



**Environmental
Planning
Commission**

Staff Report

Agenda Item Number: 2
Project #: PR-2023-009363
**Case #: SI-2023-01635/
SI-2023-01638**
Hearing Date: November 16, 2023

Agent	Consensus Planning
Applicant	City of Albuquerque Parks and Recreation Department/New Mexico United Soccer
Request	Major Amendment of a Master Development Plan/Site Plan for Subdivision Site Plan-EPC
Legal Description	All or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A, Plat of Tracts A-1 through H-1, I-1A & I-2-A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, T11N, R3E, a/k/a Tracts F & G, Heirs of Filiberto Gurule Tract
Location	Balloon Fiesta, Park, between Paseo del Norte NE and Roy Avenue NE
Size	Approximately 7-acre portion of 367.5 acre site
Zoning	NR-PO-A

Staff Recommendation

APPROVAL of SI-2023-01635, based on the Findings beginning on Page 39, and subject to the Conditions of Approval, beginning on Page 46.

APPROVAL of SI-2023-01638, based on the Findings beginning on Page 47, and subject to the Conditions of Approval, beginning on Page 53.

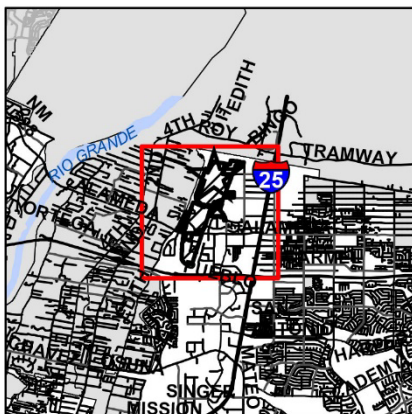
**Silvia Bolivar, PLA, ASLA
Senior Planner**

Summary of Analysis

The request consists of three parts: 1) a Major Amendment to the 2012 Balloon Fiesta Park Master Development Plan (MDP) that would allow for the addition of a Multi-Use Stadium; 2) a Site Plan for Subdivision – the 2012 MDP included a Site Plan for Subdivision that the EPC approved. The Site Plan for Subdivision requires separate approval from the MDP, but the MDP nor the Site Plan for Subdivision cannot be approved without the other; 3) Site Plan - EPC that would facilitate development of the Multi-Use Stadium and additional parking on 7-acres north of the launch field thereby increasing BFP acreage to approximately 367.5 acres.

The EPC is hearing the request because, as per the Integrated Development Ordinance (IDO), all pre-IDO MDPs on City-owned properties must follow the amendment process identified in IDO 14-16-6-4(Z)(3). A sensitive lands analysis (IDO-14-16-5-2) is required for the escarpment, given that a comprehensive site review was deemed unnecessary due to prior grading and use of the 7-acre area as a parking lot. The applicant notified the District 4 Coalition of Neighborhood Associations, Wildflower NA, and the Alameda North Valley Association. A pre-application facilitated meeting was held on September 9, 2023. Staff has received letters of opposition/support.

Staff recommends approval subject to conditions of approval to ensure requirements are met.



IDO ZONING MAP

Note: Gray shading indicates County.



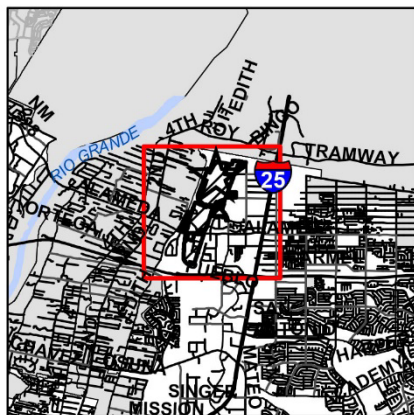
1 inch = 1,500 feet

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Zone Atlas Page:
B-16, B-17 & C-16



LAND USE MAP

Note: Gray shading indicates County.

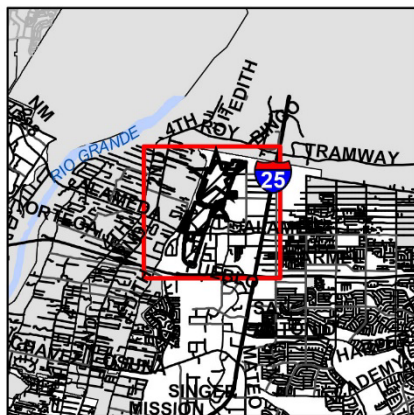
Key to Land Use Abbreviations	APRT Airport
LDRES Low-density Residential	TRANS Transportation
MULT Multi-family	AGRI Agriculture
COMM Commercial Retail	PARK Parks and Open Space
CMSV Commercial Services	DRNG Drainage
OFC Office	VAC Vacant
IND Industrial	UTIL Utilities
INSMED Institutional / Medical	CMTY Community
ED Educational	KAFB Kirtland Air Force Base



1 inch = 1,500 feet

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HISTORY MAP

Note: Gray shading indicates County.



1 inch = 1,500 feet

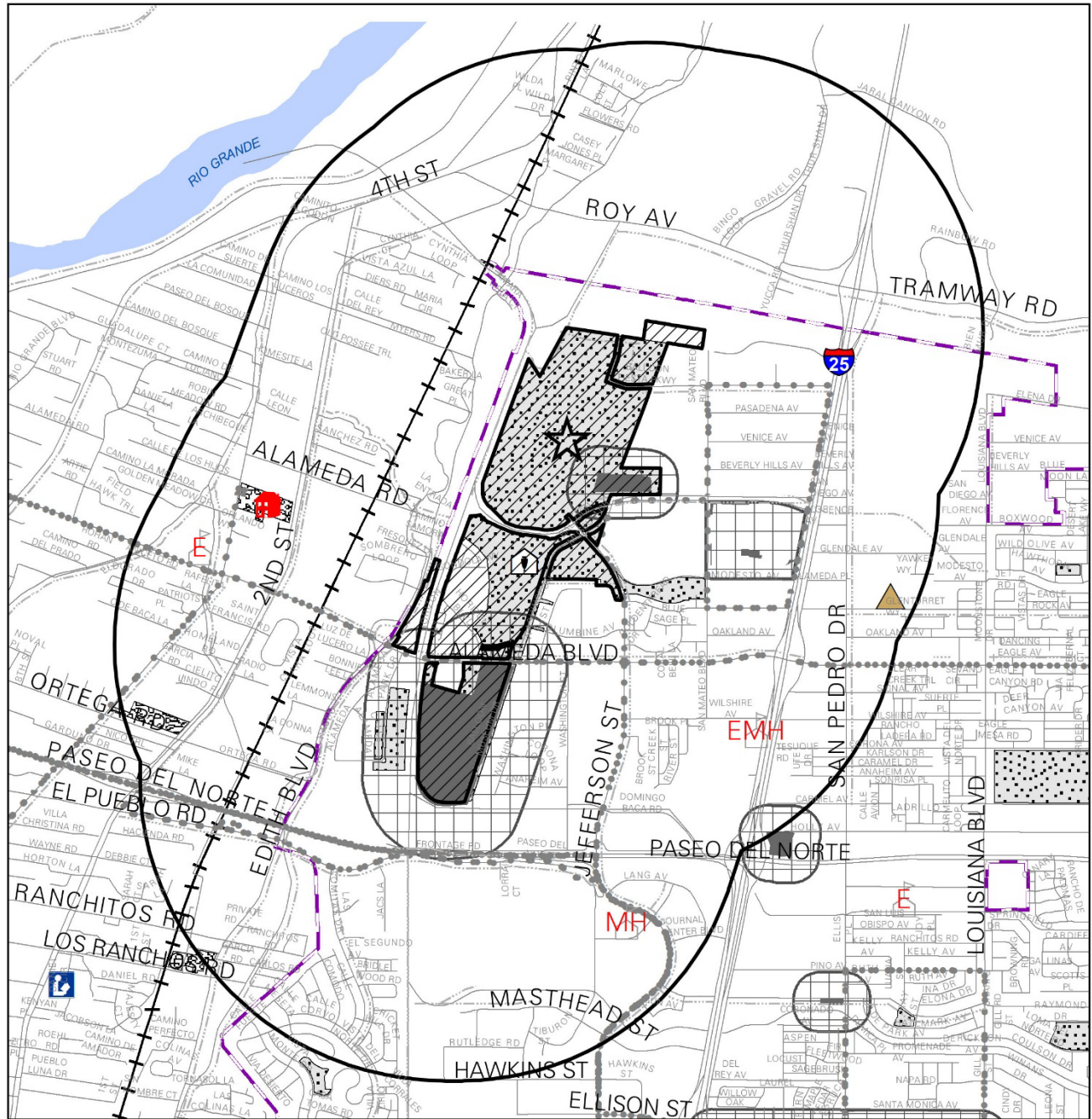
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Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------|--------------------------|-----------------------------|
| Community Center | Fire | Public School | Landfill designated by EHD |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill Buffer (1000-feet) |
| Senior Center | Sheriff | ABQ Ride Route | Developed City Park |
| Library | Solid Waste | Albuquerque City Limits | Undeveloped City Park |
| Museum | | | Developed County Park |
| | | | Undeveloped County Park |

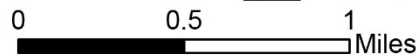


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I. INTRODUCTION

Surrounding zoning, plan designations, and land uses:

<i>Site</i>	<i>Zoning</i>	<i>Comprehensive Plan Area</i>	<i>Land Use</i>
<i>North</i>	NR-PO-A	Area of Consistency	Parks & Open Space
	NR-LM	Area of Consistency	Light Manufacturing
<i>South</i>	NR-LM	Area of Consistency	North Diversion Channel/ Light Manufacturing
<i>East</i>	NR-LM	Area of Consistency	Light Manufacturing/ Office/Commercial/Multi-Family
<i>West</i>	County	County	North Diversion Channel/Residential/Vacant/S-F homes/Commercial/Offices

Request

The request comprises three components: 1) A Major Amendment to the 2012 Balloon Fiesta Park Master Development Plan (MDP), enabling the addition of a Multi-Use Stadium; 2) A Site Plan for Subdivision – the 2012 MDP originally included a Site Plan for Subdivision, which was approved by the EPC. This Site Plan for Subdivision necessitates separate approval from the MDP, and both the MDP and Site Plan for Subdivision are interdependent for approval; 3) A Site Plan – EPC designated to facilitate the development of the Multi-Use Stadium and additional parking on 7-acres north of the launch field thereby increasing BFP acreage to approximately 367.5 acres.

The City’s Parks and Recreation Department holds the responsibility of overseeing the development, as well as the management and operations at Balloon Fiesta Park, as defined by in the Master Development Plan (MDP). The MDP, originally approved by City Council in 1998, serves as the primary governing document for Balloon Fiesta Park.

The Parks and Recreation Department is proposing the following changes to the MDP:

1. Eliminating the language that currently prohibits the use of an Outdoor Multi-Use Stadium at Balloon Fiesta Park.
2. Modifying the MDP and the associated Site Plan for Subdivision to include an Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP.
3. Modifying the light standards as outlined in Section 6: Design Performance Standards to allow for stadium lighting.
4. Replacing the Northeast Outdoor Recreation Area with surface parking, while retaining its permissive use status.
5. Introducing an additional adjacent tract for Balloon Fiesta Park’s parking needs, facilitating the creation of 750 more parking spaces and expanding the park’s total acreage from 358 acres to 367.5 acres.

New Mexico United is funding the construction of the Outdoor Multi-Use Stadium. The venue will host 17 regular games each year, all commencing at 7:00 p.m. and concluding by 9:00 p.m. Additionally, the Stadium will be open for various other events, all of which must adhere to the Performance Standards outlined in the MDP and the proposed Major Amendment.

In summary, the current Site Development Plan for Subdivision will be amended in coordination with the Balloon Fiesta Park Master Development Plan (MDP) to incorporate the new stadium and substitute a previously authorized parking structure. These revisions will encompass Section 4: Subdivision Site Development Plan and Section 6: Design Performance Standards.

The Site Plan for the Outdoor Multi-Use Stadium must adhere to the guidelines set forth in the Master Development Plan (MDP) and is also subject to the post-Integrated Development (IDO) Site Plan criteria as outlined in IDO Section 14-16-6-6(I), Site Plan – EPC.

EPC Role

The EPC is hearing the request for an amendment to the Balloon Fiesta Park Master Development Plan because the Integrated Development Ordinance (IDO) requires all pre-IDO Master Development Plans on City-owned property to follow the amendment process identified in the approved MDP (IDO 14-16-6-4(Z)(3)). IDO Section 14-16-6-4(Z)(3)(a) states: Master Plans or Resource Management Plans for City facilities may be amended per the procedures specified in the relevant plan or by the relevant implementing City department. The implementing departments may request review by the EPC and/or City Council where more input is desired.

The existing language within the MDP explicitly forbids the establishment of an Outdoor Sports Stadium at Balloon Fiesta Park. As a result, the Applicants are requesting a modification to the MDP to permit the creation of the Outdoor Multi-Use Stadium. The existing Site Development Plan for Subdivision will be amended in conjunction with the BFP Master Development Plan to include the proposed stadium. The EPC is hearing the Site Plan request (SI-2023-01638) because the approved Site Plan for Subdivision will be amended to include the proposed stadium and replace a previously approved parking structure.

A Sensitive Lands Analysis (IDO 14-16-5-2) is required exclusively for the east escarpment. This is because it has been determined that a comprehensive site assessment is not needed, given the prior grading and utilization of the 7-acre site as a parking lot.

The decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

The EPC is the final decision-making body unless the EPC decision is appealed. If the EPC decision is appealed, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to City Council. The City Council would then make the final decision. The request is a quasi-judicial matter.

Context

Balloon Fiesta Park is an urban park that consists of 358 acres located in the northern reaches of Albuquerque. To its north lies Sandia Pueblo, while industrial park development borders its eastern side. The southern and western boundaries are defined by the AMAFCA North Diversion Channel. Alameda Boulevard divides the site into its northern and southern sections.

The southern portion of the site, known as the Old Balloon Fiesta Park, slopes gently from east to west and drains into the North Diversion Channel inlets. This area, originally the Los Angeles Landfill, was repurposed as the Balloon Fiesta Launch Field. In contrast, the north portion was once a gravel quarry.

The site is intersected by numerous diversion channels, with the AMAFCA North Diversion Channel forming the western boundary. To the south, an AMAFCA North Diversion Channel Easement marks the site's limit, while the North Camino Arroyo runs along its northern edge. The North and South La Cueva Arroyos traverse the southern edge of the expansive basin area before emptying into the North Diversion Channel to the west.

There are high-voltage PNM facilities and/or easements that run north-south through the site either directly over or in very close proximity to the proposed stadium location.

Access to the site is facilitated by Balloon Fiesta Parkway (formerly known as Balboa) and San Diego Avenue, both of which culminate at the site from I-25. Washington Street and a former quarry access drive offer additional access points via Alameda Boulevard. A loop road and a pedestrian ramp were added to the basin area as part of the Launch '96 work site.

The southern 77 acres of Balloon Fiesta Park, known as the Los Angeles Landfill or Old Balloon Fiesta Launch Field, served as an active municipal landfill from 1978 until its closure in 1983. It has since primarily been used for parking cars and RV's.

Notable features of Balloon Fiesta Park include the Launch Field that offers a large space perfect for recreational and sporting events. With broad open spaces and paths, the Launch Field is home to numerous sporting events, flying events, runs, and festivals. The joint-use, 86-acre balloon Launch Field has space for over 20 game fields, informal use of the park is free, through the park is often closed for special events.

Balloon Fiesta Park features three prominent structures. The first is the Anderson-Abruzzo International Balloon Museum, a facility dedicated to the celebration of hot air ballooning and aviation history. This museum stands at a height of 75 feet and possesses a distinctive design, providing commanding views of the balloon launch area, as well as vistas of the Sandia Mountains to the east and the river valley and escarpment to the west. The second is the Golf Training Center, equipped with thirty-five illuminated tee boxes offering of up to 400 yards, allowing golf enthusiasts to practice day or night. Additionally, the Park offers the Pitch & Putt 6-hole course with fairways ranging from 65 to 185 yards in length. Lastly, the Sid Cutter's Pavilion is a versatile venue suitable for a wide range of events, particularly those associated with the Balloon Fiesta. These structures were thoughtfully designed to complement the character of Balloon Fiesta Park.

A former landfill, the Nazareth Landfill, operated within the President's Compound just south of the Stadium site between 1971 and 1972. The landfill buffer area surrounding it extends 500 feet. Environmental Health maintains and monitors ten landfill gas perimeter gas wells on the site. Groundwater monitoring wells are situated in the southeast corner and southwest of San Diego Avenue, adjacent to the AMAFCA channel. Any construction within the buffer must adhere to the Interim Guidelines for Development within City Designated Landfill Buffer Zones. A landfill gas study, currently being coordinated by the applicant and agent with Environmental Health, is a prerequisite for devising a landfill gas mitigation plan, which must receive Environmental Health's approval before construction in the area can commence.

The site offers magnificent vistas, featuring the Sandia Mountains to the east and the lower tip of the Jemez Mountains to the north. To the west, one can admire the Rio Grande Bosque, the West Mesa, and Mount Taylor in the distance.

History

Balloon Fiesta Park has a rich history of zoning map and sector plan amendments predating the Integrated Development Ordinance (IDO), along with site plan approvals by the Environmental Planning Commission (EPC). Furthermore, a series of administrative amendments have occurred since the Master Development Plan (MDP) approval in 1998. The applicant has provided a chronological list of these actions:

1993: An amendment was made to the North I-25 Sector Development Plan (R-356). The City Council's resolution modified the zoning and land use section of the Sector Plan, clarifying the permissible uses within the original 77-acre Balloon Fiesta Park and outlining the guidance of a "Balloon Fiesta Management Plan" for controlling park activities.

July 1996: A Zone Map Amendment and Sector Plan Amendment were approved by the EPC and City Council (Z-96-77/SD-83-234). These actions expanded the existing 77-acre BFP site situated south of Alameda Boulevard. Zoning changed from SU-2 IP-EP and SU-1 for Apartments (30 du/ac) to SU_2 for Balloon Fiesta Park, Museum, and Related Uses. The Resolution specified permissible land uses under the new zoning, categorized into Recreation and Park Elements, Special Events, and Buildings.

June 1998: The Master Development Plan (Site Plan for Subdivision) was approved by the EPC after an extensive two-year public engagement process (Z-96-77). This MDP laid the foundation for development of a multi-use regional park facility designed to accommodate the Albuquerque International Balloon Fiesta and year-round recreational activities.

March 1999: An amendment was approved by the Development Review Board (DRB) for the Alameda parking lot (DRB-99-70).

June 2000: An amendment was approved by the DRB for the Golf Training Center (DRB 1000-363).

August 2000: Site Plan for Building Permit for the Balloon Museum and Balloon Museum drive was approved by the EPC (EPC-00128-00578).

2000: Administrative amendment reconfigured the roads in the north Launch Field.

July 2001: Site Plan for Subdivision and Site Plan for Building Permit were approved for the Balloon Museum and the National Museum of Nuclear Science and History (Project #10000363; 01450-00000-00723; 01450-00000-00722).

August 2007: Administrative amendment was made for the Park entry sign at the junction of Alameda Boulevard and Balloon Museum Drive (AA01236-00000-01251).

July 2012: Administrative amendment was carried out to remove the lake north of the Balloon Museum from the MP and replace it with a 4-acre Balloonist Tribute Area (12AA-10070). The lake was the subject of a Site Plan for Building Permit in 2007, approved by the EPC but ultimately denied upon appeal to the City Council.

November 2012: The EPC approved a Master Development Plan amendment, updating Section 4 (Site Plan for Subdivision), Section 6 (Design Performance Standards), and Section 7 (Infrastructure and Engineering), along with revisions to the four large format Site Plan for Subdivision and Landscape Master Plan sheets (Project 1000353; 12EPC-4000070). The remaining sections remained unchanged from the 1998 approval.

2014: Master Development Plan approved by the EPC to permit an increase in the maximum height for the “Future Pilots’ Landing and Welcome Center” from 26 feet to 34 feet. This building, constructed at the southeast corner of the Launch field, is referred to as the Sid Cutter Pilots’ Pavilion (Project 1000363; 14EPC-4000018).

Transportation System

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Paseo del Norte (located to the south of the park) is a primary thoroughfare with controlled access with a right-of-way spanning 200-feet or more. Alameda Boulevard functions as a principal arterial and commuter route, featuring right-of-way measuring 124 feet. San Mateo Boulevard serves as a collector street, with a right-of-way of 68 feet. Balloon Fiesta Parkway, on the other hand, is designated as a local urban street. San Diego Avenue falls under the classification of minor collector streets, while Jefferson stands out as a major thoroughfare, offering a right-of-way of 68 feet.

Park Internal Roads: Balloon Museum Drive falls under the category of an urban collector road. This road serves as the primary entrance to the Park from Alameda Boulevard and serves a vital link between the major road networks and various destinations within the Park

Comprehensive Plan Designations

The subject site is in an Area of Consistency as designated by the Comprehensive Plan.

Alameda Boulevard is designated a Commuter Corridor. Commuter Corridor are intended for long-distance trips across town by automobile, including limited access streets. These roads tend to be higher-speed and higher-traffic volume routes. Development along these corridors should be more auto-oriented, but where the Corridors pass through Centers, development should include more mixed-use.

The subject site is within the North I-25 Community Planning Area (CPA). The area is characterized by business and industrial parks and semi-rural neighborhoods.

Overlay Zones

The subject site is within the boundaries of the North I-25 Character Protection Overlay Zone (CPO-10).

The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones.

CPO-10 encompasses building and various development standards that influence the maximum building height and outdoor lighting within its boundaries. However, the development standards specified in the Balloon Fiesta Park Master Development Plan take precedence over the standards in the IDO, as it serves as the primary governing document for Balloon Fiesta Park.

The subject site is not within the boundaries of a Historic Protection Overlay Zone (HPO) or a View Protection Overlay Zone (VPO).

Alameda Boulevard Design Overlay Zone (ADOZ)

The overall intent of the ADOZ is to protect the visual qualities and unique and historic valley character of the Alameda Corridor area to which it is applied and further provide guidance to developers, design professionals, and property owners for new development, streetscape projects, and redevelopment projects.

The ADOZ boundary was established in coordination with City and County representatives and approved by the City/County Planning Directors.

The DOZ area is divided into four Character Zones.

Character Zone 1 – Established Rural Neighborhoods, Rio Grande to Alameda Elementary School.

Character Zone 2 - 4th Street Village Center, Alameda Elementary School to 2nd Street.

Character Zone 3 – Eastern Bench Area, 2nd Street to Edith Boulevard.

Character Zone 4 – Balloon Fiesta Park/Commercial Campus – Edith Boulevard to Interstate 25.

The ADOZ spans 200 feet to the north and south of Alameda Boulevard, encompassing both the Little League section of BFP and the parking area at the Old Balloon Launch Field. According to the 2012 MDP, parking and Little League activities must adhere to the ADOZ guidelines. Character Zones 1, 2, and 3 are under Bernalillo County’s jurisdiction, while the majority of Character Zone 4 is situated within the City of Albuquerque.

The MDP references the ADOZ and placed particular emphasis on the design elements associated with the main entrance of the Park, located at the intersection of Alameda Boulevard and Balloon Museum Drive.

Trails/Bikeways

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed routes and trails.

There is a multi-use trail that follows the Northern Diversion Channel that abuts the Balloon Fiesta Park on its western side as far north as the Balloon Museum. The trail then makes a turn to the east, following the La Cueva Channel, and then turns south and follows Balloon Museum Drive along its right-of-way. At Alameda, it connects back to the Northern Diversion Channel.

Bike routes and trails are provided along Alameda Boulevard, Jefferson Street, Balloon Museum Drive, San Diego Avenue and throughout the Park.

Transit

San Diego has two bus stops: one at Alameda (Route 98) and another at Jefferson and San Diego (Route 140). Route 98, a commuter route, is presently not in operation, while Route 140 offers service on weekdays, specifically during peak hours. However, its regular schedule provides service every 30 minutes from 6 am to 6 pm Monday through Friday.

Public Facilities/Community Services

Please refer to the Public Facilities Map (Page 5), which shows public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

Integrated Development Ordinance (IDO)

Definitions

Amendment: Any repeal, modification, or addition to a regulation; any new regulation; any change in the number, shape, boundary, or area of any zone district or Overlay zone; or any repeal or abolition of any map, part thereof, or addition thereto.

Area of Consistency: An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

Corridor: A street and adjoining land designated in the ABC Comp Plan, as amended, as one of 5 Corridor types designated based on travel modes and development intensity, excluding Commuter Corridors. See also Measurement Definitions for Corridor Area.

Escarpment: Land with 9 percent slope or more, where development is discouraged. The Northwest Mesa Escarpment is part of the Petroglyph National Monument, which is also designated as Major Public Open Space. See also Open Space Definitions for Major Public Open Space.

Master Plan: A Rank 3 Plan developed and approved by an implementing City department to guide the development, maintenance, and operation of individual public resources or facilities. For the purposes of the State Constitution, the Master Plan is a duly adopted plan or any of its parts for the development of an area within the planning and platting jurisdiction of a municipality for the general purpose of guiding and accomplishing coordinated, adjusted, and harmonious development. In the case of the City and Bernalillo County, this Master Plan is the ABC Comp Plan.

Monument Sign: A type of freestanding sign with a maximum of 2 sign faces that is integrated into a solid structure beginning at the ground and including a base and/or up to 2 masonry or concealed supports. The total width of the support(s) at the bottom of the sign shall be no less than 25 percent of the width at the top of the sign. See also Freestanding Sign.

Parking Lot: Any off-street outdoor area for the parking of motor vehicles, including any spaces and drive aisles necessary for the function of the parking lot or for the convenience of patrons. See also Paid Parking Lot and Measurement Definitions for Parking Lot Area.

Parking Structure: A multi-story structure or part of a multi-story building designed to accommodate motor vehicle parking spaces that are partially or completely enclosed, including podium parking, but not including a parking structure that is located underground or within the outer building envelope of another building. Parking structures are typically associated with Mixed-use and Non-residential development. See also Garage and Development Definitions for Mixed-use Development and Non-residential Development.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Special Flood Hazard Area: The land area covered by the floodwaters of the base flood, as defined by the Federal Emergency Management Agency and shown on National Flood Insurance Program maps.

Stadium: An outdoor, open-air area or structure suitable for sporting events or performances with tiers of seat or benches and with seating capacity for 1,000 or more people.

Zoning

The subject site is zoned NR-PO-A (City-owned or Managed Parks) which was assigned upon adoption of the Integrated Development Ordinance (IDO) in May 2018, based upon prior zoning of SU-2 for Balloon Park Museum & Related Uses.

As noted in IDO Section 14-16-2-5(F)(1), the purpose of the NR-PO-A zone district is to protect the natural character of designated private and public parks and open space for public recreation, use, and enjoyment. Primary uses are open space and related recreation facilities, picnic and other shelters, and service/maintenance facilities.

Dimensional standards in NR-PO sub-zones shall be determined in the approval of a Master Plan, Resource Management Plan, standards specified by the implementing Department, or standards specified in an approved Site Plan (IDO 14-16-2-5(F)(3)(a)(2)). Where the Master Plan, Resource Management Plan, or Site Plan is silent, standards listed for IDO Sections in Table 2-5-10 apply.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Consistency. Areas of Consistency are places where development must reinforce the character and intensity of existing development.

Applicable Goals and policies are listed below. Staff analysis follows in bold italics.

Chapter 4: Community Identity

Goal 4.1 Character: Enhance, protect, and preserve distinct communities

The subject site is located in an Area of Consistency, and the proposed request is consistent with the goal of enhancing, protecting, and preserving the distinct character of the community. This consistency is achieved by establishing the Multi-Use Stadium within the existing Balloon Fiesta Park, in line with the objectives outlined in the Master Development Plan. Balloon Fiesta Park is a vital part of the North I-25 community, and the introduction of a new stadium, along with associated infrastructure improvements, aims to enhance, protect and preserve this distinct community. By offering an additional use/amenity that caters to the preferences of both local and statewide residents, the request is consistent with Goal 4.1 – Character.

Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

The request would facilitate quality development that is consistent with the distinct character of the community because the proposed site plan is required to follow MDP design standards. The stadium's design, as depicted in the Site Plan, exemplifies high-quality development that matches the unique character of the North I-25 community. The layout adheres to the Balloon Fiesta Park Master Development Plan initially created in 1998 and updated in 2012. The amendments to the MDP will outline the desired development quality for this regional park facility that hosts the state's signature event while providing a range of indoor and outdoor recreational and cultural activities for residents, statewide residents, and visitors. The request is consistent with Policy 4.1.1 – Distinct Communities.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would generally protect the identity and cohesiveness of neighborhoods nearby by ensuring the appropriate scale and location of development, mix of uses, and character of building design within the existing Balloon Fiesta Park. The scale and intensity of use shown on the Site Plan, Landscape Plan, and building elevations have been designed to reflect and improve existing site conditions while implementing the vision of the MDP. The stadium's height is less than the maximum height of 26 feet above the east property line/escarpment allowed by the MDP, which will further protect the identity and cohesiveness of nearby neighborhoods. While the Balloon Museum reaches a height of 75 feet, the proposed stadium, like the Golf Training Center and Sid Cutter Pilot's Pavilion, was designed to harmonize with the area's character. The request is consistent with Policy 4.1.2 – Identity and Design.

Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request is consistent with this policy because Balloon Fiesta Park's unique status within the built environment contributes to the distinct identity and sense of place in the North I-25 area. The proposed amendments will allow for the development of the stadium, that has been designed to preserve the natural and man-made features of the park while enhancing the east escarpment and the northern side of Gondola Gulch. The area will further be protected and enhanced

because the stadium's development will help address concerns related to the Nazareth Landfill by implementing measures to mitigate landfill gasses in coordination with Environmental Health. The request is consistent with Policy 4.1.3 – Placemaking.

Chapter 5: Land Use

Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The request is consistent with this Goal because the Site Plan and Major Amendment are designed to foster a community where residents can live, work, learn, shop, and socialize together. The introduction of the stadium to Balloon Fiesta Park will amplify opportunities for social engagement and leisure, all while generating new employment possibilities for residents. The stadium's construction and ongoing functions will provide job openings for community members, encompassing roles for construction workers, stadium personnel, and event-related services such as hospitality and concessions. The request is consistent with Goal 5.2 – Complete Communities.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy, sustainable, and distinct community in the North I-25 CPA and its' neighborhoods because the Site Plan and Major Amendment would allow for additional use at BFP, making it easily accessible to nearby neighborhoods. The park is well connected to the City's trail network including the North Diversion Channel. In addition, the subject site is accessible to pedestrians, bicyclists, and transit users nearby via internal trails, sidewalks and a bike route along Alameda Boulevard. The request is generally consistent with Policy 5.2.1 Land Uses.

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would generally enhance the existing park and protect the character of neighborhoods located in an Area of Consistency by thoughtfully siting the stadium within the park and avoiding the placement of incompatible uses. The request is consistent with Policy 5.6.3 – Areas of Consistency.

Chapter 7: Urban Design

Goal 7.3 – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The proposed Site Plan, Landscape Plan, and building elevations, as outlined by the Site Plan – EPC, are guided by the MDP and are consistent with this Goal. The placement of the stadium has been carefully considered and is designed to seamlessly integrate within the escarpment while remaining below the high-voltage power lines. The MDP recognizes the advantages and challenges posed by the escarpment at Balloon Fiesta Park, including erosion issues affecting the park's functionality. Balloon Fiesta Park is an integral part of the North I-25 community, and the introduction of the new stadium, along with associated infrastructure improvements, is focused

on the development and streetscape design that harmonizes with the local context. The request is consistent with Goal 7.3 – Sense of Place.

Policy 7.3.5 – Development Quality: Encourage innovative and high-quality design in all development.

The Site Plan, building elevations, and stadium placement are consistent with this policy because the design is innovative and has high-quality features consistent with the proposed major amendment of the MDP. The stadium’s location has been carefully chosen and is nestled within the escarpment and positioned beneath the high-voltage lines, effectively incorporating the escarpment as a prominent architectural element. The design includes sloped walkways, grassy berm seating, and picnic areas. The request is consistent with Goal 7.3.5 – Development Quality.

Goal 7.5 – Context Sensitive Site Design: Design sites, buildings, and landscape elements to respond to the high desert environment.

The building and landscape plans are consistent with this policy because they are specifically tailored to address the challenges of the high desert climate by incorporating shade features, canopies, and shade trees. The request is consistent with Goal 7.5 – Context Sensitive Design.

Policy 7.5.1 – Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The Landscape Plan, a fundamental element of the Site Plan-EPC and in compliance with the MDP’s recommendations, is consistent with this policy because the designed landscape and plant selection are specifically tailored to thrive in Albuquerque’s high desert climate. The plant palette consists of trees, shrubs, groundcovers, and ornamental plants suited for this environment, contributing to the distinctive ambiance of Balloon Fiesta Park. The request is consistent with Policy 7.5.1 – Landscape Design.

Chapter 10: Parks & Open Space

Goal 10.1 Facilities & Access: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they facilitate the development of a new section within Balloon Fiesta Park to cater to the needs of all residents while responsibly utilizing natural resources. The stadium and its associated improvements are designed for use by people of all ages and occupy an underutilized portion of the Park initially designated for a multi-story parking structure. The Major Amendment will allow for an increase in parking capacity compared to the original MDP as land was acquired to the north for parking purposes, with the Site Plan showcasing a more efficient parking layout in this area. The request is consistent with Goal 10.1 – Facilities & Access.

Policy 10.1.2 Universal Design: Plan, design, program, and maintain parks, Open Space, and recreation facilities for use by people of all age groups and physical abilities.

The Site Plan and Major Amendment to the MDP are consistent with this policy because the stadium and its surrounding improvements have been designed to accommodate to residents of all ages and physical abilities. The Site Plan also features improvements to the Gondola Gulch and

the slope, improving accessibility for both pedestrians and vehicles within the Park. The project includes permanent restrooms that comply with the Americans with Disabilities Act (ADA) standards, ensuring accessibility for all visitors. Furthermore, the parking area to the north has been thoughtfully designed to include ADA, electric vehicle (EV), and motorcycle parking spaces, thereby increasing access and usability for people of all ages and physical abilities. The request is consistent with Policy 10.1.2 – Universal Design.

Goal 10.2 – Parks: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.

The request is consistent with this goal because the Site Plan and MDP Amendment will facilitate the expansion of outdoor activities at Balloon Fiesta Park. While the Stadium’s primary purpose will be to host the New Mexico United soccer games (anticipated 17 annual home games), it is also designed to accommodate a diverse array of activities, including music events, food festivals, and cultural gatherings, all promoting community involvement. The Stadium’s design is adaptable and will cater to various functions at Balloon Fiesta Park. The request is consistent with Goal 10.2 – Parks.

Policy 10.2.1 – Park Types: Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

The request is consistent with this policy because it will allow the City to improve its park system by adding more recreational amenities at Balloon Fiesta Park. The MDP Amendment will increase the park’s size from 358 to 367.5 acres, solidifying its role as a primary regional park facility. The building and site will incorporate ADA design standards to serve the needs of persons of various ages and physical abilities. The request is consistent with Policy 10.2.1 – Park Types.

Goal 10.4 – Coordination: Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public’s need for parks and recreation facilities.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they will efficiently utilize constrained resources to bolster the continued growth of Balloon Fiesta Park and meet the community’s need for parks and recreational amenities. A state-funded capital outlay of \$13.5 million has been allocated to address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park. Additionally, private investments are designated for the construction of the Stadium. The request is consistent with Goal 10.4 – Coordination.

Policy 10.4.3: Co-located Facilities: Maximize opportunities for multi-functional, co-located, and joint use of compatible parks, Open Space, trails, and recreation facilities to best leverage public investment.

State funds have been allocated for capital outlay that will extend and improve the infrastructure at Balloon Fiesta Park to attract significant private investments to support the construction of the Stadium. The request is consistent with this policy because the Site Plan will maximize the opportunities for a multi-functional park that enhances both passive/active recreation and community events. The request is consistent with Policy 10.4.3 – Co-located Facilities.

Chapter 12: Infrastructure, Community Facilities & Services

Goal 12.2 – Community Facilities: Provide communities facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The Site Plan and Major Amendment to the MDP are consistent with this goal because Balloon Fiesta Park benefits from accessible entry via I-25 through Balloon Fiesta Parkway. The proposed stadium, if the Major Amendment to the MDP is approved, will expand the existing array of programs and amenities, catering to a diverse audience of local and statewide residents, encompassing individuals of all ages, cultures, and educational backgrounds. The request is consistent with Goal 12.2 – Community Facilities.

Policy 12.2.3 – New Facilities: Site new facilities in areas with excellent access to provide services to underserved and developing areas.

The request is consistent with this policy because introducing a new facility at Balloon Fiesta Park, will leverage its excellent accessibility via Interstate 25 and Balloon Fiesta Parkway. Balloon Fiesta Park is designed to cater to a substantial number of visitors, and its location offers access to an area that is comparatively underutilized and underserved. The request is consistent with Policy 12.2.3 – New Facilities.

Balloon Fiesta Park Master Development Plan (Rank III)

The Balloon Fiesta Park Master Development Plan received its initial approval from City Council in 1998 and underwent revisions in 2012. The MDP serves as the principal governing document for Balloon Fiesta Park. The most recent amendments to the current MDP occurred in 2014 in connection with the construction of the Sid Cutter Pilot's Pavilion.

The MDP encompasses various key elements, including an Executive Summary, Existing Conditions and Analysis, Preferred Master Plan Concept, Landscape Master Plan, and Design Performance Standards, among others. Nonetheless, it is important to note that the submitted application will exclusively impact the text amendments related to Section 4: Site Plan for Subdivision and Section 6: Design Performance Standards.

Within the original approvals granted by the EPC and City Council, which remain in effect in the current MDP, all “Major Park Elements” as outlined in the MDP, including structures exceeding 10,000 square feet (such as the Large Outdoor Performance Area, Balloon Museum, and Multi-Purpose Center), as well as the Main Street Promenade, necessitate review and approval process by the EPC. Minor elements, such as the Incident Command Center, concession stands, ballfields, maintenance buildings, and similar features, were delegated to the Development Review Board (DRB) for their review and approval.

The Balloon Fiesta Park Master Development Plan is available here:

[BalloonFiestaMasterPlan2012-Update.pdf \(cabq.gov\)](#)

Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)- Site Plan-EPC Review and Decision Criteria

IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC would be approved if it meets all of the following criteria:

- 6-6(J)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies especially in an Area of Consistency because the project will protect and enhance the character of the surrounding area located in the North I-25 Character Protection Overlay Zone (CPO-10).

- 6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Before the adoption of the IDO, the subject site was zoned SU-2 for Balloon Park Museum & Related Uses. The subject site has never been zoned NR-SU or PD. The existing zoning is under the jurisdiction of the established Master Development Plan (MDP), which details the regulations and protocols for proposed development. The MDP encompasses guidelines for the review and approval process by the EPC, specifically for structures exceeding 10,000 square feet.

The existing language within the MDP explicitly prohibits the establishment of an Outdoor Sports Stadium at Balloon Fiesta Park. The Applicants are seeking a modification to the MDP to permit development of an Outdoor Multi-Use Stadium. If the revised master plan is approved, all its terms and conditions will be adhered to.

- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The subject site must comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, including the Balloon Fiesta Park Master Plan.

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The City's existing infrastructure and public improvements have adequate capacity to support the Stadium project, with the exception of the electrical, water, and sewer systems. A state-funded capital outlay of \$13.5 million has been allocated to address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park.

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The future, proposed development would be required to comply with the decisions made by the EPC. The EPC's conditions of approval would improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

The subject property is within the Balloon Fiesta Park Master Development Plan and the Site Plan meets relevant standards in the Balloon Fiesta Park Master Development Plan and applicable standards in the NR-PO-A zone.

- 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

A portion of the subject site falls within the Railroad and Spur Area, the proposed Stadium is not within 1,320 feet of a Residential zone district or a lot containing a residential use in any Mixed-Use zone District. In addition, the Stadium is not within 660 feet of another use as described in Subsection 5-2(E)(1)(c).

III. BALLOON FIESTA PARK MASTER DEVELOPMENT PLAN - MAJOR AMENDMENT

Overview

Pursuant to IDO 14-16-6-4(Z)(3) Amendments of Pre-IDO approvals, Master Plans for City facilities may be amended per the procedures specified in the relevant plan or by the relevant implementing City department.

The Balloon Fiesta Park Master Development Plan serves as the principal governing document for Balloon Fiesta Park. The most recent amendments to the current MDP occurred in 2014 in connection with the construction of the Sid Cutter Pilot's Pavilion.

Within the original approvals granted by the EPC and City Council, which remain in effect in the current MDP, all "Major Park Elements" as outlined in the MDP, including structures exceeding 10,000 square feet (such as the Large Outdoor Performance Area, Balloon Museum, and Multi-Purpose Center), as well as the Main Street Promenade, necessitate review and approval process by the EPC. Minor elements, such as the Incident Command Center, concession stands, ballfields, maintenance buildings, and similar features, were delegated to the Development Review Board (DRB) for their review and approval.

The Parks and Recreation Department is proposing the following amendments to the MDP.

1. Removal of the language that prohibits Outdoor Multi-Use Stadium as a permissive use at the Balloon Fiesta Park.
2. Modification of the MDP and associated Site Plan for Subdivision showing an Outdoor Multi-Use Stadium in the area where a 5-6 story parking structure was allowed by the existing approved MDP. The maximum building height established by the MDP for the 5-6 multi-story parking structure (26 feet above the grade at the east property/line escarpment) remains in place; the proposed maximum height for the Outdoor-Multi Use stadium will comply with this restriction and no change is proposed by City Parks and Recreation.
3. Modification of the lighting standards contained in Section 6: Design Performance Standards to allow for stadium lighting, as follows:

“Outdoor Multi-Use Stadium lighting shall be lower than the existing maximum height of the high voltage power lines east of the Launch Field, which range from approximately 85 to 140 feet, as per the following locations:

- West Side: 100-foot max. or incorporated into a 75-foot roof structure;
 - North side: 80-foot max.
 - East side: 100-foot max.
 - South side: 80-foot max. light poles or integrated into 60-foot tall roof structure.
4. Replacement of the Northeast Outdoor Recreation Area with surface parking (Keyed Note 13 on the Site Plan for Subdivision). The use remains permissive.
 5. Addition of an adjacent tract for BFP parking purposes – approximately 750 spaces – which expands the BFP from 358 to 367.5 acres.

Proposed Text Amendments

Master Plan Layout

Proposed amendments to the layout reflect the proposed Site Plan-EPC for an Outdoor Multi-Use Stadium at Balloon Fiesta Park and associated parking (see section V).

The Balloon Fiesta Park Major Amendment to the Master Plan has numerous text amendments (See Exhibit A for Redline version). These include:

Master Plan Text

Table 1: Proposed Text Amendments – Section 4: Site Plan for Subdivision

Page	Strike	Insert
34	Strike “An outdoor sports stadium is not allowed in Balloon Fiesta Park	Insert: “Outdoor multi-use stadium”
42	Strike: Northeast Outdoor Recreation Area: This area is intended to be used for active recreational uses, including skateboards, bike cross, extreme sports, etc. It is located at the northeast corner of the site to separate noise and traffic from the neighborhoods, and to utilize the earthen berm on the east side for seating. This location also utilizes adjacent parking in an efficient manner and reduces automobile entry into the Park. Field lighting is prohibited by zoning; however, security lighting is acceptable. Development of this area is dependent on	

	improvements to the North Camino Arroyo and removal of the flood plain in this area. Development of the Northeast Outdoor Recreation Area shall require the typical site development plan approval process by the EPC, including the notifications and adjacent landowners.	
47	Strike: Existing Caretaker's Unit: The caretaker's unit is an existing modular structure located north of San Diego Avenue and east of the Bus Depot. The building is owned by AIBF and currently staffed by an AIBF employee. This building should be replaced in the future, and additional landscaping should be placed around the building and at the overlook to the Launch Field.	Insert: Existing Side Cutter Pilots' Pavilion: This building is located at the southeast corner of the Launch Field. This area provides a prominent and visible location for the facility, which includes exhibit space, restroom facilities, and storage areas. A second phase is anticipated to include the kitchen facilities. This building is limited to 18,000 square feet, with a maximum height of 34 feet.
48	Strike: Future Pilots' Landing and Welcome Center: This future building will be located at the southeastern corner of the Launch Field. This area provides a prominent and visible location for the facility, which will include exhibit space, restroom facilities, kitchen, and storage areas. This building shall have a maximum size of 18,000 square feet and a maximum height of 26 feet.	
49		Future Outdoor Multi-Use Stadium: This future building/structure will be located east of the Launch Field and the Vendor Concourse/Main Street Promenade, with the existing escarpment forming its eastern edge and providing a natural sound attenuation. It replaces the 5-6 level parking structure previously envisioned by the Master Development Plan for this area. The building shall have a maximum size of 190,000 square feet and shall sit no greater than 26 feet above the existing grade at the Park's eastern line.
51	In Parking Areas: Strike 8,585 and Strike: City Comprehensive Code	In Parking Areas: Insert 9,025 Insert: Integrated Development Ordinance
51	Parking Areas, Second paragraph: Strike five	Parking Areas, Second paragraph: Insert six
51	Parking Areas #1: Strike Northern and, these two, are, and west of the Northeast Outdoor Recreation Area together. Strike: The eastern parking area would be appropriate for a multi-level structured parking facility (5-6 stories) due to the change in grade at this east edge of the Park. If built, this structure would have a maximum size of 1.5 million square feet and sit no greater than 26 feet above the existing grade at the Park's east property line.	
51		Parking Areas #2: Insert : North Parking Area: This area is north of Balloon Fiesta Parkway and the Launch Field and includes a new 9.5 acre parcel of land

		referred to as the “Kapnison lot” (750 parking spaces). The total capacity of parking spaces within the north parking area is 3,335 spaces.
51	Sumitomo Parking Lot (Nazareth Landfill): Strike: will hold, 1,725 vehicles Strike: The west part of this area is also designated for RV parking during special events.	Sunitomo Parking Lot (Nazareth Landfill): Insert: 1,000 parking spaces.
51	The Museum/Little League Area: Strike: 2,210	The Museum/Little League Area: Insert: 2,755
51	Golf Training Center Area: Strike: 275	Golf Training Center Area: Insert: 385

Master Plan Text

Table 2: Proposed Text Amendments – Section 6: Design Performance Standards

Page	Strike	Insert
75	Parking Areas; Bullet Point #1 Strike: City Comprehensive Zoning Code, Section 14-16-3-1	Parking Areas Bullet Point #1: Insert: Integrated Development Ordinance, Section 4-16-5-5
75	Parking Areas; Bullet Point #2: Strike: City Comprehensive Code, Strike as the Zoning Code requires	Parking Areas; Bullet Point #2: Insert Integrated Development Ordinance, where feasible
75	Parking Areas, Bullet Point #3: Strike: City Comprehensive Zoning Code	Parking Areas, Bullet Point #3: Insert: Integrated Development Ordinance
76	Signage: Wayfinding: Bullet Point #2: Strike City Comprehensive Zoning Code	Signage: Wayfinding: Bullet Point #2: Insert: Integrated Development Ordinance and the Alameda Boulevard Subarea.
76	Signage: Park Entry/Gateway Features: 2 nd paragraph: Strike “This sign is non-conforming due to recent changes in the Comprehensive Zoning Code.	
78	Lighting: Bullet Point #2: Strike “City Comprehensive Zoning Code, Section 14-16-3-9 Area Lighting Regulations”	Lighting: Bullet Point #2: Insert: Integrated Development Ordinance, Section 14-16-5-8, Outdoor and Site Lighting.
79		Lighting: Insert: Outdoor Multi-use Stadium lighting shall be lower than the existing maximum height of the high voltage power lines east of the Launch Field, which ranges from approximately 85 to 140 feet, and per the following locations. <ul style="list-style-type: none"> • West side: 100 foot max, or incorporated into 75 foot roof structure • North side: 80 foot max. • East side: 100 foot max. • South side: 80 foot max., light poles or integrated into 60 foot tall roof structure

80		The sound impact from the Outdoor Multi-use Stadium has been reduced by its location abutting the escarpment on both the eastern and southern sides and the massing of the structure along the west side. A noise study is required to be completed prior to development and mitigation incorporated per the results of the study.
80		Noise Control Criteria: Insert: Outdoor Active Recreation Area: “Outdoor Multi-Use Stadium: The location of the Outdoor Multi-use Stadium adjacent to the escarpment will minimize the sound impact to the neighborhoods. Any amplified sound in this area shall follow time, noise limit, and location standards as stated above.

See redlined pages of the Master Plan (Separate Agenda Item).

Any other significant changes needed in the text and exhibits of the Master Plan to reflect this major amendment will be conditioned to align the plan with current and future programming and community expectations.

IV. SITE PLAN FOR SUBDIVISION

Overview

As noted in the Request on Page 8, the 2012 MDP initially contained a Site Plan for Subdivision, which received approval from the EPC. The Site Plan for Subdivision requires separate approval within the MDP framework, and both the MDP and the Site Plan for Subdivision are interdependent for their respective approvals. The Site Plan for Subdivision reflects the strategic planning process and both physical and administrative changes that have taken place at BFP since 1998.

Given that the MDP must encompass all components essential to a site plan for subdivision, encompassing design criteria for structures, landscaping, lighting, and signage, the procedure for this update will involve amending the Site Plan for Subdivision. The update includes all the textual revisions, impacting solely two sections for the MDP: Section 4, which deals with the Site Plan for Subdivision, and Section 6, which focuses on Design Performance Standards.

In addition to the revised textual content, the update incorporates site plan for subdivision sheets that show the location of existing and proposed developments within Balloon Fiesta Park. The updated sheets include a Site Plan Illustrative, a Site Plan for Subdivision Amendment, a Landscape Master Plan Major Amendment, and a Fencing Plan.

The updates include:

1. Modifying the Site Plan for Subdivision to include the Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP.
2. Modifying the light standards as outlined in Section 6: Design Performance Standards.
3. Replacing the Northeast Outdoor Recreation Area with surface parking.
4. Introducing an additional adjacent tract for Balloon Fiesta Park’s parking needs, facilitating the creation of 750 more parking spaces and expanding the park’s total acreage from 358 acres to 367.5 acres.

Modifying the MDP would facilitate development of the Outdoor Multi-Use stadium while adhering to the specified land use criteria on page 36 and design goals on page 37 in the Site Plan for Subdivision.

- Locating areas of intensive use in locations of existing ambient noise and/or sound absorbing site features to mitigate sound impacts to neighborhoods.
- Buffer the surrounding neighborhoods on the west and east with natural landscape, trees, multi-use trails and Park uses.
- Locate parking areas adjacent to intensive use areas and removed from neighborhoods.
- Locate activities to minimize traffic within the Park.
- Develop an economic strategy to supplement operating costs for the Park.
- Explore sensitive design and technical solutions to protect residential neighborhoods and the environment from adverse impacts.
- Comply with the City's Water Conservation Landscaping and Waste Water Ordinance.

V. SITE PLAN – EPC

A. Site Plan Layout/Configuration

This proposed site plan is for an approximately 7-acre portion of Balloon Fiesta Park (BFP) which would facilitate development of a 225' x 360' Outdoor Multi-Use Stadium, along with an associated parking facility, and site improvements. The footprint of the multi-use stadium structure is approximately 185,000 square feet, stadium capacity will be 11,000 (9,600 seating and drink rail capacity/1400 berm seating and standing room capacity). The proposed Site Plan-EPC, Master Development Plan-Major Amendment, and Site Plan for Subdivision are inter-related and mutually supportive.

The proposed stadium is located on the northeastern side of Balloon Fiesta Park, to the south of Balloon Fiesta Parkway. To the north of the stadium, is the East Parking Lot, and there is a grassy berm picnic area located to the east of the proposed parking lot. Adjacent to the stadium's east side, there is a grass-bermed seating area featuring sloped concrete paving. New landscaping surrounds the Stadium and is located throughout the parking lot.

Phasing

The south roof canopy and food hall will be constructed as part of a future phase based on availability of funding. The future phase Food Hall is 33,000 SF, which is included within the overall building area of 185,500 SF listed on Sheet 1. General Notes have been added to Sheet 1 to explain phasing and annotations indicating phasing of food hall and south roof canopy have been added to the Sheet 1 Site Plan and Sheet 9 and Sheet 10 Elevations.

The site plan and related drawings were revised based on Staff Comments and were received on November 1, 2023. The decision-making body may impose conditions necessary to ensure compliance with the development standards of the IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(J). Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Pedestrian, Bicycle and Transit Access

Proposed Access & Connectivity Standards: The proposed development standards for access and connectivity are pursuant to IDO 14-16-5-3(C) General Access and Circulation and 15-16-5-3(D) Pedestrian Circulation and follows the MDP design standards.

New sidewalks are proposed around the perimeter of the East parking lot and Multi-Use Stadium. There is an 8'-0" sidewalk along Magic Avenue with textured concrete paving for pedestrian circulation within the parking lot as per IDO 14-16-5-3(D)(3)(c) Materials to Alert Motorists. Keyed Note #20 – reveals accessible public circulation rampway. The pedestrian path connects top of the escarpment to the Launch Field level along Magic Avenue. ADA Ramps are at 1:12 maximum. Ramp widths are 6'-9".

Vehicular Access, Circulation and Parking

The proposed Site Plan is pursuant to IDO 14-16-5-5 Parking and Loading and is consistent with the MDP development standards.

Entrance to the parking lot is achieved via Balloon Fiesta Parkway, as illustrated in the site plan, featuring two vehicle entry gates and one pedestrian gate. Furthermore, various pedestrian gates are placed throughout the site.

To the east, there is a vehicular access gate granting access to Gondola Gulch (Keyed Note #2), and a small vehicle access gate has been designated for food truck entry from Gondola Gulch, leading to the South Roof Canopy.

The 2023 MDP Update proposes six major designated parking areas as opposed to the 2012 update that had five. The East Parking Lot will have 1,209 parking spaces.

An inconsistency has been identified on the Site Plan (Sheet 1), where it indicates 1,209 parking spaces, whereas the parking calculation table on the East Lot lists 1,175 parking spaces. To address this, a condition of approval will be incorporated.

Stadium design spectator capacity: 11,000
(9,600 seating and drink rail capacity and 1400 berm seating and standing room capacity).

Per IDO: 1 parking space per 4 seats (11,000/4 – 2,750)

Provided spaces: 2,750
1,209 spaces in the east lot
1,000 spaces on top of escarpment at Sumitomo lot
600 spaces within the north lot.

Required accessible parking: 38 Provided Accessible Parking: 40
Required motorcycle parking: 12 Provided Motorcycle Parking: 12
Required bicycle parking: 275 Provided Bicycle Parking: 275

There are a total 3,335 parking spaces within the north lot and additional spaces for stadium parking that can be accommodated in this area as needed. The 600 spaces listed within the north lot are those spaces immediately adjacent to Balloon Fiesta Parkway. There are a total of 9,025 spaces available

within Balloon Fiesta Park Overall. All ADA accessible parking spaces shall be 9' wide 20' deep, with a 5' wide access aisle and 8' wide van accessible aisles.

Required electric vehicle parking: 138 Provided electric vehicle parking: 138

There are zero electric vehicle spaces in the park currently. The total number of required electric vehicle parking spaces will be distributed throughout the entirety of the park, a minimum of 30 EV spaces will be located within the East lot.

There is an 8'-0" sidewalk along Magic Avenue with textured concrete paving for pedestrian circulation within the parking lot. Keyed Note #20 – reveals accessible public circulation rampway. The pedestrian path connects top of the escarpment to the Launch Field level along Magic Avenue. ADA Ramps are at 1:12 maximum. Ramp widths are 6'-9" wide.

Landscaping, Buffering and Screening

Landscaping complies with IDO Section 14-16-5-6(D) Landscaping, Buffering, and Screening.

The Landscape Plan includes the proposed location and type of trees and ground cover being provided. A fully automated irrigation system will be used to irrigate the trees, shrubs and groundcover and will include required backflow prevention and a smart controller. Maintenance of all planting and irrigation, including those within the public right-of-way shall be the responsibility of the property owner.

Landscape Calculations:

Landscape Area Coverage

Total Site Area:	905,000 SF
Building Area:	185,500 SF
Net Area:	719,500 SF

Required Landscape Area (15% of Net Area):	107,925 SF
Provided Landscape Area:	108,675 SF

Landscape Live Vegetative Coverage

Required live vegetative material coverage:	81,506 SF
Provided live vegetative material coverage:	200,624 SF
Required ground-level plant coverage:	20,377 SF
Provided ground-level plant coverage:	21,931 SF

The applicant has not included any turf grass areas, in accordance with requirements, no more than 10% of the landscape areas may consist of cool season turf grass that necessitates irrigation.

Parking Lot Trees:

Parking lot tree requirements are based upon 1 tree per 10 off-street spaces.

The total parking spaces should coincide with the amount of parking spaces on the Site Plan (Sheet 1).

An inconsistency has been identified on the Site Plan (Sheet 1) and the Landscape Plan. To address this, a condition of approval will be incorporated.

Planter beds made of crusher fine material are proposed for placement along the western and northern boundaries of the stadium.

Walls and Fences

New 8'-0" high, site fencing will be set up encircling the stadium, with the current chain link fencing being taken down and replaced along Magic Avenue and certain sections along Balloon Fiesta Parkway. The new fencing will be composed of galvanized or coated heavy-duty wire mesh panels.

Around the stadium's perimeter, the 8'-0" high fence will be a mix of wire mesh and perforated metal panels. The color scheme will encompass varying shades of medium to dark gray, with artistic color accents applied to specific sections of the fencing panels.

The walls and fences adhere to the design principles of Crime Prevention Through Environmental Design (CPTED) and address feedback received from the Police Department. The fencing complies with the MDP.

Building Design & Architecture

Building Design Standards are consistent with the MDP, IDO section 14-16-5-11 Building Design and the NR-PO-A zone district.

The applicant has submitted architectural drawings for the development, outlining details such as heights, color schemes, and materials (see attachments). The stadium seating will consist of aluminum grandstand structures with integrated seating in the colors grey, black, and yellow. The standing seam metal roof system will feature a 1-inch per foot slope away from the seating area to facilitate proper drainage.

The Building & Structure Elevations indicate the following:

- The finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.
- Top of the West Roof is at 75'-0".
- FF Press Level: 54'-5"
- FF Club Level 39'-4"
- FF Concourse Level: 25'-0"
- FF Administration Level: 11'-8"

Signage

New building mounted signage is proposed for the Stadium. Signage complies with the approved MDP design standards and do not exceed 20% of the façade to which they are applied. The signage will be back lit or lit with accent lighting or internal lighting, but shall not direct any excessive light projecting outward in the direction of any neighborhoods.

Sign #1, labeled “*New Mexico United*,” will consist of a 12-inch deep aluminum frame housing an LED-backlit translucent acrylic logo made from black and translucent yellow acrylic. The signs dimension will be 16’-6” x 13’-0” as detailed in Architectural Details on Sheet 11.

Sign #2, labeled “*Somos Unidos*,” will consist of LED-backlit die cut aluminum letters with an anodized aluminum finish as detailed in Architectural Details on Sheet 11.

Lighting

Temporary light poles will remain in use within the East parking lot to accommodate the diverse year-round activities held there and address safety concerns related to any potential incidents involving balloons landing in the East lot.

In accordance with the MDP, Operations & Management Section, the maximum allowable height for parking lot poles is 20 feet. These light fixtures must incorporate full cutoff shields for proper illumination control.

Stadium Lighting

Stadium lighting is proposed with the following heights:

- West Side: 100-foot max. or incorporated into a 75-foot roof structure;
- North side: 80-foot max.
- East side: 100-foot max.
- South side: 80-foot max. light poles or integrated into 60-foot tall roof structure.

Stadium lighting details have been provided (Architectural Details – Sheet 11). Upon approval of the MDP text amendments, the stadium lighting will be in compliance with MDP standards.

Bollard lighting will be installed that will be firmly secured in a concrete foundation. The bollards will be crafted from robust die-cast aluminum with an anodized finish. The LED light source will be protected by a transparent acrylic cover. Each bollard light will stand at a height of 3’-6” (Architectural Details – Sheet 11).

Grading & Drainage Plan

Portions of the project limits fall within a Special Flood Hazard Area (Flood Zone AO). Pursuant to IDO 14-16-5-2(C) Site Design to Avoid Sensitive Land, a site analysis shall be included with application for subdivision or Site Plan, which the applicant has provided (see attachments).

Pursuant to 14-16-5-4(J)(4) Grading in Floodplains, grading in a Special Flood Hazard Area without an approved drainage report and financial guarantees for the permanent improvements is prohibited. A Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future.

Utility Plan

The applicant provided a Master Utility Plan showing any existing overhead utilities, sanitary sewer lines, meter lines, and storm sewer lines.

VI. IDO 14-16-5-2 SITE DESIGN & SENSITIVE LANDS

Pursuant to IDO Section 14-16-5-2(C)(1) both the subdivision and site design process shall begin with an analysis of site constraints related to sensitive lands. The site analysis shall be included with applications for Subdivision or Site Plan. The site analysis shall be reviewed by relevant staff from

Hydrology, Parks and Recreation, Historic Preservation, the City Forrester, and/or the City Archaeologist, depending on the type(s) of sensitive lands on the site.

To the maximum extent practicable, new subdivisions of land and site design shall avoid locating development, except for open spaces and areas that would not be disturbed during the development process.

The applicant coordinated with Associate Director Jolene Wolfley to discuss the need for a Sensitive Lands Analysis for the proposed development. It was concluded that the sensitive lands analysis (IDO 14-16-5-2) would only be necessary for the eastern escarpment. This decision was based on the understanding that a comprehensive site review was not required, given that the 7-acre area had previously been graded and utilized as a parking lot (see attachments).

The following is a summary of the Sensitive Lands Analysis for Balloon Fiesta Park:

The East End Escarpment at Balloon Fiesta Park has been a long-standing challenge for City Parks and Recreation due to continuous erosion, impacting the park's functionality, accessibility, and visitor experience. The Site Plan-EPC aims to address these issues by implementing several key improvements:

1. Perimeter Vicinity of the Stadium: Along the east and south edges of the Multi-Use Stadium, where the seating bowl meets the existing escarpment, there will be slope stabilization, minor regrading, and retaining work. These efforts will enhance the escarpment's condition, ensuring long-term viability and safe public access. Planted berms, sidewalks, occupiable terraces, and accessible ramps will be constructed, creating safe and assessable walking paths connecting visitors from the top of the escarpment down to the field level.
2. Gondola Gulch: The existing Gondola Gulch roadway is in poor condition, and the uphill slope connecting it to the top of President's Compound is failing. The project involves removing, regrading, and repaving Gondola gulch in a slightly realigned position. This realignment will reduce the slope angle and improve stability. To prevent stormwater infiltration from on-site and off-site runoff, surface measures such as geotextiles and rock mulch will be employed.
3. Edge of the East Parking Lot: Along the east edge of the improved east end parking lot, retaining and stabilization improvements will be made. Without these measures, erosion and sediment transport will persist. A pedestrian access pathway from the top of the escarpment to the parking lot will be introduced to interrupt slope lengths and divert flows away from the parking lot. Surface stabilization measures, including geotextiles, rock mulch, and minor slope contouring, will be considered to prevent sediment transport.

Furthermore, the Applicant included as part of the application, an Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)(1), which mandates the approval of an Archaeological Certificate of No Effect or Certificate of Approval before granting preliminary plat, Site Plan, or Master Development Plan approval for projects exceeding 5 acres. The Certificate of No Effect was signed by the Acting City Archaeologist on September 19, 2023. It was noted that the property was completely bladed clear in 1991 with a small portion surveyed under NMCRI 138331. Therefore, a Certificate of No Effect was issued under IDO Section 14-16-6-5(A)(3)(a), Criterion 2, "The property has been disturbed through previous land use" (see attachments).

VII. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

City departments and other interested agencies reviewed this application. Few but notable agency comments were received. Agency Comments received were based upon the initial application submittal on October 17, 2023.

Long Range Planning provided the following comments: This is a 3-part request for a Major Amendment to the approximately 358-acre Balloon Fiesta Park (BFP) Master Development Plan, an associated Site Plan for Subdivision, and a Site Development Plan-EPC for the purpose of allowing an Outdoor Multi-Use Stadium on 7-acres within BFP located north of the balloon launch field. If approved, the BFP acreage would increase to approximately 368 acres. Per IDO Table 6-1-1, a request for a Site Plan – EPC is considered quasi-judicial.

The subject site is zoned NR-PO-A (Non-Residential – Park and Open Space District) and is designated as an Area of Consistency in the City’s Comprehensive Plan. The approved BFP Master Development Plan is the controlling document for development, management, and operations on the subject site and currently prohibits an Outdoor Sports Stadium.

The area for the proposed stadium is within the Nazareth Landfill Buffer Area and therefore is also required to conform to the requirements of IDO Subsection 14-16-5-2(H) to follow the Environmental Health Department’s “Interim Guidelines for Development within City Designated Landfill Buffer Zones” and Landfill Gas Mitigation Approval pursuant to IDO Subsection 14-16-6-4(S)(5).

EPC should carefully consider agency comments to coordinate infrastructure that will be required to handle large crowds on a more regular basis, particularly any transportation improvements or water/sewer upgrades.

Additionally, the unincorporated land directly north of the subject site is owned by the Pueblo of Sandia and the Federal Bureau of Indian Affairs. Land directly west of the subject site is within the Village of Los Ranchos. EPC should carefully consider comments from these entities to coordinate improvements and mitigate any potential negative impacts to the surrounding areas.

Environmental Services Division had no comments. No concerns have been raised the project. The proposed mitigations by the landfill gas engineer align with successful projects and are consistent with the civil and architecture plans provided by the civil engineer and architects for the project. The final design and installation of landfill gas mitigations will be carried out as specified in the EPC packet. The conditional EPC approval, in relation to landfill gas mitigation concerns, is considered a reasonable approach for the development of this site.

The Solid Waste Department noted: A site plan approved for access by the Solid Waste Department will be required. The trash enclosure must meet COA minimum requirements, which can be at: <https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordsfont14.pdf>

The Transportation Department supplied general information regarding bus routes and stops in proximity to the subject location. They additionally mentioned that the development would provide better multi-modal access to transit service and the larger area if a sidewalk along San Diego was

provided across Tract A to connect to the existing sidewalk on the north side of San Diego Avenue, as well as providing an accessible route between the stadium and San Diego Avenue. This would allow access for pedestrians, bicyclists, and transit users to more safely access this new destination. See IDO Sections 5-3(D)(2)(b) and 5-3(D)(3)(b).

AMAFCA provided comments which state that it does not have any adverse comments to the Site Plan-EPC or the Master Development Plans. The comments listed below They also expressed, “Below are comments that should be addressed/acknowledged as the project moves towards building permit and public work order plan sets.”

- AMAFCA will require review of the building permit and public work order plans for the project due to the connection into the existing on-site storm drain that connects into AMAFCA’s North Diversion Channel.
- The 2012 Update to the Balloon Fiesta Park MDP indicated that a Letter of Map Revision (LOMR) would be submitted to FEMA for the existing flood zones encumbering the site when drainage improvements were constructed. The current FEMA floodplains (Zones AO with a depth of 1 and 2 feet) impacted by the proposed multi-use stadium and its appurtenances does not reflect the current flood risk due to the 78” outfall pipe and culvert crossing under Balloon Fiesta Parkway. A LOMR should be completed to revise/remove this floodplain to reflect the current flood risk.
- Revised Site Plan – “Diversion” is spelled wrong for the AMAFCA North Diversion Channel.
- Full Site Development Plan – the modular two-story parking structure shown north of the proposed multi-use stadium appears to have the incorrect key note (61, should be 60).
- The new north parking area (referred to as Kapnison Parking Area) uses an access path that crosses the North Camino Arroyo, an active arroyo that drains a large upstream watershed east of I-25. AMAFCA strongly recommends that improvements are made to this access location to: 1) prevent potential degradation of the unimproved arroyo due to vehicular traffic; and 2) mitigate the risk of potential flood danger of having vehicles/pedestrians cross an arroyo.

MRMPO did not issue any adverse comments; instead, they provided information for “informational purposes”.

Appendix G of Connections 2040 MTP recommends the following as it relates to the subject request.

- Adopt parking management strategies to decrease parking requirements in activity centers and redevelopment areas and increase parking costs in high demand locations.
- Adopt/update land use policies and building and site development design standards that promote walkability.
- Combine land redevelopment with enhancements to existing transportation facilities to better incorporate bicyclists and pedestrians.
- Fill in gaps in the bicycle and pedestrian networks, first targeting improvements near activity centers, schools, and parks.
- Improve access to and within activity centers and transit corridors.
- Improve coordination between transit providers.
- Improve the user experience for cyclists, pedestrians, and transit riders with thoughtful connections and design.

Neighborhood/Public

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The applicant duly informed the Wildflower Neighborhood Association, Alameda North Valley Neighborhood Association, the District 4 Coalition, and property owners within 100 feet of the subject site as, required. The Applicant's agent provided the aforementioned associations with the conceptual site plan, building elevations, and a perspective along with the notification (see attachments). District 4 responded to the notification, leading to a facilitated meeting held on September 9, 2023.

The community raised various issues, including heightened traffic, noise and lighting, funding concerns, and reservations about the pre-application meeting notification. These concerns and questions were duly acknowledged and addressed. Although a number of speakers, expressed their enthusiasm for the stadium, there were no explicit opposing comments (see attachments).

Additional Neighborhood Meeting

On October 22, 2023, a meeting took place with three Project Team members in attendance, namely Matt Proctor from the Improve Group, and Ron Patel and David Wiese-Carl from NM United. This meeting was organized by residents of the North Alameda neighborhood and included representatives from the Wildflower neighborhood and other nearby areas. Approximately 30 people attended the meeting.

The primary presenters at the meeting were Pat Houser and Larry Taylor, who represented the Maria Diers neighborhood. Following their presentations, the Project Team members were available to answer questions from the attendees. The questions largely revolved around topics such as traffic, lighting, sound, and comments regarding engagement with the City (see attachments).

Wildflower Neighborhood Association Meeting – November 2, 2023

An additional meeting was held with the Wildflower Neighborhood Association to discuss the proposed major amendment to the Balloon Fiesta Master Development Plan/Site Plan for Subdivision and Site Plan-EPC for the proposed multi-use stadium. During the meeting, members of the project team presented information related to the proposed developments including how the stadium's design has considered mitigating noise and light issues and information was shared about noise, sound, and traffic studies. The meeting included a question-and-answer period where attendees had the opportunity to ask questions and seek clarification on the presented information.

Overall, the meeting served as a platform for the Wildflower Neighborhood Association to engage with the Project Team, understand the proposed developments, and express their concerns and inquiries regarding the Balloon Fiesta Park Master Development Plan Amendment and multi-use stadium plans.

Neighborhood/Public Summary:

Letters of Opposition

The neighborhood, situated to the south of Alameda Boulevard, expresses multiple concerns regarding the proposed development. These residents believe that the plan supports the construction of an outdoor sports stadium, which will lead to an increase in annual events, including United home

games and City-sponsored activities. Furthermore, there are worries about heightened traffic, a lack of access to lighting and noise attenuation studies for the general public, and a perceived lack of transparency in amending the Balloon Fiesta Park Master Development Plan. Some individuals are also apprehensive about the use of public property for a profit-driven venture. Maria Diers NA, Sun North Estates, District 4 Coalition of Neighborhood Associations, and the Alameda North Valley Association are among the neighborhood associations opposing the request. The letters are included in the Letters of Opposition section of the report packet (see attachments).

Letters of Support

Several emails were received endorsing the application. Many enthusiastic proponents firmly believe that the forthcoming update to the Master Development Plan, enabling the construction of a new stadium for New Mexico United, marks a momentous occasion for the city. They have underscored the deep-rooted connection between United and the community, emphasizing the team's positive influence on the community, especially in nurturing children's development while instilling a sense of pride in their New Mexican identity.

The letters articulate the perspective that the New Mexico United soccer stadium symbolizes an investment in the state's future. They foresee the stadium fostering a sense of unity, showcasing unwavering commitment to our local sports teams, and serving as an inspiration for the young generation in our communities. The letters are included in the Letters of Support section of the report packet (see attachments).

Additional Studies/Investigations/Meetings

Nazareth Landfill Gas Assessment Report

NV5, Inc. (NV5) conducted the Nazareth Landfill Gas Assessment Report on behalf of Bohannon Huston, Inc. for the proposed stadium facility at Balloon Fiesta Park (see attachments).

Conclusions: Soil-gas analytical results from samples collected on October 18, 2023, do not exceed the NMED's Vapor Intrusion Screening Levels for industrial setting (NMED, 2022). No further investigation is warranted at this location based on the results of this sampling event.

Recommendations: If there is a concern that higher levels of LFGs may appear in the future, active or passive vent wells could be installed along Gondola Gulch Road. These wells could be integrated into the slope stabilization features or landscaping. If during construction, sulfur or organic vapors are encountered, then work should stop until onsite field screening of LFG is conducted in the area. Work would be able to resume, once screen levels have verified that it is safe to do so.

Noise Impact Analysis

A noise impact analysis was prepared by Anthony James Partners (AJP). The study involved the examination of acoustical models generated by AJP, which were based on GPS topographical information and three-dimensional architectural models of the new facility. Predicted outcomes were formulated by combining the data with the stadium loudspeaker specifications and typical background noise information associated with open-air sports stadiums of similar capacity. The primary purpose of the document is to provide a guidance framework for the client to navigate the process of

developing a purposefully designed stadium solution while taking into account the potential environmental noise impact on nearby communities (see attachments).

In summary, the acoustical model's findings four sound emissions from the proposed stadium location align with expectations. The relatively flat terrain and absence of significant tall barriers facilitate the spread of sound waves originating within the stadium during event.

According to the predictions, the amplified sound within the stadium will remain within the limits set by noise ordinance regulations between 7:00 am and 10:00 pm.

It must be considered that typical traffic noise from nearby interstate highways fall within the range of 75 to 80 dBA at distance of 50 to 60 feet.

The primary source of sound radiating from the stadium is pre-programmed audio-tracks, such as hype music, routinely played through the stadium's sound systems during sporting events. This source, combined with varying crowd noise, encompasses a full spectrum of audio and will be the main contributor to sound emissions from the stadium.

The degree of control over program material can be adjusted through a well-designed sound system to ensure compliance with the limits stipulated by the City Noise Ordinance.

Five recommendations were provided, which encompassed actions like installing a canopy above the stadium's southern seating section and adjusting the audio system's output to reach 90 dBA (see attachments).

Lighting Analysis

The Improve Group requested Musco Lighting, LLC to prepare a lighting analysis for the New Mexico United USL Stadium. The report finds that, "after examining the 3D model of the site, Musco determined that an effective design can be achieved utilizing the West and South structures in addition to installing poles on the North and East sides of the field. The design aligns with the USL Lighting Standards and also takes measures to reduce light pollution in the surrounding neighborhoods. This is accomplished by employing fixtures with external glare shielding and internal optics". Musco provided has provided calculations to demonstrate the expected spill of light, and they are confident that the majority of the light will remain within the stadium boundaries. Furthermore, the combination of the canopy on the West side and the positive grade elevation on the East Side will contribute to minimizing light spillage (see attachments).

Governor's Commission on Disability

The meeting included Dave Simon (Director, Parks and Recreation Department), Jared Winchester (Project Architect), and several members of the Governor's Commission on Disability (Stan Ross (Director), Lisa McNiven (Deputy Director), Jeminie Shell (Disability Specialist), and another staff member.

The meeting was organized to provide an overview of the project, entitlement processes, and specific design elements relevant to individuals with disabilities. One of the primary objectives of the project is to prioritize inclusivity and enhance the accessibility to a greater extent than the current provisions at Balloon Fiesta Park and the proposed multi-use stadium. The project architect provided insights

into the stadium's internal accessibility features and the creation of accessible pathways around the stadium perimeter that connect the upper and lower parts of the escarpment. The discussion covered parking areas and the location of accessible parking spaces.

The meeting summary notes that the group responded favorably to the design approach concerning the accessibility and site layout. They made a request for the design team to take into account additional features, including designated areas for those with service animals, sensory rooms for individuals on the autism spectrum, and adult changing facilities integrated into the restroom structures. Members of the Governor's Commission on Disability expressed their desire to reconvene as the design progresses, allowing them to offer additional input (see attachments).

VIII. CONCLUSION

The request comprises three components: 1) A Major Amendment to the 2012 Balloon Fiesta Park Master Development Plan (MDP), enabling the addition of a Multi-Use Stadium; 2) A Site Plan for Subdivision – the 2012 MDP originally included a Site Plan for Subdivision, which was approved by the EPC. This Site Plan for Subdivision necessitates separate approval from the MDP, and both the MDP and Site Plan for Subdivision are interdependent for approval; 3) A Site Plan – EPC designated to facilitate the development of the Multi-Use Stadium and additional parking on 7-acres north of the launch field thereby increasing BFP acreage to approximately 367.5 acres.

The City's Parks and Recreation Department holds the responsibility of overseeing the development, as well as the management and operations at Balloon Fiesta Park, as defined by in the Master Development Plan (MDP). The MDP, originally approved by City Council in 1998, serves as the primary governing document for Balloon Fiesta Park.

The Parks and Recreation Department is proposing the following changes to the MDP:

1. Eliminating the language that currently prohibits the use of an Outdoor Multi-Use Stadium at Balloon Fiesta Park.
2. Modifying the MDP and the associated Site Plan for Subdivision to include an Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP.
3. Modifying the light standards as outlined in Section 6: Design Performance Standards to allow for stadium lighting.
4. Replacing the Northeast Outdoor Recreation Area with surface parking, while retaining its permissive use status.
5. Introducing an additional adjacent tract for Balloon Fiesta Park's parking needs, facilitating the creation of 750 more parking spaces and expanding the park's total acreage from 358 acres to 367.5 acres.

The update to the MDP is handled as if it were an amendment to a site development plan for subdivision. There are two updated sections to the MDP: Site Plan for Subdivision and Design Performance Standards. The 2012 Balloon Fiesta Park Master Development Plan will incorporate these new sections.

In addition to the revised textual content, the update incorporates site plan for subdivision sheets that show the location of existing and proposed developments within Balloon Fiesta Park. The updated sheets include a Site Plan Illustrative, a Site Plan for Subdivision Amendment, a Landscape Master Plan – Major Amendment, and a Fencing Plan.

Wildflower Neighborhood Association, Alameda North Valley Neighborhood Association, the District 4 Coalition, and property owners within 100 feet of the subject site as, required.

The subject site is zoned NR-PO-A (Non-residential – Parks & Open Space, City-Owned or Managed Park). It is located in an Area of Consistency and within the North I-25 Character Protection Overlay Zone (CPO-10).

The request is generally consistent with applicable Comprehensive Plan goals and Policies. Staff has crafted conditions of approval to create compliance with applicable IDO standards and to provide internal consistency in the Balloon Fiesta Master Development Plan, and provide clarity for the future.

As of this writing, Staff has received several letters of support and opposition to the request (see attachments).

Staff recommends approval.

FINDINGS – PR-2023-009363, SI-2023-01635, Major Amendment to the Balloon Fiesta Park Master Development Plan (MDP)/Site Plan for Subdivision

1. The request is for text amendments to the Balloon Fiesta Park (BFP) Master Development Plan (MDP) enabling the addition of a Multi-Use Stadium and a Site Plan for Subdivision. The 2012 MDP originally included a Site Plan for Subdivision, which was approved by the EPC. This Site Plan for Subdivision necessitates separate approval from the MDP, and both the MDP and Site Plan for Subdivision are interdependent for approval. The site is legally described as all or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A, Plat of Tracts A-1 through H-1, I-1A & I-2-A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, T11N, R3E, a/k/a Tracts F & G, Heirs of Filiberto Gurule Tract, between Paseo del Norte NE and Roy Avenue NE (the “subject site”).
2. The subject site is zoned NR-PO-A (Non-Residential Park and Open Space, city owned or managed Park Zone District), a zoning designation received upon adoption of the IDO. The subject site was formerly zoned SU-2 for Balloon Park Museum & Related Uses.
3. The EPC is hearing the request because, as per the Integrated Development Ordinance (IDO), all pre-IDO MDS on City-owned properties must follow the amendment process identified in IDO 14-16-6-4(Z)(3).
4. The City’s Parks and Recreation Department holds the responsibility of overseeing the development as well as the management and operations at Balloon Fiesta Park, as defined by the Master Development Plan (MDP). The MDP, originally approved by City Council in 1998, serves as the primary governing document for Balloon Fiesta Park.
5. The applicant wishes amend the Balloon Fiesta MDP: to 1) eliminate the language that currently prohibits the use of an Outdoor Multi-Use Stadium; 2) Modifying the MDP and the associated Site Plan for Subdivision to include the Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP; 3) Modifying the light standards as outlined in Section 6: Design Performance Standards to allow for stadium lighting; 4) Replacing the Northeast Outdoor recreation Area with surface parking; 5) introducing an additional adjacent tract for Balloon Fiesta’s parking needs, facilitating the creation of 750 more parking spaces and expanding the park’s total acreage from 358 acres to 367.5 acres
6. Upon receiving approval of this request, the applicant would be required to update the Master Plan layout with all previous administrative amendments to create consistency and reflect the current and future BFP MDP programming
7. The subject site is located in an Area of Consistency and is in the North I-25 Community Planning Area (CPA). Alameda Boulevard is a designated Commuter Corridor as designated in the Comprehensive Plan. The Little League section of BFP and the parking area at the Old Balloon Launch Field are within the boundaries of the Alameda Boulevard Design Overlay. Character Zones 1, 2, and 3 are under Bernalillo County’s jurisdiction, while the majority of Character Zone 4 is situated within the City of Albuquerque.

8. The Albuquerque/Bernalillo County Comprehensive Plan, the Balloon Fiesta Park Master Development Plan, and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Character from Chapter 4: Community Identity.

A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities

The subject site is located in an Area of Consistency, and the proposed request is consistent with the goal of enhancing, protecting, and preserving the distinct character of the community. This consistency is achieved by establishing the Multi-Use Stadium within the existing Balloon Fiesta Park, in line with the objectives outlined in the Master Development Plan. Balloon Fiesta Park is a vital part of the North I-25 community, and the introduction of a new stadium, along with associated infrastructure improvements, aims to enhance, protect, and preserve this distinct community by offering an additional use/amenity that caters to the preferences of both local and statewide residents.

B. Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

The request would facilitate quality development that is consistent with the distinct character of the community because the proposed site plan is required to follow MDP design standards. The stadium's design, as depicted in the Site Plan, exemplifies high-quality development that matches the unique character of the North I-25 community. The layout adheres to the Balloon Fiesta Park Master Development Plan initially created in 1998 and updated in 2012. The amendments to the MDP will outline the desired development quality for this regional park facility that hosts the state's signature event while providing a range of indoor and outdoor recreational and cultural activities for residents, statewide residents, and visitors.

C. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would generally protect the identity and cohesiveness of neighborhoods nearby by ensuring the appropriate scale and location of development, mix of uses, and character of building design within the existing Balloon Fiesta Park. The scale and intensity of use shown on the Site Plan, Landscape Plan, and building elevations have been designed to reflect and improve existing site conditions while implementing the vision of the MDP. The stadium's height is less than the maximum height of 26 feet above the east property line/escarpment allowed by the MDP, which will further protect the identity and cohesiveness of nearby neighborhoods. While the Balloon Museum reaches a height of 75 feet, the proposed stadium, like the Golf Training Center and Sid Cutter Pilot's Pavilion, was designed to harmonize with the area's character.

D. Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request is consistent with this policy because Balloon Fiesta Park's unique status within the built environment contributes to the distinct identity and sense of place in the North I-25 area. The proposed amendments will allow for the development of the stadium, that has been designed to preserve the natural and man-made features of the park while enhancing the east escarpment and the northern side of Gondola Gulch. The area will further be protected and enhanced because the stadium's development will help address concerns related to the Nazareth Landfill by implementing measures to mitigate landfill gasses in coordination with Environmental Health.

10. The request is consistent with the following Comprehensive Plan Goals and Policies regarding land use and Areas of Consistency from Chapter 5: Land Use.

- A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, earn, shop, and play together. r and needs.

The request is consistent with this Goal because the Site Plan and Major Amendment are designed to foster a community where residents can live, work, learn, shop, and socialize together. The introduction of the stadium to Balloon Fiesta Park will amplify opportunities for social engagement and leisure, all while generating new employment possibilities for residents. The stadium's construction and ongoing functions will provide job openings for community members, encompassing roles for construction workers, stadium personnel, and event-related services such as hospitality and concessions.

- B. Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy, sustainable, and distinct community in the North I-25 CPA and its' neighborhoods because the Site Plan and Major Amendment would allow for additional use at BFP, making it easily accessible to nearby neighborhoods. The park is well connected to the City's trail network including the North Diversion Channel. In addition, the subject site is accessible to pedestrians, bicyclists, and transit users nearby via internal trails, sidewalks and a bike route along Alameda Boulevard.

- C. Policy 5.6.3 – Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would generally enhance the existing park and protect the character of neighborhoods located in an Area of Consistency by thoughtfully siting the stadium within the park and avoiding the placement of incompatible uses.

11. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Development Quality and Context from Chapter 7: Urban Design.

- A. Goal 7.3 – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The proposed Site Plan, Landscape Plan, and building elevations, as outlined by the Site Plan – EPC, are guided by the MDP and are consistent with this Goal. The placement of the

stadium has been carefully considered and is designed to seamlessly integrate within the escarpment while remaining below the high-voltage power lines. The MDP recognizes the advantages and challenges posed by the escarpment at Balloon Fiesta Park, including erosion issues affecting the park's functionality. Balloon Fiesta Park is an integral part of the North I-25 community, and the introduction of the new stadium, along with associated infrastructure improvements, is focused on the development and streetscape design that harmonizes with the local context.

- B. Policy 7.3.5 – Development Quality: Encourage innovative and high-quality design in all development.

The Site Plan, building elevations, and stadium placement are consistent with this policy because the design is innovative and has high-quality features consistent with the proposed major amendment of the MDP. The stadium's location has been carefully chosen and is nestled within the escarpment and positioned beneath the high-voltage lines, effectively incorporating the escarpment as a prominent architectural element. The design includes sloped walkways, grassy berm seating, and picnic areas.

- C. Goal 7.5 – Context Sensitive Site Design: Design sites, buildings, and landscape elements to respond to the high desert environment.

The building and landscape plans are consistent with this policy because they are specifically tailored to address the challenges of the high desert climate by incorporating shade features, canopies, and shade trees.

- D. Policy 7.5.1 – Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The Landscape Plan, a fundamental element of the Site Plan-EPC and in compliance with the MDP's recommendations, is consistent with this policy because the designed landscape and plant selection are specifically tailored to thrive in Albuquerque's high desert climate. The plant palette consists of trees, shrubs, groundcovers, and ornamental plants suited for this environment, contributing to the distinctive ambiance of Balloon Fiesta Park.

12. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Facilities, Access & Universal Design from Chapter 10: Parks & Open Space.

- A. Policy 10.1 – Facilities & Access: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they facilitate the development of a new section within Balloon Fiesta Park to cater to the needs of all residents while responsibly utilizing natural resources. The stadium and its associated improvements are designed for use by people of all ages and occupy an underutilized portion of the Park initially designated for a multi-story parking structure. The Major Amendment will allow for an increase in parking capacity compared to the original MDP as land was acquired to the north for parking purposes, with the Site Plan showcasing a more efficient parking layout in this area.

- B. Policy 10.1.2 – Universal Design: Plan, design, program and maintain parks, Open Space, and recreation facilities for use by people of all age groups and physical abilities.

The Site Plan and Major Amendment to the MDP are consistent with this policy because the stadium and its surrounding improvements have been designed to accommodate to residents of all ages and physical abilities. The Site Plan also features improvements to the Gondola Gulch and the slope, improving accessibility for both pedestrians and vehicles within the Park. The project includes permanent restrooms that comply with the Americans with Disabilities Act (ADA) standards, ensuring accessibility for all visitors. Furthermore, the parking area to the north has been thoughtfully designed to include ADA, electric vehicle (EV), and motorcycle parking spaces, thereby increasing access and usability for people of all ages and physical abilities.

- C. Goal 10.2 – Parks: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.

The request is consistent with this goal because the Site Plan and MDP Amendment will facilitate the expansion of outdoor activities at Balloon Fiesta Park. While the Stadium's primary purpose will be to host the New Mexico United soccer games (anticipated 17 annual home games), it is also designed to accommodate a diverse array of activities, including music events, food festivals, and cultural gatherings, all promoting community involvement. The Stadium's design is adaptable and will cater to various functions at Balloon Fiesta Park.

- D. Policy 10.2.1 – Park Types: Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

The request is consistent with this policy because it will allow the City to improve its park system by adding more recreational amenities at Balloon Fiesta Park. The MDP Amendment will increase the park's size from 358 to 367.5 acres, solidifying its role as a primary regional park facility. The building and site will incorporate ADA design standards to serve the needs of persons of various ages and physical abilities.

- E. Goal 10.4 – Coordination: Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public's need for parks and recreation facilities.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they will efficiently utilize constrained resources to bolster the continued growth of Balloon Fiesta Park and meet the community's need for parks and recreational amenities. A state-funded capital outlay of \$13.5 million has been allocated to address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park. Additionally, private investments are designated for the construction of the Stadium.

- F. Policy 10.4.3 – Co-located Facilities: Maximize opportunities for multi-functional, co-located, and joint use of compatible parks, Open Space, trails, and recreation facilities to best leverage public investment.

State funds have been allocated for capital outlay that will extend and improve the infrastructure at Balloon Fiesta Park to attract significant private investments to support the construction of the Stadium. The request is consistent with this policy because the Site Plan will maximize the opportunities for a multi-functional park that enhances both passive/active recreation and community events.

13. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 – Community Facilities: Provide communities facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The Site Plan and Major Amendment to the MDP are consistent with this goal because Balloon Fiesta Park benefits from accessible entry via I-25 through Balloon Fiesta Parkway. The proposed stadium, if the Major Amendment to the MDP is approved, will expand the existing array of programs and amenities, catering to a diverse audience of local and statewide residents, encompassing individuals of all ages, cultures, and educational backgrounds.

- B. Policy 12.2.3 – New Facilities: Site new facilities in areas with excellent access to provide services to underserved and developing areas.

The request is consistent with this policy because introducing a new facility at Balloon Fiesta Park, will leverage its excellent accessibility via Interstate 25 and Balloon Fiesta Parkway. Balloon Fiesta Park is designed to cater to a substantial number of visitors, and its location offers access to an area that is comparatively underutilized and underserved.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) Before the adoption of the IDO, the subject site was zoned SU-2 for Balloon Park Museum & Related Uses. The subject site was never zoned NR-SU or PD. The existing zoning is under the jurisdiction of the established Master Development Plan (MDP), which details the regulations and protocols for proposed development. The MDP encompasses the guidelines for the review and approval process by the EPC, specifically for structures exceeding 10,000 square feet.

The existing language within the MDP explicitly prohibits the establishment of an Outdoor Sports Stadium at Balloon Fiesta Park. The Applicants are seeking a modification to the MDP permit development of an Outdoor Multi-Use Stadium. If the revised master plan is approved, all its terms and conditions will be adhered to.

- C. 14-16-6-6(J)(3)(c) The subject site must comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations, including the Balloon Fiesta Park Master Plan.
- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure and public improvements have adequate capacity to support the Stadium project, with the exception of the electrical, water, and sewer systems. A state-funded capital outlay of \$13.5 million has been allocated to

address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park

- E. 14-16-6-6(J)(3)(e) The future, proposed development would be required to comply with the decisions made by the EPC. The EPC's conditions of approval would improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.
 - F. 14-16-6-6(J)(3)(f) The subject property is within the Balloon Fiesta Park Master Development Plan and the Site Plan meets relevant standards in the Balloon Fiesta Park Master Development plan and applicable standards in the NR-PO-A zone.
 - G. 14-16-6-6(J)(3)(g) A portion of the subject site falls within the Railroad and Spur Area, the proposed Stadium is not within 1,320 feet of a Residential zone district or a lot containing a residential use in any Mixed-Use zone District. In addition, the Stadium is not within 660 feet of another use as described in Subsection 5-2(E)(1)(c).
15. The applicant notified the Wildflower Neighborhood Association, Alameda North Valley Neighborhood Association, the District 4 Coalition, and property owners within 100 feet of the subject site as, required.
16. A facilitated meeting was held on September 9, 2023 with the affected Neighborhood Associations. The community raised various issues, including heightened traffic, noise and lighting, funding concerns, and reservations about the pre-application meeting notification. These concerns and questions were duly acknowledged and addressed. Although a number of speakers, expressed their enthusiasm for the stadium, there were no explicit opposing comments.
17. Staff has received several emails in support and opposition at the time of this writing.

FINDINGS: SITE PLAN FOR SUBDIVISION

18. As noted in the Request on Page 8, the 2012 MDP initially contained a Site Plan for Subdivision, which received approval from the EPC. The Site Plan for Subdivision requires separate approval within the MDP framework, and both the MDP and the Site Plan for Subdivision are interdependent for their respective approvals.

Given that the MDP must encompass all components essential to a site plan for subdivision, encompassing design criteria for structures, landscaping, lighting, and signage, the procedure for this update will involve amending the Site Plan for Subdivision. The update includes all the textual revisions, impacting solely two sections for the MDP: Section 4, which deals with the Site Plan for Subdivision, and Section 6, which focuses on Design Performance Standards.

In addition to the revised textual content, the update incorporates site plan for subdivision sheets that show the location of existing and proposed developments within Balloon Fiesta Park. The updated sheets include a Site Plan Illustrative, a Site Plan for Subdivision Amendment, a Landscape Master Plan Major Amendment, and a Fencing Plan.

The updates include:

- a. Modifying the Site Plan for Subdivision to include the Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP.
- b. Modifying the light standards as outlined in Section 6: Design Performance Standards.
- c. Replacing the Northeast Outdoor Recreation Area with surface parking.
- d. Introducing an additional adjacent tract for Balloon Fiesta Park's parking needs, facilitating the creation of 750 more parking spaces and expanding the park's total acreage from 358 acres to 367.5 acres.

RECOMMENDATION –PR-2023-009363, SI-2023-01635, Major Amendment to the Balloon Fiesta Park Master Development Plan (MDP)/Site Plan for Subdivision

APPROVAL with conditions of Project # 2023-009363, SI-2023-01635, a Major Amendment request for an approximately 7-acre portion of a 367.5 acre site legally described as all or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A, Plat of Tracts A-1 through H-1, I-1A & I-2-A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, T11N, R3E, a/k/a Tracts F & G, Heirs of Filiberto Gurule Tract, between Paseo del Norte NE and Roy Avenue NE, Zoned NR-PO-A, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – PR-2023-009363, SI-2023-01635

1. Upon approval by the EPC, the applicant shall coordinate with the Staff Planner to ensure that all conditions have been met within 6 months of the appeal period expiration date.
2. The applicant shall provide an updated Master Plan document to reflect this 2023 Major Amendment request and all previous administrative amendments to be posted on the City website within 6 months of the appeal period expiration date.

FINDINGS – SI-2023-01638, Site Plan-EPC, November 16, 2023

1. The request is a Site Plan – EPC Major Amendment for an approximately 7-acre portion of a 367.5 acre site legally described as all or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A, Plat of Tracts A-1 through H-1, I-1A & I-2-A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, T11N, R3E, a/k/a Tracts F & G, Heirs of Filiberto Gurule Tract, between Paseo del Norte NE and Roy Avenue NE (the “subject site”).
2. The subject site is zoned NR-PO-A (Non-Residential Park and Open Space, city owned or managed Park Zone District), a zoning designation received upon adoption of the IDO. The subject site was formerly zoned SU-2 for Balloon Park Museum & Related Uses.
3. The EPC is hearing the request because, as per the Integrated Development Ordinance (IDO), a Site Plan – EPC because Site Plan approval is required on the 7-acre portion of BFP located north of the balloon launch field.
4. The City’s Parks and Recreation Department holds the responsibility of overseeing the development as well as the management and operations at Balloon Fiesta Park, as defined by the Master Development Plan (MDP). The MDP, originally approved by City Council in 1998, serves as the primary governing document for Balloon Fiesta Park.
5. The applicant wishes amend the Balloon Fiesta MDP: to 1) eliminate the language that currently prohibits the use of an Outdoor Multi-Use Stadium; 2) Modifying the MDP and the associated Site Plan for Subdivision to include the Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was initially permitted under the approved MDP; 3) Modifying the light standards as outlined in Section 6: Design Performance Standards to allow for stadium lighting; 4) Replacing the Northeast Outdoor recreation Area with surface parking; 5) introducing an additional adjacent tract for Balloon Fiesta’s parking needs, facilitating the creation of 750 more parking spaces and expanding the park’s total acreage from 358 acres to 367.5 acres
6. The subject site is located in an Area of Consistency and is in the North I-25 Community Planning Area (CPA). Alameda Boulevard is a designated Commuter Corridor as designated in the Comprehensive Plan. The Little League section of BFP and the parking area at the Old Balloon Launch Field are within the boundaries of the Alameda Boulevard Design Overlay. Character Zones 1, 2, and 3 are under Bernalillo County’s jurisdiction, while the majority of Character Zone 4 is situated within the City of Albuquerque.
7. The Albuquerque/Bernalillo County Comprehensive Plan, the Balloon Fiesta Park Master Development Plan, and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Character from Chapter 4: Community Identity.
 - A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities

The subject site is located in an Area of Consistency, and the proposed request is consistent with the goal of enhancing, protecting, and preserving the distinct character of the

community. This consistency is achieved by establishing the Multi-Use Stadium within the existing Balloon Fiesta Park, in line with the objectives outlined in the Master Development Plan. Balloon Fiesta Park is a vital part of the North I-25 community, and the introduction of a new stadium, along with associated infrastructure improvements, aims to enhance, protect, and preserve this distinct community by offering an additional use/amenity that caters to the preferences of both local and statewide residents.

- B. Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

The request would facilitate quality development that is consistent with the distinct character of the community because the proposed site plan is required to follow MDP design standards. The stadium's design, as depicted in the Site Plan, exemplifies high-quality development that matches the unique character of the North I-25 community. The layout adheres to the Balloon Fiesta Park Master Development Plan initially created in 1998 and updated in 2012. The amendments to the MDP will outline the desired development quality for this regional park facility that hosts the state's signature event while providing a range of indoor and outdoor recreational and cultural activities for residents, statewide residents, and visitors.

- C. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request would generally protect the identity and cohesiveness of neighborhoods nearby by ensuring the appropriate scale and location of development, mix of uses, and character of building design within the existing Balloon Fiesta Park. The scale and intensity of use shown on the Site Plan, Landscape Plan, and building elevations have been designed to reflect and improve existing site conditions while implementing the vision of the MDP. The stadium's height is less than the maximum height of 26 feet above the east property line/escarpment allowed by the MDP, which will further protect the identity and cohesiveness of nearby neighborhoods. While the Balloon Museum reaches a height of 75 feet, the proposed stadium, like the Golf Training Center and Sid Cutter Pilot's Pavilion, was designed to harmonize with the area's character.

- D. Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

The request is consistent with this policy because Balloon Fiesta Park's unique status within the built environment contributes to the distinct identity and sense of place in the North I-25 area. The proposed amendments will allow for the development of the stadium, that has been designed to preserve the natural and man-made features of the park while enhancing the east escarpment and the northern side of Gondola Gulch. The area will further be protected and enhanced because the stadium's development will help address concerns related to the Nazareth Landfill by implementing measures to mitigate landfill gasses in coordination with Environmental Health.

9. The request is consistent with the following Comprehensive Plan Goals and Policies regarding land use and Areas of Consistency from Chapter 5: Land Use.

- A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, earn, shop, and play together. r and needs.

The request is consistent with this Goal because the Site Plan and Major Amendment are designed to foster a community where residents can live, work, learn, shop, and socialize together. The introduction of the stadium to Balloon Fiesta Park will amplify opportunities for social engagement and leisure, all while generating new employment possibilities for residents. The stadium's construction and ongoing functions will provide job openings for community members, encompassing roles for construction workers, stadium personnel, and event-related services such as hospitality and concessions.

- B. Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would contribute to a healthy, sustainable, and distinct community in the North I-25 CPA and its' neighborhoods because the Site Plan and Major Amendment would allow for additional use at BFP, making it easily accessible to nearby neighborhoods. The park is well connected to the City's trail network including the North Diversion Channel. In addition, the subject site is accessible to pedestrians, bicyclists, and transit users nearby via internal trails, sidewalks and a bike route along Alameda Boulevard.

- C. Policy 5.6.3 – Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would generally enhance the existing park and protect the character of neighborhoods located in an Area of Consistency by thoughtfully siting the stadium within the park and avoiding the placement of incompatible uses.

10. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Development Quality and Context from Chapter 7: Urban Design.

- A. Goal 7.3 – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The proposed Site Plan, Landscape Plan, and building elevations, as outlined by the Site Plan – EPC, are guided by the MDP and are consistent with this Goal. The placement of the stadium has been carefully considered and is designed to seamlessly integrate within the escarpment while remaining below the high-voltage power lines. The MDP recognizes the advantages and challenges posed by the escarpment at Balloon Fiesta Park, including erosion issues affecting the park's functionality. Balloon Fiesta Park is an integral part of the North I-25 community, and the introduction of the new stadium, along with associated infrastructure improvements, is focused on the development and streetscape design that harmonizes with the local context.

- B. Policy 7.3.5 – Development Quality: Encourage innovative and high-quality design in all development.

The Site Plan, building elevations, and stadium placement are consistent with this policy because the design is innovative and has high-quality features consistent with the proposed major amendment of the MDP. The stadium's location has been carefully chosen and is nestled within the escarpment and positioned beneath the high-voltage lines, effectively incorporating the escarpment as a prominent architectural element. The design includes sloped walkways, grassy berm seating, and picnic areas.

- C. Goal 7.5 – Context Sensitive Site Design: Design sites, buildings, and landscape elements to respond to the high desert environment.

The building and landscape plans are consistent with this policy because they are specifically tailored to address the challenges of the high desert climate by incorporating shade features, canopies, and shade trees.

- D. Policy 7.5.1 – Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

The Landscape Plan, a fundamental element of the Site Plan-EPC and in compliance with the MDP's recommendations, is consistent with this policy because the designed landscape and plant selection are specifically tailored to thrive in Albuquerque's high desert climate. The plant palette consists of trees, shrubs, groundcovers, and ornamental plants suited for this environment, contributing to the distinctive ambiance of Balloon Fiesta Park.

11. The request is consistent with the following Comprehensive Plan Goal and Policies regarding Facilities, Access & Universal Design from Chapter 10: Parks & Open Space.

- A. Policy 10.1 – Facilities & Access: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they facilitate the development of a new section within Balloon Fiesta Park to cater to the needs of all residents while responsibly utilizing natural resources. The stadium and its associated improvements are designed for use by people of all ages and occupy an underutilized portion of the Park initially designated for a multi-story parking structure. The Major Amendment will allow for an increase in parking capacity compared to the original MDP as land was acquired to the north for parking purposes, with the Site Plan showcasing a more efficient parking layout in this area.

- B. Policy 10.1.2 – Universal Design: Plan, design, program and maintain parks, Open Space, and recreation facilities for use by people of all age groups and physical abilities.

The Site Plan and Major Amendment to the MDP are consistent with this policy because the stadium and its surrounding improvements have been designed to accommodate to residents of all ages and physical abilities. The Site Plan also features improvements to the Gondola Gulch and the slope, improving accessibility for both pedestrians and vehicles within the Park. The project includes permanent restrooms that comply with the Americans with

Disabilities Act (ADA) standards, ensuring accessibility for all visitors. Furthermore, the parking area to the north has been thoughtfully designed to include ADA, electric vehicle (EV), and motorcycle parking spaces, thereby increasing access and usability for people of all ages and physical abilities.

- C. Goal 10.2 – Parks: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.

The request is consistent with this goal because the Site Plan and MDP Amendment will facilitate the expansion of outdoor activities at Balloon Fiesta Park. While the Stadium's primary purpose will be to host the New Mexico United soccer games (anticipated 17 annual home games), it is also designed to accommodate a diverse array of activities, including music events, food festivals, and cultural gatherings, all promoting community involvement. The Stadium's design is adaptable and will cater to various functions at Balloon Fiesta Park.

- D. Policy 10.2.1 – Park Types: Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

The request is consistent with this policy because it will allow the City to improve its park system by adding more recreational amenities at Balloon Fiesta Park. The MDP Amendment will increase the park's size from 358 to 367.5 acres, solidifying its role as a primary regional park facility. The building and site will incorporate ADA design standards to serve the needs of persons of various ages and physical abilities.

- E. Goal 10.4 – Coordination: Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public's need for parks and recreation facilities.

The Site Plan and Major Amendment to the MDP are consistent with this Goal because they will efficiently utilize constrained resources to bolster the continued growth of Balloon Fiesta Park and meet the community's need for parks and recreational amenities. A state-funded capital outlay of \$13.5 million has been allocated to address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park. Additionally, private investments are designated for the construction of the Stadium.

- F. Policy 10.4.3 – Co-located Facilities: Maximize opportunities for multi-functional, co-located, and joint use of compatible parks, Open Space, trails, and recreation facilities to best leverage public investment.

State funds have been allocated for capital outlay that will extend and improve the infrastructure at Balloon Fiesta Park to attract significant private investments to support the construction of the Stadium. The request is consistent with this policy because the Site Plan will maximize the opportunities for a multi-functional park that enhances both passive/active recreation and community events.

12. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 12: Infrastructure, Community Facilities & Services

- A. Goal 12.2 – Community Facilities: Provide communities facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

The Site Plan and Major Amendment to the MDP are consistent with this goal because Balloon Fiesta Park benefits from accessible entry via I-25 through Balloon Fiesta Parkway. The proposed stadium, if the Major Amendment to the MDP is approved, will expand the existing array of programs and amenities, catering to a diverse audience of local and statewide residents, encompassing individuals of all ages, cultures, and educational backgrounds.

- B. Policy 12.2.3 – New Facilities: Site new facilities in areas with excellent access to provide services to underserved and developing areas.

The request is consistent with this policy because introducing a new facility at Balloon Fiesta Park, will leverage its excellent accessibility via Interstate 25 and Balloon Fiesta Parkway. Balloon Fiesta Park is designed to cater to a substantial number of visitors, and its location offers access to an area that is comparatively underutilized and underserved.

13. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis, the request is consistent with applicable Comprehensive Goals and Policies.
- B. 14-16-6-6(J)(3)(b) Before the adoption of the IDO, the subject site was zoned SU-2 for Balloon Park Museum & Related Uses. The subject site was never zoned NR-SU or PD. The existing zoning is under the jurisdiction of the established Master Development Plan (MDP), which details the regulations and protocols for proposed development. The MDP encompasses the guidelines for the review and approval process by the EPC, specifically for structures exceeding 10,000 square feet.

The existing language within the MDP explicitly prohibits the establishment of an Outdoor Sports Stadium at Balloon Fiesta Park. The Applicants are seeking a modification to the MDP permit development of an Outdoor Multi-Use Stadium. If the revised master plan is approved, all its terms and conditions will be adhered to.

- C. 14-16-6-6(J)(3)(c) The subject site must comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations, including the Balloon Fiesta Park Master Plan.
- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure and public improvements have adequate capacity to support the Stadium project, with the exception of the electrical, water, and sewer systems. A state-funded capital outlay of \$13.5 million has been allocated to address much-needed improvements in infrastructure, encompassing electrical, water, sewer, and telecommunications systems and networks within Balloon Fiesta Park
- E. 14-16-6-6(J)(3)(e) The future, proposed development would be required to comply with the decisions made by the EPC. The EPC's conditions of approval would improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas.
- F. 14-16-6-6(J)(3)(f) The subject property is within the Balloon Fiesta Park Master Development Plan and the Site Plan meets relevant standards in the Balloon Fiesta Park Master Development plan and applicable standards in the NR-PO-A zone.

- G. 14-16-6-6(J)(3)(g) A portion of the subject site falls within the Railroad and Spur Area, the proposed Stadium is not within 1,320 feet of a Residential zone district or a lot containing a residential use in any Mixed-Use zone District. In addition, the Stadium is not within 660 feet of another use as described in Subsection 5-2(E)(1)(c).
14. The applicant notified the Wildflower Neighborhood Association, Alameda North Valley Neighborhood Association, the District 4 Coalition, and property owners within 100 feet of the subject site as, required.
15. A facilitated meeting was held on September 9, 2023 with the affected Neighborhood Associations. The community raised various issues, including heightened traffic, noise and lighting, funding concerns, and reservations about the pre-application meeting notification. These concerns and questions were duly acknowledged and addressed. Although a number of speakers, expressed their enthusiasm for the stadium, there were no explicit opposing comments.
16. Staff has received several emails in support and opposition at the time of this writing.

RECOMMENDATION – PR-2023-009363, SI-2023-01638

APPROVAL with conditions of Project # 2023-009363, SI-2023-01638, a Site Plan-EPC request for an approximately 7-acre portion of a 367.5 acre site legally described as all or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A, Plat of Tracts A-1 through H-1, I-1A & I-2-A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, T11N, R3E, a/k/a Tracts F & G, Heirs of Filiberto Gurule Tract, between Paseo del Norte NE and Roy Avenue NE, Zoned NR-PO-A, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – PR-2023-009363, SI-2023-01638

1. Upon approval by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFAT) for final sign-off. The reviewer is responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements are met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC conditions have been met.
3. Site Lighting:
 - A. Parking area light pole maximum height shall not exceed 20' as per the MDP.
 - B. Light fixtures shall be shielded using full cutoff light fixtures.
4. Vehicular Access, Circulation & Parking
 - A. Parking calculations shall be revised (Sheet 1)
 - B. Project date sheet for all parking shall be revised (Sheet 1).

5. Landscaping, Buffering & Screening
 - A. The Overall Landscape Plan shall be revised to correspond with the Site Plan parking calculations (Sheet 2).

6. Grading & Drainage Plan
 - A. Pursuant to IDO Section 14-16-5-4(J)(4), grading in a Special Flood Hazard Area without an approved drainage report and financial guarantees for the permanent improvement is prohibited. The applicant shall supply an approved drainage report/financial guarantee.

7. Conditions from Crime Prevention Through Environmental Design.
 - A. Applicant shall coordinate with the Albuquerque Police Department regrading comments provided for Crime Prevention Through Environmental Design.

8. Condition from AMAFCA:
 - A. A Letter of Map Revision (LOMR) shall be prepared and accepted by FEMA to revise the limits of the floodplain for development to occur.

9. Condition from Environmental Services Division:
 - A. The final design and installation of landfill gas mitigations will be performed. Conditional EPC approval as related to landfill gas mitigation concerns appear to be a reasonable approach for development at this site.

10. Conditions from the Public Service Company of New Mexico (PNM) shall be addressed:
 - A. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
 - B. Any existing easements may have to be revised and/or new easements may need to be created for any electric facilities as determined by PNM. If existing electric lines or facilities need to be moved, then that is at the applicant's expense.
 - C. Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat.
 - D. Typical electric utility easements widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot front to allow for access and maintenance.
 - E. Structures, especially those made of metal like storage buildings, canopies, and stadiums should not be within or near PNM easements without close coordination with and agreement from PNM.
 - F. Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Please adhere to the landscape standards contained in IDO Section 14-16-5-6(C)(10) as applicable.

Silvia Bolivar

**Silvia Bolivar, PLA, ASLA
Senior Planner**

CC: City of Albuquerque/New Mexico United Soccer, info@newmexicoutd.com
Consensus Planning, Jacqueline Fishman, Principal AICP, fishman@consensusplanning.com
Alameda North Valley Association Steve Wentworth anvanews@aol.com
District 4 Coalition of Neighborhood Associations, Ellen Dueweke edueweke@juno.com
District 4 Coalition of Neighborhood Associations, Mildred Griffiee mgriffiee@noreste.org
Wildflower Area NA Glenn Garcia ggarcia103@comcast.net
Wildflower Area NA Larry Caudill ltcaudill@comcast.net
Sandy Zuschlag, szuschlag58@gmail.com
Steve Wentworth, swent999@aol.com
Pat Houser, hdhauser@comcast.net
Michael Haederle, haederle@yahoo.com
Kevin Murray, claystorm@gmail.com
Aaron Reeder, aaron.reederiv@gmail.com
Annette Pitera, annette@ahcnm.org
Joanie Griffin, jgriffin@sunny505.com
gGriffin@griffinassoc.com
David Carl, dave.carl923@gmail.com
Randi Guthrie, homesbyrandi@gmail.com
Ellen Jones, ellenotr3@gmail.com
Rachel Jones, Rachel.johnson@navihealth.com
Joshua Martin, joshisjosh83@gmail.com
Gloria Faber, office@nmysa.net
Rachel Babb – rachel72babb@gmail.com
Jake Gutierrez, kickingtv.com
William Babb, wbabb@salud.unm.edu
Robert Romero, rgoalierob@icloud.com
Thomas Cooley, Ph.D., thomas.cooley@comcast.net
Legal, Dking@cabq.gov
EPC file

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Long Range Planning

This is a 3-part request for a Major Amendment to the approximately 358-acre Balloon Fiesta Park (BFP) Master Development Plan, an associated Site Plan for Subdivision, and a Site Development Plan-EPC for the purpose of allowing an Outdoor Multi-Use Stadium on 7-acres within BFP located north of the balloon launch field. If approved, the BFP acreage would increase to approximately 368 acres. Per IDO Table 6-1-1, a request for a Site Plan – EPC is considered quasi-judicial.

The subject site is zoned NR-PO-A (Non-Residential – Park and Open Space District) and is designated as an Area of Consistency in the City’s Comprehensive Plan. The approved BFP Master Development Plan is the controlling document for development, management, and operations on the subject site and currently prohibits an Outdoor Sports Stadium.

The area for the proposed stadium is within the Nazareth Landfill Buffer Area and therefore is also required to conform to the requirements of IDO Subsection 14-16-5-2(H) to follow the Environmental Health Department’s “Interim Guidelines for Development within City Designated Landfill Buffer Zones” and Landfill Gas Mitigation Approval pursuant to IDO Subsection 14-16-6-4(S)(5).

EPC should carefully consider agency comments to coordinate infrastructure that will be required to handle large crowds on a more regular basis, particularly any transportation improvements or water/sewer upgrades.

Additionally, the unincorporated land directly north of the subject site is owned by the Pueblo of Sandia and the Federal Bureau of Indian Affairs. Land directly west of the subject site is within the Village of Los Ranchos. EPC should carefully consider comments from these entities to coordinate improvements and mitigate any potential negative impacts to the surrounding areas.

CITY ENGINEER

Transportation Development

Hydrology Development

New Mexico Department of Transportation (NMDOT)

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations (Department of Municipal Development)

Street Maintenance (Department of Municipal Development)

WATER UTILITY AUTHORITY

1. No adverse comment to EPC – Variance (EPC Staff Planner’s Comment: The application does not include a request for a variance).
2. For informational purposes only:
 - 2a. The property has existing water, sewer, and non-potable water service.
 - 2b. If additional services are needed, please make a Request for Availability to obtain conditions for service. For reference see the following link:
<https://www.abcwua.org/info-for-builders-availability-statements/>

Utility Services

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

Environmental Services Division

I have no adverse comments relating to the landfill gas or landfill related issues for this project for EPC conditional approval. The proposed mitigations by the landfill gas engineer were consistent with other successful projects. The mitigations were consistent with the civil and architecture plans per the civil engineer and architects for the project.

Per the EPC packet, final design and installation of landfill gas mitigations will be performed. Conditional EPC approval as related to landfill gas mitigation concerns appear to be a reasonable approach for development at this site.

PARKS AND RECREATION

Planning and Design

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

Regarding the proposed site plan for NM United Soccer Stadium, I respectfully submit the following comments based on Crime Prevention Through Environmental Design (CPTED).

- Ensure adequate lighting throughout the project, to include parking lots, pedestrian walkways, and common areas.
- Ensure natural surveillance and clear lines of sight throughout the property. Natural surveillance requires a space free from natural and physical barrier (i.e. open picket vs. solid fences).
- Establish a clear line of sight from the parking areas to the stadium and from the stadium to the parking areas.
- Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, and lighting.
- Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.
- Ensure adequate locking devices (i.e. commercial grade deadbolt locks or electronic locks) on exterior doors.
- Ensure that addresses are posted and clearly visible.
- Limit and clearly delineate access to the property – i.e. public vs. private (employee) entrances.
- Consider video surveillance systems to monitor the stadium, including entrance and exit points, parking lots, food hall, public commons and any sensitive areas such as storage areas and cash handling areas. Utilize video surveillance to enhance visibility to areas of reduced natural surveillance.
- Consider integrating the camera system with the APD Real Time Crime Center.
- Consider an alarm system for both main and axillary buildings on the property.
- Clearly delineate public, semi-public, semi-private, and private space throughout the project.
- Install No Trespassing signs that cite the City Ordinance so that they are visible upon entering the property.

SOLID WASTE MANAGEMENT DEPARTMENT

A site plan approved for access by the Solid Waste Department will be required. The trash enclosure must meet COA minimum requirements, which can be at:

<https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordfont14.pdf>

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

There are two bus stops on San Diego. There is transit service on Alameda (Route 98) and on Jefferson and San Diego (Route 140). Route 98 is a commuter route that is currently suspended; Route 140 provides service Monday-Friday, currently during peak hours only, although normal service is every 30 minutes from 6 am to 6 pm Monday through Friday. For a current map of stops, routes, and frequencies see: <https://abqride-cabq.hub.arcgis.com/> and for route schedules, see <https://www.cabq.gov/transit/routes-and-schedules>

This development would provide better multi-modal access to transit service and the larger area if a sidewalk along San Diego was provided across Tract A to connect to the existing sidewalk on the north side of San Diego Avenue, as well as providing an accessible route between the stadium and San Diego Avenue. This would allow access for pedestrians, bicyclists, and transit users to more safely access this new destination. See IDO Sections 5-3(D)(2)(b) and 5-3(D)(3)(b).

