



## ***Environmental Planning Commission***

***Agenda Number:04  
Project #: PR-2018-001734  
VA-2020-00375  
Hearing Date: January 21, 2020***

### ***Staff Report***

<b><i>Agent</i></b>	Self
<b><i>Applicant</i></b>	Frank J. and Clarissa J. Gonzales
<b><i>Request</i></b>	<b>Variance – EPC</b>
<b><i>Legal Description</i></b>	Tract 1 Block 11, Volcano Cliffs Subdivision, Unit 18
<b><i>Location</i></b>	7828 Aguila St. NW 87120, between Petirrojo Rd. NW, and Aguila St. NW,
<b><i>Size</i></b>	Approximately ( $\approx$ ) 0.38 acre
<b><i>Zoning</i></b>	R1-D

### ***Staff Recommendation***

***APPROVAL of VA-2020-00375, based on the Findings beginning on p. 20 and subject to the Condition of Approval beginning on p. 23.***

***Staff Planner  
Sergio Lozoya, Current Planner***

### ***Summary of Analysis***

The request for a Variance – EPC for a future dwelling located at 7828 Aguila St. NW (the subject site). The Variance – EPC request is for a proposed structure (single family dwelling) to be built in the Northwest Mesa Escarpment VPO (VPO-2). Pursuant to IDO subsection 14-16-3-6(E)(2). The purpose of this VPO is to protect views looking to and from the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa.

The applicant is requesting the height variance for their home, which highest point measures 17.5 feet from natural grade (15 feet is the max structure height in VPO-2). Additional height may be requested through a Variance – EPC pursuant to IDO subsection 14-16-6-6(M). Staff finds that the applicant has satisfied the requirements for a Variance-EPC. As of this writing Staff has received correspondence in support of this request from neighboring property owners.

Staff recommends approval.





**Hearing Date:**  
**January 21, 2021**

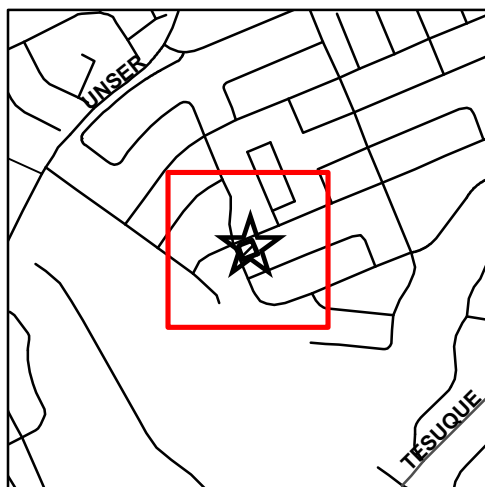
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**Case Numbers:**  
**VA-2020-000375**

0 150 300 Feet







## IDO ZONING MAP

Note: Gray shading  
indicates County.



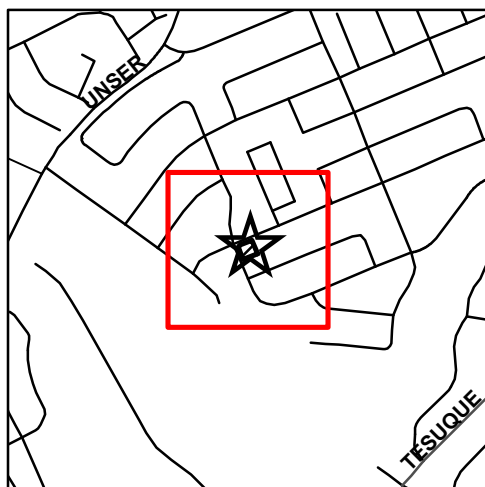
1 inch = 175 feet

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## LAND USE MAP

Note: Gray shading indicates County.

Key to Land Use Abbreviations	
LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base



1 inch = 175 feet

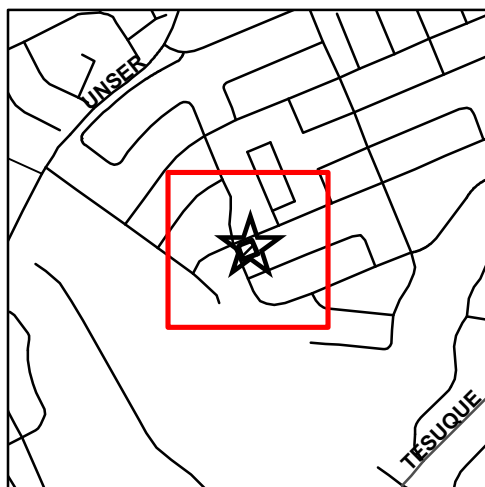
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## HISTORY MAP

Note: Gray shading  
indicates County.



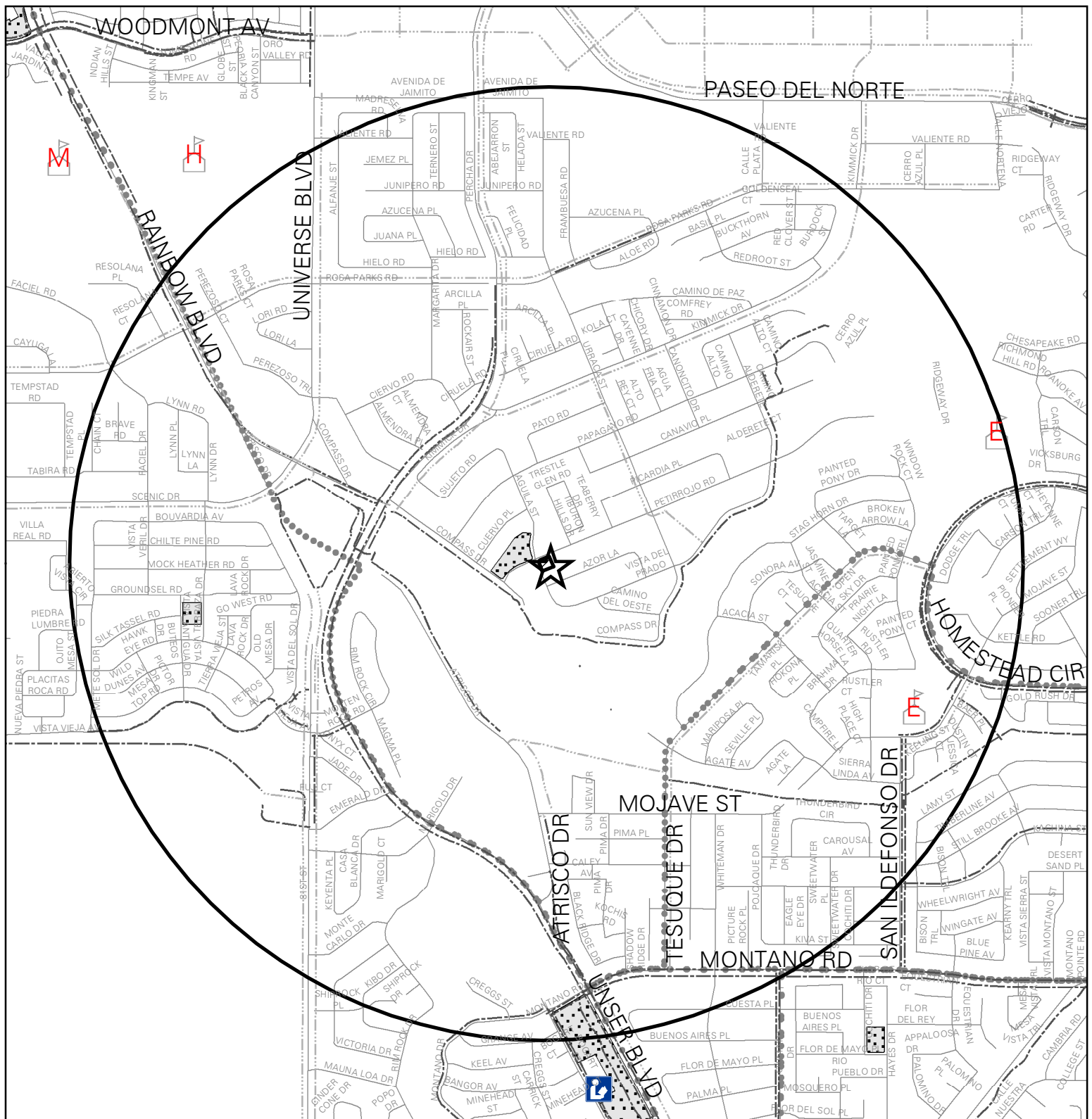
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Hearing Date:  
1/2

