed along Old Airport Road and between the apartments and the adjacent commercial site on the southern boundary of the site. The western boundary of the site shall allow for pedestrian access to Seven-Bar Loop Road.

Vehicular Ingress & Egress:
The primary access to the apartments in Tract B and Tract C is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

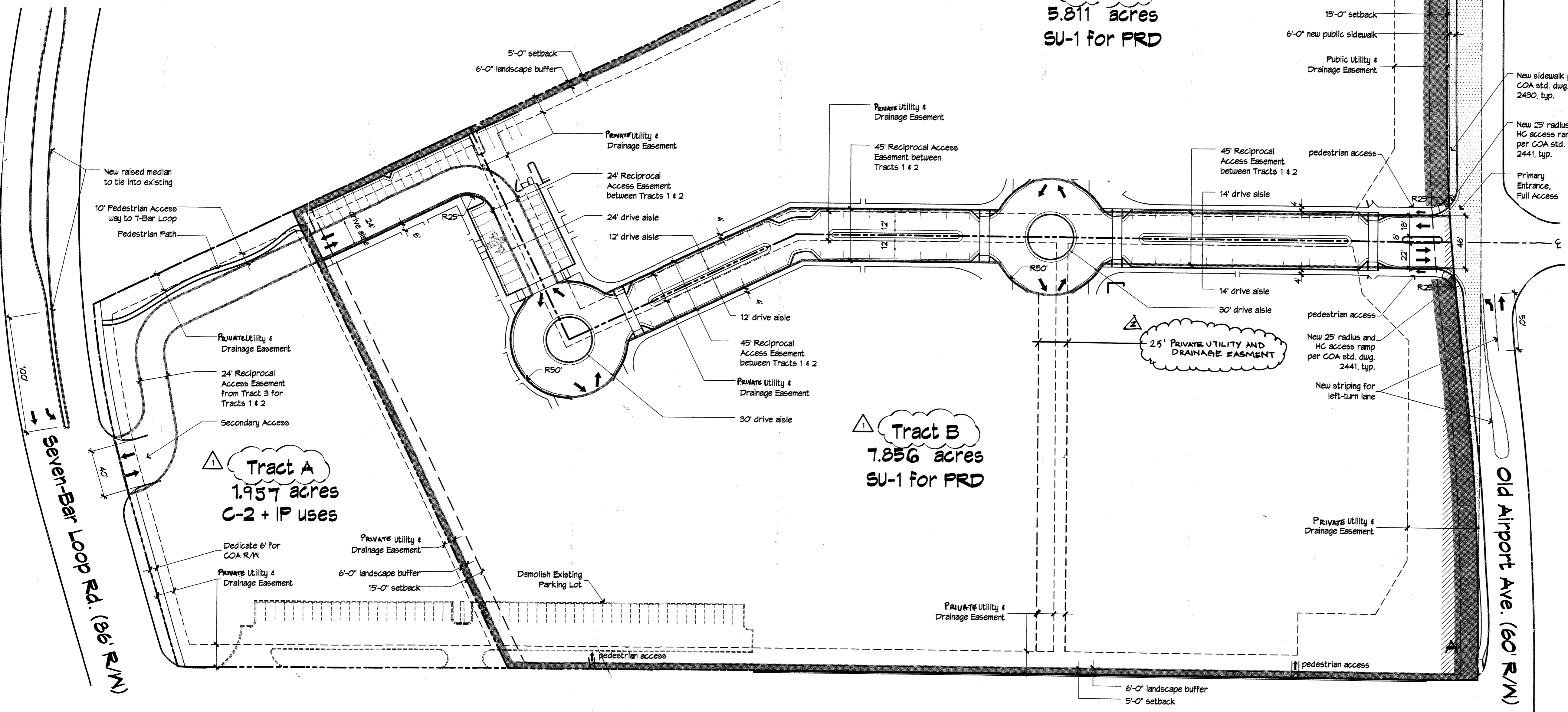
Internal Circulation Requirements:
The internal circulation with a primary access off of Old Airport road meets the required street widths, radius and configurations comply with COA standards. These dimensions are shown on the Illustrative Landscape & Building Layout Plan sheet 2 of 6. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with welcoming entrance to their residences. (Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.)

Maximum/Minimum Duelling Units:
The maximum number of duelling units and/or density shall not exceed 32 DU's per acre. The minimum number of duelling units and/or density shall not be less than 28 DU's.

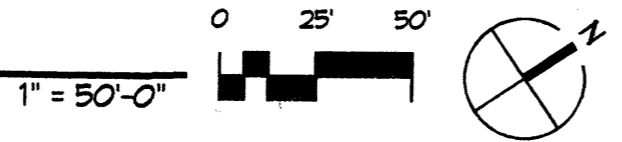
Maximum Floor Area Ratio:
The maximum floor area ratio (FAR) shall be 1.0 as required by R-3 of the comprehensive zoning code.

Maximum Building Height:
The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-3 zone. The maximum height for Tract B and Tract C shall be 65'-10" as indicated in the Solar Study Diagram (see sheet 3 of 6).
The maximum height for Tract A shall be 26 feet.

Minimum Building Setbacks:
Setbacks for Tract B and Tract C shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the R-3 zone.
• Front Setback: 11 Feet
• Side Setback: 5 Feet
• Rear Setback: 15 Feet
Setbacks for Tract A shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the C-1 zone:
• Front Setback: 5 Feet
• Side Setback: 15 Feet
• Rear Setback: 5 Feet
• Junction of Driveway and Sidewalk: 11 feet



Site Plan



1000316

**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

REVISIONS

10/24/05	EPC Conditions of Approval
△	
△	
△	

DRAWN BY	AJT/MS
REVIEWED BY	DVA/JT
DATE	October 24, 2005
PROJECT NO.	0501B
DRAWING NAME	

**Illustrative Landscape
& Building Layout Plan**

- LANDSCAPE PALETTE**
- EVERGREEN TREES**
6'-8'
Austrian Pine
 - LARGE SHADE TREES**
2" Cal.
Chinese Pistache
Purple Robe Locust
Rawwood Ash
Rio Grande Cottonwood
(In Ponding Areas/ Exterior Trails Only)
 - ORNAMENTAL TREES**
15 Gal.
Flowering Pear (Along Center Strip Only)
 - Multi-Trunk Ornamental Trees**
15 Gal.
Desert Willow
Forestiera (NM Olive)
Japanese Maple (In Inner Courtyard Areas Only)
Vitex (Chaste) Tree
 - DESERT ACCENTS**
5 Gal.
Agave
Nolina
Prickly Pear
Red Yucca
Sotol
Yucca
 - XERIC/NATIVE SHRUBS**
5 Gal.
Apache Plume
Artemisia spp.
Autumn Sage
Bird of Paradise
Blue Mist Spirea
Butterfly Bush
Chamisa
Cotoneaster
Lavender
Mugho Pine
Photinia
Potentilla
Raphiolepis
Rosemary
Russian Sage
Sedum spp.
Spanish Broom
Three-Leaf Sumac
 - ACCENT SHRUBS (In Inner Courtyard Areas Only)**
1 Gal.
Mahonia
Nandina
Red Twig Dogwood
Spreading Yew
 - PERENNIALS, WILDFLOWERS AND GROUNDCOVERS**
1 Gal.
Agastache
Blanketflower (Gaillardia)
Calceol
Coneflower
Coreopsis
Creeping Rosemary
Creeping Thyme
Dwarf Plumbago (In Inner Courtyard Areas Only)
Gaura
Germander
Iceplant
Kinnikinnick
Liriope (In Inner Courtyard Areas Only)
Penstemon
Pincushion Flower
Primrose
Red Hot Poker
Sedum spp.
Wallflower
Yarrow
 - ORNAMENTAL GRASSES**
1 Gal.
Blue Avena Grass (Helictotrichon)
Blue Fescue (Festuca)
Deergrass (Muhlenbergia)
Threadgrass (Stipa)
5 Gal.
Maidengrass (Miscanthus)
Regal Mist (Muhlenbergia)
 - NATIVE SEED MIX**
Will include wildflowers not mentioned above such as Desert Marigold (Hemizonis) and Globemallow (Sphaeralcea) as well as Native Shrubs such as Chamisa and Apache Plume.

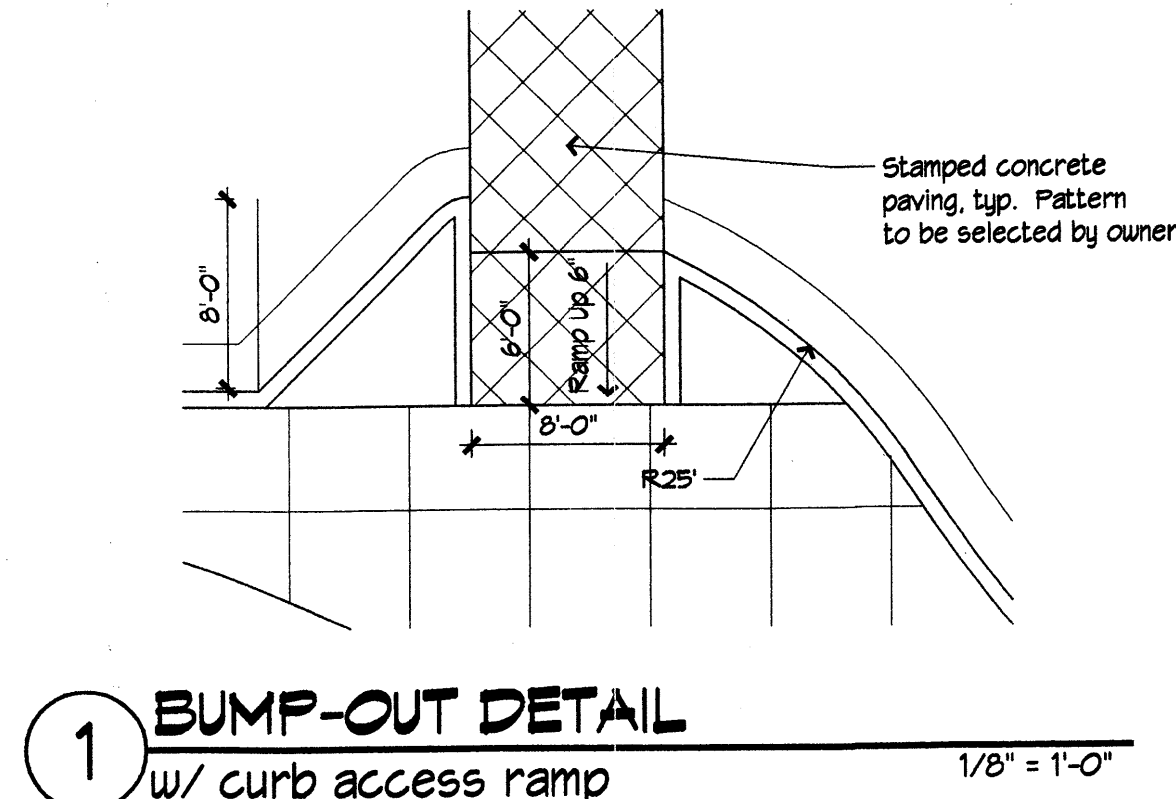
- 300 SOD
- 3/8" GREY GRAVEL WITH FILTER FABRIC
- COBBLE
- COMMERCIAL GRADE STEEL EDGE

General Notes

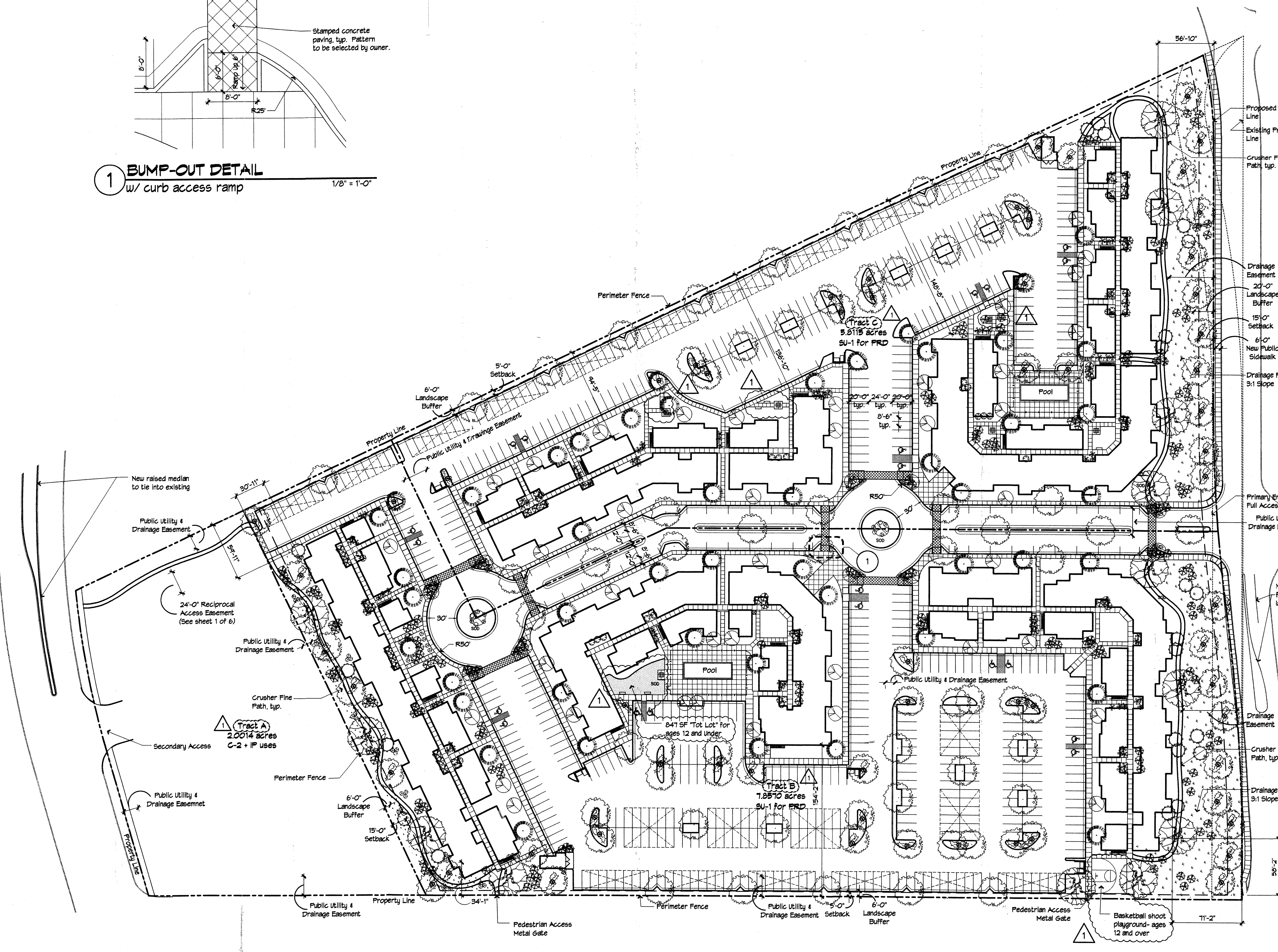
- Locations of fire hydrants shall be determined at time of building permit with guidance from the Fire Marshal.
- Refer to Landscape Design Standards in Sheet 4 of 6.

Site Legend

- Accessible Parking Space
- Walled Refuse Container
- Walled Refuse Compactor
- Concrete Sidewalk/Paving
- Carport
- Bench
- Picnic Table



1 BUMP-OUT DETAIL
w/ curb access ramp
1/8" = 1'-0"



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 10/24/05

Illustrative Landscape + Layout Plan
1" = 50'-0"

Design Standards for Planned Residential Development (PRD)

The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the site development plan for subdivision. The primary goal for these design standards is to create an attractive, comfortable and safe residential community that fosters pedestrian accessibility and creates a village-type character. These standards address the issues of architecture, parking, site lighting, screen walls and fences, pedestrian amenities, and signage to create the quality image desired for this development. The design standards are intended to be complementary to the planning and design of adjacent properties.