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

Public Works Division, Transportation Planning

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY (AMAFCA)

AMAFCA does not have any adverse comments to the Site Plan for EPC or the Master Development Plan. Below are comments that should be addressed/acknowledged as the project moves towards building permit and public work order plan sets.

- AMAFCA will require review of the building permit and public work order plans for the project due to the connection into the existing on-site storm drain that connects into AMAFCA's North Diversion Channel.
- The 2012 Update to the Balloon Fiesta Park MDP indicated that a LOMR would be submitted to FEMA for the existing flood zones encumbering the site when drainage improvements were constructed. The current FEMA floodplains (Zones AO with a depth of 1 and 2 feet) impacted by the proposed multi-use stadium and its appurtenances does not reflect the current flood risk due to the 78" outfall pipe and culvert crossing under Balloon Fiesta Parkway. A LOMR should be completed to revise/remove this floodplain to reflect the current flood risk.
- Revised Site Plan – "Diversion" is spelled wrong for the AMAFCA North Diversion Channel.
- Full Site Development Plan – the modular two-story parking structure shown north of the proposed multi-use stadium appears to have the incorrect key note (61, should be 60).
- The new north parking area (referred to as Kapnison Parking Area) uses an access path that crosses the North Camino Arroyo, an active arroyo that drains a large upstream watershed east of I-25. AMAFCA strongly recommends that improvements are made to this access location to: 1) prevent potential degradation of the unimproved arroyo due to vehicular traffic; and 2) mitigate the risk of potential flood danger of having vehicles/pedestrians cross an arroyo.

ALBUQUERQUE PUBLIC SCHOOLS

No comment.

MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)

MRMPO has no adverse comment. For informational purposes:

Appendix G of Connections 2040 MTP recommends the following as it relates to the subject request.

- Adopt parking management strategies to decrease parking requirements in activity centers and redevelopment areas and increase parking costs in high demand locations.

- Adopt/update land use policies and building and site development design standards that promote walkability.
- Combine land redevelopment with enhancements to existing transportation facilities to better incorporate bicyclists and pedestrians.
- Fill in gaps in the bicycle and pedestrian networks, first targeting improvements near activity centers, schools, and parks.
- Improve access to and within activity centers and transit corridors.
- Improve coordination between transit providers.
- Improve the user experience for cyclists, pedestrians, and transit riders with thoughtful connections and design.

KIRTLAND AIR FORCE BASE

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

There are high-voltage PNM facilities and/or easements that run north-south through the site either directly over or in very close proximity to the proposed stadium location.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revised and/or new easements may need to be created for any electric facilities as determined by PNM. If existing electric lines or facilities need to be moved, then that is at the applicant's expense.

Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat.

Typical electric utility easements widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot front to allow for access and maintenance.

Structures, especially those made of metal like storage buildings, canopies, and stadiums should not be within or near PNM easements without close coordination with and agreement from PNM.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities. Please adhere to the landscape standards contained in IDO Section 14-16-5-6(C)(10) as applicable.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.



Figure 1: Balloon Fiesta Park.

Figure 2: Proposed site.



Figure 3: Proposed site.





**Figure 4: Balloon Museum Drive NE
from Alameda Boulevard NE.**

Figure 5: NW view from BFP.

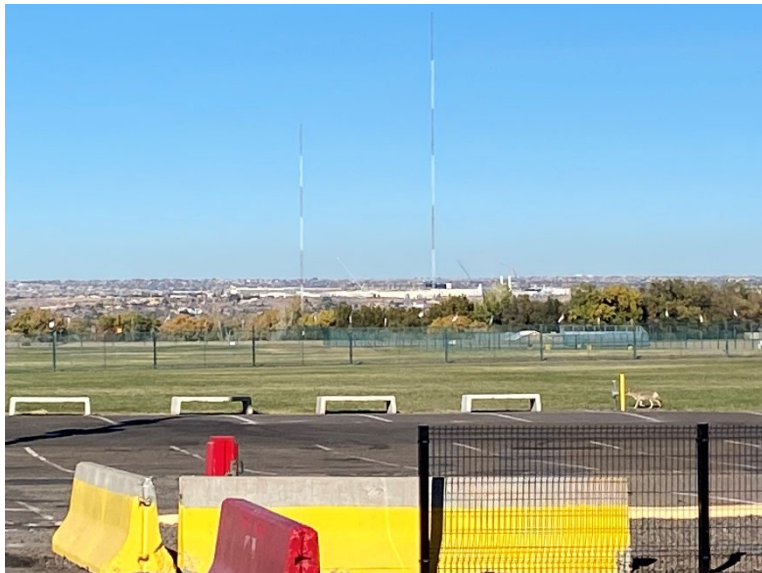


Figure 6: West view from BFP.



Figure 7: Proposed site – viewing west.

Figure 8: Alameda Boulevard -west view.



Figure 9: Intersection of Balloon Museum Drive and Alameda Blvd NE.



Figure 10: Posted sign request.

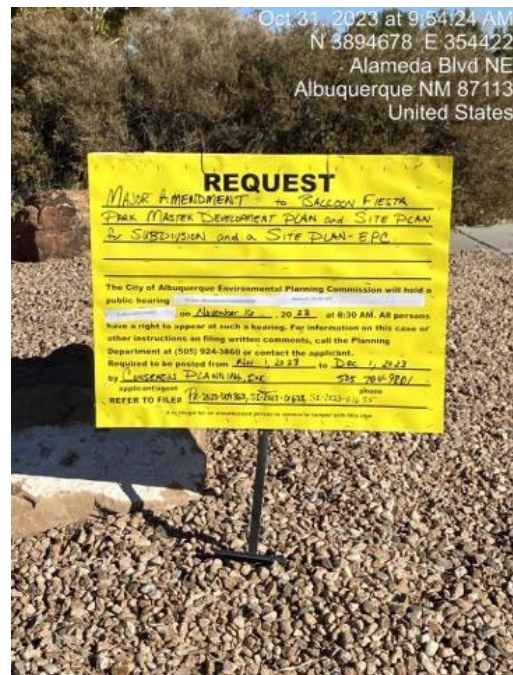


Figure 11: Posted sign request.

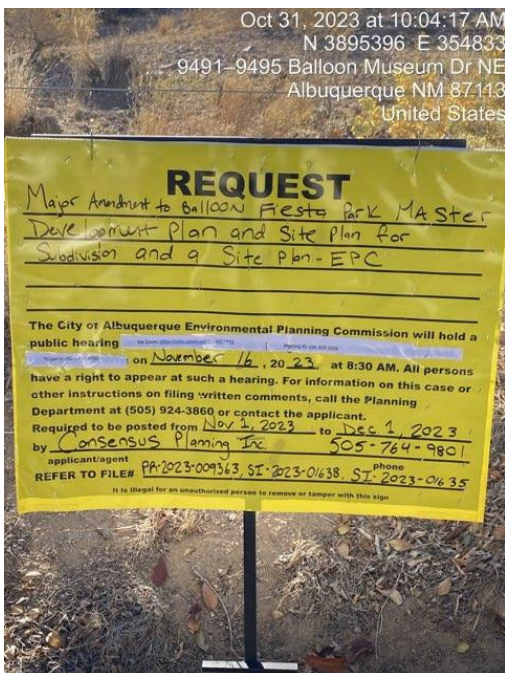


Figure 12: Posted sign request.

HISTORY

2012 UPDATE - APPENDICES

1 responsibility to see that the interests of the public and stakeholders in the
2 Balloon Fiesta Park are represented.

3 **LONG TERM PARK TENANTS:** Persons or organizations with authority
4 from the City to occupy a portion of the Park on a long term basis. Such
5 authority would generally be a multi-year lease but involves any grant of a
6 right to occupy Park property for a period of more than one month or to
7 occupy Park property in multiple years.

8 **SHORT TERM PARK TENANTS:** Persons or organizations with authority
9 from the City to occupy a portion of the Park as other than a Long Term Park
10 Tenant. Such authority would generally be for a period of one month or less
11 and for a single event.

12 **Section 10-10-4 COMPOSITION OF THE COMMISSION.**

13 The Commission shall consist of thirteen voting members. The
14 Commission shall not include any elected City officials. Each Commission
15 member shall be recommended by the entity that the member is representing
16 and appointed by the City Council except that the members listed below in
17 paragraphs F and K shall be appointed by the Mayor with the advice and
18 consent of the City Council:

19 (A) Two representatives from the Board of Directors of the Albuquerque
20 International Balloon Fiesta;

21 (B) One representative from the Wildflower Neighborhood Association;

22 (C) One representative from the Alameda North Valley Association;

23 (D) One person representing the broader recreation interests of the
24 community and the Metropolitan Parks and Recreation Advisory Board;

25 (E) One person representing the Pueblo of Sandia;

26 (F) One person representing local businesses located near the Park;

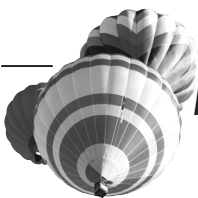
27 (G) One person representing the Anderson-Abruzzo Albuquerque
28 International Balloon Museum;

29 (H) One person representing the Albuquerque Convention and Visitors
30 Bureau;

31 (I) The director of the Parks and Recreation Department, or designee;

32 and

33 (J) A City employee representing City public safety issues; and



2012 UPDATE - APPENDICES

1 (K) Two at-large positions to be filled by persons residing in other areas
2 of the City, in particular, one person from the west side of the City and the
3 other person from the east side of the City.

4 Voting members shall serve three-year terms that are staggered as to the
5 year of termination. Members shall not be subject to term limits. Members are
6 not required to be a resident of the City of Albuquerque.

7 **Section 10-10-5 DUTIES AND POWERS OF THE COMMISSION.**

8 The Commission is hereby created to oversee the operation, management,
9 and development of the Park with the following duties and powers:

10 (A) Recommend to the Parks and Recreation Department, the Mayor and
11 City Council guidelines and procedures governing the operation,
12 management, and development of the Park, including event review and
13 appropriate fee schedules.

14 (B) Review and recommend with respect to the approval or denial of
15 agreements with short term park tenants. Short term park tenants shall be
16 approved by the Parks and Recreation Department under guidelines and
17 procedures adopted by City Council resolution.

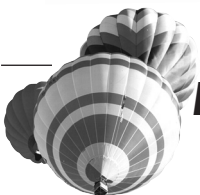
18 (C) Review and recommend with respect to the approval or denial of
19 agreements with long term park tenants. Long term park tenancies shall not
20 be in effect until approved by the City Council.

21 (D) Review all existing licensure agreements, lease agreements, and
22 similar agreements and make recommendations to the Parks and Recreation
23 Department, Mayor and City Council with respect to the status and
24 continuation of those agreements.

25 (E) Review and recommend to the Parks and Recreation Department, the
26 Mayor and City Council regarding the yearly Operating Budget and City's
27 General Obligation Bond Program.

28 (F) Receive actual timely notice of all proposed planning and
29 development actions within the Park, including but not limited to: any
30 permanent changes to the physical layout of the Park; any construction within
31 the Park, any changes to the Site Development Plan and any application for
32 any such changes. The Commission has the right to participate in, review and
33 have its position given full consideration with respect to any planning and

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2012 UPDATE - APPENDICES

1 development actions related to the Park. The Commission shall have standing
2 in front of all City boards or commissions authorized to consider or review
3 such actions, and in front of the City Council for any appeal or other
4 consideration of such actions.

5 (G) Recommend sponsorships for the Park and Park Events.

6 (H) Work collaboratively with other organizations to market the Park.

7 (I) Such other powers not inconsistent with law that are necessary to
8 fully perform the assigned duties.

9 Section 10-10-6 RESPONSIBILITIES OF THE CITY.

10 (A) The Parks and Recreation Department will operate and maintain
11 Balloon Fiesta Park and all related recreation facilities within the boundaries
12 of the Park in cooperation with the Balloon Fiesta Park Commission.

13 (B) Provide the Commission with a draft of the City's Operating Budget
14 and the City's General Obligation Bond program prior to City Council
15 approval.

16 Section 10-10-7 ESTABLISHING THE BALLOON FIESTA PARK STAFF
17 LIAISON

18 (A) The Balloon Fiesta Park Staff Liaison shall be a Parks and Recreation
19 Department employee designated as the liaison between the Commission and
20 various City departments, including but not limited to City departments
21 responsible for the capital improvements of the park, the Anderson-Abruzzo
22 Albuquerque International Museum and the landfills in the park.

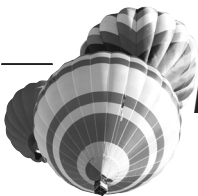
23 (B) The Balloon Fiesta Park Staff Liaison shall be recommended and
24 approved by the Commission.

25 (C) The Balloon Fiesta Park Liaison shall attend the regular Commission
26 meetings to report on activities and deal with matters within the Commission's
27 authority."

28 SECTION 2. CONTINUATION OF TERMS OF COMMISSION MEMBERS.

29 Policy Board members appointed pursuant to Enactment No. R-2003-131
30 shall continue to serve until 2013, 2014, and 2015. Upon the expiration of each
31 of those terms, Commission members shall be appointed pursuant to this
32 Ordinance to fill those positions, for three-year staggered terms.

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2012 UPDATE - APPENDICES

1 **SECTION 3. SEVERABILITY CLAUSE.** If any section, paragraph, sentence,
2 clause, word or phrase of this ordinance is for any reason held to be invalid or
3 unenforceable by any court of competent jurisdiction, such decision shall not
4 affect the validity of the remaining provisions of this ordinance. The Council
5 hereby declares that it would have passed this ordinance and each section,
6 paragraph, sentence, clause, word or phrase thereof irrespective of any
7 provision being declared unconstitutional or otherwise invalid.

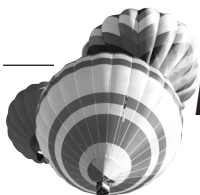
8 **SECTION 4. COMPILATION.** Section 1 of this ordinance shall be
9 incorporated in and made part of the Revised Ordinances of Albuquerque,
10 New Mexico, 1994.

11 **SECTION 5. EFFECTIVE DATE.** This ordinance shall take effect five days
12 after publication by title and general.

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2012 UPDATE - APPENDICES

1 PASSED AND ADOPTED THIS 3rd DAY OF May, 2010
2 BY A VOTE OF: 9 FOR 0 AGAINST.

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9 Ken Sanchez, President
10 City Council

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APPROVED THIS 12 DAY OF May, 2010

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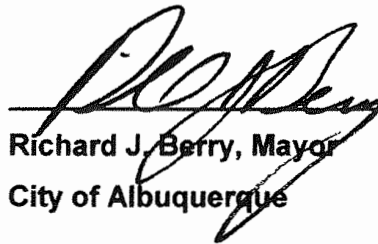
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Bill No. F/S O-09-90

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Richard J. Berry, Mayor
City of Albuquerque

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25 ATTEST:



26 _____

27 City Clerk

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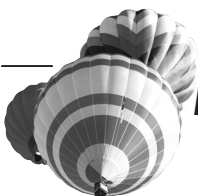
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**Balloon Fiesta Park
Commission**

February 9, 2011

Richard J. Berry, Mayor
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Don Harris, President
City Council
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

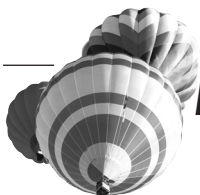
**RE: Proposed 2011 General Obligation Bond Program
Balloon Fiesta Park**

Dear Mayor and City Council President:

In 1996, most of the 360 acre Balloon Fiesta Park was purchased. The park is the home of the annual Albuquerque International Balloon Fiesta along with year round activities (e.g. the park serves over 80 soccer teams, concerts, festivals, national conventions, walks, runs, golf practicing and other informal activities). While approximately 130 acres of the park is developed, most of the park remains partially developed at best. Basic infrastructure and facilities at the park are still lacking. No funding was identified as part of the 2009 General Obligation Bond Program for the park. To keep up with development and renovation needs, it is imperative that funding be identified in the 2011 General Obligation Bond Program (currently \$2.45 million).

In 2007, the Balloon Fiesta Park Operations and Management Policy Board identified priorities for development at the park. These priorities have remained virtually unchanged due to the lack of capital funding for the park in the last four years:

2007 Balloon Fiesta Operations and Management Policy Board Annual Report - Proposed Improvements	Estimated Costs
Balloon Museum Drive (<i>Widen to four lanes and add landscaping</i>).	\$2,500,000 - \$3,500,000
Alameda Blvd (<i>Balloon Museum Drive and Horizon Blvd. intersection improvements</i>)	\$800,000 - \$1,000,000
Launch Field Improvements (<i>Extend potable water & electrical services to the west side of the field and along the eastern edge of the</i>	\$300,000 - \$500,000



2012 UPDATE - APPENDICES

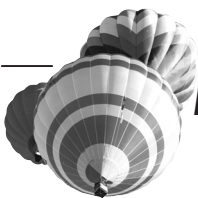
<i>field for smaller special events)</i>	
Southern Vending Concourse – Gate 9 to just north of the Command Center (Public Safety Building, year-round reservation area/ entertainment area, transit drop-off, restrooms, utilities, paving, landscaping & site improvements).	\$9,400,000 - \$11,000,000
Northern Vending Concourse – North of Command Center to Gate One (Vending concourse, restrooms, utilities, landscaping & site improvements).	\$9,000,000 - \$10,000,000
Los Angeles Landfill (year-round usage improvements and environmental management costs)	\$2,500,000 - \$3,000,000

At the February 8, 2011, the Balloon Fiesta Park Commission voted unanimously to support the proposed \$2,450,000 identified for capital improvements at the park

Sincerely,

Bill Nordin
Chair, Balloon Fiesta Park Commission

cc: Balloon Fiesta Park Commission Members
David S. Campbell, Chief Administrative Officer, City of Albuquerque
Barbara Baca, Director, Parks and Recreation Department



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 5, 2000

**OFFICIAL NOTIFICATION OF
DECISION**

City of Albuquerque / National Atomic Museum
c/o DCSW
320 Central Ave. SW
Albuquerque, NM 87103

FILE: 00128-00000-00578
(Project #1000363)

LEGAL DESCRIPTION: For Tract A,
Lands of the Order of St. Dominic. The
entire 358-acre Balloon Fiesta site is zoned
SU-2 for Balloon Fiesta Park, Museum &
Related Facilities. The 18.1 acre Tract A is
located on Balloon Museum Drive north of
Alameda Boulevard and south of AMAFCA
Channel. (B-17) Bob Paulsen, Staff Planner

On August 31, 2000, the Environmental Planning Commission voted to approve Z-00128-00000-00578, an amendment to the master development plan, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request to amend the Balloon Fiesta Park Master Development Plan. The plan area consists of 358 acres at the north end of Albuquerque within the North I-25 Sector Development Plan boundaries.
2. The request proposes amendments to the Master Development Plan (a site development plan for subdivision purposes) which was approved by the EPC in 1998. The amendments concern the area within and adjacent to the site designated for the Balloon Museum and second museum.
3. While the proposed amendments appear to be appropriate in accommodating the development of two proposed museums, there are several questions raised by this request, including when and what form the design of the lake (water feature) and the tethered balloon feature will take, and, whether the designated community ballfields can be accommodated on a adjacent site or elsewhere in the park.

OFFICIAL NOTIFICATION OF DECISION

00128-00000-00578/Project #1000363

August 31, 2000

Page 2

4. Area neighborhood representatives and others have raised concerns about this application, including the fundamental issue of whether the National Museum of Nuclear Science and History is appropriate within the Balloon Fiesta Park.
5. There is nothing in the Master Development Plan which would prevent the museums as generally proposed from locating within the Park. Also, the zoning as specified in the North I-25 Sector Development Plan allows the proposed uses.
6. Documents indicating broad community support for the two proposed museums have been submitted to the Planning Department.
7. In approving the Master Development Plan in June, 1998 (Z-96-77), the EPC specified in Condition #15 that "Major project features (as specified in Finding 3) shall be reviewed and approved by the Environmental Planning Commission prior to development." Major project features include but are not limited to the following: all buildings over 10,000 square feet, the grand promenade, the auditorium, the family recreational center, the recreational field lighting, the water feature and the tethered balloon, as specified by Finding #3.
8. In Finding #15 of the EPC's approval of the Master Development Plan it is specified that the Lake "would be a functional element of the water reuse system in the park and have its active recreational potential developed by stocking it with fish. The lake should be constructed in Phase A."
9. The Master Development Plan describes the Tethered Balloon feature as "a highly visible, monumental icon for the Balloon Museum, as well as the entire park." It is proposed to carry 30-35 people to heights of 450 feet above the Park.
10. The lease agreement between the City and the National Museum of Nuclear Science and History is under evaluation by the City Council. The Finance Committee deferred action on this lease for 60 days in late June. Subdivision of the Master Plan area will be necessary based on the lease boundaries of the Nuclear Science Museum; this action can occur following EPC approval of the Master Plan amendments.
11. A Revised plan was submitted for review at the August 31, 2000 EPC hearing. This plan depicts a reconfiguration of the site, essentially switching the location of the two museums in order to minimize encroachment of the buildings into the predominant flight path of balloons ascending from the adjacent launch field.

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12. The revised submittal is more consistent with the approved Master Plan than the submittal reviewed on July 20th. Major plan features have been retained, essentially in their original form.
13. The revised plan shows that the 3 community ball fields could be located on adjacent city-owned property that could be integrated into the Balloon Fiesta Park with a future Master Plan amendment. Development of these fields within the Park should be assured in order to fulfill community expectations.
14. Pedestrian and bicycle access is critical to the functioning and purpose of the Balloon Fiesta Park. The City should fund and implement all bicycle and pedestrian facilities that lead to the site, with high priority.
15. Pedestrian and bicycle facilities were specified in the original master plan as "Phase A facilities."

CONDITIONS:

1. The revised Master Development Plan for Balloon Fiesta Park (site development plan for subdivision) submitted to the DRB must meet all EPC Conditions and relevant Findings; the DRB application shall include a letter which describes how EPC Conditions have been satisfied and explains any modifications to the site development plan approved by the EPC.
2. Design of the Lake(water feature) and the Tethered Balloon shall be in substantial compliance with the Master Plan. While the location of these features and their specific design attributes can be adjusted in order to provide integration with adjacent park elements, the function of these features shall comply with the intent of the Master Plan.
3. The 3 community ball fields identified in the Master Plan shall be developed within Balloon Fiesta Park. The fields shall be accessible and available for use by the general public on an ongoing basis. Development of one or more fields should occur as soon as possible.
4. The Park Maintenance facilities and the Fire Department Operations Center shall be located within Balloon Fiesta Park as identified in the Master Plan. The location and design of these facilities shall be determined at a future phase.

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5. A subdivision action reflecting the lease boundaries of the Nuclear Science Museum must occur within 6 months of the final signing of the lease agreement. The DRB will have authority for approving the subdivision/replatting.
6. Major project features will be reviewed and approved by the Environmental Planning Commission prior to development. These features include but are not limited to the following: all buildings over 10,000 square feet in size, the grand promenade, the auditorium, the family recreational center, recreational field lighting plans, the lake and or water feature, and captive balloon.
7. Access to the park by pedestrians and cyclists is important. Such access must be completed from the project site to Alameda Boulevard and shall function as envisioned in the Master Plan during the Balloon Fiesta.
8. All Master Plan changes shall come back before the Environmental Planning Commission.

On August 31, 2000, the Environmental Planning Commission voted to approve 00128-00000-00578, a site development plan for building permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Development Plan for Building Permit for an 18-acre portion of Balloon Fiesta Park. This area of the park is immediately south of the North La Cueva Channel and east of Balloon Museum Drive.
2. Two museums along with associated improvements are proposed for this site. The two museums are: The Anderson-Abruzzo International Balloon Museum and the National Museum of Nuclear Science and History.
3. The Master Development Plan for Balloon Fiesta Park anticipated the development of the Balloon Museum and a second museum within the Park. Specific design and performance requirements were established for the two museums in addition to the design standards which were established for the entire Park.
4. The submittal generally conforms to the requirements established in the Master Development Plan; some additions and modifications are needed to ensure that the submittal is clear and complete. Such additions and can be provided for by the

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- Conditions of approval, insuring all necessary information is provided at the DRB level.
5. Area neighborhood representatives and others have raised concerns about this application, including the fundamental issue of whether the National Museum of Nuclear Science and History is appropriate within the Balloon Fiesta Park.
 6. Documents indicating broad community support for the two proposed museums have been submitted to the Planning Department.
 7. In approving the Master Development Plan in June, 1998 (Z-96-77), the EPC specified in Condition #15 that "Major project features (as specified in Finding 3) shall be reviewed and approved by the Environmental Planning Commission prior to development." Major project features include but are not limited to the following: all buildings over 10,000 square feet, the grand promenade, the auditorium, the family recreational center, the recreational field lighting, the water feature and the tethered balloon, as specified by Finding #3.
 8. Treatment of the North La Cueva Channel is not addressed by this request, nor is the AMAFCA road / bike trail part of this project. Responsibility for these improvements should be determined.
 9. The applicant has not indicated any phasing provisions for this project other than the Water Feature and Tethered Balloon elements will be designed and built at a later time. Any other phasing requirements should be specified.
 10. The lease agreement between the City and National Museum of Nuclear Science and History is under evaluation by the City Council. The Finance Committee deferred action on this lease for 60 days in late June.
 11. The location, height and design of the two museums appear to be in conformance with the intent and performance standards in Master Development Plan.
 12. The revised design as submitted for the August 31st public hearing is an improvement over the plans submitted for the July 20th hearing. The revised plans depict a reconfiguration of the site, essentially switching the location of the two museums in order to minimize encroachment of the buildings into the predominant flight path of balloons ascending from the adjacent launch field.

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13. The revised submittal is more consistent with the approved Master Plan than the submittal reviewed on July 20th. Major plan features have been retained, essentially in their original form.
14. The plans for the development of the two museums should insure adequate screening of outdoor displays, which may be objectionable to some people.
15. The parking lot for the museums should be "balloon-friendly" in terms of landscaping and lighting, reflecting the proximity of this site to the launch field.
16. The parking proposed for these venues exceeds the normal allowance by more than 35%. This overage is justified by the extraordinary demand for parking during the Balloon Fiesta.
17. The City and Balloon Fiesta should jointly endeavor to minimize the parking shortage during the Balloon Fiesta event through all means available, including the use of alternative modes of transportation, other than the automobile. In addition, the City, the Balloon Fiesta, and adjacent property owners should work together to address the loss of off-site parking areas around the park.

CONDITIONS:

1. The revised Site Development Plan for Building Permit Purposes for the 18-acre museum site within Balloon Fiesta Park that is submitted to the DRB must meet all EPC Conditions and relevant Findings; the DRB application shall include a letter which describes how EPC Conditions have been satisfied and explains any modifications to the site development plan approved by the EPC.
2. Design of the Lake (water feature) and the Tethered Balloon shall be in substantial compliance with the Master Development Plan. While the location of these features and their specific design attributes can be adjusted in order to provide integration with adjacent park elements, the function of these features shall comply with the intent of the Master Development Plan.
3. A typical drawing of proposed light poles and fixtures shall be provided; all lighting shall be in compliance with the Master Development Plan and dark skies concepts. Pedestrian lighting and building-mounted lighting shall also be specified in the DRB submittal.

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4. Details of all project features, including hard scape and landscape components, shall be provided. The design of the following project features must be clearly provided on the submitted plans, including colors, materials and dimensions:
 - a. The deck and outdoor presentation area for the National Museum of Nuclear Science and History.
 - b. The Peace Park features adjacent to Balloon Museum Drive.
 - c. The Terraced Plaza are at the north side of the Balloon Museum.
 - d. The locations, heights and colors of all walls shall be clearly specified.
5. The following components of the Landscape Plan shall be specified.
 - a. All landscape symbols shall correspond to a single plant species; use of one or two alternate species is acceptable if the alternate is similar in type.
 - b. Boundaries of the project area and lease area must be designated along with any easements. Responsibility for improvements must be indicated.
 - c. Plantings within the "Peace Parks" shall be specified, along with any hard scape features.
 - d. The "Balloon Planters" located in front of the Balloon Museum must be specified in terms of design, colors and materials.
6. All building materials and colors shall be specified. Sufficient detail, dimensions and description of building elements (including what "sun shade vanes" are) shall be provided to insure adequate review.
7. Subdivision of the Nuclear Museum area to reflect the lease boundaries shall occur within 6 months of the final signing of the lease agreement.
8. The parking areas shall be "balloon-friendly" in terms of lighting and landscaping design. The Planning Department shall insure that the DRB submittal reflects this objective while providing for adequate shading, landscaping and lighting. Pedestrian walkways shall be shaded to the extent practical with the objective of having adjacent shade trees located along walkways at a distance of 25 feet on center.
9. There must be reasonable screening of the outdoor display areas associated with the Nuclear Science Museum. Screening shall be a combination of walls, fences and landscaping. Additional conifers, shrubs and shade trees shall be sited along the fence perimeter to ensure adequate screening of the outside displays. Screening these items from sky views is unnecessary. The outdoor display shall be subject to the following requirements.

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- a. The B52 bomber shall not be exhibited.
 - b. No artifact may be displayed in a vertical format that exceeds 40 feet in height.
 - c. The outdoor display area shall be fully enclosed with walls and / fencing.
 - d. Landscaping shall be planted around the exterior of the display area.
 - e. Outdoor display shall be designed and exhibited in a format that mitigates (maybe minimizes) visibility of the artifacts.
10. Access to the park by pedestrians and cyclists is important. Such access must be completed from the project site to Alameda Boulevard and shall function as envisioned in the Master Plan during the Fiesta.
11. Circulation and parking design shall be to the satisfaction of the traffic engineer.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY SEPTEMBER 15, 2000 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL Date: June
APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

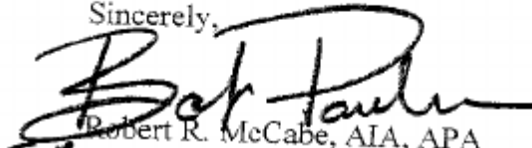
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Sincerely,


Robert R. McCabe, AIA, APA
FOR Planning Director

RM/RP/clp

cc: DCSW, 320 Central Ave. SW, Albuquerque, NM 87103
Steve Hale, Alameda North Valley Neigh. Assoc., 9339 Guadalupe Tr. NW, Albuquerque, NM 87114
Tim McConough, Alameda North Valley Neigh. Assoc., 1024 Ortega Rd. NW, Albuquerque, NM 87114
Larry Caudill, Wildflower Area NA, 4915 Watercress NE, Alb., NM 87113
Rick Treadwell, Wildflower NA, 5004 Watercress NE, Alb., NM 87113
Mike Schroeder, Coronado Acorn Tenant Union, 8401-272 Pan American Fwy, Albuquerque, NM 87113
Matthew Henderson, Coronado Acorn Tenant Union, 918 Silver SW, Albuquerque, NM 87203
Rob Amsden, Sun North Estates Assoc., 5129 StreamSt. NE, Albuquerque, NM 87113
Connie Bird, Sun North Estates Assoc., 8450 Creek St. NE, Albuquerque, NM 87113
Ron Clark, 9151 Elena NE, Albuquerque, NM 87122
Jim Walther, 901 Calle Coronado SE, Albuquerque, NM 87123
Hal Behl, 7400 Chaco NE, Albuquerque, NM 87109
TM Schultheis, 141-B Camino Los Chavez, Belen, NM 87002
Lynne Schuleter, 31 Western Saddle Dr., Tijeras, NM 87059
Norman Brown, 6608 Loffus NE, Albuquerque, NM 87109
Darline Dufour, 8421 Gordon Snider, Albuquerque, NM 87122
Arlene Lucero, 005 Hill Drive, Albuquerque, NM 87053
Michael Teetor, 209 Gen. Arnold NE, Albuquerque, NM 87123
Redd Torres Eakin, 328 Fontana Pl. NE, Albuquerque, NM 87108
Sam Bono, P.O. Box 53183, Albuquerque, NM 87153
George Vavra, 707 Lamp Post, Albuquerque, NM 87123
Paul Smith, 8309 Washington Pl. NE, Albuquerque, NM 87113
Hank Thierry, 1209 Alameda Rd. NW, Albuquerque, NM 87114
Douglas Moody, 11213 Country Club Dr. NE, Albuquerque, NM 87111-6598
Dr. Deborah Potter, 1019 Guadalupe Ct. NW, Albuquerque, NM 87114-2325
Paul Billingham, 6301 Uptown Blvd. NE, Albuquerque, NM 87111
Gerry Taylor, 615 La Veta NE, Albuquerque, NM 87108
Stephane Llapenski, 12700 Indian School Rd. NE, Albuquerque, NM 87112
Tom Salazar, 95 Abajo Dr. Albuquerque, NM 87015
James Wadell, 9109 Camino Cometa NE, Albuquerque, NM 87111
Alameda Little League, Mike Govern, 9502 4th St. NW, Albuquerque, NM 87107
Rodger Beimer, 4801 Piedra Rosa NE, Albuquerque, NM 87111
Jerry Cross, 3617 Mary Ellen NE, Albuquerque, NM 87111
Richard Schworbil, 12010 Dusty Rose NE, Albuquerque, NM 87122
Judith Mead, 1515 Sopia Rd. SE, Albuquerque, NM 87123
Dan Hardin, 12801 Calle del Oso NE, Albuquerque, NM 87111
Harry Mumma, 1917 Monte Largo Dr. NE, Albuquerque, NM 87112
Karl Peterson, Box 92373, Albuquerque, NM 87199

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Frank Wechter, 2950 San Joaquin SE, Albuquerque, NM 87106
Louie Abruzzo, 10 Tramway Lane, Albuquerque, NM 87112
Richard Abruzzo, 10 Tramway Lane, Albuquerque, NM 87112
Michael Anderson, 901 Rio Grande Blvd. NW, Ste. 260, Albuquerque, NM 87104
Bruce Hale, 8209 Washington Pl. NE, Albuquerque, NM
Charles Ogilvie, 8109 Eagle Rock NE, Albuquerque, NM 87122
Kim Hooker, 334 Los Ranchos Rd. Albuquerque, NM 87107
Fidel Moreno, 320 Central SW, Albuquerque, NM 87102
Tony Sparks, 6608 Renee Ave. NE, Albuquerque, NM 87109
Victor Chavez, 5639 Jefferson NE, Albuquerque, NM 87109
Harry Season, 12505 Royal Ridge Ct. NE, Albuquerque, NM 87111
Steve Wentworth, 8919 Boc Lane NE, Albuquerque, NM 87113
Don Power, 9608 Tanoan Dr. NE, Albuquerque, NM 87111
Norman Brown, 6608 Loftus NE, Albuquerque, NM 87109

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

November 8, 2012

City of Albuquerque
Parks and Recreation Department
PO Box 1293
Albuquerque, NM 87102

Project# 1000363
12EPC-40069 Sector Development Plan Map
Amendment (Zone Change)
12EPC-40070 Site Development Plan for Subdivision
Amendment

REQUEST:

For all or a part of Lots A, B, C, D, E, F, G-1, G-2, & I-2, Balloon Fiesta Park, located on Alameda Boulevard NE between Edith Boulevard NE and San Mateo Boulevard NE, containing approximately 358 acres.
Chris Hyer, Staff Planner

On November 8, 2012, the Environmental Planning Commission voted to WITHDRAW Project 1000363 / 12EPC-40069, a request for a Sector Development Plan Map Amendment (Zone Change), and APPROVE Project 1000363 / 12EPC-40070, a Site Development Plan for Subdivision Amendment, based on the following Finding and Conditions.

Project #1000363, 12EPC 40070 - Site Development Plan for Subdivision Amendment
(update of the Master Development Plan)

FINDINGS:

1. This is a request for an amendment to the 1998 City of Albuquerque Balloon Fiesta Park Master Development Plan (MDP) for Tracts A, B, C, D, E, F, G-1, G-2 and I-2, Balloon Fiesta Park Subdivision, which is generally located east of the North Diversion Channel, north of Paseo Del Norte, south of the Sandia Pueblo Reservation sovereign line and east of Jefferson Boulevard and its north-south alignment, containing approximately 358-acres.
2. A Master Development Plan is required to have all the elements required by a site development plan for subdivision (SPS) as defined by the Zoning Code – that includes design requirements for buildings, landscaping, lighting and signage; the process used for this update will be that of amending an SPS. The SPS was previously approved by the EPC in 1998 (Z-96-77) and later

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amended through EPC, DRB and AA actions. The update to the SPS incorporates all of these amendments and starts its strategic planning process with the current conditions

3. The applicant is requesting an update of the MDP and the site development plan for subdivision packet. The MDP update provides revisions to three of the sections of the original MDP. These sections are: Site Plan for Subdivision; Design Performance Standards; and, Infrastructure and Engineering. The updated sections will be incorporated into the original MDP and the revised site development plan for subdivision will replace the existing site plan.
4. The MDP update includes new commercial uses along Alameda Boulevard and a caretakers unit. The MDP update was recommended for approval by the Balloon Fiesta Park Commission in September 11, 2012.
5. The subject site is in the Developing Urban Area of the Comprehensive Plan and is designated a Special Activity Center.
6. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan, the North I-25 Sector Development Plan, the Alameda Boulevard Design Overlay Zone, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The MDP update is not in conflict with any of the Goals or Policies of the original MDP. The proposed Design Performance Standards are consistent with the original Design Performance Standards from the MDP.
8. The North I-25 Sector Development Plan (NI25SDP) presents a set of Land Use Districts that provide an optional set of uses. The applicant has chosen to use the related Land Use District for the Balloon Fiesta Park – the Recreation and Open Space (ROS) Land Use District.
9. The NI25SDP states that the Balloon Fiesta Park must follow all provisions of the MDP when the ROS Land Use District is chosen. All existing and proposed improvements are listed in the MDP – this includes the permissive uses and their locations. Therefore, a change of zoning is not required when new uses are introduced, only an amendment to the MDP.
10. The applicant has requested new uses be allowed in the Balloon Park and has provided an R-270-1980 justification.
 - A. The additional proposed uses are consistent with the health, safety, morals and general welfare of the City as the MDP already allows several commercial uses. Also, the amendments to the MDP require any commercial development along Alameda Boulevard to be approved by the EPC in a public hearing. The Care Taker's Unit use is being utilized; this use has been consistent with the MDP.
 - B. The permissive uses already allow restaurants at the Balloon Fiesta Park and therefore, the addition of permanent commercial retail service uses is an expansion of this use. The location for these uses is adjacent to existing office uses. The commercial uses will add to

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these non-residential uses and help add to the stability of the Balloon Fiesta Park and the surrounding area.

- C. The requested additional uses in the MDP are not in significant conflict with adopted elements of the Comprehensive Plan, the North Valley Area Plan, the North I-25 Sector Development Plan, the Alameda Boulevard Design Overlay Zone or the Balloon Fiesta Park Master Development Plan or other city master plans including the following:

A) COMPREHENSIVE PLAN: DEVELOPING URBAN AREA POLICIES

- i. The location, intensity, and design of the requested uses respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resources, and other resources of social, cultural, and recreational concern. The location of the commercial retail/service use along Alameda Boulevard, an Express Transit Corridor, with a traffic signal at the primary entry to Balloon Fiesta Park is appropriate. There are no residential uses located near this area. Adjacent land uses have been designated by the North I-25 Sector Development Plan as “Commerce”, which allows for IP Permissive and Conditional Uses and M-1 Permissive and Conditional Uses, with exceptions. This use is intended to support the City’s largest recreational facility, as well as workers in the surrounding area. Both of these future commercial sites have full urban facilities and services available to them. The caretaker’s unit has existing water, sewer, and electricity - no further services are needed. (Comprehensive Plan Policies II.B.5.d and e)
- ii. Impacts of noise and lighting are strictly regulated by the MDP as well as the North I-25 Sector Plan and the Alameda DOZ. Commercial retail/service uses will go through a site approval process with the EPC and all development must meet the Design Performance Standards presented by the MDP. The City’s Environmental Health Department has also been an active participant in the MDP update process. (Comprehensive Plan Policies II.B.5.i, j and l)
- iii. Balloon Fiesta Park is designated as a Specialty Activity Center, with the Goal to “provide for unique attractions serving local, regional, and statewide needs”. The Park is accessible by all modes of travel, and has convenient access to the major roadway system. The request for commercial retail/service use is consistent with the examples contained in the Comprehensive Plan. The scale, buildings, parking, and pedestrian amenities are all consistent with the policies for Specialty Activity Centers and allow for greater activity along Alameda Boulevard. (Comprehensive Plan Goal for Activity Centers and Policy II.B.7.a)

C. Environmental Protection and Heritage Conservation

2. Noise

A noise study and the City’s Noise Ordinance formed the basis of the Design Performance Standards in the MDP. The addition of these two small commercial areas will not have a negative impact on noise. (Comprehensive Plan Policies

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II.C.2.a)

D. Community Resource Management

1. Service Provision

The Parks and Recreation Department has been developing and managing Balloon Fiesta Park with the goal to develop and manage use of public services/facilities in an efficient and equitable manner and in accordance with other land use planning policies. (Comprehensive Plan Service Provision Goal, II.D.1)

4. Transportation and Transit Policies

The applicant's request is to add commercial retail/service uses along Alameda Boulevard, an Express Transit Corridor that already contains a mix of office and commercial uses and is multi-modal - accessible by transit, bicycle, pedestrian, and vehicles. Vehicular access will be from Balloon Museum Drive, eliminating the need for an additional driveway along a principal arterial. Additionally, there are existing public trails and sidewalks leading to and going throughout the Park. (Comprehensive Plan Goal for Transportation and Policies II.D.4.d and g)

6. Economic Development

The Parks and Recreation Department and the Balloon Fiesta Park Commission work to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals. Allowing for new commercial uses along Alameda Boulevard will provide additional employment opportunities and support new job creation in this area. (Comprehensive Plan Goal for Economic Development and Policy II.D.6.a)

B) North Valley Area Plan:

The Balloon Fiesta Park has been designed to minimize potential impacts on the residential areas within the Edith Subarea. The Design Performance Standards contained in the MDP address lighting, noise, water use, dust control, architecture (height limits, setbacks), transportation, and drainage. The new commercial uses will be required to comply with the Design Performance Standards. (North Valley Area Plan Goal 11 and Policy Community Design 1)

C) North I-25 Sector Development Plan:

The mix of uses will promote vehicular trip reduction and support Balloon Fiesta Park operations and promote economic vitality to the Plan area. (North I-25 Sector Development Plan Policies 3.1 LUZ2, LUZ3 and 5.1 T1)

D) Alameda Boulevard Design Overlay Zone:

New commercial development will be required to comply with the Design Performance Standards referenced in the Alameda Design Overlay Zone, and is consistent with the regulations for design.

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- D. The additional proposed uses are more advantageous to the general community because it would increase the long term sustainability of Balloon Fiesta Park and offer the ability to provide commercial retail/service uses related to recreational activities in a more self-contained setting; the current use is for parking. Commercial retail/service uses would be a higher and better use of this street frontage along Alameda Boulevard.
 - E. There are no permissive uses that would be harmful to the adjacent property, the neighborhood or the community as the site is already zoned for the Balloon Fiesta Park and the additional uses that are to be amended in the MDP will allow commercial use on a permanent basis, but only in specified areas adjacent to Alameda Boulevard. This use is compatible with existing uses along this roadway and will not create harm to this adjacent property, the neighborhood, or the community.
 - F. The request will not result in unprogrammed capital expenditures by the City; any costs for commercial structures would be borne by the leasing entity. The care takers unit is existing and has all City services.
 - G. The cost of land or other economic considerations are not the primary determining factors for the requested addition of allowable uses to the MDP.
 - H. The location on a collector or major street is not the sole justification for the request; it is unlikely the designated areas for commercial use would be considered for recreational use.
 - I. This request would result in a spot zone; however, the Balloon Fiesta Park is a Special Activity Center (as designated in the Comprehensive Plan) and provides for unique attractions that serve local, regional and statewide needs. The applicant has demonstrated that these additional uses added to the MDP clearly facilitate realization of the Comprehensive Plan, the North Valley Area Plan, the NI25SDP, the Alameda Boulevard Overlay Zone and the Balloon Fiesta Park Master Development Plan.
 - J. The request does not constitute a strip zone.
11. The MDP update is guided by four major components that provide a vision for improvements at the Park for the next 25-years. These components were derived through public input that was filtered by the desired activities in the Park and what should be the important improvements for the Park that would add to the community. These components are:
- a. Infrastructure – a full complement of utility facilities serving the Park supporting daily use;
 - b. Connections – multi-modal connections in and around the Park;
 - c. Activities – continue to expand sports and recreational (and community service) activities;
 - d. Identity and Branding – Promote the Park and its setting – it is the Balloon Fiesta Park.
12. The MDP update includes a revised Site Development Plan for Subdivision, amended Design Performance Standards, and an amended/updated Infrastructure and Engineering section. The MDP update also includes a site development plan for subdivision sheet showing the location of existing and proposed elements within the Park. This includes all elements required by the Zoning Code for a site development plan for subdivision and existing and future locations of

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improvements. An update to the landscaping plan is also shown. Major improvements to the Balloon Fiesta Park include:

- a. Proposed buildings are identified by type and their location is specified on the site plan;
 - b. All building descriptions include maximum height and size of buildings. Development parameters have been provided for the primary buildings/areas in the Park, including the Multi-Purpose Center, Large Outdoor Performance Area, Northeast Outdoor Recreation Area, Small Stage Area, Main Street Promenade, and the Balloonist Tribute Area;
 - c. Streets in and to the Park have been modified: this includes Balloon Museum Drive and Balloon Fiesta Parkway. This modification will maintain access to the property north of the Park, creating a more typical intersection that provides better access via Magic Avenue and parking areas. Balloon Museum Drive will be extended to San Diego Avenue. Jefferson Street Connector Road is realigned to intersect with the extension of Balloon Museum Drive. Magic Avenue has been relocated to provide better access to parking areas. Also, the intersections of Balloon Museum Drive and Horizon Boulevard at Alameda Boulevard will be improved to function more efficiently.
 - d. Some Balloon Fiesta Park elements have been relocated - an example, the Multi-Purpose Center (previously the Family Recreation Center) will be next to the Balloon Museum. Other uses in this area, including the lake and the Atomic Museum, have been removed from the MDP.
13. The Bus Depot Area has been redesigned for better efficiency and access to the Launch Field. The redesign has been coordinated with City Transit Department.
 14. An additional multi-use trail along the North Camino Arroyo will provide access from the east and along the northern edge of the Park. This will be coordinated with AMAFCA and Bernalillo County.
 15. The MDP update is not in conflict with Goals and Policies of the Comprehensive Plan, the North Valley Area Plan, the North I-25 Sector Development Plan or the Alameda Boulevard Design Overlay Zone. Specific goals and policies that are supported by this request are presented in the policy Findings in Section C. of R-270-1980 above.
 16. Property owners within 100' of the subject site were notified of this request. Also, the Alameda North Valley Association, the Vista Del Norte Alliance, the Wildflower Area Neighborhood Association, the North Edith Community Corridor Association, the District 4 Coalition of Neighborhood Associations and the North Valley Coalition were notified as well.
 17. There was not a facilitated meeting and staff has received no communications from interested parties. Therefore, there is no known opposition or support of this request.
 18. The Department of Municipal Development has made the following observations regarding the Channel Road:
 - Page 52 of the Master Development Plan update correctly describes DMD's plans and phasing for North Diversion Channel Road: the typical section planned for Channel Road

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consists of two 12-foot driving lanes, six-foot shoulders, and curb and gutter, all within a 60 to 70 foot right-of-way. A 6-foot sidewalk is planned to be constructed on the west side of the roadway.

- On page 53 of the Plan, Proposed Improvements are identified for a wider section of Channel Road to include four 12-foot driving lanes with a 16-foot median, 6-foot bicycle lanes in each direction, curb and gutter, 9-foot sidewalk on the west side and 6-foot sidewalk on the east side. The proposed improvements would require approximately 45 to 50 feet of additional right-of-way.
- The Proposed Improvements defined in the Plan are in conflict with DMD's current design of Channel Road.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Page 14, add the following language under President's Compound:

"As this area develops, improvements shall follow the Interim Guidelines for Development within City Designated Landfill Buffer Zones."
4. Page 33, add an additional bullet under Parking Areas:

"All parking areas shall be designed in compliance with the City Comprehensive Zoning Code, Section 14-16-3-1, including provisions for accessible parking, except as provided below."
5. Page 34, add the following language within Signage section:

"Way finding – Finding your way around the Park can be difficult. To aid in the movement and way finding in and around the Park, the north, east, and south entrances of the Park have been color-coded. The northern end of the Park is red, the eastern portion is green, and the southern portion is blue. The selection of colors for shade structures, signage, and other colored incidental structures should follow this color coding system."
6. Page 49, add the following language under Pilot's Road:

"The City shall pursue an access agreement with owner of Horizon Road."

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7. Page 52, add the following language under Balloon Fiesta Parkway:

“The current slope on a portion of Balloon Fiesta Parkway from the eastern property line to Gate 1 is 7%. As the road is developed, the slope of the road should be reduced to allow for ADA access along Balloon Fiesta Parkway and to improve access for mass transit.”
8. Page 54, revise map to show Pilot’s Road as an existing private roadway and show access from Horizon Road to Pilot’s Road.
9. The multi-use trail shown at the northeast corner of the site plan shall be revised to continue east and not turn south.
10. Minor editing and corrections as proposed by City Parks and Recreation Department in the pre-hearing staff comments, including clarification that all trails are multi-use trails, labeling corrections to the keyed notes, labeling the super trail, and fencing/gate corrections on fencing plan, etc., shall be made to the final Master Development Plan.
11. Conditions from City Engineer, Municipal Development, Water Authority and NMDOT:
 - i. Page 52 of the Master Development Plan correctly describes DMD's plans for the North Diversion Channel Road. This design would be the Phase 1 improvements for the road project as it passes through the Old Los Angeles Landfill. Add the following language to page 53, under North Diversion Channel Road:

“As part of the 2012 Update of the Master Development Plan, the ultimate road section for Channel Road would be wider starting from the south property line of the South Park Area (Los Angeles Landfill) and going north to Alameda Boulevard in order to accommodate the through traffic and event support traffic during the annual Balloon Fiesta event and other large events. During events, this segment of Channel Road would be used for through traffic, access for RV parking, event shuttles from RV parking, pedestrian and bicycle traffic. A four-lane section with a wide sidewalk on the west side of the road would be needed to accommodate the anticipated traffic. The 2012 Update of the Master Development Plan is not requesting a reclassification of the road to a principal arterial, but rather, to match the street section on Balloon Museum Drive north of Alameda Boulevard. Design for this expanded road section will be in the future and funding for the improvements will be determined at that time.
 - ii. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - iii. Please provide the approved Site Development Plan for Subdivision to accompany the Amended plan for review.
 - iv. There are keyed notes and legends that are not accurately reflected on the Site Plan for Subdivision.
 - v. Concurrent Platting Action required at *Development Review Board* (DRB) for proposed

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lot lines.

- vi. All vacation actions require a separate request for DRB approval.
- vii. Site plan shall comply and be in accordance with *Development Process Manual (DPM)* and current *Americans with Disabilities Act (ADA)* standards/ requirements. Please note that a separate design variance requests, with justification and supporting documentation, must be provided at DRB.
- viii. All easements need to be shown and labeled on Site Plan.
- ix. Cross Access Easement will be required with adjacent lots for DRB approval.
- x. Concurrence, coordination, and approval is needed from one or more of the following government bodies: NMDOT, MRCOG, AMAFCA, Bernalillo County Public Works, Department of Municipal Development, Parks and Recreation, Environmental Health and City Transportation for infrastructure improvements and access modifications to roadways external to the park (including: Alameda Boulevard, Jefferson Street, San Diego Avenue, Balloon Fiesta Parkway, I-25/Paseo del Norte Interchange, the vehicle access bridges over the North Diversion Channel linking to Edith Boulevard, and construction of the new North Diversion Channel Road) and access bridges over La Cueva Channel within the park.

12. Conditions of Approval from PNM:

- a) Label new header of revised sections as 2012 Update, add [+1998+] to header of remaining existing unrevised sections.
- b) Access. The following notes shall be added to the Keyed Notes section on sheet 1 of 4, "Site Development Plan for Subdivision Amendment" and the Design Performance Standards, under General Design Guidelines, Utilities, on page 35 and in the Infrastructure & Engineering section, Electric Service section, on page 77 after Existing Conditions:
 - 1) Permanent access to all PNM facilities must be maintained and available to allow for maintenance and repair.
 - 2) It is necessary to coordinate with PNM regarding any and all changes that may affect electric transmission and distribution facilities.
 - 3) Any fences within or crossing PNM easement must be reviewed and approved by PNM.
 - 4) Any encroachment of PNM easements must be approved by PNM.
- c) Landscape Master Plan Amendment. Sheet 3 of 4, indicates the conceptual location for landscaping. It is PNM's preference for trees to be located outside PNM's transmission easement; however, if trees are to be located in the PNM transmission easement, the following design standard applies. Please add the following note to the General landscape Notes section:
 - 1) Maximum tree height at maturity if trees are located within the PNM electric transmission easement is 14 feet in height.

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- d) The following language shall be revised in the update to the MDP on pages 76-77 under the heading PNM TRANSMISSION FACILITIES: (Note: ~~Strike-through is to be deleted and~~ [+underlined is to be inserted+].)

PNM TRANSMISSION FACILITIES

~~Public Service Company of New Mexico (PNM) presently operates significant above-ground electric transmission (115kV) and distribution (12.47 kV and below) facilities within the Balloon Fiesta Park. These facilities are~~ have been ~~designed, and developed,~~ and are operated to provide safe, ~~abundant,~~ efficient and reliable electric service to residential, commercial, and industrial users located in and around the Park and greater Albuquerque metro area. The existing overhead transmission line facilities also serve as critical links in the Albuquerque and Northern New Mexico transmission grid. It is ~~critical~~ crucial that the operational integrity of these overhead electric facilities be maintained ~~for PNM to continue to provide reliable electric service to the Albuquerque area. There are no plans to relocate any of the lines in the near future.~~

~~Per the City's request, PNM developed conceptual alternatives as part of the 1998 Master Development Plan process to relocate the existing transmission line facilities away from the Balloon Fiesta Park, and/or alternatives to place these facilities underground. The design of the Preferred Master Plan Concept was developed with the understanding that the relocation of the PNM transmission lines may take years to accomplish. The majority of the physical features of the Park function with the transmission lines in their current location; however, no buildings or facilities shall be built within the PNM easement until relocation, funding, siting, permitting, and schedule for relocation of the lines has been accomplished.~~

~~A possible alternative for the relocation of the two overhead transmission lines is listed below (see Appendix G for the other alternatives). This concept is contingent upon additional funding for the relocation of the line and future negotiations with the neighborhoods and industry.~~

PREFERRED ALTERNATIVE

~~Relocate the existing two overhead 115kV transmission lines along Elena Street to the I-25 West Frontage Road (Pan American Freeway), then south along the West Frontage Road to Alameda Boulevard. At Alameda Boulevard, the lines would go west back to the existing PNM overhead lines. A double circuit line would be installed from Alameda Boulevard north along San Mateo Boulevard to the existing PNM substation at the Phillips facility. The lines would be constructed on double circuit tubular steel structures (80-95 feet in height) on concrete foundations, existing wood "H Frame" and tubular steel structures would be removed. PNM estimates the cost for this preferred alternative to be \$1.2 million, however, this information is conceptual and subject to significant change as the development of the Park becomes more defined in the future.~~

~~Concepts to modify existing PNM distribution facilities are not included in this Master Development Plan. Final If relocation is considered in the future, all siting and permitting~~

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shall be in accordance with the City of Albuquerque “~~1995-2000~~ 2010-2020 Electric Facility Plan.” The City will identify the funding source to pay for any relocation and/or undergrounding of these facilities and will need to provide or acquire the necessary utility easements. The City shall take the lead in these relocation activities.

No buildings or other facilities shall be constructed within the existing PNM transmission line easement, until relocation, funding, siting, permitting, and schedule for relocation of the transmission lines has been accomplished. Safety issues involving activities around the overhead lines are critical to any relocation plans for these transmission line facilities.

All Park structures, facilities, features, and events shall be designed and operated to comply with National Electrical Safety Code (NESC) clearance requirements at all times. All events taking place at the Park shall follow proper processes, procedures, training, and safeguards to avoid contact accidents with transmission or distribution facilities.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 26, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after

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appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

Suzanne Lubar
Acting Director, Planning Department

SL/CH/mc

cc: Consensus Planning, Inc., 302 Eighth Street NW, Albuquerque, NM, 87102
COA Parks and Recreation, P.O. Box 1293, Albuquerque, NM, 87103
Steve Wentworth, 8919 Boe Lane NE, Albuquerque, NM, 87113
David Linder, 10407 4th Street NW, Albuquerque, NM 87114
Rod Crawley, 7331 Sidewinder Drive NE, Albuquerque, NM, 87113
Liz Hix, 905 Bosque NE, Albuquerque, NM, 87113
Larry Caudill, 4915 Watercress NE, Albuquerque, NM 87113
Tony Perry, 4909 Watercress NE, Albuquerque, NM, 87113
Bob Warrick, 444 Niagara NE, Albuquerque, NM 87113
Janice Caudill, 100 Diers Road NW, Albuquerque, NM 87114
Peter Nicholls, 8519 Palomar Avenue NE, Albuquerque, NM, 87109
Erica Vasquez, P.O. Box 92315, Albuquerque, NM, 87199
Chris Catechis, 5733 Guadalupe Trail NW, Albuquerque, NM 87107
David Wood, 158 Pleasant NW, Albuquerque, NM, 87107

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

April 10, 2014

City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Project# 1000363
14EPC-40017 Site Dev Plan for Building Permit
14EPC-40018 Amend Site Dev Plan for
Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A, Balloon Fiesta Park Subdivision, located on Balloon Museum Drive between Edith Blvd. and San Mateo Blvd., containing approximately 6.3 acres.
Staff Planner: Maggie Gould

On April 10, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1000363, 14EPC-40017, a request for a Site Development Plan for Building Permit and 14EPC-40018, an Amendment to the Site Development Plan for Subdivision, based on the following Findings and Conditions:

FINDINGS:

14 EPC 40018, April 10th Amendment to Site Development Plan for Subdivision

1. This is a request for an amendment to the Site Development Plan for Subdivision for portion of Tract A, Balloon Fiesta Park, located on Balloon Fiesta Drive between Edith and San Mateo, containing approximately 6.3 acres.
2. The request will allow the allowed building height to increase from 26 feet to 34 for a proposed Pilots' Pavilion.

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3. The increase in height has been deemed safe by the Federal Aviation Administration and will not impact the safety of balloon launches.
4. The Albuquerque/Bernalillo County Comprehensive Plan, North Valley Area Plan, North I-25 Sector Development Plan and the Balloon Fiesta Park Master Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request is consistent with the Albuquerque Bernalillo County Comprehensive Plan and furthers the following policies:

Open Space Network

- a) Open Space Network Goal : to provide visual relief from urbanization offer opportunities for education, recreation, cultural activities, and conservation of natural resources by setting aside Major Public Open Space, parks, trail corridors, and open areas throughout the Comprehensive Plan area.
- b) Policy II.B.1.i :The design of parks and other open areas shall incorporate the following criteria:
 - Multi-functional use of resources and compatible facilities.
 - Maintenance and landscaping appropriate to the location, function, public expectations and intensity of use.
 - Integration into residential design for accessibility and orientation to encourage use.
 - Lighting, site design, or other methods to minimize vandalism.
 - Connections between other Open Space network areas and public facilities.

The goal and policy i are furthered by this request because the park is part of the existing parks and Open Space System. The proposed new buildings will be multi-use and will add to and be compatible with the Balloon Fiesta Park. The proposed new buildings will have adequate lighting are designed so that they can be seen from a variety of locations on the site; making them easier to patrol.

Developing and Established Urban Area

- a) Policy II.B.5d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The Balloon Fiesta Park has been compatible with the surrounding area. The addition of new buildings will not change the overall use at the park. The views of the Sandias will still be visible. The proposed plant list is compatible with the area. The park is a local cultural and recreational resource. Policy 5d is furthered by this request.

- b) Policy II.B.5m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The proposed buildings will not interfere with existing views; the park is well below the grade of the properties to the east. Because of this grade difference, the additional height will not

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significantly impact views to the Sandias from the site nor the neighborhoods to the west. Policy 5m is furthered by this request.

Developed Landscape

- a) II.C8. Developed Landscape Goal: to maintain and improve the natural and the developed landscape's quality.
- b) Policy II.C .8a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.
- c) Policy II.C .8 b: Public facilities (including buildings, parks, plazas, utilities, bridges, streets, stadiums, and airports) shall be designed to realize opportunities for City/County beautification.

The proposed Pilots' Pavilion will be a complimentary addition to the park. The proposed landscaping on the site is appropriate for the area and attractively designed. The pavilion has a design similar to the existing Albuquerque International Balloon Museum and significant improved outdoor space. The park itself is a unique resource for the Albuquerque Area. The Developed Landscape goal and policies 8a and 8b are furthered by this request.

Cultural Traditions and the Arts

- a) II.C.7 Goal : emphasize and support unique cultural traditions and arts as viable components of the community's well-being.

The Balloon Fiesta is unique event in Albuquerque with many associated traditions. The proposed buildings improve the park experience for all visitors.

Community Resource Management

- a) II.D.1. Service Provision Goal: to develop and manage use of public services/facilities in an efficient and equitable manner and in accordance with other land use planning policies.

The Parks and Recreation Department has been developing and managing Balloon Fiesta Park in accordance with this goal.

Economic Development

- a) II.D.6. Economic Development Goal: to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.

According to the 2011 Balloon Fiesta Economic Impact and Guest Research Study by CRC & Associates, the estimated direct and indirect economic impact of the 2011 Balloon Fiesta was \$117.1M. In 2013, Balloon Fiesta Officials estimated 856,986 guests and a \$90 million dollar direct impact on the Albuquerque economy. A 2013 study is pending. The goal is furthered by this request.

- b) Policy II.D.6.a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.
- c) Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

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The proposed new buildings will be amenities that will add to the flexibility of the park and allow a wider range of events, providing more opportunity for business. Policies II.D.6a and b are furthered by this request.

d) Policy II.D. 6d: Tourism shall be promoted

The new buildings will improve the park by providing more indoor space for events during the Balloon Fiesta and throughout the year. The overall experience for tourists and locals will be improved with the amenities proposed by this request. The Balloon Fiesta is a huge tourist draw. Policy II.D.6d is furthered by this request.

6. This request meets the intent of the North Valley Area Plan to have more intense uses in the North I-25 area and less intense uses in the valley.

7. Goals and policies of the North I-25 Sector Development Plan are furthered including:

3.1 Land Use Policy LUZ2: Promote land uses that contribute to the vitality of the Plan area and strengthen the economic and functional relationships to surrounding areas.

The proposed new buildings will add to the flexibility of site by providing a permanent , sheltered space and restroom facilities; making it work better for the Balloon Fiesta and for other events throughout the year. This will add to the economic viability of the park. The Balloon Fiesta is already a large economic generator. Policy LUZ2 is furthered.

6.1.2. Open Space Recommended Actions 2. Continue the phased development of Balloon Fiesta Park and identify adequate funding for maintenance.

The proposed buildings are identified in the Balloon Fiesta Master plan and will continue the phased development of the park. This complies with Recommended Action 6.1.2.

8. The Site Development Plan for Building is consistent with design guidelines of the Balloon Fiesta Master Plan. Park Goals are found on page 2 and relevant goals include:

- Develop the world's premiere balloon launch site and multi-use recreational complex
- Design an International Park which serves the local and statewide community
- Design a Park with a cohesive visual image from the air
- Provide a venue to celebrate local artistry and craftsmanship.

The proposed project will meet these goals by adding the flexibility of the park and allowing permanent, sheltered spaces with amenities , in the for the pavilion and vendor spaces, for concerts, sporting events, craft fairs and other uses for both the local and outside community . The design of the pavilion and the vendor spaces will similar to the Balloon Museum to the south of the site and the proposed paving will have balloon themed designs that are visible from the air.

Design Goals are listed on page 37 and relevant goals include:

- Provide for multi-use of the balloon launch fields
- Create opportunities for recreational activities to be complemented by special events, entertainment, and cultural activities

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- Provide activities and facilities for visitors of all ages, including youth and seniors, and all physical abilities
- Explore sensitive design and technical solutions to protect residential neighborhoods and the environment from adverse impacts.
- Create a unified exciting aerial view of the park for balloonists.

The request will meet these goals by adding to the uses that are possible at the park, including special events along with recreational activities. The addition of amenities such as improved paving, permanent indoor space and restrooms makes the site easier to access for people with mobility issues. The design will have elements that are similar to the existing buildings on site and will have paving with patterns that are visible from the air. The proposed development is located away from the residential development to the west of the park.

9. The Alameda North Valley Association, Wildflower Area Neighborhood Association, Vista del Norte Alliance, North Edith Commercial Corridor, District 4 Coalition of Neighborhood Associations and the North Valley Coalition were all notified. Property owners within 100 feet of the site were also notified.
10. Staff received comments from the Alameda North Valley Neighborhood Association and the Wildflower Neighborhood Association expressing concern that the Balloon Fiesta Park Commission had not had sufficient time to review the project and expressing opposition to the delegation of approval of future structures to the Planning Director.

CONDITIONS OF APPROVAL -14 EPC 40018, April 10th Amendment to Site Development for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Albuquerque/Bernalillo County Comprehensive Plan, North Valley Area Plan, North I-25 Sector Development Plan and the Balloon Fiesta Park Master Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

FINDINGS – 14 EPC 40017, April 10th- Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit for a portion of tract A, Balloon Fiesta Park, located on Balloon Fiesta Drive between Edith and San Mateo, containing approximately 6.3 acres.
2. The request will allow the development of an 18,000 square foot multi-purpose building.
3. The Albuquerque/Bernalillo County Comprehensive Plan, North Valley Area Plan, North I-25 Sector Development Plan and the Balloon Fiesta Park Master Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The request is consistent with the Albuquerque Bernalillo County Comprehensive Plan and furthers the following policies:
 - Open Space Network**
 - a) Open Space Network Goal : to provide visual relief from urbanization offer opportunities for education, recreation, cultural activities, and conservation of natural resources by setting aside Major Public Open Space, parks, trail corridors, and open areas throughout the Comprehensive Plan area.
 - b) Policy II.B.1.i :The design of parks and other open areas shall incorporate the following criteria:
 - Multi-functional use of resources and compatible facilities.
 - Maintenance and landscaping appropriate to the location, function, public expectations and intensity of use.
 - Integration into residential design for accessibility and orientation to encourage use.
 - Lighting, site design, or other methods to minimize vandalism.
 - Connections between other Open Space network areas and public facilities.

The goal and policy i are furthered by this request because the park is part of the existing parks and Open Space System. The proposed new buildings will be multi-use and will add to and be compatible with the existing site. The proposed new buildings will have adequate lighting are designed so that they can be seen from a variety of locations on the site; making them easier to patrol.

Developing and Established Urban Area

- a) Policy II.B.5d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The Balloon Fiesta Park has been compatible with the surrounding area. The addition of new buildings will not change the overall use at the park. The views of the Sandias will still be visible.

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The proposed plant list is compatible with the area. The park is a local cultural and recreational resource. Policy 5d is furthered by this request.

- b) Policy II.B.5m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The proposed buildings will not interfere with existing views; the park is well below the grade of the properties to the east. Because of this grade difference, the additional height will not significantly impact views to the Sandias from the site nor the neighborhoods to the west. Policy 5m is furthered by this request.

Developed Landscape

- a) II.C8. Developed Landscape Goal: to maintain and improve the natural and the developed landscape's quality.
- b) Policy II.C .8a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.
- c) Policy II.C .8 b: Public facilities (including buildings, parks, plazas, utilities, bridges, streets, stadiums, and airports) shall be designed to realize opportunities for City/County beautification.

The proposed Pilots' Pavilion will be a complimentary addition to the park. The proposed landscaping on the site is appropriate for the area and attractively designed. The pavilion has an interesting, modern design and significant improved outdoor space. The park itself is a unique resource for the Albuquerque Area. The Developed Landscape goal and policies 8a and 8b are furthered by this request.

Cultural Traditions and the Arts

- a) II.C.7 Goal : emphasize and support unique cultural traditions and arts as viable components of the community's well-being.

The Balloon Fiesta is unique event in Albuquerque with many associated traditions. The proposed buildings improve the park experience for all visitors.

Community Resource Management

- a) II.D.1. Service Provision Goal: to develop and manage use of public services/facilities in an efficient and equitable manner and in accordance with other land use planning policies.

The Parks and Recreation Department has been developing and managing Balloon Fiesta Park in accordance with this goal.

Economic Development

- a) II.D.6. Economic Development Goal: to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.

According to the 2011 Balloon Fiesta Economic Impact and Guest Research Study by CRC & Associates, the estimated direct and indirect economic impact of the 2011 Balloon Fiesta was \$117.1M. In 2013, Balloon Fiesta Officials estimated 856,986 guests and a \$90 million dollar direct impact on the Albuquerque economy. A 2013 study is pending. The goal is furthered by this request.

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- b) Policy II.D.6.a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.
- c) Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

The proposed new buildings will be amenities that will add to the flexibility of the park and allow a wider range of events, providing more opportunity for business. Policies II.D.6a and b are furthered by this request.

- d) Policy II.D. 6d: Tourism shall be promoted

The new buildings will improve the park by providing more indoor space for events during the Balloon Fiesta and throughout the year. The overall experience for tourists and locals will be improved with the amenities proposed by this request. The Balloon Fiesta is a huge tourist draw. Policy II.D.6d is furthered by this request.

- 5. This request meets the intent of the North Valley Area Plan to have more intense uses in the North I-25 area and less intense uses in the valley.

- 6. Goals and policies of the North I-25 Sector Development Plan are furthered including:

3.1 Land Use Policy LUZ2: Promote land uses that contribute to the vitality of the Plan area and strengthen the economic and functional relationships to surrounding areas.

The proposed new buildings will add to the flexibility of site; making it work better for the Balloon Fiesta and for other events throughout the year. This will add to the economic viability of the park. The Balloon Fiesta is already a large economic generator. Policy LUZ2 is furthered.

6.1.2. Open Space Recommended Actions 2. Continue the phased development of Balloon Fiesta Park and identify adequate funding for maintenance.

The proposed buildings are identified in the Balloon Fiesta Master plan and will continue the phased development of the park. This complies with Recommended Action 6.1.2.

- 7. The Site Development Plan for Building is consistent with design guidelines of the Balloon Fiesta Master Plan. Park Goals are found on page 2 and relevant goals include:
 - Develop the world's premiere balloon launch site and multi-use recreational complex
 - Design an International Park which serves the local and statewide community
 - Design a Park with a cohesive visual image from the air
 - Provide a venue to celebrate local artistry and craftsmanship.

The proposed project will meet these goals by adding the flexibility of the park and allowing permanent, sheltered spaces with amenities , in the for the pavilion and vendor spaces, for concerts, sporting events, craft fairs and other uses for both the local and outside community . The design of the pavilion and the vendor spaces will similar to the Balloon Museum to the south of the site and the proposed paving will have balloon themed designs that are visible from the air.

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Design Goals are listed on page 37 and relevant goals include:

- Provide for multi-use of the balloon launch fields
- Create opportunities for recreational activities to be complemented by special events, entertainment, and cultural activities
- Provide activities and facilities for visitors of all ages, including youth and seniors, and all physical abilities
- Explore sensitive design and technical solutions to protect residential neighborhoods and the environment from adverse impacts.
- Create a unified exciting aerial view of the park for balloonists.

The request will meet these goals by adding to the uses that are possible at the park, including special events along with recreational activities. The addition of amenities such as improved paving, permanent indoor space and restrooms makes the site easier to access for people with mobility issues. The design will have elements that are similar to the existing buildings on site and will have paving with patterns that are visible from the air. The proposed development is located away from the residential development to the west of the park.

8. The Main Street Promenade and the associated vendor structures shall be submitted for approval by the Environmental Planning Commission and shall be consistent with the Balloon Fiesta Park Master Development Plan.
9. The Alameda North Valley Association, Wildflower Area Neighborhood Association, Vista del Norte Alliance, North Edith Commercial Corridor, District 4 Coalition of Neighborhood Associations and the North Valley Coalition were all notified. Property owners within 100 feet of the site were also notified.
10. Staff received comments from the Alameda North Valley Neighborhood Association and the Wildflower Neighborhood Association expressing concern that the Balloon Fiesta Park Commission had not had sufficient time to review the project and expressing opposition to the delegation of approval of future structures to the Planning Director.
11. Balloon Fiesta Park Commission Ordinance (10-10-1) 10-10-5 DUTIES AND POWERS OF THE COMMISSION.

The Commission is hereby created to oversee the operation, management, and development of the park with the following duties and powers:

- (A) Recommend to the Parks and Recreation Department, the Mayor and City Council guidelines and procedures governing the operation, management, and development of the park, including event review and appropriate fee schedules.
- (F) Receive actual timely notice of all proposed planning and development actions within the park, including but not limited to: any permanent changes to the physical layout of the park; any construction within the park, any changes to the Site Development Plan and any application for any such changes. The Commission has the right to participate in, review and have its position given full consideration

OFFICIAL NOTICE OF DECISION

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with respect to any planning and development actions related to the park. The Commission shall have standing in front of all city boards or commissions authorized to consider or review such actions, and in front of the City Council for any appeal or other consideration of such actions.

12. The Balloon Fiesta Park Commission voted in support of this request for Site Plan for Building Permit and Site Plan for Subdivision at its meeting on 4/8/14.

CONDITIONS OF APPROVAL – 14 EPC 40017, April 10th 2014-Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
4. The Site Plan for Building Permit shall state that the Vendor Concourse/Main Street Promenade shall be submitted to the Environmental Planning Commission for approval at a later date. This future Site Plan for Building Permit shall be coordinated with the Balloon Fiesta Park Commission and the Albuquerque International Balloon Fiesta prior to submitting to the Environmental Planning Commission for approval.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **APRIL 25, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather a

OFFICIAL NOTICE OF DECISION

Project #1000363

April 10, 2014

Page 11 of 11

formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

Suzanne Lubar
Planning Director

SL/CG/mc

cc: Jackie Fishman, Consensus Planning, 302 8th street NW, Albuquerque, NM 87102
Chris Green, Consensus Planning, 302 8th Street NW, Albuquerque, NM 87102
Steve Wentworth, ANVA, 8919 Boe Ln NE, Albuquerque, NM 87113
Larry Caudill, Wildflower NA, 4915 Watercress, Albuquerque, NM 87113

ZONING

Please refer to IDO Sub-section 14-16-2-5(F)(3)(a) for the Non-Residential – Park and Open
Space Zone District
Sub-zone A: City Owned or Managed Parks

Please refer to IDO Sub-section 14-16-3-4(K) for the
North I-25 – CPO-10

APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input checked="" type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: City of Albuquerque/New Mexico United Soccer		Phone: (505) 768-2000 / (505) 209-7529
Address: 1 Civic Plaza NW/ 3500 Central Ave SE		Email: info@newmexicoutd.com
City: Albuquerque	State: NM	Zip: 87102/87106
Professional/Agent (if any): Consensus Planning, Jacqueline Fishman, Principal AICP		Phone: 505-764-9801
Address: 302 8th Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner		List all owners: City of Albuquerque

BRIEF DESCRIPTION OF REQUEST

Three part request: Amendment to BFP Master Development Plan and Site Plan-EPC.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: See attached PDF	Block: 0000	Unit:
Subdivision/Addition: Balloon Fiesta Park	MRGCD Map No.:	UPC Code: 101706523534020710
Zone Atlas Page(s): B-16-Z, B-17-Z and C-17-Z	Existing Zoning: NR-PO-A	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: N/A	Total Area of Site (acres): 367.5 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: See attached PDF	Between: Paseo del Norte	and: Roy Ave
---------------------------------------	--------------------------	--------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 9/14/2023
Printed Name: Jacqueline Fishman, Principal AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

Legal Description of Lots

FRACTION LT 2 LOCATED IN NE 1/4 NE 1/4 SEC 11 T11N R3E AKA TR F HEIRS OF FILIBERTO GURULE TR CONT 4.56 AC MORE OR LESS

FRACTION LT 2 LOCATED IN NE 1/4 NE 1/4 SEC 11 T11N R3E AKA TR G HEIRS OF FILIBERTO GURULE TR CONT 4.55 AC MORE OR LESS

Tract A-1 - TR A-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1,I-1-A & I-2-A

Tract B-1 - TR B-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1,I-1-A & I-2-A

Tract C-1 - TR C-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1,I-1-A & I-2-A

Tract D-1 - TR D-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A,H-1, I-1-A & I-2-A

Tract E-1 - TR E-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1,I-1-A & I-2-A

Tract F-1 - TR F-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1,I-1-A & I-2-A

Tract G-1 - TR G-1-A PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A,H-1, I-1-A & I-2-A

Tract I-A-A - TR I-A-A PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A,H-1, I-1-A & I-2-A

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

SITE PLAN – EPC

MASTER DEVELOPMENT PLAN

MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

N/A Interpreter Needed for Hearing? ____ if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized with the Development Review Application* and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

If a meeting was requested/held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1)

Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

N/A Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only)

Site Plan or Master Development Plan

Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

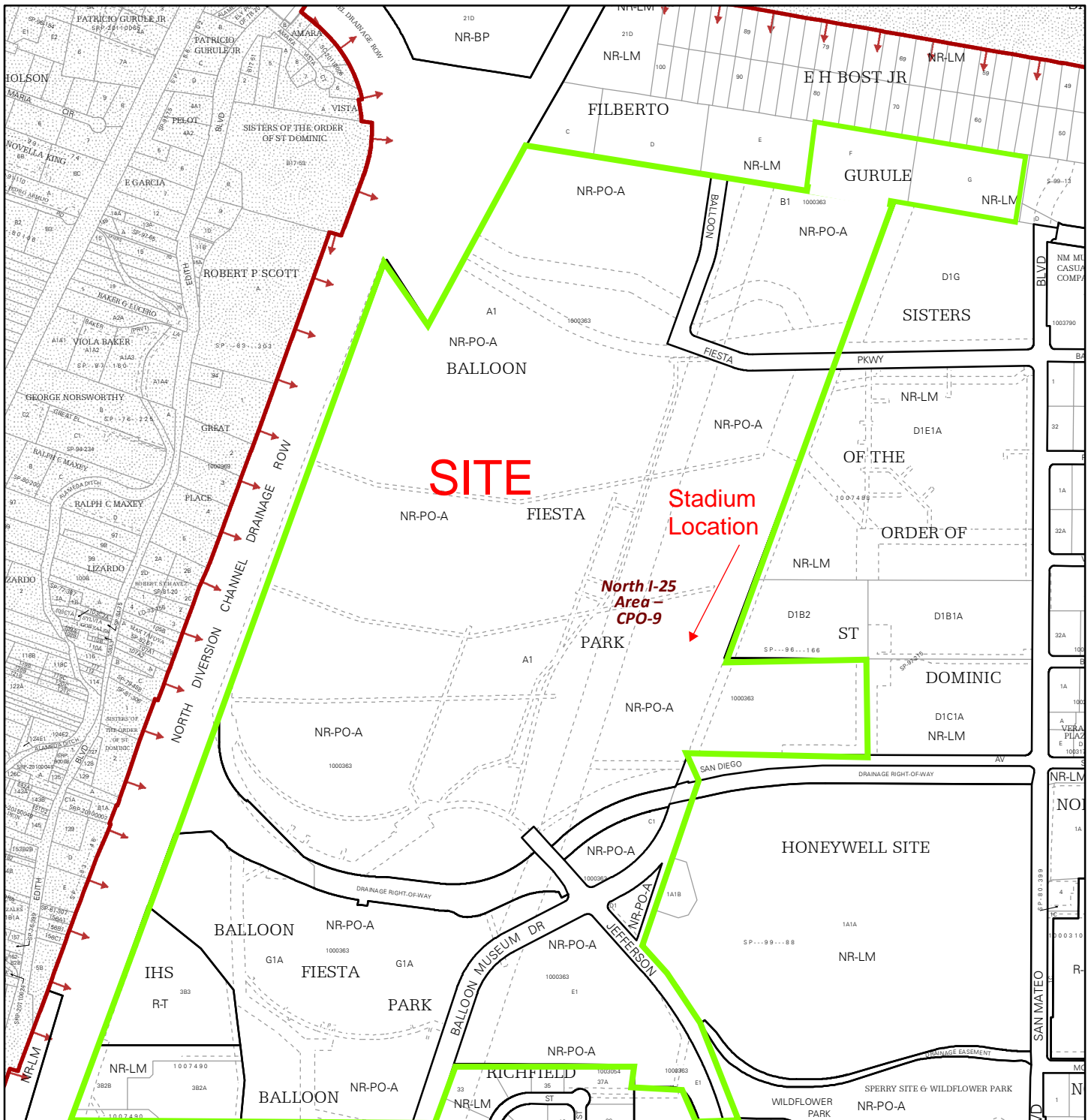
site plans except if the development is industrial or the multifamily is less than 25 units.

Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

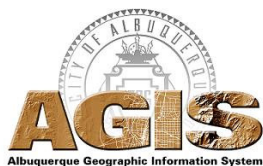
____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

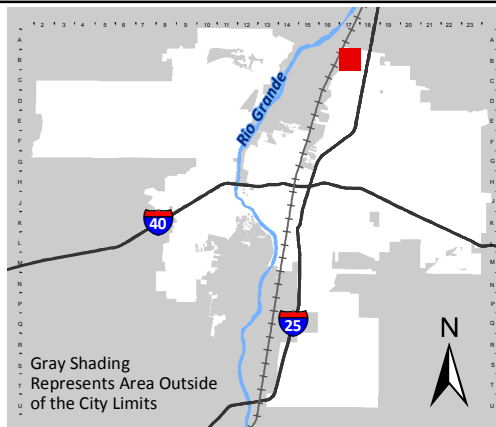


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

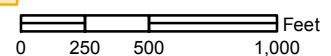


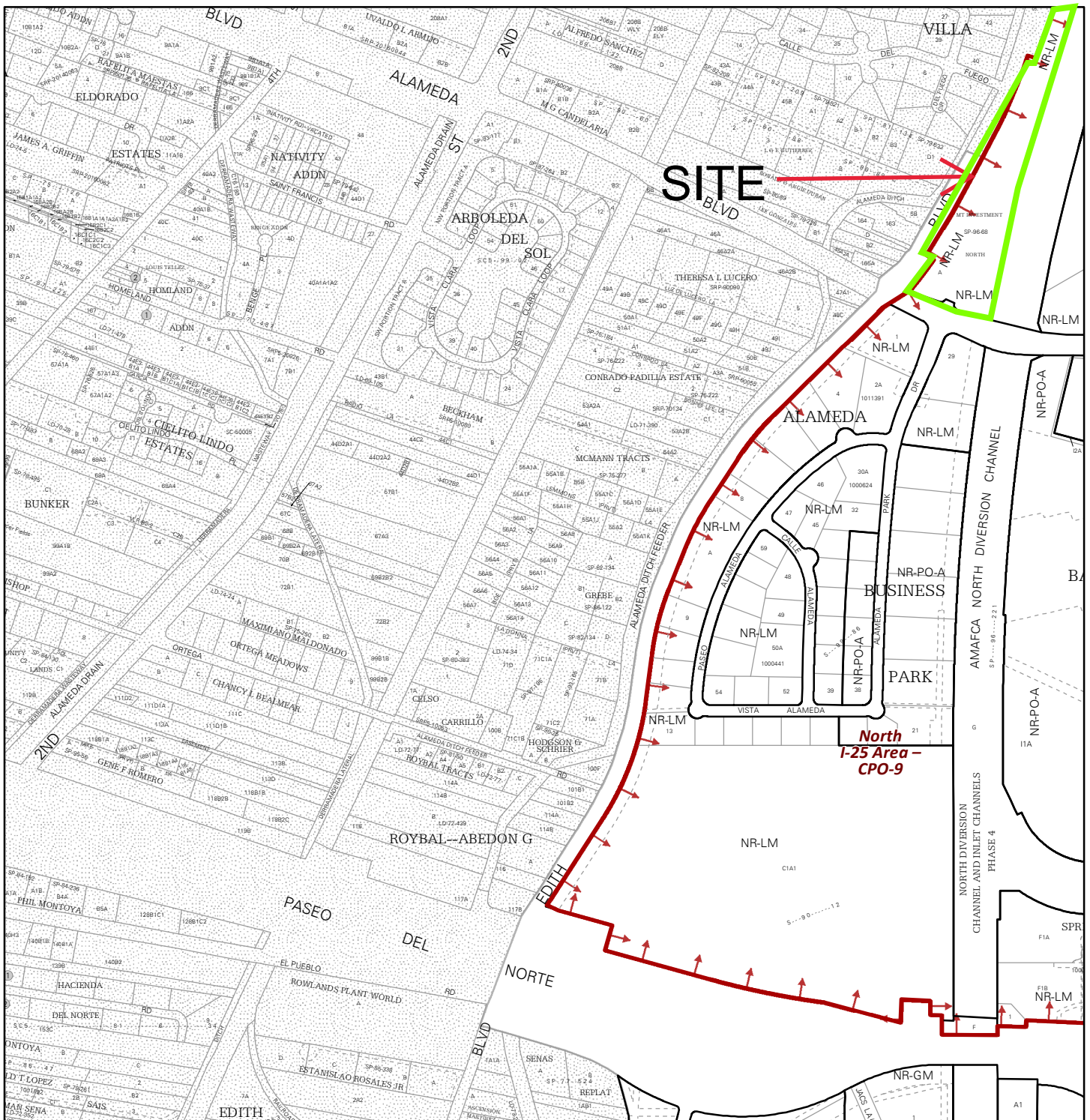
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
B-17-Z

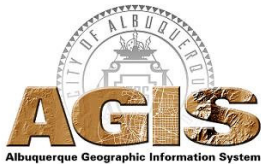
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



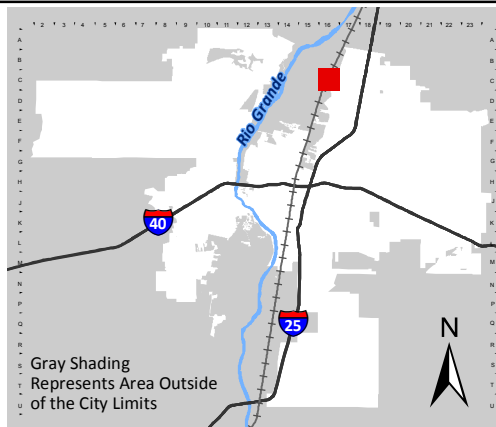


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



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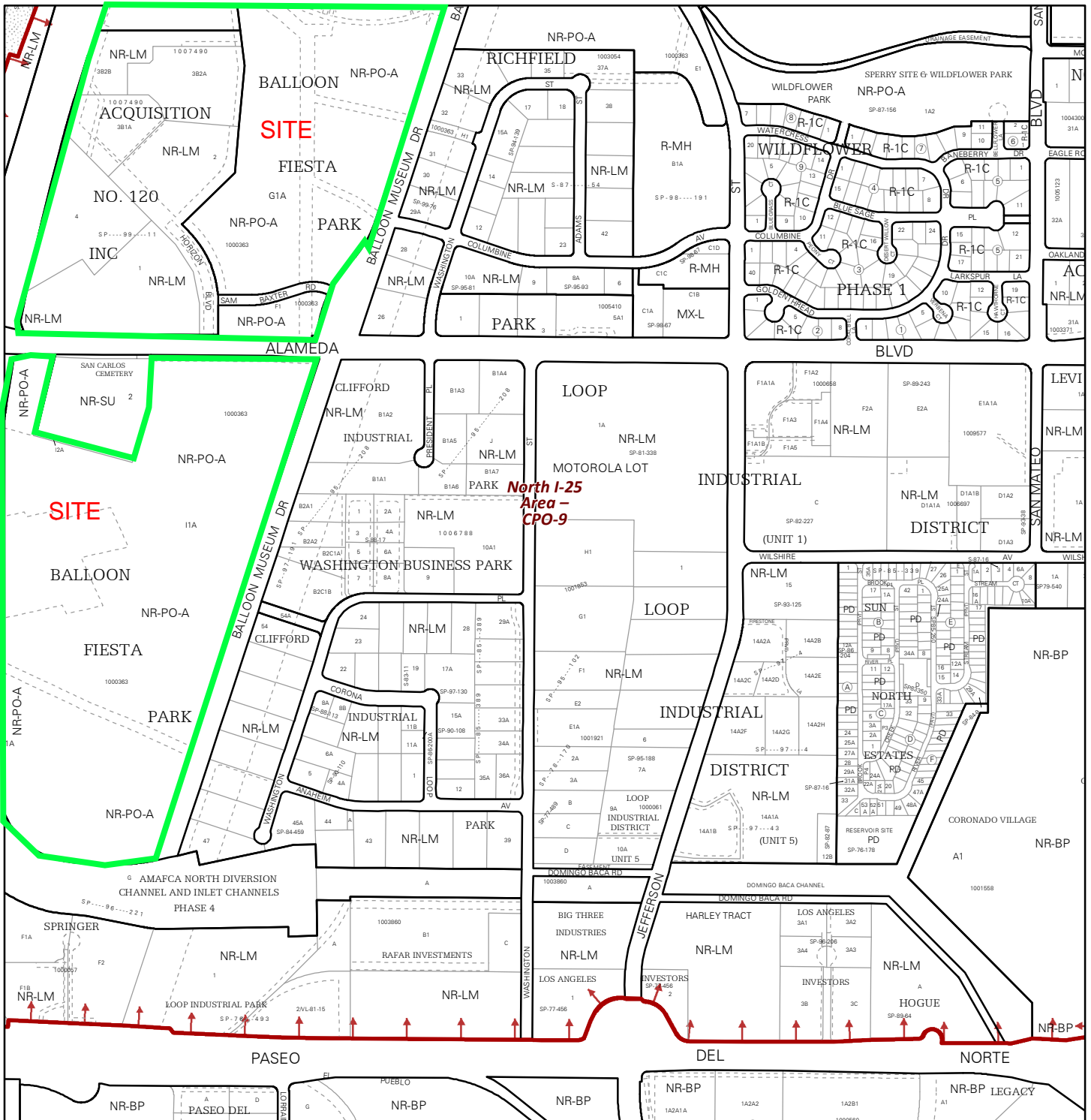


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
C-16-Z


- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

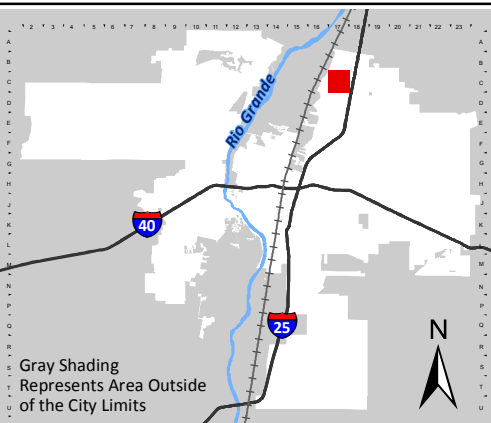


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>









IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
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Integrated Development Ordinance (IDO).



Zone Atlas Page:
C-17-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

CITY OF ALBUQUERQUE

Parks and Recreation Department



Timothy M. Keller, Mayor

September 29, 2023

David Shaffer, Chairman
Environmental Planning Commission
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Chairman,

This letter authorizes Consensus Planning, Inc. to act as agent for all matters related amendments to the Balloon Fiesta Park Master Development Plan and the Site Plan-EPC for the City-owned property known as Balloon Fiesta Park. A portion of the tract legally described as *Tract A-1-Tract A-1, Plat of Tracts A-1, B-1, C-1, D-1, E-1, F-1, G-1A, H-1, I-1-A, and I-2-A* is planned for development of a multi-use stadium by New Mexico United, which will be leasing the property from the City of Albuquerque and is a co-applicant.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

David Simon, Director
Parks and Recreation Department
City of Albuquerque



New Mexico United

3500 Central Ave SE, Ste 2
Albuquerque, NM 87108
505-209-PLAY (7529)
NewMexicoUTD.com



September 29, 2023

David Shaffer, Chairman Environmental Planning Commission City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Chairman,

This letter authorizes Consensus Planning, Inc. to act as agent for all matters related amendments to the Site Plan-EPC for the City-owned property known as Balloon Fiesta Park. A portion of the tract legally described as *Tract A-1-Tract A-1, Plat of Tracts A-1, B-1, C-1, D-1, E-1, F-1, G-1A, H-1, I-1-A, and I-2-A* is planned for development of a multi-use stadium by New Mexico United, which will be leasing the property from the City of Albuquerque and is a co-applicant.

Sincerely,

A handwritten signature in black ink, appearing to be "Peter Trevisiani".

ull Peter (Oct 3, 2023 15:26 MDT)

Peter Trevisiani President
New Mexico United



/NEWMEXICOUTD



@NEWMEXICOUTD



@NEWMEXICOUTD



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: September 19, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-009263
Agent: Consensus Planning, Inc.
Applicant: City of Albuquerque and United Soccer
Legal Description: See PDF attached to application
Zoning: NR-PO-A
Acreage: 358
Zone Atlas Page(s): B-17-Z, C-16-Z, C-17-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Google Earth Historic images, NMCRIS Records

SITE VISIT: N/A

RECOMMENDATIONS:

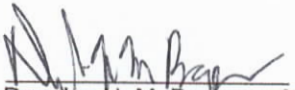
The property was completely bladed clear by 1991. A small portion was surveyed under NMCRIS 138331.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

 9-19-2023

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.



City of Albuquerque

Planning Department

Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Balloon Fiesta Park - Multi-Use Stadium

Building Permit #: _____ Hydrology File #: _____

Zone Atlas Page: B-17-Z DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TR A-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK

Development Street Address: 4900 BALLOON FIESTA PKWY NE ALBUQUERQUE NM 87113

Applicant: City of Albuquerque - Parks and Recreation Contact: Jackie Fishman (Agent)

Address: 302 Eighth St. NW, Albuquerque, NM 87102 Consensus Planning

Phone#: 505-764-9801 Fax#: _____

E-mail: fishman@consensusplanning.com

Development Information

Build out/Implementation Year: 2026 Current/Proposed Zoning: NR-PO-A

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Change of Zoning:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:

Multi-use sports stadium, primarily for NM United (Professional Soccer) with ~19 games/year (average attendance 7,200/game and max attendance of 12,000/game)

Days and Hours of Operation (if known): Majority of games are from 7:00pm-9:00pm on Wednesday or Saturday

Facility

Building Size (sq. ft.): _____

Number of Residential Units: N/A

Number of Commercial Units: N/A

Traffic Considerations

ITE Trip Generation Land Use Code Closest Available Fit: 462 Professional Baseball Stadium, Current United data used for game attendance and event trip generation

Expected Number of Daily Visitors/Patrons (if known):* From United game data: Average: 7,200 Max: 12,000

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* Games are not scheduled to occur during AM/ PM peak hours, Non Peak Hour United game data: Average: 1,900 Max: 3,167 Trips In 6-7PM Out 9-10PM

Driveway(s) Located on: San Diego Ave, Magic Ave, Balloon Fiesta Pkwy

Adjacent Roadway(s) Posted Speed: Balloon Fiesta Pkwy 35 mph
Posted Speed

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Major Collector
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Employment Center, Community Green Space Adjacent
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s) Traffic Volume: Total 700 AMPH 94 PMPH 123 Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): CABQ Ride Route 140 Nearest Transit Stop(s): Jefferson St and Alameda Blvd

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing paved trail is located on the south and west sides of the BF Park with proposed paved trail adjacent to Balloon Fiesta Pkwy
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: _____

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes No

Thresholds Met? Yes No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied:

Notes:

M. P. E.

10/3/2023

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

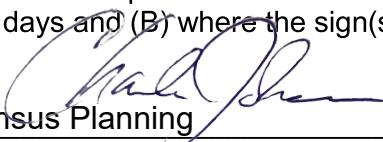
4. TIME

Signs must be posted from November 1, 2023 To December 1, 2023

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



Consensus Planning
(Applicant or Agent)

10/3/2023

(Date)



October 5, 2023

David Shaffer, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Balloon Fiesta Park Master Development Plan/Site Plan for Subdivision and Site Plan-EPC

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to request approval of a Major Amendment to the Balloon Fiesta Park Master Development Plan and the associated Site Plan for Subdivision, and a Site Plan-EPC. The subject site is Balloon Fiesta Park, located north and south of Alameda Boulevard NE, approximately 367.5 acres in size and zoned NR-PO-A (Non-Residential – Park and Open Space District). The Applicants for this request are the City Parks and Recreation Department and New Mexico United.

The following is a brief description of the three-part request:

- 1. Master Development Plan - Major Amendment:** The request is to amend the 2012 Master Development Plan to allow for the addition of a Multi-Use Stadium within Balloon Fiesta Park.
- 2. Site Plan for Subdivision:** As part of the 2012 Master Development Plan, a Site Plan for Subdivision was approved by the Environmental Planning Commission (EPC). In consultation with the Planning Department, it has been determined by James Aranda, Zoning Enforcement Officer, that the Site Plan for Subdivision will require a separate approval action from the Master Development Plan. However, it should be noted that the Master Development Plan nor the Site Plan for Subdivision can be approved without the other.
- 3. Site Plan-EPC:** The request is for approval of a Site Plan on a 7-acre portion of Balloon Fiesta Park located north of the balloon launch field.

OVERVIEW

The original Balloon Fiesta Park Master Development Plan (MDP) was created in 1998 to serve as the overall controlling document for development, management, and operations at Balloon Fiesta Park. The current MDP was last amended in 2014 in association with the now existing Sid Cutter Pilots’ Pavilion building.

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

As part of the original approvals by the EPC and the City Council that still exists in the current MDP, all “Major Park elements” described in the MDP, including all buildings over 10,000 square feet (e.g., Large Outdoor Performance Area, Balloon Museum, and Multi-Purpose Center) and the Main Street Promenade require review and approval by the Environmental Planning Commission (EPC). Minor elements (e.g., Incident Command Post, concession stands, ballfields, maintenance buildings, etc.) were delegated by the EPC to the Development Review Board (DRB) for its review and approval.

ASSOCIATES

Ken Romig, PLA, ASLA,
SITES AP



This requirement is recognized by the Integrated Development Ordinance (IDO), which requires all pre-IDO Master (Development) Plans on City-owned property to follow the amendment process identified in the approved MDP:

6-4(Z)(3) Master Plans or Resource Management Plans

6-4(Z)(3)(a) Master Plans or Resource Management Plans for City facilities may be amended per the procedures specified in the relevant plan or by the relevant implementing City department. The implementing departments may request review by the EPC and/or City Council where more input is desired.

The current language in the MDP specifically prohibits an Outdoor Sports Stadium at Balloon Fiesta Park; therefore, the Applicants are proposing to amend the MDP to allow for an Outdoor Multi-Use Stadium. The second part of the Applicant's request – the proposed Site Plan for the Outdoor Multi-Use Stadium – is required to be in compliance with the MDP and is subject to the post-IDO Site Plan criteria delineated in IDO section 6-6(I) Site Plan-EPC.

New Mexico United is funding the construction of the Outdoor Multi-Use Stadium. There will be 17 regular games played at the Stadium on an annual basis. The games will start at 7:00 p.m. and end by 9:00 p.m. The Stadium will be available for other events and all activities will be subject to the Performance Standards contained in the MDP and the proposed Major Amendment.

CASE HISTORY

This property has a long history of zone map and sector plan amendments, and site plan approvals by the Environmental Planning Commission (EPC), and a series of administrative amendments as briefly described below:

- 1993: Amendment to the North I-25 Sector Development Plan (R-356). The Resolution approved by City Council amended the zoning and land use section of the Sector Plan to clarify uses allowed in the original 77-acre Balloon Fiesta Park and indicated that a "Balloon Fiesta Management Plan would guide and control uses and over a variety of park issues and activities."
- July 1996: Zone Map Amendment and Sector Plan Amendment approved by the EPC and City Council (Z-96-77 / SD-83-2-34). These actions allowed for the expansion of the existing 77-acre Balloon Fiesta Park site located on the south side of Alameda Boulevard to include 273 acres on the north side of Alameda Boulevard. The zoning was changed from SU-2 IP-EP and SU-1 for Apartments (30 du/ac) to SU-2 for Balloon Fiesta Park, Museum, and Related Uses. The Resolution included a list of permissive land uses under the new zoning, which was divided into three categories, including: 1) Recreation and Park Elements; 2) Special Events; and 3) Buildings.
- June 1998: Master Development Plan (Site Plan for Subdivision) approved by the EPC after an extensive two-year public involvement process (Z-96-77). The MDP provided the overall framework for development of a multi-use regional park facility to accommodate the Albuquerque International Balloon Fiesta and other year-round recreational uses.

- March 1999: Amendment approved by the Development Review Board (DRB) for the Alameda parking lot (DRB-99-70).
- June 2000: Amendment approved by the DRB for the Golf Training Center (DRB1000-363).
- August 2000: Site Plan for Building Permit for the Balloon Museum and Balloon Museum Drive approved by the EPC (EPC-00128-00578).
- 2000: Administrative Amendment to reconfigure north Launch Field roads.
- July 2001: Site Plan for Subdivision and Site Plan for Building Permit for the Balloon Museum and National Museum of Nuclear Science and History, and Amendment to the MDP to reflect the lease area for National Museum of Nuclear Science and History (Project #1000363; 01450-00000-00723; 01450-00000-00722).
- August 2007: Administrative Amendment for the Park entry sign at Alameda Boulevard / Balloon Museum Drive (AA01236-00000-01251).
- July 2012: Administrative Amendment to remove the lake north of the Balloon Museum from the MDP and replace it with a 4-acre Balloonist Tribute Area (12AA-10070). The lake was the subject of a Site Plan for Building Permit in 2007, which was approved by the EPC and ultimately denied on appeal to the City Council.
- November 2012: Master Development Plan Amendment approved by the EPC that updated Section 4: Site Plan for Subdivision, Section 6: Design Performance Standards, and Section 7: Infrastructure and Engineering; and an update to the four large format Site Plan for Subdivision and Landscape Master Plan sheets (Project 1000363; 12EPC-40070). The remaining sections were unchanged from the 1998 approval.
- 2014: Master Development Plan Amendment approved by the EPC to allow for a change to the maximum height allowed for the “Future Pilots’ Landing and Welcome Center” from 26 feet to 34 feet. This building was constructed at the southeast corner of the Launch Field and is referenced as the Sid Cutter Pilots’ Pavilion (Project 1000363; 14EPC-40018).

NAZARETH LANDFILL

The former Nazareth Landfill within the Presidents’ Compound south of the Stadium site was in operation between 1971 and 1972. The landfill buffer area around the Nazareth Landfill is 500 feet. There are 10 landfill gas perimeter wells maintained and monitored at the site by Environmental Health. Groundwater monitoring wells are located in the southeast corner of the site and southwest on San Diego Avenue adjacent to the AMAFCA Channel. Construction of the Stadium with the buffer area is required to meet the Interim Guidelines for Development within City Designated Landfill Buffer Zones. The Project Team has been coordinating with Environmental Health on conducting a landfill gas study, which will provide the basis for creating a landfill gas mitigation plan that must be approved by Environmental Health prior to any construction occurring in this area.



MASTER DEVELOPMENT PLAN – MAJOR AMENDMENT

The City Parks and Recreation Department is responsible for overseeing new development, and the management and operations at Balloon Fiesta Park, as established in the MDP and referenced in IDO Section 2-5(F)(3) regarding the NR-PO zone district. The MDP is the controlling document for Balloon Fiesta Park as established by the City Council’s original approval in 1998. The Parks and Recreation Department is proposing the following amendments to the MDP:

- 1) Removal of the language that prohibits Outdoor Multi-Use Stadium as a permissive use at Balloon Fiesta Park.
- 2) Modification of the MDP and associated Site Plan for Subdivision showing an Outdoor Multi-Use Stadium in the area where a 5-6 multi-story parking structure was allowed by the existing approved MDP. The maximum height established by the MDP for the 5-6 multi-story parking structure (26 feet above the grade at the east property line/escarpment) remains in place; the proposed maximum height for the Outdoor Multi-Use Stadium complies with this restriction and no change is proposed by City Parks and Recreation.
- 3) Modification of the lighting standards contained in Section 6: Performance Standards to allow for stadium lighting, as follows:

“Outdoor Multi-use Stadium lighting shall be lower than the existing maximum height of the high voltage power lines east of the Launch Field, which range from approximately 85 to 140 feet, and per the following locations:

 - West side: 100-foot max. or incorporated into 75-foot roof structure
 - North side: 80-foot max.
 - East side: 100-foot max.
 - South side: 80-foot max. light poles or integrated into 60-foot-tall roof structure”
- 4) Replacement of the Northeast Outdoor Recreation Area with surface parking (Keyed Note 13 on the Site Plan for Subdivision). The use remains permissive.
- 5) Addition of an adjacent tract for BFP parking purposes - approximately 750 spaces – which expands the BFP from 358 to 367.5 acres.

SITE PLAN-EPC

6-6(I)(3) Review and Decision Criteria

Any application for a Site Plan- EPC shall be approved if it meets criteria a through g:

6-6(I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

Applicant Response: The request for approval of a Site Plan and Major Amendment to the MDP are consistent with Goal 4.1 because the Multi-Use Stadium will be located at the existing Balloon Fiesta Park, which is an important component of the distinct North I-25 community that will be enhanced, protected, and preserved by

adding a public amenity popular with soccer enthusiasts. The Stadium and the infrastructure improvements planned as part of this project will help the City fulfill its vision for the Park:

“The mission of the Balloon Fiesta Park is multi-faceted, with the underlying objectives being to host the World’s premier ballooning event, while addressing an equally important set of community, cultural, and recreational needs of the local and statewide community. When completed, the Balloon Fiesta Park will provide the Albuquerque community and the State of New Mexico with a myriad of benefits, including international tourism, urban open space, recreational opportunities, economic development, cultural events, and entertainment activities.”

Policy 4.1.1 Distinct Communities: Encourage quality development that is consistent with the distinct character of communities.

Applicant Response: The request is consistent with Policy 4.1.1 because the design of the Stadium as shown in the Site Plan exhibits high quality development that is consistent with the distinct character of the North I-25 community and implements the Balloon Fiesta Park MDP, which was created in 1998 and updated in 2012 with extensive community input. The MDP expresses the type of quality development desired at this regional park facility that is capable of hosting the state’s signature event while offering a wide range of indoor and outdoor recreational and cultural activities to local and statewide residents and visitors alike. The Amendment to the MDP helps achieve and is consistent with this policy for distinct communities.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Applicant Response: The request is consistent with Policy 4.1.2 because it helps to protect the identity and cohesiveness of this neighborhood and North I-25 area by ensuring the appropriate scale and location of development, mix of uses, and character of building design within the existing Balloon Fiesta Park. The scale and intensity of use shown on the Site Plan, Landscape Plan, and building elevations have been designed to reflect and improve existing site conditions and implement the vision of the MDP originally approved in 1998 and amended in 2012 and 2014.

While the MDP amendment is to allow for the Multi-Use Stadium where it was previously prohibited, the design, location, and height of the building is consistent with the MDP development standards. The height of the Stadium is less than the maximum height of 26 feet above the east property line/escarpment allowed by the MDP. The Stadium will be the fourth major building at Balloon Fiesta Park, starting with the Balloon Museum, which stands at 75 feet in height, Golf Training Center, and Sid Cutter Pilot’s Pavilion, which like the Stadium, were designed to fit the character of this area.



Policy 4.1.3 Placemaking: Protect and enhance special places in the built environment that contribute to distinct identity and sense of place.

Applicant Response: The request is consistent with Policy 4.1.3 because Balloon Fiesta Park is a special place within the built environment that contributes to distinct identity and sense of place, the North I-25 area. The Stadium, proposed as a permissive use by the Major Amendment, has been designed to protect the natural and man-made features in the Park with site specific improvements to the escarpment on the east and wrapping around the north side of Gondola Gulch. The parking area north of the Stadium site will be improved by regrading, paving, striping, and the provision of vehicle, motorcycle, and EV parking spaces. The project will also address the Nazareth Landfill with improvements to mitigate landfill gases in coordination with Environmental Health. All of these improvements and measures are consistent with protecting and enhancing Balloon Fiesta Park, a very special place in Albuquerque.

Goal 4.3 City Community Planning Area: Protect and enhance the natural and cultural characteristics and features that contribute to distinct identity and prioritize projects and programs to meet the needs of communities, neighborhoods, and sub-areas.

Applicant Response: The proposed Site Plan for the Multi-use Stadium and the Major Amendment is consistent with Goal 4.3 because they will facilitate the protection and enhancement of the escarpment at the east edge of the Park that is a primary feature at the Park but has been eroding and a cause of great concern for the Parks and Recreation Department. The Applicant has also facilitated an agreement with PNM to narrow its power easement running north-south through the Stadium site area from 150 feet to 75 feet. Albuquerque has become a soccer town that needs a permanent facility to host soccer games, as well as other events, and Balloon Fiesta Park is the appropriate location to meet those community and neighborhood needs.

Goal 5.2: Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

Applicant Response: The Site Plan and Major Amendment is consistent with Goal 5.2 because it fosters a community where the residents can live, work, learn, shop, and play together. The project adds another important component to Balloon Fiesta Park that will increase the ability for socialization and recreation, and allow the opportunity for new employment for residents to work at the proposed food court and on maintaining the Stadium facility.

Policy 5.2.1: Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Applicant Response: The Site Plan and Major Amendment is consistent with Policy 5.2.1 by supporting the creation of a healthy, sustainable, and distinct community in the North I-25 area with an added use at Balloon Fiesta Park that will be conveniently accessible from surrounding neighborhoods. The primary entrance to get to the Stadium will be at Balloon Fiesta Parkway. The Park is also connected to the City's trail network via the North Diversion Channel Trail and the Bike Valet Parking Access

into the Park, Balloon Museum Trail running along Balloon Museum Drive, North Channel Trail and the bike lanes along Alameda Boulevard, etc. Transit access available via Bus Route 87 that runs along Alameda Boulevard.

Policy 5.6.2 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

Applicant Response: The request is consistent with Policy 5.6.2 because it protects and enhances the character of the existing neighborhoods by the careful siting of the Stadium. The sound impact from the Stadium will be reduced by its location abutting the escarpment on both the eastern and southern sides and the massing of the structure along the west side. A distributed sound system will face east and north to contain spill to the west and south areas. The lighting system design will minimize light pollution by utilizing external glaze shielding and internal optics and the canopy on the west side along with the escarpment on the east.

Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

Applicant Response: The proposed Site Plan, Landscape Plan, and building elevations that are part of the Site Plan-EPC and guided by the MDP are consistent with Goal 7.3 because they are specifically designed to respond to and reinforce the sense of place created by the natural and man-made features at the Park. The Stadium has been carefully sited and designed to fit adjacent to the escarpment and below the high voltage power lines. The MDP recognizes the benefits and the constraints of the escarpment since the establishment of Balloon Fiesta Park. The challenges of continuous erosion along the escarpment have impacted the functionality, accessibility, and visitor experience of the Park. The project and the proposed Site Plan address methods that the Applicant can use to correct many of the current erosion issues through slope stabilization, and thus, the escarpment becoming a major design feature that allow for planted berms, pathways, occupiable terraces, and accessible ramps to be constructed along the outer perimeter edges of the Stadium site.

“Vendors Row” is a type of streetscape that is linear and runs north-south as a major pedestrian thoroughfare in this area of the Park. The proposed Stadium and the infrastructure improvements will finally allow this component of the Park envisioned by the MDP to come to fruition.

Policy 7.3.5 Development Quality: Encourage innovative and high-quality design in all development.

Applicant Response: The Site Plan, building elevations, and siting of the Stadium are consistent with Policy 7.3.5 because they exhibit innovation and high-quality design features, goals that are also consistent with the MDP and proposed Major Amendment. The Stadium is sited adjacent to the escarpment and underneath the high voltage lines. The design incorporates the escarpment as a feature of the Stadium with sloped walkways and grass berm seating and picnic areas. Viewing opportunities from the west-facing balconies towards the Launch Field, which

supports the vision in the MDP for a balloon viewing structure or platform east of the Launch Field and below the escarpment. The Stadium includes glassed sections facing west for additional balloon viewing zones, including areas protected from the weather. The public commons area to the east of the Stadium and the permanent restrooms and a food court increase the quality of the experience for all visitors to the Park. The north arrival plaza is designed with an allee of trees planted in tree planters. The parking layout, while not necessarily innovative, is a significant improvement over the existing condition and contains a paved pathway through the center to the Stadium.

Goal 7.5 Context Sensitive Site Design: Design sites, buildings, and landscape elements to respond to the high desert environment.

Applicant Response: The building and landscape plans are consistent with Policy 7.5 because they are designed to respond to the high desert climate with shade features, canopies, and shade trees.

Policy 7.5.1 Landscape Design: Encourage landscape treatments that are consistent with the high desert climate to enhance our sense of place.

Applicant Response: The proposed Landscape Plan that is part of the Site Plan-EPC, and guided by the MDP, is consistent with Goal 7.5.1 because it exhibits landscape treatment and plant selection that reflect Albuquerque's high desert climate. The plant palette contains trees, shrubs, groundcovers, and ornamentals that are well adapted to this climate and will enhance our sense of place at Balloon Fiesta Park, which is visited by hundreds of thousands of people from the local, statewide, nationwide, and international communities.

Policy 10.1 Facilities and Access: Provide parks, Open Space, and recreation facilities that meet the needs of all residents and use natural resources responsibly.

Applicant Response: The Site Plan and Major Amendment to the MDP are consistent with Policy 10.1 because they will help provide this new component of Balloon Fiesta Park to meet the needs of all residents and use natural resources in a responsible manner. The Stadium and surrounding improvements have been designed to be used by all ages and is located within an underutilized area of the Park that was originally envisioned for a 5-6 story parking structure. The Major Amendment shows that parking has increased over the original amount delineated in the MDP. The Site Plan shows a more efficient parking layout than the one currently in this area and the Applicant has acquired additional land to the north for parking purposes.

Policy 10.1.2 Universal Design: Plan, design, program and maintain parks, Open Space, and recreation facilities for use by people of all age groups and physical abilities.

Applicant Response: The Site Plan and Major Amendment to the MDP are consistent with Policy 10.1.2 because the Stadium and the surrounding improvements have been designed to be used by residents of all age groups and physical abilities. The Site Plan also shows improvements to Gondola Gulch and the slope to allow better pedestrian and vehicle access for visitors to the Park.

Permanent restrooms that meet ADA standards will be accessible to all visitors. The parking area to the north has been designed with ADA, EV, and motorcycle parking spaces, which increase access for use by people of all age groups and physical abilities.

Goal 10.2 Parks: Provide opportunities for outdoor education, recreation, and cultural activities that meet community needs, enhance quality of life, and promote community involvement for all residents.

Applicant Response: The Site Plan and MDP Amendment are consistent with Goal 10.2 for parks because they will allow for the expansion of outdoor activities offered at Balloon Fiesta Park, which has not met its full potential given its size and cost of development. While the primary use for the Stadium will be for New Mexico United soccer games (anticipated to be 17 at home games per year), the facility will be available for other music, food, youth sports, and art and cultural activities, which provide connection and strengthen the community. The design of the Stadium will support several activities and functions at Balloon Fiesta Park:

- Viewing opportunities from the west-facing balconies towards the Launch Field, which supports the vision in the MDP for a balloon viewing structure or platform east of the Launch Field and below the escarpment.
- Glassed sections facing west for additional balloon viewing zones, including areas protected from the weather.
- Restrooms and a food court along the west side for people coming to events at the Stadium as well as visitors to Balloon Fiesta Park.
- Public safety observation post on the upper section of the Stadium.

The addition of the Stadium will help facilitate the overarching goals for Balloon Fiesta Park as expressed in the MDP and provide new opportunities for recreation and cultural activities that will meet the community's needs, enhance the quality of life, and promote community involvement by expanding the offerings that will encourage new visitors to Balloon Fiesta Park and provide an improved experience for all.

Policy 10.2.1 Park Types: Plan and implement a system of parks to meet a range of needs at different scales, including small neighborhood parks, community parks, active parks, regional parks, and linear parks.

Applicant Response: The Site Plan and Major Amendment to the MDP is consistent with Policy 10.2.1 because it expands and further implements the City's park system with more recreational amenities at the City's regional park facility. There are only two regional parks in Albuquerque – Albuquerque Biopark and Balloon Fiesta Park, which serve different recreational and cultural needs. The MDP expands the Park from 358 to 367.5 acres, Balloon Fiesta Park is the primary active regional park facility that attracts local, regional, state-wide, and international visitors that will meet the community's need for a regional park capable of hosting large sporting and cultural events.

Goal 10.4 Coordination: Coordinate across disciplines, jurisdictions, and geographies to leverage limited resources, maximize efficiencies, and best serve the public's need for parks and recreation facilities.