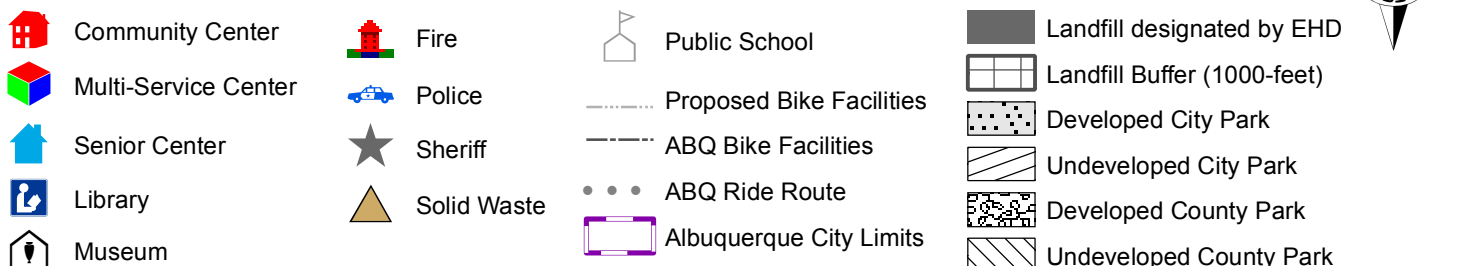
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## Public Facilities Map with One-Mile Buffer





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Attachments

## **I. INTRODUCTION**

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	R1-D	Consistency	Vacant/Low Density Residential
<b><i>North</i></b>	R1-D	Consistency	Vacant/Low Density Residential
<b><i>South</i></b>	R1-D	Consistency	Vacant/Low Density Residential
<b><i>East</i></b>	R1-D	Consistency	Vacant/Low Density Residential
<b><i>West</i></b>	R1-D	Consistency	Vacant/Low Density Residential

### ***Request***

The applicant, Frank J. and Clarissa J. Gonzales are requesting the height variance for their home, which highest point measures 17.5 feet from natural grade. Pursuant to IDO subsection 14-16-3-6(E)(3)(c), additional height may be requested through a Variance – EPC pursuant to IDO subsection 14-16-6-6(M). Pursuant to IDO subsection 14-16-3-6(E)(3)(c)1, no structure shall exceed 19 feet in height from the finished grade, inclusive of any variance granted. The additional requirements for EPC – Variance shall be discussed later in this report.

The requested Variance-EPC is for a home that is currently under building permit review (BP-2020-39365). The building permit is on hold pending the decision made by the Environmental Planning Commission (EPC).

The proposed dwelling is located at 7828 Aguila St. NW, which is in the Northwest Mesa Escarpment VPO (VPO-2). Pursuant to IDO subsection 14-16-3-6(E)(2), the purpose of this VPO is to protect views looking to and from the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa. One way in which these views are protected is by limiting building height. Pursuant to IDO subsection 14-16-3-6(E)(3)(a), structure height shall not exceed 15 feet as measured from natural grade.

### ***EPC Role***

The Environmental Planning Commission (EPC) is hearing this case pursuant to the IDO subsection 14-16-6-6(M) Variance - EPC, which addresses applications for Variances from any development standards in the IDO, including Variances for the 15-foot structure height limit in the Height Restriction Sub-Area of the Northwest Mesa Escarpment – VPO-2. IDO Subsection 14-16-3-6(E)(3)(c) also indicates that any request for height variance will be decided by EPC.

Pursuant to IDO subsection 14-16-6-6(M)(2), staff will review the application and forward a



recommendation to the EPC pursuant to all applicable provisions of Section 14-16-6-4 (General Procedures). The EPC shall conduct a public hearing and decide on the application pursuant to all applicable provisions of Section 14-16-6-4 (General Procedures). This is a quasi-judicial matter.

### ***History/Background***

The subject site has a case history with the Development Review Board (DRB) and the Zoning Hearing Examiner (ZHE). Project number 2018-0017345 was first reviewed by the ZHE in 2018. The original request was for a variance to allow a larger lot size in the Northwest Mesa Escarpment area. The applicant intended to combine the subject site, Tract 1 Block 11, Volcano Cliffs Subdivision, Unit 18, with the neighboring parcel Tract 2 Block 11, Volcano Cliffs Subdivision, Unit 18. The ZHE recommended approval of the variance to allowable lot size, but the DRB was required to hear the case because it is the body charged with subdivision actions (removal of lot line). However, the DRB did not take final action. As of May 22, 2019, the case for combining the subject site with the neighboring property was indefinitely deferred as the applicant failed to show up to several hearings throughout 2019. The subject site is now under new ownership under Frank and Clarissa Gonzales. The subject site has not previously been before the EPC.

### ***Context***

The approximately 0.38-acre site is located on the southeast corner of Aguila St NW, and Petirrojo Rd NW. This area is highly residential. The subject site is surrounded in all directions by low density residential land zoned R1-D. The subject site is caddy cornered to the Petroglyph Estates Park. This area is zoned mostly as R1-D with low density development land uses, particularly, single family housing.