Minor amendments to this Site Plan for Subdivision shall be approved by the Planning Director in accordance with the Albuquerque Comprehensive City Zoning Code. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

Off-Street Parking:

Off-street parking space shall be provided in compliance with regulation 14-16-3-1 of the Albuquerque Comprehensive City Zoning Code. In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design:

- Handicapped parking spaces shall be provided adjacent to building entries and accessible units.
- The total minimum amount of parking provided shall meet or exceed parking requirements in the Albuquerque Comprehensive City Zoning Code after applying the allowable transit corridor reduction.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and adjacent buildings.
- Covered parking in the form of carports will be provided for approximately one-fourth of the total parking stalls.

Architectural Design Standards:

Dwelling Unit Sizes:

Dwelling unit sizes range from 500 to 1200 square feet.

Exterior Wall Materials and Colors:

Exterior wall materials are to be predominately vernacular based. The varying styles of vernacular Northern New Mexico Architecture shall be the basis of a more simple and contemporary expression or interpretation for architectural design.

Articulation of massing so as not to produce a long and flat building facade should be considered and encouraged. An articulated top-line of buildings, and the play of figure/ground planes will help the massing to achieve this goal. The building massing should also promote pedestrian site access when possible.

Attention to enhanced internal streetscape should be considered to promote a sense of place and complement pedestrian movement through the site. Utilizing the buildings to infer a street edge, applying pedestrian friendly landscape material along walking paths, or a simple plinth of the building pad up off the adjacent ground plane are all ways to help accomplish this goal and also to acknowledge the "Established Urban" zone in the Westside Strategic Plan.

The use of a stucco wall finish system (or synthetic version thereof) shall be the predominate material for buildings to reinforce the Northern New Mexico vernacular architectural expression.

Site and patio walls should reflect the same use of stucco finish to complement that of the buildings, or may contrast the building finish by use of exposed split-face cmu.

Exterior wall color should reflect a consistent overall palette of earth-based tones for the field colors, however, more saturated earth-based tones with a much wider color palette range should be encouraged for accent colors. This is intended to add vitality to the rich mix of building uses in the area. The site is not located adjacent to a developed residential neighborhood, so building variety should be encouraged to better relate to its immediate surroundings.

Exterior detail trim such as shade canopies, trellises, open railings, pitched roof elements, parapet capping, lintels, etc. should be consistently detailed throughout the site to complement the overall architecture and minimized the overall detail variety to the extent possible.

Roof materials and colors:

Roof materials may vary with the New Mexico vernacular expression from flat roof (low slope) with parapet, to metal roof and clay or concrete tile roof. Low reflectivity is required.

Architectural Design Standards, cont.:

Site Lighting:

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". **Fixtures shall comply with the City of Albuquerque Dark Skies requirements.**
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.
- The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Light pole fixtures shall be a maximum of 20' in height, consistent with the T-Bar Sector Plan and the Coors Corridor Plan.

Placement of Mechanical Units:

Care should be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used. Ground level units shall be screened from public view through the use of walls, or landscape material. Roof mounted units shall be screened from public view through the use of parapet walls that are architecturally coordinated with the building they serve.

Signage:

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Entry identification signs shall be of the wall mounted monument type and shall complement the materials, color, and architectural character of the buildings. The maximum height of the wall to receive the sign shall not exceed the height of the perimeter fence.
- The design of the interior directional signs shall be coordinated with the design of the monument sign.
- Building mounted signs shall comply with section 14-16-3-5.c.6
- No illuminated plastic panel signs are allowed except business logos within the non-residential area to the property.

Screen Walls and Fences:

The effective use of screening devices for utilitarian spaces, such as loading and refuse areas, is critical to creating an attractive and functional development. The site orientation of these elements shall be away from streets, building entrances and pedestrian areas.

Screening:

These screening requirements are in addition to those listed in the parking and landscape sections.

Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet city design standards.

- Refuse enclosures shall be further screened through the use of trees and shrubs.
- Loading areas shall be located, if possible, at the rear of buildings and away from public streets. Loading areas that are visible from public streets shall be screened through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve.
- Openings for pedestrian pathways shall be provided where they occur.
- The use of barbed wire, concertina wire, chain link or plastic fencing is not allowed.

Architectural Design Standards, cont.:

Walls/Fences:

Perimeter walls and fencing are allowed on the property. However efforts shall be made to lessen the visual impact of the walls or fencing through use of landscaping, and the design and location of openings.

- Unfinished block walls, barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter fences shall be painted tube steel with vertical pickets to complement the color and architectural character of the buildings.
- Acceptable materials for perimeter and yard walls include masonry block (with decorative finish), block with stucco, split face block, stone and painted tube steel.
- A combination of fence and/or wall is acceptable.
- Perimeter walls and fences, if used, shall include pedestrian openings at key locations within the development to ensure convenient access to adjacent commercial activities.
- The maximum height of perimeter walls and fences shall not exceed 6 feet in height.
- Clear sight distances shall be maintained at all driveway/entrance locations.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve.

Pedestrian Amenities:

The creation of a pedestrian-friendly environment will depend on creative site design and will be a primary design objective for this project. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities, including benches, plazas, walkways, landscaping, signage and lighting. Other objectives include providing shaded walkways, and separating pedestrian and vehicular circulation systems in order to reinforce the village character of the project and minimize conflict between people and cars.

The use of alternative paving material for pedestrian pathways is encouraged but is not mandatory. The use of art is another site amenity that is encouraged.

Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as around the site. Private trails are proposed along Old Airport Road and between the adjacent commercial site and the apartments.

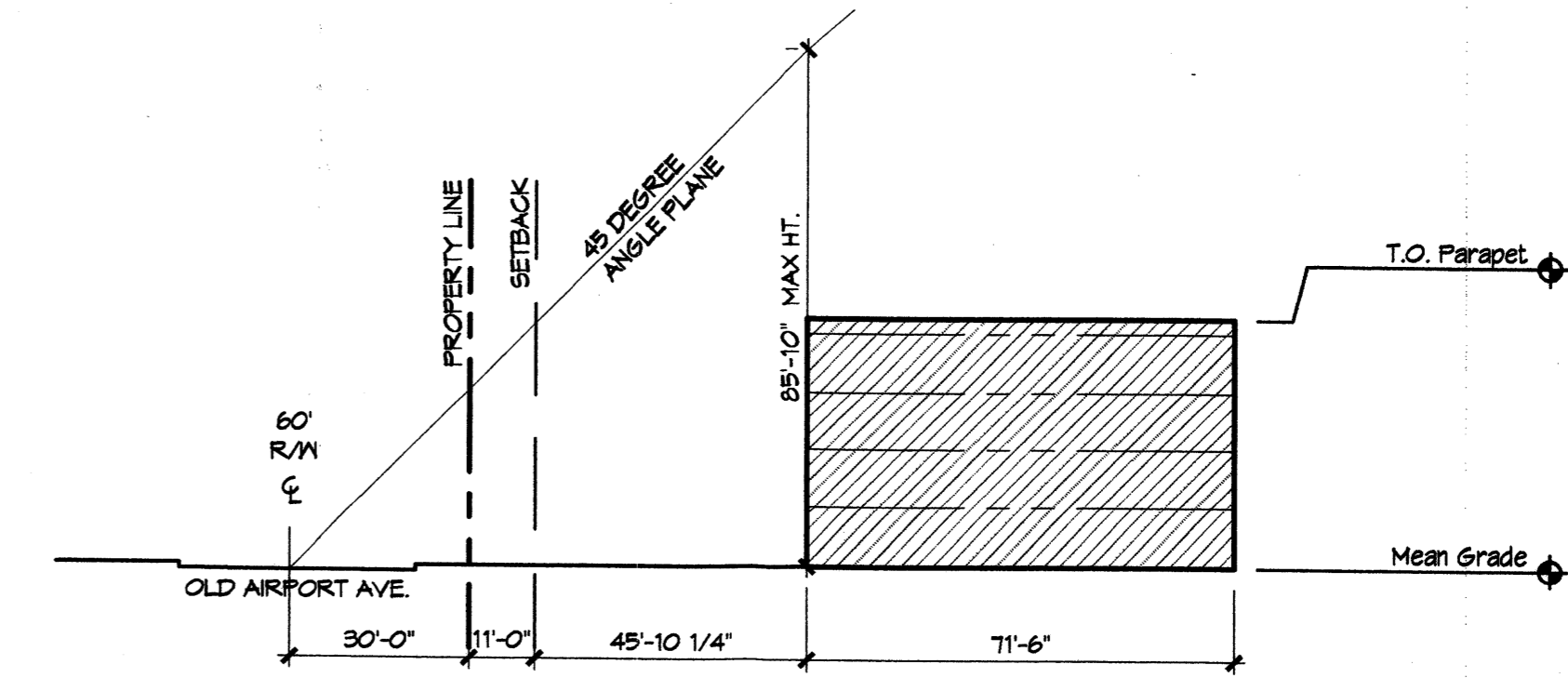
- All private trails and paths shall be soft surface, with a minimum of 6'-0". The use of asphalt is discouraged. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces, where practical. These connections should also link to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- Secure bicycle storage racks shall be conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided.
- Although there are no public trails or open space on or adjacent to the property, the site design must include pedestrian paths and trails that enable connectivity to facilities off-site.

Private Common Areas/ Public Open Space:

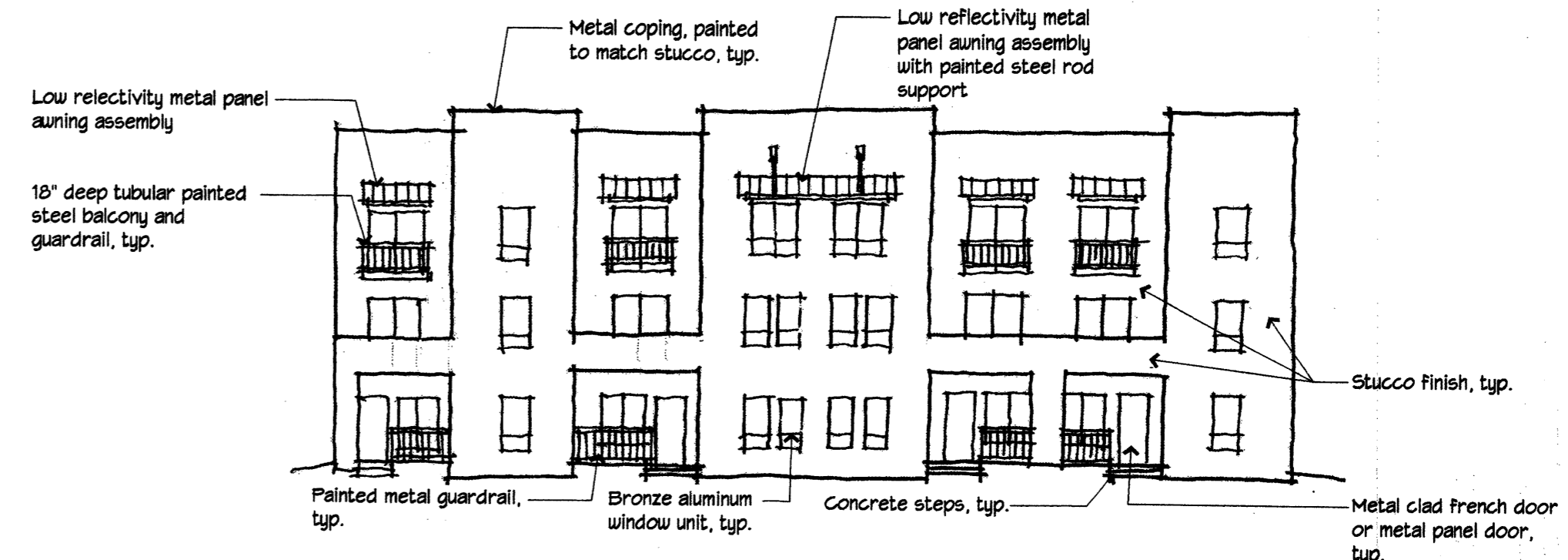
An important feature of this residential community is the inclusion of private plazas and pool areas that exist adjacent to buildings. These spaces provide visual and physical relief, as well as opportunities for residents to meet their neighbors. The site is designed to provide residents with connections to public sidewalks from internal paths/sidewalks to reach public open space areas via car, bicycle or public transportation. The site offers its own open space for residential use. Additionally, clubhouses provide amenities such as exercise facilities and meeting rooms for apartment residents. All private common area / public open space and pools will be maintained by the property owner.

Preliminary grading and drainage plan:

The drainage is designed to be an incorporated feature of the site rather than a intrusive site requirement. The ponding area will be landscaped with appropriate plant materials and maintained by owner.

