



**Environmental  
Planning  
Commission**

**Staff Report**

**Agenda Item Number: 7  
Project #: PR-2018-001482  
Case #: 2023-01925  
Hearing Date: January 18, 2024**

<b>Agent</b>	Tierra West, LLC
<b>Applicant</b>	Riverside West, LLC
<b>Request</b>	Site Plan – EPC
<b>Legal Description</b>	all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3.
<b>Location</b>	located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln and Coors Blvd.
<b>Size</b>	Approximately 42 acres
<b>Zoning</b>	R-MC

**Staff Recommendation**

**APPROVAL of PR-2018-001482, SI-2023-01925, based on the Findings beginning on Page 21 and subject to the Conditions of Approval beginning on page 25.**

**Staff Planner  
William Steele, Planner**

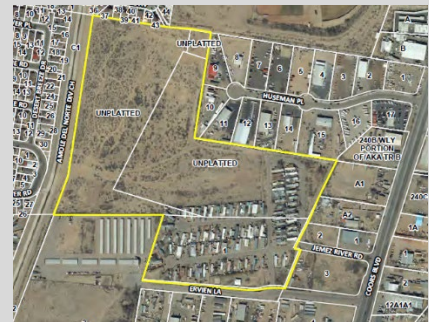
**Summary of Analysis**

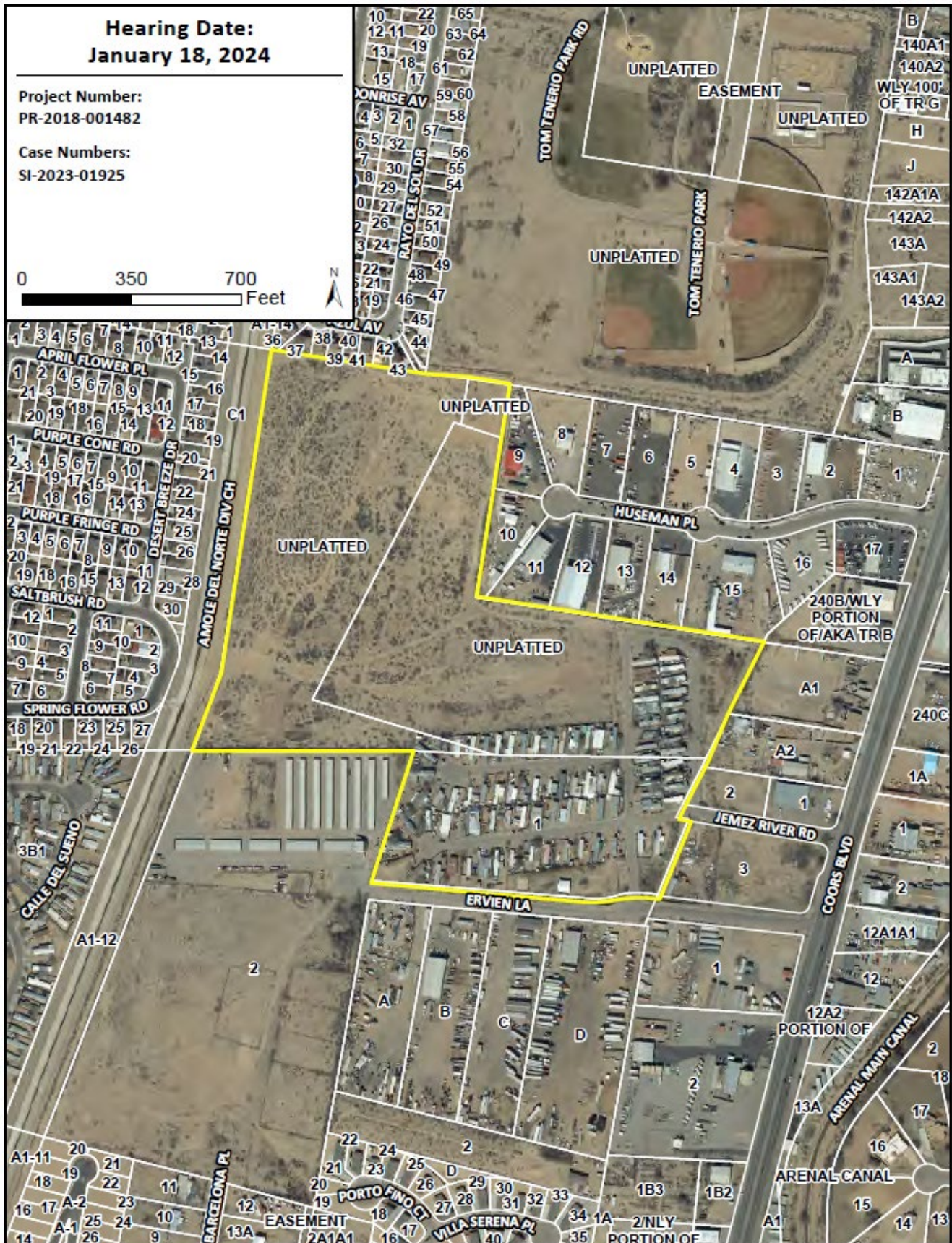
The request is for a new Site Plan-EPC that would facilitate the expansion of an existing manufactured home community on a 42-acre site comprised of two parcels. The request requires EPC approval because the subject site requires a sensitive lands analysis pursuant to IDO Section 6-6(l)(1)(c).

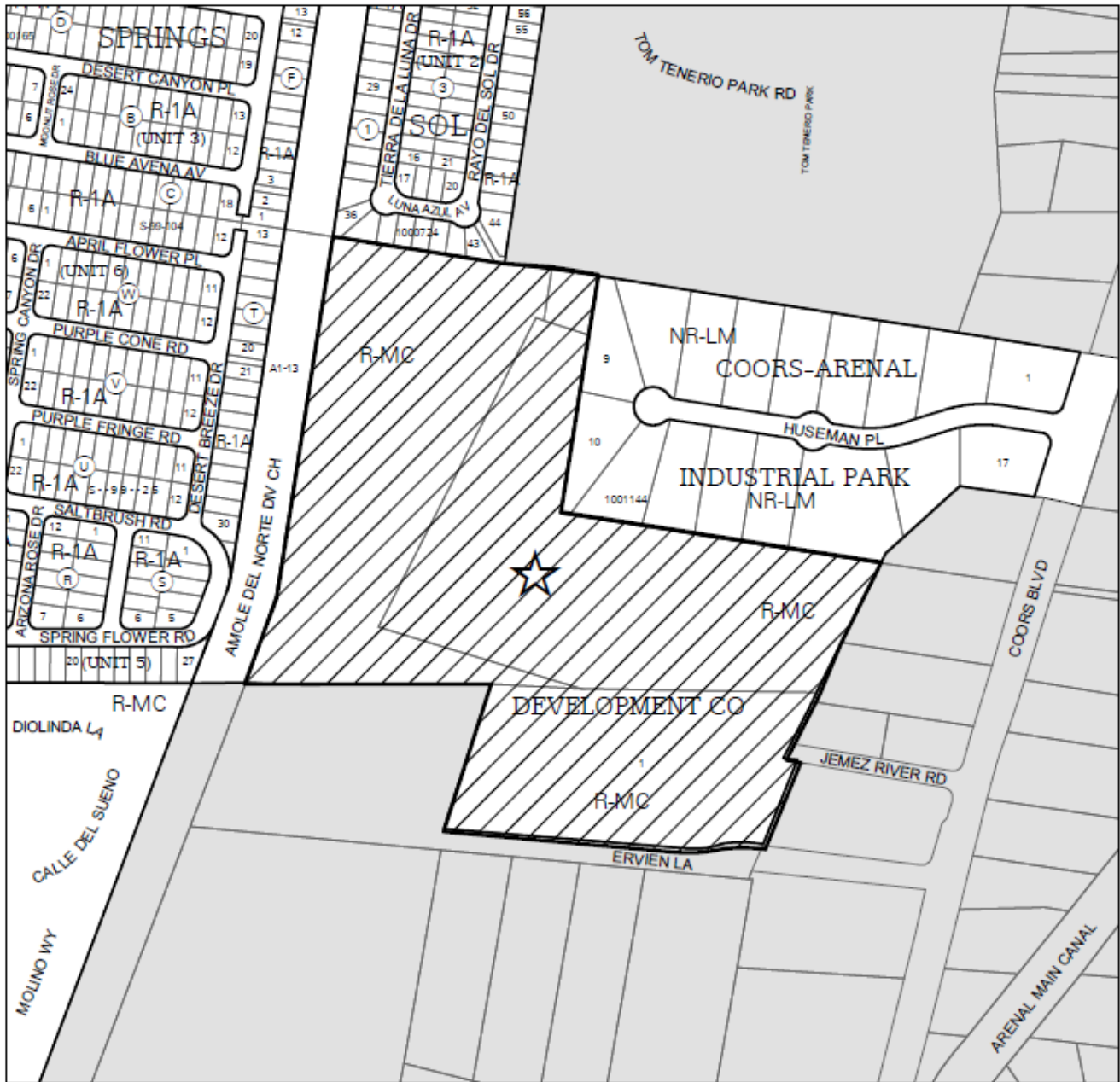
Once approved by the EPC, the proposed site plan would go to the DFT for final sign-off and any associated platting actions would go to the Development Hearing Officer (DHO) for review and approval.

The subject site is in an Area of Change and Area of Consistency and is within 660' of the Coors Blvd Major Transit Corridor. The applicant notified the property owners within 100 feet of the subject site as required, but there were no neighborhood associations to notify.

The applicant has adequately justified the request pursuant to IDO 14-16-6-6(l)(3) for a Site Plan EPC therefore, Staff recommends approval subject to conditions needed to improve compliance with applicable IDO standards and provide clarity for the future.







**IDO ZONING MAP**

Note: Gray shading  
Indicates County.



1 inch = 400 feet

Hearing Date:  
1/18/2024  
Project Number:  
PR-2018-001482  
Case Numbers:  
SI-2023-01925

Zone Atlas Page:  
M-10



### LAND USE MAP

Note: Gray shading  
Indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base

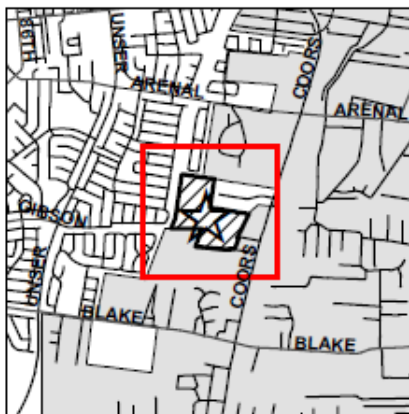
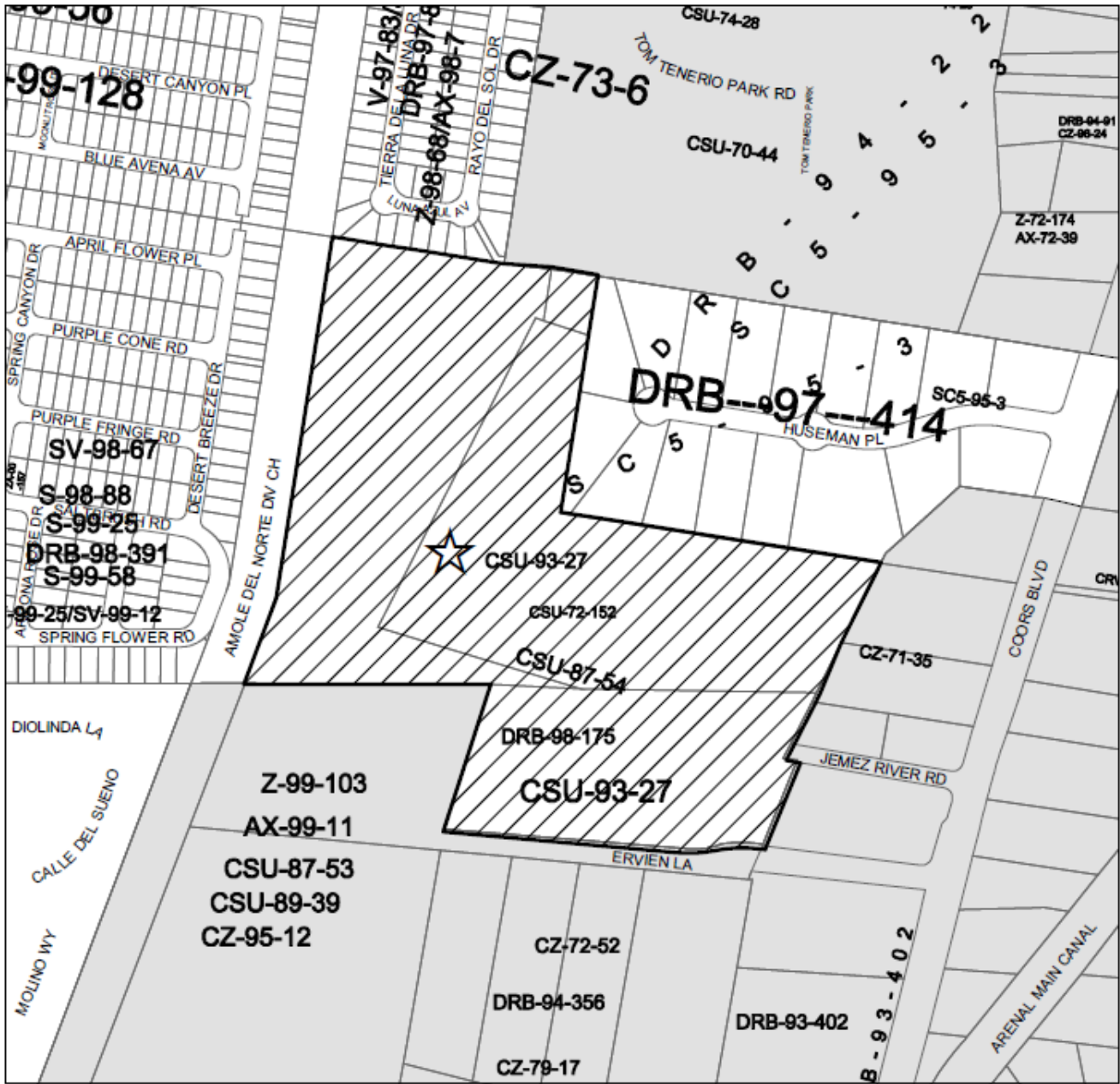


1 inch = 400 feet

Hearing Date:  
1/18/2024

Project Number:  
PR-2018-001482  
Case Numbers:  
SI-2023-01925

Zone Atlas Page:  
M-10



**HISTORY MAP**

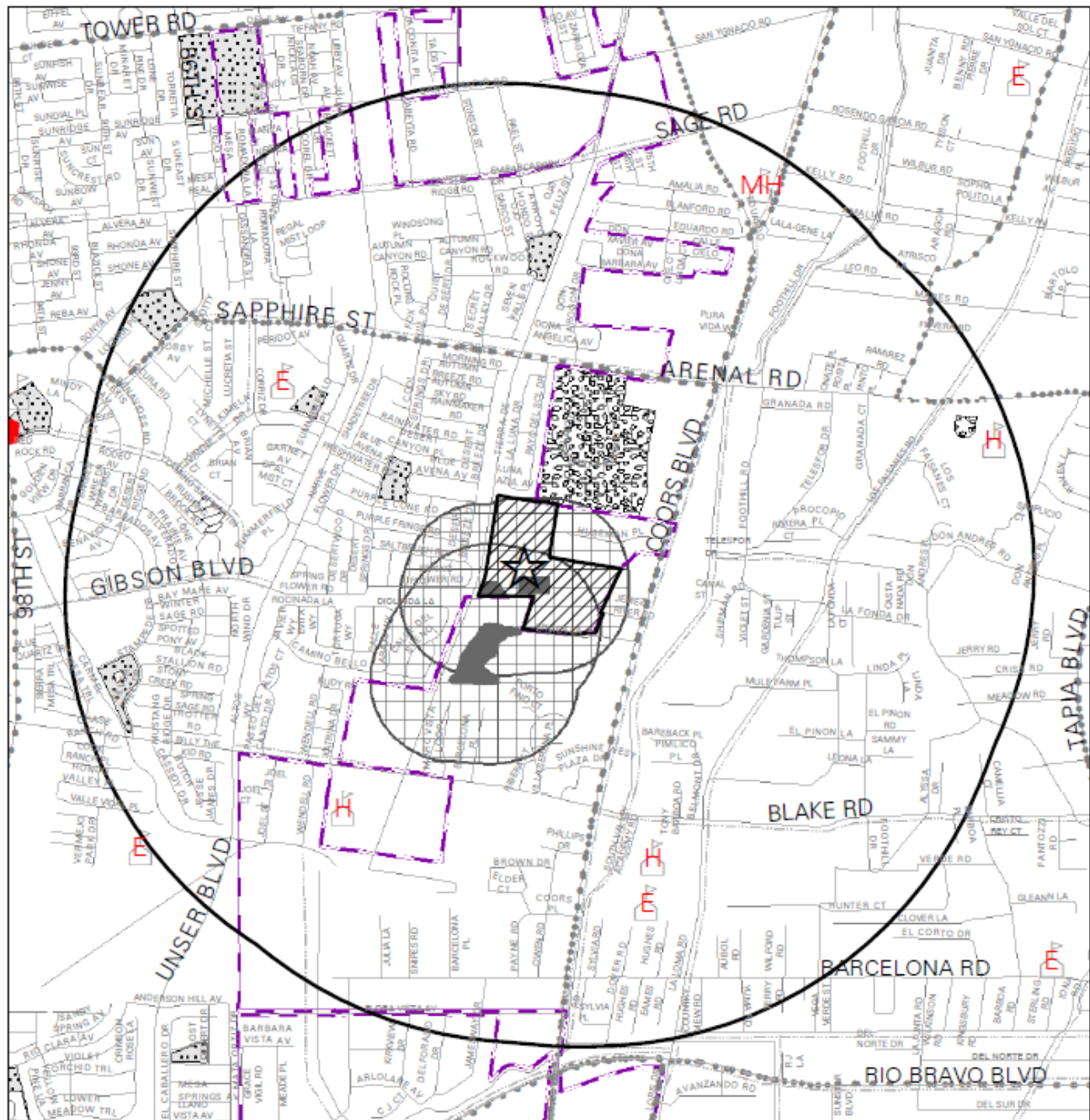
Note: Gray shading  
 Indicates County.



1 inch = 400 feet

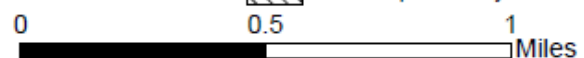
Hearing Date:  
 1/18/2024  
 Project Number:  
 PR-2018-001482  
 Case Numbers:  
 SI-2023-01925

Zone Atlas Page:  
 M-10



**Public Facilities Map with One-Mile Buffer**

- |  |                      |  |             |  |                          |  |                             |
|--|----------------------|--|-------------|--|--------------------------|--|-----------------------------|
|  | Community Center     |  | Fire        |  | Public School            |  | Landfill designated by EHD  |
|  | Multi-Service Center |  | Police      |  | Proposed Bike Facilities |  | Landfill Buffer (1000-feet) |
|  | Senior Center        |  | Sheriff     |  | ABQ Ride Route           |  | Developed City Park         |
|  | Library              |  | Solid Waste |  | Albuquerque City Limits  |  | Undeveloped City Park       |
|  | Museum               |  |             |  |                          |  | Developed County Park       |
|  |                      |  |             |  |                          |  | Undeveloped County Park     |



**Table of Contents**

I. Introduction.....	8
II. Analysis of Applicable Ordinances, Plans, and Policies.....	11
III. Site Plan-EPC.....	16
IV. Site Design & Sensitive Lands.....	18
V. Agency and Neighborhood Concerns.....	19
VI. Conclusion.....	19
Findings, SI-2018-001482.....	21
Conditions, SI-2018-001482.....	25
Agency Comments.....	27
 <i>Attachments</i>	
2-Photographs – Existing Conditions	31
3-Zoning	34
4-Applicant Information	35-55
a-Sensitive Lands Analysis	56
b-Landfill Gas Mitigation Approval	60
5-Staff Information	61-67
6-Notification	68-107
7-Site Plan Drawings	108-116

**I. INTRODUCTION**

***Surrounding zoning, plan designations, and land uses:***

	<b>Zoning</b>	<b>Comprehensive Plan Area</b>	<b>Land Use</b>
<b>Site</b>	R-MC	Area of Change Area of Consistency	Vacant, Manufactured Homes (dwelling, mobile home)
<b>North</b>	R-1A, Unincorporated Area, NR-LM	Area of Consistency Area of Change	Residential-Single Family
<b>South</b>	Unincorporated Area	N/A	N/A
<b>East</b>	NR-LM, Unincorporated Area	Area of Change Area Consistency	Light Manufacturing (Industrial Park)
<b>West</b>	R-1A	Area of Consistency	Residential-Single Family

***Request***

The request is for a new Site Plan EPC for an approximately 42-acre site comprised of 2 parcels legally described as all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3, located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln. and Coors Blvd. (the “subject site”).

The applicant wishes to expand the existing manufacturing home community by adding 96 manufactured-homes to the north-west portion of the entire site, which is currently vacant. The developed portion of the site is comprised of 82 manufactured home units.

There is not a controlling site plan for the subject site, therefore the request is being reviewed as a new site plan EPC. If approved, the site plan would control the subject site, which would be subject to IDO standards moving forward.

Upon approval by the EPC, the site plan would go to the DFT for final sign-off and future platting actions would go to the DHO.

***EPC Role***

The EPC is required to hear the request (SI-2023-01925) pursuant to IDO Section 6-6(I)(1)(c), which requires a Site Plan-EPC to be reviewed and decided for any Site Plan application for development that has not avoided sensitive lands identified in the sensitive lands analysis required pursuant to



Subsection 14-16-5-2(C). The site plan is within a landfill gas buffer area which is a “sensitive land” pursuant to IDO Section 14-16-5-2(H).

The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would then make the final decision. This case is a quasi-judicial matter.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

### **Context**

The subject site part of an existing manufactured home community near the intersection of Coors Blvd. and Ervien Ln SW. Unincorporated Bernalillo County is to the south. Portions of northern and eastern portions of the subject site are adjacent to unincorporated Bernalillo and share zoning with R-1A and NR-LM zoning districts respectively. The vacant north-west side of the subject site borders the Amole Del Norte Diversion Channel (drainage ROW) across from R-1A zoning and residential uses.

The surrounding area is characterized by a small variety of land uses-predominately residential, light manufacturing, and some office uses. Although the subject site is within the boundaries of the City of Albuquerque its only means of entry is through Unincorporated Bernalillo County.

### **History**

The subject site is within a landfill gas buffer area. The Riverside Construction landfill was in operation from 1987-1992 and the Seay Brothers construction landfill was in operation from 1983-1995. All development within a landfill gas buffer requires a Landfill Gas Mitigation Approval pursuant to Subsection 14-16-6-4(S)(5) to ensure that potential health and safety impacts are addressed.

The existing manufactured home community was developed in 1996.

In 2018 an Archeological Ordinance was completed to manage potential archeological discoveries. A sketch plat was submitted in February 2023 to meet DHO platting process and requirements.

The EPC approved a Site Development Plan on December 17, 2004, and it was approved by the DRB on 7-25-07 for 243 single family detached homes and a private park, but the subdivision was never built (1000976). Pursuant to IDO Table 6-4-3 the approved Site Development Plan period of validity expired after 7 years from the date of approval on December 17, 2011.

A request for a sidewalk waiver was approved by DHO on December 20, 2023.

No further case history on the subject site is known.

### **Transportation System**

The Long-Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies the functional classification of roadways.

Ervien Lane SW and Jemez River Road are local urban streets and are not classified on the LRRS map. Both roads are in the Bernalillo County jurisdiction. Coors Blvd SW is classified as an existing Regional Principal Arterial.

### **Comprehensive Plan Designations**

The subject site is in an Area of Change and Area of Consistency as designated by the Comprehensive Plan. It is not within a designated Activity Center.

The subject site is within 660' of the Coors Blvd. SW Major Transit Corridor. Major Transit Corridors are anticipated to be served by high frequency and local transit (e.g., Rapid Ride, local, and commuter buses). These corridors prioritize transit above other modes to ensure a convenient and efficient transit system. Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the Centers they connect.

It is within the Southwest Mesa Community Planning Area (CPA). This CPA is characterized by its suburban subdivisions, impressive vistas of the Sandia Mountains, Bosque and Downtown, and connection to the Western mesa vista, this area is still developing, and its identity and sense of community is still emerging. It is an Arid mesa environment characterized by sand flats, dunes, and escarpments dotted with scrub juniper and sage.

### **Overlay Zones**

The subject site is not within the boundaries of a Character Protection Overlay (CPO), a Historic Protection Overlay (HPO), or a View Protection Overlay (VPO).

### **Trails/Bikeways**

The Mid-Region Council of Governments (MRCOG) Metropolitan Transit Plan (MTP) Long Range Bikeway System and the City's Bikeways and Trails Facility Plan designates Coors Blvd SW as a Proposed Protected Bike Lane. Ervien Ln SW does not have a designated bike lane or trail.

### **Transit**

There are no transit routes along Ervien Ln SW.

ABQ Ride bus route 155 runs north and south on Coors Blvd SW, beginning at the Northwest Transit Center Park and Ride and ending at the Coors and Gun Club southernmost bus stop before returning north.

### **Public Facilities/Community Services**

Please refer to the Public Facilities Map (Page 6, which shows public facilities and community services located within one mile of the subject site.

## **II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES**

### ***Integrated Development Ordinance (IDO)***

#### **Definitions**

**Area of Change:** An area designated as an Area of Change in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where growth and development are encouraged, primarily in Centers other than Old Town, Corridors other than Commuter Corridors, Master Development Plan areas, planned communities, and Metropolitan Redevelopment Areas.

**Area of Consistency:** An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

**Manufactured Home:** A structure transportable in one or more sections that is built on a permanent chassis, is designed for use with or without a permanent foundation when connected to the required utilities, and meets the construction safety standards of the federal Manufactured Housing Act of 1974. Similar structures that do not meet the construction safety standards of that Act are referred to as mobile homes and are not allowed to be installed in the city. For the purposes of this IDO, manufactured homes are considered single-family detached dwellings. See also Dwelling Definitions for Dwelling, Mobile Home and Dwelling, Single-family Detached.

**Dwelling, Mobile Home:** A transportable structure that does not meet the construction safety standards of the federal Manufactured Housing Act of 1974. For the purposes of this IDO, this definition includes transportable structures built prior to June 15, 1976, when the Act went into effect.

**Site Plan:** An accurate plan that includes all information required for that type of application, structure, or development.

**Major Transit (MT) Area:** Lots within 660 feet in any direction of the centerline of a Major Transit Corridor as designated by the ABC Comp Plan, as amended.

### ***Zoning***

The subject site is zoned R-MC (Residential-Manufactured Home Community). Pursuant to IDO 14-16-2-3(C) the purpose of R-MC zoning is to accommodate manufactured home communities and to require those communities to incorporate high-quality planning and design. Allowable uses are shown in IDO Table 2-3-5, Table 2-3-6 and Table 5-1-1.

### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated Areas of Change and Areas of Consistency. Areas of Change allow for a mix of uses and development of higher density and intensity in areas where growth is desired and can be supported by multi-modal transportation. In Areas of Consistency the focus is on protecting and

enhancing the character of existing single-family neighborhoods, existing development and green spaces.

The intent is to make Areas of Change the focus of new urban-scale development that benefit job creation and expanded housing options. By focusing growth in Areas of Change, additional residents, services, and jobs can be accommodated in locations ready for new development.

Areas of Consistency are made up of single-family neighborhoods where little change is anticipated, and any future development should be mindful of surrounding context to be compatible with the established character of existing development. Areas of Consistency include any development that happens should be designed carefully to reinforce the character, scale, and intensity of surrounding neighborhoods or nonresidential development.

Applicable Goals and policies are listed below. Goals added by staff are denoted with an asterisk. Staff analysis follows in bold italics.