Applicant Response: The Site Plan and Major Amendment to the MDP is consistent with this goal by leveraging limited resources to help facilitate the continued development of Balloon Fiesta Park and serve the public's need for parks and recreation facilities. Capital outlay of \$13.5 million from the State Legislature is allocated towards long needed infrastructure improvements (electrical, water, sewer, and telecommunication systems and networks) at Balloon Fiesta Park and private funding is being used to construct the Stadium. The investments in infrastructure improvements will include:

- Extensive upgrades to the electrical, water, sewer, and telecommunication systems and networks.
 - Major upgrade to the electrical system along Main Street/Vendor Row and bringing dedicated power to the east and west edges of the launch field and north end of the launch field. Low voltage lines along Magic Ave. will be buried to improve the pedestrian experience, creating parking efficiencies, and clearing up views for watching balloon launches.
 - Water and sewer upgrades.
 - A new telecommunications line will bring increased capacity to the Park, and a communications/fiber line extension will be added to/from Sid Cutter Pilots Pavilion.
- The addition of permanent public restrooms built into the Stadium and closer to the Launch Field - one of the most important needs to improve the Balloon Fiesta experience, increase accessibility, and also reduce the cost for renting portable toilets.
- Extensive repaving, resurfacing, and landscaping including parking lots, Vendor Row, areas east of the Launch Field, and various pathways.
- Accessible pedestrian paths that will allow for better circulation and functionality from the upper parking and RV areas of the Park down onto the Launch Field.
- Parking lot striping shown adjacent to the Stadium and other improvements will make more efficient use of existing space and maximize parking lot capacities to improve the filling/emptying process.
- Grading and site work that will address persistent problems with drainage, ponding, and erosion, especially along Vendor Row and at the north and south ends of the Launch Field.
- Gondola Gulch regrading/repaving, with south edge slope improvements.
- Sid Cutter Pilots Pavilion - bathroom improvements, patio shade structure, possible catering feature (for warming/prep).
- Irrigation improvements to the Launch Field.

Policy 10.4.3: Co-located Facilities: Maximize opportunities for multi-functional, co-located, and joint use of compatible parks, Open Space, trails, and recreation facilities to best leverage public investment.

Applicant Response: The Site Plan furthers this goal by maximizing the opportunity for a multi-functional park facility that co-locates and expands passive and active recreation, community events (e.g., Doggie Dash and Dawdle, Freedom 4th, Albuquerque Pridefest, Rio Grande Youth Balloon Camp, etc.) cultural opportunities at the Balloon Museum, trail corridors, improvements to Vendors’ Row (also called the “Grand Promenade” in the MDP). State capital outlay has been leveraged to expand and improve infrastructure systems at Balloon Fiesta Park to encourage significant private investment towards building the Stadium.

Goal 12.2 Community Facilities: Provide communities facilities that have convenient access and a wide range of programs for residents from all cultural, age, geographical, and educational groups to enhance quality of life and promote community involvement.

Applicant Response: The Site Plan and Major Amendment to the MDP is consistent with Goal 12.2 for the provision of community facilities because Balloon Fiesta Park has convenient access from I-25 via Balloon Fiesta Parkway and the Stadium proposed to be allowed by the MDP will add to the range of programs and amenities currently offered to local and statewide residents and visitors of all ages, cultures, geographies and educational groups.

Policy 12.2.3 New Facilities: Site new facilities in areas with excellent access to provide services to underserved and developing areas.

Applicant Response: This policy is furthered by proposing a new facility at Balloon Fiesta Park, which has excellent access from Interstate 25 to Balloon Fiesta Parkway. Balloon Fiesta Park is designed to accommodate hundreds of thousands of visitors – in 2021, there were over 780,000 visitors at Balloon Fiesta – in comparison, the Stadium is designed to accommodate approximately 11,000 spectators. This is a far better location with better access to a relatively underutilized, underserved, and developing area than the previously considered sites in Downtown Albuquerque, which would have displaced residents in those neighborhoods.

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

Applicant Response: The existing zoning is NR-PO-A City-owned or Managed Public Parks. Balloon Fiesta Park is subject to the existing Master Development Plan, which delineates the regulations and process for proposed development, including review and approval of buildings greater than 10,000 square feet by the EPC. The City Parks and Recreation Department is responsible for administering the MDP and seeking amendments through the appropriate entity, the EPC. The City’s ZEO, James Aranda, confirmed the appropriate steps for the proposed Major Amendment to the MDP and the associated Site Plan for Subdivision, and the Site Plan-EPC for the proposed Outdoor Multi-Use Stadium (*see attached memorandum from James Aranda to Jacqueline Fishman dated September 25, 2023*).

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The proposed Site Plan complies with the Balloon Fiesta Park MDP, with the exception of the proposed MDP amendments to allow the Outdoor Stadium as a permissive use and lighting height. The MDP, which overrides the IDO except where the MDP is silent, addresses all aspects of development, operations, and management of Balloon Fiesta Park, including but not limited to building heights and sizes, setbacks, parking, lighting, landscaping, noise, traffic, hours of operation, etc. The IDO establishes this hierarchy of controlling documents for City-owned or Managed Parks, such as Balloon Fiesta Park:

2-5(F)(3) District Standards

The NR-PO zone district includes the following 4 sub-zones, each of which has allowable uses and development standards specified in this IDO or a special approval as noted below.

2-5(F)(3)(a) Sub-zone A: City-owned or Managed Parks

1. Allowable uses other than those specified in Table 4-2-1 shall be reviewed and decided pursuant to Subsection 14-16-6(J) (Site Plan – EPC).
2. Development standards specified in a Master Plan approved or amended by the City Parks and Recreation Department for each facility prevail over IDO standards and may be reflected in Site Plans approved pursuant to this IDO.

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Applicant Response: The City's existing infrastructure and public improvements have adequate capacity to serve the proposed Stadium project, with the exception of the electrical, water, and sewer improvements made possible by state capital outlay.

6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Applicant Response: The application will not have significant adverse impacts on the project site at Balloon Fiesta Park or the surrounding area. Instead, the project will improve the project site by addressing the ongoing erosion of the escarpment, mitigation of gas from Nazareth Landfill, improvements to Gondola Gulch, and will include other improvements that will benefit visitor experience to the Park.

6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: The subject property is within the Balloon Fiesta Park Master Development Plan. The Site Plan meets the relevant standards in the MDP, with the

exception of the lighting standards, which is one aspect of the requested Major Amendment.

6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Applicant Response: Per IDO Section 5-2(E), proposed development or redevelopment must meet all of the criteria contained in Subsection 14-16-5-2(E)(1). While a portion of Balloon Fiesta Park running north-south falls within the Railroad and Spur Small Area (Subsection 5-2(E)(1)(a), the proposed Stadium **is not within 1,320 feet** (1/4 mile) of a Residential zone district or a lot containing a residential use in any Mixed-use zone district (Subsection 5-2(E)(1)(b). Further, per Subsection 5-2(E)(1)(c), the Applicants are **not proposing any** of the following uses listed:

1. Car Wash.
2. Heavy Vehicle and equipment sales, rental, fueling, and repair.
3. Light vehicle fueling station.
4. Light vehicle repair.
5. Light vehicle sales and rental.
6. Airport.
7. Freight terminal or dispatch center.
8. Helipad.
9. Railroad yard.
10. Transit facility.
11. Light Manufacturing.
12. Heavy Manufacturing.
13. Natural resource extraction.
14. Special manufacturing.
15. All uses in the Waste and Recycling category.
16. All uses in the Wholesaling and Storage category.

Lastly, per Subsection 5-2(E)(1)(d), the subject property for the Stadium **is not within 660 feet** of another use described in Subsection (c). Since the subject property only meets one criterion under 5-2(E)(1) Cumulative Impacts, Applicability, a cumulative impact analysis is not required for this project under the IDO.

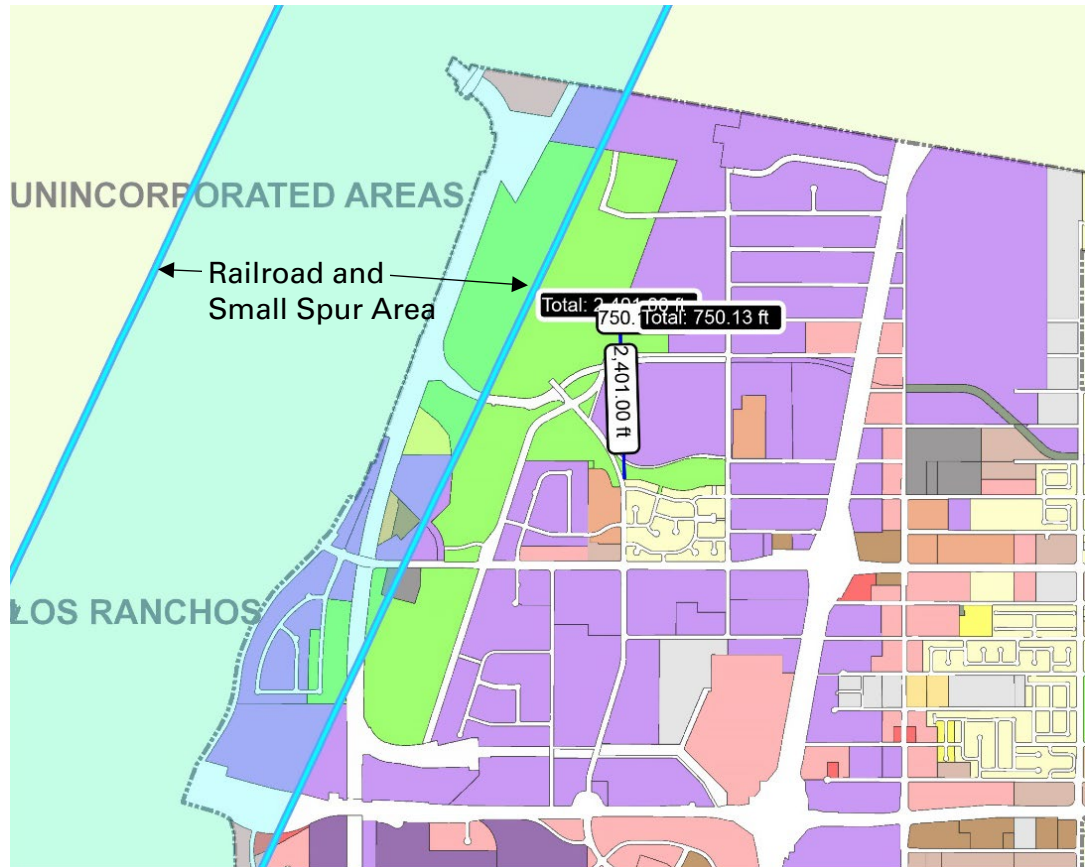


Figure 5: Distances from residential zones or use and from manufacturing use, per IDO Section 5-2(E).

NEIGHBORHOOD COORDINATION

Consensus Planning provided pre-application notification and offer of a facilitated meeting as required by the IDO. Notice was provided to Wildflower Neighborhood Association, Alameda North Valley Neighborhood Association, and District 4 Coalition. Consensus Planning provided the conceptual site plan, building elevation, and a perspective with the notification to the associations. District 4 responded to the offer, and a facilitated meeting was held on Saturday, September 9, 2023. Much of the concerns expressed was in regard to how the project was going to be funded, traffic congestion, and notification. There were several people who spoke in favor of the project (see *Facilitated Meeting Report, by Phillip Crump*).

In addition to the facilitated meeting, the Project Team also facilitated a meeting with the Balloon Park Commission on August 29, 2023, at the Golf Training Center at Balloon Fiesta Park. The Commission has not met regularly for the past five years and there was no quorum at the meeting. Several residents that live in Bernalillo County were present at the meeting and voiced their concerns regarding the project, primarily regarding the issue of funding for the Multi-Use Stadium and the lack of notice provided to Bernalillo County neighborhood associations.

CONCLUSION

On behalf of the City Parks and Recreation Department and New Mexico United, we request that the Environmental Planning Commission approve the requests for the Major



Amendment to the Master Development Plan, associated Site Plan for Subdivision, and the Site Plan-EPC, which are consistent with a myriad of Comprehensive Plan goals and policies.

This project is an excellent example of a public-private partnership that has come together for the benefit of the community. State capital outlay has made the infrastructure improvements possible at Balloon Fiesta Park that the City has not had the resources to complete but will facilitate the vision for the Park established in 1998. New Mexico United is funding the cost for the Multi-Use Stadium and will be leasing the land from the City, and when the lease expires, will donate the Stadium to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman', is written over the typed name.

Jacqueline Fishman, AICP
Principal

From: [Wolfley, Jolene](#)
To: [Varela, Alan M.](#); [Jackie Fishman](#)
Cc: [Biazar, Shahab](#); [Aranda, James M.](#); [Rodenbeck, Jay B.](#)
Subject: RE: Balloon Fiesta Park
Date: Friday, September 15, 2023 4:59:26 PM

I had a discussion with Jackie this afternoon.

The site area is part of the Balloon Park Master Plan and has been in use as a parking lot.

I told her the application would not, therefore, need a sensitive lands analysis, as nothing sensitive would remain.

I suggested she may want to do the Arch Certificate since the site is over 5 acres and is new development and nothing underground has likely been disturbed with prior use. Arch Certs are not hard to do and would guarantee meeting that specific IDO provision.

I told her that EPC staff would make the final calls.

Sounds like she has a meeting with you all on Monday.

Have a great weekend!

From: Wolfley, Jolene
Sent: Friday, September 15, 2023 3:51 PM
To: Varela, Alan M. <avarela@cabq.gov>; Jackie Fishman <fishman@consensusplanning.com>
Cc: Biazar, Shahab <sbiazar@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: RE: Balloon Fiesta Park

Jackie,

I just tried calling your office and the message line said you were closed this afternoon. Feel free to call my mobile number below if you are working now.

Here are some questions to help confirm answers for you:

1. Is the site plan you are submitting for an area that is part of the Parks Master Plan for Balloon Fiesta Park? Does the site plan include some new land area not in that Plan?
2. Is the site plan area graded or ungraded?

In terms of a submittal, we can take the application at any time. If the answers to #1 and #2 above generate the need for an archeological certificate or a sensitive lands analysis, then we can have those come in later.



JOLENE WOLFLEY, M.C.P.
associate director

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
ADMINISTRATION
600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



September 25, 2023

To: Jacqueline Fishman, Consensus Planning
From: James M. Aranda, Deputy Director and ZEO
Subject: Balloon Fiesta Park Process Determination

The City Parks & Recreation Department will be submitting an EPC application by October 5, 2023 at noon, at the latest, for the November 16, 2023 hearing. The request would allow development of a Sports Stadium on a portion Balloon Fiesta Park property, in a parking lot area near the subject site's NW corner. The request would amend the Balloon Fiesta Park Master Plan. Staff notes the following:

- A Stadium is a permissive use in the NR-PO-A zone district
- IDO Definition of Stadium: An outdoor, open-air area or structure suitable for sporting events or performances with tiers of seats or benches and with seating capacity for 1,000 or more people. See also *Sports Field* and *Stadium*.

The applicant shall submit the request in 3 parts, as follows:

1. Site Plan, EPC Major Amendment #1 for text amendments to the Balloon Fiesta Park Master Development Plan. Text amendments would:
 - A. revise the language of the plan to allow a sports stadium (3 sections of the plan),
 - B. add language about stadium light fixtures with the maximum height in the lighting section on page 78,
 - C. revise the site plan exhibits in the plan to reflect the stadium instead of the parking garage
2. Site Plan-EPC, Major Amendment #2 for amendments to the approved Site Plan for Subdivision (2013 signed off sheets).
 - A. This amendment would include the proposed stadium (clouded in red) over the approved parking structure and change keyed note #6 to reflect the stadium instead of the parking structure.
 - B. Any other changes to the keys notes/site data to reflect changes to the overall site plan.
 - C. Amendments to the landscape sheet and any other associated sheets
 - D. Add details of stadium light fixtures on any associated detail sheets.
3. A new Site Plan-EPC:
 - A. A Site Plan-EPC is required pursuant to the Master Plan (see p. 135).
 - B. The Site Plan shall follow all design standards in the Master Plan. Where the Master Plan is silent IDO standards apply

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

ADMINISTRATION

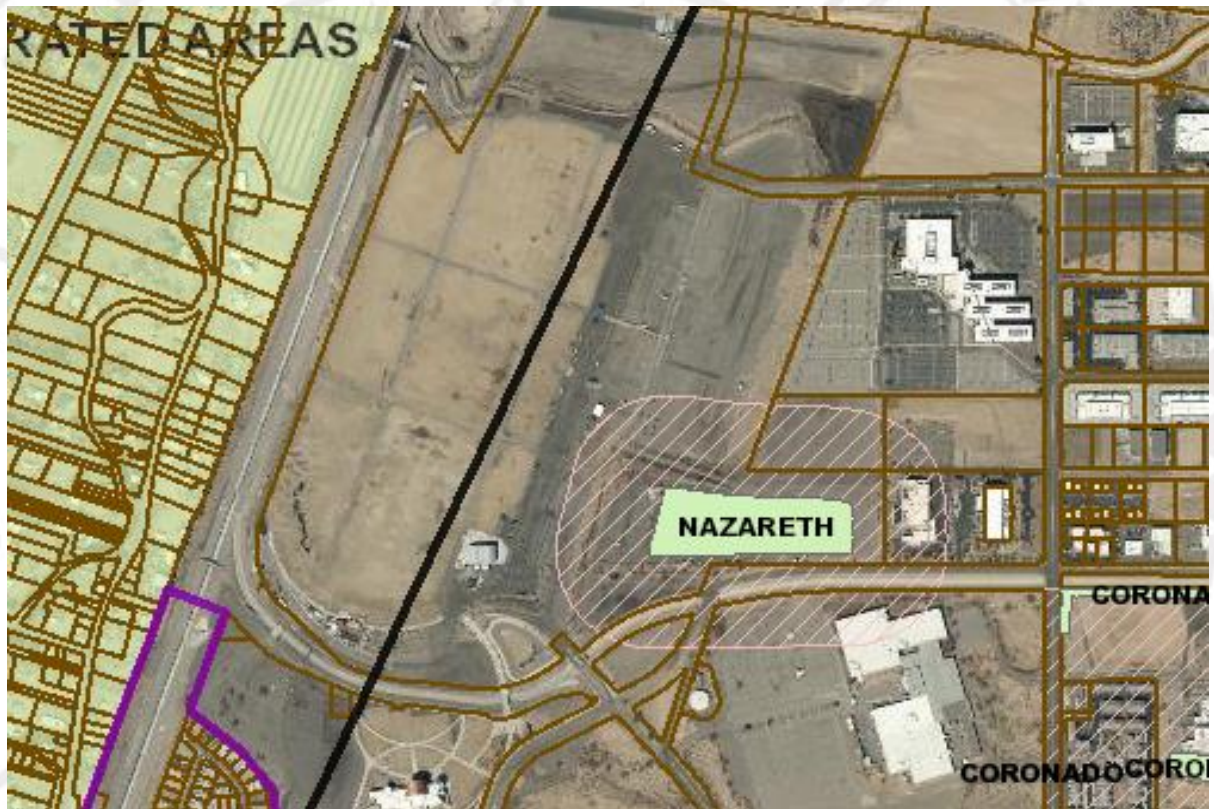
600 2nd Street NW, 3rd Floor

Albuquerque, NM 87102

Tel: (505) 924-3339



- C. There are sensitive lands (Steep Slopes, Arroyo & flood zone) on and around the NW portion of Balloon Fiesta Park, however, the site of the future stadium is a developed parking lot that avoids these sensitive lands.
- D. Pursuant to the IDO Subsection 14-16-5-2(H), sensitive lands also include Landfill Gas Buffer areas. The landfill buffer of the former Nazareth Landfill encroaches onto the site of the future stadium. Therefore, a Sensitive Lands Analysis is required.
 - i. All development within a landfill gas buffer requires a Landfill Gas Mitigation Approval pursuant to Subsection 14-16-6-4(S)(5) to ensure that potential health and safety impacts are addressed.



- 4. A Variance-EPC will NOT be required for the stadium light fixtures.
 - A. CPO-10 – IDO 14-16-4(K)(4)(a) Outdoor Lighting states: *1. The height of light poles within 330 feet in any direction of Balloon Fiesta Park as delineated on its approved Master Plan shall not exceed 20 feet.*
 - B. Maximum allowed light pole height is discussed on p. 78 of the Balloon Fiesta Park Master Plan.
 - C. Upon approval of the amendment to the Master Plan and Site Plan, Stadium Light fixtures with their maximum heights would be allowed as delineated in the approved Balloon Fiesta Park Master Plan as of the November amendment.



Memorandum

To: Silvia Bolivar
From: Jacqueline Fishman, AICP, Principal
Date: November 1, 2023
Re: **Balloon Fiesta Park / United Soccer Stadium**

Thank you for your comments on our Master Development Plan, Site Plan for Subdivision, and Site Plan-EPC submittal to EPC for Balloon Fiesta Park. Our Project Team has made revisions to the Site Plan based on the comments you provided in the memo dated October 23, 2023. I have listed the comments below and our responses, including where you can find the changes on the attached Site Plan sheets.

Sheet 1 – Site Plan (*Details needed*)

2. Vehicular Access Gate
A typical vehicular access gate detail has been added on the new Architectural Details, Sheet 11.
3. Pedestrian Access Gate
A typical pedestrian gate detail has been added on new Architectural Details, Sheet 11.
6. Refuse Enclosure and containers per within walled/fenced service yard.
The refuse enclosure was removed from the project. A trash compactor and recycling compactor will be provided within the loading bay inside of the stadium.

Sheet 9 – Building and Structure Elevations

10. Light poles
A light pole detail has been added on new Architectural Details, Sheet 11.
11. Monumental Stair/Steel Structure
A monumental stair detail has been added provided on new Architectural Details, Sheet 11.
15. Pedestrian Concourse Bridge (if available)
A Concourse Bridge / Typ. guardrail system detail has been added on new Architectural Details, Sheet 11.
16. Vehicular Gate
This note was not used - see typical vehicular access gate detail.
18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels
A typical perimeter fence detail has been added on new Architectural Details, Sheet 11.

19. Metal Guardrail System. Silver.

A Concourse Bridge / Typ. guardrail system detail has been added on new Architectural Details, Sheet 11.

Detail sheet for any proposed signage.

Signage has been noted on the west elevation and details have been provided on new Architectural Details, Sheet 11.

Phasing

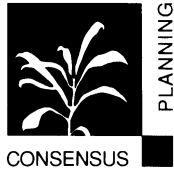
The original submittal did not indicate phasing, which was an oversight. The south roof canopy and food hall will be constructed as part of a future phase based on availability of funding. The future phase Food Hall is 33,000 SF, which is included within the overall building area of 185,500 SF listed on Sheet 1. General Note I has been added to Sheet 1 to explain phasing and annotations indicating phasing of food hall and south roof canopy have been added to the Sheet 1 Site Plan and Sheet 9 and Sheet 10 Elevations.

Please do not hesitate to contact me with any questions you may have regarding the Site Plan or any other aspect of the project.

Att: Revised Site Plan, Building Elevations, and new Architectural Details Sheet

SUPPORTING DOCUMENTATION

- a. Sensitive Lands Analysis
- b. Nazareth Landfill Gas Assessment Report
- c. Noise Impact Analysis
- d. Lighting Analysis
- e. Governor's Commission on Disability Meeting Summary



Memorandum

To: David Shaffer, Chair, Environmental Planning Commission

From: Jacqueline Fishman, AICP, Principal

Date: October 5, 2023

Re: Sensitive Lands Analysis for Balloon Fiesta Park

Consensus Planning has coordinated with Jolene Wolfley regarding the requirement for a Sensitive Lands Analysis for the proposed Multi-Use Stadium on 7 acres at Balloon Fiesta Park. Ms. Wolfley originally determined that since the site area has been graded and in use as a parking lot, a Sensitive Lands Analysis is not required (*see email from Jolene Wolfley to Jackie Fishman dated 9/15/2023*). Ms. Wolfley subsequently relayed on 10/3/2023, that the Applicant should perform a sensitive lands analysis for the east escarpment only, which follows below.

East Escarpment: The Site Plan-EPC shows the Multi-Use Stadium tucked up against the existing man-made escarpment that is situated at the east boundary of the Park and wrapping around the edge of President's Compound. The escarpment has been a difficult site condition for City Parks and Recreation to maintain since the establishment of Balloon Fiesta Park. The challenges of continuous erosion along the escarpment have impacted the functionality, accessibility, and visitor experience of the Park. The Site Plan-EPC is intended to correct many of these current issues:

Within the Perimeter Vicinity of the Stadium: Along the east and south edges of the Multi-Use Stadium site where the seating bowl abuts the existing escarpment, there will be slope stabilization, minor regrading, and retaining work conducted to improve the conditions of the escarpment, ensuring long-term viability of the slope condition and allowing safe public access in and around vicinity of the escarpment areas. The slope stabilization efforts will allow for planted berms, sidewalks, occupiable terraces, and accessible ramps to be constructed within along the outer perimeter escarpment edges of the Stadium site. The improvements will result in safe and accessible walking paths that will be able to connect pedestrians from the top of the escarpment down to the field level.

Along Gondola Gulch: The existing Gondola Gulch roadway is in poor condition and the immediate uphill slope that connects it to the top of Presidents' Compound is failing. The existing Gondola Gulch roadway will be removed, regraded, and repaved in a slightly realigned position. The realignment and repaving of Gondola Gulch will also allow for a reduction in slope angle within the topography between Gondola Gulch and Presidents' Compound. In order to help mitigate slope stability, the project will seek to prevent stormwater infiltration from on-site and off-site runoff through the use of surface measures (e.g. geotextiles, rock mulch, etc.)

Along the Edge of the East Parking lot: Along the east edge of the improved east parking lot, along the toe of the escarpment, there will be retaining and stabilization improvements. Without stabilization measures on the slope itself, erosion and sediment transport will

continue. The introduction of the pedestrian access pathway from the top of the escarpment down to the parking lot will serve to interrupt slope lengths and divert flows to the north rather than directly into the parking lot. In addition, surface stabilization in the form of geotextiles, rock mulch, and minor slope contouring will be considered as part of efforts to interrupt sediment transport before it begins

LANDFILL GAS ASSESSMENT REPORT

Multi-Use Project – Nazareth Landfill

BALLOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO

BOHANNAN HUSTON, INC.

NOVEMBER 2023

Submitted To:

Bohannan Huston Inc.
7500 Jefferson St. NE,
Albuquerque, NM 87109

Prepared By:

NV5, Inc.
6501 Americas Pkwy, Suite 400
Albuquerque, NM 87110



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1. Soil Gas Quality Results

FIGURES

1. Site Location Map
2. Boring Location Map

APPENDICES

- A. Laboratory Analytical Reports
- B. Field Notes

Landfill Gas Assessment Report

Multi-Use Project – Nazareth Landfill

Balloon Fiesta Park, Albuquerque, New Mexico

Bohannon Huston, Inc.

1.1 Introduction

NV5, Inc. (NV5) conducted this investigation and prepared this report, on behalf of Bohannon Huston, Inc., Inc. (BHI), for the proposed stadium facility located at Balloon Fiesta Park, Albuquerque, NM 87121 (Site). Figure 1 is the site location map. This report presents a summary of the soil gas sampling conducted at the Site on October 18, 2023.

1.2 Background

The Nazareth Landfill (Landfill) operated from 1971-1972 receiving approximately 172,000 tons of municipal solid waste. The Landfill was City of Albuquerque (COA) owned and operated. The Landfill was a municipal solid waste facility and may have also taken construction debris. The estimated depth of the solid waste is approximately 30 feet below ground surface. The former Landfill was approximately eight (8) acres in size.

The west side of the former Landfill is used for RV parking during the Albuquerque International Balloon Fiesta. The east side of the Landfill is used by a truck driving school throughout the year. It currently contains connection services for electric and water for RV parking. The Landfill is elevated above the main Balloon Fiesta field by approximately 50 feet.

The former Landfill also contains ten landfill gas (LFG) probes that were placed on the north, east, and south perimeters of the Landfill boundary. These probes have been monitored on a quarterly basis since 2004. None of the LFG probes have registered any significant methane and/or hydrogen sulfide concentrations since 2004 (City of Albuquerque, 2023 and SCS Field Services, 2013.)

1.3 Scope of Activities

On behalf of BHI, NV5 was asked to perform a limited landfill gas survey along Gondola Gulch Road and on the southern edge of the General Parking - Balloon Fiesta Park. This area is approximately 75 feet north-northwest of the former Nazareth Landfill. NV5 proposed to use a direct push rig to install eight temporary soil gas sampling points at a depth of five feet and collect soil gas samples. Soil gas field screenings of LFG were to be recorded from eight co-located borings at depths of 10 feet and 15 feet. Boring locations are shown on Figure 2.

1.4 Field Investigation

On October 18, 2023, NV5 personnel Sharon Chavez and Barbara Everett and Johnson Environmental Technologies (JET) personnel, Jordan Fehr, were onsite to perform field activities. Mr. Paul Olson, COA, was onsite to facilitate access to the boring locations. JET

used a direct push rig to install soil gas sampling points and collect soil gas samples. Soil gas samples were collected from eight soil gas sampling points at a depth of five feet, and soil gas field screenings were recorded from four borings at depths of 10 feet and 15 feet. A duplicate sample from boring B-8 and a field blank from boring B-1 were collected for quality control. Boring locations are shown on Figure 2.

1.4.1 Surface Conditions

The multi-use project site is currently used as general parking for the Balloon Fiesta Park. Gondola Gulch road and walkway are used as access to the Balloon Fiesta field. This area will be modified to accommodate access to the stadium which is being proposed as the multi-use project site. The Wile E. Coyote and RV parking lots are located atop the former Landfill. See Figure 1.

1.4.2 Subsurface Vapor Sampling

NV5 and JET personnel performed the sample point installation and sample collection. JET installed the temporary soil vapor sample points (TSVSP) using a Geoprobe™ 8500 direct push drill rig. Eight borings, (B1-B-8) were drilled to install TSVSPs and four co-located borings were drilled to conduct field screening of LFG (CO₂, H₂S, and VOC) at depths of 10 and 15 feet below ground surface (ft bgs). See Figure 2 for the locations of the boring.

After an extended wait for the utility clearance, JET personnel set up the direct push drill rig to start installing TSVSPs along Gondola Gulch Road. The TSVSP consist of a four-inch stainless-steel wire mesh screen with a threaded fitting on the bottom for anchoring and a fitting at the top to connect to 1/8-in inner diameter Nylaflo™ tubing.

The TSVSPs are installed through the drive rods after they were advanced to 5.0 ft bgs. An expendable implant anchor/drive point at the lead end of the rod string with a threaded fitting at the upper end and the implant was anchored in place by threading in counterclockwise. As the rods were retracted with the Geoprobe, fine silica sand was poured in around the screen to six inches above the screen for a filter pack that prevents clogging. Once the rods were above the filter pack, a bentonite powder mix was added to the rod annulus to seal the probe hole. After the rod string was removed from the ground, water was added to the annulus to hydrate the bentonite powder. The tubing was capped immediately to prevent venting to the ambient atmosphere until ready for sampling.

After the TSVSPs had proper time to equilibrate, soil vapor samples were collected from B-1 – B-8, as well as a duplicate sample from boring B-8 and a field blank from location B-1. Samples were collected using stainless-steel summa canisters. These stainless-steel summa canisters were supplied by the Pace Analytical Laboratory, clean and ready for sample collection. The canisters were under vacuum and were attached to the sample line for collection of the soil gas. The borings were purged for 1.5 minutes, allowing 295 milliliters of vapor to be removed.

Purging the vapor in the tubing allows for a more representative sample to be collected and thus more accurate laboratory analysis. The summa canister was then connected to the three-way valve system for collection.

The summa canisters were properly labeled for chemical analysis, and a chain-of-custody (COC) completed. The summa canisters were transported via FedEx to Pace Analytical in Mt. Juliet, TN. Each sample was submitted for Volatile Organic Compounds (VOCs) analysis by EPA Test Method TO-15.

About six inches from the initial boring, JET personnel set up the direct push drill rig to drill a second boring to collect field screening parameters at 10 ft bgs and 15 ft bgs. Field screenings were collected at four borings, B-1, B-3, B-5, and B-8, using a LANDTEC LFG gas meter and a handheld personal H₂S meter. Due to the time constraints resulting from the delayed utility clearance, four of the field screening borings (B-2, B-4, B-6, and B-7) could not be drilled.

The TSVSPs were left in place at the request of Paul Olson, COA, to allow future sampling by COA. The screening borings were backfilled with bentonite powder and hydrated.

1.5 Regulatory Criteria

The New Mexico Environmental Department has set soil vapor intrusion screening levels (VISLs) for industrial risk assessment (NMED, 2022), Table A-4. Contaminant levels identified above screening levels require additional investigation and remediation. The VISLs are shown for the respective sample results in Table 1. Table 1 show the results for soil-gas quality.

1.6 Soil Vapor Results

Analytical Laboratory Results

Samples B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-8, B-8 DUP and Field Blank were analyzed for VOCs by EPA Method TO-15. The samples from the borings contained variable soil vapor quality and had detectable concentrations of the following analytes:

acetone	ethylbenzene	n-hexane
benzene	4-ethyltoluene	isopropyl benzene
carbon disulfide	trichlorofluoromethane	methylene chloride
chloromethane	dichlorodifluoromethane	2-butanone (MEK)
cyclohexane	1,1,2-trichlorotrifluoroethane	4-methyl-2-pentanone(MIBK)
1,1-dichloroethane	1,2-dichlorotetrafluoroethane	2-propanol
ethanol	heptane	tetrachloroethene

toluene	1,3,5-trimethylbenzene	m&p-xylene
trichloroethene	2,2,4-trimethylpentane	o-xylene
1,2,4-trimethylbenzene	vinyl chloride	

Concentrations did not exceed the NMED's VISLs. Analytical laboratory result reports are included in Appendix A.

The following analytes were only detected in sample B-8DUP:

benzyl chloride	1,3-dichlorobenzene	trans-1,2-dichloroethene
bromodichloromethane	1,4-dichlorobenzene	cis-1,3-dichloropropene
dibromochloromethane	1,1-dichloroethene	
1,2-dichlorobenzene	cis-1,2-dichloroethene	

Concentrations did not exceed the NMED's VISLs. Analytical laboratory result reports are included in Appendix A.

The sample B-8 may not be a representative sample. The sample canister guage readings did not show that there was proper vacuum in the canister. The results from sample B-8DUP should be considered representative of soil gas quality at this location.

Data Validation

All data was reviewed in the laboratory reports including analytical and quality control (QC) results, and chain of custody (COC) form. There were no issues with COC form or analyses completed.

The following compounds were found in the field blank and a B (Blank) or BE (Blank, Estimated) qualifier was added to the result in Table 1, if the detected concentration met the following parameters:

- Acetone <135 $\mu\text{g}/\text{m}^3$
- Ethanol <733 $\mu\text{g}/\text{m}^3$
- Heptane <4.15 $\mu\text{g}/\text{m}^3$
- n-Hexane <66 $\mu\text{g}/\text{m}^3$
- Methylene Chloride <122 $\mu\text{g}/\text{m}^3$
- 2-propanol <38.1 $\mu\text{g}/\text{m}^3$
- Toluene <10 $\mu\text{g}/\text{m}^3$

Soil Screening Results

The field screening parameters collected from B1, B-3, B-5, and B-8 did not detect any indications of contamination (no odor nor elevated LFG or H₂S readings). See Appendix B for field screening parameters.

1.7 Conclusions

Soil-gas analytical results from samples collected on October 18, 2023, do not exceed the NMED’s Vapor Intrusion Screening Levels for industrial setting (NMED, 2022). No further investigation is warranted at this location based on the results of this sampling event.

1.8 Recommendations

If there is a concern that higher levels of LFGs may appear in the future, active or passive vent wells could be installed along Gondola Gulch Road. These wells could be integrated into the slope stabilization features or landscaping.

If during construction, sulfur or organic vapors are encountered, then work should stop until onsite field screening of LFG is conducted in the area. Work would be able to resume, once screen levels have verified that it is safe to do so.

1.9 References

Closed Nazareth Landfill. (2023). City of Albuquerque.
<https://www.cabq.gov/environmentalhealth/landfill-groundwater-monitoring/closed-nazarethlandfill#:~:text=The%20closed%20Nazareth%20Landfill%20is,the%20Albuquerque%20International%20Balloon%20Fiesta.>

SCS Field Services. (2013, June 28). Nazareth Landfill Gas Probe Investigation Report. In City of Albuquerque (File No. 07209112.05). City of Albuquerque Environmental Health Department. Retrieved November 1, 2023, from
<https://www.cabq.gov/environmentalhealth/documents/nazareth-landfill-gas-probe-investigation-report-final-revised-june-28-2013.pdf>

New Mexico Environment Department, 2022. Risk Assessment Guidance for Site Investigations and Remediation Volume I Soil Screening Guidance for Human Health Risk Assessments. November 2022.

1.10 Limitations

This work was performed in a manner consistent with that level of care and skill ordinarily exercised by other members of NV5’s profession practicing in the same locality, under similar conditions and at the date the services are provided. Our conclusions, opinions, and recommendations are based on a limited

number of observations and data. It is possible that conditions could vary between or beyond the data evaluated. NV5 makes no other representation, guarantee or warranty, express or implied, regarding the services, communication (oral or written), report, opinion, or instrument of service provided.

This report may be used only by Bohannon Huston, Inc. and the registered design professional in responsible charge and only for the purposes stated for this specific engagement within a reasonable time from its issuance, but in no event later than two years from the date of the report.

The work performed was based on project information provided by Bohannon Huston, Inc.. If Bohannon Huston, Inc. does not retain NV5 to review any plans and specifications, including any revisions or modifications to the plans and specifications, NV5 assumes no responsibility for the suitability of our recommendations. In addition, if there are any changes in the field to the plans and specifications, Bohannon Huston, Inc. must obtain written approval from NV5's engineer that such changes do not affect our recommendations. Failure to do so will vitiate NV5's recommendations.

Tables

Table 1
Soil Gas Quality Results

TABLE 1
SUMMARY OF SOIL-GAS QUALITY
MULTI-USE PROJECT -- NAZARETH LANDFILL
BALLOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.

Sample ID	Date	Acetone (µg/m ³)	Allyl chloride (µg/m ³)	Benzene (µg/m ³)	Benzyl chloride (µg/m ³)	Bromo- dichloro- methane (µg/m ³)	Bromo- form (µg/m ³)	Bromo- methane (µg/m ³)	1,3- Butadiene (µg/m ³)
NMED VISLs Industrial Noncancer (ug/m³)		5080000		4920				819	328
NMED VISLs Industrial Cancer (ug/m³)				588		124			153
B-1	10/18/2023	77.5 BE	-0.626	3.71	-1.04	-1.34	-6.21	-0.776	-4.43
B-2	10/18/2023	225 B	-0.626	207	-1.04	-1.34	-6.21	-0.776	-4.43
B-3	10/18/2023	62.3 BE	-0.626	31.2	-1.04	-1.34	-6.21	-0.776	-4.43
B-4	10/18/2023	160 B	-0.626	285	-1.04	-1.34	-6.21	-0.776	-4.43
B-5	10/18/2023	61.3 BE	-0.626	24.9	-1.04	-1.34	-6.21	-0.776	-4.43
B-6	10/18/2023	442 B	-0.626	273	-10.4	-13.4	-62.1	-0.776	-4.43
B-7	10/18/2023	711 B	-6.26	16.4	-10.4	-13.4	-62.1	-7.76	-44.3
B-8	10/18/2023	149 B	-0.626	2.19	-1.04	-1.34	-6.21	-0.776	-4.43
B-8 DUP	10/18/2023	554 B	-0.626	9.1	1.25	2.4	-6.21	-0.776	-4.43
Field Blank	10/18/2023	13.5 B	-0.626	-0.639	-1.04	-1.34	-6.21	-0.776	-4.43

Notes:

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PQL = Practical Quantation Limit

VISLs = Vapor Intrusion Screening Levels

Bold lettering indicates that the analyte was detected above the PQL, but below the VISLs standard

-0.001 - A negative sign in front of result indicates that the analyte was not detected above the PQL

Common Laboratory Contaminants include: See list attached.

Yellow highlighted values indicate that the soil-gas quality result exceeds the VISLs Residential Cancer levels.

Orange highlighted values indicate that the soil-gas quality result exceeds the VISLs Residential Noncancer levels.

B = Compound found in blank, values less than 5 times the blank value (10 times for common lab contaminants) are considered estimated (E)

R = Data rejected due to all values being less than the blank value and the compound being a common laboratory contaminant

**TABLE 1
SUMMARY OF SOIL-GAS QUALITY
MULTI-USE PROJECT -- NAZARETH LANDFILL
BALOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.**

Carbon disulfide (µg/m3)	Carbon tetra-chloride (µg/m3)	Chloro-benzene (µg/m3)	Chloro-ethane (µg/m3)	Chloro-form (µg/m3)	Chloro-methane (µg/m3)	2-Chloro-toluene (µg/m3)	Cyclo-hexane (µg/m3)	Chloro-dibromo-methane (µg/m3)	1,2-Dibromo-ethane (µg/m3)	1,2-Dichloro-benzene (µg/m3)	1,3-Dichloro-benzene (µg/m3)	1,4-Dichloro-benzene (µg/m3)
		8190		16100	14700		164000		1470	32800		131000
				199	2550				7.65			417
1	-1.26	-0.924	-0.528	-0.973	-0.413	-1.03	1.71	-1.7	-1.54	-1.2	-1.2	-1.2
15.6	-1.26	-0.924	-0.528	-0.973	0.903	-1.03	-0.689	-1.7	-1.54	-1.2	-1.2	-1.2
2.38	-1.26	-0.924	-0.528	-0.973	-0.413	-1.03	6.47	-1.7	-1.54	-1.2	-1.2	-1.2
2	-1.26	-0.924	-0.528	-0.973	-0.413	-1.03	74.4	-1.7	-1.54	-1.2	-1.2	-1.2
-0.622	-1.26	-0.924	-0.528	-0.973	0.485	-1.03	11.3	-1.7	-1.54	-1.2	-1.2	-1.2
3.58	-1.26	-9.24	-0.528	-0.973	-0.413	-10.3	78.2	-17	-15.4	-12	-12	-12
-6.22	-12.6	-9.24	-5.28	-9.73	-4.13	-10.3	11.2	-17	-15.4	-12	-12	-12
-0.622	-1.26	-0.924	-0.528	-0.973	1.05	-1.03	0.761	-1.7	-1.54	-1.2	-1.2	-1.2
-0.622	2.21	-0.924	-0.528	-0.973	1.1	1.68	4.86	2.53	-1.54	1.5	1.46	1.34
-0.622	-1.26	-0.924	-0.528	-0.973	-0.413	-1.03	-0.689	-1.7	-1.54	-1.2	-1.2	-1.2

Notes:

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Yellow highlighted values indicate that the soil-gas quality result exceeds the VISLs Residential Cancer levels.

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**TABLE 1
SUMMARY OF SOIL-GAS QUALITY
MULTI-USE PROJECT -- NAZARETH LANDFILL
BALOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.**

1,2-Dichloroethane (µg/m3)	1,1-Dichloroethane (µg/m3)	1,1-Dichloroethene (µg/m3)	cis-1,2-Dichloroethene (µg/m3)	Trans-1,2-dichloroethene (µg/m3)	1,2-Dichloropropane (µg/m3)	Cis-1,3-dichloropropene (µg/m3)	Trans-1,3-dichloropropene (µg/m3)	1,4-Dioxane (µg/m3)	Ethanol (µg/m3)	Ethylbenzene (µg/m3)	4-Ethyltoluene (µg/m3)	Trichlorofluoromethane (µg/m3)
1150				6550	655			4920		164000		115000
176	2870				459			918		1840		
-0.81	9.06	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	70.1 BE	7.46	4.48	1.76
-0.81	36.6	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	368 BE	184	75.6	3.53
-0.81	20.9	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	145 BE	62.4	35.7	6.29
-0.81	-0.802	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	590 BE	266	141	3.92
-0.81	103	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	105 BE	39.6	5.84	7.08
-8.1	-0.802	-0.793	-0.793	-0.793	-9.24	-9.08	-9.08	-22.7	920 B	244	22.9	8.04
-8.1	40	-7.93	-7.93	-7.93	-9.24	-9.08	-9.08	-22.7	158 BE	24.8	-9.82	-11.2
-0.81	3.6	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	112 BE	3.46	-0.982	1.19
-0.81	17.8	1.35	1.64	1.24	-0.924	1.39	-0.908	-2.27	125 BE	16.1	2.04	3.22
-0.81	-0.802	-0.793	-0.793	-0.793	-0.924	-0.908	-0.908	-2.27	73.3 B	-0.867	-0.982	-1.12

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TABLE 1
SUMMARY OF SOIL-GAS QUALITY
MULTI-USE PROJECT -- NAZARETH LANDFILL
BALLOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.

Dichloro-difluoro-methane (µg/m3)	1,1,2-Trichlorotrifluoro-ethane (µg/m3)	1,2-Dichlorotetrafluoro-ethane (µg/m3)	Heptane (µg/m3)	Hexachloro-1,3-butadiene (µg/m3)	n-hexane (µg/m3)	Isopropyl benzene (µg/m3)	Methylene chloride (µg/m3)	Methyl butyl ketone (µg/m3)	2-Butanone (mek) (µg/m3)	4-methyl-2-pentanone (mibk) (µg/m3)	Methyl methacrylate (µg/m3)
16400					115000		98300		819000		115000
				209			135				
215	25.3	69	4.09 BE	-6.73	26.9 BE	-0.983	1.39 BR	-5.11	40.7	163	-0.819
190	70.4	89.5	255 B	-6.73	256 B	13	4.38 BR	-5.11	96.7	116	-0.819
762	59.2	326	48.3 B	-6.73	24.9 BE	-0.983	3.32 BR	-5.11	38.6	129	-0.819
437	72.9	227	1540 B	-6.73	628 B	19.1	-0.694	-5.11	92	295	-0.819
305	552	115	49.9 B	-6.73	41.6 BE	2.93	2.86 BR	-5.11	47.8	167	-0.819
296	764	155	1140 B	-67.3	353 B	-9.83	-0.694	-51.1	123	393	-8.19
263	222	73.4	42.9 B	-67.3	31.7 BE	-9.83	-6.94	-51.1	51	52.4	-8.19
18.2	12.3	4	5.32 B	-6.73	12.8 BE	-0.983	6.29 BR	-5.11	18.4	-5.12	-0.819
75.7	56.4	19.9	26.1 B	-6.73	12.3 BE	2.31	8.79 BR	-5.11	29.5	25.6	-0.819
-0.989	-1.53	-1.4	0.83 B	-6.73	13.2 B	-0.983	12.2 B	-5.11	-3.69	-5.12	-0.819

Notes:

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Common Laboratory Contaminants include: See list attached.

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**TABLE 1
SUMMARY OF SOIL-GAS QUALITY
MULTI-USE PROJECT -- NAZARETH LANDFILL
BALOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.**

Methyl tert-butyl ether (µg/m3)	Naphthalene (µg/m3)	2-Propanol (µg/m3)	Propene (µg/m3)	Styrene (µg/m3)	1,1,2,2-Tetrachloroethane (µg/m3)	Tetrachloroethene (µg/m3)	Tetrahydrofuran (µg/m3)	Toluene (µg/m3)	1,2,4-Trichloro benzene (µg/m3)	1,1,1-Trichloro ethane (µg/m3)	1,1,2-Trichloro ethane (µg/m3)	Trichloro ethylene (µg/m3)
	492			164000		6550		819000	328	819000	32.8	
	135					17600					287	
-0.721	-3.3	4.74 BE	-2.15	-0.851	-1.37	67.6	-0.59	56.1 B	-4.66	1.49	-1.09	8.2
-0.721	-3.3	25.8 BE	-2.15	-0.851	-1.37	38.1	-0.59	418 B	-4.66	-1.09	-1.09	-1.07
-0.721	-3.3	3.98 BE	-2.15	-0.851	-1.37	86.9	-0.59	243 B	-4.66	-1.09	-1.09	-1.07
-0.721	-3.3	6.46 BE	-2.15	-0.851	-1.37	51.5	-0.59	2220 B	-4.66	-1.09	-1.09	-1.07
-0.721	-3.3	7.45 BE	-2.15	-0.851	-1.37	200	-0.59	293 B	-4.66	-1.09	-1.09	143
-0.721	-33	9.39 BE	-2.15	-8.51	-13.7	145	-0.59	2110 B	-46.6	-1.09	-10.9	-10.7
-7.21	-33	39.6 BE	-21.5	-8.51	-13.7	35.4	-5.9	1380 B	-46.6	-10.9	-10.9	51.8
-0.721	-3.3	13.4 BE	-2.15	-0.851	-1.37	2.72	-0.59	154 B	-4.66	-1.09	-1.09	1.68
-0.721	-3.3	28.8 BE	-2.15	-0.851	2.16	14.7	-0.59	806 B	-4.66	-1.09	-1.09	9.32
-0.721	-3.3	7.62 B	-2.15	-0.851	-1.37	-1.36	-0.59	2.00 B	-4.66	-1.09	-1.09	-1.07

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MULTI-USE PROJECT -- NAZARETH LANDFILL
BALOON FIESTA PARK, ALBUQUERQUE, NEW MEXICO
BOHANNAN HOUSTON, INC.**

1,2,4- Trimethyl benzene (µg/m3)	1,3,5- Trimethyl benzene (µg/m3)	2,2,4- Trimethyl pentane (µg/m3)	Vinyl chloride (µg/m3)	Vinyl bromide (µg/m3)	Vinyl acetate (µg/m3)	m&p- xylene (µg/m3)	o-xylene (µg/m3)
			16400	492	32800	16400	16400
			1040	306			
4.96	1.74	5.14	-0.511	-0.875	-2.22	27.6	8.5
65.3	27.7	196	-0.511	-0.875	-2.22	637	196
41.3	15.5	78.5	-0.511	-0.875	-2.22	242	75.9
140	56	1520	-0.511	-0.875	-2.22	1140	318
27.6	11.7	125	-0.511	-0.875	-2.22	164	43.8
83.9	40	972	-0.511	-0.875	-2.22	949	251
-9.82	-9.82	52.3	-5.11	-8.75	-22.2	117	42.3
-0.982	-0.982	3.72	-0.511	-0.875	-2.22	13.4	4.6
2.74	2.05	18.2	0.956	-0.875	-2.22	63.7	21.7
-0.982	-0.982	-0.934	-0.511	-0.875	-2.22	-1.73	-0.867

Notes:

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PQL = Practical Quantation Limit

VISLs = Vapor Intrusion Screening Levels

Bold lettering indicates that the analyte was detected above the PQL, but below the VISLs standard

-0.001 - A negative sign in front of result indicates that the analyte was not detected above the PQL

Common Laboratory Contaminants include: See list attached.

Yellow highlighted values indicate that the soil-gas quality result exceeds the VISLs Residential Cancer levels.

Orange highlighted values indicate that the soil-gas quality result exceeds the VISLs Residential Noncancer levels.

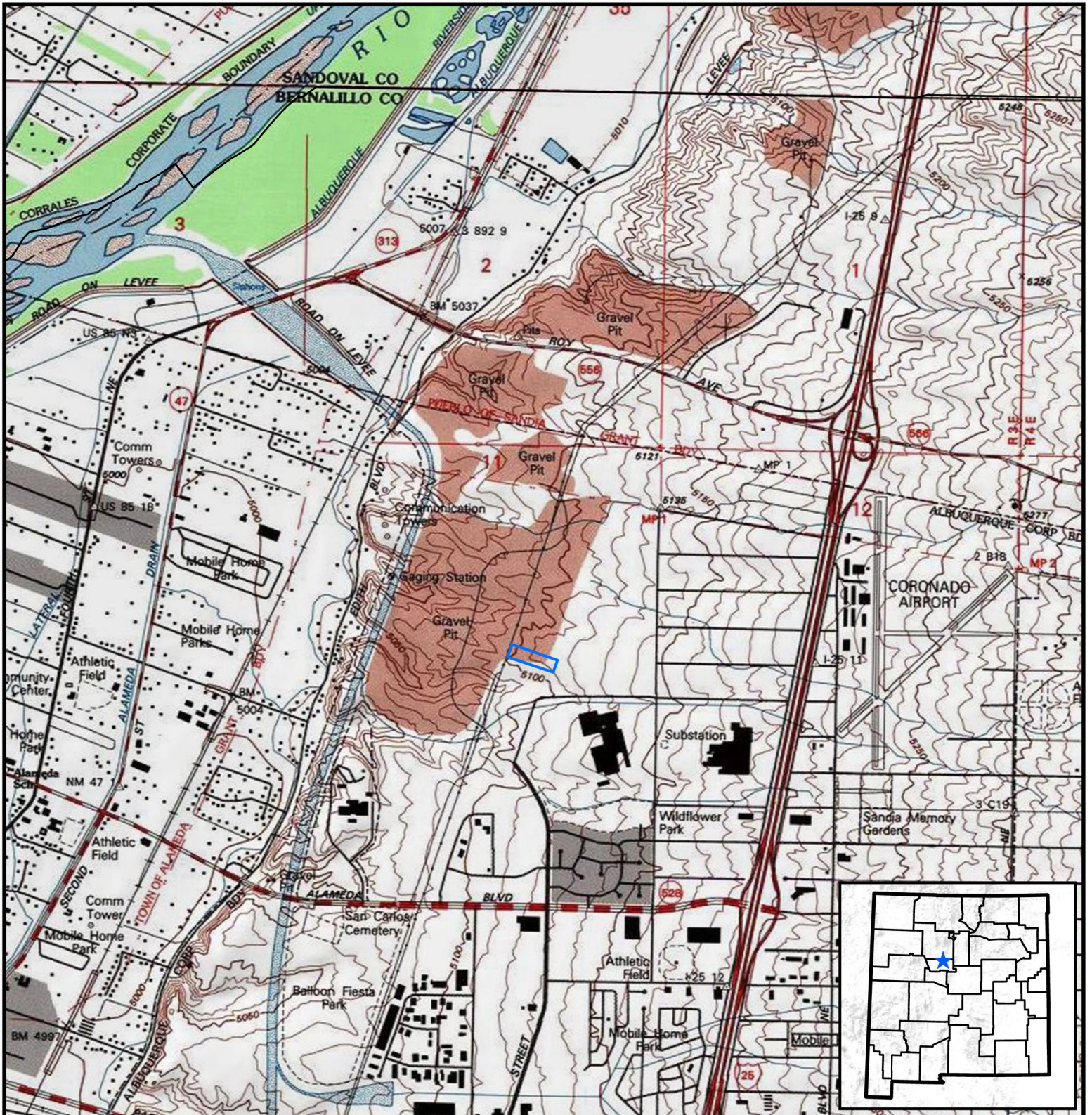
B = Compound found in blank, values less than 5 times the blank value (10 times for common lab contaminants) are considered estimated (E)

R = Data rejected due to all values being less than the blank value and the compound being a common laboratory contaminant

Figures

Figure 1
Site Location Map

Figure 2
Boring Location Map



Legend

- Project Boundary
- Counties
- USA Topo Maps
- USA Topo Maps

**FIGURE 1
SITE LOCATION MAP**

Service Layer Credits:
World Terrain Base:
Sources: Esri, USGS,
NOAA
USA Topo Maps:
Copyright:© 2013 National
Geographic Society, i-cubed

PROJECT NO: 444223-130000A.16
REVISED: 11/1/2023
DRAWN BY: SC

Multi-Use Project -- Nazareth Landfill
Balloon Fiesta Park, Albuquerque, NM
Bohannon Houston, Inc.

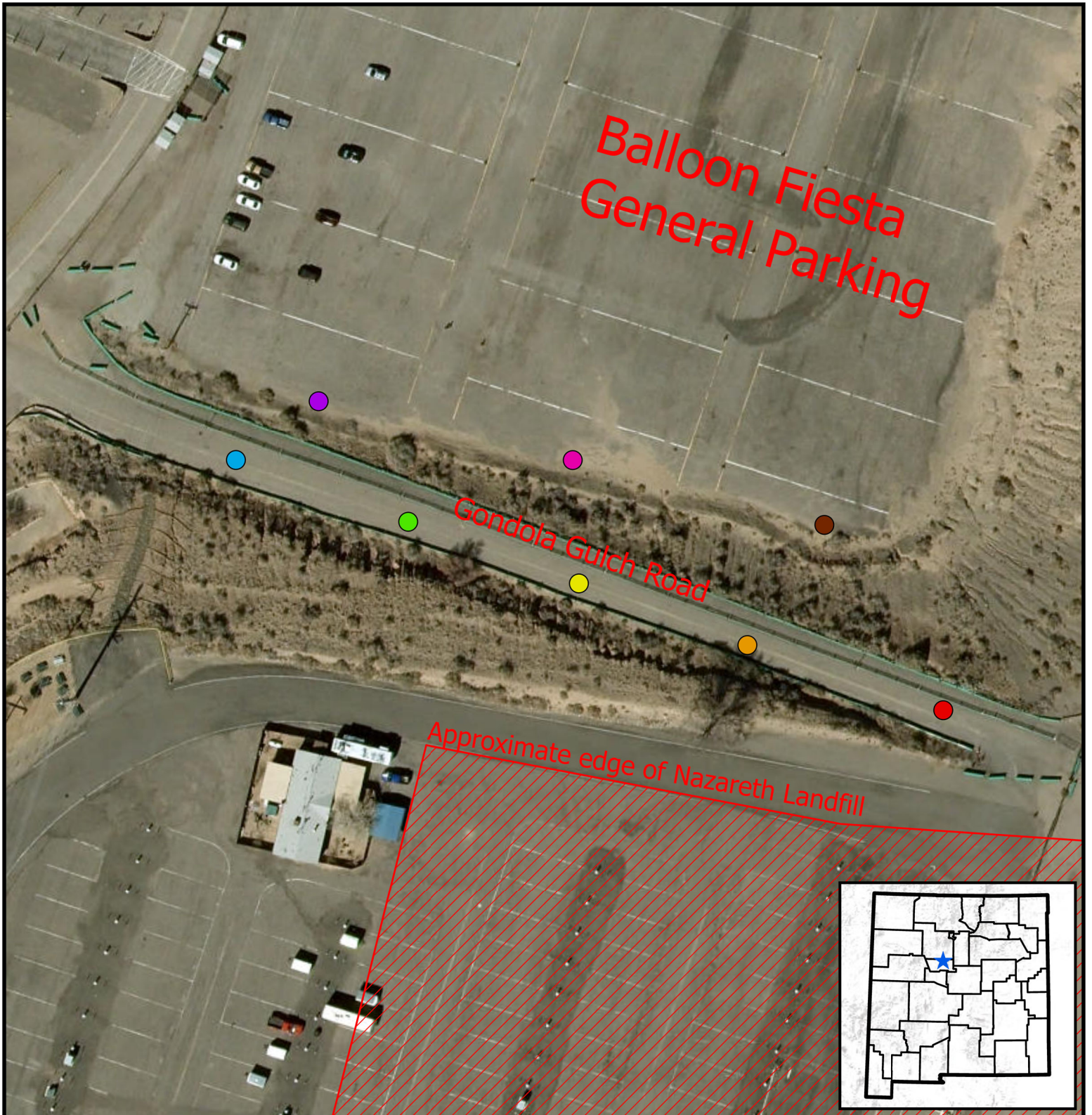
0 0.25 0.5 1 Miles

0 0.25 0.5 1 Kilometers



1:24,000





Legend

Area of Former Landfill

Borings

- B-1
- B-4
- B-7
- B-2
- B-5
- B-8
- B-3
- B-6

0 0.01 0.01 0.03 Miles

0 0.01 0.01 0.03 Kilometers



FIGURE 2 BORING LOCATION MAP

Service Layer Credits:
World Terrain Base:
Sources: Esri, USGS,
NOAA
Transportation: Esri, HERE,
Garmin, (c) OpenStreetMap
contributors

PROJECT NO: 444223-130000A.16

REVISED: 11/1/2023

DRAWN BY: SC



Multi-Use Project – Nazareth Landfill
Balloon Fiesta Park, Albuquerque, NM
Bohannon Houston, Inc.

1:1,000



Appendix A

Soil Gas Quality Results

Laboratory Analytical Reports

Landfill Site Assessment
Multi-Use Project – Nazareth Landfill
Balloon Fiesta Park, Albuquerque, NM
Bohannon Houston, Inc.
444223-130000A.16
DCN: 444223-130000A.16-ABQ23RP01



NV5 - Phoenix, AZ

Sample Delivery Group: L1668223

Samples Received: 10/19/2023

Project Number:

Description:

Report To: Mike Hulst
1 W. Deer Valley Road, Bldg 2
Suite 305
Phoenix, AZ 85027

Entire Report Reviewed By:



Shane Gambill
Project Manager

Results relate only to the items tested or calibrated and are reported as rounded values. This test report shall not be reproduced, except in full, without written approval of the laboratory. Where applicable, sampling conducted by Pace Analytical National is performed per guidance provided in laboratory standard operating procedures ENV-SOP-MTJL-0067 and ENV-SOP-MTJL-0068. Where sampling conducted by the customer, results relate to the accuracy of the information provided, and as the samples are received.

Pace Analytical National12065 Lebanon Rd Mount Juliet, TN 37122 615-758-5858 800-767-5859 www.pacenational.com

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SAMPLE SUMMARY

FIELD BLANK L1668223-01 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 12:35
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/24/23 21:08	10/24/23 21:08	DAH	Mt. Juliet, TN

1 Cp

2 Tc

B-1 L1668223-02 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 15:00
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/24/23 21:51	10/24/23 21:51	DAH	Mt. Juliet, TN

3 Ss

4 Cn

5 Sr

B-2 L1668223-03 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 15:35
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/24/23 22:33	10/24/23 22:33	DAH	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2158476	10	10/26/23 12:29	10/26/23 12:29	MNP	Mt. Juliet, TN

6 Qc

7 Is

8 Gl

B-3 L1668223-04 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 16:05
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/24/23 23:15	10/24/23 23:15	DAH	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2158476	10	10/26/23 12:55	10/26/23 12:55	MNP	Mt. Juliet, TN

9 Al

10 Sc

B-4 L1668223-05 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 16:17
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/24/23 23:58	10/24/23 23:58	DAH	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2158476	10	10/26/23 13:21	10/26/23 13:21	MNP	Mt. Juliet, TN

B-5 L1668223-06 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 16:30
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/25/23 00:40	10/25/23 00:40	DAH	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2158462	1	10/26/23 19:39	10/26/23 19:39	MNP	Mt. Juliet, TN

B-6 L1668223-07 Air

Collected by Sharon Chavez
 Collected date/time 10/18/23 16:52
 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2156941	1	10/25/23 01:22	10/25/23 01:22	DAH	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2158462	10	10/26/23 20:13	10/26/23 20:13	MNP	Mt. Juliet, TN

SAMPLE SUMMARY

B-7 L1668223-08 Air

Collected by Sharon Chavez Collected date/time 10/18/23 17:05 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2158462	10	10/26/23 22:02	10/26/23 22:02	MNP	Mt. Juliet, TN

¹ Cp

² Tc

³ Ss

B-8 L1668223-09 Air

Collected by Sharon Chavez Collected date/time 10/18/23 17:17 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2158462	1	10/26/23 22:43	10/26/23 22:43	MNP	Mt. Juliet, TN

⁴ Cn

⁵ Sr

B-8 DUP L1668223-10 Air

Collected by Sharon Chavez Collected date/time 10/18/23 17:30 Received date/time 10/19/23 09:00

Method	Batch	Dilution	Preparation date/time	Analysis date/time	Analyst	Location
Volatile Organic Compounds (MS) by Method TO-15	WG2158462	1	10/26/23 23:25	10/26/23 23:25	MNP	Mt. Juliet, TN
Volatile Organic Compounds (MS) by Method TO-15	WG2159835	10	10/28/23 12:17	10/28/23 12:17	SDS	Mt. Juliet, TN

⁶ Qc

⁷ Is

⁸ Gl

⁹ Al

¹⁰ Sc

CASE NARRATIVE

All sample aliquots were received at the correct temperature, in the proper containers, with the appropriate preservatives, and within method specified holding times, unless qualified or notated within the report. Where applicable, all MDL (LOD) and RDL (LOQ) values reported for environmental samples have been corrected for the dilution factor used in the analysis. All Method and Batch Quality Control are within established criteria except where addressed in this case narrative, a non-conformance form or properly qualified within the sample results. By my digital signature below, I affirm to the best of my knowledge, all problems/anomalies observed by the laboratory as having the potential to affect the quality of the data have been identified by the laboratory, and no information or data have been knowingly withheld that would affect the quality of the data.



Shane Gambill
Project Manager



Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	5.70	13.5		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	ND	ND		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2156941
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2156941
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	ND	ND		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	ND	ND		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2156941
Cyclohexane	110-82-7	84.20	0.200	0.689	ND	ND		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2156941
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2156941
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2156941
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	ND	ND		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	38.9	73.3		1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	ND	ND		1	WG2156941
4-Ethyltoluene	622-96-8	120	0.200	0.982	ND	ND		1	WG2156941
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	ND	ND		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	ND	ND		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	ND	ND		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	ND	ND		1	WG2156941
Heptane	142-82-5	100	0.200	0.818	0.203	0.830		1	WG2156941
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2156941
n-Hexane	110-54-3	86.20	0.630	2.22	3.75	13.2		1	WG2156941
Isopropylbenzene	98-82-8	120.20	0.200	0.983	ND	ND		1	WG2156941
Methylene Chloride	75-09-2	84.90	0.200	0.694	3.52	12.2		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	ND	ND		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	ND	ND		1	WG2156941
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2156941
2-Propanol	67-63-0	60.10	1.25	3.07	3.10	7.62		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2156941
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2156941
Tetrachloroethylene	127-18-4	166	0.200	1.36	ND	ND		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	0.500	1.88	0.531	2.00		1	WG2156941
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2156941

1 Cp
2 Tc
3 Ss
4 Cn
5 Sr
6 Qc
7 Is
8 Gl
9 Al
10 Sc

FIELD BLANK

SAMPLE RESULTS - 01

Collected date/time: 10/18/23 12:35

L1668223

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	ND	ND		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	ND	ND		1	WG2156941
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	ND	ND		1	WG2156941
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	ND	ND		1	WG2156941
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	0.400	1.73	ND	ND		1	WG2156941
o-Xylene	95-47-6	106	0.200	0.867	ND	ND		1	WG2156941
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	18.9	51.1		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		103				WG2156941

- 1 Cp
- 2 Tc
- 3 Ss
- 4 Cn
- 5 Sr
- 6 Qc
- 7 Is
- 8 Gl
- 9 Al
- 10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	32.6	77.5		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	1.16	3.71		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2156941
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2156941
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	0.322	1.00		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	ND	ND		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2156941
Cyclohexane	110-82-7	84.20	0.200	0.689	0.498	1.71		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2156941
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2156941
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2156941
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	2.26	9.06		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	37.2	70.1		1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	1.72	7.46		1	WG2156941
4-Ethyltoluene	622-96-8	120	0.200	0.982	0.912	4.48		1	WG2156941
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	0.313	1.76		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	43.4	215		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	3.30	25.3		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	9.87	69.0		1	WG2156941
Heptane	142-82-5	100	0.200	0.818	0.999	4.09		1	WG2156941
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2156941
n-Hexane	110-54-3	86.20	0.630	2.22	7.64	26.9		1	WG2156941
Isopropylbenzene	98-82-8	120.20	0.200	0.983	ND	ND		1	WG2156941
Methylene Chloride	75-09-2	84.90	0.200	0.694	0.400	1.39		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	13.8	40.7		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	39.8	163		1	WG2156941
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2156941
2-Propanol	67-63-0	60.10	1.25	3.07	1.93	4.74		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2156941
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2156941
Tetrachloroethylene	127-18-4	166	0.200	1.36	9.95	67.6		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	0.500	1.88	14.9	56.1		1	WG2156941
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2156941

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	0.274	1.49		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	1.53	8.20		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	1.01	4.96		1	WG2156941
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	0.355	1.74		1	WG2156941
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	1.10	5.14		1	WG2156941
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	0.400	1.73	6.37	27.6		1	WG2156941
o-Xylene	95-47-6	106	0.200	0.867	1.96	8.50		1	WG2156941
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	ND	ND		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		104				WG2156941

- 1 Cp
- 2 Tc
- 3 Ss
- 4 Cn
- 5 Sr
- 6 Qc
- 7 Is
- 8 Gl
- 9 Al
- 10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	94.8	225		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	64.7	207		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2156941
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2156941
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	5.01	15.6		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	0.437	0.903		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2156941
Cyclohexane	110-82-7	84.20	0.200	0.689	ND	ND		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2156941
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2156941
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2156941
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	9.13	36.6		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	195	368	E	1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	42.4	184		1	WG2156941
4-Ethyltoluene	622-96-8	120	0.200	0.982	15.4	75.6		1	WG2156941
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	0.628	3.53		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	38.5	190		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	9.19	70.4		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	12.8	89.5		1	WG2156941
Heptane	142-82-5	100	2.00	8.18	62.4	255		10	WG2158476
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2156941
n-Hexane	110-54-3	86.20	0.630	2.22	72.7	256		1	WG2156941
Isopropylbenzene	98-82-8	120.20	0.200	0.983	2.64	13.0		1	WG2156941
Methylene Chloride	75-09-2	84.90	0.200	0.694	1.26	4.38		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	32.8	96.7		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	12.5	51.2	28.3	116		10	WG2158476
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2156941
2-Propanol	67-63-0	60.10	1.25	3.07	10.5	25.8		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2156941
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2156941
Tetrachloroethylene	127-18-4	166	0.200	1.36	5.61	38.1		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	5.00	18.8	111	418		10	WG2158476
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2156941

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	ND	ND		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	13.3	65.3		1	WG2156941
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	5.65	27.7		1	WG2156941
2,2,4-Trimethylpentane	540-84-1	114.22	2.00	9.34	42.0	196		10	WG2158476
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	0.400	1.73	147	637		1	WG2156941
o-Xylene	95-47-6	106	0.200	0.867	45.2	196		1	WG2156941
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	35.9	97.0		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		106				WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		97.7				WG2158476

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	26.2	62.3		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	9.78	31.2		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2156941
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2156941
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	0.764	2.38		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	ND	ND		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2156941
Cyclohexane	110-82-7	84.20	0.200	0.689	1.88	6.47		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2156941
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2156941
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2156941
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	5.21	20.9		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	76.7	145		1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	14.4	62.4		1	WG2156941
4-Ethyltoluene	622-96-8	120	0.200	0.982	7.27	35.7		1	WG2156941
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	1.12	6.29		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	2.00	9.89	154	762		10	WG2158476
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	7.72	59.2		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	46.6	326		1	WG2156941
Heptane	142-82-5	100	0.200	0.818	11.8	48.3		1	WG2156941
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2156941
n-Hexane	110-54-3	86.20	0.630	2.22	7.05	24.9		1	WG2156941
Isopropylbenzene	98-82-8	120.20	0.200	0.983	ND	ND		1	WG2156941
Methylene Chloride	75-09-2	84.90	0.200	0.694	0.957	3.32		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	13.1	38.6		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	31.5	129		1	WG2156941
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2156941
2-Propanol	67-63-0	60.10	1.25	3.07	1.62	3.98		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2156941
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2156941
Tetrachloroethylene	127-18-4	166	0.200	1.36	12.8	86.9		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	5.00	18.8	64.5	243		10	WG2158476
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2156941

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	ND	ND		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	8.41	41.3		1	WG2156941
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	3.16	15.5		1	WG2156941
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	16.8	78.5		1	WG2156941
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	0.400	1.73	55.9	242		1	WG2156941
o-Xylene	95-47-6	106	0.200	0.867	17.5	75.9		1	WG2156941
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	ND	ND		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		107				WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		98.9				WG2158476

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	67.2	160		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	89.1	285		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2156941
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2156941
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	0.641	2.00		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	ND	ND		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2156941
Cyclohexane	110-82-7	84.20	0.200	0.689	21.6	74.4		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2156941
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2156941
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2156941
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	ND	ND		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	313	590	E	1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	61.4	266		1	WG2156941
4-Ethyltoluene	622-96-8	120	0.200	0.982	28.8	141		1	WG2156941
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	0.697	3.92		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	88.4	437		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	9.51	72.9		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	32.4	227		1	WG2156941
Heptane	142-82-5	100	2.00	8.18	376	1540		10	WG2158476
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2156941
n-Hexane	110-54-3	86.20	6.30	22.2	178	628		10	WG2158476
Isopropylbenzene	98-82-8	120.20	0.200	0.983	3.89	19.1		1	WG2156941
Methylene Chloride	75-09-2	84.90	0.200	0.694	ND	ND		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	31.2	92.0		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	12.5	51.2	72.1	295		10	WG2158476
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2156941
2-Propanol	67-63-0	60.10	1.25	3.07	2.63	6.46		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2156941
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2156941
Tetrachloroethylene	127-18-4	166	0.200	1.36	7.59	51.5		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	5.00	18.8	589	2220		10	WG2158476
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2156941

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	ND	ND		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	28.5	140		1	WG2156941
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	11.4	56.0		1	WG2156941
2,2,4-Trimethylpentane	540-84-1	114.22	2.00	9.34	326	1520		10	WG2158476
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	4.00	17.3	263	1140		10	WG2158476
o-Xylene	95-47-6	106	0.200	0.867	73.3	318		1	WG2156941
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	ND	ND		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		110				WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		100				WG2158476

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	25.8	61.3		1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	0.200	0.639	7.78	24.9		1	WG2156941
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2158462
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2156941
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2158462
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	ND	ND		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2156941
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	0.235	0.485		1	WG2156941
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2158462
Cyclohexane	110-82-7	84.20	0.200	0.689	3.28	11.3		1	WG2156941
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2156941
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2156941
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2158462
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2158462
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2158462
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2156941
1,1-Dichloroethane	75-34-3	98	0.200	0.802	25.8	103		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2156941
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2156941
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2156941
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2156941
Ethanol	64-17-5	46.10	2.50	4.71	55.9	105		1	WG2156941
Ethylbenzene	100-41-4	106	0.200	0.867	9.14	39.6		1	WG2158462
4-Ethyltoluene	622-96-8	120	0.200	0.982	1.19	5.84		1	WG2158462
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	1.26	7.08		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	61.7	305		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	72.0	552		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	16.5	115		1	WG2156941
Heptane	142-82-5	100	0.200	0.818	12.2	49.9		1	WG2156941
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2158462
n-Hexane	110-54-3	86.20	0.630	2.22	11.8	41.6		1	WG2156941
Isopropylbenzene	98-82-8	120.20	0.200	0.983	0.595	2.93		1	WG2158462
Methylene Chloride	75-09-2	84.90	0.200	0.694	0.825	2.86		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2156941
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	16.2	47.8		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	40.7	167		1	WG2156941
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2156941
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2158462
2-Propanol	67-63-0	60.10	1.25	3.07	3.03	7.45		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2158462
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2158462
Tetrachloroethylene	127-18-4	166	0.200	1.36	29.4	200		1	WG2156941
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	0.500	1.88	77.8	293		1	WG2156941
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2156941
Trichloroethylene	79-01-6	131	0.200	1.07	26.6	143		1	WG2156941
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	5.63	27.6		1	WG2158462
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	2.38	11.7		1	WG2158462
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	26.8	125		1	WG2156941
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	0.400	1.73	37.8	164		1	WG2158462
o-Xylene	95-47-6	106	0.200	0.867	10.1	43.8		1	WG2158462
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	ND	ND		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		103				WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		103				WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	186	442	E	1	WG2156941
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2156941
Benzene	71-43-2	78.10	2.00	6.39	85.5	273		10	WG2158462
Benzyl Chloride	100-44-7	127	2.00	10.4	ND	ND		10	WG2158462
Bromodichloromethane	75-27-4	164	2.00	13.4	ND	ND		10	WG2158462
Bromoform	75-25-2	253	6.00	62.1	ND	ND		10	WG2158462
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2156941
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2156941
Carbon disulfide	75-15-0	76.10	0.200	0.622	1.15	3.58		1	WG2156941
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2156941
Chlorobenzene	108-90-7	113	2.00	9.24	ND	ND		10	WG2158462
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2156941
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2156941
Chloromethane	74-87-3	50.50	0.200	0.413	ND	ND		1	WG2156941
2-Chlorotoluene	95-49-8	126	2.00	10.3	ND	ND		10	WG2158462
Cyclohexane	110-82-7	84.20	0.200	0.689	22.7	78.2		1	WG2156941
Dibromochloromethane	124-48-1	208	2.00	17.0	ND	ND		10	WG2158462
1,2-Dibromoethane	106-93-4	188	2.00	15.4	ND	ND		10	WG2158462
1,2-Dichlorobenzene	95-50-1	147	2.00	12.0	ND	ND		10	WG2158462
1,3-Dichlorobenzene	541-73-1	147	2.00	12.0	ND	ND		10	WG2158462
1,4-Dichlorobenzene	106-46-7	147	2.00	12.0	ND	ND		10	WG2158462
1,2-Dichloroethane	107-06-2	99	2.00	8.10	ND	ND		10	WG2158462
1,1-Dichloroethane	75-34-3	98	0.200	0.802	ND	ND		1	WG2156941
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2156941
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2156941
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2156941
1,2-Dichloropropane	78-87-5	113	2.00	9.24	ND	ND		10	WG2158462
cis-1,3-Dichloropropene	10061-01-5	111	2.00	9.08	ND	ND		10	WG2158462
trans-1,3-Dichloropropene	10061-02-6	111	2.00	9.08	ND	ND		10	WG2158462
1,4-Dioxane	123-91-1	88.10	6.30	22.7	ND	ND		10	WG2158462
Ethanol	64-17-5	46.10	2.50	4.71	488	920	E	1	WG2156941
Ethylbenzene	100-41-4	106	2.00	8.67	56.2	244		10	WG2158462
4-Ethyltoluene	622-96-8	120	2.00	9.82	4.67	22.9		10	WG2158462
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	1.43	8.04		1	WG2156941
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	59.8	296		1	WG2156941
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	99.7	764		1	WG2156941
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	22.2	155		1	WG2156941
Heptane	142-82-5	100	2.00	8.18	278	1140		10	WG2158462
Hexachloro-1,3-butadiene	87-68-3	261	6.30	67.3	ND	ND		10	WG2158462
n-Hexane	110-54-3	86.20	6.30	22.2	100	353		10	WG2158462
Isopropylbenzene	98-82-8	120.20	2.00	9.83	ND	ND		10	WG2158462
Methylene Chloride	75-09-2	84.90	0.200	0.694	ND	ND		1	WG2156941
Methyl Butyl Ketone	591-78-6	100	12.5	51.1	ND	ND		10	WG2158462
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	41.6	123		1	WG2156941
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	12.5	51.2	95.9	393		10	WG2158462
Methyl methacrylate	80-62-6	100.12	2.00	8.19	ND	ND		10	WG2158462
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2156941
Naphthalene	91-20-3	128	6.30	33.0	ND	ND		10	WG2158462
2-Propanol	67-63-0	60.10	1.25	3.07	3.82	9.39		1	WG2156941
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2156941
Styrene	100-42-5	104	2.00	8.51	ND	ND		10	WG2158462
1,1,2,2-Tetrachloroethane	79-34-5	168	2.00	13.7	ND	ND		10	WG2158462
Tetrachloroethylene	127-18-4	166	2.00	13.6	21.4	145		10	WG2158462
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2156941
Toluene	108-88-3	92.10	5.00	18.8	561	2110		10	WG2158462
1,2,4-Trichlorobenzene	120-82-1	181	6.30	46.6	ND	ND		10	WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2156941
1,1,2-Trichloroethane	79-00-5	133	2.00	10.9	ND	ND		10	WG2158462
Trichloroethylene	79-01-6	131	2.00	10.7	ND	ND		10	WG2158462
1,2,4-Trimethylbenzene	95-63-6	120	2.00	9.82	17.1	83.9		10	WG2158462
1,3,5-Trimethylbenzene	108-67-8	120	2.00	9.82	8.14	40.0		10	WG2158462
2,2,4-Trimethylpentane	540-84-1	114.22	2.00	9.34	208	972		10	WG2158462
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2156941
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2156941
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2156941
m&p-Xylene	1330-20-7	106	4.00	17.3	219	949		10	WG2158462
o-Xylene	95-47-6	106	2.00	8.67	57.9	251		10	WG2158462
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	ND	ND		1	WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		117				WG2156941
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		101				WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	12.5	29.7	299	711		10	WG2158462
Allyl chloride	107-05-1	76.53	2.00	6.26	ND	ND		10	WG2158462
Benzene	71-43-2	78.10	2.00	6.39	5.13	16.4		10	WG2158462
Benzyl Chloride	100-44-7	127	2.00	10.4	ND	ND		10	WG2158462
Bromodichloromethane	75-27-4	164	2.00	13.4	ND	ND		10	WG2158462
Bromoform	75-25-2	253	6.00	62.1	ND	ND		10	WG2158462
Bromomethane	74-83-9	94.90	2.00	7.76	ND	ND		10	WG2158462
1,3-Butadiene	106-99-0	54.10	20.0	44.3	ND	ND		10	WG2158462
Carbon disulfide	75-15-0	76.10	2.00	6.22	ND	ND		10	WG2158462
Carbon tetrachloride	56-23-5	154	2.00	12.6	ND	ND		10	WG2158462
Chlorobenzene	108-90-7	113	2.00	9.24	ND	ND		10	WG2158462
Chloroethane	75-00-3	64.50	2.00	5.28	ND	ND		10	WG2158462
Chloroform	67-66-3	119	2.00	9.73	ND	ND		10	WG2158462
Chloromethane	74-87-3	50.50	2.00	4.13	ND	ND		10	WG2158462
2-Chlorotoluene	95-49-8	126	2.00	10.3	ND	ND		10	WG2158462
Cyclohexane	110-82-7	84.20	2.00	6.89	3.25	11.2		10	WG2158462
Dibromochloromethane	124-48-1	208	2.00	17.0	ND	ND		10	WG2158462
1,2-Dibromoethane	106-93-4	188	2.00	15.4	ND	ND		10	WG2158462
1,2-Dichlorobenzene	95-50-1	147	2.00	12.0	ND	ND		10	WG2158462
1,3-Dichlorobenzene	541-73-1	147	2.00	12.0	ND	ND		10	WG2158462
1,4-Dichlorobenzene	106-46-7	147	2.00	12.0	ND	ND		10	WG2158462
1,2-Dichloroethane	107-06-2	99	2.00	8.10	ND	ND		10	WG2158462
1,1-Dichloroethane	75-34-3	98	2.00	8.02	9.97	40.0		10	WG2158462
1,1-Dichloroethene	75-35-4	96.90	2.00	7.93	ND	ND		10	WG2158462
cis-1,2-Dichloroethene	156-59-2	96.90	2.00	7.93	ND	ND		10	WG2158462
trans-1,2-Dichloroethene	156-60-5	96.90	2.00	7.93	ND	ND		10	WG2158462
1,2-Dichloropropane	78-87-5	113	2.00	9.24	ND	ND		10	WG2158462
cis-1,3-Dichloropropene	10061-01-5	111	2.00	9.08	ND	ND		10	WG2158462
trans-1,3-Dichloropropene	10061-02-6	111	2.00	9.08	ND	ND		10	WG2158462
1,4-Dioxane	123-91-1	88.10	6.30	22.7	ND	ND		10	WG2158462
Ethanol	64-17-5	46.10	25.0	47.1	83.9	158		10	WG2158462
Ethylbenzene	100-41-4	106	2.00	8.67	5.73	24.8		10	WG2158462
4-Ethyltoluene	622-96-8	120	2.00	9.82	ND	ND		10	WG2158462
Trichlorofluoromethane	75-69-4	137.40	2.00	11.2	ND	ND		10	WG2158462
Dichlorodifluoromethane	75-71-8	120.92	2.00	9.89	53.1	263		10	WG2158462
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	2.00	15.3	28.9	222		10	WG2158462
1,2-Dichlorotetrafluoroethane	76-14-2	171	2.00	14.0	10.5	73.4		10	WG2158462
Heptane	142-82-5	100	2.00	8.18	10.5	42.9		10	WG2158462
Hexachloro-1,3-butadiene	87-68-3	261	6.30	67.3	ND	ND		10	WG2158462
n-Hexane	110-54-3	86.20	6.30	22.2	8.98	31.7		10	WG2158462
Isopropylbenzene	98-82-8	120.20	2.00	9.83	ND	ND		10	WG2158462
Methylene Chloride	75-09-2	84.90	2.00	6.94	ND	ND		10	WG2158462
Methyl Butyl Ketone	591-78-6	100	12.5	51.1	ND	ND		10	WG2158462
2-Butanone (MEK)	78-93-3	72.10	12.5	36.9	17.3	51.0		10	WG2158462
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	12.5	51.2	12.8	52.4		10	WG2158462
Methyl methacrylate	80-62-6	100.12	2.00	8.19	ND	ND		10	WG2158462
MTBE	1634-04-4	88.10	2.00	7.21	ND	ND		10	WG2158462
Naphthalene	91-20-3	128	6.30	33.0	ND	ND		10	WG2158462
2-Propanol	67-63-0	60.10	12.5	30.7	16.1	39.6		10	WG2158462
Propene	115-07-1	42.10	12.5	21.5	ND	ND		10	WG2158462
Styrene	100-42-5	104	2.00	8.51	ND	ND		10	WG2158462
1,1,2,2-Tetrachloroethane	79-34-5	168	2.00	13.7	ND	ND		10	WG2158462
Tetrachloroethylene	127-18-4	166	2.00	13.6	5.21	35.4		10	WG2158462
Tetrahydrofuran	109-99-9	72.10	2.00	5.90	ND	ND		10	WG2158462
Toluene	108-88-3	92.10	5.00	18.8	366	1380		10	WG2158462
1,2,4-Trichlorobenzene	120-82-1	181	6.30	46.6	ND	ND		10	WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	2.00	10.9	ND	ND		10	WG2158462
1,1,2-Trichloroethane	79-00-5	133	2.00	10.9	ND	ND		10	WG2158462
Trichloroethylene	79-01-6	131	2.00	10.7	9.66	51.8		10	WG2158462
1,2,4-Trimethylbenzene	95-63-6	120	2.00	9.82	ND	ND		10	WG2158462
1,3,5-Trimethylbenzene	108-67-8	120	2.00	9.82	ND	ND		10	WG2158462
2,2,4-Trimethylpentane	540-84-1	114.22	2.00	9.34	11.2	52.3		10	WG2158462
Vinyl chloride	75-01-4	62.50	2.00	5.11	ND	ND		10	WG2158462
Vinyl Bromide	593-60-2	106.95	2.00	8.75	ND	ND		10	WG2158462
Vinyl acetate	108-05-4	86.10	6.30	22.2	ND	ND		10	WG2158462
m&p-Xylene	1330-20-7	106	4.00	17.3	27.0	117		10	WG2158462
o-Xylene	95-47-6	106	2.00	8.67	9.75	42.3		10	WG2158462
1,1-Difluoroethane	75-37-6	66.05	50.0	135	ND	ND		10	WG2158462
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		101				WG2158462

- 1 Cp
- 2 Tc
- 3 Ss
- 4 Cn
- 5 Sr
- 6 Qc
- 7 Is
- 8 Gl
- 9 Al
- 10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	62.6	149		1	WG2158462
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2158462
Benzene	71-43-2	78.10	0.200	0.639	0.687	2.19		1	WG2158462
Benzyl Chloride	100-44-7	127	0.200	1.04	ND	ND		1	WG2158462
Bromodichloromethane	75-27-4	164	0.200	1.34	ND	ND		1	WG2158462
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2158462
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2158462
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2158462
Carbon disulfide	75-15-0	76.10	0.200	0.622	ND	ND		1	WG2158462
Carbon tetrachloride	56-23-5	154	0.200	1.26	ND	ND		1	WG2158462
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2158462
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2158462
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2158462
Chloromethane	74-87-3	50.50	0.200	0.413	0.507	1.05		1	WG2158462
2-Chlorotoluene	95-49-8	126	0.200	1.03	ND	ND		1	WG2158462
Cyclohexane	110-82-7	84.20	0.200	0.689	0.221	0.761		1	WG2158462
Dibromochloromethane	124-48-1	208	0.200	1.70	ND	ND		1	WG2158462
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2158462
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	ND	ND		1	WG2158462
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	ND	ND		1	WG2158462
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	ND	ND		1	WG2158462
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2158462
1,1-Dichloroethane	75-34-3	98	0.200	0.802	0.899	3.60		1	WG2158462
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	ND	ND		1	WG2158462
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	ND	ND		1	WG2158462
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	ND	ND		1	WG2158462
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2158462
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	ND	ND		1	WG2158462
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2158462
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2158462
Ethanol	64-17-5	46.10	2.50	4.71	59.6	112		1	WG2158462
Ethylbenzene	100-41-4	106	0.200	0.867	0.798	3.46		1	WG2158462
4-Ethyltoluene	622-96-8	120	0.200	0.982	ND	ND		1	WG2158462
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	0.211	1.19		1	WG2158462
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	3.69	18.2		1	WG2158462
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	1.61	12.3		1	WG2158462
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	0.572	4.00		1	WG2158462
Heptane	142-82-5	100	0.200	0.818	1.30	5.32		1	WG2158462
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2158462
n-Hexane	110-54-3	86.20	0.630	2.22	3.63	12.8		1	WG2158462
Isopropylbenzene	98-82-8	120.20	0.200	0.983	ND	ND		1	WG2158462
Methylene Chloride	75-09-2	84.90	0.200	0.694	1.81	6.29		1	WG2158462
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2158462
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	6.24	18.4		1	WG2158462
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	ND	ND		1	WG2158462
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2158462
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2158462
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2158462
2-Propanol	67-63-0	60.10	1.25	3.07	5.47	13.4		1	WG2158462
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2158462
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2158462
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	ND	ND		1	WG2158462
Tetrachloroethylene	127-18-4	166	0.200	1.36	0.401	2.72		1	WG2158462
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2158462
Toluene	108-88-3	92.10	0.500	1.88	40.8	154		1	WG2158462
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2158462
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2158462
Trichloroethylene	79-01-6	131	0.200	1.07	0.314	1.68		1	WG2158462
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	ND	ND		1	WG2158462
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	ND	ND		1	WG2158462
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	0.797	3.72		1	WG2158462
Vinyl chloride	75-01-4	62.50	0.200	0.511	ND	ND		1	WG2158462
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2158462
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2158462
m&p-Xylene	1330-20-7	106	0.400	1.73	3.09	13.4		1	WG2158462
o-Xylene	95-47-6	106	0.200	0.867	1.06	4.60		1	WG2158462
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	28.0	75.6		1	WG2158462
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		97.3				WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
Acetone	67-64-1	58.10	1.25	2.97	233	554	E	1	WG2158462
Allyl chloride	107-05-1	76.53	0.200	0.626	ND	ND		1	WG2158462
Benzene	71-43-2	78.10	0.200	0.639	2.85	9.10		1	WG2158462
Benzyl Chloride	100-44-7	127	0.200	1.04	0.241	1.25		1	WG2158462
Bromodichloromethane	75-27-4	164	0.200	1.34	0.358	2.40		1	WG2158462
Bromoform	75-25-2	253	0.600	6.21	ND	ND		1	WG2158462
Bromomethane	74-83-9	94.90	0.200	0.776	ND	ND		1	WG2158462
1,3-Butadiene	106-99-0	54.10	2.00	4.43	ND	ND		1	WG2158462
Carbon disulfide	75-15-0	76.10	0.200	0.622	ND	ND		1	WG2158462
Carbon tetrachloride	56-23-5	154	0.200	1.26	0.351	2.21		1	WG2158462
Chlorobenzene	108-90-7	113	0.200	0.924	ND	ND		1	WG2158462
Chloroethane	75-00-3	64.50	0.200	0.528	ND	ND		1	WG2158462
Chloroform	67-66-3	119	0.200	0.973	ND	ND		1	WG2158462
Chloromethane	74-87-3	50.50	0.200	0.413	0.533	1.10		1	WG2158462
2-Chlorotoluene	95-49-8	126	0.200	1.03	0.326	1.68		1	WG2158462
Cyclohexane	110-82-7	84.20	0.200	0.689	1.41	4.86		1	WG2158462
Dibromochloromethane	124-48-1	208	0.200	1.70	0.297	2.53		1	WG2158462
1,2-Dibromoethane	106-93-4	188	0.200	1.54	ND	ND		1	WG2158462
1,2-Dichlorobenzene	95-50-1	147	0.200	1.20	0.249	1.50		1	WG2158462
1,3-Dichlorobenzene	541-73-1	147	0.200	1.20	0.243	1.46		1	WG2158462
1,4-Dichlorobenzene	106-46-7	147	0.200	1.20	0.223	1.34		1	WG2158462
1,2-Dichloroethane	107-06-2	99	0.200	0.810	ND	ND		1	WG2158462
1,1-Dichloroethane	75-34-3	98	0.200	0.802	4.43	17.8		1	WG2158462
1,1-Dichloroethene	75-35-4	96.90	0.200	0.793	0.341	1.35		1	WG2158462
cis-1,2-Dichloroethene	156-59-2	96.90	0.200	0.793	0.414	1.64		1	WG2158462
trans-1,2-Dichloroethene	156-60-5	96.90	0.200	0.793	0.314	1.24		1	WG2158462
1,2-Dichloropropane	78-87-5	113	0.200	0.924	ND	ND		1	WG2158462
cis-1,3-Dichloropropene	10061-01-5	111	0.200	0.908	0.306	1.39		1	WG2158462
trans-1,3-Dichloropropene	10061-02-6	111	0.200	0.908	ND	ND		1	WG2158462
1,4-Dioxane	123-91-1	88.10	0.630	2.27	ND	ND		1	WG2158462
Ethanol	64-17-5	46.10	2.50	4.71	66.2	125		1	WG2158462
Ethylbenzene	100-41-4	106	0.200	0.867	3.72	16.1		1	WG2158462
4-Ethyltoluene	622-96-8	120	0.200	0.982	0.415	2.04		1	WG2158462
Trichlorofluoromethane	75-69-4	137.40	0.200	1.12	0.573	3.22		1	WG2158462
Dichlorodifluoromethane	75-71-8	120.92	0.200	0.989	15.3	75.7		1	WG2158462
1,1,2-Trichlorotrifluoroethane	76-13-1	187.40	0.200	1.53	7.36	56.4		1	WG2158462
1,2-Dichlorotetrafluoroethane	76-14-2	171	0.200	1.40	2.85	19.9		1	WG2158462
Heptane	142-82-5	100	0.200	0.818	6.39	26.1		1	WG2158462
Hexachloro-1,3-butadiene	87-68-3	261	0.630	6.73	ND	ND		1	WG2158462
n-Hexane	110-54-3	86.20	0.630	2.22	3.50	12.3		1	WG2158462
Isopropylbenzene	98-82-8	120.20	0.200	0.983	0.470	2.31		1	WG2158462
Methylene Chloride	75-09-2	84.90	0.200	0.694	2.53	8.79		1	WG2158462
Methyl Butyl Ketone	591-78-6	100	1.25	5.11	ND	ND		1	WG2158462
2-Butanone (MEK)	78-93-3	72.10	1.25	3.69	10.0	29.5		1	WG2158462
4-Methyl-2-pentanone (MIBK)	108-10-1	100.10	1.25	5.12	6.25	25.6		1	WG2158462
Methyl methacrylate	80-62-6	100.12	0.200	0.819	ND	ND		1	WG2158462
MTBE	1634-04-4	88.10	0.200	0.721	ND	ND		1	WG2158462
Naphthalene	91-20-3	128	0.630	3.30	ND	ND		1	WG2158462
2-Propanol	67-63-0	60.10	1.25	3.07	11.7	28.8		1	WG2158462
Propene	115-07-1	42.10	1.25	2.15	ND	ND		1	WG2158462
Styrene	100-42-5	104	0.200	0.851	ND	ND		1	WG2158462
1,1,2,2-Tetrachloroethane	79-34-5	168	0.200	1.37	0.315	2.16		1	WG2158462
Tetrachloroethylene	127-18-4	166	0.200	1.36	2.17	14.7		1	WG2158462
Tetrahydrofuran	109-99-9	72.10	0.200	0.590	ND	ND		1	WG2158462
Toluene	108-88-3	92.10	5.00	18.8	214	806		10	WG2159835
1,2,4-Trichlorobenzene	120-82-1	181	0.630	4.66	ND	ND		1	WG2158462

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Volatile Organic Compounds (MS) by Method TO-15

Analyte	CAS #	Mol. Wt.	RDL1 ppbv	RDL2 ug/m3	Result ppbv	Result ug/m3	Qualifier	Dilution	Batch
1,1,1-Trichloroethane	71-55-6	133	0.200	1.09	ND	ND		1	WG2158462
1,1,2-Trichloroethane	79-00-5	133	0.200	1.09	ND	ND		1	WG2158462
Trichloroethylene	79-01-6	131	0.200	1.07	1.74	9.32		1	WG2158462
1,2,4-Trimethylbenzene	95-63-6	120	0.200	0.982	0.558	2.74		1	WG2158462
1,3,5-Trimethylbenzene	108-67-8	120	0.200	0.982	0.417	2.05		1	WG2158462
2,2,4-Trimethylpentane	540-84-1	114.22	0.200	0.934	3.89	18.2		1	WG2158462
Vinyl chloride	75-01-4	62.50	0.200	0.511	0.374	0.956		1	WG2158462
Vinyl Bromide	593-60-2	106.95	0.200	0.875	ND	ND		1	WG2158462
Vinyl acetate	108-05-4	86.10	0.630	2.22	ND	ND		1	WG2158462
m&p-Xylene	1330-20-7	106	0.400	1.73	14.7	63.7		1	WG2158462
o-Xylene	95-47-6	106	0.200	0.867	5.01	21.7		1	WG2158462
1,1-Difluoroethane	75-37-6	66.05	5.00	13.5	19.3	52.1		1	WG2158462
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		99.8				WG2158462
(S) 1,4-Bromofluorobenzene	460-00-4	175	60.0-140		98.8				WG2159835

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Method Blank (MB)

(MB) R3990965-3 10/24/23 10:41

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Acetone	U		0.584	1.25
Allyl chloride	U		0.114	0.200
Benzene	U		0.0715	0.200
Benzyl Chloride	U		0.0598	0.200
Bromodichloromethane	U		0.0702	0.200
Bromoform	U		0.0732	0.600
Bromomethane	U		0.0982	0.200
1,3-Butadiene	U		0.104	2.00
Carbon disulfide	U		0.102	0.200
Carbon tetrachloride	U		0.0732	0.200
Chlorobenzene	U		0.0832	0.200
Chloroethane	U		0.0996	0.200
Chloroform	U		0.0717	0.200
Chloromethane	U		0.103	0.200
2-Chlorotoluene	U		0.0828	0.200
Cyclohexane	U		0.0753	0.200
Dibromochloromethane	U		0.0727	0.200
1,2-Dibromoethane	U		0.0721	0.200
1,2-Dichlorobenzene	U		0.128	0.200
1,3-Dichlorobenzene	U		0.182	0.200
1,4-Dichlorobenzene	U		0.0557	0.200
1,2-Dichloroethane	U		0.0700	0.200
1,1-Dichloroethane	U		0.0723	0.200
1,1-Dichloroethene	U		0.0762	0.200
cis-1,2-Dichloroethene	U		0.0784	0.200
trans-1,2-Dichloroethene	U		0.0673	0.200
1,2-Dichloropropane	U		0.0760	0.200
cis-1,3-Dichloropropene	U		0.0689	0.200
trans-1,3-Dichloropropene	U		0.0728	0.200
1,4-Dioxane	U		0.0833	0.630
Ethanol	U		0.265	2.50
Ethylbenzene	U		0.0835	0.200
4-Ethyltoluene	U		0.0783	0.200
Trichlorofluoromethane	U		0.0819	0.200
Dichlorodifluoromethane	U		0.137	0.200
1,1,2-Trichlorotrifluoroethane	U		0.0793	0.200
1,2-Dichlorotetrafluoroethane	U		0.0890	0.200
Heptane	U		0.104	0.200
Hexachloro-1,3-butadiene	U		0.105	0.630
n-Hexane	U		0.206	0.630

¹Cp

²Tc

³Ss

⁴Cn

⁵Sr

⁶Qc

⁷Is

⁸Gl

⁹Al

¹⁰Sc

Method Blank (MB)

(MB) R3990965-3 10/24/23 10:41

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Isopropylbenzene	U		0.0777	0.200
Methylene Chloride	U		0.0979	0.200
Methyl Butyl Ketone	U		0.133	1.25
2-Butanone (MEK)	U		0.0814	1.25
4-Methyl-2-pentanone (MIBK)	U		0.0765	1.25
Methyl methacrylate	U		0.0876	0.200
MTBE	U		0.0647	0.200
Naphthalene	U		0.350	0.630
2-Propanol	U		0.264	1.25
Propene	U		0.0932	1.25
Styrene	U		0.0788	0.200
1,1,2,2-Tetrachloroethane	U		0.0743	0.200
Tetrachloroethylene	U		0.0814	0.200
Tetrahydrofuran	U		0.0734	0.200
Toluene	U		0.0870	0.500
1,2,4-Trichlorobenzene	U		0.148	0.630
1,1,1-Trichloroethane	U		0.0736	0.200
1,1,2-Trichloroethane	U		0.0775	0.200
Trichloroethylene	U		0.0680	0.200
1,2,4-Trimethylbenzene	U		0.0764	0.200
1,3,5-Trimethylbenzene	U		0.0779	0.200
2,2,4-Trimethylpentane	U		0.133	0.200
Vinyl chloride	U		0.0949	0.200
Vinyl Bromide	U		0.0852	0.200
Vinyl acetate	U		0.116	0.630
m&p-Xylene	U		0.135	0.400
o-Xylene	U		0.0828	0.200
1,1-Difluoroethane	U		0.129	5.00
(S) 1,4-Bromofluorobenzene	102			60.0-140

1 Cp
2 Tc
3 Ss
4 Cn
5 Sr
6 Qc
7 Is
8 Gl
9 Al
10 Sc

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3990965-1 10/24/23 09:20 • (LCSD) R3990965-2 10/24/23 10:01

Analyte	Spike Amount	LCS Result	LCSD Result	LCS Rec.	LCSD Rec.	Rec. Limits	LCS Qualifier	LCSD Qualifier	RPD	RPD Limits
	ppbv	ppbv	ppbv	%	%	%			%	%
Acetone	3.75	3.94	3.90	105	104	70.0-130			1.02	25
Allyl chloride	3.75	3.73	3.72	99.5	99.2	70.0-130			0.268	25
Benzene	3.75	3.68	3.73	98.1	99.5	70.0-130			1.35	25
Benzyl Chloride	3.75	4.05	4.11	108	110	70.0-152			1.47	25

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3990965-1 10/24/23 09:20 • (LCSD) R3990965-2 10/24/23 10:01

Analyte	Spike Amount ppbv	LCS Result ppbv	LCSD Result ppbv	LCS Rec. %	LCSD Rec. %	Rec. Limits %	<u>LCS Qualifier</u>	<u>LCSD Qualifier</u>	RPD %	RPD Limits %
Bromodichloromethane	3.75	3.85	3.97	103	106	70.0-130			3.07	25
Bromoform	3.75	4.10	4.10	109	109	70.0-130			0.000	25
Bromomethane	3.75	3.97	3.90	106	104	70.0-130			1.78	25
1,3-Butadiene	3.75	4.16	4.26	111	114	70.0-130			2.38	25
Carbon disulfide	3.75	3.43	3.42	91.5	91.2	70.0-130			0.292	25
Carbon tetrachloride	3.75	4.12	4.06	110	108	70.0-130			1.47	25
Chlorobenzene	3.75	3.95	3.96	105	106	70.0-130			0.253	25
Chloroethane	3.75	3.94	4.06	105	108	70.0-130			3.00	25
Chloroform	3.75	3.78	3.77	101	101	70.0-130			0.265	25
Chloromethane	3.75	3.68	3.71	98.1	98.9	70.0-130			0.812	25
2-Chlorotoluene	3.75	4.38	4.37	117	117	70.0-130			0.229	25
Cyclohexane	3.75	3.97	3.91	106	104	70.0-130			1.52	25
Dibromochloromethane	3.75	4.00	4.09	107	109	70.0-130			2.22	25
1,2-Dibromoethane	3.75	3.86	3.93	103	105	70.0-130			1.80	25
1,2-Dichlorobenzene	3.75	4.22	4.28	113	114	70.0-130			1.41	25
1,3-Dichlorobenzene	3.75	4.18	4.31	111	115	70.0-130			3.06	25
1,4-Dichlorobenzene	3.75	4.19	4.36	112	116	70.0-130			3.98	25
1,2-Dichloroethane	3.75	4.08	4.09	109	109	70.0-130			0.245	25
1,1-Dichloroethane	3.75	3.71	3.76	98.9	100	70.0-130			1.34	25
1,1-Dichloroethene	3.75	4.01	3.86	107	103	70.0-130			3.81	25
cis-1,2-Dichloroethene	3.75	3.86	4.00	103	107	70.0-130			3.56	25
trans-1,2-Dichloroethene	3.75	3.96	3.91	106	104	70.0-130			1.27	25
1,2-Dichloropropane	3.75	3.75	3.68	100	98.1	70.0-130			1.88	25
cis-1,3-Dichloropropene	3.75	3.87	4.04	103	108	70.0-130			4.30	25
trans-1,3-Dichloropropene	3.75	3.92	4.02	105	107	70.0-130			2.52	25
1,4-Dioxane	3.75	3.66	3.79	97.6	101	70.0-140			3.49	25
Ethanol	3.75	4.77	4.50	127	120	55.0-148			5.83	25
Ethylbenzene	3.75	3.93	3.88	105	103	70.0-130			1.28	25
4-Ethyltoluene	3.75	4.33	4.42	115	118	70.0-130			2.06	25
Trichlorofluoromethane	3.75	4.50	4.50	120	120	70.0-130			0.000	25
Dichlorodifluoromethane	3.75	4.30	3.89	115	104	64.0-139			10.0	25
1,1,2-Trichlorotrifluoroethane	3.75	4.41	4.49	118	120	70.0-130			1.80	25
1,2-Dichlorotetrafluoroethane	3.75	3.93	4.04	105	108	70.0-130			2.76	25
Heptane	3.75	3.89	4.01	104	107	70.0-130			3.04	25
Hexachloro-1,3-butadiene	3.75	4.15	4.35	111	116	70.0-151			4.71	25
n-Hexane	3.75	3.87	3.84	103	102	70.0-130			0.778	25
Isopropylbenzene	3.75	4.33	4.45	115	119	70.0-130			2.73	25
Methylene Chloride	3.75	3.69	3.63	98.4	96.8	70.0-130			1.64	25
Methyl Butyl Ketone	3.75	3.37	3.51	89.9	93.6	70.0-149			4.07	25
2-Butanone (MEK)	3.75	3.75	3.82	100	102	70.0-130			1.85	25

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3990965-1 10/24/23 09:20 • (LCSD) R3990965-2 10/24/23 10:01

Analyte	Spike Amount ppbv	LCS Result ppbv	LCSD Result ppbv	LCS Rec. %	LCSD Rec. %	Rec. Limits %	<u>LCS Qualifier</u>	<u>LCSD Qualifier</u>	RPD %	RPD Limits %
4-Methyl-2-pentanone (MIBK)	3.75	3.74	3.72	99.7	99.2	70.0-139			0.536	25
Methyl methacrylate	3.75	4.06	3.89	108	104	70.0-130			4.28	25
MTBE	3.75	4.05	4.03	108	107	70.0-130			0.495	25
Naphthalene	3.75	4.11	4.23	110	113	70.0-159			2.88	25
2-Propanol	3.75	3.81	3.80	102	101	70.0-139			0.263	25
Propene	3.75	3.57	3.58	95.2	95.5	64.0-144			0.280	25
Styrene	3.75	4.24	4.29	113	114	70.0-130			1.17	25
1,1,2,2-Tetrachloroethane	3.75	3.76	3.83	100	102	70.0-130			1.84	25
Tetrachloroethylene	3.75	4.13	4.10	110	109	70.0-130			0.729	25
Tetrahydrofuran	3.75	3.42	3.46	91.2	92.3	70.0-137			1.16	25
Toluene	3.75	3.98	3.97	106	106	70.0-130			0.252	25
1,2,4-Trichlorobenzene	3.75	4.12	4.28	110	114	70.0-160			3.81	25
1,1,1-Trichloroethane	3.75	4.02	3.97	107	106	70.0-130			1.25	25
1,1,2-Trichloroethane	3.75	3.83	3.91	102	104	70.0-130			2.07	25
Trichloroethylene	3.75	3.78	3.78	101	101	70.0-130			0.000	25
1,2,4-Trimethylbenzene	3.75	4.40	4.47	117	119	70.0-130			1.58	25
1,3,5-Trimethylbenzene	3.75	4.27	4.40	114	117	70.0-130			3.00	25
2,2,4-Trimethylpentane	3.75	3.80	3.69	101	98.4	70.0-130			2.94	25
Vinyl chloride	3.75	3.99	4.12	106	110	70.0-130			3.21	25
Vinyl Bromide	3.75	4.24	4.23	113	113	70.0-130			0.236	25
Vinyl acetate	3.75	3.69	3.73	98.4	99.5	70.0-130			1.08	25
m&p-Xylene	7.50	8.23	8.24	110	110	70.0-130			0.121	25
o-Xylene	3.75	4.01	4.10	107	109	70.0-130			2.22	25
1,1-Difluoroethane	3.75	3.63	3.58	96.8	95.5	70.0-130			1.39	25
(S) 1,4-Bromofluorobenzene				102	103	60.0-140				

¹Cp

²Tc

³Ss

⁴Cn

⁵Sr

⁶Qc

⁷Is

⁸Gl

⁹Al

¹⁰Sc

Method Blank (MB)

(MB) R3991627-3 10/26/23 11:03

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Acetone	U		0.584	1.25
Allyl chloride	U		0.114	0.200
Benzene	U		0.0715	0.200
Benzyl Chloride	U		0.0598	0.200
Bromodichloromethane	U		0.0702	0.200
Bromoform	U		0.0732	0.600
Bromomethane	U		0.0982	0.200
1,3-Butadiene	U		0.104	2.00
Carbon disulfide	U		0.102	0.200
Carbon tetrachloride	U		0.0732	0.200
Chlorobenzene	U		0.0832	0.200
Chloroethane	U		0.0996	0.200
Chloroform	U		0.0717	0.200
Chloromethane	U		0.103	0.200
2-Chlorotoluene	U		0.0828	0.200
Cyclohexane	U		0.0753	0.200
Dibromochloromethane	U		0.0727	0.200
1,2-Dibromoethane	U		0.0721	0.200
1,2-Dichlorobenzene	U		0.128	0.200
1,3-Dichlorobenzene	U		0.182	0.200
1,4-Dichlorobenzene	U		0.0557	0.200
1,2-Dichloroethane	U		0.0700	0.200
1,1-Dichloroethane	U		0.0723	0.200
1,1-Dichloroethene	U		0.0762	0.200
cis-1,2-Dichloroethene	U		0.0784	0.200
trans-1,2-Dichloroethene	U		0.0673	0.200
1,2-Dichloropropane	U		0.0760	0.200
cis-1,3-Dichloropropene	U		0.0689	0.200
trans-1,3-Dichloropropene	U		0.0728	0.200
1,4-Dioxane	U		0.0833	0.630
Ethanol	0.635	U	0.265	2.50
Ethylbenzene	U		0.0835	0.200
4-Ethyltoluene	U		0.0783	0.200
Trichlorofluoromethane	U		0.0819	0.200
Dichlorodifluoromethane	U		0.137	0.200
1,1,2-Trichlorotrifluoroethane	U		0.0793	0.200
1,2-Dichlorotetrafluoroethane	U		0.0890	0.200
Heptane	U		0.104	0.200
Hexachloro-1,3-butadiene	U		0.105	0.630
n-Hexane	U		0.206	0.630

¹Cp

²Tc

³Ss

⁴Cn

⁵Sr

⁶Qc

⁷Is

⁸Gl

⁹Al

¹⁰Sc

Method Blank (MB)

(MB) R3991627-3 10/26/23 11:03

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Isopropylbenzene	U		0.0777	0.200
Methylene Chloride	U		0.0979	0.200
Methyl Butyl Ketone	U		0.133	1.25
2-Butanone (MEK)	U		0.0814	1.25
4-Methyl-2-pentanone (MIBK)	U		0.0765	1.25
Methyl methacrylate	U		0.0876	0.200
MTBE	U		0.0647	0.200
Naphthalene	U		0.350	0.630
2-Propanol	U		0.264	1.25
Propene	U		0.0932	1.25
Styrene	U		0.0788	0.200
1,1,2,2-Tetrachloroethane	U		0.0743	0.200
Tetrachloroethylene	U		0.0814	0.200
Tetrahydrofuran	U		0.0734	0.200
Toluene	U		0.0870	0.500
1,2,4-Trichlorobenzene	U		0.148	0.630
1,1,1-Trichloroethane	U		0.0736	0.200
1,1,2-Trichloroethane	U		0.0775	0.200
Trichloroethylene	U		0.0680	0.200
1,2,4-Trimethylbenzene	U		0.0764	0.200
1,3,5-Trimethylbenzene	U		0.0779	0.200
2,2,4-Trimethylpentane	U		0.133	0.200
Vinyl chloride	U		0.0949	0.200
Vinyl Bromide	U		0.0852	0.200
Vinyl acetate	U		0.116	0.630
m&p-Xylene	U		0.135	0.400
o-Xylene	U		0.0828	0.200
1,1-Difluoroethane	0.224	U	0.129	5.00
(S) 1,4-Bromofluorobenzene	101			60.0-140

1 Cp
2 Tc
3 Ss
4 Cn
5 Sr
6 Qc
7 Is
8 Gl
9 Al
10 Sc

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3991627-1 10/26/23 09:32 • (LCSD) R3991627-2 10/26/23 10:19

Analyte	Spike Amount	LCS Result	LCSD Result	LCS Rec.	LCSD Rec.	Rec. Limits	LCS Qualifier	LCSD Qualifier	RPD	RPD Limits
	ppbv	ppbv	ppbv	%	%	%			%	%
Acetone	3.75	3.04	2.97	81.1	79.2	70.0-130			2.33	25
Allyl chloride	3.75	2.66	3.40	70.9	90.7	70.0-130			24.4	25
Benzene	3.75	3.09	3.14	82.4	83.7	70.0-130			1.61	25
Benzyl Chloride	3.75	3.22	3.05	85.9	81.3	70.0-152			5.42	25

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3991627-1 10/26/23 09:32 • (LCSD) R3991627-2 10/26/23 10:19

Analyte	Spike Amount ppbv	LCS Result ppbv	LCSD Result ppbv	LCS Rec. %	LCSD Rec. %	Rec. Limits %	LCS Qualifier	LCSD Qualifier	RPD %	RPD Limits %
Bromodichloromethane	3.75	3.26	3.30	86.9	88.0	70.0-130			1.22	25
Bromoform	3.75	3.31	3.23	88.3	86.1	70.0-130			2.45	25
Bromomethane	3.75	3.34	3.39	89.1	90.4	70.0-130			1.49	25
1,3-Butadiene	3.75	2.99	2.85	79.7	76.0	70.0-130			4.79	25
Carbon disulfide	3.75	3.27	3.16	87.2	84.3	70.0-130			3.42	25
Carbon tetrachloride	3.75	3.16	3.25	84.3	86.7	70.0-130			2.81	25
Chlorobenzene	3.75	3.27	3.27	87.2	87.2	70.0-130			0.000	25
Chloroethane	3.75	3.33	3.37	88.8	89.9	70.0-130			1.19	25
Chloroform	3.75	3.27	3.08	87.2	82.1	70.0-130			5.98	25
Chloromethane	3.75	3.11	3.06	82.9	81.6	70.0-130			1.62	25
2-Chlorotoluene	3.75	3.14	3.16	83.7	84.3	70.0-130			0.635	25
Cyclohexane	3.75	3.31	3.30	88.3	88.0	70.0-130			0.303	25
Dibromochloromethane	3.75	3.27	3.11	87.2	82.9	70.0-130			5.02	25
1,2-Dibromoethane	3.75	3.20	3.26	85.3	86.9	70.0-130			1.86	25
1,2-Dichlorobenzene	3.75	3.22	3.23	85.9	86.1	70.0-130			0.310	25
1,3-Dichlorobenzene	3.75	3.33	3.23	88.8	86.1	70.0-130			3.05	25
1,4-Dichlorobenzene	3.75	3.33	3.18	88.8	84.8	70.0-130			4.61	25
1,2-Dichloroethane	3.75	3.09	3.19	82.4	85.1	70.0-130			3.18	25
1,1-Dichloroethane	3.75	3.27	3.12	87.2	83.2	70.0-130			4.69	25
1,1-Dichloroethene	3.75	3.08	3.12	82.1	83.2	70.0-130			1.29	25
cis-1,2-Dichloroethene	3.75	3.22	3.20	85.9	85.3	70.0-130			0.623	25
trans-1,2-Dichloroethene	3.75	3.17	3.03	84.5	80.8	70.0-130			4.52	25
1,2-Dichloropropane	3.75	3.16	3.14	84.3	83.7	70.0-130			0.635	25
cis-1,3-Dichloropropene	3.75	3.18	3.18	84.8	84.8	70.0-130			0.000	25
trans-1,3-Dichloropropene	3.75	3.09	3.15	82.4	84.0	70.0-130			1.92	25
1,4-Dioxane	3.75	2.94	2.87	78.4	76.5	70.0-140			2.41	25
Ethanol	3.75	3.18	3.27	84.8	87.2	55.0-148			2.79	25
Ethylbenzene	3.75	3.17	3.15	84.5	84.0	70.0-130			0.633	25
4-Ethyltoluene	3.75	3.24	3.16	86.4	84.3	70.0-130			2.50	25
Trichlorofluoromethane	3.75	3.24	3.22	86.4	85.9	70.0-130			0.619	25
Dichlorodifluoromethane	3.75	3.45	3.39	92.0	90.4	64.0-139			1.75	25
1,1,2-Trichlorotrifluoroethane	3.75	3.21	3.19	85.6	85.1	70.0-130			0.625	25
1,2-Dichlorotetrafluoroethane	3.75	3.21	3.19	85.6	85.1	70.0-130			0.625	25
Heptane	3.75	3.11	3.02	82.9	80.5	70.0-130			2.94	25
Hexachloro-1,3-butadiene	3.75	3.21	3.24	85.6	86.4	70.0-151			0.930	25
n-Hexane	3.75	3.09	3.03	82.4	80.8	70.0-130			1.96	25
Isopropylbenzene	3.75	3.18	3.14	84.8	83.7	70.0-130			1.27	25
Methylene Chloride	3.75	3.02	3.01	80.5	80.3	70.0-130			0.332	25
Methyl Butyl Ketone	3.75	3.04	3.08	81.1	82.1	70.0-149			1.31	25
2-Butanone (MEK)	3.75	3.20	2.97	85.3	79.2	70.0-130			7.46	25

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3991627-1 10/26/23 09:32 • (LCSD) R3991627-2 10/26/23 10:19

Analyte	Spike Amount ppbv	LCS Result ppbv	LCSD Result ppbv	LCS Rec. %	LCSD Rec. %	Rec. Limits %	LCS Qualifier	LCSD Qualifier	RPD %	RPD Limits %
4-Methyl-2-pentanone (MIBK)	3.75	3.02	3.06	80.5	81.6	70.0-139			1.32	25
Methyl methacrylate	3.75	2.80	2.68	74.7	71.5	70.0-130			4.38	25
MTBE	3.75	2.99	3.04	79.7	81.1	70.0-130			1.66	25
Naphthalene	3.75	3.30	3.28	88.0	87.5	70.0-159			0.608	25
2-Propanol	3.75	2.99	3.13	79.7	83.5	70.0-139			4.58	25
Propene	3.75	3.03	3.04	80.8	81.1	64.0-144			0.329	25
Styrene	3.75	3.22	3.15	85.9	84.0	70.0-130			2.20	25
1,1,2,2-Tetrachloroethane	3.75	3.20	3.13	85.3	83.5	70.0-130			2.21	25
Tetrachloroethylene	3.75	3.44	3.51	91.7	93.6	70.0-130			2.01	25
Tetrahydrofuran	3.75	3.15	3.08	84.0	82.1	70.0-137			2.25	25
Toluene	3.75	3.12	3.05	83.2	81.3	70.0-130			2.27	25
1,2,4-Trichlorobenzene	3.75	3.11	3.10	82.9	82.7	70.0-160			0.322	25
1,1,1-Trichloroethane	3.75	3.14	3.19	83.7	85.1	70.0-130			1.58	25
1,1,2-Trichloroethane	3.75	3.12	3.19	83.2	85.1	70.0-130			2.22	25
Trichloroethylene	3.75	2.98	3.04	79.5	81.1	70.0-130			1.99	25
1,2,4-Trimethylbenzene	3.75	3.17	3.20	84.5	85.3	70.0-130			0.942	25
1,3,5-Trimethylbenzene	3.75	3.97	3.87	106	103	70.0-130			2.55	25
2,2,4-Trimethylpentane	3.75	3.08	3.14	82.1	83.7	70.0-130			1.93	25
Vinyl chloride	3.75	3.05	3.11	81.3	82.9	70.0-130			1.95	25
Vinyl Bromide	3.75	3.22	3.16	85.9	84.3	70.0-130			1.88	25
Vinyl acetate	3.75	2.91	2.90	77.6	77.3	70.0-130			0.344	25
m&p-Xylene	7.50	6.32	6.23	84.3	83.1	70.0-130			1.43	25
o-Xylene	3.75	3.07	3.05	81.9	81.3	70.0-130			0.654	25
1,1-Difluoroethane	3.75	3.15	3.18	84.0	84.8	70.0-130			0.948	25
(S) 1,4-Bromofluorobenzene				102	101	60.0-140				

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

Method Blank (MB)

(MB) R3991520-3 10/26/23 10:24

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Dichlorodifluoromethane	U		0.137	0.200
Heptane	U		0.104	0.200
n-Hexane	U		0.206	0.630
4-Methyl-2-pentanone (MIBK)	U		0.0765	1.25
Toluene	U		0.0870	0.500
2,2,4-Trimethylpentane	U		0.133	0.200
m&p-Xylene	U		0.135	0.400
(S) 1,4-Bromofluorobenzene	98.1			60.0-140

¹Cp

²Tc

³Ss

⁴Cn

⁵Sr

⁶Qc

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3991520-1 10/26/23 09:28 • (LCSD) R3991520-2 10/26/23 09:57

Analyte	Spike Amount	LCS Result	LCSD Result	LCS Rec.	LCSD Rec.	Rec. Limits	LCS Qualifier	LCSD Qualifier	RPD	RPD Limits
	ppbv	ppbv	ppbv	%	%	%			%	%
Dichlorodifluoromethane	3.75	4.13	4.09	110	109	64.0-139			0.973	25
Heptane	3.75	4.33	4.26	115	114	70.0-130			1.63	25
n-Hexane	3.75	4.45	4.36	119	116	70.0-130			2.04	25
4-Methyl-2-pentanone (MIBK)	3.75	3.90	3.91	104	104	70.0-139			0.256	25
Toluene	3.75	4.35	4.26	116	114	70.0-130			2.09	25
2,2,4-Trimethylpentane	3.75	4.34	4.33	116	115	70.0-130			0.231	25
m&p-Xylene	7.50	9.56	9.40	127	125	70.0-130			1.69	25
(S) 1,4-Bromofluorobenzene				101	99.2	60.0-140				

⁷Is

⁸Gl

⁹Al

¹⁰Sc

Method Blank (MB)

(MB) R3993138-3 10/28/23 08:52

Analyte	MB Result	MB Qualifier	MB MDL	MB RDL
	ppbv		ppbv	ppbv
Toluene	U		0.0870	0.500
(S) 1,4-Bromofluorobenzene	94.4			60.0-140

Laboratory Control Sample (LCS) • Laboratory Control Sample Duplicate (LCSD)

(LCS) R3993138-1 10/28/23 07:55 • (LCSD) R3993138-2 10/28/23 08:24

Analyte	Spike Amount	LCS Result	LCSD Result	LCS Rec.	LCSD Rec.	Rec. Limits	LCS Qualifier	LCSD Qualifier	RPD	RPD Limits
	ppbv	ppbv	ppbv	%	%	%			%	%
Toluene	3.75	4.04	4.10	108	109	70.0-130			1.47	25
(S) 1,4-Bromofluorobenzene				99.6	100	60.0-140				

- 1 Cp
- 2 Tc
- 3 Ss
- 4 Cn
- 5 Sr
- 6 Qc
- 7 Is
- 8 Gl
- 9 Al
- 10 Sc

INTERNAL STANDARD SUMMARY

Instrument: AIRMS2 • File ID: 1026_02

10/26/23 08:45

Sample ID	File ID	BROMOCHLOROMETHANE Response	1,4-DIFLUOROBENZENE Response	CHLOROBENZENE-D5 Response
Standard	1026_02	30933	124570	112963
Upper Limit		38981	158156	142386
Lower Limit		16706	67781	61023
LCS R3991627-1 WG2158462 1x	1026_03	30558	122970	111064
LCSD R3991627-2 WG2158462 1x	1026_04	30622	123061	111387
BLANK R3991627-3 WG2158462 1x	1026_05	30562	122892	108136
L1668223-06 WG2158462 1x	1026_16	29878	118269	107493
L1668223-07 WG2158462 10x	1026_17	32273	130729	117501
L1668223-08 WG2158462 10x	1026_20	31721	130194	118193
L1668223-09 WG2158462 1x	1026_21	30455	123008	112244
L1668223-10 WG2158462 1x	1026_22	30364	122394	112389

Instrument: AIRMS4 • File ID: 1024_02

10/24/23 08:39

Sample ID	File ID	BROMOCHLOROMETHANE Response	1,4-DIFLUOROBENZENE Response	CHLOROBENZENE-D5 Response
Standard	1024_02	65727	199476	194404
Upper Limit		105741	347579	330917
Lower Limit		45318	148962	141822
LCS R3990965-1 WG2156941 1x	1024_03	60453	199030	193952
LCSD R3990965-2 WG2156941 1x	1024_04	59702	195193	188518
BLANK R3990965-3 WG2156941 1x	1024_05	59696	192884	187598
L1668223-01 WG2156941 1x	1024_15	65599	225216	225369
L1668223-02 WG2156941 1x	1024_16	66297	226274	237388
L1668223-03 WG2156941 1x	1024_17	70880	253262	267486
L1668223-04 WG2156941 1x	1024_18	70779	244822	275588
L1668223-05 WG2156941 1x	1024_19	73668	274872	301073
L1668223-06 WG2156941 1x	1024_20	97812	345721	359324
L1668223-07 WG2156941 1x	1024_21	99469		343167

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

INTERNAL STANDARD SUMMARY

Instrument: AIRMS20 • File ID: 1026_02

10/26/23 08:58

Sample ID	File ID	BROMOCHLOROMETHANE Response	1,4-DIFLUOROBENZENE Response	CHLOROBENZENE-D5 Response
Standard	1026_02	126832	438845	390561
Upper Limit		191037	653749	600487
Lower Limit		81873	280178	257352
LCS R3991520-1 WG2158476 1x	1026_03	124185	428820	380898
LCSD R3991520-2 WG2158476 1x	1026_04	124499	435593	384778
BLANK R3991520-3 WG2158476 1x	1026_05	129741	450523	395778
L1668223-03 WG2158476 10x	1026_08	111515	397646	369392
L1668223-04 WG2158476 10x	1026_09	95900	357830	358517
L1668223-05 WG2158476 10x	1026_10	100317	373361	339481

Instrument: AIRMS20 • File ID: 1028_02

10/28/23 07:25

Sample ID	File ID	BROMOCHLOROMETHANE Response	1,4-DIFLUOROBENZENE Response	CHLOROBENZENE-D5 Response
Standard	1028_02	113327	375476	325661
Upper Limit		191037	653749	600487
Lower Limit		81873	280178	257352
LCS R3993138-1 WG2159835 1x	1028_03	114689	385340	335614
LCSD R3993138-2 WG2159835 1x	1028_04	113493	378902	336110
BLANK R3993138-3 WG2159835 1x	1028_05	115815	381224	334891
L1668223-10 WG2159835 10x	1028_07	103730	352015	329064

1 Cp

2 Tc

3 Ss

4 Cn

5 Sr

6 Qc

7 Is

8 Gl

9 Al

10 Sc

GLOSSARY OF TERMS

Guide to Reading and Understanding Your Laboratory Report

The information below is designed to better explain the various terms used in your report of analytical results from the Laboratory. This is not intended as a comprehensive explanation, and if you have additional questions please contact your project representative.