### ***Comprehensive Plan Designations***

The subject site is designated as an Area of Consistency. The subject site is not located in a major activity center. Though the site is not directly adjacent to a Comprehensive Plan Corridor, it is near Unser Blvd. which is designated as a Commuter Corridor. Pursuant to the Comprehensive Plan: "Commuter Corridors are higher-speed and higher-traffic volume with routes for people going across town e.g., limited-access roadways). These Corridors accommodate faster and longer trips for personal vehicles, commuter bus service, and often bicycling".

The subject site is within a View Protection Overlay (VPO) via IDO subsection 3-6 (E) – Northwest Mesa Escarpment View Protection Overlay (VPO) 2. The intent of this VPO is to protect views looking to and from the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa. The subject site is also protected by Character Protection Overlay 12 – Volcano Mesa. However, the height restrictions of VPO-2 supersede the CPO-12 regulations, as such, the focus of this analysis will be on the VPO-2 regulations.

### ***Roadway System***

The Long Range Roadway System (2040 LRRS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), includes existing roadways and future, proposed roadways.

The LRRS map classifies Unser Blvd as a Regional Principal Arterial. Petirrojo Rd NW, and Aguila Dr NW are both classified as local roads.

***Trails/Bikeways***

The Long-Range Bikeway System (LRBS) map, produced by the Mid-Region Metropolitan Planning Organization (MRMPO), identifies existing and proposed bicycle and trail facilities. There is a small portion of a proposed paved path on a small portion of Petirrojo Rd NW. The proposed trail will serve as a connector from an existing paved path to the bike lane on Unser Blvd.

***Transit***

The nearest routes to the subject site are ABQ Ride Route 162 – C.N.M West Campus – Coors @ Montano Plaza and ABQ Ride Route 94 – Unser Express. Both routes are in operation Monday through Friday and run along Unser Blvd. Both routes are suspended due to the COVID Pandemic.

***Public Facilities/Community Services***

Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services within one mile of the subject site.

***II. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES***

***Integrated Development Ordinance (IDO)***

***Definitions***

**Building Height**

The vertical distance above the grade at each façade of the building, considered separately, to the top of the coping or parapet on a flat roof, whichever is higher, to the deck line of a mansard roof, or to the average height between the plate and the ridge of a hip, gable, shed, or gambrel roof. The height of a stepped or sloped building is the maximum height above grade of any distinct segment of the building that constitutes at least 10 percent of the gross floor area of the building.

**Corner Lot**

A lot located at the intersection of and having frontage on 2 or more streets.

**Escarpment**

Land with 9 percent slope or more and considered sensitive land, where development is discouraged. The Northwest Mesa Escarpment is part of the Petroglyph National Monument, which is also designated as Major Public Open Space.

**Grade**

1. The average of the approved ground levels immediately adjacent to each façade of a building, considered separately; where an earth embankment is placed against the side of a building or a retaining wall supporting a terrace is placed close to a building, grade shall be measured



from the toe, or bottom, of the embankment or retaining wall; building floor level is irrelevant.

2. The elevation of the finished, approved ground level at all points along a wall or fence. Approved grade shall be no higher than the specified elevation on the grading plan approved by the City in conjunction with subdivision or site development plan approval; in the absence of such approved plans, original natural grade applies.

#### Area of Consistency

An area designated as an Area of Consistency in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended, where development must reinforce the character and intensity of existing development.

#### **Zoning**

The subject site is zoned R1-D (Residential – Single-Family Zone District), a zoning designation received upon adoption of IDO in May 2018. The subject site was formerly zoned SU-2 for Volcano Cliffs Large Lot.

The purpose of the R-1 zone district is to provide for neighborhoods of single-family homes on individual lots with a variety of lot sizes and dimensions. When applied in developed areas, an additional purpose is to require that redevelopment reinforce the established character of the existing neighborhood. Primary land uses include single-family detached homes on individual lots, with limited civic and institutional uses to serve the surrounding residential area.

Other allowable uses include: Dwelling, single-family detached, Dwelling, cluster development, Dwelling, cottage development, Dwelling, two-family detached (duplex), Community residential facility, small, Community center, Religious institution, and Community garden.

#### ***Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)***

The 2017 Albuquerque/Bernalillo County Comprehensive Plan contains overarching Guiding Principles, Goals, and Policies that embody a vision for development and service provision in the City and County.

The subject site is in an Area of Consistency, as designated by the Comprehensive Plan. Areas of Consistency will be protected by policies to limit densities, new usages, and negative impacts from nearby development. While these areas may see some infill development and new uses, new development or redevelopment will need to be compatible in scale and character with the surrounding area. Areas of Consistency include but are not limited to single-family residential zones and parcels with single-family residential uses, Parks, Open Space, and golf courses.

Applicable Goals and policies are listed below, followed by Staff analysis in ***bold italic*** text. Though IDO 14-16-6-6(M)(3)(c) does not expressly require a Comprehensive Plan Policy Analysis, Staff provides a brief analysis in support of.

Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

*The subject site is located within an Area of Consistency, CPO-12 Volcano Mesa, and VPO-2 Northwest Mesa Escarpment. These protections all ensure that this home be built in a way that protects the surrounding properties and general neighborhood. The subject site maintains the general requirements in both CPO-12, and VPO-2. The proposed development is in line with the character and will enhance, protect, and preserve the surrounding community. The analysis of the view impact below indicates that the surrounding public views to and from the escarpment, to the Volcano's, and to the Sandia Mountains will be maintained. The request is consistent with Goal 4.1-Character.*

Policy 4.1.4 - Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

*The proposed project will contribute to this goal by fulfilling the intent of the planned development on the Westside. This proposed project will contribute to the neighborhood. The new home ensures development consistent with Areas of Consistency, which is intended for residential, largely single-family home, development. Since this area is largely undeveloped, it will gain strength and vitality as more homes are built out. The variance in height is done in such a way that maintains major public views, which are key to long-term health and vitality. The request is consistent with Policy 4.1.4 – Neighborhoods.*

#### *Chapter 5: Land Use*

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers of Corridors, parks, and Major Public Open Space.

*The proposed housing project will be a welcome addition to the Volcano Mesa CPO. At this moment, this subdivision is largely undeveloped, and this addition will strengthen the neighborhood and will be consistent with the surrounding homes. Several neighbors are in support of this project and are welcoming of the new addition to their neighborhood. The key assets of this neighborhood including the protected views of the Volcanoes, to and from the escarpment, and to the Sandia Mountains will be maintained. The analysis of the view impact later in this report demonstrate that the requested addition in height will maintain these views and cause no more of an impact the allotted 15' height. The request is consistent with Policy 5.6.3 Areas of Consistency.*

#### *Chapter 7: Urban Design*

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

*A key asset of this neighborhood are the protected views of the Volcanoes, to and from the escarpment, and to the Sandia Mountains. The analysis of the view impact below indicates that the requested addition in height will maintain these views and cause no more of an impact the allotted 15' height. The request is consistent with Policy 7.3.2 Community Character.*



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***Variance-EPC Review & Decision Criteria***

The EPC shall approve an application for a Variance from the 15-foot structure height limit in the Height Restriction Sub-area in Subsection 14-16-3-6(E)(3) (Northwest Mesa Escarpment – VPO-2) if it meets all of the following criteria:

**6-6(M)(3)(c) 1. Hardship**

The intent of the view regulations in Section 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) must be met. The burden is on the applicant to demonstrate that strict adherence to VPO-2 building height regulations would render the lot undevelopable because of physical and/or engineering constraints (e.g. rock outcroppings, street grades, ADA compliance, utility design, etc.).