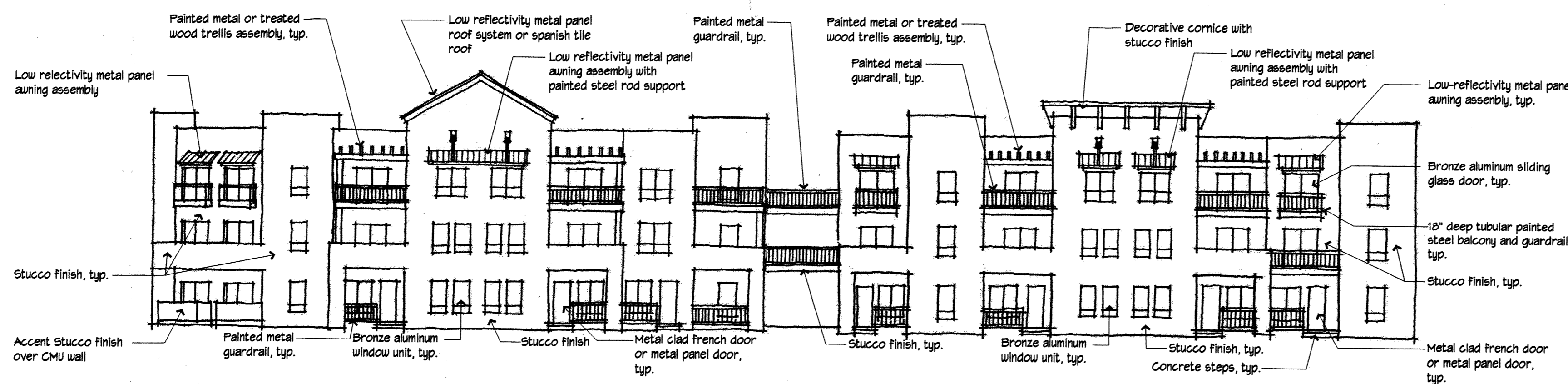


Solar Study Diagram



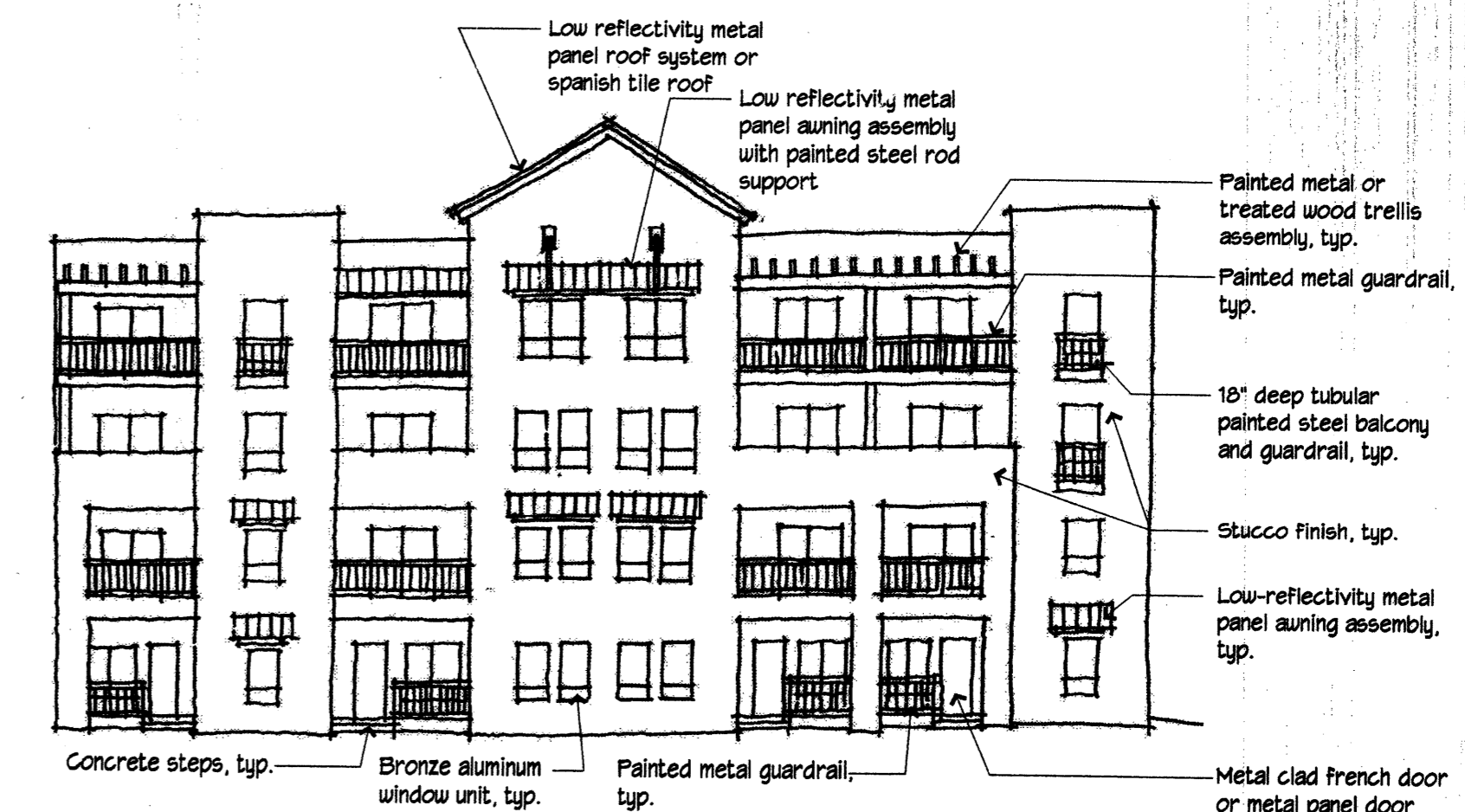
Typical Elevation Design Concept

Senior, 3- Stories



Typical Elevation Design Concept

Market, 3- Stories



Typical Elevation Design Concept

Market, 4- Stories

REVISIONS

NO.	DATE	DESCRIPTION
1	10/24/05	EPC Conditions of Approval

DRAWN BY AJT/MS

REVIEWED BY DW/MB

DATE October 24, 2005

PROJECT NO. 05018

DRAWING NAME

Development
Design Standards

SHEET NO.

Design Standards for Planned Residential Development (FRD)

Landscape Design Standards:

The purpose of the following landscape standards is to provide a framework for a unifying landscape design which is considerate of the site's existing developed conditions, recent project approvals and pending development. Achieving overall project unity will generally be accomplished through a coordinated palette of low water use native and adapted plants and mulches appropriate to the site, along with guidelines that recognize existing patterns of density, variety and location of plant materials. The site is located in an urbanizing high desert grassland landscape. Landscape designs featuring native and drought tolerant grasses are encouraged to reinforce the sense of place and reduce demands for soil amendment and irrigation. All landscaping shall be in conformance with the City of Albuquerque Comprehensive Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative and environmentally sound landscape principles shall be followed in design and installation.

Minimum standards for development of specific landscape plans:

- Xeriscape principals shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- A landscape buffer shall be provided between the site and adjacent Old Airport Road right of way and shall be at least 10' wide and planted with plant material complementary to the naturalistic aesthetic of the Old Airport Road landscape improvements.
- A minimum of 15% of the net site area will be landscape area with an emphasis placed on areas with internal street and pedestrian path exposure.
- Landscaping shall comply with the intent of the City regulation requiring 75% vegetative coverage for landscape areas. No high water use turf shall be permitted.
- All planting areas shall be mulched with 3/4 inch gravel, primarily gray in color.
- One tree is required for every twenty-five linear feet of public or main access roadway. Trees shall be informally clustered or planted 25 feet on center. No more than 40-foot gaps between trees shall be permitted.
- The landscape treatment at prominent entryways shall achieve a greater concentration or density of plant material.
- Off street parking areas shall have a minimum of one tree for every ten parking spaces.
- All required parking area trees shall be deciduous and have a minimum mature height and canopy of at least 25 feet.
- Trees at medians shall have a canopy with a minimum height at the bottom of 13 feet.
- A minimum 36" high wall or landscape screen, or a combination of the wall and plantings, shall be used to obscure views of parking areas from adjacent right of way.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components should be maintained by the owner and checked periodically to ensure maximum efficiency.
- All plant mater including trees, shrubs and groundcovers shall be maintained by owners in living, attractive conditions. All area shall be maintained free of weeds and litter.

Landscape Palette Narrative:

The overall goal in selecting the plant palette should be to provide a diversity of planting materials and zonal concepts while maintaining a low-water use theme. The plant palette has been developed based on water-use, availability, and function of the specified plants. This palette represents three zonal planting areas - Interior, Transitional, and Native. Plants will be chosen as appropriate to each area.

The Interior zone includes the more formal area which composes the center entry median and the round-abouts. Planting materials should be selected based on the "urban" or "brownstone" feel intended for this formal area. Ornamental and flowering trees and shrubs, annual color, and some sod lawn is recommended to be used in this area.

The Transitional zone composes the majority of the remaining interior landscape, including the inner courtyards and pool areas. A combination of xeric and evergreen shrubs should be used to create a multi-seasonal plant palette in these areas. The theme of the transitional areas is intended to range from oasis near the pool areas, to xeric garden and ornamental accents in the remaining planting spaces. In addition, the parking lot is to be included in this area. The parking lot landscape is to consist of large shade trees and xeric shrubs and groundcover.

The Native landscape is to include the ponding areas and exterior crusher fines trails. The goal in this area is to create a colorful but low water use landscape. Xeric/ Native shrubs and desert accents shall be used in combination with cottonwood trees to develop the theme of the development. Native seed will also be used in this area.

Landscape Palette List:

Evergreen Trees:

Austrian Pine

Large Shade Trees:

Chinese Pistache
Purple Robe Locust
Raywood Ash
Rio Grande Cottonwood (In Ponding Areas/ Exterior Trails Only)

Ornamental Trees:

Flowering Pear (at Center Strip Only)

Multi-Trunk Ornamental Trees:

Desert Willow
Forestiera (NM Olive)
Japanese Maple (In Inner Courtyard Areas Only)
Vitex (Chaste) Tree

Desert Accents:

Agave
Nolina
Prickly Pear
Red Yucca
Sotol
Yucca

Xeric/ Native Shrubs:

Apache Plume
Artemisia spp.
Autumn Sage
Bird of Paradise
Blue Mist Spiraea
Butterfly Bush
Chamisa
Cotoneaster

Xeric/ Native Shrubs (cont.):

Lavender
Photinia
Potentilla
Raphiolepis
Rosemary
Russian Sage
Saltbrush
Spanish Broom
Three-Leaf Sumac

Accent Shrubs:

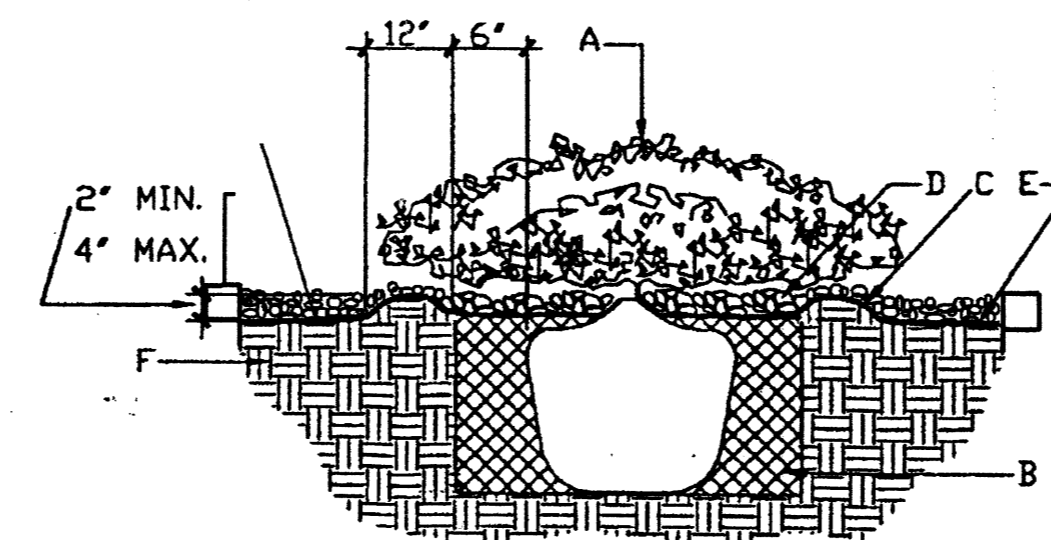
(Inner Courtyard Areas Only)
Mahonia
Nandina
Red Twig Dogwood
Spreading Yew

Perennials/ Wildflowers and Groundcovers:

Agastache
Blanketflower (Gallardia)
Catmint
Coneflower
Coreopsis
Creeping Rosemary
Creeping Thyme
Dwarf Fumbago (In Inner Courtyard Areas Only)
Gaura
Germander
Iceplant
Kinnikinnick
Liriope (In Inner Courtyard Areas Only)
Penstemon
Pincushion Flower

Landscape Buffering:

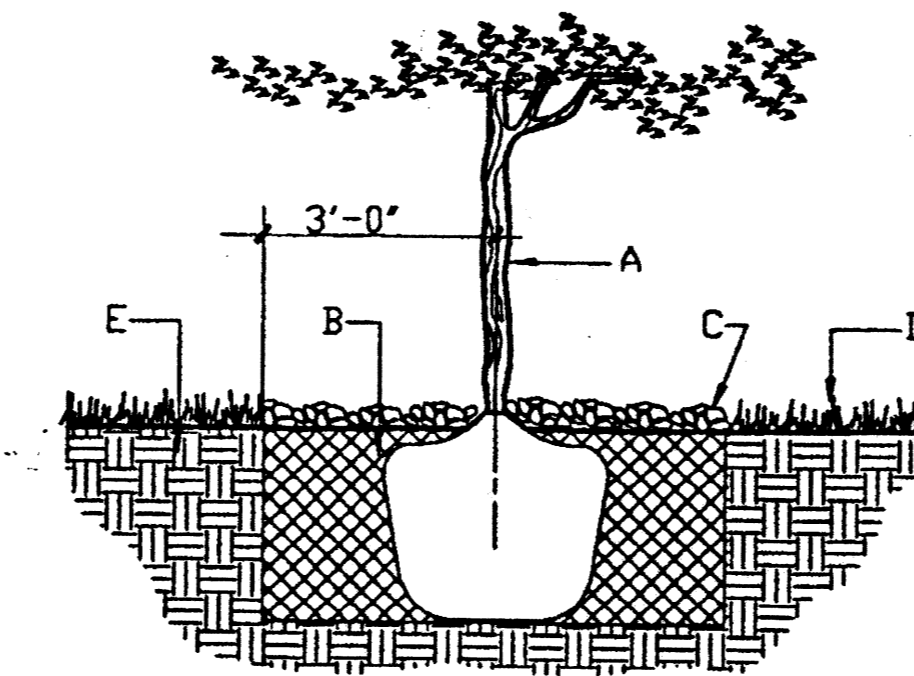
- Where parking is adjacent to public roadways, low walls, berms or landscaping shall be utilized to screen cars from view. Walls and/or mature landscaping shall be at least thirty inches but not more than forty-two inches tall.
- In cases where off-street parking is adjacent to the boundaries of the property, walls or landscaping for screening purposes shall be required.
- Minimum widths for landscape buffers are as follows:
Front - 20'-0"
Side - 6'-0"
Rear - 6'-0"
- Special Buffer Landscaping / Screening Requirements: Because this property is being developed as a residential use adjacent to non-residential uses, additional screening may be desired.



- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

Concept Planting Bed

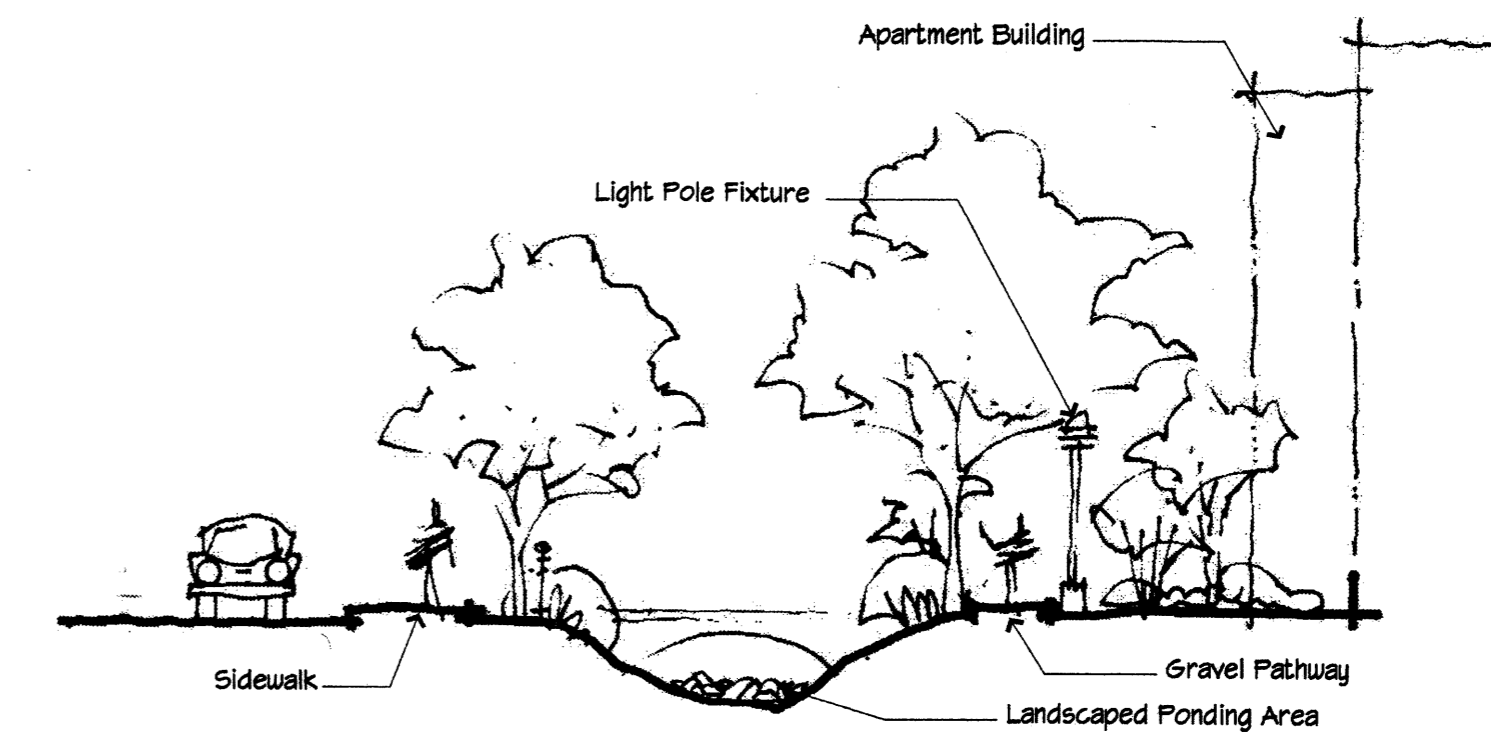
Shrubs



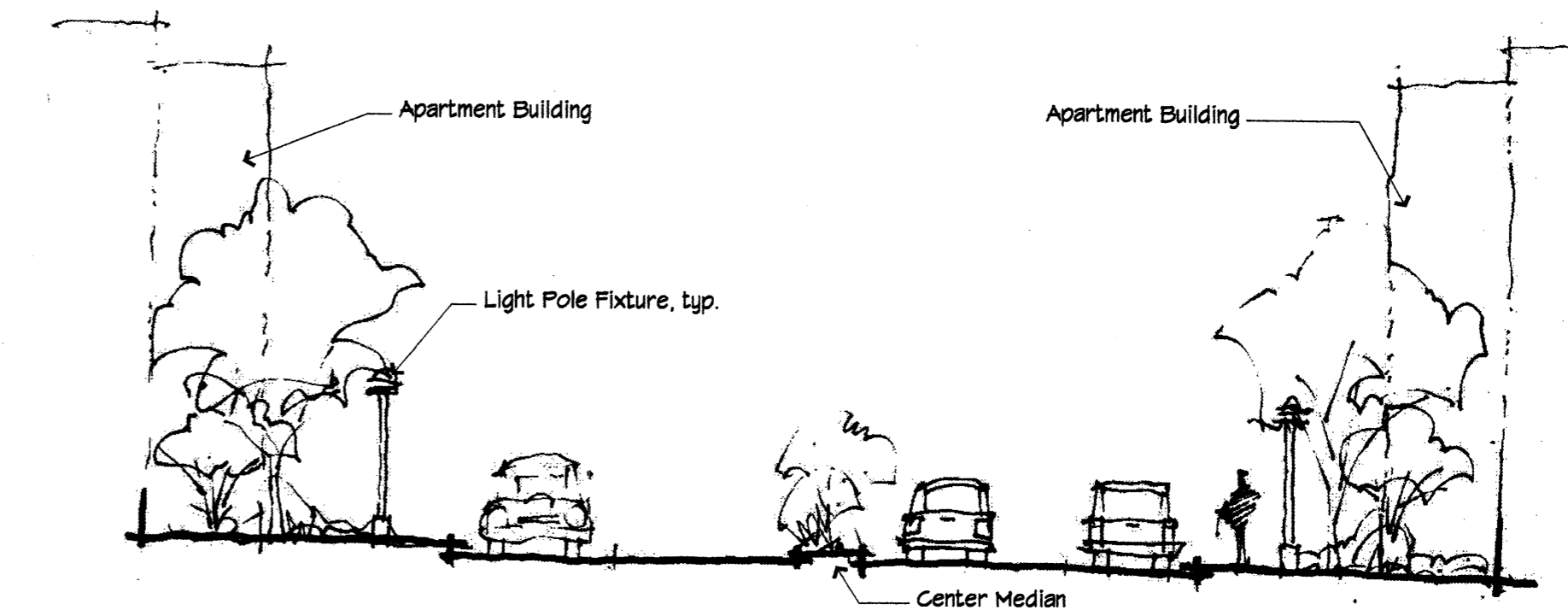
- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

Concept Planting Bed

Trees

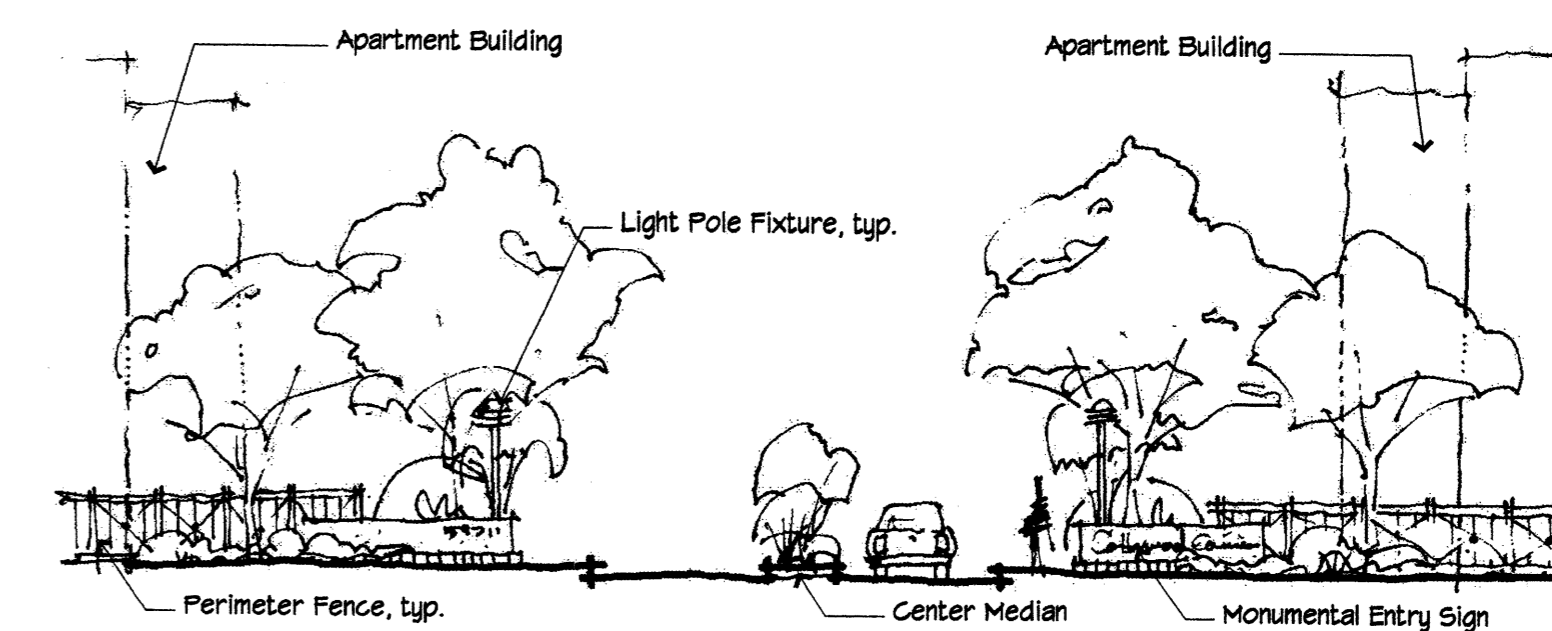


Concept Design at Ponding Area



Concept Design at Main Drive

Reciprocal Access Easement



Concept Design Entrance

View from Old Airport Ave.

REVISIONS

- △
- △
- △
- △

DRAWN BY AJT/MB

REVIEWED BY

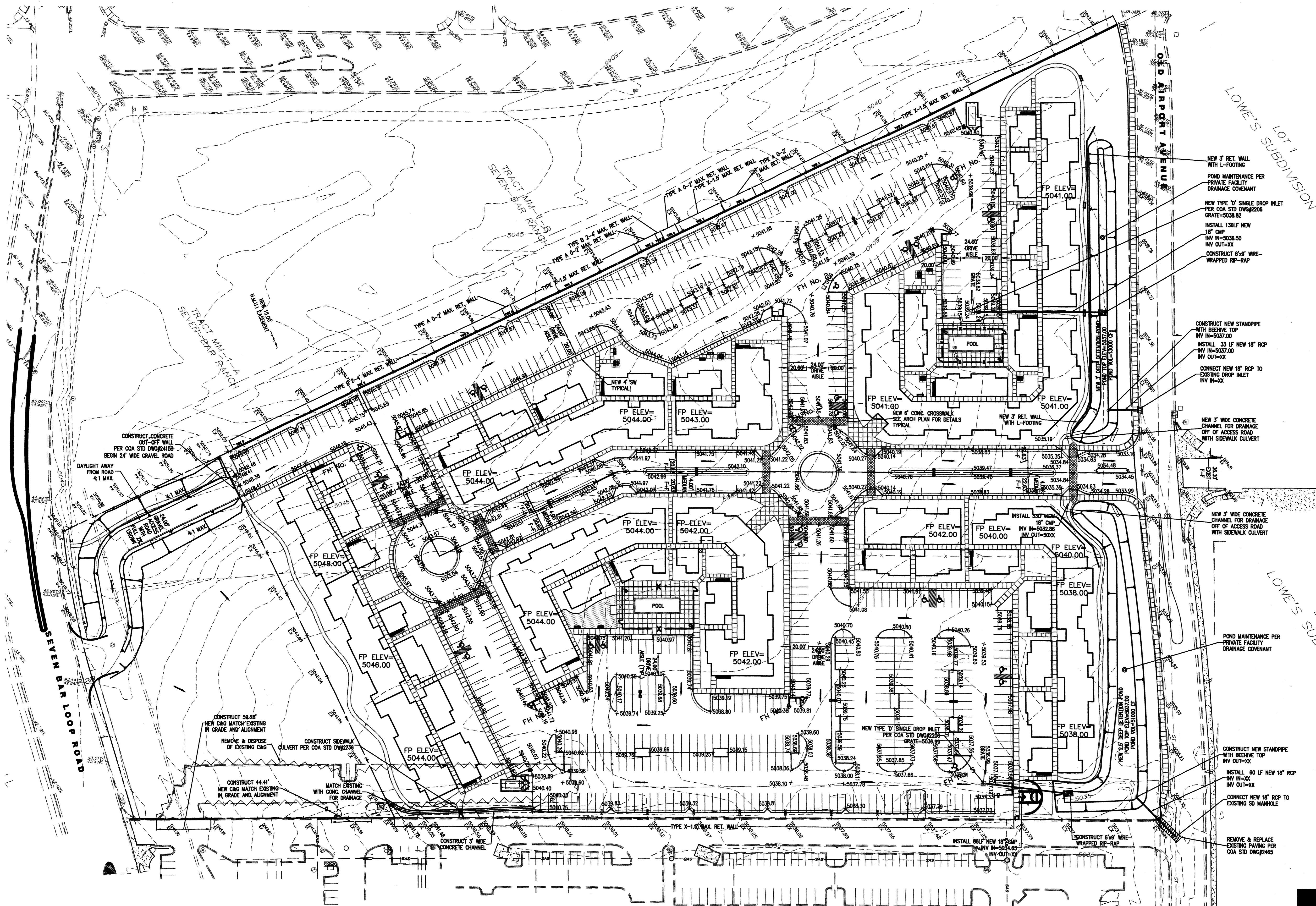
DATE October 24, 2005

PROJECT NO. 0501B

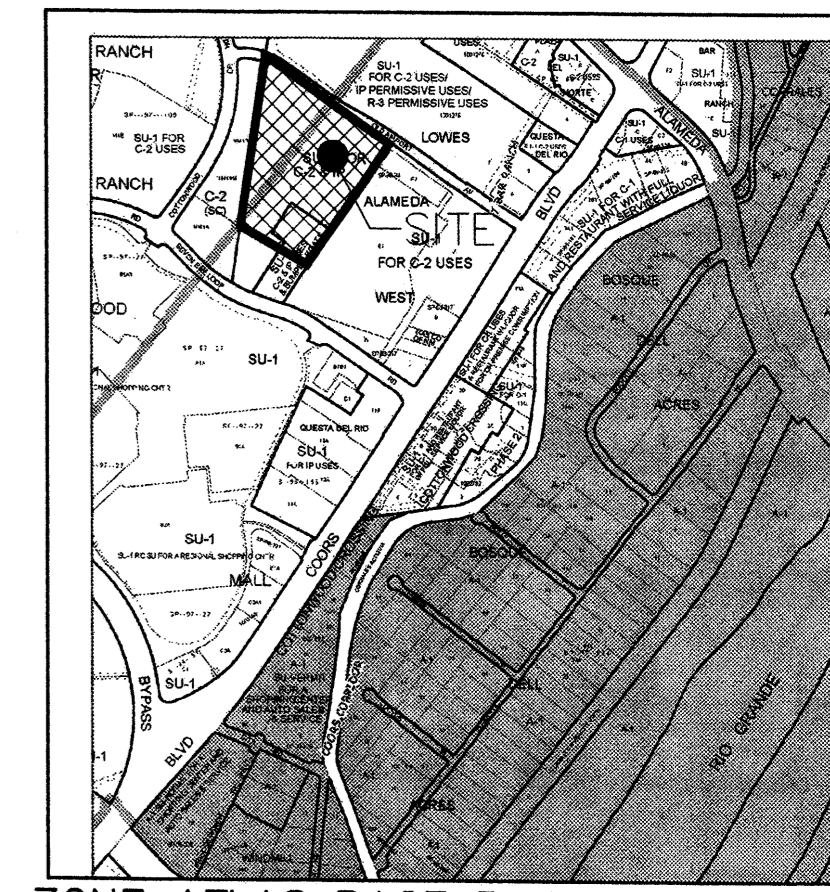
DRAWING NAME

Landscape
Design Standards

SHEET NO.



FIRM PANEL 35001C0109



ZONE ATLAS PAGE B-14-Z

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

S.O. 19 REQUIREMENTS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

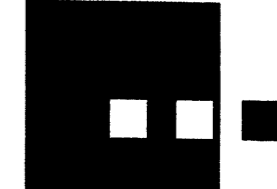
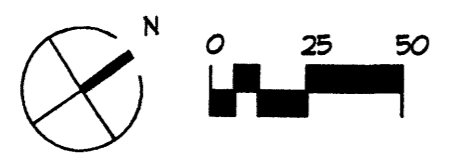
FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0109 DATED SEPTEMBER 20, 1996 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

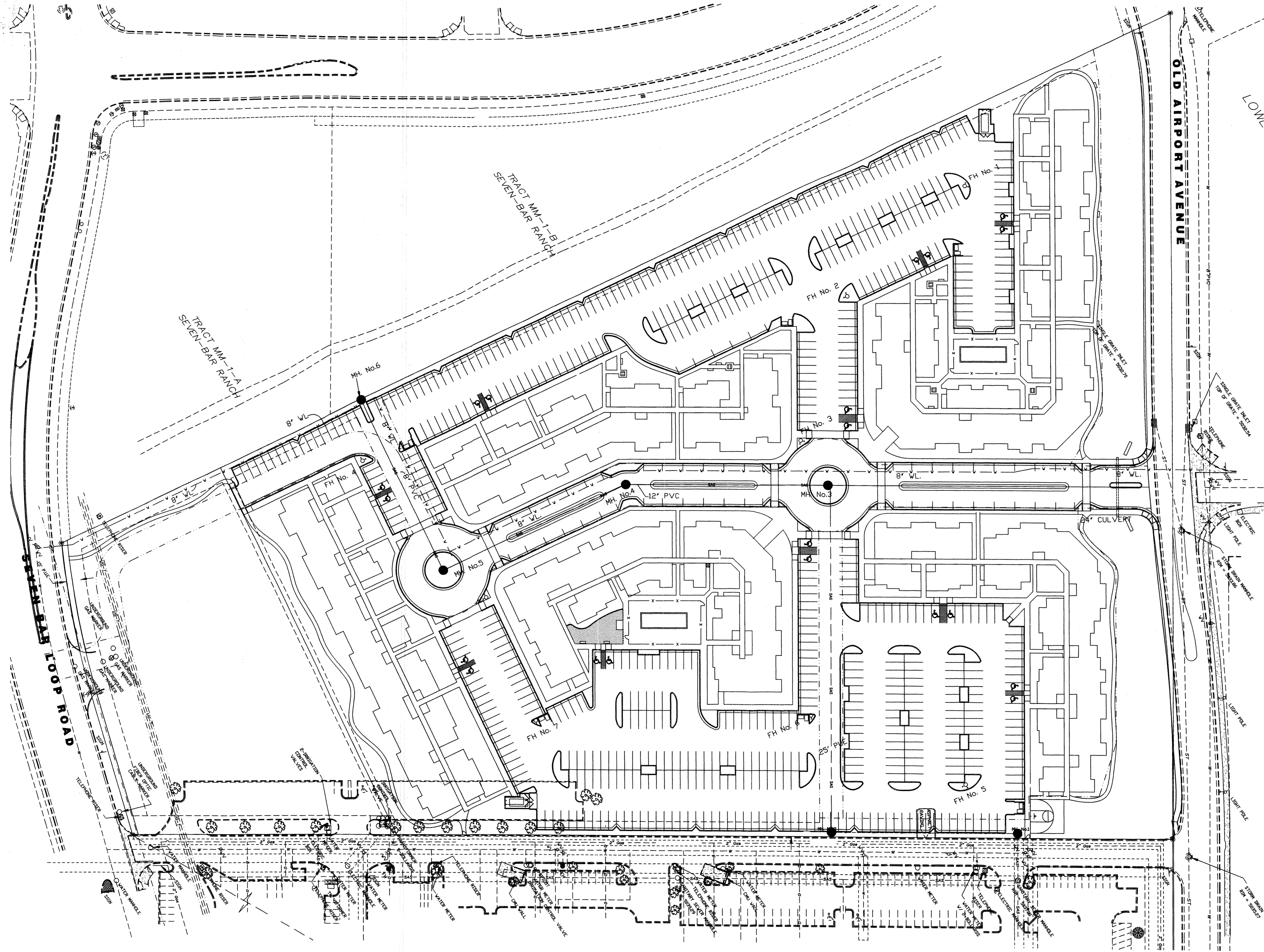
ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