#### *Chapter 4: Community Identity*

##### Goal 4.1 Character: Enhance, protect, and preserve distinct communities

***The request would enhance, protect and preserve the surrounding community because the subject site is located in an established residential community within the Coors Blvd Major Transit Corridor. The proposed development is consistent with the distinct character of the existing manufactured home community and will encourage quality development with the expansion. The protection of the community will be preserved by the meeting sensitive land mitigation requirements for the landfill gas buffer area on the site. The proposed Site Plan would enhance the surrounding area by adding to the quantity of manufactured homes already in the community. The request is consistent with Goal 4.1: Character.***

##### Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

***The proposed manufactured homes would help protect the identity and cohesiveness of the surrounding residential neighborhood because it would add more residential to an established neighborhood, which is developed with existing manufactured homes. The addition of manufactured homes would be an appropriate scale and location because development is proposed on a vacant area of the site where there are existing manufactured homes. The proposed would be located in an area of development that is primarily residential with some nearby commercial uses. The request is consistent with Policy 4.1.2 – Identity and Design.***

##### Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

***The request would enhance and preserve neighborhoods and traditional communities by maintaining and expanding the manufactured home use in an established residential community. This expansion could provide more housing opportunities for new residents in the***

***Southwest portion of the city. The request would protect the community and neighborhood as key to their long-term health and vitality because the City's Environmental Health Department has determined and approved the appropriate landfill gas buffers and mitigation for the project site. These precautions should ensure that the current and future health and vitality are protected. The request is partially consistent with Policy 4.1.4 – Neighborhoods.***

***\*Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.***

***The subject site is located in an Area of Change and within 660' of a Major Transit Corridor, which are highlighted infill development locations within the Comprehensive Plan. The proposed development would be served by existing infrastructure and public facilities. The expansion of the manufactured home community made possible by the request would promote efficient development patterns and use of land that is similar to the surrounding area in intensity and scale. The request is consistent with Policy 5.3.1 – Infill Development.***

***Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.***

***The subject site is within both an Area of Change and Area of Consistency. Direct growth is encouraged in the Area of Change because the subject site is expanding the manufactured home use where it that use is expected and desired. The subject site is also in an Area of Consistency and meets this Goal because it reinforces and supports existing nearby residential uses and reinforces the character and intensity of the existing manufacturing home community. The request is generally consistent with Goal 5.6-City Development Areas.***

***Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.***

***The request is consistent with the policy by directing more growth and more intense development by being within 660' of a Major Transit Corridor which offers public transit and vehicular access to nearby industrial and business parks. The subject site is located in an Area of Change where change and redevelopment are being encouraged. The addition of manufactured housing options in the existing community adds to the direct growth and development to an area with adequate infrastructure and where other services exist. The request is generally consistent with Goal 5.6.2-City Areas of Change.***

***Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.***

***This request protects and enhances the character of the existing neighborhood in an Area of Consistency due to the addition of more manufactured homes to the existing community. Although the project site is within 660' of a Major Transit Corridor and near a Bernalillo County***

***Park, it is outside of Centers and Major Public Open Space. The community character is reinforced by the expansion of the manufactured home community on the subject site because it enhances the other surrounding residential uses. The request is generally consistent with Policy 5.6.3-Areas of Consistency.***

*Chapter 9: Housing*

**Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.**

***The request would facilitate the development of 96 additional manufactured homes in a manufactured home community and would ensure a sufficient supply of manufactured homes. The proposed site plan will encompass manufacturing homes that will increase the supply and range of similarly high-quality manufactured homes because it is another source of residential housing at price levels which can differ from non-manufactured homes. The request is partially consistent with Goal 9.1 Supply.***

**Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households**

***The request would facilitate the expansion of a manufactured home community by adding 96 units and while conserving the existing 68 manufactured homes on the site. This development will improve the area by creating needed housing on a vacant site, thereby improving the existing neighborhood. The existing manufactured home community supports diverse housing options within the southwest area of the city because it another source of residential use that provides individuals and families of various income levels the opportunity to own a manufactured home. The request is generally consistent with Goal 9.1.1 Supply.***

***Integrated Development Ordinance (IDO) 14-16-6-6(J)(3)- Site Plan-EPC Review and Decision Criteria***

The request is for a Major Amendment of a Pre-IDO approval for the review of auto-related uses and services. IDO Section 14-16-6-6(J)(3) states that any application for a Site Plan-EPC, including a Major Amendment, would be approved if it meets all of the following criteria:

6-6(l)(3)(a) The site plan is consistent with the ABC Comp Plan, as amended.

***As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.***

6-6(l)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

***The subject site is zoned R-MC; although no development agreements or regulations are in place for the project site, a Site Development Plan was***

**approved by the EPC in 2004 but was never developed and its period of validity expired in 2011.**

- 6-6(l)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**The subject site is located in the R-MC zone district. The proposed site plan is for the development of 96 manufactured homes which would comply with all applicable provisions of the IDO and as determined through the EPC process. The Site Plan is required to follow all DPM and any other adopted City regulations.**

- 6-6(l)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

**The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. A DHO waiver to the sidewalk requirements in the Development Process Manual has been approved. Therefore, the proposed site plan has sidewalks on only one side of the street.**

- 6-6(l)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

**The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. When designing the site plan the applicant has taken steps to mitigate any adverse impacts from landfill gasses to the surrounding area. The applicant has received approval for its assessment and mitigation plan for regarding the landfill gas buffer area from the City's Environmental Health Department (EHD) and they will provide the EHD with a landfill gas report.**

- 6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

**The subject property is not within a Master Development Plan.**

- 6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development would not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

***The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, the above criterion does not apply.***

### **III. SITE PLAN - EPC**

#### **A. Request**

The request is for a Site Plan-EPC for the expansion of an existing manufactured home community on an approximately 42-acre site comprised of 2 parcels, located on Ervien Ln SW. The request requires EPC approval because the subject site is within a landfill gas buffer area and required a sensitive lands analysis.

The proposed Site Plan includes the existing manufactured home community with the addition of 96 manufactured home lots, internal streets, landscaping, utilities, grading and drainage, etc.

The proposed site plan would be required to follow all applicable provisions and Design Standards for the R-MC zone district, pursuant to IDO 14-16-2-3(C). The proposed site plan is required to comply with all applicable provisions of the IDO, the DPM, other adopted City regulations, and any other terms and conditions specific to the subject site in a prior approval.

The site plan and related drawings were revised based on Staff and Agency Comments and were received January 4, 2023. Staff has crafted conditions of approval to create compliance as needed and to provide clarity for the future. With the EPC's approval, the Site Plan would go to the DFT for final Sign-off.

Pursuant to IDO Section 14-16-6-4(Q), the decision-making body may impose conditions necessary to ensure compliance with the development standards of this IDO via the Site Plan-EPC Review and Decision Criteria of IDO Section 14-16-6-6(I).

#### **B. Review of Proposed Site Plan**

##### ***Site Plan Layout/Configuration***

The proposed site plan is located on an a 42-acre site which contains an existing manufactured home community. The proposed expansion of 92 lots is located on the north-west portion of the site. Vehicles can enter the manufactured home community from Ervien Ln SW or Jemez River Rd via Coors Blvd SW. New sidewalks are located on one side of the internal streets in the proposed expansion. A new detention pond and open space are north of the existing manufactured homes and southeast of the proposed expansion.

##### ***Pedestrian, Bicycle and Transit Access***

Pedestrians can access the site via sidewalk, transit, and bicycle. There is adequate sidewalk infrastructure that serves the site.

There is an existing transit route along Coors Blvd SW and a parallel bus stop near the intersection of Coors Blvd SE and Ervien Ln SW. Currently, Coors Blvd SE doesn't have existing



bike lane. The request would not change any existing infrastructure that would affect transit access. Additional pedestrian access to the proposed expansion is provided by new 5' wide concrete sidewalks with ADA ramps on one side of the street per a sidewalk waiver approved by DHO on 12/20/23.

Additionally, a new sidewalk is proposed from Coors Blvd SW to the end of Jemez River Rd where a unidirectional ramp will be located for pedestrian access to cross the street and continue on the existing sidewalk to access the manufactured home community. ADA requirements shall be followed.

***Vehicular Access, Circulation and Parking***

Vehicular Access to the site will be via entrances to the manufactured home community on Ervien Ln SW and Jemez River Rd. There is a proposed 26' emergency fire access easement on the project site which connects to the existing 20' fire access easement through the Rayo Del Sol subdivision to the north.

New fire hydrants will be installed throughout the internal streets on the project site for access by the City Fire Department.

***Landscaping, Buffering and Screening***

Pursuant to IDO Section 14-16-5-6(B) Landscaping is not applicable for Manufactured Home Communities, unless specified in the IDO. A Landscaping Plan was provided as part of the Site Plan-EPC with some landscaping on site.

The Landscape Plan (L1.0) includes drought tolerant and native plants that are approved by the Albuquerque Plant Pallet.

A new landscaped edge buffer is proposed along the new internal streets and fire access easement. The proposed trees include 9 Austrian Pine, 12 Netleaf Hackberry, 16 Crimson Oak and 33 Oklahoma Redbud for a total of 70 trees. The drainage basement treatment would be a native seeding mix.

An automatic drip irrigation will be used to irrigate the trees and grown cover. The irrigation system will be on automatic timers.

***Lighting***

New 16' property site light poles with cut off shields are proposed to prevent light pollution.

***Elevations/Architecture***

No elevations are being proposed.

***Signage***

No signage is being proposed.

***Grading and Drainage Plan***

Grading and erosion control practices comply with the DPM. A minimum of grade change is being proposed and all slopes comply with applicable standards of the DPM. Grading is not being proposed near the property line.

One new detention pond is proposed, located north of the existing manufactured homes and southeast of the proposed expansion. The detention pond will serve the drainage from the three inlets to serve the proposed manufactured homes and internal streets. The existing detention ponds will continue to serve the existing manufactured homes and streets.

***Utility Plan***

The utility plan reflects existing Sanitary Sewer (SAS), waterlines, and new fire hydrants, SAS, waterlines and plumbing on site.

**IV. 5-2 SITE DESIGN & SENSITIVE LANDS**

New residential homes and site design shall avoid locating development in sensitive lands. Pursuant to IDO Section 5-2(H) Sensitive lands include landfill gas buffer areas, which comprise of closed or operating landfills and the areas of potential landfill gas migration surrounding them. Development within landfill gas buffer areas, as established by Interim Guidelines for Development within City Designated Landfill Buffer Zones of the City Environmental Health Department and as shown on the Official Zoning Map, shall follow the Interim Guidelines to mitigate health hazards due to methane and other byproduct gases.

The subject site is within a former construction landfill area. The applicant proposed a mitigation plan submitted per discussions with the City Environmental Health Department. These mitigation measures would include excavation of landfill debris beneath any proposed structures and the new detention pond would be lined to prevent excess infiltration of stormwater into the landfill debris. Leaving the landfill area undeveloped and conducting minimal mitigation.

A sensitive lands analysis is required to mitigate health hazards due to methane and other byproduct gases. A site analysis shall be included with application for subdivision or Site Plan where sensitive lands cannot be avoided, which the applicant has provided (see attachments). All development within a landfill gas buffer requires a Landfill Gas Mitigation Approval pursuant to Subsection 14-16-6-4(S)(5) to ensure that potential health and safety impacts are addressed. The City's Environmental Health Department has written an approval letter for the proposed mitigation and assessment for the landfill. (See attachments.)

A landfill gas report is being prepared which will detail and characterize the landfill waste and map its limits which will be submitted to the Environment Health Department for review upon completion.

## **V. AGENCY & NEIGHBORHOOD CONCERNS**

### ***Reviewing Agencies***

City departments and other interested agencies reviewed this application. Few but notable agency comments were received. Agency Comments received were based upon the initial application submittal on December 7, 2023.

Transportation Development Review Services provide comments stating a Traffic Circulation Layout and Traffic Impact Study is required.

County of Bernalillo, Public Works is seeking sidewalk improvements along the west side of Coors Blvd between Ervine Ln and Jemez River Rd where the bus stop is located and along one side of Jemez River Rd that is public right-of-way.

AMAFCA provided comments which state that approval of CLOMR/LOMR is required prior to any grading or building approval for the site due to the FEMA floodplain.

Solid Waste Department stated approval of a Site Plan for access which includes driveways, and landscape will be required.

APS provided comments stating that that Residential development at this location will impact Navajo Elementary School, Harrison Middle School, and Rio Grande High School, which all have capacity for the proposed development.

ABCWUA (Water Authority) provided comments regarding the impacts of the layout change and that public and private infrastructure on the site plan needs to be distinguished and identified.

MRMPO, ABQ Ride and PNM offered standard comments (see attachments).

Agency Comments begin on page 27 of this report.

### ***Neighborhood/Public***

Notification requirements are found in IDO Section 14-16-6, in the Procedures Table 6-1-1 and are further explained in IDO Section 14-16-6-4(K), Public Notice. The applicant notified property owners within 100 feet of the subject site as required but there were no neighborhood associations to notify as per the Office of Neighborhood Coordination.

A pre-application facilitated meeting has not been held and one has not been requested. No comments have been received in support or opposition to the request.

## **VI. CONCLUSION**

The request is for a Site Plan-EPC for the expansion of an existing manufactured home community on the north-west portion of an approximately 42-acre site for all or a portion of

Tract 1 of Summary Plat Land Division of West Land Development Co and a Tract of land east of Amole Del Norte Diversion Channel North, located at 2911 Ervien Ln. SW, north-west of the intersection of Ervien Ln. and Coors Blvd. (the “subject site”).

The applicant wishes to expand the existing manufacturing home community by adding 96 manufactured homes to the north-west portion of the entire site, which is currently vacant. The developed portion of the site is comprised of 82 manufactured home units.

The EPC is required to hear the request (SI-2023-01925) pursuant to IDO Section 6-6(I)(1)(c), which requires a Site Plan-EPC to be reviewed and decided for any Site Plan application for development that has not avoided sensitive lands identified in the sensitive lands analysis required pursuant to Subsection 14-16-5-2(C). The site plan is within a landfill gas buffer area which is a “sensitive land” pursuant to IDO Section 14-16-5-2(H).

Once approved by the EPC, the proposed site plan would go to the DFT for final sign-off and any associated platting actions would go to the DHO for review and approval.

The subject site is zoned PD (Planned Development). It is located within 660’ of the Coors Blvd SW Major Transit Corridor and is in an Area of Change and Area of Consistency, as designated by the Comprehensive Plan.

The request is generally consistent with applicable Comprehensive Plan goals and Policies and the applicant has adequately justified the request pursuant to IDO Section 6-6(I)(3).

**Staff recommends approval subject to conditions needed to improve compliance with applicable IDO standards and provide clarity for the future.**

**FINDINGS – SI-2023-01925, Site Plan-EPC, January 18, 2024**

1. The request is for a new Site Plan EPC-for a 42-acre site legally described as all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3, located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln and Coors Blvd. (the “subject site”).
2. The subject site is zoned R-MC (Residential Manufactured Home Community), a zoning designation received upon adoption of the IDO. The subject site was formerly zoned MH for Mobile Home Developments.
3. The applicant wishes to expand the existing manufacturing home community by adding 96 manufactured home lots to the vacant north-west portion of the subject site; which would be pursuant to all applicable IDO and DPM regulations.
4. The Environmental Planning Commission (EPC) is reviewing this request (SI-2023-01925) pursuant to Integrated Development Ordinance (IDO) Section 6-6(I)(1)(c), which requires a Site Plan-EPC to be reviewed and decided for any Site Plan application for development that has not avoided sensitive lands identified in the sensitive lands analysis required pursuant to Subsection 14-16-5-2(C). The site plan is within a landfill gas buffer area which required a sensitive land analysis pursuant to IDO Section 14-16-5-2(H) which was provided by the applicant and analyzed by staff.
5. All development within a landfill gas buffer requires a Landfill Gas Mitigation Approval pursuant to Subsection 14-16-6-4(S)(5) to ensure that potential health and safety impacts are addressed, which was approved by the Environmental Health Department on October 17, 2023.
6. Upon approval by the EPC, the site plan would go to the DFT for final sign-off and any associated platting actions would go to the DHO for review and approval.
7. The subject site is located in an Area of Change and Area of Consistency as designated by the Comprehensive Plan and is part of the Southwest Mesa Community Planning Area (CPA).
8. The subject site is within 660-feet of the Coors Blvd SW Major Transit Corridor as designated by the Comprehensive Plan.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Community Identity from Chapter 4:

A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect and preserve the surrounding community because the subject site is located in an established residential community within the Coors Blvd Major Transit Corridor. The proposed development is consistent with the distinct character of the existing manufactured home community and will encourage quality development with the expansion. The protection of the community will be preserved by the meeting sensitive land mitigation requirements for the landfill gas buffer area on the site. The proposed Site Plan would enhance the surrounding area by adding to the quantity of manufactured homes already in the community.

B. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed manufactured homes would help protect the identity and cohesiveness of the surrounding residential neighborhood because it would add more residential to an established neighborhood, which is developed with existing manufactured homes. The addition of manufactured homes would be an appropriate scale and location because development is proposed on a vacant area of the site where there are existing manufactured homes. The proposed would be located in an area of development that is primarily residential with some nearby commercial uses.

C. Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

*The request would enhance and preserve neighborhoods and traditional communities by maintaining and expanding the manufactured home use in an established residential community.. This expansion could provide more housing opportunities for new residents in the Southwest portion of the city. The request would protect the community and neighborhood as key to their long-term health and vitality because the City's Environmental Health Department has determined and approved the appropriate landfill gas buffers and mitigation for the project site. These precautions should ensure that the current and future health and vitality are protected.*

11. The request is consistent with the following Comprehensive Plan Policy regarding Development Patterns from Chapter 5: Land Use

Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and within 660' of a Major Transit Corridor, which are highlighted infill development locations within the Comprehensive Plan. The proposed development would be served by existing infrastructure and public facilities. The expansion of the manufactured home community made possible by the request would promote efficient development patterns and use of land that is similar to the surrounding area in intensity and scale.

12. The request is consistent with the following Comprehensive Plan Goals and Policies regarding City Development Areas from Chapter 5: Land Use
- A. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.  
The subject site is within both an Area of Change and Area of Consistency. Direct growth is encouraged in the Area of Change because the subject site is expanding the manufactured home use where it that use is expected and desired. The subject site is also in an Area of Consistency and meets this Goal because it reinforces and supports existing nearby residential uses and reinforces the character and intensity of the existing manufacturing home community.
- B. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.  
The request is consistent with the policy by directing more growth and more intense development by being within 660’ of a Major Transit Corridor which offers public transit and vehicular access to nearby industrial and business parks. The subject site is located in an Area of Change where change and redevelopment are being encouraged. The addition of manufactured housing options in the existing community adds to the direct growth and development to an area with adequate infrastructure and where other services exist.
- C. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.  
*This This request protects and enhances the character of the existing neighborhood in an Area of Consistency due to the addition of more manufactured homes to the existing community. Although the project site is within 660’ of a Major Transit Corridor and near a Bernalillo County Park, it is outside of Centers and Major Public Open Space. The community character is reinforced by the expansion of the manufactured home community on the subject site because it enhances the other surrounding residential uses.*
13. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 9: Housing
- A. Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.  
The request would facilitate the development of 96 additional manufactured homes in a manufactured home community and would ensure a sufficient supply of manufactured homes. The proposed site plan will encompass manufacturing homes that will increase the

supply and range of similarly high-quality manufactured homes because it is another source of residential housing at price levels which can differ from non-manufactured homes.

- B. Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households. The request would facilitate the expansion of a manufactured home community by adding 96 units and while conserving the existing 68 manufactured homes on the site. This development will improve the area by creating needed housing on a vacant site, thereby improving the existing neighborhood. The existing manufactured home community supports diverse housing options within the southwest area of the city because it another source of residential use that provides individuals and families of various income levels the opportunity to own a manufactured home.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(I)(3)(a) As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.
- B. 14-16-6-6(I)(3)(b) The subject site is zoned R-MC; although no development agreements or regulations are in place for the project site, a Site Development Plan was approved by the EPC in 2004 but was never developed and its period of validity expired in 2011.
- C. 14-16-6-6(J)(3)(c) The subject site is located in the R-MC District. The proposed site plan is for the development of 96 manufactured homes which would comply with all applicable provisions of the IDO and as determined through the EPC process. The Site Plan is required to follow all DPM and any other adopted City regulations.
- D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. A DHO waiver to the sidewalk requirements in the Development Process Manual has been approved. Therefore, the proposed site plan has sidewalks on only one side of the street.
- E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has taken steps to mitigate any adverse impacts such landfill buffer gasses to the surrounding community were taken in consideration when designing the Site Plan, specifically regarding the former construction landfill area by receiving approval for its assessment and mitigation plan in a letter from the City's Environmental Health Department (EHD) and they will provide the EHD with a landfill gas report.
- F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan.
- G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.



15. The applicant notified property owners within 100 feet of the subject site as required but there were no neighborhood associations to notify as per the Office of Neighborhood Coordination.
16. Staff reviewed the Site Plan drawings for compliance with applicable IDO Development Standards and regulations. No other City divisions have reviewed the drawings as part of the Site Plan-EPC. Future DFT reviewers shall check the Site Plan for compliance with the DPM and all development standards for the use. Staff has placed conditions of approval on the site plan.

**RECOMMENDATION – PR-2018-001482, SI-2023-001925, January 18, 2024**

***APPROVAL with conditions of Project # 2018-001482, SI-2023-001925, a Site Plan-EPC request for all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3. located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln. and Coors Blvd. zoned R-MC, based on the preceding Findings and subject to the Conditions of Approval.***

**CONDITIONS OF APPROVAL – PR-2018-001482, SI-2023-01925**

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.
3. Site Plan:
  - A. Note number 3 shall be changed to reflect the light pole maximum of 16' as shown on the Pole Mounted Camera Detail on Detail Sheet C5.0.
  - B. The site plan shall specify the landfill gas buffer areas, which comprise of a closed landfill and the areas of potential landfill gas migration in its vicinity and shall comply with IDO Section 14-16-5-2(H) landfill buffers specifically, IDO Section 14-16-6-4(S)(5) Landfill Gas Mitigation Approval.
4. Landscape Plan:
  - A. The note regarding landscaping compliance shall be changed from applicable regulations for “Apartments and Nonresidential Development” to “Residential Manufactured Home Community.”

5. Grading and Drainage: Note number 6 on the Conceptual Grading and Drainage Plan shall be updated from the City of Rio Rancho to the City of Albuquerque. Regulations are pursuant to the City of Albuquerque.
  6. Detail Sheets: Edit dimension text to reflect 16' Max within 100' of "Residential on the Pole Mounted Camera Detail" on Sheet C5.0.
  7. Condition from Solid Waste Management Department: A site plan approved for access by the Solid Waste Department will be required.
  8. Condition from Transportation Development Review Services: A Traffic Circulation Layout and Traffic Impact Study is required.
  9. Condition from County of Bernalillo, Public Works: Sidewalk improvements along the west side of Coors Blvd SW between Ervine Ln and Jemez River Rd where the bus stop is located and along one side of Jemez River Rd that is public right-of-way is requested.
  10. Conditions from PNM:
    - A. Any existing and/or new PNM easements and facilities shall be reflected on any resulting future Site Plan or Plat.
    - B. Perimeter and interior landscape design shall abide by any easement restrictions and not impact PNM facilities.
  11. Conditions from ABCWUA (Water Authority): The impacts of the layout change must be rectified and the public and private infrastructure on the site plan needs to be distinguished and identified.
- 

*William Steele*

**William Steele,  
Current Planner**

**Notice of Decision CC list:**

Tierra West, LLC., Sergio Lozoya, [slozoya@tierrawestllc.com](mailto:slozoya@tierrawestllc.com)

Legal, [Dking@cabq.gov](mailto:Dking@cabq.gov)

EPC file

**CITY OF ALBUQUERQUE AGENCY COMMENTS**

Project #: PR-2018-001482, Case #: SI-2023-01925  
Site Plan-EPC  
January 3, 2024

**PLANNING DEPARTMENT**

**Zoning / Code Enforcement**

No comment received as of 01-03-23

**Long Range Planning**

No comment received as of 01-03-23

**Metropolitan Redevelopment**

No comment received as of 01-03-23

**Hydrology**

No comment received as of 01-03-23

**Transportation Development Review Services**

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Facilitation Team (DFT).
2. An approved Traffic Circulation Layout will be required.
3. An approved Traffic Impact Study is required.
4. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

**PUBLIC WORKS DEPARTMENT**

No comment received as of 01-03-23

**MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION**

No comment received as of 01-03-23

**POLICE DEPARTMENT/PLANNING**

No comment received as of 01-03-23

**SOLID WASTE MANAGEMENT DEPARTMENT**

A site plan approved for access by the Solid Waste department will be required. Provide a site plan to scale to hgallegos@cabq.gov that includes driveways, and landscape.

**TRANSIT DEPARTMENT**

ABQ Ride: This request is for a low-density residential development. This site is at Ervin and Coors Blvd. Coors is served by Route 155, which has service every 30 minutes. There is a southbound stop that is within a 5 minute walk of the subject site; however, the nearest intersection with a traffic signal is a 10 minute walk south, which is needed to access a north-bound bus stop.

**PARKS AND RECREATION**

No comment received as of 01-03-23

**ABC WATER UTILITY AUTHORITY (ABCWUA)**

1. Issued Availability Statement 220929 previously analyzed the scope of this development and expired on 12/6/23. From site plan provided layout has since changed.
  - a. Please make new request for Availability at the following link:  
<https://www.abcwua.org/info-for-builders-availability-statements/>
2. Please distinguish more explicitly between public and private infrastructure on site plan. For the first phase are public water and sanitary sewer lines being proposed? If not, where is the master meter for the water line?
3. Please review and revise easement information as needed - record drawing information conflicts with width of easement depicted.
4. Existing mobile homes appear to be located within ABCWUA easement where existing ABCWUA infrastructure is present. This condition will need to be rectified accordingly.

**ALBUQUERQUE PUBLIC SCHOOLS**

Residential development at this location impacts Navajo Elementary School, Harrison Middle School, and Rio Grande High School.

- a. **Residential Units: 96**
- b. **Est. Elementary School Students: 25**
- c. **Est. Middle School Students: 11**
- d. **Est. High School Students: 11**
- e. **Est. Total # of Students from Project: 47**

\*The estimated number of students from the proposed project is based on an average student generation rate.

School	2023-2024 (40 <sup>th</sup> Day) Enrollment	Facility Capacity	Space Available
Navajo Elementary School	356	589	233
Harrison Middle School	310	752	442
Rio Grande High School	1,527	1,950	423

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long-term solution)
  - Construct new schools or additions
  - Add portables
  - Use of non-classroom spaces for temporary classrooms
  - Lease facilities
  - Use other public facilities
- Improve facility efficiency (short-term solution)

- Schedule Changes
  - Double sessions
  - Multi-track year-round
- Other
  - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short-term solution)
  - Boundary Adjustments / Busing
  - Grade reconfiguration
- Combination of above strategies

**All planned additions to existing educational facilities are contingent upon taxpayer approval.**

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)***

No adverse comments to the EPC site plan.

***COUNTY OF BERNALILLO***

**Public Works**

Access to the site utilizes two Bernalillo County maintained roads, Jemez River Rd SW and Ervine Ln. Given the residential density and nearby access to public transit, Bernalillo County is seeking sidewalk improvements along the west side of Coors Blvd between Ervine Ln and Jemez River Rd where the bus stop is located and along one side of Jemez River Rd that is public right-of-way. Bernalillo County struggle with pedestrian safety where more urban land uses rely on rural style roads without dedicated pedestrian infrastructure.

***MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)***

No comment received as of 01-03-23

***MID-REGION METROPOLITAN PLANNING ORGANIZATION(MRMPO)***

MRMPO has no adverse comment. For informational purposes:

**Appendix G of the MTP recommends the following as it relates to the subject property:**

- Increase alternative housing concepts such as tiny homes, co-housing, multi-generational housing, and accessory dwelling units.
- Promote a diverse mix of housing, in cost, unit types, and neighborhood settings.

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

There are PNM facilities and/or throughout the subject site that may not correspond to the proposed site plan design.

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Any existing easements may have to be revisited and/or new easements may need to be created for any electric facilities as determined by PNM.

Any existing and/or new PNM easements and facilities need to be reflected on the Site Plan and any resulting Plat.

Typical electric utility easement widths vary depending on the type of facility. On-site transformers should have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.

Structures, especially those made of metal like storage buildings and canopies, should not be within or near PNM easements without close coordination with and agreement from PNM.

Perimeter and interior landscape design should abide by any easement restrictions and not impact PNM facilities.

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

If existing electric lines or facilities need to be moved, then that is at the applicant's expense. Please contact PNM as soon as possible at <https://pnmnsd.powerclerk.com/MvcAccount/Login> for PNM to review.

**NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)**

No comment received as of 01-03-23

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

No comment received as of 01-03-23

**PETROGLYPH NATIONAL MONUMENT**

No comment received as of 01-03-23

**AVIATION DEPARTMENT**

No comment received as of 01-03-23

**KIRTLAND AIR FORCE BASE**

No comment received as of 01-03-23

Photographs  
Existing Conditions

Pictures Taken:  
January 9, 2024



Looking at the entrance and entrance sign of the existing manufactured home community on Ervien Ln SW. A sign posting can be seen in this view.



The second entrance to the existing manufactured home community at the end of Jemez River Road. A sign posting can be seen in this view.

Looking east at the vacant portion (subject site) of the manufactured home community. The vicinity of the future street to access the proposed site.







Looking west at the subject site. Existing manufactured homes can be seen in the view.



Looking north on the subject site.

Looking north on the subject site. The houses from the neighborhood to the north can be seen in this view.



## ZONING

Please refer to IDO Section 14-16-2-3(C) for the R-MC Zone District

## APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Riverside West, LLC		Phone:
Address: 2911 Ervien LN SW		Email:
City: Albuquerque	State: NM	Zip: 87121
Professional/Agent (if any): Tierra West, LLC		Phone: 505-278-7088
Address: 5571 Midway Park Place NE		Email: slozoya@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: owner	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

Site Plan-EPC

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <small>TR of Land East of Amole Del Norte Diversion Channel TR 1 of Summary Plat Land Division of Westland Development Co inc Together with a TR of Land within these 1/4 SE1/4 SEC 34</small>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101005440552820545 101005534207240110
Zone Atlas Page(s): M-10-Z	Existing Zoning: R-MC	Proposed Zoning: R-MC
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 40.82 acres

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2911 Ervien LN SW ABQ NM 87121	Between: Coors Blvd NW	and: Ervin LN SW
---	------------------------	------------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2018-001482, 1000976

Signature:	Date: 12/7/2023
Printed Name: Sergio Lozoya	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P1: SITE PLAN – EPC**

*Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.*

- SITE PLAN – EPC**
- MASTER DEVELOPMENT PLAN**
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

N/A Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Signed Traffic Impact Study (TIS) Form
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
  - Office of Neighborhood Coordination neighborhood meeting inquiry response
  - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
  - Completed neighborhood meeting request form(s)
  - If a meeting was requested/held, copy of sign-in sheet and meeting notes

- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1)
- Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
  - Office of Neighborhood Coordination notice inquiry response
  - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

- Completed Site Plan Checklist
- Scaled Site Plan or Master Development Plan and related drawings  
*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

Copy of the original approved Site Plan or Master Development Plan (for amendments only)

- Site Plan or Master Development Plan
- Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

**VARIANCE – EPC**

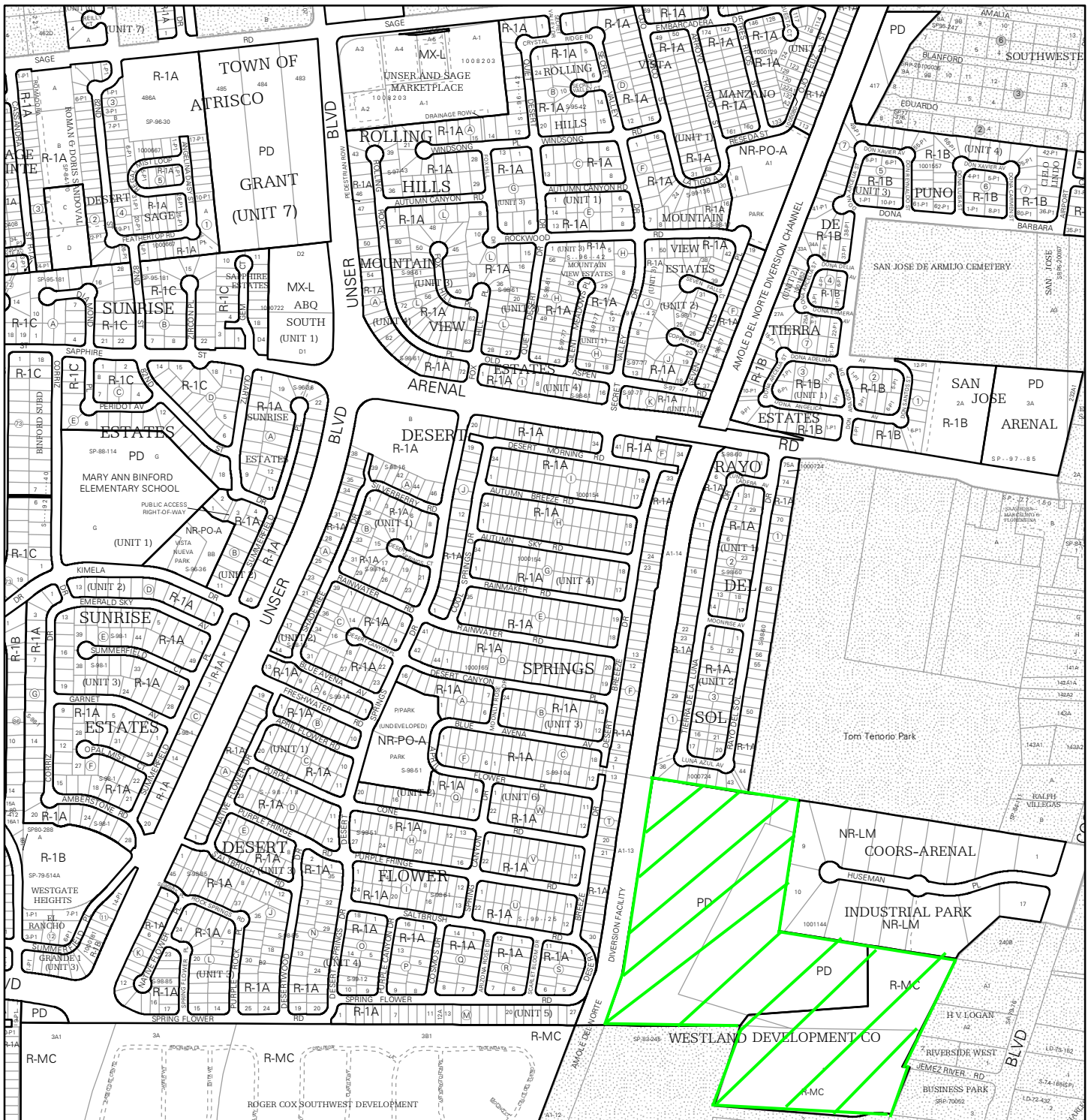
\_\_\_ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

Signature:	Date: 12/7/2023
Printed Name: Sergio Lozoya	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**M-10-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet  
0 250 500 1,000

**Agent Authorization Form**

November 1, 2023

Mr. David Shaffer, Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN-EPC & SIDEWALK VARIANCE  
TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC  
TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF  
LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION  
LINE OF SECTIONS 34 & 3 For a \* Unit Mobile Home Park**

**ZONE ATLAS PAGE: M-10-Z**

I/We, (property owner name) David H. Reynolds, as the owner(s) of the real property described as follows: TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 For a \* Unit Mobile Home Park , do hereby authorize to act as my/our agent (Agents Name), **Tierra West, LLC**, to execute any and all documents necessary to affect the application approval requested to the Environmental Planning Commission, and to appear on my/our behalf before any administrative or legislative body in the county of Bernalillo considering this application and to act in all respects as our agent in matters pertaining to the application.

David H. Reynolds

\_\_\_\_\_  
Print Name

  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Manager

\_\_\_\_\_  
Title

11/2/2023

\_\_\_\_\_  
Date



**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
Alan Varela, Interim Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** March 22, 2023

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2018-001482  
**Agent:** Tierra West LLC  
**Applicant:** Riverside West LLC  
**Legal Description:** TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC  
**Zoning:** R-MC  
**Acreage:** 38.95  
**Zone Atlas Page(s):** M-10-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth images, NMCRIIS records

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

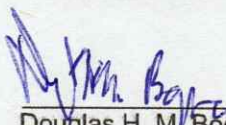
Most of the property was thoroughly disturbed by blading or bush removal by 2002.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

**SUBMITTED BY:**

**SUBMITTED TO:**

Planning, Development Services

  
\_\_\_\_\_  
Douglas H. M. Boggess, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

3-22-2023





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

**Project Title:** Riverside Mobile Home Park Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: M-10-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
N-10-Z

Legal Description: \_\_\_\_\_

City Address: 2911 ERVIEN LN SW UPC 101005440552820545 & 101005534207240110

**Applicant:** Tierra West LLC on behalf of Riverside West, LLC Contact: Amanda Herrera

Address: 5571 Midway Park Pl NE, Albuquerque NM 87109

Phone#: 505-858-3100 Fax#: \_\_\_\_\_ E-mail: aherrera@tierrawestllc.com

### Development Information

Build out/Implementation Year: 2023 Current/Proposed Zoning: R-MC/R-MC

Project Type: New: ( ) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: (X)

Proposed Use (mark all that apply): Residential: (X) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses: 96-Unit residential mobile home park, to be added to the existing

82-Unit Riverside Mobile Home Park located at Coors Blvd SW and Ervien Ln SW

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

### Facility

Building Size (sq. ft.): \_\_\_\_\_

Number of Residential Units: 96 proposed units, 82 existing units

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* ITE-11th ed. 240-Mobile Home Park (82/102)  
AM-17Enter/65Exit PM-63Ent/39Exit

Driveway(s) Located on: Street Name Ervien Ln SW

Adjacent Roadway(s) Posted Speed: Street Name Coors Blvd SW Posted Speed 55 mph

Street Name Ervien Ln SW Posted Speed 15 mph

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 24,498 (2021 TAQA) Volume-to-Capacity Ratio: \_\_\_\_\_  
COG ID# 14622 (if applicable)

Adjacent Transit Service(s): Bus Route 155 Nearest Transit Stop(s): Bus Stop Route 155 on Coors near Ervien

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Bicycle facility along Coors Blvd, Paved Multiple Use Trail along the Amole del Norte canal, and a proposed unpaved trail along Arenal Main Canal  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: No Sidewalk or Paved trail along adjacent roadways/Proposed on-site sidewalks running from East to West along mobile home frontages.

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes  No  Borderline

Thresholds Met? Yes  No

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied:

Notes:

*M.P. P.E.*

3/15/2023

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE



## **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.



Decision Making Body/ies: EPC

Is this a PRT requirement? No

### Handouts Provided

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Zoning Map Amendment      | <input type="checkbox"/> Site Plan Amendments | <input checked="" type="checkbox"/> Site Plan- EPC | <input type="checkbox"/> Site Plan- DHO |
| <input type="checkbox"/> Site Plan- Administrative | <input type="checkbox"/> Variance-ZHE         | <input type="checkbox"/> Conditional Use           | <input type="checkbox"/> Subdivision    |
| <input type="checkbox"/> Site History/Research     | <input type="checkbox"/> Transportation       | <input type="checkbox"/> Hydrology                 | <input type="checkbox"/> Fire           |

*If you have additional questions after reviewing these notes, or would like to schedule a follow up call or meeting, please contact Staff at [planningprt@cabq.gov](mailto:planningprt@cabq.gov). Please include the PA# with your inquiry.*

### Additional Notes:

- Existing Site Development Plan for Subdivision: Riverside West Estates PR # 1000976 for Tracts 1 & 2 totaling 40.9 acres. For 243 single family detached homes and a private park. The site was never developed and has expired pursuant to IDO 14-16-6-4(X).
- PR-2018-001482: An Arch Ordinance was completed on 8-24-2018 & sketch plat in February 2023.
- Since the site is in an area of change next to an area of consistency specific development standards must be followed. Please see: 5-6(E)(5) Area of Change Next to Area of Consistency IDO page 308.
- See IDO 14-16-2-3(C) or page 17 for Use and Development Standards that must be followed for the R-MC zone district.

### Applicant Question:

1. We would like process information for both the EPC submittal and the separate DHO submittal we'll make for the lot line elimination. Also, can you please confirm if a PRT meeting is a requirement to make an EPC submittal?
  - a. The applicant received a sketch plat on 2-1-2023 which satisfies Pre-application requirements for the DHO platting process. (PR-2018-001482)
  - b. The request requires Site Plan-EPC review and approval due to the presence of sensitive lands, the Riverside and Seay Brothers Landfill that is located in the center and south of the subject site. Additionally, Flood zone A, Amole Del Norte Div. Ch. Is adjacent to the site on the West (AMAFCA & City).
  - c. A Pre-application (PRT) meeting is not required for this request, but if it was, these notes would satisfy the requirement. A pre-application review satisfies the requirement and if any additional questions or clarification is needed after receiving your notes from City Staff, we can set up a follow up call or Zoom meeting.
  - d. See attached handout for process information about the EPC.
    - i. All required forms can be found through the links on the sheet.
    - ii. For specific application materials Please review the Development Review (EPC Application, form P1, and the site plan checklist forms, which can all be found under the Urban Design & Development Forms header: [Download Forms & Applications — City of Albuquerque \(cabq.gov\)](#)

January 3, 2024

Mr. David Shaffer, Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **SITE PLAN - EPC**  
**ALL OR A PORTION OF TR OF LAND EAST OF AMOL EDE NORTE DIVERSION**  
**CHANNEL NORTH OF SECTION LIEN OF SECTIONS 34 & 3 CONT 8.4022 AC M/L**  
**AND ALL OR A PORTION OF TR 1 OF SUMMARY PLAT LAND DIVISION OF**  
**WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN**  
**THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE**  
**DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 For a \***  
**Unit Mobile Home Park**  
**ZONE ATLAS PAGE: M-10-Z**

Dear Mr. Shaffer:

This request is being heard by the EPC pursuant to IDO Provision **14-16-6-6(I)(1)(c)**, which states that a Site Plan – EPC is required for any site plan application for development that has not avoided sensitive lands identified by a sensitive lands analysis. According to this project's Pre-Application Review Notes (PA# 23-013), the Riverside and Seay Brothers Landfill located in the center and south of the site is a sensitive land. Furthermore, the site abuts the Amole Del Norte Diversion Channel to the west.

### **Site Location**

The purpose of this letter is to request a Site Plan EPC for a property located at 2911 Ervien LN SW. The subject site is comprised of 40.82 acres and is currently zoned R-MC, Residential-Manufactured Home Community. This proposed development is comprised of two properties. The first, hereafter referred to as the "East Property", is legally described as TR 1 of Summary Plat Land Division of Westland Development Co Inc Together With a TR of Land Within These ¼ SE ¼ Sec 34 T1 on R2E TR of Land East Of Amole Del Norte Diversion Channel North of Section Line of Sections 34 & 3 The second, hereafter referred to as the "West property", is legally described as Tr of Land East of Amole Del Norte Diversion Channel North of Section Line of Sections 34 and 3 Cont. 8.4022 AC M/L. The intent is to expand an existing mobile home park on that site.

*Figure 1. Subject Site Outlined in Red*



### **Request**

The applicant requests a Site Plan-EPC. The site is zoned R-MC. Riverside West, LLC proposes to expand the existing manufactured home community, adding an additional 96 new homes to the existing 82 units and situation on approximately 40.82 acres. The site is located off Coors Blvd. SW and Ervien Lane SW. There is an existing manufactured home community with 82 spaces, and the proposal is to expand this community by adding 96 additional spaces. There are two primary entrances to the site, one on Ervien Ln SW and the other on Jemez Rive Rd SW, and emergency access easement has been granted through the Rayo del Sol Subdivision to the north to serve as secondary fire access. To note, there are no proposed amenities for this development.

### **DHO Sidewalk Waiver**

Concurrent to this submittal, we are requesting a waiver to the sidewalk requirements found in the Development Process Manual. We submitted this request to the DHO on December 12<sup>th</sup>, and it was heard at the December 20<sup>th</sup>, 2023 DHO hearing. Following the addressing of comments by Transportation, the request was approved. The relevant IDO provision is as follows:

IDO 5-3(D)(1)(a) Perimeter sidewalks shall be provided in accordance with the DPM. The relevant DPM citation is as follows (relevant portion is **bolded**):

Section 7-4(E)(1) Public Sidewalks 7-4(E)(1)(i)  
General Provisions

1. All roads in the City right-of-way or roadway easements shall include distinct and accessible pedestrian accommodations. Alleyways are exempt from the requirement for separate pedestrian accommodations.

**2. All new roadway construction shall include sidewalks and landscape/buffer zones installed on both sides of the street.**

The proposed site plan shows sidewalks only on one side of the street.

**History**

The existing portion of the manufactured home community was developed in 1996 over 14.4 acres of the East Property. Portions of both the East Property and West Property are within historic construction landfill areas that were in operation and then filled between 1991 and 1996. Both properties are owned by Riverside West, LLC. A sketch plat was submitted in February 2023 to satisfy the Pre-application requirements for the DHO platting process. An Archaeological Ordinance was completed on 8-24-2018 in order to outline a process for managing potential archaeological discoveries. In 2007, plans were approved by DRB for Riverside West Estates, a 243-unit single-family detached home neighborhood with a private park.

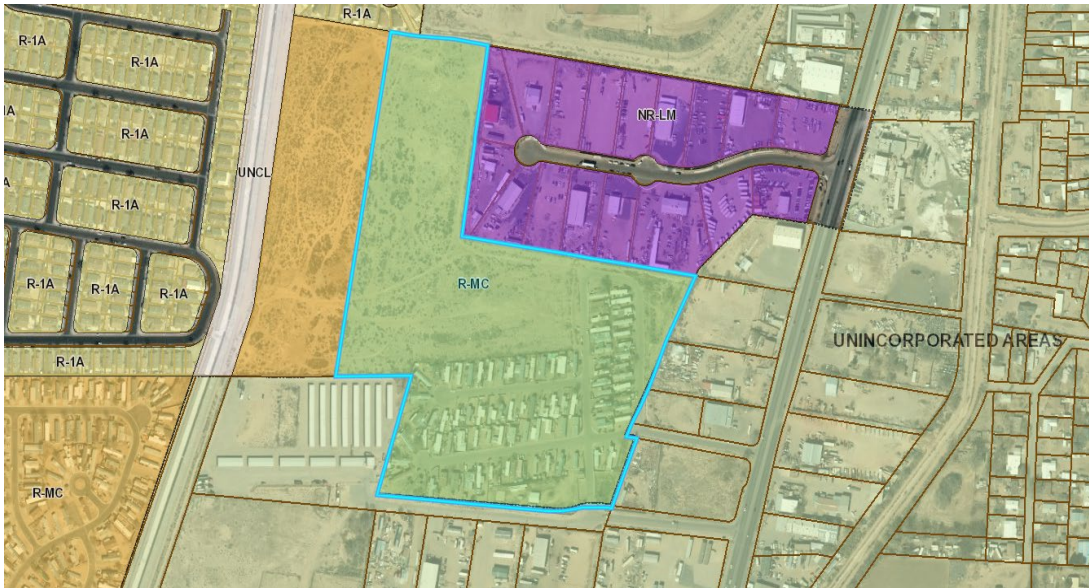
**Existing Conditions**

Surrounding land use and zoning: Nearby uses are primarily R-1A to the north, NR-LM east of the site. R-MC and Unincorporated Area (Bernalillo County) west and south.

Surrounding Zoning and Land Use		
NORTH	R-1A, Unincorporated Area	Rayo Del Sol Subdivision, Tom Tenorio Park
EAST	NR-LM	Desert Flower Subdivision
SOUTH	UNINCORPORATED AREA	Vacant Land
WEST	R-1A, R-MC	Duke City Fueling, OCD Rocky Mountain Food Distributor, Marathon Petroleum Corp, Oil Refinery
SUBJECT SITE	R-MC	Riverside Mobile Home Park

Figure 2. Zoning





### **Proposed Site Plan**

The proposed mobile home park expansion will be located over the undeveloped portions of the East Property and West Property excluding the bulk footprint of the historic landfill. Partner ESI is preparing a landfill gas report to determine which, if any, areas of the proposed development will require additional remediation measures. We are currently working with the City of Albuquerque, Bernalillo County and NMDOT on the requirements to maintain these access points.

### **Landfill Impacts**

Per discussions with Paul Olsen, Principal Engineer at City Environmental Health, these mitigations measures will include excavation of landfill debris located beneath any proposed structures. This will include roadways, utility trenches and mobile home pads. Additionally, any ponding areas will be lined to prevent excess infiltration of stormwater into the landfill debris. This plan proposes leaving the landfill area undeveloped and doing as minimal mitigation as possible. Partner ESI, an environmental engineering firm, is preparing a landfill gas report to characterize the landfill waste and map its limits. This report has been submitted to City Environmental Health and will detail which, if any, areas of the proposed development will require additional remediation measures. Enclosed is a copy of the proposed mitigation plans that have also been submitted to Environmental Health.

### **Transportation System**

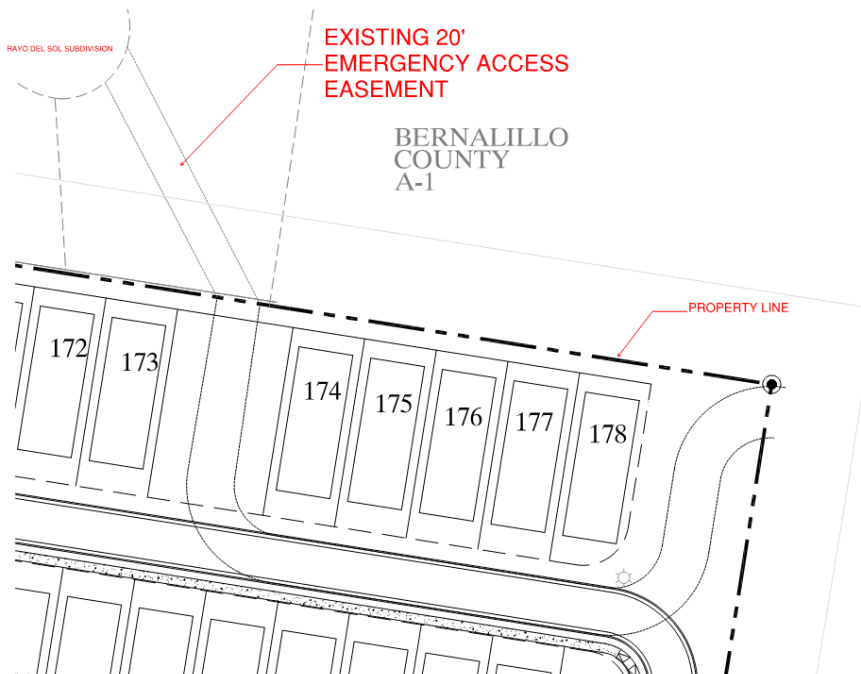
The proposed development will utilize the same primary entrance on Ervien Ln SW and will be accessed through the internal roadways of the existing manufactured home spaces. The secondary access on Jemez River Rd SW will also be utilized. Both roadways are in the jurisdiction of Bernalillo County, and we are currently working with eh City of Albuquerque, Bernalillo County, and NMDOT to determine the requirements to maintain these access points. A Traffic Impact Study (TIS) will be required for this development, as determined in a scoping

meeting with the City of Albuquerque and NMDOT. The existing private 40' internal roadway section will be extended to construct the proposed improvements. Any public infrastructure requirements to the public roadway system will be determined by the TIS. The proposed private roadway section will include curb, gutter, sidewalk on one side, and landscape strip. The proposed TIS is limited to the access points on the site and on Coors. The project will be responsible for implementing the recommended mitigation measures of the TIS.

### **Vehicle Access, Circulations and On-Site Parking**

As mentioned above traffic will enter the site through existing driveway entrances on Ervien Ln SW and Jemez River Rd SW. Traffic circulation to the expanded area will be through the existing portion of the development. An emergency access easement exists for the project north through this site in the event that the proposed access is blocked.

**Figure 3: Emergency Access Easement**



### **Notice to Association and Neighboring Properties**

Property owners within 100ft and the affected neighborhood associations, San Jose Neighborhood Association, were notified as required. As of the submittal date of the application, no neighborhood associations made a request for a meeting on the project.

### **Landscaping, Buffering and Screening**

Proposed landscaping plan meets buffering requirements set in IDO 14-16-5 5-6(E).

There is an office building in the existing portion of the manufactured home community that will serve future tenants in the proposed expansion. Required open space will be provided in the undeveloped area to the southeast proposed expansion. The open space area is indicated on the EPC site plan.

### **Drainage**

The existing site is required to retain all developed and undeveloped flows per City Hydrology. Currently, all site drainage is conveyed to a retention pond on the NE corner of the site. The proposed development will construct a new pond just south of the expansion to retain developed flows. Most of the landfill footprint will be left undisturbed and will continue to drain to the existing pond at the NE corner of the site.

### **Integrated Development Ordinance Justification Criteria**

The following explanation below summarizes how the request for a Major Amendment to the existing Site Plan- EPC meets the IDO criteria pursuant to IDO Section 14-16-6-4 (Y)(3). As a Major Amendment it is subject to review and decision by the original decision-making body, the Environmental Planning Commission (EPC).

#### **6-6 (I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.**

*Response: The request for Site-Plan EPC is consistent with the ABC Comprehensive Plan as amended, and directly facilitates the policies and sub-policies identified below.*

#### **Goal 4.1 Character: Enhance, protect, and preserve distinct communities.**

*Response: The request furthers Goal 4.1 because it facilitates the expansion of the existing Riverside Mobile Home Park community, a distinct community with a high potential for growth. The proposed development is in line with all relevant IDO standards other than the approved sidewalk waiver, which furthers the current character of the Riverside community. This request also safely handles the sensitive landfill area on the site, protecting the existing and developing community.*

#### **Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.**

*Response: The request furthers Policy 4.1.2 because it will allow for the appropriate type and scale of uses to take advantage of the existing identity and character of the neighborhood, which provides affordable housing in a location where it exists today within a transition zone between various residential uses and commercial uses. The request will allow the existing mobile home community to remain intact as it has for over 30 years. The existing mobile home community will be expanded to an adjacent area, ensuring an appropriate location of development. The scale is appropriate as it is expanding the existing community into the abutting and currently vacant lot. The uses shall be identical to the existing Riverside Mobile Home Park community, and the scale is appropriate as it will expand the community to the size of other mobile home parks. The area will not be disrupted by the removal and relocation of the*

existing community or the relocation of existing residents. This use also allows affordable housing opportunities within the community.

**Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.**

*Response: The proposed site plan will enhance, protect, and preserve the existing mobile home park/neighborhood. Prior to this EPC submittal, the applicant worked extensively with the City's Environmental Health Department to determine the appropriate measures to mitigate impacts from the on-site landfill. These mitigations include excavating landfill debris located under any proposed structures and leaving the landfill area itself undeveloped. This process ensures that current residents and future residents are protected. This process also enhances the quality of life for current residents.*

**Sub-policy 4.1.4 c) Support improvements that protect stable, thriving residential neighborhoods and enhance their attractiveness.**

*Response: The request furthers Policy 4.14 because it will protect an existing stable, thriving residential neighborhood and preserve the neighborhood by not requiring the existing mobile home community to be removed from the area and the residents displaced. The primary goal of the request is to do exactly what this policy requires: To keep the mobile home community in place so that the neighborhood and its residents can preserve and protect what they have spent over 30 years building.*

**Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.**

*Response: The request will foster a community where residents can live, work, learn, shop, and play together as the subject site is located within the Coors Blvd Major Transit Corridor as identified by the Comprehensive Plan. There is a bus stop just 400-500 feet from the subject site, encouraging the use of public transit to travel to work, stores, or other amenities. This proximity to public transportation fosters access to surrounding amenities and provides opportunities for residents to live, work and play. Furthermore, the community shall be connected to the park to the northeast via walkable access, further encouraging residents to live and play together.*

**Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.**

*Response: The request is consistent with Policy 5.2.1, Land Uses as it will create a healthy, sustainable community that has access to public transit along Coors Blvd. a Major Transit Corridor. The proximity to transit will promote accessibility to nearby schools, parks, churches, and shopping centers. The development of new homes will create opportunities for the community to develop, as increased housing options lead to a larger variety of residents which makes the community healthier, sustainable, and more distinct.*

**Sub-policy 5.2.1 d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.**

*Response: The goal of the request is to make the long established existing mobile home community a permissive use. This will allow the existing close-knit community to remain a sustainable mobile home development in an area with good street connectivity and convenient access to transit. It would also help to maintain and foster the broad housing options available in the area to meet the range of incomes and lifestyles needed within the community that offers a mix of uses that are conveniently accessible from the subject property.*

**Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.**

*Response: The subject site has a unique condition of being within both an Area of Change and an Area of Consistency. The request is consistent with policies regarding both. The request encourages growth by expanding the mobile home park within the Area of Change, where development of this nature is expected and desired. The request also reinforces the character of the existing mobile home park, located within the Area of Consistency. The measures taken for landfill mitigation will protect the existing neighborhood. Overall, the portion of the site located in an Area of Consistency will be reinforced in character and intensity by the extended development, and the portion of the site located in an Area of Change will experience welcome and expected change through the introduction of a significant increase in modern mobile homes.*

**Policy 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.**

*Response: This request furthers this policy by directing growth and redevelopment to an Area of Change that will help redevelop and utilize a portion of the subject site. The desired effect is to expand the existing manufactured homes to the existing surrounding residential manufactured home community use as well as the neighboring communities while preserving the character of the surrounding areas. The proposed development is within an Area of Change and would introduce many new homes within walking distance of Coors Blvd., a Major Transit Corridor. The public transit available on Coors Blvd further directs the growth of the Riverside community to industrial and business parks accessible via Coors Blvd public transit.*

**Policy 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks and Major Public Open Space.**

*Response: The goal of the requested Site Plan - EPC is to maintain the existing character mobile home community that is in an area that helps to align the appropriate land use. Though mobile home parks are not mentioned in the policy above, it is an equitable approach to support and give the same protections and enhancements to existing mobile home parks. The request will serve to protect the character of the existing community and allow it and its residents to remain.*

**Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.**

*Response: The request is consistent with Goal 9.1 Supply, as it will ensure a sufficient supply and range of housing types at an affordable price. Mobile homes are typically more affordable and thus ensure a balance in housing options within the City. This proposed development has been designed to be particularly affordable, utilizing methods such as having sidewalks on only one side of neighborhood streets. These methods lower development costs, in turn lowering housing costs once development is complete. The request will facilitate the development of 96 new mobile homes and will ensure a high quality of life for the existing 82 mobile home units.*

**Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.**

*Response: The request is consistent with Policy 9.1.1 Housing Options as it will support the development, improvement, and conservation of housing. Mobile homes are typically more affordable than other housing types, thus providing housing options for a variety of income levels. Prior to submitting to EPC, we worked extensively with the Environmental Health Department to improve and conserve the existing 86 mobile home units. The proposed development would involve economically minded housing that is affordable for many people, much like the original Riverside development, which would also be conserved and improved via this development. The addition of 96 new affordable mobile home units would be suitable for households of varying income levels and types.*

**Sub-Policy 9.1.1 a) Increase the supply of housing that is affordable for all income levels.**

*Response: The existing Riverside Mobile home community helps support diverse housing options within this area of the city. It ensures availability and affordability for not only the current residents within the existing park but for future residents as well. It provides lower income residents with an opportunity to own the unit within which they live rather than renting an apartment or single-family detached house. It does so within an area that is close to public transit and is within walking distance to numerous existing and future job opportunities, which contributes to its affordability of the housing.*

**6-6 (I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/ or regulations.**

*Response: The site is not located in a NR-SU or PD zoning district.*

**6-6 (I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

*Response: The future site plan, containing 96 new mobile homes, will be required to meet applicable regulations and procedures contained in the IDO and DPM.*

**6-6 (I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**

*Response: The City's existing infrastructure in this location - streets, sidewalks, drainage, and infrastructure - has adequate capacity to serve the site that is within a fully developed area of Albuquerque. No notable burdens on these systems will be present, and therefore no mitigation should be required.*

**6-6(l)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.**

*Response: This application proposes to mitigate any adverse impacts, such as odor, bugs, or gases, to the project site and adjacent properties. The notable item impacting this site will be the existing landfill for which Tierra West and Partner ESI have already met with City Environmental Health. A landfill gas report will be submitted to Environmental Health for review. A copy of the proposed mitigation plans is attached to this application and has also been submitted to Environmental Health.*

**6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.**

*Response: The subject property is not within an approved Master Development Plan.*

**6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2 (F) (Cumulative Impacts) and 14-16-6-4 (H) (Cumulative Impact Analysis Requirement), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.**

*Response: A cumulative impact analysis is not required in this location.*

**Closing**

We respectfully request approval of the EPC-Site Plan and the Sidewalk Variance. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Sergio Lozoya

Cc: Perry Burget  
Kyndra Robidoux

JN: 2022056  
sl/jg

SENSITIVE LANDS ANALYSIS &  
LANDFILL GAS MITIGATION APPROVAL



May 4, 2023

Ms. Jolene Wolfley  
 City of Albuquerque – DFT  
 600 2nd Street NW  
 Albuquerque NM 87102

**RE: RIVERSIDE MOBILE HOME PARK  
 2911 ERVIEN LN, SW  
 TRACT 1 OF SUMMARY PLAT & ADJACENT TRACT TO THE WEST  
 SENSITIVE LANDS ANALYSIS**

Dear Ms. Wolfley:

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land, documenting the following:

<b>Item:</b>	<b>Presence:</b>	<b>Commentary:</b>
Floodplains and Flood Hazard	None	No floodplains are present on the site.
Steep Slopes	None	No steep slopes are present on the site.
Unstable Soils	None	No unstable soils are present on the site.
Wetlands (Constant supply of water)	None	No wetlands are present on the site.
Arroyo	None	The site does not drain into the drainage channel to the west. No arroyos are within the site.
Irrigation Facilities	None	No irrigation facilities are present on the site.
Escarpment	None	No escarpments are present on the site.
Rock outcroppings	None	No rock outcroppings are present on the site.
Large stands of mature trees	None	No large trees are present on the site.
Archeological sites	None	No archeological sites.
Historic Landfills	Yes	A portion of site is located within the historic Riverside Landfill. The landfill was known only include construction debris and not any domestic waste. A landfill gas assessment report has been submitted to City Environmental Health with recommendations for required mitigations. No proposed lots are to be located within the identified footprint of the historic landfill.



Site looking North along east property line.



Looking southeast towards existing portion of the mobile home park.



Looking north toward the Rayo del Sol Subdivision.



Looking east toward existing mobile home park.



Looking west toward Amole del Norte channel and residential subdivision.

In conclusion, the Historic Landfill is the only feature that was found to present on the site. Best practices and due process have been followed to address this item in accordance with City Environmental Health requirements. The above photos of the site support our findings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Handwritten signature of Vince Carrica.

Vince Carrica, P.E

JN: 2022056  
RRB/ar/ye

# CITY OF ALBUQUERQUE



October 17, 2023

Riverside Landfill Development  
South Valley MHP  
2503 Coors Boulevard Southwest, Albuquerque, New  
Mexico, 87121

To Jacob Liberman, Tierra West Inc;

The assessment and mitigations are approved for landfill gas mitigation requirements for the referenced Riverside Landfill Development at 2503 Coors Boulevard Southwest, Albuquerque, New Mexico, 87121. Please include this approval with all submittals to the Planning Department.

PO Box 1293

The proposed mitigations and assessment for the Riverside Landfill is acceptable for EPC approval and the additional construction notes are acceptable for building permit. Please provide me copies of submittals to the Planning Department.

Albuquerque

NM 87103

Thank you,

[www.cabq.gov](http://www.cabq.gov)

Paul Olson, PE  
Environmental Health ESD  
505/331-6677

## STAFF INFORMATION

December 27, 2023

TO: Sergio Lozoya, Tierra West  
FROM: William Steele, Staff Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3352  
Project # 2018-001482, SI-2023-01925, Site Plan-EPC

---

We've completed a first review of the proposed ~~2-part request for a zone change~~ and Site Plan-EPC. We would like to discuss the project and drawing revisions. We are available to answer questions about the process and requirements moving forward. Please provide the following:

⇒ Revised Site Plan Drawings (hard copy and electronic)

⇒ Revised Justification letter (electronic) by:

**11 AM on Wednesday, January 3, 2024**

Note: If you have difficulty with this deadline, please let me know.

1) Introduction:

- A. Though we've done our best for this review, additional items may arise as the case progresses. If so, we will inform you immediately.
- B. This is what we have for the legal description: All or a portion of Tract 1 OF Summary Plat Land Division of West Land Development Co., Included Together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3, located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln and Coors Blvd., approximately 42 acres.
- C. It is our understanding that this is a request is for a new Site Plan EPC for a Manufactured Home Community. (Mobile Home Park)
  - a. Mobile Home Communities (Mobile Home Park) require the R-MC zone district.
  - b. The proposed use is for a manufactured home community (Mobile Home Park).

2) Process:

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Timelines and EPC calendar: the EPC public hearing is on January 18, 2024. Final staff reports will be available one week prior, on January 11, 2024.
- C. Note that, if a zone change request is denied, you cannot reapply again for one year.

D. Agency comments will be distributed after January 3, 2024. We will email you a copy of the comments and forward any late ones to you.

3) 3) Notification & Neighborhood Issues:

*Notification requirements for a Zone Change and Site Plan-EPC are explained in Section 14-16-6-4(K), Public Notice (IDO, p. 409). The required notification consists of: i) an offer of neighborhood meeting, ii) an emailed letter to neighborhood representatives indicated by the ONC, iii) a mailed letter (first-class) to property owners within 100 feet of the subject site, and iv) yellow sign posting.*

- A. A pre-application facilitated meeting was not held, is this correct? The ONC provided notice that as of Tuesday, December 5, 2023, there are NO neighborhood associations to notify.
- B. The notification to property owners appears complete. Thank you for providing photos of the certified mail receipts and a list of the neighbors within a 100' buffer.
- C. **The sign posting agreement shall specifies the sign posting period as January 3, 2023 to February 2, 2023.** Please fill out and sign this form and submit it to us.
- D. Please submit photos of the posted signs on January 3, 2023.
- E. Have any neighborhood representatives or members of the public contacted you with any comments?

4) 4) Project Letter:

- A. The justification letter needs revisions for clarity and to strengthen the request.
- B. An explanation for this proposal to be presented before the EPC needs to be stated. Why is this coming before the board. Are there sensitive lands or flood zones? Is it an amendment? If so, which type?
- C. Please remove Sidewalk Variance from the RE: SITE PLAN-EPC & ~~SIDEWALK VARIANCE~~ and only keep SITE PLAN-EPC.
- D. Please verify the legal description in the introduction of the letter because the legal description is for the east property not the west property that is going before the EPC.
- E. Please correct street name from Ervin to Ervien.
- F. Please update information under the DHO Sidewalk Waiver section to provide the results of the DHO hearing.
- G. History section: Please provide further history regarding the site.

For example:

- a. Were there prior approved plans from the DRB in 2007 before this current request? If so, what were they for and what did this involve?

- b. Was there an Arch Ordinance was completed on 2018 & sketch plat in 2023? If so, what did this involve?
  - H. Is the project site in a FEMA Zone A designation? If so, have the requirements been met according to IDO Section 14-16-5-4(F)(1) Grading in a Special Flood Hazard Area (i.e. flood zones or FEMA's Zone A designation) requires an approved grading and drainage plan, a Floodplain Development Permit, and applicable financial guarantees for permanent public improvements, pursuant to the DPM.
  - I. A Sensitive Lands Analysis Report was approved by the City Environmental Health Department on October 17, 2023.
  - J. Existing Conditions Section: Surrounding Zoning and Land Use Table: Please include Zoning and Land Use of Subject Site
  - K. Landfill Impacts Section: When the applicant receives the Land Fill Gas Report (See Page 3 under Landfill Impacts) please submit this report.
  - L. Transportation System: Please provide a copy of the Traffic Impact Study when it is completed.
  - M. LS, Buffering, Screening Section: Does the proposed required open space need to be shown on the Landscape Plan? Currently it is not. It is on the Site Plan.
  - N. Drainage section: Where is the existing pond at the NE corner of the site? (Is this area labeled as open space?) Please identify and label as existing detention basin.
- 5) Site Plan EPC 6-6(I) Review and Decision Criteria
- A. IDO Justification Criteria section: Please indicate the site plan analysis is based on the Site Plan-EPC 6-6(I)(3) Review and Decision Criteria.
  - B. The task in a justification is to choose applicable Goals and policies from the Comprehensive Plan and demonstrate how the request furthers (makes a reality) each applicable Goal and policy. Furthering is shown by providing explanations using “because” statements and tailoring the response to match the wording of the Goal or policy.
  - C. Responding to the review and decision criteria is more of a legal exercise than anything else. It is critical to “hit the nail on the head” both conceptually and in terms of form. This can be done by:
    - i. answering the questions in the customary way (see examples).
    - ii. using conclusory statements such as “because\_\_\_\_\_”.
    - iii. re-phrasing the requirement itself in the response, and
    - iv. choosing an option when needed to respond to a requirement.
  - D. Please, elaborate on goals and policy explanations and be as detailed and concise as you can be through the use of “because” and “how” statements. Explain how/why the request is consistent with the goal/policy. To do this, Restate the Goal/Policy and explain how the request is implementing it, don’t just repeat the goal.



1. Goal 4.1- Please respond to this Goal. It is identified but no justification or explanation is provided.
2. Policy 4.1.2 -How does it protect the identity of neighborhoods? Please elaborate.
3. Policy 4.1.4- Landfill Gas Buffers? How is this enhancing, protecting, preserving identities? More detail is needed.
4. Goal 5.2 -Transit is only one factor in fostering communities where residents can live work and play. More information is needed.
5. Policy 5.2.1 -Transit is only one factor. More information regarding how this use will healthy, sustainable, distinct communities that are accessible.
6. Goal 5.6 -More information is needed.
7. Policy 5.6.2 -How is the request directing growth related to Corridors and areas where change is encouraged?
8. Policy 5.6.3 -Please provide more information? This subject site is within the Coors Major Transit Corridor.
9. Goal 9 -More affordable? How is this proposal is meeting the current and future needs at a variety of price levels to ensure balance housing options? What types are housing are being compared: Single family, duplexes, apartments? Please provide more information.
10. Policy 9.1.1 -How is development, improvement, conservation of housing for various income levels being supported?
11. 6-6(I)(3)c – More information is needed. For example: What is the proposed development?
12. 6-6(I)(3)d – What mitigation is required? Landfill, Sidewalk Waiver. Elaborate on what this entails.
13. 6-6(I)(3)e – What are the adverse impacts? What and how is mitigation being handled. More information is needed.

#### 6) Site Plan Overview - Drawings

- A. Remember, this is a full site plan EPC review, IDO and DPM standards must be followed. Conditions that are placed on the site plan will need to be met before the DFT reviews and signs off.
- B. All standards in IDO 14-16-2-3(C) Residential – Manufactured Home Community Zone District shall be followed.
- C. Please update the Legal Description on sheets. Tract 1 OF Summary Plat Land Division of West Land Development Co., Included Together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3.
- D. Site Plan Sheet:
  - a. Please update the project number on the sheet to reflect the correct number: PR 2018-001482, SI-2023-01925
  - b. See IDO Table 2-5-9: Applicable IDO Standards.

- i. Future development would be required to come back to the EPC for a major amendment to this Site Plan, if approved.
- c. What is the zoning of the development to the west of the drainage right of way (ROW)? Or don't show it on the site plan since the drainage right of way is bordering the parcel. It isn't shown on the landscape plan.
- d. Please remove the Sidewalk Note and incorporate an updated note regarding the DHO sidewalk waiver approval.
- e. Note #3 should have the size poles being used on the subject site. Please change from maximum of 20' to 16'.
- f. Identify new sidewalks and widths.

E. Landscaping Plan

- a) Please identify the firetruck easement as shown on the Site Plan Sheet.
- b) Please identify and label the square footage of the planting beds. Currently it is not clear if the numbers at the end of some planting beds are the square footage (SF) and if so, what area of the planting bed does that square footage encompass.
- c) Only 4 species are shown in the landscape area. Please add another species. According to 5-6(C)(4)(a) A minimum of 5 species must be used in the landscaped area.
- d) Please add note to drawing referring to Pollen Control, Water Conservation and Street Trees: Pursuant to IDO 5-6(C)(4)(g) "All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable."
- e) Landscape gravel is mentioned in the notes and should be identified on the plan. Is it only around the base of the trees and shrubs as shown on the details?
- f) Irrigation Notes: Please add statement that automatic timers are pursuant to IDO 5-6(C)(14)(c). All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

F. G&D Plan

- a) Fire truck easement needs to be identified on grading and drainage plan.
- b) Please incorporate a narrative description of the existing site topography, proposed grading improvements and topography within 100 ft of the site.
- c) Please add spot elevations for all corners of the site (existing and proposed)

G. Utility Plan

- a) Please remove City of Rio Rancho from General Utility Note #1 and replace with City of Albuquerque.

## H. Detail Sheets

- a) Please provide a light pole detail with the 16' mounting height.

## NOTIFICATION

**From:** [Office of Neighborhood Coordination](#)  
**To:** [Donna Bohannan](#)  
**Subject:** 2911 Ervien Ln SW\_Public Notice Inquiry Sheet Submission\_EPC  
**Date:** Tuesday, December 5, 2023 12:16:58 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)

---

Dear Applicant:

As of Tuesday, December 5, 2023, there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you.



**Vanessa Baca**

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3331 Office

E-mail: [vanessabaca@cabq.gov](mailto:vanessabaca@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



---

**From:** webmaster@cabq.gov <webmaster@cabq.gov>

**Sent:** Tuesday, December 5, 2023 9:05 AM

**To:** Office of Neighborhood Coordination <djb@tierrawestllc.com>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Public Notice Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Donna Bohannan

Telephone Number

505-858-3100

Email Address

[djb@tierrawestllc.com](mailto:djb@tierrawestllc.com)

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Pl NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Tract 1 of Summary Plat Land Division of Westland Development Inc. Together with a Tract of Land Within Section 34 T10N R2E; and Tract of Land East of Amole Del Norte Diversion Channel North of Section Line of Section 34 & 3

Physical address of subject site:

2911 Ervien Ln SW

Subject site cross streets:

Coors Blvd SW & Arenal Rd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-10-Z

Captcha

x

**From:** [PLNBufferMaps](#)  
**To:** [Donna Bohannan](#)  
**Cc:** [Sergio Lozoya](#); [Adam Johnstone](#)  
**Subject:** RE: [#2022056] 2022056 Riverside MHP 100" Buffer Map & Property Owners Request  
**Date:** Wednesday, December 6, 2023 7:58:59 AM  
**Attachments:** [image001.png](#)  
[2911 ERVIEN LN SW.pdf](#)  
[2911 ERVIEN LN SW - Labels.docx](#)  
[2911 ERVIEN LN SW - Labels.csv](#)  
[2911 ERVIEN LN SW - 8.5x11 - Scale in Feet.pdf](#)

---

December 6, 2023

Ms. Bohannan:

Good morning. Attached is your Buffer Map with all associated documents for the subject matter.

If you have any questions, please let me know. Thank you and have a wonderful day.

Respectfully submitted,



**MISA K. BLOOM**

*(she / hers)*

associate planner

urban design & development

o 505.924.3662

e [mbloom@cabq.gov](mailto:mbloom@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Donna Bohannan <djb@tierrawestllc.com>  
**Sent:** Tuesday, December 5, 2023 9:16 AM  
**To:** PLNBufferMaps <plnbuffermaps@cabq.gov>  
**Cc:** Sergio Lozoya <SLozoya@tierrawestllc.com>; Adam Johnstone <AJohnstone@tierrawestllc.com>  
**Subject:** [#2022056] 2022056 Riverside MHP 100' Buffer Map & Property Owners Request

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Good Morning,

Can you please provide the 100' buffer map and property owner's list for the attached highlighted property? Below is the legal description and physical address of the subject site. Please let us know if you have any questions.

**Legal Description**

TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT INC. TOGETHER WITH A TRACT OF LAND WITHIN SECTION 34 T10N R2E; AND TRACT OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTION 34 AND 3

**Physical Address**

2911 ERVIEN LN SW  
ALBUQUERQUE, NM

**Site Cross Streets**

COORS BLVD SW & ARENAL RD SW

**Zone Atlas Page**

M-10-Z

Donna J. Bohannon

Owner

Tierra West LLC

5571 Midway Park Pl., NE

Albuquerque, NM 87109

505-858-3100

505-858-1118 (fax)

[djb@tierrawestllc.com](mailto:djb@tierrawestllc.com)

[www.tierrawestllc.com](http://www.tierrawestllc.com)

PRIVILEGED AND CONFIDENTIAL

The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.



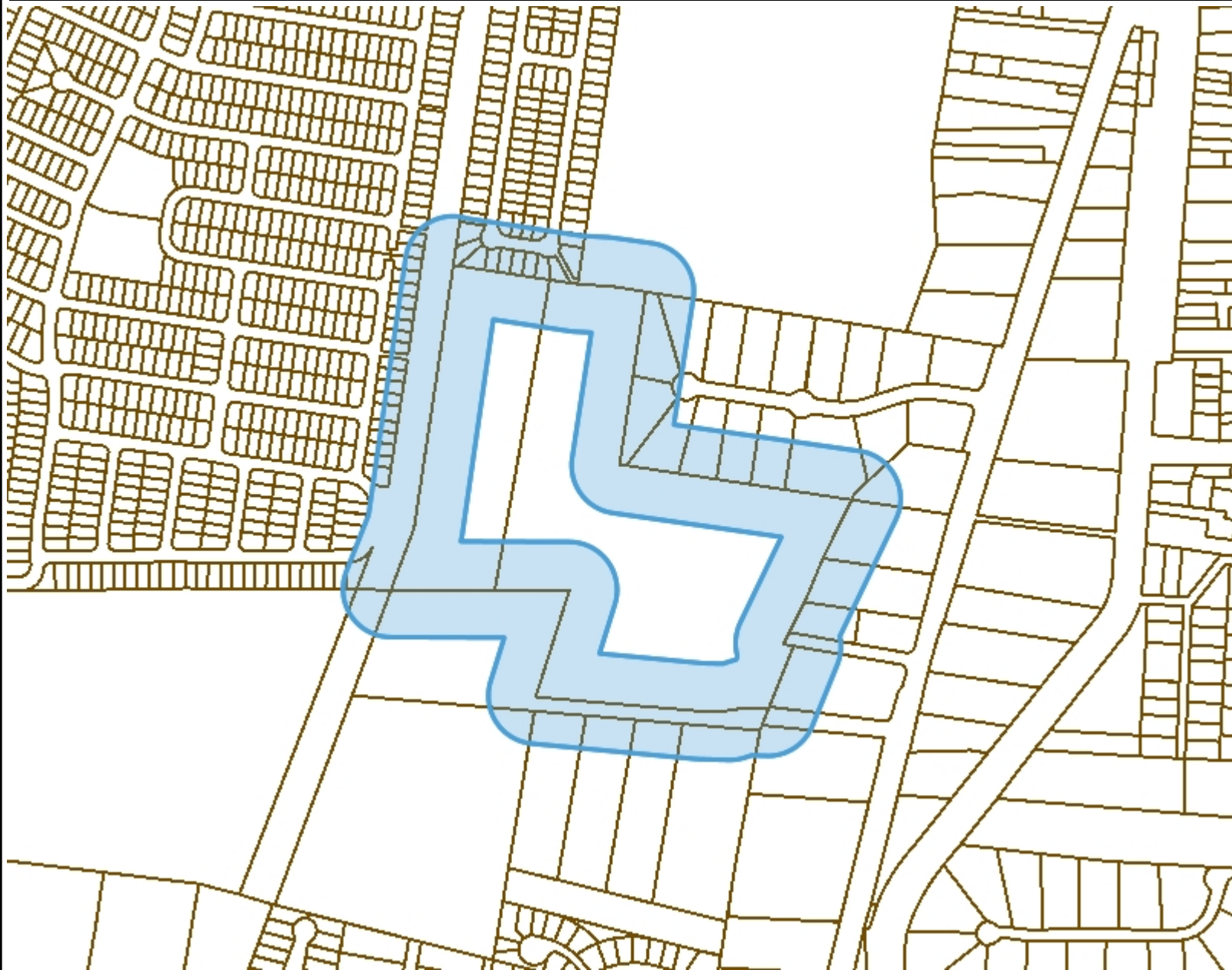


# 2911 ERVIEN LN SW



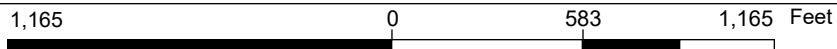
## Legend

□ Bernalillo County Parcels



## Notes

Buffer: 190 Ft.  
ROW: Ervien Ln SW; 90 Ft.