Results Disclaimer - Information that may be provided by the customer, and contained within this report, include Permit Limits, Project Name, Sample ID, Sample Matrix, Sample Preservation, Field Blanks, Field Spikes, Field Duplicates, On-Site Data, Sampling Collection Dates/Times, and Sampling Location. Results relate to the accuracy of this information provided, and as the samples are received.

Abbreviations and Definitions

MDL	Method Detection Limit.
ND	Not detected at the Reporting Limit (or MDL where applicable).
RDL	Reported Detection Limit.
Rec.	Recovery.
RPD	Relative Percent Difference.
SDG	Sample Delivery Group.
(S)	Surrogate (Surrogate Standard) - Analytes added to every blank, sample, Laboratory Control Sample/Duplicate and Matrix Spike/Duplicate; used to evaluate analytical efficiency by measuring recovery. Surrogates are not expected to be detected in all environmental media.
U	Not detected at the Reporting Limit (or MDL where applicable).
Analyte	The name of the particular compound or analysis performed. Some Analyses and Methods will have multiple analytes reported.
Dilution	If the sample matrix contains an interfering material, the sample preparation volume or weight values differ from the standard, or if concentrations of analytes in the sample are higher than the highest limit of concentration that the laboratory can accurately report, the sample may be diluted for analysis. If a value different than 1 is used in this field, the result reported has already been corrected for this factor.
Limits	These are the target % recovery ranges or % difference value that the laboratory has historically determined as normal for the method and analyte being reported. Successful QC Sample analysis will target all analytes recovered or duplicated within these ranges.
Qualifier	This column provides a letter and/or number designation that corresponds to additional information concerning the result reported. If a Qualifier is present, a definition per Qualifier is provided within the Glossary and Definitions page and potentially a discussion of possible implications of the Qualifier in the Case Narrative if applicable.
Result	The actual analytical final result (corrected for any sample specific characteristics) reported for your sample. If there was no measurable result returned for a specific analyte, the result in this column may state "ND" (Not Detected) or "BDL" (Below Detectable Levels). The information in the results column should always be accompanied by either an MDL (Method Detection Limit) or RDL (Reporting Detection Limit) that defines the lowest value that the laboratory could detect or report for this analyte.
Uncertainty (Radiochemistry)	Confidence level of 2 sigma.
Case Narrative (Cn)	A brief discussion about the included sample results, including a discussion of any non-conformances to protocol observed either at sample receipt by the laboratory from the field or during the analytical process. If present, there will be a section in the Case Narrative to discuss the meaning of any data qualifiers used in the report.
Quality Control Summary (Qc)	This section of the report includes the results of the laboratory quality control analyses required by procedure or analytical methods to assist in evaluating the validity of the results reported for your samples. These analyses are not being performed on your samples typically, but on laboratory generated material.
Sample Chain of Custody (Sc)	This is the document created in the field when your samples were initially collected. This is used to verify the time and date of collection, the person collecting the samples, and the analyses that the laboratory is requested to perform. This chain of custody also documents all persons (excluding commercial shippers) that have had control or possession of the samples from the time of collection until delivery to the laboratory for analysis.
Sample Results (Sr)	This section of your report will provide the results of all testing performed on your samples. These results are provided by sample ID and are separated by the analyses performed on each sample. The header line of each analysis section for each sample will provide the name and method number for the analysis reported.
Sample Summary (Ss)	This section of the Analytical Report defines the specific analyses performed for each sample ID, including the dates and times of preparation and/or analysis.

Qualifier	Description
E	The analyte concentration exceeds the upper limit of the calibration range of the instrument established by the initial calibration (ICAL).
J	The identification of the analyte is acceptable; the reported value is an estimate.



ACCREDITATIONS & LOCATIONS

Pace Analytical National 12065 Lebanon Rd Mount Juliet, TN 37122

Alabama	40660	Nebraska	NE-OS-15-05
Alaska	17-026	Nevada	TN000032021-1
Arizona	AZ0612	New Hampshire	2975
Arkansas	88-0469	New Jersey–NELAP	TN002
California	2932	New Mexico ¹	TN00003
Colorado	TN00003	New York	11742
Connecticut	PH-0197	North Carolina	Env375
Florida	E87487	North Carolina ¹	DW21704
Georgia	NELAP	North Carolina ³	41
Georgia ¹	923	North Dakota	R-140
Idaho	TN00003	Ohio–VAP	CL0069
Illinois	200008	Oklahoma	9915
Indiana	C-TN-01	Oregon	TN200002
Iowa	364	Pennsylvania	68-02979
Kansas	E-10277	Rhode Island	LA000356
Kentucky ^{1,6}	KY90010	South Carolina	84004002
Kentucky ²	16	South Dakota	n/a
Louisiana	AI30792	Tennessee ^{1,4}	2006
Louisiana	LA018	Texas	T104704245-20-18
Maine	TN00003	Texas ⁵	LAB0152
Maryland	324	Utah	TN000032021-11
Massachusetts	M-TN003	Vermont	VT2006
Michigan	9958	Virginia	110033
Minnesota	047-999-395	Washington	C847
Mississippi	TN00003	West Virginia	233
Missouri	340	Wisconsin	998093910
Montana	CERT0086	Wyoming	A2LA
A2LA – ISO 17025	1461.01	AIHA-LAP,LLC EMLAP	100789
A2LA – ISO 17025 ⁵	1461.02	DOD	1461.01
Canada	1461.01	USDA	P330-15-00234
EPA–Crypto	TN00003		

¹ Drinking Water ² Underground Storage Tanks ³ Aquatic Toxicity ⁴ Chemical/Microbiological ⁵ Mold ⁶ Wastewater n/a Accreditation not applicable

* Not all certifications held by the laboratory are applicable to the results reported in the attached report.

* Accreditation is only applicable to the test methods specified on each scope of accreditation held by Pace Analytical.

¹ Cp

² Tc

³ Ss

⁴ Cn

⁵ Sr

⁶ Qc

⁷ Is

⁸ Gl

⁹ Al

¹⁰ Sc

Pace Pace* Location Requested (City/State): **Air CHAIN-OF-CUSTODY Analytical Request Document**
Chain-of-Custody is a LEGAL DOCUMENT - Complete all relevant fields

Company Name: **NV5 - Phoenix, AZ**
Street Address: **1 W. Deer Valley Road, Bldg 2**
City, State Zip:
Customer Project #:
Project Name:

Contact/Report To: **Mike Hulst**
Phone #:
E-Mail: **mike.hulst@nv5.com**
Cc E-Mail: **Barbara.Everett@NV5.com**
Invoice to: **Barbara Everett**
Invoice E-Mail: **Barbara.Everett@NV5.com**
Purchase Order # (if applicable):
Quote #:



LAB USE ONLY - Affix Workorder/Label Here

Sample Receipt Checklist

DOC Seal Present/Intact: Y N If Applicable
 DOC Signed/Accurate: Y N VOA Zero Headspace: Y N
 Bottles arrive intact: Y N Pres. Correct/Check: Y N
 Correct bottles used: Y N
 Sufficient volume sent: Y N
 RA Screen <0.5 mR/hr: Y N

TRK# 6727 1903 0852

Site Collection Info/Facility ID (as applicable):
NV5PAZ-HULST

State origin of sample(s):
New Mexico

Time Zone Collected: [] AK [] PT [] MT [] CT [] ET

Data Deliverables:
 Level II Level III Level IV
 EQUIS
 Other

Regulatory Program (CAA, RCRA, etc.) as applicable:
 Rush (Pre-approval required): 2 Day 3 day 5 day Other _____
 Date Results Requested:
 Permit # as applicable:
 Units for Reporting: ug/m³ PPBV .mg/m³ PPMV

Field Information

Canister Pressure / Vacuum PUF / FILTER

Analyses Requested

Proj. Manager:
288 - Daphne Richards

AcctNum / Client ID:
NV5PAZ

Table #:

Profile / Template:
T239794

Prelog / Bottle Ord. ID:
P1030539

* Matrix Codes (Insert in Matrix box below): Ambient (A), Indoor (I), Soil Vapor (SV), Other (O)

Customer Sample ID	Matrix *	Summa Canister ID	Flow Controller ID	Begin Collection		End Collection		Start Pressure / Vacuum (in Hg)	End Pressure / Vacuum (in Hg)	Duration (minutes)	Flow Rate (m ³ /min or L/min)	Total Volume Sampled (m ³ or L)	TO-15 Summa
				Date	Time	Date	Time						
Field Blank	SV	7163	011283	10/17	12:30	10/18	12:35	-29	05	5			X
B-1	SV	21563	028168	10/17	2:44	10/18	3:00	-28	0	16			X
B-2	SV	9994	01054	10/18	3:30	10/18	3:35	-29	-5	5			X
B-3	SV	14088	00921	10/18	4:00	10/18	4:05	-29	-5	5			X
B-4	SV	1486	02454	10/18	4:12	10/18	4:17	-29	-5	5			X
B-5	SV	22024	009153	10/18	4:24	10/18	4:30	-29	-5	6			X
B-6	SV	23452	02321	10/18	4:46	10/18	4:52	-29	-5	6			X
B-7	SV	2199	01248	10/18	5:00	10/18	5:05	-29	-5	5			X
B-8	SV	24045	02327	10/18	5:14	10/18	5:17	-28	0	3			X
B-8 Dup	SV	9334	01213	10/19	5:25	10/19	5:30	-29	-5	5			X

Sample Comment

4668223-01
02
03
04
07
08
09
10

Customer Remarks / Special Conditions / Possible Hazards:

Relinquished by/Company: (Signature) **TVA** Date/Time: **10/11/23**

Relinquished by/Company: (Signature) Date/Time:

Relinquished by/Company: (Signature) Date/Time:

Relinquished by/Company: (Signature) Date/Time:

Collected By: **Sharon Chavez**
Printed Name: **Sharon Chavez**
Signature: **Sharon Chavez**

Received by/Company: (Signature) **Sharon Chavez** Date/Time: **10/18/23 5:35**

Received by/Company: (Signature) Date/Time:

Received by/Company: (Signature) Date/Time:

Received by/Company: (Signature) **Barbara Everett** Date/Time: **10/19/23 0900**

Additional Instructions from Pace*:

Coolers: Thermometer ID: Correction Factor (°C): Obs. Temp. (°C): Corrected Temp. (°C):

Tracking Number:

Delivered by: In- Person Courier
 FedEX UPS Other

Appendix B

Field Notes

Nazareth Landfill Gas Assessment
 6:00am Arrive on site. Waiting for the go ahead.

8:30am Given the go ahead.

9:30 Started Drilling B1

	10ft	15ft
H ₂ S	0ppm	0ppm
O ₂	20.4%	20.5%
CO ₂	0%	0%
CH ₄	0%	0%
BAL	79.9%	79.5%

10:00 Started Drilling B3

	10ft	15ft
H ₂ S	0ppm	0ppm
O ₂	20.1%	20.2%
CO ₂	0%	0%
CH ₄	0%	0%
BAL	79.9%	79.8%

10:30 Started Drilling B5

	10ft	15ft
H ₂ S	0ppm	0ppm
O ₂	20.2%	20.5%
CO ₂	0%	0%
CH ₄	0%	0%
BAL	79.8%	79.7%

11:00 Started Drilling B8

	10ft	15ft
H ₂ S	0ppm	0ppm
O ₂	20.4%	20.5%
CO ₂	0%	0%
CH ₄	0%	0%
BAL	79.6%	79.5%

11:30am - 12:00pm Drilled temp wells for B2, B4, B6, and B7

12:30 called field blank

2:44 collect B1 Soil Vapor Sample

Sample ID	Canister ID	Value ID	Start vacuum
B-1	21563	029168	-20

Start purge	End purge	Start sample	End sample
2:40	2:43	2:44	3:00

3:30 collect B2 Soil Vapor Sample

Sample ID	Can ID	Value ID	Start purge	End purge	Start sample	End sample
B-2	9994	010121	3:26	3:27	3:30	3:35

Start vacuum 3-29

End vacuum 3-5
 Note in the Rain

4:00 collect B-3 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample
B-3	14088	009091	3:57 pm	3:59 pm	4:00 pm
end sample	start	end			
4:05 pm	-29	-5			

4:12 collect B-4 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample	end sample
B-4	14086	024654	4:09	4:11	4:12	4:17
Start vacuum:			-29			
End vacuum:			-5			

4:24 collect B-5 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample	end sample
B-5	22027	009155	4:22	4:24	4:24	4:30
Start vacuum:			-29			
End vacuum:			-5			

4:46 collect B-6 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample	end sample
B-6	23452	023121	4:44	4:46	4:46	4:52
Start vacuum:			-29			
End vacuum:			-5			

5:00 collect B-7 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample	end sample
B-7	21919	012419	4:47	4:49	5:00	5:05
Start vacuum:			-29			
End vacuum:			-5			

5:14 collect B-8 soil vapor sample

Sample ID	can ID	valve ID	start purge	end purge	start sample
B-8	2408	02307	5:08	5:10	5:14
end sample			Start vacuum: -28		
			End vacuum: 0		

canister filled up and went to 0 Hg quickly, maybe a dud can?

5:25 collected B-8 Dup

Sample ID	Start sample	End sample
B-8 Dup	5:25	5:30
Start vacuum:		-28
End vacuum:		-5

5:40 End of Day

Stream

ANTHONY JAMES PARTNERS

New Mexico United SOCCER STADIUM ADJACENT NEIGHBORHOOD NOISE IMPACT STUDY

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jackc@anthonyjamespartners.com

08.18.23

NEW MEXICO UNITED SOCCER STADIUM

NOISE IMPACT STUDY ON NEIGHBORHOODS ADJACENT TO BALLON FIESTA PARK

GENERAL

1.1 INTRODUCTION

The following noise impact study was prepared by Anthony James Partners (AJP) for the proposed New Mexico United (NMU) soccer stadium in Albuquerque. This study analyzes acoustical models created by AJP based on GPS topographical data and three-dimensional models of the new facility created by the project architects. Predicted results are formulated using this data in conjunction with the accompanying stadium loudspeaker data, and typical attendee background noise information associated with an open-air sports stadium of similar capacity. This document is intended to serve as a road map to help guide the client through the process of determining a deliberately planned stadium solution considering the potential environmental noise impact on sensitive neighboring communities.

The results of this study have been derived from the best available data and reasonable assumptions gathered from plans, models, typical measurement data, and current noise ordinance information provided by the City of Albuquerque and Bernalillo County.

Additional Information used to prepare this report:

- New Mexico United Stadium Noise Study – AJP Measurement Data.xlsx
- New Mexico United Stadium - AJP Acoustical Data Models.pdf
- BFP Site Layout and Section Studies.dwg

1.2 METHODOLOGY

To accurately prepare this report, AJP conducted the following tasks:

- Reviewed all available documentation associated with the existing site.
 - GPS Topographical Map
 - BFP Site Layout and Section Studies
 - BFP Master Development Plan, Noise Criteria Concerns Narrative
- Conducted telephone interviews with NMU stadium design personnel to identify desired goals for the new facility.
- Developed EASE acoustical prediction model to demonstrate anticipated SPL values at the identified neighboring communities of concern.

Analog Reference of Sound Pressure Levels (SPL):

- 30 dBA SPL Quiet bedroom at night
- 40 dBA SPL Whisper at approximately 5'
- 50 dBA SPL Quiet conversation
- 60 dBA SPL Normal conversation
- 70 dBA SPL Loud conversation
- 80 dBA SPL Busy restaurant, Vacuum cleaner
- 90 dBA SPL Shouting conversation, Power mower
- 100 dBA SPL Loud motorcycle
- 110 dBA SPL Chain saw, Night club w/ loud music
- 120 dBA SPL Rock Concert, Ambulance siren
- 130 dBA SPL Jet take-off at 200'



Aerial view of the proposed stadium and impact study areas covering the western, eastern, and southern neighborhoods:

1.3 TEST PROCESS

Test data and criteria:

- Acoustical noise level standards published in the City of Albuquerque and Bernalillo County Noise Ordinances were used as a targeted baseline for this study. They are:
 - Maximum noise levels at noise sensitive property lines shall not exceed 50 dBA between the hours of 10:00 pm and 7:00 am.
 - Where local ambient noise levels exceed 50 dBA the maximum noise level criteria shall be ambient plus 5 dBA.
 - Amplified sound is allowed between the hours of 7 a.m. and 10 p.m. only.
 - No person in the stadium shall be exposed to amplified sound over 90 dBA.

Description of acoustical test data for optional designs:

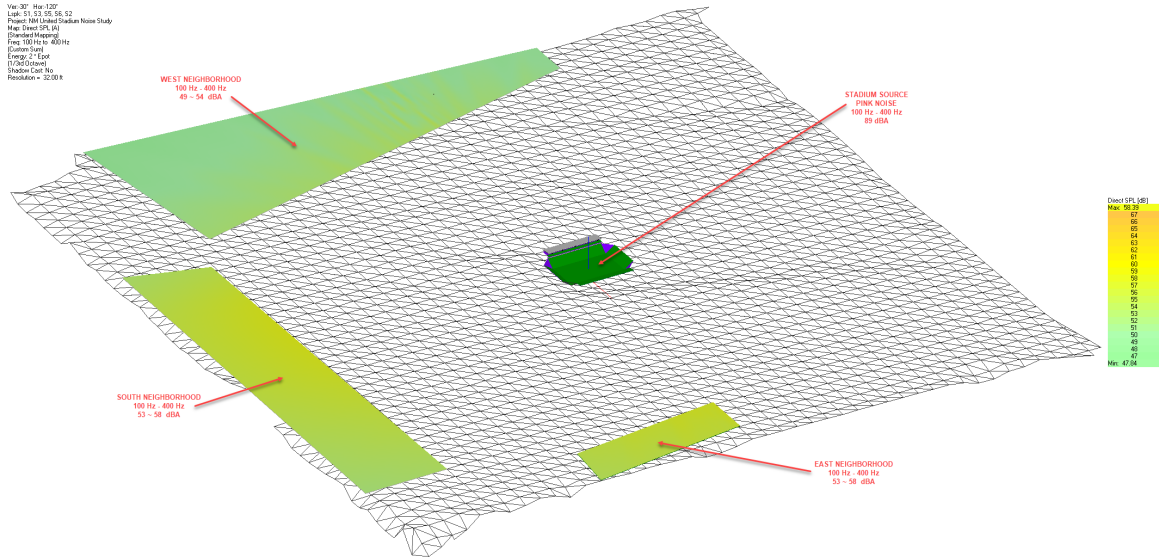
- Original Stadium Design:
 - Stadium loudspeakers are mounted to the eastern edge of the western canopy, aimed downward toward the pitch, through the seating areas along the eastern side of the stadium.
 - SPL using Pink Noise as a source between 100Hz and 8000Hz, measured at 89 dBA (maximum) at the nearest listener seating position.
- Optional Stadium Design:
 - Add south end zone canopy and northwest building.
 - Stadium loudspeakers are mounted in a distributed fashion around the bowl, aimed slightly downward toward the pitch.
 - SPL using Pink Noise as a source between 100Hz and 8000Hz, measured at 90 dBA (maximum) at the nearest listener seating position.

1.4 RESULTING GRAPHICS

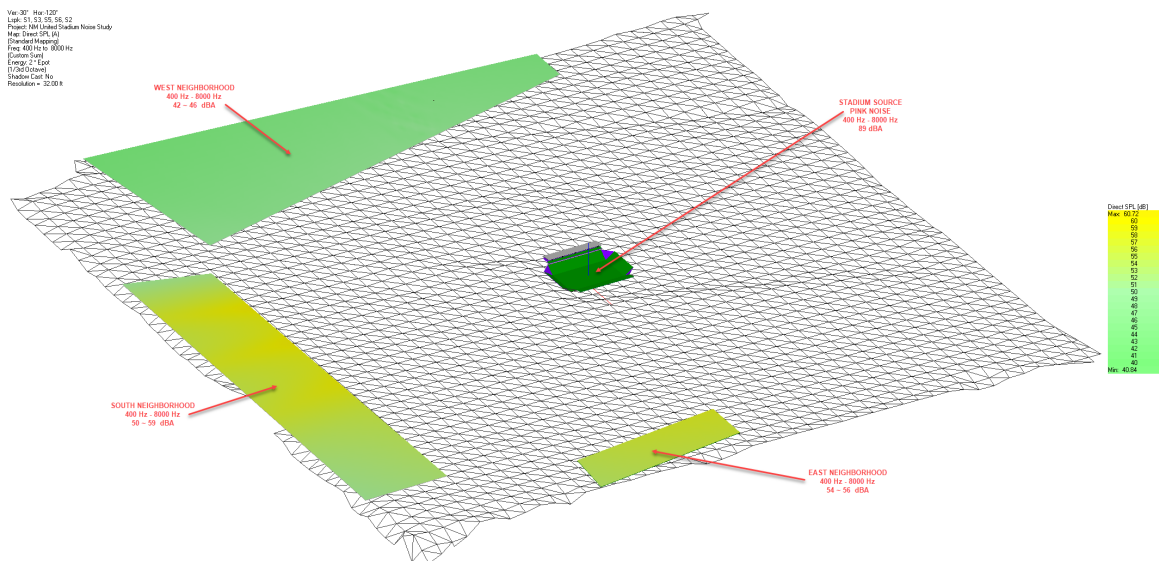
- The following graphical data shows the results from the acoustical models created from the information mentioned above.

1.4.1 East, West, & South Neighborhood Noise Levels @100 Hz – 400Hz (Original Stadium Design)

- Original stadium design, loudspeakers located on the front edge of the west canopy, directed downward and to the east.

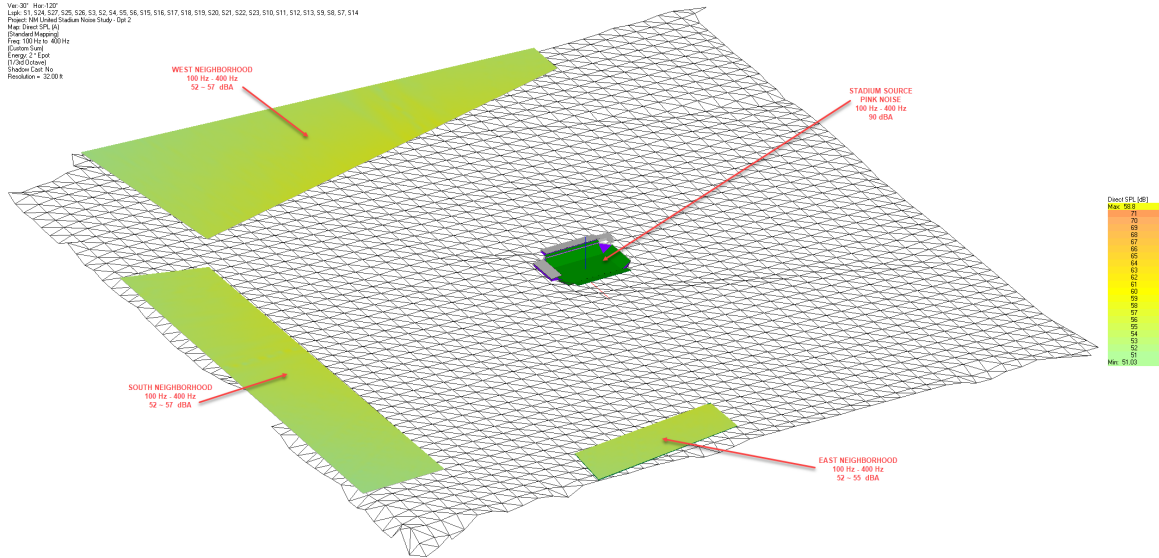


1.4.2 East, West, & South Neighborhood Noise Levels @400 Hz – 8000Hz (Original Stadium Design)

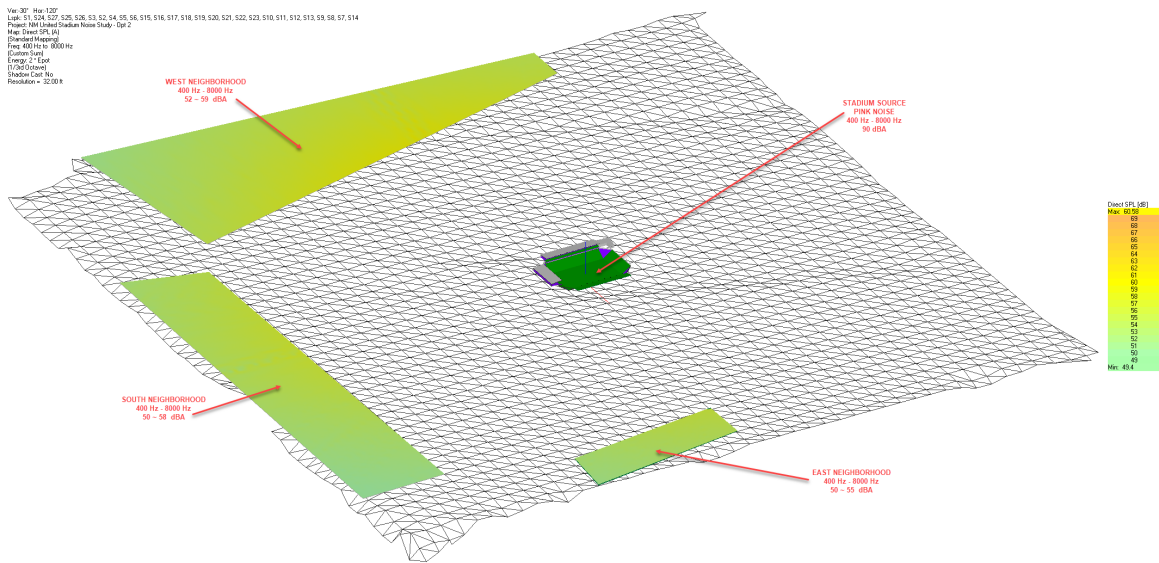


1.4.3 East, West, & South Neighborhood Noise Levels @100 Hz – 400Hz (Optional Stadium Design)

- Add south end zone canopy and northwest building.
- Stadium loudspeakers are mounted in a distributed fashion around the bowl, aimed slightly downward toward the pitch.



1.4.4 West, East, & South Neighborhood Noise Levels @400 Hz – 8000Hz (Optional Stadium Design)



1.5 SUMMARY COMPARISON OF RESULTS

Two variations of the stadium and associated loudspeaker systems are shown above. Two distinct broad spectrum, direct sound pressure level measurements were taken in each of the sensitive neighborhood areas for the specific stadium variations. One measurement focused on the low frequencies between 100 Hz and 400 Hz, and a second measurement was taken considering the mid to high frequency range of 400 Hz through 8000 Hz. The details and results for each option are described below.

In general, the “sub-low” or bass audio frequencies in the 20 Hz to 100 Hz range generated by an amplified sound system within the stadium tend to radiate from their source (the sub-woofers). They cannot be contained in an open-air venue because sub-low frequencies require mass to stop the sound waves, (concrete, sand filled CMU barriers, etc.). These frequencies will dissipate as they travel through the air in a spherical manner. The predicted reduction of this low frequency noise may be calculated over time and distance using physical calculations that consider the strength of the source, and the distance from the point of the measurement. This may be calculated by creating sample LF noise sources in the stadium at different listening points and confirming these by taking sample measurements within each neighborhood under test.

1. The original design predictions were derived using stadium loudspeakers attached to the west canopy, directed to the east side of the stadium.
 - a. Devices:
 - i. Three JBL VTX-A12 full-range line arrays consisting of ten loudspeaker devices in each array.
 1. Total 30 devices
 - ii. Two JBL VTX B28 subwoofer arrays of nine devices each, assembled in cardioid sub-array configurations.
 1. Total 18 devices
 - b. The test sound system is capable of reaching broadband SPL measurements of 142 dBA, however the measured power available to the sound system was set to operate below 90 dBA at any listener seat in the stadium. This considers the Noise Ordinance Standard set by the City of Albuquerque for such venues.
 - i. A sound system that is capable of exceeding ambient crowd noise peaks of 105 dBA is necessary when needed for ancillary life safety support, though typical operating levels should easily be below this threshold for normal events within a stadium of this proposed capacity.
 - c. SPL prediction results for the West and South neighborhoods:

i. East Neighborhood	100 Hz – 400 Hz	53dBA – 58dBA
	400 Hz – 8 kHz	54dBA – 56dBA
ii. West Neighborhood	100 Hz – 400 Hz	49dBA – 54dBA
	400 Hz – 8 kHz	42dBA – 46dBA
iii. South Neighborhood	100 Hz – 400 Hz	53dBA – 58dBA
	400 Hz – 8 kHz	50dBA – 59dBA
2. The optional stadium design predictions use a distributed “point source” loudspeaker system mounted to the canopies on the west and south sides of the stadium, and from poles (typically lighting poles), on the north and east sides of the stadium. The loudspeakers will be directed to the center of the pitch.
 - a. Devices:
 - i. Fulcrum Acoustic 15” CCX Cardioid full-range, point-source loudspeaker devices are attached approximately 46’ apart on the front edge of the canopies.
 1. Total 14 devices
 - ii. One Fulcrum Acoustic CS18 Cardioid subwoofer, will be installed along with each of the full-range point source devices.
 1. Total 14 devices

- iii. The remaining 13 full-range devices and 13 subwoofers will be mounted to lighting poles and/or dedicated poles for the speakers.
- b. This test sound system is capable of reaching broadband SPL measurements of 138 dBA. The measured power available to the sound system was set to operate below 90 dBA at any listener seat in the stadium. This considers the Noise Ordinance Standard set by the City of Albuquerque for such venues.
 - i. Performance requirements for the sound system for ancillary life safety support are the same as the original system design.
- c. SPL prediction results for the West and South neighborhoods:
 - i. East Neighborhood

100 Hz – 400 Hz	52dBA – 55dBA
400 Hz – 8 kHz	50dBA – 55dBA
 - ii. West Neighborhood

100 Hz – 400 Hz	52dBA – 57dBA
400 Hz – 8 kHz	52dBA – 59dBA
 - iii. South Neighborhood

100 Hz – 400 Hz	52dBA – 57dBA
400 Hz – 8 kHz	50dBA – 58dBA

1.6 CONCLUSION

Overall, the results of the acoustical model predicting the amount of sound radiating from the proposed stadium location is as expected. Relatively flat terrain, and the lack of tall, massive barriers contribute to the propagation of sound waves generated in the stadium during an event.

Predictions show that amplified sound within the stadium will not exceed the noise ordinance regulations between 7:00 am and 10:00 pm.

It must be considered that normal traffic noise from interstate highways typically ranges between 75 to 80 dBA at a distance of 50 to 60 feet.

Pre-programmed audio tracks, also known as hype music, are regularly played through stadium sound systems for sporting events. This sound source, coupled with varying crowd noise, consists of full spectrum audio and will be the greatest contributor to sound radiating from the stadium. Program material, however, can be limited to varying degrees through a properly designed sound system for effective operation within the limits set by the City Noise Ordinance.

Recommendations:

1. Add a canopy over the southern seating area of the stadium. The addition of the southern canopy will assist in containing crowd noise at that end of the stadium, as well as help to direct the audio from the amplified sound system away from the targeted areas.
2. Develop a design for a distributed sound system that faces both east and north overall, directed to the north northeast of the stadium in an effort to contain spill to the western and southern sides of the property. This also allows for better control of the system in a zoned fashion and is a better value from a financial perspective.
3. Tune (limit) the sound system output to 90 dBA (nominal) at listeners nearest to the loudspeaker arrays.
4. Limit the sound system’s maximum level to approximately 10 dBA above nominal, measured at one meter from the loudspeaker arrays in an effort to provide the necessary headroom required for proper performance of the system.
5. Careful sound system design and test modeling will be required to achieve the desired results.

END OF REPORT

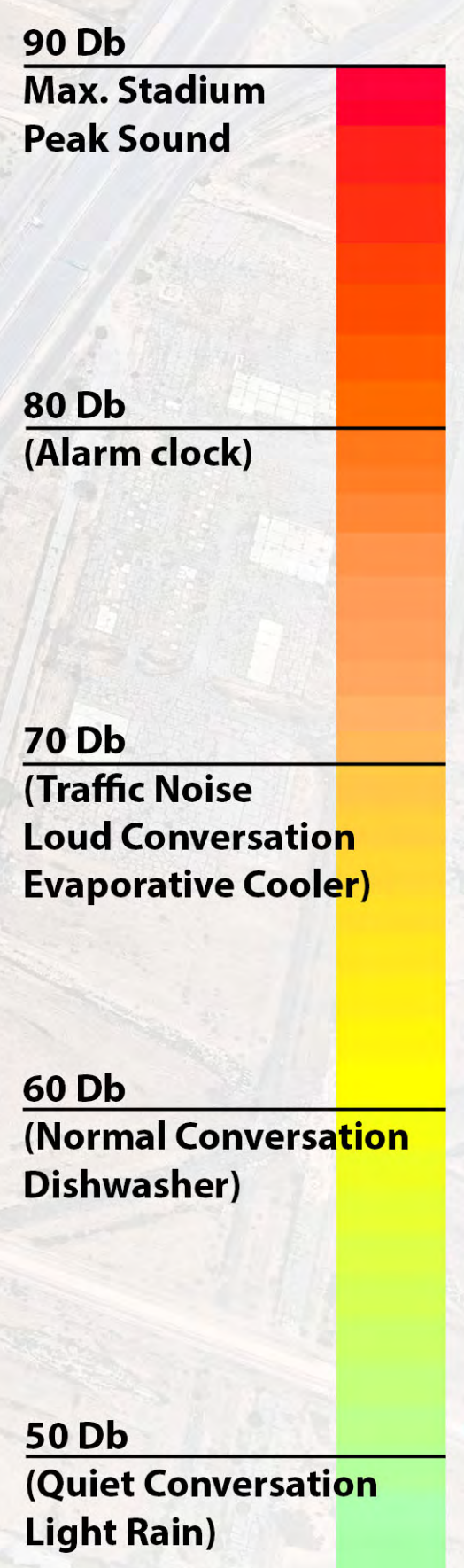
SOUND IMPACT CONTEXT

Proximity to Neighborhoods



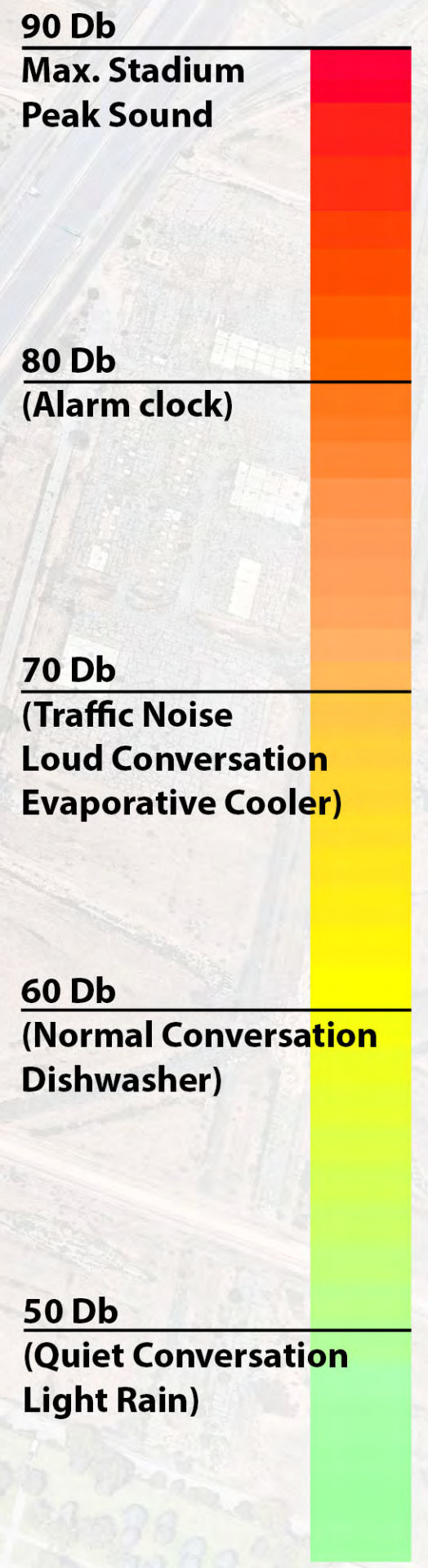
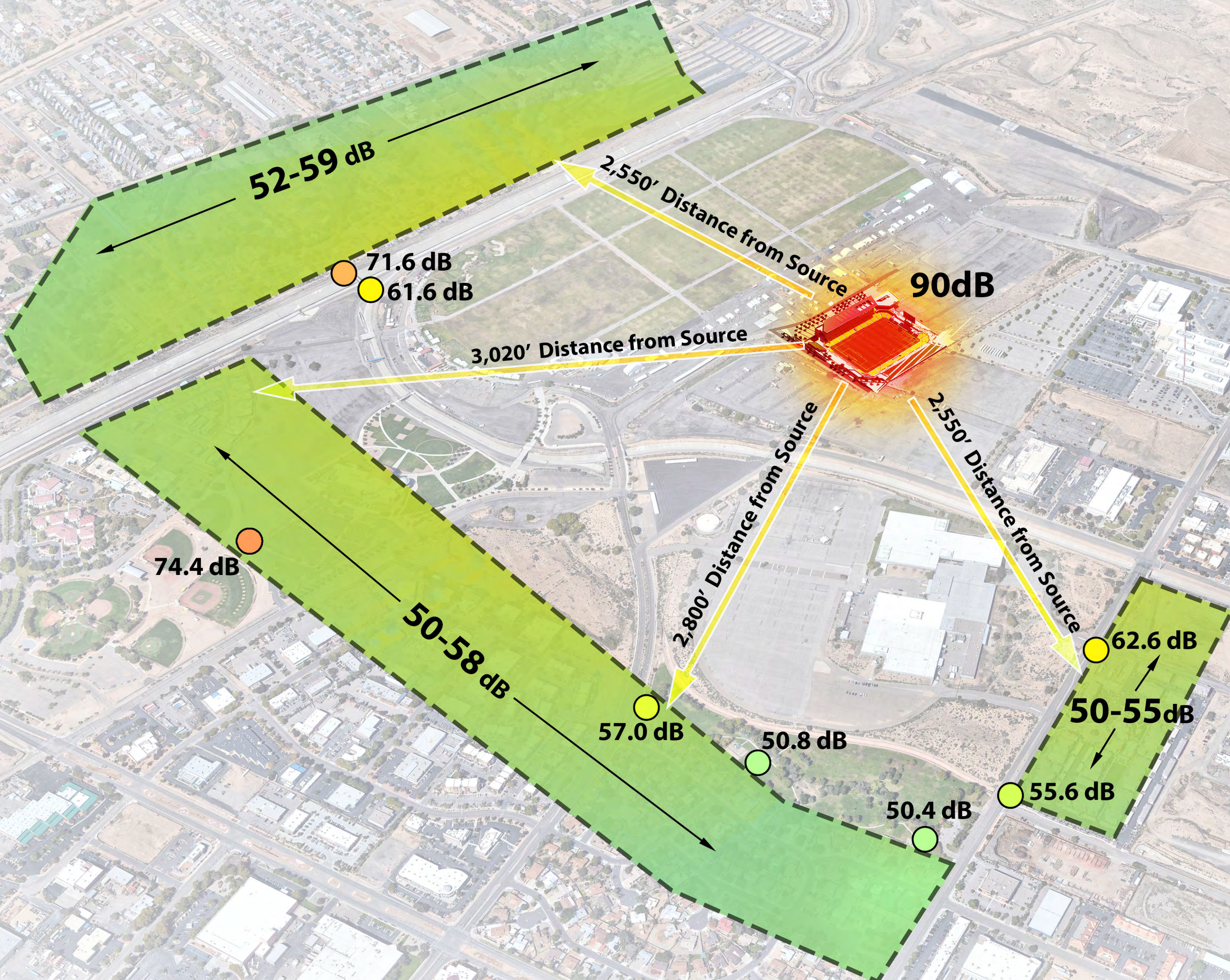
AMBIENT NOISE READINGS

6:30-7:30pm on 09/06/23



ACOUSTICAL PREDICTION MODELING

Based on a 90dB Peak Noise Event,
Using GPS Topographic & 3D Stadium Models



Corporate: 100 1st Ave West · PO Box 808 · Oskaloosa, IA 52577 · 641/673-0411 · 800/825-6020 · Fax: 641/673-4740
Manufacturing: 2107 Stewart Road · PO Box 260 · Muscatine, IA 52761 · 563/263-2281 · 800/756-1205 · Fax: 800/374-6402
Web: www.musco.com · **Email:** lighting@musco.com



New Mexico United USL Stadium

Musco is a world leader in designing, manufacturing and installing large area lighting systems from Little League® fields to professional sports stadiums across the NFL, MLB, NCAA, English Premier League and MLS. Musco has been in business over 45 years with manufacturing plants located in Iowa. Musco produces lighting solutions for over 2500+ projects annually across the globe. Musco is also the Official Stadium, Complex and Field Lighting supplier for the United Soccer League (USL)

Musco was asked by **Improve Group** to produce a lighting study for the New Mexico United USL Stadium. Upon reviewing the 3D model of the site, Musco has concluded that using the West and South structures along with poles on the North and East sides of the pitch will produce a high-quality design that meets the intent of the USL Lighting Standards. This design also minimizes light pollution to the surrounding neighborhoods by utilizing a fixture with external glare shielding as well as internal optics. Musco has provided calculations showing the predicted spill light. Musco feels confident the vast majority of the light will be contained within the boundary of the stadium. The combination of the canopy on the West side along with the positive grade elevation on the East will also help minimize light spillage.

The basis of our design is very similar to that used for the Weidner Field, Home of the Colorado Switchbacks. This stadium is a soccer specific USL stadium located in downtown Colorado Springs, CO. Please see the attached images of Weidner Field for reference.

We trust this information meets your needs. If you have any questions regarding our design and/or products, please feel free to reach out.

Regards,

A handwritten signature in black ink that reads "Dan Allman".

Dan Allman
Key Accounts
Musco Lighting, LLC.
Ph# 1-800-825-6020 Ext 2872
dan.allman@musco.com

New Mexico United Stadium USL

Albuquerque, NM

Lighting System

Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
S1, S4	80'	80'	14	TLC-LED-1500	17.99 kW	A
S2-S3	80'	80'	11	TLC-LED-1500	13.76 kW	A
		80'	3	TLC-LED-1500	3.98 kW	B
S5-S6	--	49'	3	TLC-LED-1200	3.51 kW	A
		49'	2	TLC-LED-1200	2.34 kW	B
S7, S10	--	75'	12	TLC-LED-1500	16.17 kW	A
S8-S9	--	75'	8	TLC-LED-1500	11.03 kW	A
		75'	4	TLC-LED-1500	5.39 kW	B
S11-S12	80'	80'	3	TLC-LED-1500	4.23 kW	A
		80'	2	TLC-LED-1500	2.82 kW	B
12			124		162.44 kW	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Soccer	133.38 kW	102
B	EMG	29.06 kW	22

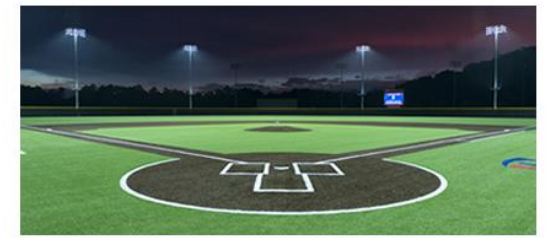
Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
TLC-LED-1200	LED 5700K - 75 CRI	1170W	150,000	>120,000	>120,000	>120,000	10
TLC-LED-1500	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	74
TLC-LED-1500	LED 5700K - 75 CRI	1160W	138,000	>120,000	>120,000	>120,000	40

Single Luminaire Amperage Draw Chart							
Driver (.90 min power factor)	Max Line Amperage Per Luminaire						
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Soccer_Game	End Camera 1	99.1	76	133	1.75	1.30	A,B	124
Soccer_Game	End Camera 2	99.9	71	133	1.87	1.41	A,B	124
Soccer_Game	Glare Rating	43.9	41	48	1.19	1.07	A,B	124
Soccer_Game	Horizontal Illuminance	144	132	166	1.26	1.09	A,B	124
Soccer_Game	Main Camera	132	103	159	1.55	1.28	A,B	124
Soccer_Game	Reverse Main Camera	129	98	157	1.60	1.31	A,B	124

From Hometown to Professional



NOTES:

- Geometry accounted for:
 - Seating Bowl
 - West Canopy (assumed it has a solid back wall)
 - South Canopy (did not include a solid back wall)
 - Scoreboard

Camera locations were estimated.

To achieve the requested 80 ft mounting heights for poles S11 and S12, an 80 ft pole is shown. If there is significant elevation increase at these locations with respect to the field, the pole height may need to be reduced to result in 80 ft mounting height above the field.



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EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	80'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_Game
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

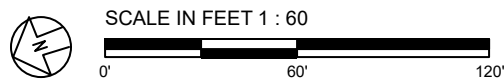
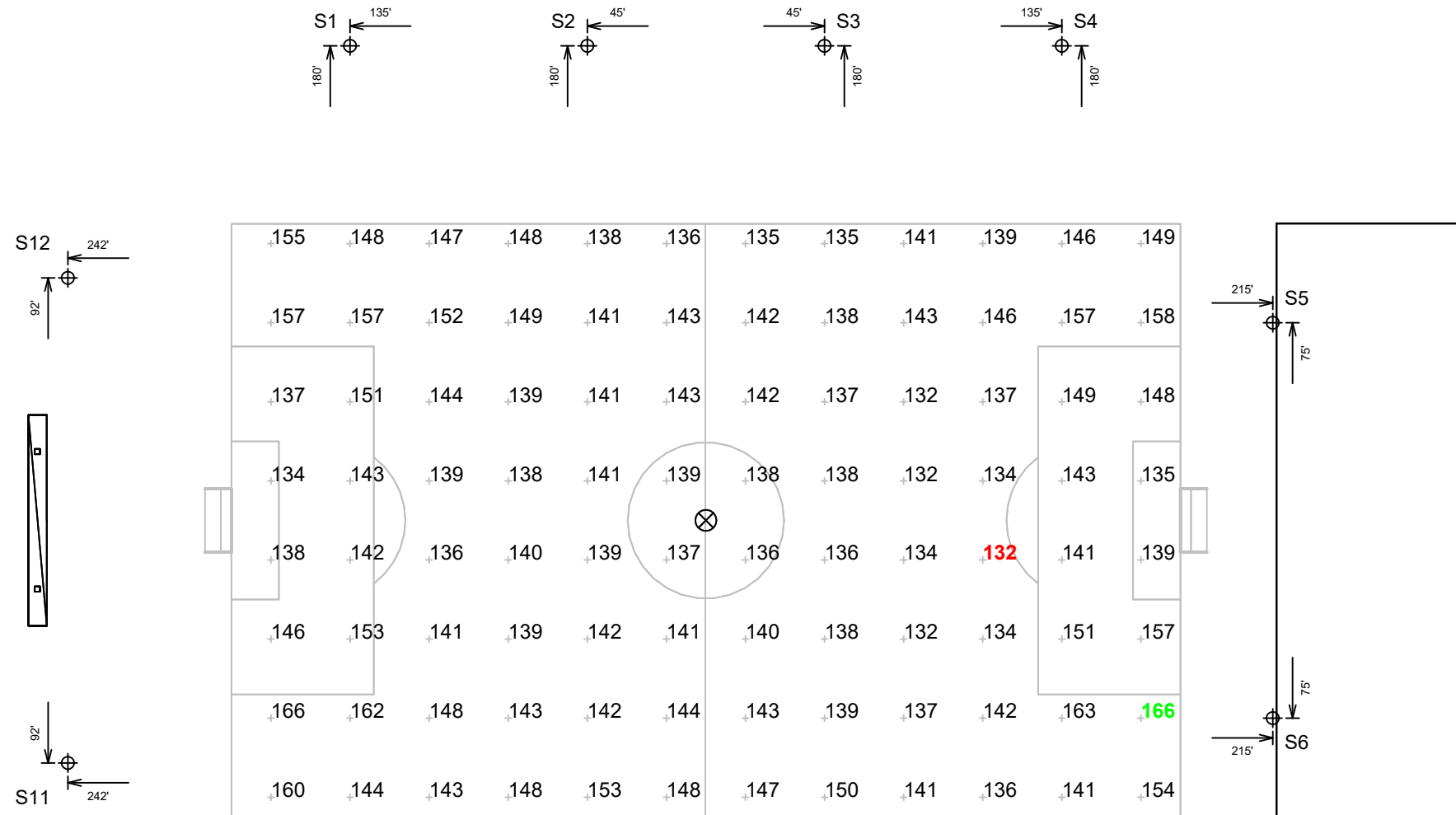
ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average:	120
Scan Average:	143.51
Maximum:	166
Minimum:	132
Avg / Min:	1.09
Guaranteed Max / Min:	1.5
Max / Min:	1.26
UG (adjacent pts):	1.15
CU:	0.63
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗



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EQUIPMENT LIST FOR AREAS SHOWN

Pole		Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	80'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_Game
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

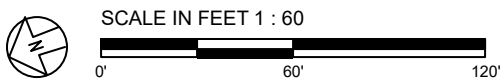
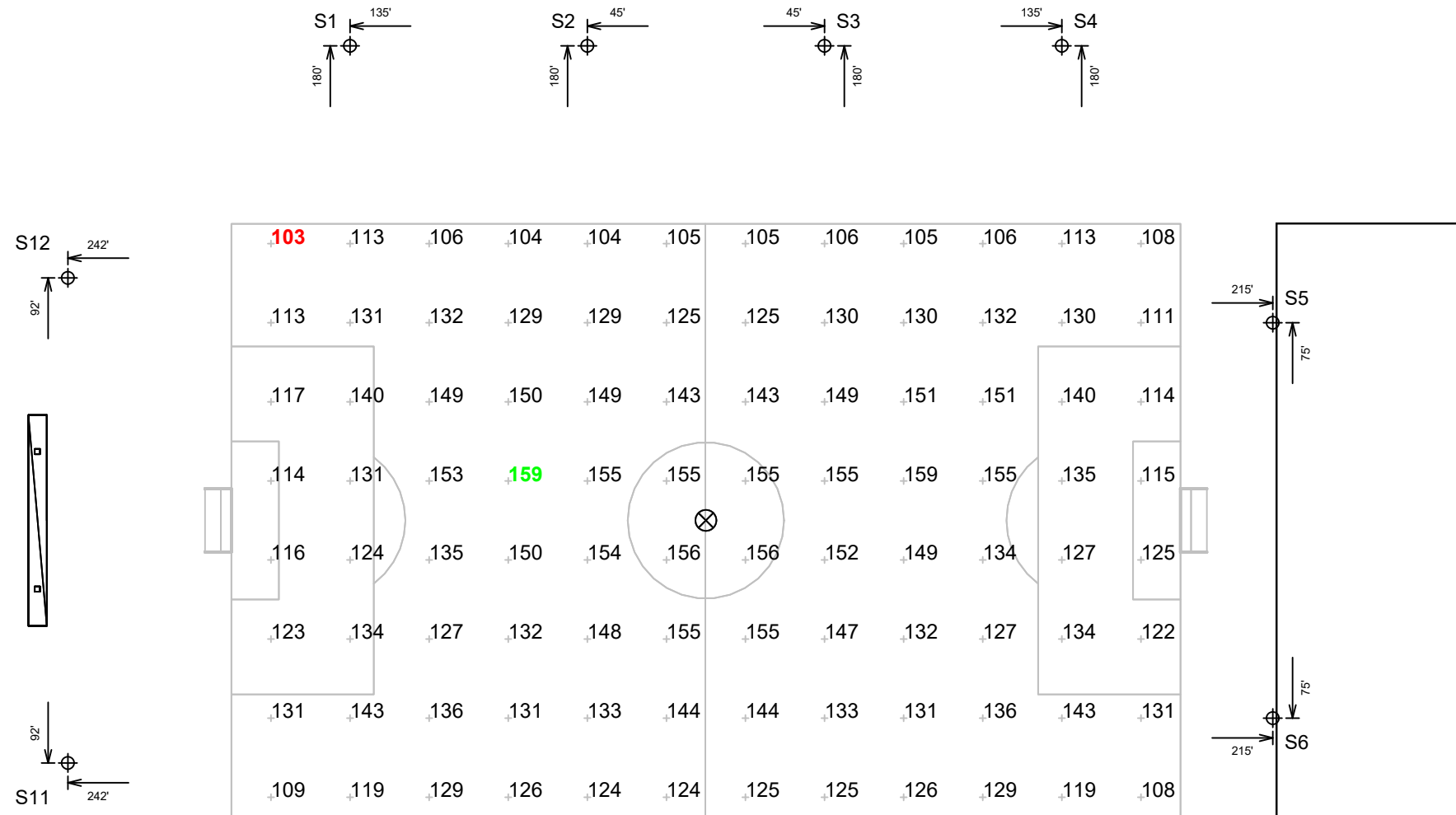
ILLUMINATION SUMMARY	
MAINTAINED TV FOOTCANDLES: Main Camera	
Entire Grid	
Guaranteed Average:	120
Scan Average:	131.71
Maximum:	159
Minimum:	103
Avg / Min:	1.28
Guaranteed Max / Min:	1.7
Max / Min:	1.55
UG (adjacent pts):	1.25
CU:	0.63
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: J.Seda · File #229428C1 · 15-Aug-23

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN

Pole		Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	80'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_Game
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

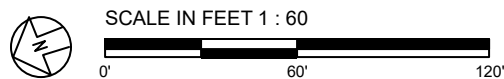
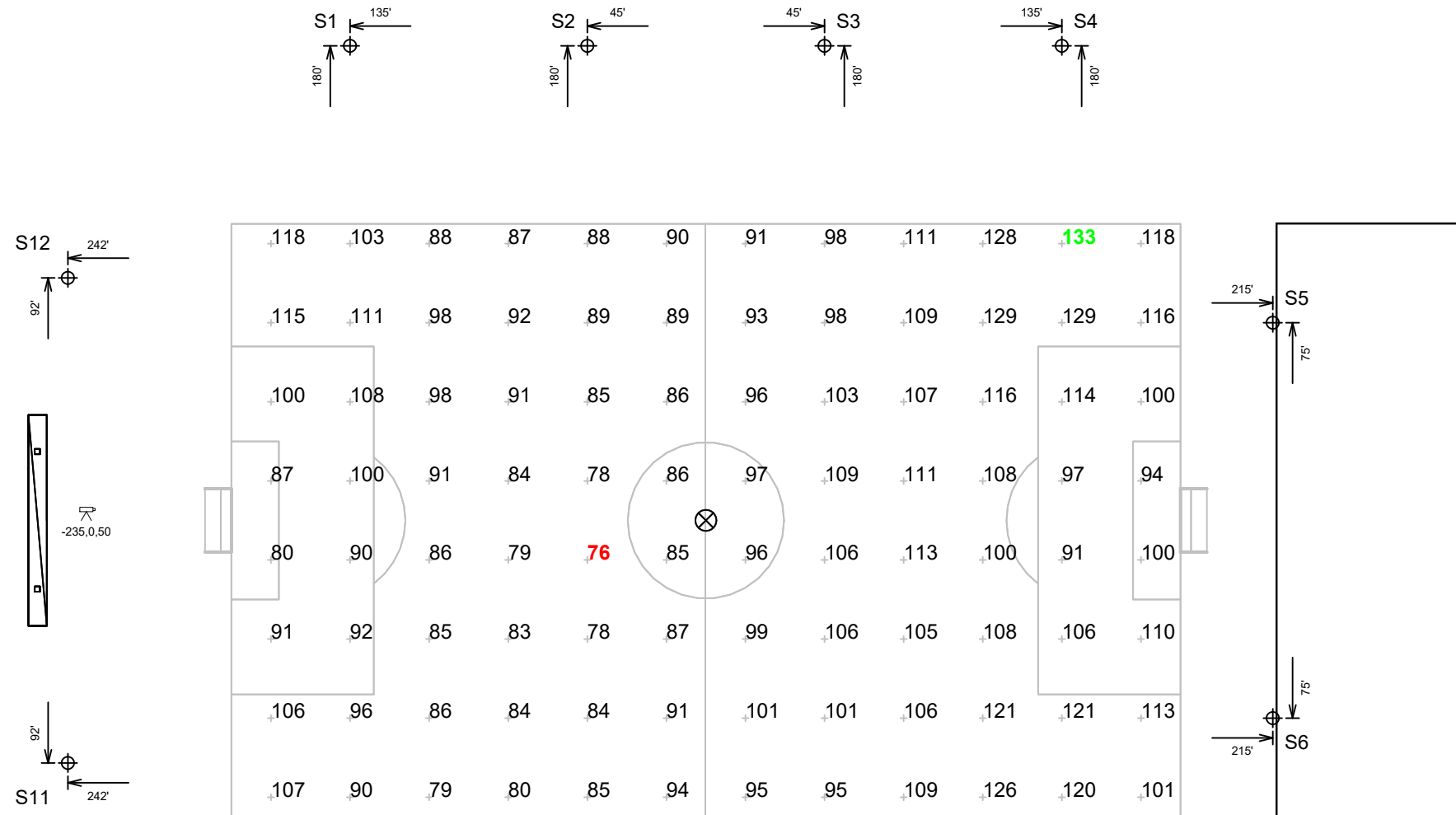
ILLUMINATION SUMMARY	
MAINTAINED TV FOOTCANDLES: End Camera 1	
Entire Grid	
Guaranteed Average:	80
Scan Average:	99.09
Maximum:	133
Minimum:	76
Avg / Min:	1.31
Guaranteed Max / Min:	2
Max / Min:	1.75
UG (adjacent pts):	1.20
CU:	0.63
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: J.Seda · File #229428C1 · 15-Aug-23

Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗



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ILLUMINATION SUMMARY

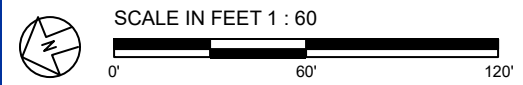
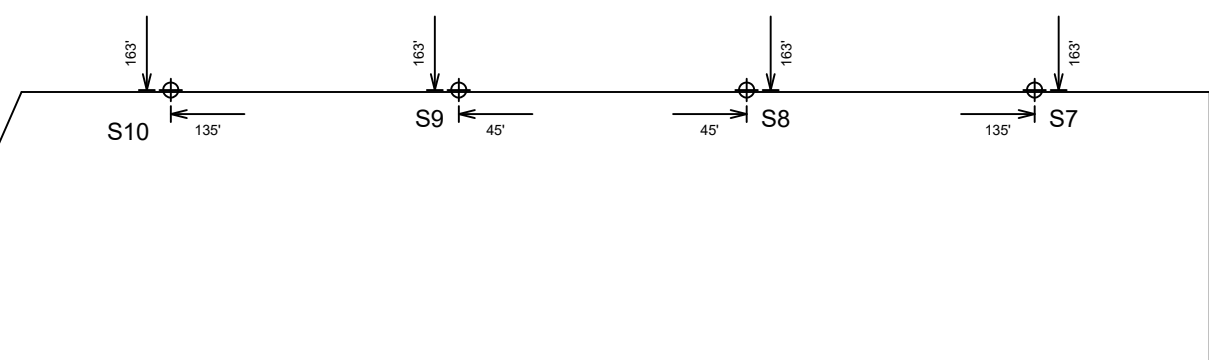
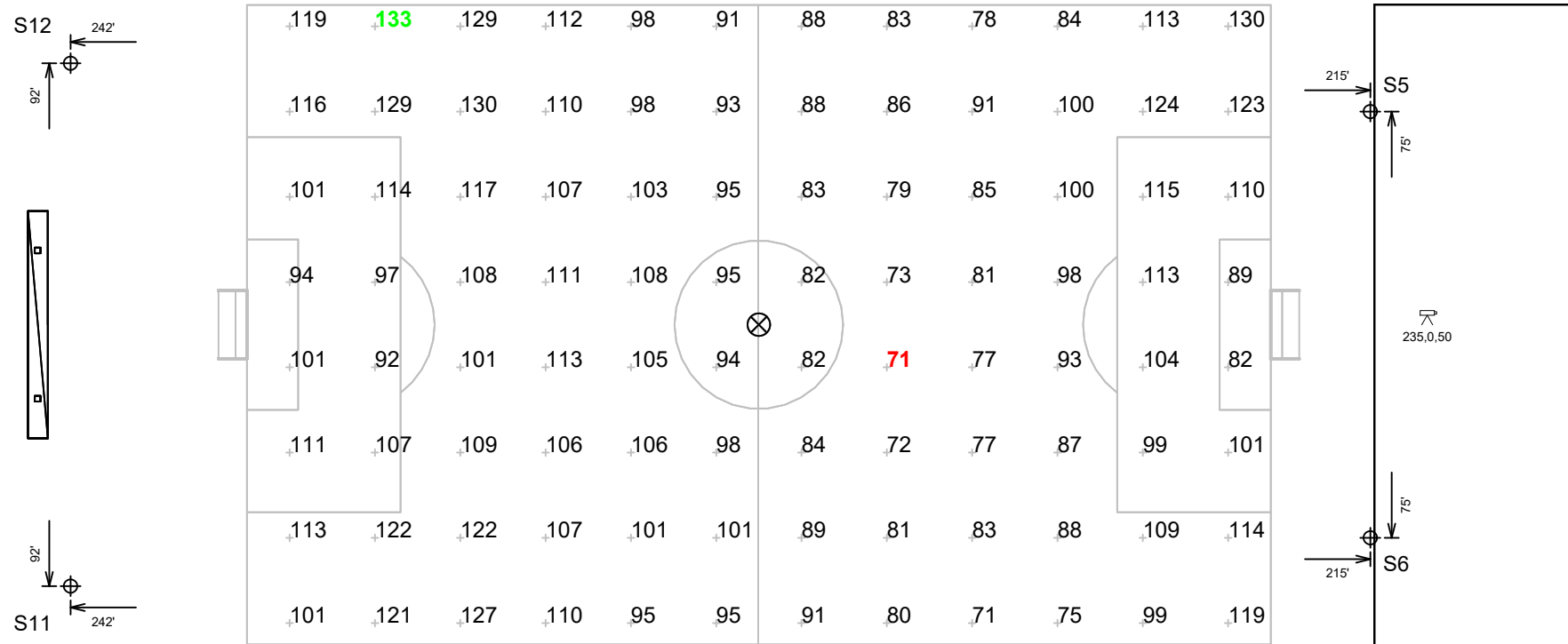
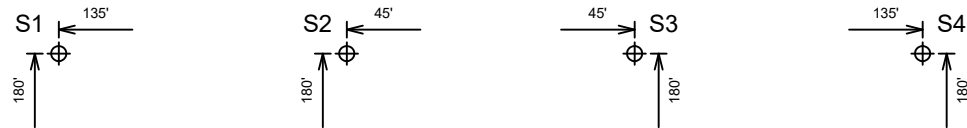
EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	80'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_Game
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED TV FOOTCANDLES: End Camera 2	
Entire Grid	
Guaranteed Average:	80
Scan Average:	99.85
Maximum:	133
Minimum:	71
Avg / Min:	1.41
Guaranteed Max / Min:	2
Max / Min:	1.87
UG (adjacent pts):	1.34
CU:	0.63
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

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Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	80'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_Game
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

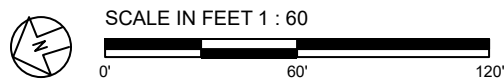
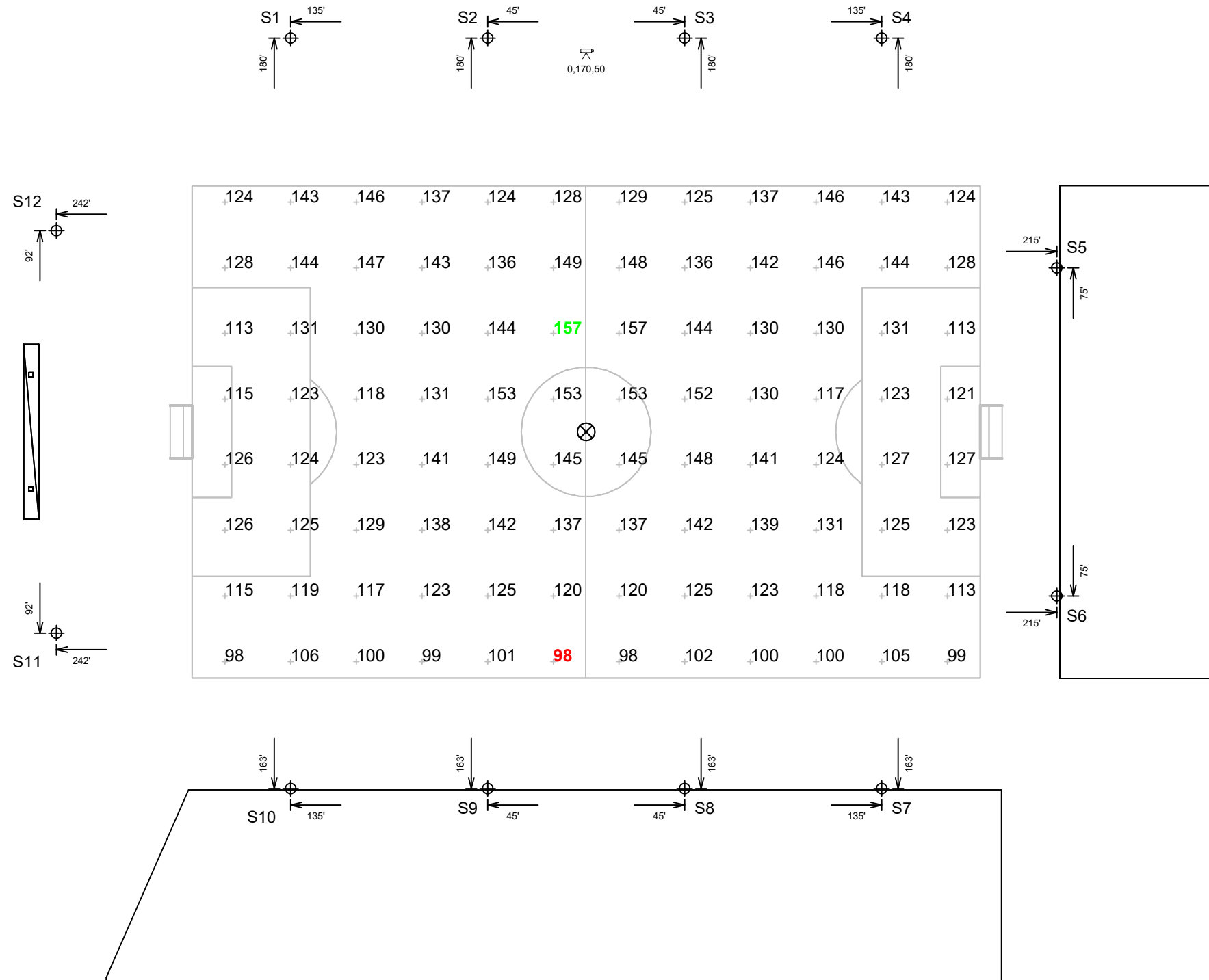
ILLUMINATION SUMMARY	
MAINTAINED TV FOOTCANDLES: Reverse Main Camera	
Entire Grid	
Guaranteed Average:	120
Scan Average:	128.63
Maximum:	157
Minimum:	98
Avg / Min:	1.31
Guaranteed Max / Min:	1.7
Max / Min:	1.60
UG (adjacent pts):	1.24
CU:	0.63
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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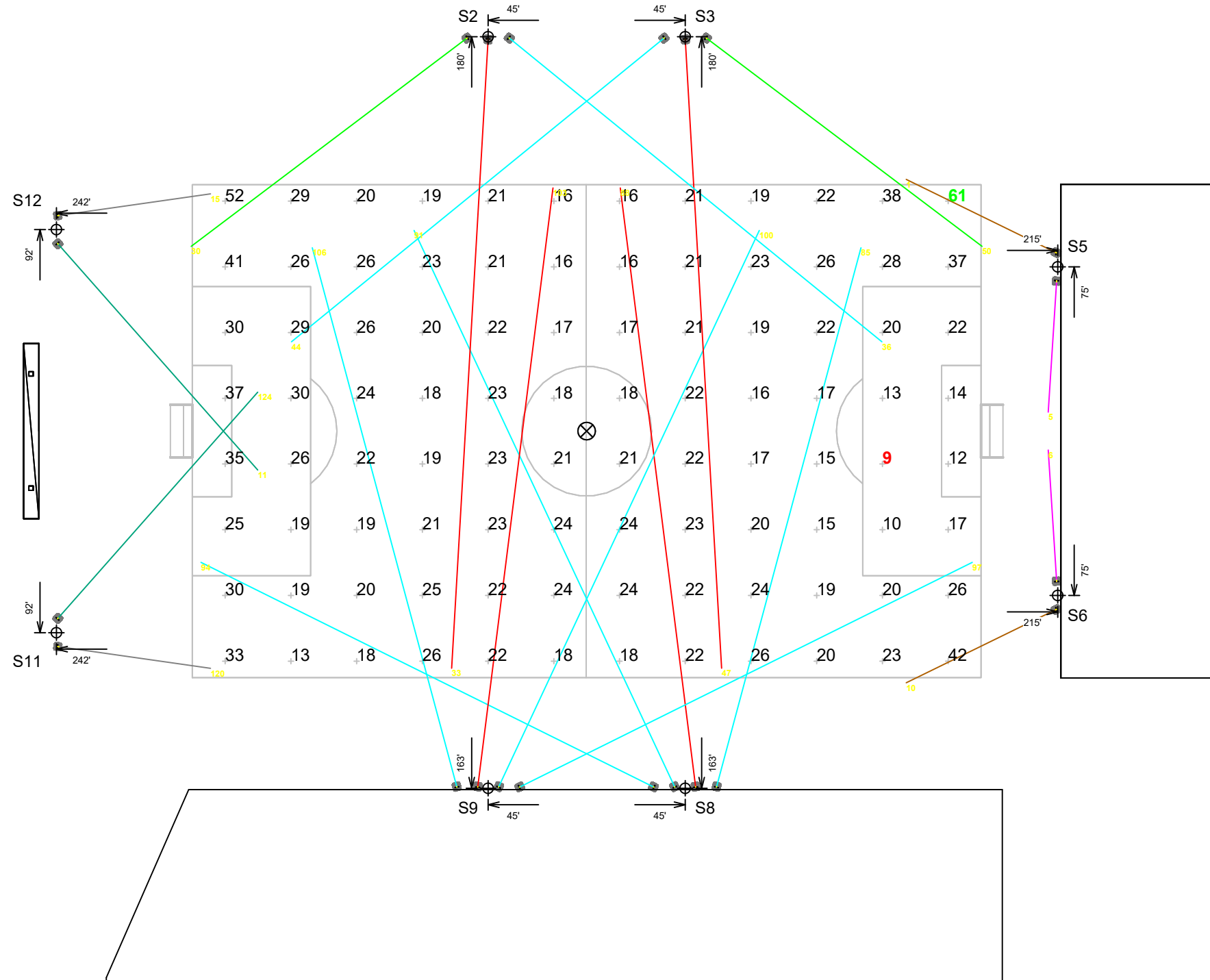
EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
2	S2-S3	80'	20'	100'	TLC-LED-1500	14	3	11
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	2	3
2	S8-S9	80'	75'	75'	TLC-LED-1500	12	4	8
2	S11-S12	80'	-	80'	TLC-LED-1500	5	2	3
8	TOTALS					72	22	50

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Soccer_EMG
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	22.84
Maximum:	61
Minimum:	9
Avg / Min:	2.65
Max / Min:	7.03
UG (adjacent pts):	2.48
CU:	0.55
No. of Points:	96
LUMINAIRE INFORMATION	
Applied Circuits:	B
No. of Luminaires:	22
Total Load:	29.06 kW

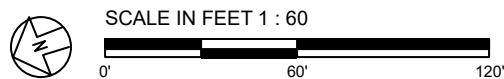


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Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: J.Seda · File #229428C1 · 15-Aug-23

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ILLUMINATION SUMMARY

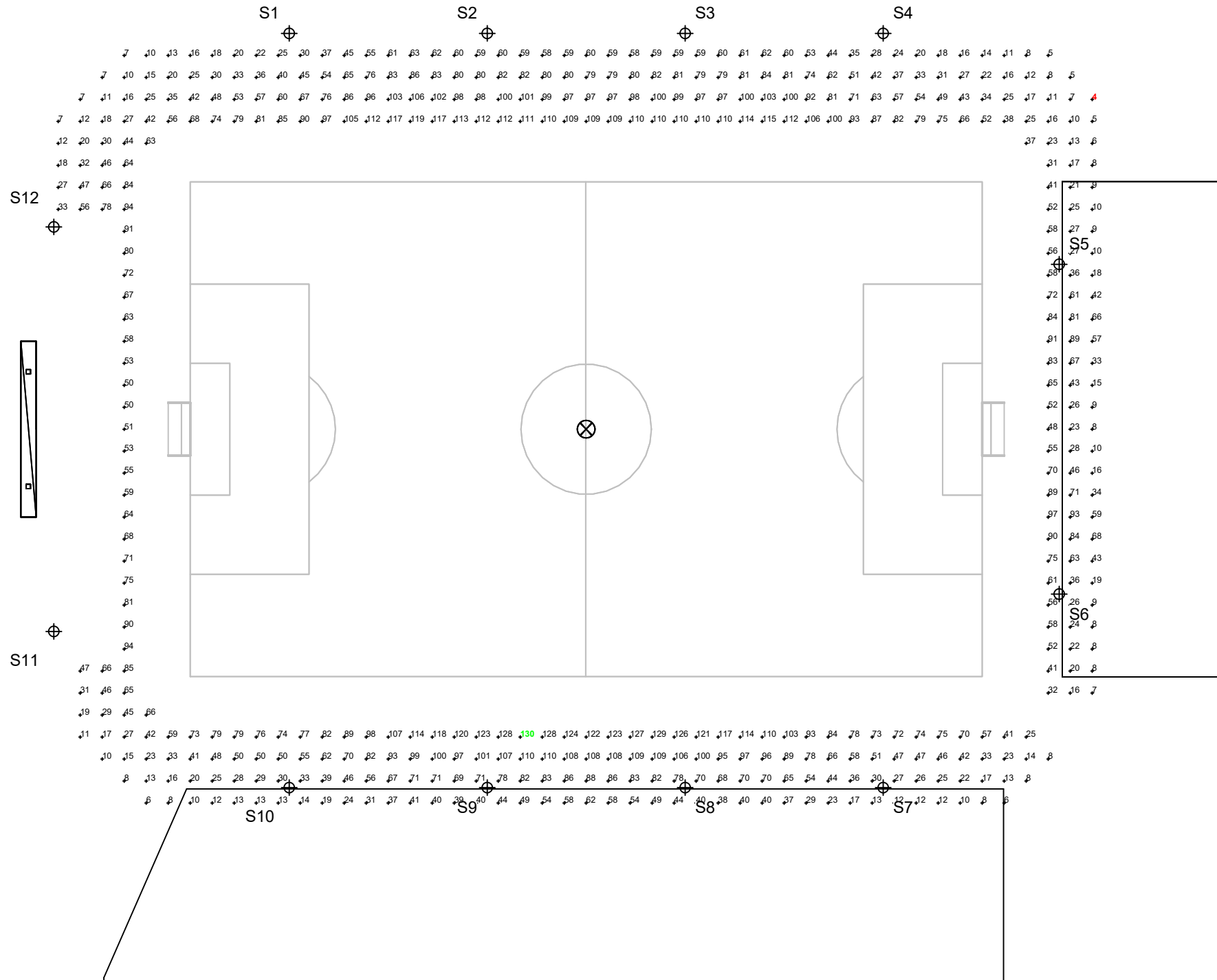
EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20'	100'	TLC-LED-1500	14	14	0
2	S5-S6	49'	49'	49'	TLC-LED-1200	5	5	0
4	S7-S10	75'	75'	75'	TLC-LED-1500	12	12	0
2	S11-S12	80'	-	80'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Seating_Game
Spacing:	10.0' x 10.0'
Height:	21.7' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	57.18
Maximum:	130
Minimum:	4
Avg / Min:	13.95
Max / Min:	31.75
UG (adjacent pts):	0.00
CU:	0.14
No. of Points:	479
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

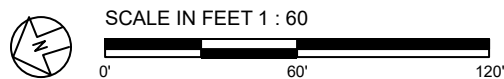


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ILLUMINATION SUMMARY

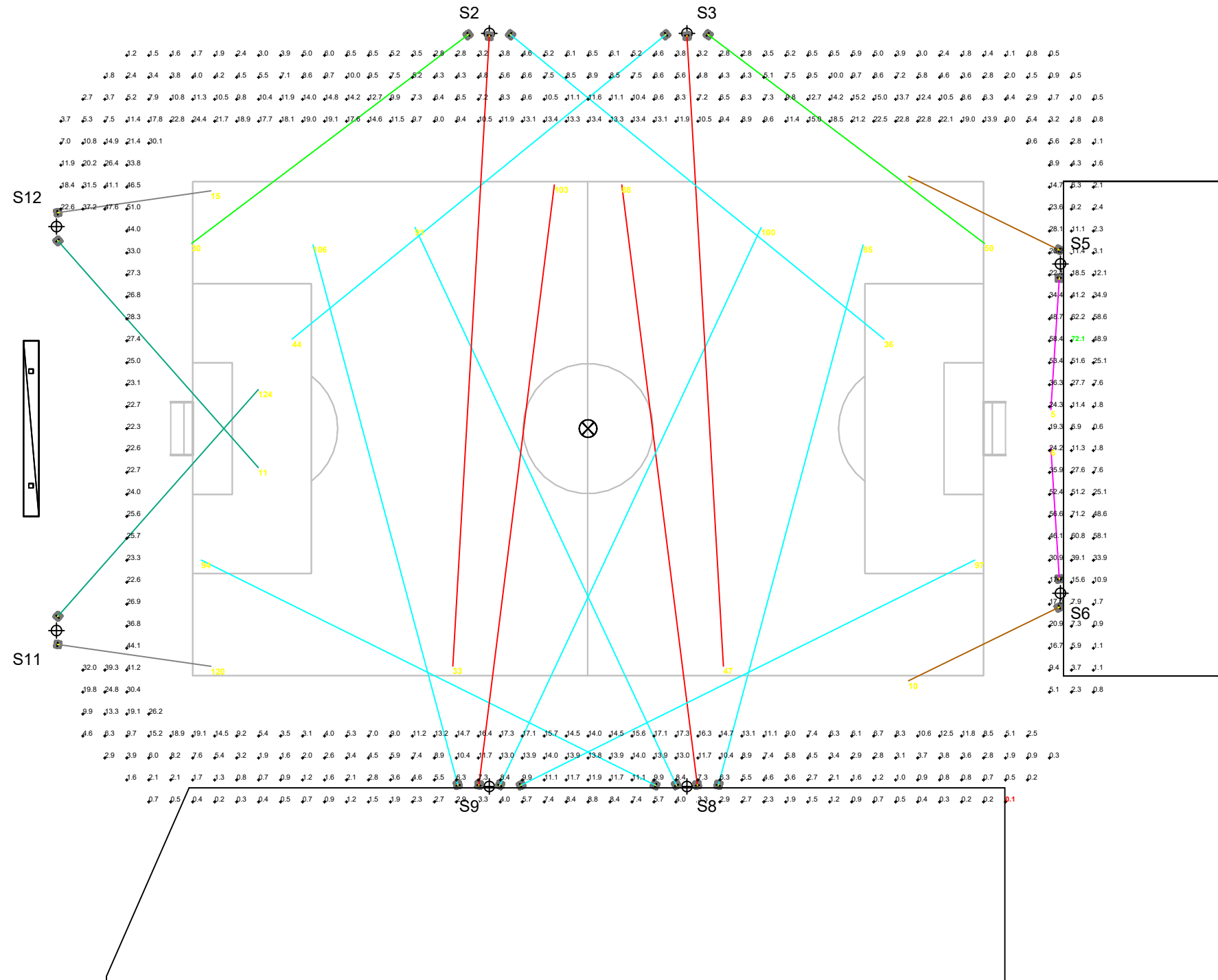
EQUIPMENT LIST FOR AREAS SHOWN

Pole		Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
2	S2-S3	80'	20'	100'	TLC-LED-1500	14	3	11
2	S5-S6	80'	49'	49'	TLC-LED-1200	5	2	3
2	S8-S9	80'	75'	75'	TLC-LED-1500	12	4	8
2	S11-S12	80'	-	80'	TLC-LED-1500	5	2	3
8	TOTALS					72	22	50

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Seating_EMG
Spacing:	10.0' x 10.0'
Height:	21.7' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	11.73
Maximum:	72
Minimum:	0
Avg / Min:	83.96
Max / Min:	516.14
UG (adjacent pts):	0.00
CU:	0.16
No. of Points:	479
LUMINAIRE INFORMATION	
Applied Circuits:	B
No. of Luminaires:	22
Total Load:	29.06 kW

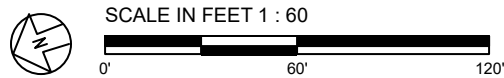


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⚡ dimensions are relative to 0,0 reference point(s) ⊗



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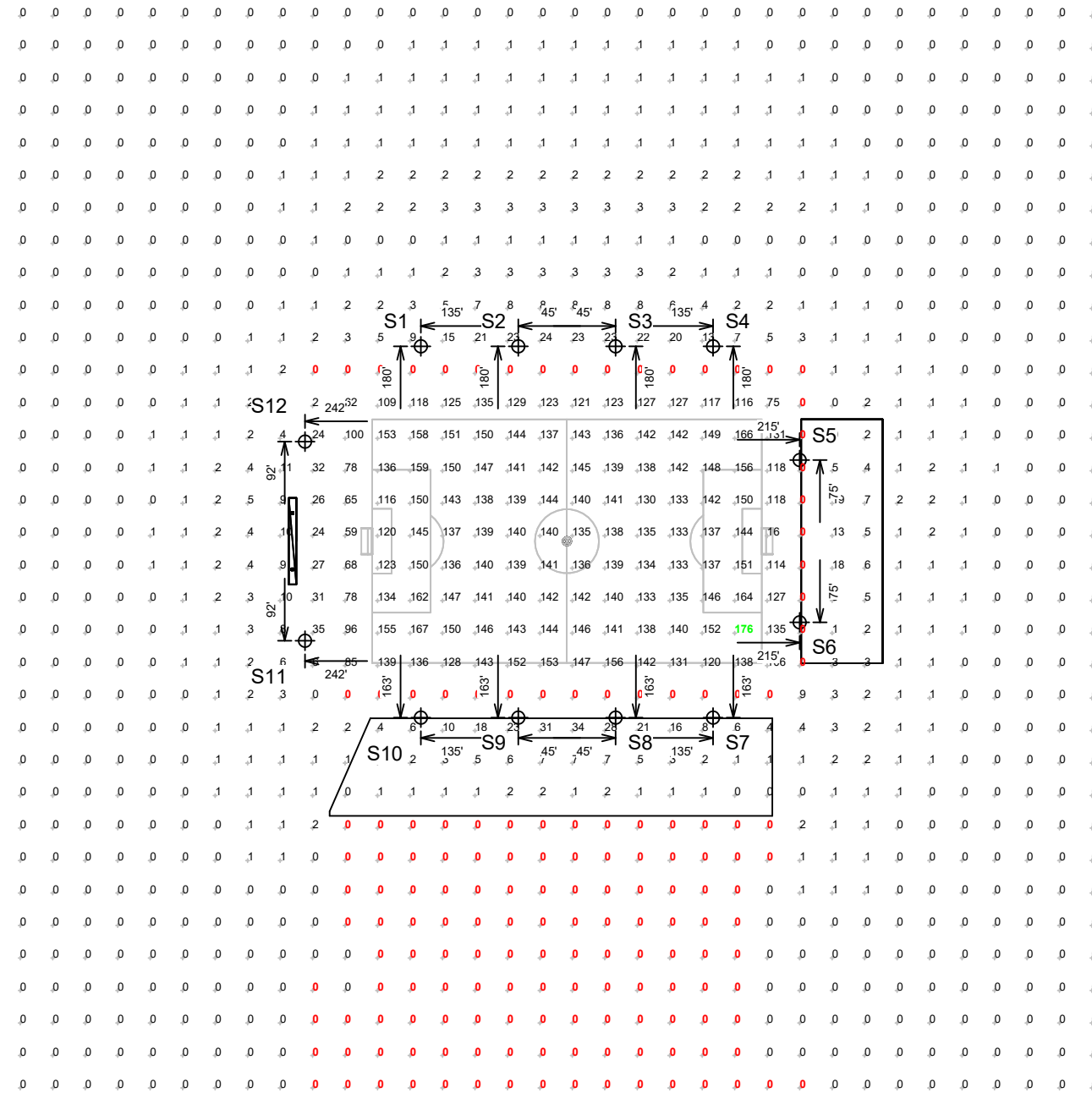
EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
4	S1-S4	80'	20.1'	100.1'	TLC-LED-1500	14	14	0	
2	S5-S6		49.1'	49.1'	TLC-LED-1200	5	5	0	
4	S7-S10		75.1'	75.1'	TLC-LED-1500	12	12	0	
2	S11-S12	80'	.1'	80.1'	TLC-LED-1500	5	5	0	
12	TOTALS						124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Blanket Grid_Game_Field Level
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	15.70
Maximum:	176
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	8551.42
CU:	0.83
No. of Points:	1156
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

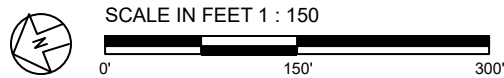


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Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



ENGINEERED DESIGN By: J.Seda · File #229428C1 · 15-Aug-23

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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ILLUMINATION SUMMARY

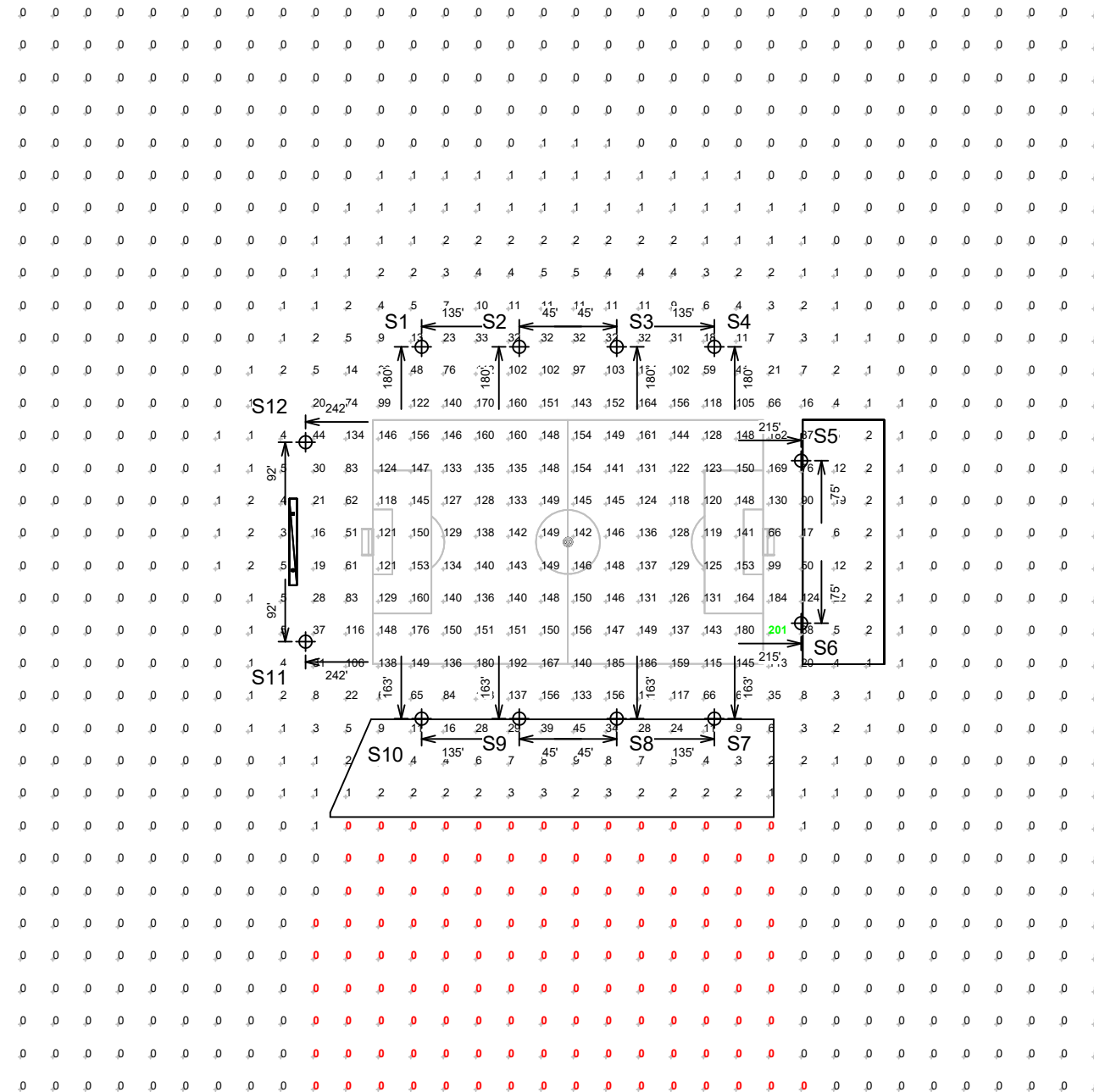
EQUIPMENT LIST FOR AREAS SHOWN

Pole			Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
4	S1-S4	80'	20.1'	100.1'	TLC-LED-1500	14	14	0	
2	S5-S6		49.1'	49.1'	TLC-LED-1200	5	5	0	
4	S7-S10		75.1'	75.1'	TLC-LED-1500	12	12	0	
2	S11-S12	80'	.1'	80.1'	TLC-LED-1500	5	5	0	
12	TOTALS						124	124	0

New Mexico United Stadium USL
Albuquerque, NM

GRID SUMMARY	
Name:	Blanket Grid_Game_20 Feet
Spacing:	30.0' x 30.0'
Height:	20.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	18.82
Maximum:	201
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	28.09
CU:	0.99
No. of Points:	1156
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

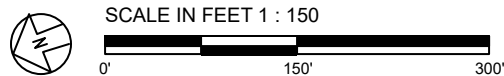


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Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

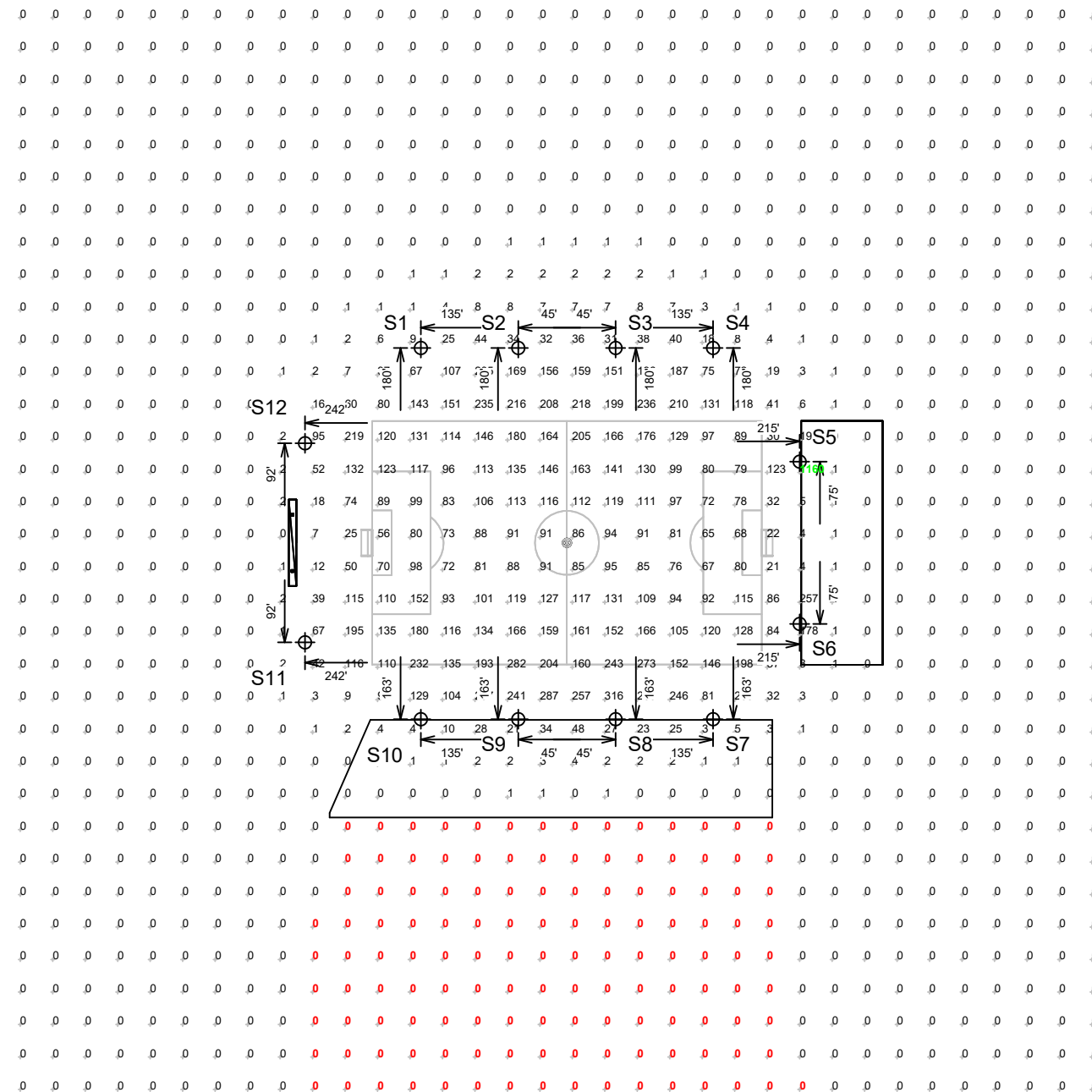
EQUIPMENT LIST FOR AREAS SHOWN								
Pole			Luminaires					
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
4	S1-S4	80'	20.1'	100.1'	TLC-LED-1500	14	14	0
2	S5-S6		49.1'	49.1'	TLC-LED-1200	5	5	0
4	S7-S10		75.1'	75.1'	TLC-LED-1500	12	12	0
2	S11-S12	80'	.1'	80.1'	TLC-LED-1500	5	5	0
12	TOTALS					124	124	0

New Mexico United Stadium USL

Albuquerque, NM

GRID SUMMARY	
Name:	Blanket Grid_Game_40 Feet
Spacing:	30.0' x 30.0'
Height:	40.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	19.19
Maximum:	1160
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	1834.90
CU:	1.00
No. of Points:	1156
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	124
Total Load:	162.44 kW

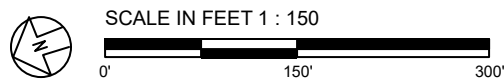


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Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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EQUIPMENT LAYOUT

INCLUDES:

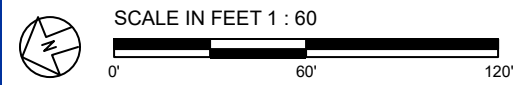
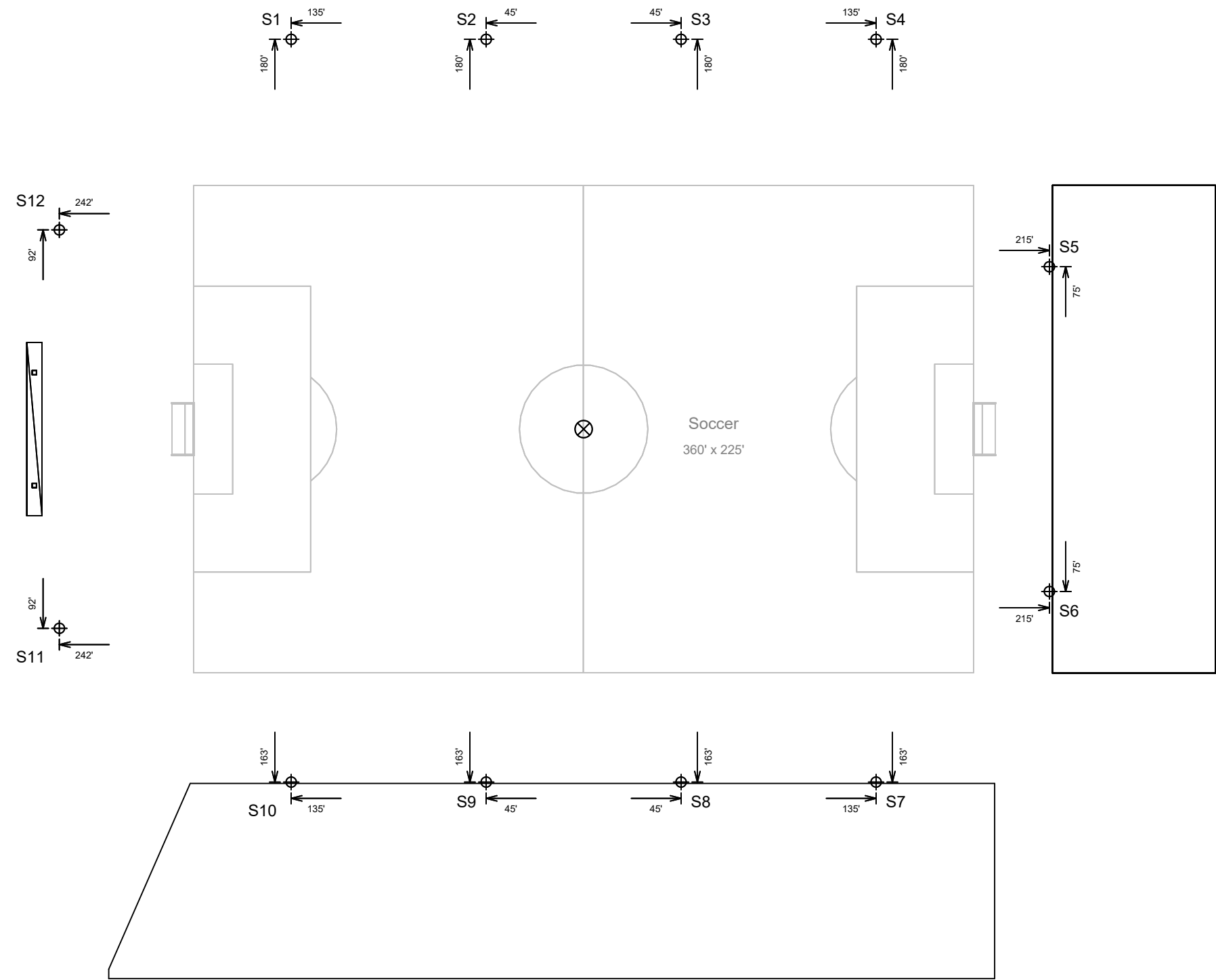
- Blanket Grid
- Soccer

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

SINGLE LUMINAIRE AMPERAGE DRAW CHART

Driver (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



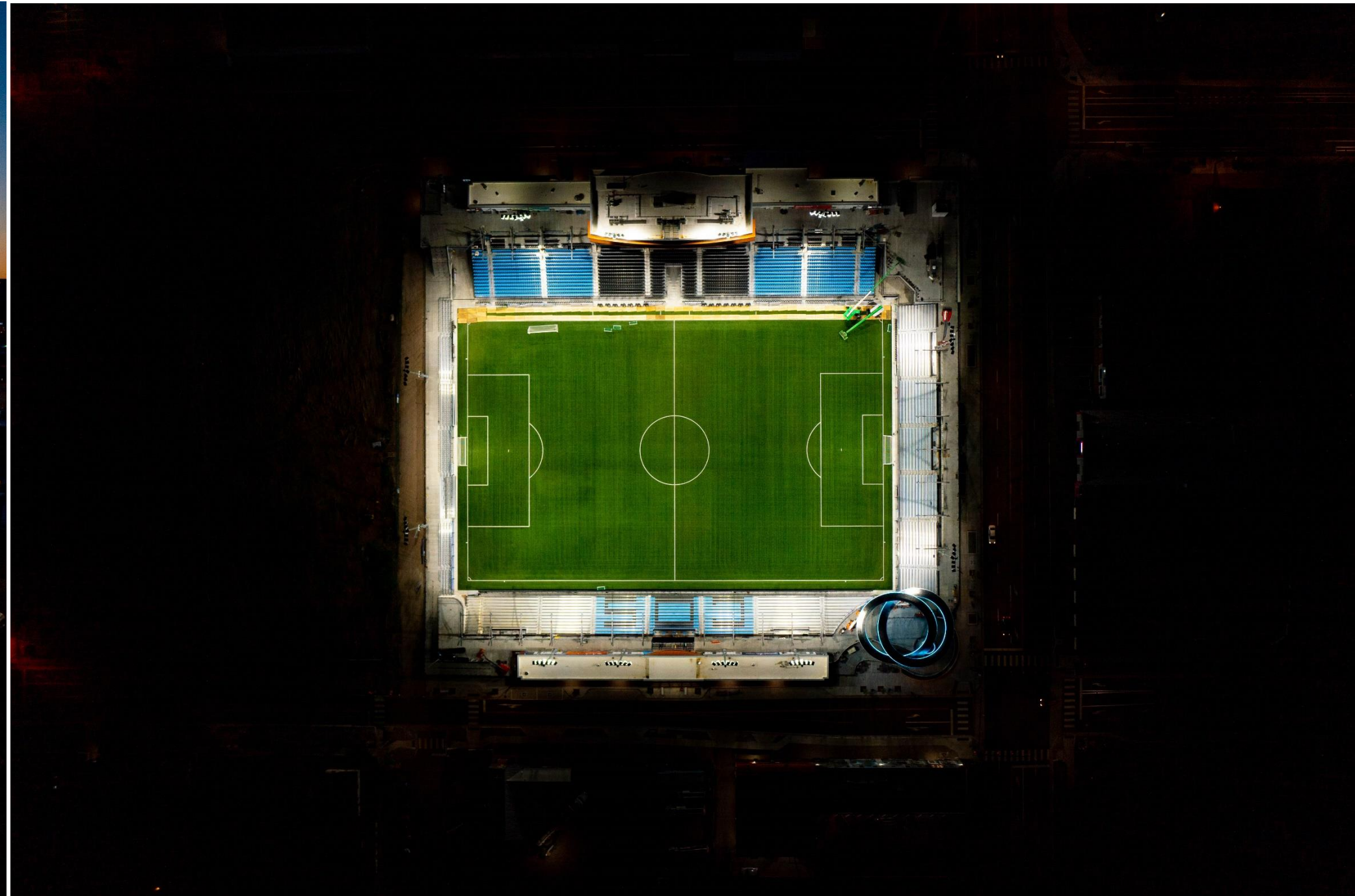
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Lighting Precedent



Weidner Field, Colorado Springs





Memorandum

To: Silvia Bolivar

From: Jacqueline Fishman, AICP, Principal

Date: November 1, 2023

Re: **Balloon Fiesta Park / United Soccer Stadium**

This memo is intended to summarize two meetings – one that was held on October 20, 2023, at Balloon Fiesta Park and the other on October 22, 2023. The October 20th meeting included Dave Simon (Director, Parks and Recreation Department), Jared Winchester (Project Architect), and several members of the Governor’s Commission on Disability (Stan Ross (Director), Lisa McNiven (Deputy Director), Jeminie Shell (Disability Specialist), and another staff member.

October 20th Meeting: The Project Team gave an overview of the project, entitlement process, and specific design elements of concern for people with disabilities. The intent of the project is to be inclusive and provide a higher level of accessibility than what is currently provided at Balloon Fiesta Park and for the proposed multi-use stadium.

Jared explained the accessibility both within the stadium and accessible paths being created around the perimeter of the stadium to connect the top and bottom of the escarpment. Parking areas and locations of accessible parking spaces were discussed. The group viewed the design approach for accessibility and site layout very positively. They asked that we also consider the additional features within the design, including spaces for people with service animals, sensory rooms for people on the autism spectrum, and adult changing rooms within the restroom facilities. They also expressed interest in the Project Team meeting again in the future once the design is developed in greater detail to get additional feedback.

Jackie Fishman offered to send everyone the link to the Site Plan so they can review and provide additional input.

October 22nd Meeting: Three Project Team members, including Matt Proctor (Improve Group) and Ron Patel and David Wiese-Carl (NM United) were informed of this meeting from a neighbor. The meeting was organized by people from the North Alameda neighborhood and there were representatives from Wildflower and other neighborhoods. There were approximately 30 people in attendance. Presentations were made primarily by Pat Houser and Larry Taylor from the Maria Diers neighborhood. After the presentation(s), the Project Team made themselves available to answer any questions, which mostly centered around traffic, light, sound, and other comments about engagement from the City. The attendees were made aware of the upcoming Wildflower neighborhood meeting on November 2nd.

STAFF INFORMATION

October 23, 2023

TO: Jacqueline Fishman, AICP
Principal
Consensus Planning

FROM: Silvia Bolivar, PLA, ASLA/ *SB*
Senior Planner
City of Albuquerque Planning Department

RE: Project Memo – November 16, 2023 EPC Hearing
PROJECT #2023-009363/SI-2023-01638/SI-2023-01635
Amendment to the Balloon Fiesta Park Master Development Plan/Site Plan for
Subdivision/Site Plan - EPC

I have completed the initial review of the application, including the project letter for the Amendment to the Balloon Fiesta Park Master Development Plan/Site Plan for Subdivision/Site Plan-EPC in order to allow for the addition of a Multi-Use Stadium on 7 acres at Balloon Fiesta Park. After review of the application material including the justification letter, the following comments are provided and changes or additions requested.

1. Introduction

- A. The legal description for the subject site must be combined and will be listed as follows: “all or a portion of Tracts A-1 through G-1, Plat of Tracts A-1 through H-1, I-1-A & I-2-A, Tract I-A-A Plat of Tracts A-1 through H-1, I-1-A & I-2A, and a fraction of Lot 2, located in NE ¼ NE ¼ Sec 11, 11N, R3E, a/k/a Tracts F & G Heirs of Filiberto Gurule Tract, located at Balloon Fiesta Park, between Paseo del Norte NE and Roy Avenue NE, approximately 368 acres, (B-17-Z, C-16-Z & C-17-Z).
- B. I have the applicants listed as the City of Albuquerque/New Mexico United Soccer.
- C. The subject site is zoned NR-PO-A and within the boundaries of the North I-25 (CPO-10).

2. Process

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

B. Timelines and EPC calendar: EPC Public Hearing is scheduled for Thursday, November 16, 2023. Final staff reports will be posted on Thursday, November 9, 2023 as Friday, November 10th is a holiday.

C. Once Agency comments are distributed I will email you a copy and will forward any late comments to you.

3. Notification & Neighborhood Issues

Notification requirements for a Site Plan-EPC/Amendment to Master Development Plans are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 409). The required notification consists of: 1) an emailed letter to neighborhood representatives indicated by the ONC, and ii) a mailed letter (first-class) to property owners within 100 feet of the subject site.

A. The pre-submittal neighborhood meeting notification required pursuant to 14-16-6-4(C) appears to be correct and complete. The pre-submittal facilitated meeting was held on September 9, 2023 via Google Meet. The District 4 Coalition, North Valley Coalition, Highlands North NA, Alameda North Valley Association, Nor Este NA, Vineyard Estates NA, Wildflower NA, and the west Old Town NA were invited to the meeting.

B. Notification requirements for the property owners within 100 feet of the subject site are correct and complete. A total of 56 property owners were required to be notified.

C. Notification requirements sent to the neighborhood representatives are correct and complete. The required neighborhood associations include the District 4 Coalition of Neighborhood Associations, Wildflower Area NA, and the Alameda North Valley Association.

D. Have any neighborhood representatives/members of the public contacted you with comments since the submittal of the application?