GSL - Cottonwood
 Albuquerque, New Mexico



Dekker/Perich/Sabatini
 architecture ■ interiors ■ planning ■ engineering
 6801 Jefferson NE, Suite 100 Albuquerque, NM 87109
 505 761-9700 fax 761-4222



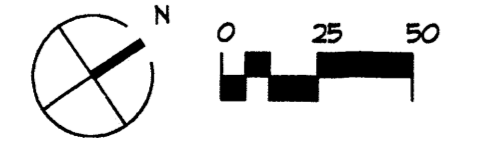
LEGEND

---	PROPERTY LINE
- - - -	NEW EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
- - - -	EXISTING STORM DRAIN
□	EXISTING WATER METER
□	EXISTING CAP
⊗	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
SAS	PROPOSED SANITARY SEWER
W	PROPOSED WATER LINE
⊗	PROPOSED VALVE
⊙	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
*	PROPOSED STREET LIGHT

Designed By:
HUITT-ZOLLARS
 Huitt-Zollars, Inc.
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

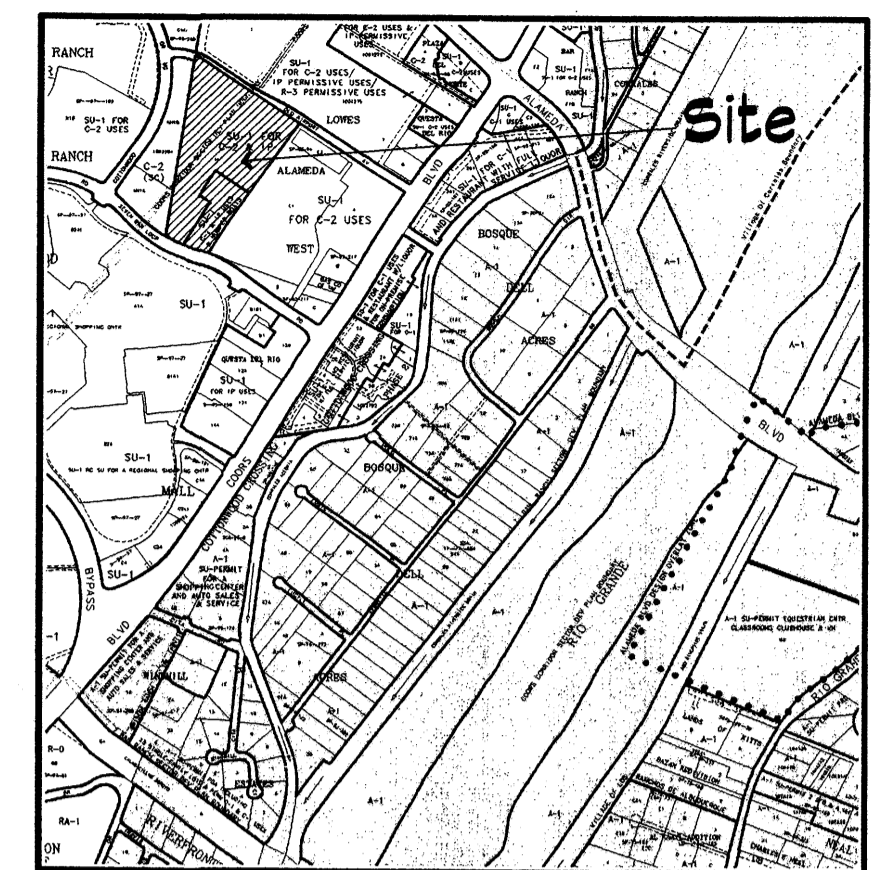
Dekker/Perich/Sabatini
 architecture ■ interiors ■ planning ■ engineering
 6801 Jefferson NE, Suite 100 505 761-9700
 Albuquerque, NM 87109 fax 761-4222

GSL - Cottonwood
 Albuquerque, New Mexico
 NOVEMBER 4, 2005



AND PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R.C. JAMES 11-30-05
 ENGINEER & SEAL

**Vicinity Map
B-14-Z**



Parking

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-18-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Unit type / size	Qty.	Space Factor	# Spaces
1BR/1BA (575 SF)	60	1.5	90
2BR/1BA (855 SF)	60	1.5	90
2BR/2BA (892 SF)	65	2.0	130
Clubhouse (1664 SF)	1	1 per 200 SF	5
Subtotal:			314

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (32)
Total Required Parking: 287

Designated Disabled Parking incl. Van-accessible (NMAC Table 1106.1) 8 1

Unit type / size	Qty.	Space Factor	# Spaces
1BR/1BA (575 SF)	46	1.5	69
1BR/1BA (650 SF)	62	1.5	93
2BR/1BA (855 SF)	42	1.5	63
2BR/2BA (850 SF)	63	2.0	126
2BR/2BA (1100 SF)	36	2.0	72
Clubhouse (1664 SF)	1	1 per 200 SF	5
Subtotal:			432

10% Transit Reduction per 14-16-3-1 (C)(6)(a): (43)
Total Required Parking: 389

Designated Disabled Parking incl. Van-accessible (NMAC Table 1106.1) 12 2

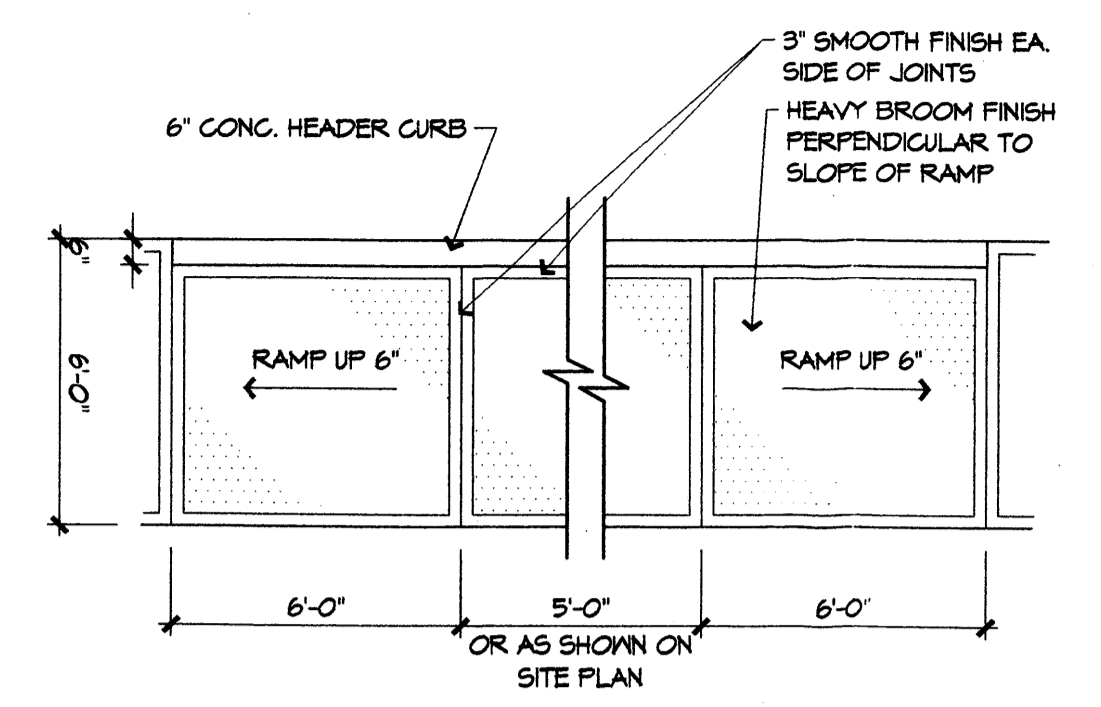
Description

Legal Description: Tract H, Seven Bar Ranch Subdivision

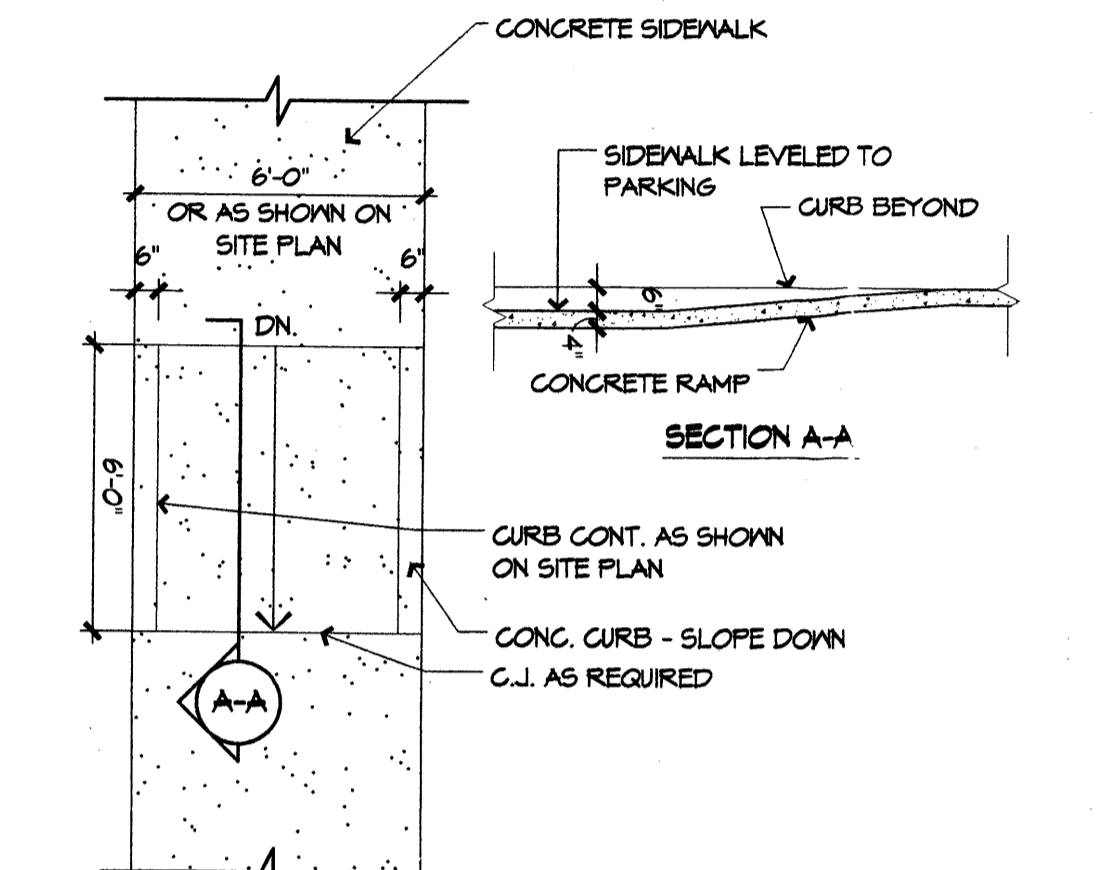
Type of Development: Apartments

Size of Development:

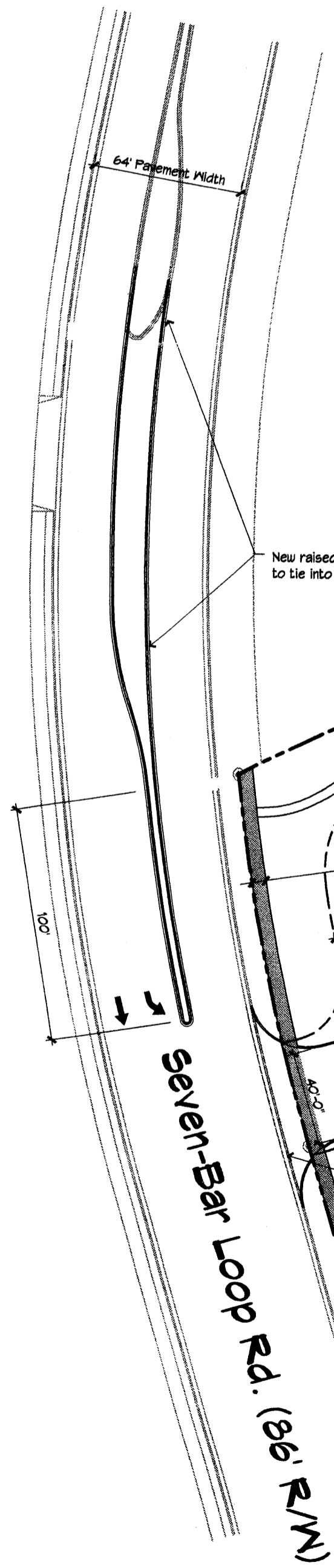
Tract 1 -	5.8115 acres
Tract 2 -	7.8510 acres
Tracts 1 & 2 -	13.6665 acres
Tract 3 -	2.0014 acres



1 CURB ACCESS RAMP
1/4" = 1'-0"



2 SIDEWALK RAMP
1/4" = 1'-0"



Traffic Circulation Plan
1" = 50'-0"

Executive Summary

The site is bounded by Old Airport Road to the north, Seven Bar Loop Road to the south and Cottonwood Drive to the west. It is next to the Alameda shopping center to the east and Cottonwood Mall to the south.

The project includes two multifamily apartment sites and a remaining C-2 tract for future development. Tract 1 will be Affordable-rate units for seniors and Tract 2 will be Market-rate units.

The primary access to the apartments in Tract 1 and Tract 2 is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

The internal circulation with a primary access off of Old Airport road meets the required street widths, radius and configurations comply with COA standards. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with a welcoming entrance to their residence. Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.

The Traffic Impact Study was submitted and accepted on February 28, 2005 for this site. This report addressed off-site traffic impacts.

