



## Environmental Planning Commission

*Agenda Number: 2*  
*Project #: PR-2018-001398,*  
*SI-2021-00024, VA-2021-00006*  
*Hearing Date: February 18, 2021*

### Staff Report

<b>Agent</b>	JAG Planning and Zoning, LLC
<b>Applicant</b>	Darryl Chitwood – Eco Green Building
<b>Request</b>	1. Site Plan – EPC 2. Variance - EPC
<b>Legal Description</b>	Tract B, Lands of Ella G. Rossiter, Section 32, Township 11 North, Range 3 East, N.M.P.M
<b>Location</b>	704 Griegos Rd. NW, between 8 <sup>th</sup> St. NW and 9 <sup>th</sup> St. NW.
<b>Size</b>	Approximately (≈) 0.80 acre
<b>Zoning</b>	PD

### Staff Recommendation

**APPROVAL** of SI-2021-00024, based on the Findings beginning on p.17 and subject to the Conditions of Approval beginning on p.23

**WITHDRAWAL** of VA-2021-00006.

*Staff Planner*  
*Sergio Lozoya, Planner*

### Summary of Analysis

The request is for a Site Plan-EPC for Tract B, Lands of Ella G. Rossiter, approximately 0.8 acre (the “subject site”). The applicant proposes a site plan for the 0.8-acre undeveloped lot in order to develop five single-family dwellings with access from Griegos Rd. The dwelling units will be approximately 2,284 square feet and will have an attached garage and two covered patios.

The subject site is zoned PD, an associated site development plan is required. As discussed in this report, the request for a Variance-EPC is not required due to the zoning of PD where standards are negotiated during the approval process. The applicant proposes one variation from the closest, applicable standards (of the R-1B zone: a variation to the rear yard setback on Lot B of the proposed lots.

Support has been expressed by the affected Neighborhood Associations.

Staff does not find any conflicts with IDO or other regulations, and therefore recommends approval subject to Conditions needed to improve compliance in a few areas and to provide clarification.



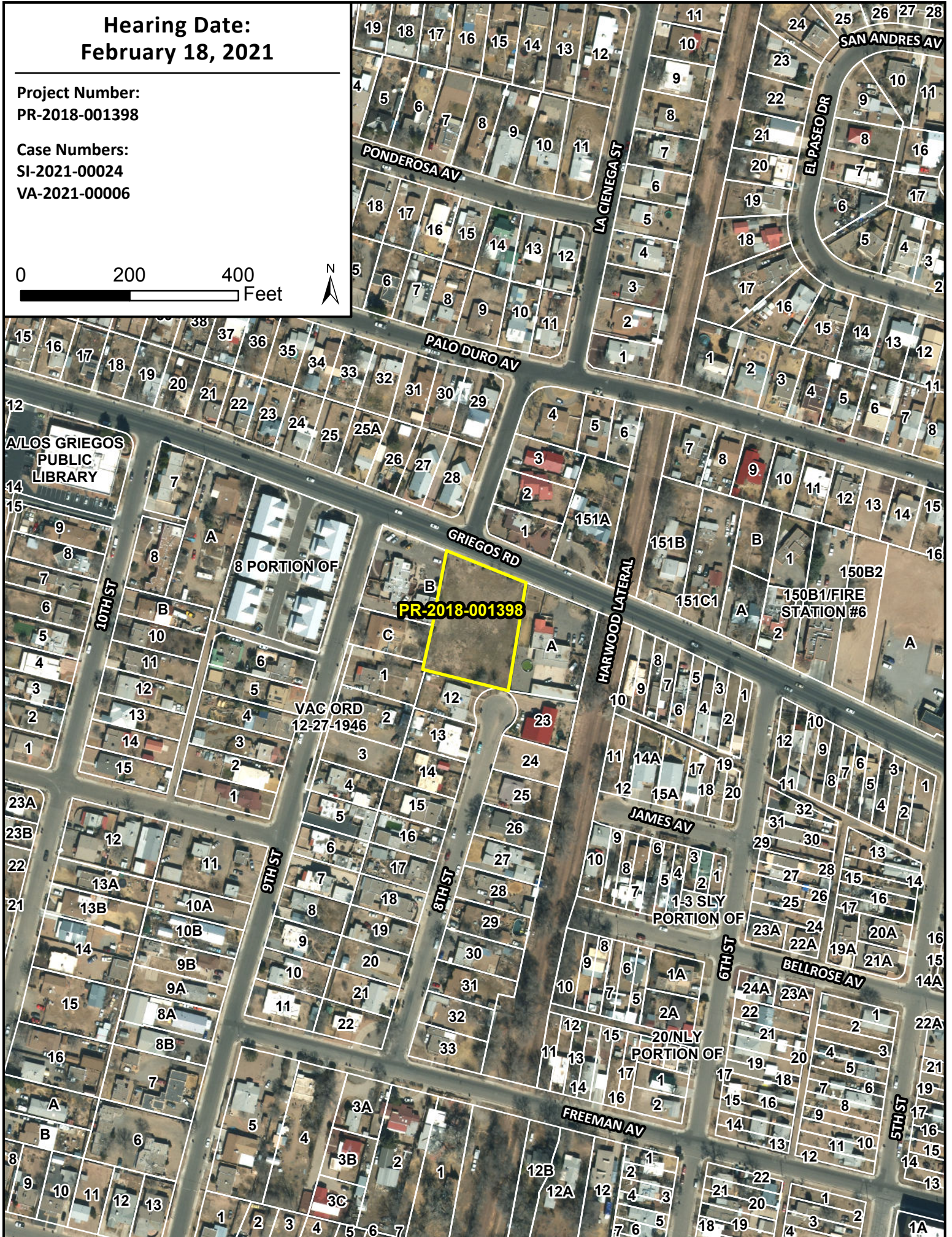


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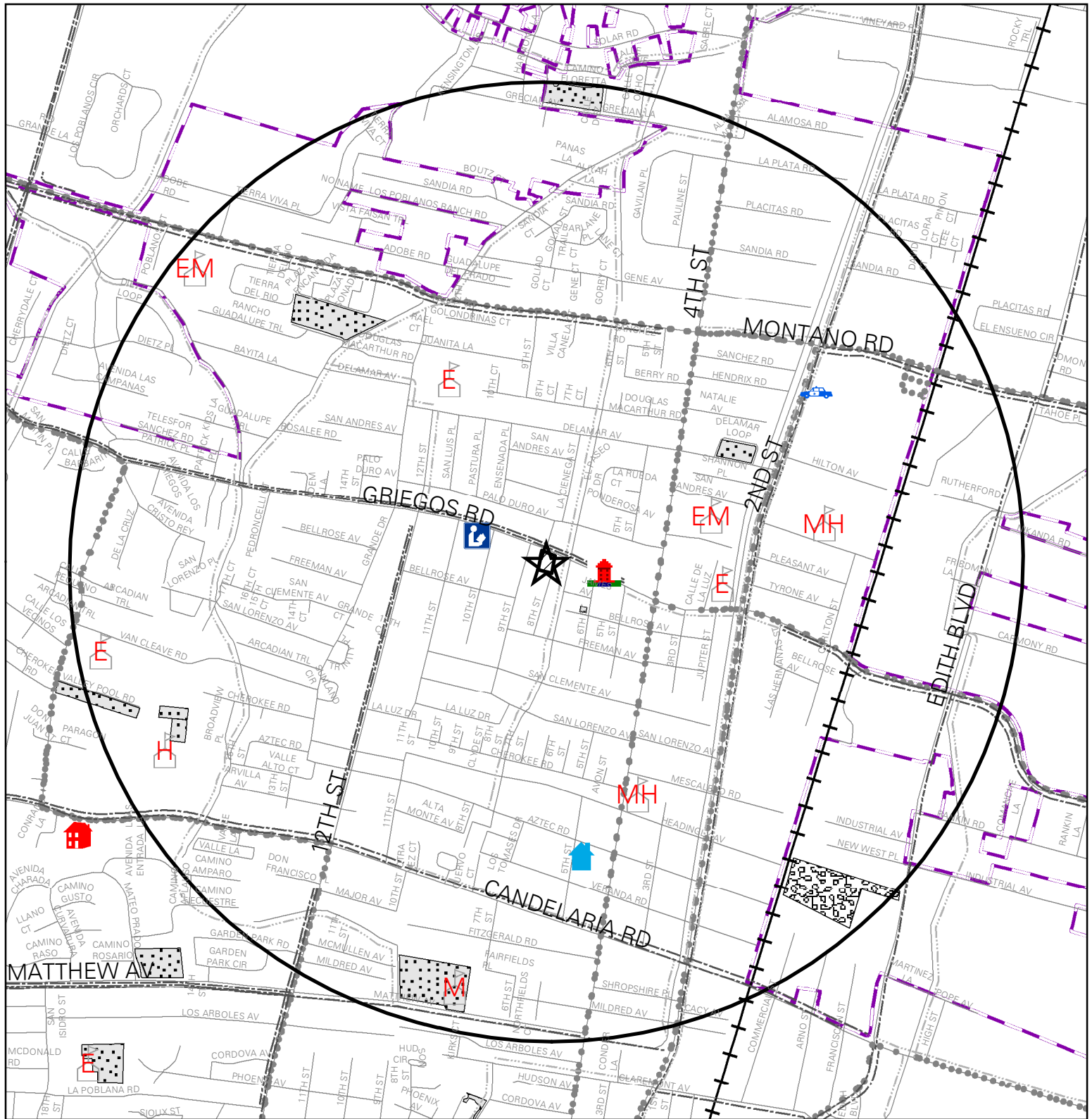
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



















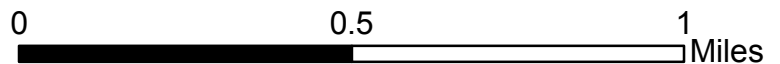




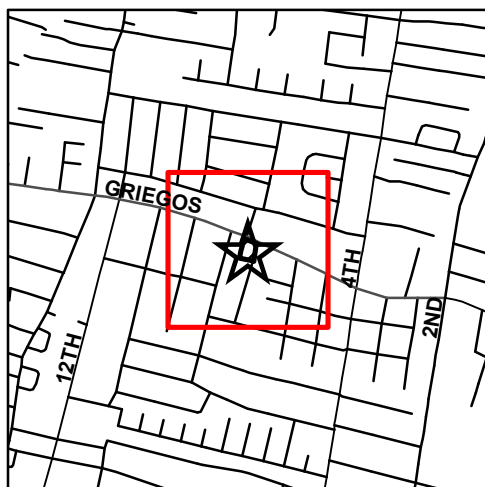
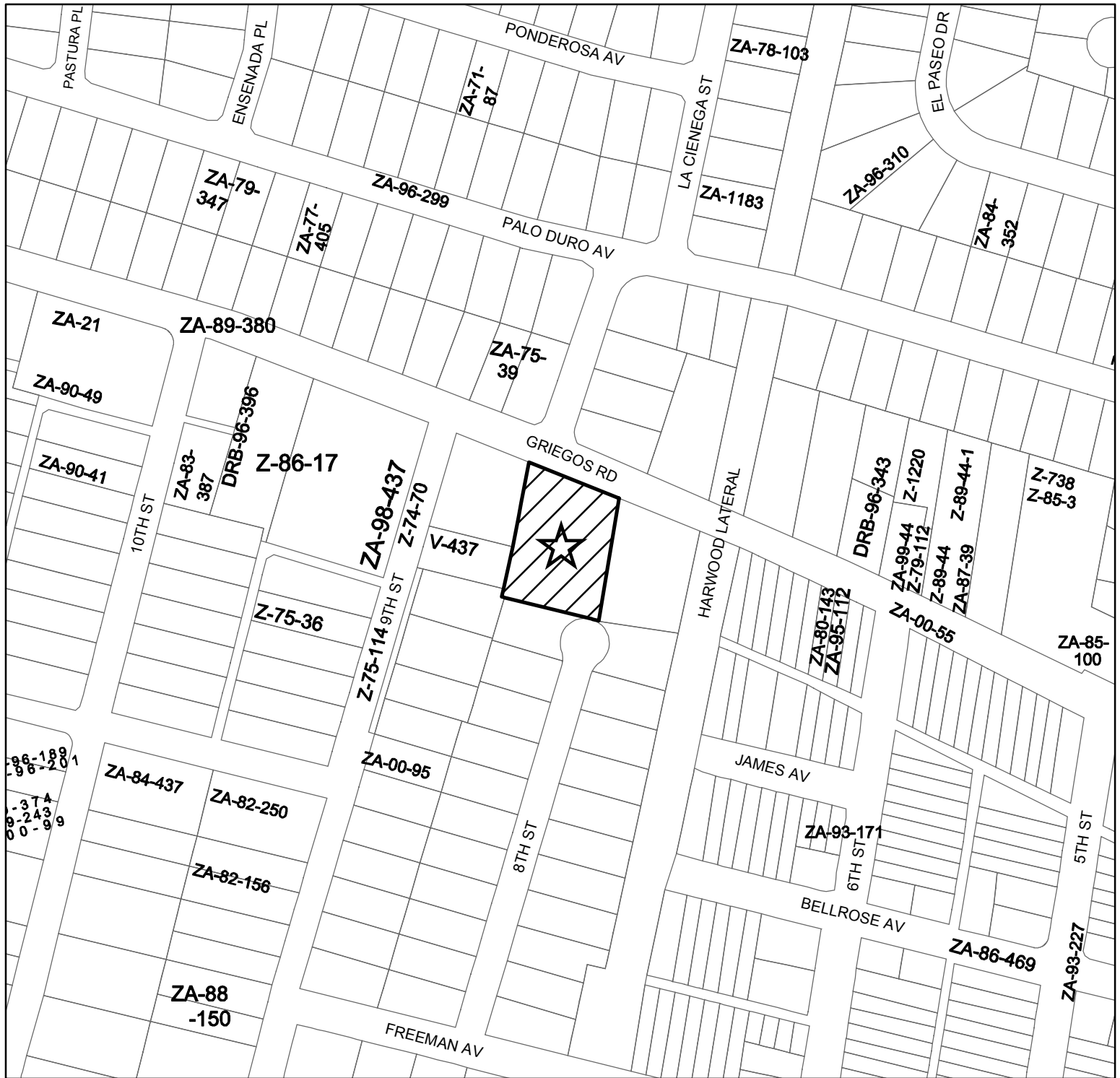
## Public Facilities Map with One-Mile Buffer



- |  |   |  |   |
|--|---|--|---|
|  Community Center     |  Fire                    |  Public School            |  Landfill designated by EHD  |
|  Multi-Service Center |  Police                  |  Proposed Bike Facilities |  Landfill Buffer (1000-feet) |
|  Senior Center        |  Sheriff                 |  ABQ Bike Facilities      |  Developed City Park         |
|  Library              |  Solid Waste             |  ABQ Ride Route           |  Undeveloped City Park       |
|  Museum               |  Albuquerque City Limits |  |  Developed County Park       |
|  |   |  |  Undeveloped County Park     |



Project Number: PR-2018-001398



## HISTORY MAP

Note: Gray shading  
indicates County.



1 inch = 225 feet

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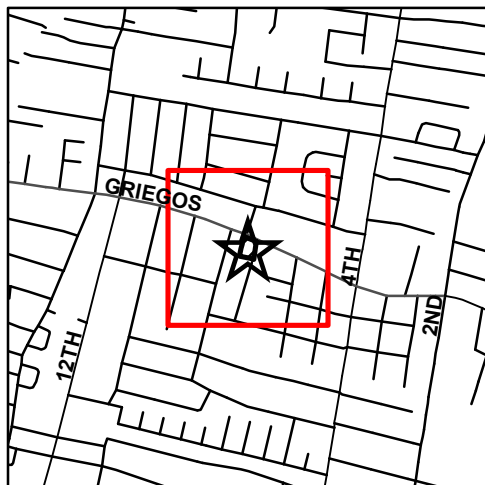
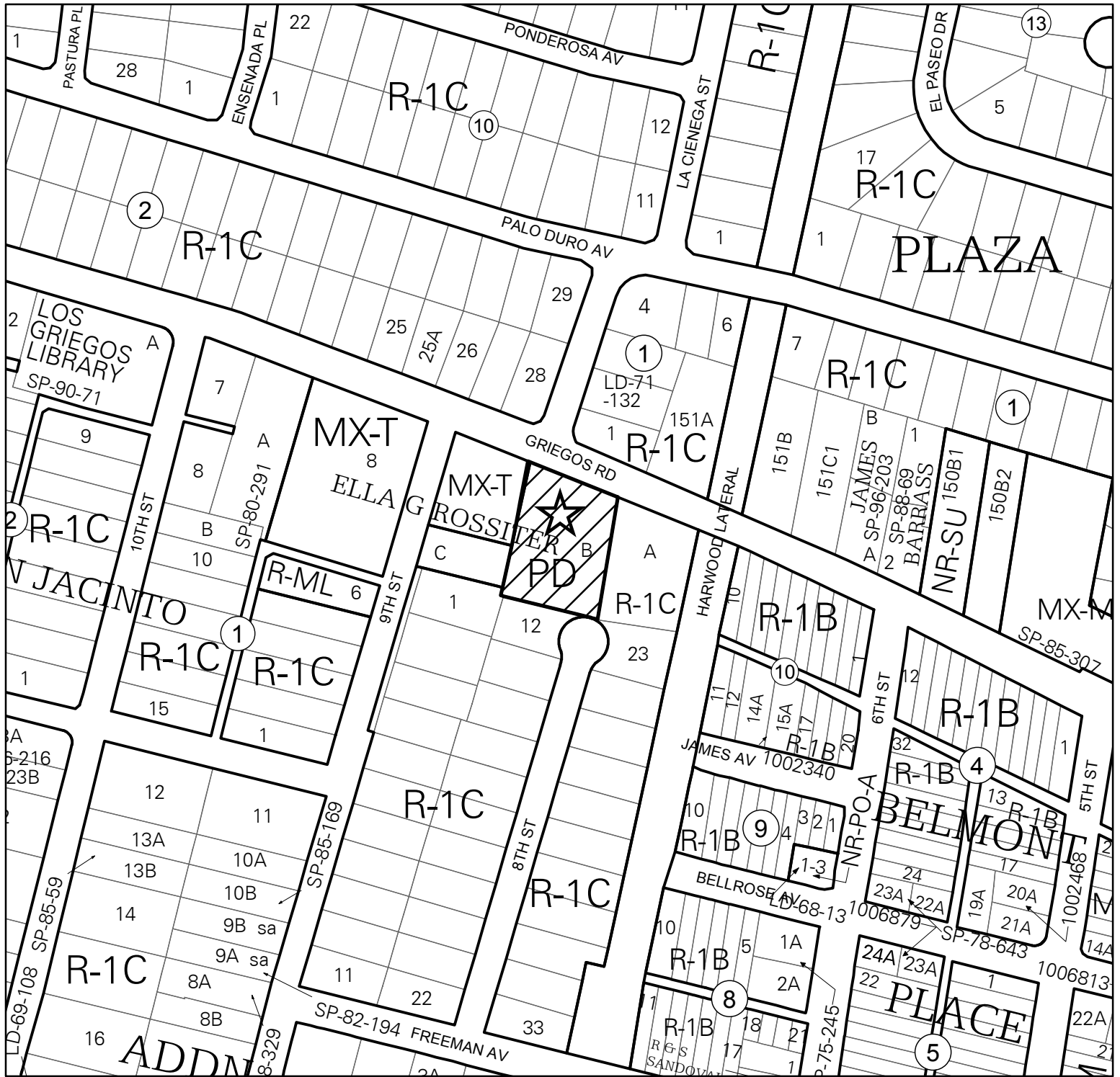
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## IDO ZONING MAP

Note: Gray shading  
indicates County.



1 inch = 225 feet

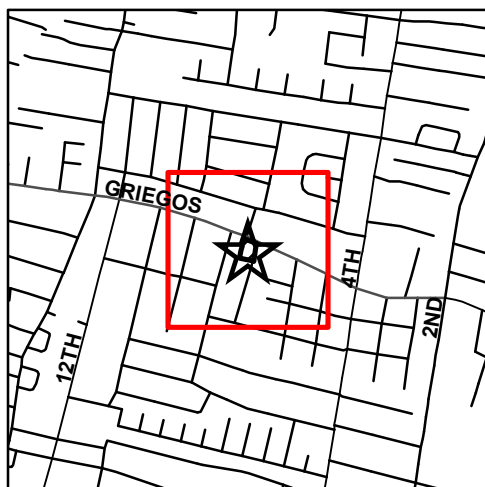
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## LAND USE MAP

Note: Gray shading  
indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMD   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base



1 inch = 225 feet

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## ***I. INTRODUCTION***

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	PD	Consistency	Vacant/Commercial Services
<b><i>North</i></b>	R1-C	Consistency	Low Density Residential
<b><i>South</i></b>	R1-C	Consistency	Low Density Residential
<b><i>East</i></b>	R1-C	Consistency	Low Density Residential
<b><i>West</i></b>	PD/MX-T	Consistency	Commercial Services/Institutional/Medical

### ***Request***

The request is for a Site Plan-EPC for Tract B, Lands of Ella G. Rossiter, Section 32, Township 11, approximately 0.8 acre (the “subject site”). The subject site is located on Griegos Rd NW, between 8<sup>th</sup> St NW and 9<sup>th</sup> St NW and is currently undeveloped. The applicant proposes to create a governing site plan for the undeveloped lot to include five single-family dwellings with access from Griegos Rd. The dwelling units will be approximately 2,284 square feet and will have an attached garage and covered patios. Since the subject site is in a PD zone, an associated site development plan is required. As discussed further in this report, the request for a Variance-EPC is not required due to the PD zoning in which standards are negotiated during the approval process.

### ***EPC Role***

Environmental Planning Commission (EPC) is hearing this case pursuant to the IDO subsection 14-16-6-6(J) Site Plan – EPC. Pursuant to IDO section 14-16-6-6(J)(1)(a), a Site Plan – EPC may be approved for an unsubdivided property for development in a PD zone. Pursuant to IDO subsection 14-16-6-6(J)(2) staff will review the application and forward a recommendation to the EPC pursuant to all applicable provisions of Section 14-16-6-4 (General Procedures). The EPC shall conduct a public hearing and decide on the application pursuant to all applicable provisions of Section 6-4(General Procedures). Further criteria shall be discussed later in this report. This is a quasi-judicial matter.

### ***History/Background***

The subject site has extensive history with the EPC. It was first seen by the EPC in 2014 for a zone change request from R-1 Single Family Residential zone to SU-1 PRD (case numbers 14EPC-40038). Along with the zone change, there were requests for a Site Development Plan for Subdivision(14EPC-40039), and a Site Development Plan for Building Permit(14EPC-40040) (see attachment). The requests were approved but were later appealed to the City Council

by a Neighborhood Association due to the intensity of the PD Zoning, and design features of the Site Plan. Though the appeals were ultimately denied by City Council, the applicant did not finalize the Site Plan with DRB because apparently, he lost the funding to proceed. The applicant has since worked with the neighborhood to create the current proposed Site Plan.

***Context***

The subject site is on the southern side of Griegos Rd. NW, at the end of 8<sup>th</sup> St. (a cul-de-sac), between 9<sup>th</sup> St. and an irrigation ditch (the Harwood Lateral). The subject site is undeveloped. To the north, across Griegos Rd. NW, and to the south, and east are single-family homes. Further east is the Harwood Lateral. To the west is a commercial building that houses a beauty salon, barber shop and office. Southwest of the subject site is a group home and an apartment complex.

***Comprehensive Plan Designations***

The subject site is designated as an Area of Consistency in the Comprehensive Plan. Areas of consistency will be protected to limit densities, new uses, and negative impacts from nearby development. While these areas may see some infill development, and new uses, new development or redevelopment will need to be compatible in scale and character of the surrounding area.

The subject site is not located in a Major Activity Center or a Comprehensive Plan Corridor, but is approximately two city blocks west of 4<sup>th</sup> street, which is classified as a Main Street Corridor, and a Multi-Modal Corridor in the Comp Plan. Main Street Corridors are intended to be lively, highly walkable streets lined with local-serving businesses, modeled after the American tradition of Main Street as a place for living, working and shopping. Multi-Modal corridors are intended to encourage the redevelopment of aging, auto-oriented commercial strip development to a more mixed-use, pedestrian-oriented environment that focuses heavily on providing safe, multi-modal transportation options.

***Roadway System***

The Long Range Roadway System (2040 LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), includes existing roadways and future, proposed roadways.

The LRRS map classifies Griegos Rd NW as a Major Collector.

***Trails/Bikeways***

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed bicycle and trail facilities. Griegos Rd NW currently has existing, dedicated bike lanes on each side of traffic.

***Transit***

The subject site is served by transit, though not directly. The nearest routes to the subject site are ABQ Ride Route 36, 37, and 10. ABQ Route 10 is approximately a quarter of a mile away and offers weekday, evening and weekend service along 4<sup>th</sup> St. ABQ Ride routes 36 and 37 run along 2<sup>nd</sup> St are limited due to the Coronavirus pandemic.

***Public Facilities/Community Services***



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Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services within one mile of the subject site.

## ***II. ANALYSIS OF APPLICABLE ORDINANCES PLANS AND POLICIES (VARIANCE – EPC)***

Pursuant to IDO section 14-16-2-6(A)(2) Other Standards, Table 2-6-1, dimensional standards will be applicable to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process.

The Variance-EPC case can be withdrawn because the standards (including setbacks) are to be negotiated during the PD approval process.

The most similar zone district for the proposed site plan is the R-1B zone. Lot B of the proposed development proposes a 5-foot setback on the rear lot line, while the required setback for the rear lot line in the R-1B zone district is 15 feet. The EPC will determine if the proposed setback for Lot B of the proposed site plan is adequate. As shown in the staff report below, all other applicable dimensional standards are generally met.

## ***III. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES (SITE PLAN – EPC)***

### ***Integrated Development Ordinance (IDO)***

#### ***Definitions***

##### Area of Consistency

An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

##### Dwelling, Single-family Detached

A residential building used for occupancy by 1 household that is not attached to any other dwelling unit through shared side or rear walls, floors or ceilings, or corner points.

#### ***Zoning***

The subject site is zoned PD, a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned SU-1 for PRD (Planned Residential Development).

The purpose of the PD zone district is to accommodate small- and medium-scale innovative projects that cannot be accommodated through the use of other zone districts, provided that those projects are consistent with the ABC Comp Plan, as amended. This zone district is applied on a case-by-case basis to reflect a negotiated agreement for uses and standards with the applicant.

Allowable uses are negotiated on a case-by-case basis but may not include any use that is not included in Table 4-2-1. This project uses the R-1 zone district (R-1B) as a base for design and development.

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The purpose of the R-1 zone district is to provide for neighborhoods of single-family homes on individual lots with a variety of lot sizes and dimensions. When applied in developed areas, an additional purpose is to require that redevelopment reinforce the established character of the existing neighborhood. Primary land uses include single-family detached homes on individual lots, with limited civic and institutional uses to serve the surrounding residential area.

Other allowable uses include: Dwelling, single-family detached, Dwelling, cluster development, Dwelling, cottage development, Dwelling, two-family detached (duplex), Community residential facility, small, Community center, Religious institution, and Community garden.

***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The subject site is in an Area of Consistency, as designated by the Comprehensive Plan. Areas of Consistency will be protected by policies to limit densities, new usages, and negative impacts from nearby development. While these areas may see some infill development and new uses, new development or redevelopment will need to be compatible in scale and character with the surrounding area. Areas of Consistency include but are not limited to single-family residential zones and parcels with single-family residential uses, Parks, Open Space, and golf courses.

Applicable Goals and policies are listed below, followed by Staff analysis in ***bold italic*** text. Please note that, pursuant to IDO 14-16-6-6(H)(a), the purpose of policy analysis of a site plan is to determine if the proposed site plan is consistent with the Comprehensive Plan.