4. Posted Sign

A. The posted sign requirements for the zone change are explained in Section 6-4(K)(4), Posted Sign, (IDO, pg. 4128). The applicant shall post at least 1 sign on each street abutting the property that is the subject of the application at a point clearly visible from the street. Please make sure that the signs are posted for at least 15 calendar days before the public meeting or hearing, and for the appeal period of 15 calendar days following any decision. By my calculation the signs should be posted from November 1, 2023 through December 1, 2023.

Once the signs have been posted, please forward a photograph of the posted signs in case they should disappear before the hearing.

5. Project Letter

- A. The project letter clearly explains that the project consists of three parts: amend the BFP master plan text, amend SPS in the BFP master plan, and a new Site-Plan EPC for the stadium.
- B. The Goals and policies for the request are appropriate. No revisions are required.

6. Supporting Documentation

A. Sensitive Lands Analysis

A sensitive lands analysis was performed only for the east escarpment as relayed by Jolene Wolfley on 10/3/2023.

B. Noise Impact Study

The noise impact study was prepared by Anthony James Partners (AJP) for the soccer stadium. Page 6 states that “the amplified sound within the stadium will not exceed the noise ordinance regulations between 7:00 am and 10:00 pm.

7. Site Plan Documentation

The following documents were included with the application packet and, after review, are in compliance.

- A. Site Plan
- B. Overall Landscape Plan
- C. Enlarged Landscape Plan – North
- D. Enlarged Landscape Plan – South
- E. Overall Utility Plan
- F. Overall Grading and Drainage Plans
- G. Enlarged Grading and Drainage Plans – North
- H. Enlarged Grading and Drainage Plans – South
- I. Exterior Elevations

Thank you for providing the above documents in a 24” x 36” format.

I will need detail sheets for the following items listed on Sheet 1 (Site Plan) & Sheet 9 (Building and Structure Elevations). The detail sheets might have already been prepared but not included with the application packet.

Sheet 1 – Site Plan

2. Vehicular Access Gate
3. Pedestrian Access Gate
6. Refuse Enclosure and containers per within walled/fenced service yard.

Sheet 9 – Building and Structure Elevations

10. Light poles
11. Monumental Stair/Steel Structure
15. Pedestrian Concourse Bridge (if available)
16. Vehicular Gate
18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels
19. Metal Guardrail System. Silver.

Detail sheet for any proposed signage.

8. Master Development Plan/Site Plan for Subdivision - Updates

- A. The BFP Master Plan – 2023 text amendments – complete.
- B. Illustrative site plan – updated – complete.

Thank you.

PRE-SUBMITTAL FACILITATED MEETING

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

Project #: Pre-submittal

Property Description/Address: Balloon Fiesta Park at Alameda and Balloon Museum Drive NE

Date Submitted: 11 September 2023

Submitted By: Philip Crump

Meeting Date/Time: Saturday 9 September 2023

Meeting Location: Via Google Meet

Facilitator: Philip Crump

Applicant/Agent: City of Albuquerque and New Mexico United Soccer/Consensus Planning

Neighborhood Associations/Interested Parties: District 4 Coalition, North Valley Coalition, Highlands North NA, Alameda North Valley Association, Nor Este NA, Vineyard Estates NA, Wildflower Area NA, West Old Town NA

Background/Meeting Summary:

This was a required pre-application facilitated meeting for public review and input regarding the 7000-seat New Mexico United soccer stadium proposed for construction in the Balloon Fiesta Park. The application submittal is to occur on 5 October 2023 and includes three elements for EPC decision—a) amendment to the existing Balloon Fiesta Park Master Development Plan, previously updated in 2012, b) approval of the Site Plan—EPC, and c) building and fixture height variances from the existing North I-25 Character Protection Overlay Zone (CPO)-10. The project has both public and private components—the stadium itself is to be privately funded, while infrastructure improvements to the park will be funded through city and state funds. Balloon Fiesta Park has been in operation since 1996, with continual growth of sports activities in addition to the annual Balloon Fiesta. The City has previously stated interest in partnership with New Mexico United.

New Mexico United is in its fifth year as a franchise in the 24-team United Soccer League. To date, they have played league games in Isotopes Stadium, which they recognize is not sustainable either for soccer teams or baseball teams. Having sought locations elsewhere, they believe this location best serves their needs as well as the community's. The stadium will be available for other events, subject to regulation by the Parks and Recreation Department. In addition to the soccer field and stands, the stadium will provide a public-access toilet and concession facility as well as a viewing area during Balloon Fiesta. Designers of the stadium are taking into account the need for contained lighting and noise from night games and other activities. Traffic control—a major concern of nearby neighbors—will be provided by New Mexico United in conjunction with APD.

Infrastructure improvements for the larger area include burying low-voltage power lines, re-grading of existing parking areas and development of new parking areas. These improvements will be funded by a combination of state capital improvement funds and City capital funds. There is to be no direct taxpayer impact from the entire project.

Participants presented a variety of detailed questions and comments, exploring the finances, operation and impacts of the project. There were concerns about the separation of public and private funds, impacts of traffic flow, regulation of activities under the “multi-use” umbrella, and terms of the lease under which the stadium would be developed and operated. Various members of the large planning team were able to respond to these items.

Several speakers expressed serious concerns regarding notification of this meeting (and other project meetings with public impact), which they said was inadequate. The planners said that the IDO notification rules were followed.

Several speakers expressed enthusiasm for the stadium; there were no comments in direct opposition.

Meeting Specifics:

- 1) **The proposed stadium for New Mexico United**
 - a) The team is in its fifth year as a professional team.
 - i) Games currently are played in Isotopes Stadium.
 - (1) That situation is not sustainable for either soccer or baseball.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

- b) Other locations have been investigated throughout the Albuquerque area.
 - i) A search for a location began three or four years ago and included downtown and the south and west sides of the city.
 - ii) A bond issue was voted down, with the mandate that no public funds be used for a new stadium.
 - (1) This proposed stadium will be built entirely with private funds.
 - iii) Balloon Park seems the most suitable location.
 - (1) Balloon Fiesta Park is set up to handle large volumes of traffic.
 - (a) The impact of NM United games on the traffic infrastructure will be far lower than any other uses.
 - (b) It will provide an enhanced viewing area for Balloon Fiesta.
 - (i) The west side of the stadium is designed to be a dual viewing space.
 - (ii) The NW corner public area also provides field viewing.
 - (iii) The stadium provides field viewing for police, for safety.
 - (2) The land for the stadium will be leased from the City.
- c) The stadium is to provide seating for 7,000 people.
 - i) The stadium is intended to be a multi-use facility--primarily for soccer, but other sports as well as other activities.
- d) The site plan shows publicly accessible year-round public toilets both at the SW and NW corners.
 - i) There also will be an open food hall at the NW corner.
 - ii) The area immediately west of the stadium will be a public commons area.
- e) An attendee asked the meaning of "multi-use" for the stadium.
 - i) The contemplated uses in the current plan for the stadium are not outside of the uses that are laid out for the Balloon Fiesta Park.
 - (1) The planner noted that the 2012 approved Master Development Plan talks about special event opportunities--soccer and rugby tournaments, bike races, wine and arts and crafts festivals, music events, car shows, civic events, et cetera.
 - (2) The Parks and Rec representative said that a lot of events are governed by the ordinances.
 - (a) They will further define those uses in the upcoming lease.
 - (b) Terms of the lease will likely guide, identify, and even constrain some of the uses.
 - (i) Those terms will define such things as traffic control and public safety criteria, all under the special event accommodations.
- f) The NM United representative said that New Mexico United is "...committed to improving the community, not burdening the community."
 - i) They have made efforts in five years to be not just an inclusive business but also to create opportunities for youth.
 - (1) The youth academy serves 15 to 19 year olds, who are able to go to national finals with family members, at no cost for travel or hotel.
- g) The stadium will be used only for soccer games, not practice.
 - i) The costs of games and any other activities in the stadium will be paid by NM United.

2) The application

- i) The Balloon Fiesta Park Master Development Plan was created in 1998 and updated in 2012.
 - (1) It states that the park is to provide "recreational, cultural, and educational opportunities to the local and statewide community..."
 - (2) The plan defines land uses, special events, and buildings.
 - (a) It allows an enclosed sports arena, while prohibiting an outdoor sports stadium.
 - (b) A "large outdoor performance area" requires EPC approval, as with any project greater than 10,000 square feet.
 - (i) Maximum seating was set at 8,000.
 - (3) The plan was developed with three major considerations:

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

- (a) Making improvements to the park that will also best serve the stadium,
- (b) Mitigating light, noise and traffic impacts on the surrounding areas, and
- (c) Ensuring what is best for NM United while partnering with the Balloon Fiesta.
- (4) The plan addresses lighting and noise performance standards.
 - (a) Studies of these areas has been completed for the current proposal.
- (5) The Master Plan addresses access and parking.
 - (a) The site Plan will address parking for the stadium.
 - (i) The traffic study for the stadium is currently ongoing.
- ii) The existing Site Development Plan adopted in 2012 will be updated.

3) Parking and Infrastructure

- a) The stadium footprint precludes use of the area for parking.
 - i) The loss of that area is mitigated by other parking improvements.
 - (1) The existing north parking area will be regraded and drainage improved.
 - (2) A new north parking area will be developed.
- b) Infrastructure improvements include burying some of the low-voltage power lines that are currently running along Magic Avenue.
 - i) This is intended to improve pedestrian access and experience coming into the park or stadium.
 - (1) The High-voltage lines cannot be buried.
- c) An important part of the infrastructure re-grading work will address the ongoing problems of runoff from the escarpment and drainage.

4) Noise and Lighting concerns

- a) The stadium will be bermed into the escarpment along the east and south sides, blocking sound as much as possible.
 - i) Existing neighborhoods are a half mile or more from the site.
 - ii) The noise study included measurement of the base ambient noise level on an early Wednesday evening.
 - (1) The peak game noise was calibrated at 90 decibels for a game and then used GPS and 3-D modeling to calculate the impacts.
 - (a) The calculated noise levels did not exceed those of normal conversation.
 - (b) The full study will be included in the final report submitted to the EPC.
 - (2) As part of the noise concern, all events are to cease by 10:00 pm.
 - (a) Games typically end at 9:00 pm.
- b) The technology for night lighting has significantly improved over the years.
 - i) The presentation included photographs of night lighting at a comparable stadium in Colorado Springs.
 - (1) Through use of wedge lighting that directs light only downward, 98% of the light was contained within the field.
 - (a) This stadium will use the same lighting consultant and the same downward-facing fixtures as Colorado Springs.
 - (2) The designers try to be sensitive, to ensure that light is contained.
 - (a) They also are making sure the stadium does not end up with light fixtures that are much taller than the power lines that are right next to the stadium.
 - (3) The outer edges of the stadium will contain low level lighting.
 - (a) It will completely fall within the existing requirements of the master development plan for pedestrian lighting.
- c) A resident of the area said he is, "...really excited for what I think would be a great addition to what's kind of underutilized park."

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

- i) He noted that games take place at 7:00 pm on Saturdays and so should not be a noise, light or traffic problem.
- ii) He also highlighted the lack of impact of the stadium on taxpayers

5) Traffic concerns

- a) A speaker emphasized that Alameda is a major thoroughfare to and from the northeast across the river. to the West side.
 - i) He noted that while almost every traffic study done for the recent developments show queuing problems, nothing has been addressed to address those.
 - (1) Those problems become greater during Balloon Fiesta and will occur during soccer events.
 - (a) A proposed overpass, for eastbound Alameda traffic going north to Santa Fe, was never implemented.
 - (2) He asks that these considerations be taken into account as the traffic study progresses.
 - ii) The NM United representative said that the anticipated maximum of 7500 attendees is about 5 % of the Fiesta crowd.
 - iii) The traffic engineer said they are using a large amount of data, including data for Fiesta and for soccer games.
 - (1) The traffic study is not yet complete.
- b) A speaker noted that Alameda transitions from city to county; he is concerned about coordination among city, county and state police for traffic control, which has been problematic at times.
 - i) The City representative said that the City has primary responsibility for traffic control in the area and coordinates with the county.
 - (1) For soccer games, NM United will also be involved with traffic control, to ensure that drivers do not enter adjacent neighborhoods.

6) Funding concerns

- a) An attendee said that he has concerns about the funding, that it may be co-mingling of public and private funds, in violation of the state constitution.
 - i) A City representative responded that the state capital outlay funds are defined and go through a legal process to use those funds.
 - (1) Audits and approval by the state occurs before any expenditure.
 - (a) “When we do our work orders, the state also looks to see if we're compliant with the intended use.”
 - ii) The speaker asked how the 24 USL stadiums were funded—public, private or a combination.
 - (1) The answer was that a variety of mechanisms have been used, from completely private to public/private partnerships.
 - iii) A planning team member said that there will be no co-mingling of funds from the standpoint of public dollars going into private bank accounts.
 - (1) There are clear guidelines about what the public funds can go for and what the private funds can go for.
 - (2) The public uses are only for infrastructure; the stadium itself is to be privately funded.
- b) A neighborhood representative asked whether there would be a required level of funds on hand before construction begins.
 - i) A planning team member said that the details will be laid out in the terms of the lease, which is not yet finished.
 - (1) It will define the level of financing and infrastructure sequencing.
 - ii) “If United doesn't come up with enough funds to complete the project is the city going to step in and say, you've met your 60% or whatever. We'll just go ahead and continue and build the stadium since we've come so far. Will that ever happen?”

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Balloon Fiesta Park Stadium

- (1) The NM United representative said that any part of the construction of the stadium has to come out of the team's pocket; the city is not on the hook for that.
- (2) Another said that it is unlikely to happen, per the terms of the lease and how it creates a separation of public and private.
- iii) The lease will be presented to City Council, to be publicly reviewed and processed prior to any groundbreaking.
- c) A question was posed about the amount of private and public funding required for the entire project.
 - i) NM United does not yet have a budget amount.
 - (1) USL stadiums have cost between 30 and 100 million dollars.
 - (a) The final budget will depend on the many factors taken into account during the design process.
 - (2) The City has 13 million dollars from state capital outlay on hand for the park infrastructure.

7) Advance questions for the facilitated meeting

- a) Is there going to be some kind of fencing between the Stadium and the launch field so that people can't wander onto the field or try to access any of the buildings at BFP?
 - i) Yes—there will be full perimeter fencing for the stadium.
 - (1) Additionally, the fencing will join existing Park boundary fencing.
 - (2) The planners are working with the Park to coordinate connections between the stadium and the field.
- b) Is the “New Parking Area” of 350 spaces going to be paved?
 - i) While the existing parking area will be graded and drainage improved, the topping surfaces for it and the new area has not yet been determined.
- c) Since United Soccer is co-applicant for this project, why are no representatives from that organization included in the notice for this Neighborhood meeting?
 - i) Ron Patel, the Chief Business Officer, is in the meeting.
- d) What is the proposed schedule of United games? Will any of them be conducted during the usual 11 days of the Balloon Fiesta? During the Freedom 4th celebration?
 - i) The 17 home games on a USL schedule go from March through October--about every other week, to about two or three matches a month.
 - (1) The team will work around events like Balloon Fiesta and coordinate with other Park activities.
- e) This isn't really going to be a completely “privately funded” project, is it? Aren't the taxpayers going to be on the hook for paying for the needed infrastructure to build this stadium?
 - i) The stadium itself is to be funded entirely by NM United.
 - ii) The infrastructure improvements will be funded entirely by proposed state capital outlay.
 - (1) These improvements, while benefitting the stadium, have been necessary; this project accelerates the timetable.
 - (a) Improvements that have been needed in the last 27 years would be completed years from now at the current pace.
- f) What is the projected cost of bringing water, electricity and any other needed utility into the Stadium area?
 - i) While budgets are still being developed, the estimate is that utility costs will be less than a million dollars.

8) Public involvement

- a) Notification--A County resident complained that he was not informed of this meeting, even after asking at a previous meeting that he be notified.
 - i) The lead planner said that they are following the Citi's IDO process for pre-application notification and facilitated meetings.

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

- (1) Their office contacts the Office of Neighborhood Coordination and show them what the project is and where it is located.
 - (a) ONC then provides the names and email addresses of people that need to be notified.
- ii) Another attendee complained that the notification process per the IDO is too narrow and inadequate (“terrible”) for the wider area, especially when master planning is involved.
 - (1) Legitimate neighborhood associations are left out of the process, leaving citizens uninformed about what is planned.
 - (2) “...when we did the [Master Plan]changes in 2012, it was a collaborative process; now the cart is before the horse with this process--it's already sounding like a done deal.”
 - (3) “A lot of people worked hard on making this park possible. They've been marginalized by the city of Albuquerque and with meetings...”
- b) Q: Will there be other public meetings?
 - i) The lead planner said that while they do not have any public meeting scheduled, they can certainly accommodate additional meetings.
 - (1) This is the pre-application meeting.
 - (2) When they submit the application on October 5th, all the affected recognized neighborhood associations will be notified.
 - (a) They will be happy to have subsequent public meetings.

Next Steps: Application will be submitted for EPC approval on 5 October 2023; notification will be sent to designated neighborhood groups and others.

EPC Application Hearing Details:

EPC Hearing scheduled for (3rd Thursday date—16 November 2023)

1. Hearing Time:
 - a. All meetings are currently held via Zoom: <https://cabq.zoom.us/j/2269592859>
 - b. The Commission will begin hearing applications at 8:30 a.m.
 - c. The actual time this application will be heard by the Commission will depend on the applicant’s position on the Commission’s schedule
2. Hearing Process:
 - a. Comments from facilitated meetings will go into a report which goes to the City Planner.
 - b. City Planner includes facilitator report in recommendations.
 - c. The Commission will make a decision and parties have 15 days to appeal the decision.
3. Resident Participation at Hearing:
 - a. Written comments must be received by (insert date—10 days prior) and may be sent to: (insert Name, phone, & email of Staff Planner when assigned), 600 2nd St., 3rd floor, Albuquerque, NM, 87102 OR, EPC Chair, c/o Planning Department, 600 2nd St., 3rd floor, Albuquerque, NM, 87102

Names & Affiliations of Attendees (and Additional Interested Parties):

Ron Patel	New Mexico United
Peter Trevisani	New Mexico United
Jackie Fishman	Consensus Planning
Charlene Johnson	Consensus Planning
Zachary Trischitta	Consensus Planning
Mike Woollen	Odell Architecture
Jared Winchester	Improve Group
Matt Procter	Improve Group
Chris Beccone	Improve Group
Kristen Shaw	Improve Group

CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT
Balloon Fiesta Park Stadium

Jeff Mulbery	Bohannon Huston
Olin Brown	Bohannon Huston
Paul Barricklow	Lee Engineering
Michael PolICASTRO	Lee Engineering
Jack Covert	Anthony James Partners
David J. Simon	CABQ Parks & Rec Director
David M. Flores	CABQ Parks & Rec Dep Director
Carlos D. Montoya	CABQ CIP Project Manager
Staci Drangmeister	Mayor's Dir of Communications & Marketing
Barbara Baca	Bernalillo County District 1 Commissioner
Kelly Sanchez	Assistant to Commissioner Barbara Baca
Mark Reynolds	Dist 4 Coalition, Highlands North NA
Steve Wentworth	Dist 4 Coalition, Alameda North Valley Association
Mildred Griffiee	Dist 4 Coalition, Nor Este NA
Lucy Baca	Dist 4 Coalition, Vineyard Estates NA
Ellen Dueweke	Dist 4 Coalition
Neri Holguin	North Valley Coalition/West Old Town NA
Glenn Garcia	Wildflower Area NA
Larry Caudill	Wildflower Area NA
Uri Bassan	NorEste NA
Regina Pioquinto	NorEste NA Secretary
Tyson Hummell	CABQ ADR Coordinator
Krista Baca	ADR Paralegal
Philip Crump	Facilitator
Jeff Gulley	
Pat Hauser	
Jake Gutierrez	
Mike Garcia	
Aaron Reeder	
Christopher Salas	
Emma Mazzullo	
Gordon Klein	
Jeff Jankowski	
Kate Ferlic	
Kimberly Kachirisky	
Andrew Bolte	
David Carl	
Erica Garcia	
Paul Barricklow	

NOTIFICATION



Balloon Fiesta Park 100 ft Buffer



CORRALES

UNINCORPORATED AREAS

SITE

Legend

IDO Zoning

- R-A
- R-1A
- R-1B
- R-1C
- R-1D
- R-T
- R-MC
- R-ML
- R-MH
- MX-T
- MX-L
- MX-M
- MX-H
- MX-FB-ID
- MX-FB-FX
- MX-FB-UD
- NR-C
- NR-BP
- NR-LM
- NR-GM
- NR-SU
- NR-PO-A
- NR-PO-B
- NR-PO-C
- NR-PO-D
- PD
- PC
- UNCL

- Bernalillo County Parcels
- Municipal Limits

Notes

Prepared by Consensus Planning

4,809 0 2,404 4,809 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
9/12/2023 © City of Albuquerque

1: 28,852

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

SERRANO CLARA V 10017 EDITH BLVD NE ALBUQUERQUE NM 87113	DE LA O PATRICK & KENDRA 10164 EDITH BLVD NE ALBUQUERQUE NM 87113-2414	3711 PASEO INDUSTRIAL LLC 399 PERRY ST #203 CASTLE ROCK CO 80104-4008
ALBUQUERQUE INTERNATIONAL BALLOON FIESTA INC 4401 ALAMEDA NE ALBUQUERQUE NM 87113-1554	9019 WASHINGTON NE LLC 8500 WASHINGTON ST NE SUITE A-5 ALBUQUERQUE NM 87113-1861	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248
8405 WASHINGTON NE LLC 8500 WASHINGTON ST NE ALBUQUERQUE NM 87113-1846	WILLIAMS LADONNA D TRUSTEE WILLIAMS SEPARATE PROPERTY TRUST 10218 EDITH BLVD NE ALBUQUERQUE NM 87113-2400	MCILHANEY MICHAEL A & AARON T MCILHANEY 6980 PACIFIC COAST ST LAS VEGAS NV 89148-3823
ARCHDIOCESE OF SANTA FE REAL ESTATE CORP/NATIVITY OF THE BLESSED MARY 4000 ST JOSEPHS PL NW	VSSW HOLDINGS LLC 17019 S WEBER DR CHANDLER AZ 85226-4114	ROMERO CRESTINO D 10004 EDITH BLVD NE ALBUQUERQUE NM 87113-2402
RICHFIELD PARK 35 LLC 2321 CANDELARIA RD NW ALBUQUERQUE NM 87107-3055	SANTILLANES PAUL D 10126 EDITH BLVD NE ALBUQUERQUE NM 87113-2404	PRESBYTERIAN HEALTHCARE SERVICES REAL ESTATE DEPARTMENT PO BOX 26666 ALBUQUERQUE NM 87125-6666
SPRINGER MICHAEL H 9810 EDITH BLVD NE ALBUQUERQUE NM 87113-2318	PUEBLO OF SANDIA 481 SANDIA LOOP RD BERNALILLO NM 87004	SOUTHWESTERN LINE CONSTRUCTION ELECTRIAL JOINT APPRENTICESHIP ETAL 8425 WASHINGTON PL NE ALBUQUERQUE NM 87113-1672
MCM WASHINGTON LLC 1907 BUENA VISTA HWY SE SUITE 100 ALBUQUERQUE NM 87106-4246	BP ALAMEDA LLC 18 TWIN PEAKS RD SE ALBUQUERQUE NM 87123-3981	LOOP INDUSTRIAL DEVELOPMENT LLC 4131 BARBARA LP SE SUITE 2 C RIO RANCHO NM 87124-1362
GOPHER BAROQUE LLC PO BOX 92620 ALBUQUERQUE NM 87199-2620	MECHENBIER MICHAEL & KATHLEEN RVCBL TRUST 4400 ALAMEDA BLVD NE SUITE E ALBUQUERQUE NM 87113-1519	RH EMMERSON & SON LLC PO BOX 496014 REDDING CA 96049-6014
MONTOYA DAVID J & PAMELA 315 ALAMEDA BLVD NE ALBUQUERQUE NM 87113-1569	RDP ENTERPRISES LLC 8724 ALAMEDA PARK DR NE SUITE F ALBUQUERQUE NM 87113-2454	WERNER ENTERPRISES INC 14507 FRONTIER RD OMAHA NE 68138
COYNE JAMES P 1724 MENAUL BLVD NW ALBUQUERQUE NM 87107-1030	PRM WEST LLLP 15836 N 77TH ST SCOTTSDALE AZ 85260-1700	SUMCO PHOENIX CORPORATION 9401 SAN MATEO BLVD NE ALBUQUERQUE NM 87114

COMMERCIAL ENTERPRISES INC 8309 WASHINGTON PL NE ALBUQUERQUE NM 87113-1670	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293	MONTOYA CHARLES C 5911 4TH ST NW ALBUQUERQUE NM 87107
AMAFCA 2600 PROSPECT AVE NE ALBUQUERQUE NM 87107-1836	8633 PASEO ALAMEDA LLC 313 PERFECTO LOPEZ RD CORRALES NM 87048-5109	WESTERN GROUP 3737 E BROADWAY RD SUITE B PHOENIX AZ 85040-2921
SANDBURG DEBBIE 10136 EDITH BLVD NE ALBUQUERQUE NM 87113-2412	LUCERO ANTHONY R 5100 GOLDEN THREAD DR NE ALBUQUERQUE NM 87113-2215	8905 WASHINGTON NE LLC 34 RINCON DE CHOLLA CORRALES NM 87048
CLEARBROOK INVESTMENTS INC 8801 JEFFERSON ST NE BLDG A ALBUQUERQUE NM 87113-2438	ARAGON AMANDA JENAE 9628 DEL FUEGO CIR NE ALBUQUERQUE NM 87113-2316	8814 HORIZON LLC 8814 HORIZON BLVD NE ALBUQUERQUE NM 87113-1588
8820 HORIZON BLVD NM LLC 4525 WILSHIRE BLVD SUITE 210 LOS ANGELES CA 90010-3846	TRACT 3B-2-B LLC 8830 HORIZON BLVD NE ALBUQUERQUE NM 87113-1689	COLONIAL OAKS ALBUQUERQUE PROPERTY COMPANY LLC 2315 ROUTH ST DALLAS TX 75201-2025
FACILITY SOLUTIONS GROUP INC 4401 WESTGATE BLVD SUITE 310 AUSTIN TX 78745-1494	BERNALILLO COUNTY C/O COUNTY MANAGER 415 SILVER AVE SW ALBUQUERQUE NM 87102-3225	GENERAL MILLS CEREALS PROPERTIES LLC C/O TAX DEPT PO BOX 1113 MINNEAPOLIS MN 55440-1113
JOHNSON SIDNEY WILBORN & GONZALES LUELENA GABRIELLE 101 ROSEMONT AVE NE ALBUQUERQUE NM 87102	BECKER FRED ALBERT & KATHLEEN ANN 10430 AMARA VISTA CT NE ALBUQUERQUE NM 87113-2574	AMARA VISTA HOMEOWNERS ASSOCIATION INC PO BOX 94088 ALBUQUERQUE NM 87199-4088
GAMMA DEVELOPMENT LLC 9798 COORS BLVD NW SUITE C-400 ALBUQUERQUE NM 87114-6131	YOUNG MARY TRAN & SAMUEL MARK 4036 GONDOLA WAY NE ALBUQUERQUE NM 87113-2484	ABRAZO HOMES LLC PO BOX 65808 ALBUQUERQUE NM 87193-5808
BRADY RENE & PAMELA DAWN 9201 BALLOON GLOW LN NE ALBUQUERQUE NM 87113-2493	WILES ANN M TRUSTEE WILE FAMILY TRUST 9204 DAWN PATROL TRL NE ALBUQUERQUE NM 87113-2483	



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Zone Map Amendment and Site Plan-EPC
Decision-making Body: City of Albuquerque Environmental Planning Commission
Pre-Application meeting required: [X] Yes [] No
Neighborhood meeting required: [X] Yes [] No
Mailed Notice required: [X] Yes [] No
Electronic Mail required: [X] Yes [] No
Is this a Site Plan Application: [X] Yes [] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 9201 Balloon Museum DR NE; 4900 Balloon Fiesta PKWY NE; and 5601 Alameda NE
Name of property owner: City of Albuquerque
Name of applicant: Consensus Planning (agent); City of Albuquerque (co-applicant); New Mexico United (co-applicant)
Date, time, and place of public meeting or hearing, if applicable: November 16th at 8:40 a.m.
Address, phone number, or website for additional information:
Via Zoom- Meeting ID: 226 959 2859, or call in at (301) 715-8592
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[X] Zone Atlas page indicating subject property.
[X] Drawings, elevations, or other illustrations of this request.
[X] Summary of pre-submittal neighborhood meeting, if applicable.
[X] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten Signature] (Applicant signature) 10/5/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

a. Location of proposed buildings and landscape areas.

b. Access and circulation for vehicles and pedestrians.

c. Maximum height of any proposed structures, with building elevations.

d. For residential development: Maximum number of proposed dwelling units. N/A

e. For non-residential development:

Total gross floor area of proposed project.

Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: October 5, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: See attached file.

Mailing Address*: See attached file.

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 9201 Balloon Museum DR NE; 4900 Balloon Fiesta PKWY NE; and 5601 Alameda NE
Location Description Balloon Fiesta Park at Alameda Blvd and Balloon Museum Drive
2. Property Owner* City of Albuquerque
3. Agent/Applicant* *[if applicable]* Consensus Planning(agent); City of Albuquerque(co-applicant);New Mexico United (co-applicant)
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: Amendment to BFP Master Development Plan

Summary of project/request¹*:

Two Part Request: Amendment to BFP Master Development Plan and Site Plan EPC

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: November 16th at 8:40 a.m.

Location*²: Via Zoom - Meeting ID: 226 959 2859, or call in at (301) 715-8592

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found*³:
fishman@consensusplanning.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)*⁴ B-17-Z, C-16-Z, C-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

N/A

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

View attached facilitated meeting summary.

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 367.5 acres
 2. IDO Zone District NR-PO-A
 3. Overlay Zone(s) [if applicable] North I-25 CPO-10
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] City Park
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

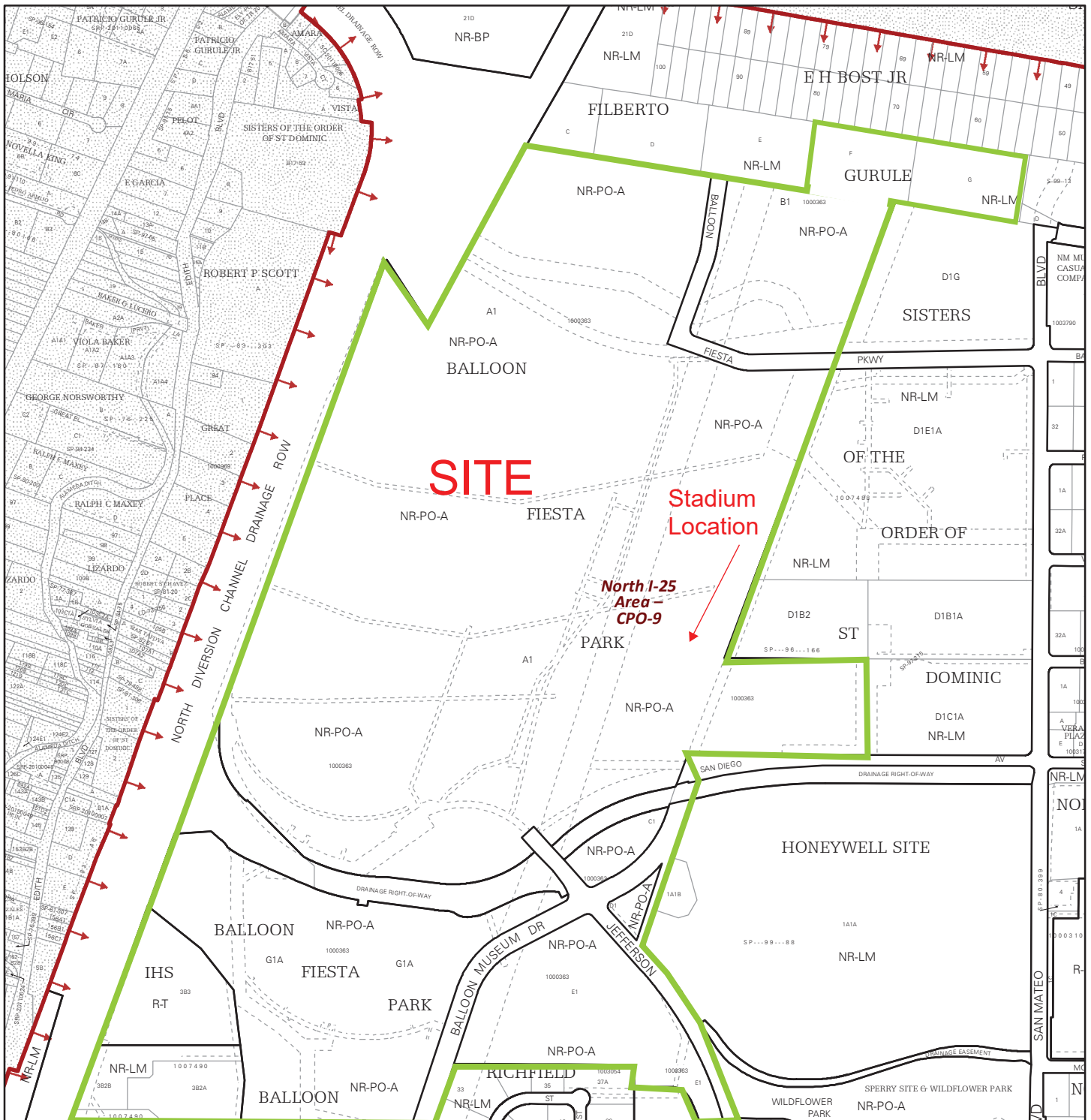
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

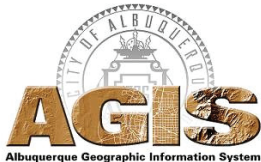
<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



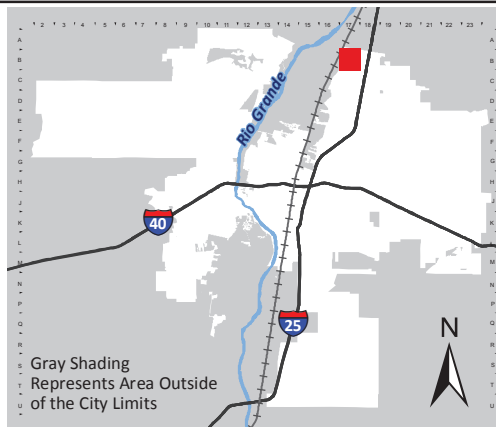
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

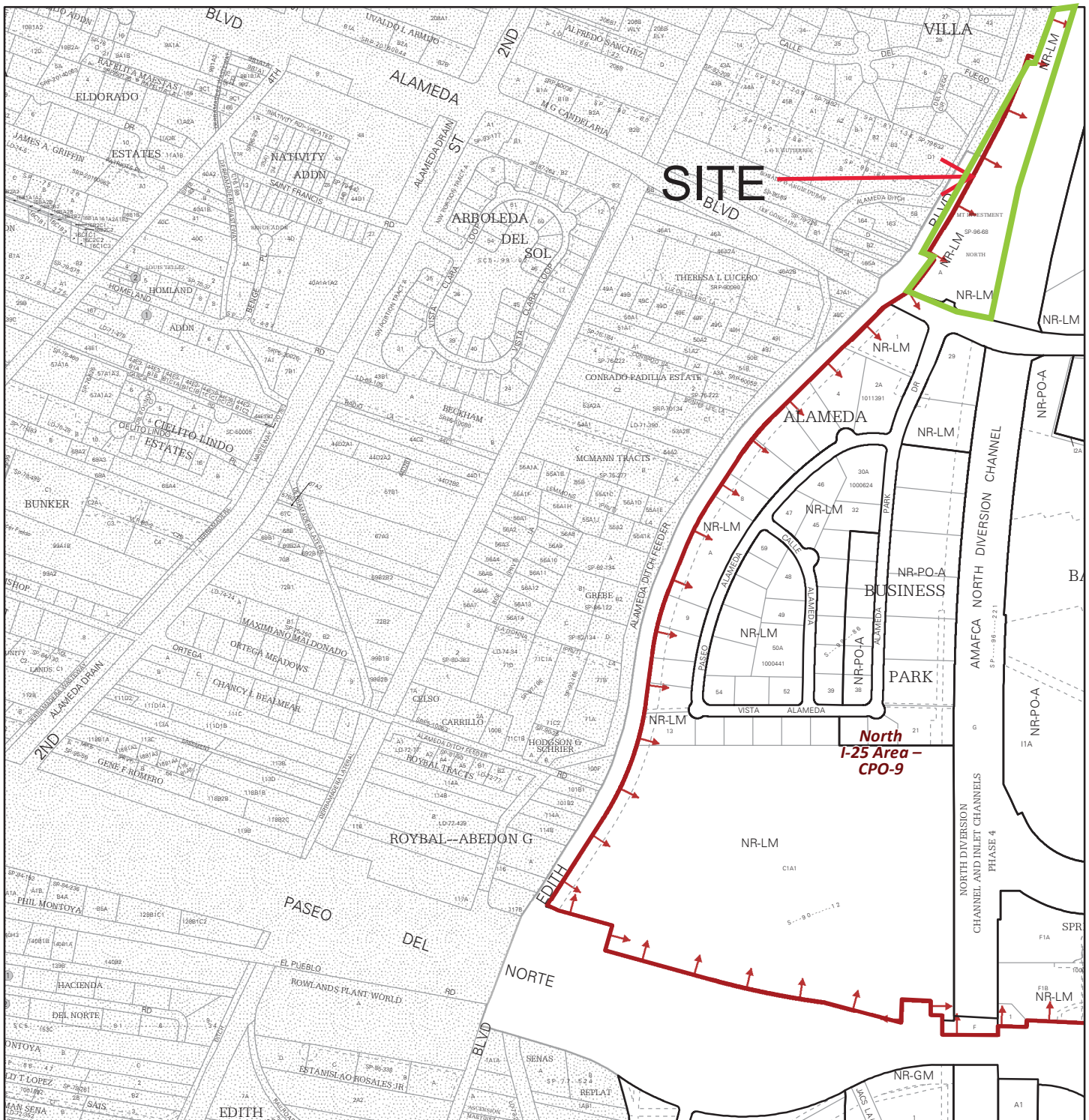


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
B-17-Z

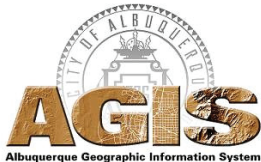
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

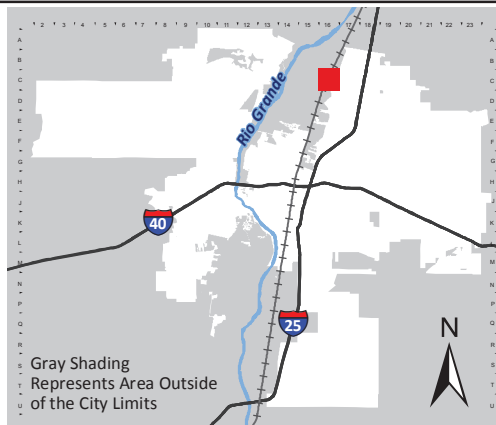


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
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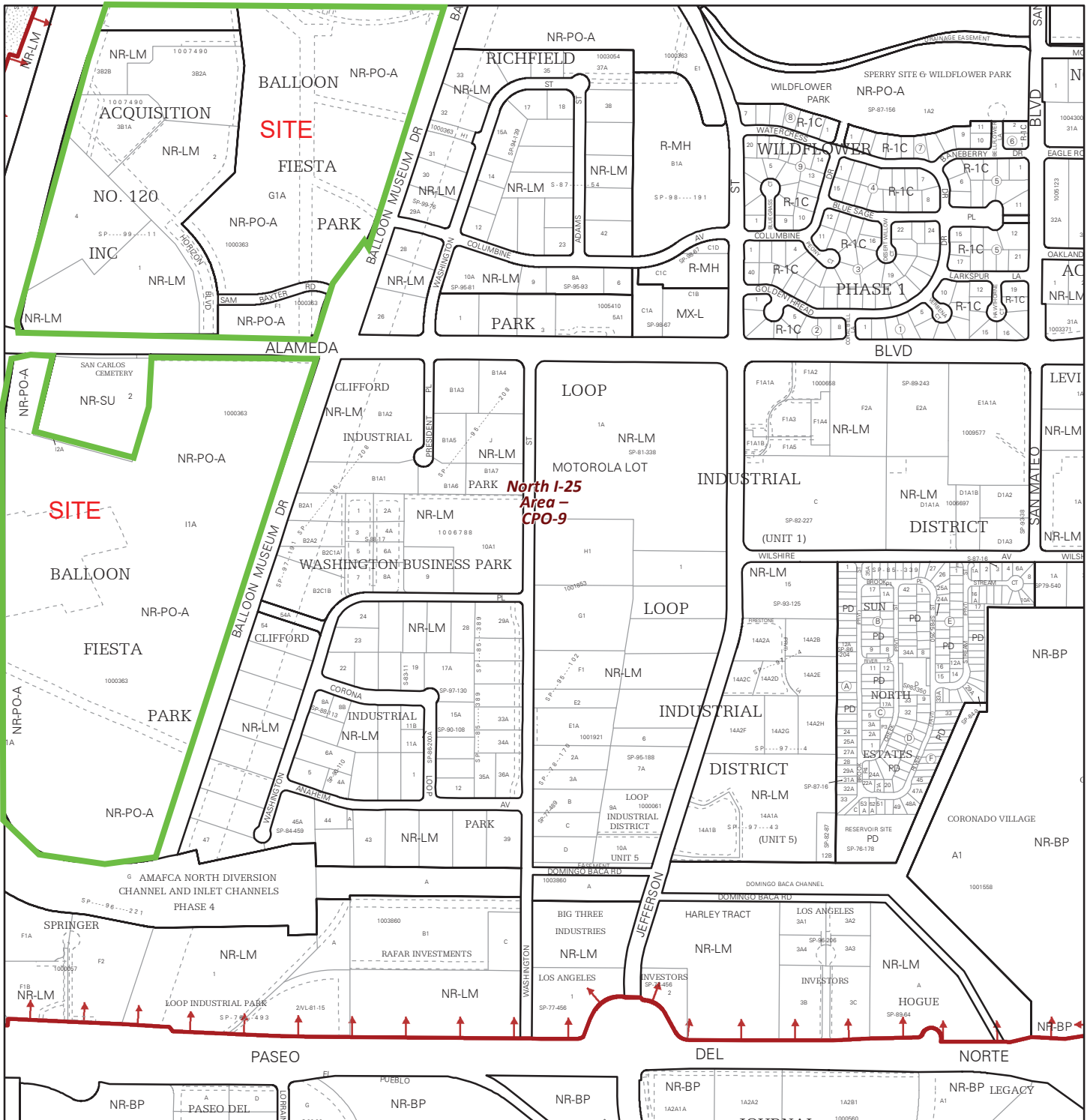


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
C-16-Z


- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone













For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

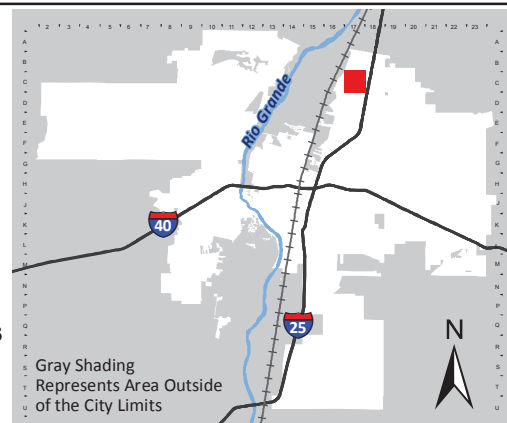
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).


Zone Atlas Page:
C-17-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

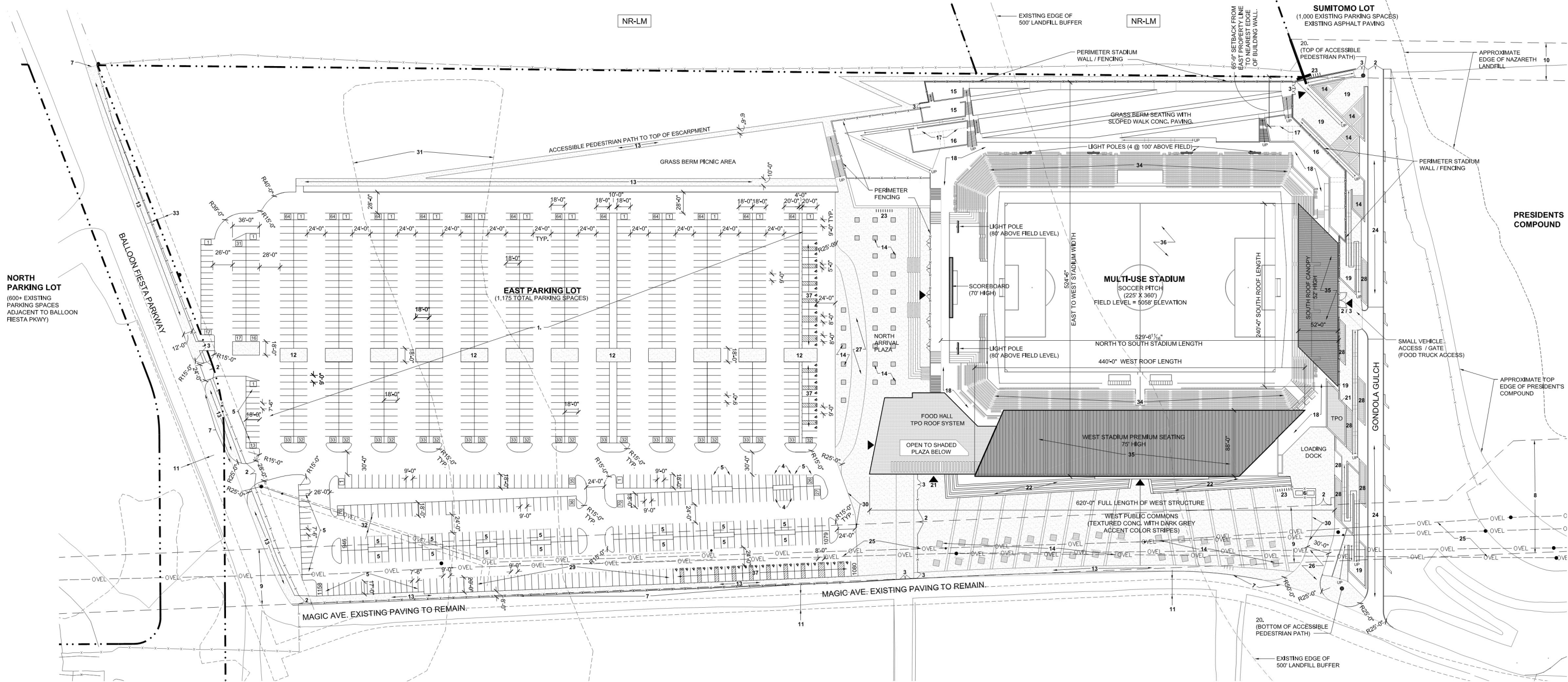


Gray Shading Represents Area Outside of the City Limits

N



0 250 500 1,000 Feet



EPC SITE PLAN: MULTI-USE STADIUM AND SITE IMPROVEMENTS
1" = 60'-0"

GENERAL NOTES

- A. TEMPORARY LIGHT POLES ARE TO CONTINUE TO BE USED WITHIN THE EAST LOT DUE TO THE FLEXIBILITY OF YEAR-ROUND USES THE PARKING LOT SERVES AND DUE TO THE SAFETY CONCERNS OF ANY INSTANCES WHERE BALLOONS ATTEMPT TO LAND WITHIN THE EAST PARKING LOT. ALL OTHER LIGHTING AROUND THE PERIMETER OF THE STADIUM AND WITHIN ADJACENT PEDESTRIAN PLAZA AREAS SHALL COMPLY WITH THE IDO AND THE MASTER DEVELOPMENT PLAN DESIGN STANDARDS.
- B. SIGNAGE SHALL COMPLY WITH THE APPROVED MASTER DEVELOPMENT PLAN DESIGN STANDARDS FOR THIS SITE. BUILDING SIGNS SHALL NOT EXCEED 20% OF THE FACADE TO WHICH THEY ARE APPLIED. SIGNAGE MAY BE BACK LIT OR LIT WITH ACCENT LIGHTING OR INTERNAL LIGHTING, BUT SHALL NOT DIRECT ANY EXCESSIVE LIGHT PROJECTING OUTWARD IN THE DIRECTION OF ANY OF THE SURROUNDING NEIGHBORHOODS.
- C. PAVEMENT MATERIALS WITHIN THE PERIMETER PEDESTRIAN SPACES AROUND THE STADIUM AND IN THE EAST PARKING LOT SHOULD INCLUDE MATERIALS SUCH AS INTEGRAL COLORED AND / OR TEXTURED CONCRETE, BRICK, STONE, OR AGGREGATE CONCRETE, AND SHOULD INCORPORATE PATTERNS AND ARTISTIC DETAILS IN KEEPING WITH THE CHARACTER OF BALLOON FIESTA PARK AND CHARACTER OF THE STADIUM.
- D. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- E. PNM COORDINATION DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENT PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRICAL SERVICE OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
- F. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A). FENCING AND ACCESS. NEW SITE FENCING SHALL BE INSTALLED AROUND THE PERIMETER OF THE STADIUM AND EXISTING CHAIN LINK FENCING WILL BE REMOVED AND REPLACED WITH NEW ALONG MAGIC AVE. AND ALONG PORTIONS OF BALLOON FIESTA PARKWAY AS INDICATED. NEW FENCING INDICATED ALONG BALLOON FIESTA PARKWAY AND PORTIONS OF MAGIC AVE. SHALL BE GALVANIZED OR COATED HEAVY DUTY WIRE MESH PANELS. FENCING ALONG THE PERIMETER OF THE STADIUM SHALL BE A COMBINATION OF WIRE MESH AND PERFORATED METAL PANELS. COLORS SHALL RANGE FROM MEDIUM TO DARK GRAY, WITH ARTISTIC COLOR ACCENTS AT SELECTED AREAS OF FENCING PANELS. NEW CHAIN LINK FENCING WILL PROVIDED AT AREAS CONNECTING TO EXISTING CHAIN LINK FENCING FOR CONSISTENCY.
- G. ALL ADA ACCESSIBLE PARKING SPACES SHALL BE 9' WIDE X 20' DEEP, WITH 5' WIDE ACCESS AISLES AND 8' WIDE VAN ACCESSIBLE AISLES. ALL ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 12" HIGH AND 2" WIDE, PLACED AT THE BACK OF THE AISLE.

KEYED NOTES

1. ASPHALT PAVING AND STRIPING PER COA STANDARDS.
2. VEHICULAR ACCESS GATE, PEDESTRIAN ACCESS GATE.
3. MOTORCYCLE PARKING SPACES.
4. COMPACT PARKING SPACES, LESS THAN 10% OF TOTAL PARKING IN EAST LOT.
5. REFUSE ENCLOSURE AND CONTAINERS PER WITHIN WALLED / FENCED SERVICE YARD.
6. APPROXIMATE BOUNDARY / EXTENTS OF SITE IMPROVEMENTS.
7. EXISTING 150' PNM EASEMENT.
8. PROPOSED PNM EASEMENT (APPROX. 75' WIDE) PER QUILCLAIM ACTION.
9. EXISTING 50' DRAINAGE AND UTILITY EASEMENT.
10. EXISTING 20' COA PUBLIC WATERLINE EASEMENT.
11. TEXTURED CONCRETE PAVING FOR PEDESTRIAN CIRCULATION WITHIN PARKING LOT.
12. CONCRETE SIDEWALK PER COA STANDARDS.
13. CRUSHER FINE PLANTER BEDS FLUSH WITH SURROUNDING PAVING, SEE LANDSCAPE.
14. STADIUM TERRACE DECK, CONCRETE PAVING SYSTEM OVER GRADE.
15. STADIUM TERRACE DECK, CONCRETE PAVERS OVER ROOF MEMBRANE OVER CONCESSIONS SPACE BELOW.
16. HIDDEN LINE INDICATES EDGE OF CONCESSIONS SPACE BELOW.
17. STADIUM MAIN CONCOURSE CIRCULATION LEVEL AT 25' ABOVE FIELD LEVEL.
18. PUBLIC TERRACE / CIRCULATION AREA, C.I.P. CONCRETE PAVING OVER GRADE.
19. STEPPED GABION STONE PLANTER WALLS WITH BUILT-IN BENCHES FOR PICNICKING.
20. BIKE RACKS.
21. ASPHALT PAVING, CURB AND GUTTER PER COA STANDARDS.
22. EXISTING OVERHEAD ELECTRICAL LINES.
23. CONCRETE PAVED ACCESS DRIVE INTO LOADING DOCK.
24. CONCRETE PAVED ARRIVAL DROP-OFF LAINE.
25. GABION BLOCK WALL PLANTERS, SEE LANDSCAPE.
26. ELECTRIC VEHICLE PARKING SPACE.
27. PROVIDE ROLLED CURBS PER COA STANDARDS FOR VEHICULAR ACCESS INTO WEST PLAZA.
28. EXISTING 100' YEAR FLOOD PLAIN.
29. EXISTING 10' PNM & US WEST COMMUNICATIONS EASEMENT.
30. EXISTING 10' US WEST COMMUNICATIONS & COMCAST CABLE EASEMENT.
31. STADIUM SEATING BOWL, ALUMINUM GRANDSTAND STRUCTURE WITH BUILT-IN SEATING, COLORS: GREY, BLACK AND YELLOW.
32. STANDING SEAM METAL ROOF SYSTEM SLOPED TO DRAIN AT 1" PER FOOT AWAY FROM SEATING.
33. SYNTHETIC TURF SOCCER FIELD.
34. ACCESSIBLE PARKING SPACES PER COA STANDARDS, SEE GENERAL NOTES.

PROJECT DATA

SITE INFORMATION
 ZONING: NR-PO-A
 OVERLAY: NORTH-25 CPCO-10
 MULTI-USE STADIUM BUILDING AREA: 185,500 SF
 MULTI-USE STADIUM PERIMETER FOOTPRINT INCLUDING SEATING BOWL & SOCCER FIELD: 301,700 SF
 IMPROVED EAST PARKING LOT AND ARRIVAL PLAZA AREA: 475,000 SF
 WEST PUBLIC COMMONS AREA: 84,000 SF
OVERALL SITE AREA: 905,000 SF

PARKING CALCULATIONS
 STADIUM DESIGN SPECTATOR CAPACITY = 11,000
 (9,600 SEATING AND DRINK RAIL CAPACITY + 1,400 BERM SEATING AND STANDING ROOM CAPACITY)
 PER IDO: 1 PARKING SPACE PER 4 SEATS (11,000 / 4 = 2,750)
 REQUIRED PARKING SPACES: 2,750

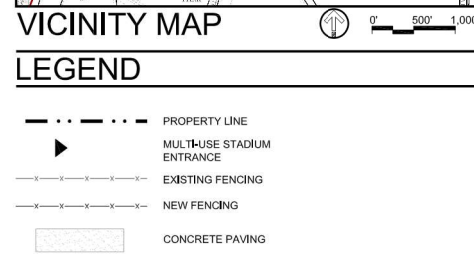
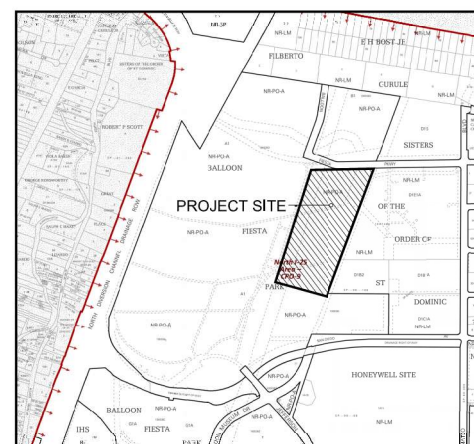
PROVIDED SEATING: 2,750
 (1,175 SPACES IN EAST LOT, 1,000 SPACES ON TOP OF ESCARPMENT AT SUMITOMO LOT, 600 SPACES WITHIN THE NORTH LOT*)

REQUIRED ACCESSIBLE PARKING: 38
 REQUIRED MOTORCYCLE PARKING: 12
 REQUIRED BICYCLE PARKING: 275
 REQUIRED ELECTRIC VEHICLE PARKING: 138

PROVIDED ACCESSIBLE PARKING: 40
 PROVIDED MOTORCYCLE SPACES PROVIDED: 12
 PROVIDED BICYCLE PARKING: 275
 PROVIDED ELECTRIC VEHICLE PARKING: 138**

* THERE ARE A TOTAL OF 3,335 PARKING SPACES WITHIN THE NORTH LOT AND ADDITIONAL SPACES FOR STADIUM PARKING CAN BE ACCOMMODATED IN THIS AREA AS NEEDED. THE 600 SPACES LISTED ARE THOSE SPACES IMMEDIATELY ADJACENT TO BALLOON FIESTA PARKWAY. THERE ARE A TOTAL OF 9,025 SPACES AVAILABLE WITHIN BALLOON FIESTA PARK OVERALL.

** THERE ARE ZERO ELEC. VEHICLE PARKING SPACES IN THE PARK CURRENTLY. THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE PARKING SPACES WILL BE DISTRIBUTED THROUGHOUT THE ENTIRETY OF THE PARK, A MINIMUM OF 30 EV SPACES WILL BE LOCATED WITHIN THE EAST LOT.



PROJECT NUMBER: 1000363
 Application Number: _____


This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated Month, Date, Year and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division
 ABCWUA
 Parks and Recreation Department
 Hydrology
 Code Enforcement

*Environmental Health Department (conditional)
 Solid Waste Management
 Planning Department



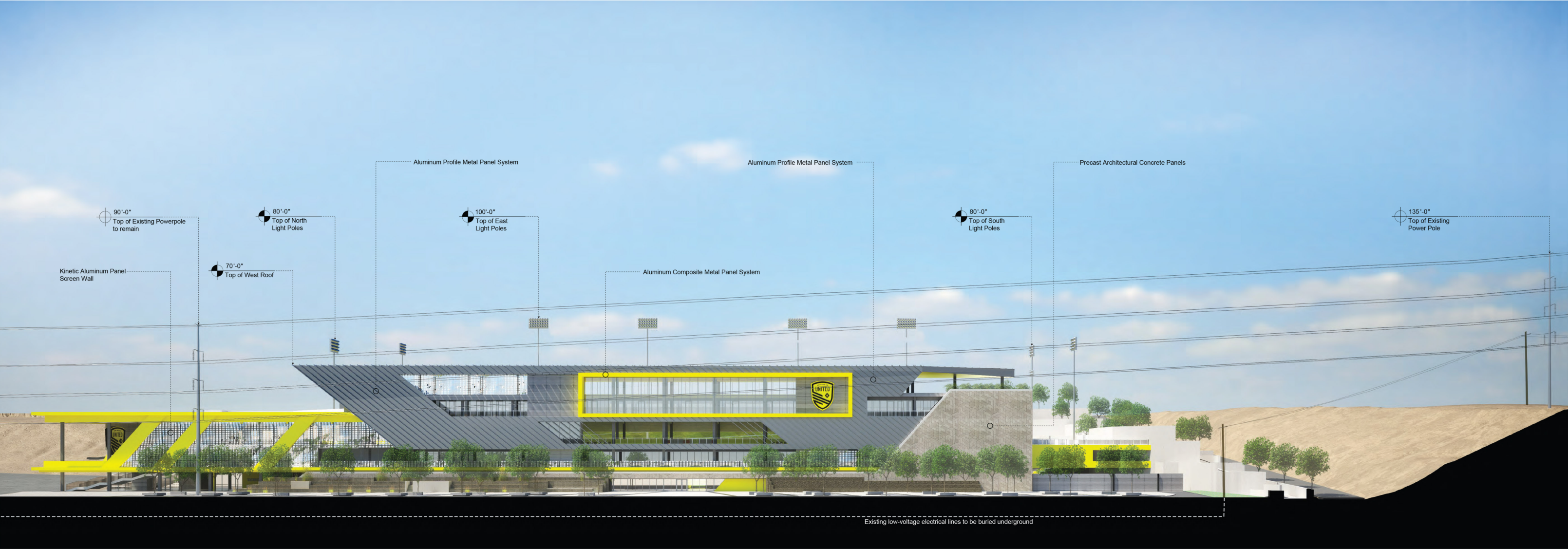
**BALLOON FIESTA PARK
MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
 CONSENSUS PLANNING
 ARCHITECTURE
 IMPROVE GROUP +
 ODELL A LABELLA COMPANY
 ENGINEERING
 BOHANNAN HUSTON

**SITE PLAN - EPC
SITE PLAN**

SHEET 1 OF 10
OCTOBER 05, 2023

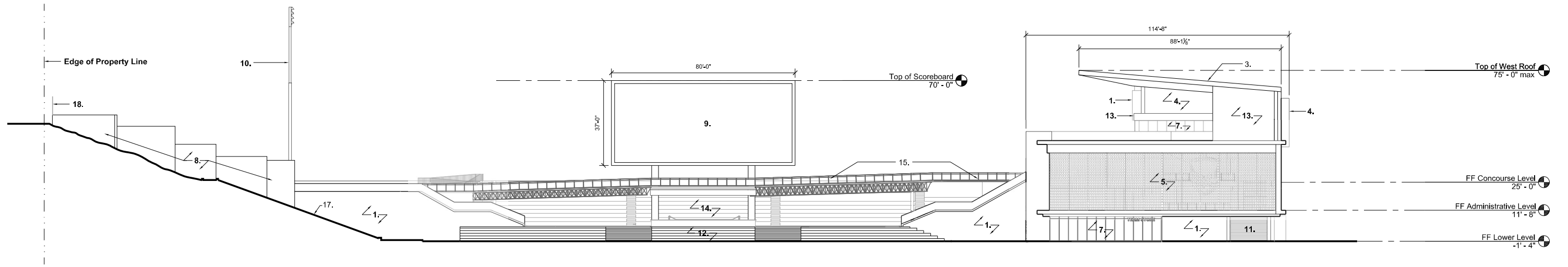


WEST EXTERIOR ELEVATION AND SITE: MULTI-USE STADIUM

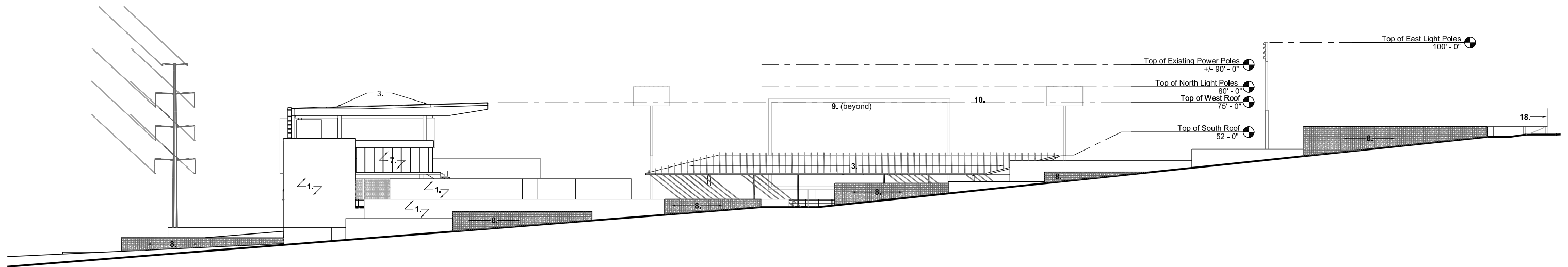




VIEW FROM TOP OF EAST BERM SEATING LOOKING NORTH



3 NORTH ELEVATION
1" = 20'-0"



4 SOUTH ELEVATION
1" = 20'-0"

GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

1. Precast Architectural Concrete Panels
2. Aluminum Profile Metal Panel System, Medium Gray Tone.
3. Standing Seam Metal Roof System
4. Aluminum Composite Metal Panel System, Yellow.
5. Kinetic Aluminum Panel Screen Wall
6. Curtain Wall Glazing System
7. Storefront Glazing System
8. Gabion Wall System
9. Scoreboard
10. Light Poles
11. Monumental Stair, Steel Structure
12. Concrete Steps, Cast in Place with Integral Color
13. Aluminum Composite Metal Panel System, Grey
14. Seating Bowl Beyond
15. Pedestrian Concourse Bridge
16. Vehicular Gate
17. Grass Berm Picnic Area
18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels.
19. Metal Guardrail System, Silver



BALLOON FIESTA PARK MULTI-USE STADIUM

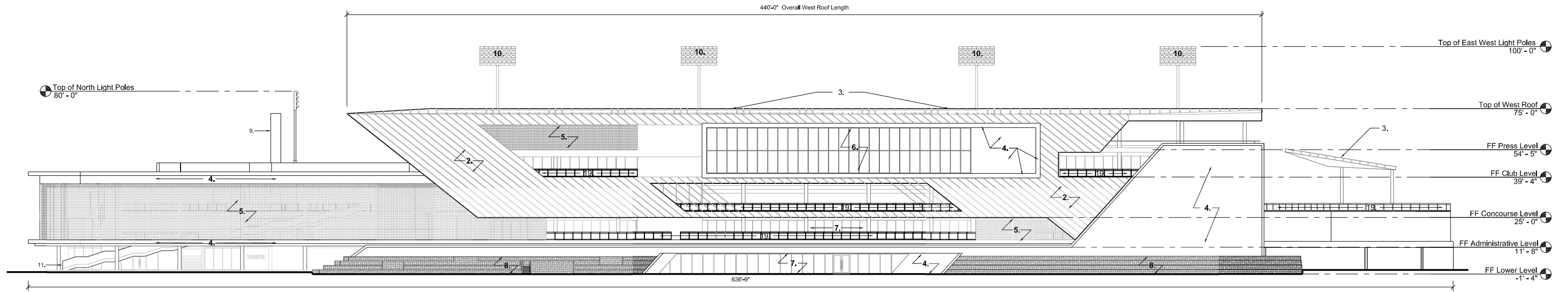
CITY OF ALBUQUERQUE

PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
 ARCHITECTURE
 IMPROVE GROUP +
 ODELL A LABELLA COMPANY
 ENGINEERING
 BOHANNAN HUSTON

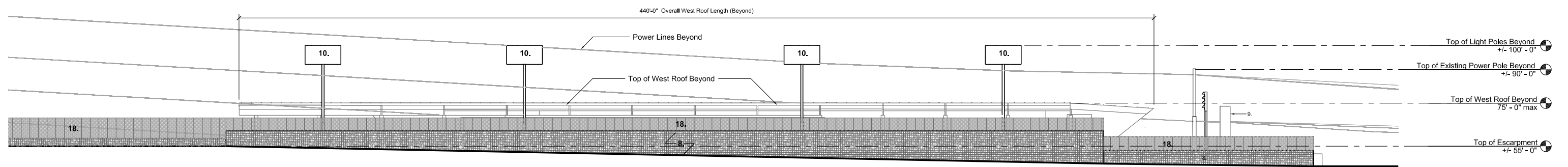
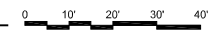
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 Building and Structure Elevations

1" = 20'-0" 0 10' 20' 30' 40'

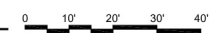
SHEET 10 OF 10
 OCT 5, 2023



1 WEST ELEVATION
1" = 20'-0"



2 EAST ELEVATION
1" = 20'-0"



GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

- 1. Precast Architectural Concrete Panels
- 2. Aluminum Profile Metal Panel System, Medium Gray Tone.
- 3. Standing Seam Metal Roof System
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- 5. Kinetic Aluminum Panel Screen Wall
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- 15. Pedestrian Concourse Bridge
- 16. Vehicular Gate
- 17. Grass Berm Picnic Area
- 18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels.
- 19. Metal Guardrail System, Silver



**BALLOON FIESTA PARK
MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ARCHITECTURE
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ENGINEERING
BOHANNAN HUSTON

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Building and Structure Elevations





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Application Notification - Balloon Fiesta Park

Jackie Fishman <fishman@consensusplanning.com>

Thu 10/5/2023 11:26 AM

To:edueweke@juno.com <edueweke@juno.com>;mgriffie@noreste.org <mgriffie@noreste.org>;ggarcia103@comcast.net <ggarcia103@comcast.net>;ltcaudill@comcast.net <ltcaudill@comcast.net>;anvanews@aol.com <anvanews@aol.com>
Cc:Charlene Johnson <Johnson@consensusplanning.com>

Dear Neighbors,

This email is intended to provide notification that Consensus Planning has submitted an application to the Environmental Planning Commission (EPC) for Balloon Fiesta Park. The request includes a Major Amendment to the Balloon Fiesta Park Master Development (BFP MDP), Amendment to the Site Plan for Subdivision, and a Site Plan-EPC for an Outdoor Multi-Use Stadium. The amendment to the MOP will allow for the multi-use stadium facility to be constructed at Balloon Fiesta Park and primarily includes changes to the existing language regarding land use, lighting height, and other associated details. The Site Plan for Subdivision and Master Landscape Plan were updated to show the Stadium, which will replace the 5-6 level parking structure previously envisioned for this area of the BFP.

You may use the following link to download the Neighborhood Notification Packet which includes: Public Notification Forms, Zone Atlas, Major Amendment to the Master Development Plan, associated amendment to the Site Plan for Subdivision, Site Plan-EPC, and noise and lighting studies.

[☐ Neighborhood Application Notification Packet Balloon Fiesta Park](#)

The EPC will hear this application on **Thursday, November 16, 2023** starting at **8:40 am**. The hearing will be held online via Zoom using the following link: <https://cabq.zoom.us/j/2269592859> or by calling the following number: 1 301 715 8592 and entering Meeting ID: 226 959 2859

Please feel free to contact me if you have any questions or would like more information.

Jacqueline Fishman, AICP
Principal
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102
P: 505.764.9801

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

mgriffee@noreste.org (mgriffee@noreste.org)

Subject: Application Notification - Balloon Fiesta Park

Your message to ltcaudill@comcast.net couldn't be delivered.

ltcaudill wasn't found at [comcast.net](mailto:ltcaudill@comcast.net).

fishman

Office 365

ltcaudill

Action Required

Recipient

Unknown To address

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

ggarcia103@comcast.net (ggarcia103@comcast.net)

Subject: Application Notification - Balloon Fiesta Park

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

anvanews@aol.com (anvanews@aol.com)

Subject: Application Notification - Balloon Fiesta Park

Zachary Trischitta

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Monday, October 2, 2023 12:36 PM
To: Zachary Trischitta
Subject: 9201 BALLOON MUSEUM DR NE; 4900 BALLOON FIESTA PKWY NE; and 5601 ALAMEDA NE
Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_B-17-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1
District 4 Coalition of Neighborhood Associations	Ellen	Dueweke	edueweke@juno.com	PO Box 90986
District 4 Coalition of Neighborhood Associations	Mildred	Griffee	mgriffee@noreste.org	PO Box 90986
Wildflower Area NA	Glenn	Garcia	ggarcia103@comcast.net	4901 Goldenthread
Wildflower Area NA	Larry	Caudill	ltcaudill@comcast.net	4915 Watercress D NE
Alameda North Valley Association	Steve	Wentworth	anvanews@aol.com	8919 Boe Lane NE

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



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From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Monday, October 2, 2023 10:45 AM

To: Office of Neighborhood Coordination <trischitta@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Zachary Trischitta

Telephone Number

505-764-9801

Email Address

trischitta@consensusplanning.com

Company Name

Consensus Planning

Company Address

302 8th St NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR A-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 184.5411 AC

TR B-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 15.9986 AC

TR G-1-A PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 55.0744 AC

TR E-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 16.7500 AC

TR C-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 2.4154 AC

TR D-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT .9348 AC

TR F-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 2.4489 AC

TR F-1 PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F-1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 2.4489 AC

Physical address of subject site:

9201 BALLOON MUSEUM DR NE; 4900 BALLOON FIESTA PKWY NE; and 5601 ALAMEDA NE

Subject site cross streets:

Alameda and Balloon Museum Drive

Other subject site identifiers:

Balloon Fiesta Park

This site is located on the following zone atlas page:

B-17, C-17 and C-16-Z

Captcha

x

POST-SUBMITTAL NEIGHBORHOOD MEETING



M E E T I N G M I N U T E S

Project: Balloon Fiesta Park Master Development Plan Amendment, Site Plan for Subdivision, and Site Plan-EPC

Date: November 3, 2023

Subject: Meeting with Wildflower Neighborhood Association

Meeting Date/Time: Thursday, November 2, 2023 / 5:00-7:00 p.m.

Attendees:

Wildflower Neighborhood Association, Maria Diers and North Edith Representatives
Dave Simon, Director, COA Parks and Recreation
David Flores, Deputy Director, COA Parks and Recreation
Susan Rice, Recreation Facility and Program Operations Manager, COA Parks and Recreation
Jared Winchester, AIA, Senior Project Architect, Improve Group
Matt Procter, President, Improve Group
Jackie Fishman, AICP, Principal, Consensus Planning
Charlene Johnson, AICP, Senior Planner, Consensus Planning

SUMMARY

The purpose of this meeting was to provide the opportunity for the Wildflower Neighborhood Association to discuss the proposed Major Amendment to the Balloon Fiesta Park Master Development Plan and Site Plan for Subdivision, and the Site Plan-EPC for the proposed Multi-use Stadium. Members of the Project Team gave a presentation and then provided time for questions and answers. Jackie Fishman opened the meeting and provided a brief overview of the entitlement process to date. David Flores acknowledged the special relationship the Wildflower Neighborhood has with Balloon Fiesta Park and assured the neighbors that the City understands its responsibility to listen to and address their concerns. Jared Winchester presented the site plan and building elevations, and explained how the stadium has been designed to mitigate noise and light. His presentation included an overview of the noise, sound, and traffic studies. A question-and-answer period followed the presentation. The following is a summary of the discussion.

PROCESS

- A pre-application meeting notification was emailed by Consensus Planning to District 6, Alameda North Valley NA, and Wildflower NA on August 18, 2023. A pre-application facilitated meeting was held online on September 9, 2023.
- Consensus Planning submitted the application to the Environmental Planning Commission (EPC) on October 5, 2023. Notification was sent to the three associations and property owners within 100 feet as required by the Integrated Development Ordinance (IDO).

- The EPC public hearing is scheduled for November 16, 2023, and the public is welcome to voice their concerns to the EPC at the hearing.
- The application required significant work and time to meet the IDO requirements. The public is always encouraged to participate in the process and offer input and express their concerns to the EPC.
- After EPC approval, the project will go to the Development Facilitation Team (DFT) for final sign-off of the Master Development Plan, Site Plan for Subdivision, and Site Plan-EPC prior to design development and submittal for building permit.

PURPOSE and FUNCTION

- New Mexico United is part of the USL league, which requires teams have a dedicated stadium. The team has been sharing a field with the Isotopes, and it is not a good fit for either team.
- New Mexico United looked at several other locations including near other stadiums.
- If it is approved, the stadium could be open for the 2026 season.
- The stadium will be multi-use. New Mexico United will allow other events to utilize the stadium when it is not in use.
- There are 17 home games, which are played on the weekend and in the evenings between 7:00 and 9:00 PM. No home games will be played during the Balloon Fiesta event.

SITE DESIGN

- As part of the design of the stadium, the Project Team concerned the co-benefits to help improve the circulation, infrastructure, and parking at Balloon Fiesta Park.
- Concerns for light, traffic, and sound were top priorities.
- The location for the stadium adjacent to the escarpment was chosen for the following reasons:
 - The escarpment has been eroding for many years and is in great need of stabilization. The Parks and Recreation Department has to scrape the surface of the parking area on an annual basis due to the erosion and settlement. The stadium construction will include improving this edge and help stem the erosion.
 - The escarpment is the most effective buffer option to reduce light and sound from the stadium to the surrounding property.
 - Gondola Gulch (to the south of the stadium site) is currently in unstable condition and will be improved with the project.
 - The project will improve ADA access from the east edge into the Park by building a series of gently sloped ramps and terraces into the escarpment that will provide access into the stadium and Balloon Fiesta Park.
- The grading and drainage issues in the area to the north of the stadium will be improved by removing the existing millings and leveling out the area. The project includes paving and clearly marked parking spaces that will be much more efficient and render more parking spaces than what is currently provided in that location.
- The new parking lot provides approximately 1,200 spaces and additional parking spaces, approximately 600, will be provided north of Balloon Fiesta Parkway. The new parking area at the far north end of Balloon Fiesta Park, which provides approximately 750

spaces, was acquired by the City from a private property owner and incorporated into the Master Development Plan. Overall, with the site improvements, there will be capacity that is equal to or greater than what is currently provided along the east lot.

LIGHTING

- The completed photometric study shows the best angle for the light fixtures and how much light is escaping the stadium area.
- The lighting study assumed the same lights that were used at Weidner Field in Colorado Springs would be used at the stadium.
- The top of the light fixtures on the north side of the stadium are 80 feet above the field level and on the east side they are 100 feet above the field level, which may be reduced to 90 feet during the detailed design process.
- The lights on the east edge of the stadium will face west but will be shielded and angled down towards the stadium field.
- The lights on the west edge will be tucked underneath the roof of the stadium.

BUILDING DESIGN

- The stadium will include indoor restrooms that can be utilized during events at the stadium as well as during other events at the Park. Additional restrooms will be provided in other locations.
- The design of the stadium provides viewing opportunities from the top deck towards the launch field, which has long been a goal for the Park, and will be available during Balloon Fiesta.
- A food court will be provided in the later phase of the project.
- The top of the west roof is 75 feet, which is lower than the existing high voltage power lines that run through this area.
- The design capacity of the stadium is around 11,000 people, which represents a very small percentage of the number of people who attend Balloon Fiesta.
- The building will be massed on the west, where most of the seating will be located.

TRAFFIC ROUTES

- The majority of the traffic to the stadium will come southbound from the Pan American Freeway to Balloon Fiesta Parkway and west towards the park and to the stadium parking lot. Some traffic will come from Alameda Boulevard to Balloon Museum Drive and San Mateo Boulevard to San Diego.
- The City can look at how to change the traffic patterns, such as closing Jefferson Street. Since the majority of fans will be local, there may be a greater ability to influence traffic habits and routes to get to the stadium.
- Based on United's experience at Isotopes Stadium, it is estimated that approximately 2,500 to 3,000 cars will travel to the stadium when it is at full capacity. For reference, Isotopes Stadium has a capacity of approximately 15,000.

FUNDING

- New Mexico United will privately finance all vertical construction for the stadium. The City will use State Capital Outlay money to improve and install infrastructure (water,

sewer, electricity, etc.) for the overall benefit of the Park and to support the stadium development.

- Capital Outlay is generated through GRT and other taxes, and is appropriated by the State to the City.
- The previous proposal to build the stadium Downtown was to be funded through General Obligation Bonds, which required voter approval and was turned down by a large majority of the voters.
- The new proposal is for a public / private partnership with the private entity (NM United) owning and constructing the stadium and the City providing infrastructure improvements.

NEIGHBORHOOD CONCERNS

Traffic

- An attendee expressed concerns with parking being utilized above the berm, which would potentially cause visitors to utilize Jefferson Avenue and cause more traffic problems. Traffic could be restricted from the south, which would help with cars coming through San Mateo Boulevard.
- Enforcement is the most important. Several attendees expressed frustration with public safety not being prepared to handle the traffic and prohibiting residents from getting to their homes during Balloon Fiesta.
- The area needs more traffic calming measures and to have a real traffic study completed for the area. Speed bumps were requested in the past but neighbors were told that the amount of traffic in Wildflower didn't warrant speed bumps.
 - *The City will look into determining how much cut-through traffic is happening in the area and also look into whether speed bumps and/or bump-outs could be considered as a way to mitigate traffic in the area.*

Multiple Uses and Longevity

- An attendee expressed concerns about other events that will be held at the stadium, such as concerts that could cause noise and traffic issues.
 - *The Project Team assured the attendees that New Mexico United is committed to working with the neighborhoods to make sure the events do not have a negative impact on the neighborhoods.*
 - *Any events held at the stadium would be subject to the Balloon Fiesta Park Master Development Plan and other City ordinances, including the Noise Ordinance.*
- There was a concern regarding whether New Mexico United had the staying power to keep the team in the City for more than a few years and asked what would happen to the stadium if the team decides to leave.
 - *Dave Simon stated that New Mexico United has consistently the highest attendance for USL teams in the league. The team has made commitments to communities through youth soccer workshops throughout the State. It is always a risk, but soccer is very popular and is well supported in Albuquerque. The stadium is relatively small and could be utilized as something else in the future, if necessary.*

- Several neighbors expressed their desire to meet with and address their concerns directly to New Mexico United representatives.
 - *Matt Procter and Jared Winchester responded that New Mexico United reps would attend the next meeting, most likely Ron Patel, who is the team's Chief Business Officer.*

Lease Agreement

- Some neighbors expressed their concern that meeting participants had not read the lease agreement between the City and New Mexico United. They contended that the lease agreement didn't cover some of their issues and was very weak.
- Other participants expressed their frustration that the City Council changed their decision to defer for 90 days to 30 days after Councilors came back from the break in their meeting and the neighbors had already left the meeting.
 - *Jackie Fishman agreed to get a copy of the lease agreement and share it with the participants via email.*
- An attendee from Maria Diers expressed his concern that United would be paying a very low amount of rent to the City.
 - *The City Council could propose changes to the lease agreement.*
- Several attendees wanted to ensure that their voices were being heard by their City Councilor and felt the stadium was being rushed through without enough neighborhood input.
 - *Jackie Fishman assured that the meeting notes would reflect the neighborhood concerns and be put into the public record.*
 - *The Project Team agreed that another meeting will be scheduled during the week of November 6th.*

Safety

- People attending events at Balloon Fiesta Park often park in the Wildflower neighborhood and walk to avoid paying for parking. They throw garbage in the neighborhood, and it makes it feel unsafe. That is not acceptable and needs to be addressed.
 - *The Project Team agreed that this is unacceptable and the City will work with neighbors to address this during games and other events at the stadium.*
- The area is on the edge of the City and County, and it can be difficult to get public safety to respond.
 - *Dave Simon said that City public safety employees will be working at each game, so that should help with those concerns.*
- Crime goes up in the neighborhood in October because of all the people in the area.
 - *David Flores said they will look at crime statistics and try to address public safety concerns.*

ACTION ITEMS

1. Send a copy of the Lease Agreement to the participants. Responsibility: Jackie Fishman

2. Schedule a follow up meeting with the neighborhood and the New Mexico United ownership the week of November 6. Responsibility: Jackie Fishman
3. Provide a copy of the sign-in sheets to Consensus Planning. Responsibility: Dolores Garcia, Wildflower NA
4. Submit a copy of the meeting notes to the EPC Case Planner to be put into the case file. Responsibility: Jackie Fishman
5. Look into crime stats around the neighborhood during Balloon Fiesta. Responsibility: David Flores

Sign In Sheet

WILDFLOWER NEIGHBORHOOD

DATE: NOVEMBER 03, 2023

#	Print Name	Address	Phone #	E-Mail
1	James Jansen	8812 Columbine	828-0543	Rov4Trails@yahoo.com
2	Praxedos Salazar	4920 Golden Thread	505-920-3824	Praxsal57@gmail.com
3	Patricia Garduno	8900 Bluegrass Ct NE	505-263-7346	ralphgardun@gmail.com
4	Michael Vantam	8004 Columbine NE	505-934-8903	MVH8@comcast.net
5	Charles Byles	5000 Watercross	505-373-7998	
6	John Cunningham	5031 Golden Thread	505-263-6432	WILDFLOWRJC@GMAIL.COM
7	Peggy Brock	5015 Watercross	505-615-2484	peggyobrock61@gmail.com
8	Karen Boothe	5016 Watercross Dr NE	505-280-8850	K.Boothe@comcast.net
9	Jennifer Hopkins	5117 Blue Sage Pl.	505-710-0479	jeep76258@yahoo.com
10	Amy Martinez	5013 Blue Sage Pl.	(505) 688-3089	PTstud2012@gmail.com
11	Marsha Lucas	5104 Blue Sage E	505-331-6930	
12	Marvin & Mary Best	5010 Golden Thread Dr		
13	Nancy Kerr	5115 Larkspur Ln NE	505-850-2884	njmker@gmail.com
14	Anthony Lucero	5100 Golden Thread Dr NE		
15	Matt Proctor	3550 Pa. Avenue	505-803-8577	
16	Rebecca Hall	8908 Bluegrass Ct	821-0876	kbhh@hotmail.com
17	Kurtis Boxberger	" " "	" "	
18	Pat Houser	134 Maria Circle N.E.	505-898-8435	PHHouser@comcast.net
19	Anthony Lovato	4910 Watercross Dr NE	505-553-5069	antonylovato@comcast.net
20				
21				
22	Michael Vantam	8004 Columbine NE	505-934-8903	MVH8@COMCAST.NET

#	Print Name	Address	Phone #	E-Mail
1	Brian Anderson	5014 Golden Thread	505-259-1270	abycubinetguy@msn.com
2	Denise McCoy	5024 Watercross	505-239-4505	denise.mccoy23@gmail.com
3	Regina Selley	5105 Watercross	505-822-8366	whittier89@msn.com
4	BARI L. HARVEY	5108 Watercross	505-259-5021	barboynbari@msn.com
5	Russ Harvey	" "	505-239-6719	lmc151@msn.com
6	Anthony Haugh	5114 Baneberry	505-459-6020	
7	Michele Tartaglia	5114 Baneberry	484-619-7712	MCTARTAGLIA@GMAIL.COM
8				
9	Amber Anderson	5108 Golden Thread	505-250-9171	anderson.amber@gmail.com
10				
11				
12				
13				
14				

Multi Use Stadium Complex Discussion

November 2nd, 2023

ONE
ALBUQUE
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BALLOON FIESTA PARK: EPC REQUEST

- **Preapplication:** Neighborhood notification August 18th, Facilitated meeting and public input on September 9th.
- **EPC Submittal:** October 5th for a November 16th hearing
 - ✓ Amendment to the Balloon Fiesta Park Master Development Plan
 - ✓ Amendment to the Site Plan for Subdivision associated with the Master Development Plan
 - ✓ New Site Plan-EPC for the Multi-Use/Soccer Stadium

CABQ Parks and Recreation

David Flores

Deputy Director, CABQ Parks
& Recreation



BALLOON FIESTA PARK MASTER DEVELOPMENT PLAN

- **Executive Summary, Page 1**

“The mission of the Balloon Fiesta Park is multifaceted, with the underlying objectives being to host the World’s premier ballooning event, while addressing an equally important set of community, cultural, and recreational needs of the local and statewide community”.

“The new Balloon Fiesta Park must provide the highest quality recreational, cultural, and educational opportunities to the local and statewide community, while celebrating the Kodak Albuquerque International Balloon Fiesta, the City’s annual signature event. Appropriate commercial activities will be provided to supplement the income stream needed for operating costs of the Balloon Fiesta Event”.

BALLOON FIESTA PARK MASTER DEVELOPMENT PLAN

- **Land Uses**

1. Recreation and Park Elements
2. Special Events
3. Buildings (*“Enclosed Sports arena *An outdoor sports stadium is not allowed at BFP”.*)

- **2012 Update: Large Outdoor Performance Area**

- ✓ Had been Auditorium/Entertainment Facility
- ✓ Requires EPC approval
- ✓ *“It is intended to be used for large concert events and include a two-sided stage facing north/south, a jumbo screen, speakers, and lighting”.*
- ✓ *Development Parameters: “...maximum number of permanent seats: 8,000 (there will also be additional lawn seating on the Balloon Launch Field)”*

BALLOON FIESTA PARK MASTER DEVELOPMENT PLAN

- **Lighting Performance Standards**

- ✓ MDP addresses Placement, Shielding, and Height
- ✓ Lighting study has been completed for the stadium

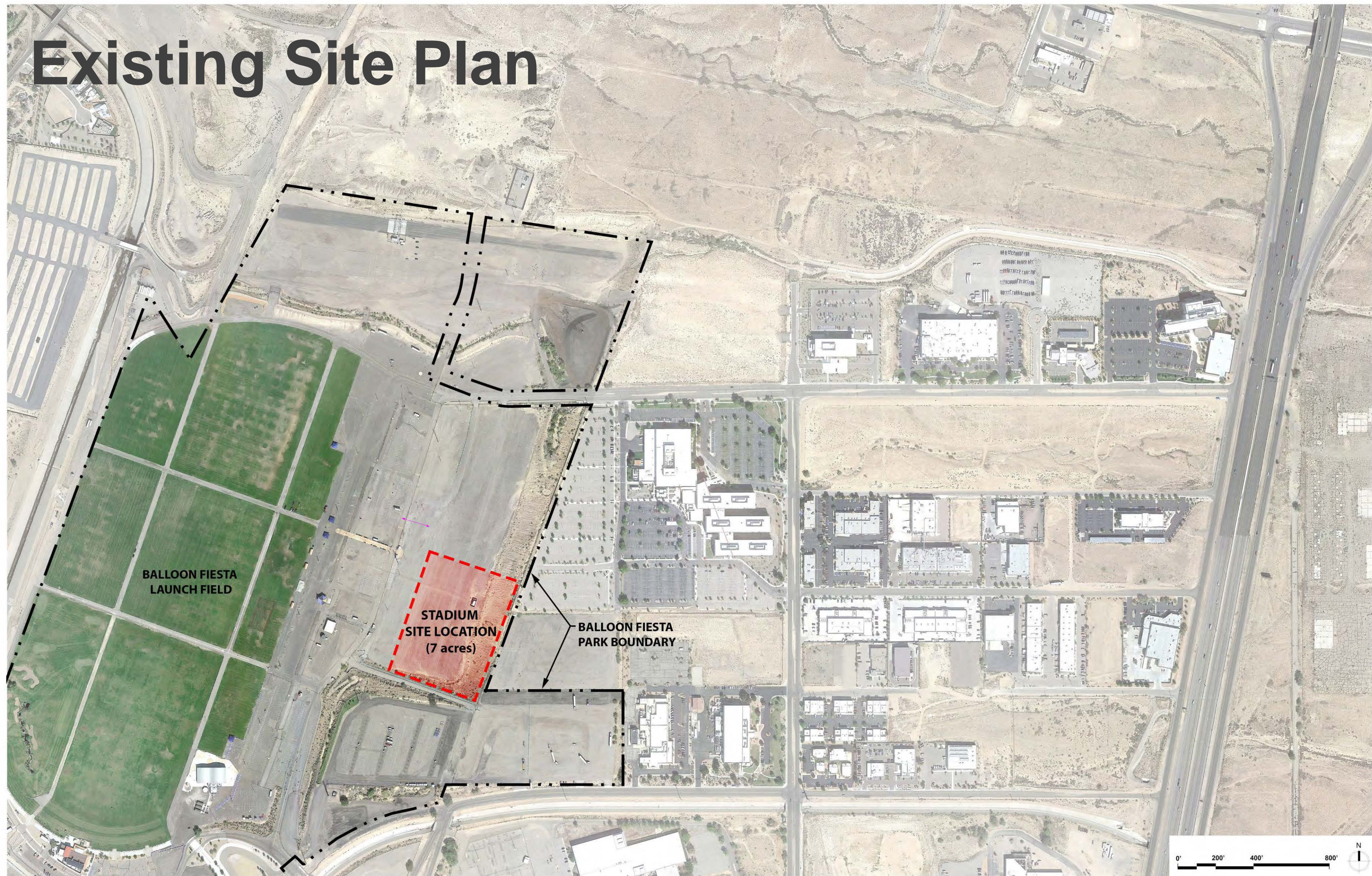
- **Noise Performance Standards**

- ✓ MDP addresses Amplified Sound, Speaker Type and Location, Noise Monitoring, Outdoor Active Recreation Area, Large Outdoor Performance Area
- ✓ Sound study has been completed for the stadium

- **Park Access**

- ✓ MDP addresses roadways, transit access and bus depot, and parking
- ✓ Master Site Plan will address overall parking; Site Plan-EPC will address parking for the stadium
- ✓ Traffic study is ongoing for the stadium

Existing Site Plan



BALLOON FIESTA
LAUNCH FIELD

STADIUM
SITE LOCATION
(7 acres)

BALLOON FIESTA
PARK BOUNDARY

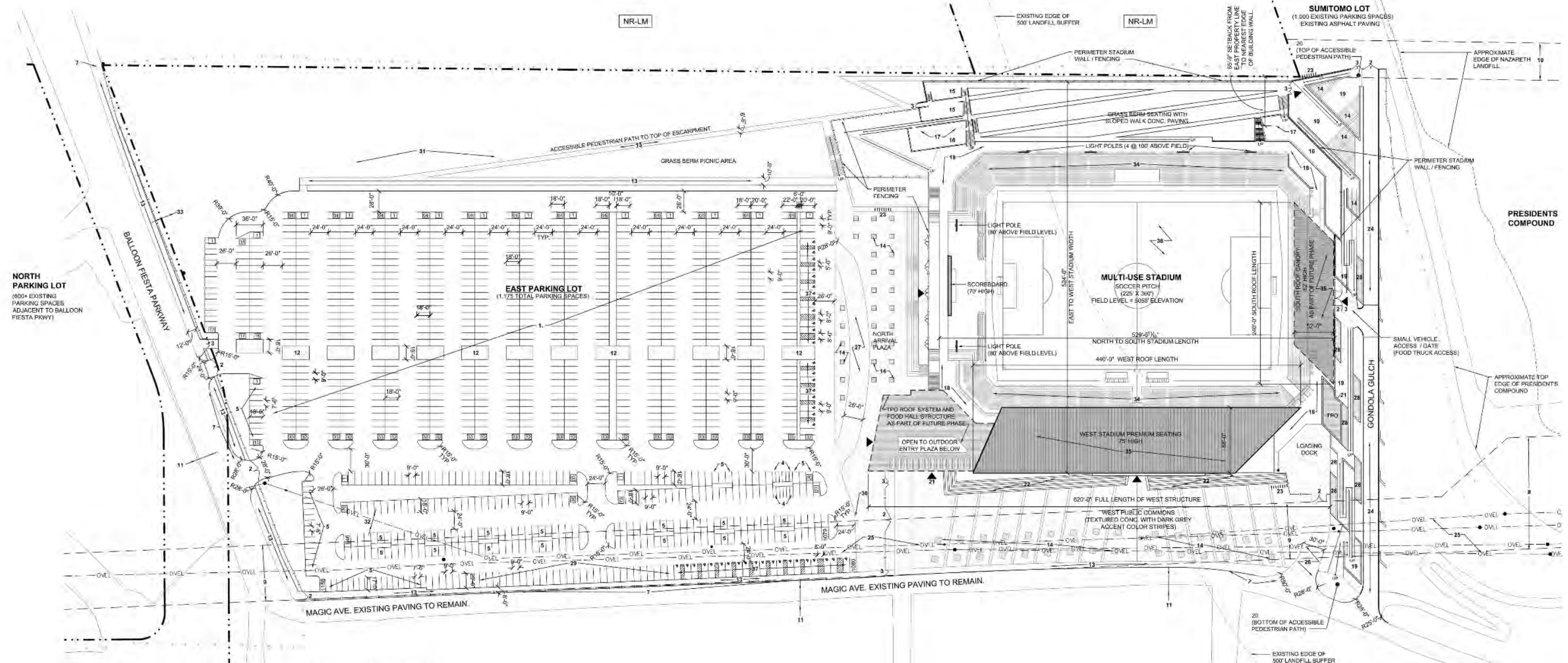


Draft Site Plan



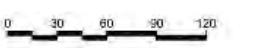
DRAFT CONCEPTUAL SITE PLAN - Multi-Use Stadium at Balloon Fiesta Park





EPC SITE PLAN: MULTI-USE STADIUM AND SITE IMPROVEMENTS

1" = 60'-0"



GENERAL NOTES

- A. TEMPORARY LIGHT POLES ARE TO CONTINUE TO BE USED WITHIN THE EAST LOT DUE TO THE FLEXIBILITY OF YEAR-ROUND USES THE PARKING LOT SERVES AND DUE TO THE SAFETY CONCERNS OF ANY INSTANCES WHERE BALLONS ATTEMPT TO LAND WITHIN THE EAST PARKING LOT. ALL OTHER LIGHTING AROUND THE PERIMETER OF THE STADIUM AND WITHIN ADJACENT PEDESTRIAN PLAZA AREAS SHALL COMPLY WITH THE ILLINOIS AND THE MASTER DEVELOPMENT PLAN DESIGN STANDARDS.
- B. SIGNAGE SHALL COMPLY WITH THE APPROVED MASTER DEVELOPMENT PLAN DESIGN STANDARDS FOR THIS SITE. BUILDING SIGNS SHALL NOT EXCEED 20% OF THE FACADE TO WHICH THEY ARE APPLIED. SIGNAGE MAY BE BACKLIT OR LIT WITH ACCENT LIGHTING OR INTERNAL LIGHTING, BUT SHALL NOT DIRECT ANY EXCESSIVE LIGHT PROJECTING OUTWARD IN THE DIRECTION OF ANY OF THE SURROUNDING NEIGHBORHOODS.
- C. PAVEMENT MATERIALS WITHIN THE PERIMETER PEDESTRIAN SPACES AROUND THE STADIUM AND IN THE EAST PARKING LOT SHOULD INCLUDE MATERIALS SUCH AS INTEGRAL COLORED AND / OR TEXTURED CONCRETE, BRICK, STONE, OR AGGREGATE CONCRETE, AND SHOULD INCORPORATE PATTERNS AND ARTISTIC DETAILS IN KEEPING WITH THE CHARACTER OF BALLOON FIESTA PARK AND CHARACTER OF THE STADIUM.
- D. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- E. PNM COORDINATION, DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENT PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- F. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2420), CURB AND GUTTER (2417A). FENCING AND ACCESS: NEW SITE FENCING SHALL BE INSTALLED AROUND THE PERIMETER OF THE STADIUM AND EXISTING CHAIN LINK FENCING WILL BE REMOVED AND REPLACED WITH NEW ALONG MAGIC AVE. AND ALONG PORTIONS OF BALLOON FIESTA PARKWAY AS INDICATED. NEW FENCING INDICATED ALONG BALLOON FIESTA PARKWAY AND PORTIONS OF MAGIC AVE. SHALL BE GALVANIZED OR COATED HEAVY DUTY WIRE MESH PANELS. FENCING ALONG THE PERIMETER OF THE STADIUM SHALL BE A COMBINATION OF WIRE MESH AND PERFORATED METAL PANELS. COLORS SHALL RANGE FROM MEDIUM TO DARK GRAY, WITH ARTISTIC COLOR ACCENTS AT SELECTED AREAS OF FENCING PANELS. NEW CHAIN LINK FENCING WILL PROVIDED AT AREAS CONNECTING TO EXISTING CHAIN LINK FENCING FOR CONSISTENCY. ALL ADA ACCESSIBLE PARKING SPACES SHALL BE 9' WIDE X 20' DEEP, WITH 5' WIDE ACCESS AISLES AND 8' WIDE VAN ACCESSIBLE AISLES. ALL ADA ACCESSIBLE AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 12" HIGH AND 2" WIDE, PLACED AT THE BACK OF THE AISLE.
- G. THE FOOD HALL SPACE AND ROOF STRUCTURE AT THE NW CORNER WILL BE CONSTRUCTED AS PART OF A FUTURE PHASE BASED ON FUNDING AVAILABILITY. PHASE 1 WILL INCLUDE, OPEN AIR ENTRY PLAZA, GROUND LEVEL RESTROOMS, TICKETING, SALES, AND ALL VERTICAL CIRCULATION STRUCTURES.

KEYED NOTES

1. ASPHALT PAVING AND STRIPING PER COA STANDARDS.
2. VEHICULAR ACCESS GATE. SEE TYPICAL ARCHITECTURAL DETAIL.
3. PEDESTRIAN ACCESS GATE. SEE TYPICAL ARCHITECTURAL DETAIL.
4. MOTORCYCLE PARKING SPACES.
5. COMPACT PARKING SPACES, LESS THAN 10% OF TOTAL PARKING IN EAST LOT.
6. (SEE NOTES)
7. APPROXIMATE BOUNDARY / EXTENTS OF SITE IMPROVEMENTS.
8. EXISTING 15' PNM EASEMENT.
9. PROPOSED PNM EASEMENT (APPROX. 75' WIDE) PER QUILT/CAM ACTION.
10. EXISTING 20' DRAINAGE AND UTILITY EASEMENT.
11. EXISTING 20' COA PUBLIC WATERLINE EASEMENT.
12. TEXTURED CONCRETE PAVING FOR PEDESTRIAN CIRCULATION WITHIN PARKING LOT.
13. CONCRETE SIDEWALK PER COA STANDARDS.
14. CRUSHED FINE PLANTER BEDS FLUSH WITH SURROUNDING PAVING. SEE LANDSCAPE.
15. STADIUM TERRACE, CONCRETE PAVING SYSTEM OVER GRADE.
16. STADIUM TERRACE DECK, CONCRETE PAVERS OVER ROOF MEMBRANE OVER CONCESSIONS SPACE BELOW.
17. HIDDEN LINE INDICATES EDGE OF CONCESSIONS SPACE BELOW.
18. STADIUM MAIN CONCOURSE CIRCULATION LEVEL AT 25' ABOVE FIELD LEVEL.
19. PUBLIC TERRACE / CIRCULATION AREA, C.I.P. CONCRETE PAVING OVER GRADE.
20. ACCESSIBLE PUBLIC CIRCULATION RAMPKWAY / PEDESTRIAN PATH CONNECTS TOP OF ESCARPMENT TO LAUNCH FIELD LEVEL ALONG MAGIC AVE. ADA RAMPS @ 1:12 MAX. RAMP WIDTHS ARE 8'-8" WIDE.
21. ACCESSIBLE PUBLIC RESTROOM ACCESS.
22. STEPPED GABION STONE PLANTER WALLS WITH BUILT-IN BENCHES FOR PICNICKING.
23. BIKE RACKS.
24. ASPHALT PAVING, CURB AND GUTTER PER COA STANDARDS.
25. EXISTING OVERHEAD ELECTRIC LINES.
26. CONCRETE PAVED ACCESS DRIVE INTO LOADING DOCK.
27. CONCRETE PAVED ARRIVAL DROP-OFF LANE.
28. GABION BLOCK WALL PLANTERS. SEE LANDSCAPE.
29. ELECTRIC VEHICLE PARKING SPACE.
30. PROVIDE ROLLED CURB PER COA STANDARDS FOR PEDESTRIAN ACCESS INTO WEST PLAZA.
31. EXISTING 100' YEAR FLOOD PLAIN.
32. EXISTING 10' PNM & US WEST COMMUNICATIONS EASEMENT.
33. EXISTING 10' US WEST COMMUNICATIONS & COMCAST CABLE EASEMENT.
34. STADIUM SEATING BOWL, ALUMINUM GRANDSTAND STRUCTURE WITH BUILT-IN SEATING, COLORS: GRAY, BLACK AND YELLOW.
35. STANDING SEAM METAL ROOF SYSTEM SLOPED TO DRAIN AT 1" PER FOOT AWAY FROM SEATING.
36. SYNTHETIC TURF SOCCER FIELD.
37. ACCESSIBLE PARKING SPACES PER COA STANDARDS, SEE GENERAL NOTES.

PROJECT DATA

SITE INFORMATION

ZONING: NR-PO-A
 OVERLAY: NORTH 125 CO-10

MULTI-USE STADIUM BUILDING AREA: 165,500 SF
 (INCLUDES 33,056 SF FOOD HALL IN FUTURE PHASE)

MULTI-USE STADIUM PERIMETER FOOTPRINT INCLUDING SEATING BOWL & SOCCER FIELD: 301,700 SF

IMPROVED EAST PARKING LOT AND ARRIVAL PLAZA AREA: 475,000 SF

WEST PUBLIC COMMONS AREA: 34,000 SF

OVERALL SITE AREA: 985,000 SF

PARKING CALCULATIONS

STADIUM DESIGN SPECTATOR CAPACITY = 11,000
 19,600 SEATING AND DRINK RAIL CAPACITY = 1,400 BERM SEATING AND STANDING ROOM CAPACITY

PER I/O: 1 PARKING SPACE PER 4 SEATS (11,000 / 4 = 2,750)

REQUIRED PARKING SPACES: 2,750

PROVIDED SPACES: 2,750
 (1,175 SPACES IN EAST LOT, 1,000 SPACES ON TOP OF ESCARPMENT AT SUMITOMO LOT, 500 SPACES WITHIN THE NORTH LOT*)

REQUIRED ACCESSIBLE PARKING: 38
 PROVIDED ACCESSIBLE PARKING: 40

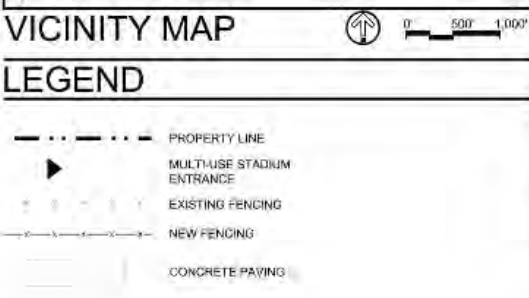
REQUIRED MOTORCYCLE PARKING: 12
 PROVIDED MOTORCYCLE SPACES PROVIDED: 12

REQUIRED BICYCLE PARKING: 275
 PROVIDED BICYCLE PARKING: 275

REQUIRED ELECTRIC VEHICLE PARKING: 138**
 PROVIDED ELECTRIC VEHICLE PARKING: 138**

* THERE ARE A TOTAL OF 4,335 PARKING SPACES WITHIN THE NORTH LOT AND ADDITIONAL SPACES FOR STADIUM PARKING CAN BE ACCOMMODATED IN THIS AREA AS NEEDED. THE 600 SPACES LISTED ARE THOSE SPACES IMMEDIATELY ADJACENT TO BALLOON FIESTA PARKWAY. THERE ARE A TOTAL OF 9,025 SPACES AVAILABLE WITHIN BALLOON FIESTA PARK OVERALL.

** THERE ARE ZERO ELEC. VEHICLE PARKING SPACES IN THE PARK CURRENTLY. THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE PARKING SPACES WILL BE DISTRIBUTED THROUGHOUT THE ENTIRETY OF THE PARK. A MINIMUM OF 50 EVC SPACES CAN BE LOCATED WITHIN THE EAST LOT.



PROJECT NUMBER: 1000363
 Application Number:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated Month, Date, Year and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or lot construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

Hydrology

Code Enforcement

*Environmental Health Department (conditional)

Solid Waste Management

Planning Department

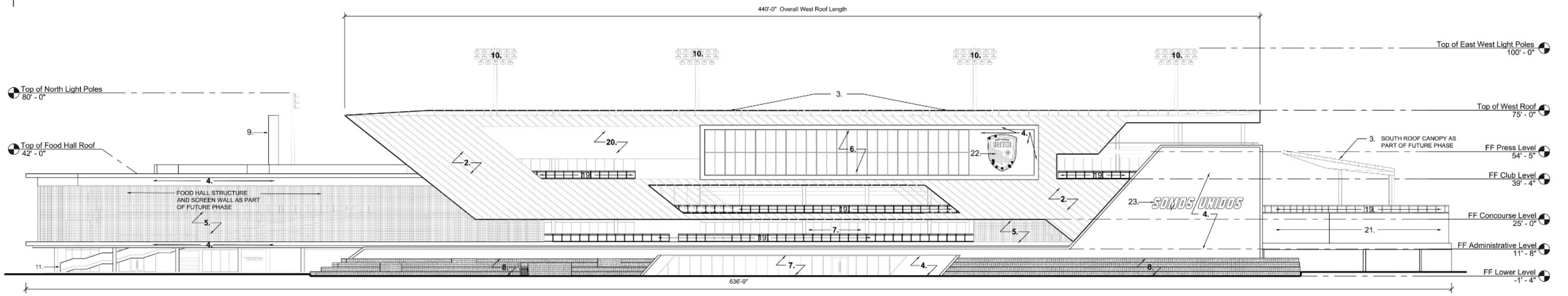
BALLOON FIESTA PARK MULTI-USE STADIUM

CITY OF ALBUQUERQUE

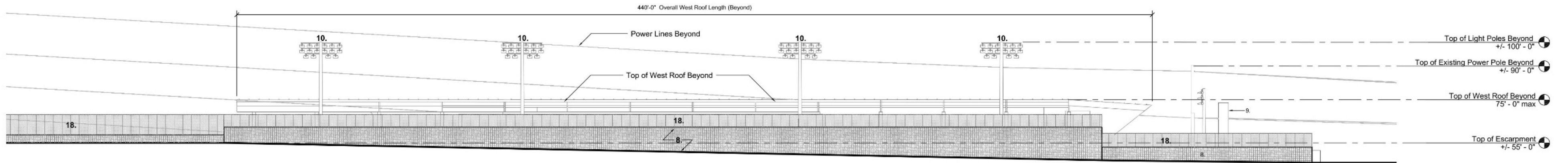
PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
 ARCHITECTURE
 IMPROVE GROUP +
 ODELL A LABELLA COMPANY
 ENGINEERING
 BOHANNAN HUSTON

SITE PLAN - EPC
 SITE PLAN

SHEET 1 OF 11
 OCTOBER 31, 2023



1 WEST ELEVATION
1" = 20'-0"



2 EAST ELEVATION
1" = 20'-0"

GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

1. Precast Architectural Concrete Panels. Warm Earth Tone.
2. Aluminum Profile Metal Panel System, Medium Gray Tone.
3. Standing Seam Metal Roof System
4. Aluminum Composite Metal Panel System. Yellow.
5. Kinetic Aluminum Panel Screen Wall
6. Curtain Wall Glazing System
7. Storefront Glazing System
8. Gabion Wall System
9. Scoreboard
10. Light Poles. See Architectural Details sheet.
11. Monumental Stair, Steel Structure. See Architectural Details sheet.
12. Concrete Steps, Cast in Place with Integral Color
13. Aluminum Composite Metal Panel System, Prey
14. Seating Bowl Beyond
15. Pedestrian Concourse Bridge
16. (not used)
17. Grass Berm Picnic Area
18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels.
19. Metal Guardrail System. Silver
20. Stucco finish system. Warm Grey.
21. Stucco Finish System. Warm Earth Tone.
22. Signage: NM United Shield, see Architectural Details sheet.
23. Signage: Building Sign, see Architectural Details sheet.