***The applicant has demonstrated the above required hardship in their application. The applicant provided proof that the City of Albuquerque developed this area with drain paths leading to a storm drain near the intersection Aguila Rd and Petirrojo Dr. (directly in front of the subject site). This design generally lowered the height of Aguila Rd and Petirrojo Dr as compared to the rest of the Volcano Cliffs Subdivision. Considering the conditions, the height of the subject lot was built at the lowest elevation possible to accommodate the nearby storm drains. Any lowering of the lot would rend it unbuildable due to flooding caused by run off stormwater.***

**2. Visual Impact**

The impact of the proposed development on views to and from the escarpment will be the same as, or less than, the impact if the 15-foot height limit were met.

***The applicant has provided sufficient evidence that the proposed development will have a visual impact that will be the same as, or less than, the impact if the 15-foot height limit were met. A thorough analysis of visual impact studies including, site sections, site elevations, site plans, and view corridors are provided in section III of this report.***

**III. VARIANCE-EPC**

***Request***

The requested height variance is for a home that is currently under building permit review (BP-2020-39365). The building permit is on hold pending the decision made by the EPC.

The proposed dwelling is located at 7828 Aguila St. NW 87120, which is in the Northwest Mesa Escarpment VPO (VPO-2). Pursuant to IDO subsection 14-16-3-6(E)(2), the purpose of this VPO

is to protect views looking to and from the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa. One way in which these views are protected is by limiting building height. Pursuant to IDO subsection 14-16-3-6(E)(3)(a), structure height shall not exceed 15 feet as measured from natural grade.

The applicant is requesting the height variance for their home, which highest point measures 17.5 feet from natural grade. Pursuant to IDO subsection 3-6(E)(3)(c), additional height may be requested through a Variance – EPC pursuant to IDO subsection 6-6(M). The max additional height requested pursuant to IDO subsection 3-6(E)(3)(c)1, no structure shall exceed 19 feet in height from the finished grade, inclusive of any variance granted. The additional requirements for EPC – Variance are discussed, below.

***Procedure***

Pursuant to IDO section 6-6(M)(2)(e) Requests for a Variance to structure heights in Subsection 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) shall at a minimum include all of the following:

1. Site plans, site elevations, and site sections showing the location of the major public views (i.e. views from the site perimeter or nearest public road to the east, west, south, and north property lines and views to the escarpment), 2. View plane exhibits that illustrate the expected impact of structure height on major public views given the relationship of slopes, building heights, setbacks, escarpment height, and view corridors. 3. Analysis and demonstration of at least 1 of the techniques required by Subsection 14-16-3-6(E)(3) (i.e. height/slope, view corridors, or height/slope/setback) to minimize the impact of additional structure height on views to and from the escarpment. 4. A Grading and Drainage Plan that has been approved by the City Engineer.

These documents were provided by the applicant, a thorough review, analysis, and discussion of the provided materials is done in the following paragraphs.

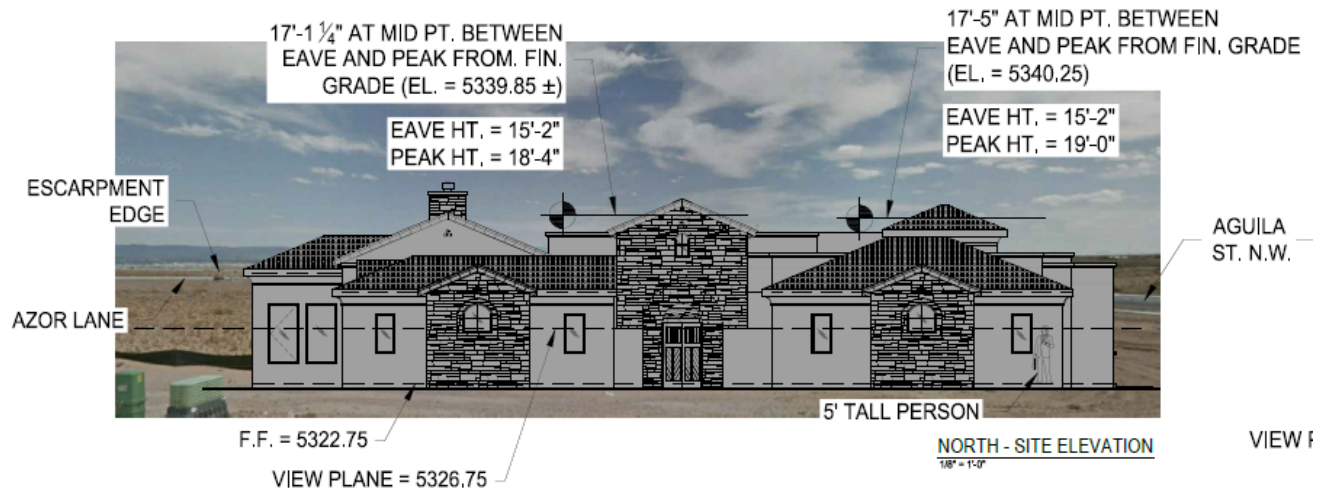
***Site Plans***

The applicant has provided two types of site plans, one showing the subject site and the footprint of the house on the site. It is used to show the position in which the elevation and section views are taken. The house is centered on the site, and there is little room for adjustment of the positioning of the footprint of the house.

The additional site plan labeled “Aerial View” on sheet for of the drawing set, shows where additional view can be taken from the nearby Petroglyph Monument Park. This park has pedestrian pathways and is a likely point of interest where residents of this area will be taking in views to the and from the escarpment edge, the Volcano, and the Sandia Mountains.