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
10/25/2023 © City of Albuquerque

1: 6,991

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

JUAREGUI JESUS CARLOS & ALMA  
7200 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121

LOPEZ FREDDIE C/O F & J HOME  
BUILDERS  
3312 RIO SECO DR SW  
ALBUQUERQUE NM 87121-9365

ESPINOZA EVELIN SARAHI CASTILLO &  
RODRIGUEZ JESUS ANTONIO  
7300 SPRING FLOWER RD SW  
ALBUQUERQUE NM 87121-6401

CHAVEZ CHRISTIAN R & VILLA ISABEL  
1934 RAY DEL SOL DR SW  
ALBUQUERQUE NM 87121-6299

CARRASCO DE SAENZ OLIVIA  
7220 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121

BAEZA-LOPEZ ESENIA KARINA  
7212 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

SOTO-RASCON SERJIO & JIMENEZ DIANA  
PONCE  
2204 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6398

JIMENEZ TERESA  
2008 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

VAZQUEZ MIGUEL ANGEL  
7209 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107

TRUJILLO DELILAH & GABRIEL  
2208 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6398

RIVERSIDE WEST LLC  
7008 2ND ST NW  
ALBUQUERQUE NM 87107-6010

JM ENTERPRISES LLC  
1815 CORTE FLORENTINO ST SW  
ALBUQUERQUE NM 87105-6010

AGUILERA -CHACON ANN LAURA  
7228 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

ROMERO JACOB ESTEVAN PEDRO  
7216 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

JUAREZ DOMINIC  
2212 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

CAMBARA IRMA & CLAUDIA CAMBARA  
7232 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

ORTIZ GRACIELA Y  
7223 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107

GOOD WELDON C & DEBORAH KELLY  
6104 CAROUSAL AVE NW  
ALBUQUERQUE NM 87120

MARTINEZ KENNETH  
7304 SPRING FLOWER RD SW  
ALBUQUERQUE NM 87121

DELGADO-QUINTANA ANGELICA  
2024 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417

GOOD WELDON C & DEBORAH K  
6104 CAROUSAL AVE NW  
ALBUQUERQUE NM 87120

LOPEZ ISABEL  
2104 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

CONTRERAS ALEJANDRO & MONSIVAIS  
CARLA  
2004 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

WIEST JULIEANN  
2100 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6397

CERA JOSE F & ELIZABETH  
2309 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

VEGA-ARREOLA EDGAR  
10520 DUKE AVE SW  
ALBUQUERQUE NM 87121

VALLES BOGAR  
9020 SUNCREST AVE SW  
ALBUQUERQUE NM 87121-8845

HOWARD LLOYD G  
5513 CAMINO SOLEDAD NW  
ALBUQUERQUE NM 87120-1903

WHITEHEAD ENTERPRISES LLC  
6900 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4238

SENA GEORGE & WANDA TRUSTEES  
SENA RVT  
3070 SAN YGNACIO RD SW  
ALBUQUERQUE NM 87105-3545

RUBIO-MATA MARCO A & LOPEZ-MEJIA  
BRENDA Y  
7208 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

GURULE LORETTA A & LESTER S &  
EMORY P GURULE  
4 HONCHO RD  
ESPANOLA NM 87532-8161

SEDONA INVESTMENTS LLC  
1070 NEPTUNE AVE  
ENCINITAS CA 92024

HUNTER GARY R & RENATE M  
1944 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

ESCARCEGA YAMILET LOPEZ  
2012 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417

ZULUETA-BELTRAN MIGUEL A  
7204 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121

GREENIER MARY V  
2000 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

ROCHA-LOPEZ LORENZO E  
1936 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6431

ARTESIA FIRE EQUIPMENT INC  
PO BOX 1367  
ARTESIA NM 88211

TELLES TOBY L & CATHERINE G  
5620 DONNA MARLANE DR SW  
ALBUQUERQUE NM 87121-6220

BORJAS ESPERANZA & BORJAS CARLOS  
M  
1940 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6431

COUNTY OF BERNALILLO C/O COUNTY  
MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102-2109

MORALES ROSALIO & ANA MICAELA  
3025 AUBOL RD SW  
ALBUQUERQUE NM 87105-6888

GUTIERREZ BLANCA ROCIO  
2028 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417

CORDERO AMANDA S  
2401 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

MANZANARES RONNIE J & LISA  
10204 KEEPING DR NW  
ALBUQUERQUE NM 87114-4601

RUIZ ROMAN TRUSTEE RUIZ TRUST  
7021 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4239

VILLEGAS-GUERECA BELEN C  
7236 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

GOOD WELDON C & DEBORAH K  
7020 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4240

MORENO EDMUNDO  
2036 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

ARAGON KRISTINE B  
2305 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6399

NELSON DON OLOF & DEWITT  
CATHERINE R  
1160 6TH ST  
HERMOSA BEACH CA 90254-4908

GROSSETETE AURORA TRUSTEE  
GROSSETETE RVLT  
2328 SHIPMAN RD SW  
ALBUQUERQUE NM 87105-4424

LOZANO REANETTE ATTN: ANSON  
STREET LLC  
110 QUENTIN ROOSEVELT BLVD #204  
GARDEN CITY NY 11530-0000

RIVERSIDE WEST LLC  
7008 2ND ST NW  
ALBUQUERQUE NM 87107-6010

MONTOYA HENRY R & DEBORAH M CO-  
TRUSTEES MONTOYA FAMILY RVT  
3608 SUNSTAR BLVD SW  
ALBUQUERQUE NM 87105-5685

BACA MARIA CARMEN  
7219 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107

RAMOS NORMA  
2405 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

MUNIZ ARMANDO  
1939 TIERRA DE LA LUNA DR SW  
ALBUQUERQUE NM 87121

MADRID ARMANDO AVILA & MARIA DEL  
CARMAN AVILA LOPEZ  
7215 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107

ANDERSON DONALD W  
2200 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

VHS HOLDINGS LLC ATTN: HAGGAR  
GROUP LLC  
31225 LA BAYA DR SUITE 206  
WESTLAKE VILLAGE CA 91362-6326

NMAL RIVERSIDE MHP LLC  
110 NW 2ND ST  
CEDAREGE CO 81413-4304

CARRETE ALFONSO A & SYLVIA  
9405 RIVERFRONT DR NW  
ALBUQUERQUE NM 87114-4141

MORA LAWRENCE & DELTA  
3812 ERVIEN LN SW A  
ALBUQUERQUE NM 87121-2537

MORA LAWRENCE & DELTA  
5712 PIEDRA RD NW  
ALBUQUERQUE NM 87114-4735

RUIZ FIDEL & RUIZ GLORIA  
2516 WILLIAM ST SE  
ALBUQUERQUE NM 87102-5035

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

VHS HOLDINGS LLC C/O HAGGAR GROUP  
LLC  
31225 LA BAYA DR SUITE 206  
THOUSAND OAKS CA 91362-6326

*TERRA WEST* LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



MORA LAWRENCE & DELTA  
3812 ERVIEN LN SW A  
ALBUQUERQUE NM 87121-2537

*TERRA WEST* LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

*TERRA WEST* LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



VHS HOLDINGS LLC ATTN: HAGGAR  
GROUP LLC  
31225 LA BAYA DR SUITE 206  
WESTLAKE VILLAGE CA 91362-6326

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



VHS HOLDINGS LLC C/O HAGGAR GROUP  
LLC  
31225 LA BAYA DR SUITE 206  
THOUSAND OAKS CA 91362-6326

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



NMAL RIVERSIDE MHP LLC  
110 NW 2ND ST  
CEDAREGGE CO 81413-4304

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



MORA LAWRENCE & DELTA  
5712 PIEDRA RD NW  
ALBUQUERQUE NM 87114-4735

*TERRA WEST, LLC*

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



RUIZ FIDEL & RUIZ GLORIA  
2516 WILLIAM ST SE  
ALBUQUERQUE NM 87102-5035

*TERRA WEST, LLC*

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



CARRETE ALFONSO A & SYLVIA  
9405 RIVERFRONT DR NW  
ALBUQUERQUE NM 87114-4141

*TERRA WEST, LLC*

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



ANDERSON DONALD W  
2200 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

COUNTY OF BERNALILLO C/O COUNTY  
MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102-2109



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

SEDONA INVESTMENTS LLC  
1070 NEPTUNE AVE  
ENCINITAS CA 92024



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ZULUETA-BELTRAN MIGUEL A  
7204 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121





TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

CORDERO AMANDA S  
2401 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

VILLEGAS-GUERRECA BELEN C  
7236 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ARTESIA FIRE EQUIPMENT INC  
PO BOX 1367  
ARTESIA NM 88211



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

BACA MARIA CARMEN  
7219 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ARAGON KRISTINE B  
2305 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6399



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

LOZANO REANETTE ATTN: ANSON  
STREET LLC  
110 QUENTIN ROOSEVELT BLVD #204  
GARDEN CITY NY 11530-0000



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ROCHA-LOPEZ LORENZO E  
1936 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6431



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GURULE LORETTA A & LESTER S &  
EMORY P GURULE  
4 HONCHO RD  
ESPANOLA NM 87532-8161



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MADRID ARMANDO AVILA & MARIA DEL  
CARMAN AVILA LOPEZ  
7215 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

BORJAS ESPERANZA & BORJAS CARLOS  
M  
1940 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6431



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GUTIERREZ BLANCA ROCIO  
2028 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417



*TERRA WEST*.LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ESCARCEGA YAMILET LOPEZ  
2012 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MONTOYA HENRY R & DEBORAH M CO-  
TRUSTEES MONTOYA FAMILY RVT  
3608 SUNSTAR BLVD SW  
ALBUQUERQUE NM 87105-5685



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

RUIZ ROMAN TRUSTEE RUIZ TRUST  
7021 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4239



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MORENO EDMUNDO  
2036 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

RUBIO-MATA MARCO A & LOPEZ-MEJIA  
BRENDA Y  
7208 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MUNIZ ARMANDO  
1939 TIERRA DE LA LUNA DR SW  
ALBUQUERQUE NM 87121



TERRA WEST LLC

571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GROSSETETE AURORA TRUSTEE  
GROSSETETE RVLT  
2328 SHIPMAN RD SW  
ALBUQUERQUE NM 87105-4424



TERRA WEST LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

TELLES TOBY L & CATHERINE G  
5620 DONNA MARLANE DR SW  
ALBUQUERQUE NM 87121-6220



TERRA WEST LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MORALES ROSALIO & ANA MICAELA  
3025 AUBOL RD SW  
ALBUQUERQUE NM 87105-6888



TERRA WEST LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

HUNTER GARY R & RENATE M  
1944 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MANZANARES RONNIE J & LISA  
10204 KEEPING DR NW  
ALBUQUERQUE NM 87114-4601



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

NELSON DON OLOF & DEWITT  
CATHERINE R  
1160 6TH ST  
HERMOSA BEACH CA 90254-4908



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GREENIER MARY V  
2000 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121





TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

RIVERSIDE WEST LLC  
7008 2ND ST NW  
ALBUQUERQUE NM 87107-6010



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

RAMOS NORMA  
2405 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GOOD WELDON C & DEBORAH K  
7020 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4240



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

JUAREZ DOMINIC  
2212 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ESPINOZA EVELIN SARAH CASTILLO &  
RODRIGUEZ JESUS ANTONIO  
7300 SPRING FLOWER RD SW  
ALBUQUERQUE NM 87121-6401



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

BAEZA-LOPEZ ESENIA KARINA  
7212 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

GOOD WELDON C & DEBORAH KELLY  
6104 CAROUSAL AVE NW  
ALBUQUERQUE NM 87120



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

JM ENTERPRISES LLC  
1815 CORTE FLORENTINO ST SW  
ALBUQUERQUE NM 87105-6010



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

VAZQUEZ MIGUEL ANGEL  
7209 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



SENA GEORGE & WANDA TRUSTEES  
SENA RVT  
3070 SAN YGNACIO RD SW  
ALBUQUERQUE NM 87105-3545

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



WIEST JULIEANN  
2100 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6397

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



GOOD WELDON C & DEBORAH K  
6104 CAROUSAL AVE NW  
ALBUQUERQUE NM 87120

*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

RIVERSIDE WEST LLC  
7008 2ND ST NW  
ALBUQUERQUE NM 87107-6010



*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

JIMENEZ TERESA  
2008 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

VALLES BOGAR  
9020 SUNCREST AVE SW  
ALBUQUERQUE NM 87121-8845



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ORTIZ GRACIELA Y  
7223 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9107



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

DELGADO-QUINTANA ANGELICA  
2024 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6417



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

ROMERO JACOB ESTEVAN PEDRO  
7216 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108



*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



CONTRERAS ALEJANDRO & MONSIVAIS  
CARLA  
2004 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121

*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



WHITEHEAD ENTERPRISES LLC  
6900 HUSEMAN PL SW  
ALBUQUERQUE NM 87121-4238

*TERRA WEST* LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



VEGA-ARREOLA EDGAR  
10520 DUKE AVE SW  
ALBUQUERQUE NM 87121

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



HOWARD LLOYD G  
5513 CAMINO SOLEDAD NW  
ALBUQUERQUE NM 87120-1903

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



LOPEZ FREDDIE C/O F & J HOME  
BUILDERS  
3312 RIO SECO DR SW  
ALBUQUERQUE NM 87121-9365

TERRA WEST, LLC  
571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



CARRASCO DE SAENZ OLIVIA  
7220 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

MARTINEZ KENNETH  
7304 SPRING FLOWER RD SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

LOPEZ ISABEL  
2104 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

CERA JOSE F & ELIZABETH  
2309 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



AGUILERA -CHACON ANN LAURA  
7228 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



TRUJILLO DELILAH & GABRIEL  
2208 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6398

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109



CAMBARA IRMA & CLAUDIA CAMBARA  
7232 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121-9108

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE NM 87109

JUAREGUI JESUS CARLOS & ALMA  
7200 LUNA AZUL AVE SW  
ALBUQUERQUE NM 87121



TERRA WEST, LLC

1 MIDWAY PARK PLACE NE  
LBUQUERQUE NM 87109

CHAVEZ CHRISTIAN R & VILLA ISABEL  
1934 RAY DEL SOL DR SW  
ALBUQUERQUE NM 87121-6299



TERRA WEST, LLC

1 MIDWAY PARK PLACE NE  
LBUQUERQUE NM 87109

SOTO-RASCON SERJIO & JIMENEZ DIANA  
PONCE  
2204 DESERT BREEZE DR SW  
ALBUQUERQUE NM 87121-6398





OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type:
Decision-making Body:
Pre-Application meeting required: [X] Yes [ ] No
Neighborhood meeting required: [X] Yes [ ] No No NAs within project boundaries
Mailed Notice required: [X] Yes [ ] No
Electronic Mail required: [X] Yes [ ] No
Is this a Site Plan Application: [X] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 9500 Montgomery Blvd NE
Name of property owner: RIVERSIDE, LLC
Name of applicant: Tierra West, LLC
Date, time, and place of public meeting or hearing, if applicable: Thursday, December 21, 2023 8:40AM, Zoom
Address, phone number, or website for additional information: SLozoya@tierrawestllc.com
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[X] Zone Atlas page indicating subject property.
[X] Drawings, elevations, or other illustrations of this request.
[X] Summary of pre-submittal neighborhood meeting, if applicable.
[X] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Signature] (Applicant signature) 11/2/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: \_\_\_\_\_

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: \_\_\_\_\_

Mailing Address\*: \_\_\_\_\_

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* \_\_\_\_\_  
Location Description \_\_\_\_\_
2. Property Owner\* \_\_\_\_\_
3. Agent/Applicant\* [if applicable] \_\_\_\_\_
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan**
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Hearing Officer (DHO)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: \_\_\_\_\_

Location\*<sup>2</sup>: \_\_\_\_\_

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

\_\_\_\_\_

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> \_\_\_\_\_

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation\*:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] \_\_\_\_\_
  2. IDO Zone District \_\_\_\_\_
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

---

<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from January 3rd, 2024 To February 2nd, 2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

December 27, 2023  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** Project # 2018-001482, SI-2023-01925

side  
me Community  
vien Ln.  
6-8800

**REQUEST**  
RIVERSIDE, MHP, LLC REQUESTS A SITE PLAN-ERC  
FOR ALL OR A PORTION OF 2911 ERVIEN LN, SW 87121

---

PRESENT ZONE R-MC      APPROX - 42 ACRES

The Environmental Planning Commission of the City of Albuquerque  
will hold a public Zoom Meeting: <http://cabq.zoom.us/j/2269592859>  
Meeting ID# 226-959-2859 on JAN 18, 2024 at 8:30AM and  
such additional dates as may duly be established. All persons  
have a right to appear at such hearing. For information on this  
case or instructions on filing written comments, you may call the  
City Planning Department at (505) 924-3860.  
Required to be posted from Jan 3, 2024 to FEB 2nd, 2024  
by TERRA WEST LLC      505-278-7088  
applicant/agent      phone

REFER TO FILE #: PR-2018-001482, SI-2023-01925

It is illegal for an unauthorized person to remove or tamper with this sign. 7-14.42 Revised Ordinances of Albuquerque, NM 1974



# Riverside

Manufactured Home Community

2911 Ervien Lane

5-966-8

## REQUEST

PR-2018-001482, SI-2023-01925 FOR 2911 ERVIEN LANE SW  
81121 - SITE PLAN - EPC FOR RIVERSIDE MHP, LLC

PRESENT ZONE R-MC

APPROX 42 acres

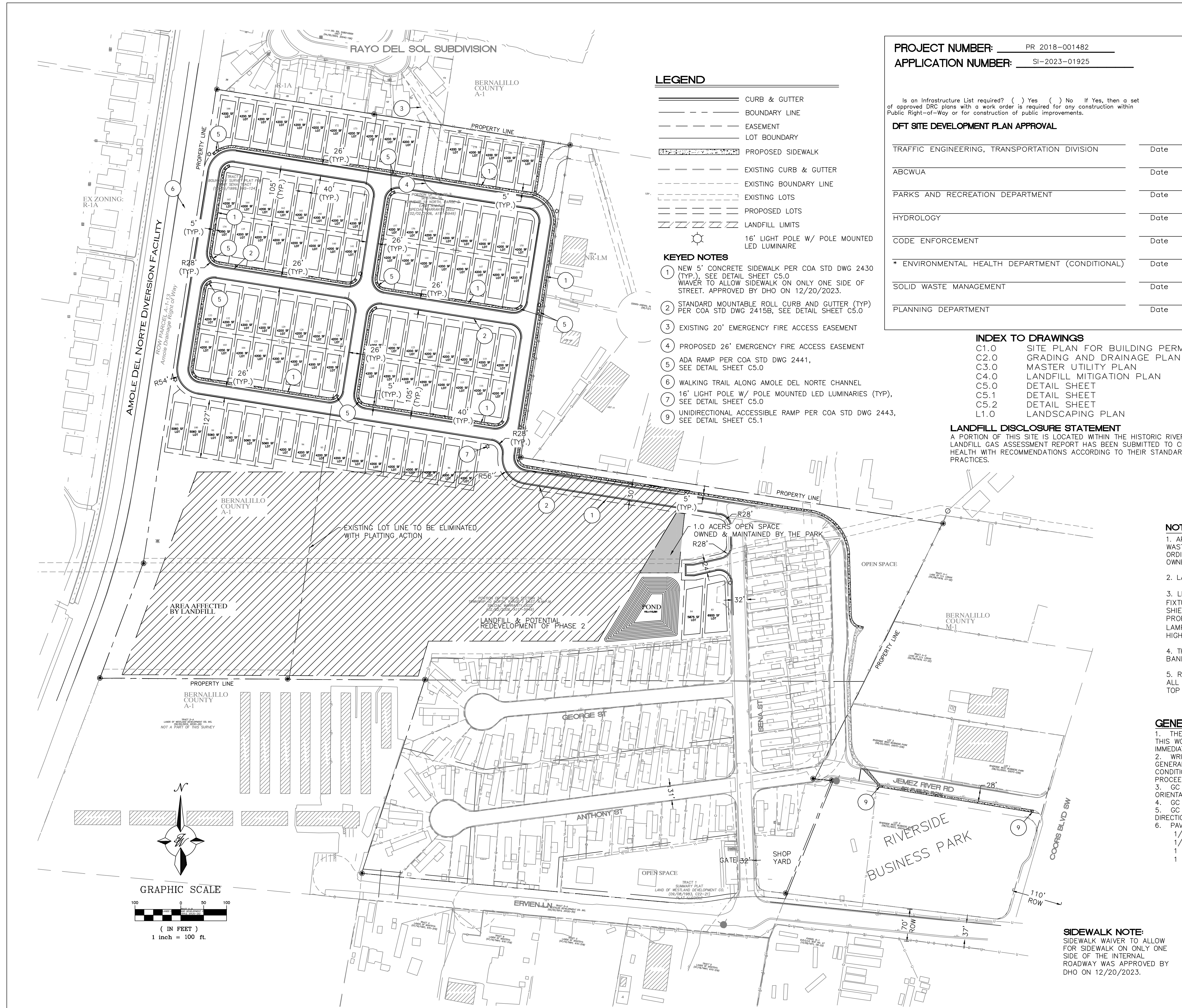
The Environmental Planning Commission of the City of Albuquerque will hold a public Zoom Meeting: <http://cabq.zoom.us/j/2269592859>  
Meeting ID# 226-959-2859 on Jan 18, 2024 at 8:30AM and such additional dates as may duly be established. All persons have a right to appear at such hearing. For information on this case or instructions on filing written comments, you may call the City Planning Department at (505) 924-3860.

Required to be posted from Jan 3, 2024 to FEB 2, 2024  
by TIERRA WEST LLC 505-278-7088  
applicant/agent phone

REFER TO FILE #: PR-2018-001482, SI-2023-01925

It is illegal for an unauthorized person to remove or tamper with this sign. 7-14.42 Revised Ordinances of Albuquerque, NM 1974

PROPOSED SITE PLAN



**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - LOT BOUNDARY
- ▨ PROPOSED SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING LOTS
- ▨ PROPOSED LOTS
- ▨ LANDFILL LIMITS
- ☼ 16' LIGHT POLE W/ POLE MOUNTED LED LUMINAIRE

**KEYED NOTES**

- 1 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), SEE DETAIL SHEET C5.0  
WIAVER TO ALLOW SIDEWALK ON ONLY ONE SIDE OF STREET. APPROVED BY DHO ON 12/20/2023.
- 2 STANDARD MOUNTABLE ROLL CURB AND GUTTER (TYP) PER COA STD DWG 2415B, SEE DETAIL SHEET C5.0
- 3 EXISTING 20' EMERGENCY FIRE ACCESS EASEMENT
- 4 PROPOSED 26' EMERGENCY FIRE ACCESS EASEMENT
- 5 ADA RAMP PER COA STD DWG 2441, SEE DETAIL SHEET C5.0
- 6 WALKING TRAIL ALONG AMOLE DEL NORTE CHANNEL
- 7 16' LIGHT POLE W/ POLE MOUNTED LED LUMINAIRES (TYP), SEE DETAIL SHEET C5.0
- 9 UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD DWG 2443, SEE DETAIL SHEET C5.1

PROJECT NUMBER: PR 2018-001482

APPLICATION NUMBER: SI-2023-01925

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

**INDEX TO DRAWINGS**

- C1.0 SITE PLAN FOR BUILDING PERMIT
- C2.0 GRADING AND DRAINAGE PLAN
- C3.0 MASTER UTILITY PLAN
- C4.0 LANDFILL MITIGATION PLAN
- C5.0 DETAIL SHEET
- C5.1 DETAIL SHEET
- C5.2 DETAIL SHEET
- L1.0 LANDSCAPING PLAN

**LANDFILL DISCLOSURE STATEMENT**

A PORTION OF THIS SITE IS LOCATED WITHIN THE HISTORIC RIVERSIDE LANDFILL. A LANDFILL GAS ASSESSMENT REPORT HAS BEEN SUBMITTED TO CITY ENVIRONMENTAL HEALTH WITH RECOMMENDATIONS ACCORDING TO THEIR STANDARDS AND BEST PRACTICES.



**LEGAL DESCRIPTION:**

TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WEST LAND DEVELOPMENT CO., INCLUDED TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/2 SE, 1/2 SEC. 34T10N, AND R2E AND TRACT OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTION 34 & 3.

RIVERSIDE MOBILE HOME PARK  
2911 ERVIE LN SW  
ALBUQUERQUE, NM 87121

TOTAL AREA: 40.82 AC  
EXIST AREA: 14.41 AC  
PROPOSED AREA: 26.41 AC

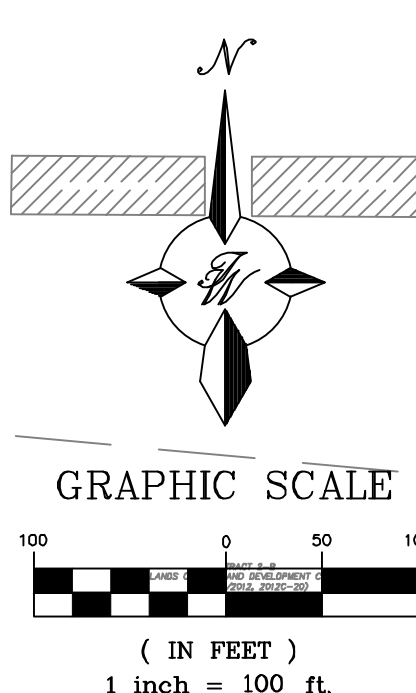
EXISTING LOTS:	82
40'x105' PROPOSED LOTS:	91
(MAX MOBILE HOME LENGTH:	80 FT)
5,000SF+ PROPOSED LOTS:	8
(MAX MOBILE HOME LENGTH:	102 FT)
TOTAL LOTS:	181

**NOTES:**

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

**GENERAL NOTES - SITE PLANS:**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:  
 1/2" @ ALL EXIT DOORS  
 1/2" @ ALL SHOWROOM GLAZING LOCATIONS  
 1 1/2" @ OVERHEAD DOORS  
 1 1/2" @ PRE-FAB METAL WALL PANELS



**SIDEWALK NOTE:**  
SIDEWALK WAIVER TO ALLOW FOR SIDEWALK ON ONLY ONE SIDE OF THE INTERNAL ROADWAY WAS APPROVED BY DHO ON 12/20/2023.

ENGINEER'S SEAL	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>  <b>SITE DEVELOPMENT PLAN</b>	DRAWN BY JL
		DATE 1/3/2024
1/3/2024		DRAWING 2022056-SP
VINCENT P. CARRICA P.E. #16212	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # <b>C1.0</b>
		JOB # 2022056

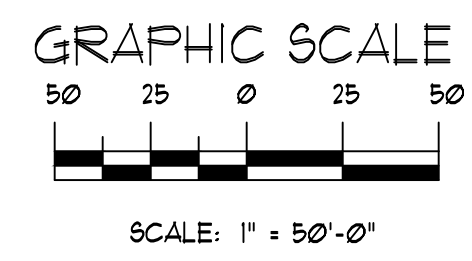
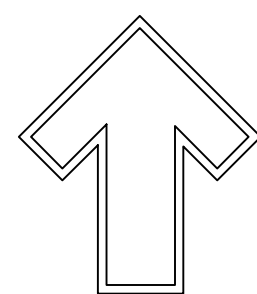
BERNALILLO COUNTY A-1

ROW PARCEL A-1-13 Amole Drainage Right of Way



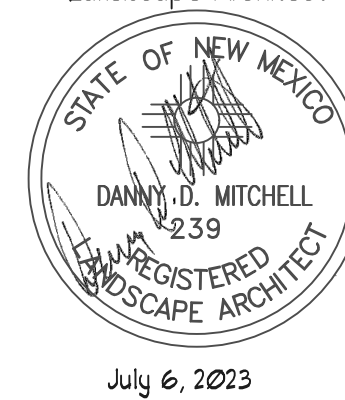
DRAINAGE BASIN TREATMENT (SEE NOTES) PER CITY OF ALBUQUERQUE 31464

BERNALILLO COUNTY A-1



danny@mitchellassociatesinc.com

505.639.9583



July 6, 2023

SHEET # L1.0

2019011 SOUTH VALLEY MHP (RIVERSIDE) ENCROACHMENT EASEMENT EXHIBIT

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
9	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
12	3" cal	Netleaf Hackberry <i>Celtis reticulata</i>	M+
16	6-8'	Crimson Oak <i>Quercus robur x alba</i>	M
33	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	M
70	Total Trees		
67136	Drainage Basin Treatment, (See Notes) Native Seeding Mix Per COA		
67136	Total Landscape Provided		

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	606251
TOTAL ON-SITE LANDSCAPE PROVIDED	67136

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

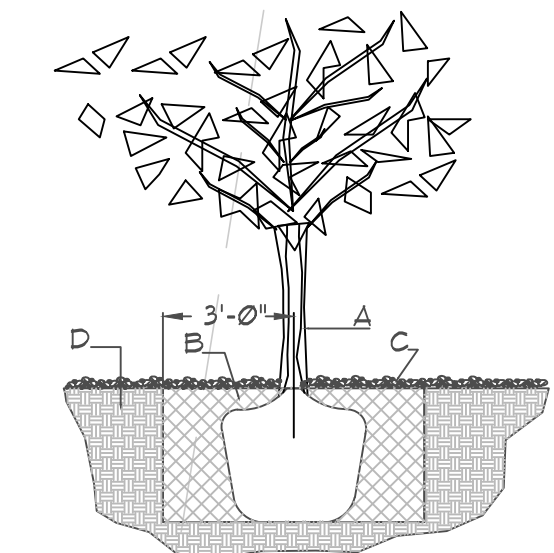
Landscape areas in excess of 36 square feet shall be planted so as to achieve 15% Live Ground Cover at maturity.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.



**TREE PLANTING DETAIL**

NTS

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pined in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Drainage Basin Treatments  
Per City of Albuquerque  
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 102.2.2 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

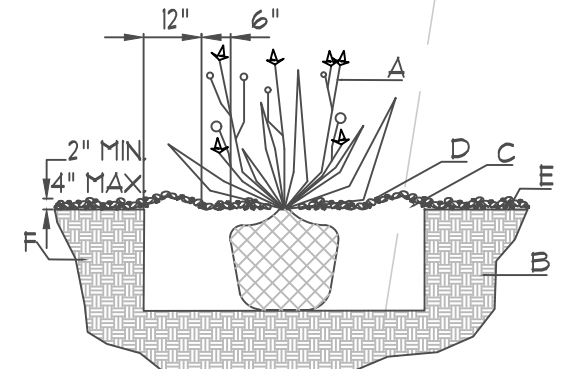
For pond bottoms: Gravel 3/4 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 102.3.1 and 102.3.2.

Contractor must weed the basin during/after the first growing season.