BALLOON FIESTA PARK MULTI-USE STADIUM

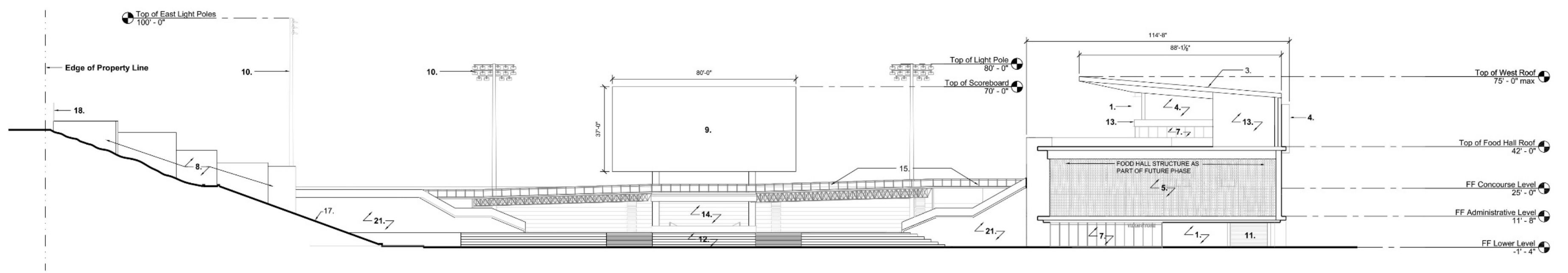
CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
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ENGINEERING
BOHANNAN HUSTON

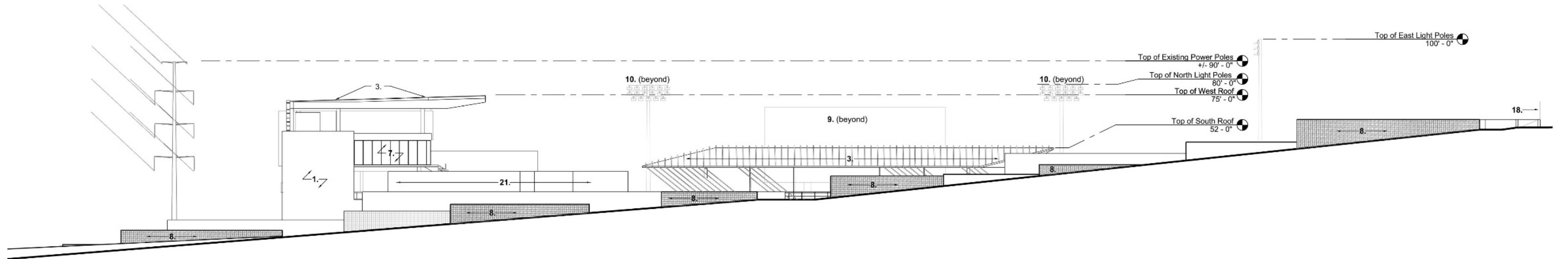
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Building and Structure Elevations

1" = 20'-0" 0 10' 20' 30' 40'

SHEET 9 OF 11
OCT 31, 2023



3 NORTH ELEVATION
1" = 20'-0"



4 SOUTH ELEVATION
1" = 20'-0"

GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

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BALLOON FIESTA PARK
**MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ARCHITECTURE
IMPROVE GROUP +
ODELL A LABELLA COMPANY
ENGINEERING
BOHANNAN HUSTON

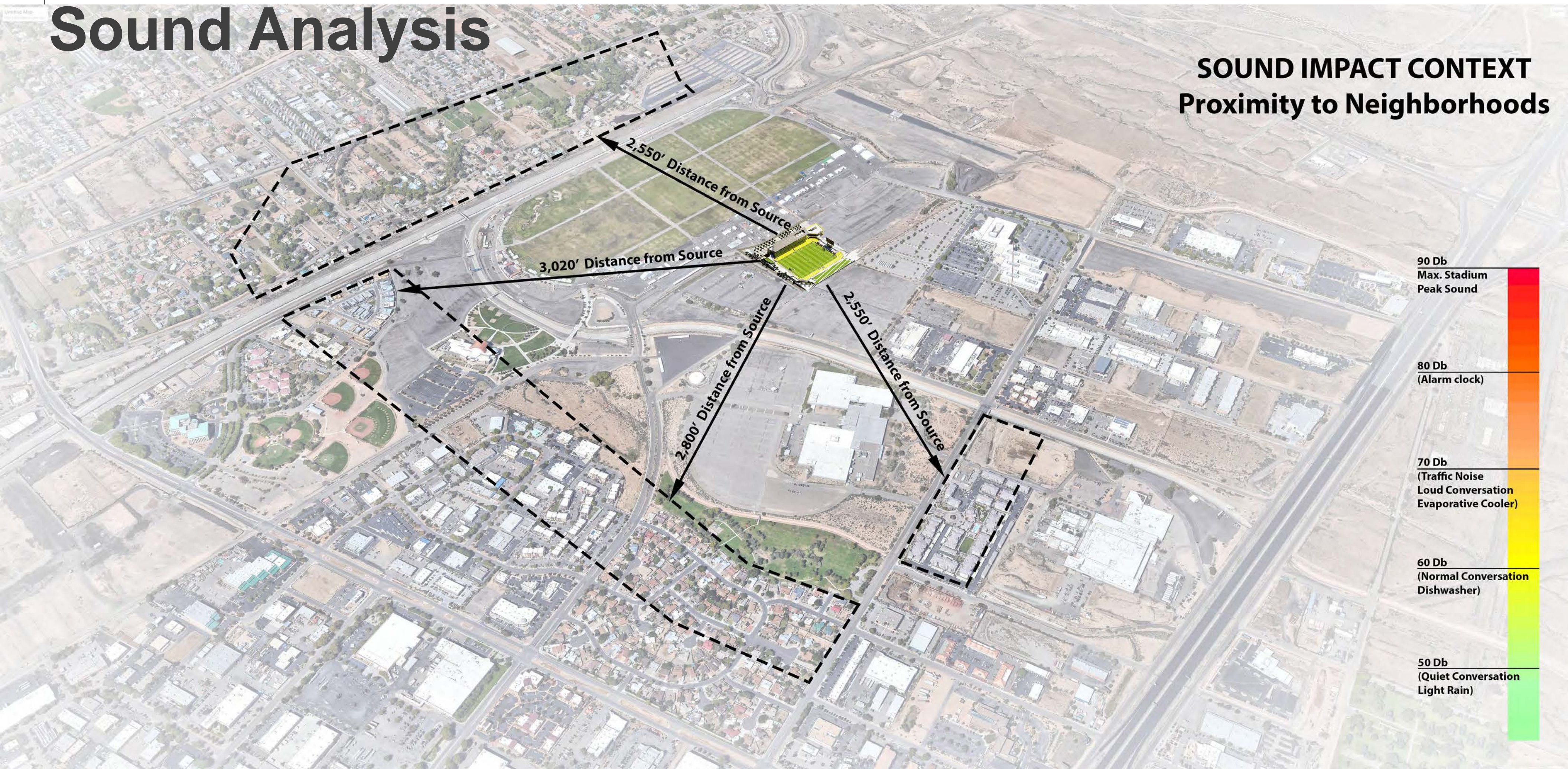
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Building and Structure Elevations

1" = 20'-0" 0 10' 20' 30' 40'

SHEET 10 OF 11
OCT 31, 2023

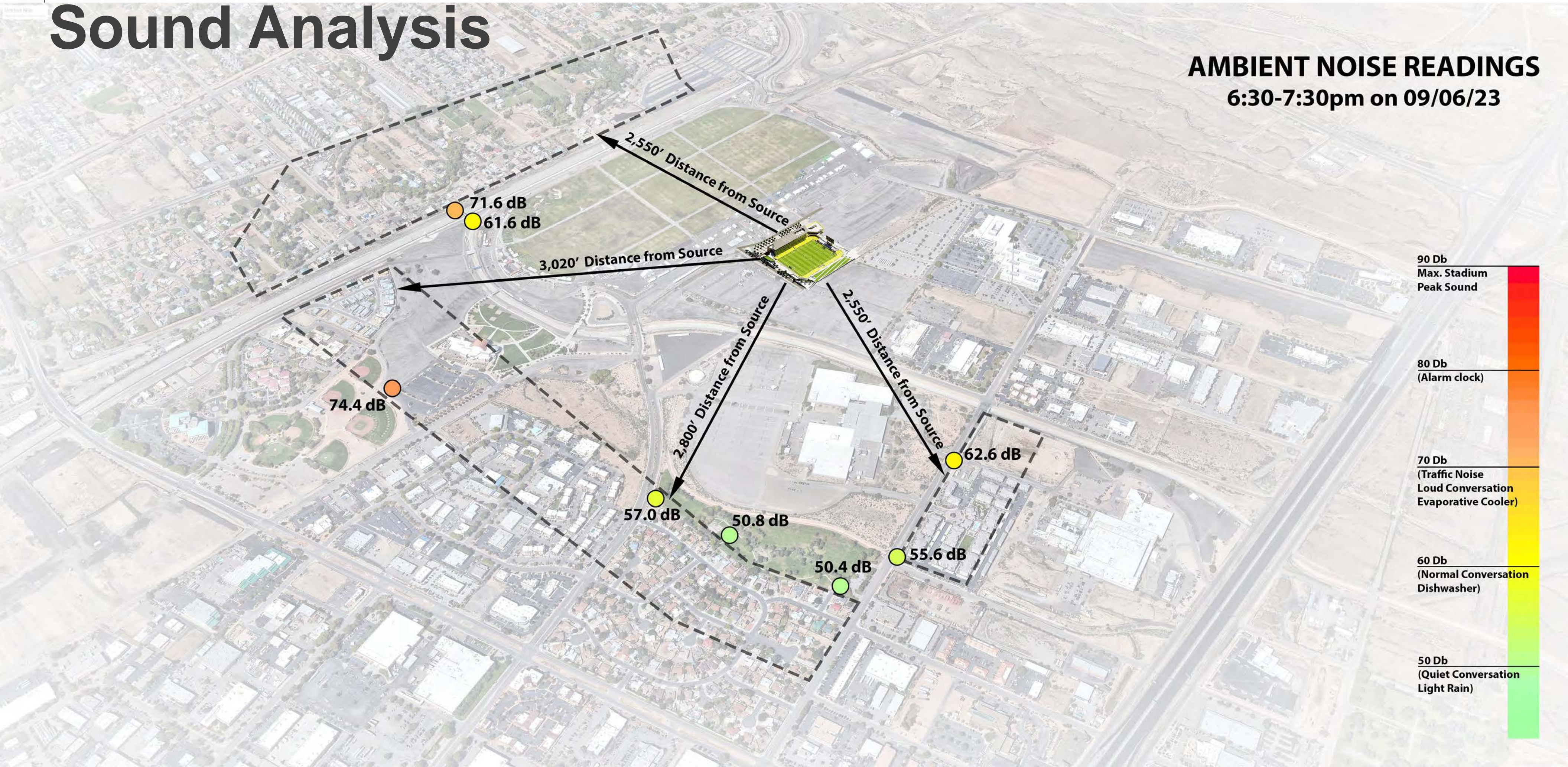
Sound Analysis

SOUND IMPACT CONTEXT Proximity to Neighborhoods



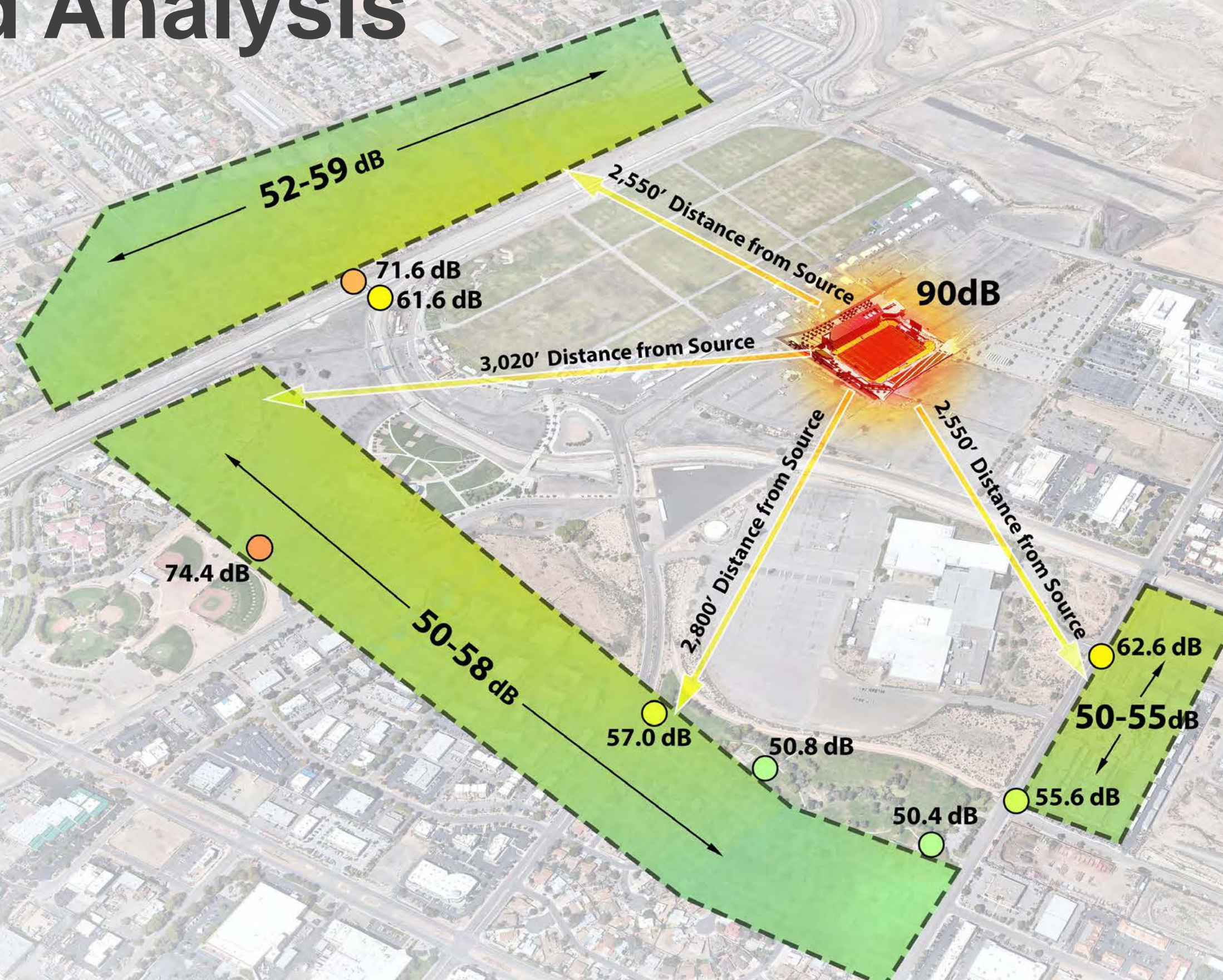
Sound Analysis

AMBIENT NOISE READINGS
6:30-7:30pm on 09/06/23

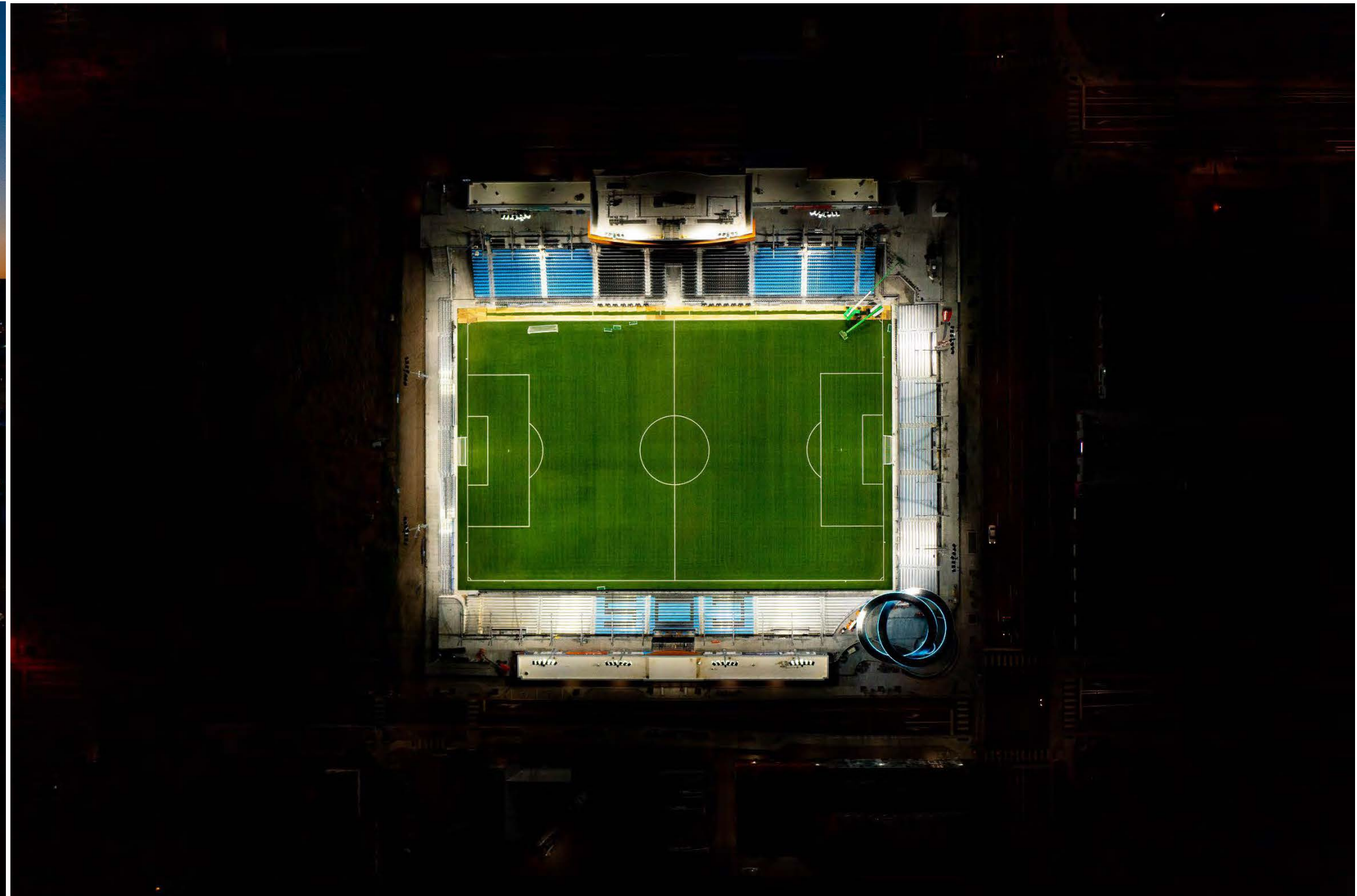


Sound Analysis

ACOUSTICAL PREDICTION MODELING
Based on a 90dB Peak Noise Event,
Using GPS Topographic & 3D Stadium Models

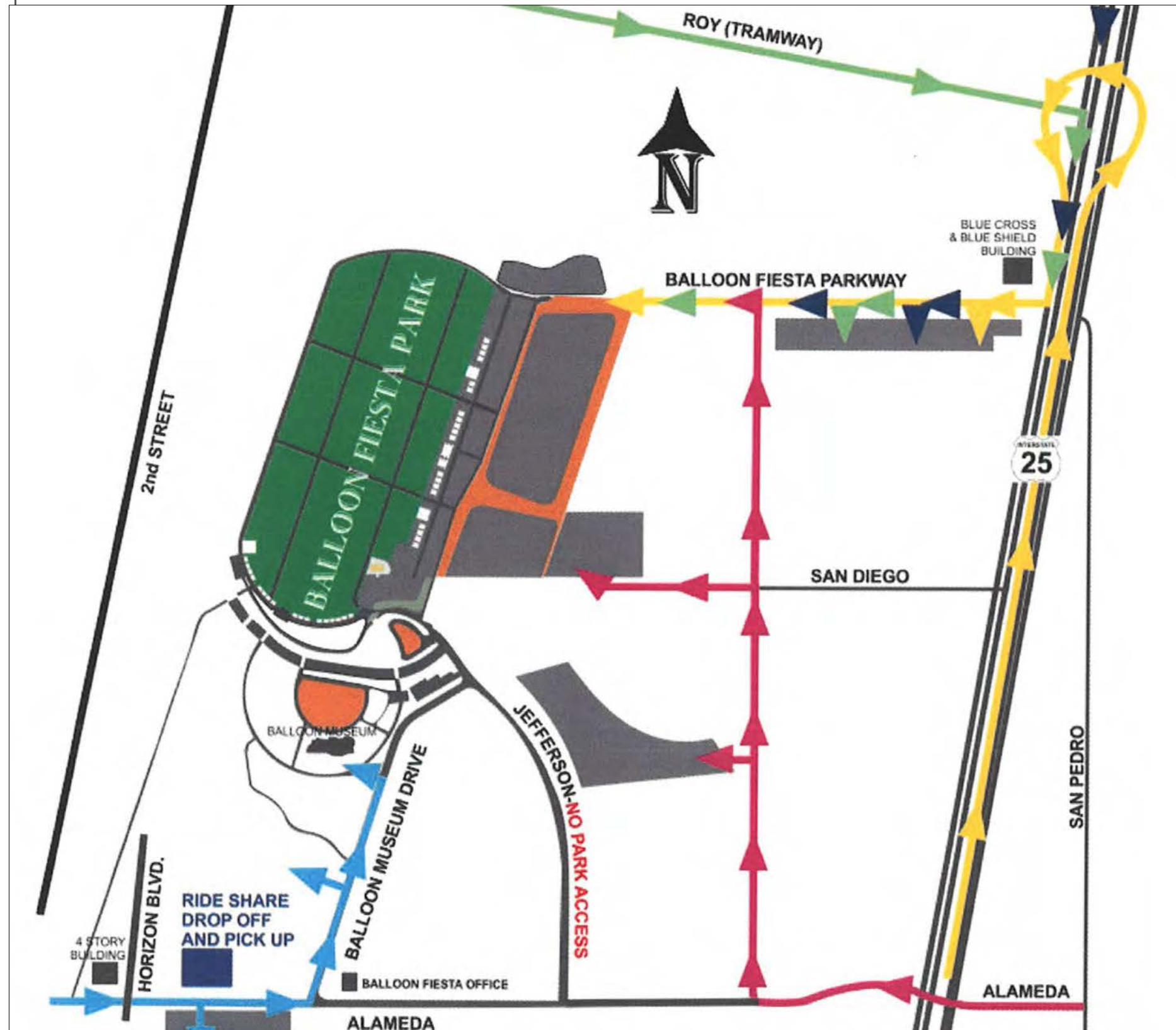


Lighting Analysis

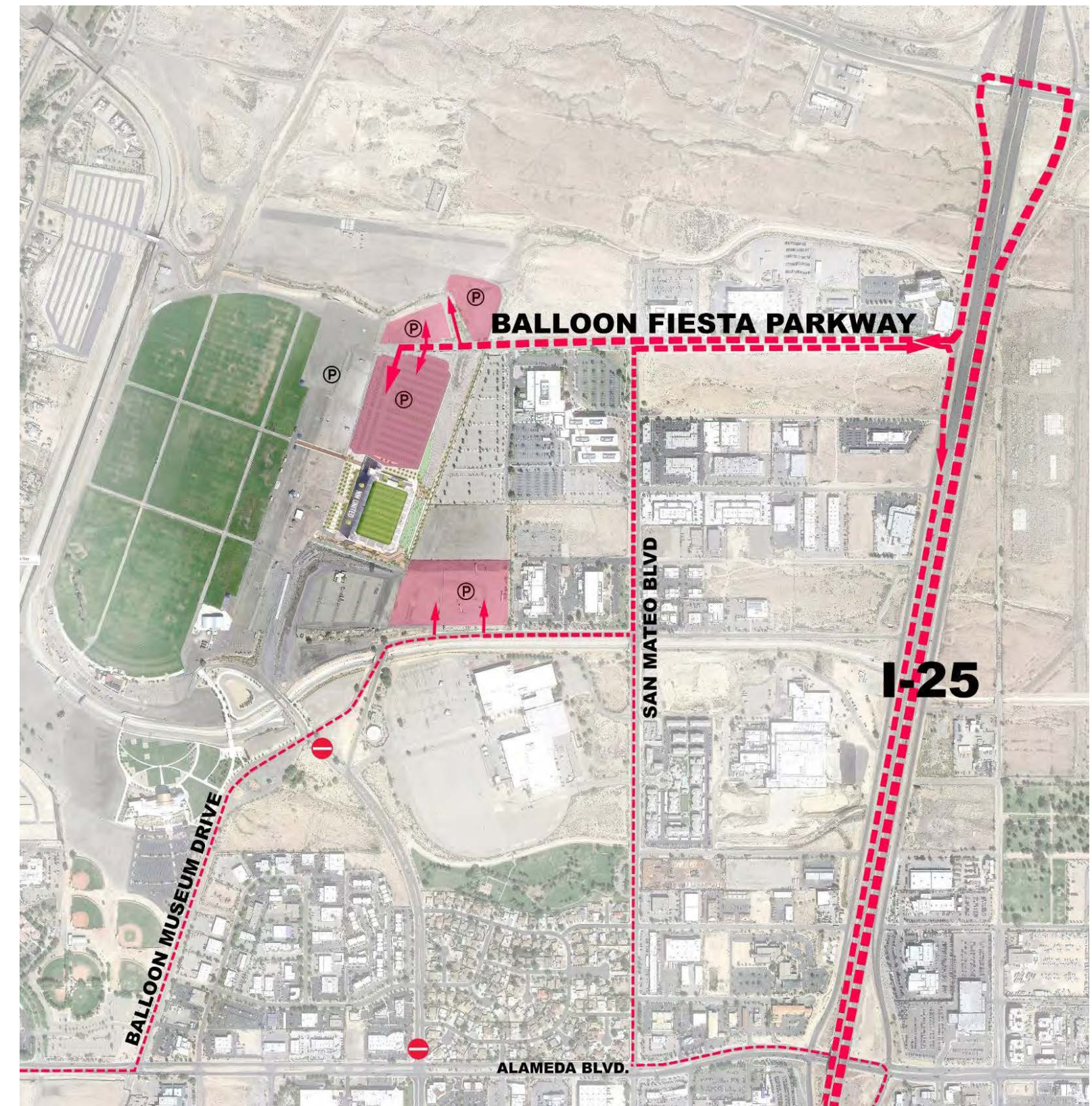


Weidner Field, Colorado Springs

Traffic Analysis



Balloon Fiesta Traffic Flow



United Soccer Game Traffic Flow

Draft Site Plan

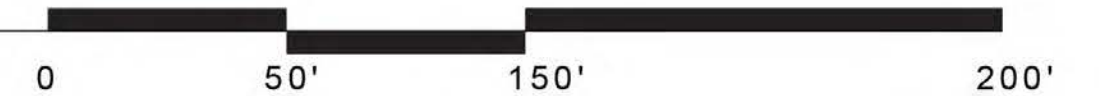


DRAFT CONCEPTUAL SITE PLAN - Multi-Use Stadium at Balloon Fiesta Park





DRAFT WEST BUILDING ELEVATION AND SITE





LETTERS OF SUPPORT

Bolivar, Silvia A.

From: William J Babb <WBabb@salud.unm.edu>
Sent: Tuesday, November 7, 2023 11:45 AM
To: Bolivar, Silvia A.
Subject: New Mexico United Stadium Proposal

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hello Ms.Bolivar,

I was at the City Council meeting on October 16th and it was kind of a bummer that there wasn't a vote to approve the United Stadium agreement. I was certain that was going to happen. Asi es la vida...

I'm no different than many of the supporters you're likely hearing from. I wholeheartedly believe that this stadium is a legacy moment for our city. In the best possible way. United means so much to this community. A big part of that is because they are the community. The decision-makers for the club live in, and love, our city and state!

The proposed stadium for New Mexico United has the opportunity to be a legacy triumph for the city. What better way to partner this achievement with the legacy that is Balloon Fiesta Park? The acreage is there, the plan to improve the infrastructure is in place, and the will to build and grow symbiotically with Balloon Fiesta has been shown by the club. This club listens to our city and state. They heard 'we love you and your stadium but do it in a different way' by the voters. They are doing just that. Many other clubs might have left - but not New Mexico United. This club, management, and players are devoted to the people and the ethos of this city and state.

I'm a former pediatric ICU nurse here in ABQ and native 'Burqueno. I've seen some of the bad things that can happen to kids in our city and New Mexico. New Mexico United is a strong force for good among the kids in our state. My son has been to three different, free clinics put on by the team. The team has a frequent presence in Albuquerque schools - and schools statewide. This presence shows that this team cares about them and that sports can be a way to grow and learn. Lastly, New Mexico United does so much to show kids in schools, youth groups, and at games how amazing it is to be New Mexican!

I bring up all the good that this team does because not having a stadium for New Mexico United is an existential crisis for the club. Without a stadium, we're going to lose this club, I'm afraid. Not because of the Club's wishes, but USL regulations. I don't have a crystal ball but I am certain that this lease agreement **WILL BE A WIN-WIN** for the city and state and New Mexico United. Please, ma'am. Please do what you can to approve the lease agreement and make this happen. I'm happy to converse with you at any time about this matter.

Sincerely,

Billy Babb
2000 Glorieta St. NE
ABQ, NM 87112
505-610-4865

Billy Babb MSN, RN-BC

Alumnus CCRN

**University of New Mexico Hospitals
Ear, Nose, and Throat Clinic Nurse**

From: [David Carl](#)
To: [Bolivar, Silvia A.](#)
Subject: Letter Urging Approval on Stadium Project at Balloon Fiesta Park
Date: Wednesday, November 8, 2023 10:07:35 AM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Dear Members of the Albuquerque Environmental Planning Commission,

I am writing to express my enthusiastic support for the proposed New Mexico United Stadium at Balloon Fiesta Park and to urge you to approve this transformative project. The construction of this stadium not only promises to be a valuable addition to our community but also represents a significant step forward in making Albuquerque a more vibrant, competitive, and unified city, while also significantly enhancing Balloon Fiesta Park.

Here are several compelling reasons why I believe the New Mexico United Stadium is an ideal fit for Balloon Fiesta Park and why it deserves your approval:

1. Balloon Fiesta Park Enhancement:

The proposed New Mexico United Stadium will serve as a catalyst for improving Balloon Fiesta Park. This development will lead to vital infrastructure upgrades and landscaping enhancements that will not only support the stadium but also create a lasting legacy for our beloved Balloon Fiesta Park. These improvements will benefit not only soccer fans but also all those who visit the park for various events and activities. Improved utility services for Vendors' Row and Public Restrooms will make a huge difference.

2. Community Enhancement:

The proposed stadium will be a centerpiece of community activities, offering a dynamic space for residents and visitors to gather, celebrate, and enjoy the beautiful game of soccer. This facility will serve as a hub for various events, attracting people from all walks of life to share in the camaraderie and excitement of professional soccer matches. It will become a cultural touchstone, fostering a sense of togetherness and belonging in our city, while also improving the overall appeal and functionality of Balloon Fiesta Park.

3. Economic Boost:

The New Mexico United Stadium will undoubtedly contribute to the economic growth of Albuquerque, including Balloon Fiesta Park. With increased foot traffic and visitors to the area, local businesses, restaurants, and hotels in the vicinity of the park will benefit from the added revenue generated by this development. This will ultimately enhance Albuquerque's status as a major metropolitan area, making it more competitive and attractive to both residents and potential investors, while also bolstering the economic prospects of Balloon Fiesta Park.

4. Sense of Pride:

By approving the New Mexico United Stadium, you will be giving New Mexicans a tremendous source of pride in their community and Balloon Fiesta Park. The stadium will be a symbol of our collective spirit, reflecting the unity and resilience that define our state. It will provide a place where families, friends, and individuals can come together to create lasting memories and strengthen their connection to this wonderful city, all while enjoying the

improved facilities and infrastructure of Balloon Fiesta Park.

5. Inclusivity and Community Impact:

New Mexico United, as an organization, has proven its commitment to inclusivity and community engagement through various programs and initiatives. Their outreach efforts go beyond soccer, embracing the entire community. Their youth development programs, community partnerships, and philanthropic endeavors have already made a significant impact. By approving this stadium, you will be further endorsing the club's mission to unite, empower, and inspire New Mexicans, including those who use Balloon Fiesta Park for various recreational and cultural activities.

In conclusion, I strongly believe that the New Mexico United Stadium at Balloon Fiesta Park is an opportunity for Albuquerque to shine on the national stage. It will bring our community together, boost our local economy, and offer a source of immense pride for all residents. New Mexico United, with their unwavering commitment to inclusivity and community impact, is a deserving partner for this venture, which will greatly improve Balloon Fiesta Park as well.

I respectfully urge the Albuquerque Environmental Planning Commission to approve this project, understanding the positive impact it will have on our city, its residents, and the enhancement of Balloon Fiesta Park. Thank you for your time and consideration.

Sincerely,

David Wiese-Carl
Proud Albuquerque Resident

TO WHOM IT MAY CONCERN,

I am writing to ask you to please vote Yes regarding the New Mexico United Stadium location in Balloon Fiesta park. This Club has made it part of their mission to be about the community and they travel around the state, volunteer, do things that are not reported or promoted on the news that I have personally heard from other community members who are not soccer fans but are fans of how the team/club have treated their family.

This stadium has always had the goal, pun intended, to be used as a multipurpose stadium for the team for men's soccer, adding a women's pro team!, art, concerts, VIP events, and whatever our minds can imagine but like Field of Dreams says we have to "build it (first) and they will come." The stadium is going to be built where power lines are located so it will not interfere with the balloons and it will add value with bathrooms and running water for hygiene (remember COVID and other diseases, this occupational therapist does) and this will be better for everyone.

I have a sort of unique déjà vu type experience with living in Indianapolis years ago and they wanted to maybe build a new football stadium but already had one. People didn't like going downtown cause it wasn't safe, there weren't places to eat, where would people park, . . . sounds familiar right? They built the new stadium, families came to the game, more restaurants came to the area, crime went down, the Super Bowl came to town. Indianapolis isn't that much bigger than Albuquerque and what we currently have in our favor is one of the biggest fan bases in the USL and a Club that wants to be here and make this state flourish while offering to give the stadium back for \$1 and all we have to do is just say Yes. We regularly have 10,000+ for games and just imagine like Field of Dreams how many more will come when it's not a game day.

Sincerely,

Ellen Jones



NEW MEXICO YOUTH SOCCER

The governing body for youth soccer in New Mexico, affiliated with US Youth Soccer,
the United States Soccer Federation (USSF), and the Fédération Internationale de Football Association (FIFA)

November 7, 2023

Silvia Bolivar, PLA ASLA
Senior Planner, Landmarks Commission
Email: sabolivar@cabq.gov

Re: New Mexico United Stadium

To Whom It May Concern:

Please accept this letter as our wholehearted support of the privately funded New Mexico United soccer stadium. Our organization is dedicated to fostering a safe environment for the physical, mental, and emotional growth and development of New Mexico's youth through the sport of soccer at all levels. As such, we are dedicated soccer enthusiast and are thrilled that New Mexico United has brought professional soccer to our community. We believe that construction of a state-of-the art soccer stadium will enhance sports entertainment options and provide a positive impact for the youth soccer families in New Mexico.

New Mexico United as become a source of pride for our state, uniting fans from all walks of life with a shared passion for soccer. The team's successes on and off the field have captured the hearts of many and New Mexico United's commitment to community engagement demonstrates their dedication to New Mexico. Building a dedicated soccer stadium for New Mexico United would provide a permanent and fitting home for the team, solidifying its presence in our state's sporting landscape.

Please consider the below reasons why we support the construction of New Mexico United's soccer stadium:

- Soccer is a sport that transcends cultural boundaries. Having a dedicated stadium for New Mexico United will celebrate our cultural diversity and promote inclusivity through the game of soccer.
- Access to professional sports and entertainment facilities enhances our overall quality of life, making New Mexico a more attractive place to live, work, raise families and visit.
- A soccer stadium will serve as a hub for our community, bringing people together to enjoy matches, concerts, and other events. It will strengthen the sense of togetherness

2825 Broadbent Parkway NE, Suite D • Albuquerque, NM 87107

Administrative Office: (505) 830-2245 • office@nmysa.net
Coaching Department: (505) 830-2246 • coach@nmysa.net
fax (505) 830-2247 • <http://www.nmysa.net/>



among New Mexico residents. Communities across the state have already united behind this sports team. A stadium will create a gathering place where people from all walks of life can unite and share their passion.

- Soccer is the largest youth sport in the state of New Mexico. Having a sports specific soccer stadium for our professional team is long overdue. We need to turn the corner and focus of improving our cities desirability! Sports stadiums and places for our youth to participate are essential! We cannot grow engagement in sports unless we have facilities to do so. A stadium will inspire our youth athletes and help us to foster the wellbeing and growth of the youth programs we provide.

We believe that a soccer stadium for New Mexico United is an investment in the future of our State. This stadium will bring us closer together and serve as a commitment to our local sports teams while inspiring the youth in our communities. Albuquerque has a bright future, and we all need to rally around this stadium project that is sure to create a positive impact for New Mexico families and visitors. Your dedication to the betterment of our city/state is appreciated.

Respectfully,

A handwritten signature in black ink, appearing to read "Gloria Faber". The signature is fluid and cursive, with the first name "Gloria" and last name "Faber" clearly distinguishable.

Gloria Faber, Executive Director
New Mexico Youth Soccer Association

1309 4th Street SW • El Camino Real • Albuquerque, NM 87102 • 505.842.9003 • Fax 505.764.9664
www.ahcnm.org

Ernie C' deBaca
PRESIDENT & CEO

Michelle Hernandez,
GENERAL COUNSEL

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Col. Michael Power

November 7, 2023

Environmental Planning Commission
Albuquerque, NM

To Whom it May Concern:

On behalf of the Board of Directors of the Albuquerque Hispano Chamber (Hispano Chamber), we fully support New Mexico United's proposed stadium at Balloon Fiesta Park.

The proposed soccer stadium is not just about soccer. It's about raising New Mexico's profile. It's about quality of life. It's about youth sports. It's about economic development. It's about bringing in tourism dollars and economic opportunities.

The United Soccer League, which is one step down from Major League Soccer, requires a soccer specific stadium within four years for its professional teams. That time has passed, and if we are serious about support for professional soccer, we need to move forward, quickly. Additionally, there is talk of a woman's professional soccer team coming to Albuquerque and having a quality stadium enhances our chances.

The New Mexico United Stadium will be paid for privately, will bring people not only for games but for other uses like youth sports, special events, and concerts. The sky is the limit, so to speak.

One of the critical elements when companies look to move to Albuquerque is the quality of life. Having a professional sports team and a stadium that offers multi-use options is exactly the type of asset needed in Albuquerque.

As a bonus, the infrastructure improvements are being paid for by funding received from the State specifically to make improvements at Balloon Fiesta Park. Better parking, permanent restrooms, upgraded electricity and paving are some of the improvements that will enhance the experience for everyone attending any event at Balloon Fiesta Park, including the iconic annual Albuquerque International Balloon Fiesta.

New Mexico United has promised it will not interfere with any Balloon Fiesta programming, and the stadium's location is under existing power lines and will in no way impact the fly zones.

We see little downside to the new plan, and we hope the City Council will approve the lease so we can all enjoy professional soccer in a quality multi-purpose stadium for New Mexico United.



Ernie C' deBaca
President & CEO

JOIN. CONNECT. THRIVE.

From: [Jake Gutierrez](#)
To: [Bolivar, Silvia A.](#)
Subject: Proposed New Mexico United Lease Agreement
Date: Tuesday, November 7, 2023 12:04:04 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Dear Environmental Planning Commission,

Good afternoon. My name is Jake Gutierrez. My wife and I live west of Balloon Fiesta Park in an unincorporated part of Albuquerque off of 2nd Street. I write to you today to voice my very enthusiastic support for the proposed lease agreement which would allow New Mexico United to build a stadium at Balloon Fiesta Park.

While we are not in District 4 and don't have direct representation via City Council, we do live close enough to Balloon Fiesta Park to feel the wonderful shift of energy in our neighborhood annually during that window of time. The proximity to Balloon Fiesta Park and beautiful morning views of the balloons overhead are one of the many reasons we chose to live where we do. While I completely understand concerns about traffic, the volume for a Saturday night United match would be a relative blip compared to the over 800,000 guests our City admirably funnels into the Fiesta over a 10-day period. With the majority of the 17 or so matches taking place on weekend nights, typical commute times would simply not be affected for the vast majority of residents, but the increased volume of people would be a welcome boon to local businesses along Alameda and on both sides of the park.

I was pleased with the findings from the light and noise reports, and believe the makings of a solid plan are present for Albuquerque to do something creative and bold and allow for a stunning, revenue-generating venue to be built from essentially a pile of dirt. It will provide entertainment for its citizens and grant New Mexico United the opportunity to build a permanent home for themselves, which is critical for their survival.

Our household, our friends and our neighbors are excited at the prospect of this venue and thank you for the opportunity to voice our support.

Sincerely,

Jake Gutierrez

From: jgriffin@griffinassoc.com
To: [Bolivar, Silvia A.](#)
Subject: NM United Stadium
Date: Wednesday, November 8, 2023 10:24:19 AM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I am an active proponent of projects that move NM forward. I serve on both the Greater Albuquerque Chamber and Albuquerque Regional Economic Alliance board of directors.

We as a city need to think and plan for the long-term future.

New Mexico United has transformed our state. The fans are passionate and organizations line up to sponsor.

Balloon Fiesta Park is an under-used asset. Having NM United there will bring more activity to an amazing venue.

I 100% support amending the master plan to allow the stadium to move forward.

Sent from my iPhone=

From: [Joshua Martin](#)
To: [Bolivar, Silvia A.](#)
Subject: EPC Stadium Support
Date: Wednesday, November 8, 2023 9:32:17 AM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

To whom it may concern,

I have lived in New Mexico my entire life and my family has been here multiple generations. As such I have seen many things come and go, the biggest one though has always been sports. As a kid I was a fan of the Dukes, and the Scorpions. Both teams left in part due to the lack of a proper facility to play in. If New Mexico United cannot secure a location soon then it too will be forced to dissolve or go elsewhere per the United Soccer League (USL) rules.

We have already lost a lot of business in the quality of life industry. Downtown is pretty dull and most everything in the city seems to shut down by 10 or 11 at night. While we are experiencing a high amount of crime and homelessness, Albuquerque still deserves to have nice things. If we build one good thing it opens the doors to building others and bringing back the vibrancy of our city. I am tired of having to go to Denver, or El Paso, or Phoenix for entertainment such as concerts and major sports events.

New Mexico United is about more than entertainment though. It's about community and empowering positive change through art and sport. They have a wonderful foundation called the Somos Unidos Foundation that eliminates the pay to play system and allows kids to learn and grow within professional soccer. Some have graduated from the academy and made it to the first team, or have gone on to other teams. These kids would not have had that opportunity otherwise. The team has also helped me in my career by inviting me to participate in a Diversity and Inclusion training program that has been ongoing throughout the year. I am receiving over 100 hours of D&I training to help me become a better leader in my job and in the community. I would not have received this opportunity if it wasn't for them. What opportunities will others miss if New Mexico United is forced to dissolve or leave because the City doesn't want them here?

I'm sure others have sent in facts about the proposal but I will reiterate them here:

- New Mexico United will pay for the stadium with private investments and debt financing.
- The State of New Mexico has provided capital to the City of Albuquerque for infrastructure improvements that will provide needed upgrades to Balloon Fiesta Park such as parking and permanent restrooms (no more using a cold dark portable toilet at 5am during balloon fiesta sounds amazing to me!)
- Balloon Fiesta Park will be utilized 365 days a year instead of 30. All that space and it's only used for about a month of the entire year.
- The park will be in an area that the balloons typically avoid due to powerlines
- Games will not be scheduled during balloon fiesta. The team already has to work around the Isotopes scheduling so this would be easy for them to manage

In conclusion I urge you to consider all the good this will bring to the City and please vote yes

for the stadium.

Thank you,
Joshua Martin

9415 Travilla Dr NW
Albuquerque, NM 87114

Lawrence Reeder
2324 Parkwest Dr. NW
Albuquerque, NM 87120
aaron.reederiv@gmail.com
909-800-2418

November 8th, 2023

To Whom It May Concern:

I am writing to express my enthusiastic support for the construction of a new soccer stadium in our community. As a soccer enthusiast and a proud member of this community, I believe that a dedicated soccer stadium will bring numerous benefits to our city and its residents.

Soccer, often referred to as the world's most popular sport, has a significant and growing fan base in our community. However, our current facilities do not adequately meet the needs of players, fans, or the sport's potential for economic and cultural development. By investing in a soccer stadium, we can create a hub for soccer enthusiasts of all ages and backgrounds, and it will serve as a catalyst for positive change.

Here are some of the reasons why I believe a soccer stadium would be a valuable addition to our community:

Economic Benefits: A modern soccer stadium will attract fans and visitors from neighboring areas, boosting local businesses, restaurants, and hotels. This will lead to increased economic growth, job opportunities, and revenue for our city.

Community Engagement: A dedicated stadium will provide a home for local soccer teams, youth programs, and amateur leagues, promoting physical fitness, teamwork, and a sense of community among our residents.

Cultural Enrichment: Soccer is more than just a game; it is a global cultural phenomenon. A soccer stadium can host international matches, cultural events, and concerts, enriching our community's cultural diversity and providing entertainment for all.

Infrastructure Improvement: Investing in a soccer stadium can lead to infrastructure improvements in the surrounding area, such as upgraded transportation links, parking facilities, and public spaces.

Civic Pride: Our city deserves a state-of-the-art facility where residents can come together to support their favorite teams and players. It will foster a sense of civic pride and unity.

Youth Development: A stadium can serve as a hub for youth development programs, providing opportunities for young athletes to train, play, and aspire to professional careers.

I believe that a soccer stadium will not only be an asset but also a source of pride for our city. It will enhance our quality of life, contribute to our economy, and enrich our cultural landscape. I urge you to consider the overwhelming support from soccer enthusiasts like myself and to take the necessary steps to make this project a reality.

Thank you for your attention to this matter, and I look forward to witnessing the positive impact that a soccer stadium will bring to our community.

Sincerely,
Lawrence Reeder

Bolivar, Silvia A.

From: Rachel Babb <rachel72babb@gmail.com>
Sent: Tuesday, November 7, 2023 4:15 PM
To: William J Babb
Cc: Bolivar, Silvia A.
Subject: Re: New Mexico United Stadium Proposal

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Very well said.

On Tue, Nov 7, 2023 at 11:44 AM William J Babb <WBabb@salud.unm.edu> wrote:

Hello Ms.Bolivar,

I was at the City Council meeting on October 16th and it was kind of a bummer that there wasn't a vote to approve the United Stadium agreement. I was certain that was going to happen. Asi es la vida...

I'm no different than many of the supporters you're likely hearing from. I wholeheartedly believe that this stadium is a legacy moment for our city. In the best possible way. United means so much to this community. A big part of that is because they are the community. The decision-makers for the club live in, and love, our city and state!

The proposed stadium for New Mexico United has the opportunity to be a legacy triumph for the city. What better way to partner this achievement with the legacy that is Balloon Fiesta Park? The acreage is there, the plan to improve the infrastructure is in place, and the will to build and grow symbiotically with Balloon Fiesta has been shown by the club. This club listens to our city and state. They heard 'we love you and your stadium but do it in a different way' by the voters. They are doing just that. Many other clubs might have left - but not New Mexico United. This club, management, and players are devoted to the people and the ethos of this city and state.

I'm a former pediatric ICU nurse here in ABQ and native 'Burqueno. I've seen some of the bad things that can happen to kids in our city and New Mexico. New Mexico United is a strong force for good among the kids in our state. My son has been to three different, free clinics put on by the team. The team has a frequent presence in Albuquerque schools - and schools statewide. This presence shows that this team cares about them and that sports can be a way to grow and learn. Lastly, New Mexico United does so much to show kids in schools, youth groups, and at games how amazing it is to be New Mexican!

I bring up all the good that this team does because not having a stadium for New Mexico United is an existential crisis for the club. Without a stadium, we're going to lose this club, I'm afraid. Not because of the Club's wishes, but USL regulations. I don't have a crystal ball but I am certain that this lease agreement **WILL BE A WIN-WIN** for the city and state and New Mexico United. Please, ma'am. Please do what you can to approve the lease agreement and make this happen. I'm happy to converse with you at any time about this matter.

Sincerely,

Billy Babb
[2000 Glorieta St. NE](#)
[ABQ, NM 87112](#)
505-610-4865

Billy Babb MSN, RN-BC

Alumnus CCRN

University of New Mexico Hospitals

Ear, Nose, and Throat Clinic Nurse

505-272-2302 (NE Heights Clinic)

505-272-2336 (Surgical Spec. Clinic)

wbabb@salud.unm.edu

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Rachel James

MSN, RN, CSSBB

10614 Lexington Ave NE
Albuquerque, NM 87112
racharoni@gmail.com

To Whom it May Concern,

As lifetime Albuquerque residents, my family and I fundamentally support a stadium project at Balloon Fiesta Park. We were in attendance for the October 16, 2023, City Council Meeting, and my daughter, Daelynn Johnson, age 11, shared her support for the stadium and the rationale with the Council.

While I am an avid supporter of our professional soccer team, New Mexico United, and could easily sing the many praises of what this team means to my family and all the amazing things they do for this state, my support of this project is based upon my experience as a member of the Albuquerque and greater area community, a former resident of the Park's neighborhood, and a patron of the city's offerings. We are so intrepidly behind other major cities in development, growth, and community offerings. This means that our city is not benefitting from the revenue generated to other cities because of the lack of 1) things to do, 2) large venues to attract large industry talent, 3) community services, and 4) clean, safe places for people to gather for community events. We need to stop sending money to neighboring states!

Balloon Fiesta is likely the largest income generating event for New Mexico. I have attended since its introduction, and it is an enormous part of Albuquerque and NM Culture. However, the grounds are not commensurate with the size of the event. There is inadequate (mostly dirt) parking that is hard to access for people that don't qualify for handicapped parking but are not well enough for a long walk. Frankly, the park needs to be updated to meet the demands of the Fiesta's growth and the vast number of people traveling from all over the world to attend. Imagine if there was a beautiful, modern, privately funded stadium that improves its surroundings, offers increased parking, provides no obstruction to Fiesta views, AND generates lease revenue for the city while attracting visitors and big events here? If there is a downside, I cannot produce it. Please do the right thing for all of us.

Sincerely,
Rachel James

Environmental Planning Commission
salbolivar@cabq.gov

Randi Guthrie
PO Box 67062
Albuquerque, NM 87193
homesbyrandi@gmail.com, 505-585-3854

November 7, 2023

To whom it may concern,

I hope this letter finds you in good health and high spirits. I am writing to you today as a concerned and passionate member of our community who firmly believes in the potential for positive change and growth that a soccer stadium can bring to our city and state. The construction of a soccer stadium promises to enhance our local and state economic development, as well as provide invaluable opportunities for our children and secure a brighter future for our beloved home.

Soccer, as a sport, has a universal appeal that transcends age, gender, and cultural boundaries. It brings people together, fosters a sense of community, and promotes physical fitness and well-being. A soccer stadium in our city would serve as a gathering place for residents of all ages and backgrounds, nurturing a sense of unity and shared identity.

The economic benefits of a soccer stadium are significant. Not only will the construction of the stadium create jobs and stimulate economic activity, but it will also attract visitors from near and far. These visitors will patronize local businesses, dine at our restaurants, and stay in our hotels, which will lead to increased revenue and tax income for the city and state. Additionally, the presence of a stadium will be a source of civic pride and will help put our city on the map as a vibrant and exciting place to live and visit.

When we consider the well-being of our children, the benefits become even more apparent. A soccer stadium will offer our youth a safe and engaging environment to nurture their passion for the sport. It will encourage physical activity, teamwork, and discipline. A soccer stadium can also serve as a venue for educational and community events, enriching the lives of our children and strengthening their connection to our city.

The proposed location for the stadium, at Balloon Fiesta Park, is ingenious. This location is an icon of our state and something that is recognized globally! I would like to reiterate my fellow stadium supporter's remarks about the proposed stadium location:

"Balloon Fiesta Park is a jewel in the city – but it is underutilized. It sits dormant for about 300 days a year. The New Mexico United Stadium will activate the area – bringing people not only for games but for other uses like youth sports, special events, concerts, exercising, enjoying the views."

The decisions we make today will shape the future of our city and its residents, especially the younger generation. By supporting the construction of a soccer stadium, we will be contributing to the growth, vibrancy, and economic prosperity of our city and state, while also providing a place where our children can dream and excel.

Thank you for your time and dedication to our community.

Sincerely,
Randi Guthrie

November 8, 2023

To the Members of the Environmental Planning Commission,

On behalf of the Greater Albuquerque Chamber of Commerce, we are writing to express our support for the amendment to the Balloon Fiesta Park's Master Plan that allows for the owners of the New Mexico United to lease land at the park and build a multimillion-dollar stadium on the premises.

The Chamber believes that amendment to the Master Plan presents the best existing opportunity for New Mexico United to have a new permanent home. The lease will require the owners of the team to design and build a \$30 million multi-use stadium and needed parking on land considered a "no-fly" area for balloonists due to nearby powerlines. Permitting an enhanced complex such as this to reside at the park will allow the city to promote use of the grounds in a way it has never been able to do previously.

The lease will also expand utilization days at the park to 365 a year, allowing for other community uses like youth sports, special events, concerts, and recreational opportunities.

Because the new lease will have the potential to positively impact our community and economy via a public-private partnership, the Chamber, and its Board, support the development of a multi-use stadium located at our city's Balloon Fiesta Park.

Sincerely,



Bruce Stidworthy, Board Chairman, Greater Albuquerque Chamber of Commerce



Peter Lorenz, Board Member and Local Government Chair



Terri Cole, President and CEO, Greater Albuquerque Chamber of Commerce

From: [Robert Romero](#)
To: [Bolivar, Silvia A.](#)
Subject: Please Approve The Balloon Fiesta Site for The Proposed Stadium
Date: Wednesday, November 8, 2023 3:59:56 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Dear EPC,

Please approve the proposed site at Balloon Fiesta Park. It's a win-win as the the team will provide much needed upgrades to the park and it will make the park more useful year round.

The impact to the nearby neighborhoods should be minimal as the crowds that attend the matches are vastly smaller than the actual balloon fiesta crowds. The neighborhoods near Isotopes Park have had minimal impact after United matches.

Thank you for your help in making our city better and more livable.

Sincerely,

Robert Romero PT

From: thomas.cooley@comcast.net
To: [Bolivar, Silvia A.](#)
Subject: United Soccer stadium at Balloon Fiesta Park
Date: Wednesday, November 8, 2023 6:25:20 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I am Dr. Thomas Cooley, a soccer enthusiast. I coached girls soccer for years. I support the proposed NM United Soccer stadium at Balloon Fiesta Park, for the opportunities it will provide our young people. Role models, opportunities for youth soccer games and camps will make a difference for New Mexico's future. Please approve the all aspects of the new stadium. You may contact me at this email if you have any questions at all – I strongly support the United Soccer stadium!

Tom Cooley

Thomas Cooley, Ph.D
P.O. Box 35754
Albuquerque, NM 87176-5754
Mobile: [505-385-6110](tel:505-385-6110)

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LETTERS OF OPPOSITION

From: [Michael Haederle](#)
To: [Bolivar, Silvia A.](#); [Lehner, Catalina L.](#); [Schultz, Shanna M.](#)
Subject: Comment for Nov. 16 EPC N.M. United Stadium Hearing
Date: Friday, November 3, 2023 12:06:47 PM
Attachments: [N.M. United Op-Ed.docx](#)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hello:

Please accept this submission on behalf of the North Edith Corridor Association and the Maria Diers Neighborhood Association regarding the Nov. 16 Environmental Planning Commission hearing to consider the proposed New Mexico United Stadium at Balloon Fiesta Park. Please let me know if I can answer any questions.

Thanks,

Michael Haederle
Vice President, North Edith Corridor Association
505.453.6072

**By Michael Haederle
Vice-President, North Edith Corridor Association**

As the City of Albuquerque's Environmental Planning Commission prepares to consider the proposed New Mexico United Stadium at Balloon Fiesta Park on Nov. 16, those of us residing in the neighborhoods along North Edith Boulevard immediately to the west of the park want to highlight a number of issues that require serious consideration.

This is a quiet, semi-rural area that is predominantly zoned A-1, with most of the homes in the neighborhood predating the park by many decades.

In the years since Balloon Fiesta Park was created nighttime light has been a concern for many of us. Evening events – including those associated with the Balloon Fiesta itself – create glare in the upper story windows of many homes. Unfortunately, the only reference to lighting in the city's draft lease agreement with New Mexico United is a requirement that the tenant provide more lighting at the park.

Sound is a major concern. The homes along Edith Boulevard directly west of the proposed stadium site are just over 2,000 feet away – closer than any other residences – and much closer than the “more than a half mile” cited by New Mexico United's owner in public comments.

Our experience with the city's Freedom Fourth celebration and miscellaneous other music events at the park is that highly amplified sound bounces off the escarpment at the eastern edge of the park and travels out across the far North Valley, rattling windows and walls. We hear these concerts as clearly as if they are being staged in our backyards.

Balloon Fiesta Park administrators have historically shown little interest in requiring event promoters to modify sound levels. This is a severe nuisance for those of us living adjacent to the park. We have a right to enjoy our homes without intrusive sound, however, sound mitigation or limits are not mentioned in the draft lease agreement.

The city's proposed lease with New Mexico United is silent as to what other uses the stadium might be put apart from soccer games. There is nothing preventing the stadium's owner from renting it out to loud rock or rap concerts, for example, on any night of the week. There are no stipulations regarding sound levels from these events and no restrictions as to how often events could be hosted at the stadium.

The only mention of neighbors in the draft lease agreement states: “Tenant shall endeavor to minimize the impact on neighboring communities during construction of the Stadium.” New Mexico United is not held under the lease to any consultation with neighbors or attempts to minimize ongoing impacts on neighbors.

New Mexico United's owners have conspicuously neglected to engage with residents living in neighborhoods to the west of Balloon Fiesta Park. It might be because this area lies outside the city limits in unincorporated Bernalillo County and is “invisible” to those

And yet they haven't met.

According to media reports, a sound study has supposedly already been completed and a traffic study was in the works. Yet the residences who will be impacted by the new stadium haven't seen or been privy to any of this information. In addition to loud amplified sound from the new stadium and chanting / cheers of large crowds, how many nights of fireworks after matches (and other events at the stadium) must we and our pets put up with? Fireworks, which are currently used by the team at Isotopes Stadium, carry harmful toxic atmospheric pollutants that depending on weather patterns can be carried into our neighborhoods and affect the air quality.

Traffic in the area of Balloon Fiesta Park is already bad. During the evening period of time known as rush hour, traffic on Alameda can already back up westbound from the Rio Grande River to I-25. According to the 2022 Mid-Region Council of Governments Traffic Flow Maps and Data Report (latest available on their website), the section of Alameda from 2nd Street to I-25 already sees an average of ~30,000 to 32,200 cars per day. Yet no information has been shared about mitigation of these sound & traffic issues.

It is for these reasons that I can not support this project at its current location.

From: [Pat Hauser](#)
To: [Bolivar, Silvia A.](#)
Cc: [Lehner, Catalina L.](#)
Subject: Hearing comments regarding Balloon Fiesta Master Plan Nov. 16 hearing
Date: Sunday, November 5, 2023 9:02:16 PM
Attachments: [Environmental Planning Commission PDF.pdf](#)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Greetings: Attached are comments for record regarding the November 16, 2023 hearing regarding the Balloon Fiesta Master Plan.

Would you please e mail me an acknowledgment in receipt of the document and subsequent submission as needed and required for the hearing?

Regards: Mr. Pat Hauser Cell:505-228-7106
hdhauser@comcast.net

November 5, 2023

Environmental Planning Commission: Members and Staff

Subject: Balloon Fiesta Park Master Plan, Amendments and a site plan for an outdoor multi-use stadium.

Neighbors United urge this commission not to approve this submittal accordingly; and including the option to denying Balloon Fiesta Park as a site for this multi-use stadium.

This submission has completely lacked the People, Policy, and Procedure Process to address the significant impact it will have on the immediate surrounding community and private property owners that have lived in this area well before Balloon Fiesta Park existed. Each of you and the proponents of this project don't live in or around this area and will NEVER be impacted by this proposed project that will exist for decades to come. This entire project has been rushed and pushed by this administration with total and complete disregard for those of us in close proximity to this site.

The City of Albuquerque Balloon Fiesta Park Master Development Plan approved November 2012 CLEARLY states on page 17, "An outdoor sports stadium is not allowed in the Balloon Fiesta Park". The 2023 rushed proposed update of the master plan now calls for a "Multi-Use Stadium". The Balloon Fiesta Park has become a dumping ground for the City of Albuquerque Parks and Recreation Department. The current operation of the Balloon Fiesta Park largely goes unmanaged by the operators and staff relative to sound and lighting that creates unwanted noise and glare to we close neighbors.

At concern is the draft lease agreement with United is a requirement the city provide more lighting at the park. It is abundantly evident this does not say the lighting will have to comply with the requirements of the adopted 2012 Balloon Fiesta Park Master Plan or what the role the commission would have in reviewing proposed events or subsequent subleases at the multi-use stadium either.

Amplified Sound is and has been an issue with events at Balloon Fiesta Park. The only noise monitoring that is done in a consistent manner is the AIBF events during the 10-day period in October. Parks and Recreation seem to disregard the need to professionally monitor the multiple events currently happening at Balloon Fiesta Park. There appears to be a lack of measurement criteria and enforcement responsibility for both sound and lighting at the facility.

It is obvious that the current planners and administration have purposely ignored the underserved and uninformed Bernalillo County Residents that will be willfully impacted by this project after the County has provided thousands of dollars over the years to Balloon Fiesta Park.

We also have grave concerns for the possibility of deadly methane gas migrating form the Nazareth Landfill once significant construction site development occurs to excavate to undetermined depth for the needed foundation for such a stadium possibly releasing such trapped gasses from the abandoned landfill site just 300 feet away.

With the proposed lighting structure's being proposed to be at 100 feet high on the East side of the elevated escarpment there will be Ferrell light projected to the residents on multiple sides of the stadium. Reference page 132 a complete violation of published data.

Sound management techniques at Balloon Fiesta Park as outlined on page 133 are consistently violated. IE Doggie Dash today November 5th we could hear the activities in the park. We can only imagine what the negative impact this stadium will have on our surrounding homes with amplified sound and 10,000 uncontrolled fans or unknown spectators for the undetermined other events form this multi-use stadium such as Rock Concerts and such.

Hours of operation are of concern as this multi-use stadium has the potential to be used for an unspecified amount of time up to 300 days per year. No mention as to the hours of operation or limitations. In the past special events don't end at reasonable hour and attempting to call 311 or a responsible part has failed. This application fails to address the distinction between a multi-use stadium and a sports stadium. None of the studies address the special events such as concerts and other loud amplified events would be managed and addressed. Once again: People, Process, Procedures totally disregarded to rush/jam this application through. No citizenry protection of concern. There is and has been no ordinance for crowds that happen at AIBF which we hear during many events and this stadium will exacerbate that issue of uncontrolled sound into our neighborhoods.

The stadium designers are inconclusive as are the lighting and sound aspects of this proposed Multi-use stadium. We currently hear amplified sound from AIBF as well as the Pueblo of Sandia and El Pinots restaurant. The planner's predictions don't fit reality regarding the crowd and amplified sound being regularly emitted from AIBFP. We live in a quiet rural area in our neighborhoods along Edith Boulevard and East of 2nd Street that this master development plan disregards due to or underserved and uninformed location relative to the Balloon Fiesta Park.

In closing it is obvious that United and the City of Albuquerque have knowingly and wantonly neglected to engage with the residents that will be directly and negatively impacted with this proposed multi-use stadium.

We urge the EPC as well as the City Council to deny this master plan request to modification and changes to the Balloon Fiesta Park Master Plan that would allow this multi-use stadium in our quiet secluded neighborhoods for decades to come.

Regards: Mr. Pat Hauser



Vice-President, Maria Diers Neighborhood Association

Council President Mr. Pat Davis:

Subject: Soccer Stadium Lease City of Albuquerque and United Athletic Club "EC-23-375"

My name is Mr. Pat Hauser, during the October 16th Council Meeting I had limited opportunity to speak in opposition to the proposed lease the way it is written between the City of Albuquerque and United. As a property owner and tax paying citizen I have read the attached lease with the intent to understand what is within this lease agreement that will affect me as a close proximity citizen unlike the multitude of speakers that it was obvious, they had not read the lease.

There has been a complete and total breakdown of "People, Process, and Procedure" in this behind-the-scenes meetings regarding this stadium. I would suggest that you as one of the people's representatives this proposed lease agreement should be read with the scrutiny of a trial lawyer as to the depth and validity to many of the items in this, proposed lease agreement.

In May 2010 the City Council passed an ordinance creating the Balloon Fiesta Park Commission (F/S09-09-90; Enactment 0-2010) approved by the City Council on May 12, 2010. From the Balloon Park Master Plan, page 32 "attached" that created a Policy Board for policies and procedures for park usage, review of tenants, legal documents, and priorities for development were included in that document. "IE" Reviewing all existing licensure agreements, lease agrees, and similar agreements and make recommendations to the Parks and Recreation Department, Mayor, and City Council with respect to the continuation of those agreements. There are infinite items in this attached lease that will be challenged as written.

If it looks like a Skunk and smells like a Skunk, it's probably a Skunk.

This project relies heavily on Capital Outlay Funds which are public funds from tax dollars and the comment has been made by both the mayor and his various staff members that no City funds will be used to build this multi-use stadium. There is no mention of the "People, Process, or Procedures" on the who and how the ongoing service and support will be obtained. It is clear that considerable City funds and resources will be funneled into this multi-use stadium at City tax payer's expense. Notwithstanding the obvious violation of the State of New Mexico anti donation clause: Article 9 Section 14 of the Constitution of New Mexico states: Specific language: Neither the State, nor any County, School District, or municipality shall directly or indirectly lend or pledge its credit, or make a donation to or in aid of any person, association, or public or private corporation IE (United).

Here are a few: Section 3.01, Base Rent Payment, \$35,000.00 The real land lease property in a commercial area uses worth based on a search in Albuquerque anywhere from \$12.00 per square foot to \$4.53 per square foot. At \$4.53 per square foot times 43,560 square feet per acre that is \$1,381,288.00 for the 7 acres proposed in this lease. A sweet deal for United and an obvious "GIFT" in reduced lease payment calculations. The lease payment escalator is less than the current and long-term inflation escalator of 5% based on current and long-term projections based on federal deficits and monetary policy. The proposed 2% annual escalator is another "GIFT" to United.

As you read the lease with your knowledge and skills as a knowledgeable Council Member, I am sure you will agree this lease as written is FROUGHT with multiple undesirable acts, activities and behind the scenes that will use PUBLIC FUNDS/CITY FUNDS to equip and maintain this facility.

Mayor Keller made it clear that the stadium would not be built without voter approval. Voters rejected the bond proposal in 2021 and now it is being RESURRECTED WITHOUT A VOTE. THESE ARE GIVE-AWAYS OF CAPITAL DOLLARS and CLEAR VIOLATIONS OF THE ANTI-DONATION PROVISION OF THE NEW MEXICO CONSTITUTION. The proposed \$35,000.00 annual lease payment is ONLY 1 PERCENT of the actual value of a leasehold in an arm-length true lease that is not a giveaway to a lessee! Mr. Peter Trevisani.

Utilizing a close review of the Capital Outlay Projects HB505, HB212, and HB285/a there is funding identification that may well be subject to legal challenges as in Article 8 section B "The City's site development shall include providing a build-ready pad for the stadium". A pad ready site for United has nothing to do with sewer, water, and electrical in regards to CRITICAL INFRASTRUCTURE NEEDS. A gift indeed to this lease "DEAL" tailored to "UNITED" vs the citizenry at large that is funding the stadium resurrected without a vote!

It is clearly obvious this administration has and will continue to use the Bully Pulpit to steam roll the public at large as well as the City Commission.

In closing this entire process is FRAUGHT with multiple undesirable actions, activities and behind the scenes action that will utilize PUBLIC FUNDS to obtain the requested approval of this lease agreement before you.

Please reject this lease agreement for UNDERSERVED and UNINFORMED residents and State Tax Payers that will be saddled with this TROJON HORSE PROJECT for decades to come.

I urge you to carefully weigh these concerns regarding this proposed lease accordingly, including the option to not only deny the lease but also the option of Balloon Fiesta Park as a site for the stadium.

It would be advantageous to all affected/associated parties to select a nonpartisan special council legal firm to review the lease thus providing complete transparency and protection to all parties

Regards:



Mr. Pat Hauser Cell: 505-228-7106
hdhauser@comcast.net

2012 UPDATE - SITE PLAN FOR SUBDIVISION

- Recommendations concerning the management of events at the Park; and
- Recommendations concerning priorities for the design and development of the Park.

The Strategic Plan, and the subsequent policies that were drafted and implemented by the Policy Board and the City, became the framework for the operations and management of Balloon Fiesta Park.

In 2007, the Policy Board created the Operations & Management Report, 2004 – 2007. Policies, procedures for Park usage, review of tenants and legal documents, and priorities for development were included in that document.

In May 2010, the City Council passed an ordinance creating the Balloon Fiesta Park Commission (F/S 0-09-90; Enactment 0-2010-004 approved by the City Council on May 12, 2010). The Balloon Fiesta Park Commission replaced the Policy Board, and responsibility for reviewing and updating the policies, procedures, and priorities for development was transferred to the Park Commission at that time. The membership of the Balloon Fiesta Park Commission was subsequently expanded to include the Director of the City Parks and Recreation Department or designee, a City Public Safety employee, and two neighborhood representatives, one each from the west side and the east side of Albuquerque.

The purpose of the Balloon Fiesta Park Commission is to provide advice and recommendations concerning the operations, management, and development of the Balloon Fiesta Park to the Mayor, City Council, and the Parks and Recreation Department. The intent of the ordinance that established the Balloon Fiesta Park Commission was to create a voice for the public and stakeholders in the management of Balloon Fiesta Park. Under Duties and Powers of the Park Commission, the legislation states "Receive actual timely

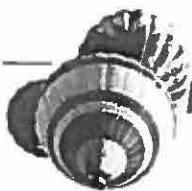
notice of all proposed planning and development actions within the Park, including but not limited to: any permanent changes to the physical layout of the Park; any construction within the Park; any changes to the Site Development Plan; and any application for such changes. The Commission has the right to participate in, review, and have its position given full consideration with respect to any planning and development actions related to the Park. The Commission shall have standing in front of all City boards or commissions authorized to consider or review such actions, and in front of City Council for any appeal or other consideration of such actions."

PARK PRIORITIES

One of the roles of the Balloon Fiesta Park Commission is to identify and bring forward the priorities for capital improvements at the Park. The process of setting priorities should continue to be a collaborative effort between the major stakeholders at Balloon Fiesta Park, including the Balloon Fiesta Park Commission, AIBF, Parks and Recreation Department, Cultural Services Department, Environmental Health, etc. The process should also include public input. However, it is acknowledged that priorities are subject to change over time depending on available funding, changing needs, and recreation trends as the Park develops and evolves in the future.

In 2007, the Policy Board identified priorities for future development at the Park. In a letter dated February 9, 2011 from the Balloon Fiesta Park Commission to the Mayor and City Council, it states that "these priorities have remained virtually unchanged due to the lack of capital funding for the Park in the last four years" (see Appendices in this document for a copy of the letter).

The priorities include improvements to Balloon Museum Drive, Alameda Boulevard, Launch Field, Vending Concourse (Main Street Promenade), and the Los Angeles Landfill. Although there was \$2.45





District Four Coalition of Neighborhood Associations

www.D4cabq.org (website)

ContactUs@D4Cabq.org (email)

October 22, 2023

Albuquerque Mayor Tim Keller

Albuquerque City Council
Pat Davis, President

The District 4 Coalition, at its October 18, 2023 meeting, voted unanimously to send this letter to the City Council and the CABQ Administration. It is our consensus that the proposed NM United stadium at Balloon Fiesta Park should not be approved in its currently proposed state.

While NM United has been and is a positive force for fans and up-and-coming soccer players, that popularity and energy cannot replace a systematic, careful, and fully-vetted process. Our concern is that sports fervor is leading to a lease that commits the City to a minimum of 30 years and a maximum of 60 years on a project that will impact our Balloon Fiesta. Enthusiasm is not a suitable, legal or responsible replacement for completeness and competency.

We also cite the following specific concerns:

1. The proposed lease cannot be signed prior to the Albuquerque International Balloon Fiesta (AIBF) choosing to change its own lease agreement with the City.
2. Before the proposed lease can be signed, the Environmental Planning Commission (EPC) has to render its decision on a Major Amendment to the Balloon Fiesta Park Master Development Plan. But this Major Amendment will not be heard by the EPC until November 16, 2023 and the EPC has a 90 day window to render its recommendation to the City Council.
3. At the City Council meeting on October 16, 2023, no CABQ administrator or lawyer could clearly define a number of significant items specified in and/or required by the lease that must be provided by the City. Without such clear definitions, the City could be committed to providing much more in the way of infrastructure than was originally envisioned for this project at a significantly higher cost. Misunderstandings, finger-pointing and cost over-runs are sure to occur. Better to avoid these problems by spelling everything out ahead of time before the lease is approved and signed.
4. A poorly constructed 14 page lease which commits the City to a 30 year lease (possibly a 60 year lease eventually) which could negatively impact the Balloon Fiesta (which provided the City with \$203 million dollars in revenues in 2022) is not ready for anyone's approval or signatures at this time.

We fear the administration and council are hastily pushing forward with this project before allowing sufficient public input or obtaining independent analysis of legal issues or potential complications, negative ramifications, and additional costs. There is a history (from the ART project, to the Gateway shelter, the Rail Trail & ABQ Housing Forward) of the City getting way ahead of itself because due diligence did not happen!

Thank you for your consideration.

Sincerely yours,

Mark Reynolds

President,

District Four Coalition of Neighborhood Association

- The District 4 Coalition of Neighborhoods approved the action of sending this letter by unanimous vote at the Coalition meeting on October 18, 2023. The following are member groups of the Albuquerque City Council District 4 Coalition of Neighborhoods:

Alameda North Valley Association
Albuquerque Meadows Resident's Association
Arroyo del Oso
Bear Canyon Neighborhood Association
Cherry Hills Civic Association
Knapp Heights Neighborhood Association
Highland North Neighborhood Association
Nor Este Neighborhood Association
North Domingo Baca Neighborhood Association
Quail Springs Neighborhood Association
Quintessence Neighborhood Association
Vineyard Estates Neighborhood Association
Vista Del Norte Alliance
Wildflower



ALAMEDA NORTH VALLEY ASSOCIATION

8919 Boe Lane NE
 Albuquerque, NM 87113
anvanews@aol.com

Alameda North Valley Association
 Steve Wentworth, President

November 5, 2023

To: City of Albuquerque Environmental Planning Commission
 David Shaffer, Chairman

Re: Amendment to the Balloon Fiesta Park Master Development Plan 2012 Update, Site Plan and Variance to IDO

Address: 9201 Balloon Museum Fr. NE, 4900 Balloon Fiesta PKWY NE, and 5601 Alameda NE

Comments from the Alameda North Valley Association (ANVA):

The Balloon Fiesta Park master plans of 1998 and the updated 2012 Master Plan never included an Outdoor Sports Stadium and stated that would not be allowed. – Page 17, 2012, Balloon Fiesta Park Master Plan.

My statements are based on my many years of experience with the Balloon Fiesta Park. I (Steve Wentworth) worked on the Master Plan for the Park in 1998 and again in 2012 as Vice Chair for the different Balloon Fiesta Park Commissions and Advisory Boards. I am named in both the 1998 and 2012 Master Plans.

The Park was created for Hot Air Balloons and the Balloon Fiesta was the namesake and primary purpose for the park. Many other activities were envisioned for the Park and over the many years 100s of thousands of youth have used the park for various activities. Youth soccer is one of the largest uses of the park and has been encouraged and supported since the park was developed. **Professional commercial use tenants of the park were never encouraged or sought for the park.** The consideration of professional / commercial uses was the topic of many discussions and the Balloon Fiesta Park Commission agreed while working on the 1998 and 2012 Balloon Fiesta Park Master Plan that these types of uses would create more problems than benefits and should not be allowed at the Balloon Fiesta Park.

The City Administration / Mayor's Office with the Parks and Recreation Department has marginalized input from the surrounding residential communities, neighborhood associations and business communities in this Administration's plans for the park. This marginalization extends to the Balloon Fiesta Park Commission empowered by Albuquerque City Ordinance 0-216-015. Previous Mayors and their Parks and Recreation Departments worked with and collaborated with the surrounding neighbors – not this one.

It was interesting that when the Mayor had the first news conference about the stadium plans the community was not informed or invited nor was the City Councilor for the area and the Albuquerque

International Balloon Fiesta Inc. (AIBF) was not informed about the news conference. The City has recently included AIBF – telling them about the plans – we note that AIBF is a tenant at the park and it is always wise for AIBF to go along with city administration projects so they don't incur negative actions by administrations as has happened in the past. Mayors – past and present have always used the Fiesta for their purposes - personal or political.

The planning for the stadium and the proposed zone change that will go before the City Council was done without any community input, AIBF input and Balloon Fiesta Park Commission input. Information was only provided after most of the plans and the zone change application were complete – notification was required by city ordinance – this notification was not by the Mayor's office wanting to be inclusive.

It should be remembered that the surrounding community – business and residential worked with AIBF to purchase the property for the Park, they lobbied the State Legislature for funding and support. The process was very collaborative and a massive gravel pit became a wonderful park for ballooning and youth activities. Neighborhood associations not “recognized by the City” were always included in communication. This is not the case with this proposed project – interested parties and neighborhood groups were left out of the communication processes. We assume that if this case had not been required to follow notification processes dictated by the IDO – the community would not have been notified at all.

It has to be noted that Park improvements have been minimal since the previous administration – restrooms, infrastructure for vendors' concourse, drainage improvements and other items have been ignored; these items should be addressed on a continuing basis for improvements for a park that hosts a Balloon Fiesta and generates hundreds of millions of dollars of positive clean revenue for the City and State. Now the Mayor says a new stadium will address the needed items if the Mayor gets his new stadium.

I don't think the community is against the United Soccer group at all – the location of the stadium should be in an appropriate location and the city should work with residents to make that happen.

The Master Plans for the Park were correct in not listing an outdoor sports stadium at the park. “An outdoor sports stadium is not allowed in the Balloon Fiesta Park.” Page 17, 2012 Master Plan

The Mayor has a so called “public process that leaves out the people. All large projects like this one should go before the voters and should not be done by the Mayor's dictatorial processes.

The agent for the City stated in an email to the area neighborhood associations that they were working on a “noise study, lighting study and an updated traffic study”. The agent stated these items would be made available to the neighborhood associations when ready – we have not received any of that information. Items about sound issues and lighting are described in another letter to the EPC by a person who worked on these issues for years.

One of the area neighborhood groups (North Edith Corridor Assoc.) adjacent to the park noted the following items of concern:

1. *Lighting – Nighttime lighting at Balloon Fiesta Park is already an issue for people residing in the neighborhoods along North Edith Boulevard immediately to the west of the park. Evening events – including those associated with the Balloon Fiesta itself, create an annoying glare in the upper story windows of many homes. Most of the homes in the neighborhood predate the park by many decades, so excessive nighttime lighting is perceived as an unjust and annoying intrusion.*
2. *Sound – The homes lying along Edith Boulevard directly west of the proposed stadium site are just over 2,000 feet away – closer than any other residences. Experience with the city’s Freedom Fourth celebration and miscellaneous music events at the park shows that highly amplified sound bounces off the escarpment at the eastern edge of the park and travels out across the far North Valley, rattling windows and walls. Balloon Fiesta Park administrators have shown little interest in requiring event promoters to modify sound levels. This is a severe nuisance for people living in these neighborhoods. They have right to enjoy their homes without intrusive sound.*
3. *Uses of the Stadium – The city’s proposed lease with New Mexico United is silent as to what other uses the stadium might be put apart from soccer games. There is nothing preventing the stadium’s owner from renting it out to loud rock or rap concerts, for example. There are no stipulations regarding sound levels and no restrictions as to how often events could be hosted at the stadium.*
4. *Consultation – New Mexico United’s owners have conspicuously neglected to engage with residents living in neighborhoods to the west of Balloon Fiesta Park. It may be because this area lies outside the city limits in unincorporated Bernalillo County and is “invisible” to those promoting the project. Nevertheless, residents pay county taxes that supported the creation of the park and state taxes that would subsidize infrastructure upgrades at the site. Their voices should be heard.*

We urge the EPC to weigh these concerns and modify the conditions of the proposed lease accordingly.

We do not have any confidence that the City will address sound and lighting issues in a proactive manner. The current city management of the Park has been terrible about monitoring problem items and taking actions to mitigate the problems – a problem for the past decade plus. Most residents who live around the park area will state that AIBF is a good neighbor that works with the community for the Balloon Fiesta event. One of the worse neighbors for the surrounding community is the City of Albuquerque Parks and Recreation Department who manage the Park.

The proposed amendment is very vague about uses that could be allowed at the Park in the Stadium. The responsibilities of the City are not clear and only vague assumptions have been made. Many of these items should have been included in the proposed lease for the use in a comprehensive manner – they were not. A copy of a letter from the District Four Coalition of Neighborhood Associations describes some of the problems – that letter is attached.

A “Land Use Facilitation Meeting” was held via Google Meet on September 9, 2023. The meeting did not reach any type of consensus for the proposed project – positive or negative. The meeting was more of a sales pitch for the proposed use – not an unbiased meeting presenting information. More questions were generated than were answered at the meeting. The City, the agent and applicants have not contacted community members with information or answers to the many questions asked at the meeting.

Assurances and vague promises about sound pollution, light pollution, parking, traffic and uses that could cause serious problems at the Park have been glossed over by the City and the applicants.

It is important to know that the City has a Balloon Fiesta Park Commission that was set by City Ordinance 0-2016-015.

The Balloon Fiesta Park Commission (BFPC) referenced above was only notified about the proposed zone changes and site plan amendments just before the agents for the zone change had to notify the different “recognized neighborhood associations” per IDO requirements. This was the first scheduled meeting for the Commission since July, 2020. We understand that a quorum was not reached and no action was taken on the proposed zone change amendments and site plan amendments.

According to the City website, all of the members’ terms on the Balloon Fiesta Park Commission have expired and it appears that meeting minutes have not been posted since 2019. We note that the City Boards and Commission Ordinance states members of some groups will serve until replaced; this is not the case for some members of the Balloon Fiesta Park Commission.

The City Ordinance 0-2016-015 states in part:

10-5 DUTIES AND POWERS OF THE COMMISSION

The Commission is hereby created to advise and make recommendations on the operation, management, and development of the park with the following duties and powers:

- (A) Recommend to the Parks and Recreation Department, the Mayor and City Council guidelines and procedures governing the operation, management, and development of the park, including event review and appropriate fee schedules.
- (B) Review and recommend with respect to the approval or denial of agreements with short term park tenants. Short term park tenants shall be approved by the Parks and Recreation Department under guidelines and procedures adopted by City Council resolution.
- (C) Review and recommend with respect to the approval or denial of agreements with long term part tenants. Long term park tenancies shall not be in effect until approved by the City Council.
- (D) Review all existing licensure agreements, lease agreements, and similar agreements and make recommendations to the Parks and Recreation Department, Mayor and City Council with respirees to the status and continuation of those agreements.
- (E) Review and recommend to the Parks and Recreation Department, the Mayor and City Council regarding the yearly operating budget and city's general obligation bond program.
- (F) Receive actual timely notice of all proposed planning and development actions within the park, including but not limited to: any permanent changes to the physical layout of the park; any construction within the park, any changes to the Site Development Plan and any application for any such changes. The Commission has the right to participate in, review and have its position given full consideration with respect to any planning and development actions related to the park. The Commission shall have standing in front of all city boards or commissions authorized to consider or review such actions, and in front of the City Council for any appeal or other consideration of such actions.....

Various Balloon Fiesta Park Commissions thru the years set up the controlling operations, procedures and policies for the Park to be managed in a manner that worked for the largest municipal park in the state. Fee

schedules were set and appropriate uses were defined. Sound, lighting, hours of operation, traffic issues and so forth were all items the Commission worked on to make the Park a safe place for public use. The Park operations and management relies on these items to function in a safe manner for the public. Early in the Park's history it was apparent that partnerships with the City, AIBF and the greater community were important for the Park to function well and to be improved to allow it to host the AIBF Balloon Fiesta each year.

The Balloon Fiesta Park Commission should not have been rendered powerless by the City Administration and the Parks and Recreation Department.

The Commission, if it still was functioning should have been included in all planning for any proposed project that would impact the Park. The City has ignored Ordinance 0-2016-015 and by a lack of support has rendered the Commission into an almost nothing group. This is a shame; the City has made no attempts to maintain the Commission or communicate with interested parties. The Commission started with representatives from the surrounding community in and outside the City limits, the Pueblo of Sandia, AIBF, representatives from the surrounding business community, members representing east and west sides of Albuquerque, the Convention and Visitors Bureau, and some ex-officio members representing various City Departments. The Commission was a well rounded group that worked to make the Balloon Fiesta Park better for all. Please see the Ordinance for a complete list of members.

Notification about Park items should not be limited to only groups recognized by the City NARO Ordinance but to area interested parties that the diverse membership on the Commission encouraged.

- The proposed actions do not comply with the Balloon Fiesta Park Master Plans.
- Public involvement has not been inclusive or collaborative and only minimal after the fact done only for the EPC and City Council hearings.
- Light pollution, noise and traffic issues will create problems for the surrounding communities.
- Drainage issues at the site have not been addressed in a proper manner.
- Landfill areas in the proposed location should be addressed for methane pollution issues that plague adjacent areas of the Park.
- City responsibilities listed in the proposed lease for the Park are only addressed in a very vague manner.
- The applicants have not addressed how they will deal with the many other events that happen at the Park; these include youth soccer, non-profit sporting events, charity events, temporary events like Wine-Fest, Celtic Fest and many others. How will traffic and parking be handled for other events at the Park at the same time as soccer events? Will these become competing uses for limited facilities? How will safety and security be addressed?
- How the soccer league would handle events at the proposed stadium have not been addressed or described. Would all events at the proposed stadium comply with the existing Park policies and procedures? What revenue would the City be paid for other events at the proposed stadium?
- The list of concerns can go on and on.

We suggest denial of the proposed zoning actions and site plan amendments.

Respectfully yours,



Steve Wentworth
President, Alameda North Valley Association

Attached: District Four Coalition letter to the City Council about lease issues.



District Four Coalition of Neighborhood Associations

www.D4cabq.org (website)

ContactUs@D4Cabq.org (email)

October 22, 2023

Albuquerque Mayor Tim Keller

Albuquerque City Council
Pat Davis, President

The District 4 Coalition, at its October 18, 2023 meeting, voted unanimously to send this letter to the City Council and the CABQ Administration. It is our consensus that the proposed NM United stadium at Balloon Fiesta Park should not be approved in its currently proposed state.

While NM United has been and is a positive force for fans and up-and-coming soccer players, that popularity and energy cannot replace a systematic, careful, and fully-vetted process. Our concern is that sports fervor is leading to a lease that commits the City to a minimum of 30 years and a maximum of 60 years on a project that will impact our Balloon Fiesta. Enthusiasm is not a suitable, legal or responsible replacement for completeness and competency.

We also cite the following specific concerns:

1. The proposed lease cannot be signed prior to the Albuquerque International Balloon Fiesta (AIBF) choosing to change its own lease agreement with the City.
2. Before the proposed lease can be signed, the Environmental Planning Commission (EPC) has to render its decision on a Major Amendment to the Balloon Fiesta Park Master Development Plan. But this Major Amendment will not be heard by the EPC until November 16, 2023 and the EPC has a 90 day window to render its recommendation to the City Council.
3. At the City Council meeting on October 16, 2023, no CABQ administrator or lawyer could clearly define a number of significant items specified in and/or required by the lease that must be provided by the City. Without such clear definitions, the City could be committed to providing much more in the way of infrastructure than was originally envisioned for this project at a significantly higher cost. Misunderstandings, finger-pointing and cost over-runs are sure to occur. Better to avoid these problems by spelling everything out ahead of time before the lease is approved and signed.
4. A poorly constructed 14 page lease which commits the City to a 30 year lease (possibly a 60 year lease eventually) which could negatively impact the Balloon Fiesta (which provided the City with \$203 million dollars in revenues in 2022) is not ready for anyone's approval or signatures at this time.

We fear the administration and council are hastily pushing forward with this project before allowing sufficient public input or obtaining independent analysis of legal issues or potential complications, negative ramifications, and additional costs. There is a history (from the ART project, to the Gateway shelter, the Rail Trail & ABQ Housing Forward) of the City getting way ahead of itself because due diligence did not happen!

Thank you for your consideration.

Sincerely yours,

Mark Reynolds

President,

District Four Coalition of Neighborhood Association

- The District 4 Coalition of Neighborhoods approved the action of sending this letter by unanimous vote at the Coalition meeting on October 18, 2023. The following are member groups of the Albuquerque City Council District 4 Coalition of Neighborhoods:

Alameda North Valley Association
Albuquerque Meadows Resident's Association
Arroyo del Oso
Bear Canyon Neighborhood Association
Cherry Hills Civic Association
Knapp Heights Neighborhood Association
Highland North Neighborhood Association
Nor Este Neighborhood Association
North Domingo Baca Neighborhood Association
Quail Springs Neighborhood Association
Quintessence Neighborhood Association
Vineyard Estates Neighborhood Association
Vista Del Norte Alliance
Wildflower

From: swent999@aol.com
To: [Bolivar, Silvia A.](#); [Lehner, Catalina L.](#)
Cc: anvanews@aol.com
Subject: Letters to the EPC from the Alameda North Valley Assoc for 11-16-2023, EPC hearing, 2 pdf ltrs attached (BCC)
Date: Sunday, November 5, 2023 11:01:31 PM
Attachments: [Soccer Stadium lease D4 ltr.pdf](#)
[ANVA BFP S Stadium EPC Ltr.pdf](#)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Subject line filled out - SW

In a message dated 11/5/2023 10:50:05 PM Mountain Standard Time, swent999@aol.com writes:

Please find an attached letter (pdf) from the Alameda North Valley Association for the Environmental Planning Commission Hearing on Thursday, November 16, 2023.

The letter references the application for an amendment to the Balloon Fiesta Park Master Development Plan 2012 Update and Site Plan and Variance to IDO.

Address: 9201 Balloon Museum Fr. NE, 4900 Balloon Fiesta PKWY NE, and 5601 Alameda NE.

I have also attached a letter to the City Council that concerns the lease for the proposed stadium - pdf doc. This letter from the District Four Coalition of Neighborhood Associations is sent to supply background information for the EPC.

I request that both letters be included in the Commission's information packet for the hearing.

Please call me if you have any questions and [please confirm receipt of this email and attached material.](#)

Thanks,

Steve Wentworth

505-897-3052

November 5, 2023

To: Members of the Environmental Planning Commission

From: Sandra Zuschlag, 8105 Irwin St NE, 87109, szuschlag58@gmail.com, 505-250-3798

Re: Balloon Fiesta Park – “A Major Amendment to the Balloon Fiesta Park Master Development (BFP MDP), an Amendment to the Site Plan for Subdivision, and a Site Plan for an Outdoor Multi-Use Stadium”

Thank you for taking the time to read and consider my comments. Some of my comments are not specifically related to “land use”. The proposed 2023 update of the Balloon Fiesta Park Master Development Plan, Site Plan and the proposed lease submitted to City Council with New Mexico United are complex and intertwined. Also, there are operational questions about the management of Balloon Fiesta Park. I urge you to not to approve this submittal; at a minimum, it should be deferred until these concerns can be adequately addressed.

Background: I worked at the COA Parks and Recreation Department for almost 30 years. During that time, I was involved with the acquisition, planning, design, construction, and operations of Balloon Fiesta Park. I managed the development of the 1998 Master Development Plan and the 2012 update of the Plan. I spoke with hundreds of individuals about Balloon Fiesta Park along this journey. My comments are formulated in part by these discussions.

In 2012, I retired as the Assistant Director of the Parks and Recreation Department. Since I was retiring, the 2012 Plan Update was dedicated to me *“for her professionalism and tireless commitment to Balloon Fiesta Park.”*

I have been mostly retired for the last ten years, caring for my grandchildren. Since 2013, during the annual Balloon Fiesta, my small business has helped the Albuquerque International Balloon Fiesta (“AIBF”) with neighborhood outreach and event sound monitoring and management in the North Edith and Marie Diers neighborhoods.

Since 2013, before each Balloon Fiesta, we have walked and talked with the neighborhoods north of Alameda Boulevard along Edith Blvd. and in the Marie Diers neighborhoods. We have visited more than 320 homes annually. We have discussed event issues and listened to the neighbors' comments and suggestions.

During the Balloon Fiesta, we have monitored sound levels at thirteen locations in the neighborhoods. We have worked in real-time with the AIBF Sound Board personnel to reduce the **amplified** sound levels heard from the park. We have recorded thousands of sound readings over the years. The program has been successful. The **amplified** sound levels have been reduced and better controlled over the last ten years.

These experiences have given me a unique knowledge of Balloon Fiesta Park. These are my personal comments, and I am not representing the Albuquerque International Balloon Fiesta in my remarks.

I. 2023 Update of the Balloon Fiesta Master Development Plan, Planning Process:

If the “*Multi-Use Stadium*” is a viable project at Balloon Fiesta Park, it should be able to withstand public discussion and comment. The acquisition, planning, design, and development of Balloon Fiesta Park was achieved through extensive discussions with park stakeholders, the Balloon Fiesta Park Commission, and public involvement and consideration. A vital component of the planning effort and subsequent development of the Plans was through a consistent and sustained public and stakeholder involvement process. I believe the 1998 Plan and 2012 update of the Master Plan tried to strike a common ground among the stakeholders and neighbors of the Balloon Fiesta Park. The document is imperfect; not everyone got what they might have wanted. It was a compromise.

Balloon Fiesta Park Commission: An important component of the 1998 Plan and 2012 update of the Master Plan was community involvement. Multiple advisory boards helped with the planning, design, and development of the park over the years.

In 2010, F/S O-09-90 was adopted by the City Council, adopting an ordinance created the Balloon Fiesta Park Commission. “*It is the intent of this ordinance to create a Balloon Fiesta Park Commission that can provide a voice for the public and stakeholders in the management of Balloon Fiesta Park.*” From my memory, the Commission was created through an Ordinance to help address a situation like we are now facing. An Ordinance should mean something.

From my review of available online information since 2018 the Balloon Fiesta Park Commission has not had a **quorum**, and it appears the Commission has not met consistently. To adequately address this possible Master Plan update, the COA should address why this Commission has languished and reestablish the Commission to guide the planning, design, development, and operations of Balloon Fiesta Park. Without the Commission in place, public comment is inadequate for the largest park in Albuquerque. The Park is a community treasure; it should not be squandered on a rushed project.

The adopted 2012 Balloon Fiesta Park Master Development states on page 17, “*An outdoor sports stadium is not allowed in the Balloon Fiesta Park.*” The proposed 2023 Update of the Master Plan now calls for an outdoor “*multi-use stadium.*”

In my opinion, it is wrong to change the 2012 update of the Master Plan without a robust public involvement process with the Commission, neighborhoods, the community, and the stakeholders of Balloon Fiesta Park. It is probably timely to update the Master Plan in a comprehensive way assuming all parties are involved, and the COA is committed to implementing the document. It is premature to approve the update of the Balloon Fiesta Master Development Plan by EPC and for the City Council to approve the lease.

Many questions remain; from what I understand, the COA has held one facilitated meeting about the proposed stadium on September 9th, and on August 29, 2023, a meeting with the remnants of the Balloon Fiesta Park Commission. From what I have been told, the notification for the meetings to discuss the proposed stadium was inadequate. Some attendees thought the COA was already presenting this project as a done deal.

Facilitated Meeting, September 9, 2023: From the September 9th facilitated meeting notes, “*the lead planner said that they are following Citi’s IDO process for pre-application notification and*

facilitated meetings.” Only “*recognized neighborhood associations*” were notified as part of that process.

The adopted 2012 Balloon Fiesta Park Master Development Plan outlined a public involvement process. In 2022, the City Council adopted the O-22-15 NARO Ordinance (Neighborhood Association Recognition Ordinance). With the adoption of this Ordinance, only “*recognized neighborhood associations*” are notified about development projects. With the adoption of the O-22-15 NARO Ordinance, was it meant to negate the O-2016-15 Balloon Fiesta Park Commission Ordinance and the adopted 2012 Update of the Balloon Fiesta Park Master Development Plan?

The scheduling needs of New Mexico United, a professional soccer team, have partly driven the proposed update of the Master Plan. It is my understanding the stadium needs to be constructed by 2027. From the proposed lease:

- Page 6., F. USL Approval – “*On or before **March 31, 2024**, United Soccer League has authorized Tenant to conduct its operations at the Stadium.*”
- Page 5: “*Site Development Start Date*”: “*City will begin groundwork on the Site within 30 days of issuance of a building permit. A BUILDING PERMIT CANNOT BE ISSUED UNTIL BALLOON FIESTA PARK MASTER PLAN IS AMENDED AND A SITE PLAN APPROVED BY THE EPC AND ALL APPEALS FROM THE EPC HAVE BEEN EXHAUSTED.*”
- Page 5, Article VIII = “*Conditions of Commencement of Lease Terms*” – 9 months after EPC approval and appeals. “*Commencement of development and construction of the Project Improvements on or before **Sept. 30, 2024**, provided, however, to the extent permitted by Applicable Laws, the construction permits, and authorization may be procured in stages and need not be obtained before such deadline*”.

For many reasons, using public property for a “*for profit*” activity should be closely scrutinized. The draft lease with New Mexico United, and the proposed 2012 Update of the Balloon Fiesta Park Master Development Plan were submitted during the busiest time of year for Balloon Fiesta Park. The exclusive use period for AIBF is the day after Labor Day to October 31st. Introducing the draft lease and plan for review during this busy time seemed purposeful.

From the notes of the September 9th facilitated meeting: “*Another attendee complained that the notification process per the IDO is too narrow and inadequate (“terrible”) for the wider area, especially when master planning is involved.*”

- (1) *Legitimate neighborhood associations are left out of the process, leaving citizens uninformed about what is planned.*
- (2) “*...when we did the [Master Plan] changes in 2012, it was a collaborative process; now the cart is before the horse with this process--it’s already sounding like a done deal.*”
- (3) “*A lot of people worked hard on making this Park possible. They’ve been marginalized by the City of Albuquerque and with meetings...*”

Q: *Will there be other public meetings?*

- ii) *The lead planner said that while they do not have any public meetings scheduled, they can certainly accommodate additional meetings.*
 - (1) *This is the pre-application meeting.*

- (2) *When they submit the application on October 5th, all the affected recognized neighborhood associations will be notified.*
- (a) *They will be happy to have subsequent public meetings.”*

Comment: Beyond the EPC planning process, when are the subsequent public meetings with the Commission, all neighbors, and stakeholders of the park?

Balloon Fiesta Park Commission Meeting, August 29, 2023: In August, the COA held a poorly attended meeting of the Commission. The meeting did not have a quorum. At the meeting, they were still trying to approve the December 11, 2018, meeting minutes. The August 29th agenda states the “*next scheduled commission meeting is November 28, 2023*”. This date is after the November 20th City Council meeting to consider the lease and after the EPC hearing on November 17th.

From the COA WEB Site concerning the Balloon Fiesta Park Commission, the last meeting was on July 14, 2020. There are no minutes or agendas for subsequent meetings. The agenda and minutes from the August 29th Commission meeting have not been posted to COA’s Web page. In the spirit of transparency, isn’t that required?

As I have said, an essential component of the adopted December 2012 Balloon Fiesta Master Development Plan required continued public involvement in the park’s development.

1. Proposed 2023 Update of the Balloon Fiesta Master Development Plan:

Page 32: *“In May 2010, the Policy Board created the Operations & Management Report, 2004 – 2007. Policies, procedures for Park usage, review of tenants, and legal documents, and priorities for development were included in that document”.*

In May 2010, the City Council passed an ordinance creating the Balloon Fiesta Park Commission (F/S 0-09-90; Enactment 0-2010) which was approved by the City Council on May 12, 2010.

In 2016, the Ordinance was amended, O-2016-15. Per that revised Ordinance:
“10-10-5 DUTIES AND POWERS OF THE COMMISSION: § 10-10-5 DUTIES AND POWERS OF THE COMMISSION.

“The Commission is hereby created to advise and make recommendations on the operation, management, and development of the Park with the following duties and powers:

- (I) *Recommend to the Parks and Recreation Department, the Mayor and City Council guidelines and procedures governing the operation, management, and development of the Park, including event review and appropriate fee schedules.*
- (B) *Review and recommend with respect to the approval or denial of agreements with short term park tenants. Short term park tenants shall be approved by the Parks and Recreation Department under guidelines and procedures adopted by City Council resolution.*
- (C) *Review and recommend with respect to the approval or denial of agreements with long term park tenants. Long term park tenancies shall not be in effect until approved by the City Council.*

(D) Review all existing licensure agreements, lease agreements, and similar agreements and make recommendations to the Parks and Recreation Department, Mayor, and City Council with respect to the status and continuation of those agreements.

(E) Review and recommend to the Parks and Recreation Department, the Mayor and City Council regarding the yearly operating budget and City's general obligation bond program.

(F) Receive actual timely notice of all proposed planning and development actions within the Park, including but not limited to: any permanent changes to the physical layout of the Park; any construction within the Park, any changes to the Site Development Plan and any application for any such changes. The Commission has the right to participate in, review and have its position given full consideration with respect to any planning and development actions related to the Park. The Commission shall have standing in front of all city boards or commissions authorized to consider or review such actions and in front of the City Council for any appeal or other consideration of such actions.

(G) Recommend sponsorships for the park and park events.

(H) Work collaboratively with other organizations to market the Park.

(I) Such other powers not inconsistent with law that are necessary to fully perform the assigned duties."

Comments:

At the August 29th Balloon Fiesta Park Commission meeting (without a quorum), what did the COA provide concerning the proposed lease and the update of the 2023 Master Plan? No action could have been taken because the meeting did not have a quorum.

The draft lease with New Mexico United discusses the need for EPC approval to update the Master Plan and Site Masterplan. From my read of the lease, it does not say the facility will have to comply with the requirements of the adopted 2012 Balloon Fiesta Park Master Development Plan or what role the Commission would have in reviewing proposed events or subsequent subleases at the multi-use stadium.

2. **Proposed COA 2023 Updates of the Master Development Plan:** The COA has proposed some text changes. Outline below is some of the language for Design Performance Standards. The COA proposed changes are shown below as red line updates. Currently, the COA is not offering other text changes to these items. From what I know, there has been no input from the Balloon Fiesta Park Commission or the neighbors.

Page 80, Design Performance Standards:

“Amplified Sound: Amplified sound is allowed between the hours of 7 AM and 10 AM only, per the City’s Noise Ordinance, but shall not exceed the noise limits as stated above. Balloon Fiesta, and other special events as approved by the City, are allowed to use amplified sound between the hours of 10 PM and 7 AM on a case-by-case basis only, and as approved by the Environmental Health and the Park Commission. When ambient noise level exceeds 50 dba, the sound level shall not exceed ambient plus 5 dba. No person in the Park shall be exposed to amplified sound over 90 dba.”

“Speaker Type and Location: The speaker design criteria for all amplified events should include a “distributed sound” approach, where more speakers are used at lower volumes. During events where amplified sound is generated, the preferred orientation of speakers shall be north or northeast.”

Comment: During the annual Music Fiesta™, the speakers are positioned to the southeast.

“Noise Monitoring: During Balloon Fiesta, the Parks and Recreation Department staff monitors sound during the event. If noise exceeds acceptable standards, AIBF is contacted immediately. Additional monitoring may occur if the City receives a complaint.”

Comment: I believe the COA Parks and Recreation Department staff should review this text for accuracy.

Page 80, Proposed 2023 Plan Update Language: “Outdoor Multi-Use Stadium: The location of the Outdoor Multi-use stadium adjacent to the escarpment will minimize the sound impact to neighborhoods. Any amplified sound in the area shall meet time, noise limit, and location standards as stated above.”

Comment: In my opinion, this language should be revised considering the actual configuration of the park, a partial amphitheater directed to the west. The rural neighborhoods west of the park are at a lower elevation. From what I have observed, the North Diversion Channel and Outfall can act as a conduit for sound. Noises heard from the park can be distributed to neighborhoods along Second Street and beyond. I do not have personal knowledge about how the sound might be affecting the neighborhoods east or south of the park. On October 15th, I was at North Domingo Park during the Balloon Launch. I could hear the amplified announcements from Balloon Fiesta Park. It wasn’t loud but it was audible.

3. **The proposed 2023 update of the Master Plan only amends Section 4 and Section 6 of the document.** It does not update the following Sections:

- Section 3: Community Issues (1998)
- Section 7: Infrastructure & Engineering (2012)
- Section 8: Project Budget (1998)
- Section 9: Operations & Management (1998)
- Section 10: Phasing Plan (1998)

Comment: It has been 25 years since the original Balloon Fiesta Park Master Development Plan was adopted and eleven years since the 2012 update of the Master Plan. Shouldn’t the update of the 2023 Master Plan address these Sections and be more comprehensive? Many of the community issues in Section 3 remain unchanged. The adopted 2012 planning documents did not approve the construction of a “Multi-Use Stadium” at Balloon Fiesta Park.

Section 7. Infrastructure & Engineering (2012): While the 2023 Update of the Master Plan addresses some issues associated with this Section, some questions remain. The Section should be updated:

Page 87, North Camino Arroyo, System A:

Comment: What and when will these drainage improvements be constructed as part of the northern parking lot projects? Will this parking lot and associated drainage improvements be built before the loss of parking spaces in the proposed stadium area?

- **Page 91, Storm Drain System Map:**
Comment: This map should be replaced and updated.

- **Limited Access to Edith Boulevard, Page 99:** *“Access to Edith Blvd. for special access during special events is proposed at two locations: near the south end of the Launch Field on an alignment that extends from Alameda Road, and near the north end of the Launch Field just south of the point where the North Diversion Channel curves to the west.”*
Comment: In my opinion, this paragraph should be updated. I would recommend the consultants should discuss this issue with AIBF.
 - AMAFA has installed a maintenance road at the AIBF-owned property at Alameda Road. No event, pedestrian, or bike access is permitted to Edith Blvd.

 - AIBF owns the property on Edith Blvd. (AIBF West Parking Lot), where the *“North Diversion Channel curves to the west.”* There are access and use restrictions associated with this property.

- **Page 107, Sanitary Sewer System Plan Map:**
Comment: This map should be replaced and updated.

- **Page 113, Water System Plan Map:**
Comment: This map should be replaced and updated.

- **Page 121, Nazareth Landfill:**
Comment: The boundaries of the landfill overlay zone cross the footprint of the proposed Stadium. This Section should be updated.

- **Page 122, PNM Transmission Facilities:**
Comment: The COA proposes to narrow the PNM easement to 75 feet. What are the implications of the large power lines near the proposed multi-use stadium? This Section should be updated.

- **Verizon Leased Area:**
Comment: I have heard, the COA has a lease with Verizon for a small building in the park where the stadium is proposed. What will happen with that lease? Where will that facility be located?

Section 8. Project Budget (1998): The development of Balloon Fiesta Park started in the 1980's. Many different governmental entities and private funding sources made the park's development possible. In the 1990's, Bernalillo County provided \$400,000 for Balloon Park. This contribution should not be forgotten; the neighbors who live west of the park are in the unincorporated area of Bernalillo County.

Considering this Section of the Master Plan was not updated in 2012, I think the Section should be updated to document the funding received from multiple organizations and governmental entities. AIBF has invested millions of dollars in the park. Their contribution should not be forgotten along with other stakeholders and governmental entities.

From the Proposed New Mexico United Lease: *“City agrees to grade, create and maintain parking areas suitable for Tenant use; create a public, common area plaza(s) generally to the North, West, and South of the Stadium include lighting; **stabilize, retain, and terrace the east and south edges of the bowl of the Site along the existing escarpment**; provide lighting for urban greenspace area, pedestrian usage; landscaping for the park, including the creation of shade areas and **public restrooms which shall be accessible to the public during Balloon Fiesta**, improve fencing and entrance to the Stadium, **by July 1, 2025**; and execute on any infrastructure needs agreed by the Parties”.*

New Mexico State Grant Funding for a Stadium:

- 2023, HB 505: *“Five million dollars (\$5,000,000) to acquire land for and to plan, design and construct phase 1 of a sports and cultural center in Albuquerque in Bernalillo county”.*

- 2021, F2658, ALB SPORTS STADIUM & MULTI-USE CTR CONSTRUCT: *“\$4,954,750 Bernalillo to plan, design, and construct a multi-use event center and Stadium, including professional soccer facilities in Albuquerque in Bernalillo county”.*

Comments: From my review of the 2023 update of the Master Plan, it is unclear how the approximately 14 million dollars of State funding will be spent at the park. Since the funds for the development of the park and the stadium are a mixture of public and private funds, the limits of these projects should be clearly delineated. What specific COA infrastructure improvements will be made to improve the park (and stadium)? Which *“parking areas”* are included in this phase? Is the COA paying for the terracing of the sports stadium? The public restrooms are only open during the Balloon Fiesta? These issues should be clarified in the 2023 update of the Master Plan.

Are there anti-donation issues with using public money to construct a privately run stadium? How and what will the “stadium” state grants be used?

Section 9: Operations & Management (1998): This Section should be updated. In my opinion, how the park is operated and managed is a significant issue for the neighbors living around the park.

- **Page 131, Advisory/ Stakeholder Input:**
Comment: The Balloon Fiesta Park Commission superseded two previous planning boards.

- **Page 132, Lighting:** *“Field lighting is prohibited at the Tournament Game Area”, and “Recreation/Launch Field: Lighting at playing fields/multiple-purpose areas must fulfill the following requirements:*
 - *“Lighting shall be designed to be portable and illuminate the playing fields and multi-purpose areas only.” ...*
 - *“Light fixtures shall be removable during Balloon Fiesta and other ballooning events for safety reasons.”*

- **Page 132 Tournament Game Area:** *“The sound system for the Tournament Game Area will be directed toward the eastern berm of the Park. The permanent seating at the Tournament Game will be constructed out of sound absorbing materials, such as grass”.*

Comment: The 2023 proposed update of the Master Plan eliminates the “Tournament Game Area”. The text may still be valid for a “multi-purpose” stadium.

- **Temporary and Permanent Seating:** “A maximum of 1,000 permanent seats”. **Comment:** This language should be updated.

- **Page 133, “Sound Management Techniques:** “Numerous design and sound management techniques have been developed to minimize noise at the Park. The topography at the Park site contributes significantly to noise minimization, **as the playing fields are approximately 60 feet lower than the adjacent neighborhoods and are separated from them by an earthen berm to the east.** Additionally, it is a criteria of this Master Development Plan that all sound systems Balloon Fiesta Park Master Development Plan designed to utilize directional sound technology, rather than large broadcast systems that impact areas larger than necessary. Sound systems and sound levels for all events at the Park must be approved at the time a special permit or lease for use is obtained.”
Comment: This language should be revised considering the actual configuration of the park is more of a partial amphitheater directed to the west. The rural neighborhoods west of the park are located below the park. From my observations, the North Diversion Channel and Outfall acts as a conduit to distribute sound to the North Valley.

- **Page 133, Noise Monitoring:** “**The City of Albuquerque shall be responsible for noise monitoring and enforcement at the Park.** Noise levels may not exceed 50 dba at the nearest residential property line between the hours of 10 PM and 7 AM. Where ambient noise levels exceed 50 dba, such as the Park’s southern edge at Alameda Boulevard, the sound level shall not exceed ambient plus 10 dba. **Amplified sound is not allowed to face west under any circumstances** and is not allowed between the hours of 10 PM to 9 AM, except for Balloon Fiesta and other special events to be approved by the City. A sound monitoring system for the Auditorium shall be provided to allow detailed measurements at nearest residential property lines. All special events will require a 24 hour contact telephone number to allow the City to shut down events which exceed the criteria. These requirements are consistent with the sound tests conducted early in the planning process for the Park.”
Comment: This Section should be addressed to reflect the current reality of noise monitoring at the park. During the annual Balloon Fiesta, AIBF takes the lead in monitoring and controlling sound levels. City staff depend on AIBF to control the sound impact during the event.

- **Page 133: Hours of Operation:** “6:00 AM to 10 PM year-round”.
Comment: What are the hours for the operation of the stadium? Neighbors have told me that special events at the park do not always end at 10 PM. What are the current hours of operation for special events?

- **Alcohol:** “Alcohol sales and use at the Park will be permitted on a case-by-case basis”.
Comment: Will alcohol be sold at the stadium? What are the restrictions, considering youth activities are also occurring at the park?

a. **Section 10: Phasing (1998):**

□ **Page 140,**

Comment: Items in Phase 1 have still not been developed. Considering it has been 25 years since the Plan was adopted, I think this portion of the Plan should be updated.

- **From the Proposed New Mexico United: Page 5 Article VIII:** “*Conditions of Commencement of Lease Terms*” – 9 months after EPC approval and appeals. “*Commencement of development and construction of the Project Improvements on or before Sept. 30, 2024, provided, however, to the extent permitted by Applicable Laws, the construction permits, and authorization may be procured in stages and need not be obtained before such deadline*”.

Comments: The proposed lease with New Mexico United indicates the development of the multi-use stadium should start **September 30, 2024**. This is a very ambitious date during AIBF’s current “*Exclusive Use Period*.” The 2024 Balloon Fiesta starts on October 5, 2024. How can this construction project begin less than two weeks before the event? In 2023, there were almost a million spectators. The Phasing Plan should address the construction limitation during the annual Balloon Fiesta (and the time it takes to set up and tear down the event).

How will the COA infrastructure projects be constructed? Will the publicly fund projects be bid out competitively?

b. **Appendices:**

Comment: The 2012 update of the Master Plan includes two pages of names of individuals who helped update the Plan. I believe these individuals should not be forgotten during the rushed update of the Master Plan.

II. **“New Mexico United Sports Stadium Adjacent Neighborhood Noise Impact Study,” Anthony James Partners, 8/18/2023:**

Comments: This Study addresses the facility as a “*sports*” stadium, not a “*multi-use*” stadium as described in the proposed 2023 update of the Master Plan. This difference in words is an important distinction. This Study does not address special events and how speakers for concerts or other loud events would be handled. Who controls the use, location, and volume of speakers? Are there any speakers facing west? Where will sound monitoring occur? Will the monitoring entity request the amplified sounds be reduced in real-time? Will the special event comply? It states the North Edith neighborhood is 2,550 feet from the Stadium. The facilitated meeting notes describe neighborhoods as more than ½ mile away.

The sound from crowds cheering is not addressed in the COA Noise Ordinance. From my observations, crowd noises will be heard regularly in the North Edith, Second Street, and Wildflower neighborhoods.

From the Study and the “*Optional Stadium Design*,” the projected sound levels during a sporting event are:

“ <i>East Neighborhood</i> ”	100 Hz – 400 Hz	52 dBA – 55 dBA
	400 Hz – 8 kHz	50 dBA – 55 dBA

West Neighborhood	100 Hz – 400 Hz	52 dBA – 57 dBA
	400 Hz – 8 kHz	52 dBA – 59 dBA
South Neighborhood	100 Hz – 400 Hz	52 dBA – 57 dBA
	400 – 8 kHz	50 dBA – 58 dBA

Comments:

- A portion of Balloon Fiesta Park is a partial amphitheater that opens to the west. The **amplified** sound levels are monitored and generally controlled during the annual Balloon Fiesta. Noise from traffic, event sounds, and **amplified** sounds from the event can be heard throughout the neighborhood west of Balloon Fiesta (Second Street to the North Diversion Channel and north of El Pueblo Road to the Sandia Pueblo boundary neighborhoods off Edith Blvd.). From what I have observed, the amplified sound travels down the North Diversion Channel and pools in the lower elevations in the neighborhoods. Elevated **amplified** sound readings have also occurred along Edith Blvd. and other neighborhood areas.

See the attached documents that describe the AIBF Sound Monitoring Program. These guidelines were developed based on a review of the adopted 2012 Balloon Fiesta Park Master Development Plan, City and County Ordinances, and input from staff from the COA Environmental Health and Parks and Recreation Departments:

- TABLE 2: 2023 Balloon Fiesta Park – Noise Control
- Neighborhood Sound Monitoring & Management Standard Operating Procedures

During the annual Balloon Fiesta in real-time, AIBF’s neighborhood liaison notifies the AIBF Sound Board staff when elevated average **amplified** sound levels are above 56 dB in the neighborhoods. From my understanding of this Study, they anticipate **amplified** sound levels above 56 dB.

- This Study does not address the sound impact on the Amara Vista neighborhood, neighbors on Edith north of the AIBF West Parking Lot, and the neighborhoods located off Second Street near the North Diversion Channel Outfall.

- **Page 2:** “Original Stadium Design” or “Optional Stadium Design”

Comment: Which design solution is proposed?

- **Page 7, Conclusion:** “*Relatively flat terrain and the lack of tall, massive barriers contribute to the propagation of sound waves generated in the Stadium during an event. Predictions show that amplified sound within the Stadium will not exceed the noise ordinance regulations between 7:00 am and 10:00 pm. It must be considered that normal traffic noise from interstate highways typically ranges between 75 to 80 dBA at a distance of 50 to 60 feet.*”

Pre-programmed audio tracks, also known as hype music, are regularly played through stadium sound systems for sporting events. This sound source, coupled with varying crowd noise, consists of full spectrum audio and will be the greatest contributor to sound radiating from the Stadium. Program material, however, can be limited to varying degrees through a properly designed sound system for effective operation within the limits set by the City Noise Ordinance”.

Comments:

- This description of the physical environment is inadequate. Event sounds can be regularly heard in the areas west of the park.
- “Predictions show that amplified sound within the stadium will not exceed the noise ordinance regulations between 7:00 am and 10:00 pm”. This does not adequately address the quiet and rural neighborhoods along Edith Boulevard and Second Street neighborhoods and the requirements of the 2012 Balloon Fiesta Master Development Plan. The North Edith and Marie Diers neighborhoods are quiet areas. An average **amplified** sound reading can sound clear at 46 – 48 dB in the neighborhoods. Sometimes the amplified sounds echo in the neighborhood which can be an additional impact.
- “It must be considered that normal traffic noise from interstate highways typically ranges between 75 to 80 dBA at a distance of 50 to 60 feet.” Why was this included? In my opinion, it is not helpful. Are the consultants trying to say it would be better to live next to a sports stadium than a freeway? In 2014, I stood in a neighbor's yard in the North Edith area during the Balloon Fiesta. The **amplified** noise bounced off the garage wall and back against the house. At 60 - 65 dB, it was loud. I would guess neighbors would not want to live next to either!
- From what I have observed, the amount of “traffic hum” heard in the North Valley neighborhood has increased over the last ten years; more loud activities at Balloon Fiesta Park will increase the sound heard in all neighborhoods.
- What special events will be allowed at the multi-use stadium? Will concerts or other loud activities be allowed? The Sound Study doesn't address this issue. Will additional speakers be allowed? Are there performance criteria for proposed special events? What happens in real-time when elevated **amplified** sound levels are heard in the neighborhoods?
- In my opinion, this Study does not adequately address the current adopted or proposed sound requirements from the 2012 update of the Balloon Fiesta Park Master Plan or the Bernalillo County Ordinance requirements.

III. New Mexico United USL Stadium, MUSCO Lighting Study:

Comments: It is helpful that the height of the stadium has been raised on the west to 70 feet. In my opinion, this Study does not adequately address the potential impacts of lighting on the neighborhoods. The game field elevation of the stadium is about 5,058 feet. The lights on the Stadium's east side are 100 feet tall, with the light fixtures installed at 90 feet. On the west, north, and south sides of the Stadium, the lights are 80 feet tall. The proposed lights will be significantly higher than the surrounding neighborhoods. Will the glare from the lights shine down into residential property?

- Neighborhoods South of the Park (Wildflower and the apartments):** These homes are at an elevation between 5,116 and 5,163 feet.

- **Neighborhoods West of the Proposed Stadium (Edith Blvd.):** These homes are at an elevation between 5,020 and 5,032 feet. A few homes are located near the top of the elevation of the North Diversion Channel.
- **Neighborhoods North of the Park along Edith Blvd. and the Far North Area Along the Sandia Pueblo Boundary:** These homes are at an elevation between 5,010 and 5,028 feet.
- **Marie Diers Neighborhood:** These homes are at elevation between 5,010 and 5,015 feet.

What are the performance criteria for the operations of the lights? How often will the stadium be illuminated? What kind of lights will be allowed at other special events?

IV. Other Comments:

Fireworks:

Comment: Will they be allowed at the stadium, and if so, how often? From my observations, one of the most frequent comments I have heard during the Balloon Fiesta is the sound of the fireworks that can negatively impacts humans, pets, and wildlife. Allowing fireworks year-round would be a negative impact on the area.

V. Site Plan Comments:

Comments:

- The Planting Plan indicates the maintenance responsibility for the plantings is that of the property owner. Is it correct that the COA will maintain the plants around the Stadium and in the parking lot?
- From what I have observed, the eastern parking lot is used for event bus staging during the Balloon Fiesta. Has this been considered? Where will this occur in the east parking lot? I recommend the consultants should discuss this issue with AIBF staff.
- In the Site Plan drawings, the Parks and Recreation Maintenance facility is located near Balloon Museum Drive. Is this correct? Hasn't this location been moved south and west of the Golf Center?
- I have heard from COA staff that cricket pitches are being added to the park. Where? Should this be addressed considering the dual purpose of balloon launch spaces and the proposed cricket pitches? What was the planning process for this proposed change in the park?

DRAFT 2023 - NEIGHBORHOOD SOUND MONITORING & MANAGEMENT STANDARD OPERATING PROCEDURES

The Standard Operating Procedures aid in managing event sounds and specifically **amplified** sound levels during the Balloon Fiesta. Each year, use the same sound monitoring locations.

In 2015, Z^cS Consulting drafted Standard Operating Procedures concerning event management based on the following review of Plans and Ordinances:

- 2012 Balloon Fiesta Park Master Plan
- 2017 COA - Noise Control Ordinance
- BERNCO - Noise Ordinance

These procedures were reviewed and developed in coordination with staff from:

- COA Environmental Health Department
- COA Parks & Recreation Department
- AIBF staff
- Z^cS Consulting
- Noise Experts, Acoustical Consulting.

The Neighborhood Sound Monitoring and Management Standard Operating Procedures are reviewed and updated yearly based on issues during the annual Balloon Fiesta.

Sound-Level Meter: Use an instrument sensitive to pressure fluctuations that meet the American National Standards Institute (ANSI) S1.4-1983 Type 1 or Type 2, IEC Publication 651, or the latest respective revisions.

A-Weighted Sound Pressure Level: Use the A-weighting network on the sound meter. The unit of measurement for the A-weighted scale is dB(A). Sounds measured with the "A" weighting network approximate human hearing response when measuring low to moderate intensity sounds.

1. **If needed, communicate elevated amplified average decibel readings in real-time to the AIBF Sound Board staff (David Buehler, db Production Services, LLC):**

- Balloon Fiesta Park: COA Parks and Recreation staff shall notify AIBF Sound Board staff and Z^cS Consulting via a text message (or call when needed) when the following average **amplified** sound decibel readings are documented and maintained:
 - During the Balloon Launch and the Balloon Glows, average **amplified** decibel readings exceed 60 dB.
 - During the Music Fiesta™, average **amplified** decibel readings in the Park exceeded 65 dB, and in the performance area, decibel readings of 90 dB.
- North Edith and Marie Diers Neighborhoods: Z^cS Consulting shall notify AIBF Sound Board and Parks and Recreation staff via a "group" text message (or call when needed). The following average **amplified** decibel readings are documented and maintained:
 - Daytime (7 AM – 10 PM) exceeds 56 dB during the day.
 - Nighttime (10 PM – 7 AM) exceeding 51 dB.

These requests to the AIBF soundboard staff should be documented in the sound notes. For the 2023 Balloon Fiesta, if the **amplified** sound level is not reduced, Sam Parks, Executive Director, is the first contact to call, and then Jennifer Garcia, Director of Operations, AIBF.

Michael Pittman, COA, EH Dept. in 2023 indicated that the City is working on revising the ordinance in 2024.