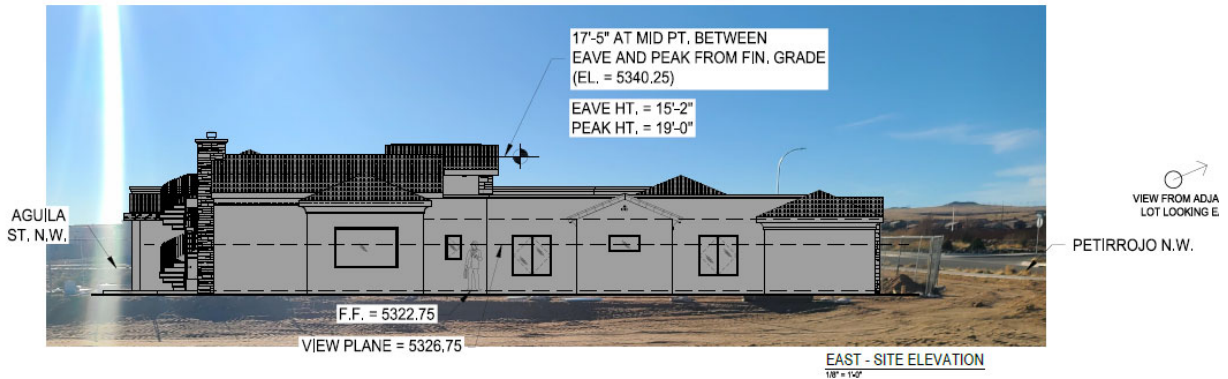
***Site Elevations***

***North Elevation***



The North Elevation drawing of the subject site demonstrates the visual impact of the views looking south towards the proposed home. One can see that the southern portion of the Sandia Mountains are still visible to the east, though this portion of the Sandia Mountains is significantly lower than the peak. This drawing shows that the visual impact is not greater were the building be at or under the 15-foot height limit. The Boca Negra Canyon is south of the subject site. The distance to the escarpment from the subject site is such that the view of the Boca Negra Canyon is already blocked by the escarpment edge. The structure does not add additional impediment to the view, nor does the additional structure height.

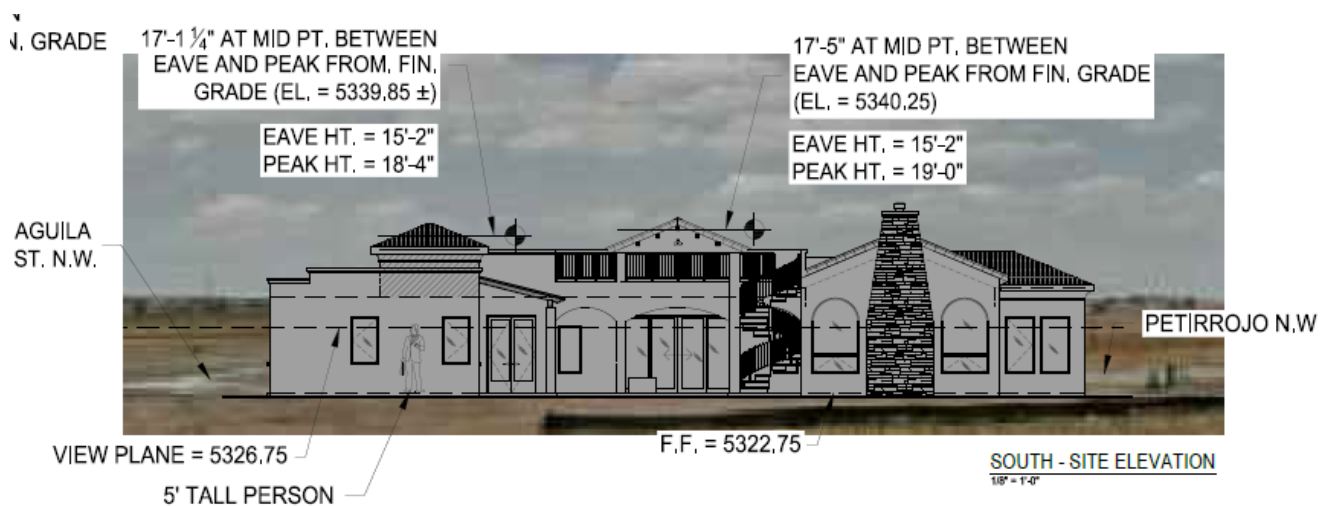
*East Elevation*



The East Elevation drawing of the proposed structure demonstrates the views looking westward to the eastern face. In this direction, one is looking westward towards the Volcanoes. From this view, the height difference does not create more of an impact to the view to the Volcano. Some Volcanoes are still visible north of the structure. The lower portion of the house is still higher than the volcano that is still visible, thus demonstrating that the additional height does not create additional impact.

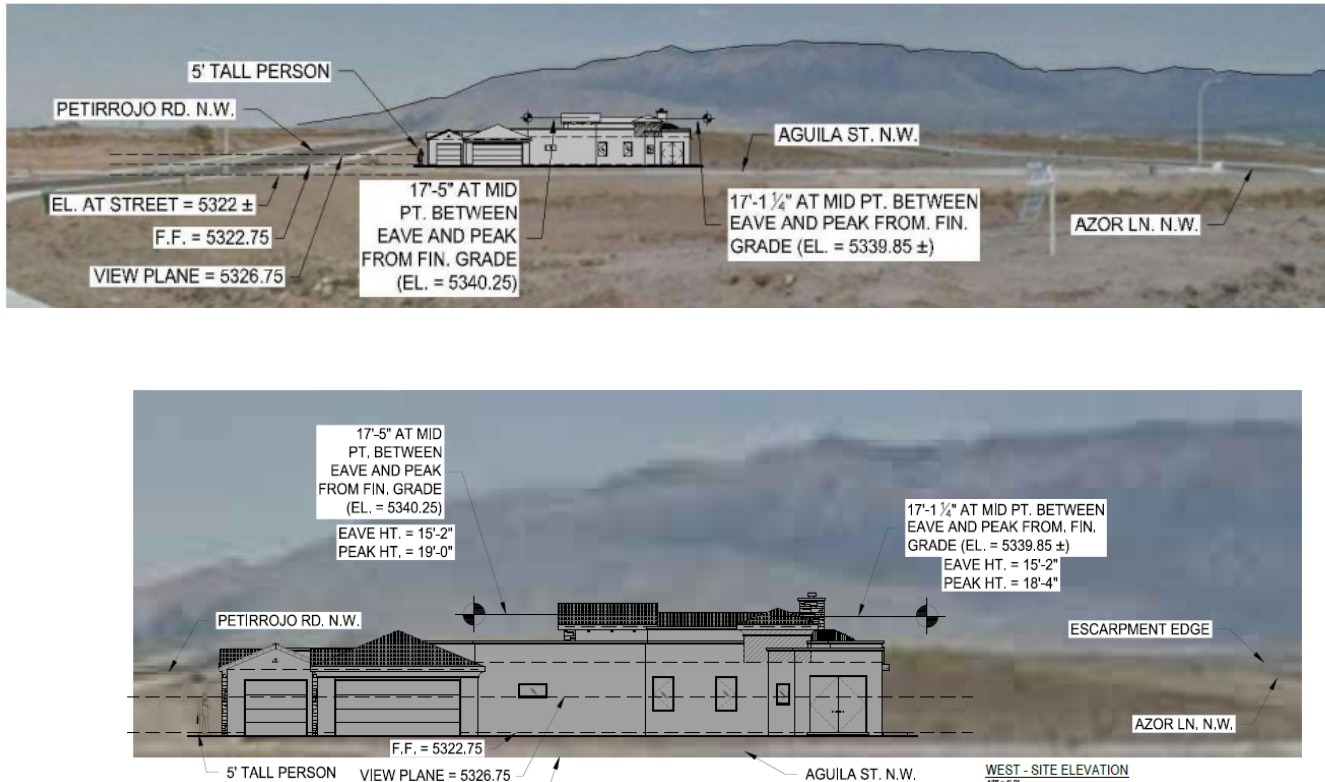
*South Elevation*

The South Elevation drawing of the proposed structure demonstrates the views looking northward to the southern face of the building. There are no major public views in this direction.