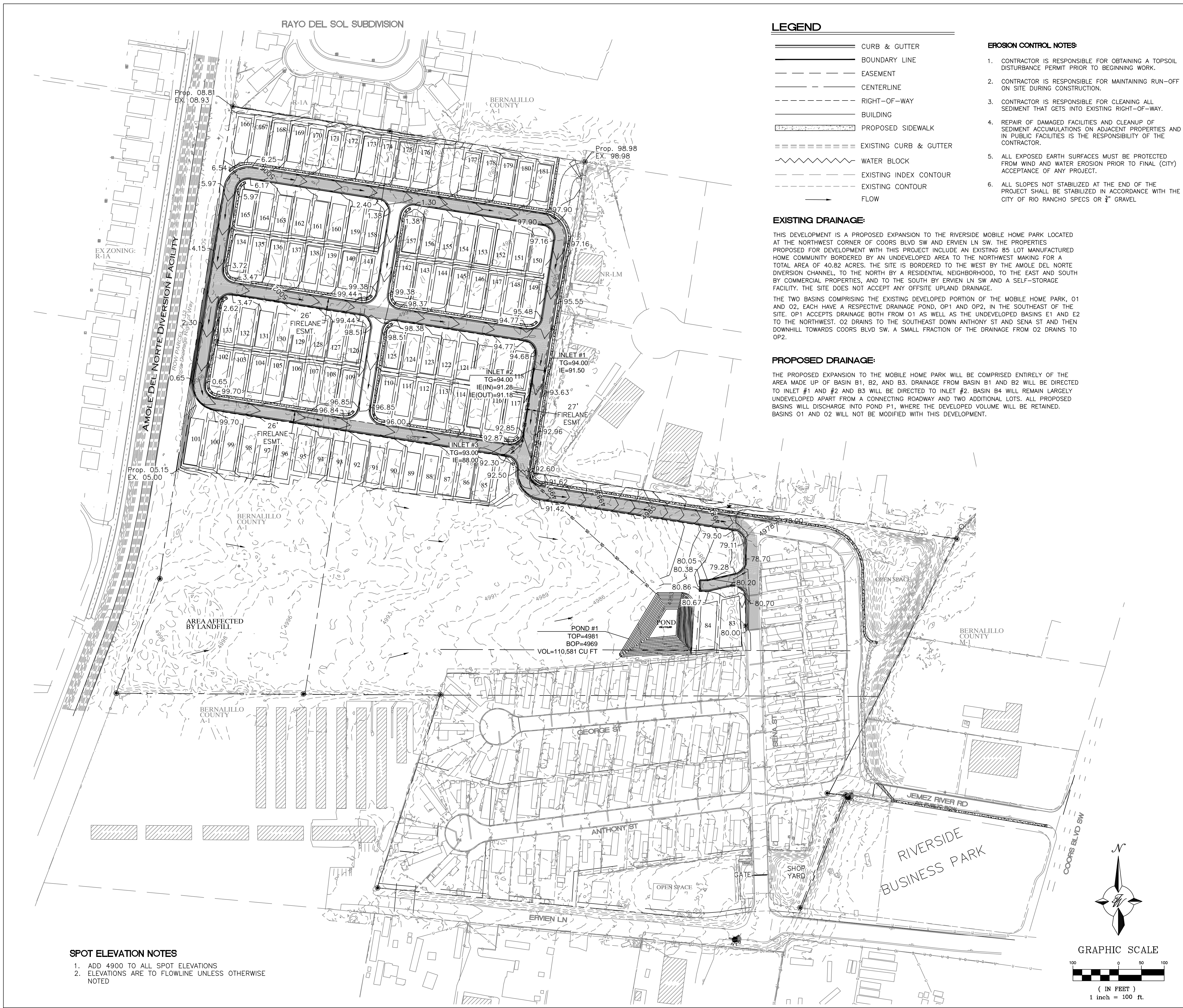
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.



**SHRUB PLANTING DETAIL**

NTS

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.

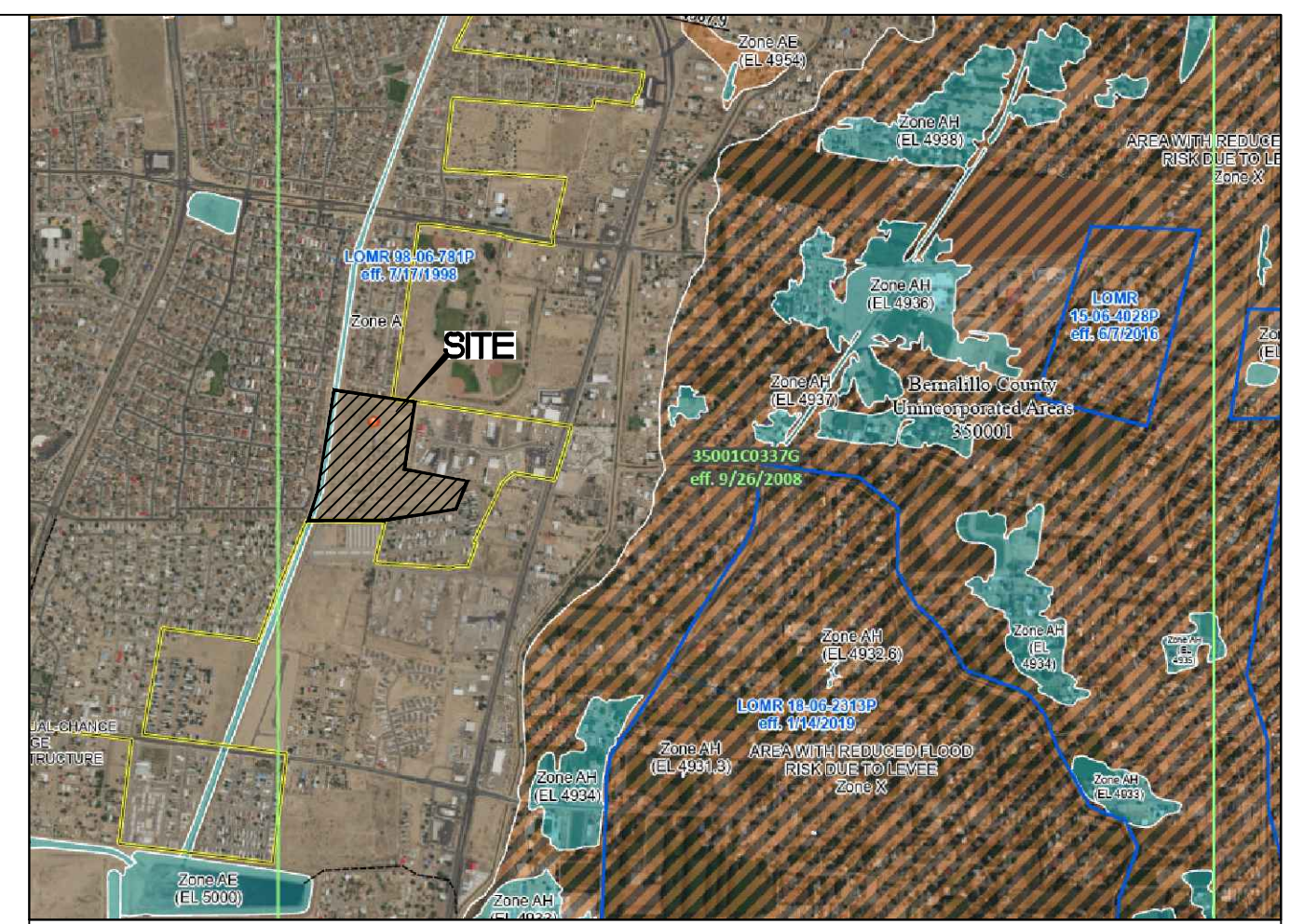


**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ PROPOSED SIDEWALK
- ▬ EXISTING CURB & GUTTER
- ▬ WATER BLOCK
- ▬ EXISTING INDEX CONTOUR
- ▬ EXISTING CONTOUR
- FLOW

**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR 1/2" GRAVEL.



**FIRM MAP 35001C0337G**



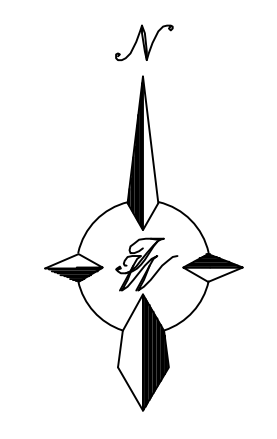
**PROPOSED BASIN MAP**



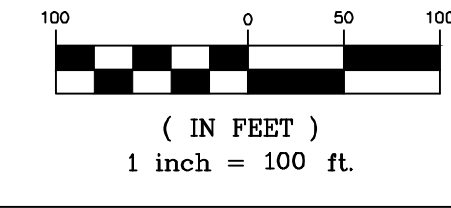
**EXISTING BASIN MAP**

**CAUTION**

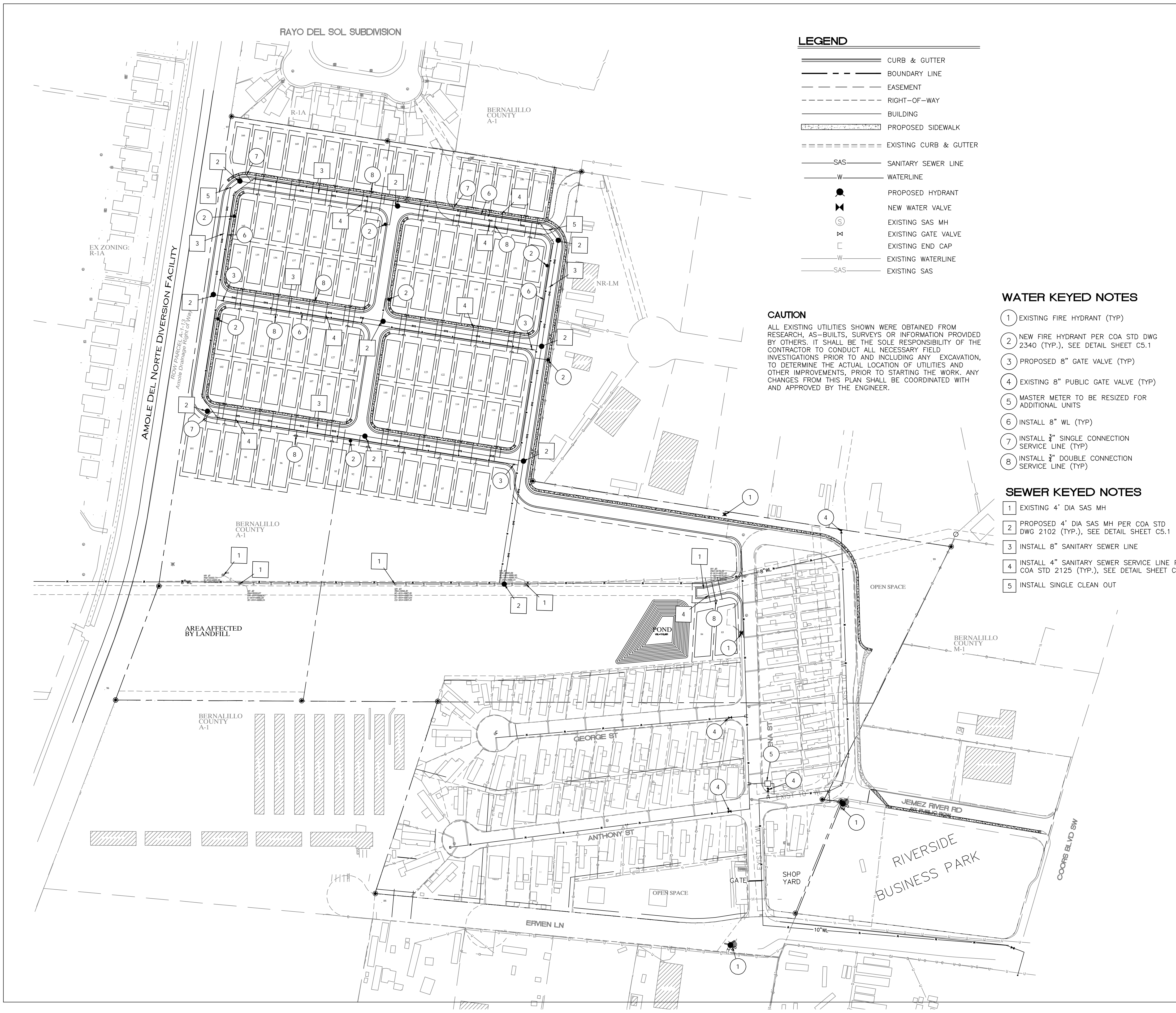
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



**GRAPHIC SCALE**



ENGINEER'S SEAL	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>CONCEPTUAL GRADING AND DRAINAGE PLAN</b>	DATE 1/3/2024
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-GR
1/3/2024		SHEET # <b>C2.0</b>
VINCENT P. CARRICA P.E. #16212		JOB # 2022056



**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	SANITARY SEWER LINE
	WATERLINE
	PROPOSED HYDRANT
	NEW WATER VALVE
	EXISTING SAS MH
	EXISTING GATE VALVE
	EXISTING END CAP
	EXISTING WATERLINE
	EXISTING SAS

**CAUTION**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**WATER KEYED NOTES**

- 1 EXISTING FIRE HYDRANT (TYP)
- 2 NEW FIRE HYDRANT PER COA STD DWG 2340 (TYP.). SEE DETAIL SHEET C5.1
- 3 PROPOSED 8" GATE VALVE (TYP)
- 4 EXISTING 8" PUBLIC GATE VALVE (TYP)
- 5 MASTER METER TO BE RESIZED FOR ADDITIONAL UNITS
- 6 INSTALL 8" WL (TYP)
- 7 INSTALL 3/4" SINGLE CONNECTION SERVICE LINE (TYP)
- 8 INSTALL 3/4" DOUBLE CONNECTION SERVICE LINE (TYP)

**SEWER KEYED NOTES**

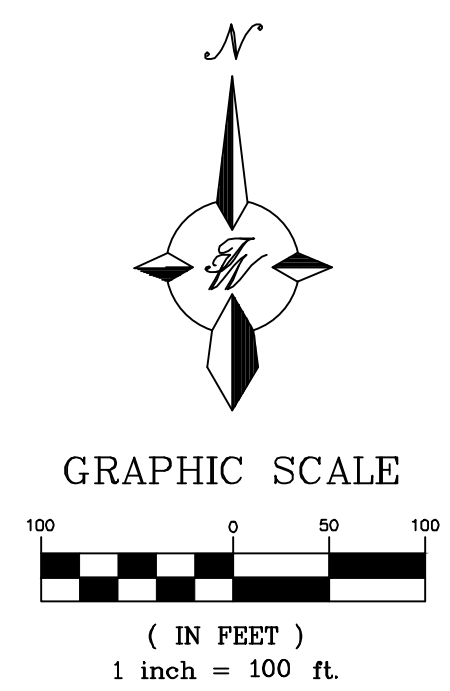
- 1 EXISTING 4' DIA SAS MH
- 2 PROPOSED 4' DIA SAS MH PER COA STD DWG 2102 (TYP.), SEE DETAIL SHEET C5.1
- 3 INSTALL 8" SANITARY SEWER LINE
- 4 INSTALL 4" SANITARY SEWER SERVICE LINE PER COA STD 2125 (TYP.), SEE DETAIL SHEET C5.1
- 5 INSTALL SINGLE CLEAN OUT



**LEGAL DESCRIPTION:**  
 TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WEST LAND DEVELOPMENT CO., INCLUDED TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/4 SE, 1/4 SEC. 34, 110N, AND R2E AND TRACT OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTION 34 & 3.

**GENERAL UTILITY NOTES:**

- 1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- 3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
- 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
- 7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.



	<b>SOUTH VALLEY MHP</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>CONCEPTUAL</b> <b>MASTER UTILITY PLAN</b>	DATE 1/3/2024
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-MU
1/3/2024 VINCENT P. CARRICA P.E. #16212	<b>SHEET #</b> <b>C3.0</b>	JOB # 2022056





**VICINITY MAP** **M-10-Z**

**LEGAL DESCRIPTION:**  
 TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E  
 UPC - 101005440552820545 AND 101005534207240110

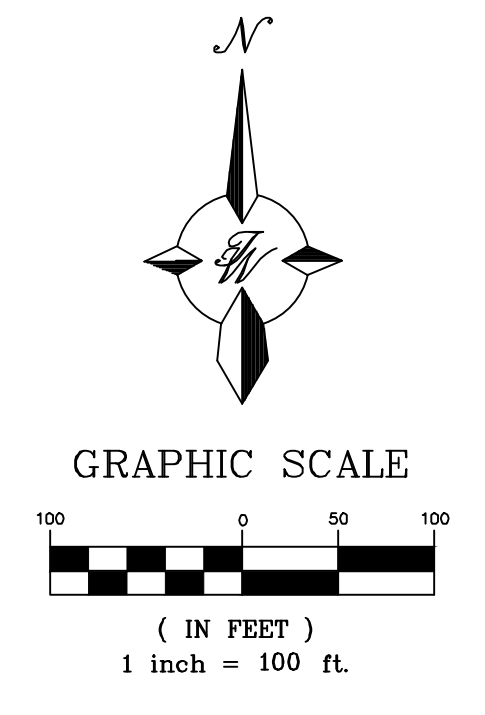
**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	LOT BOUNDARY
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING LOTS
	VAPOR MITIGATION TRENCH
	LANDFILL LIMITS
	MITIGATION AREA, SEE EXCAVATION NOTE
	PROPOSED LFG NESTED WELL LOCATION

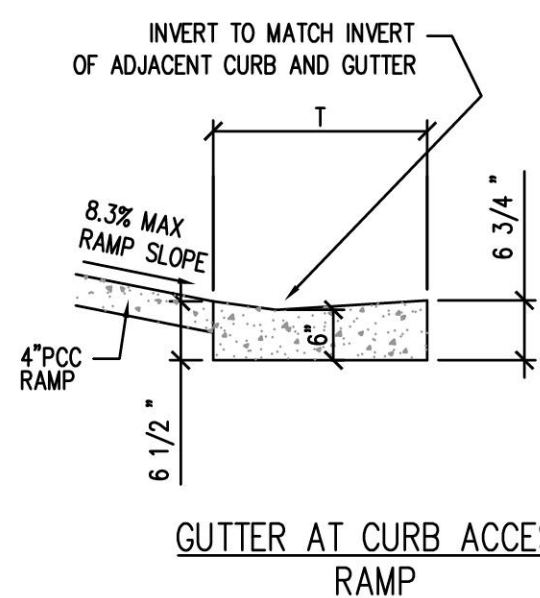
- KEYED NOTES**
- ① VAPOR MITIGATION TRENCH, SEE DETAIL SHEET C5.2
  - ② BENTONITE PLUG
  - ③ EXISTING 4' DIA SAS MH
  - ④ PROPOSED 4' DIA SAS MH
  - ⑤ EXISTING 8" SANITARY SEWER LINE
  - ⑥ PROPOSED 8" SANITARY SEWER LINE
  - ⑦ EXISTING 8" WL
  - ⑧ PROPOSED 8" WL

**NOTE**  
 CONSTRUCTION DEBRIS/MUNICIPAL WASTE ENCOUNTERED OUTSIDE OF MAPPED AREA SHALL BE EXCAVATED VERTICALLY AND Laterally TO NATIVE MATERIAL AND BACKFILLED WITH ENGINEERED FILL PER GEOTECHNICAL SPECIFICATION

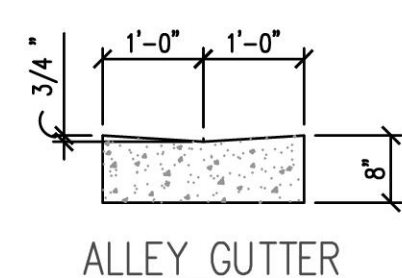
**EXCAVATION NOTE**  
 WHEN WORKING IN LANDFILL AREA, ALL MATERIAL TO THE DEPTH OF LANDFILL MUST BE TAKEN OUT AND REPLACED WITH SELECTED ENGINEERED FILL OR WHAT IS RECOMMENDED ON THE GEOTECHNICAL REPORT.



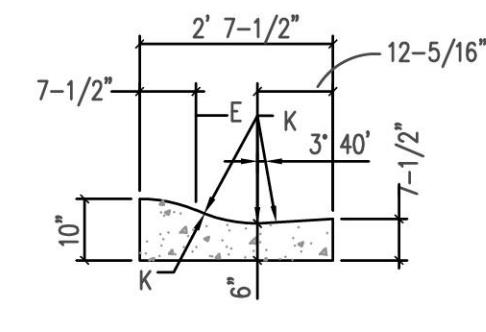
ENGINEER'S SEAL 	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>LANDFILL MITIGATION PLAN</b>	DATE 1/3/2024
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-LM
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>C4.0</b>
		JOB # 2022056



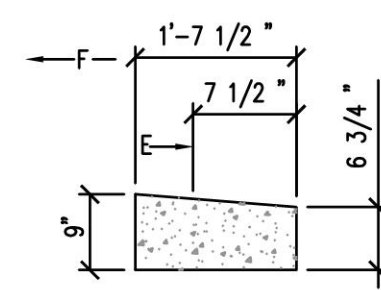
GUTTER AT CURB ACCESS RAMP



ALLEY GUTTER



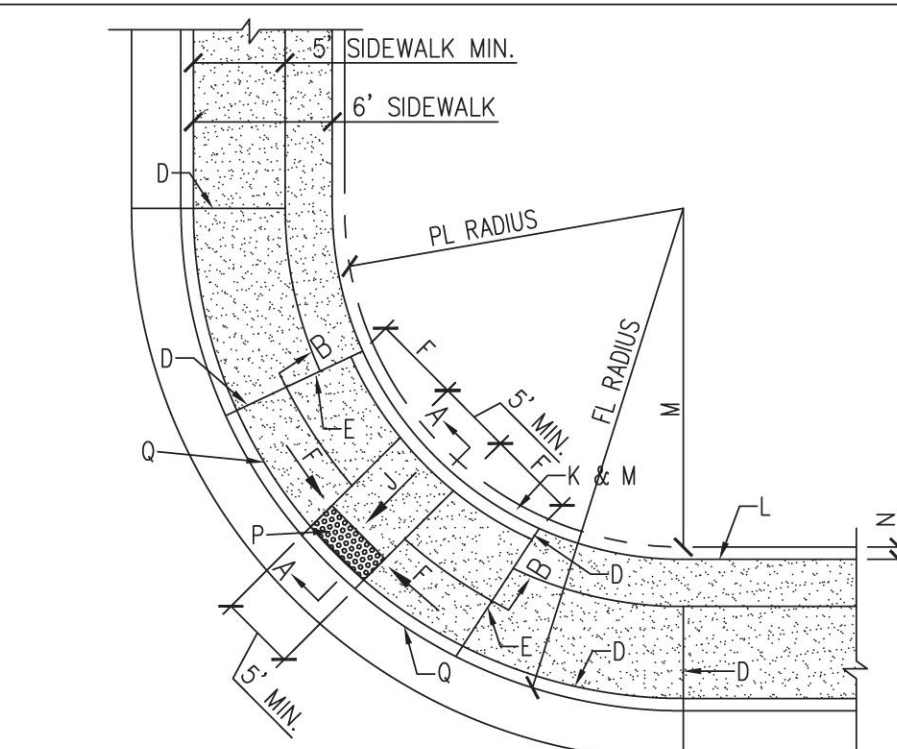
MOUNTABLE ROLL CURB AND GUTTER



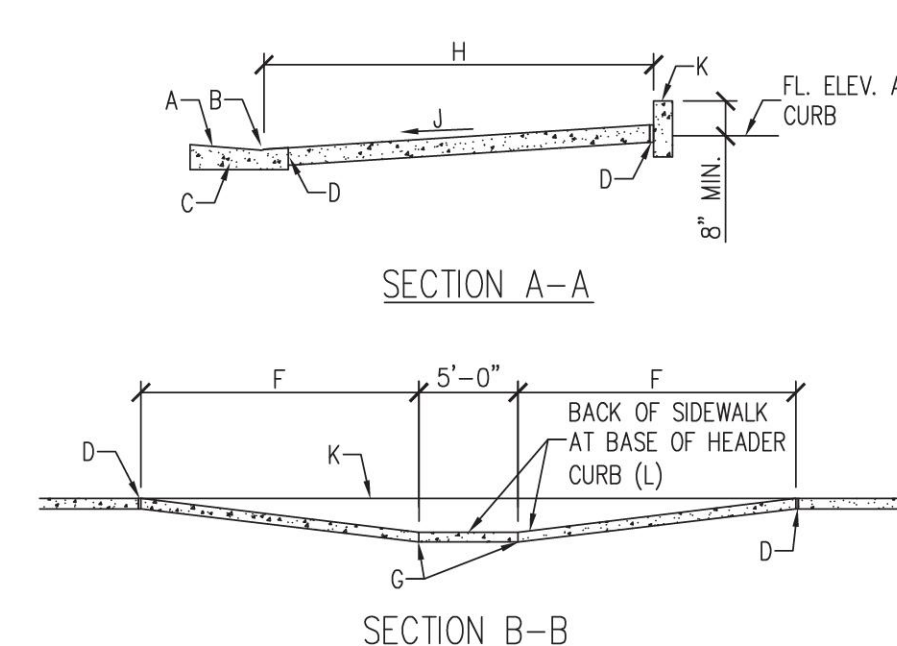
ESTATE CURB

- GENERAL NOTES**  
SEE COA DRAWING 2415A
- CONSTRUCTION NOTES**
- REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
  - VARIABLE, DEPRESS AS NEEDED.
  - DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
  - EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
  - FACE OF CURB/FLOW LINE.
  - TRAFFIC SIDE.
  - 3/4" RADIUS.
  - 1-1/2" RADIUS.
  - 2" RADIUS.
  - 24" RADIUS.
  - TACK COAT.
  - DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
  - NOT USED.
  - 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301.
  - NOT USED.
  - #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
  - #3 PINS @ 3'-0" O.C. W/STD. HOOK.
  - MATCH ADJACENT GUTTER PAN WIDTH AND FLOWLINE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER DETAILS
	DWG. 2415B FEBRUARY 2021