2. The following information should be documented:

- Amplified Sound:** If the source of the sound is an **amplified** sound heard from the park, the average decibel reading should identify the type of **amplified** sound and other sounds that are being recorded. If possible, the recorder should try and record the average **amplified** decibel level readings for only the **amplified** sounds. If needed, the recorder should stay at a monitoring location until the **amplified** sound can be isolated. If the average **amplified** sound reading is elevated in real-time, the AIBF Sound Board staff should be contacted.
- Monitoring Times:** At a minimum, COA staff and Z^cS Consulting should monitor sounds when **amplified** sound is used during an event. During the Balloon Launches, the **amplified** announcing starts at 5:45 AM and ends around 9 AM. During the Balloon Glows, sound readings should be taken before, during, and after the Balloon Glows. (Typically, 5:00 – 9:00 PM). Live music occurs for an hour after the Fireworks Shows. The live music shows should be monitored. Z^cS Consulting's work schedule is:
 - The first weekend – Balloon Launch and Glow
 - Thursday and Friday – Balloon Glows
 - Second Saturday - Balloon Launch, Music Fiesta™, and Balloon Glow
- COA staff should monitor the sound levels in the performance area and the park during the Music Fiesta™ and Balloon Fiesta Park. The Music Fiesta™ setup is 12:30 – 1:00 PM. The concert is 1:00 PM – 6:00 PM.
- Weather Conditions:** If the winds are from the east or south, Z^cS Consulting will send a text message concerning the wind direction/weather to the AIBF sound board staff and City Parks & Recreation staff. The weather directly impacts the management of **amplified** sound. Higher sound level readings should be anticipated if the winds are blowing from the east or south. If there is cloud cover, the **amplified** sound levels in the neighborhood could be higher. Starting in 2022, tracking of the humidity levels began.
- Helicopters & Planes:** The recorder should document if the helicopter is hovering overhead in the neighborhood, flying over the park, or flying in the area. The general location of the aircraft should be noted (over the park, north of Roy Road, etc.). The location of the plane should be noted.
- Traffic:** The recorder should document the intensity of pedestrian and vehicular traffic. Is the traffic heavier than “normal” levels in the neighborhood? Is the traffic the source of the average decibel reading?
- Firework Show:** In the neighborhood, a sound meter should be used to document an overall average decibel reading for the entire Firework Show. The loudest and quietest decibel readings should also be documented.

3. **Document Pre-event Baseline and Pre-event Sound Test Readings.**
 - **Pre-event Baseline Readings:** Baseline readings should be taken in the park and the neighborhood before the Balloon Fiesta. The average decibel readings should be recorded, and the sound source should be noted. Sound level readings should be taken in the morning and the evening, with approximately 24 sound readings in the neighborhood.
 - **Pre-event Sound Tests:** Conduct pre-event sound tests the week before the Balloon Fiesta. AIBF soundboard staff will play **amplified** music and announcements at similar sound levels as being generated during the annual Balloon Fiesta. In the neighborhoods, Z^cS Consulting will document the average sound level readings and, as necessary, provide feedback concerning the recorded average sound levels. Z^cS Consulting shall monitor the sound levels in the “*high event impact areas*”:
 - 8 - 10401 Edith Blvd., Harris
 - 8.a. - 10312 Edith Blvd., Haederle
 - 14 - 100 Diers Road
 - 15.1 - 134 Maria Circle, Hauser
 - 15 - 100 Maria Circle
4. **Yearly, Confirm the AIBF Policy Concerning Balloon Fiesta Vendors and Amplified Sound:** Yearly, this policy should be reviewed and communicated to staff from AIBF, the City Parks & Recreation Department, and Z^cS Consulting. AIBF staff should remind the vendors yearly about the **amplified** sound policy during the Balloon Fiesta.
5. **All amplified sounds during the Balloon Fiesta should be coordinated and managed through the AIBF Sound Board staff (announcing, music during Firework Shows, etc.).** Note: During the 2023 Balloon Fiesta, sound levels for announcements at the Pilot’s Briefing Tower were not controlled by the AIBF Sound Board staff. For the 2024 Balloon Fiesta, amplified sound levels should be controlled at the Pilot’s Briefing Tower.
6. **Organize Pre-and Post-Event Sound Debriefing Meetings:** Z^cS Consulting should lead in setting up pre- and post-event sound debriefing meetings. New event activities or facilities should be discussed at the pre-event meeting. Invite staff from:
 - COA Parks & Recreation Department
 - AIBF staff (AIBF Sound Board, the Pilot Briefings Tower & and the AIBF Vendor Manager).
Attend pre- and post-event debrief meetings with the Marie Diers and North Edith neighborhoods should occur.
7. **Provide “Quiet” Nightly Trash Pickup at Balloon Fiesta Park:** Z^cS Consulting should contact City Solid Waste staff concerning refuse pickup every year. Typically, during past Balloon Fiesta events, the sound levels from refuse disposal have increased in the neighborhood on Thursday. City Solid Waste/ AIBF staff should continue to place the dumpsters behind walls or vehicles to reduce the sound pollution heard in the neighborhoods. Solid Waste staff should continue to limit the number of “bounces” made when the dumpsters are emptied.
8. **Firework Shows:** AIBF should use the 2018 fireworks launching location if possible. The 2018 location was further east in the Wiley Brother pit.

9. **Balloon Fiesta Park Speakers & Main Street Stage:** At the 2017 Post Event Sound Debrief Meeting, Marlon Long, AIBF Stage Manager, mentioned that the sound to the Pole 1 speaker should be turned off after 9 AM on Thursday, Friday, and the weekends. Mr. Long said he received many complaints about the sound from the speaker being too loud near the Discovery Center.

In 2014, the Music Fiesta™ temporary stage was in the park's northwest corner; this location has significantly reduced the amount of sound heard in the neighborhood.

10. **AIBF Should Continue to Communicate with the Helicopter Pilots About Not Hovering Over the North Edith/ Marie Diers Neighborhoods:** Every year, AIBF staff should remind the helicopter pilots not to “hover” over the neighborhoods. This change in 2014 was one of the most significant improvements for the neighborhoods regarding noise control as part of the annual Balloon Fiesta.

11. **Continue to Use a City Environmental Health Department Sound Meter:** For the last few years, the City Environmental Health Department has loaned a high-quality sound meter to Z^cS Consulting/AIBF to use during the annual Balloon Fiesta. Using the high-quality sound meter has been beneficial in documenting the average decibel readings in the North Edith/Marie Diers neighborhoods. In 2023, Michael Pittman was the city contact.

12. **After the annual Balloon Fiesta, provide the annual “Comparison of Average Sound Readings” to:**

- AIBF Executive Director, Event Director, and Vending Manager
- COA Parks and Recreation
- COA Environmental Health Department.

TABLE 2: 2023 BALLOON FIESTA PARK - NOISE CONTROL

(2012 Balloon Fiesta Park Master Development Plan, 2017 COA - Noise Control Ordinance & BERNCO - Noise Ordinance)

Items	2012 Balloon Fiesta Park Master Development Plan	COA - 2017 Noise Ordinance, Article 9	BERNCO Noise Ordinance
General Sound Level Limits	50 dba at any noise sensitive property line between 10 PM - 7 AM. Where ambient level exceeds 50 dba, the criteria shall be ambient, plus 5 dba (page 79).	From Public Premises: <u>Residential:</u> Daytime 55 dB (indoor), 60 dB (outdoor), Nighttime 50 dB (indoor), 55 (outdoor) <u>On to Other Public Premises:</u> Daytime 75 dB, Nighttime 70 dB	<u>Residential:</u> Daytime 55 dB, Nighttime 45 dB, <u>Commercial and Special Use Permit:</u> 65 daytime, 60 dB nighttime. "Sound projecting from property of one land use category onto property of another land use category having a lower sound level limit shall not exceed the limits for the property of the land use category onto which it is projected."
	Temporary Permit is allowed for special events approved by COA - Env. Health Dept. 2 phone number contacts for special events	Temporary Permits and Variances (through public hearing) are allowed. "Unless other dates and times are explicitly addressed in the permit, permitted noise shall not continue past 10:00 p.m. on Sunday, Monday, Tuesday, Wednesday, and Thursday. On Friday and Saturday, permitted noise shall not continue past 12:00 a.m."	Approved certified copy of the registration statement: Every user of sound amplifying equipment on public property shall file a registration statement with the permits and licenses division of the clerk of the county at least one working day prior to the date on which the sound amplifying equipment is intended to be used.
	Stages and amplified sound should be oriented to the northeast		
	No person at the Park shall be exposed to amplified sound over 90 dba.		
Hours of Amplified Sound Nighttime vs. Daytime	Allowed between 7 AM - 10 PM only, per the City's Noise Ordinance	<u>Nighttime:</u> 10 PM - 7 AM <u>Daytime:</u> 7 AM - 10 PM	<u>Nighttime:</u> sunset to sunrise <u>Daytime:</u> sunrise to sunset is recorded by the US Weather Bureau. *Section 30-111 Definitions"

TABLE 2: 2023 BALLOON FIESTA PARK - NOISE CONTROL

(2012 Balloon Fiesta Park Master Development Plan, 2017 COA - Noise Control Ordinance & BERNCO - Noise Ordinance)

Items	2012 Balloon Fiesta Park Master Development Plan	COA - 2017 Noise Ordinance, Article 9	BERNCO Noise Ordinance
Monitoring Times during the Balloon Fiesta	"During Balloon Fiesta, the Parks and Recreation Dept. staff monitors sound during the event. If noise exceeds accepted standards, AIBF should be contacted immediately. Additional monitoring may occur if a complaint is received by the City." (page 80)		
Monitoring Location		Any indoor noise measurements for compliance purposes should be taken in a location which could be reasonably assumed to affect one or more persons. For residential receptor premises, inside noise level measurements are performed in sleeping or living areas with windows opened to approximately 25% of their maximum in residences without mechanical ventilation and with windows closed for residences with mechanical ventilation.	Measurement as 15 dB above the ambient level at the property line ("Ambient noise means the all-encompassing noise associated with a given environment, usually being a composite of sounds with many sources near and far excluding the specific noise under investigation".).
Noise Sensitive Property	N/A, FYI - Closest property line is the adult care facility on Horizon.	"Property containing an occupied: dwelling unit or units, school, hospital, religious institution, childcare facility, or adult-care facility or other facility similar in nature."	
		PERSISTENTLY OR CONTINUOUSLY. A 10-minute period during which any sound is discerned, and that sound exceeds the applicable sound limits in each of the ten one-minute intervals of such period. In the case of animal noise, it means a 10- minute period during which animal noise is discerned in each of the ten one-minute intervals therein.	
Construction Work		"(D) Except for work authorized by a governmental body or agency, no person shall, on or within 500 feet of any noise-sensitive property, operate or cause to be operated any equipment used in construction, repair, alteration, excavation, grading or demolition work on buildings, structures, streets, alleys or appurtenances thereto...On Sundays or holidays or	"Sec. 30-122 Construction of buildings and projects. It shall be unlawful for any person within a residential zone, or within a radius of 500 feet there from, to operate equipment or perform any outside construction or repair work on buildings, structures, or projects or to operate any piled driver, steam shovel, pneumatic hammer, derrick, steam or electric

TABLE 2: 2023 BALLOON FIESTA PARK - NOISE CONTROL

(2012 Balloon Fiesta Park Master Development Plan, 2017 COA - Noise Control Ordinance & BERNCO - Noise Ordinance)

Items	2012 Balloon Fiesta Park Master Development Plan	COA - 2017 Noise Ordinance, Article 9	BERNCO Noise Ordinance
		<p>between 10:00 p.m. and 6:00 a.m., without first obtaining a Temporary Construction Noise Permit as described in § 9-9-5." "(B) No person shall operate or allow to be operated outdoors, any power equipment, including, but not limited to, sweepers, power mowers, leaf blowers, rototillers, power saws or other power equipment used to sweep parking areas or other surfaces or perform gardening, property repair or other functions, within 500 feet of any noise-sensitive property:</p> <p>(1) during the nighttime; or</p> <p>(2) between the hours of 7:00 a.m. and 9:00 a.m. on a Sunday or holiday. Power mowers at golf courses are exempt from this requirement</p> <p>(3)</p>	<p>hoist, or other construction type device (between the hours of 10:00 p.m. of one day and 7:00 a.m. of the next day) in such a manner that a person residing in the area is caused discomfort or annoyance unless beforehand a permit therefore has been duly obtained from the county manager. No permit shall be required to perform maintenance work not able to be completed during normal working hours and emergency work."</p>
Refuse Collection		<p><u>Refuse Collection:</u> The limits set forth in this article do not apply to municipal refuse collection activities taking place during the daytime.</p>	
Fireworks		<p><u>Fireworks displays:</u> The limits set forth in this article do not apply to any public or private legally permitted fireworks displays.</p>	

From: [Kevin Murray](#)
To: [Bolivar, Silvia A.](#)
Subject: Re: PR-2023-009363 - New Mexico United Stadium at Balloon Fiesta Park
Date: Sunday, November 5, 2023 6:37:29 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

With regard to PR-2023-009363 (New Mexico United Stadium at Balloon Fiesta Park), I would like to amend my first email to add the following:

Upon studying the IDO, it also appears that New Mexico United's Proposed Stadium would violate the North I-25 - CPO-10 Overlay Zone with regard to building height and outdoor lighting per IDO Subsection 14-16-3-4(k). A screen capture of specific section of the IDO is below.

3-4(K) NORTH I-25 – CPO-10

3-4(K)(1) Applicability

The CPO-10 standards apply in the following mapped area. Where the CPO-10 boundary crosses a lot line, the entire lot is subject to these standards.



3-4(K)(2) Site and Setback Standards

Lot size, width, usable open space, and setbacks shall be provided according to the applicable standards listed in Section 14-16-5-1 (Dimensional Standards).

3-4(K)(3) Building Height

3-4(K)(3)(a) Exception to Unlimited Building Height

The provision for unlimited building height over 100 feet from each lot line in the Dimensional Standards Tables in Section 14-16-5-1 does not apply. Maximum building heights are pursuant to Subsection 14-16-3-4(K)(3)(b) below.

3-4(K)(3)(b) Maximum Building Height

Maximum building height for each sub-area within the North I-25 – CPO-10 is pursuant to this Subsection 14-16-3-4(K)(3)(b).

1. In sub-area 1: 26 feet.
2. In sub-area 2: 39 feet.
3. In sub-area 3: 52 feet.
4. In sub-area 4: 65 feet, except for hotel or motel uses, which are limited to 120 feet (10 stories).

3-4(K)(3)(c) Building Height Bonuses

Building height bonuses do not apply pursuant to Subsection 14-16-3-1(C).

3-4(K)(4) Other Development Standards

3-4(K)(4)(a) Outdoor Lighting

1. The height of light poles within 330 feet in any direction of Balloon Fiesta Park as delineated on its approved Master Plan shall not exceed 20 feet.



On Thu, Nov 2, 2023 at 5:08 PM Kevin Murray <claystorm@gmail.com> wrote:

I live in Sun North Estates, a neighborhood that exists around 1 mile south of Balloon Fiesta Park and I am opposed to PR-2023-009363 (New Mexico United Stadium at Balloon Fiesta Park).

For 25 years, an "outdoor sports stadium" has not been an allowed use at Balloon Fiesta Park. In the original 1998 and 2012 Update to the City of Albuquerque Balloon Fiesta Park Master Development Plan (<https://www.cabq.gov/planning/documents/BalloonFiestaMasterPlan2012Update.pdf>), this is cited as being specifically due to neighborhood opposition. On Page 24 of the 2012 Update of Master Development Plan with the heading of "Community Issues (1998)", the master plan states ***"For example, the neighborhood was specifically opposed to an outdoor sports stadium, and in response, that use was deleted from the permissive land use list approved by the City Council."***

Furthermore, on pages 17 and 34 of the 2012 Update talking about building types that are approved, one of the bullet points says *"Enclosed sports arena*"*. The asterisk says *"*An outdoor sports stadium is not allowed in Balloon Fiesta Park."* Now the city wants to update the plan to allow the New Mexico United to build an outdoor sports stadium on land at Balloon Fiesta Park leased from the city.

The original reason an "Outdoor Sports Stadium" was a disallowed use is because the residents who would be impacted by it, didn't want it and frankly, 25 years later we still don't want it. We already carry the burden for 10-days of New Mexico's largest event, Balloon Fiesta, being carried out in close proximity to our neighborhoods. An event that requires nearby residents to deal with multiple police check-points and passes just to get to our own houses.

And now we are being told we need to carry the burden of another 30+ more events (~20 United Home Games + 10 City Use Events) a year minimum and that doesn't even include events that NM United will hold in their stadium like concerts, etc that are not sports related. And this also doesn't include the numerous other events that already take place at Balloon Fiesta Park, like Doggie Dash and Dawdle, CABQ 4th of July Celebrations, Turkey & Other Runs, and Beer, Wine, and Food Festivals. The calendar of events at Balloon Fiesta Park on the City of Albuquerque's website, basically shows some type of event at the Park almost every weekend during the summer period.

In addition, the Balloon Fiesta Park Commission, whose stated task "is to provide advice and recommendations concerning the operations, management, and development of the Balloon Fiesta Park." hasn't met since July 2020 according to the City of Albuquerque's website (<https://www.cabq.gov/parksandrecreation/our-department/boards-commissions/balloon-fiesta-park-commission>). This is a commission purpose is, according to the webpage, "The Commission provides a voice for the public and stakeholders in the management of the Park.". And yet they haven't met.

According to media reports, a sound study has supposedly already been completed and a traffic study was in the works. Yet the residences who will be impacted by the new stadium haven't seen or been privy to any of this information. In addition to loud amplified sound from the new stadium and chating / cheers of large crowds, how many nights of fireworks after matches (and other events at the stadium) must we and our pets put up with? Fireworks, which are currently used by the team at Isotopes Stadium, carry harmful toxic atmospheric pollutants that depending on weather patterns can be carried into our neighborhoods and affect the air quality.

Traffic in the area of Balloon Fiesta Park is already bad. During the evening period of time

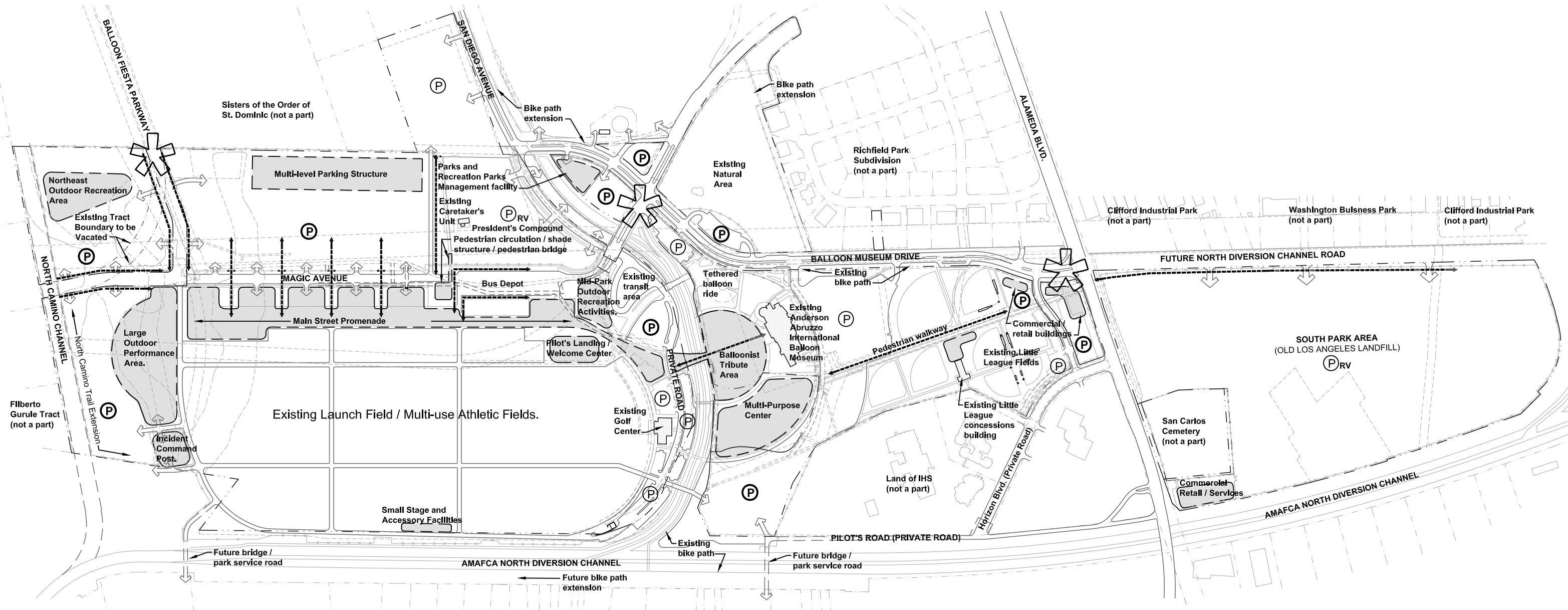
known as rush hour, traffic on Alameda can already back up westbound from the Rio Grande River to I-25. According to the 2022 Mid-Region Council of Governments Traffic Flow Maps and Data Report (latest available on their website), the section of Alameda from 2nd Street to I-25 already sees an average of ~30,000 to 32,200 cars per day. Yet no information has been shared about mitigation of these sound & traffic issues.

It is for these reasons that I can not support this project at its current location.

BALLOON FIESTA PARK

SITE PLAN REDUCTIONS

1. 2012 Site Plan Illustrative
2. 2012 Fencing Plan
3. 2012 Site Development Plan for Subdivision Amendment



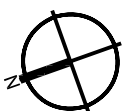
SITE PLAN ILLUSTRATIVE

BALLOON FIESTA PARK (SEE FULL SIZE SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT DRAWINGS AT THE BACK OF THIS DOCUMENT)
 ALBUQUERQUE, NEW MEXICO








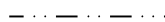




SCALE: 1" = 600'-0"

0 300' 600' 1200'

11 MARCH 2013



LEGEND

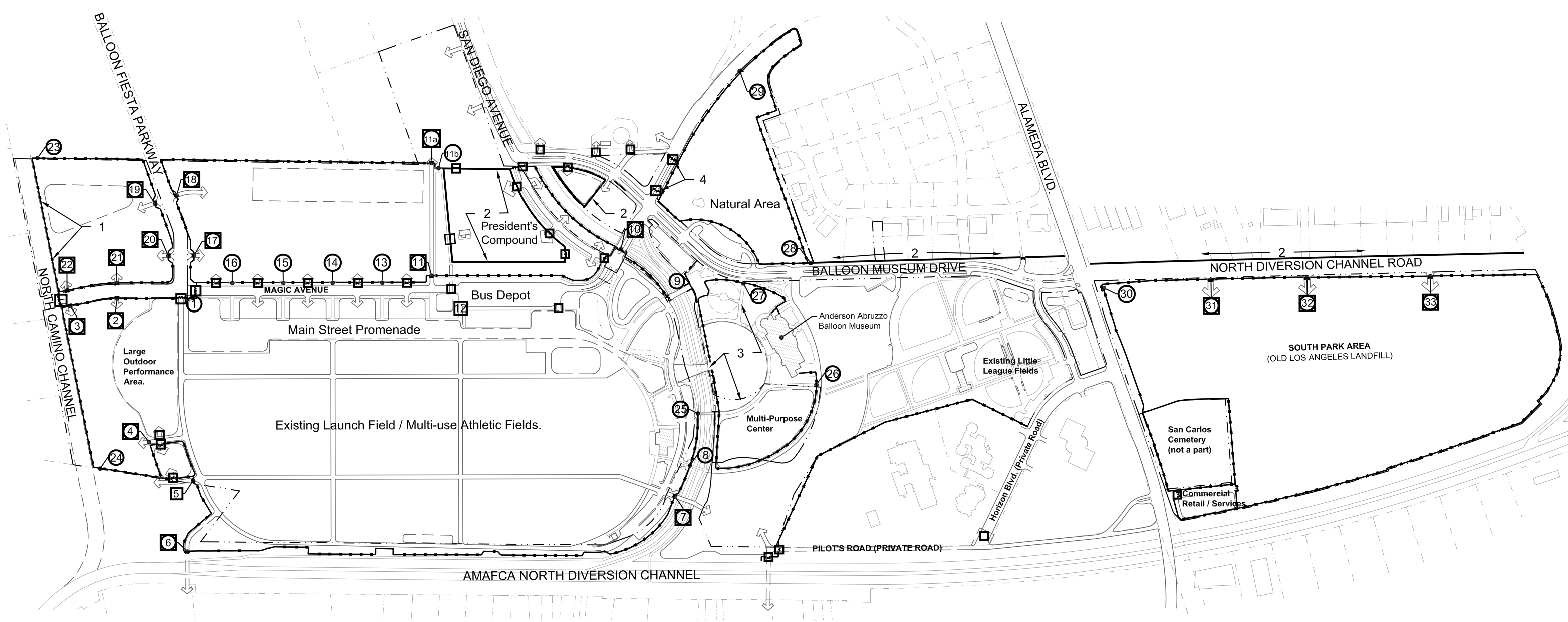
	Existing building		Vehicular circulation / access locations
	Area of proposed improvements		Pedestrian circulation (minimum width: 8'-0")
	Existing parking area		Park entry / gateway feature
	Proposed new or improved parking area		
	Subdivision boundary line		
	Property line		
	Existing easement / right of way		
	Proposed easement / right of way		
	Deleted road		

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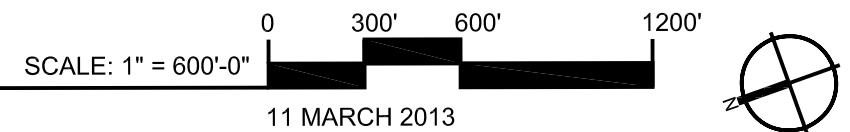
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FENCING PLAN

BALLOON FIESTA PARK (SEE FULL SIZE SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT DRAWINGS AT THE BACK OF THIS DOCUMENT)
 ALBUQUERQUE, NEW MEXICO



11 MARCH 2013






GENERAL NOTES

A. Gate numbers 1-18 correspond with existing AIBF gate numbers.

KEYED NOTES

1. Fencing along North edge property boundary of Tract A to be modified / relocated at this location per future drainage improvements along North El Camino Channel.
2. Screen walls (minimum of 6' high) shall be provided along East side of Balloon Museum Drive and future North Diversion Channel Road. Screen walls to meet City comprehensive Zoning Code wall regulations.
3. In addition to the permanent fencing indicated, temporary fencing for special events shall be allowed.
4. Limited emergency access gate.

LEGEND

-  Screen Wall Location (6'-0" high minimum)
-  Fencing Location
-  Vehicular and Bicycle Access Gate / Control Point*
-  Pedestrian and Bicycle Access Gate / Control Point*
-  Combined Pedestrian, Bicycle and Vehicular Access Gate*
- * (Other gates may be developed as needed in the future.)

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SITE PLAN FOR SUBDIVISION: REQUIRED INFORMATION

See the 2012 Update to the Master Development Plan for more detail on Park Elements, Buildings, Structures, Utilities and Future Improvements.

THE SITE: Lots A, B, C, D, E, F, G-1-A, H, I-1, Balloon Fiesta Park Subdivision. The site consists of approximately 358 acres, and lies north and south of Alameda Boulevard.

EXISTING ZONING: SU-2 for Balloon Fiesta Park, Museum, and Related Uses. Land Use Overlay: Recreation Open Space (ROS) Per North I-25 Sector Development Plan.

ALLOWABLE USES PER MASTER DEVELOPMENT PLAN:

- A. Recreation and Park Elements: Field sports such as soccer, football, field hockey, etc.; tournament field sports such as soccer, softball, track, etc.; Golf practice area; Balloon Fiesta, launch, and event facilities; Picnicking; Trails; Parking (surface and structured); Natural areas and open space; Skateboarding, in-line skating, ice skating; Canoeing; and tethered balloon ride; Transit facilities; Helicopter landing pad for emergency medical purposes.
- B. Special Events: Arts and crafts shows; City Summerfest activities; Car shows; running and bicycle races and similar community activity events; Fireworks exhibitions; Vendor booths, including retail sales of food and full-service liquor for consumption on-premises and within designated Park areas; music events and festivals.
- C. Buildings: Multi-Purpose Center (community center type uses); Balloon Museum, additional museum; Auditorium and amphitheater; Restaurants for retail sales of food and full-service liquor for consumption on premises and within designated Park areas; Restroom facilities; Gift shop (associated with Museum uses); commercial (retail) service buildings; Enclosed sports arena; Tournament game area (with exceptions); Golf clubhouse; clubhouse uses; Banquet facility with catering; a Commercial kitchen with Business incubator; Hotel with conference center; Public safety, Police substation, fire station, and Incident Command Center; Exhibit space/multi-purpose building; Permanent vending and multi-purpose structures; Park maintenance facilities; Pedestrian circulation structures; Caretaker's unit.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 Vehicular Access: Vehicular access is from access points along Alameda Boulevard at Balloon Museum Drive (north) and the future North Diversion Channel Road (south), San Diego Avenue, and Balloon Fiesta Parkway. A full movement intersection exists at Balloon Museum Drive and Alameda Boulevard. Two bridge crossings over the North Diversion Channel will provide access from Edith Boulevard.

Pedestrian Access/Circulation: Primary pedestrian access is from existing sidewalk and trails along Alameda Boulevard, North of Alameda Boulevard the sidewalks and trails run throughout the Park.

See Fencing Plan p. 53-54 in the Master Development Plan for vehicular and pedestrian gate locations.

Transit Access: Alameda Boulevard is an Enhanced Transit Corridor. SunTran Route #96 provides service along Alameda Boulevard and Route #140 provides service along Jefferson Street and San Diego Avenue, with bus stops provided at Alameda/Balloon Museum Drive and along Jefferson Street and San Diego Avenue. A bus depot and transit area are provided within the Park.

Bicycle Access: Bike routes and trails are provided along Alameda Boulevard, North Diversion Channel, Jefferson Street, Balloon Museum Drive, San Diego Avenue, and throughout the Park.

Internal Circulation: Sidewalks and trails are provided throughout Balloon Fiesta Park, north of Alameda Boulevard.

PARKING SUMMARY (Parking numbers based on allowance of 400sf per standard vehicle)
 Standard Vehicles (all Tracts): 8,558 spaces
 RV parking (Tracts A and I): 2200 spaces

ADA COMPLIANCE NOTE:
 All sidewalks, ramps (including truncated domes) and curb cuts within city right of way will be built per C.O.A. Standard Drawings. Sidewalks (2430), Ramps (2440), Curb cuts (2426). All ramps located within City right of way shall include truncated domes.

Building Heights and Setbacks: Building heights are per the North I-25 Sector Development Plan and specifically defined per building area on this sheet. Setbacks are defined in the 2012 Master Development Plan.

Maximum F.A.R.	Total Building Area	2,103,230 SF	= 0.13
	Site Area	15,594,480 SF	

Landscape Plan: See Landscape Master Plan sheets. All area specific landscape plans shall be created in compliance with the Master Development Plan requirements.

Site Plan shall be in accordance with the Development Process Manual (DPM) and current Americans with Disabilities Act (ADA) standards / requirements.

ORIGINAL APPROVAL AND PAST AND CURRENT AMENDMENTS

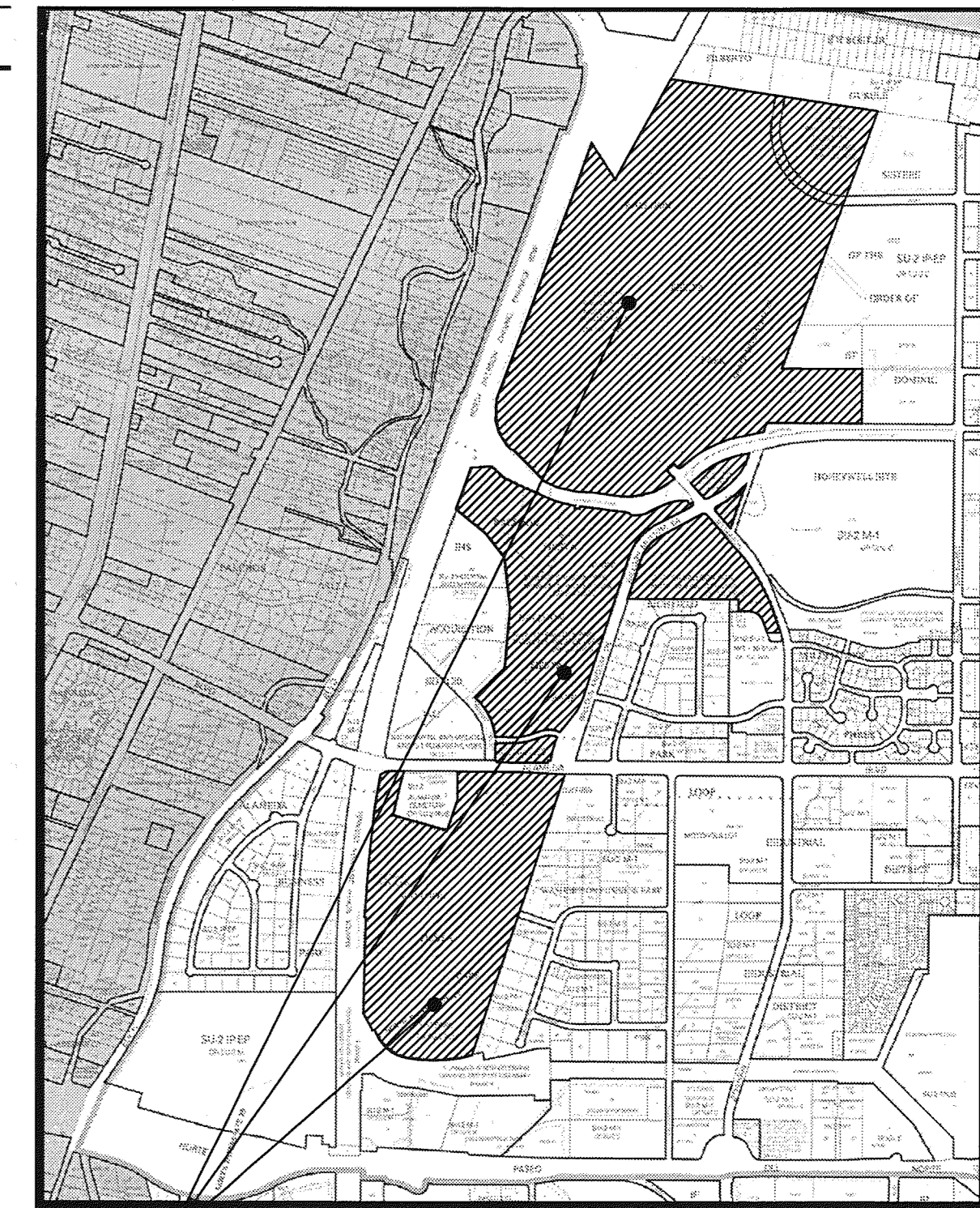
- 2-98-77 Original Master Development Plan approval
- Alameda parking lot: DR999-10; Approved 3/8/99
- Golf training center: DR9100-305; Approved 6/27/00
- Site Plan for Building Permit Museum site and Balloon Museum Drive: EPC00128-00000-00578; Approved 8/31/00
- North launch field roads
- Site Plan for Subdivision and Site Plan for Building Permit for the Balloon Museum and National Museum of Nuclear Science and History, and Amendment to Master Development Plan to reflect the museum lease area for National Museum of Nuclear Science and History [Project #1000363, 01450-00000-00723, 01450-00000-00722]
- Replace pond area north of the Balloon Museum with a Balloon Tribute Area. AA File No. 12-10070; Project No. 1000363
- This amendment includes modifications to the vehicular and pedestrian circulation systems, removal of the National Museum of Nuclear Science and relocation of the Multi-Purpose Center to this area, reconfiguration to the Promenade area, relocation of the outdoor amphitheater to south end, and other minor site modifications.
- Park Entry Sign at Alameda Blvd: AAO1236-00000-01251, to allow 28' tall, double-sided, internally illuminated and electronic message board sign at Alameda Blvd / Balloon Museum Drive
- 2012 Master Development Plan Update. Approved by EPC on November 8, 2012.

KEYED NOTES: (See the 2012 Update to the Master Development Plan for more detail on Park Elements, Buildings, Structures, Utilities and Proposed Improvements)

- Commercial / Retail buildings. Maximum combined buildings size: 60,000 sf. Maximum building height: 39'-0".
- Multi-Purpose Center. Maximum building size: 110,000 sf. Maximum building height: 39'-0".
- Balloonist Tribute Area (approved by Administrative Amendment).
- Parks and Recreation Parks Maintenance Facility. Maximum heated building area: 3,500 sf. Improvements will also include outdoor covered storage up to 4,600 sf. Maximum building and structures height: 18'-0, 6'-0" high minimum screen wall around the perimeter of the site.
- Tethered Balloon Ride framework / structure. Maximum height of framework: 39'-0".
- Multi-level Parking Structure. 5 - 6 levels. Maximum building size: 1,500,000 sf. Maximum building height: 25'-0" above grade at the east property line.
- Pilot's Landing / Welcome Center. Maximum Building size: 18,000 sf. Maximum building height: 25'-0".
- Retail / commercial building. Maximum building size: 8,000 sf. Maximum building height: 25'-0".
- Main Street Promenade. Maximum height of buildings/structures to be 26'-0". Maximum combined buildings and structures area: 200,000 sf.
- AMAFCA has granted a license (renewable on a yearly basis) to the City for use of portions of the AMAFCA right of way for access, and for activities during the Albuquerque International Balloon Fiesta.
- Incident Command Post. Maximum building size: 12,000 sf. Maximum building height: 25'-0, including antenna.
- Large Outdoor Performance Area. Maximum number of permanent seats: 6,000. Maximum size of stage: 10,000 sf. Maximum combined buildings area: 52,000 sf. Maximum height of the accessory buildings is 26'-0". Maximum height of stage shall be determined in the future in consultation with AIBF, FAA and City of Albuquerque Parks and Recreation.
- Northeast Outdoor Recreation Area.
- Small Stage and Accessory Buildings. Stage is to be a maximum of 800 sf facing east. The stage shall be elevated above the launch field a maximum of 6'-0". Maximum height of stage structure: 14'-0 above stage floor. Maximum building area including the stage: 3,800 sf. Maximum height of the accessory buildings: 12'-0".
- Mid-Park Outdoor Recreation Area.
- Bus Depot improvements: 28 bus spaces. Maximum height of the shade structures: 16'-0". Maximum area of the shade structures: 10,000 sf.
- Existing sanitary sewer lift station.
- Existing Anderson Abruzzo International Balloon Museum. Building size: 66,730 sf. Building height: 75'-0".
- Existing Golf Center. Building includes Parks and Recreation offices, Golf Center, and banquet facility. Building size: 12,300 sf. Building height: 26'-0".
- Existing Little League concessions building and restroom facilities. Building size: 6,400 sf. Building height: 24'-0".
- Existing Caretaker's Unit. Building size: 3,000 sf. Building height: 20'-0". Residence to be relocated in the future.
- Existing Modular Public Safety Building and Incident Command Post. Building size: 3,400 sf. Building height: 26'-0".
- Existing restroom facilities (2). Building size: 300 sf. each. Building height: 12'-0". To be relocated / removed and replaced.
- Park Entry / Gateway Feature (3 total). Maximum Height of any structures is 32'-0".
- Pedestrian access gate structures. Maximum height: 30'-0".
- 6'-0 high minimum screen wall to comply with Zoning Code Wall Regulations.
- Pedestrian circulation / shade structure and pedestrian bridge crossing from top of escarpment to plaza immediately north of the bus depot. Maximum structure height: 8'-0" above top edge of escarpment.
- Future Bridge / park service road. Limited access road to Edith. Access Easements to be negotiated with AMAFCA.
- Existing Natural Habitat Area.
- Existing Launch Field / Multi-use athletic fields.
- Improvements to existing Little League area. Accessory structures: batting cages, playground equipment and shade structures. Maximum combined area for new facilities to be 14,000 sf. Maximum height: 26'-0".
- In-ground utility improvements: water, sewer, electricity.
- Future Multi-use Trail.
- Multi-use Trail: 10'-0" wide minimum (with 3'-0" wide recovery area outside, each side, with striping).
- Bike parking area (4 total). 500 spaces shall be provided at site near the Multi-Purpose Center and 50 spaces shall be provided at each of the other three locations.
- New road alignment and road improvements along Golf Course Drive (Park Service Road).
- Service yard.
- Existing transit area.
- Portion of Park Service Road to be removed.
- Portion of Balloon Museum Drive and No Name Road to be removed.
- Drop-off area.
- Existing access easement to Alameda Cemetery to be revised in the future. A 20'-0" wide access easement to the cemetery property Tract 2 (through Tract I-2) shall be provided from Tract I along the west property line of Tract 2.
- Portion of Jefferson Street to be removed / vacated.
- Pedestrian walkway: 8'-0" wide sidewalk (minimum), and landscaping.
- Multi-use Trail along Alameda (south side).
- This area used as bus staging area for large events.
- Improvements along the escarpment: to include landscape materials, retaining structures, pedestrian paths, and pedestrian amenities (ie: seating, shade structures).
- Southbound left turns permitted during major events only.
- Primary telephone - data distribution location to be relocated north of Bus Depot.
- Magic Avenue includes a 20' wide fire lane.
- Realign Jefferson Street Connector Road.
- Future pedestrian circulation / bridge over North La Cueva Channel.
- Future 100' wide channel / dike easement to be negotiated with AMAFCA.
- Future road access easement to be negotiated with owners.

LEGEND

- EXISTING BUILDING
- AREA OF PROPOSED IMPROVEMENTS
- EXISTING PARKING AREA
- PROPOSED NEW OR IMPROVED PARKING AREA
- SUBDIVISION BOUNDARY LINE
- PROPERTY LINE
- EXISTING EASEMENT / RIGHT OF WAY
- PROPOSED EASEMENT / RIGHT OF WAY
- PEDESTRIAN CIRCULATION (MINIMUM WIDTH: 8'-0")
- DELETED ROAD
- VEHICULAR CIRCULATION / ACCESS LOCATIONS: (24' WIDE NORTH OF ALAMEDA BLVD. AND 38' WIDE SOUTH OF ALAMEDA AND INTO RV PARKING)
- MULTI-USE TRAIL (MINIMUM WIDTH: 10'-0" WITH 3'-0" RECOVERY AREA OUTSIDE, EACH SIDE OF TRAIL, WITH STRIPING.)
- PARK ENTRY / GATEWAY FEATURE
- EASEMENT KEY SEE SHEET 2 FOR EASEMENT DESCRIPTIONS AND FILING INFORMATION



PROJECT LOCATION
ZONE MAPS B-16-Z / B-17-Z / C-16-Z / C-17-Z

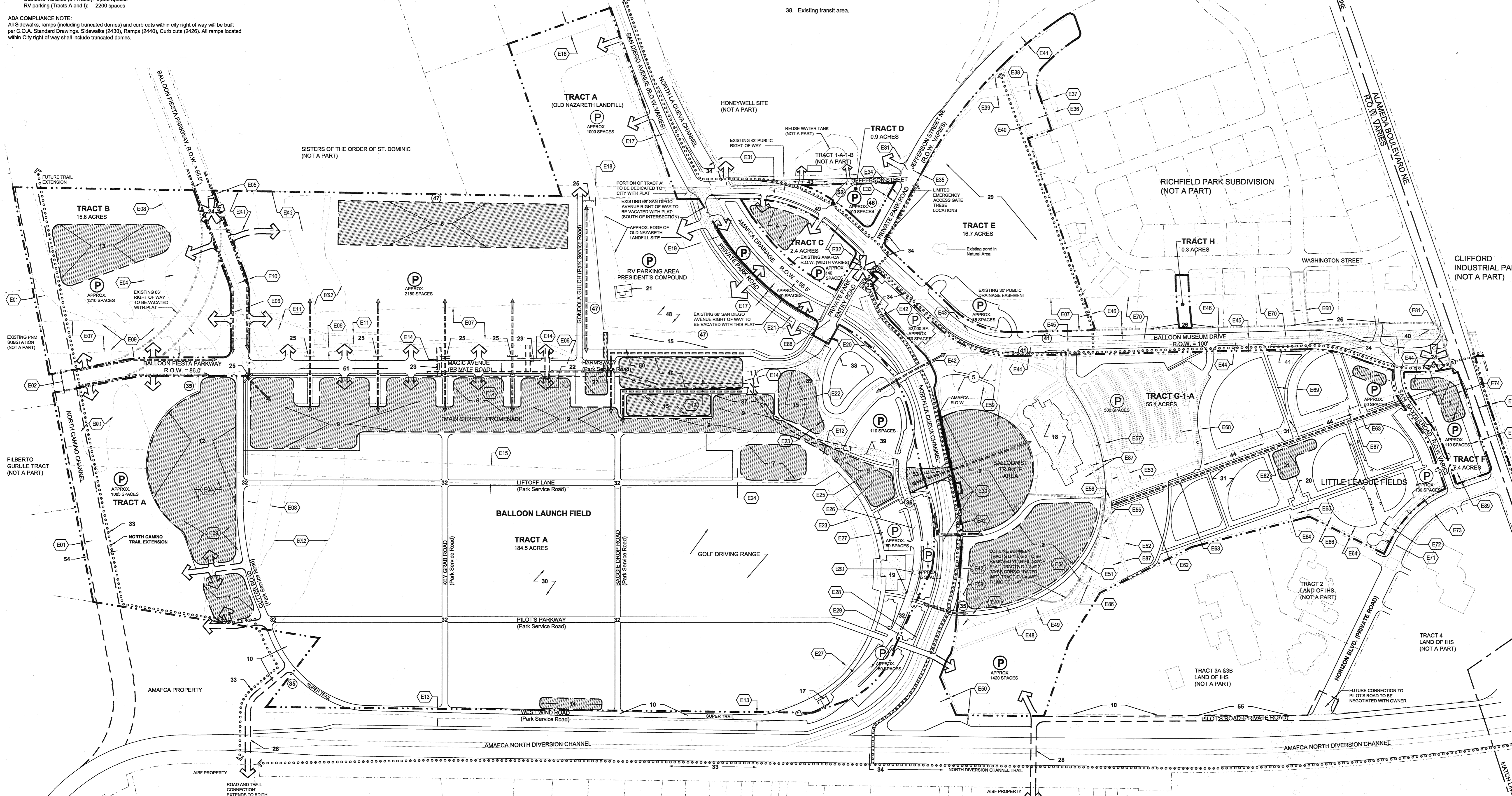
PROJECT NUMBER: 1000363
 Application Number: 15 DAB-94403; 12 EPC-40010

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 8 November 2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Allen Porter</i>	03-27-13
Traffic Engineering, Transportation Division	Date
<i>Carol S. Dumont</i>	03-27-13
ABCWUA	Date
<i>Walter C. Chen</i>	3-27-13
Parks and Recreation Department	Date
<i>Juananne Busch</i>	3-17-2013
City Engineer	Date
Environmental Health Department (conditional)	Date
N/A	Date
Solid Waste Management	Date
<i>Paul Cook</i>	3-27-13
DRB Chairperson, Planning Department	Date



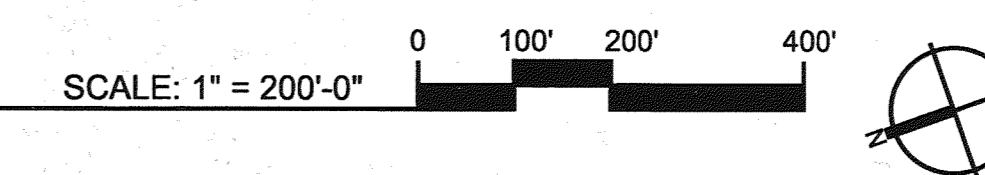
(SHEET 1 OF 4)
Bohannon & Huston
 Courtyard 1, 7500 Jefferson St. NE, Albuquerque, NM 87109
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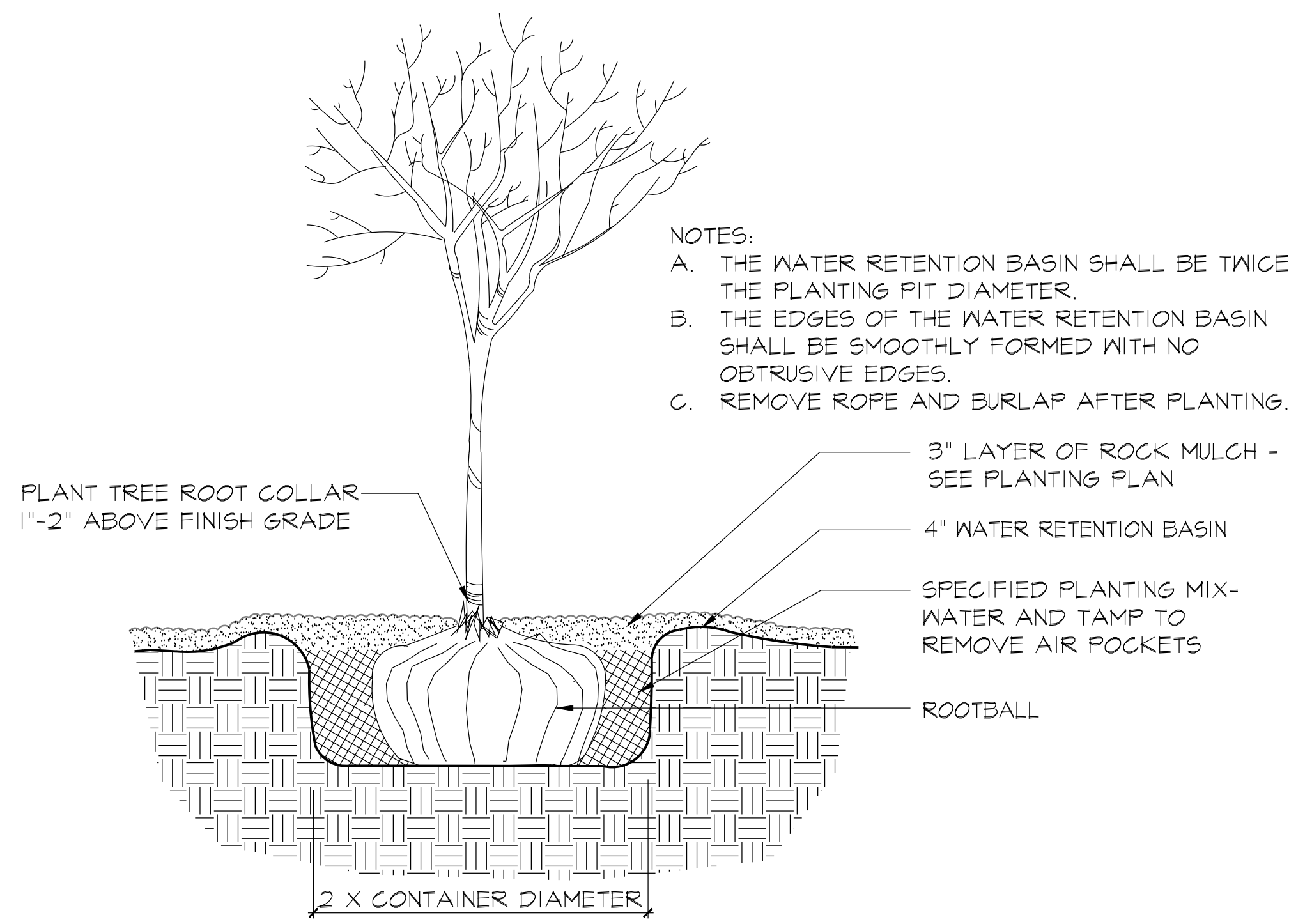
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LEE GAMESKY ARCHITECTS P.C.

SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT
BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO

11 March 2013





NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.

TREE PLANTING @ GRADE DETAIL NOT TO SCALE

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
1	⊙	ACER NEGUNDO SENSATION BOX ELDER	2' B&B	12' HT. X 4' SPR. 40' HT. X 30' SPR.	MED
1	⊙	CEDRUS LINEARIS DEODAR CEDAR	2' B&B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
1	⊙	CERCIS CANADENSIS EASTERN REDBUD	2' B&B	10' HT. X 4' SPR. 30' HT. X 25' SPR.	MED
1	⊙	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	8' HT. X 6' SPR. 30' HT. X 35' SPR.	LOW
1	⊙	CHITALPA TASHKENTENSIS CHITALPA	2' B&B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
1	⊙	FRAXINUS PENNSYLVANICA URBANITE' URBANITE ASH	2' B&B	12' HT. X 6' SPR. 40' HT. X 30' SPR.	MED+
1	⊙	FRAXINUS VELUTINA MODESTO' MODESTO ASH	2' B&B	14' HT. X 6' SPR. 35' HT. X 30' SPR.	MED+
1	⊙	GLEDITSIA TRIACANTHUS INERMIS HONEY LOCUST	2' B&B	12' HT. X 6' SPR. 50' HT. X 45' SPR.	MED+
1	⊙	KOELREUTERIA PANICULATA GOLDENRAIN TREE	2' B&B	8' HT. X 4' SPR. 25' HT. X 25' SPR.	MED

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
1	⊙	PINUS ELДАРICA AFGHAN PINE	B&B	8' MIN. HT. 40' HT. X 18' SPR.	MED
1	⊙	PINUS NIGRA AUSTRIAN PINE	B&B	8' MIN. HT. 35' HT. X 25' SPR.	MED
1	⊙	PLATANUS ACERIFOLIA LONDON PLANE TREE	2' B&B	8' MIN. HT. 70' HT. X 50' SPR.	HIGH
1	⊙	PLATANUS WRIGHTII ARIZONA SYCAMORE	2' B&B	8' MIN. HT. 60' HT. X 70' SPR.	MED+
1	⊙	POPULUS ACUMINATA MOUNTAIN COTTONWOOD	2' B&B	8' MIN. HT. 50' HT. X 50' SPR.	HIGH
1	⊙	POPULUS FREMONTII 'WILZINI' RIO GRANDE COTTONWOOD	2' B&B	12' HT. X 6' SPR. 70' HT. X 35' SPR.	MED+
1	⊙	SAMBUCUS MEXICANA MEXICAN ELDER	24" BOX	8' HT. X 4' SPR. 20' HT. X 25' SPR.	LOW+
1	⊙	ULMUS PARVIFLORA LACEBARK ELM	2' B&B	12' HT. X 6' SPR. 35' HT. X 35' SPR.	MED

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	SPACING MATURE SIZE	WATER USE
SHRUBS					
1	⊙	ARTEMISIA FILIFOLIA SAND SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
1	⊙	ARTEMISIA TRIDENTATA BIG SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
1	⊙	ATRIPLEX CANESCENS FOURWING SALTBUSH	5-GAL	6' O.C. 5' HT. X 5' SPR.	LOW
1	⊙	BUDDLEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH	5-GAL	5' O.C. 4' HT. X 3' SPR.	MED
1	⊙	CERCOCARPUS MONTANUS MOUNTAIN MAHOGANY	5-GAL	10' O.C. 10' HT. X 10' SPR.	LOW+
1	⊙	CHRYSOETHAMNUS NAUSEOSUS CHAMISA	5-GAL	5' O.C. 5' HT. X 5' SPR.	LOW
1	⊙	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15-GAL	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
1	⊙	PHOTINIA FRASERI FRASER'S PHOTINIA	5-GAL	7' O.C. 8' HT. X 8' SPR.	MED+
1	⊙	RHUS MICROPHYLLA LITTLELEAF SUMAC	5-GAL	8' O.C. 8' HT. X 4' SPR.	LOW+
1	⊙	RHUS TRILOBATA THREELEAF SUMAC	5-GAL	6' O.C. 6' HT. X 6' SPR.	LOW+
1	⊙	SALVIA GREGGII CHERRY SAGE	5-GAL	3' O.C. 2' HT. X 3' SPR.	MED
1	⊙	SANTOLINA VIRENS SANTOLINA	5-GAL	4' O.C. 2' HT. X 4' SPR.	LOW
ORNAMENTAL GRASSES					
1	⊙	FESTUCA OVINA GLAUCA BLUE FESCUE	5-GAL	2' O.C. 1' HT. X 1' SPR.	MED
1	⊙	MISCANTHUS SINENSIS MISCANTHUS SPP.	5-GAL	5' O.C. 5' HT. X 5' SPR.	MED+
1	⊙	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS	5-GAL	3' O.C. 30' HT. X 30' SPR.	MED

NOTE: PARKING AREAS ARE REQUIRED TO CONTAIN SHADE TREES AT THE NUMBER REQUIRED BY THE CITY COMPREHENSIVE ZONING CODE EXCEPT THEY MAY BE PLANTED IN GROUPS INSTEAD OF EVENLY SPACED, AS THE ZONING CODE REQUIRES, GIVEN THE POTENTIAL CONFLICT BETWEEN TREES AND BALLOON LANDING.

GENERAL LANDSCAPE NOTES

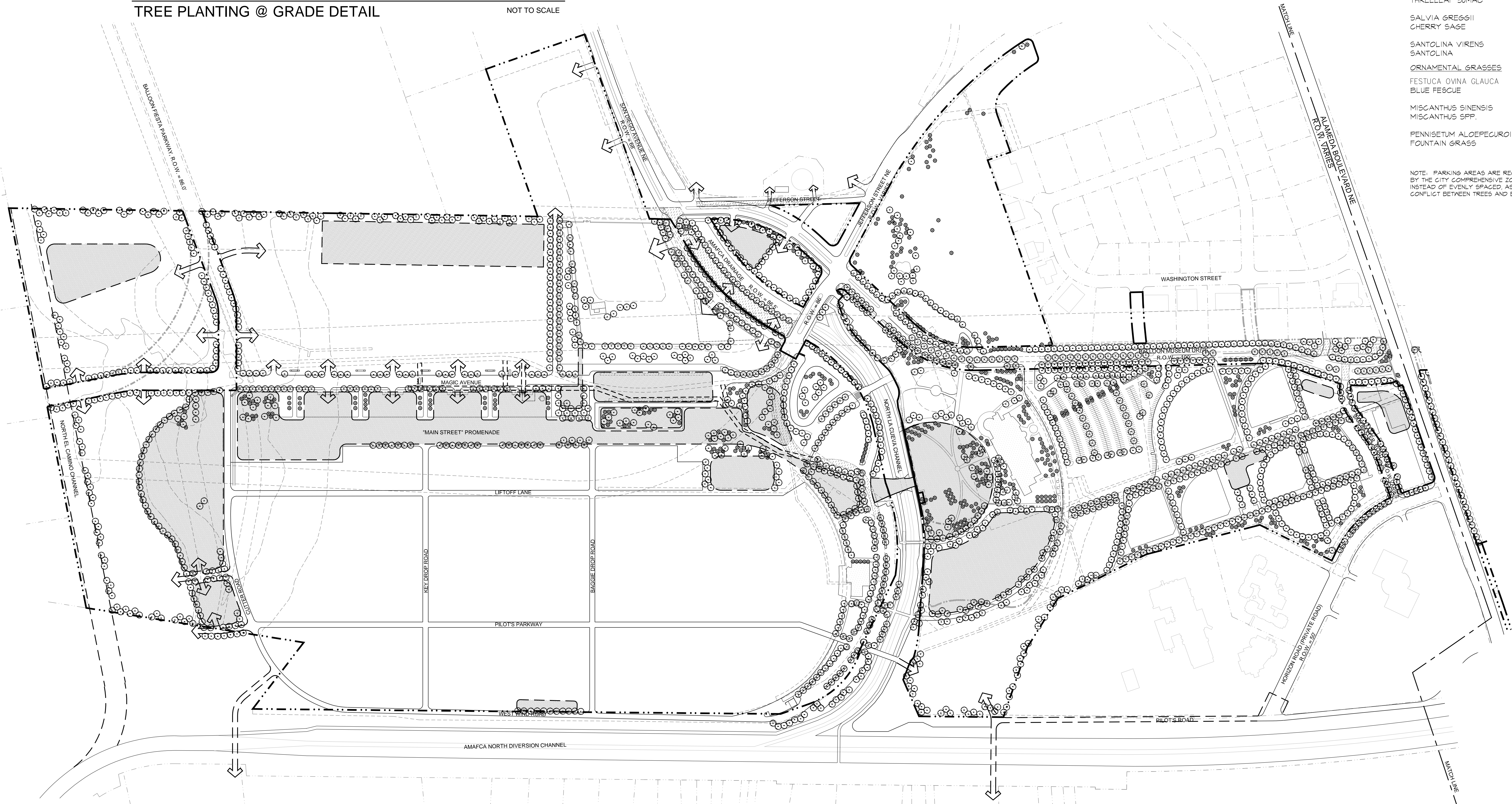
IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM TRANSMISSION LINE EASEMENT
IF TREES ARE LOCATED WITHIN THE PNM ELECTRIC TRANSMISSION EASEMENT, MAXIMUM TREE HEIGHT AT MATURITY SHALL BE 14 FEET IN HEIGHT.

NOTE: LANDSCAPING AND SIGNS WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 5 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



LANDSCAPE MASTER PLAN AMENDMENT

BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
12 MARCH 2013

SCALE: 1" = 200'-0"
LEE GAMELSKY ARCHITECTS P.C.

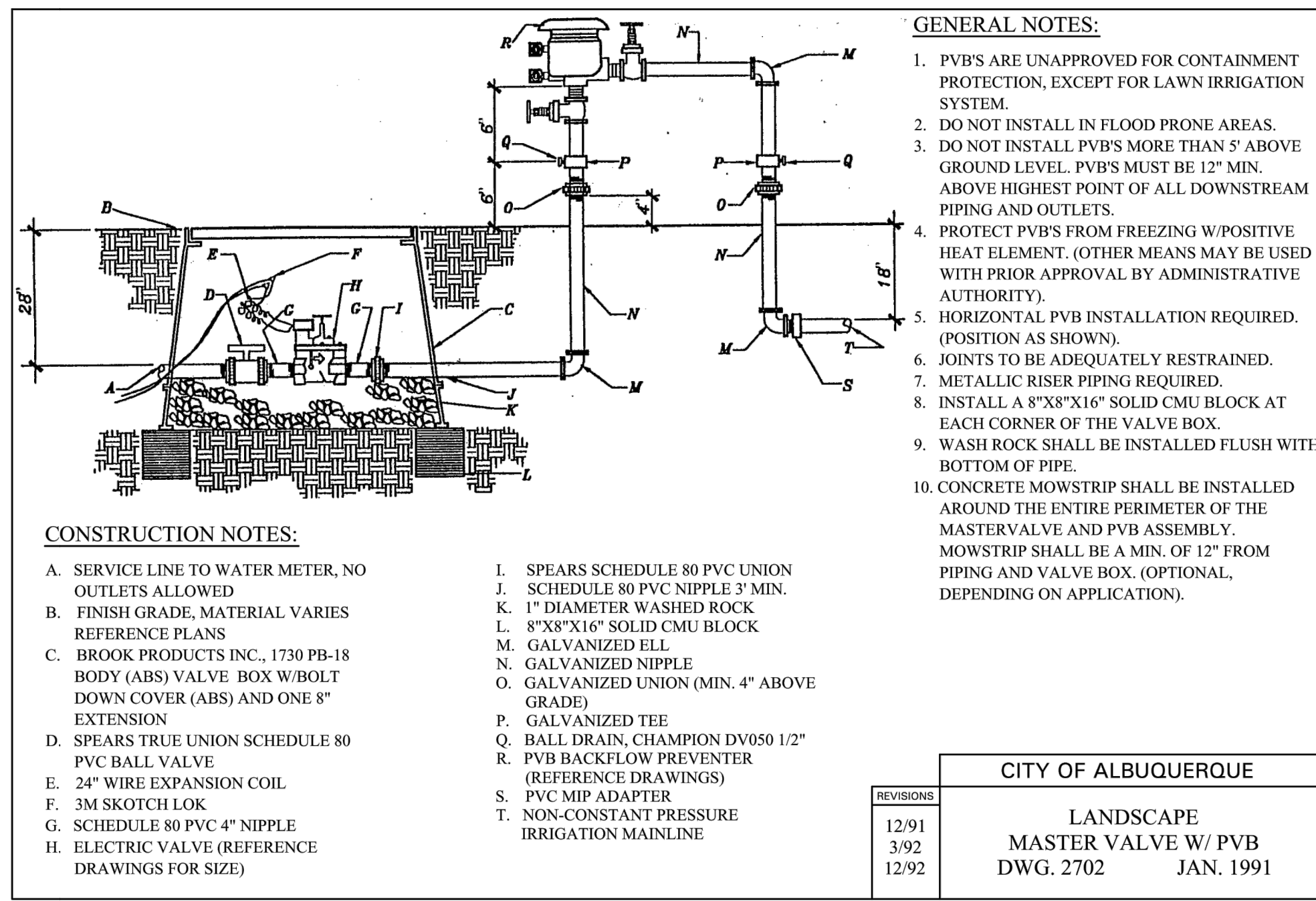
(SHEET 3 OF 4)

Behannan & Huston
Engineering - SPATIAL DATA - ADVANCED TECHNOLOGIES

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lee@gammi.com



BACKFLOW PREVENTION DETAIL

NOT TO SCALE

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
1	☉	ACER NEGUNDO SENSATION BOX ELDER	2" B4B	12' HT. X 4' SPR. 40' HT. X 30' SPR.	MED
1	☉	GEDRUS LINEARIS DEODAR CEDAR	2" B4B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
1	☉	CERCIS CANADENSIS EASTERN REDBUD	2" B4B	10' HT. X 4' SPR. 30' HT. X 25' SPR.	MED
1	☉	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	8' HT. X 6' SPR. 30' HT. X 35' SPR.	LOW
1	☉	CHITALPA TASHKENTENSIS CHITALPA	2" B4B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
1	☉	FRAXINUS PENNSYLVANICA URBANITE' URBANITE ASH	2" B4B	12' HT. X 6' SPR. 40' HT. X 25' SPR.	MED+
1	☉	FRAXINUS VELUTINA MODESTO' MODESTO ASH	2" B4B	14' HT. X 6' SPR. 35' HT. X 30' SPR.	MED+
1	☉	GLEDITSIA TRIACANTHUS INERMIS HONEY LOCUST	2" B4B	12' HT. X 6' SPR. 50' HT. X 45' SPR.	MED+
1	☉	KOELREUTERIA PANICULATA GOLDENRAIN TREE	2" B4B	8' HT. X 4' SPR. 25' HT. X 25' SPR.	MED

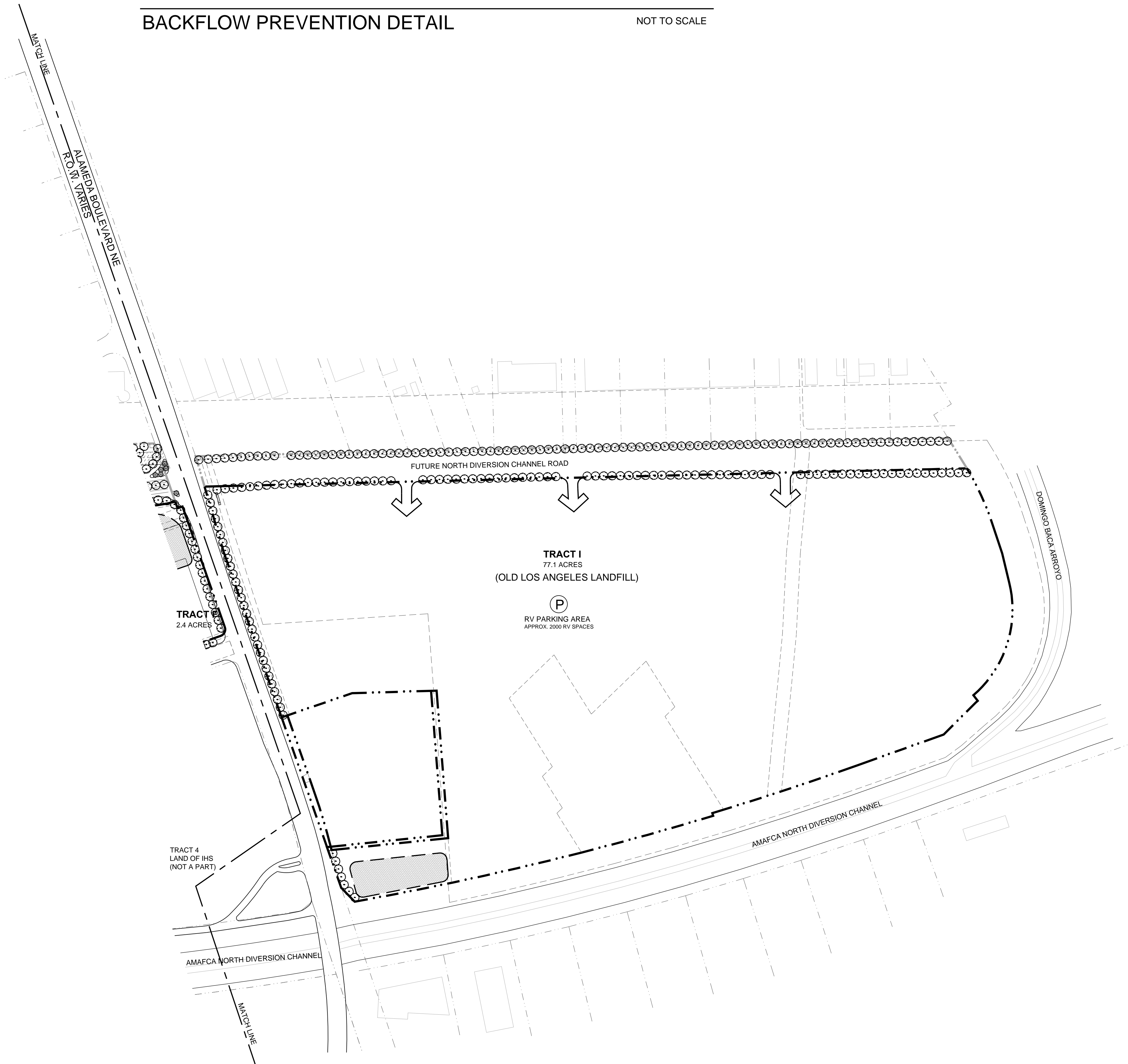
PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
1	☉	PINUS ELДАРICA AFGHAN PINE	B4B	8' MIN. HT. 40' HT. X 18' SPR.	MED
1	☉	PINUS NIGRA AUSTRIAN PINE	B4B	8' MIN. HT. 35' HT. X 25' SPR.	MED
1	☉	PLATANUS ACERIFOLIA LONDON PLANE TREE	2" B4B	8' MIN. HT. 70' HT. X 50' SPR.	HIGH
1	☉	PLATANUS WRIGHTII ARIZONA SYCAMORE	2" B4B	8' MIN. HT. 60' HT. X 70' SPR.	MED+
1	☉	POPULUS ACUMINATA MOUNTAIN COTTONWOOD	2" B4B	8' MIN. HT. 50' HT. X 50' SPR.	HIGH
1	☉	POPULUS FREMONTII 'NISLIZENI' RIO GRANDE COTTONWOOD	2" B4B	12' HT. X 6' SPR. 70' HT. X 60' SPR.	MED+
1	☉	SAMBUCUS MEXICANA MEXICAN ELDER	24" BOX	8' HT. X 4' SPR. 20' HT. X 25' SPR.	LOW+
1	☉	ULMUS PARVIFLORA LACEBARK ELM	2" B4B	12' HT. X 6' SPR. 35' HT. X 35' SPR.	MED

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	SPACING MATURE SIZE	WATER USE
SHRUBS					
1	☉	ARTEMISIA FILIFOLIA SAND SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
1	☉	ARTEMISIA TRIDENTATA BIG SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
1	☉	ATRIPLEX CANESCENS FOURWING SALTBUCH	5-GAL	6' O.C. 5' HT. X 5' SPR.	LOW
1	☉	BUDDLEIA DAVIDII NANHOENSIS' BUTTERFLY BUSH	5-GAL	5' O.C. 4' HT. X 3' SPR.	MED
1	☉	CERCOCARPUS MONTANUS MOUNTAIN MAHOGANY	5-GAL	10' O.C. 10' HT. X 10' SPR.	LOW+
1	☉	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5-GAL	5' O.C. 5' HT. X 5' SPR.	LOW
1	☉	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15-GAL	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
1	☉	PHOTINIA FRASERI FRASER'S PHOTINIA	5-GAL	7' O.C. 8' HT. X 8' SPR.	MED+
1	☉	RHUS MICROPHYLLA LITTLELEAF SUMAC	5-GAL	8' O.C. 8' HT. X 9' SPR.	LOW+
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1	☉	SALVIA GREGGII CHERRY SAGE	5-GAL	3' O.C. 2' HT. X 3' SPR.	MED
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ORNAMENTAL GRASSES					
1	☉	FESTUCA OVINA GLAUCA BLUE FESCUE	5-GAL	2' O.C. 1' HT. X 1' SPR.	MED
1	☉	MISCANTHUS SINENSIS MISCANTHUS SPP.	5-GAL	5' O.C. 5' HT. X 5' SPR.	MED+
1	☉	PENNISETUM ALOPEGURIODES FOUNTAIN GRASS	5-GAL	3' O.C. 30" HT. X 30" SPR.	MED

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LANDSCAPE MASTER PLAN AMENDMENT

BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 12 MARCH 2013

SCALE: 1" = 200'-0"
 LEE GAMELSKY ARCHITECTS P.C.

(SHEET 4 OF 4)

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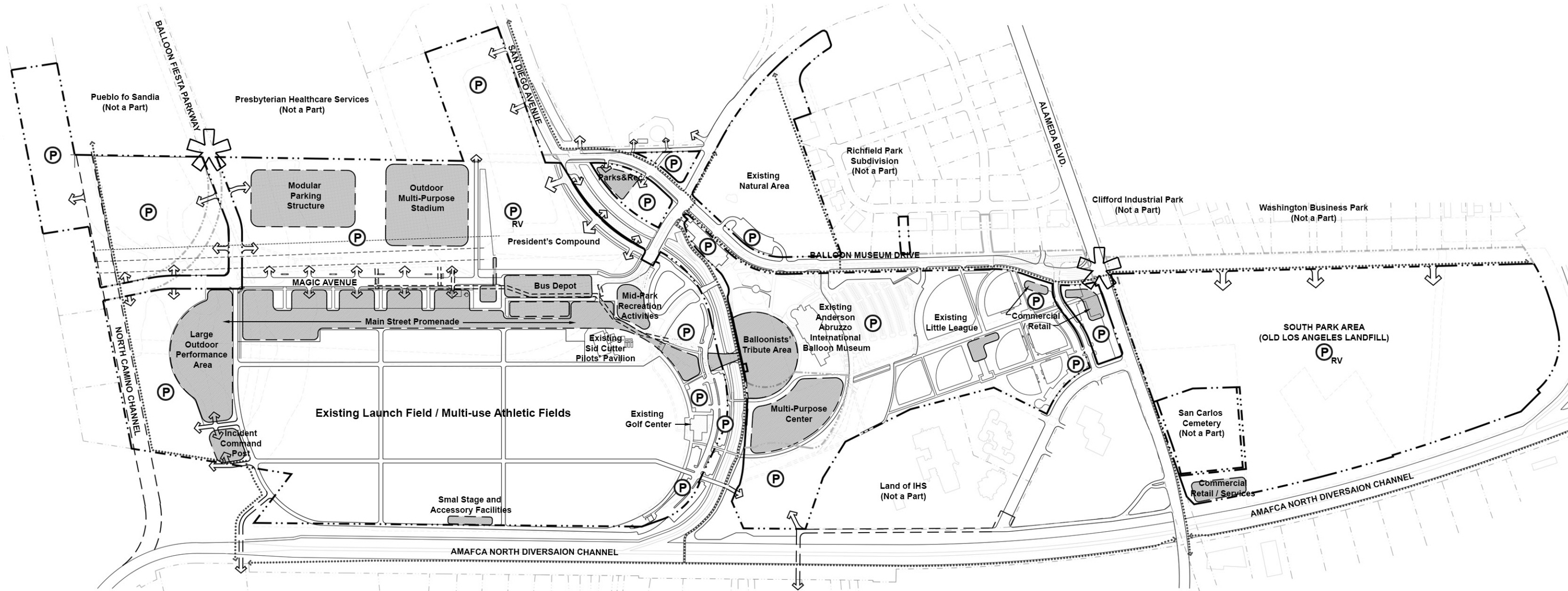
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BALLOON FIESTA PARK

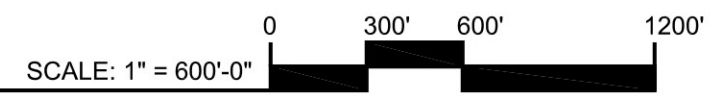
SITE PLAN REDUCTIONS

1. 2023 Site Plan Illustrative
2. 2023 Fencing Plan
3. 2012 Site Development Plan for Subdivision Amendment

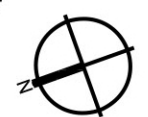


SITE PLAN ILLUSTRATIVE **REVISED 2023**

BALLOON FIESTA PARK (SEE FULL SIZE SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT DRAWINGS AT THE BACK OF THIS DOCUMENT)
 ALBUQUERQUE, NEW MEXICO



~~11 MARCH 2013~~
 05 OCTOBER 2023



LEGEND

	Existing building		Vehicular circulation / access locations
	Area of proposed improvements		Pedestrian circulation (minimum width: 8'-0")
	Existing parking area		Park entry / gateway feature
	Proposed new or improved parking area		
	Subdivision boundary line		
	Property line		
	Existing easement / right of way		
	Proposed easement / right of way		
	Deleted road		

Bohannon & Huston

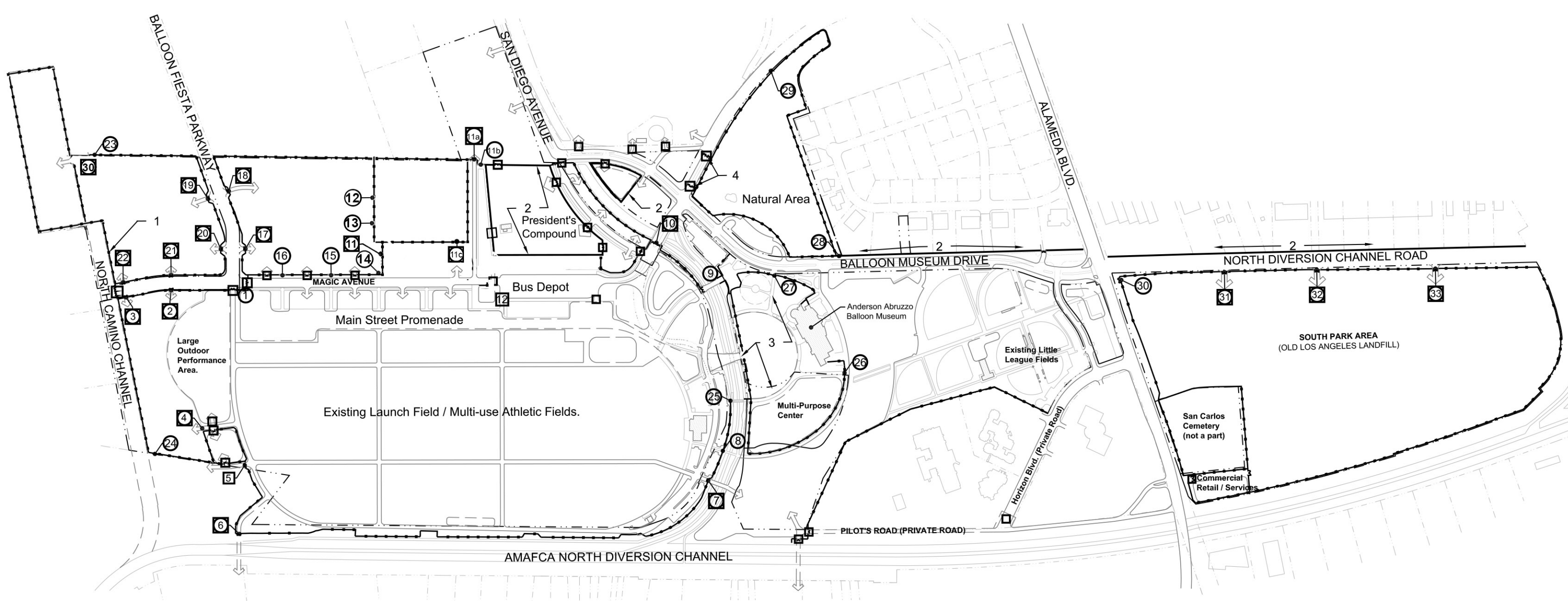
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FENCING PLAN **REVISED 2023**

BALLOON FIESTA PARK (SEE FULL SIZE SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT DRAWINGS AT THE BACK OF THIS DOCUMENT)
ALBUQUERQUE, NEW MEXICO



~~11 MARCH 2019~~
05 OCTOBER 2023






GENERAL NOTES

A. Gate numbers 1-18 correspond with existing AIBF gate numbers.

KEYED NOTES

1. Fencing along North edge property boundary of Tract A to be modified / relocated at this location per future drainage improvements along North El Camino Channel.
2. Screen walls (minimum of 6' high) shall be provided along East side of Balloon Museum Drive and future North Diversion Channel Road. Screen walls to meet City comprehensive Zoning Code wall regulations.
3. In addition to the permanent fencing indicated, temporary fencing for special events shall be allowed.
4. Limited emergency access gate.

LEGEND

-  Screen Wall Location (6'-0" high minimum)
-  Fencing Location
-  Vehicular and Bicycle Access Gate / Control Point*
-  Pedestrian and Bicycle Access Gate / Control Point*
-  Combined Pedestrian, Bicycle and Vehicular Access Gate*
- * (Other gates may be developed as needed in the future.)

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SITE PLAN FOR SUBDIVISION: REQUIRED INFORMATION

See the 2023 Major Amendment to the Master Development Plan for more detail on Park Elements, Buildings, Structures, Utilities and Improvements.

THE SITE: Lots A, B, C, D, E, F, G-1-A, H-1, I-1, Balloon Fiesta Park Subdivision. The site consists of approximately 367.5 acres, and lies north and south of Alameda Boulevard.

EXISTING ZONING: NR-PD-A. Overlay: North I-25 CPO-10

ALLOWABLE USES PER MASTER DEVELOPMENT PLAN:
A. Recreation and Park Elements: Field sports such as soccer, football, field hockey, etc.; tournament field sports such as soccer, softball, track, etc.; Golf practice area; Balloon Fiesta launch, and event facilities; Picnicking; Trails; Parking (surface and structured); Natural areas and open space; Skateboarding; In-line skating; Ice skating; Canoeing; and tethered balloon ride; Transit facilities; Helicopter landing pad for emergency medical purposes.

B. Special Events: Arts and crafts shows; City Summerfest activities; Car shows; running and bicycle races and similar community activity events; Fireworks exhibitions; Vendors booths, including retail sales of food and full-service liquor for consumption on-premises and within designated Park areas; music events and festivals.

C. Buildings: Multi-Purpose Center (commonly center type uses); Balloon Museum, additional museum Auditorium and amphitheater; Restaurants; retail sales of food and full-service liquor for consumption on premises and within designated Park areas; Restaurant facilities; Gift shop (associated with Museum uses); commercial retail service buildings; Enclosed sports arena; **Outdoor Multi-Use Stadium;** Tournament game areas (with exceptions); Golf clubhouse; clubhouse uses; Banquet facility with catering; Commercial kitchen with business incubator; hotel with conference center; Public safety; Police substation; fire station, and Incident Command Center; Exhibit space/multi-purpose building; Permanent vending and multi-purpose structures; Park maintenance facilities; Pedestrian circulation structures.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
A. Vehicular Access: Vehicular access is from access points along Alameda Boulevard at Balloon Museum Drive (north) and the future North Diversion Channel Road (south); San Diego Avenue; and Balloon Fiesta Parkway. A full movement intersection exists at Balloon Museum Drive and Alameda Boulevard. Two bridge crossings over the North Diversion Channel will provide access from Edith Boulevard.

Transit Access: Alameda Boulevard is an Enhanced Transit Corridor. SunTran Route #98 provides service along Alameda Boulevard and Route #140 provides service along Jefferson Street and San Diego Avenue, with bus stops provided at Alameda/Balloon Museum Drive and along Jefferson Street and San Diego Avenue. A bus depot and transit areas are provided within the Park.

Bicycle Access: Bike routes and trails are provided along Alameda Boulevard, North Diversion Channel, Jefferson Street, Balloon Museum Drive, San Diego Avenue, and throughout the Park.

Internal Circulation: Sidewalks and trails are provided throughout Balloon Fiesta Park, north of Alameda Boulevard.

PARKING SUMMARY (Parking numbers based on allowance of 400sf per standard vehicle)
 Standard Vehicles (all Tracts): **4,655 spaces, 9,025 spaces**
 RV parking (Tracts A and I): **2,200 spaces**

ADA COMPLIANCE NOTE:
 All sidewalks, ramps (including truncated domes) and curb cuts within city right of way will be built per C.O.A. Standard Drawings, Sidewalks (2430), Ramps (2440), Curb cuts (2426). All ramps located within City right of way shall include truncated domes.

Building Heights and Setbacks: Building heights are per the North I-25 Sector Development Plan and specifically defined per building area on this sheet. Setbacks are defined in the 2012 Master Development Plan.

Maximum F.A.R.: Total Building Area: 2,103,230 SF; Site Area: 15,504,480 SF; F.O. 13

Landscape Plan: See Landscape Master Plan sheets. All area specific landscape plans shall be created in compliance with the Master Development Plan requirements.

Site Plan shall be in accordance with the Development Process Manual (DPM) and current Americans with Disabilities Act (ADA) standards / requirements.

ORIGINAL APPROVAL AND PAST AND CURRENT AMENDMENTS

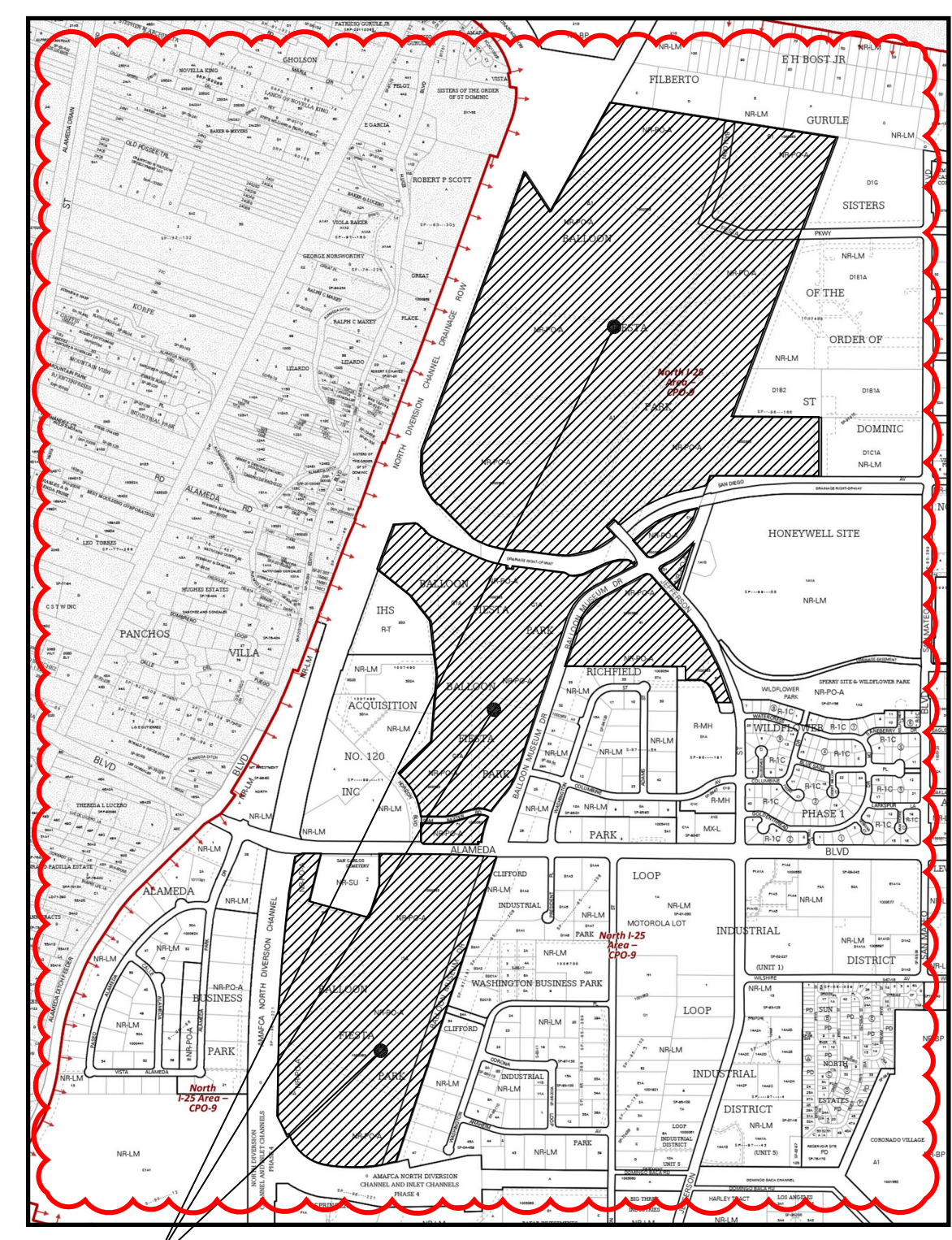
- 2007-07 Original Master Development Plan approval
- Alameda parking lot: DR889-70, Approved 3/9/09
- Golf training center: DR8100-363, Approved 6/27/00
- Site Plan for Building Permit Museum site and Balloon Museum Drive: EPC00128-0000-00278, Approved 8/11/00
- North launch field roads
- Site Plan for Subdivision and Site Plan for Building Permit for the Balloon Museum and National Museum of Nuclear Science and History, and Amendment to Master Development Plan to reflect the museum lease area for National Museum of Nuclear Science and History (Project #1000363; 01450-0000-00723; 01450-0000-00722)
- Recreation pond area north of the Balloon Museum with a Balloon Tribute Area. AA File No. 12-10070, Project No. 1000363
- This amendment includes modifications to the vehicular and pedestrian circulation systems, removal of the National Museum of Nuclear Science and relocation of the Multi-Purpose Center to this area, reconfiguration to the Promenade area, relocation of the outdoor amphitheater to north end, and other minor site modifications.
- Park Entry Sign at Alameda Blvd: AA01236-0000-01251, to allow 26' tall, double-sided, internally illuminated and electronic message board sign at Alameda Blvd. / Balloon Museum Drive.
- 2012 Master Development Plan Update, Approved by EPC on November 8, 2012.
- Future Pilot Landing and Welcome Center (Sid Cutter Pilot Pavilion), Amendment included increase of maximum building height to 34'-0". Approved by EPC on June 11, 2014.

KEYED NOTES: (See the 2023 Major Amendment to the Master Development Plan for more detail on Park Elements, Buildings, Structures, Utilities and Improvements)

- Commercial / retail buildings. Maximum combined buildings size: 60,000 sf. Maximum building height: 39'-0".
- Multi-Purpose Center. Maximum building size: 110,000 sf. Maximum building height: 39'-0".
- Balloonist Tribute Area (approved by Administrative Amendment).
- Parks and Recreation Parks Maintenance Facility. Maximum heated building area: 3,500 sf. Improvements will also include outdoor covered storage up to 4,800 sf. Maximum building and structures height: 15'-0". 6'-0" high minimum screen wall around the perimeter of the site.
- Tethered Balloon Ride framework / structure. Maximum height of framework: 39'-0".
- Multi-level Parking Structure - 5 Levels - Maximum building size: 800,000 sf - Maximum building height: 26'-0" above grade at the east property line. Outdoor Multi-Use Stadium, Building size 185,500 sf. Stadium footprint: 301,700 sf.**
- Existing Covered Walk Building size: 4,000 sf. Building height: 20'-0". Pedestrian to be relocated in the future. Previous structure demolished.**
- Existing Modular Public Safety Building and Incident Command Post. Building size: 3,400 sf. Building height: 26'-0".
- Existing restroom facilities (2). Building size: 300 sf. each. Building height: 12'-0". To be relocated / removed and replaced.
- Park Entry / Gateway Feature (3 total). Maximum Height of any structures is 32'-0".
- Pedestrian access gate structures. Maximum height: 30'-0".
- 6'-0" high minimum screen wall to comply with Zoning Code Wall Regulations.
- Pedestrian circulation / shade structure and pedestrian bridge crossing from top of escarpment to plaza immediately north of the bus depot. Maximum structure height: 8'-0" above top edge of escarpment.
- Future Bridge / park service road. Limited access road to Edith. Access Easements to be negotiated with AMAFCA.
- Existing Natural Habitat Area.
- Existing Launch Field / Multi-use athletic fields.
- Improvements to existing Little League area. Accessory structures: batting cages, playground equipment and shade structures. Maximum combined area for new facilities to be 14,000 sf. Maximum height: 26'-0".
- General utility improvements: water, sewer, electricity.
- Future Multi-use Trail.
- Multi-use Trail. 10'-0" wide minimum (with 3'-0" wide recovery area outside, each side, with striping).
- Bike parking area (4 total). 500 spaces shall be provided at site near the Multi-Purpose Center and 50 spaces shall be provided at each of the other three locations.
- New road alignment and road improvements along Golf Course Drive (Park Service Road).
- Service yard.
- Existing transit area.
- Portion of Park Service Road to be removed.
- Portion of Balloon Museum Drive and No Name Road to be removed.
- Drop-off area.
- Existing sanitary sewer lift station.
- Existing Anderson Abruzzo International Balloon Museum: Building size: 66,730 sf. Building height: 75'-0".
- Existing Golf Center, Building includes Parks and Recreation offices, Golf Center, and banquet facility. Building size: 12,300 sf. Building height: 26'-0".
- Existing Little League concessions building and restroom facilities. Building size: 6,400 sf. Building height: 24'-0".
- Existing Covered Walk Building size: 4,000 sf. Building height: 20'-0". Pedestrian to be relocated in the future. Previous structure demolished.**
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LEGEND

- EXISTING BUILDING
- AREA OF PROPOSED IMPROVEMENTS
- EXISTING PARKING AREA
- PROPOSED NEW OR IMPROVED PARKING AREA
- SUBDIVISION BOUNDARY LINE
- PROPERTY LINE
- EXISTING EASEMENT / RIGHT OF WAY
- PROPOSED EASEMENT / RIGHT OF WAY
- PEDESTRIAN CIRCULATION (MINIMUM WIDTH: 8'-0")
- DELETED ROAD
- VEHICULAR CIRCULATION / ACCESS LOCATIONS: (24' WIDE NORTH OF ALAMEDA BLVD. AND 36' WIDE SOUTH OF ALAMEDA AND INTO RV PARKING)
- MULTI-USE TRAIL, (MINIMUM WIDTH: 10'-0" WIDTH WITH 3'-0" RECOVERY AREA OUTSIDE, EACH SIDE OF TRAIL, WITH STRIPING.)
- PARK ENTRY / GATEWAY FEATURE
- EASEMENT KEY SEE SHEET 2 FOR EASEMENT DESCRIPTIONS AND FILING INFORMATION



PROJECT LOCATION
 ZONE MAPS B-16-Z / B-17-Z / C-16-Z / C-17-Z

PROJECT NUMBER: 1000363
 Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated Month, Date, Year and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division
ABCWUA
Parks and Recreation Department
Hydrology
Code Enforcement
*Environmental Health Department (conditional)
Solid Waste Management
Planning Department

2023 UPDATE (SHEET 1 OF 4)

Bohannon & Huston
 Courtyard 1, 7500 Jefferson St. NE, Albuquerque, NM 87109
 ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax: 842-5495
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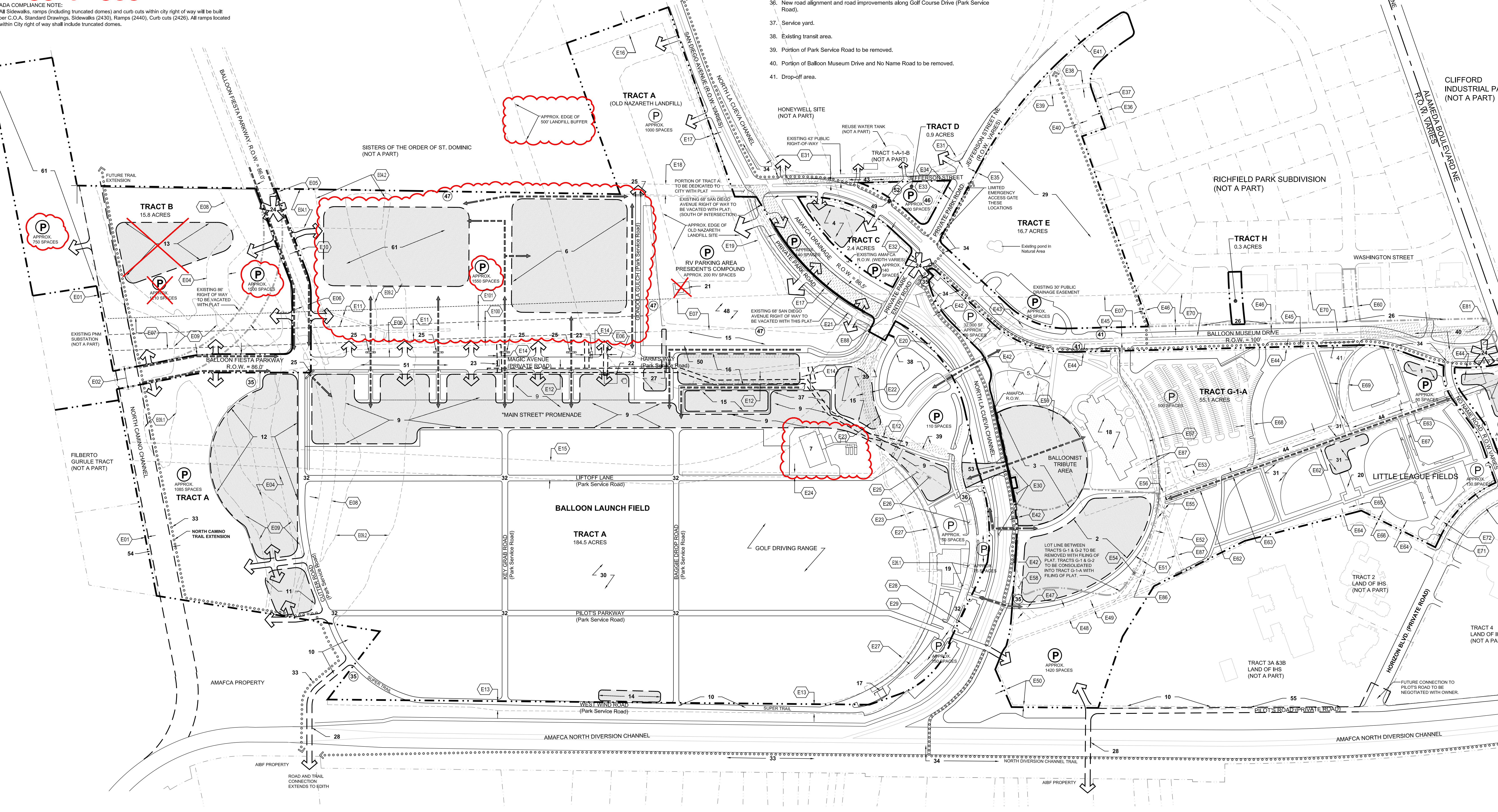
(SHEET 1 OF 4)

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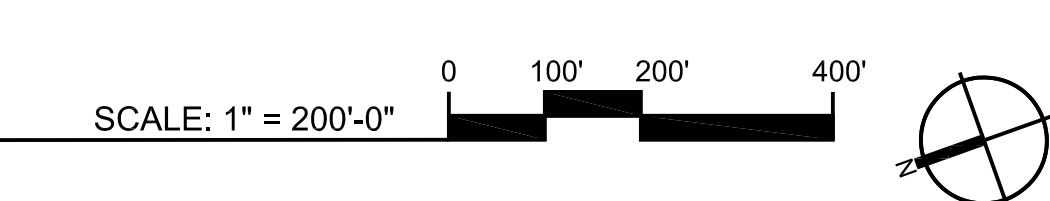
LEE GAMESKY ARCHITECTS P.C.

2412 MILES ROAD SE
 ALBUQUERQUE, NM 87106
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SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT

BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 05 October 2023



KEYED NOTES: (See the 2023 Major Amendment to the Master Development Plan for more detail on Park Elements, Buildings, Structures, Utilities and Improvements)

- Commercial / retail buildings. Maximum combined buildings size: 60,000 sf. Maximum building height: 39'-0".
- Multi-Purpose Center. Maximum building size: 110,000 sf. Maximum building height: 39'-0".
- Balloonist Tribute Area (approved by Administrative Amendment).
- Parks and Recreation Parks Maintenance Facility. Maximum heated building area: 3,500 sf. Improvements will also include outdoor covered storage up to 4,600 sf. Maximum building and structures height: 18'-0". 6'-0" high minimum screen wall around the perimeter of the site.
- Tethered Balloon Ride framework / structure. Maximum height of framework: 39'-0".
- Multi-level Parking Structure. 6-level. Maximum building size: 1,600,000 sf. Maximum building height: 26'-0" above grade at the east property line. Outdoor Multi-Use Stadium. Building size 185,500 sf. Stadium footprint: 301,700 sf.**
- Existing Pilot Landing / Welcome Center. Building size: 18,000 sf. Max. Building height: 34'-0". (2014 MDP Amendment)**
- Retail / commercial building. Maximum building size: 8,000 sf. Maximum building height: 26'-0".
- Main Street Promenade: Maximum height of buildings/structures to be 26'-0". Maximum combined buildings and structures area: 200,000 sf.
- AMAFCA has granted a license (renewable on a yearly basis) to the City for use of portions of the AMAFCA right of way for access, and for activities during the Albuquerque International Balloon Fiesta.
- Incident Command Post. Maximum building size: 12,000 sf. Maximum building height: 26'-0", including antennae.
- Large Outdoor Performance Area. Maximum number of permanent seats: 8,000. Maximum size of stage: 10,000 sf. Maximum combined buildings area: 52,000 sf. Maximum height of the accessory buildings is 26'-0". Maximum height of stage shall be determined in the future in consultation with AIBF, FAA and City of Albuquerque Parks and Recreation.
- Northwest Outdoor Recreation Area** NE Outdoor Recreation Area replaced with additional parking for the 1,500 space parking area within Tract B.
- Small Stage and Accessory Buildings. Stage is to be a maximum of 800 of facing east. The stage shall be elevated above the launch field a maximum of 6'-0". Maximum height of stage structure: 14'-0" above stage floor. Maximum building area including the stage: 3,800 sf. Maximum height of the accessory buildings: 12'-0".
- Mid-Park Outdoor Recreation Area.
- Bike Depot improvements: 28 bus spaces. Maximum height of the shade structures: 16'-0". Maximum area of the shade structures: 10,000 sf.
- Existing sanitary sewer lift station.
- Existing Anderson Abruzzo International Balloon Museum: Building size: 66,730 sf. Building height: 75'-0".
- Existing Golf Center. Building includes Parks and Recreation offices, Golf Center, and banquet facility. Building size: 12,300 sf. Building height: 26'-0".
- Existing Little League concessions building and restroom facilities. Building size: 6,400 sf. Building height: 24'-0".
- Existing Governor's Unit Building size: 9,000 sf. Building height: 20'-0". Residence to be re-sited in the future. Previous structure demolished.**
- Existing Modular Public Safety Building and Incident Command Post. Building size: 3,400 sf. Building height: 26'-0".
- Existing restroom facilities (2). Building size: 300 sf. each. Building height: 12'-0". To be relocated / removed and replaced.
- Park Entry / Gateway Feature (3 total). Maximum Height of any structures is 32'-0".
- Pedestrian access gate structures. Maximum height: 30'-0".
- 6'-0" high minimum screen wall to comply with Zoning Code Wall Regulations.
- Pedestrian circulation / shade structure and pedestrian bridge crossing from top of escarpment to plaza immediately north of the bus depot. Maximum structure height: 8'-0" above top edge of escarpment.
- Future Bridge / park service road. Limited access road to Edith. Access Easements to be negotiated with AMAFCA.
- Existing Natural Habitat Area.
- Existing Launch Field / Multi-use athletic fields.
- Improvements to existing Little League area. Accessory structures: batting cages, playground equipment and shade structures. Maximum combined area for new facilities to be 14,000 sf. Maximum height: 26'-0".
- In-ground utility improvements: water, sewer, electricity.
- Future Multi-use Trail.
- Multi-use Trail. 10'-0" wide minimum (with 3'-0" wide recovery area outside, each side, with striping).
- Bike parking area (4 total). 500 spaces shall be provided at site near the Multi-Purpose Center and 50 spaces shall be provided at each of the other three locations.
- New road alignment and road improvements along Golf Course Drive (Park Service Road).
- Service yard.
- Existing transit area.
- Portion of Park Service Road to be removed.
- Portion of Balloon Museum Drive and No Name Road to be removed.
- Drop-off area.
- Existing access easement to Alameda Cemetery to be revised in the future. A 20'-0" wide access easement to the cemetery property Tract 2 (through Tract I & 2) shall be provided from Tract I along the west property line of Tract 2.
- Portion of Jefferson Street to be removed / vacated.
- Pedestrian walkway. 8'-0" wide sidewalk (minimum), and landscaping.
- Multi-use Trail along Alameda (south side).
- This area used as bus staging area for large events.
- Improvements along the escarpment: to include landscape materials, retaining structures, pedestrian paths, and pedestrian amenities (ie: seating, shade structures).
- Existing President's Compound Area. Area to be developed in the future into a permanent RV Park. Maximum 200 RV spaces.
- Southbound left turns permitted during major events only.
- Primary telephone - data distribution location to be relocated north of Bus Depot.
- Magic Avenue includes a 20' wide fire lane.
- Realign Jefferson Street Connector Road.
- Future pedestrian circulation / bridge over North La Cueva Channel.
- Future 100' wide channel / dike easement to be negotiated with AMAFCA.
- Future road access easement to be negotiated with owners.
- Modular Parking Structure, two-story.
- Kapison Parking Area. Special event parking utilized by Balloon Fiesta Park to provide additional parking within the Northern Parking Area.

PNM Coordination:

- Permanent access to all PNM facilities must be maintained and available to allow for maintenance and repair.
- It is necessary to coordinate with PNM regarding any and all changes that may affect electric transmission and distribution facilities.
- Any fences within or crossing PNM easements must be reviewed and approved by PNM. Any encroachment of PNM easements must be approved by PNM.

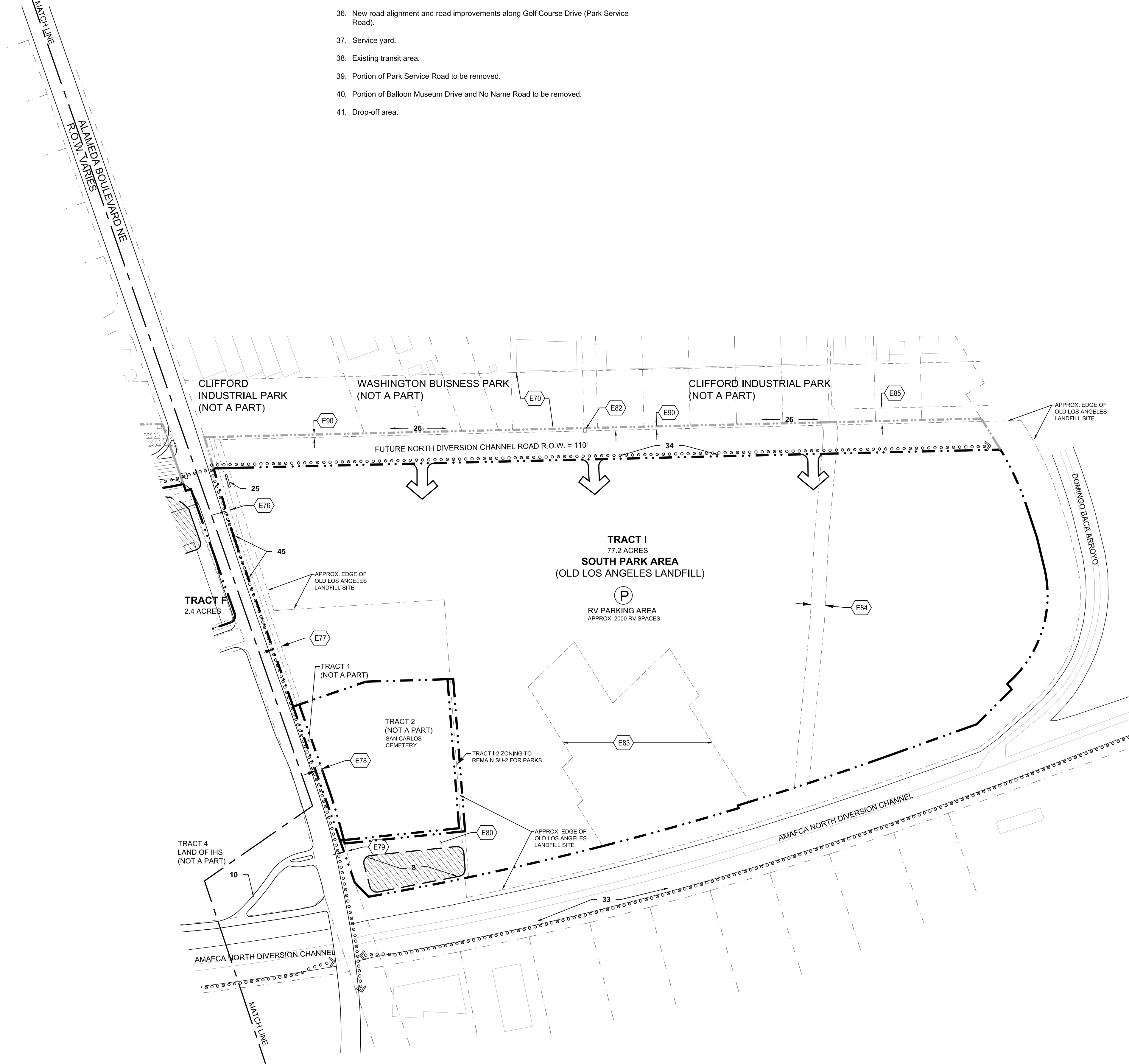
LEGEND

- EXISTING BUILDING
- AREA OF PROPOSED IMPROVEMENTS
- EXISTING PARKING AREA
- PROPOSED NEW OR IMPROVED PARKING AREA
- SUBDIVISION BOUNDARY LINE
- PROPERTY LINE
- EXISTING EASEMENT / RIGHT OF WAY
- PROPOSED EASEMENT / RIGHT OF WAY
- PEDESTRIAN CIRCULATION (MINIMUM WIDTH: 8'-0")
- DELETED ROAD
- VEHICULAR CIRCULATION / ACCESS LOCATIONS: (24' WIDE NORTH OF ALAMEDA BLVD. AND 30' WIDE SOUTH OF ALAMEDA AND INTO RV PARKING)
- MULTI-USE TRAIL (MINIMUM WIDTH: 15'-0" WIDTH 3'-0" RECOVERY AREA OUTSIDE)
- PARK ENTRY / GATEWAY FEATURE
- EASEMENT KEY
- SEE SHEET 2 FOR EASEMENT DESCRIPTIONS AND FILING INFORMATION

EASEMENT KEY LIST

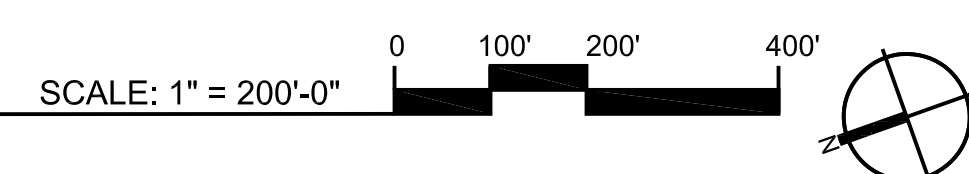
E01	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E34	20' Waterline Easement. Filed: June 26, 1985 in Bk.C27, Pg.141, Doc. No. 1985051048.	E66	Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E02	Temporary Turn-Around Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E35	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E67	65' Public Drainage and Sanitary Sewer Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E03	Not Used.	E36	30' Sanitary Sewer Easement. Filed: August 29, 1985 Bk.C28, Pg.40, Doc. No. 1985072651.	E68	40' Public Drainage Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E04	Exhibit "H-2" Temporary Channel/Dike for Floodway and Storm Drainage. Easement Granted to AMAFCA. Filed: July 28, 1989, Bk.M5773A, Pgs. 637-644, Document No. 8965712.	E37	20' Waterline Easement. Filed: March 10, 1988 Bk.C36, Pg.12 Doc. No. 1988020728.	E69	40' Public Drainage Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E04.1	Parcel "H-1" Temporary Channel/Dike for Floodway and Storm Drainage Easement Granted to AMAFCA. Filed: July 28, 1989, Bk.M5773A, Pgs. 637-644, Document No. 8965712.	E38	20' Sanitary Sewer Easement as first shown on May 30, 1985 in Bk.C27, Pg. 71, Doc. No. 1985042301.	E70	200' PNM Easement. June 6, 1957 Vol. D-300, folio 99 Document No. 32635.
E04.2	West Portion Parcel "H" Existing Temporary Channel/Dike for Floodway and Storm Drainage Easement Granted to AMAFCA. Filed: July 28, 1989, Bk.M5773A, Pgs. 637-644, Document No. 8965712.	E39	40' Sanitary Sewer Easement. Filed: June 18, 1985, Bk.C27, Pg.110, Doc. No. 1985044844.	E71	97' PNM Easement. Filed: December 2, 1996 Bk. 96-31, Pgs. 8823-8825, Document No. 96129436.
E05	Encroachment License for Overhead Electric Line across AMAFCA Easement Right-of-Way. Filed: December 11, 1996, Bk.96-32, Pgs. 7396-7400 Document No. 96133059.	E40	10' PNM & Comcast Cable Easement. Filed: October 17, 1980 Bk.C17, Pg.107 Doc. No. 1980000661.	E72	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E06	20' COA Public Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E41	10' PNM & MST&T Overhead Easement. Filed: December 10, 1992 Bk. 92-29, Pg. 5336 Document No. 92124234.	E73	Roadway Easement. Filed: April 15, 1988 Misc. Bk. 609A, Pgs. 902-913 Document No. 8825509.
E07	Existing 150' PNM Easement. Filed: June 26, 1985, Bk. C28, Pg. 191, Exhibit "I" Existing Floodway and Storm Drainage Easement (Camino Arroyo Channel) Granted to AMAFCA. Filed: July 28, 1989 Bk. MS773A, Pgs. 645-647 Document No. 8965713.	E42	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E74	10' U.S. West Communication Easement. Filed: April 29, 1997 Bk. 97-11, Pgs. 6017-6020 Document No. 97042630. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E08	Existing 150' PNM Easement. Filed: June 26, 1985, Bk. C28, Pg. 191, Exhibit "I" Existing Floodway and Storm Drainage Easement (Camino Arroyo Channel) Granted to AMAFCA. Filed: July 28, 1989 Bk. MS773A, Pgs. 645-647 Document No. 8965713.	E43	30' Public Drainage Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E75	12' Access Easement. Filed: September 17 1996 Bk. 96-25, Pgs. 3650-3662 Document No. 96103076.
E09	100-Year Flood Plain as shown on Flood Insurance Rate Map Number 35001C0128 D, Panel 136 of 825, Revised September 29, 1999.	E44	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E76	15' Utility Easement Granted to PNM Electrical Services and Owest. Tracts I-1 & I-2 Balloon Fiesta Park and Tracts 1 & 2, San Carlos Cemetery. Filed: April 25, 2003, Bk-2003C Pg. 111 Document No. 2003068156.
E09.1	COA Drainage Easement Filed: June 11, 2001 Bk-2001C Pg. 161.	E45	Existing 25' Private Road Access Easement filed June 18, 1984, Bk. 126A, Pgs. 423-427. As first shown on plat filed August 29, 1985, Bk. C28, Pg. 40, Doc. No. 1985072651.	E77	Public Access Easement. Tracts I-1 & I-2 Balloon Fiesta Park and Tracts 1 & 2, San Carlos Cemetery. Filed: April 25, 2003, Bk-2003C Pg. 111 Document No. 2003068156.
E09.2	100-Year Flood Plain as shown on Flood Insurance Rate Map Number 35001C0128 D, Panel 129 of 825, Revised September 29, 1999.	E46	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E78	Public Access Easement. Tracts I-1 & I-2 Balloon Fiesta Park and Tracts 1 & 2, San Carlos Cemetery. Filed: April 25, 2003, Bk-2003C Pg. 111 Document No. 2003068156.
E10	10' US West Communications & Comcast Cable Easement. Filed: October 21, 1993 (93C-302). 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E47	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E79	Public Trail / Waterline Easement. Tracts I-1 & I-2 Balloon Fiesta Park and Tracts 1 & 2, San Carlos Cemetery. Filed: April 25, 2003, Bk-2003C Pg. 111 Document No. 2003068156.
E11	Existing 10' PNM & US West Communications Easement. Filed January 27, 1997 Bk. 97-2, Pgs.8756-8757 DocumentNo. 9707864. 10' Public Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E48	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E80	Access Easement for the Benefit of Tract I-2 & Tract 2, Tracts I-1 & I-2 Balloon Fiesta Park and Tracts 1 & 2, San Carlos Cemetery. Filed: April 25, 2003, Bk-2003C Pg. 111 Document No. 2003068156.
E12	Existing 10' PNM & US West Communications Easement. Filed January 27, 1997 Bk. 97-2, Pgs.8756-8757 DocumentNo. 9707864. 10' Public Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E49	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E81	Utility Easement Granted to Owest. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E13	2,322 Ac. Easement from AMAFCA to the City of Albuquerque for Superfund, Sanitary Sewer, Waterline and Reuse Waterline. Doc. No. 201054960, recorded May 14, 2001 in book A19, Page 3379.	E50	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E82	10' PNM & MST&T Underground Easement. Filed: November 14, 1986, (Misc. Bk. 418A, Pg. 520) Document No. 86111884. 10' Public Utility Easement Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E14	20' COA Public Waterline Easement granted to City of Albuquerque with Plat.	E51	15' Wide Private Waterline Easement for the Benefit of Tract G-2 to be Maintained by the same. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E83	Grant of License to GST New Mexico Lightwave, Inc. Cable Installation on Existing PNM Poles across the AMAFCA North and South La Cueva Arroyo Channels. Filed: December 11, 1996 Bk. 96-32, Pgs. 7410-7406 Doc. No. 96133060. Encroachment License for Electric Lines within AMAFCA Right-of-Way for La Cueva Arroyo Inlet Filed: August 9, 1996 Bk. 96-22, Pgs. 60-63 Doc. No. 96090474.
E15	PNM Gas Easement to be vacated with Plat.	E52	60' Public Drainage and Sanitary Sewer Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E84	50' Public Drainage Easement. Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E16	PUE, Ingress & Egress Easement. Filed: May 1, 1996 Bk. 96-12, Pgs. 5072-5075 Document No. 9609218.	E53	60' Public Drainage and Sanitary Sewer Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E85	40' Drainage Easement. Filed: April 21, 1983 Bk.C21, Pg.44, Doc. No. 1983024548.
E17	Existing 10' US West Communication & Comcast Cable Easement. Filed: October 21, 1993 Bk.93C, Pg.302 Doc. No. 1993117886.	E54	15' Private Storm Drain Easement. Tracts G-1 & G-2 Balloon Fiesta Park 2001. Filed: December 18, 2001, Bk-2001C Pg. 334, Document No. 2001150572. For the Benefit of Tract G-2 to be maintained by the same. To be vacated with Plat.	E86	15' ABCW/JA Waterline Easement Filed: January 19, 2011, Doc. No. 2011006761.
E18	50' Drainage and Utility Easement. Filed: October 21, 1993 Bk.93C, Pg.302 Doc. No. 1993117886.	E55	20' Private Storm Drain Easement. Tracts G-1 & G-2 Balloon Fiesta Park 2001. Filed: December 18, 2001, Bk-2001C Pg. 334, Document No. 2001150572. For the Benefit of Tract G-2 to be maintained by the same. To be vacated with Plat.	E87	10' Gas Easement Filed: August 11, 2004 Bk. A82, Pg. 3530, Doc. No. 2004113823.
E19	44' PNM Easement. Filed: October 30, 1981, Bk. Misc. 888, Pg. 816 Document No. 8157602. 44' PNM & MST&T Easement. Filed: October 30, 1981, Bk. Misc. 888, Pg. 817 Document No. 8157603.	E56	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E88	Grant of License to GST New Mexico Lightwave, Inc. Cable Installation on Existing PNM Poles across the AMAFCA North and South La Cueva Arroyo Channels. Filed: December 11, 1996 Bk. 96-32, Pgs. 7410-7406 Doc. No. 96133060. Encroachment License for Electric Lines within AMAFCA Right-of-Way for La Cueva Arroyo Inlet Filed: August 9, 1996 Bk. 96-22, Pgs. 60-63 Doc. No. 96090474.
E20	0.9168 AC. Right-of-Way dedicated to AMAFCA (Easement for the City for Landscaping, Utility and Parking Improvements Appurtenant to the Balloon Fiesta Park Golf Driving Range). Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E57	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E89	10' PNM Easement Filed: August 14, 1996 Bk. 96-22, Pgs.3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E21	30' Public Waterline Easement Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E58	40' Wide Public Drainage Easement. Filed: December 18, 2001, Bk-2001C Pg. 334, Document No. 2001150572.	E90	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.
E22	30' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E59	Private Cross-Access Easement over Tract G-1 for the Benefit of Tract G-2, Tracts G-1 & G-2 Balloon Fiesta Park 2001. Filed: December 18, 2001, Bk-2001C Pg. 334, Document No. 2001150572. To be vacated with Plat.		
E23	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E60	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.		
E24	20' Public Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E61	Not Used.		
E25	80' Public Reuse Waterline & Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E62	15' Public Drainage and Sanitary Sewer Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.		
E26	20' COA Public Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E63	20' Public Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.		
E26.1	20' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E64	10' PNM Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3913-3914 Document No. 96090472. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.		
E27	20' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.	E65	PNM Underground Easement. Filed: August 14, 1996 Bk. 96-22, Pgs. 3915-3916 Document No. 96090473. 10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.		
E28	Easement from AMAFCA to the City of Albuquerque for Landscaping, Utility and Parking Improvements Appurtenant to the Balloon Fiesta Park Lift Station and Golf Driving Range. Doc. No. 2001054959, Recorded May 14, 2001 in Book A19, Pg. 3378.				
E29	COA Public Sanitary Sewer, Waterline and Reuse Waterline Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.				
E30	35' Slope Easement. Filed: June 26, 1985 (C27-141). Release by AMAFCA by Doc. No. 2001054963 recorded May 14, 2001 in Bk. A19, Pg. 3382. To be vacated with Plat.				
E31	Sanitary Sewer Easement. Filed: June 18, 1985 in Bk.C27, Pg.110 Doc. No. 1985048464.				
E32	10' COA Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.				
E33	10' Public Utility Easement. Plat of Balloon Fiesta Park 2000 Filed: June 11, 2001, Bk-2001C Pg-161, Document No. 2001067074.				