*Chapter 4: Community Identity*

Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

***The proposal will enhance the Griegos neighborhood by providing housing in an established area of the City. The subject site is located near 4<sup>th</sup> Street Main Street, future residents will have access to a variety of commercial uses in the area, and will be within a quarter mile of available transit service. The proposed development will serve to preserve the existing, distinct community by providing additional housing, designed with a southwestern architecture style on an otherwise undeveloped lot. The infill development is consistent with the neighborhood and will protect the surrounding area from harmful types of development. The request is consistent with Goal 4.1 Character.***

Policy 4.1.4 - Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

***This proposed site plan will enhance and protect the neighborhood by developing a vacant lot with residential uses in an area that is primarily residential. The new homes ensure development consistent with Areas of Consistency, which are intended for residential, largely single-family home, development. Since the subject site is undeveloped, the neighborhood will be preserved and strengthened as the homes are built out and occupied. The homes are designed using a southwestern architectural style cognizant of a traditional New Mexican home. The request is consistent with Policy 4.1.4 – Neighborhoods.***

*Chapter 5: Land Use*



Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

*The subject site is located within a quarter mile of the 4<sup>th</sup> Street Main Street Corridor, as designated in the Comprehensive Plan. The proposal fosters a community where residents can live, work, learn shop, and play by providing housing near the 4<sup>th</sup> Street Main Street Corridor. There is also existing bike paths on Griegos Rd, which borders the northern portion of the subject site. The subject sites close proximity to existing bike paths, transit service, and the 4<sup>th</sup> Street Main Street Corridor all contribute to the live, work, learn, and play ethos. The request is consistent with Goal 5.2 Complete Communities.*

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

*The proposed site plan will contribute to this goal by providing single-family dwellings in an area that has a combination of multi-family dwellings, single-family dwellings, and commercial uses. The mix of the uses in this area, along with the proposal contribute to healthy, and sustainable development in this distinct community. The subject site will have direct access to the bike lanes on Griegos Rd NW, and nearby transit services which provide multi-modal travel. The request is consistent with Policy 5.2.1 Land Uses.*

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

*The proposed site plan is located within an established area of the City that is already served by existing infrastructure. There are available utilities for the development to tie into, and public facilities such as the Griegos Public Library, dedicated bike lanes along Griegos Rd NW, Fire Station 6, a Police-Substation, three City Parks, and three APS Schools within a 1-mile buffer. The subject-site is also approximately a quarter mile away from the 4<sup>th</sup> Street Main Street Corridor and is within walking distance of three APS Ride bus routes. The proposal supports additional growth in an area with existing infrastructure and public facilities. The request is consistent with Policy 5.3.1 Infill Development.*

Goal 5.6 City Development Areas: Encourage growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

*The Site Plan proposes the development of five single-family dwellings in a PD zone district. The subject site is located within an Area of Consistency, which encourages development that is compatible in scale and character with the surrounding area. Areas of Consistency include but are not limited to single-family residential zones and parcels with single-family residential uses. The proposal consists of five single-family dwellings with lots designed to R-1B standards. The surrounding neighborhood is largely zoned R-1C. Lots designed pursuant to R-1B standards are typically smaller than lots zoned R-1C, but are still similar in density intensity, and applicable design standards. The proposed dwellings are designed in a southwestern architecture style which reinforces the character of the surrounding neighborhood. The request is consistent with Goal 5.6 City Development Areas.*

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Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers of Corridors, parks, and Major Public Open Space.

*The proposed development enhances and protects the character of the area by adding five single-family dwellings to the neighborhood on a currently vacant lot. The site plan protects the overall character of the existing single-family neighborhood by using design standards in the R-1 zone district. The surrounding area has a mix of uses but is largely a consistent single-family neighborhood zoned R-1C. The request is consistent with Policy 5.6.3 Areas of Consistency.*

#### Chapter 7: Urban Design

Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

*The proposal reinforces the sense of place by using a southwestern architecture style of design. The proposal uses design standards for the R-1 zone and is providing five single family homes in an area that is largely residential. The proposal ensured context sensitive design by limiting the entrance to the development to Griegos Rd, previous designs included an additional entrance from the cul-de-sac on 8<sup>th</sup> street, which would've disrupted the existing flows of traffic. The request is consistent with Goal 7.3 Sense of Place.*

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

*The proposal for five single-family dwellings uses a southwestern architectural style, with a parapet roof, southwestern canals (gutters), and Sandalwood Brown stucco. These design strategies recognize and embrace the typical Griegos neighborhood distinct identity, and semi-rural, traditional southwestern style. The landscape plan uses arizona ash trees, silver sage, yuccas, and lavender in the plant palette. These plants are native to the southwestern United States and thrive in the City's climate. The yucca is a distinct, and traditional New Mexican plant. The request is consistent with the Policy 7.3.2 Community Character.*

#### Chapter 9: Housing

Goal 9.2 Sustainable Design: Promote housing design that is sustainable and compatible with the natural and built environments.

*The proposal promotes housing design that is compatible with the natural and built environments by using plants typically found in the southwestern natural environment. The proposal uses drainage ponds as a means of a natural stormwater management feature. The access to the proposal is solely from Griegos Rd, in previous iterations of designs, the subject site was accessed through Griegos Rd and the 8<sup>th</sup> Street cul-de-sac. The neighbors expressed concerns due to disruption of existing traffic flows on 8<sup>th</sup> street, these concerns were addressed in the current iteration of the proposed site plan and the proposal is now more compatible with the built environment. This request is partially consistent with Goal 9.2 Sustainable Design.*



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Policy 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship with the street.

*The proposed site plan includes five single family dwellings. The dwellings are designed in a traditional southwest architecture style and will be colored a Sandalwood Brown. The color and style are consistent with the surrounding neighborhood character. The access to the proposal is solely from Griegos Rd. In previous iterations of site plan designs, the subject site was accessed through Griegos Rd and the 8<sup>th</sup> Street cul-de-sac. The neighbors expressed concerns due to disruption of existing traffic flows on 8<sup>th</sup> street, these concerns were addressed in the current iteration of the proposed site plan. The proposal is now more compatible with the built environment because it responded to neighborhood concerns about the development context. The request is consistent with the Policy 9.2.1 Compatibility.*

Goal 9.3 Density: Support increased housing density in appropriate places with adequate services and amenities.

*The proposed site plan is located within an established area of the City that is already served by existing infrastructure. There are available utilities for the development to tie into, and public facilities such as the Griegos Public Library, dedicated bike lanes along Griegos Rd NW, Fire Station 6, a Police-Substation, three City Parks, and three APS Schools within a 1-mile buffer. The subject-site is also approximately a quarter mile away from the 4<sup>th</sup> Street Main Street Corridor and is within walking distance of three APS Ride bus routes. The proposal supports increased housing density in an area with existing infrastructure and public facilities. The request is consistent with Goal 9.3 Density.*

Policy 9.3.2 Other Areas: Increase housing density and housing options in other areas by locating near appropriate uses and services and maintaining the scale of surrounding development.

*This site plan provides an opportunity to increase housing density and housing options where there are available services and are near appropriate uses. The subject site is within a quarter mile of 4<sup>th</sup> Street Main Street Corridor which will be easily accessed by future residents. The 4<sup>th</sup> Street Main Street Corridor contains a variety of uses and services such as restaurants, fueling stations/convenience stores, and shopping centers. The request maintains the scale of the surrounding development because the proposal includes one story homes which are similar in size and scale to existing homes within the community. The request is consistent with Policy 9.3.2 Other Areas.*

#### ***Site Plan-EPC Review & Decision Criteria***

Pursuant to IDO subsection 14-16-6-6(J)(3) The EPC shall approve an application for a Site Plan - EPC if it meets all of the following criteria:

6-6(J)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

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***As demonstrated in the policy analysis above, the request is consistent with applicable Comprehensive Plan goals and policies.***

- 6-6(J)(3)(b) The site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/or regulations.

***The subject-site is zoned PD, but does not have a Site Plan established. This request (should it be approved) will establish the governing Site Plan.***

- 6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to the development of the property in a prior permit or approval affecting the property.

***With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM). As per the IDO, the EPC will determine whether any deviations from typical Residential, Single-Family Dwelling development are acceptable in this proposed Site Plan.***

- 6-6(J)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

***The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.***

- 6-6(J)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

***The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.***

- 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.



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***The subject property is not within an approved Master Development Plan, IDO section 6-6(J)(3)(f) does not apply.***

6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic environmental benefits that outweigh the expected impacts.

***The subject property is not within the Railroad and Spur Area, IDO section 6-6(J)(3)(g) does not apply.***

#### **IV. SITE PLAN-EPC**

##### ***Request***

The request is for a Site Plan-EPC for an approximately 0.8 acre site located on Griegos Rd. NW. The applicant proposes to create a governing site plan for the undeveloped lot in order to develop five single-family dwellings. The dwelling units will be approximately 2,284 square feet and will have an attached garage and two covered patios.

The subject site is zoned PD, so an associated site development plan is required pursuant to IDO 14-16-2-6(A)(3)(b). The subject site had an associated site plan, but it was not finalized by the DRB. As discussed previously, the request for a Variance-EPC is not required due to the zoning of PD where standards are negotiated during the approval process.

##### ***Site Plan approval process and PD zones***

Pursuant to IDO section 14-16-2-6(A)(2) Other Standards, Table 2-6-1, dimensional standards apply to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process. The most similar zone district for the proposed site plan is the R-1B zone. Lot B of the proposed site plan proposes a 5-foot setback on the rear lot line, although the required setback for the rear lot line in the R-1B zone district is 15 feet. The EPC will determine if the proposed setback for Lot B of the proposed site plan is adequate. As shown in the staff report below, all other applicable dimensional standards are generally met.

##### ***Site Configuration/Layout***

The subject site is vacant and located on the south side of Griegos Rd. NW, approximately between 9<sup>th</sup> St. and 8<sup>th</sup> St. (a cul-de-sac). The northern portion of the site is bordered by Griegos Rd NW, which will be used to access the development. Five single-family dwellings are

proposed: two are on the northern portion of the lot and the remaining three single-family dwellings will be on the southern portion of the lot.

*Section 5-1 Dimensional Standards:* The subject site is zoned PD, pursuant to IDO table 2-6-1: dimensional standards are applicable to the most similar use or district as shown in IDO section 14-16-5-1, unless different standards are approved in the PD approval process. The proposal uses the R-1B zone district as a base for dimensional standards. The table below provides a brief overview of the proposed dimensional standards versus the R-1B zone district dimensional standards.

	<b>R-1B</b>	<b>Lot A</b>	<b>Lot B</b>	<b>Lot C</b>	<b>Lot D</b>	<b>Lot E</b>
<b>Lot Size Minimum</b>	<b>5,000 sq ft</b>	<b>8,342 sq ft</b>	<b>7,671 sq ft</b>	<b>5,680 sq ft</b>	<b>5,672 sq ft</b>	<b>5,672 sq ft</b>
<b>Lot Width Minimum</b>	<b>75 feet</b>	<b>Not dimensioned</b>	<b>Not dimensioned</b>	<b>53.97 feet</b>	<b>53.97 feet</b>	<b>53.97 feet</b>
<b>Useable Open Space</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>
<b>Front Setback</b>	<b>15 feet</b>	<b>20 feet</b>	<b>20 feet</b>	<b>20 feet</b>	<b>17 feet</b>	<b>20 feet</b>
<b>Side Setback Interior</b>	<b>5 feet</b>	<b>5 feet</b>	<b>5 feet</b>	<b>5 feet</b>	<b>5 feet</b>	<b>5 feet</b>
<b>Side Setback Street Side of corner lots</b>	<b>10 feet</b>	<b>16 feet</b>	<b>Not dimensioned</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>
<b>Rear Setback</b>	<b>15 feet</b>	<b>17 feet</b>	<b>5 feet</b>	<b>15 feet</b>	<b>15 feet</b>	<b>15 feet</b>
<b>Building Height</b>	<b>26 feet</b>	<b>13 foot and 8 inches</b>	<b>13 foot and 8 inches</b>	<b>13 foot and 8 inches</b>	<b>13 foot and 8 inches</b>	<b>13 foot and 8 inches</b>

As shown in the table above, most of the dimensional standards are met. The updated site plan needs to clearly demonstrate the lot lines, lot width on Lot A and Lot B, the street side set back of Lot B to determine compliance to the R-1B dimensional standards. The updated site plan must clearly demonstrate all variations from the R-1B zone dimensional standards.

*Section 5-4 Subdivision of Land:* Pursuant to IDO subsection 14-16-5-4(A), the analysis in this report shows that the proposed Site Plan generally meets the requirements in IDO subsection 14-16-5-4(A)(1) through 14-16-5-4(A)(5). The subdivision of the subject site will be reviewed pursuant to 14-16-6-6(K) Subdivision of Land – Minor, the final approval will come from the Development Review Board (DRB).

*Section 5-4(F)(3) Lot Dimensions:* Pursuant to IDO section 14-16-5-4(F)(3), lot size shall comply with all applicable standards in the IDO, including but not limited to Section 14-16-5-1(C) (Dimensional Standards). See summary and table above for analysis of proposed dimensional standards.

### ***Vehicular Access, Circulation, and Parking***

Griegos Rd NW runs along the northern boundary of the site. Traffic on Griegos Rd NW travels in an east/west direction. There is one entrance from Griegos Rd NW onto a private road called Eco-Green Lane NW which leads into the subject site. Eco-Green Lane is connected to another private road called Eco-Green Court NW, the entrances to the driveways and garages for each single-family dwelling can be accessed from Eco-Green Court NW.

*5-3 Access and Connectivity:* Access and Connectivity regulations are largely controlled by the Development Process Manual (DPM) and administered by the Development Review Board (DRB). All driveways and access points shall be constructed to meet DPM standards. Staff recommends a condition that the Site Plan be reviewed and approved by the DRB subsequent to EPC approval.

*5-5 Parking and Loading:* The proposed site plan does not show parking calculations however; each house has an attached garage with a 16' wide driveway. The length, width, and total area of the driveway and garage shall be show on revised drawings along with parking calculations pursuant to IDO table 5-5-1: Minimum Off-street Parking Requirements.

Motorcycle parking is not required pursuant to table 5-5-4. Bicycle parking is not required pursuant to table 5-5-5

*TIS:* A Traffic Impact Study (TIS) was not required.

### ***Pedestrian, Bicycle, and Transit Access***

The subject site is located along Griegos Rd NW, which is classified as a Major Collector in the 2040 LRRS map, produced by the MRMPPO. Transit service is located within a quarter mile to serve future residents of the development, and there is an existing dedicated bike lane on Griegos Rd NW, which will provide alternative modes of transport. There will be new sidewalks built within the subject site that will provide connectivity within the development to the existing sidewalk on Griegos Rd NW and to the surrounding neighborhood.

*5-3(D) Pedestrian Circulation:* Perimeter sidewalks shall be provided in accordance with the DPM. The proposal includes 4-foot pedestrian pathways, with 3 inches of crusher fine surface on pavement (the material of the pavement is unidentified). The revised site plans shall clearly indicate the material of the 4-foot pathway and will clearly show, label, and dimension the pathway. The revised site plan shall show the transition in material from the sidewalk/curb to the pedestrian pathways within the subject site.

### ***Walls and Security***



The proposed site plan involves the construction of 5' tall concrete masonry unit (CMU) wall. The wall generally follows the exterior site boundaries and generally jogs into the individual lots and divides subdivisions. Maximum wall heights are shown in Table 5-7 in the IDO, and in residential development there is a 3-foot maximum wall height in the front yard and street side yard, while walls in other locations on the lot can be 8 feet in height. Though the site plan shows a maximum wall height of 5 feet, specific wall heights and finishes need to be called out to determine any variation from wall standards in residential areas pursuant to IDO table 5-7-1 Maximum Wall Height.

### ***Lighting***

There is no proposed lighting shown on the site plan

### ***Landscaping***

A variety of landscaping is proposed and includes: Arizona Ash, Silver Sage, Purple Ice plant, Gravel Mulch, and Lavender. Though all plants and trees are clearly shown in the landscape plan, it is unclear as to where the gravel mulch ground cover is proposed. The landscape calculations show that there will be a total of 10% ground coverage on each lot, at approximately 880 square feet of landscape coverage (per lot).

The proposed site plan indicates that watering and maintenance of the plants will be the sole responsibility of the owner. and that irrigation shall be a complete underground system. The irrigation system should be clearly shown on the plan, and total number of emitters should be specified.

### ***Elevations / Architecture***

The single-family dwellings have a traditional southwestern architecture design. The building height is 13 feet and 8 inches, building width is 62 feet at the right and left elevations, and 42 feet at the rear and front elevations. Elevations should use cardinal directions on the revised site plans.

The dwellings have a parapet roof, with a gutter system for rain water runoff.

The plans call for a Sandalwood Brown stucco, with white trims on the various openings (windows, doors, garage doors), and white railing within the covered patios. The finished floor elevation is 2 feet above finished grade, the homes will be accessed through a front covered porch with steps leading up to it.

### ***Grading and Drainage Plan***

The grading and drainage plan does not clearly demonstrate any contour lines. Spot elevations indicate that the lot is relatively flat with most heights shown approximately between 73 feet and 74 feet. Storm water will be directed using the proposed curb and gutter and private roadways.

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The plan calls for a stormwater quality pond on each residential lot however, the location of the pond and how storm water will flow there is not clearly indicated on the plan.

*5-4(H) Stormwater Management:* Pursuant to IDO section 14-16-5-4(H)(1) the applicant shall install, at his/her own expense, all site features and infrastructure necessary to retain, detain, and/or infiltrate stormwater to ensure that the new subdivision does not result in surface flooding or unnecessary burden on the City's infrastructure. Stormwater management for all subdivisions shall comply with the DPM, all applicable standards in Article 14-5 of ROA 1994 (Flood Hazard and Drainage Control), and requirements from AMAFCA.

### ***Utility Plan***

Water and sewer lines will feed into each dwelling from the tie ins proposed. The water and sewer is proposed to be built below the private roads Eco-Green Lane NW, and Eco-Green Court NW. The water and sewer will tie in at the front of each proposed single-family dwelling. The tie in of water and sewer into the lines below Griegos Rd NW should be shown on the drawing. The revised site plan shall show how the utility lines enter the proposed single-family dwellings.

## ***V. AGENCY & NEIGHBORHOOD CONCERNS***

### ***Reviewing Agencies***

There were no adverse comments concerning this request. The City's Solid Waste Management Department requested that a site plan to scale be provided to their staff for approval. APS provided a summary on potential impacts to the public schools that the proposed site plan may have.

### ***Neighborhood/Public***

Notification requirements are found in IDO section 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected, registered neighborhood organizations are the Greater Gardner and Monk Bridge NA, and the North Valley Coalition. Both of the NAs were notified as required (see attachments). The applicant also notified property owners within 100-feet of the subject site's boundaries as required (see attachments).

The applicant has posted proper notice for the EPC hearing. , As of this writing,, the sign notice has been posted.

A representative of the both Greater Gardner and North Valley Coalition Neighborhood Organizations declined a meeting with the applicant but did have some questions about the proposed site plan. The questions discussed included: a request to review the site plan drawings, connectivity from 8<sup>th</sup> Street to the development, required parking, the proposed wall along Griegos Rd NW, accessibility for Solid Waste Trucks and designated trash areas, setback requirements, lighting, and a request for the City project number. The applicant provided an e-mail response to the issues above and no further discussion or questions were presented by the

Neighborhood Associations. The Neighborhood Associations wrote that they were “satisfied with the plans,” wished the applicant well on the project, no meeting was requested after the e-mail correspondence.

## **VI. CONCLUSION**

The request is for a Site Plan-EPC for Tract B, Lands of Ella G. Rossiter, approximately 0.8 acre (the “subject site”). The applicant proposes to create a governing site plan for the undeveloped lot. The applicant proposes to develop five single-family dwellings within the 0.80-acre lot with access from Griegos Rd. The dwelling units will be approximately 2,284 square feet and will have an attached garage, and two covered patios.

The request is in a PD zone, an associated site development plan is required. As discussed, the request for a Variance-EPC is not required due to the subject site’s PD zoning because standards are negotiated during the approval process.

Generally, not finding any conflicts with IDO or other regulations, Staff recommends approval subject to Conditions of Approval to improve compliance in a few areas and to provide clarification.



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***FINDINGS – SI-2021-00024, February 18, 2021 – Site Plan EPC***

1. The request is for a Site Plan-EPC for Tract B, Lands of Ella G. Rossiter, Section 32, Township 11. The subject site is approximately 0.8 acre, is located on Griegos Rd NW, between 8<sup>th</sup> St NW and 9<sup>th</sup> St NW and is currently undeveloped. The applicant proposes to create a governing site plan for the undeveloped lot.
2. The Site Plan – EPC is requested in order to develop a residential project consisting of five single-family dwellings with an attached garage and rear and front patio. The proposed development will be accessible from Griegos Rd NW.
3. The subject site is zoned PD (Planned Development). The purpose of the PD zone district is to accommodate small- and medium-scale innovative projects that cannot be accommodated through the use of other zone districts, provided that those projects are consistent with the ABC Comp Plan, as amended. The standards for this zone district is applied on a case-by-case basis to reflect a negotiated agreement for uses and standards with the applicant.
4. The subject request is accompanied by a request for a Variance – EPC. Pursuant to IDO Table 2-6-1: dimensional standards will be applicable to the most similar use or district as shown in IDO section 14-16-5-1, unless different standards are approved in the PD approval process. Similarly, all standards from 14-16-5-2 through 14-16-5-13 apply unless varied in the PD approval process, thus the Variance-EPC request is not required.
5. The EPC has the authority to review the Site Plan – EPC application for conformance to applicable IDO development standards; the EPC is not reviewing any future program or any private rental agreements between a landlord and tenants.
6. The request is to establish a governing Site Plan – EPC in a PD zone district. Pursuant to IDO subsection 14-16-2-6(A)(3)(b): A Site Plan – EPC that specifies uses, site standards and development standards shall be reviewed and decided in conjunction with the review and decision of a zone change request. The subject site was rezoned from R-1 to SU-1 in 2014, at that time an accompanying Site Plan was also approved but the Site Plan was never finalized by the DRB. The subject site was rezoned from SU-1 to PD by the City upon the adoption of the IDO in 2018.
7. The subject site is located in an Area of Consistency, and nearby the 4<sup>th</sup> Street Main Street Corridor, as designated by the Comprehensive Plan.
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request meets the Site Plan – EPC Review and Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:

- A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is consistent with applicable Comprehensive Goals and Policies.
  - B. 14-16-6-6(J)(3)(b) The subject site is zoned PD, but does not have a Site Plan established. This request, should it be approved, will establish the governing site plan.
  - C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM). As per the IDO, the EPC will determine whether any deviations from typical Residential, Single-Family Dwelling development are acceptable in this proposed Site Plan.
  - D. 14-16-6-6(J)(3)(d) The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve a proposed development.
  - E. 14-16-6-6(J)(3)(e) The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.
  - F. 14-16-6-6(J)(3)(f) The subject property is not within an approved Master Development Plan, IDO section 6-6(J)(3)(f) does not apply.
  - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area, IDO section 6-6(J)(3)(g) does not apply.
10. The request is consistent with the following Comprehensive Plan Goals and policies from Chapter 4: Community Identity:
- A. Goal 4.1: Character: Enhance, protect, and preserve distinct communities.  
  
The request will enhance, the Griegos neighborhood by providing five single-family dwellings in an established area of the City, which is nearby the 4<sup>th</sup> Street Main Street corridor as designated by the Comprehensive Plan. The proposal will preserve the existing, distinct community by providing additional housing designed with a southwestern architecture style on an otherwise undeveloped lot.
  - B. Policy 4.1.4 – Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

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The request will enhance and protect the neighborhood by developing a currently vacant lot with residential uses in an area that is highly residential. The neighborhood will be preserved and strengthened with the addition of the proposed homes, which are designed using a southwestern architecture style.

11. The request is consistent with the following Comprehensive Plan Goals and policies from Chapter 5: Land Use.

- A. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The proposed site plan is located within an established community, and is near 4<sup>th</sup> Street Main Street Corridor as designated by the Comprehensive Plan. There are existing transit routes and bike lanes along Griegos Rd, future residents will have a variety of services available to them.

- B. Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The proposed Site Plan is located on Griegos Rd NW, between 8<sup>th</sup> St and 9<sup>th</sup> St. This location is served by existing transit routes and bike lanes along Griegos Rd, future residents will have a variety of services available to them along 4<sup>th</sup> St

- C. Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is in an established urban area that is already served by existing infrastructure and public facilities; the request would support additional growth and development in an infill location.

- D. Goal 5.6 City Development Areas: Encourage growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The proposed development is within an established residential area, that is in proximity to a variety of uses. The proposed single-family dwellings were designed using a southwestern architecture style, and the lots were designed using R-1B zone standards, these elements ensure that the proposal reinforce the character and intensity of the area.

- E. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

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The proposed development protects and enhances the character of the area by adding five-single-family dwellings on a currently undeveloped lot. The site plan protects the character by using a southwestern architecture style, and design standards from the R-1B zone district.

12. The request is consistent with the following Comprehensive Plan Goals and policies from Chapter 7: Urban Design:

- A. Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The proposal reinforces context sensitive design by working with the community and limiting access of the development to Griegos Rd NW, previous designs included an additional entrance from the 8<sup>th</sup> St cul-de-sac, which would've disrupted the existing flows of traffic.

- B. Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

The proposed development is within the Griegos Rd neighborhood, an established urban area of the City. The proposal uses southwestern architectural features, and landscape palette that recognize and embrace the Griegos Neighborhood distinct identity.

13. The request is consistent with the following Comprehensive Plan Goals and policies from Chapter 9: Housing:

- A. Goal 9.2 Sustainable Design: Promote housing design that is sustainable and compatible with the natural and built environments.

The proposal is sustainable and compatible with the natural and built environment as it uses common southwestern plants in the landscape design, permeable surfaces, and drainage ponds as a natural stormwater management feature. Access to the development is limited to Griegos Rd, previous designs had access from Griegos Rd and the 8<sup>th</sup> St cul-de-sac. The current iteration is more compatible with the built environment by limiting the access points to the proposed development.

- B. Policy 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship with the street.

The request is within an established urban area of the City and is near several existing public facilities and a variety of uses. It responds well to the surrounding neighborhood by limiting access to the development, using an appropriate color for the homes and plant pallet for the

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proposed landscaping. The density is appropriate and matches existing patterns of development.

- C. Goal 9.3 Density: Support increased housing density in appropriate places with adequate services and amenities.

The subject site is in an established urban area that is already served by existing infrastructure and public facilities. The site plan was designed using dimensional standards from the R-1 zone district. The request would support additional growth and development with appropriate density in a location with existing adequate services and amenities.

- D. Policy 9.3.2 Other Areas: Increase housing density and housing options in other areas by locating near appropriate uses and services and maintaining the scale of surrounding development.

The request proposes to develop five single-family homes in an established community. It maintains the appropriate scale by using R-1 zone standards as a base for design, and is located within several existing public facilities and a variety of uses.

14. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
15. The City's Solid Waste department has requested a site plan to scale for review.
16. The applicant notified the Greater Gardner and Monk Bridge Neighborhood Associations., which are the affected, registered neighborhood organizations. The applicant also notified property owners within 100-feet of the subject sites boundaries as required.
17. A representative of the both Greater Gardner and North Valley Coaliltion Neighborhood Organizations declined a meeting with the applicant but did have some questions about the proposed site plan. The questions discussed included: a request to review the site plan drawings, connectivity from 8<sup>th</sup> Street to the development, required parking, the proposed wall along Griegos Rd NW, accessibility for Solid Waste Trucks and designated trash areas, setback requirements, lighting, and a request for the City project number. The applicant provided an e-mail response to the issues above and no further discussion or questions were presented by the Neighborhood Associations.
18. The Neighborhood Associations wrote that they were "satisfied with the plans," wished the applicant well on the project, and no meeting was requested after the e-mail correspondence.
19. The applicant has demonstrated that there were no requests for a public meeting concerning this project.



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***RECOMMENDATION – PR-2018-001398, SI-2021-00024, February 18, 2021***

**APPROVAL** of project # 2018-001398, Case # SI-2021-00024, a Site Plan – EPC request for an approximately 0.8 acre site, located on Griegos Rd NW(704 Griegos Rd NW), between 8<sup>th</sup> St NW and 9<sup>th</sup> St NW, zoned PD, based on the preceding Findings and subject to the following Conditions of Approval.