Legend

- R25' R15' Landscaped Parking Aisle Island w/ 25' radius, typ. - conc. header curb COA std. diag. 2415B
- R2' R2' Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. diag. 2415B
- R15' R15' Landscaped Parking Aisle Island w/ 15' radii, typ. - conc. header curb COA std. diag. 2415B
- 17'-0" Landscaped Parking Aisle Planter for Compact Spaces, typ. - conc. header curb COA std. diag. 2415B
- 8'-6" 5'-0" Accessible Parking Space for Car; 5'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- 8'-6" 8'-0" Accessible Parking Space for Van; 8'-0" Access Aisle; White Int'l HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
- Refuse Container Enclosure (no truck access req.)
- Compactor (truck access req.)
- Proposed Sidewalk, typ.
- Stamped concrete paving, typ. Pattern to be selected by Owner
- Proposed Curbside Stop Sign Pedestrian Trail, typ.
- Path of Travel - Solid Waste Vehicle
- Property Boundary
- New Apartment Building, typ.
- Demo
- Existing
- New Standard Concrete Curb & Gutter per COA std. det. 2415A
- New Mountable Concrete Curb & Gutter per COA std. det. 2415A
- New Concrete Header Curb per COA std. det. 2415B
- Fire Lane - Paint curb red
- New Fire Hydrant
- Direction of Traffic Flow

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] 10/21/05
Data

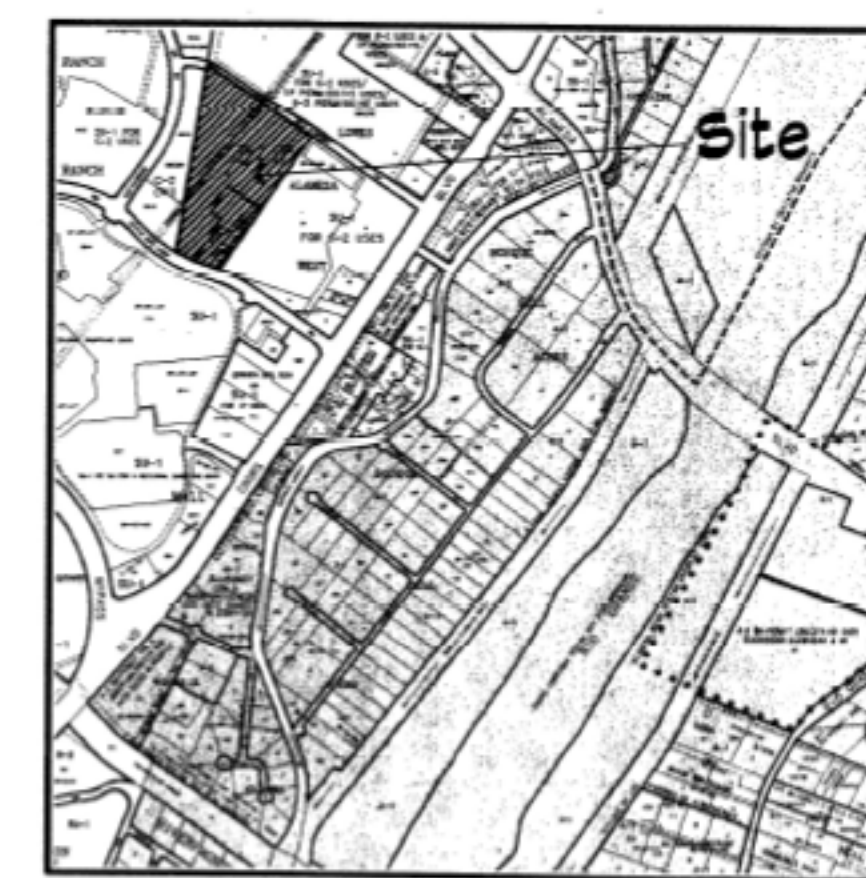
MAJOR AMENDMENT TO SITE PLAN

REVISIONS

10/24/05	EPC Conditions of Approval
11/2/05	Per Dry Utility Coordination

DRAWN BY	MS
REVIEWED BY	DM
DATE	October 24, 2005
PROJECT NO.	05018
DRAWING NAME	Site Development Plan for Subdivision

Vicinity Map
B-14-Z



Project Number: 1000316
Application Number: 05DRB-01652

Is an Infrastructure List required? Yes () No
If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRS Site Development Plan Approval:

Traffic Engineer, Transportation Division	<u>11/30/05</u>	DATE
Utilities Division	<u>11/30/05</u>	DATE
Parks and Recreation Department	<u>11/30/05</u>	DATE
City Engineer	<u>5/5/06</u>	DATE
Environmental Health Department (conditional)		DATE
Public Works Management	<u>11/22/05</u>	DATE
DRS Chairperson, Planning Department	<u>11/07/05</u>	DATE

Sheet Index

1. SITE DEVELOPMENT PLAN FOR SUBDIVISION
2. LANDSCAPE PLAN
3. DESIGN STANDARDS WITH BUILDING ELEVATIONS
4. LANDSCAPE DESIGN STANDARDS
5. CONCEPTUAL GRADING & DRAINAGE PLAN
6. CONCEPTUAL UTILITY PLAN

General Notes

1. To be vacated at Final Plat: A portion (labeled "A" on this plan) of the 30' Access Road and Right of Way Agreement Filed 8-25-88, Misc. Bk. 42A, Pgs. 508-608 Amended by Corrective 30' Access Road Easement and Right of Way Agreement Filed 10-11-88, Misc. 56A, Pgs. 508-527.
2. To be dedicated at Final Plat: A portion (labeled "B" on this plan) of the Public Access Road and Public Utility Easement per Document Filed 8-11-2002, Bk. 488, Pg. 1494; COA Public Roadway Underground Utility, Storm Drain, Sewer and Water Improvement Easement per Document Filed 8-28-2002, Bk. 484, Pg. 1180.
3. As approved by the Traffic Engineer, Old Airport Ave. shall be restriped to provide a 100' westbound left-turn lane for access into the site. The left-turn lane shall be preceded by a 30' gap in westbound striping to indicate where vehicles should enter the left-turn lane.
4. As approved by the Traffic Engineer, raised channelization should be constructed in Seven-Bar Loop Rd. for the eastbound left-in movement. The storage length should be 100' with a 180'-150' reverse curve transition taper. The island should be extended to the west to the extent practical, terminating the raised channelization so as not to impact the new bank access median opening. Appropriate striping and marking of the lane should also be installed.

Site Development Plan for Subdivision
- Required Information

The Site:
The site consists of approximately 16.14 acres. Tract H will be re-platted into Tract A, Tract B and Tract C through the Development Review Board as shown on this Site Development Plan for Subdivision.

Proposed Use:
The site is zoned SU-1 IP for C-2 and IP uses/ SU-1 IP for C-2 and IP uses and Bumper Boats. The proposed use for Tracts B & C is SU-1 PRD (Planned Residential Development) for Apartments and Tract 3 SU-1 IP for C-2 and IP uses as shown on Site Development Plan for Subdivision.

Pedestrian Ingress & Egress:
Public sidewalks and private trails provide important connectivity within the project as well as and out of the site. These private landscaped trails are proposed along Old Airport Road and between the apartments and the adjacent commercial site on the southern boundary of the site. The western boundary of the site shall allow for pedestrian access to Seven-Bar Loop Road.

Vehicular Ingress & Egress:
The primary access to the apartments in Tract B and Tract C is from Old Airport Rd. This access is aligned with the access to site directly across Old Airport road to the north. The requirements for width, radius and design configurations comply with COA standards. This primary access will be a private easement with a public utilities easement to serve both tracts. The primary access is designed within the context of the Seven Bar Ranch Sector Development Plan design requirements. The main entrance is designed to provide a transition from the surrounding commercial activity to a village-type character within the apartment development.

Internal Circulation Requirements:
The internal circulation with a primary access off of Old Airport road meets the required street widths; radius and configurations comply with COA standards. These dimensions are shown on the illustrative Landscape & Building Layout Plan sheet 2 of 6. The internal circulation is designed with a Boulevard as the main circulation pattern completed with a landscaped median, parking and pedestrian friendly tree-lined sidewalks that provide residents with welcoming entrance to their residence. Roundabouts shall meet design requirements of the Fire and Solid Waste Departments.

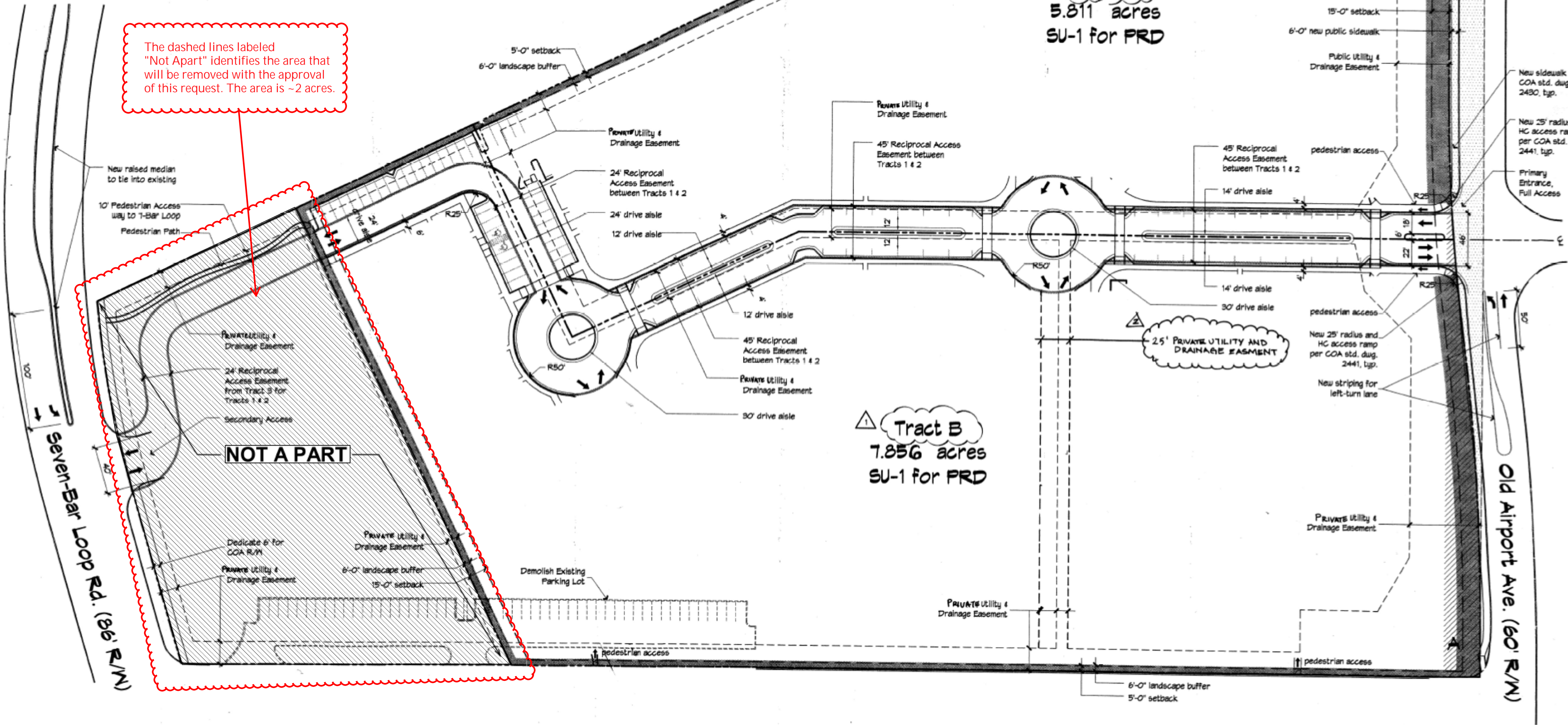
Maximum/Minimum Dwelling Units:
The maximum number of dwelling units and/or density shall not exceed 32 DU's per acre. The minimum number of dwelling units and/or density shall not be less than 28 DU's.

Maximum Floor Area Ratio:
The maximum floor area ratio (FAR) shall be 1.0 as required by R-9 of the comprehensive zoning code.

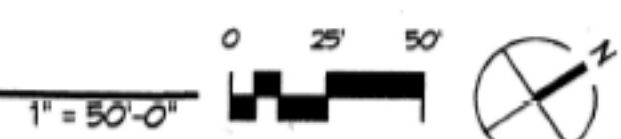
Maximum Building Height:
The maximum building height shall be in accordance to the height restrictions and regulations indicated in the Albuquerque Comprehensive City Zoning Code for the R-9 zone. The maximum height for Tract B and Tract C shall be 85'-10" as indicated in the Solar Study Diagram (see sheet 3 of 6).
The maximum height for Tract A shall be 26 feet.

Minimum Building Setbacks:
Setbacks for Tract B and Tract C shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the R-9 zone.
• Front Setback: 11 feet
• Side Setback: 5 feet
• Rear Setback: 15 feet
Setbacks for Tract A shall be in accordance with the Albuquerque Comprehensive City Zoning Code for the C-1 zone:
• Front Setback: 5 feet
• Side Setback: 15 feet
• Rear Setback: 5 feet
• Junction of Driveway and Sidewalk: 11 feet

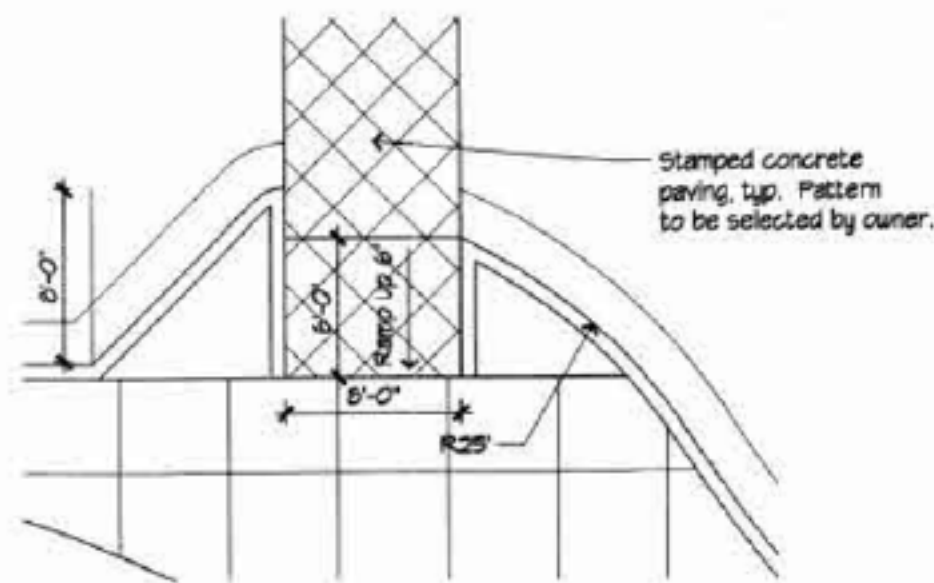
The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres.