E100 Reduced Width PNM Easement per Quiltadam action.
E101 Portion of Existing PNM Easement to be granted to COA per Quiltadam action.



SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDMENT

BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
5 October 2023



2023 UPDATE (SHEET 1 OF 4)

Bohannon & Huston
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

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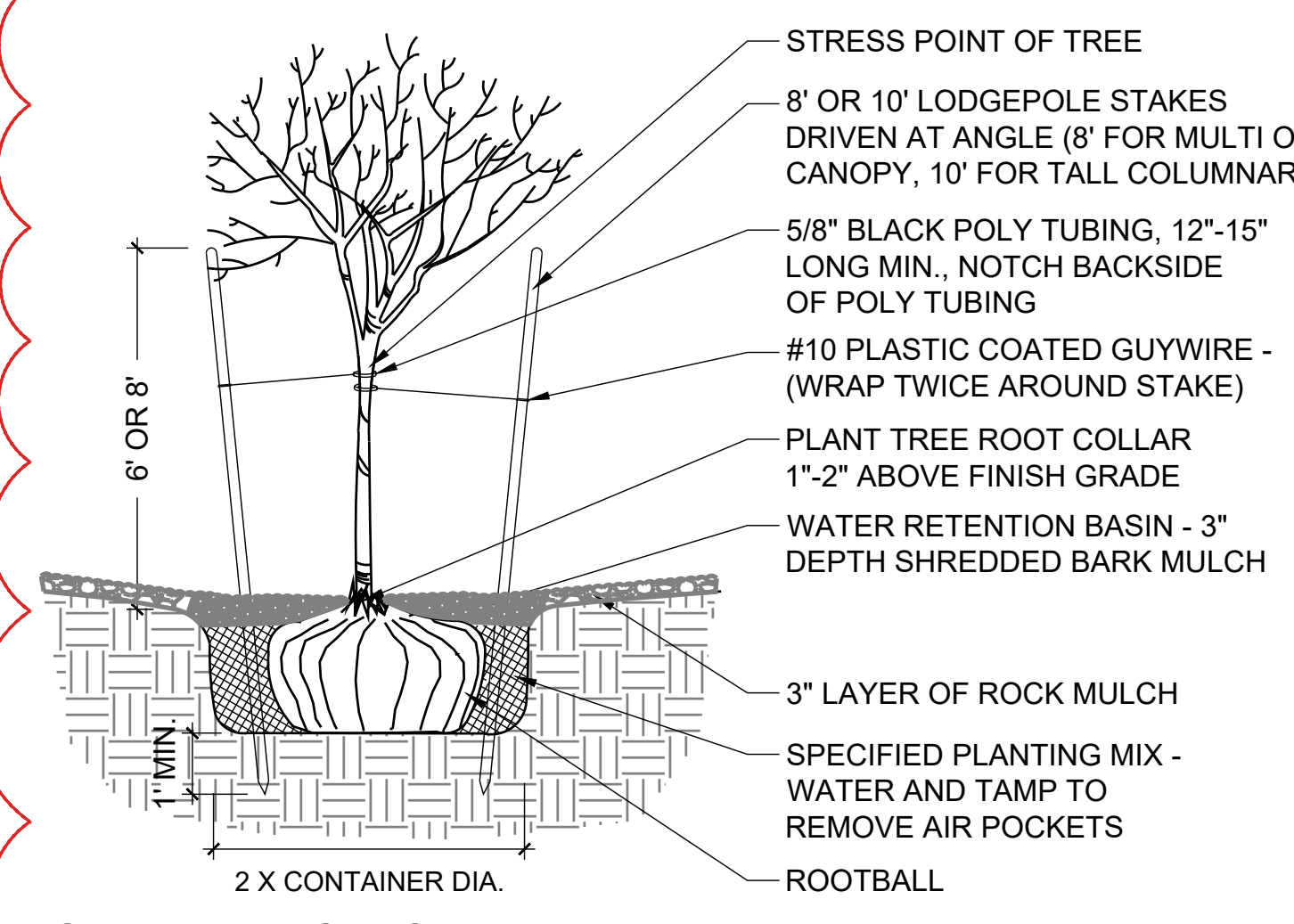
ODELL
A LaBella Company
400 S. Tryon Street, Suite 1300
Charlotte, NC 28285
(7) 704-414-1000 (F) 704-414-1111
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(SHEET 2 OF 4)

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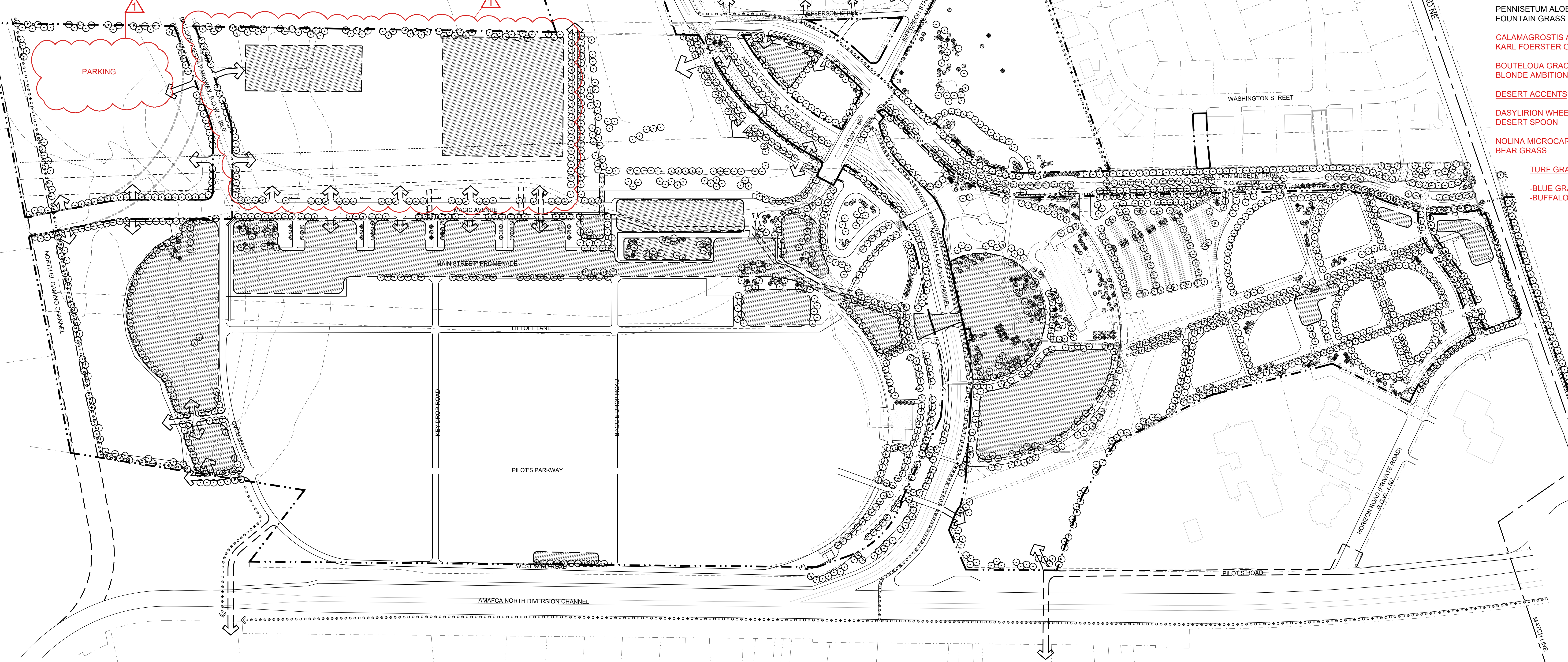


GENERAL NOTES

1. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
2. REMOVE ROPE AND BURLAP AFTER PLANTING.
3. A TREE PROTECTION ZONE (TPZ) IS TO BE ESTABLISHED AROUND ALL TREES TO REMAIN IN COORDINATION WITH COA. THE TPZ IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ONLY HAND TOOLS MAY BE USED IN THE TPZ FOR APPROVED WORK. EXTRA CONDITIONS MAY BE ESTABLISHED, AND WORK SHALL BE SUPERVISED BY COA IN ORDER TO PROTECT THE TREE FROM SOIL COMPACTION AND ROOT DISTURBANCE.
4. NO MATERIALS, SOIL, PARKING OR EQUIPMENT SHALL BE STORED WITHIN THE TPZ. NO ACTIVITIES THAT CAUSE PHYSICAL DAMAGE TO THE ROOTS, TRUNKS, LIMBS OR LEAVES OF THE PROTECTED TREE SHALL BE PERMITTED. NO DUMPING OF POISONOUS MATERIAL OR DIRTY WATER SHALL BE PERMITTED.
5. FENCING SHALL BE PLACED AROUND ALL TREES TO REMAIN. TPZ FENCING SHALL CONSIST OF BRIGHT VISUAL BARRIER FENCE.
6. THE IRRIGATION CONTRACTOR SHALL COORDINATE TRENCH LOCATIONS INSIDE AND WITHIN 2' OF THE TPZ(S) WITH THE CITY PROJECT MANAGER, CITY FORESTER, AND/OR PARK MANAGEMENT, USING AIR TRENCHER AND/OR HAND TOOLS. ANY TRENCHING, EXCAVATION, PLANTING OR OTHER WORK THAT HAS THE POTENTIAL TO DISTURB THE ROOT ZONE INSIDE OF THE TPZ SHALL OCCUR ONLY WITH PRIOR APPROVAL FROM THE CITY FORESTER (SEAN O'NEILL 505-895-2822) NO ROOTS OVER 1.5" SHALL BE CUT WITHOUT PRIOR APPROVAL BY THE CITY FORESTER.
7. ANY GRADING CHANGES INSIDE THE TPZ MAY OCCUR ONLY WITH PRIOR APPROVAL FROM COA. CARE SHOULD BE TAKEN TO KEEP EXISTING TREE SOIL DEPTH AT EXISTING GRADE WITHIN THE CURRENT TREE CANOPY.
8. CONCRETE REMOVAL SHALL BE COORDINATED WITH COA TO EVALUATE ANY ROOT PRUNING THAT MAY BE NECESSARY. NO ROOTS GREATER THAN 1.5" OR EXCEEDING 30% OF THE TOTAL ROOT SYSTEM ARE TO BE CUT WITHOUT PRIOR COA APPROVAL.
9. ALL EXISTING TO REMAIN TREES AND TREES ADJACENT TO THE SITE AREA ARE TO BE PROTECTED.

TREE PLANTING

SCALE: N.T.S.



LANDSCAPE MASTER PLAN MAJOR AMENDMENT
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO

GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM TRANSMISSION LINE EASEMENT
IF TREES ARE LOCATED WITHIN THE PNM ELECTRIC TRANSMISSION EASEMENT, MAXIMUM TREE HEIGHT AT MATURITY SHALL BE 14 FEET IN HEIGHT.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
⊗	⊙	ACER NEGUNDO SENSATION BOX ELDER	2" B&B	12' HT. X 4' SPR. 40' HT. X 30' SPR.	MED
⊗	⊙	CEDRUS LINEARIS DEODAR CEDAR	2" B&B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
⊗	⊙	CERCIS CANADENSIS EASTERN REDBUD	2" B&B	10' HT. X 4' SPR. 30' HT. X 25' SPR.	MED
⊗	⊙	CELTIS RETICULATA NETLEAF HACKBERRY	2" B&B	12' HT. X 6' SPR. 40' HT. X 40' SPR.	MED
⊗	⊙	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	8' HT. X 6' SPR. 30' HT. X 35' SPR.	LOW
⊗	⊙	CHITALPA TASHKENTENSIS CHITALPA	2" B&B	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
⊗	⊙	FRAXINUS PENNSYLVANICA 'URBANITE' URBANITE ASH	2" B&B	12' HT. X 6' SPR. 40' HT. X 25' SPR.	MED+
⊗	⊙	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	2" B&B	14' HT. X 6' SPR. 35' HT. X 30' SPR.	MED+
⊗	⊙	GLEDITSIA TRIACANTHUS INERMIS HONEY LOCUST	2" B&B	12' HT. X 6' SPR. 50' HT. X 45' SPR.	MED+
⊗	⊙	KOELREUTERIA PANICULATA GOLDENRAIN TREE	2" B&B	8' HT. X 4' SPR. 25' HT. X 25' SPR.	MED

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
⊗	⊙	PINUS ELДАРICA AFGHAN PINE	B&B	8' MIN. HT. 40' HT. X 18' SPR.	MED
⊗	⊙	PINUS NIGRA AUSTRIAN PINE	B&B	8' MIN. HT. 35' HT. X 25' SPR.	MED
⊗	⊙	PLATANUS ACERIFOLIA LONDON PLANE TREE	2" B&B	8' MIN. HT. 70' HT. X 50' SPR.	HIGH
⊗	⊙	PLATANUS WRIGHTII ARIZONA SYCAMORE	2" B&B	8' MIN. HT. 60' HT. X 70' SPR.	MED+
⊗	⊙	POPULUS AGUMINATA MOUNTAIN COTTONWOOD	2" B&B	8' MIN. HT. 50' HT. X 50' SPR.	HIGH
⊗	⊙	POPULUS FREMONTII 'WISLIZENI' POP GRANDE COTTONWOOD	2" B&B	12' HT. X 6' SPR. 70' HT. X 60' SPR.	MED+
⊗	⊙	PISTACHE CHINENSIS CHINESE PISTACHE	2" B&B	12' HT. X 6' SPR. 40' HT. X 30' SPR.	MED
⊗	⊙	SAMBUCUS MEXICANA MEXICAN ELDER	24" BOX	8' HT. X 4' SPR. 20' HT. X 25' SPR.	LOW+
⊗	⊙	ULMUS PARVIFLORA LACEBARK ELM	2" B&B	12' HT. X 6' SPR. 35' HT. X 35' SPR.	MED
⊗	⊙	ULMUS PROPINQUA EMERALD SUNSHINE ELM	2" B&B	12' HT. X 6' SPR. 40' HT. X 40' SPR.	MED
⊗	⊙	VITEX AGNUS CASTUS CHASTE TREE	2" B&B	12' HT. X 6' SPR. 20' HT. X 20' SPR.	MED

PLANT LEGEND

SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
SHRUBS			
ARTEMISIA FILIFOLIA SAND SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
ARTEMISIA TRIDENTATA BIG SAGE	5-GAL	5' O.C. 4' HT. X 4' SPR.	LOW
ATRIPLEX CANESCENS FOURWING SALTBUSH	5-GAL	6' O.C. 4' HT. X 5' SPR.	LOW
BUDDLEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH	5-GAL	5' O.C. 4' HT. X 3' SPR.	MED
CYTISUS X 'LENA' LENA SCOTCH BROOM	5-GAL	5' O.C. 4' HT. X 4' SPR.	MED
CERCOCARPUS MONTANUS MOUNTAIN MAHOGANY	5-GAL	10' O.C. 10' HT. X 10' SPR.	LOW+
CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5-GAL	5' O.C. 5' HT. X 5' SPR.	LOW
FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' O.C. 4' HT. X 5' SPR.	LOW
FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15-GAL	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
PHOTINIA FRASERI FRASER'S PHOTINIA	5-GAL	7' O.C. 8' HT. X 8' SPR.	MED+
RHUS MICROPHYLLA LITTLELEAF SUMAC	5-GAL	8' O.C. 8' HT. X 9' SPR.	LOW+
RHUS TRILOBATA THREELEAF SUMAC	5-GAL	6' O.C. 6' HT. X 6' SPR.	LOW+
SALVIA GREGGII CHERRY SAGE	5-GAL	3' O.C. 2' HT. X 3' SPR.	MED
SANTOLINA VIRENS SANTOLINA	5-GAL	4' O.C. 2' HT. X 4' SPR.	LOW
ORNAMENTAL GRASSES			
FESTUCA OVINA GLAUCA BLUE FESCUE	5-GAL	2' O.C. 1' HT. X 1' SPR.	MED
MISCANTHUS SINENSIS MED+ MISCANTHUS SPP.	5-GAL	5' O.C. 5' HT. X 5' SPR.	MED
PENNISETUM ALOEPECUROIDES FOUNTAIN GRASS	5-GAL	3' O.C. 30' HT. X 30' SPR.	MED
CALAMAGROSTIS ACUTIFLORA KARL FOERSTER GRASS	5-GAL	3' O.C. 30' HT. X 2' SPR.	MED
BOUTELOUA GRACILIS BLONDE AMBITION BLUE GRAMA	5-GAL	3' O.C. 3' HT. X 3' SPR.	LOW
DESERT ACCENTS			
DASYLIRON WHEELERI DESERT SPOON	5-GAL	3' O.C. 5' HT. X 5' SPR.	RW
NOLINA MICROCARPA BEAR GRASS	5-GAL	3' O.C. 4' HT. X 4' SPR.	RW
TURF GRASSES			
BLUE GRASS/ FESCUE MIX BUFFALO/ BLUE GRAMA			

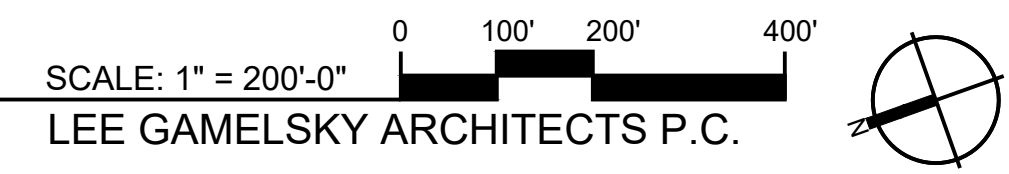
NOTE: PARKING AREAS ARE REQUIRED TO CONTAIN SHADE TREES AT THE NUMBER REQUIRED BY THE CITY COMPREHENSIVE ZONING CODE. EXCEPT THEY MAY BE PLANTED IN GROUPS INSTEAD OF EVENLY SPACED, AS THE ZONING CODE REQUIRES, GIVEN THE POTENTIAL CONFLICT BETWEEN TREES AND BALLOON LANDING.

October 5, 2023

NOTE: LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

(SHEET 3 OF 4)

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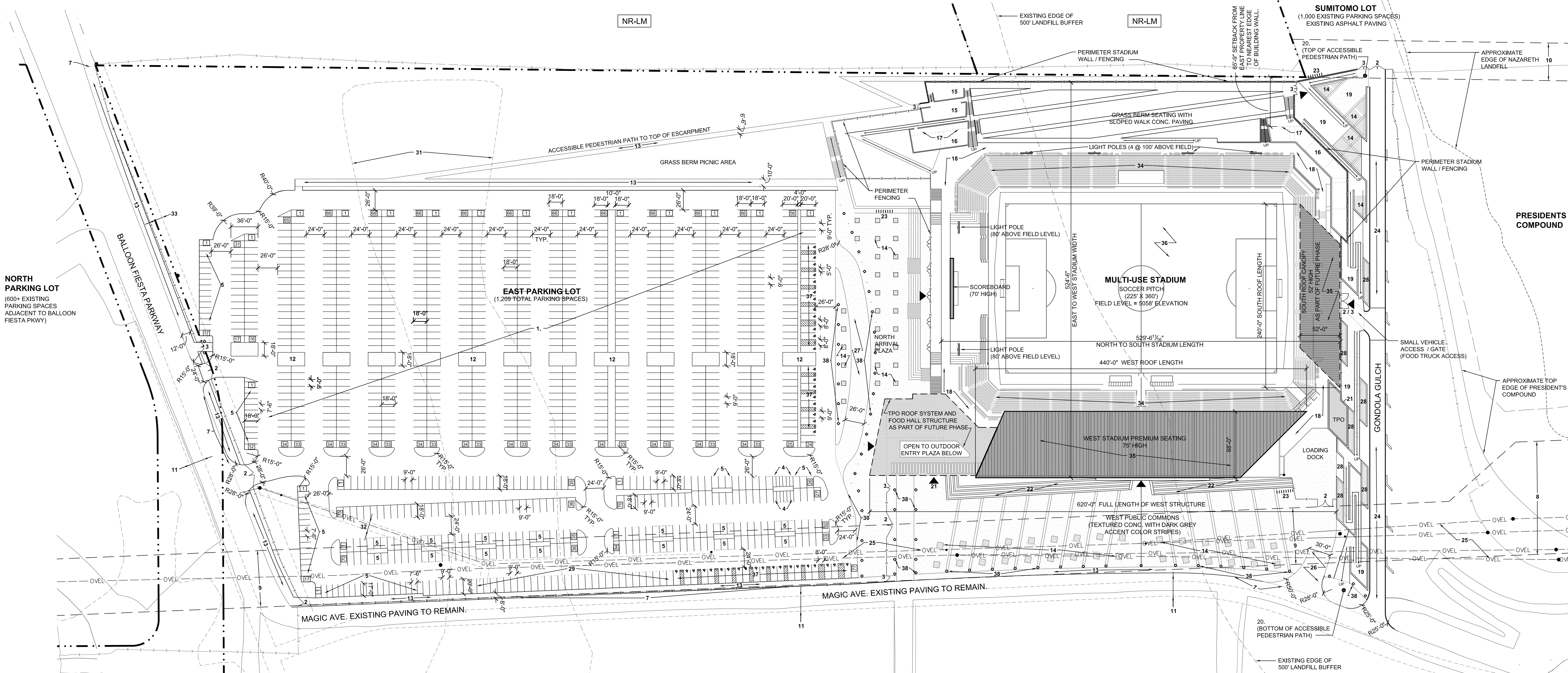


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BALLOON FIESTA PARK

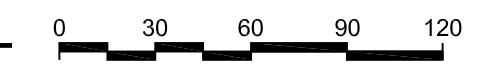
SITE PLAN -EPC

1. Site Plan
2. Overall Landscape Plan
3. Landscape Plan – North
4. Landscape Plan – South
5. Overall Conceptual Utility Plan
6. Overall Grading & Drainage Plan
7. Grading & Drainage Plan – North
8. Grading & Drainage Plan – South
9. Building Elevations – North/South
10. Building Elevations – East/West
11. Architectural Details



EPC SITE PLAN: MULTI-USE STADIUM AND SITE IMPROVEMENTS

1" = 60'-0"



GENERAL NOTES

- A. TEMPORARY LIGHT POLES ARE TO CONTINUE TO BE USED WITHIN THE EAST LOT DUE TO THE FLEXIBILITY OF YEAR-ROUND USES THE PARKING LOT SERVES AND DUE TO THE SAFETY CONCERNS OF ANY INSTANCES WHERE BALLONS ATTEMPT TO LAND WITHIN THE EAST PARKING LOT. ALL OTHER LIGHTING AROUND THE PERIMETER OF THE STADIUM AND WITHIN ADJACENT PEDESTRIAN PLAZA AREAS SHALL COMPLY WITH THE IDO AND THE MASTER DEVELOPMENT PLAN DESIGN STANDARDS.
- B. SIGNAGE SHALL COMPLY WITH THE APPROVED MASTER DEVELOPMENT PLAN DESIGN STANDARDS FOR THIS SITE. BUILDING SIGNS SHALL NOT EXCEED 20% OF THE FACADE TO WHICH THEY ARE APPLIED. SIGNAGE MAY BE BACK LIT OR LIGHT WITH ACCENT LIGHTING OR INTERNAL LIGHTING, BUT SHALL NOT DIRECT ANY EXCESSIVE LIGHT PROJECTING OUTWARD IN THE DIRECTION OF ANY OF THE SURROUNDING NEIGHBORHOODS.
- C. PAVEMENT MATERIALS WITHIN THE PERIMETER PEDESTRIAN SPACES AROUND THE STADIUM AND IN THE EAST PARKING LOT SHOULD INCLUDE MATERIALS SUCH AS INTEGRAL COLORED AND / OR TEXTURED CONCRETE, BRICK, STONE, OR AGGREGATE CONCRETE, AND SHOULD INCORPORATE PATTERNS AND ARTISTIC DETAILS IN KEEPING WITH THE CHARACTER OF BALLOON FIESTA PARK AND CHARACTER OF THE STADIUM.
- D. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- E. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENT PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- F. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A), FENCING AND ACCESS. NEW SITE FENCING SHALL BE INSTALLED AROUND THE PERIMETER OF THE STADIUM AND EXISTING CHAIN LINK FENCING WILL BE REMOVED AND REPLACED WITH NEW ALONG MAGIC AVE. AND ALONG PORTIONS OF BALLOON FIESTA PARKWAY AS INDICATED. NEW FENCING INDICATED ALONG BALLOON FIESTA PARKWAY AND PORTIONS OF MAGIC AVE. SHALL BE GALVANIZED OR COATED HEAVY DUTY WIRE MESH PANELS. FENCING ALONG THE PERIMETER OF THE STADIUM SHALL BE A COMBINATION OF WIRE MESH AND PERFORATED METAL PANELS. COLORS SHALL RANGE FROM MEDIUM TO DARK GRAY, WITH ARTISTIC COLOR ACCENTS AT SELECTED AREAS OF FENCING PANELS. NEW CHAIN LINK FENCING WILL PROVIDED AT AREAS CONNECTING TO EXISTING CHAIN LINK FENCING FOR CONSISTENCY.
- H. ALL ADA ACCESSIBLE PARKING SPACES SHALL BE 9' WIDE X 20' DEEP, WITH 5' WIDE ACCESS AISLES AND 8' WIDE VAN ACCESSIBLE AISLES. ALL ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 12" HIGH AND 2" WIDE, PLACED AT THE BACK OF THE AISLE.
- I. THE FOOD HALL SPACE AND ROOF STRUCTURE AT THE NW CORNER WILL BE CONSTRUCTED AS PART OF A FUTURE PHASE BASED ON FUNDING AVAILABILITY. PHASE 1 WILL INCLUDE: OPEN AIR ENTRY PLAZA, GROUND LEVEL RESTROOMS, TICKETING, SALES, AND ALL VERTICAL CIRCULATION STRUCTURES.

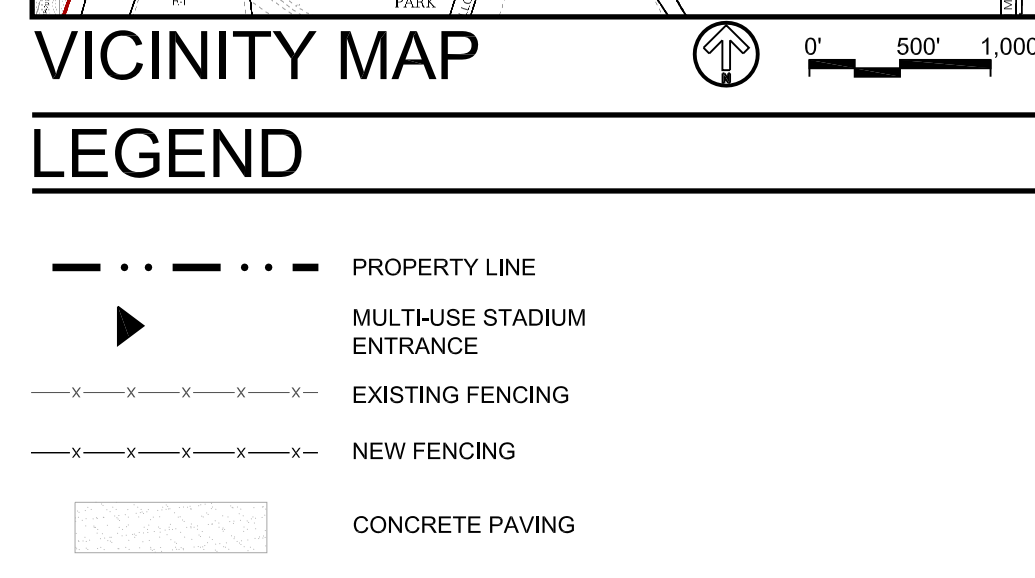
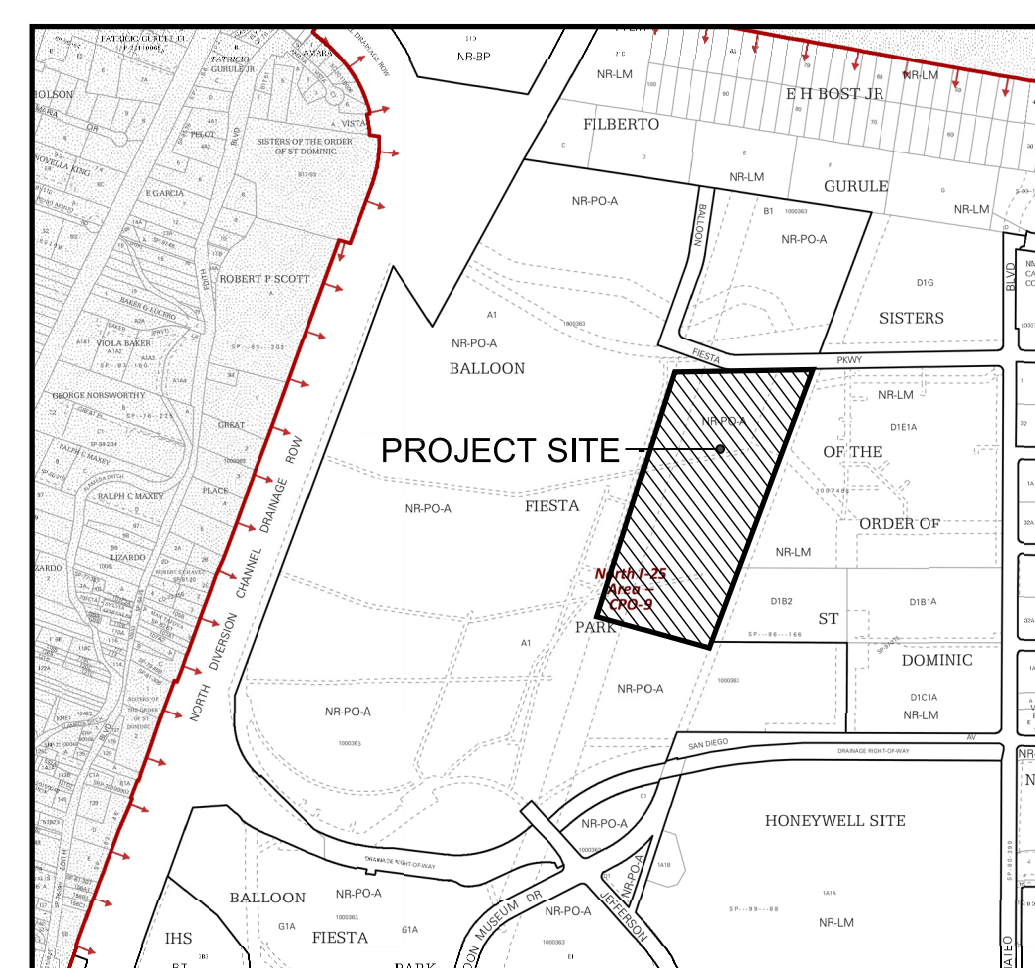
KEYED NOTES

- 1. ASPHALT PAVING AND STRIPING PER COA STANDARDS.
- 2. VEHICULAR ACCESS GATE. SEE TYPICAL ARCHITECTURAL DETAIL.
- 3. PEDESTRIAN ACCESS GATE. SEE TYPICAL ARCHITECTURAL DETAIL.
- 4. MOTORCYCLE PARKING SPACES.
- 5. COMPACT PARKING SPACES, LESS THAN 10% OF TOTAL PARKING IN EAST LOT. (not used)
- 7. APPROXIMATE BOUNDARY / EXTENTS OF SITE IMPROVEMENTS.
- 8. EXISTING 150' PNM EASEMENT.
- 9. PROPOSED PNM EASEMENT (APPROX. 75' WIDE) PER QUITCLAIM ACTION.
- 10. EXISTING 50' DRAINAGE AND UTILITY EASEMENT.
- 11. EXISTING 20' COA PUBLIC WATERLINE EASEMENT.
- 12. TEXTURED CONCRETE PAVING FOR PEDESTRIAN CIRCULATION WITHIN PARKING LOT.
- 13. CONCRETE SIDEWALK PER COA STANDARDS.
- 14. CRUSHER FINE PLANTER BEDS FLUSH WITH SURROUNDING PAVING. SEE LANDSCAPE.
- 15. STADIUM TERRACE. CONCRETE PAVING SYSTEM OVER GRADE.
- 16. STADIUM TERRACE DECK. CONCRETE PAVERS OVER ROOF MEMBRANE OVER CONCESSIONS SPACE BELOW.
- 17. HIDDEN LINE INDICATES EDGE OF CONCESSIONS SPACE BELOW.
- 18. STADIUM MAIN CONCOURSE CIRCULATION LEVEL AT 25' ABOVE FIELD LEVEL.
- 19. PUBLIC TERRACE / CIRCULATION AREA. C.I.P. CONCRETE PAVING OVER GRADE.
- 20. ACCESSIBLE PUBLIC CIRCULATION RAMPWAY. PEDESTRIAN PATH CONNECTS TOP OF ESCARPMENT TO LAUNCH FIELD LEVEL ALONG MAGIC AVE. ADA RAMPS AT 1:12 MAX. RAMP WIDTHS ARE 6'-8" WIDE.
- 21. ACCESSIBLE PUBLIC RESTROOM ACCESS.
- 22. STEPPED GABION STONE PLANTER WALLS WITH BUILT-IN BENCHES FOR PICNICKING.
- 23. BIKE RACKS.
- 24. ASPHALT PAVING, CURB AND GUTTER PER COA STANDARDS.
- 25. EXISTING OVERHEAD ELECTRIC LINES.
- 26. CONCRETE PAVED ACCESS DRIVE INTO LOADING DOCK.
- 27. CONCRETE PAVED ARRIVAL DROP-OFF LANE.
- 28. GABION BLOCK WALL PLANTERS. SEE LANDSCAPE.
- 29. ELECTRIC VEHICLE PARKING SPACE.
- 30. PROVIDE ROLLED CURB PER COA STANDARDS FOR VEHICULAR ACCESS INTO WEST PLAZA.
- 31. EXISTING 100 YEAR FLOOD PLAIN.
- 32. EXISTING 10' PNM & US WEST COMMUNICATIONS EASEMENT.
- 33. EXISTING 10' US WEST COMMUNICATIONS & COMCAST CABLE EASEMENT.
- 34. STADIUM SEATING BOWL. ALUMINUM GRANDSTAND STRUCTURE WITH BUILT-IN SEATING. COLORS: GREY, BLACK AND YELLOW.
- 35. STANDING SEAM METAL ROOF SYSTEM SLOPED TO DRAIN AT 1" PER FOOT AWAY FROM PLAZA.
- 36. SYNTHETIC TURF SOCCER FIELD.
- 37. ACCESSIBLE PARKING SPACES PER COA STANDARDS. SEE GENERAL NOTES.
- 38. SYMBOL INDICATES HEAVY DUTY DIE CAST ALUMINUM BOLLARDS. 42" HIGH, 8" DIAMETER. ANODIZED FINISH.

PROJECT DATA

SITE INFORMATION
 ZONING : NR-PO-A
 OVERLAY: NORTH I-25 CPO-10
 MULTI-USE STADIUM BUILDING AREA: 185,500 SF (INCLUDES 33,000 SF FOOD HALL IN FUTURE PHASE)
 MULTI-USE STADIUM PERIMETER FOOTPRINT INCLUDING SEATING BOWL & SOCCER FIELD: 301,700 SF
 IMPROVED EAST PARKING LOT AND ARRIVAL PLAZA AREA: 475,000 SF
 WEST PUBLIC COMMONS AREA: 84,000 SF
OVERALL SITE AREA: 905,000 SF
PARKING CALCULATIONS
 STADIUM DESIGN SPECTATOR CAPACITY = 11,000 (9,600 SEATING AND DRINK RAIL CAPACITY + 1,400 BERM SEATING AND STANDING ROOM CAPACITY)
 PER IDO: 1 PARKING SPACE PER 4 SEATS (11,000 / 4 = 2,750)
 REQUIRED PARKING SPACES: 2,750
 PROVIDED SPACES: 2,750 (1,175 SPACES IN EAST LOT, 1,000 SPACES ON TOP OF ESCARPMENT AT SUMITOMO LOT, 600 SPACES WITHIN THE NORTH LOT*)
 REQUIRED ACCESSIBLE PARKING: 38
 PROVIDED ACCESSIBLE PARKING: 40
 REQUIRED MOTORCYCLE PARKING: 12
 PROVIDED MOTORCYCLE SPACES PROVIDED: 12
 REQUIRED BICYCLE PARKING: 275
 PROVIDED BICYCLE PARKING: 275
 REQUIRED ELECTRIC VEHICLE PARKING: 138
 PROVIDED ELECTRIC VEHICLE PARKING: 138**

* THERE ARE A TOTAL OF 3,335 PARKING SPACES WITHIN THE NORTH LOT AND ADDITIONAL SPACES FOR STADIUM PARKING CAN BE ACCOMMODATED IN THIS AREA AS NEEDED. THE 600 SPACES LISTED ARE THOSE SPACES IMMEDIATELY ADJACENT TO BALLOON FIESTA PARKWAY. THERE ARE A TOTAL OF 9,025 SPACES AVAILABLE WITHIN BALLOON FIESTA PARK OVERALL.
 ** THERE ARE ZERO ELEC. VEHICLE PARKING SPACES IN THE PARK CURRENTLY. THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE PARKING SPACES WILL BE DISTRIBUTED THROUGHOUT THE ENTIRETY OF THE PARK. A MINIMUM OF 30 VEHICLE SPACES CAN BE LOCATED WITHIN THE EAST LOT.



PROJECT NUMBER: 1000363
 Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated Month, Date, Year and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

Hydrology

Code Enforcement

*Environmental Health Department (conditional)

Solid Waste Management

Planning Department

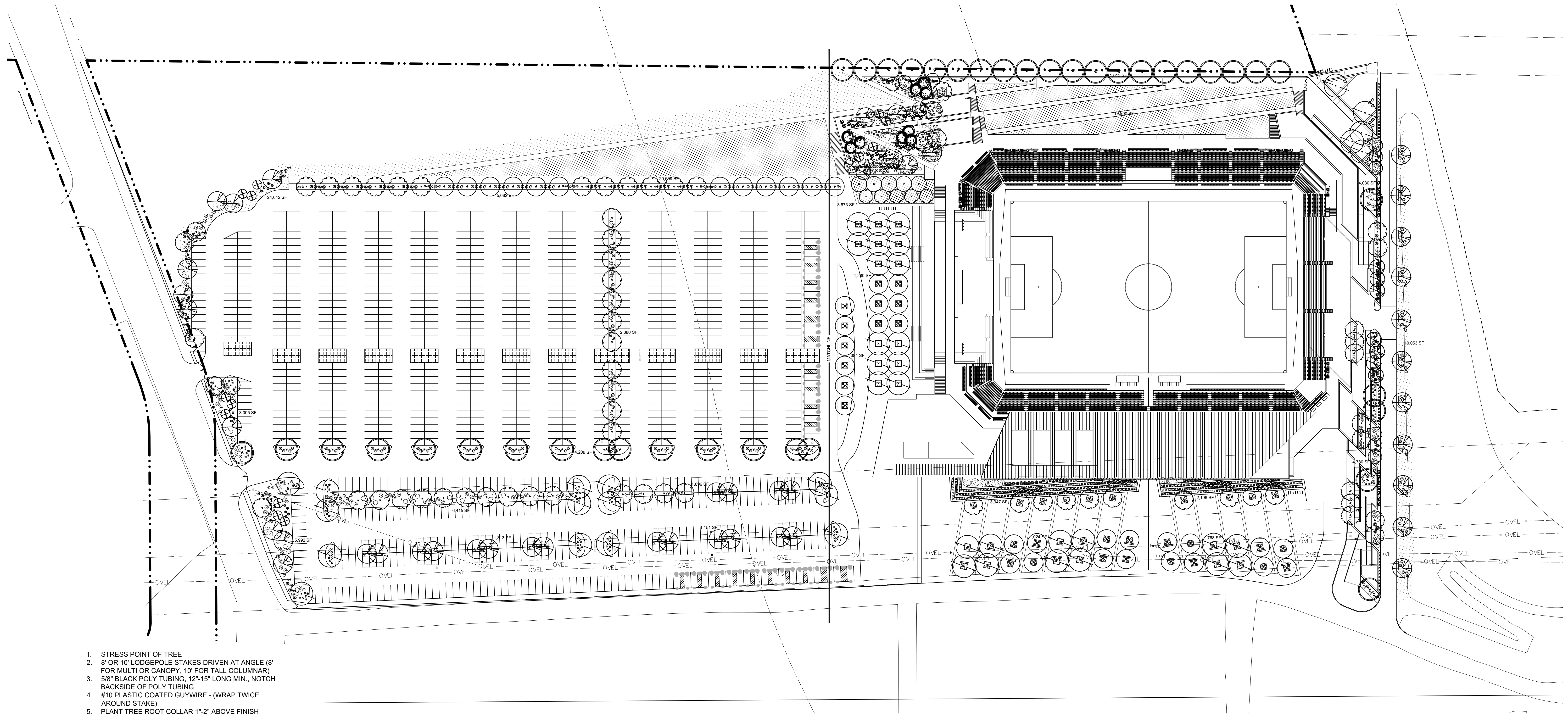
BALLOON FIESTA PARK MULTI-USE STADIUM

CITY OF ALBUQUERQUE

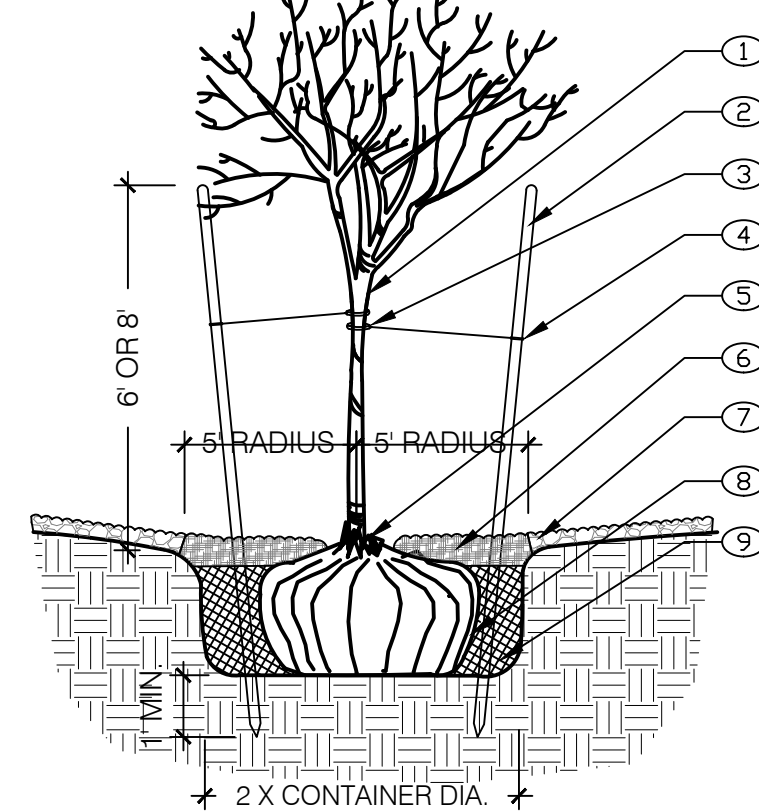
PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
 ARCHITECTURE
IMPROVE GROUP + ODELL A LABELLA COMPANY
 ENGINEERING
BOHANNAN HUSTON

SITE PLAN - EPC
 SITE PLAN

SHEET 1 OF 11
 NOV. 05, 2023



1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE. KEEP MULCH BACK FROM TRUNK.
6. WATER RETENTION BASIN - 3" DEPTH X 5' RADIUS OF SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING

SCALE: N.T.S.

LANDSCAPE CALCULATIONS

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (20.78):	905,000 SF
BUILDING AREA:	- 185,500 SF
NET AREA:	719,500 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	
PROVIDED LANDSCAPE AREA:	107,925 SF (15%)
LANDSCAPE LIVE VEGETATIVE COVERAGE	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	81,506 SF (75%)
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	200,624 SF (184%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	20,377 SF (25%)
PROVIDED GROUND-LEVEL PLANT COVERAGE	21,931 SF (27%)
TURF GRASS AREAS	
NO MORE THAN 10 PERCENT OF LANDSCAPE AREAS MAY BE COOL SEASON TURF GRASS REQUIRING IRRIGATION.	
ALLOWABLE TURF GRASS AREA	10,868 SF (10%)
PROVIDED TURF GRASS AREA	0 SF (0%)

PARKING LOT TREES

PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 OFF-STREET SPACES.

1,162 PARKING SPACES / 10 SPACES = 116 TREES REQUIRED PROVIDED: 121 TREES

CLEAR SIGHT DISTANCE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AT THE TIME OF PLANTING), AS MEASURED FROM THE GUTTER PAN, WILL NOT BE ACCEPTABLE IN THE AREA.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE

THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN SECTIONS 5-6(C)(9)(c) AND 5-6(C)(14) SHALL BE STRICTLY ADHERED TO. THE SYSTEM SHALL BE COMPLETELY AUTOMATED AND INCLUDE REQUIRED BACKFLOW PREVENTION AND A SMART CONTROLLER. TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. THE SYSTEM SHALL BE DESIGNED TO ALLOW FOR EXPANDABILITY AS THE TREES MATURE. TURF AREA IRRIGATION SHALL BE DESIGNED FOR MAXIMUM DISTRIBUTION UNIFORMITY.

GENERAL NOTES:

1. PER 5-6(C)(4)(h) ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS, AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. PER 5-6(C)(7)(a) VEGETATION REQUIRED BY SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
3. PER 5-6(C)(9)(a) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
4. PER 5-6(C)(9)(b) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.
5. PER 5-6(C)(10)(b) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
6. PER 5-6(C)(10)(f) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.
7. PER 5-6(G)(2)(c) GROUND-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM STREET VIEW.
8. PER 5-6(C)(4)(G) ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.



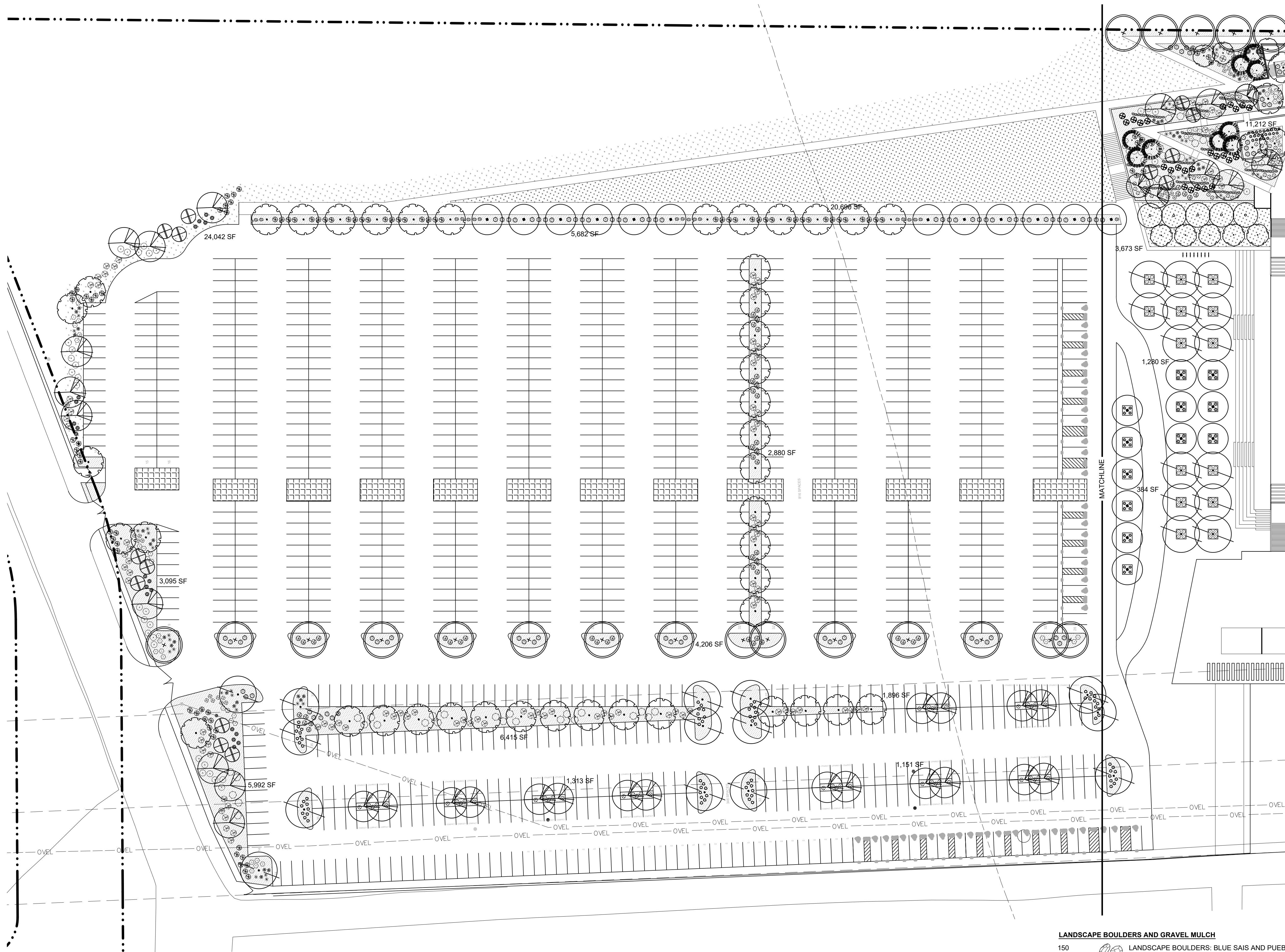
**BALLOON FIESTA PARK
MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE
PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ARCHITECTURE GROUP
ENGINEERING
BOHANNAN HUSTON

SITE PLAN - EPC
OVERALL LANDSCAPE PLAN



0 30 60 90 120



PLANT LEGEND				
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
TREES				
63		CELTIS RETICULATA NETLEAF HACKBERRY (L+)	2.5" CAL	25' HT. X 25' SPR.
14		CERCIS CANADENSIS V. TEXENSIS TEXAS REDBUD (M)	2.5" CAL.	20' HT. X 20' SPR.
44		CHILOPSIS LINEARIS DESERT WILLOW (L+)	24" BOX	20' HT. X 25' SPR.
14		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	15-GAL.	15' HT. X 12' SPR.
67		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+) *FEMALES ONLY*	15-GAL.	12' HT. X 4' SPR.
9		PINUS ELDARICA AFGHAN PINE (M)	8' HT. B&B	40' HT. X 18' SPR.
6		PINUS NIGRA AUSTRIAN PINE (M+)	8' HT. B&B	35' HT. X 25' SPR.
40		PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" CAL	40' HT. X 30' SPR.
40		ULMUS PROPINQUA EMERALD SUNSHINE ELM (M)	2.5" CAL	35' HT. X 35' SPR.
45		ULMUS PARVIFOLIA 'EMER II' ALLEE ELM (M)	2.5" B&B	35' HT. X 35' SPR.
5		ULMUS CARPINFOLIA X PARVIFOLIA FRONTIER ELM (M)	2.5" CAL	25' HT. X 15' SPR.
10		VITEX AGNUS-CASTUS CHASTE TREE (M)	15-GAL.	20' HT. X 20' SPR.
SHRUBS & GROUNDCOVERS				
9		ACHILLEA 'MOONSHINE' / 'PAPRIKA' MOONSHINE / PAPRIKA YARROW (M)	1-GAL.	2' HT. X 2' SPR.
21		AGASTACHE RUPESTRIS SUNSET HYSSOP (L)	1-GAL.	2' HT. X 2' SPR.
25		BUDDLEIA DAVIDII NANHOENSIS BUTTERFLY BUSH (M)	5-GAL.	5' HT. X 4' SPR.
57		CARYOPTERIS CLANDONENSIS BLUE MIST SPIREA (M)	5-GAL.	3' HT. X 4' SPR.
37		CAESALPINIA GILLIESII YELLOW BIRD OF PARADISE (L)	5-GAL.	5' HT. X 5' SPR.
8		LAGERSTROMIA INDICA 'DYNAMITE' CRAPE MYRTLE (M)	15-GAL.	15' HT. X 10' SPR.
42		ERICAMERIA NAUSEOSA CHAMISA (L)	5-GAL.	5' HT. X 5' SPR.
107		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL.	5' HT. X 5' SPR.
21		LAVANDULA ANGUSTIFOLIA 'HIDCOTE' LAVENDER 'HIDCOTE' (L+)	3-GAL.	2' HT. X 3' SPR.
104		CYTISUS SCOPARIUS 'LENAS BROOM' SCOTCH BROOM (M)	5-GAL.	4' HT. X 4' SPR.
77		ERICAMERIA LARICIFOLIA TURPENTINE BUSH (L)	5-GAL.	3' HT. X 4' SPR.
30		SALVIA GREGGII CHERRY SAGE (L)	3-GAL.	3' HT. X 3' SPR.
74		SALVIA X 'ULTRA VIOLET' ULTRA VIOLET SAGE (L)	3 GAL.	3' HT. X 3' SPR.
37		PINUS MUGO DWARF MUGO PINE (L)	5-GAL.	4' HT. X 5' SPR.
180		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL (L)	5-GAL.	3' HT. X 3' SPR.
89		RHUS AROMATICA 'GROW LOW' GROW-LOW SUMAC (L)	5-GAL.	3' HT. X 4' SPR.
DESERT ACCENTS				
57		DASYLIRION WHEELERI BLUE SOTOL (RW)	5-GAL.	4' HT. X 4' SPR.
84		HESPERALOE PARVIFLORA 'RED' RED YUCCA (L+)	5-GAL.	3' HT. X 3' SPR.
59		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L+)	5-GAL.	3' HT. X 3' SPR.
ORNAMENTAL GRASSES				
119		BOUTELLOUA GRACILIS BLONDE AMBITION GRASS (L)	1-GAL.	2' HT. X 2' SPR.
222		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL.	3' HT. X 2' SPR.
88		MUHLENBERGIA CAPILLARIS PINK MUHLY (L+)	5-GAL.	3' HT. X 3' SPR.
169		NOLINA MICROCARPA BEAR GRASS (RW)	5-GAL.	4' HT. X 4' SPR.

LANDSCAPE BOULDERS AND GRAVEL MULCH

- 150 LANDSCAPE BOULDERS: BLUE SAIS AND PUEBLO ROSE BOULDERS. SIZE: 18-24 CF
- 67,995 SF COMBINATION OF SHREDDED BARK MULCH (3" DEPTH), AMARETTO CRUSHER FINES (3" DEPTH), 3/4" COYOTE MIST ROCK MULCH (3" DEPTH), 7/8" ROSESTONE ROCK MULCH (3" DEPTH), 2"-4" PUEBLO ROSE COBBLE (6" DEPTH), AND 2"-4"/6"-8" BLUE SAIS COBBLE (6"-8" DEPTH) OVER FABRIC
- 44,353 SF BUFFALO / BLUE GRAMA GRASS SEED MIX
- 33,636 SF REVEGETATIVE SEEDING - AREAS SHALL BE RE-VEGETATED BY HYDROMULCH APPLICATION PER CITY STANDARD SPECIFICATIONS SECTION 1013 DRAINAGE POND SEEDING AND SLOPE STABILIZATION. LIMITS OF RE-VEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY SEED MIX TO LIMIT OF DISTURBANCE. GRAVELLY UPLANDS AND SLOPES MIX (20 LBS. PLS PER ACRE TOTAL) OR EQUAL.

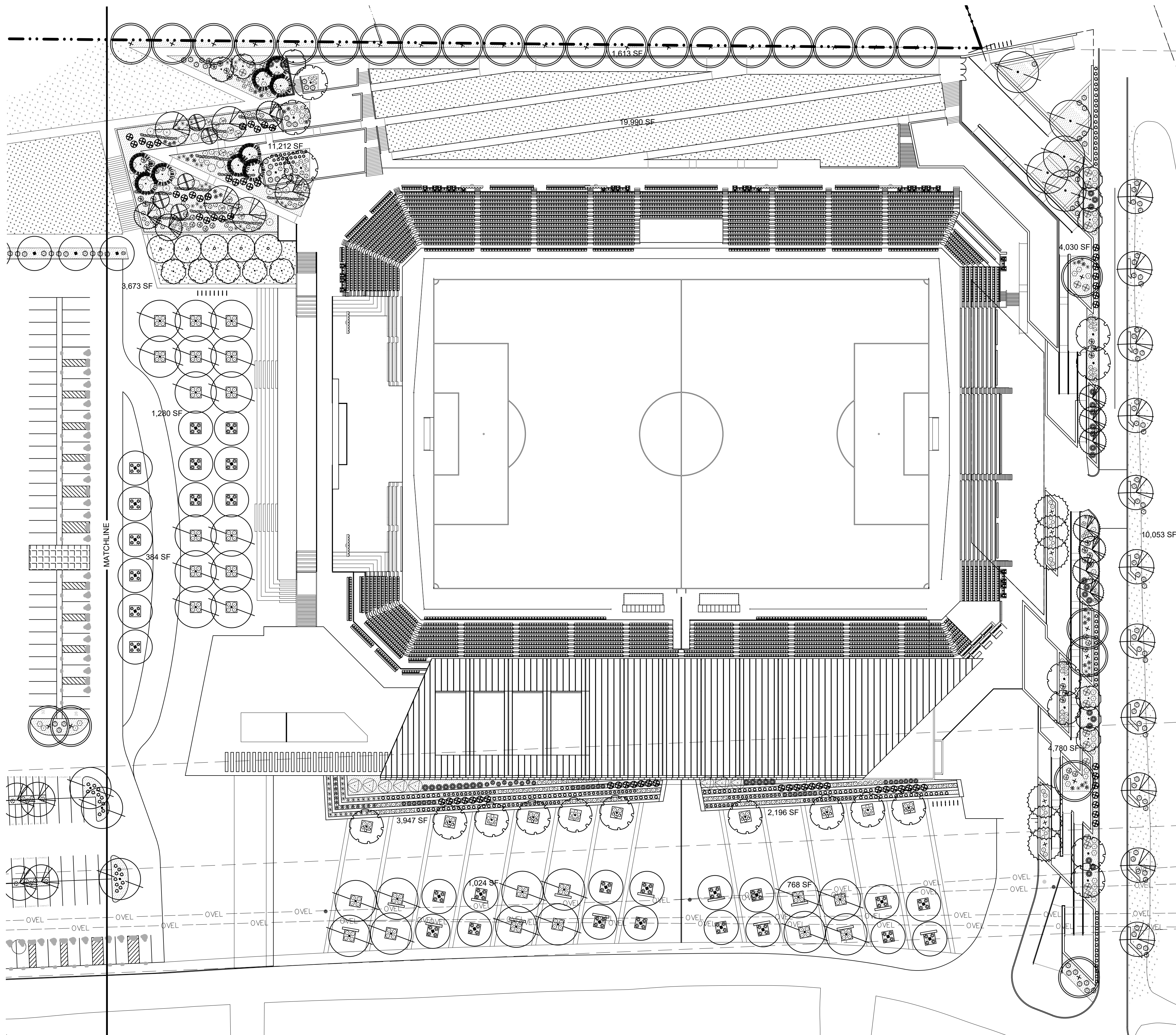


**BALLOON FIESTA PARK
MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

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 ODELL A LABELLA COMPANY
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 BOHANNAN HUSTON

SITE PLAN - EPC
 LANDSCAPE PLAN - NORTH



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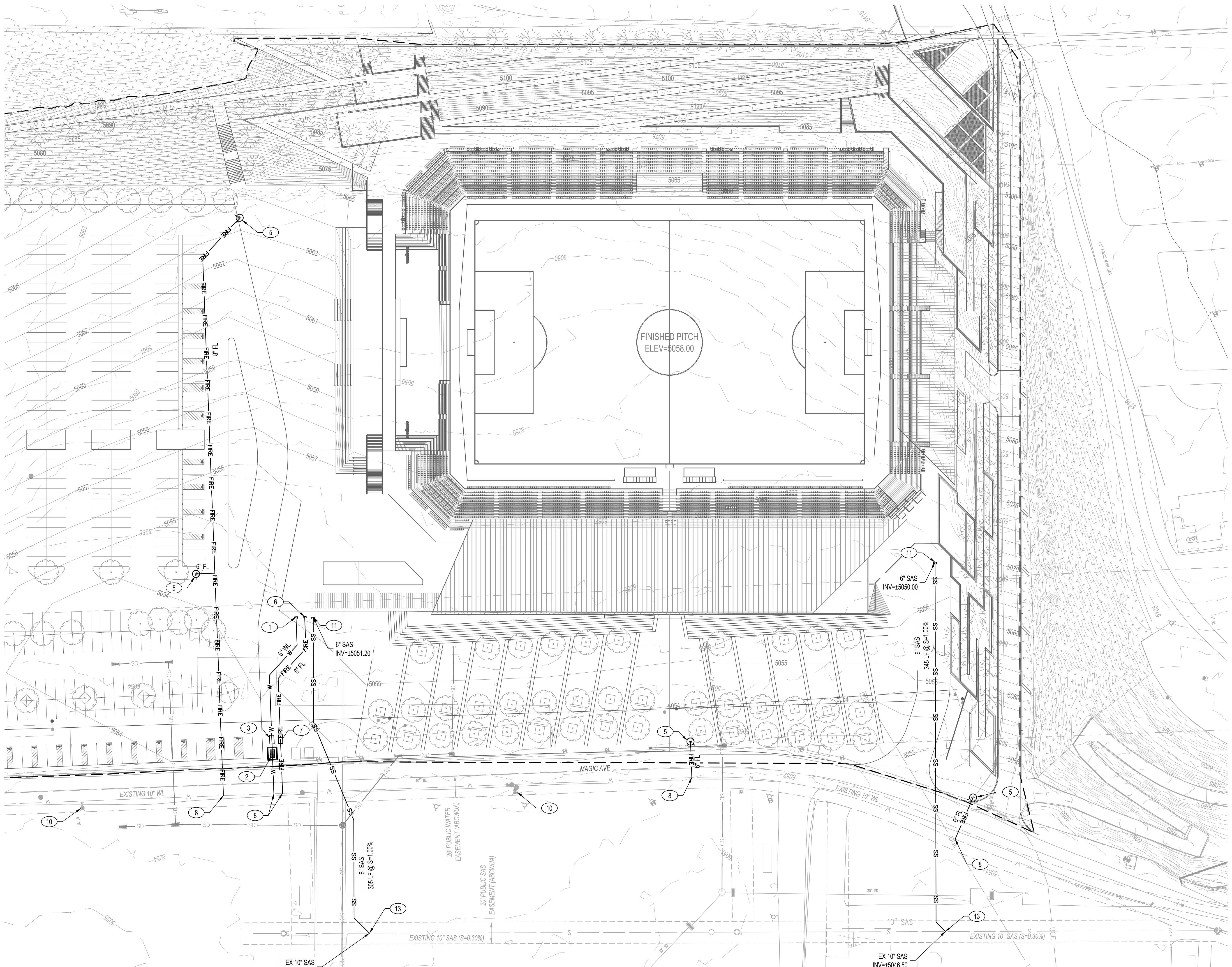
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BALLOON FIESTA PARK
**MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

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ENGINEERING
BOHANNAN HUSTON

SITE PLAN - EPC
LANDSCAPE PLAN - SOUTH



GENERAL UTILITY NOTES

- A. DETAILED SUBSURFACE UTILITY ENGINEERING INVESTIGATION HAS NOT OCCURRED. LINE SIZES AND LOCATIONS SHOULD BE CONSIDERED FOR INFORMATION ONLY.
- B. NEW PUBLIC WATERLINES/HYDRANTS WILL REQUIRE EASEMENT(S).
- C. PROPERTY LINES, RIGHT-OF-WAY, AND EASEMENTS ARE APPROXIMATE AND DO NOT REFLECT A CERTIFIED BOUNDARY SURVEY.

UTILITY KEYED NOTES

1. INSTALL NEW DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING
2. INSTALL NEW WATER METER VAULT
3. INSTALL NEW DOMESTIC BACKFLOW PREVENTER
4. INSTALL NEW FIRE PROTECTION WATERLINE
5. INSTALL NEW FIRE HYDRANT
6. INSTALL NEW FIRE PROTECTION SERVICE TO WITHIN 5' OF BUILDING
7. INSTALL NEW FIRE PROTECTION BACKFLOW PREVENTER
8. CONNECT TO EXISTING 10" WATERLINE
9. EXISTING WATERLINE TO REMAIN
10. EXISTING FIRE HYDRANT TO REMAIN
11. INSTALL NEW SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING
12. INSTALL NEW SANITARY SEWER MANHOLE
13. CONNECT TO EXISTING 10" SANITARY SEWER LINE

LEGEND

	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED HYDRANT
	PROPOSED CAP

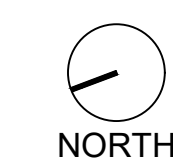


BALLOON FIESTA PARK MULTI-USE STADIUM

CITY OF ALBUQUERQUE

PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
 CONSENSUS PLANNING
 ARCHITECTURE
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SITE PLAN - EPC
 OVERALL CONCEPTUAL UTILITY PLAN



SHEET 5 OF 10
 OCTOBER 05, 2023

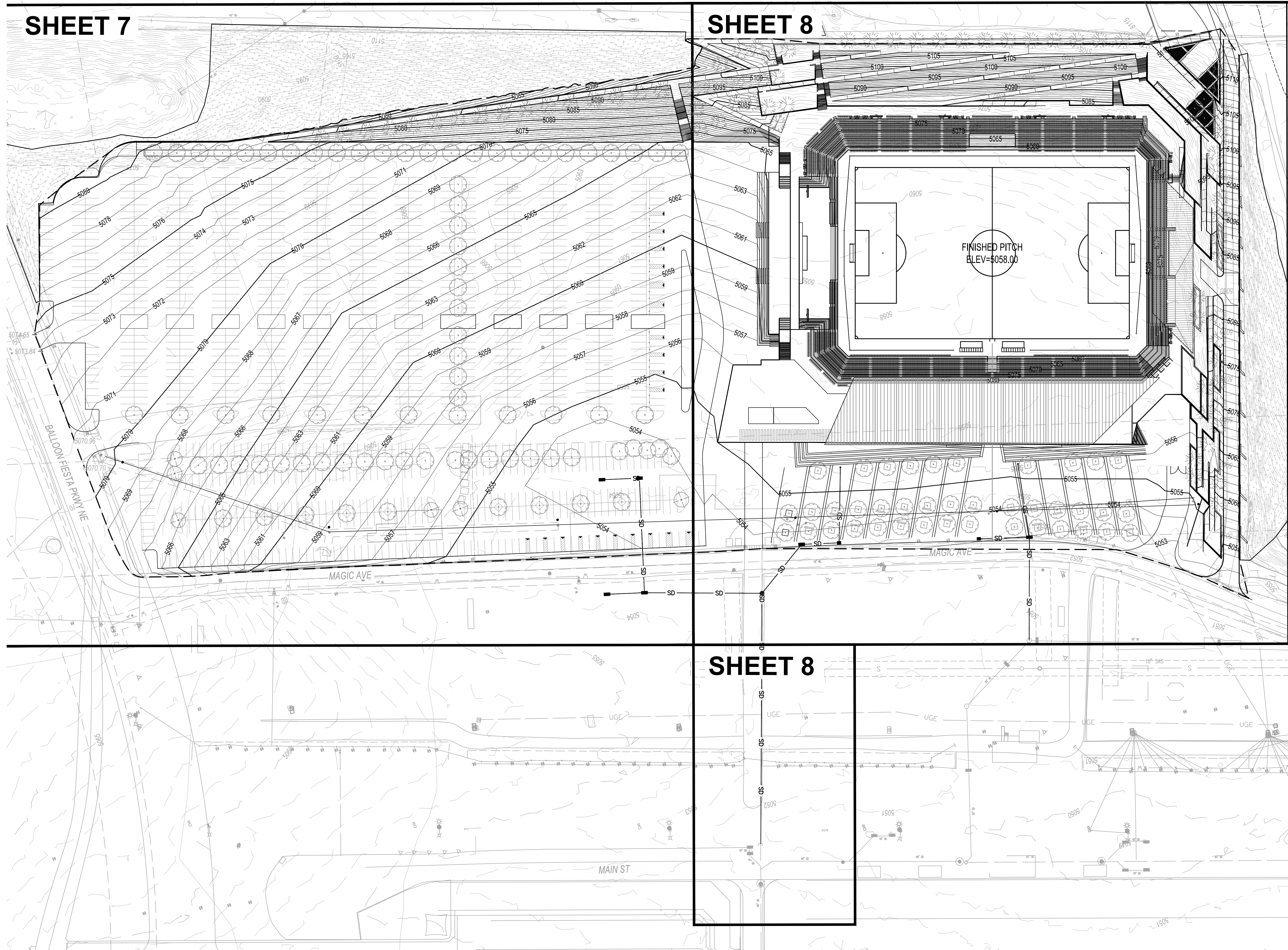
OVERALL CONCEPTUAL UTILITY PLAN
 1" = 40'-0"

SHEET 7

SHEET 8

GENERAL GRADING NOTES

- A. PORTIONS OF PROJECT LIMITS FALL WITHIN FEMA REGULATORY FLOODPLAIN (ZONE AO). REFER TO FEMA FIRM PANELS 35001C0128G AND 35001C0129H FOR ADDITIONAL INFORMATION.
- B. TOPOGRAPHIC SURVEY INFORMATION BASED ON HISTORICAL SURVEY DATA, AS-BUILT INFORMATION, AND 2018 MRCCO LIDAR MAPPING. TOPOGRAPHIC AND SURVEY INFORMATION IS PROVISIONAL AND WILL NEED TO BE SUPPLEMENTED BY ADDITIONAL CERTIFIED TOPOGRAPHIC SURVEY FOR FUTURE DESIGN EFFORTS.
- C. PROPERTY LINES, RIGHT-OF-WAY, AND EASEMENTS ARE APPROXIMATE AND DO NOT REFLECT A CERTIFIED BOUNDARY SURVEY.



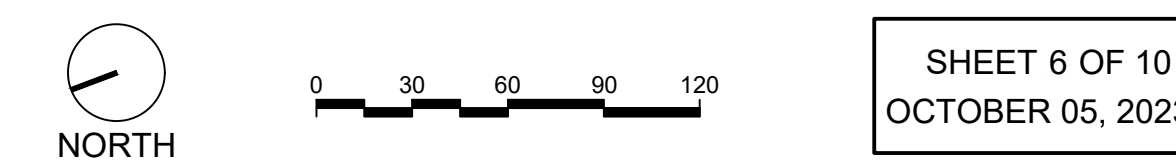
OVERALL CONCEPTUAL GRADING AND DRAINAGE PLAN
 1" = 60'-0"

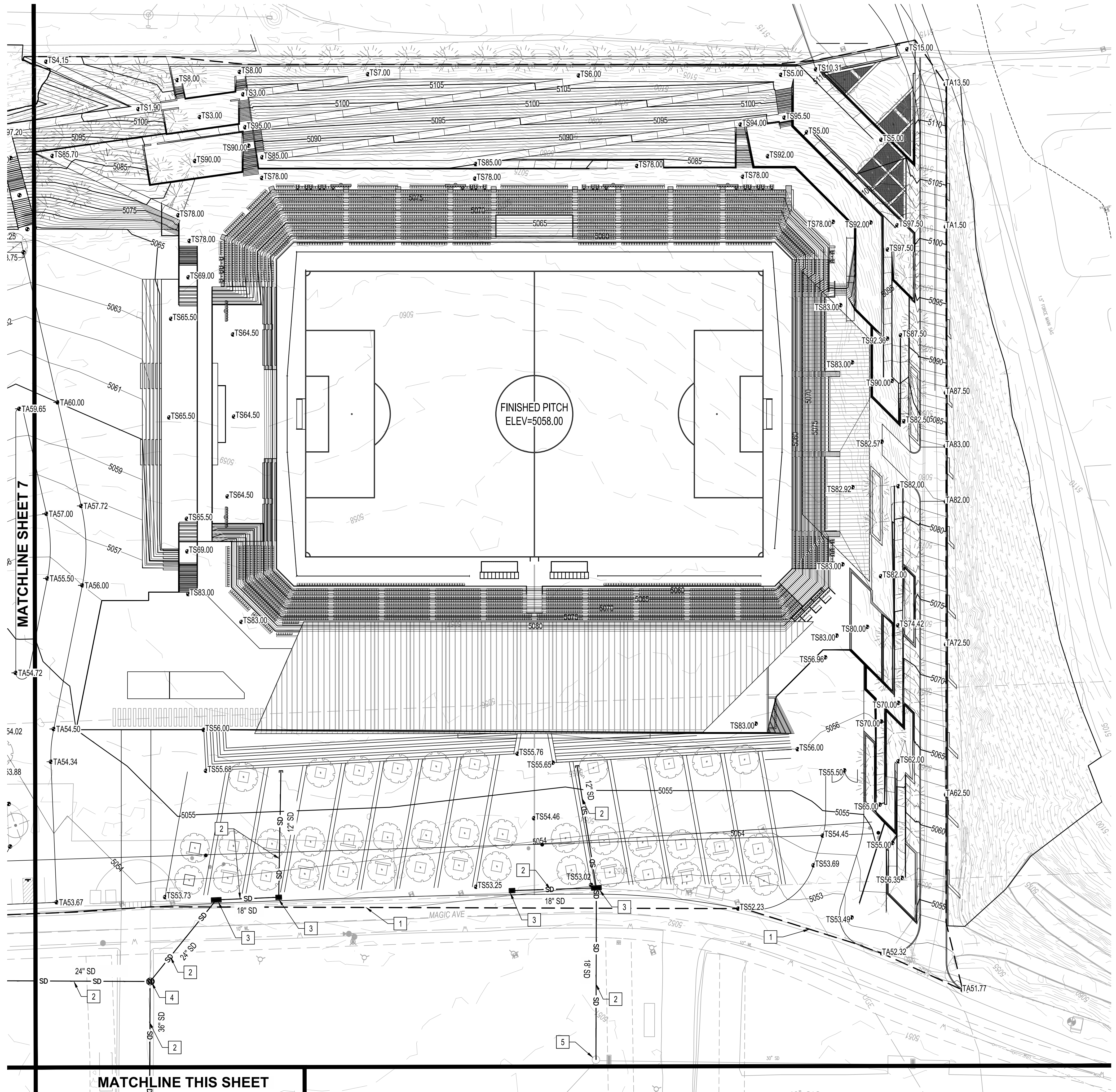
BALLOON FIESTA PARK
**MULTI-USE
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SITE PLAN - EPC
 OVERALL GRADING AND DRAINAGE PLAN

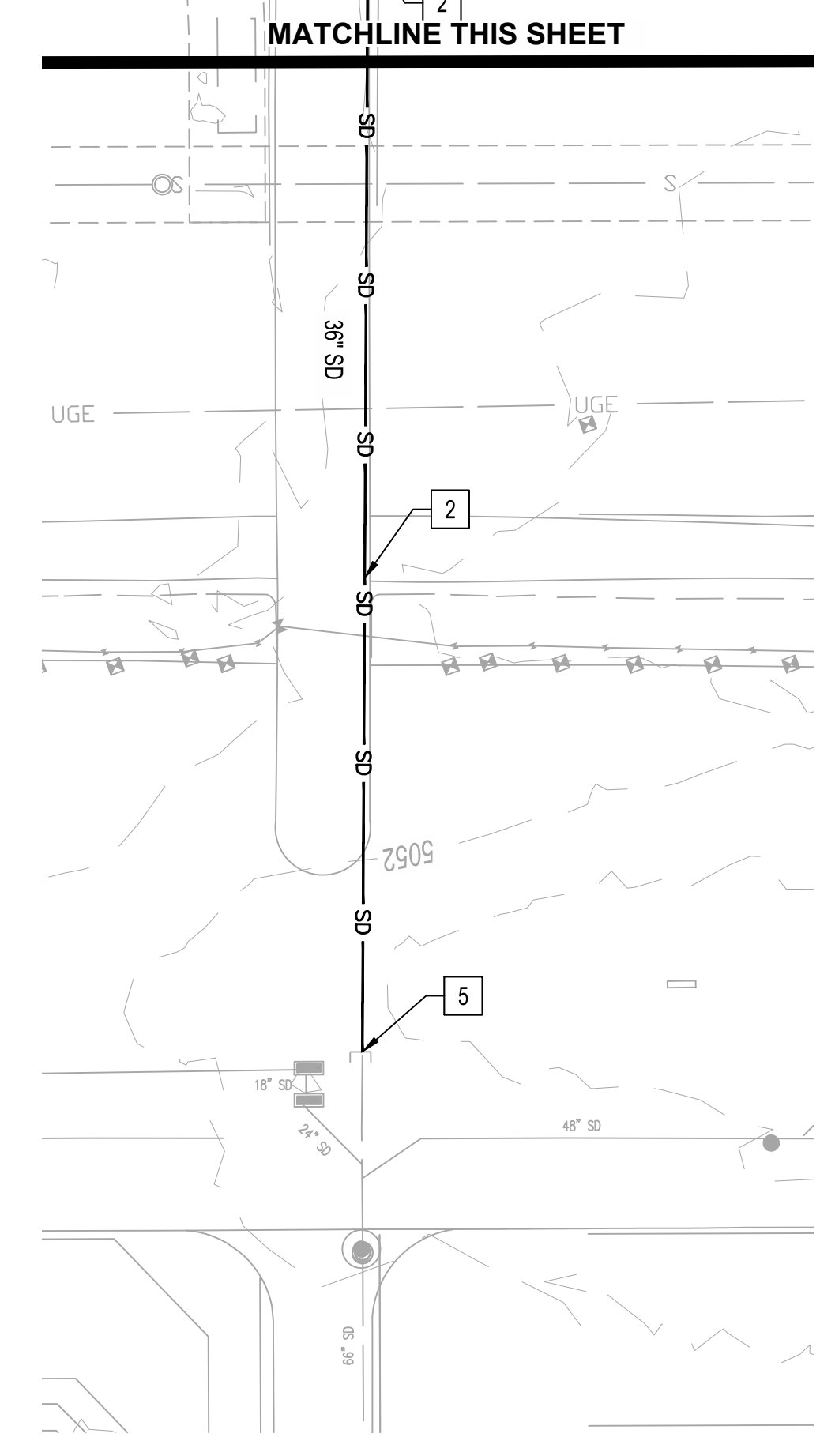




GRADING AND DRAINAGE PLAN - SOUTH
1" = 40'-0"

GRADING KEYED NOTES

1. LIMITS OF GRADING
2. NEW STORM DRAIN LINE
3. NEW STORM DRAIN INLET
4. NEW STORM DRAIN MANHOLE
5. CONNECT TO EXISTING STORM DRAIN SYSTEM
6. RETAINING WALL
7. EXISTING STORM DRAIN TO REMAIN, PROTECT IN PLACE
8. STORMWATER HARVESTING AREA



GRADING AND DRAINAGE PLAN - SOUTH
1" = 40'-0"

LEGEND

- 5320 — PROPOSED INDEX CONTOUR
- 5319 — PROPOSED INTERMEDIATE CONTOUR
- - - 5320 - - - EXISTING INDEX CONTOUR
- - - 5319 - - - EXISTING INTERMEDIATE CONTOUR
- - - - - PROPOSED GRADING LIMITS
- ⊕ PROPOSED STORM DRAIN MANHOLE
- ⊕ PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- SD — PROPOSED STORM DRAIN LINE
- 18.50 SPOT GRADE
- FG=FINISHED GRADE;
TA=TOP OF ASPHALT;
TC=TOP OF CURB; FL=FLOWLINE;
TS=TOP OF SIDEWALK
- ⊞ SOIL STABILIZATION

BALLOON FIESTA PARK
**MULTI-USE
STADIUM**

CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ARCHITECTURE
IMPROVE GROUP +
ODELL A LABELLA COMPANY
ENGINEERING
BOHANNAN HUSTON

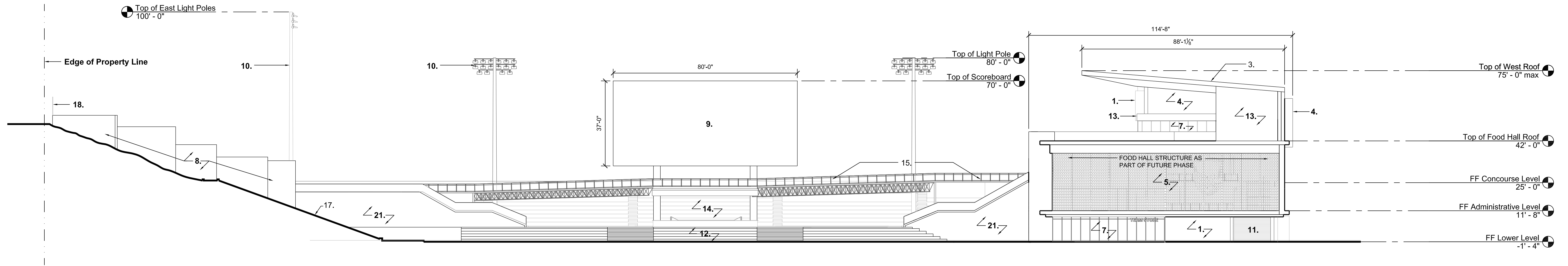
SITE PLAN - EPC
GRADING AND DRAINAGE PLAN - SOUTH

NORTH

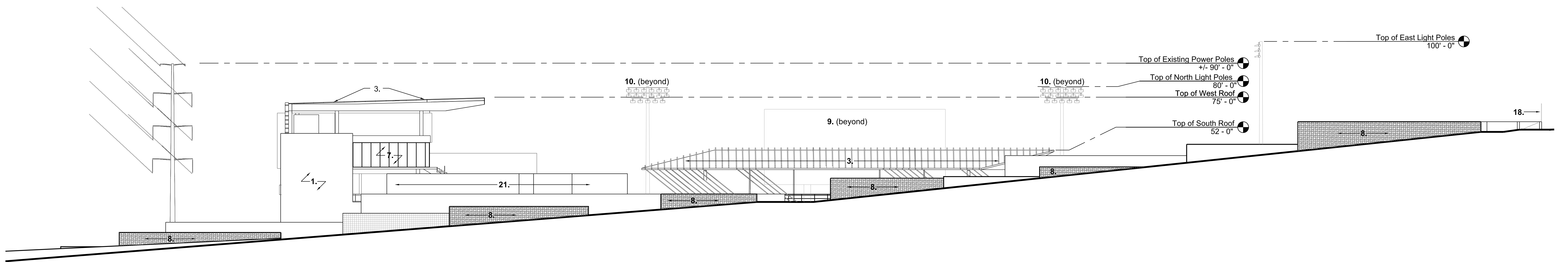
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SHEET 8 OF 10
OCTOBER 05, 2023

Wed, 4-Oct-2023 - 1:50pm Plotted by: OBRONW
P:\2024\116\CCP\FIESTA\General\EPC Sheets\2024116_GFD2.dwg



3 NORTH ELEVATION
1" = 20'-0"



4 SOUTH ELEVATION
1" = 20'-0"



GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

- 1. Precast Architectural Concrete Panels. Warm Earth Tone.
- 2. Aluminum Profile Metal Panel System, Medium Gray Tone.
- 3. Standing Seam Metal Roof System
- 4. Aluminum Composite Metal Panel System. Yellow.
- 5. Kinetic Aluminum Panel Screen Wall
- 6. Curtain Wall Glazing System
- 7. Storefront Glazing System
- 8. Gabion Wall System
- 9. Scoreboard
- 10. Light Poles. See Architectural Details sheet.
- 11. Monumental Stair, Steel Structure. See Architectural Details sheet.
- 12. Concrete Steps, Cast in Place with Integral Color
- 13. Aluminum Composite Metal Panel System, Prey
- 14. Seating Bowl Beyond
- 15. Pedestrian Concourse Bridge
- 16. (not used)
- 17. Grass Berm Picnic Area
- 18. Perimeter Fence, Heavy-Duty Wire Mesh and Perforated Panels.
- 19. Metal Guardrail System. Silver
- 20. Stucco finish system. Warm Grey.
- 21. Stucco Finish System. Warm Earth Tone.
- 22. Signage: NM United Shield, see Architectural Details sheet.
- 23. Signage: Building Sign, see Architectural Details sheet.

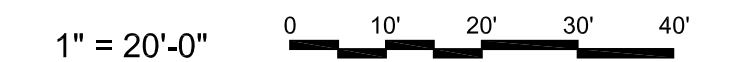


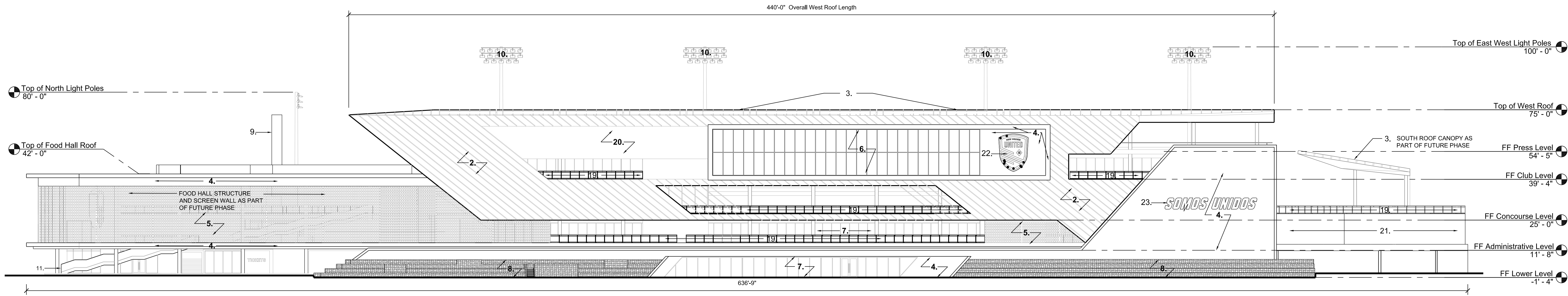
BALLOON FIESTA PARK
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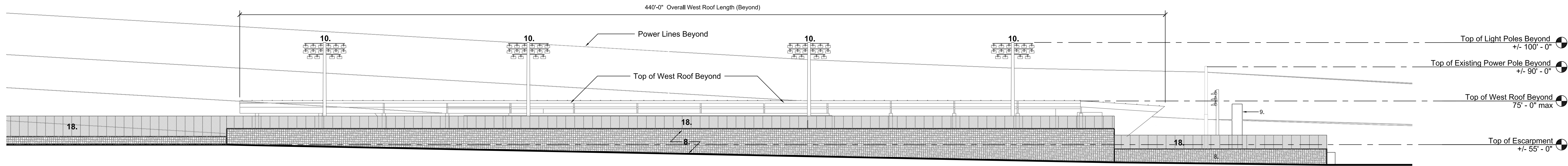
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ENGINEERING
BOHANNAN HUSTON

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Building and Structure Elevations





1 WEST ELEVATION
1" = 20'-0"



2 EAST ELEVATION
1" = 20'-0"

GENERAL NOTES

- a. Finished floor heights are relative to field level (0'-0") which is equal to elevation 5058'.

KEYED NOTES

1. Precast Architectural Concrete Panels. Warm Earth Tone.
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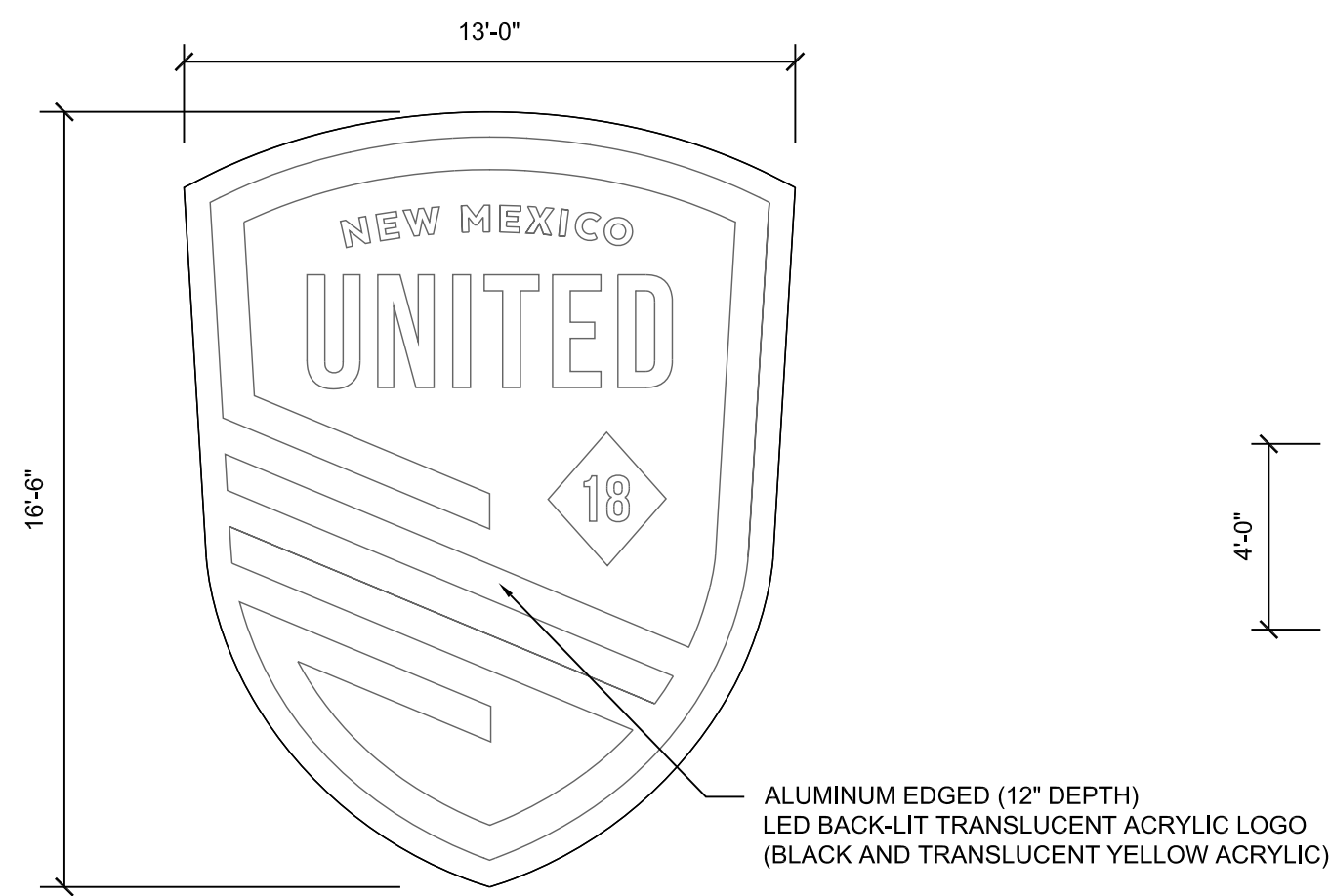


**BALLOON FIESTA PARK
MULTI-USE
STADIUM**

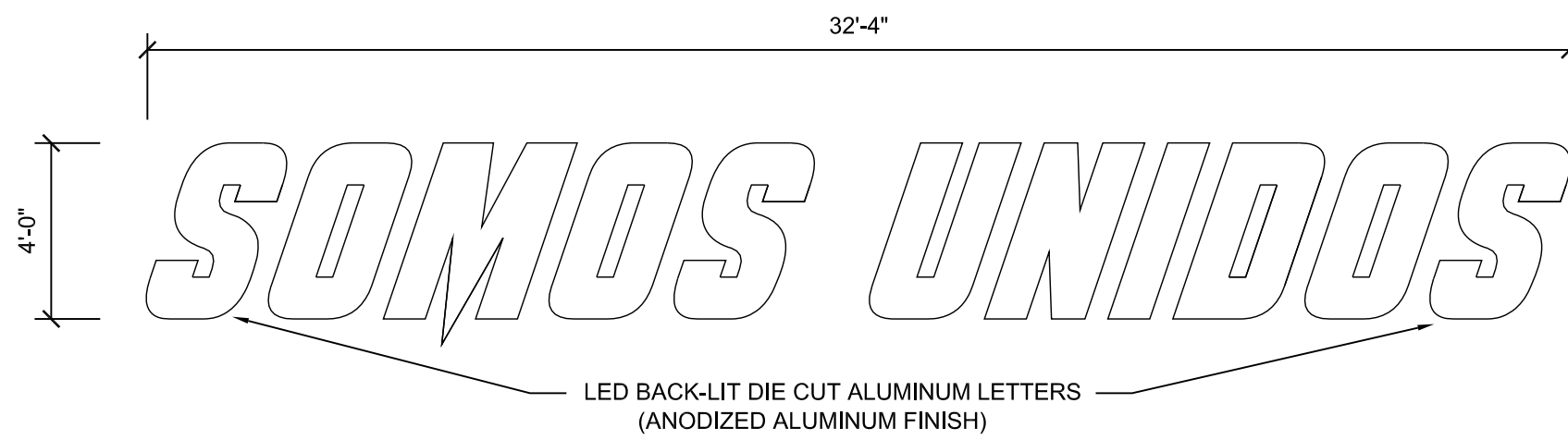
CITY OF ALBUQUERQUE

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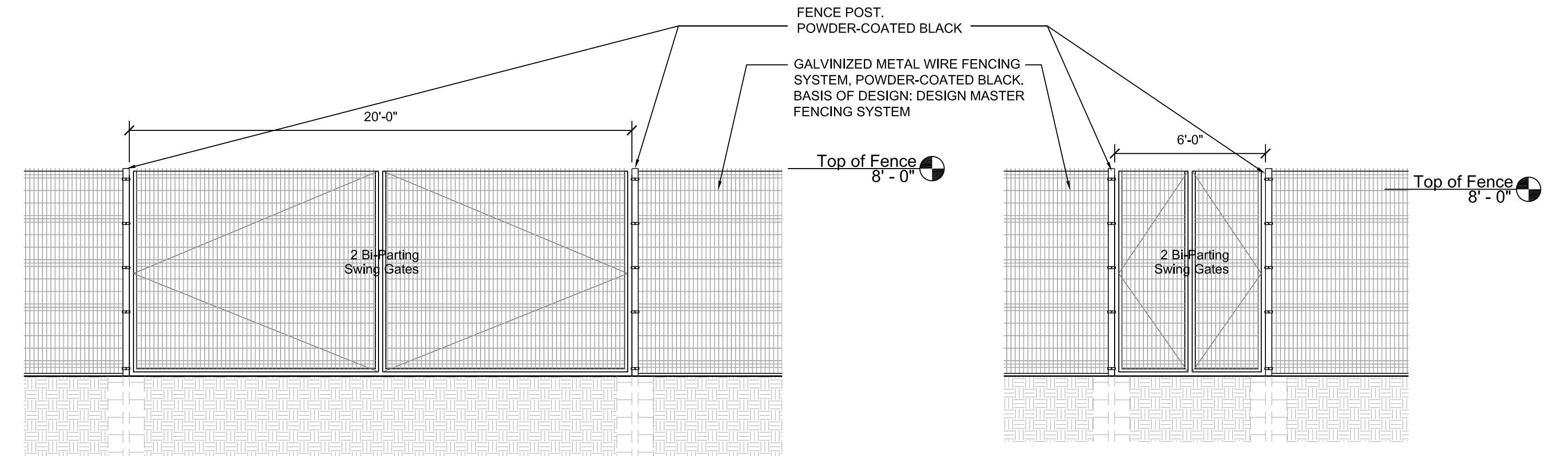
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Building and Structure Elevations



1 UNITED SHIELD SIGNAGE
1/4" = 1'-0"

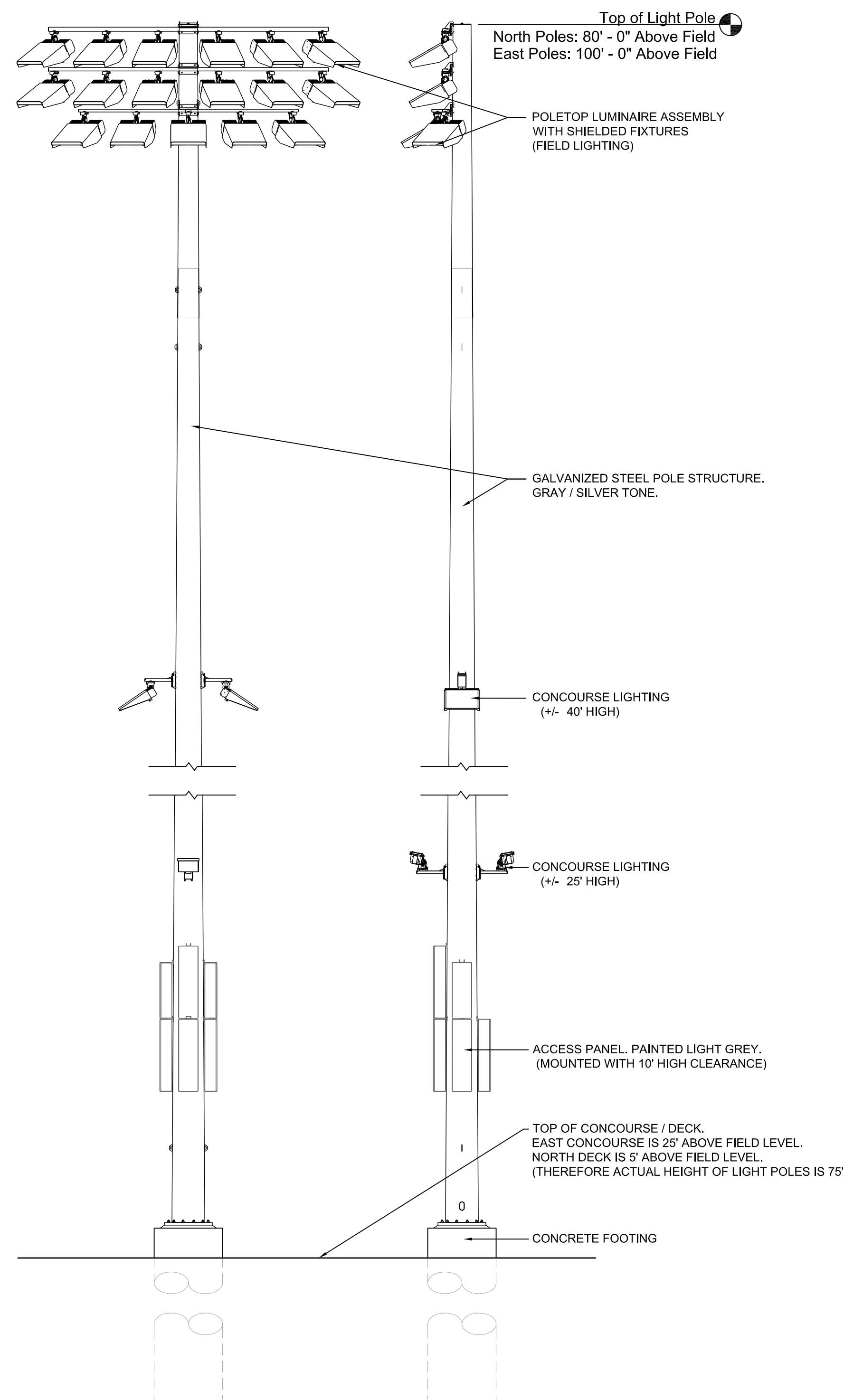


2 WEST STADIUM SIGN
1/4" = 1'-0"

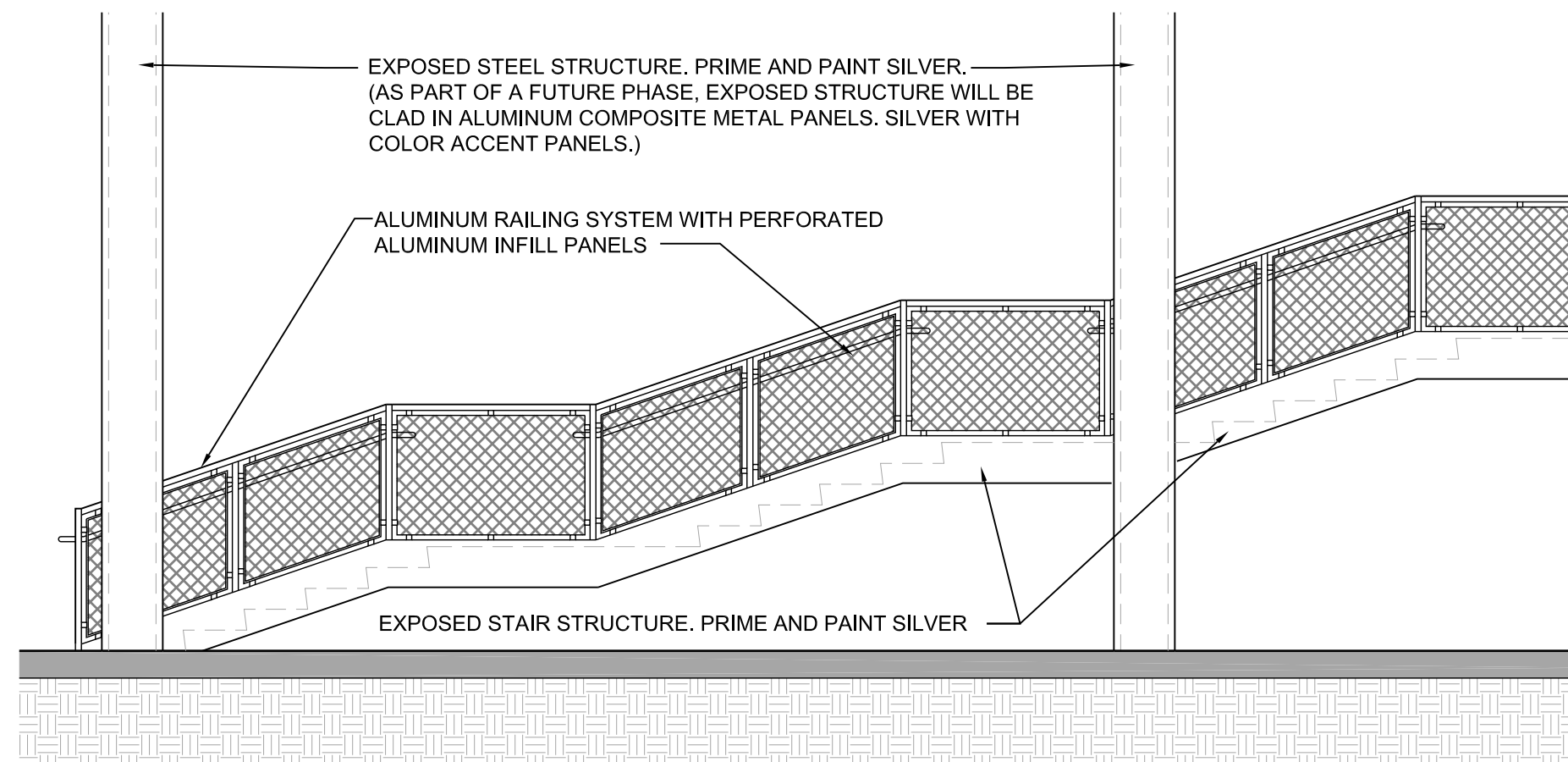


3 TYP. VEHICULAR ACCESS GATE DETAIL
1/4" = 1'-0"

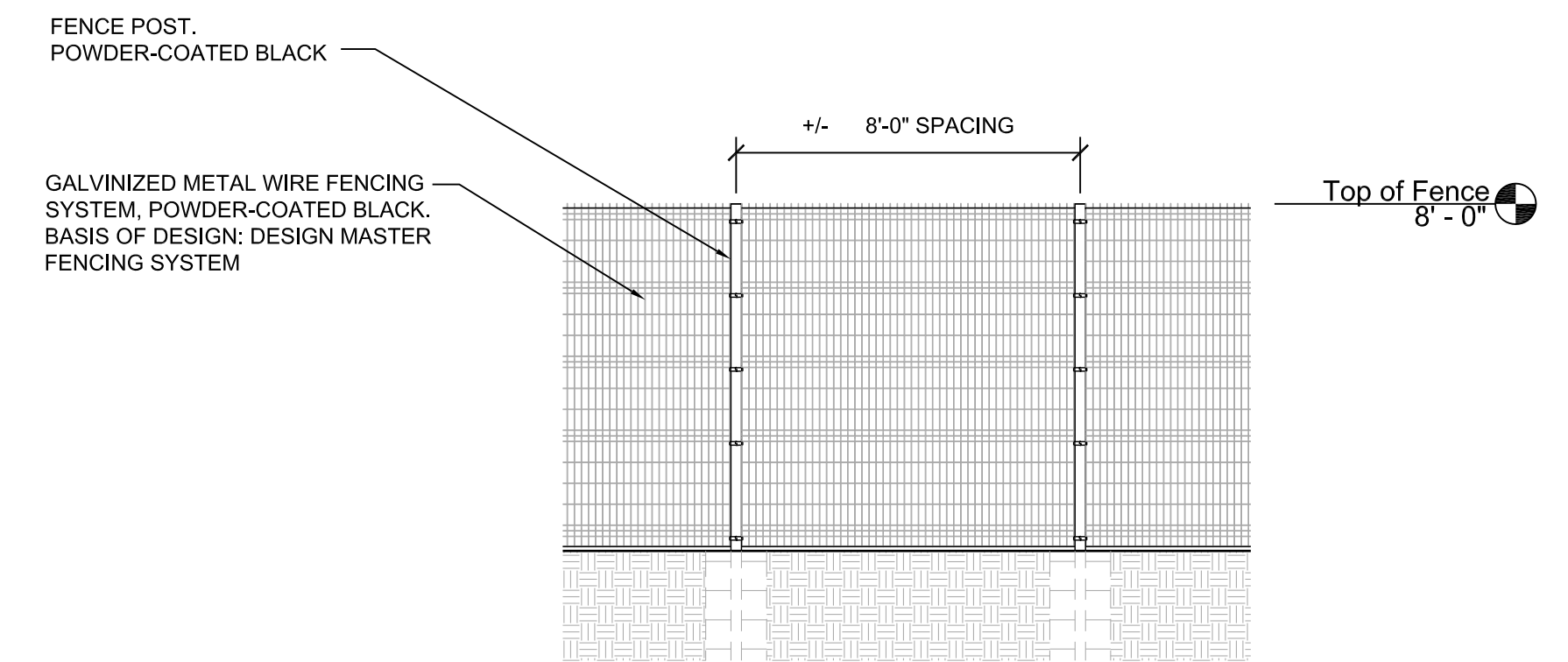
4 TYP. PEDESTRIAN GATE DETAIL
1/4" = 1'-0"



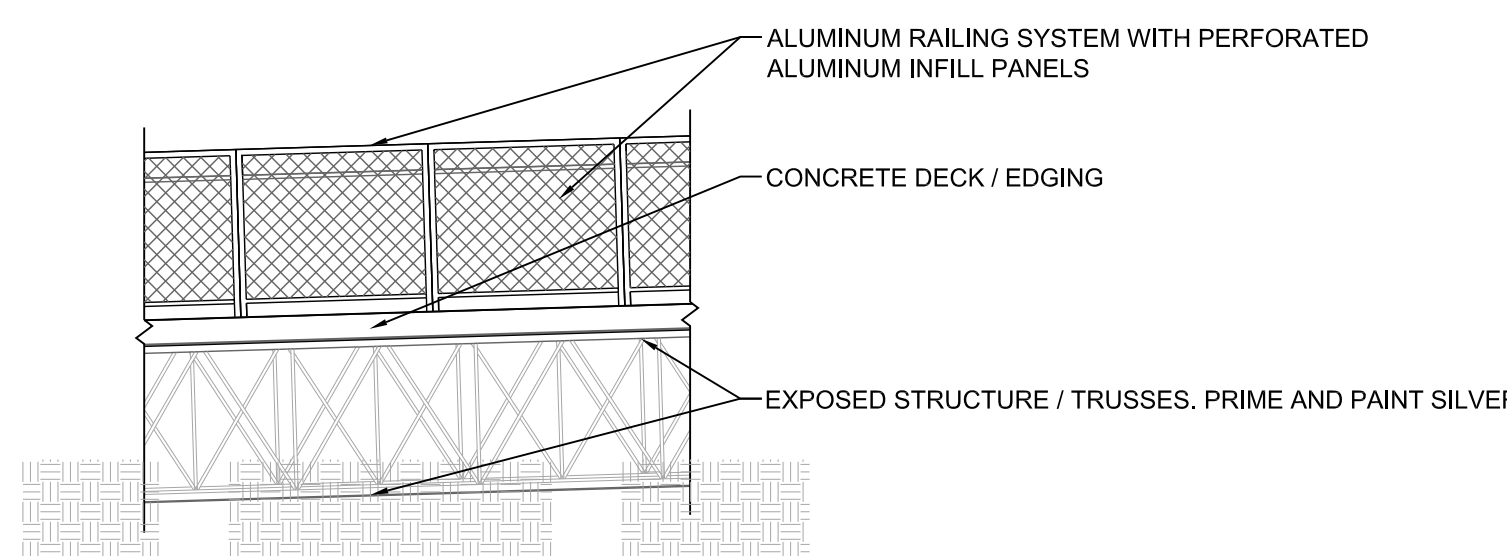
9 LIGHT POLE DETAILS
1/4" = 1'-0"



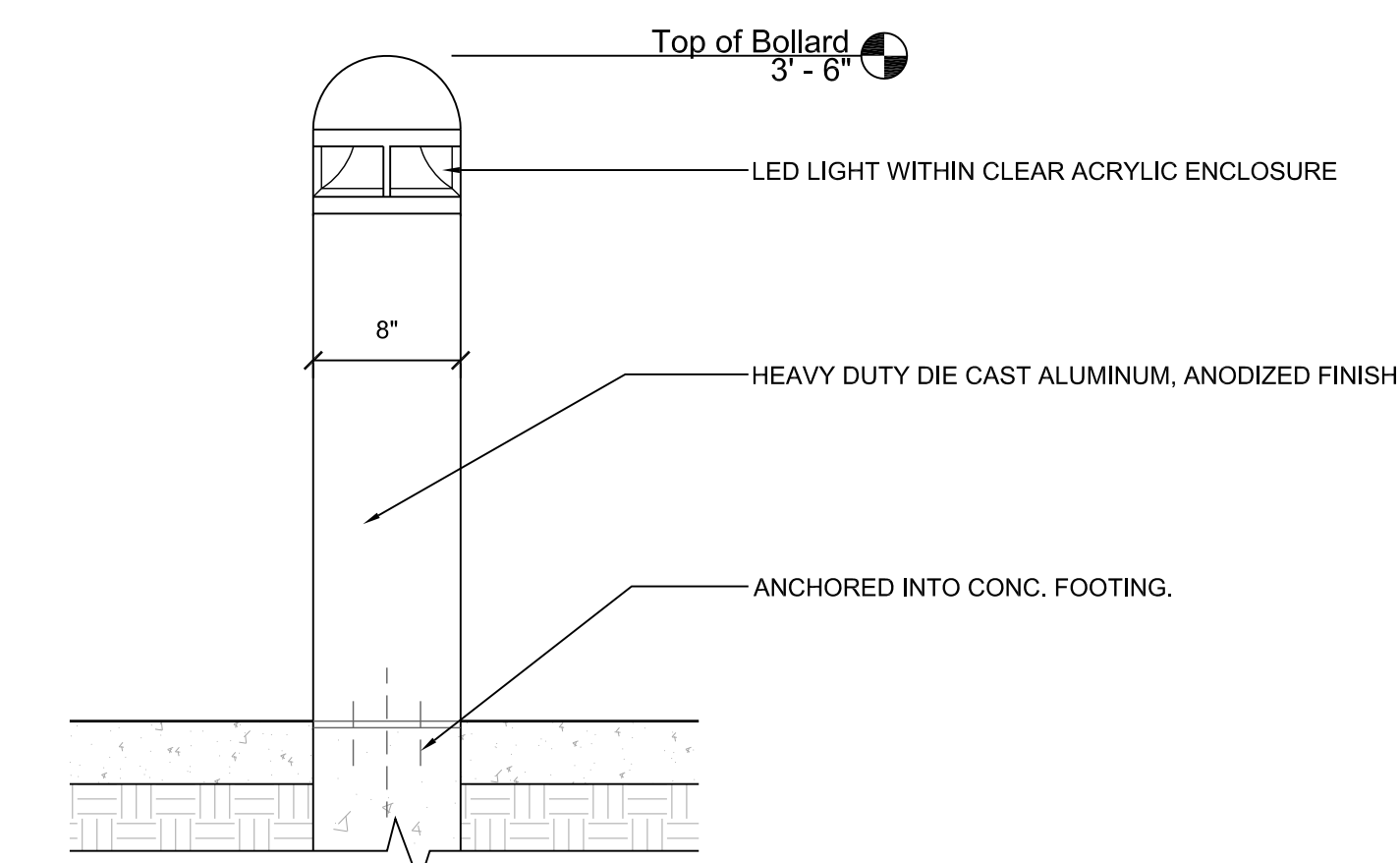
6 ENLARGED MONUMENTAL STAIR ELEVATION
1/4" = 1'-0"



5 TYP. PERIMETER FENCE DETAIL
1/4" = 1'-0"



7 NORTH CONCOURSE BRIDGE / TYP. GUARDRAIL DETAIL
1/4" = 1'-0"



8 LIGHT BOLLARD TYP. DETAIL
1" = 1'-0"



BALLOON FIESTA PARK
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
Architectural Details

1/4" = 1'-0" 0 2' 4' 6' 8'

SHEET 11 OF 11
NOV. 05, 2023