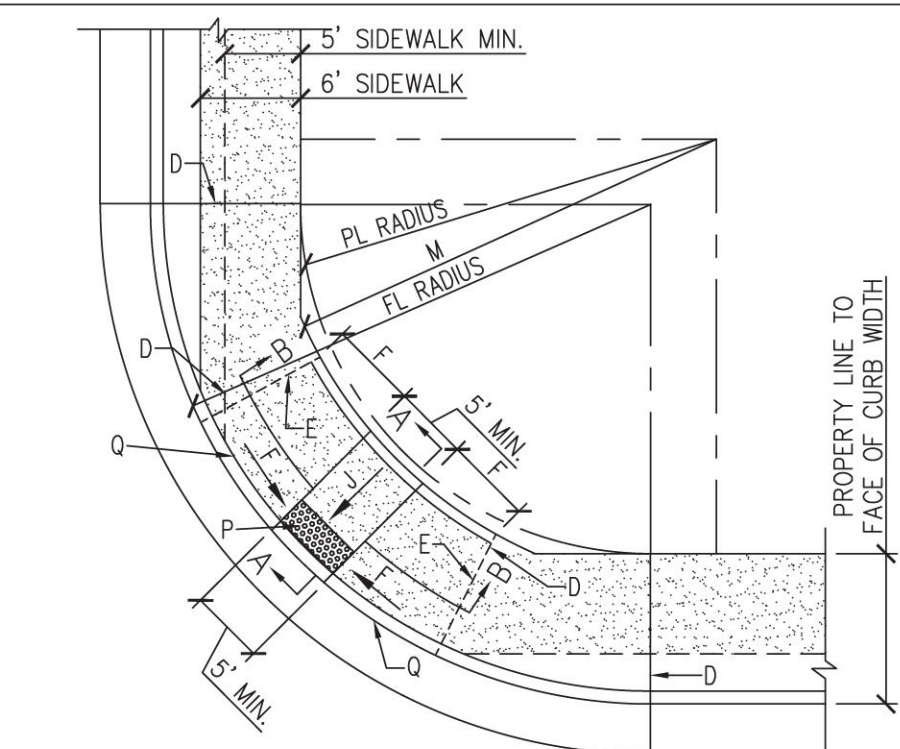


DETAIL A MINIMAL R.O.W. FOR SIDEWALK AT BACK OF CURB PERPENDICULAR RAMP

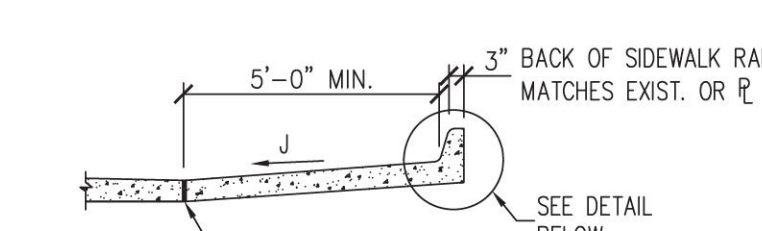


SECTION A-A

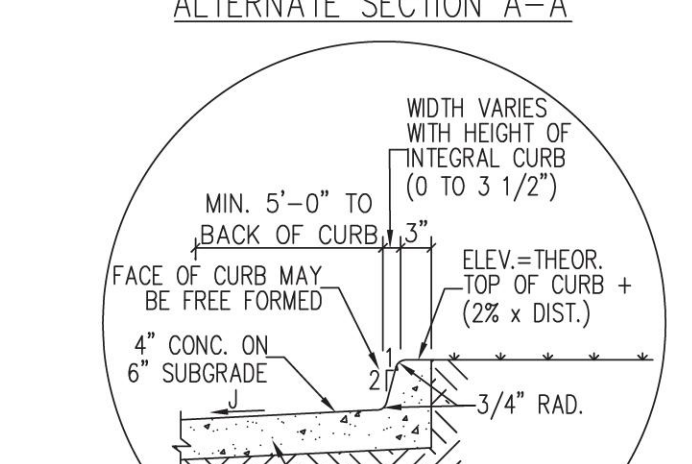
SECTION B-B



DETAIL B ADEQUATE R.O.W. FOR SETBACK SIDEWALK ADJACENT TO P PERPENDICULAR RAMP

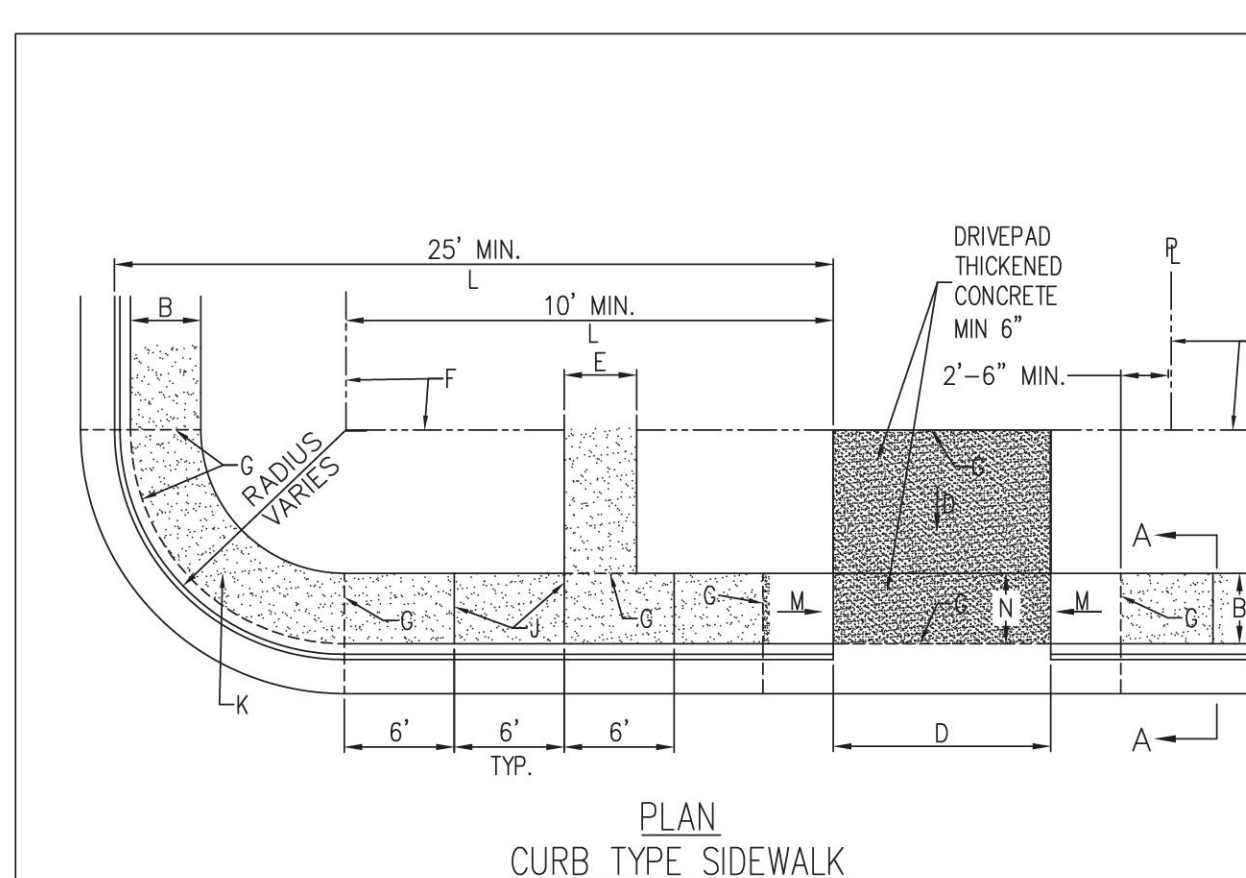


ALTERNATE SECTION A-A

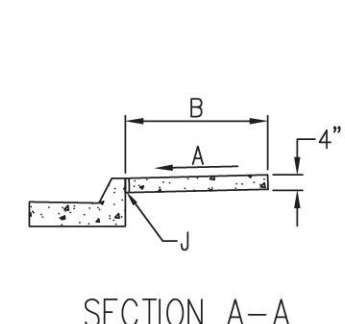


- GENERAL NOTES**
- CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
  - WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
  - SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
  - GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
  - WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.
- CONSTRUCTION NOTES**
- SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5% PREFERRED.
  - FLUSH WITH RAMP AND GUTTER.
  - CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
  - 1/2" EXPANSION JOINT.
  - RADIAL LINES - TOP AND BOTTOM OF RAMP.
  - 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
  - CONTRACTION JOINT.
  - VARIES WITH AVAILABLE R.O.W.
  - 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
  - HEADER CURB, SEE DWG. 2415C.
  - BACK OF SIDEWALK.
  - BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.
  - 4-1/2" MAX.
  - DETECTABLE WARNINGS (SEE STD. DWG. 2446).
  - CURB TO MATCH SLOPE OF SIDEWALK.

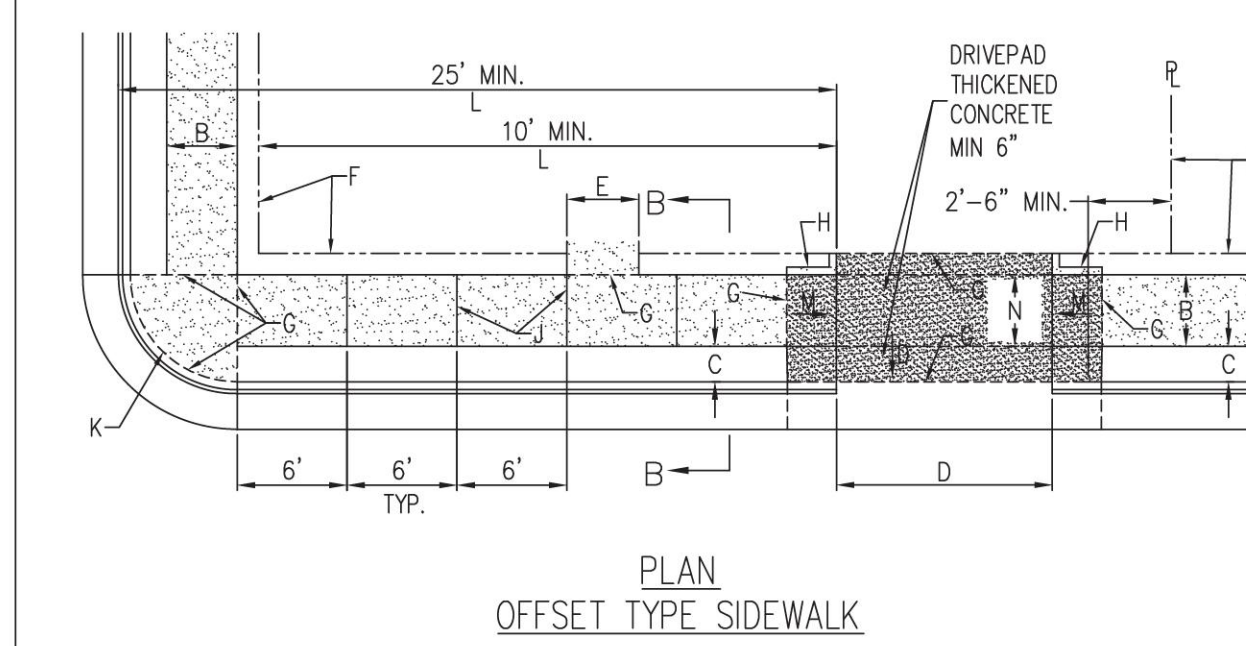
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CORNER ACCESS RAMP
	DWG. 2441 JUNE 2019



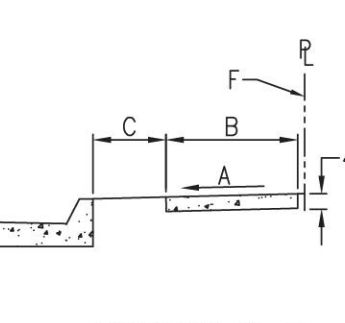
PLAN CURB TYPE SIDEWALK



SECTION A-A



PLAN OFFSET TYPE SIDEWALK

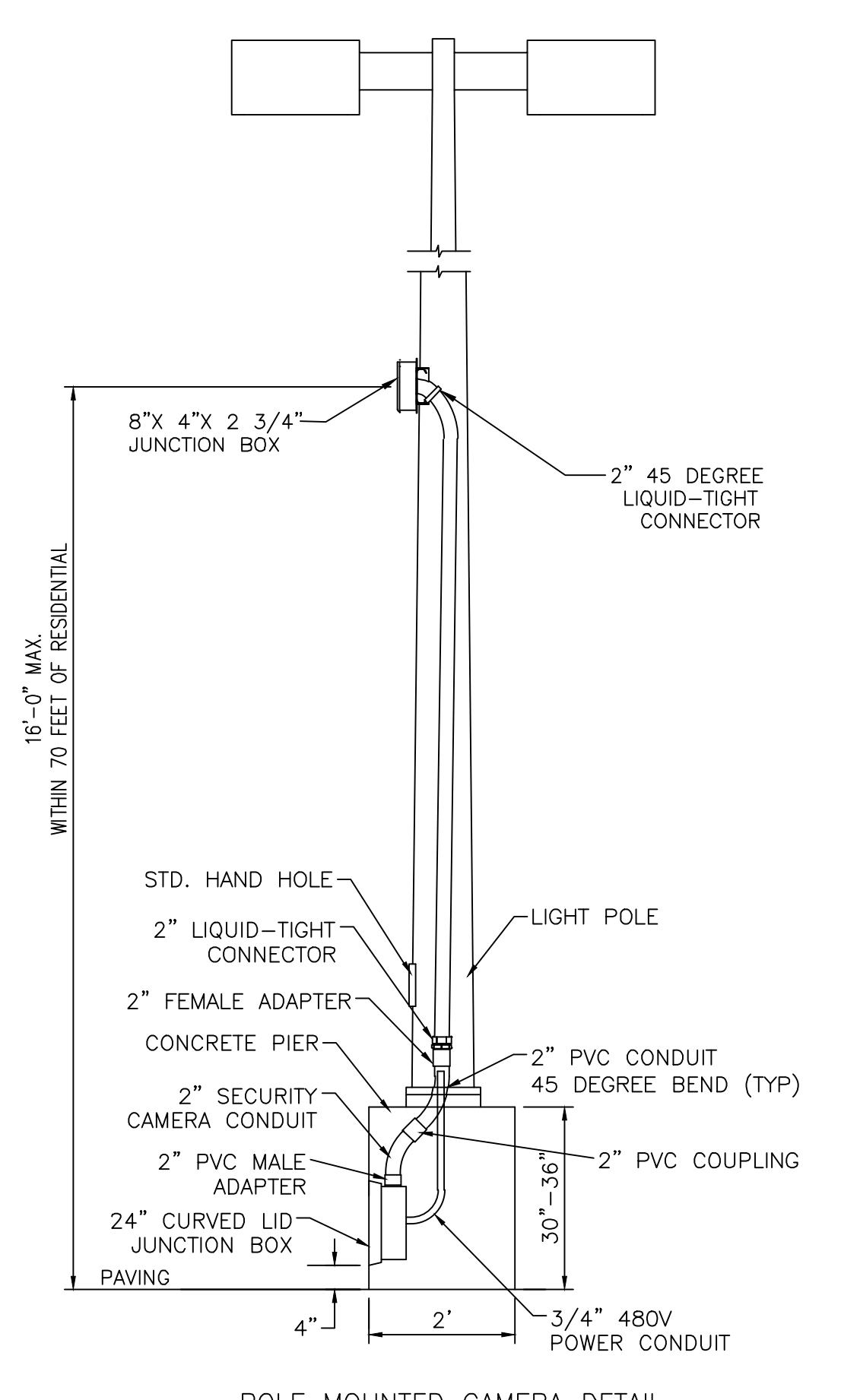


SECTION B-B

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE CHANGED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

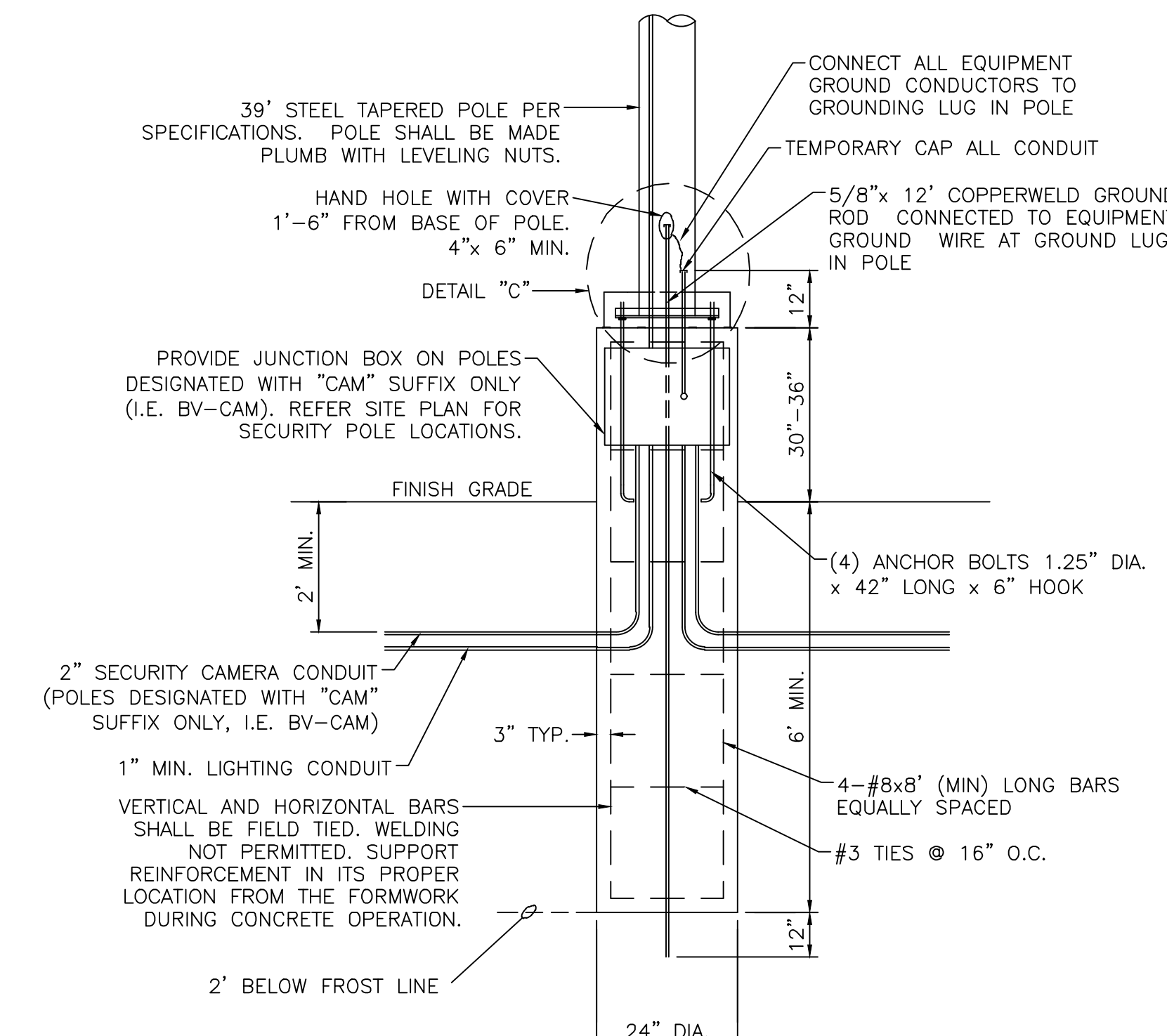
- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4' MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430 JUNE 2019

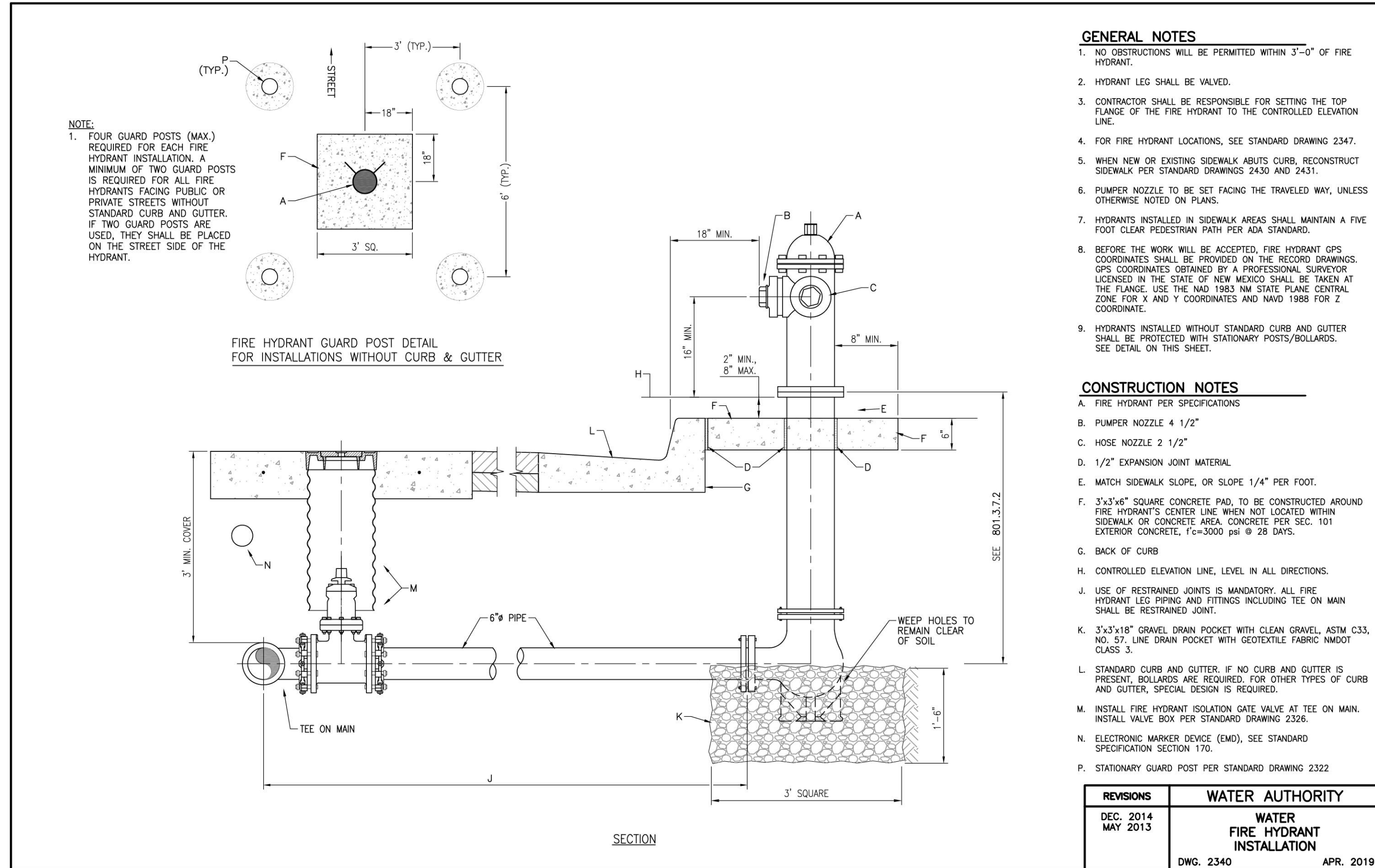


POLE MOUNTED CAMERA DETAIL

NOTE:  
ONLY FOR POLE LOCATIONS DESIGNATED WITH "CAM" SUFFIX ONLY, I.E. BV-CAM. CAMERAS AND WIRING BY OTHERS.



ENGINEER'S SEAL	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>DETAIL SHEET</b>	DATE 1/3/2024
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-DET
1/3/2024		SHEET # <b>C5.0</b>
VINCENT P. CARRICA P.E. #16212		JOB # 2022056



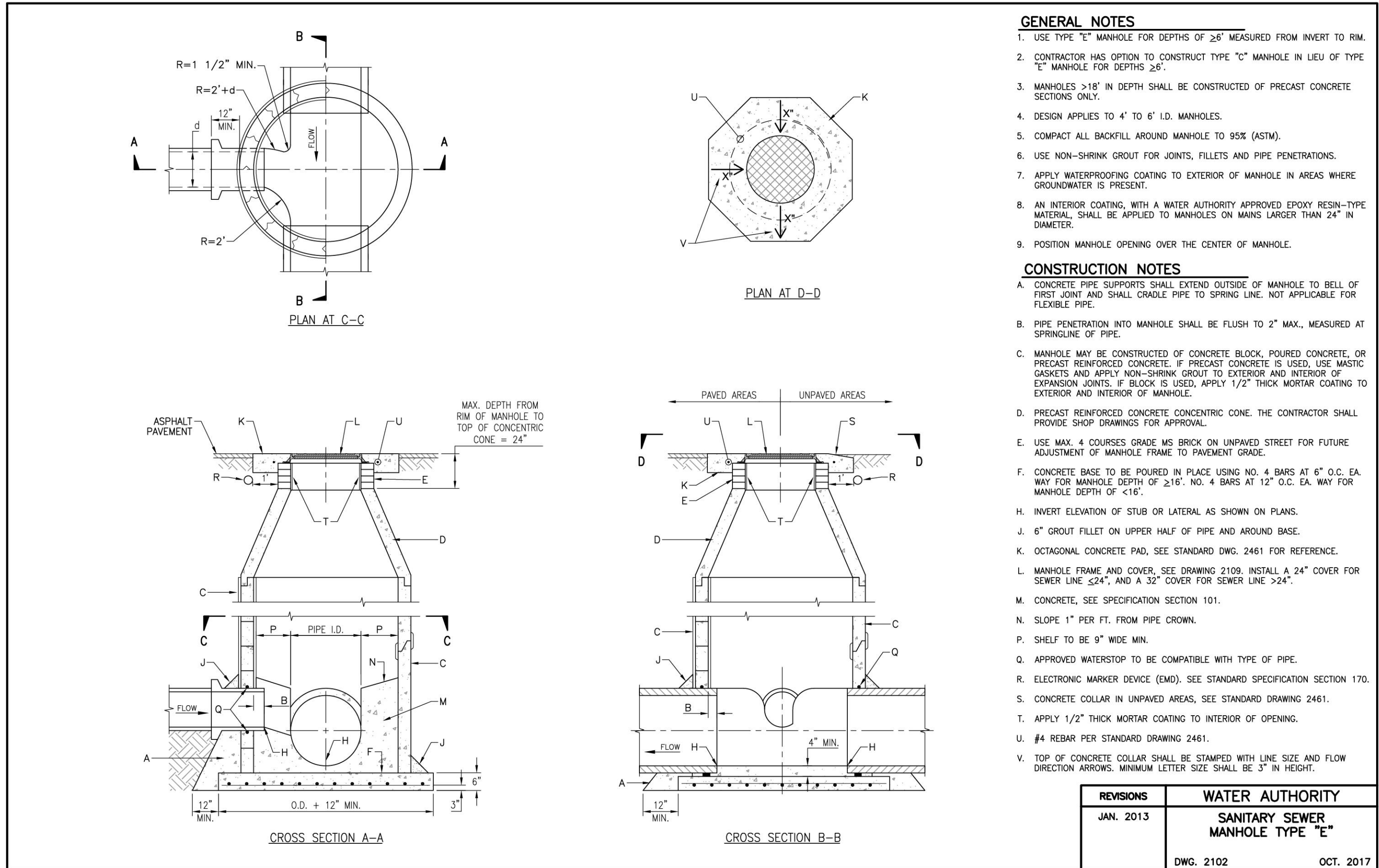
**GENERAL NOTES**

- NO OBSTRUCTIONS WILL BE PERMITTED WITHIN 3'-0" OF FIRE HYDRANT.
- HYDRANT LEG SHALL BE VALVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE TOP FLANGE OF THE FIRE HYDRANT TO THE CONTROLLED ELEVATION LINE.
- FOR FIRE HYDRANT LOCATIONS, SEE STANDARD DRAWING 2347.
- WHEN NEW OR EXISTING SIDEWALK ADJUTS CURB, RECONSTRUCT SIDEWALK PER STANDARD DRAWINGS 2430 AND 2431.
- PUMPER NOZZLE TO BE SET FACING THE TRAVELED WAY, UNLESS OTHERWISE NOTED ON PLANS.
- HYDRANTS INSTALLED IN SIDEWALK AREAS SHALL MAINTAIN A FIVE FOOT CLEAR PEDESTRIAN PATH PER ADA STANDARD.
- BEFORE THE WORK WILL BE ACCEPTED, FIRE HYDRANT GPS COORDINATES SHALL BE PROVIDED ON THE RECORD DRAWINGS. GPS COORDINATES OBTAINED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL BE TAKEN AT THE FLANGE. USE THE NAD 1983 NM STATE PLANE CENTRAL ZONE FOR X AND Y COORDINATES AND NAD 1983 FOR Z COORDINATE.
- HYDRANTS INSTALLED WITHOUT STANDARD CURB AND GUTTER SHALL BE PROTECTED WITH STATIONARY POSTS/BOLLARDS. SEE DETAIL ON THIS SHEET.