***RECOMMENDATION – PR-2018-001398, VA-2021-00006, February 18, 2021***

**WITHDRAWAL** of project # 2018-001398, Case # VA-2021-00006, a Variance – EPC request for an approximately 0.8 acre site, located on Griegos Rd NW(704 Griegos Rd NW), between 8<sup>th</sup> St NW and 9<sup>th</sup> St NW, zoned PD, based on the preceding Findings.

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**CONDITIONS OF APPROVAL – SI-2021-00024 February 18, 2021**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that technical EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
4. The site plan shall address the following:
  - A. Building setbacks shall be clearly identified, including front, side, and rear setbacks.
  - B. Property lines shall be clearly identified and dimensioned.
  - C. The site plan shall clearly state that R-1B zone dimensional standards were used as a base of design, and all variations from the R-1B zone standards shall be clearly identified on the site plan.
  - D. All drainage ponds shall be clearly labeled and dimensioned.
  - E. Parking calculations shall be shown on the site plan pursuant to IDO section 5-5(C).
  - F. Garages shall be identified and dimensioned, total area of the garage shall be shown on the site plan.
  - G. All driveways shall be clearly dimensioned.
  - H. Specific wall heights and finishes need will be shown to determine any variation from wall standards in residential areas pursuant to IDO table 5-7-1.
  - I. The irrigation system shall be clearly shown on the landscape plan, and total number of emitters should be specified.
  - J. The grading and drainage plan will show contour lines in to determine stormwater runoff flows.

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- K. The utility plans shall clearly show location of structures to demonstrate tie into the water and sewer lines.
  - L. The utility plans will show tie into the main lines from Griegos Rd from the development.
5. Any deviation from R-1B zone standards found in the IDO mentioned above or otherwise shall be explicitly called out on the site plan in order to maintain and create a reliable record for this site plan.
6. Conditions from Solid Waste Management Department:
- A. A site plan to scale will be required for this development, and will have to be approved by the Solid Waste Department.
- 

*Sergio Lozoya*

**Sergio Lozoya**  
**Current Planner**

***Notice of Decision CC list:***

Greater Gardner and Monkbridge NA, David Wood, [wood\\_cpa@msn.com](mailto:wood_cpa@msn.com)

Greater Gardner and Monkbridge NA, Chris Sylvan, [sylvan.cs@gmail.com](mailto:sylvan.cs@gmail.com)

North Valley Coalition, Doyle Kimbrough, [newmexmba@aol.com](mailto:newmexmba@aol.com)

North Valley Coalition, Peggy Norton, [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com)

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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

***Zoning / Code Enforcement***

***Long Range Planning***

***Metropolitan Redevelopment***

### ***CITY ENGINEER***

***Hydrology***

***Transportation Development Services***

### ***MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION***

No comments.

### ***POLICE DEPARTMENT/PLANNING***

### ***SOLID WASTE MANAGEMENT DEPARTMENT***

A site plan to scale will be required for this development, and will have to be approved by the Solid Waste Department.

### ***TRANSIT DEPARTMENT***

### ***ABC WATER UTILITY AUTHORITY (ABCWUA)***

No adverse comment to the proposed variance. As a condition of approval of the site plan please request an availability at the link: <https://www.abcwua.org/info-for-builders-availability-statements/>. The request shall include a City Fire Marshal approved Fire 1 Plan, a zone map showing the site location, and the proposed Utility Plan.

### ***ALBUQUERQUE PUBLIC SCHOOLS***

Case comments: Site is approximately one quarter mile from La Luz Elementary School. Residential construction at this location will impact La Luz Elementary School, Garfield Middle School, and Valley High School.

- i. Residential Units: **5**
- ii. Est. Elementary School Students: **2**
- iii. Est. Middle School Students: **1**
- iv. Est. High School Students: **1**
- v. Est. Total # of Students from Project: **4**

\*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

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**School Capacity**

<b>School</b>	<b>2019-2020 Enrollment</b>	<b>Facility Capacity</b>	<b>Space Available</b>
La Luz Elementary School	161	322	161
Garfield Middle School	377	663	286
Valley High School	1,070	1,845	775

***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)***

No adverse comments.

***COUNTY OF BERNALILLO***

No adverse comments.

***MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)***

Unable to review.

***MID-REGION METROPOLITAN PLANNING ORGANIZATION***

***PUBLIC SERVICE COMPANY OF NEW MEXICO***

***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)***

***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

***PNM GAS COMPANY***

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at [www.pnm.com/erequest](http://www.pnm.com/erequest) for PNM to review.

***PETROGLYPH NATIONAL MONUMENT***

***AVIATION DEPARTMENT***

***KIRTLAND AIR FORCE BASE***





**Figure 1: Sign Notice Posting**

**Figure 2: Looking to the southwestern corner of the lot from the northeastern corner of the lot (from Griegos Rd)**







***Figure 3: Looking northwest from the northern perimeter of the subject site***

***Figure 4: Looking southeast from the northeastern corner of the lot.***

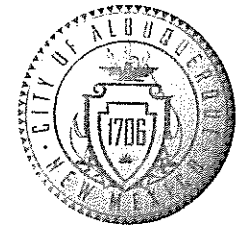


## ZONING

Please refer to IDO Section 14-16-2-6(A) for the PD Zone District  
and 14-16-2-3(A) for the R1-B Zone District

## HISTORY

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

September 12, 2014

Anthony Anella, Architect  
103 Dartmouth Dr. SE  
Albuquerque, NM 87106

**Project# 1010143**  
14EPC-40038 Zone Map Amendment (Zone Change)  
14EPC-40039 Site Development Plan for  
Subdivision 14EPC-40040 Site Development Plan for  
Building Permit

### LEGAL DESCRIPTION:

Tract B, Lands of Ella G. Rossiter, zoned R-1, to "SU-1 for PRD (Planned Residential Development)", located on Griegos Rd. NW, between 8<sup>th</sup> St. NW and 9th St. NW, containing approximately 0.8 acre. (F-14)  
Staff Planner: Catalina Lehner

PO Box 1293

Albuquerque, NM 87106  
On September 11, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project# 1010143, 14EPC-40038, a proposal for a zone map amendment (zone change); 14EPC-40039, site development plan for subdivision; and 14EPC-40040, a site development plan for building permit, based on the following Findings and subject to the following Conditions of Approval:

### FINDINGS: 14EPC-40038, zone map amendment (zone change)

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1. The subject request is for a zone map amendment (zone change) for Tract B, Lands of Ella G. Rossiter, an approximately 0.8 acre site located on Griegos Rd. NW, between 8<sup>th</sup> Street NW and 9th Street NW. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. The North Valley Area Plan (NVAP) and the Los Griegos Neighborhood Development Plan (LGNDP).
2. The zone map amendment request is for a change from R-1 Residential to "SU-1 for PRD (Planned Residential Development)" in order to develop a residential project consisting of seven small, single-family homes, a guest house and two landscaped parking areas.
3. The subject request is accompanied by a site development plan for subdivision (14EPC-40039) and a site development plan for building permit (14EPC-40040). Pursuant to §14-16-2-22, the SU-1 zone, a site development plan is required with a zone change to an SU-1 Zone.



4. Because the subject site is not greater than a block in size, the Environmental Planning Commission (EPC) is the approval authority. The subject request is not required to be transmitted to the City Council. This is a quasi-judicial matter.
5. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan (NVAP), the Los Griegos Neighborhood Development Plan (LGNDP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject request furthers the following Comprehensive Plan policies:
  - A. Policy II.B.5l-new development/design quality/appropriateness. The site design, which features common area internal to the site and the homes facing it, can be considered innovative since it isn't done often here. The homes would be a New Mexican style that would be appropriate to the LGNDP area.
  - B. Policy II.B.5e- new growth/urban facilities/neighborhood integrity. The subject site is vacant. Development would be contiguous to existing urban facilities, the use of which would not disrupt neighborhood integrity in this location.
7. The subject request partially furthers the following relevant Comprehensive Plan policies:
  - A. Policy II.B.5a-full range of urban land uses. The proposal would result in a single-family home development that is not typically suburban and would add to variety. However, there is already a full range of urban land uses in the area, including single-family homes, multi-family residential and some commercial uses.
  - B. Policy II.B.5d- new development/neighborhood values/ environmental conditions/resources. The development would be located on Griegos Rd., and not within an existing neighborhood with larger lots than those proposed. The New Mexico style design and innovative features would respect carrying capacities, and scenic and social resources. A neighborhood association is in support, though some nearby neighbors have expressed concern.
  - C. Policy II.B.5f- clustering of homes. Though not clustered, the homes would be arranged around a shared open area and oriented toward a trail that leads to Griegos Rd., where there is an existing bike lane.
  - D. Housing Policy 2.D.5a- affordable housing/standard housing & income proportion. Though not be marketed as affordable housing according to Federal guidelines, the small size of the homes and lots would create an opportunity for people to obtain standard housing that may be a reasonable proportion of their income.
8. Zoning & Land Use Policy 2 of the North Valley Area Plan (NVAP) is generally furthered. The zone change, to another residential zoning designation, would result in development of a vacant parcel for residential uses. Zoning and land use would be generally consistent.
9. The proposal furthers Long-Term Objective 4 of the Los Griegos Neighborhood Development Plan (LGNDP). The subject site is in the eastern portion of the Plan area. This is a desired location for the proposed development of homes and lots that are smaller, and at a relatively higher density, than those found in the western portion of the Plan area.

10. The applicant has adequately justified the zone map amendment (zone change) request pursuant to Resolution 270-1980:

- A. Section 1A: The proposed zoning is limited to uses that will not harm the adjacent property or community and has been demonstrated to be consistent with applicable policies in the Comprehensive Plan, the North Valley Area Plan (NVAP) and the Los Griegos Neighborhood Development Plan (LGNDP). Therefore, the proposed zone map amendment is consistent with the health, safety, morals and general welfare of the City.
- B. Section 1B: The uses allowed by the proposed zoning would be unlikely to adversely affect stability of land use and zoning and, as the applicant demonstrated, are justified pursuant to R270-1980.
- C. Section 1C: There is no "significant conflict" with an adopted element of the Comprehensive Plan, the NVAP or the LGNDP. Providing housing, along streets and within walking distance of public transportation, on vacant land contiguous to existing infrastructure, is generally considered desirable and is consistent with Comprehensive Plan policies. The proposed zoning furthers the LGNDP objective to enhance the area as primarily residential, and supports the concept of having relatively higher densities in the eastern portion of the Plan area and relatively lower densities in the western portion of the Plan area. Therefore, the test under Section 1C is met.
- D. Section 1D: A different use category is more advantageous to the community, as articulated in the Comprehensive Plan and other applicable Plans because the request would further a preponderance of applicable policies. The policy-based discussion in the response to Section 1C demonstrates that the proposed zoning category would be more advantageous to the community as a whole than the current zoning.
- E. Section 1E: The proposed use would not harm the community, neighborhood or adjacent property. This is because the requested SU-1 zoning is narrowly defined and tied to its associated site development plans. The zoning would only allow the use as shown and specified on the associated site development plans, and as qualified by any notes thereon.

Uses not shown on the associated site development plans would be prohibited. Uses that could be considered harmful in the subject site's setting, including non-residential uses and higher density residential uses such as a 28DU/ac subdivision in the LGSDP area, would be prohibited.

- F. Section 1F: The proposed zone change requires no major and unprogrammed capital expenditures by the City. The subject site is located in an area where existing infrastructure is available.
- G. Section 1G: The cost of land or other economic considerations pertaining to the applicant are a factor in the zone change request, but they are not the determining factor.
- H. Section 1H: The request is not for apartment, office or other commercial zoning, and location on a collector or major street is not being used, in itself, as sufficient justification for the request.
- I. Section 1I: The requested SU-1 zoning is a justifiable spot zone because it has been demonstrated that the request will clearly facilitate realization of a preponderance of applicable policies in the Comprehensive Plan, the NVAP and the LGNDP, particularly regarding full

- range of land uses, new growth contiguous to existing services, quality of design, and provision of housing. Furthermore, the request would not result in a significant conflict with applicable goals and policies (see response to Section 1C).
- J. Section 1J: The request does not pertain to a strip of land along a street and is not for a commercial zoning designation. Therefore, the request would not result in strip commercial zoning- often called a "strip zone".
11. The applicant has adequately justified the zone map amendment (zone change) pursuant to R270-1980. The response to Section 1C provides a policy-based explanation of how the request generally furthers a preponderance of applicable policies in the Comprehensive Plan, the NVAP and the LGNDP, and that there is no significant conflict with these. The response also supports the reasoning that a different zoning category would be more advantageous to the community overall, as articulated in these Plans (Section 1D). The remaining sections (1A, 1B, 1E-1J) are sufficiently addressed.
  12. The affected neighborhood organizations, recognized pursuant to O-92, the Neighborhood Recognition Ordinance, are the Greater Gardner Neighborhood Association (GGNA) and the North Valley Coalition. A facilitated meeting was offered in July, but was declined. The GGNA generally supports the proposal. Some neighbors in the vicinity of the subject site, however, expressed concern about the density of the proposed development compared to existing residential density nearby.
  13. During the continuance period, a facilitated meeting was held on August 26, 2014. Neighbors in the vicinity of the subject site continued to oppose the proposal. They expressed concern about screening of the parking lot facing Griegos Rd., screening of the refuse enclosure, that the homes (and guest house) would become rentals, and that the guest house would be used as a residence.
  14. The EPC voted to exclude the document, submitted at the hearing during public comment, because it does not fall within the 48 hour rule (B.12 of the EPC Rules of Conduct). The document was then read into the record.
  15. The applicant represented to the EPC and neighbors that the developer will involve affected neighbors and neighborhood associations in developing the governing, private restrictive covenants for the development.
  16. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that the rental of the accessory unit, labeled as a guest house, will not be occupied by one single party for more than two (2) weeks.
  17. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that will prohibit any home from being non-owner occupied for more than a twelve-month period.

**FINDINGS:** 14EPC-40039, Site Development Plan for Subdivision

1. The subject request is for a site development plan for subdivision for Tract B, Lands of Ella G. Rossiter, an approximately 0.8 acre site located on Griegos Rd. NW, between 8<sup>th</sup> Street NW and 9<sup>th</sup>

Street NW. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. The North Valley Area Plan (NVAP) and the Los Griegos Neighborhood Development Plan (LGNDP).

2. The site development plan for subdivision is requested in order to develop a residential project consisting of seven small, single-family homes, a guest house and two landscaped parking areas.
3. The subject request is accompanied by requests for a zone map amendment (14EPC-40038) and a site development plan for building permit (14EPC-40040). Pursuant to §14-16-2-22, a site development plan is required with a zone change to an SU-1 Zone.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan (NVAP), the Los Griegos Neighborhood Development Plan (LGNDP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject request furthers the following Comprehensive Plan policies:
  - A. Policy II.B.5I-new development/design quality/appropriateness. The site design, which features common area internal to the site and the homes facing it, can be considered innovative since it isn't done often here. The homes would be a New Mexican style that would be appropriate to the LGNDP area.
  - B. Policy II.B.5e- new growth/urban facilities/neighborhood integrity. The subject site is vacant. Development would be contiguous to existing urban facilities, the use of which would not disrupt neighborhood integrity in this location.
6. The subject request partially furthers the following relevant Comprehensive Plan policies:
  - A. Policy II.B.5a-full range of urban land uses. The proposal would result in a single-family home development that is not typically suburban and would add to variety. However, there is already a full range of urban land uses in the area, including single-family homes, multi-family residential and some commercial uses.
  - B. Policy II.B.5d- new development/neighborhood values/ environmental conditions/resources. The development would be located on Griegos Rd., and not within an existing neighborhood with larger lots than those proposed. The New Mexico style design and innovative features would respect carrying capacities, and scenic and social resources. A neighborhood association is in support, though some nearby neighbors have expressed concern.
  - C. Policy II.B.5f- clustering of homes. Though not clustered, the homes would be arranged around a shared open area and oriented toward a trail that leads to Griegos Rd., where there is an existing bike lane.
  - D. Housing Policy 2.D.5a- affordable housing/standard housing & income proportion. Though not be marketed as affordable housing according to Federal guidelines, the small size of the homes and lots would create an opportunity for people to obtain standard housing that may be a reasonable proportion of their income.
7. Zoning & Land Use Policy 2 of the North Valley Area Plan (NVAP) is generally furthered. The zone change, to another residential zoning designation, would result in development of a vacant

parcel for residential uses. Zoning and land use would be generally consistent.

8. The proposal furthers Long-Term Objective 4 of the Los Griegos Neighborhood Development Plan (LGNDP). The subject site is in the eastern portion of the Plan area. This is a desired location for the proposed development of homes and lots that are smaller, and at a higher density, than those found in the western portion of the Plan area.
9. Minor conditions of approval are needed for clarification.
10. The affected neighborhood organizations, recognized pursuant to O-92, the Neighborhood Recognition Ordinance, are the Greater Gardner Neighborhood Association (GGNA) and the North Valley Coalition. A facilitated meeting was offered in July, but was declined. The GGNA generally supports the proposal. Some neighbors in the vicinity of the subject site, however, expressed concern about the density of the proposed development compared to existing residential density nearby.
11. During the continuance period, a facilitated meeting was held on August 26, 2014. Neighbors in the vicinity of the subject site continued to oppose the proposal. They expressed concern about screening of the parking lot facing Griegos Rd., screening of the refuse enclosure, that the homes (and guest house) would become rentals, and that the guest house would be used as a residence.
12. The EPC voted to exclude the document, submitted at the hearing during public comment, because it does not fall within the 48 hour rule (B.12 of the EPC Rules of Conduct). The document was then read into the record.
13. The applicant represented to the EPC and neighbors that the developer will involve affected neighbors and neighborhood associations in developing the governing, private restrictive covenants for the development.
14. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that the rental of the accessory unit, labeled as a guest house, will not be occupied by one single party for more than two (2) weeks.
15. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that will prohibit any home from being non-owner occupied for more than a twelve-month period.

**CONDITIONS: 14EPC-40039, Site Development Plan for Subdivision**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final approval, the applicant shall meet with the Staff planner to ensure that conditions of



approval are met. Evidence of this meeting shall be provided at the time of application.

3. The right-of-way for the 8<sup>th</sup> St. cul-de-sac shall be shown and labeled.
4. The FAR (Floor Area Ratio) calculation shall be removed.

5. **CONDITION FROM THE CITY ENGINEER:**

Right of Way Dedication or easements will be granted as required by the Development Review Board (DRB).

**FINDINGS: 14EPC-40040, Site Development Plan for Building Permit**

1. The subject request is for a site development plan for building permit for Tract B, Lands of Ella G. Rossiter, an approximately 0.8 acre site located on Griegos Rd. NW, between 8<sup>th</sup> Street NW and 9th Street NW. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. The North Valley Area Plan (NVAP) and the Los Griegos Neighborhood Development Plan (LGNDP).
2. The site development plan for building permit is requested in to develop a residential project consisting of seven small, single-family homes, a guest house and two parking areas.
3. The subject request is accompanied by a zone map amendment (zone change) request (14EPC-40038) and a site development plan for subdivision (14EPC-40039). Pursuant to §14-16-2-22, a site development plan is required with a zone change to an SU-1 Zone.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the North Valley Area Plan (NVAP), the Los Griegos Neighborhood Development Plan (LGNDP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject request furthers the following Comprehensive Plan policies:
  - A. Policy II.B.5l-new development/design quality/appropriateness. The site design, which features common area internal to the site and the homes facing it, can be considered innovative since it isn't done often here. The homes would be a New Mexican style that would be appropriate to the LGNDP area.
  - B. Policy II.B5e- new growth/urban facilities/neighborhood integrity. The subject site is vacant. Development would be contiguous to existing urban facilities, the use of which would not disrupt neighborhood integrity in this location.
6. The subject request partially furthers the following relevant Comprehensive Plan policies:
  - A. Policy II.B.5a-full range of urban land uses. The proposal would result in a single-family home development that is not typically suburban and would add to variety. However, there is already a full range of urban land uses in the area, including single-family homes, multi-family residential and some commercial uses.
  - B. Policy II.B.5d- new development/neighborhood values/ environmental conditions/resources. The development would be located on Griegos Rd., and not within an existing neighborhood

with larger lots than those proposed. The New Mexico style design and innovative features would respect carrying capacities, and scenic and social resources. A neighborhood association is in support, though some nearby neighbors have expressed concern.

- C. Policy II.B.5f- clustering of homes. Though not clustered, the homes would be arranged around a shared open area and oriented toward a trail that leads to Griegos Rd., where there is an existing bike lane.
  - D. Housing Policy 2.D.5a- affordable housing/standard housing & income proportion. Though not be marketed as affordable housing according to Federal guidelines, the small size of the homes and lots would create an opportunity for people to obtain standard housing that may be a reasonable proportion of their income.
7. Zoning & Land Use Policy 2 of the North Valley Area Plan (NVAP) is generally furthered. The zone change, to another residential zoning designation, would result in development of a vacant parcel for residential uses. Zoning and land use would be generally consistent.
  8. The proposal furthers Long-Term Objective 4 of the Los Griegos Neighborhood Development Plan (LGNDP). The subject site is in the eastern portion of the Plan area. This is a desired location for the proposed development of homes and lots that are smaller, and at a higher density, than those found in the western portion of the Plan area.
  9. Conditions of approval are needed to create compliance and for clarification.
  10. The affected neighborhood organizations, recognized pursuant to O-92, the Neighborhood Recognition Ordinance, are the Greater Gardner Neighborhood Association (GGNA) and the North Valley Coalition. A facilitated meeting was offered in July, but was declined. The GGNA generally supports the proposal. Some neighbors in the vicinity of the subject site, however, expressed concern about the density of the proposed development compared to existing residential density nearby.
  11. During the continuance period, a facilitated meeting was held on August 26, 2014. Neighbors in the vicinity of the subject site continued to oppose the proposal. They expressed concern about screening of the parking lot facing Griegos Rd., screening of the refuse enclosure, that the homes (and guest house) would become rentals, and that the guest house would be used as a residence.
  12. The EPC voted to exclude the document, submitted at the hearing during public comment, because it does not fall within the 48 hour rule (B.12 of the EPC Rules of Conduct). The document was then read into the record.
  13. The applicant represented to the EPC and neighbors that the developer will involve affected neighbors and neighborhood associations in developing the governing, private restrictive covenants for the development.
  14. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that the rental of the accessory unit, labeled as a guest house, will not be occupied by one single party for more than two (2) weeks.

15. The applicant represented to the EPC and neighbors that the private, restrictive covenants will include a provision that will prohibit any home from being non-owner occupied for more than a twelve-month period.

**CONDITIONS:** 14EPC-40040, Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final approval, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided at the time of application.
3. Walls/Fences:  
The color(s) of the site wall and dumpster enclosure shall be specified.
4. Pedestrians and Bicyclists:  
Bollard lighting shall be added to individual pathways that do not have bollard lighting (ex. Lot 5 and the guest house).
5. Landscaping:
  - A. The plants along Griegos Rd., shown on v.2 of the site development plan, shall be re-instated.
  - B. Trumpet Vine shall replace Boston Ivy (see Facilitated Meeting Report).
  - C. The name of the fifth landscape shrub shall be clarified.
6. Lighting:  
The parking lot light poles that conflict with trees shall be relocated.
7. Grading & Drainage Plan:  
The grading narrative and the Zone Atlas page shall be re-instated.
8. Elevations:  
Specify common-name colors for the building walls.
9. Clarification:
  - A. Indicate what the dashed, shaded lines are on the grading and drainage plan.
  - B. A fire hydrant, if applicable, shall be shown on the utility plan.

10. CONDITION FROM THE CITY ENGINEER:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **SEPTEMBER 26, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.


You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

  
Suzanne Lubar  
Planning Director

SL/CLL

cc: Doug Crandall, DAC Enterprises, 9520 Macallan Rd. NE, Albuquerque, NM 87109  
Robert Romero, DAC Enterprises, 1521 Edith Blvd. NE, Albuquerque, NM 87102  
Kyle Silber, North Valley Coalition & the Greater Gardner NA, 4465 Jupiter St. NW, Albuquerque, NM 87107  
Antoinette Vigil, the Greater Gardner NA, 215 San Andres NW, Albuquerque, NM 87107  
David Wood, North Valley Coalition, 158 Pleasant NW, Albuquerque NM 87107  
Michael Passi & Tey Diana Rebolledo, 701 Griegos Rd. NW, Albuquerque NM 87107  
Yolanda Gradi & Paul Hass, 612 Griegos Rd. NW, Albuquerque NM 87107  
Lori King & Charles Painter, 707 Griegos Rd. NW, Albuquerque NM 87107  
Gregory Sandoval, Sandoval Moots Architects, LLC. 1720 Cristo Rey Ave. NW, Albuquerque, NM 87107  
C. David Day, Terra Designs, LLC. 1913 Gabaldon Ct. NW, Albuquerque, NM 87104  
Candice Knight, 1858 Griegos Rd NW, Albuquerque, NM 87107  
Tova Indritz, 524 Griegos Rd, NW, Albuquerque, NM 87107  
Shirley Arellano, 4633 11<sup>th</sup> St, NW, Albuquerque, NM 87107  
Diane Reboledo, 701 Griegos Rd. NW, Albuquerque, NM 87107  
Jason Buchanan, 37 Sandia Hills Dr., Albuquerque, NM 87122  
Jens Deichmann, 2809 Chanate Ave SW, Albuquerque, NM 87105



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## **CERTIFICATE OF ZONING**

June 28, 2019

Anthony Anella, Architect  
103 Dartmouth Dr. SE  
Albuquerque, NM 87106

**Project Number: 1010143**  
14EPC-40038 Zone Map Amendment (Zone Change)  
14EPC-40039 Site Development Plan for Subdivision 14EPC-40040  
Site Development Plan for Building Permit  
**FINAL ACTION:** December 15, 2014 (AC-14-10)

### **LEGAL DESCRIPTION:**

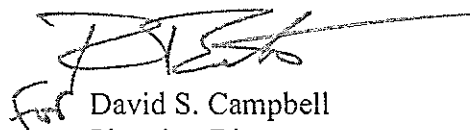
Tract B, Lands of Ella G. Rossiter, zoned R-1, to "SU-1 for PRD (Planned Residential Development)", located on Griegos Rd. NW, between 8<sup>th</sup> St. NW and 9th St. NW, containing approximately 0.8 acre. (F-14) Staff Planner: Catalina Lehner

THE ZONING ON THE ABOVE REFERENCED PROPERTY IS NOW CHANGED AS FOLLOWS:

**FROM:** *R-1 Residential*  
**TO:** *SU-1 for PRD (Planned Residential Development)*

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site development plans and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission (EPC), the Development Review Board (DRB), the Design Review Committee (DRC) and/or the Building and Safety Division as applicable, and as required by the site's zoning, before a building permit can be issued.

Sincerely,

  
David S. Campbell  
Planning Director

DSC/CLL

cc: Robert Romero, DAC Enterprises, 1521 Edith Blvd. NE, Albuquerque, NM 87102  
Alan Varela, [avarela@cabq.gov](mailto:avarela@cabq.gov), Legal Department  
Code Enforcement Division  
Michelle Gricius, AGIS Division  
File



Project Number: 1010143/14EPC-40038, 14EPC-40039, and 14EPC-40040

LEGAL DESCRIPTION:

Tract B, Lands of Ella G. Rossiter, zoned R-1, to "SU-1 for PRD (Planned Residential Development)", located on Griegos Rd. NW, between 8<sup>th</sup> St. NW and 9th St. NW.

Zoning certificate issued for: SU-1 for PRD (Planned Residential Development)

The approved SU-1 zone above converts to the PD zone in the IDO.

## APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: <u>Darryl Chitwood Eco - Green Building</u>		Phone: <u>(505) 582-9571</u>
Address: <u>1116 Glorieta Street NE</u>		Email: <u>PRFDarryl@gmail.com</u>
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87112</u>
Professional/Agent (if any): <u>JAG Planning &amp; Zoning, LLC Juanita Garcia</u>		Phone: <u>(505) 362-8903</u>
Address: <u>P.O. Box 7857</u>		Email: <u>jag@jagpandz.com</u>
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87194</u>
Proprietary Interest in Site: <u>property owner</u>	List all owners: <u>Darryl Chitwood</u>	

### BRIEF DESCRIPTION OF REQUEST

<u>Site Plan Approval and EPC Variance for a property zoned PD</u>
--

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>Tract B</u>	Block:	Unit:
Subdivision/Addition: <u>Lands of Ella G. Rossiter</u>	MRGCD Map No.:	UPC Code: <u>101406129901540120</u>
Zone Atlas Page(s): <u>F-14</u>	Existing Zoning: <u>PD</u>	Proposed Zoning: <u>No Change</u>
# of Existing Lots: <u>1</u>	# of Proposed Lots: <u>5</u>	Total Area of Site (acres): <u>≈ .75</u>

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: <u>704 Griegos Rd NW</u>	Between: <u>7th St. NW</u>	and: <u>9th St. NW</u>
---	----------------------------	------------------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

<u>1010143 PR-2018-001398 PS-2020-00136</u>	
Signature: <u>Juanita Garcia</u>	Date: <u>1/06/2021</u>
Printed Name: <u>Juanita Garcia</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #



# FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☒ SITE PLAN – EPC

☐ MASTER DEVELOPMENT PLAN

☐ MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

☐ EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN

☒ Interpreter Needed for Hearing? No if yes, indicate language: \_\_\_\_\_

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Signed Traffic Impact Study (TIS) Form

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable

☒ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(6)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter and proof of first class mailing

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

☒ Completed Site Plan Checklist

☒ Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)

*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*

☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")

☒ Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)

☒ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

## ☒ VARIANCE – EPC

☒ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Tuanita Garcia

Date: 1/06/2021

Printed Name: Tuanita Garcia

☐ Applicant or ☒ Agent

### FOR OFFICIAL USE ONLY

Case Numbers:

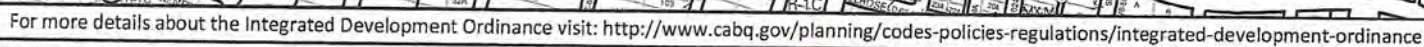
Project Number:

Staff Signature:

Date:















The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



F-14-Z

-  Easement      Escarpment  
 Petroglyph National Monument  
 Areas Outside of City Limits  
 Airport Protection Overlay (APO) Zone  
 Character Protection Overlay (CPO) Zone  
 Historic Protection Overlay (HPO) Zone  
 View Protection Overlay (VPO) Zone



**For official copies of documents, please visit the Bernalillo County Assessor's/Treasurer's office.**

The Assessor's Office is located at 501 Tijeras NW, Albuquerque NM  
or call: (505) 222-3700.

The Treasurer's Office is located at One Civic Plaza, Albuquerque NM  
or call (505) 468-7031.

Having trouble viewing the search below? [Try opening it in a new window.](#)

**Note: When you see your parcel ID number displayed, please click on it.**

OWNERSHIP DATA	
PARCEL ID:	1 014 061 299 015 40120
OWNER 1:	CHITWOOD DARRYL D & WEIL MARITA
MAILING ADDRESS:	1908 GRIEGOS RD NW ALBUQUERQUE NM 87107 2837
LOCATION ADDRESS	704 GRIEGOS RD NW 87107
LEGAL DESCRIPTION	<ul style="list-style-type: none"><li>• THE ELY POR OF TR B ELLA G ROSSITER REPL SITUATE IN SEC 32 T</li><li>• 11N R3E CONT 33.070 SQ FT (+-)</li></ul>



## LETTER OF AUTHORIZATION

**SUBJECT PROPERTY: 704 GRIEGOS RD NW, THE ELY POR OF TR B ELLA G ROSSITER REPL  
SITUATE IN SEC 32 T11N R3E CONT 33,070 SQ FT)**

I, the undersigned owner of subject property, hereby designate JAG Planning & Zoning, LLC to be my authorized representative for any Planning and Zoning matters associated with this property.

  
Darryl Chitwood

06/03/2020  
Date





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

ECO-GREEN DEV.

Project Title: Five (5) Unit Residential Dev. b4  
Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
Zone Atlas Page: F-14 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: West Portion of Tract B of Revised Portion Tracts 1, 2 & 3  
Development Street Address: Unknown Lands of Ella G. Rossiter  
Applicant: ECO - Green Building  
Address: 1116 Glorieta St NE, Alb, NM, 87112 Contact: M. Cummings  
Phone#: 505-582-9571 Fax#: \_\_\_\_\_  
E-mail: MidCummings@chasegmail.com

### Development Information

Build out/Implementation Year: \_\_\_\_\_ Current/Proposed Zoning: \_\_\_\_\_  
Project Type: New: ☒ Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )  
Proposed Use (mark all that apply): Residential: ☒ Office: ( ) Retail: ( ) Mixed-Use: ( )  
Describe development and Uses:

5 unit Single Family Subdivision

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): 2400  
Number of Residential Units: 5  
Number of Commercial Units: 0

### Traffic Considerations

ITE Trip Generation Land Use Code 210  
Expected Number of Daily Visitors/Patrons (if known):\* N/A  
Expected Number of Employees (if known):\* None  
Expected Number of Delivery Trucks/Buses per Day (if known):\* None  
Trip Generations during PM/AM Peak Hour (if known):\* None 8 AM, 6 PM trips  
Driveway(s) Located on: Street Name 5



Adjacent Roadway(s) Posted Speed: Street Name Posted Speed  
Street Name Posted Speed

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

### Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: None  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: \_\_\_\_\_ Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): \_\_\_\_\_ Nearest Transit Stop(s): \_\_\_\_\_

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: n/a  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: n/a

### Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### TIS Determination

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No [ ☒ ]

Thresholds Met? Yes [ ] No [ ☒ ]

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ] 5 unit residential development will not generate enough traffic for a TIS.

Notes:

M.P. P.E.

10/28/2020

TRAFFIC ENGINEER

DATE

---

### Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

*Janita Garcia*  
(Applicant or Agent)

*1/6/2007*  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_  
(Date) (Staff Member)

PROJECT NUMBER: \_\_\_\_\_

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-119 Date: 7/27/20 Time: N/A (sent via email to [jag@jagpandz.com](mailto:jag@jagpandz.com))

Address: 704 Griegos RD NW

### AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Linda Rumpf ([lrumpf@cabq.gov](mailto:lrumpf@cabq.gov))

Zoning/Code Enforcement: Charles Maestas ([cdmaestas@cabq.gov](mailto:cdmaestas@cabq.gov))

Fire Marshall: Bob Nevárez ([rnevarez@cabq.gov](mailto:rnevarez@cabq.gov)) (if needed)

Transportation: Nilo Salgado ([nsalgado-fernandez@cabq.gov](mailto:nsalgado-fernandez@cabq.gov))

### PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.  
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** Provide a new Site Development Plan for a site zoned PD

### SITE INFORMATION:

Zone: PD

Size: 0.8

Use: Commercial Services

Overlay zone: x

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5, page 225

MR Area: x

Landscaping: 5-6, page 251

Street Trees: 5-6(D)(1), page 258

Use Specific Standards: Allowable Uses, Table 4-2-1, p. 130

Dimensional Standards: As applicable to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process, p. 53

\*Neighborhood Organization/s: North Valley Coalition, Greater Gardner & Monkbridge NA

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: 6-6(H) Site Plan – EPC, pg. 397

Review and Approval Body: EPC Is this a PRT requirement? Yes



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-119

Date: 7/27/20

Time: N/A (sent via email)

Address: 704 Griegos RD NW

### NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

### Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### Development Services Comments

Please contact Jay Rodenbeck for information on how to submit files electronically. He can be reached at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov).

### Zoning Comments

- 704 Griegos Rd NW, Lot B, Block 0000, Rossiter--Ella G Replat subdivision, zoned PD
  - Case History
    - 1010143
    - PR-2018-001398
- Applicant is proposing providing a new Site Development Plan for a site zoned PD.
  - **Process:** 6-6(H) Site Plan – EPC, pg. 397

### Applicant's Questions:

Q: The conceptual site plan is similar to the development standards identified within the RT zone. Could the Planning Department support a reduced rear yard setback for Lot B?

A: Per 6-6(H)(2)(f) the EPC may grant a Variance to IDO standards as part of a Site Plan – EPC approval per section 14-16-6-6(M) (Variance – EPC).

Q: Is there a requirement for a Site Development Plan for Subdivision and a Site Development Plan for Building Permit?

A: See Development Services for application requirements.



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-119 Date: 7/27/20 Time: N/A (sent via email)

Address: 704 Griegos RD NW

Q: What other information will be required to deem the site development plan complete for EPC review?

A: See Development Services for application requirements.

Q: Will sidewalks be required within the development?

A: Yes, see 5-3(D)(1) Sidewalks in Residential Development, pg. 209.

As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3850 option 8.

- Charles Maestas and Carl Garcia

### Current Planning Comments

The EPC delegated the site plan to DRB but the DRB did not approve. There is no signed site plan in the file. This is not a prior approval because the EPC's conditions were not fulfilled. Process: Site Plan – EPC

-Linda Rumpf, lrumpf@cabq.gov

### Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

All questions and comments will need to be addressed by Jeanne Wolfenbarger project has been to EPC and DRB. Below are comments for a typical Site Development Plan (IF APPLICABLE TO YOUR SITE)

#### Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)

#### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

#### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-119

Date: 7/27/20

Time: N/A (sent via email)

Address: 704 Griegos RD NW

- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)

### Traffic Studies

- See the Traffic Impact Study (TIS) thresholds. In general, a minimum of 100 vehicles entering or exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

### Platting and Public Infrastructure Requirements for Roadways

1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
5. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
6. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. **PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: <u>20-119</u>	Received By: <u>Diego Ewell</u>	Date: <u>7/13/2020</u>
APPOINTMENT DATE & TIME: <u>N/A</u>		

Applicant Name: Juanita Garcia - JAG Planning & Zon Phone#: 505-362-8903 Email: jag@jagpandz.com

### PROJECT INFORMATION:

**For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.**

Size of Site: 0.8 Existing Zoning: PD ☐ Proposed Zoning: Change ☐

Previous case number(s) for this site: Project 1010143; 14EPC-40038; 14EPC-40039

Applicable Overlays or Mapped Areas: \_\_\_\_\_

Residential – Type and No. of Units: Single Family Dwelling - 5 Dwelling Units

Non-residential – Estimated building square footage: N/A No. of Employees: N/A

Mixed-use – Project specifics: N/A

### LOCATION OF REQUEST:

Physical Address: 704 Griegos RD NW Zone Atlas Page (Please identify subject site on the map and attach) F-14

### BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

Provide a new Site Development Plan for a site zoned PD

### QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

The conceptual site plan is similar to the development standards identified within the RT zone. Could the Planning Department support a reduced rear yard setback for Lot B?

Is there a requirement for a Site Development Plan for Subdivision and a Site Development Plan for Building Permit?

What other information will be required to deem the site development plan complete for EPC review?

Will sidewalks be required within the development?



February 3, 2021

Timothy MacEachen, Chairman  
Environmental Planning Commission  
City of Albuquerque  
600 2<sup>nd</sup> ST NW  
Albuquerque, NM 87102

Re: Approval of a Site Plan

Dear Mr. Chairman,

JAG Planning and Zoning, LLC on behalf of Darryl Chitwood of Eco- Green Building, are requesting approval of a site plan for the property legally described as Tract B, Lands of Ella G. Rossiter Subdivision, containing approximately 0.8 acres, located at 704 Griegos RD NW, zoned Planned Development (PD). The PD zoning requires approval of a site plan from the Environmental Planning Commission (EPC). The applicant is proposing to develop a single-family development on the site.

#### Existing Conditions

The subject site is currently vacant and is on the southern side of Griegos Rd NW between 7<sup>th</sup> Street and 9<sup>th</sup> Street. The site abuts the end of 8<sup>th</sup> Street (a cul-de-sac) to the south and east, and is immediately west of an irrigation ditch (the Harwood Lateral).

There are single story and two-story single-family homes located to the north, across Griegos Road NW, south and east. Further east is 4<sup>th</sup> Street which is identified as a Minor Arterial by the Metropolitan Rio Grande Council of Governments (MRCOG) with transit stops and routes that are located approximately ¼ of a mile from the site. To the west is a commercial building that houses a beauty salon, barber shop and office. Further south and further west is a group home and an apartment complex.

The proposed development will be located near a grocery store and other commercial services and will have access to existing sidewalks and a bike lane along Griegos Road, as identified by MRCOG.

#### History of the property

In 2014, a zone change was approved by the EPC from R-1 Single-Family Residential zone to SU-1 PRD (1010143, 14EPC-40038). A site development plan for subdivision (14EPC-40039) and a site development plan for building permit (14EPC-40040) were also approved with the zone change request to allow for the construction of seven clustered dwelling units. The approvals were appealed to City Council by an affected neighborhood association (AC-14-10). The main reasons for the appeal were related to the zone change in itself in that the PRD zone was too intense for the area and because of the



type of development that was proposed. The appellants were also not in favor of the cluster development and wanted single family detached dwelling units. Another major argument on the appeal is the vehicular connection that was proposed from 8<sup>th</sup> Street to the south from an existing cul-de-sac that would have created a secondary vehicular entrance to a proposed parking lot. The appeals were ultimately denied by City Council, upholding the EPC's decisions.

### Analysis of the Site Plan and its most Similar Zone District

As previously mentioned, the property is zoned PD and the purpose of the PD zone, according to the IDO, is to "accommodate small and medium scale innovative projects that cannot be accommodated through the use of other base zone districts, provided that those projects are consistent with the ABC Comp Plan, as amended and include standard that would not otherwise be required of the application in order to provide significant public, civic, or natural resource benefits."

The PD zone has "Other Standards" that are applicable to the approval of this site plan.

### 2-6(A)(2) Other Standards

Overlay Zones	Part 14-16-3
Allowable Uses	As negotiated from among those listed in Section 14-16-4-2
Use-specific Standards	Section 14-16-4-3 unless varied in the PD approval process
Dimensional Standards Tables and Exceptions	As applicable to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process
Site Design and Sensitive Lands	Section 14-16-5-2 unless varied in the PD approval process
Access and Connectivity	Section 14-16-5-3 unless varied in the PD approval process
Subdivision of Land	Section 14-16-5-4 unless varied in the PD approval process
Parking and Loading	Section 14-16-5-5 unless varied in the PD approval process
Landscaping, Buffering, and Screening	Section 14-16-5-6 unless varied in the PD approval process
Walls and Fences	Section 14-16-5-7 unless varied in the PD approval process

Outdoor and Site Lighting	Section 14-16-5-8 unless varied in the PD approval process
Neighborhood Edges	Section 14-16-5-9 unless varied in the PD approval process
Solar Access	Section 14-16-5-10 unless varied in the PD approval process
Building Design	Section 14-16-5-11 unless varied in the PD approval process
Signs	Section 14-16-5-12 unless varied in the PD approval process
Operation and Maintenance	Section 14-16-5-13 unless varied in the PD approval process

The IDO indicates that dimensional standards are to be as applicable to the most similar use or district. When reviewing the proposed site plan and its components, the most similar zone district appears to be R-1 (B). The proposed site plan is expected to meet all the other standards as identified above.

No signage, such as a sign that identifies the name of the development, is proposed for with this application.

### **Surrounding Zone Categories and Uses**

Zoning immediately east, south and north of the site is R-1C zoning and immediately west of the site is a commercially developed site with MX-T zoning and PD zoning with a group home. Further west of the commercial development is a townhouse development that is also zoned MX-T.

### **Project Description**

The applicant proposes to develop five single-family detached dwelling units within the .89-acre site. Direct vehicular access to the development is only proposed from Griegos Road. Each dwelling unit will be approximately 2,284 square feet and will contain an attached garage and two smaller attached covered patios, one in the front yard and one in the rear yard. The dwelling units are proposed as single story, not exceeding typical building height limitation of 26'. In addition to interior parking a driveway is also provided. The follow outlines the proposed uses, square footage and proposed lot sizes:

Proposed Structure	Proposed Square Footage	Proposed Lot Size
Single-Family Dwelling (A)	2,284	0.1915 Gross, 0.1386 Net
Single-Family Dwelling (B)	2,284	0.1761 Gross, 0.1196 Net
Single-Family Dwelling (C)	2,284	0.1304 Gross, 0.1184 Net
Single-Family Dwelling (D)	2,284	0.1302 Gross, 0.1182 Net
Single-Family Dwelling (E)	2,284	0.1302 Gross, 0.1182 Net



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The applicant, if granted site plan approval, will need to proceed with having the site subdivided through the Development Review Board (DRB) to create five separate lots that will meet the requirements for subdivision that are outlined in the IDO and the Development Review Process (DPM).

#### Site Plan – EPC Criteria

The following provides an explanation of how this request meets the criteria for approval of a Site Plan – EPC, as established in the City of Albuquerque IDO, Section 14-16-6-6(J)

Section 14-16-6-6(J)(3)(a) reads: “The Site Plan is consistent with the ABC Comp Plan, as amended.”

**Applicant’s Response:** The Site Plan is consistent with the Comp Plan by furthering the following Goals and Policies:

##### Comprehensive Plan and Goals and Policies

*Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.*

Policy 5.2.1. Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

c) Maintain the characteristics of distinct communities through zoning and design standards that are consistent with long-established residential development.

h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

**Applicant’s Response:** The proposed application, which is proposed on a vacant lot, will add new single-family residential housing in an area that has a mixture of single-family residential, multi-family residential and commercial development. This proposed infill development will be compatible with long established residential development by providing a vehicular entrance only from Griegos Road and not 8<sup>th</sup> Street. The proposed site plan will encourage future residents to utilize existing available options for transportation, work areas, and lifestyles. The proposed development will be located near a grocery store and other commercial services and will have access to a bike lane along Griegos Road, as identified in the Metropolitan Rio Grande Council of Governments (MRCOG). The site plan will ensure that development of the site will be compatible in style and scale to the single-family development immediately adjacent to the proposed development.

*Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.*

Policy 5.3.1 Infill Development Support additional growth in areas with existing infrastructure and public facilities.

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**Applicant's Response:** The project furthers Goal 5.3 by developing a long vacant property in northwest Albuquerque that had been planned for a residential development, but has not been utilized by recent or the current owner. The previous development identified vehicular access from 8<sup>th</sup> Street, which was greatly opposed by the adjacent residents and the neighborhood associations. The current proposal identifies vehicular access only from Griegos Road which connects the site to the major street network at 4<sup>th</sup> Street just east of the site. Water and sewer service are also available to the property. Nearby schools include La Luz Elementary, Garfield Middle School and Valley High Schools. Griegos Library is located on Griegos Road, west of this site and transit service is available on 4<sup>th</sup> Street NW, which is east of this site.

*Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.*

**Policy 5.6.3 Area of Consistency:** Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

b) Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

**Applicant's Response:** This request furthers this goal and policy by allowing the scale of development on a site that has been planned for a multi dwelling unit development in a manner that will be compatible in style and design with the surrounding community. The proposed site plan depicts each of the dwelling units meeting setbacks similar to the surrounding area, except for the dwelling unit on Lot B, which is expected to be closer than the typical 15' found within the area. The proposed setback will vary between 5' and 11' from the rear property line.

The proposed development depicts single story dwelling units or structures not exceeding 26' in height, which is also in scale with the immediately surrounding area and is in consideration with the Neighborhood Edge requirements identified in Section 14-16-5-9 of the IDO. The single-story dwelling units also allows the site to be in compliance with the Solar Access requirements, identified in section 14-16-5-10 of the IDO.

*Goal 7.3 Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.*

**Policy 7.3.4 Infill:** Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

**Applicant's Response:** The proposed infill development will enhance and blend well in the area's built and natural environment. The proposed exterior finish will include a stucco color of Sandlewood Brown with window trim, doors, garage doors and patio guard railing in white. The single-story dwelling units will have flat roofs with canales to allow for proper drainage. A proposed perimeter wall along Griegos Road will be six feet in height that will have a stucco finish that matches the stucco color of the dwelling units. The site plan also demonstrates the placement of trees within the rear yards that abut Griegos Road to enhance the streetscape along Griegos. There are a variety of commercial or residential development that are side, front or rear facing to Griegos Road, with varying wall heights ranging from three feet to six feet.



The applicant intends on replacing the existing sidewalk located along Griegos Road and provide pedestrian connects to the proposed development. The site plan demonstrates 4' wide sidewalks constructed of crusher fines leading from Griegos Road. The applicant is seeking approval of using crusher fines that will be hardened to meet ADA requirements, for sidewalks in lieu of concrete to allow the development to be environmentally friendly. The applicant understands that any waivers from the DPM for the approval of this project will need to occur at the DRB.

*Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.*

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

- i) Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

**Applicant's Response:** The requested Site Plan furthers this goal and policy by providing a new, high-quality housing option that will be close to neighborhood shopping and public services, as well as connections to public transportation. The proposed dwelling units are expected to be sold at fair market value in an area that has a variety of price levels for residential development.

*Goal 9.2 Sustainable Design: Promote housing design that is sustainable and compatible with the natural and built environments.*

Policy 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintain compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design and relationship to the street.

**Applicant's Response:** The requested Site Plan enhances the neighborhood character in this location with a high-quality design, style and finished colors that are appropriate for its location. The proposed development is at an appropriate scale with its single story and flat roof design for the location and is placed within the subject site in such a way as to limit any impacts, especially vehicular impacts, to the surrounding single-family residential areas. The proposed dwelling units are proposed to be 15 feet along the rear property line that immediately abuts an adjacent single-family residential development.

The proposed number of dwelling units allows the development to meet policies associated with the Area of Consistency designation that has been identified for the site in the Comprehensive Plan. The neighborhood character includes a variety of dwelling units and commercial uses and this proposal will be compatible with the various types of development.

6-6(J)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

**Applicant's Response:** The subject site is zoned PD and has a Site Plan that was approved by the EPC but was never finalized by the DRB. The proposed Site Plan is a new Site Plan for the subject site and would not be subject to any applicable terms or conditions identified within the previously approved

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Site Plan. In addition, there are no development agreements and/or related regulations that are applicable to the subject site.

6-6(J)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City Regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

**Applicant's Response:** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequately capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

6-6(J)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

**Applicant's Response:** The proposed Site Plan will not have significant adverse impacts on the surrounding areas as it is a complementary use and is similar to surrounding properties. Any impacts to surrounding properties will be mitigated to the maximum extent practicable through the following:

- The project proposes to have vehicular access from Griegos Road and not through 8<sup>th</sup> Street as the previously approved Site development Plan. The removal of the vehicular access from 8<sup>th</sup> Street NW will mitigate any significant adverse impacts to the neighborhood immediately south of the site.
- PD zone requires a site plan approval by the EPC which will help mitigate any impacts the proposed development may have on the surrounding area to the maximum extent possible.

## Conclusion

The approval of this site plan is not contrary to the IDO as mentioned above. The proposed site plan approval will allow development to occur on the subject site that is consistent with the public safety, health and public welfare of the community and will not materially undermine the intent and purpose of the IDO or any other applicable policy, goals, ordinance or regulations.

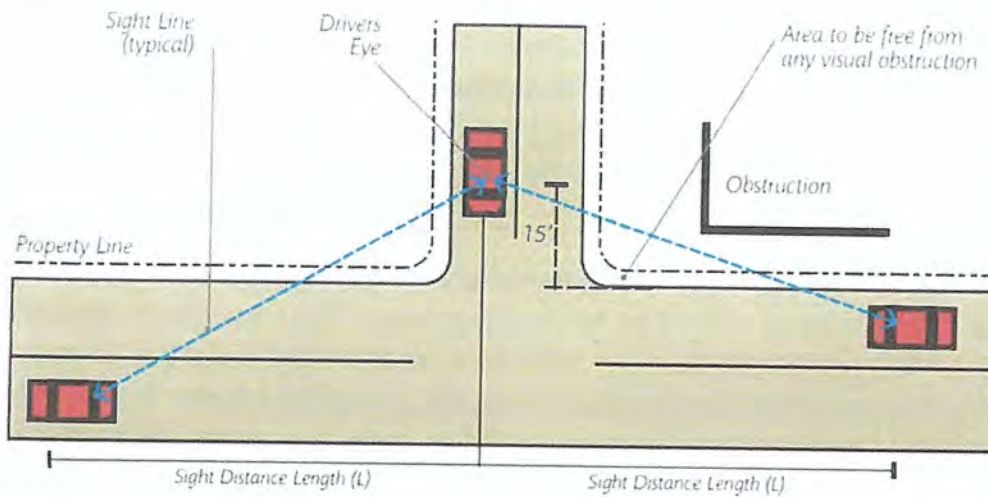
Thank you for your consideration on this matter.

Sincerely,



Juanita Garcia  
Principal  
JAG Planning & Zoning, LLC



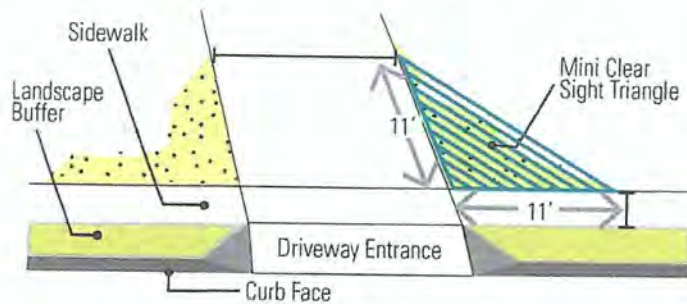
**Figure 3.9.5-2 Intersection Sight Distance****Table 3.9.5-2 Minimum Intersection Sight Distance**

Speed Limit (mph)	Minimum Intersection Sight Distance (ft)					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12' Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230	200	240	200	250	200
25	280	240	300	240	320	240
30	340	290	360	290	380	290
35	390	340	420	340	440	340
40	450	390	480	390	500	390
45	500	430	530	430	570	430
50	560	480	590	480	630	480

#### 3.9.5.4 Mini Clear Sight Triangle

Driveways need to maintain the mini sight triangle as shown in Figure 3.9.5-3. This triangle starts at the sidewalk and measures 11 feet on a side.

**Figure 3.9.5-3 Mini Clear Sight Triangle**



#### 3.9.5.5 Visibility for Site Entrances and Driveways

Site entrances and driveways shall be designed to preserve the clear sight triangle free of visual obstruction as described in section 3.9.5.3 and 3.9.5.4 above.

#### 3.9.5.6 Sight Distance Note

The following note is required in all site plans: Landscaping, signage, walls, fences, trees, and shrubbery between three (3') and eight feet (8') tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

#### 3.9.5.7 Objects Permitted in the Clear Sight Triangle

Objects, that may be located in the sight triangle, include, but are not limited to, hydrants, utility poles, utility junction boxes, and traffic control devices provided these objects are located to minimize visual obstruction. Objects under eight inches (8") wide may be allowed.



# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

## SHEET #1 - SITE PLAN

### A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'



## SITE PLAN CHECKLIST

- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Legend
- ☒ 6. Scaled vicinity map
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing and proposed easements (identify each)
- ☒ 9. Phases of development, if applicable

### B. Proposed Development

#### 1. Structural

- ☒ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ☒ B. Square footage of each structure
- ☒ C. Proposed use of each structure
- ☒ D. Signs (freestanding) and other improvements
- ☒ E. Walls, fences, and screening: indicate height, length, color and materials
- ☒ F. Dimensions of all principal site elements or typical dimensions
- ☒ G. Loading facilities
- ☒ H. Site lighting (indicate height & fixture type)
- ☒ I. Indicate structures within 20 feet of site
- ☒ J. Elevation drawing of refuse container and enclosure, if applicable.
- ☒ K. Existing zoning/land use of all abutting properties

#### 2. Parking, Loading and Internal Circulation

N/A, NOT COMMERCIAL

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
  - ☐ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - ☐ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - ☐ 3. On street parking spaces
- ☒ B. Bicycle parking & facilities
  - ☐ 1. Bicycle racks – location and detail
  - ☐ 2. Other bicycle facilities, if applicable
- ☒ C. Vehicular Circulation (Refer to DPM and IDO)
  - ☐ 1. Ingress and egress locations, including width and curve radii dimensions
  - ☐ 2. Drive aisle locations, including width and curve radii dimensions
  - ☐ 3. End aisle locations, including width and curve radii dimensions
  - ☐ 4. Location & orientation of refuse enclosure, with dimensions
  - ☐ 5. Loading, service area, and refuse service locations and dimensions
- ☒ D. Pedestrian Circulation
  - ☐ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- ☐ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☐ 3. Location and description of amenities, including patios, benches, tables, etc.