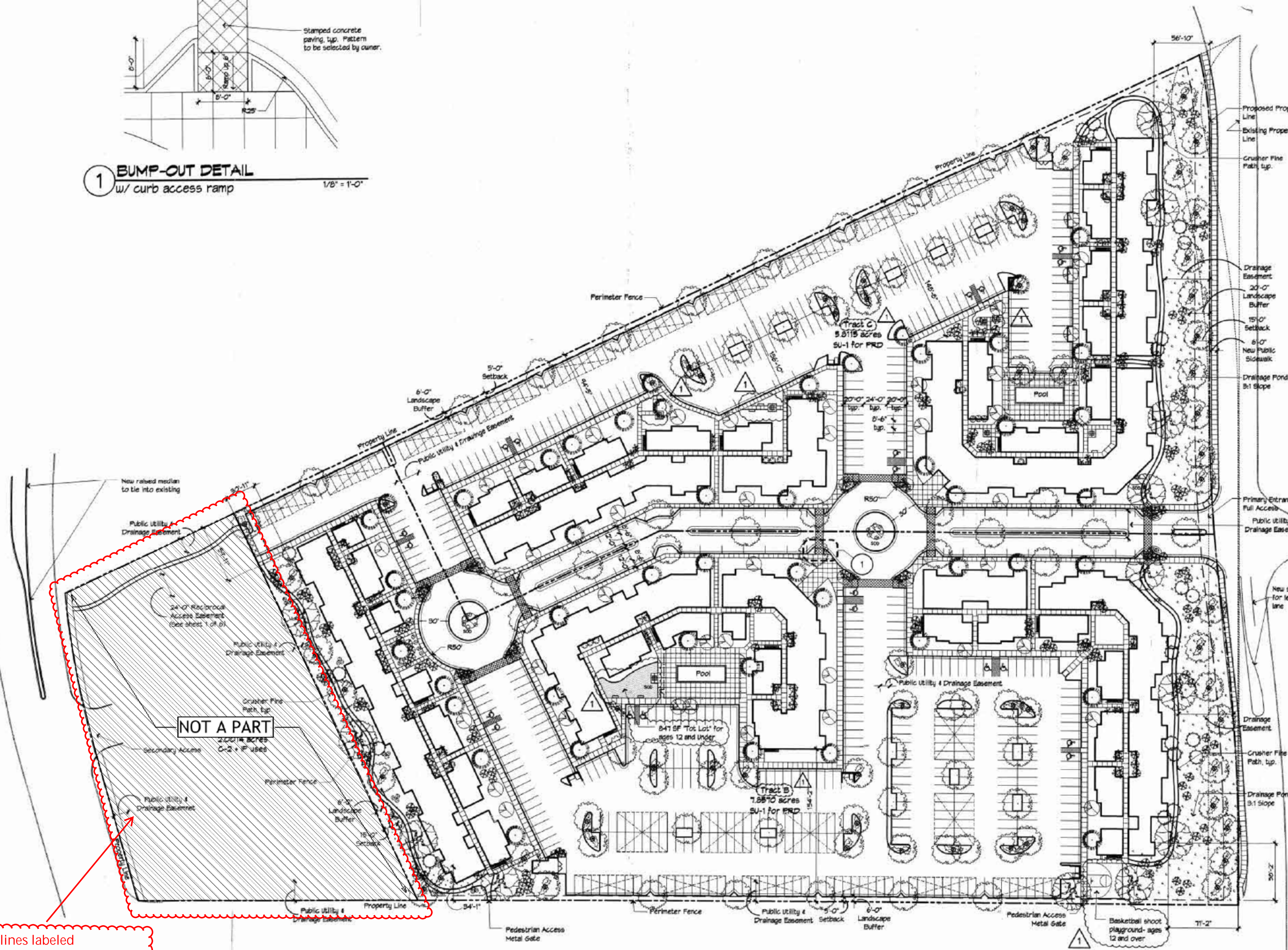
Site Plan



EPC MAJOR AMENDMENT TO SITE DEVELOPMENT PLAN - April 2024
Site Development Plan has been amended to follow the current Integrated Development Ordinance (IDO) Rules and Regulations
The dashed area that is labeled "Not Apart" (approximately 2 acres) is no longer apart of the Site Development Plan and will follow all IDO Standards.



1 BUMP-OUT DETAIL
w/ curb access ramp
1/8" = 1'-0"



- LANDSCAPE PALETTE**
- EVERGREEN TREES**
 - 6'-8' Austrian Pine
 - LARGE SHADE TREES**
 - 2' Cal. Chinese Pistache
 - Purple Robe Locust
 - Rainwood Ash
 - Rio Grande Cottonwood (in Ponding Areas/ Exterior Trails Only)
 - ORNAMENTAL TREES**
 - 15 Gal. Flowering Pear (Along Center Strip Only)
 - Multi-Trunk Ornamental Trees
 - 15 Gal. Desert Willow
 - Forstersia (New Olive)
 - Japanese Maple (in Inner Courtyard Areas Only)
 - Vibex (Chaste) Tree
 - DESERT ACCENTS**
 - 5 Gal. Agave
 - Nolina
 - Prickly Pear
 - Red Yucca
 - Sisal
 - Yucca
 - XERIC/NATIVE SHRUBS**
 - 5 Gal. Apache Plume
 - Artemisia spp.
 - Autumn Sage
 - Bird of Paradise
 - Blue Mist Spines
 - Butterfly Bush
 - Chama
 - Cotoneaster
 - Lavender
 - Hugho Pine
 - Phloxia
 - Potentilla
 - Raphiolepis
 - Rosemary
 - Russian Sage
 - Saltbrush
 - Spanish Broom
 - Three-Leaf Sumac
 - ACCENT SHRUBS (in Inner Courtyard Areas Only)**
 - 1 Gal. Manolis
 - Nandina
 - Red Twig Dogwood
 - Spreading Yew
 - PERENNIALS, WILDFLOWERS AND GROUNDCOVERS**
 - 1 Gal. Agastache
 - Blanketflower (Gallardia)
 - Catmint
 - Coneflower
 - Coneopsis
 - Creeping Rosemary
 - Creeping Thyme
 - Dwarf Plumbago (in Inner Courtyard Areas Only)
 - Gaura
 - Germander
 - Icelandic
 - Kinikinnick
 - Liriope (in Inner Courtyard Areas Only)
 - Pensamom
 - Pincushion Flower
 - Primrose
 - Red Hot Poker
 - Sedum spp.
 - Wallflower
 - Yarrow
 - ORNAMENTAL GRASSES**
 - 1 Gal. Blue Avena Grass (Helictotrichon)
 - Blue Fescue (Festuca)
 - Deergrass (Muhlenbergia)
 - Threadgrass (Scipa)
 - 5 Gal. Maidgrass (Miscanthus)
 - Regal Mist (Muhlenbergia)
 - NATIVE SEED MIX**
Will include wildflowers not mentioned above such as Desert Marigold (Nymenoxis) and Globemallow (Sphaeralcea) as well as Native Shrubs such as Chama and Apache Plume.

- General Notes**
- Locations of fire hydrants shall be determined at time of building permit with guidance from the Fire Marshal.
 - Refer to Landscape Design Standards in Sheet 4 of 6.
- Site Legend**
- Accessible Parking Space
 - Walled Refuse Container
 - Walled Refuse Compactor
 - Concrete Slidewalk/ Paving
 - Carport
 - Bench
 - Picnic Table

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

Illustrative Landscape + Layout Plan
1" = 50'-0"

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 10/24/05

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-3700
fax 761-4222
dps@dpsobq.com

ARCHITECT

ENGINEER

PROJECT

**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

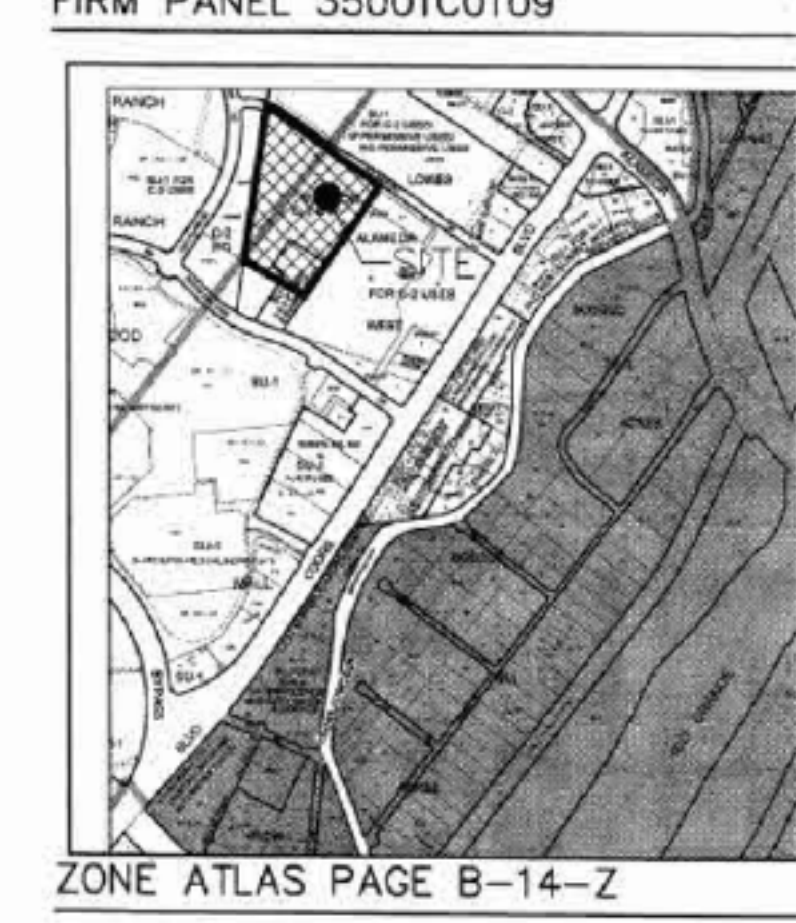
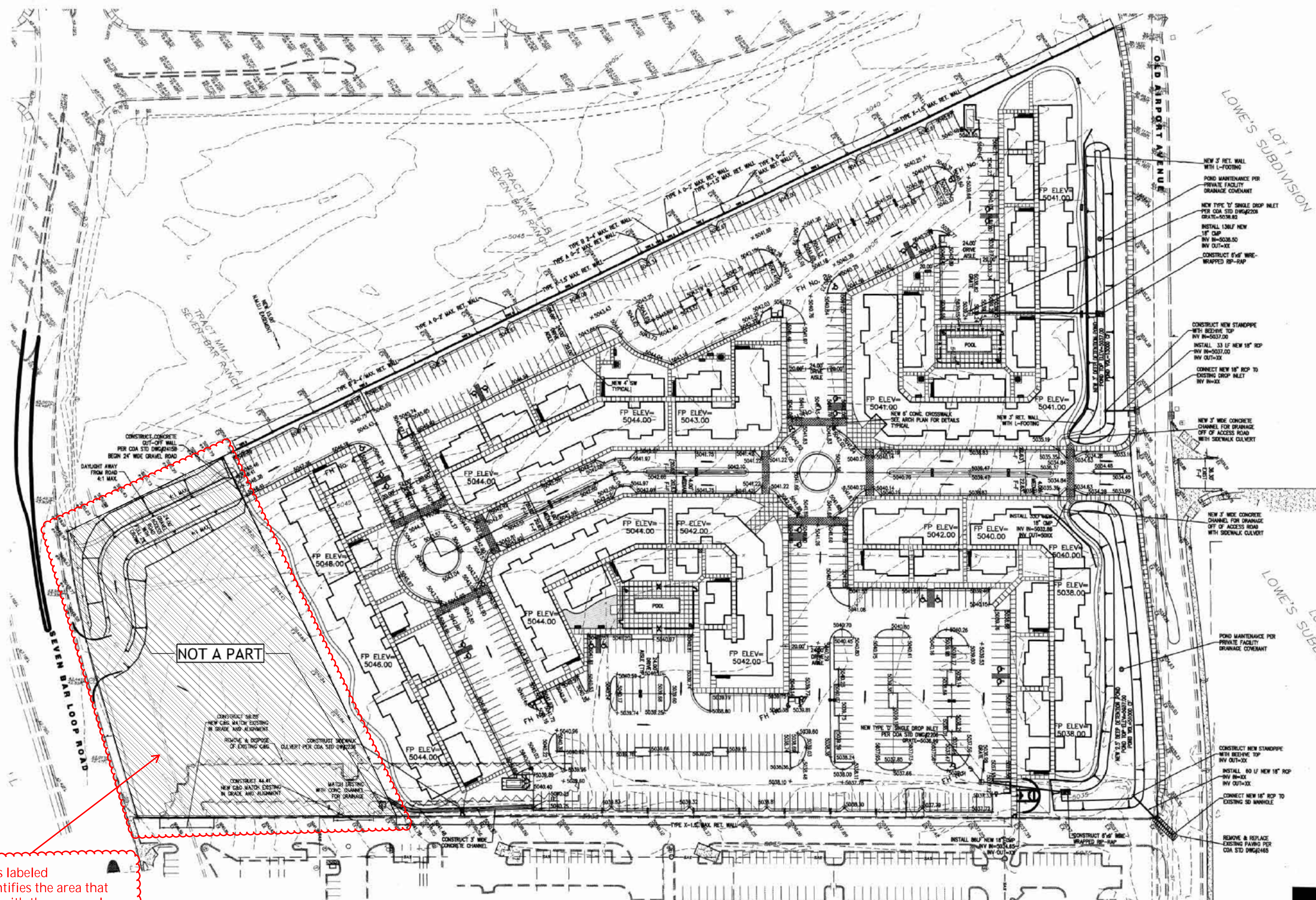
REVISIONS

10/24/05	SPC Conditions of Approval
----------	----------------------------

DRAWN BY: AJT/MS
REVIEWED BY: DIV/AJT
DATE: October 24, 2005
PROJECT NO.: C801B
DRAWING NAME:

Illustrative Landscape & Building Layout Plan

SHEET NO.



- GENERAL NOTES**
1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
 2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

- NEW 3" RET. WALL WITH L-FOOTING
- POND MAINTENANCE PER PRIVATE FACILITY DRAINAGE COVENANT
- NEW TYPE "V" SINGLE DROP INLET PER COA STD DWG#2200 GRADE=5038.82
- INSTALL 1/2" NEW 18" CAP INV IN=5038.50 INV OUT=XX
- CONSTRUCT 8" W/ WIRE-WRAPPED RP-RAP
- CONSTRUCT NEW STANDPIPE WITH BEARING TOP INV IN=5037.00
- INSTALL 33 LF NEW 18" RP INV IN=5038.50 INV OUT=XX
- CONNECT NEW 18" RP TO EXISTING DROP INLET INV IN=XX
- NEW 3" WIDE CONCRETE CHANNEL FOR DRAINAGE OFF OF ACCESS ROAD WITH SIDEWALK CULVERT
- NEW 3" WIDE CONCRETE CHANNEL FOR DRAINAGE OFF OF ACCESS ROAD WITH SIDEWALK CULVERT
- CONSTRUCT NEW STANDPIPE WITH BEARING TOP INV IN=XX
- INSTALL 60 LF NEW 18" RP INV IN=XX INV OUT=XX
- CONNECT NEW 18" RP TO EXISTING 30" MANHOLE
- REMOVE & REPLACE EXISTING PAVING PER COA STD DWG#468

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

- S.O. 19 REQUIREMENTS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

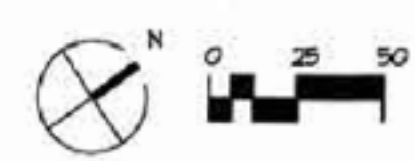
FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0109 DATED SEPTEMBER 20, 1996 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