*West Elevation*



The West Elevation drawing of the proposed structure demonstrates the views looking eastward to the western face of the building. It was recommended that the applicant take the western elevation from a viewpoint that is further away from the building as to accurately represent someone looking towards the mountains in this direction. The Northwestern Mesa VPO-2 view plane analysis standards are less developed than the Coors Blvd VPO-1 standards. The applicant and city staff worked together to come to an agreement as to what should be shown in the drawings. The structure does not pierce the ridge line of the Sandia's from this viewpoint and leaves the view largely unobstructed.

***Site Sections***

The purpose of the site section drawings is to demonstrate the impact of the structure on views to and from the escarpment, from points of interest at the base of the escarpment, and points of interest near the escarpment edge. This is achieved as it demonstrates relationships between the heights of and distances between the proposed structure, escarpment edge, escarpment base, and nearby viewpoints. The site sections will be reviewed individually after this summary. Upon review, the drawings demonstrate that subject site is typically 900 feet or more away from the escarpment edge. This distance, in addition to the additional distance from the base of the escarpment to the point of interest is shown to mitigate any impact on the view to and from the escarpment, from points of interest nearby.

*North Site Section*

The North Site Section drawing is looking southward to the northern face of the proposed structure. The section displays the elevations of various points of the site, escarpment, and nearby viewpoints. The finished floor is at roughly 5322.25' in elevation, the distance from the site to the escarpment edge varies but the drawing is shown at roughly 2,700' from the escarpment edge. The midpoint from the subject site to the escarpment edge has an elevation of 5342' (taken at the right of way, Urraca NW), the escarpment edge has an elevation of 5314'. The escarpment base has an elevation of 5220' and the viewpoint is taken from homes at Painted Pony NW, looking up towards the escarpment edge. The site section clearly demonstrates that the proposed site does not obstruct the view looking up toward the escarpment as it is at such a great distance from the escarpment edge. The subject site dips lower than the average height of the top of the escarpment edge, further lending itself to unobstructed views. The Subject site is roughly 100' higher than the escarpment base, and at this point is roughly 2,700' from the escarpment edge, these two elements combined ensure unobstructed views to and from the escarpment. This also clearly demonstrates that the requested additional 2'-5" in height does not increase the impact on the views.

*East Site Section*

The East Site Section drawing is looking westward to the eastern face of the proposed structure. The section displays the elevations of various points of the site, escarpment, and nearby viewpoints. The finished floor is at roughly 5322.25' in elevation, the distance from the site to the escarpment edge varies but the drawing is shown at roughly 650' from the escarpment edge. The escarpment edge has an elevation of 5324'. The escarpment base has an elevation of 5225' and the viewpoint is taken from walking paths at Open Space, looking up towards the escarpment edge. The site section clearly demonstrates that the proposed site does not obstruct the view looking up toward the escarpment as it is at such a great distance from the escarpment edge. The Subject site is roughly 100' higher than the escarpment base, and at this point is over 1,225' from the escarpment edge, the difference in height and distances to and from the escarpment ensure unobstructed views from below.

*South Site Section*

The South Site Section drawing is looking northward to the southern face of the proposed structure. The section displays the elevations of various points of the site, escarpment, and nearby viewpoints. The finished floor is at roughly 5322.25' in elevation, the distance from the site to the escarpment edge varies but the drawing is shown at roughly 2,700' from the escarpment edge. The midpoint from the subject site to the escarpment edge has an elevation of 5342' (taken at the right of way, Urraca NW), the escarpment edge has an elevation of 5314'. The escarpment base has an elevation of 5220' and the viewpoint is taken from Painted Pony NW, looking up towards the escarpment edge. The site section clearly demonstrates that the proposed site does not obstruct the view looking up toward the escarpment as it is at such a great distance from the escarpment edge. The subject site dips lower than the average height of the top of the escarpment edge, further lending itself to unobstructed views. The Subject site is roughly 100' higher than

the escarpment base, and at this point is roughly 2,700' from the escarpment edge, these two elements combined ensure unobstructed views.

#### *West Site Section*

The West Site Section drawing is looking eastward to the western face of the proposed structure. The section displays the elevations of various points of the site, escarpment, and nearby viewpoints. The finished floor is at roughly 5322.25' in elevation, the distance from the site to the escarpment edge varies but the drawing is shown at roughly 900' from the escarpment edge.



The escarpment edge has an elevation of 5320'. The escarpment base has an elevation of 5220' and the viewpoint is taken from homes on Moon Shadows N.W, looking up towards the escarpment edge. The site section clearly demonstrates that the proposed site does not obstruct the view looking up toward the escarpment as it is at such a great distance from the escarpment edge. The Subject site is roughly 100' higher than the escarpment base, and at this point is over 900' from the escarpment edge, the difference in height and distances to and from the escarpment ensure unobstructed views of the escarpment.

#### *View Corridors*

The applicant has provided a view corridor analysis, taking several viewpoints from around the subject site to major public views. There are three total view corridors taken into consideration, looking towards the Volcano's, and the Sandia Mountains. The view corridors are looking southeast towards the subject site from Petroglyph Estates Park, looking west from Petirrojo Rd N.W. (nearest public street), and looking east from Compass N.W.



VIEW CORRIDOR - LOOKING SOUTHEAST FROM PARK  
NOT TO SCALE

*View to Southeast from Park*

The view corridor from Petroglyph Estates Park looking southeast toward the subject site clearly demonstrates that the views to the escarpment edge, and to the Sandia Mountain range are still intact. It is likely that those living in this neighborhood would spend time at the park and visit the park to enjoy the many public views available to them. The additional requested height has no additional impact on the views, should it be granted.





VIEW CORRIDOR - LOOKING WEST FROM PETIRROJO  
NOT TO SCALE

*View to West from Petirrojo Rd N.W.*

This view is taken looking west from Petirrojo Rd N.W. It is from the nearest public right of way and is likely representative of residents driving or walking to and from the Petroglyph Estates Park. It demonstrates that the view of the Volcano's are largely unobstructed, and the additional height requested makes no more of an impact on the views of the allowed 15' height.