### ☒ N/A E. Off-Street Loading

- ☐ 1. Location and dimensions of all off-street loading areas

### ☒ N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- ☐ 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

### ☒ A. Locate and identify adjacent public and private streets and alleys.

- ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- ☒ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- ☒ 3. Location of traffic signs and signals related to the functioning of the proposal
- ☒ N/A 4. Identify existing and proposed medians and median cuts
- ☒ 5. Sidewalk widths and locations, existing and proposed
- ☒ N/A 6. Location of street lights
- ☒ 7. Show and dimension clear sight triangle at each site access point
- ☒ 8. Show location of all existing driveways fronting and near the subject site.

### ☒ N/A B. Identify Alternate transportation facilities within site or adjacent to site

- ☐ 1. Bikeways and bike-related facilities
- ☐ 2. Pedestrian trails and linkages
- ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- ☒ N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
  - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - ☐ C. Ponding areas either for drainage or landscaping/recreational use



## SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
  - ☒ A. Existing, indicating whether it is to be preserved or removed.
  - ☒ B. Proposed, to be established for general landscaping.
  - ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

#### B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
 

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SITE PLAN CHECKLIST

### SHEET #4- UTILITY PLAN

- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☒ B. Distribution lines
- ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ☒ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

### SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- ☒ A. Scale
- ☒ B. Bar Scale
- ☒ C. Detailed Building Elevations for each facade
  - ☒ 1. Identify facade orientation
  - ☒ 2. Dimensions of facade elements, including overall height and width
  - ☒ 3. Location, material and colors of windows, doors and framing
  - ☒ 4. Materials and colors of all building elements and structures
  - ☒ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

#### B. Building Mounted Signage

N/A NOT COMMERCIAL

- ☐ 1. Site location(s)
- ☐ 2. Sign elevations to scale
- ☐ 3. Dimensions, including height and width
- ☐ 4. Sign face area - dimensions and square footage clearly indicated
- ☐ 5. Lighting
- ☐ 6. Materials and colors for sign face and structural elements.
- ☐ 7. List the sign restrictions per the IDO

## STAFF INFORMATION

## Lozoya, Sergio

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**From:** Lozoya, Sergio  
**Sent:** Monday, February 1, 2021 9:52 AM  
**To:** 'JAG JAG'  
**Subject:** RE: iNovah receipt

Hey Juanita,

I believe that we will have to officially withdraw the Variance-EPC request at the date of the hearing before I can move on this.

But I will confirm and get back to you.

Thanks,



### SERGIO LOZOYA

current planner  
urban design & development  
o 505.924.3349  
e [slozoya@cabq.gov](mailto:slozoya@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

**From:** JAG JAG <jag@jagpandz.com>  
**Sent:** Saturday, January 30, 2021 6:16 PM  
**To:** Lozoya, Sergio <slozoya@cabq.gov>  
**Subject:** Fwd: iNovah receipt

Hello Sergio,

Here is the receipt for reimbursement of the payment of the variance application that was not required. Please let us know if there is anything else you need.

Thank you.

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613





----- Forwarded message -----

From: [noreply@cabq.gov](mailto:noreply@cabq.gov) <[noreply@cabq.gov](mailto:noreply@cabq.gov)>  
Date: Fri, Jan 8, 2021 at 11:05 AM  
Subject: iNovah receipt  
To: <[jag@jagpandz.com](mailto:jag@jagpandz.com)>

\*\*\* PLEASE DO NOT REPLY \*\*\*



Date: 1/8/2021  
Office: WEB                      Cashier: admin  
Batch: 11631                    Tran #: 20

=====

Building Permits  
11:05 AM                      Station ID  
Office                      WEB  
**Receipt #:** 00654243  
**Reference**                      SI-2021-00024  
Trans Amt:                    \$855.00

130    Building Permit                      \$580.00  
  
Payment Total:                      \$580.00

Building Permits  
11:05 AM                      Station ID  
Office                      WEB  
**Receipt #:** 00654244  
**Reference**                      VA-2021-00006  
Trans Amt:                    \$855.00

130    Building Permit                      \$275.00  
  
Payment Total:                      \$275.00

=====

Transaction Total:	\$855.00
Echeck Tendered :	\$855.00

Thank you for your payment.  
Have a nice day!

=====  
This message has been analyzed by Deep Discovery Email Inspector.

January 28, 2021

TO: Juanita Garcia, JAG Planning and Zoning, LLC  
FROM: Sergio Lozoya, Current Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3349  
RE: Project #2018-001398, Eco-Green Building

---

I've completed a first review of this application for a Site Plan-EPC. I have some questions and suggestions. I am available to answer questions about the process and requirements. Please provide the following:

⇒ A revised site plan (2 full-sized copies), one reduced color copy of elevations (8.5 by 11 size), by **12 pm on Wednesday, February 3, 2021**. If you have difficulty with this deadline, please let me know, there is a drop-off box at the front of Plaza del Sol (Or we can coordinate a pickup).

1) Introduction:

- A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you as soon as I can.
- B. This is what I have for the legal description: JAG Planning & Zoning, agents for Darryl Chitwood, ECO-Green Building, requests the above action for all or a portion of Tract B, Lands of Ella G. Rossiter, Section 32, Township 11 North, Range 3 East, N.M.P.M, zoned PD, located at 704 Griegos Rd. NW, between 8<sup>th</sup> St. NW and 9<sup>th</sup> St. NW, approximately 0.8 acre (F-14).
- C. Please tell me about your project and relevant related information.

2) Significant Issues:

- A. As per IDO section 2-6(A)(2) and table 2-6-1, dimensional standards are determined in the PD approval process. The request for a variance to the rear setback on Lot B is not required as the standards will be set during the PD approval process. Thought the variations from dimensional standards used must be shown clearly on main site plan.
- B. As done in PRT meetings, every project begins with a look at IDO definitions.

**Dwelling, Single-family Detached**

A residential building used for occupancy by 1 household that is not attached to any other dwelling unit through shared side or rear walls, floors or ceilings, or corner points.

The project, and use, is considered **Dwelling, Single-family Detached**.

- C. A valid sign posting agreement is required. The sign posting agreement in the file was not signed by Staff and not dates are provided. Also, please pick up the signs, ensure they are

posted according to the dates provided, and provide evidence for the record that the signs have been posted.

D. Platting not required for EPC site plan, however, this can be shown as an exhibit in the project letter.

E. Please update the project letter and drawings/standards to reflect current IDO regulations (the 2019 IDO came into effect on November 2020).

### 3) Process:

A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:

<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>

B. Timelines and EPC calendar: The EPC Hearing will be held February 18, 2021.

C. Agency comments were emailed today. I will send you these by end of week.

### 4) Notification:

A. Notification looks good.

### 5) Neighborhood Issues:

A. No issues at this moment, communication with neighbors by the applicant has been demonstrated in the project letter.

### 6) Project Letter:

A. Please add more context to the surrounding area, including functional road classifications, transit connections, and available bicycle and pedestrian pathways.

B. Describe current neighborhood character and how the proposed Site Plan will compliment it.

C. Please update the project letter to reflect current IDO standards (the 2019 IDO came into effect on November 2020).

D. Provide a table that shows proposed structures and square footages, and the proposed lot sizes.

### 7) Site Plan- General:

A. All relevant IDO requirements apply, and the site plan needs to incorporate them. Some relevant requirements include, but are not limited to, the following:

- i. Use-Specific Standards- Dwelling, Single Family Detached 4-3(B)9.
- ii. Residential – Single Family zone dimensional standards, Table 5-1-1.
- iii. Access and Connectivity, On site pedestrian connections, 5-3(D)
- iv. Subdivision of Land, Lot Design and Layout, 5-4(F)
- v. Parking, Table 5-5-1 and 5-5(F).



- vi. Landscaping, Buffering, and Screening, 5-6.
- vii. Wall and Fences, 5-7, and Maximum Wall Height, Table 5-7-1
- viii. Outdoor Lighting, 5-8
- ix. Neighborhood Edges, 5-9.
- x. Building Design in Low-Density Residential Development, 5-11(C).

#### *Site Plan Review*

Please put the sheets in the following standard order: Cover sheet, main site plan sheet, detail sheet, landscape plan, grading and drainage plan, utility plan, elevations. Platting plan is not required for EPC-Site Plan review, however, it can be included as an exhibit in the staff report.

#### 8) Site Plan and Landscaping Plan (Sheet 3 of 7):

- A. Please provide a separate sheet for the landscape plan. The focus of this sheet should be the site plan.
- B. Please move all details for the site plan on to a separate sheet, move landscape details to the landscape plan.
- C. Provide a description of the PD zone and demonstrate what zone was used to determine the dimensional standards.
- D. Clearly demonstrate where there is variance to the dimensional standards used.

#### 9) Detail Sheet:

- A. Please provide a detail sheet showing walls, lighting, fences, etc. (if applicable).

#### 10) Landscape Plan:

- A. Please provide a separate sheet for the landscape plan.
- B. Include legend, standard notes, all relevant details, and tables showing plant types and maintenance.

#### 11) Grading and Drainage Plan:

- A. Please show contour lines.

#### 12) Utility Plan:

- A. No comment at this time.

#### 13) Elevations:

- A. Update all elevations with cardinal directions
- B. Provide a table of colors and materials proposed, and indicate where each is on the elevations using keyed notes.
- C. Please provide a color rendering (1 copy, 8.5 by 11).

## Lozoya, Sergio

---

**From:** Lozoya, Sergio  
**Sent:** Thursday, February 4, 2021 3:41 PM  
**To:** 'JAG JAG'  
**Subject:** RE: Variance Request on PD zone  
**Attachments:** RE: EPC - PR-2018-001398

Hello Juanita,

I discussed this with Catalina, as per IDO section 2-6(A)(2) Other Standards, Table 2-6-1: Other applicable IDO Sections: Dimensional Standards Tables and Exceptions: As applicable to the most similar use or district as shown in Section 14-16-5-1, unless different standards are approved in the PD approval process. The set back in this case would fall under "different standards approved in the PD approval process".

This indicates that the variance is not required as there are no standards set. It could be that in the other case, there was a governing site plan set or governing standards, and they could have been asking for a variation from the established governing site plan or master development plan. In this case, there is no established Site Plan or Master Development Plan to vary from.

I have attached an e-mail conversation that Catalina I had to discuss this.

Catalina, can you confirm that we are taking the correct path?

If you have any questions or concerns, please let me know.

Thanks,



### SERGIO LOZOYA

current planner  
urban design & development  
o 505.924.3349  
e slozoya@cabq.gov  
[cabq.gov/planning](http://cabq.gov/planning)

**From:** JAG JAG <jag@jagpandz.com>  
**Sent:** Thursday, February 4, 2021 2:23 PM  
**To:** Lozoya, Sergio <slozoya@cabq.gov>  
**Subject:** Variance Request on PD zone

Hello Sergio,

We spoke earlier regarding us not needing the variance request for our upcoming property. We did find the case number for a previous application that did include a variance to the setback requirement on a PD zoned lot. It is, PR-2020-004086 and the case number is SI-2020-00690. We would just like to confirm if we actually do need the variance.

Thank you again for all of your assistance.

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



=====

This message has been analyzed by Deep Discovery Email Inspector.

## NOTIFICATION



## REQUEST

Site Plan FPC for a 5 unit subdivision, approx  
2400 sq ft residential  
Variance FPC at 10.5x24 ft rear yard setback  
https://cabq.com/us/12269/92859

The City of Albuquerque Environmental Planning Commission will hold a public hearing in the Plaza del Sol Building Hearing Room, Room 200 on February 28, 2021 at 8:30 AM. All persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3866 or contact the applicant. Required to be posted from February 22, 2021 to March 9, 2021 by Ally Planning and Consulting, LLC, Ally Whitworth applicant agent. REFER TO FILE # 20-2018-001935 phone (505) 363-5900

It is illegal for an unauthorized person to remove or tamper with this sign.



## REQUEST

Site Plan EPC for a 5 unit subdivision approx  
2400 sq ft per unit  
Variance EPC of 10 feet to rear yard setback

<https://cabqroom.usa/j/2269562859>

The City of Albuquerque Environmental Planning Commission will hold a public hearing in the Planning Department Hearing Room, Room 200, 600 2nd St NW, on February 18, 2021, at 8:30 AM. All persons have a right to appear at such a hearing. For information on this case or other instructions on filing written comments, call the Planning Department at (505) 924-3860 or contact the applicant.

Required to be posted from February 2, 2021 to March 5, 2021

by JAG Planning and Engineering for Darryl Whitwood  
applicant/agent phone 505-360-8908

REFER TO FILE# 00-2018-001398

It is illegal for an unauthorized person to remove or tamper with this sign





JAG JAG &lt;jag@jagpandz.com&gt;

## 704 Griegos Road NW Neighborhood Meeting Inquiry

Carmona, Dalaina L. &lt;dlcarmona@cabq.gov&gt;

To: "jag@jagpandz.com" &lt;jag@jagpandz.com&gt;

Wed, Sep 9, 2020 at 10:41 AM

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Greater Gardner & Monkbridge NA	David	Wood	<a href="mailto:wood_cpa@msn.com">wood_cpa@msn.com</a>	158 Pleasant Avenue NW	Albuquerque	NM	87107	5052212626	5053444674
Greater Gardner & Monkbridge NA	Chris	Sylvan	<a href="mailto:sylvan.cs@gmail.com">sylvan.cs@gmail.com</a>	226 Natalie Avenue NW	Albuquerque	NM	87107	5059678767	
North Valley Coalition	Doyle	Kimbrough	<a href="mailto:newmexmba@aol.com">newmexmba@aol.com</a>	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	<a href="mailto:peggynorton@yahoo.com">peggynorton@yahoo.com</a>	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

12/2/2020

jagplanningandzoning.com Mail - 704 Griegos Road NW Neighborhood Meeting Inquiry

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant

Office of Neighborhood Coordination

Council Services Department

1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor

Albuquerque, NM 87102

505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** webmaster=[cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:[webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org)] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Tuesday, September 08, 2020 3:19 PM

**To:** Office of Neighborhood Coordination <[jag@jagpandz.com](mailto:jag@jagpandz.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Juanita Garcia

Telephone Number

5053628903

Email Address



12/2/2020

jagplanningandzoning.com Mail - 704 Griegos Road NW Neighborhood Meeting Inquiry

[jag@jagpandz.com](mailto:jag@jagpandz.com)

Company Name

JAG Planning & Zoning, LLC

Company Address

P.O. Box 7857

City

Albuquerque

State

NM

ZIP

87129

Legal description of the subject site for this project:

THE ELY POR OF TR B ELLA G ROSSITER REPL SITUATE IN SEC 32 T11N R3E CONT 33,070 SQ FT

Physical address of subject site:

[704 Griegos Road NW](#)

Subject site cross streets:

4th & Griegos NW

Other subject site identifiers:

Between 4th and 12th ST NW

This site is located on the following zone atlas page:

F-14

=====

This message has been analyzed by Deep Discovery Email Inspector.



**F-14 704 Griegos NW.PDF**

1837K





September 14, 2020

Chris Sylvan  
Greater Gardner & Monkbridge NA  
226 Natalie Ave NW  
Albuquerque, NM 87107

Mr. Sylvan:

Re: Neighborhood Meeting about Future Development Application

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss the following application we will be making for a project proposed in or near your neighborhood:

Approval of a Site Plan for 704 Griegos RD NW – Zoned PD

Application(s) per Table 6-1-1 in the IDO – Approval of a Site Plan by the Environmental Planning Commission (EPC) requires a neighborhood meeting request. This would be an informal meeting where JAG Planning & Zoning, Agent for Darryl Chitwood and Michael Cummings of Eco-Green Building, would present the proposal and discuss any ideas or concerns you may have.

Prior to the adoption of the IDO, the site was zoned SU-1 PRD and site development plans were approved by City Council for seven dwelling units, a guest house and two parking areas (1010143). However, the new property owner will be seeking the approval of a site plan that will allow for the development of five single-family dwelling units that will be designed to be compatible with the surrounding area. Enclosed for your information is a copy of the conceptual site plan, elevation views and Zone Atlas page F-14-Z identifying the location of the proposed project.

Per the IDO, you have **15 days** from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on **October 29, 2020**.

---

We appreciate the opportunity to introduce this request to you and the association. If you or anyone has any questions or clarifications regarding this application, feel free to contact either Juanita Garcia at (505) 362-8903 or Andrew Garcia at (505) 363-5613 or at [jag@jagpandz.com](mailto:jag@jagpandz.com).

Regards,

  
Juanita Garcia  
Principal





September 14, 2020

David Wood  
Greater Gardner & Monkbridge NA  
158 Pleasant Ave NW  
Albuquerque, NM 87107

Mr. Wood:

Re: Neighborhood Meeting about Future Development Application

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Regards,

A handwritten signature in black ink that reads "Juanita Garcia". The signature is written in a cursive, flowing style.

Juanita Garcia  
Principal





September 14, 2020

Peggy Norton  
North Valley Coalition  
P.O. Box 70232 NW  
Albuquerque, NM 87197

Ms. Norton:

**Re: Neighborhood Meeting about Future Development Application**

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Regards,

A handwritten signature in black ink that reads "Juanita Garcia". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Juanita Garcia  
Principal



September 14, 2020

Doyle Kimbrough  
North Valley Coalition  
2327 Campbell Road NW  
Albuquerque, NM 87104

Mr. Kimbrough:

Re: Neighborhood Meeting about Future Development Application

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss the following application we will be making for a project proposed in or near your neighborhood:

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---

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Regards,

A handwritten signature in black ink that reads "Juanita Garcia". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Juanita Garcia  
Principal





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**F-14-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet







7019 1120 0001 1082 9123

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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Albuquerque, NM 87197

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total \$6.95  
Peggy Norton  
P.O. Box 70232  
Albuquerque, NM 87197  
North Valley Coalition



09/14/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1120 0001 1082 9147

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Albuquerque, NM 87104

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total \$6.95  
Doyle Kimbrough  
2327 Campbell RD NW  
Albuquerque, NM 87104  
North Valley Coalition



09/14/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1120 0001 1082 9116

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Albuquerque, NM 87107

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total \$6.95  
David Wood  
158 Pleasant Ave NW  
Albuquerque, NM 87107  
Greater Gardner & Monkbridge NA



09/14/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1120 0001 1082 9130

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Albuquerque, NM 87107

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total \$6.95  
Chris Sylvan  
226 Natalie Ave NW  
Albuquerque, NM 87107  
Greater Gardner & Monkbridge NA



09/14/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions





JAG JAG &lt;jag@jagpandz.com&gt;

**704 Griegos Rd. NW**

8 messages

**=David Wood CPA=** <wood\_cpa@msn.com>

To: "jag@jagpandz.com" &lt;jag@jagpandz.com&gt;

Fri, Sep 25, 2020 at 6:55 AM

Cc: "Peggy Norton (peggynorton@yahoo.com)" &lt;peggynorton@yahoo.com&gt;, "Chris Sylvan (sylvan.cs@gmail.com)" &lt;sylvan.cs@gmail.com&gt;, Tova Indritz &lt;tindritz@earthlink.net&gt;

**RE: Site plan approval for 704 Griegos Rd. NW**

Good day Garcia's,

The **Greater Gardner N.A.** and **North Valley Coalition** is in receipt of your notification letter in compliance with the IDO.

We were involved with the prior owners plans to develop this property that we call "the sheep property" as in years passed sheep resided on the property and kept the weeds down.

**I have tentatively scheduled a Zoom meeting for Monday 9/28.** It is *possible* that this Zoom meeting *will not be necessary* is if you and your clients will be responsive to the following requests:

1. We would like to review your **site plan** (*not the conceptual site plan*) for this project that you will submit to the DRB.
2. We would like your assurance that there are no plans to **connect** your proposed development with **8<sup>th</sup> Street** to the South of the property.
3. What is your required number of parking spaces for residents, and the number of parking spaces allocated for visitors?
4. I believe your site plan should clearly show the area designated for resident trash and the accessibility by Solid Waste trucks.
5. What kind of landscaping do you have planned for the Greigos NW frontage of the property, including a wall ?
6. What are your *setback requirements* ?
7. Will there be additional lot lighting on the property?
8. What is the City project number assigned to this project?

I believe if you will be responsive to these requests, a Zoom meeting can be avoided.

Your clients, Mr. Chitwood and Mr. Cummings are also welcome to respond to these questions in greater detail as well.

Respectfully,

David Wood  
**Greater Gardner N.A.**  
**North Valley Coalition**



**David Wood C.P.A.**

(505) 221-2626 (Voice or Text)

Email: [Wood\\_CPA@msn.com](mailto:Wood_CPA@msn.com)

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**JAG JAG** <jag@jagpandz.com>

Fri, Sep 25, 2020 at 6:09 PM

To: "David Wood CPA" &lt;wood\_cpa@msn.com&gt;

Cc: "Peggy Norton (peggynorton@yahoo.com)" &lt;peggynorton@yahoo.com&gt;, "Chris Sylvan (sylvan.cs@gmail.com)" &lt;sylvan.cs@gmail.com&gt;, Tova Indritz &lt;tindritz@earthlink.net&gt;, Michael Cummings &lt;Michaelcummings@earthlink.net&gt;, George Rodriguez &lt;pawrod@hotmail.com&gt;

Hello David,

Thank you for reaching out to us in regards to our project on Griegos Road. We are available to meet late afternoon or early evening on Monday, if that works for your group. Michael Cummings and George Rodriguez can be available on Monday as well. We have answers to your questions in the hopes of having all of them addressed.

1. We would like to review your **site plan** (*not the conceptual site plan*) for this project that you will submit to the DRB.



We are currently working on finalizing all the necessary drawings for the EPC submittal and are lacking the utility plan, landscape plan and the grading and drainage plan. However, the site plan itself is not expected to change in relation to the number of lots and the layout of the dwelling units, from the conceptual drawing.

2. We would like your assurance that there are no plans to **connect** your proposed development with **8<sup>th</sup> Street** to the South of the property.

You have our assurance that there will be no connections to 8<sup>th</sup> Street. As depicted on the site plan, the only vehicular access that we are proposing is from Griegos Road. The EPC submittal will demonstrate vehicular access only from Griegos Road.

3. What is your required number of parking spaces for residents, and the number of parking spaces allocated for visitors?

The required number of parking spaces will be two for each dwelling unit. Each unit will have a two-car garage and a driveway to accommodate two additional parking spaces.

4. I believe your site plan should clearly show the area designated for resident trash and the accessibility by Solid Waste trucks.

This will be a single-family dwelling development with one trash and recycle container for each dwelling unit. This development will not have a separate trash container for all the dwelling units. The streets will be developed to accommodate larger trucks such as Fire Trucks for emergency and Solid Waste Trucks for weekly residential trash pick-up.

5. What kind of landscaping do you have planned for the Greigos NW frontage of the property, including a wall ?

The development is expected to have a typical landscape plan for each of the lots and street trees along Griegos Road. The subdivision wall along Griegos Road will be a block wall with stucco material over the block. The height of the wall will be limited to the height restrictions as outlined in the Integrated Development Ordinance (IDO). The stucco color has not been finalized at this point but will be compatible with the surrounding developed properties.

6. What are your setback requirements ?

Since the site is zoned PD, the IDO does not have specific setback requirements and allows setbacks to be as established by the Planning Commission. However, we have been asked to follow setback requirements of an established zone within the IDO, if possible. Our proposed development mirrors those setback requirements and lot size requirements that are established within the RT zone of the IDO. They are typically as follows:



Front: 10

Side: 5 feet interior; 10' along the street side

Rear: 15'

We will meet all of these setbacks, except on one of the proposed lots (Lot B). We will be seeking the approval of having a 5' rear yard setback for only a portion of the rear setback for Lot B.

7. Will there be additional lot lighting on the property?

The only "lot" lighting will be lighting provided by porch lights along the rear and front facades for safety. No other lighting is expected on the dwelling units or within the lot.

8. What is the City project number assigned to this project?

At this point, we do not have a case number and will have one assigned when we formally submit our application to the EPC. We will gladly provide that information as soon as we are assigned a case number.

We hope that we have answered all of your questions. Please let us know if you would like to meet on Monday the 28th.

Kind Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

=David Wood CPA= <wood\_cpa@msn.com>  
To: JAG JAG <jag@jagpandz.com>

Mon, Sep 28, 2020 at 10:32 AM

Good fay Juanita & Andrew,

Our zoning committee reviewed your timely responses to our questions.

We really had no push back on your responses to our questions.

12/2/2020

jagplanningandzoning.com Mail - 704 Griegos Rd. NW

We are satisfied with the plans as we understand them, so a Zoom meeting will not be required.

We wish you well with the project. We may contact you during construction if there are any neighbor issues.

Cordially,

David Wood  
Greater Gardner N.A.  
North Valley Coalition

PS. Andrew did you work for the City?  
Juanita did you work for the County?

Sent from my Verizon, Samsung Galaxy smartphone  
[Quoted text hidden]

---

**JAG JAG** <jag@jagpandz.com>

Mon, Sep 28, 2020 at 3:24 PM

To: "David Wood CPA" <wood\_cpa@msn.com>

Thank you David. We will forward this information to Mr. Chitwood and Mr. Cummings and very much appreciate your support. We will keep you posted on the application number when we officially submit and will forward you the final documents.

Yes, I retired from Bernalillo County and Andrew retired from COA. We were unsure if you remembered us from our governmental days.

We both hope you are doing well.

Take care.

Juanita Garcia  
Principal  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

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**JAG JAG** <jag@jagpandz.com>

Fri, Oct 30, 2020 at 2:43 PM

To: "David Wood CPA" <wood\_cpa@msn.com>

Hello David,

Hope you are doing well and staying safe. We just wanted to give you an update on this project. Unfortunately, we were unable to meet yesterday's deadline as we had hoped but are shooting for the November 26, 2020 EPC deadline. Our plan is to send you a copy of all the drawings that will be included in the application.

Regards,

Juanita and Andrew Garcia  
Principals



12/2/2020

jagplanningandzoning.com Mail - 704 Griegos Rd. NW

JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

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**=David Wood CPA=** <wood\_cpa@msn.com>  
To: JAG JAG <jag@jagpandz.com>

Fri, Oct 30, 2020 at 3:02 PM

Thank you for the timely update.  
Anxious to see your final product.  
I assume the review will be via Zoom?  
David Wood

[Quoted text hidden]

---

**JAG JAG** <jag@jagpandz.com>  
To: =David Wood CPA= <wood\_cpa@msn.com>

Fri, Oct 30, 2020 at 3:18 PM

Hello David,

Yes, that is our assumption as well. We will verify that you have received the invitation as soon as we receive it.

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

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**JAG JAG** <jag@jagpandz.com>  
To: =David Wood CPA= <wood\_cpa@msn.com>  
Cc: "Peggy Norton (peggy\_norton@yahoo.com)" <peggy\_norton@yahoo.com>, "Chris Sylvan (sylvan.cs@gmail.com)" <sylvan.cs@gmail.com>, Tova Indritz <tindritz@earthlink.net>, Michael Cummings <Michaelcummings@earthlink.net>, JAG JAG <jag@jagpandz.com>

Wed, Dec 2, 2020 at 8:52 PM

Hello David,



12/2/2020

jagplanningandzoning.com Mail - 704 Griegos Rd. NW

We are reaching out to you as promised to give you all an update on our proposed application at 704 Griegos Road NW. We are preparing to submit our application to the city tomorrow for the January 21, 2021 EPC hearing date to allow for site plan approval and a variance to the rear yard setback for Lot B. After obtaining the final drawings from the draftsman, it was confirmed that we will need to seek a variance to the rear yard setback for one of the dwelling units, which will be included in our site plan application. As mentioned in our email of September 25th, the dwelling unit on Lot B is showing at 5' from the rear property line at its closest location and the zone category we are referencing as being similar to this development is R-1(B), which requires a 15' rear yard setback.

We have attached all of the drawings we intend on submitting with tomorrow's application. We are also including the Zoom meeting information that has been provided by the City Planning Department. We thank you all again for your support on the project.