ENGINEER'S CERTIFICATION

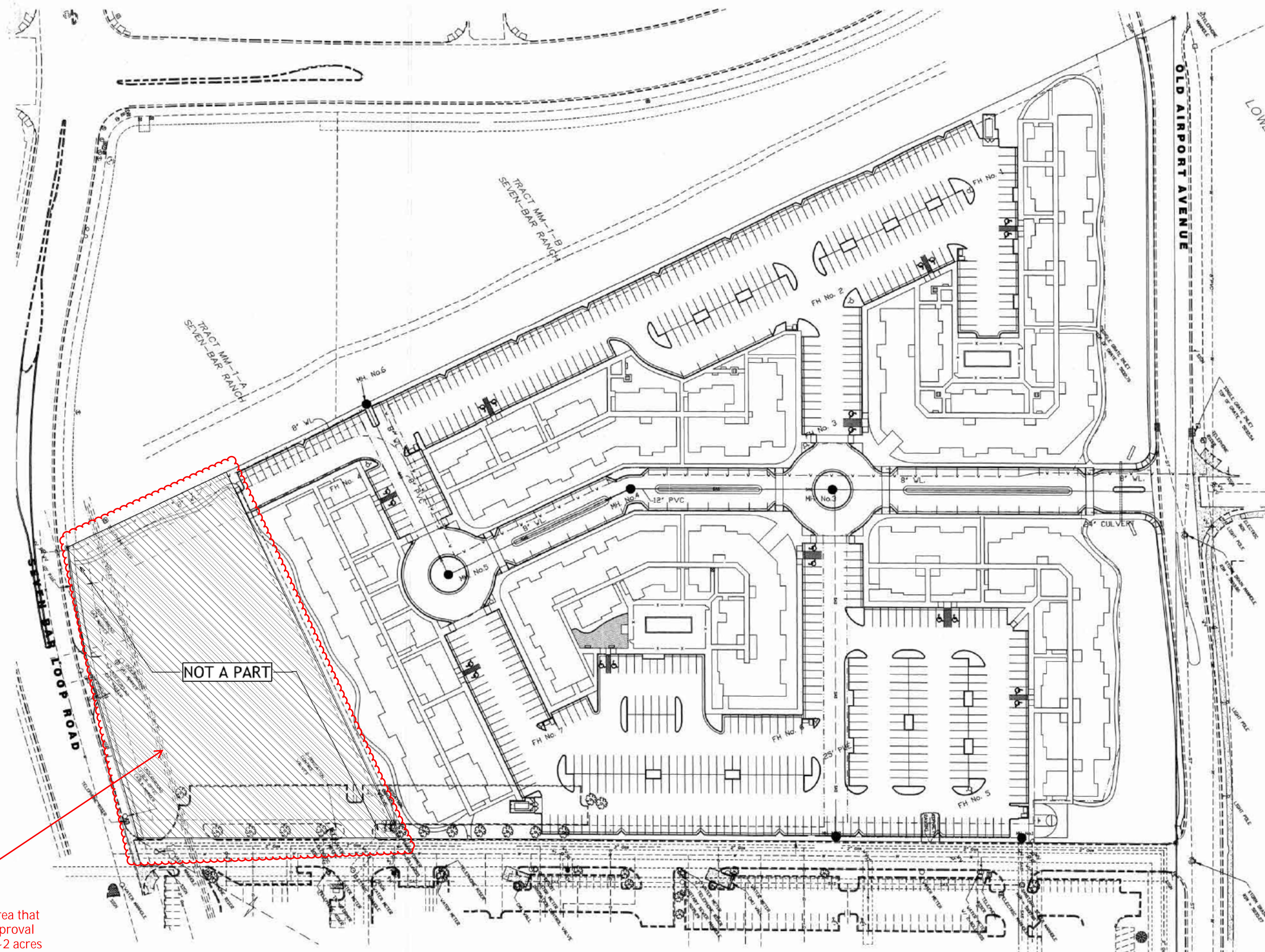
I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

GSL - Cottonwood
Albuquerque, New Mexico



Designed By
HUITT-ZOLLARS
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

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LEGEND

---	PROPERTY LINE
- - -	NEW EASEMENT
- - - SAS	EXISTING SANITARY SEWER
- - - W	EXISTING WATER LINE
- - - S	EXISTING STORM DRAIN
□	EXISTING WATER METER
⊠	EXISTING CAP
⊠	EXISTING VALVE
⬮	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
- - - SAS	PROPOSED SANITARY SEWER
- - - W	PROPOSED WATER LINE
- - - S	PROPOSED STORM DRAIN
⊠	PROPOSED VALVE
⊠	PROPOSED HYDRANT
⊠	PROPOSED CAP
□	PROPOSED WATER METER
○	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN
★	PROPOSED STREET LIGHT

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres

GSL - Cottonwood
Albuquerque, New Mexico
NOVEMBER 4, 2005



ATD IN ARD CHECKING OFFICE
924-3511
APPROVED WITH APPROVED
HYDRANTS ONLY
R.C. JAMES 11-30-05

Designed By:
HUITT-ZOLIARS
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ARCHITECT



ENGINEER

PROJECT

**Cottonwood Apartments
GSL**
Old Airport Avenue
Albuquerque, New Mexico

REVISIONS

- ▲
- ▲
- ▲

DRAWN BY: ms
REVIEWED BY: RJA, Hult-Zollars
DATE: October 19, 2005
PROJECT NO.: 08015
DRAWING NAME:

Traffic Circulation
Layout
OCT 19 2005
HYDROLOGY SECTION

SHEET NO.

Vicinity Map
B-14-Z



Parking

Per EPC approved Site Development Plan for Subdivision. Parking shall be in accordance with the Albuquerque Comprehensive City Zoning Code section 14-18-3-1 (A)(24)(b). For each dwelling unit with net leasable area of less than 1000 SF, one space per bath but not less than 1.5 spaces per unit.

Tract 1	Unit type / size	Qty	Space Factor	# Spaces
	1BR/1BA (575 SF)	60	1.5	40
	2BR/1BA (650 SF)	60	1.5	40
	2BR/2BA (642 SF)	65	2.0	130
	Clubhouse (1664 SF)	1	1 per 200 SF	4
			Subtotal:	214

10% Transit Reduction per 14-18-3-1 (C)(6)(a): (32)

Total Required Parking: 281

Designated Disabled Parking incl:
Van-accessible (NMAC Table 110b.1): 1

Tract 2	Unit type / size	Qty	Space Factor	# Spaces
	1BR/1BA (575 SF)	46	1.5	64
	1BR/1BA (650 SF)	62	1.5	93
	2BR/1BA (650 SF)	42	1.5	63
	2BR/2BA (650 SF)	65	2.0	126
	2BR/2BA (1100 SF)	96	2.0	192
	Clubhouse (1664 SF)	1	1 per 200 SF	4
			Subtotal:	482

10% Transit Reduction per 14-18-3-1 (C)(6)(a): (43)

Total Required Parking: 304

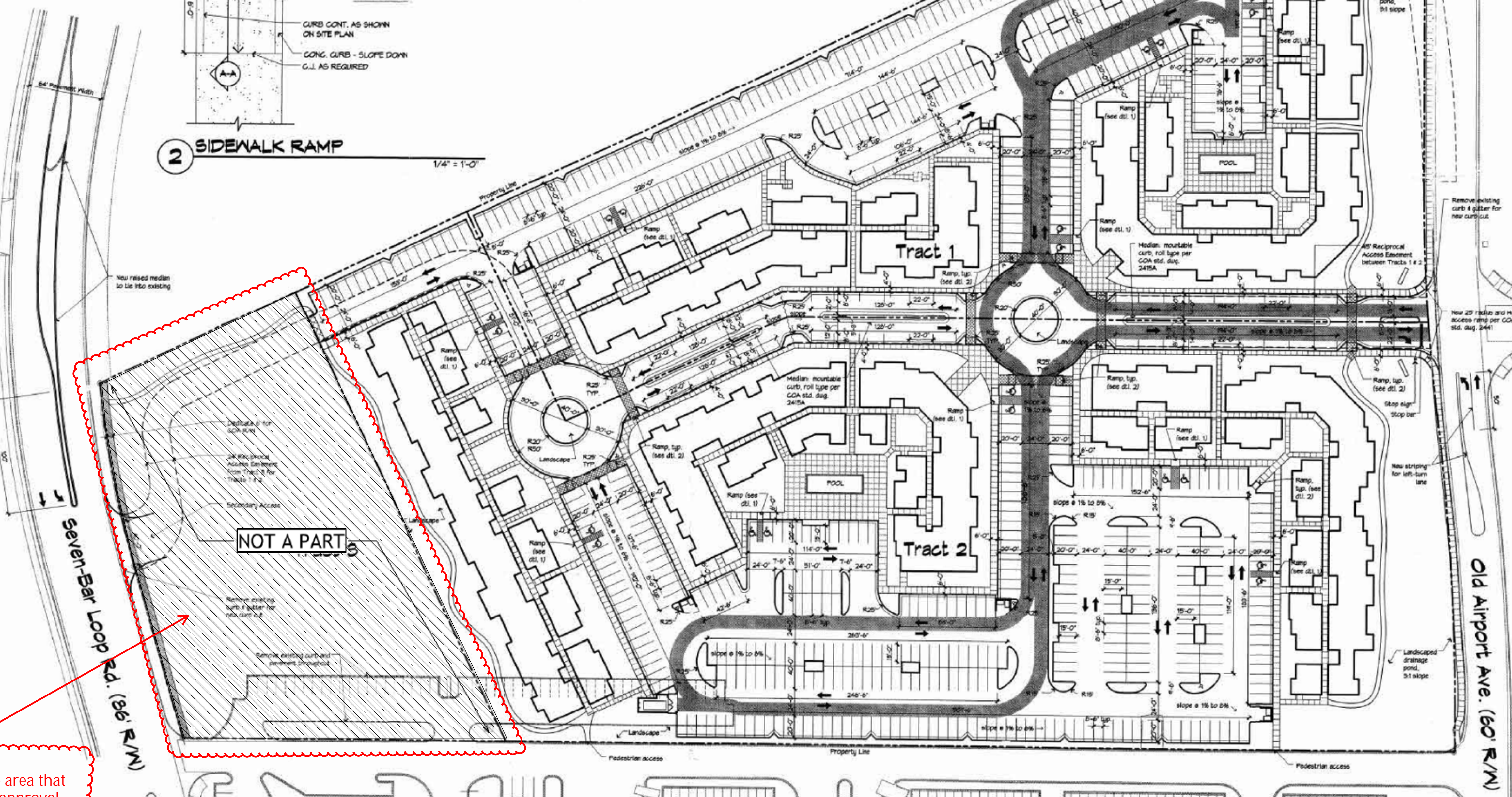
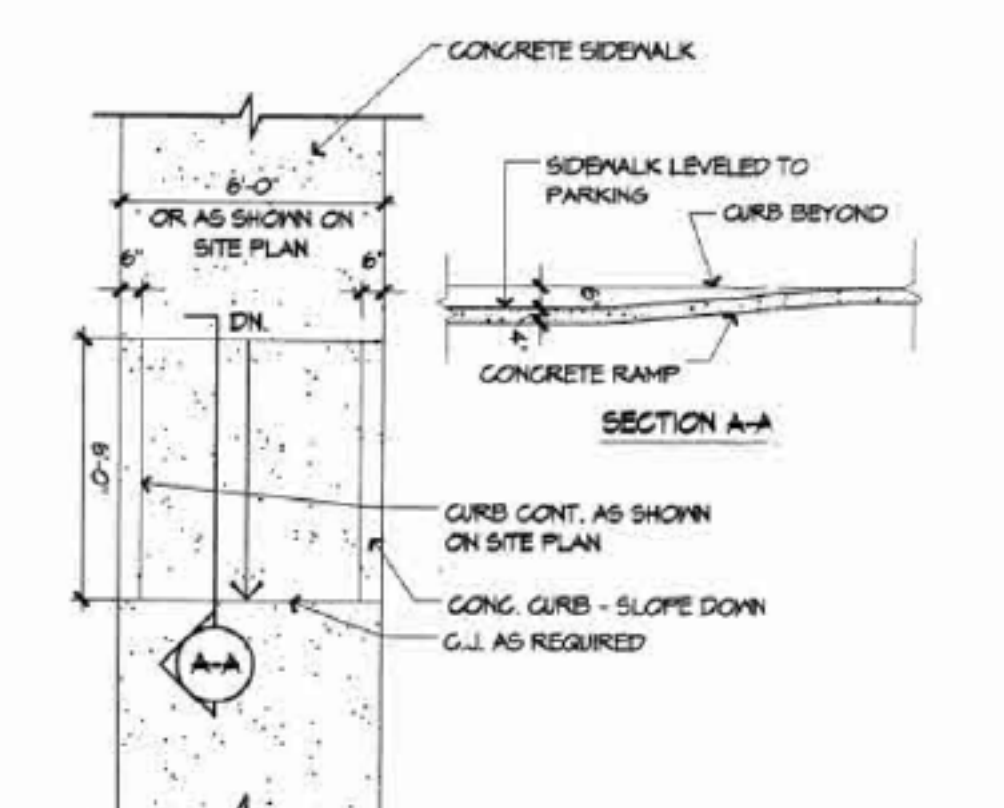
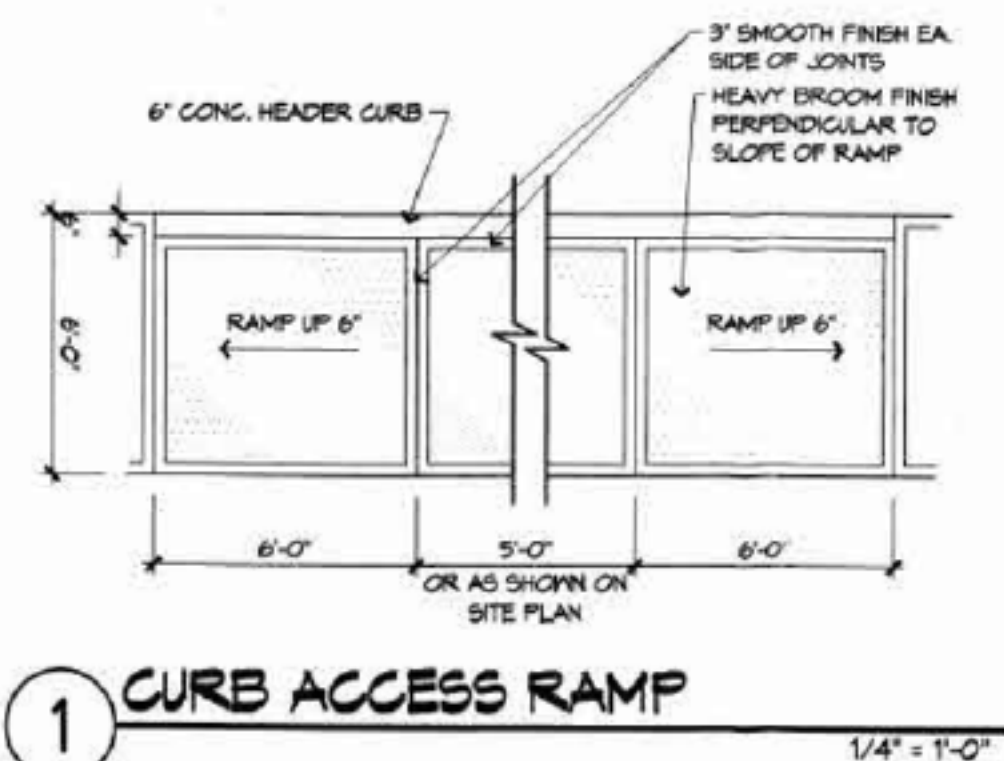
Designated Disabled Parking incl:
Van-accessible (NMAC Table 110b.1): 2

Description

Legal Description: Tract H, Seven Bar Ranch Subdivision

Type of Development: Apartments

Size of Development:
Tract 1 - 5.8115 acres
Tract 2 - 1.0570 acres
Tracts 1 & 2 - 13.6665 acres
Tract 3 - 2.0014 acres



- Legend**
- R25 R15: Landscaped Parking Aisle Island w/ 25' radius, top - conc. header curb GOA std. diag. 2415B
 - R2 R15: Landscaped Parking Aisle Island w/ 15' radius, top - conc. header curb GOA std. diag. 2415B
 - R2 R2: Landscaped Parking Aisle Planter for Compact Spaces, top - conc. header curb GOA std. diag. 2415B
 - 17'-0": Parking Aisle Perimeter Planter, top.
 - 5'-0" 5'-0": Accessible Parking Space for Car: 5'-0" Access Aisle; White RTI HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
 - 8'-0" 8'-0": Accessible Parking Space for Van: 8'-0" Access Aisle; White RTI HC Symbol; 4" solid spaced striping spaced at 45"; sloped 1% to 2%
 - Refuse Container Enclosure (no truck access req.)
 - Compactor (truck access req.)
 - Proposed Sidewalk, top.
 - Stamped concrete paving, top. Pattern to be selected by Owner
 - Per person Cover of 7.5' Pedestrian Trail, top.
 - Path of Travel - Solid Waste Vehicle
 - Property Boundary
 - New Apartment Building, top.
 - Demo
 - Existing
 - New Standard Concrete Curb & Gutter per GOA std. det. 2415A
 - New Mountable Concrete Curb & Gutter per GOA std. det. 2415A
 - New Concrete Header Curb per GOA std. det. 2415B
 - Fire Lane - Paint curb red
 - New Fire Hydrant
 - Direction of Traffic Flow

The dashed lines labeled "Not Apart" identifies the area that will be removed with the approval of this request. The area is ~2 acres