*View to East from Compass N.W.*

This view is taken looking east from Compass N.W., also demonstrates little to no impact on the view to the Sandia Mountains. This view would be taken in by those driving or walking to and from Petroglyph Estates Park. This park was taken into consideration as it is the nearest public open space to the subject site, and those who live in this neighborhood would likely visit this park to take in the many views available to them. As shown in the analysis below, the additional height requested makes no greater of an impact on the view than the allotted 15'-0" height in this area.



VIEW CORRIDOR - LOOKING EAST FROM COMPASS N.W.  
NOT TO SCALE

### *View Analysis Conclusion*

As shown in the images above, the impact of the requested additional 2'-5" in height is no greater than the allotted 15'-0" in this area. The views to the escarpment are preserved, as well as views to the Sandia Mountains and to the Volcano's. The views were taken from the nearest public open space Petroglyph Estates Park. This park has several trails, and open space for residents of this area to take in the many views available to them. The view corridors show that the proposed variance of additional 2'-5" to the structure (total height of 17'-5") has no additional impact to the views available to residents of the area.

Considering the site elevations, site sections, and view corridor analysis the applicant has provided sufficient evidence that the impact of the additional height of 2'-5" for a total height of 17'-5" of the proposed structure leave views to and from the escarpment, to the Sandia

Mountains, and to the Volcano's intact. Therefore, Staff concludes that the requirements for Variance-EPC have been adequately fulfilled.

#### ***IV. AGENCY & NEIGHBORHOOD CONCERNS***

##### ***Reviewing Agencies***

Long Range planning staff endorse the variance request as the applicant has justified the Variance-EPC pursuant to IDO section 14-16-6-6(M) with the exception that no view analysis was provided. A view analysis must be provided as quickly as possible. Long Range Planning Staff indicate that the request is below the 19-foot allowance, measured from finished grade, for EPC variances. Long Range also discusses the varied heights in the roof line and indicate that the impact on the view would be minimal, considering the existing road elevation, and the project will conform to surrounding heights and character. Barring an analysis that demonstrates a significant impact on views, Long Range sees no issues with the request.

At the time of review, a view analysis had not been provided by the applicant. The applicant has since provided said view analysis and it has been reviewed by Staff. Staff has found the view analysis to be sufficient.

No other agencies commented on this case.

##### ***Neighborhood/Public***

Notification requirements are found in 14-16-6, in the Procedures Table 6-1-1 and are further explained in 14-16-6-4(K), Public Notice. The affected, registered neighborhood organization is the Westside Coalition of Neighborhood Associations. The applicant also notified property owners within 100-feet of the subject site's boundaries as required.

The applicant has posted proper notice for the EPC hearing, at the time of this report, the sign notice has been posted.

One member of Westside Coalition of Neighborhood Associations expressed gratitude for being notified and was not in opposition of the variance request. Several other neighbors expressed support for the variance request, indicating that this "is of minimal impact to our homes and ... they should be allowed to proceed in building their home and be given the variance". Another neighbor wrote, "we feel the variance they are seeking will not affect our lot in a negative way. We hope this email will help in your decision to allow the owners to move forward in their build". Lastly, another neighbor expressed that they "have no issue with the request". Overall, the Westside Coalition of Neighborhood Associations and several neighbors have expressed their support for this project.

#### ***V. CONCLUSION***

The request is for a height variance of an additional 2 feet and 5 inches for a total height of 17' feet and 5 inches for a proposed home that is currently under building permit review (BP-2020-

39365). The proposed dwelling is located at 7828 Aguila St. NW 87120, which is in the Northwest Mesa Escarpment VPO (VPO-2). Pursuant to IDO subsection 14-16-3-6(E)(2), the purpose of this VPO is to protect views looking to and from the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa. One way in which these views are protected is by limiting building height. Pursuant to IDO subsection 14-16-3-6(E)(3)(a), structure height shall not exceed 15 feet as measured from natural grade.

The applicant is requesting the height variance for their home, which highest point measures 17 feet and five inches from natural grade. Pursuant to IDO subsection 14-16-3-6(E)(3)(c), additional height may be requested through a Variance – EPC pursuant to IDO subsection 14-16-6-6(M). Pursuant to IDO subsection 14-16-3-6(E)(3)(c)1, no structure shall exceed 19 feet in height from the finished grade, inclusive of any variance granted.

Considering the site elevations, site sections, and view corridor analysis the applicant has provided sufficient evidence that the impact of the additional height of 2'-5" for a total height of 17'-5" of the proposed structure leave views to and from the escarpment, to the Sandia Mountains, and to the Volcano's intact. Therefore, Staff concludes that the requirements for Variance-EPC have been adequately fulfilled and recommends approval.



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***FINDINGS – VA-2020-00375, January 2021-Variance-EPC***

1. This request is for a variance to the 15-foot height limit in the Northwest Mesa Escarpment VPO-2 for a property described as Tract 1 Block 11, Volcano Cliffs Subdivision, Unit 18 owned by Clarissa and Frank Gonzales, located at 7828 Aguila St N.W., at the corner of Petirrojo Rd NW and Aguila St NW, approximately 0.38 acre.
2. The subject site is zoned R1-D (Residential - Single-Family Zone District). The purpose of the R-1 zone district is to provide for neighborhoods of single-family homes on individual lots with a variety of lot sizes and dimensions. An additional purpose is to require that redevelopment reinforce the established character of the existing neighborhood.
3. The applicant is requesting a variance to the 15-foot structure height limit in the Height Restriction Sub-Area of the Northwest Mesa Escarpment – VPO-2. The request is for an additional 2-feet and 5 inches for a total of 17 feet. The maximum height allowed through the Variance-EPC process in the Northwest Mesa Escarpment – VPO-2 is 19 feet.
4. The EPC has the authority to review the Variance – EPC for conformance to applicable IDO height development standards, including variances for the 15-foot structure height limit in the Height Restriction Sub-Area of the Northwest Mesa Escarpment – VPO-2. IDO Subsection 14-16-3-6(E)(3)(c) also indicates that any request for height variance will be decided by EPC, which will make its decision pursuant to 14-16-3-6(E)(3) 1 and 14-16-3-6(E)(3) 2.
5. The applicant is required to provide all the necessary materials, including architectural drawings, described in 14-16-6-6(M)(2)(e) for review.
6. The subject site is in an Area of Consistency and is not located on a corridor or center as designated by the Comprehensive plan.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request meets the Variance – EPC Review & Decision Criteria in IDO section 14-16-6-6(M)(3)(c) 1 & 2 as follows:
  - A. 6-6(M)(3)(c) 1. Hardship: As demonstrated by the review of the grading and drainage plan for the subject site and surrounding area, the applicant has demonstrated that the elevation of the roadway adjacent to the site was built at a lower elevation than the surrounding subdivision. Considering the conditions, the height of the subject lot was built at a low elevation to accommodate the nearby storm drains.