**Topic: EPC Hearing, January 21, 2021**

**Time: Jan 21, 2021 08:30 AM Mountain Time (US and Canada)**

**Join Zoom Meeting**

<https://cabq.zoom.us/j/96997162697>

**Meeting ID: 969 9716 2697**

**One tap mobile**

**+13462487799,,96997162697# US (Houston)**

**+16699006833,,96997162697# US (San Jose)**

**Dial by your location**

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**+1 253 215 8782 US (Tacoma)**

**+1 312 626 6799 US (Chicago)**

**+1 646 558 8656 US (New York)**

**+1 301 715 8592 US (Washington D.C)**

**Meeting ID: 969 9716 2697**

**Find your local number: <https://cabq.zoom.us/j/96997162697>**

Regards,

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87129


(505) 362-8903 and (505) 363-5613



On Fri, Sep 25, 2020 at 6:55 AM =David Wood CPA= <[wood\\_cpa@msn.com](mailto:wood_cpa@msn.com)> wrote:  
[Quoted text hidden]

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**7 attachments**

 **Sheet 001.PDF**  
889K


 **Sheet 002.PDF**  
1010K

 **Sheet 003.PDF**  
1367K

 **Sheet 004.PDF**  
2060K

 **Sheet 005.PDF**  
799K

 **Sheet 006.PDF**  
1065K

 **Sheet 007.PDF**  
753K





JAG JAG &lt;jag@jagpandz.com&gt;

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**704 Griegos Rd. NW**

---

**JAG JAG** <jag@jagpandz.com>

Wed, Dec 2, 2020 at 8:52 PM

To: =David Wood CPA= &lt;wood\_cpa@msn.com&gt;

Cc: "Peggy Norton (peggynorton@yahoo.com)" &lt;peggynorton@yahoo.com&gt;, "Chris Sylvan (sylvan.cs@gmail.com)" &lt;sylvan.cs@gmail.com&gt;, Tova Indritz &lt;tindritz@earthlink.net&gt;, Michael Cummings &lt;Michaelcummings@earthlink.net&gt;, JAG JAG &lt;jag@jagpandz.com&gt;

Hello David,

We are reaching out to you as promised to give you all an update on our proposed application at 704 Griegos Road NW. We are preparing to submit our application to the city tomorrow for the January 21, 2021 EPC hearing date to allow for site plan approval and a variance to the rear yard setback for Lot B. After obtaining the final drawings from the draftsperson, it was confirmed that we will need to seek a variance to the rear yard setback for one of the dwelling units, which will be included in our site plan application. As mentioned in our email of September 25th, the dwelling unit on Lot B is showing at 5' from the rear property line at its closest location and the zone category we are referencing as being similar to this development is R-1(B), which requires a 15' rear yard setback.

We have attached all of the drawings we intend on submitting with tomorrow's application. We are also including the Zoom meeting information that has been provided by the City Planning Department. We thank you all again for your support on the project.

**Topic: EPC Hearing, January 21, 2021****Time: Jan 21, 2021 08:30 AM Mountain Time (US and Canada)****Join Zoom Meeting**<https://cabq.zoom.us/j/96997162697>**Meeting ID: 969 9716 2697****One tap mobile****+13462487799,,96997162697# US (Houston)****+16699006833,,96997162697# US (San Jose)****Dial by your location****+1 346 248 7799 US (Houston)****+1 669 900 6833 US (San Jose)****+1 253 215 8782 US (Tacoma)****+1 312 626 6799 US (Chicago)****+1 646 558 8656 US (New York)****+1 301 715 8592 US (Washington D.C)**



**Meeting ID: 969 9716 2697****Find your local number: <https://cabq.zoom.us/j/96997162697>**

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613



On Fri, Sep 25, 2020 at 6:55 AM =David Wood CPA= <[wood\\_cpa@msn.com](mailto:wood_cpa@msn.com)> wrote:  
[Quoted text hidden]

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**7 attachments**

**Sheet 001.PDF**  
889K

**Sheet 002.PDF**  
1010K

**Sheet 003.PDF**  
1367K

**Sheet 004.PDF**  
2060K

**Sheet 005.PDF**  
799K

**Sheet 006.PDF**  
1065K

**Sheet 007.PDF**  
753K



JAG JAG &lt;jag@jagpandz.com&gt;

## Public Notice of Hearing with Content for 704 Griegos Road NW

JAG JAG &lt;jag@jagpandz.com&gt;

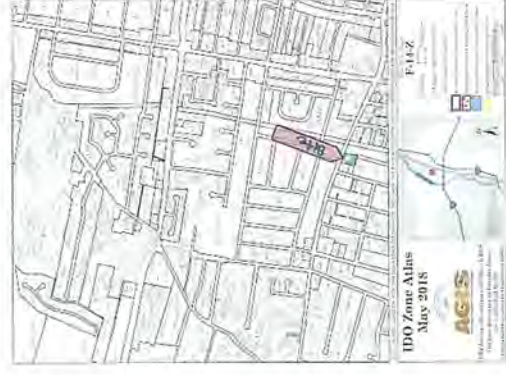
Tue, Jan 5, 2021 at 12:47 PM  
 To: =David Wood CPA= <wood\_cpa@msn.com>, "Chris Sylvan (sylvan.cs@gmail.com)" <sylvan.cs@gmail.com>, "Peggy Norton (peggynorton@yahoo.com)" <peggynorton@yahoo.com>, Doyle Kimbrough <newmexba@aol.com>, JAG JAG <jag@jagpandz.com>

### PUBLIC NOTICE OF HEARING

Dear Neighborhood Representative:

JAG Planning & Zoning, LLC, on behalf of property owner Darryl Chitwood of Eco-Green, will be submitting an application to the City of Albuquerque Planning Department for the Environmental Planning Commission (EPC) to consider the following requests:

**Site Plan and a 5' Variance to the rear yard setback for 704 Griegos Road NW to allow for five (5) dwelling units for the location as shown on Zone Atlas Page F-14.**



**Request**

The property is located at 704 Griegos RD NW, and is legally described as Tract B, Lands of Ella G. Rossiter, containing approximately .75 acres and is zoned Planned Development (PD). The applicant is requesting approval of a site plan to place five (5) detached single-family dwelling units that will have direct vehicular access only to Griegos RD NW.

In addition, the applicant is seeking a Variance to Integrated Development Ordinance (IDO) to allow the single-family dwelling unit on proposed Lot B to be five (5) feet from the rear property, where 15' is typically required. The IDO indicates that the PD zone is to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the Albuquerque/Bernalillo County Comprehensive Plan. The PD zone is intended to be reviewed on a case-by-case basis to reflect negotiated agreement for uses and standards with the Applicant. The proposed site plan will be reviewed by the EPC to ensure that it complies with City requirements and will not adversely affect adjacent properties.

**Public Hearing Information**

**Topic: EPC Hearing, February 18, 2021**

**Time: 08:30 AM Mountain Time (US and Canada)**

Join Zoom Meeting

<https://cabq.zoom.us/j/2269592859>

Meeting ID: 226 959 2859

One tap mobile

+12532158782,,2269592859# US (Tacoma)

+13462487799,,2269592859# US (Houston)

Dial by your location

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+1 346 248 7799 US (Houston)  
+1 669 900 6833 US (San Jose)  
+1 301 715 8592 US (Washington D.C.)  
+1 312 626 6799 US (Chicago)  
+1 646 558 8656 US (New York)  
Meeting ID: 226 959 2859

Find your local number: <https://cabq.zoom.us/j/IDesva2b>

This application was intended to be heard at the January EPC Hearing but the application was not accepted due to unforeseen circumstances. We have attached useful links for you to use for further information regarding the Site Plan and Variance application, the planning process and pertinent regulations. We have also attached a copy of the Site Plan and a full-size Zone Atlas Page for your reference.

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955

### Useful Links

#### Integrated Development Ordinance (IDO)

[IDO-2019-Effective-2020-11-02.pdf](#) ([cabq.gov](http://cabq.gov))

#### IDO Interactive Map

[IDO Interactive Map](http://arogis.com) ([arogis.com](http://arogis.com))

#### City of Albuquerque Planning Department

[Planning](http://cabq.gov) — City of Albuquerque ([cabq.gov](http://cabq.gov))

**Agenda/Meeting Materials**

<http://www.cabq.gov/planning/boards-commissions>

To find out more about the application, please contact City Staff at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at (505) 924-3860. Please don't hesitate to contact me at (505) 362-8903 or at [jag@jagpandz.com](mailto:jag@jagpandz.com) if you have questions regarding this application.

Sincerely,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87129  
(505) 362-8903 and (505) 363-5613

**Attachments:**

Zone Atlas Map F-14  
Site Plan

**8 attachments**

**ZAM F-14.pdf**  
1840K

**Sheet 001.PDF**  
889K

**Sheet 002.PDF**  
1010K

**Sheet 003.PDF**  
1367K

-  **Sheet 004.PDF**  
2060K
-  **Sheet 005.PDF**  
799K
-  **Sheet 006.PDF**  
1065K
-  **Sheet 007.PDF**  
753K





# 704 Griegos RD NW

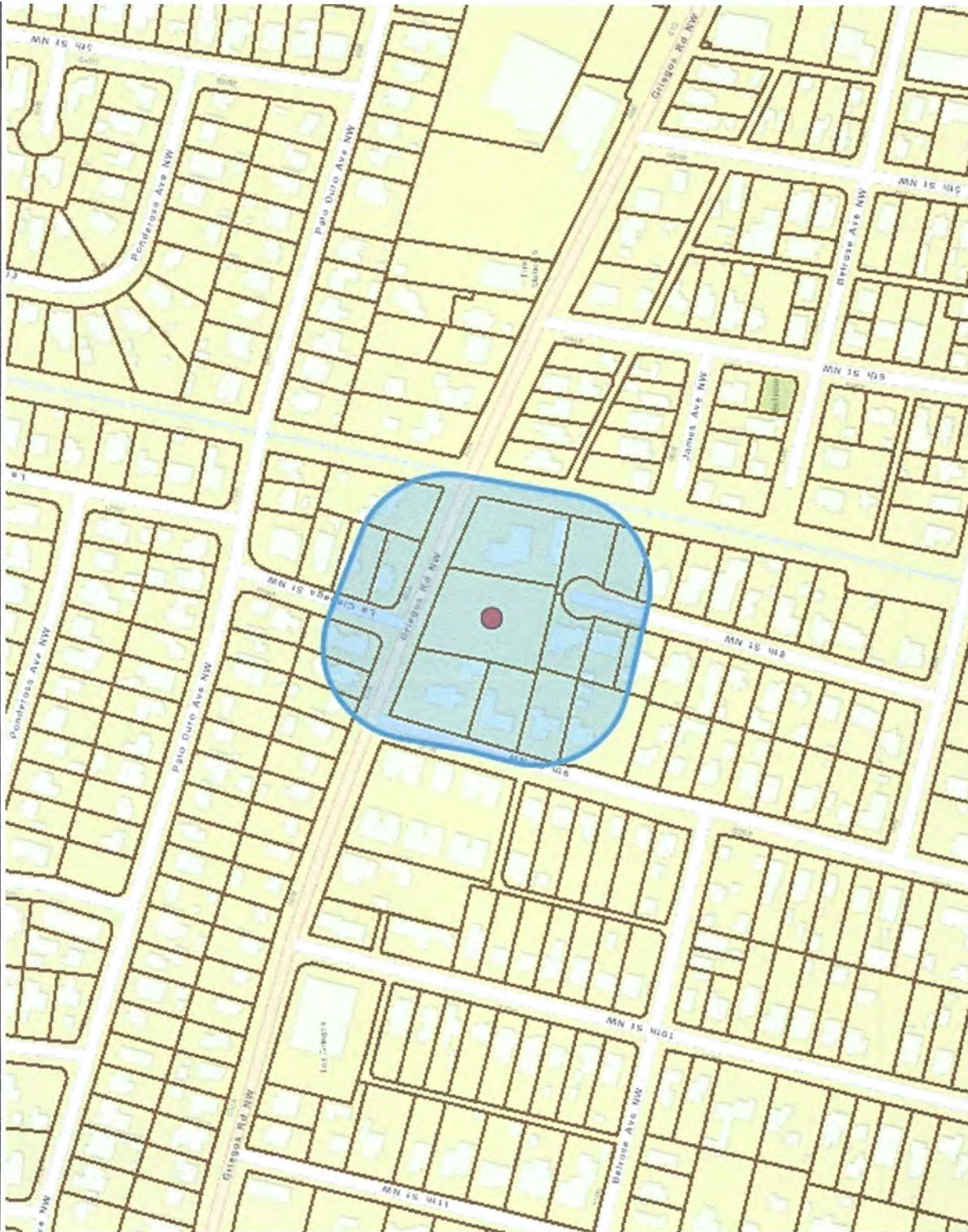


## Legend

- Bernalillo County Parcels

## Notes

Buffer: 170 Ft.  
Row Griegos RD: 70 Ft.



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

538 269 538 Feet  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
11/16/2020 © City of Albuquerque  
1: 3,230



LUCERO ROSALIE M E RVT  
PO BOX 6984  
ALBUQUERQUE NM 87197-6984

MOTA JAVIER & ANGELA  
700 GRIEGOS RD NW  
ALBUQUERQUE NM 87107

DEVARGAS ANDREW & GARCIA  
VICTORIA  
4624 8TH ST NW  
ALBUQUERQUE NM 87107-3716

SAMUDIO VIRGINIA  
4608 8TH ST NW  
ALBUQUERQUE NM 87107

MIDDLETON MARK F  
4806 LA CIENEGA ST NW  
ALBUQUERQUE NM 87107-3822

704 GRIEGOS ROAD LLC  
PO BOX 40142  
ALBUQUERQUE NM 87196

LOVATO THERESA C  
809 GRIEGOS RD NW  
ALBUQUERQUE NM 87107

BACA CARL TRUSTEE BACA RVT  
925 GABALDON RD NW  
ALBUQUERQUE NM 87104-1809

LOPEZ ROY  
4619 8TH ST NW  
ALBUQUERQUE NM 87107

PAINTER CHARLES W  
707 GRIEGOS RD NW  
ALBUQUERQUE NM 87107

PASSI MICHAEL M & TEY DIANA  
701 GRIEGOS RD NW  
ALBUQUERQUE NM 87107-3742

LEGER ERNEST H & GLORIA I CO-  
TRUSTEES 2005 RESTATED LEGER  
FAMILY TRUST  
3207 MANCHESTER CT NW  
ALBUQUERQUE NM 87107-3016

GERARD ASHLEY  
9700 HAINES AVE NE  
ALBUQUERQUE NM 87112-4037

KUEHN HOLLY  
4611 8TH ST NW  
ALBUQUERQUE NM 87107

ADAMS SAMANTHA JO  
2320 FELICITAS RD SW #C  
ALBUQUERQUE NM 87105-2688

RILEY JUDITH S C/O NEW RYAN &  
MATHIAS LEEANN  
4623 8TH ST NW  
ALBUQUERQUE NM 87107

ANDRADE MARIO E  
4620 9TH ST NW  
ALBUQUERQUE NM 87107-3701



Typical

December 2, 2020

## PUBLIC NOTICE OF HEARING

Dear Property Owner:

JAG Planning & Zoning, LLC, on behalf of Darryl Chitwood and Michael Cummings of Eco-Green, requests the following proposed application to the Environmental Planning Commission (EPC) near your property:

Site Plan approval for 704 Griegos Road NW to allow for five dwelling units. (See Attached site plan and Zone Atlas Page)

Topic: EPC Hearing, January 21, 2021

Time: Jan 21, 2021 08:30 AM Mountain Time (US and Canada)

Join Zoom Meeting

<https://cabq.zoom.us/j/96997162697>

Meeting ID: 969 9716 2697

One tap mobile

+13462487799,,96997162697# US (Houston)

+16699006833,,96997162697# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington D.C.)

Meeting ID: 969 9716 2697

Find your local number: <https://cabq.zoom.us/j/96997162697>



---

## Request

The property is zoned Planned Development (PD). The City's Integrated Development Ordinance (IDO), indicates that the PD zone is to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the Albuquerque/Bernalillo County Comprehensive Plan. The PD zone is intended to be reviewed on a case-by-case bases to reflect negotiated agreement for uses and standards with the Applicant. The proposed site plan will be reviewed by the EPC to ensure that it complies with City requirements and will not adversely affect adjacent properties.

Please don't hesitate to contact me at (505) 362-8903 or at [jag@jagpandz.com](mailto:jag@jagpandz.com) if you have questions regarding this application.

Sincerely,

  
Juanita Garcia  
Principal

**Attachments:**

Zone Atlas Map F-14  
Site Plan



*Typical*

December 3, 2020

## PUBLIC NOTICE OF HEARING

Dear Property Owner:

JAG Planning & Zoning, LLC, on behalf of Darryl Chitwood and Michael Cummings of Eco-Green, recently sent you a letter regarding a proposed application to the Environmental Planning Commission (EPC) near your property.


The letter dated December 2, 2020 did not include information that a variance to the rear yard setback is also being requested and will be heard together with the site plan application. The letter dated December 2, 2020 should have indicated that the following application will be submitted on December 3, 2020 for the following requests:

Site Plan approval and a Variance to the rear yard setback for 704 Griegos Road NW to allow for five dwelling units.

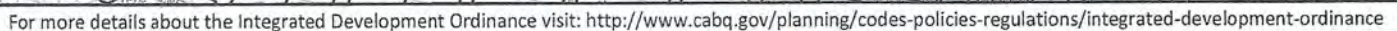
Information regarding the meeting date and the Zoom information from the letter dated December 2, 2020 has not changed and would refer you to that letter for access to the January 21, 2021 EPC hearing.

Please don't hesitate to contact me at (505) 362-8903 or at [jag@jagpandz.com](mailto:jag@jagpandz.com) if you have questions regarding this application.

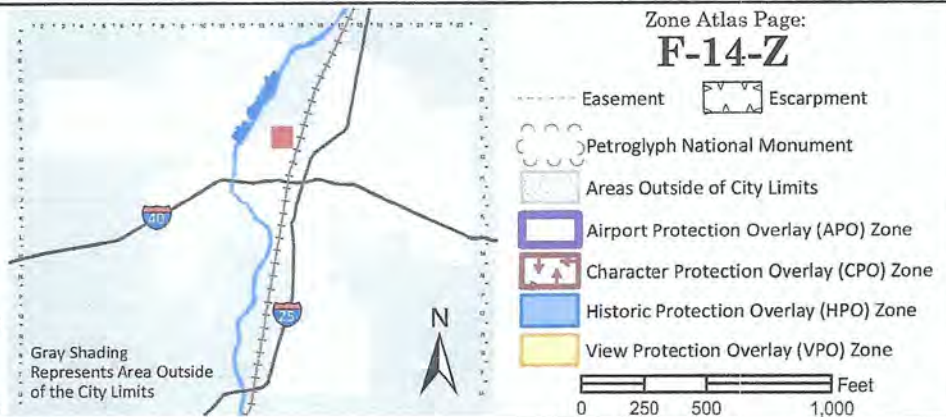
Sincerely,

  
Juanita Garcia  
Principal





**IDO Zoning information as of May 17, 2018**  
**The Zone Districts and Overlay Zones**  
**are established by the**  
**Integrated Development Ordinance (IDO).**









Affix fee here in stamps or meter postage and post mark. Inquire of Postmaster for current fee.

U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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	P.O. Box 7857
	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	PAINTER CHARLES W
	707 GRIEGOS RD NW
	ALBUQUERQUE NM 87107

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NM  
-20

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U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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	P.O. Box 7857
	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	LOVATO THERESA C
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	ALBUQUERQUE NM 87107

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U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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Received From:	<b>JAG</b> PLANNING & ZONING
	P.O. Box 7857
	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	GERARD ASHLEY
	9700 HAINES AVE NE
	ALBUQUERQUE NM 87112-4037

U.S. POSTAGE PAID  
ALBUQUERQUE, NM  
87101  
DEC 01 20  
AMOUNT  
\$1.50  
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U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	SAMUDIO VIRGINIA
	4608 8TH ST NW
	ALBUQUERQUE NM 87107

U.S. POSTAGE PAID  
ALBUQUERQUE, NM  
87101  
DEC 01 20  
AMOUNT  
\$1.50  
R2305P150071-20

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Received From:	<b>JAG</b> PLANNING & ZONING
	P.O. Box 7857
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One piece of ordinary mail addressed to:	
	LUCERO ROSALIE M E RVT
	PO BOX 6984
	ALBUQUERQUE NM 87197-6984

U.S. POSTAGE PAID  
ALBUQUERQUE, NM  
87101  
DEC 01 20  
AMOUNT  
\$1.50  
R2305P150071-20

PS Form 3817, Mar. 1989

PS Form 3817, Mar. 1989



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4619 8TH ST NW  
ALBUQUERQUE NM 87107

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U.S. POSTAL SERVICE **CERTIFICATE OF MAILING**  
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Received From: **JAG** PLANNING & ZONING  
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Albuquerque, NM 87194

One piece of ordinary mail addressed to:  
704 GRIEGOS ROAD LLC  
PO BOX 40142  
ALBUQUERQUE NM 87196

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U.S. POSTAL SERVICE **CERTIFICATE OF MAILING**  
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P.O. Box 7857  
Albuquerque, NM 87194

One piece of ordinary mail addressed to:  
LEGER ERNEST H & GLORIA I CO-TRUSTEES  
2005 RESTATED LEGER FAMILY TRUST  
3207 MANCHESTER CT NW  
ALBUQUERQUE NM 87107-3016

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U.S. POSTAL SERVICE **CERTIFICATE OF MAILING**  
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DEVARGAS ANDREW & GARCIA VICTORIA  
4624 8TH ST NW  
ALBUQUERQUE NM 87107-3716

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ALBUQUERQUE, NM  
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\$1.50  
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U.S. POSTAL SERVICE **CERTIFICATE OF MAILING**  
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ALBUQUERQUE NM 87107

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One piece of ordinary mail addressed to:  
ANDRADE MARIO E  
4620 9TH ST NW  
ALBUQUERQUE NM 87107-3701

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AMOUNT  
\$1.50  
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U.S. POSTAGE PAID  
ALBUQUERQUE, NM  
DEC 01 20  
AMOUNT  
\$1.50  
R2305P150071-20



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U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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Received From:	<b>JAG</b> PLANNING & ZONING
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	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	PASSI MICHAEL M & TEY DIANA
	701 GRIEGOS RD NW
	ALBUQUERQUE NM 87107-3742



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Received From:	<b>JAG</b> PLANNING & ZONING
	P.O. Box 7857
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One piece of ordinary mail addressed to:	
	MIDDLETON MARK F
	4806 LA CIENEGA ST NW
	ALBUQUERQUE NM 87107-3822



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NM  
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U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	MOTA JAVIER & ANGELA
	700 GRIEGOS RD NW
	ALBUQUERQUE NM 87107



POSTAGE PAID  
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1.50  
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	P.O. Box 7857
	Albuquerque, NM 87194
One piece of ordinary mail addressed to:	
	BACA CARL TRUSTEE BACA RVT
	925 GABALDON RD NW
	ALBUQUERQUE NM 87104-1809

POSTAGE PAID  
ALBUQUERQUE, NM  
07-20  
1.50  
2305P150071-20

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One piece of ordinary mail addressed to:	
	ADAMS SAMANTHA JO
	2320 FELICITAS RD SW #C
	ALBUQUERQUE NM 87105-2688



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NM  
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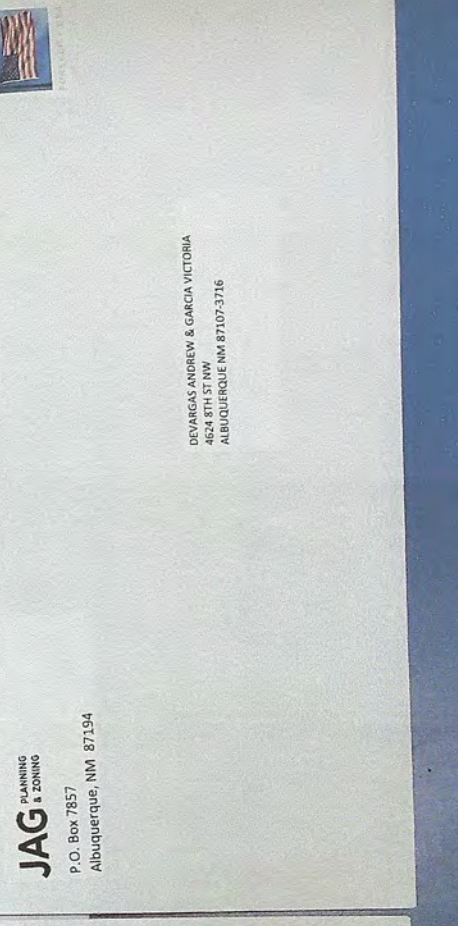
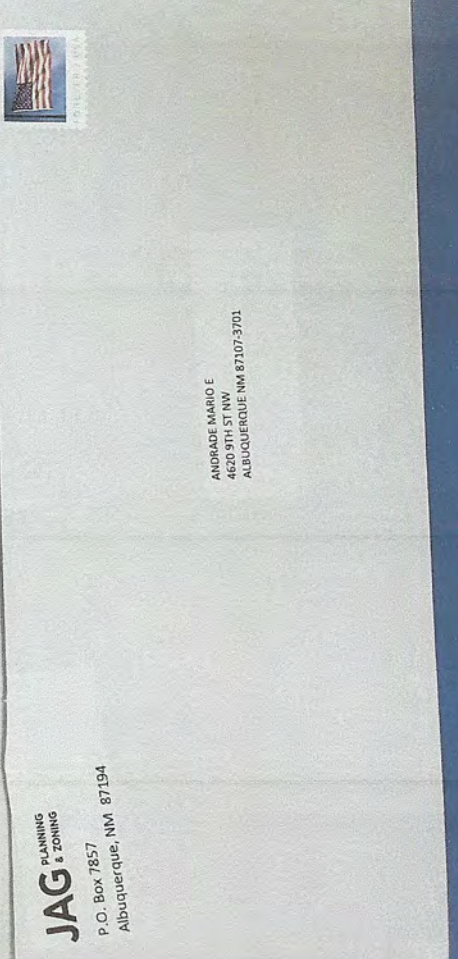
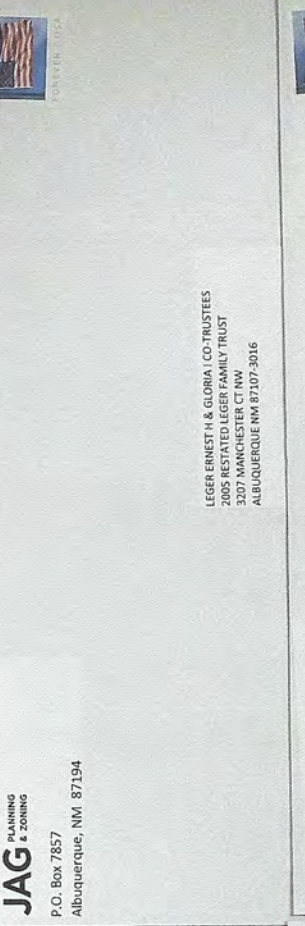
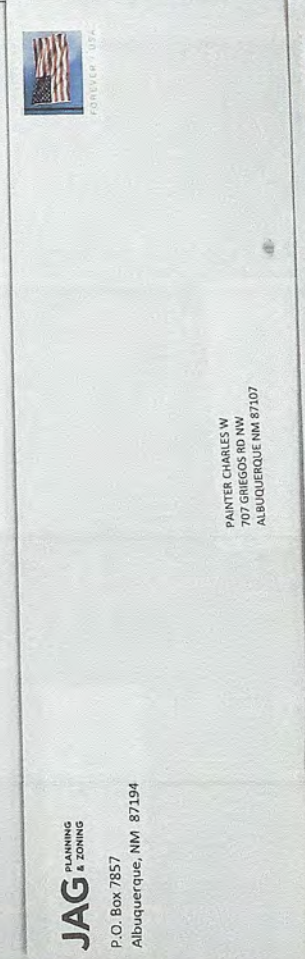
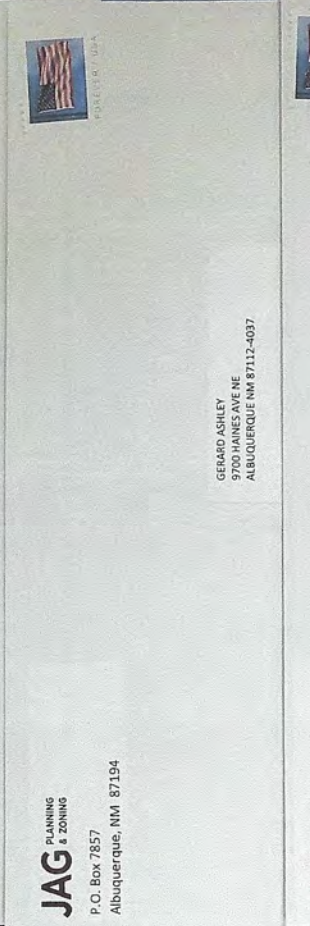
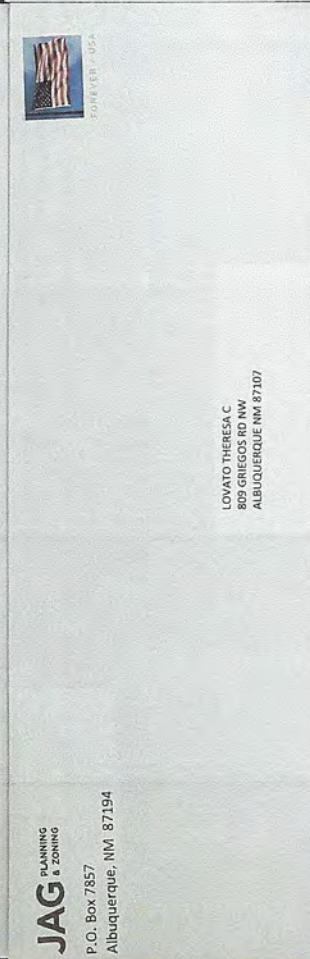
U.S. POSTAL SERVICE	<b>CERTIFICATE OF MAILING</b>
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Received From:	<b>JAG</b> PLANNING & ZONING
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One piece of ordinary mail addressed to:	
	RILEY JUDITH S
	C/O NEW RYAN & MATHIAS LEEANN
	4623 8TH ST NW
	ALBUQUERQUE NM 87107



1000



Mailout for variance letter to adjacent property owners date Dec. 2nd, 2020











January 5, 2021

## PUBLIC NOTICE OF HEARING

Dear Property Owner:

JAG Planning & Zoning, LLC, on behalf of property owner Darryl Chitwood of Eco-Green, will be submitting an application to the City of Albuquerque Planning Department for the Environmental Planning Commission (EPC) to consider the following requests:

Site Plan and a 5' Variance to the rear yard setback for 704 Griegos Road NW to allow for five (5) dwelling units for the location as shown on Zone Atlas Page F-14.