**CONSTRUCTION NOTES**

- FIRE HYDRANT PER SPECIFICATIONS
- PUMPER NOZZLE 4 1/2"
- HOSE NOZZLE 2 1/2"
- 1/2" EXPANSION JOINT MATERIAL
- MATCH SIDEWALK SLOPE, OR SLOPE 1/4" PER FOOT.
- 3"x3"x6" SQUARE CONCRETE PAD, TO BE CONSTRUCTED AROUND FIRE HYDRANT'S CENTER LINE WHEN NOT LOCATED WITHIN SIDEWALK OR CONCRETE AREA. CONCRETE PER SEC. 101 EXTERIOR CONCRETE, f'c=3000 psi @ 28 DAYS.
- BACK OF CURB
- CONTROLLED ELEVATION LINE, LEVEL IN ALL DIRECTIONS.
- USE OF RESTRAINED JOINTS IS MANDATORY. ALL FIRE HYDRANT LEG PIPING AND FITTINGS INCLUDING TEE ON MAIN SHALL BE RESTRAINED JOINT.
- 3"x3"x18" GRAVEL DRAIN POCKET WITH CLEAN GRAVEL, ASTM C33, NO. 57. LINE DRAIN POCKET WITH GEOTEXTILE FABRIC (M807 CLASS 3).
- STANDARD CURB AND GUTTER, IF NO CURB AND GUTTER IS PRESENT, BOLLARDS ARE REQUIRED. FOR OTHER TYPES OF CURB AND GUTTER, SPECIAL DESIGN IS REQUIRED.
- INSTALL FIRE HYDRANT ISOLATION GATE VALVE AT TEE ON MAIN. INSTALL VALVE BOX PER STANDARD DRAWING 2326.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- STATIONARY GUARD POST PER STANDARD DRAWING 2322

REVISIONS	WATER AUTHORITY
DEC. 2014 MAY 2013	WATER FIRE HYDRANT INSTALLATION DWG. 2340 APR. 2019



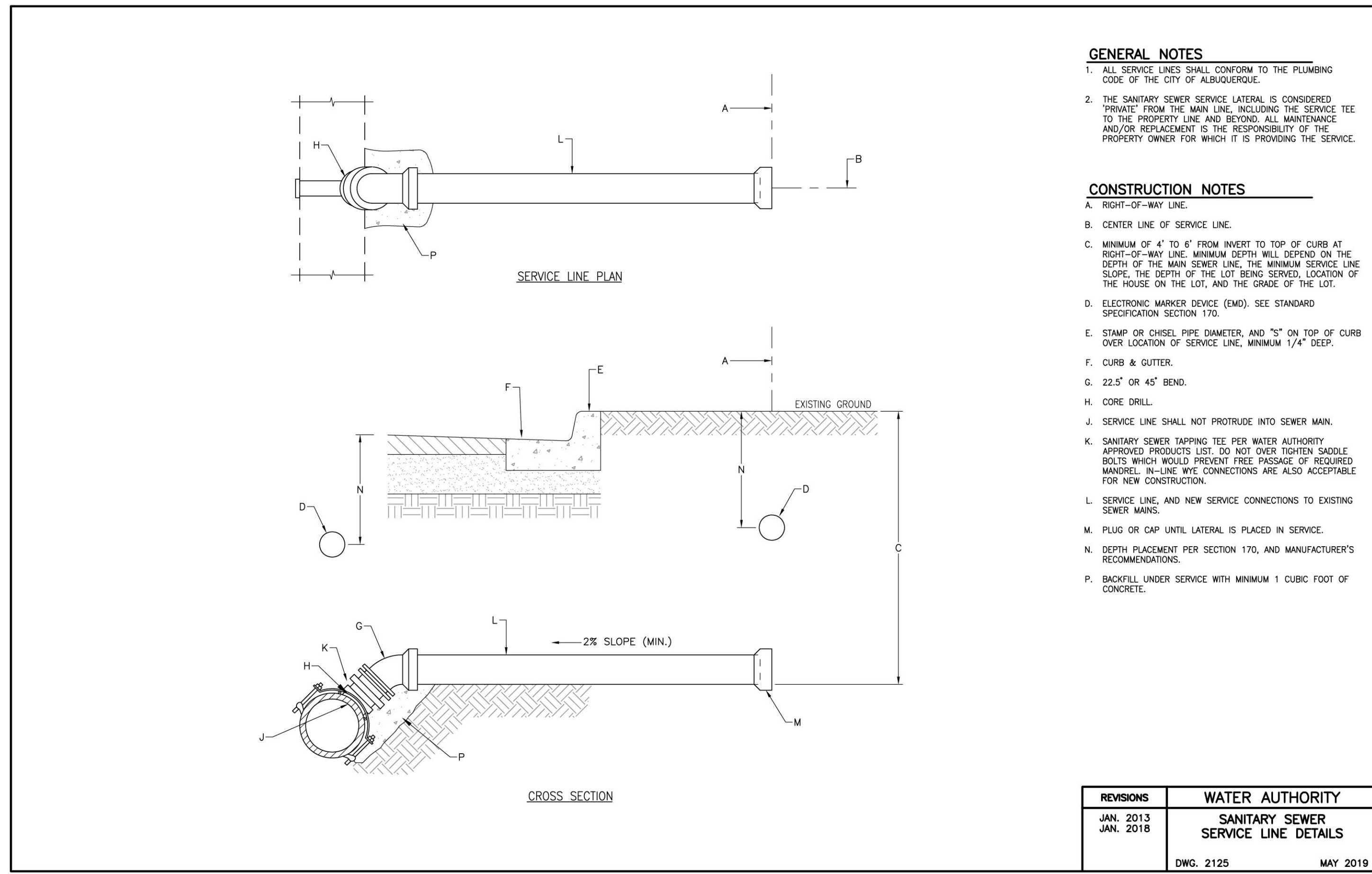
**GENERAL NOTES**

- USE TYPE "E" MANHOLE FOR DEPTHS OF ≥6' MEASURED FROM INVERT TO RIM.
- CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LIEU OF TYPE "E" MANHOLE FOR DEPTHS ≥6'.
- MANHOLES >18" IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY.
- DESIGN APPLIES TO 4' TO 6' I.D. MANHOLES.
- COMPACT ALL BACKFILL AROUND MANHOLE TO 95% (ASTM).
- USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- APPLY WATERPROOFING COATING TO EXTERIOR OF MANHOLE IN AREAS WHERE GROUNDWATER IS PRESENT.
- AN INTERIOR COATING, WITH A WATER AUTHORITY APPROVED EPOXY RESIN-TYPE MATERIAL, SHALL BE APPLIED TO MANHOLES OR MAINS LARGER THAN 24" IN DIAMETER.
- POSITION MANHOLE OPENING OVER THE CENTER OF MANHOLE.

**CONSTRUCTION NOTES**

- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL GRADE PIPE TO SPRING LINE. NOT APPLICABLE FOR FLEXIBLE PIPE.
- PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX., MEASURED AT SPRINGLINE OF PIPE.
- MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF EXPANSION JOINTS. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE.
- PRECAST REINFORCED CONCRETE CONCRETE CONE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- USE MAX. 4 COURSES GRADE MS BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE.
- CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF ≥16". NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE DEPTH OF <16".
- INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- OCTAGONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE.
- MANHOLE FRAME AND COVER, SEE DRAWING 2109. INSTALL A 24" COVER FOR SEWER LINE ≥24", AND A 32" COVER FOR SEWER LINE >24".
- CONCRETE, SEE SPECIFICATION SECTION 101.
- SLOPE 1" PER FT. FROM PIPE CROWN.
- SHELF TO BE 9" WIDE MIN.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461.
- APPLY 1/2" THICK MORTAR COATING TO INTERIOR OF OPENING.
- #4 REBAR PER STANDARD DRAWING 2461.
- TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND FLOW DIRECTION ARROWS. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.

REVISIONS	WATER AUTHORITY
JAN. 2013	SANITARY SEWER MANHOLE TYPE "E" DWG. 2102 OCT. 2017



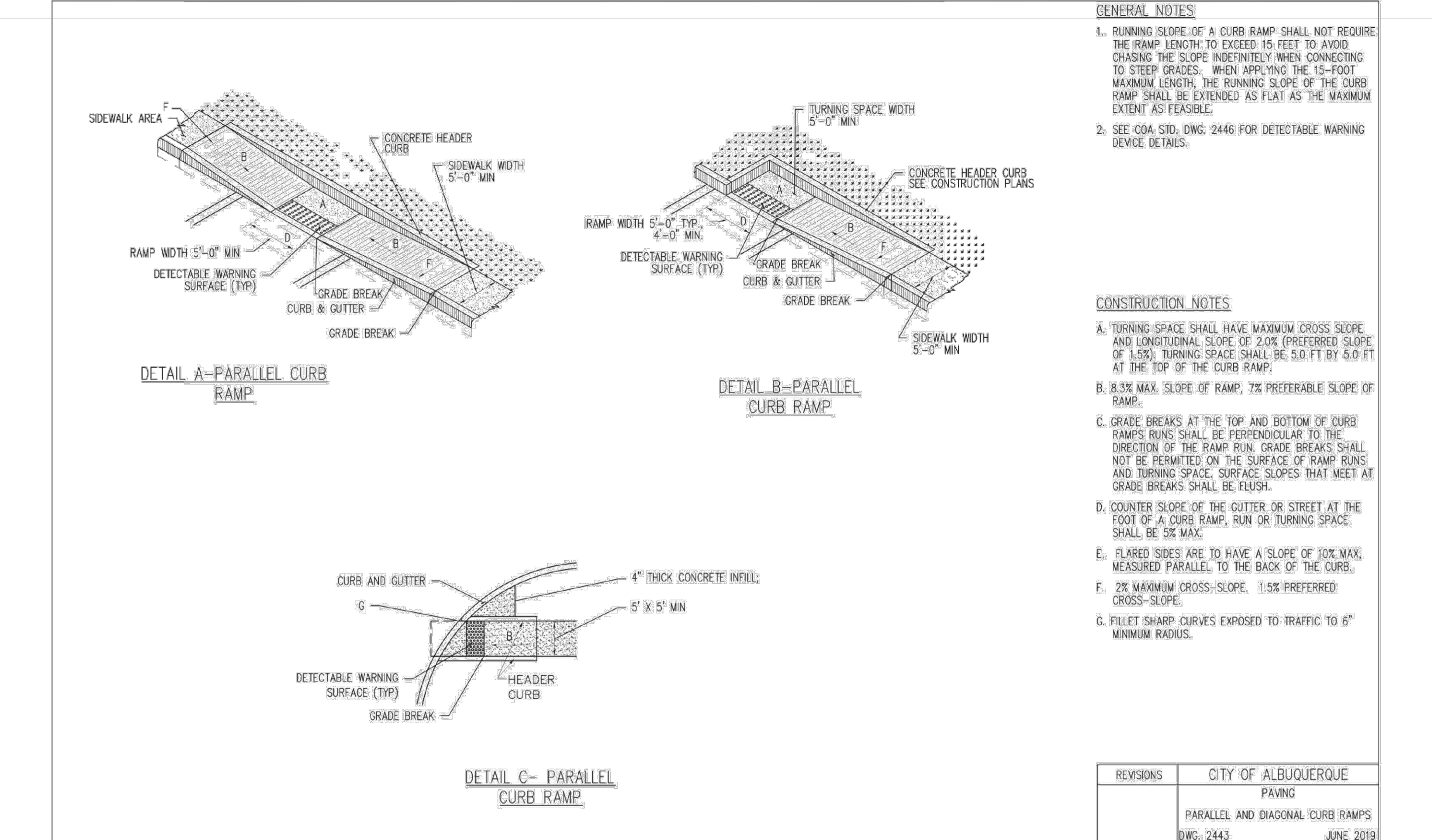
**GENERAL NOTES**

- ALL SERVICE LINES SHALL CONFORM TO THE PLUMBING CODE OF THE CITY OF ALBUQUERQUE.
- THE SANITARY SEWER SERVICE LATERAL IS CONSIDERED "PRIVATE" FROM THE MAIN LINE, INCLUDING THE SERVICE TEE TO THE PROPERTY LINE AND BEYOND. ALL MAINTENANCE AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR WHICH IT IS PROVIDING THE SERVICE.

**CONSTRUCTION NOTES**

- RIGHT-OF-WAY LINE.
- CENTER LINE OF SERVICE LINE.
- MINIMUM OF 4' TO 5' FROM INVERT TO TOP OF CURB AT RIGHT-OF-WAY LINE. MINIMUM DEPTH WILL DEPEND ON THE DEPTH OF THE MAIN SEWER LINE. THE MINIMUM SERVICE LINE SLOPE, THE DEPTH OF THE LOT BEING SERVED, LOCATION OF THE HOUSE ON THE LOT, AND THE GRADE OF THE LOT.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- STAMP OR CHISEL PIPE DIAMETER, AND "S" ON TOP OF CURB OVER LOCATION OF SERVICE LINE. MINIMUM 1/4" DEEP.
- CURB & GUTTER.
- 22.5' OR 45' BEND.
- CORE DRILL.
- SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
- SANITARY SEWER TAPPING TEE PER WATER AUTHORITY APPROVED PRODUCTS LIST. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANHOLE. IN-LINE WYE CONNECTIONS ARE ALSO ACCEPTABLE FOR NEW CONSTRUCTION.
- SERVICE LINE, AND NEW SERVICE CONNECTIONS TO EXISTING SEWER MAINS.
- PLUG OR CAP UNTIL LATERAL IS PLACED IN SERVICE.
- DEPTH PLACEMENT PER SECTION 170, AND MANUFACTURER'S RECOMMENDATIONS.
- BACKFILL UNDER SERVICE WITH MINIMUM 1 CUBIC FOOT OF CONCRETE.

REVISIONS	WATER AUTHORITY
JAN. 2013 JAN. 2018	SANITARY SEWER SERVICE LINE DETAILS DWG. 2125 MAY 2019



**GENERAL NOTES**

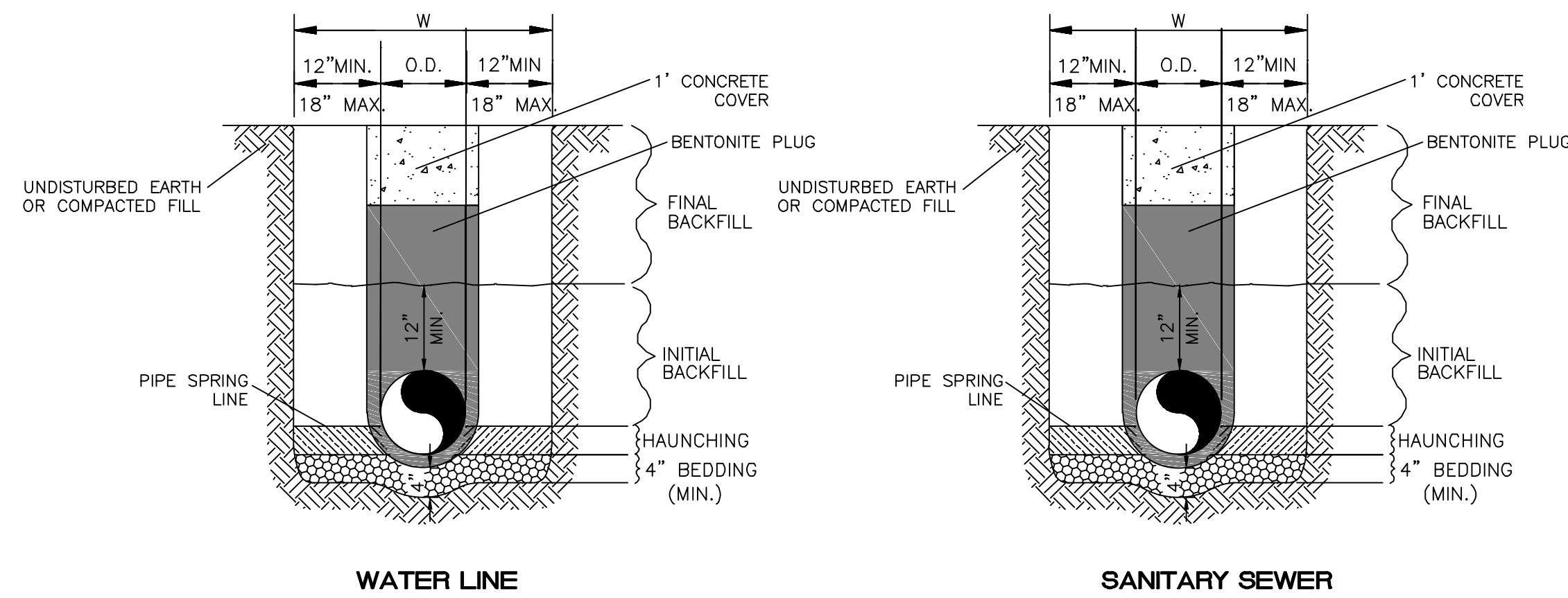
- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
- SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

**CONSTRUCTION NOTES**

- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- 8.3% MAX. SLOPE OF RAMP; 7% PREFERRED SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP'S RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS, AND TURNING SPACE SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING PARALLEL AND DIAGONAL CURB RAMP DWG. 2443 JUNE 2019

	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>DETAIL SHEET</b>	DATE 1/3/2024
1/3/2024 VINCENT P. CARRICA P.E. #16212	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-DET
		SHEET # <b>C5.1</b>
		JOB # 2022056



**WATER LINE**

**SANITARY SEWER**

**GENERAL NOTES**

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

**UTILITY TRENCH AND BEDDING DETAIL**  
NTS

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM  
SAFETY FACTOR: 1.5 TO 1  
PIPE MATERIAL: PVC  
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	LENGTH ALONG RUN**					
	10'	8'	6'	4'	2'	0'
12x12x12	61	68	76	83	90	98
12x12x10	39	48	56	65	74	83
12x12x8	15	26	37	48	59	70
12x12x6	1	1	9	24	38	53
12x12x4	1	1	1	1	16	37
10x10x10	46	54	61	68	76	83
10x10x8	25	34	43	52	61	70
10x10x6	1	5	17	29	41	53
10x10x4	1	1	1	2	20	37
8x8x8	34	42	49	56	63	70
8x8x6	6	15	25	34	43	53
8x8x4	1	1	1	10	24	37
6x6x6	7	24	31	39	46	53
6x6x4	1	1	6	17	27	37

\*RESTRAINTS ONLY PLACED ON THE BRANCH  
\*\*LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

SIZE	RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)			
	90°	45°	22-1/2°	11-1/4°
12	45	19	9	4
10	38	16	8	4
8	32	13	6	3
6	25	10	5	2
4	18	7	4	1

SIZE	RESTRAINED JOINT LENGTHS FOR REDUCERS***	
	L. SIDE	R. SIDE
12x10	50	53
12x8	54	70
12x6	74	30
12x4	88	52
10x8	29	28

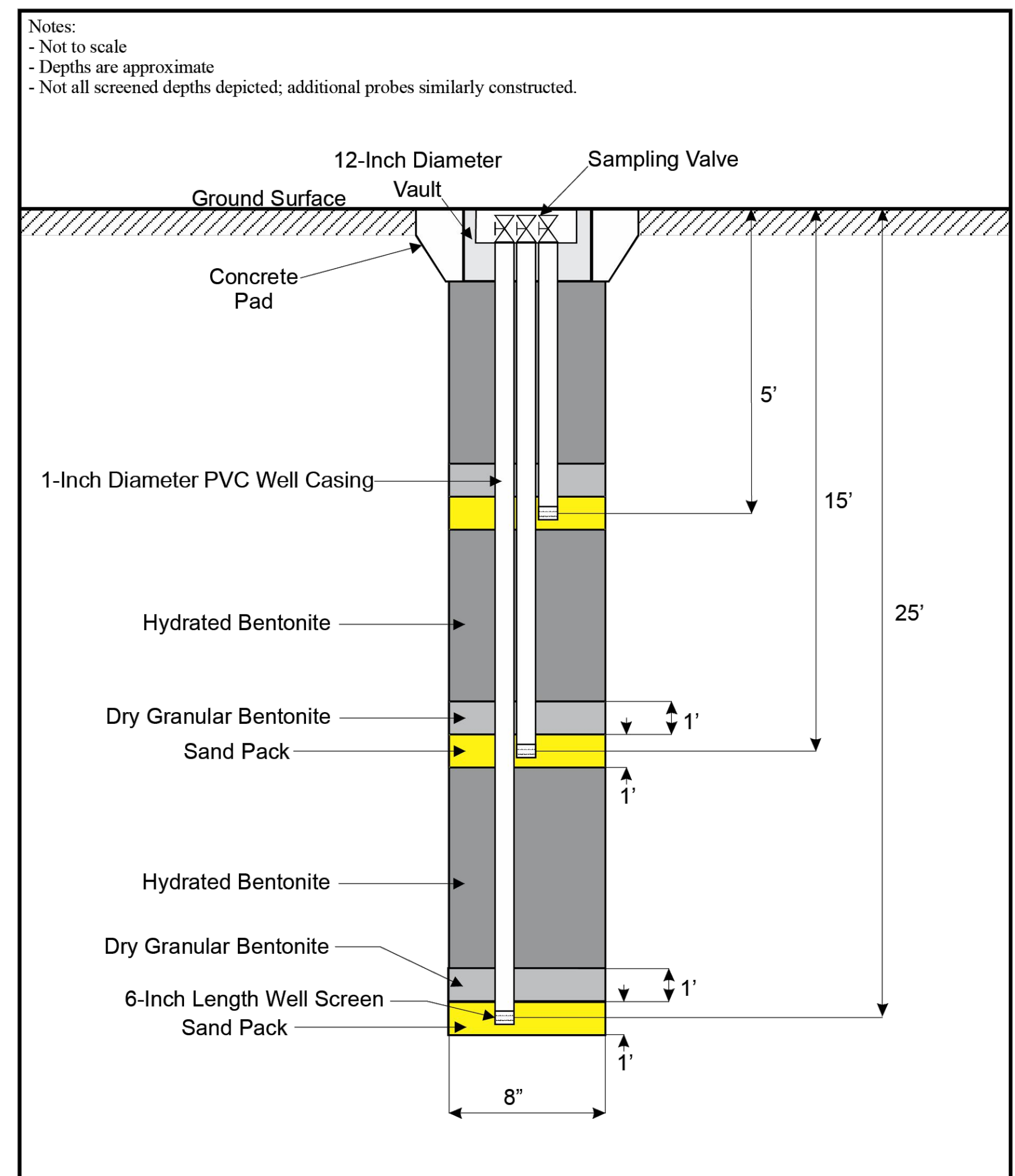
\*\*\*RESTRAINTS ONLY PLACED ON LARGE SIDE

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

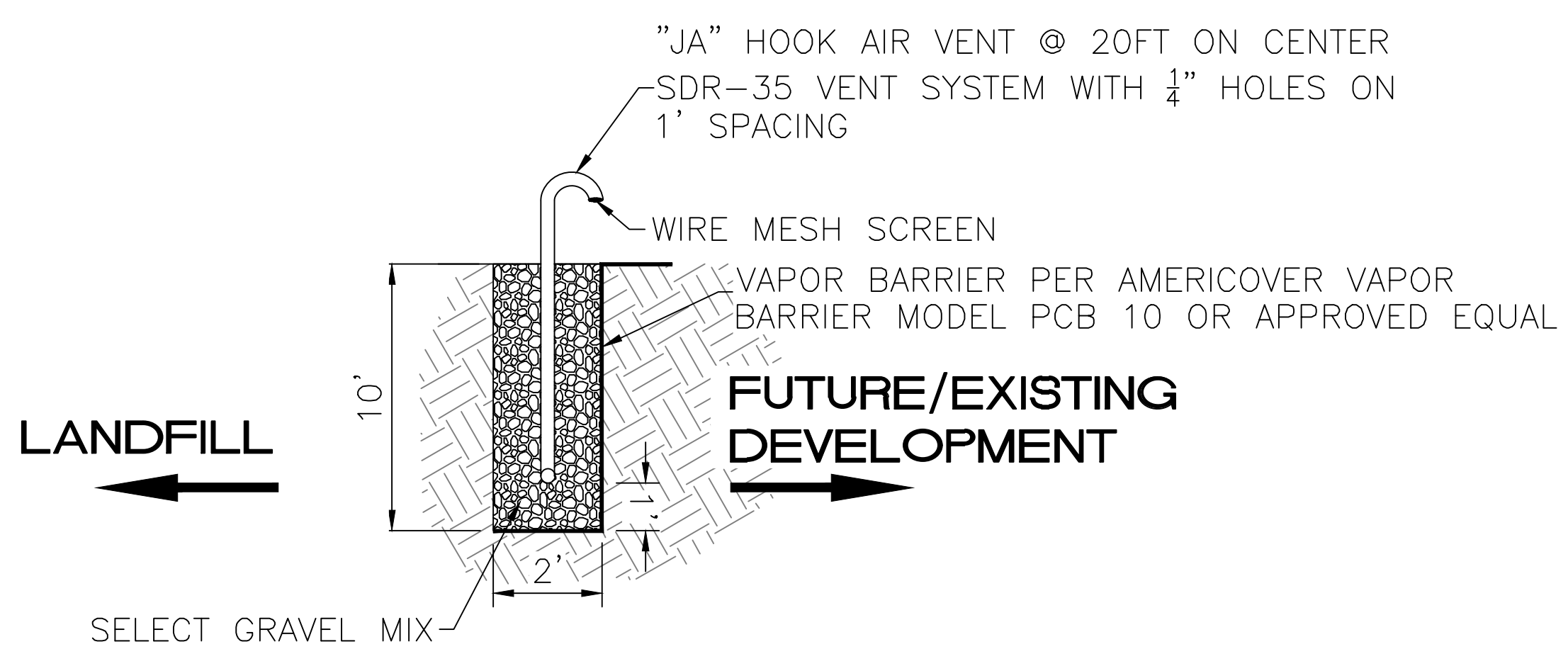
DEPTH OF BURY: 3.0' MINIMUM TO 6.0'  
SAFETY FACTOR: 1.5 TO 1  
PIPE MATERIAL: PVC  
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	VERTICAL OFFSETS/BENDS (EACH SIDE)	HORIZONTAL BENDS			
		90°	45°	22-1/2°	11-1/4°
12	UPPER USE	42	20	10	2
	LOWER USE	10	5	2	
10	UPPER USE	36	17	8	
	LOWER USE	8	4	2	
8	UPPER USE	30	14	7	
	LOWER USE	7	3	2	
6	UPPER USE	23	11	5	
	LOWER USE	5	3	1	
4	UPPER USE	16	8	4	
	LOWER USE	4	2	1	

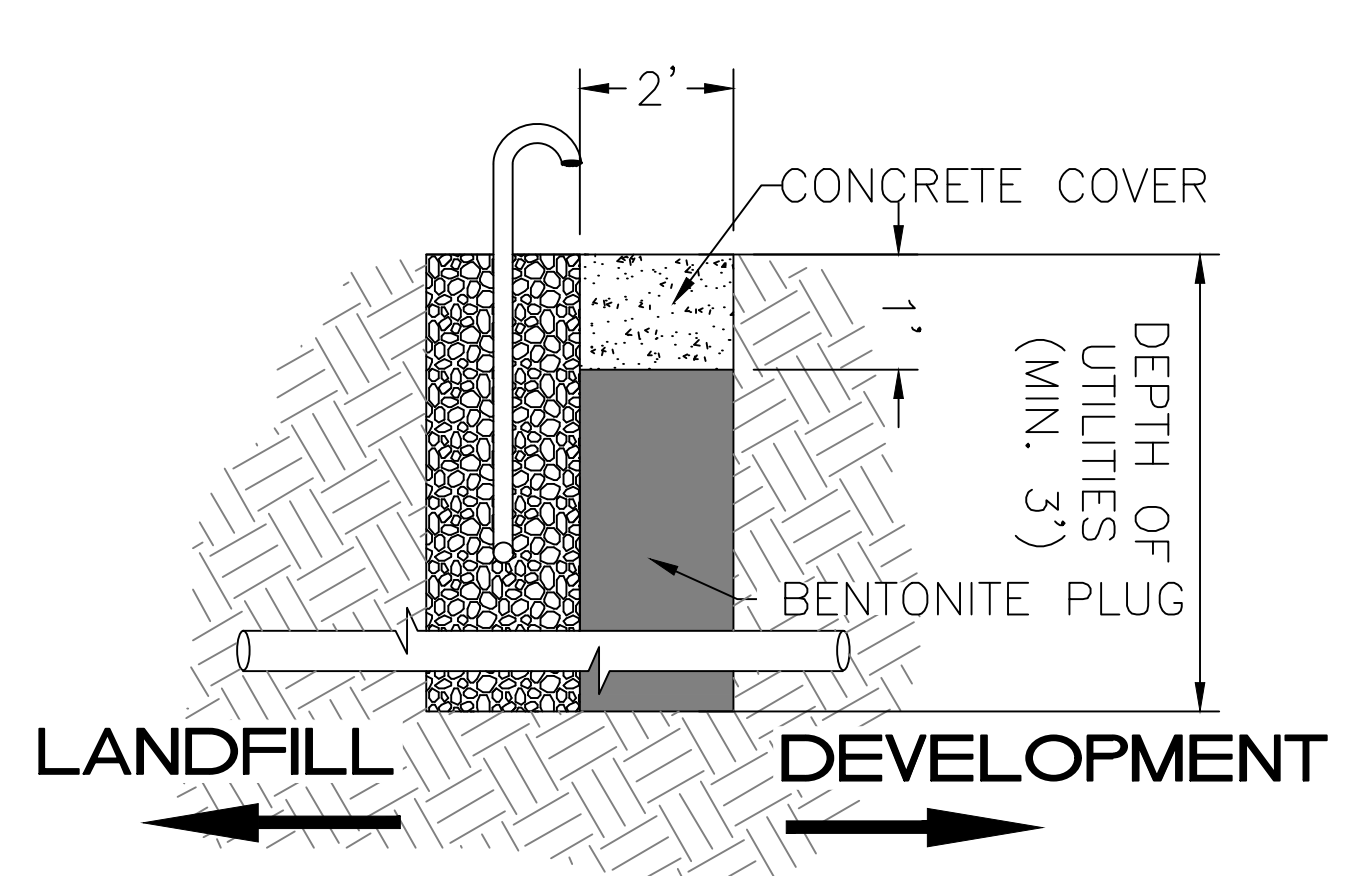


<b>PARTNER</b> Engineering and Science, Inc. 2154 Torrance Boulevard, Suite 200 Torrance, California 90501 Project Number: ES22-358871.4	Typical LFG Nested Well Diagram		
	Figure	Prepared By	Date
	6	D. Horrell	May 2023
	1544 Eureka Road, Suite 180 Roseville, California 95661		



**LANDFILL VENT SYSTEM**

NOTE: TRENCH SHALL BE 10'. IF DEPTH IS NOT ACCEPTED BY THE CITY, THEN TRENCH DEPTH TO BE DETERMINED IN THE FIELD BUT SHALL BE NO LESS THAN 20' BELOW GRADE OR 5' INTO NATIVE AS DETERMINED BY FIELD GEOLOGIST.



**SECTION A-A AND B-B**

ENGINEER'S SEAL  VINCENT P. CARRICA P.E. #16212	<b>SOUTH VALLEY MHP</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>DETAIL SHEET</b>	DATE 1/3/2024
1/3/2024	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	DRAWING 2022056-DET
		SHEET # <b>C5.2</b>
		JOB # 2022056