## Request

The property is located at 704 Griegos RD NW, and is legally described as Tract B, Lands of Ella G. Rossiter, containing approximately .75 acres and is zoned Planned Development (PD). The

---

applicant is requesting approval of a site plan to place five (5) detached single-family dwelling units that will have direct vehicular access only to Griegos RD NW. In addition, the applicant is seeking a Variance to Integrated Development Ordinance (IDO) to allow the single-family dwelling unit on proposed Lot B to be five (5) feet from the rear property, where 15' is typically required. The IDO indicates that the PD zone is to allow innovative development that cannot be accommodated through the use of other base zone districts, provided the project is consistent with the Albuquerque/Bernalillo County Comprehensive Plan. The PD zone is intended to be reviewed on a case-by-case basis to reflect negotiated agreement for uses and standards with the Applicant. The proposed site plan will be reviewed by the EPC to ensure that it complies with City requirements and will not adversely affect adjacent properties.

### **Public Hearing Information**

**Topic: EPC Hearing, February 18, 2021**

**Time: 08:30 AM Mountain Time (US and Canada)**

Join Zoom Meeting

<https://cabq.zoom.us/j/2269592859>

Meeting ID: 226 959 2859

One tap mobile

+12532158782,,2269592859# US (Tacoma)

+13462487799,,2269592859# US (Houston)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 301 715 8592 US (Washington D.C)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 226 959 2859

Find your local number: <https://cabq.zoom.us/j/2269592859>

Please disregard a similar letter that was sent on December 2, & 3, 2020 in regards to an application that was intended to be submitted for the January EPC Hearing, since the application was not accepted due to unforeseen circumstances. We have attached useful links for you to use for further information regarding the Site Plan and Variance application, the planning

---

process and pertinent regulations. We have also attached a copy of the Site Plan and a full-size Zone Atlas Page for your reference.

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955

#### Useful Links

##### Integrated Development Ordinance (IDO)

[IDO-2019-Effective-2020-11-02.pdf \(cabq.gov\)](#)

##### IDO Interactive Map

[IDO Interactive Map \(arcgis.com\)](#)

##### City of Albuquerque Planning Department

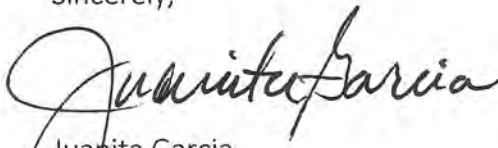
[Planning — City of Albuquerque \(cabq.gov\)](#)

##### Agenda/Meeting Materials

<http://www.cabq.gov/planning/boards-commissions>

To find out more about the application, please contact City Staff at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at (505) 924-3860. Please don't hesitate to contact me at (505) 362-8903 or at [jag@jagpandz.com](mailto:jag@jagpandz.com) if you have questions regarding this application.

Sincerely,



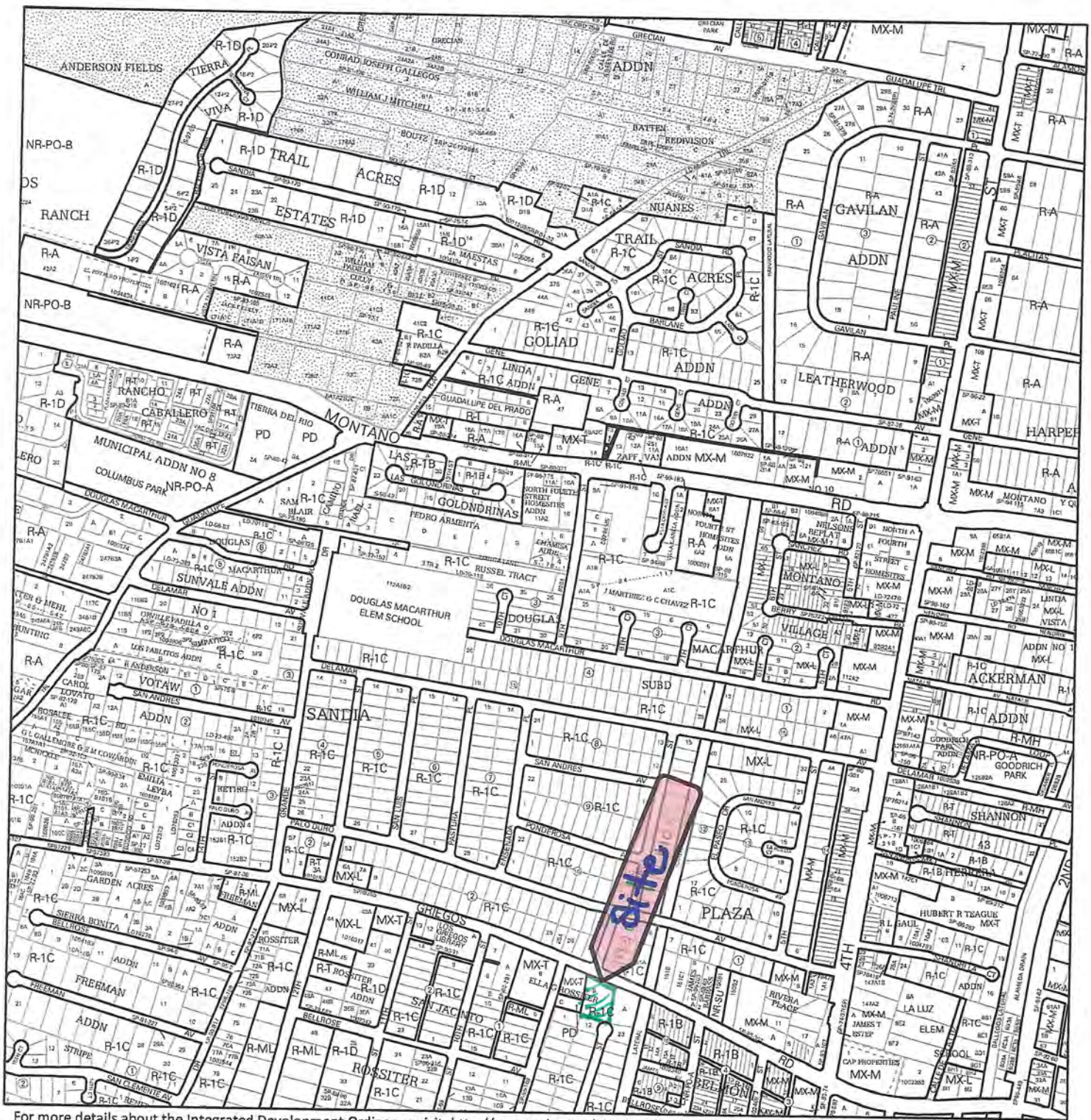
Juanita Garcia  
Principal

#### Attachments:

Zone Atlas Map F-14

Site Plan



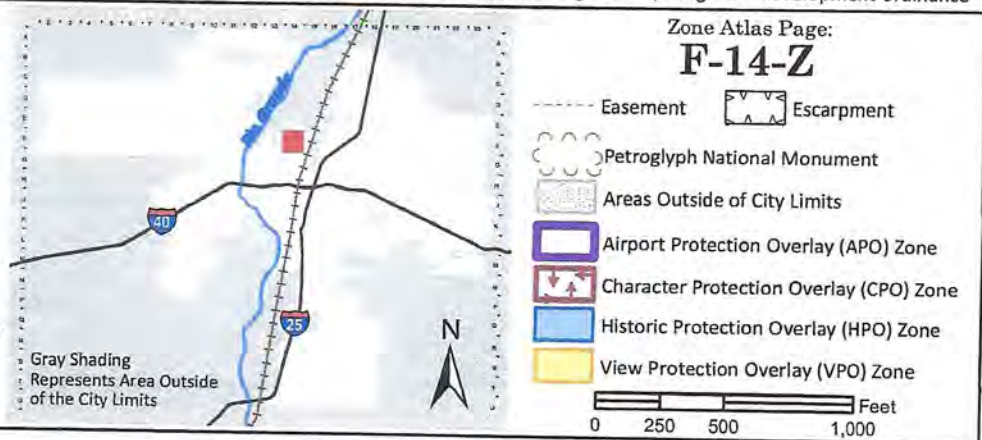


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).







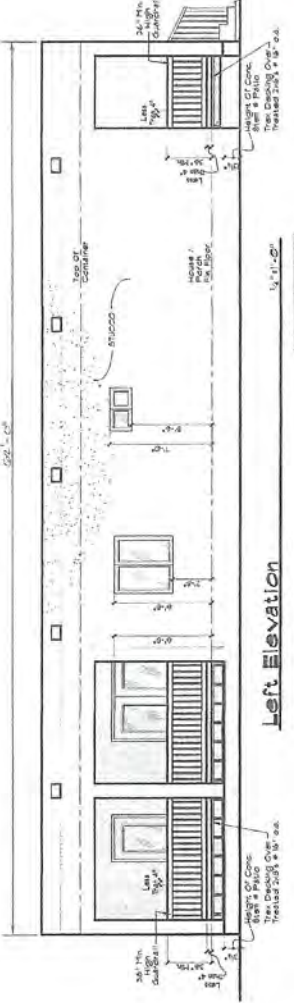
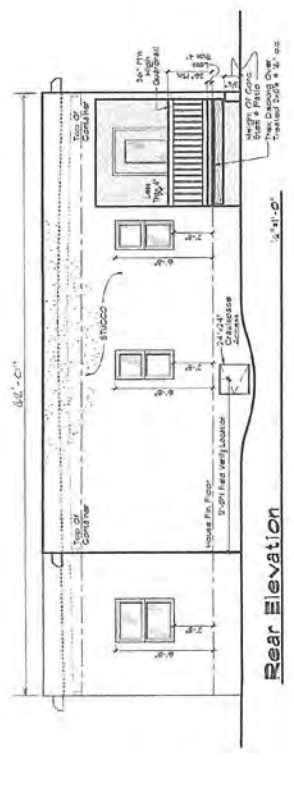
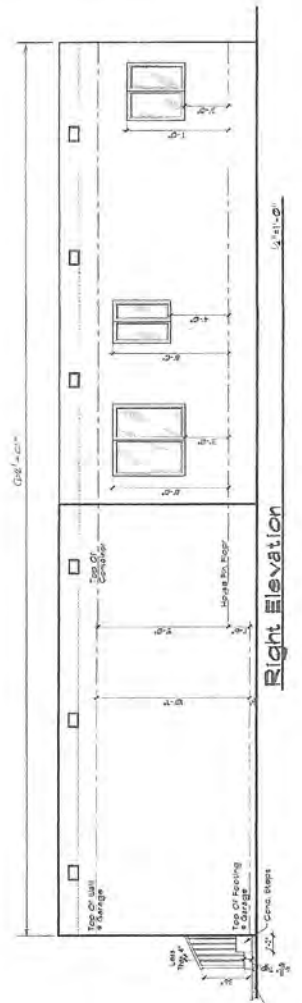
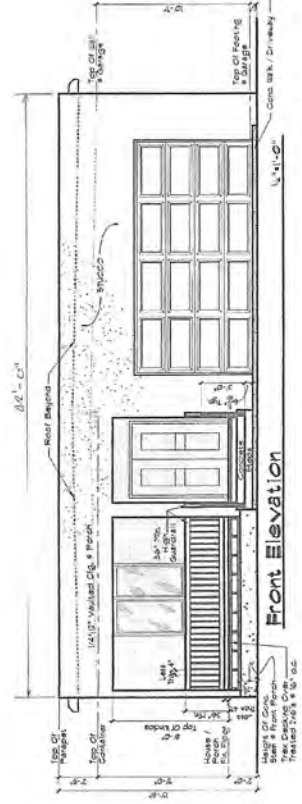
REVISIONS	DATE	BY	APP
1	5-4-2020	DR	DR
2			
3			
4			

DATE  
5-4-2020

EXTERIOR  
ELEVATIONS

**Pistol's**  
Drafting & Design  
Curtis Manning  
Ph: (205) 298-5998  
Email: pistolddr@gmail.com

CUSTOM HOME  
ADDRESS  
LOT, BLOCK, ETC  
CITY, STATE



Floor Plan

AREA	SF
HEATED	1570
GARAGE	487
COVERED PORCH	160
COVERED PATIO	124
TOTAL	2284

COLOR NOTES:  
STUCCO COLOR: SANDLEWOOD BROWN / FL RBY STUCCO  
WINDOW TRIM, DOORS, GARAGE DOORS, PATIO GUARD RAILING / COLOR WHITE





**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

PAUL MICHAEL, JR. & TIZI THANA  
787 GARRETT RD NW  
ALBUQUERQUE NM 87107-5443

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

SHERIDAN ASHLEY  
9700 HANCO AVE NE  
ALBUQUERQUE NM 87112-4017

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

704 GREGG ROAD LLC  
PO BOX 40240  
ALBUQUERQUE NM 87196

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

JOANAS SAMANTHA JO  
2320 GILBERT RD NW PC  
ALBUQUERQUE NM 87105-2688

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P.O. Box 7857  
Albuquerque, NM 87194

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C/O NEW RYAN & MATHIAS LEANN  
4623 8TH ST NW  
ALBUQUERQUE NM 87107

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194



LOPEZ ROY  
4619 8TH ST NW  
ALBUQUERQUE NM 87107



**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

LEGIER EMMETT H & OLIVIA L COVINGTON  
1500 WILSON BLVD NW  
SUITE 200 MANASSAS CT NW  
ALBUQUERQUE NM 87107-3016

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

OTYVAGAL ANDREW & GARCIA VICTORIA  
4624 8TH ST NW  
ALBUQUERQUE NM 87107-3716

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P.O. Box 7857  
Albuquerque, NM 87194

KUERN HOLLY  
4611 8TH ST NW  
ALBUQUERQUE NM 87107

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

MOTA JAVIER & ANGELA  
700 GREGG RD NW  
ALBUQUERQUE NM 87107

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

BACA CARL TRUSTEE BACA IVY  
925 GABARDON RD NW  
ALBUQUERQUE NM 87104-1859

**JAG** PLANNING & ZONING  
P.O. Box 7857  
Albuquerque, NM 87194

ANDRADE MARIO E  
4620 9TH ST NW  
ALBUQUERQUE NM 87107-3701



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& ZONING  
P.O. Box 7857  
Albuquerque, NM 87194



LUCERO ROSALIE M E RVY  
PO BOX 6984  
ALBUQUERQUE NM 87197-6984

**JAG** PLANNING  
& ZONING  
P.O. Box 7857  
Albuquerque, NM 87194



MIDDLETON MARK F  
4806 LA CIENEGA ST NW  
ALBUQUERQUE NM 87107-3822

**JAG** PLANNING  
& ZONING  
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Albuquerque, NM 87194



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4608 8TH ST NW  
ALBUQUERQUE NM 87107

**JAG** PLANNING  
& ZONING  
P.O. Box 7857  
Albuquerque, NM 87194



LOVATO THERESA C  
809 GRIEGOS RD NW  
ALBUQUERQUE NM 87107

**JAG** PLANNING  
& ZONING  
P.O. Box 7857  
Albuquerque, NM 87194



PAINTER CHARLES W  
707 GRIEGOS RD NW  
ALBUQUERQUE NM 87107

## SITE PLAN REDUCTIONS



PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

## GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED THROUGH UPDATE NO. 8.

2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.

4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATION SERVICE, NM ONE CALL AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.

5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 8.

6. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER, OR CITY.

7. TRAFFIC CONTROL: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (824-1420) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE PLASTER REFLICORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.

8. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.

9. EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.

10. ALL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2.

11. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.

12. TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE ENGINEER.

13. PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO PUBLIC TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

14. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWERLINE COSTS.

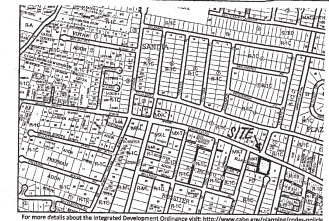
15. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.

16. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE. FOR THE PREPARATION OF RECORD DRAWINGS, CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.

17. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN 7 DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO PRESERVE SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

**LEGAL DESCRIPTION:**

LOTS 'A', 'B', 'C', 'D', AND 'E', LANDS OF ELLA B. ROSSITER, BEING A REPLAT OF PORTION OF TRACT 'B', LANDS OF ELLA B. ROSSITER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (100 ZONE ATLAS PAGE " F-14-2 " ).



### IDO Zone Atlas May 2018



IDO Posting Information as of May 17, 2018  
The Zone Distinctions and Overlay Areas  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
F-14-2

### VICINITY MAP (NO SCALE) IDO Zone Atlas May 2018

18. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

19. PNM WILL PROVIDE AT NO COST TO THE CITY OF THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLE. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.

20. WARNING - EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THERETO. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

21. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.

22. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

23. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

24. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT <http://abcwua.org/content/view/463/729>.

A FIVE (5) UNIT  
RESIDENTIAL DEVELOPMENT  
BY  
ECO-GREEN BUILDING  
704 GRIEGOS ROAD, N.W.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2021

## INDEX TO DRAWINGS

SHEET NO.	TITLE
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SHEET 1 OF 7 - COVER SHEET

SHEET 2 OF 7 - SITE PLAN

SHEET 3 OF 7 - DETAIL SHEET

SHEET 4 OF 7 - LANDSCAPE PLAN

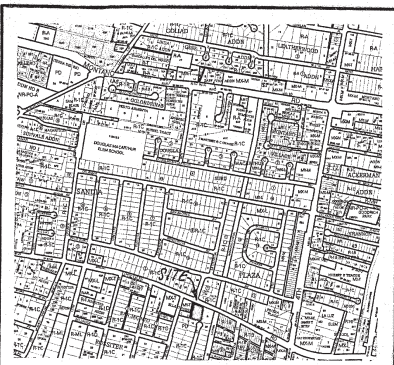
SHEET 5 OF 7 - GRADING AND DRAINAGE PLAN ( CONCEPTUAL )

SHEET 6A - OF 7 - UTILITY PLAN

SHEET 6B - OF 7 - UTILITY PLAN

SHEET 7 OF 7 - BUILDING ELEVATIONS

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LAND USE, DEVELOPMENT AND  
REDEVELOPMENT CONSULTANT  
LEVEY VALDEZ, P.E.  
12800 SAN JUAN, N.E.  
ALBUQUERQUE, NEW MEXICO, 87123  
(505)610-0593

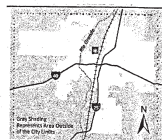
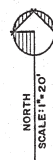


VICINITY MAP

IDO Zone Atlas

Scale: 1" = 20'

Zone Atlas Page  
F-14-Z



# CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY, BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER LINE) WILL NOT BE ACCEPTABLE IN THIS AREA.

## AREA TABLE:

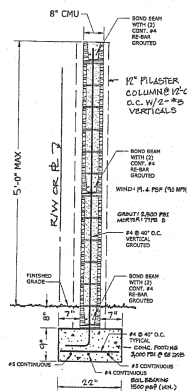
LOT 'A' = 0.1915 ACRES GROSS / 0.1386 ACRES NET  
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 LOT 'D' = 0.1302 ACRES GROSS / 0.1182 ACRES NET  
 LOT 'E' = 0.1302 ACRES GROSS / 0.1182 ACRES NET

- NOTES:
- "PRIVATE WAYS" ACCESS EASEMENTS GRANTED BY REPLATING.
  - 10.0' WIDE PUBLIC UTILITY EASEMENT GRANTED BY REPLATING.
  - PEDESTRIAN PATHWAY (4.0' WIDE / 3" DEEP CRUSHER FINE SURFACE).
  - 16" WIDE (4" THICK) CONCRETE DRIVEPAD (TYPICAL).

## LEGAL DESCRIPTION: ZONED: "PD"

LOTS 'A', 'B', 'C', 'D', 'E', AND 'F' OF ELA B. ROSSITER, BEING A REPLAT OF PORTION OF TRACT 'B', LANDS OF ELA B. ROSSITER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (IDO ZONE ATLAS PAGE "F-14-Z").

IDO REFERENCE TO 'SECTION 7-4(J) (6)' FOR "PRIVATE WAYS"



**A SITE GARDEN WALL**  
 (8"X8"X16" STANDARD SMOOTH FACE BLOCK WALL)  
 CENTERED ON COMMON PROPERTY LINES

NOTE: WALL COLOR TO BE "BROWN" TO MATCH RESIDENTIAL UNITS.

## NOTE

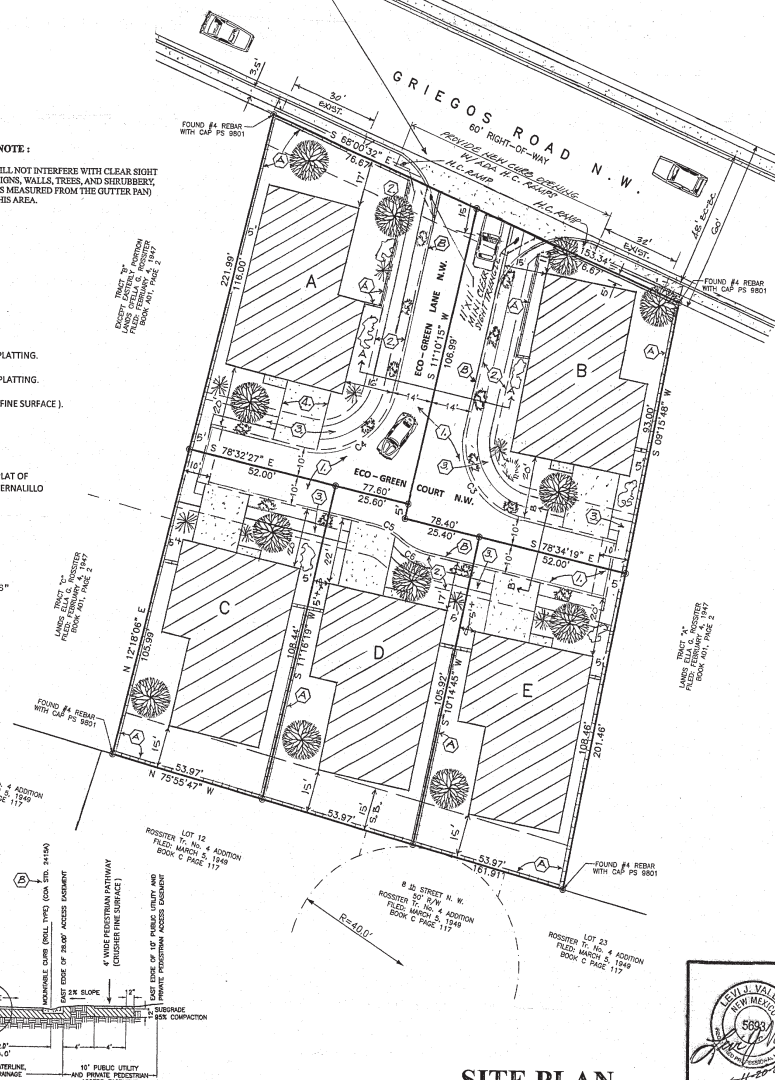
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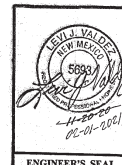
CHORD BEARING	CHORD LENGTH	CHORD BEARING	CHORD LENGTH	CHORD BEARING	CHORD LENGTH
N 11° 10' 15" E	116.00'	N 11° 10' 15" W	116.00'	N 11° 10' 15" E	116.00'
S 11° 10' 15" E	116.00'	S 11° 10' 15" W	116.00'	S 11° 10' 15" E	116.00'
N 11° 10' 15" E	116.00'	N 11° 10' 15" W	116.00'	N 11° 10' 15" E	116.00'
S 11° 10' 15" E	116.00'	S 11° 10' 15" W	116.00'	S 11° 10' 15" E	116.00'
N 11° 10' 15" E	116.00'	N 11° 10' 15" W	116.00'	N 11° 10' 15" E	116.00'
S 11° 10' 15" E	116.00'	S 11° 10' 15" W	116.00'	S 11° 10' 15" E	116.00'

- PROVIDE NEW SIDEWALK (STD. DWG. # 2430). (4.0')
- PROVIDE NEW CURB AND GUTTER (STD. DWG. # 2415-A).
- PROVIDE NEW CURB CUT - DRIVEPAD
- PROVIDE H.C. WHEEL CHAIR RAMPS (STD. DWG. # 2441).

NOTE: REMOVE ALL EXISTING SIDEWALK, CURB AND GUTTER, TWO (2) CURB CUTS ALONG GRIEGOS ROAD FRONTAGE AND PROVIDE NEW 4.0' WIDE SIDEWALK, CURB AND GUTTER, AND NEW CURB CUT WITH HANDI-CAP RAMPS, PER C.O.A. STANDARD DRAWINGS LISTED HEREON.



## SITE PLAN



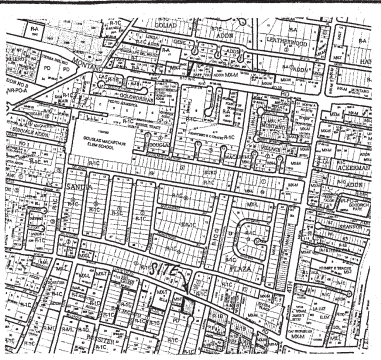
ENGINEER'S SEAL

SHEET 2 OF 7

A FIVE (5) UNIT  
 RESIDENTIAL DEVELOPMENT  
 BY  
**ECO-GREEN BUILDING**  
 704 GRIEGOS ROAD, N.W.  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2021







VICINITY MAP

IDO Zone Atlas

Zone Atlas Page F-14-Z

Zone Atlas Page F-14-Z

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- NOTES:
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SITE GARDEN WALL

(8"x8"x16" STANDARD SMOOTH FACE BLOCK)  
 CENTERED ON COMMON PROPERTY LINES  
 NOTE: WALL COLOR TO BE "BROWN" TO MATCH RESIDENTIAL UNITS.

NOTE

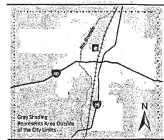
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NORTH  
 SCALE 1" = 20'

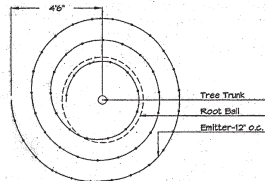
0 5 10 15 20



CLEAR SIGHT TRIANGLE NOTE:

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- LEGEND:
- ARIZONA SUN (DRIVER SIDE)
  - YUCCA PENICULA
  - POURIE TREPLANT
  - GRAND MULCH (34" x 12" x 6" BROWN)
  - BROWN CRACK
  - LANDSCAPE



Netafim Spiral Detail

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (A) = 5,340.5 S (NET)  
 TOTAL BLDG. AREA (A) = 2,284.0 S  
 NET LOT AREA = 3,056.5 S  
 LANDSCAPE REQUIREMENT:  
 TOTAL LANDSCAPE REQUIRED (10%) = 305.6 S  
 LANDSCAPE AREA PROVIDED = 280.0 S

LANDSCAPE NOTES:  
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 8" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:  
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 9 loops at a final radius of 4.5' from tree trunk, planted in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Subirrigation systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

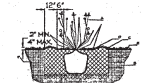
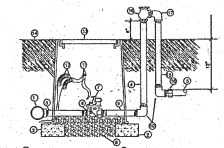
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

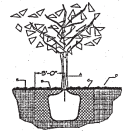
Water and Power source shall be the responsibility of the Developer/Builder.



SHRUB PLANTING DETAIL

NTS

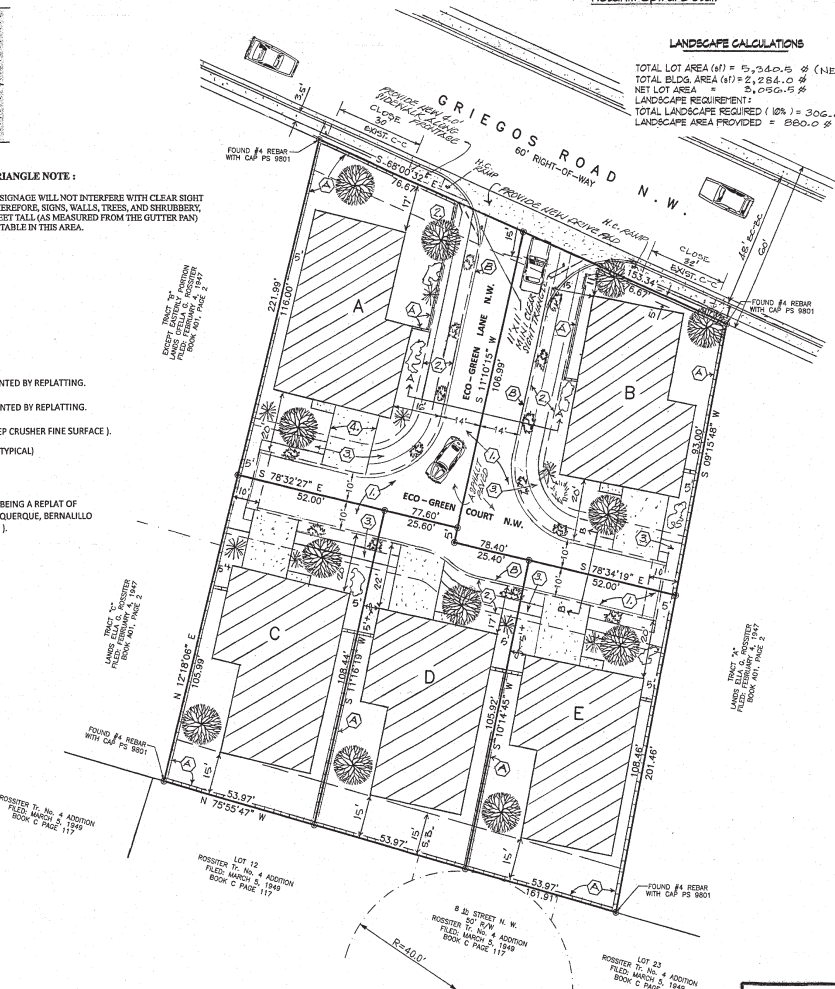
- GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.
  2. SHRUBS
  3. BACKFILL WITH EXISTING SOIL
  4. EARTH BERM AROUND WATER RETENTION BASIN
  5. 3" DEPTH OF GRAVEL MULCH
  6. FINISH GRADE
  7. UNDISTURBED SOIL



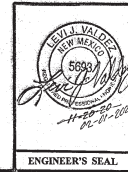
TREE PLANTING DETAIL

NTS

- GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DMS THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL KINK, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL
  - C. 3" DEPTH OF GRAVEL MULCH
  - D. UNDISTURBED SOIL



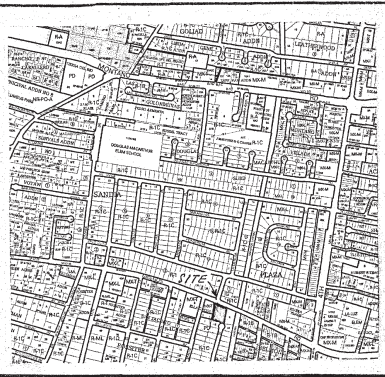
LANDSCAPE PLAN



ENGINEER'S SEAL

A FIVE (5) UNIT  
 RESIDENTIAL DEVELOPMENT  
 BY  
 ECO-GREEN BUILDING  
 704 GRIEGOS ROAD, N.W.  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2021





VICINITY MAP

IDO Zone Atlas  
May 2018



NORTH  
SCALE: 1"=20'



LOCATION MAP



**NOTE:**  
THE ENGINEER HAS UNDERGONE FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION REGARDING THE LOCATION AND DEPTH OF ANY OTHER UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY THE FAILURE TO LOCATE, IDENTIFY, AND PROTECT ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, FEDERAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND CALLING OF NOTING THE UTILITIES, COMPLYING WITH "BLUE STICKS" PROCEDURES, OR OTHERWISE.

**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF EROSION DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

1. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DITCH, SPALLS, PILING, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION OF THE PROJECT AND ADJACENT PROPERTIES.
2. ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT-BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAY.
3. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN DEPOSITED FROM THE SUBJECT SITE AND ADJACENT THERETO.

**CONSTRUCTION NOTES:**

1. TWO (2) WEEKS PRIOR TO ANY DEMOLITION, THE CONTRACTOR MUST CONTACT THE LOCALITIES SERVICES AT 360-499-4900 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF THE ADJACENT TILES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONSTRUCTION, BURIED A CONFLICT EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

**GENERAL NOTES:**

1. NO PERMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED BY THIS SURVEY OF THE SUBJECT PROPERTY.
2. NO RECORD HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN EROSION PERMITS.

**LEGEND:**

- TOP OF CURB ELEVATION = 72.0' - 72.50'
- CURB FLOWING ELEVATION = 72.0' - 72.50'
- EXISTING SPOT ELEVATION = 72.5'
- EXISTING CONTIGUOUS ELEVATION = 72.5'
- PROPOSED SPOT ELEVATION = 72.0'
- PROPOSED CONTIGUOUS ELEVATION = 72.0'
- PROPOSED ON EXISTING CONCRETE SURFACE = 72.0'
- EXISTING FINISH LINE = 72.0'
- (PROPOSED)

**CLEAR SIGHT TRIANGLE NOTE:**

LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, BUSHES, TREES, AND OBSTRUCTIONS BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

**AREA TABLE:**

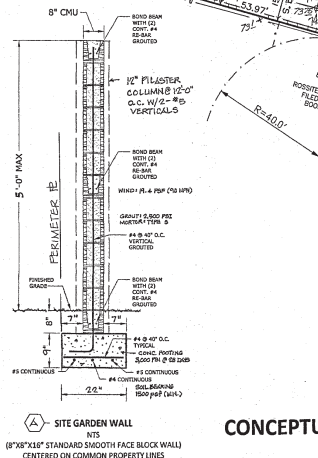
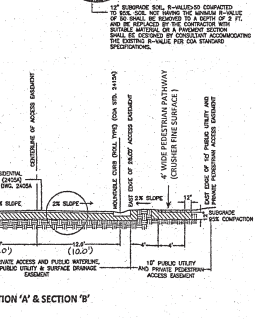
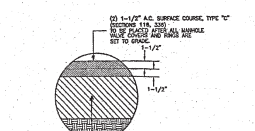
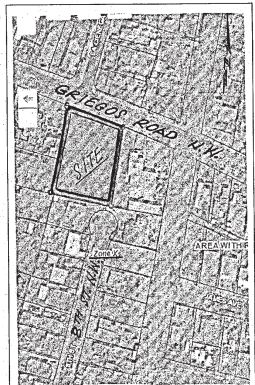
- LOT 'A' = 0.1015 ACRES GROSS / 0.1386 ACRES NET
- LOT 'B' = 0.1761 ACRES GROSS / 0.1396 ACRES NET
- LOT 'C' = 0.1304 ACRES GROSS / 0.1384 ACRES NET
- LOT 'D' = 0.1302 ACRES GROSS / 0.1382 ACRES NET
- LOT 'E' = 0.1302 ACRES GROSS / 0.1382 ACRES NET

GEORGE T. RODRIGUEZ  
LAND USE, DEVELOPMENT AND  
REDEVELOPMENT CONSULTANT  
LEVI J. VALDEZ, P.E.  
1230 SAN JUAN, N.E.  
ALBUQUERQUE, NEW MEXICO, 87131  
(505) 810-0593

**F.E.M.A. FLOOD ZONE INFORMATION:**

F.E.M.A. FIRM PANEL NO. 35001C0119G, (EFFECTIVE: 09-26-2008)

FLOOD ZONE DESIGNATION 'X', (AREA WITH REDUCED FLOOD RISK DUE TO LEVES)



**CONCEPTUAL GRADING/DRAINAGE PLAN**

BENCH MARK REFERENCE: ACS STATION "DOUGLAS" HAVING AN ELEVATION OF 4975.078.  
(NAVD 1988); TOPOGRAPHY SURVEY PERFORMED BY HARRIS  
SURVEYING, INC., ANTHONY J. HARRIS, N.M.P.S. NO. 11463,  
ALBUQUERQUE, NEW MEXICO.

1. PROVIDE NEW SIDEWALK AND GUTTER (STD. DWG. 4-20)
2. PROVIDE NEW CURB CUT - DENSED
3. PROVIDE NEW CURB CUT - DENSED
4. PROVIDE 1/2" WIDE CHAIR RAILS (STD. DWG. 4-241)

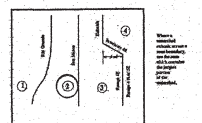
**NOTE:** REMOVE ALL EXISTING SIDEWALK, CURB AND GUTTER, TWO (2) FEET WIDE ALONG GRIEGOS ROAD FRONTAGE AND PROVIDE NEW 4'-0" WIDE SIDEWALK, CURB AND GUTTER, AND 18" WIDE CURB CUT WITH HANDS-ON RAILS, PER C.O.A. STANDARD DRAWINGS LISTED HEREON.

**A.1 PRECIPITATION ZONES**

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and in FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and the Rio Grande
3	Between the Rio Grande and the Rio Grande
4	East of the Rio Grande

Zone	Intensity	10-YR	10-YR
1	4.70	(1.91, 1.36)	4.37
2	5.00	(2.06, 1.41)	4.67
3	5.30	(2.21, 1.46)	4.97
4	5.60	(2.36, 1.51)	5.27



**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil unsaturated by human activity with 10 percent slopes. Native grasses, weeds and shrubs in typical distribution with minimal disturbance to ground, groundwater and infiltration capacity. Cereals, alfalfa, etc.
B	Intervenor areas, paved and asphalt concrete with 10 percent slopes. Native grasses, weeds and shrubs, and not unsaturated by human activity with slope greater than 10 percent and less than 20 percent.
C	Soil unsaturated by human activity. Intervenor areas. Improved parking, roads, etc. 30 percent slopes. Cereals or weeds on gentle slopes greater than 10 percent. Native grasses, weeds and shrubs, and not unsaturated by human activity with slope greater than 20 percent. Native grasses, weeds and shrubs, and not unsaturated by human activity with slope greater than 20 percent.
D	Intervenor areas, paved and asphalt concrete with 10 percent slopes. Native grasses, weeds and shrubs, and not unsaturated by human activity with slope greater than 20 percent.

Zone	Treatment	10-YR	10-YR
1	A	1.29	1.37
2	B	1.39	1.47
3	C	1.49	1.57
4	D	1.59	1.67

**NOTES:**

1. BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER TEST RESULTS AND RECOMMENDATIONS.
2. CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS WITH SPLASH BOXES.

**INDIVIDUAL LOTS: (TYPICAL)**

RESIDENTIAL STRUCTURE = 2,284.0 SQ. FT.  
CONCRETE DRIVEPAD = 320.0 SQ. FT.  
CONCRETE SIDEWALK = 30.0 SQ. FT.  
TOTAL "D" EACH LOT = 2,634.0 SQ. FT. (NOT INCLUDING PORTION OF PAVED ROADWAY).

**\* STORM WATER QUALITY POND: (TYPICAL EACH RESIDENTIAL LOT)**

PROPOSED "D" = 2,634.0 SQ. FT. = 0.06 AC.  
0.34" (0.03") X 2,634.0 = 0.79 CU. FT. (REQUIRED RETENTION POND VOLUME PER LOT).

**F.E.M.A. FLOOD ZONE INFORMATION:**

F.E.M.A. FIRM PANEL NO. 35001C0119G, (EFFECTIVE: 09-26-2008)

FLOOD ZONE DESIGNATION 'X', (AREA WITH REDUCED FLOOD RISK DUE TO LEVES)

**NOTES:**

1. "PRIVATE WAYS" ACCESS EASEMENTS GRANTED BY REPLATTING.
2. 10' WIDE PUBLIC UTILITY EASEMENT GRANTED BY REPLATTING.
3. PEDESTRIAN PATHWAY (4'-0" WIDE / 3" DEEP CRUSHER FINE SURFACE).
4. 18" WIDE (4" THICK) CONCRETE DRIVEPAD (TYPICAL).

**LEGAL DESCRIPTION:**

LOTS 'A', 'B', 'C', 'D', AND 'E', LANDS OF ELA B. ROSSITER, BEING A REPLAT OF PORTION OF TRACT 'B', LANDS OF ELA B. ROSSITER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (IDO ZONE ATLAS PAGE "F-14-2")



A FIVE (5) UNIT  
RESIDENTIAL DEVELOPMENT  
BY  
ECO-GREEN BUILDING  
704 GRIEGOS ROAD, N.W.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2021

DEVELOPMENT PLANS  
FOR THE  
CONSTRUCTION OF STREETS,  
WATER AND SANITARY SEWER  
AT THE  
800 BLOCK OF GRIEGOS RD. NW

JANUARY, 2021

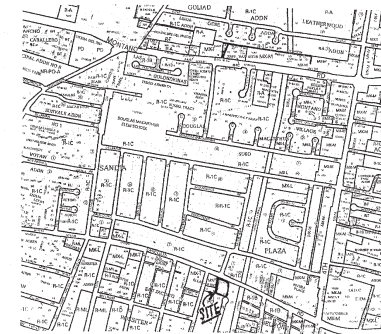
## UTILITY COMPANY CONTACTS

BUSINESS	PHONE/E-MAIL	PERSON
ABOWJA 800 2ND NW Aib, NM 87102	Office phone: (505)289-3501 Office fax: (505)768-3529 kcodena@abowja.org	KRIS CADENA Section Head, Utilities Dev.
AT&T 111 3rd Street NW Aib, NM 87103	Office phone: (505)842-2911 Office fax: (505)842-2890 dcrowell@att.com	David Crowell Resource Supervisor
Comcast 4611 Mandrel NE Aib, NM 87107	Office phone: (505)761-6235 Office fax: (505)761-6259 rita_erickson@comcast.com	Rita Erickson Planning and Design Supervisor
Xpeditus Management Co. 505 Marquette NW, Suite 1605 Aib, NM 87102	Office phone: (505)998-2220 Office fax: (505)345-6559 steve.merrill@xpeditus.com	Steve Merrill
BGC Assets 721 4th Street NW Aib, NM 87101	Office phone: (505)243-2153 Office fax: (505)314-0900 john.brown@bgcasets.com	John Brown Operations Manager
MCI Worldcom 6001 Midway Park NE Aib, NM 87109	Office phone: (505)346-4470 Office fax: (505)346-4481 andy.darnell@mci.com	Andy Darnell Operations Manager
McLeod USA 505 Marquette NW, Suite 1600 Aib, NM 87102	Office phone: (505)244-3161 Office fax: (505)244-0094 Cell Phone: (505)228-3329 rdmueller@mcleoduusa.com	Rick Mueller Supervisor of Outside Techs.
PNM-Electric 4201 Edith NE MS-ES61 Aib, NM 87107	Office phone: (505)241-3581 Office fax: (505)241-0559 jhu@pnm.com	Jim Hill
PNM-Gas 6625 520th NE Aib, NM 87107	Office phone: (505)241-7752 Office fax: (505)241-7740 kbouska@pnm.com	Kelly Bouska District Engineer
Time-Warner Telecom 3830 Singer NE, Suite 1000 Aib, NM 87109	Office phone: (505)938-7339 Office fax: (505)938-7380 Royal.Harrison@tw telecom.com	Royal Harrison Plant Manager
Century Link 400 Tijeras NW, Room 710 Aib, NM 87102	Office phone: (505)767-7435 Office fax: (505)243-6743 natalia.antonio@centurylink.com	Natalia Antonio Engineering

## GENERAL NOTES



1. All work detailed on these plans to be performed under this contract shall, except as otherwise stated or provided for herein, be constructed in accordance with the details and specifications of the City of Albuquerque Standard Specifications for Public Works Construction, Edition 1986, as amended through update No. 9.
2. Five (5) working days prior to beginning utility construction, the Contractor shall submit to Construction Coordination Division a detailed construction schedule. Two (2) working days prior to the start of construction, the Contractor shall obtain a barricading permit from County and Contractor shall notify the Construction Coordination Engineer. The Contractor shall occupy any interior City Section or other City Section of the General Consents of the Standard Specifications.
3. An Excavation Permit and Grading and Paving Permit will be required before beginning any work within City of Albuquerque right-of-way.
4. Two working days prior to any excavation, the Contractor shall contact the New Mexico One Call System at 811, for location of existing lines.
5. All street striping altered or destroyed shall be replaced with plastic reflectorized pavement markings by the Contractor. Striping shall be placed in the pre-construction location or as indicated by this plan set.
6. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of existing utilities including existing utilities. Should a conflict exist, the Contractor shall notify the Engineer or Surveyor so that the conflict can be resolved with a minimum amount of delay.
7. The Contractor shall coordinate with the Water Utility Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring alteration of water lines, Transmission Lines or facilities designed and Master Plan facilities must be coordinated with the water authority 14 days in advance of performing such work. Only the Contractor is authorized to create and publish water shut off valves. Shut off valves must be made online at ([http://www.cbwaug.com/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures.aspx](http://www.cbwaug.com/water_shut_off_and_turn_on_procedures.aspx)).
8. Back fill compaction requirements shall be according to residential street use.
9. The Contractor shall assume responsibility for any damage to existing pavement, pavement markings, curbs and gutters, Transmission Lines or facilities designed and Master Plan facilities from those sections indicated for removal on the plans; and shall repair or replace damaged items per City of Albuquerque Standards at the Contractor's own expense.
10. Contractor shall record data on all utility lines and accessories as required by the City of Albuquerque Standards for the preparation of "As Constructed" drawings. Contractor shall not cover utility lines and accessories until all data has been recorded.
11. The Contractor shall notify the Engineer not less than seven (7) days prior to starting work in order that the Engineer may take necessary measures to insure the preservation of survey monuments. Contractor shall not disturb permanent survey monuments without the consent of the Engineer. If the Contractor is unable to locate a monument, the Contractor shall be notified that may be disturbed without permission. Replacement shall be done only by the City Surveyor.
12. The Contractor will be responsible for disposing of all debris, including but not limited to hazardous waste at disposal sites approved by governmental agencies regulating the disposal of such materials.
13. All excavation will be governed by Federal State and Local laws, rules and regulations concerning construction safety and health.
14. All signs and coding will be in accordance with the "Manual of Uniform Traffic Control Devices" 2003 Edition.
15. Contractor will make all water valves and manholes accessible to ABOUAA at all times.
16. The Contractor agrees to take necessary safety precautions as required by Federal, State and Local Authorities to protect pedestrian and vehicular traffic in the construction area, which includes but is not limited to: maintaining adequate warning signs, barricades, lights, guard fences, walks and bridges.
17. All excavating, trenching and shoring activities must be carried out in accordance with OSHA 29CFR 1926.650, Support A.
18. The Contractor shall perform all work in accordance with the National Pollution Discharge Elimination System (NPDES) and site specific Storm Water Pollution Prevention Plan (SWPPP) requirements.
19. The Contractor will confine his work within the construction easement limits and/or right-of-way or provide copies of agreements with adjacent landowners to the City of Albuquerque.
20. The Contractor shall submit field test reports to the Project Engineer for review. Sampling and testing schedule shall comply with plan specifications. The Contractor shall also be responsible for recording any changes on the plans and submit a detailed as-constructed construction project plans (As-Built) to the Design and/or Project Engineer.
21. All curb and gutter removals shall be to nearest existing joint.
22. Tracer wire shall be included for all public water lines and water services. See Technical Specification 33.05 26.23 and Standard Details on sheet 5 of these plans.
23. Electronic marker spheres (EMS) will be placed according to the City of Albuquerque Specifications for Public Works Construction 1986 Edition as revised through Update No. 9.
24. Contractor shall provide the proposed Hydro Testing plans to the WUA Inspectors for approval prior to the beginning test operations.
25. At utility crossings, where less than 18" of vertical separation from storm drain piping or structure exists, the Contractor shall construct (per Section 207 of City of Albuquerque Specifications for Public Works Construction 1986 Edition) shall be used to protect the water or sanitary sewer line. The lean fill shall extend a perpendicular distance of five (5) feet on each

## VICINITY MAP NO. F-14



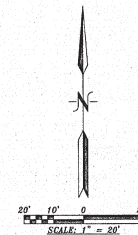
## SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
6A	TITLE SHEET
6B	PUBLIC WATER, FH AND SANITARY SEWER

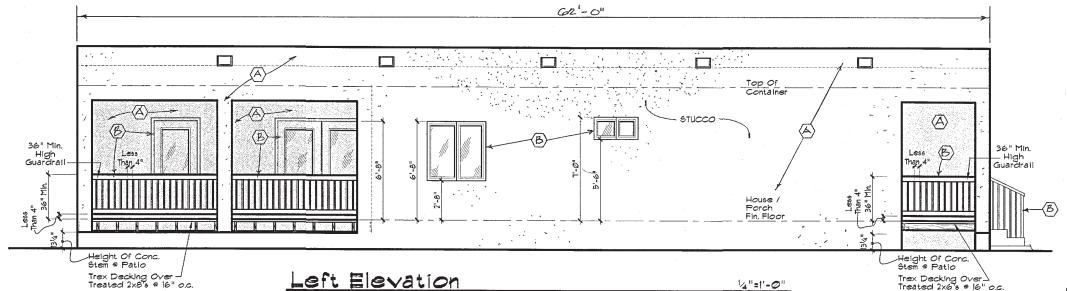
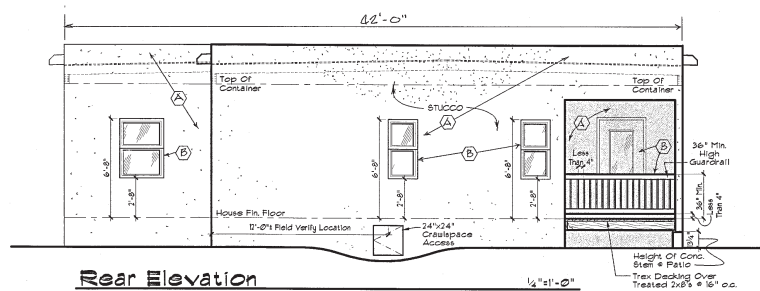
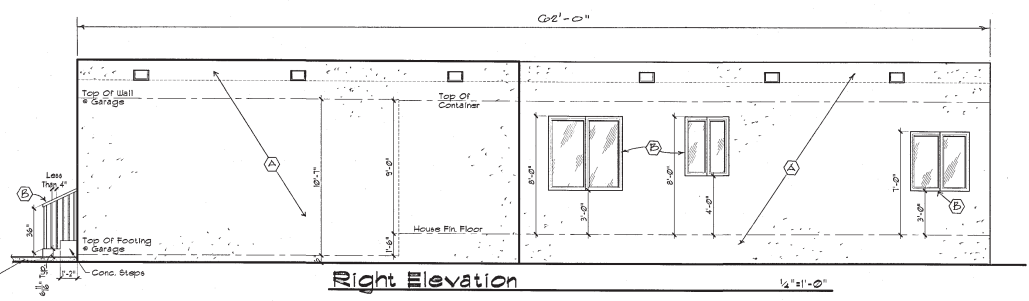
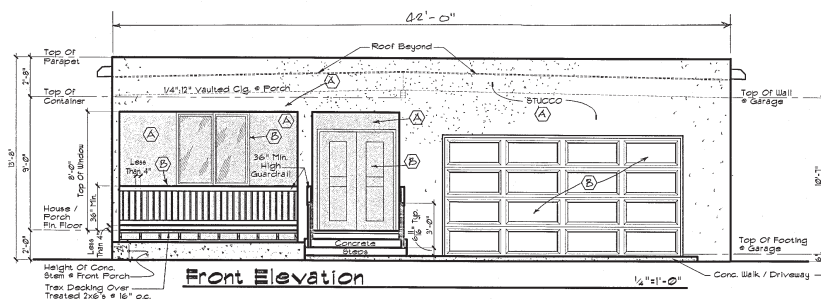
 <div style="display: inline-block; vertical-align: middle;"> <b>BORDENAVE DESIGNS</b>          P.O. BOX 51194, ALBUQUERQUE, NM 87119          (505) 632-1544 FAX (505) 821-0105          JAKEBORDENAVE@COMCAST.NET       </div>											
REV.	SHEETS	USER DEPT.	DATE	USER DEPT.	DATE	USER DEPT.	DATE				
		APPROVAL	ENGINEER		DATE		APPROVED FOR CONSTRUCTION				
DESIGN ENGINEER		ABQWMA PROJECT NO.					SHEET 6A - OF 7				



WITHIN  
ELLENA GALLEGOS GRANT  
SECTION 32, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2020



CURVE	RADIUS	ARC LENGTH	CHORD	CHORD BEARING	DELTA ANGLE
C1	25.00'	34.55'	31.86'	S 28°23'08" E	79°10'47"
C2	25.00'	43.99'	38.53'	N 61°34'59" W	110°07'33"
C3	25.00'	50.66'	43.29'	S 42°02'02" W	89°44'38"
C4	25.00'	39.90'	35.44'	S 56°18'54" W	90°17'17"
C5	21.24'	10.43'	10.32'	S 64°28'33" E	28°07'50"
C6	21.23'	10.43'	10.32'	S 64°30'18" E	28°08'02"



# Floor Plan

AREA	SF
HEATED	1520
GARAGE	481
COVERED PORCH	111
COVERED PATIO	160
TOTAL	2284

## COLOR NOTES :

- (A) STUCCO COLOR : SANDLEWOOD BROWN / EL REY STUCCO
- (B) WINDOW TRIM, DOORS, GARAGE DOORS, PATIO GUARD RAILING / COLOR WHITE

REVISIONS
1.1
2.1
3.1
4.1

DATE  
DRAWN  
5-4-2020

EXTERIOR  
ELEVATIONS

**Pisio's**  
Drafting & Design  
Pisio's Drafting & Design  
Email: pisiodrafting@gmail.com

CUSTOM HOME  
ADDRESS  
LOT, BLOCK, ETC.  
CITY, STATE