- B. 6-6(M)(3)(c) 2 Visual Impact: The applicant has provided sufficient evidence that the proposed structure will have a visual impact that will be the same as, or less than the impact if the 15-foot height limit were met.
9. The request meets the Variance – EPC Procedure requirements pursuant to 14-16-6-6(M)(2)(e) 1 through 14-16-6-6(M)(2)(e) 4 as follows:

A. 14-16-6-6(M)(2)(e) 1: Site plans, site elevations and site sections showing the location of the major public views.  
The applicant has provided all required architectural drawings pursuant to 14-16-6-6(M)(2)(e) 1.

B. 14-16-6-6(M)(2)(e) 2: View plan exhibits that illustrate the expected impact of structure height on major public views given the relationship of slopes, building heights, setbacks, escarpment height, and view corridors.

The applicant has provided such exhibits pursuant to IDO subsection 6-6(M)(2)(e) 1, the view plan is shown on the site elevations and demonstrates the relationships of slopes, building heights, setbacks, escarpment height, and view corridors.

C. Analysis and demonstration of at least 1 of the techniques required by Subsection 14-16-3-6(E)(3) (i.e. height/slope, view corridors, or height/slope/setback) to minimize the impact of additional structure height on views to and from the escarpment.

The applicant has demonstrated that a naturally occurring height and slope technique is occurring on site as the subject site is lower than the surrounding properties and the streets Petirrojo Dr and Aguila St slopes downward toward the site. This combined with a lower elevation of the sight create a Height/Slope scenario. Also, the drawings provided demonstrate that several view corridors remain intact and that the structure will have minimal impact on existing major public views.

D. A Grading and Drainage Plan that has been approved by the City Engineer.  
The applicant has provided a Grading and Drainage Plan that has been approved by the City Engineer.

10. The request is consistent with the following Comprehensive Plan policy from Chapter 4: Community Identity

A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

The subject site maintains the general requirements in both CPO-12, and VPO-2 which are regulatory standards in place to protect communities. The proposed development is consistent with the character of the area and will enhance, protect, and preserve the surrounding community by maintain the public views to and from the escarpment, to the Volcano's, and to the Sandia Mountains. The request is consistent with Policy 4.1 Character.

- B. Policy 4.1.4 - Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.

The proposed project will contribute to this goal by fulfilling the intent of the planned development on the Westside. This proposed project will contribute to the neighborhood. The new home ensures development consistent with Areas of Consistency. The public views will be maintained, and the neighborhood will be strengthened with the addition of this proposed home. The request is consistent with policy 4.1.4 Neighborhoods.

11. The request is consistent with the following Comprehensive Plan policy from chapter 5: Land Use:

- A. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers of Corridors, parks, and Major Public Open Space.

The proposed single-family home will be a welcome addition to the Volcano Mesa CPO. It maintains the intent of this area by adding a single-family home to the neighborhood. The addition of a new home will strengthen the integrity of the community by developing pursuant to an Area of Consistency. As demonstrated in the View Analysis, the major public views will be maintained, and the character of this neighborhood will be enhanced. The request is consistent with Policy 5.6.3 Areas of Consistency.

12. The request is consistent with the following Comprehensive Plan policy from Chapter 7: Urban Design:

- A. Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

A key asset of this neighborhood are the protected views of the Volcanoes, to and from the escarpment, and to the Sandia Mountains. The analysis of the view impact below indicates that the requested addition in height will maintain these views and cause no more of an impact the allotted 15' height. The request is consistent with Policy 7.3.2 Community Character.

13. The Long-Range Planning team has expressed support for approval of the Variance-EPC, pending view analysis. As demonstrated in the view analysis portion of this report, the applicant has provided sufficient evidence that the proposed structure will not have a greater impact on views than if it were built at the 15-foot height limit.

14. Commenting agencies declared that they had “no adverse comment”, or “no comment”.

15. The affected, registered neighborhood organization is the Westside Coalition of Neighborhood Associations. The applicant notified the neighborhood association and property owners within 100-feet. Both the neighborhood association and the property owners expressed support for this request.

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16. Three different property owners within the Volcano Cliffs subdivision expressed support for this request. There were no requests for a neighborhood meeting concerning this project.

***RECOMMENDATION – PR-2018-001734, VA-2020-00375, January 21, 2021***

**APPROVAL of project #2018-001734, Case # VA-2020-00375, a variance request to the 15-foot height limit in the Northwest Mesa Escarpment VPO-2 for a property zoned R1-D described as Tract 1 Block 11, Volcano Cliffs Subdivision, Unit 18 owned by Clarissa and Frank Gonzales, located at 7828 Aguila St N.W., at the corner of Petirrojo Rd NW and Aguila St NW, approximately 0.38 acre.**

***CONDITIONS OF APPROVAL - VA-2020-00375, January 21, 2021***

1. Building Permit that is currently under review and future construction shall adhere to all requirements in IDO subsection 14-16-3-6(E) Northwest Mesa Escarpment – VPO-2 and requirements in IDO subsection 14-16-3-4(M) Volcano Mesa – CPO -12.

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***Sergio Lozoya  
Current Planner***

***Notice of Decision CC list:***

Frank & Clarissa Gonzales, [fgonzal2@outlook.com](mailto:fgonzal2@outlook.com)

Westside Coalition of Neighborhood Associations, Rene Horvath, [aboard111@gmail.com](mailto:aboard111@gmail.com)

Westside Coalition of Neighborhood Associations, Elizabeth Haley, [ekhaley@comcast.net](mailto:ekhaley@comcast.net)

EPC file City Legal, [avarela@cabq.gov](mailto:avarela@cabq.gov)



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## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning / Code Enforcement***

#### ***Long Range Planning***

The site is approximately .38 acres and is located within both the Volcano Mesa CPO-13 and the Northwest Mesa Escarpment – VPO-2 Height Restrictions Sub-area. The request would allow for a 2-foot, 5-inch variance to the View Protection Overlay building height limit for a portion of a single-family home. This request is required due to the elevation of the existing road and the need to grade the site to drain to the road. The proposed site meets all CPO setback, building height, and other development standards (façade design, building design, garage access) requirements.

Although the proposed building does exceed the 15-foot limit, measured from natural grade, the request is below the 19-foot allowance, measured from finished grad, for EPC variances. The applicant has justified the request according to 14-16-6-6(N)(3)(a) and 14-16-6-6(N)(3)(c) with the exception that no view analysis was provided. A view analysis must be provided as quickly as possible.

The varied heights in the roof line indicate that the impact on the view would be minimal, especially in light of the existing road elevation, and it seems the project will conform to surrounding heights and character. Barring an analysis that demonstrates a significant impact on views, Long Range sees no issues with the request.

#### ***Metropolitan Redevelopment***

### ***CITY ENGINEER***

#### ***Hydrology***

#### ***Transportation Development Services***

### ***MUNICIPAL DEVELOPMENT DEPARTMENT (DMD) TRANSPORTATION***

No comments.

### ***POLICE DEPARTMENT/PLANNING***

### ***SOLID WASTE MANAGEMENT DEPARTMENT***

### ***TRANSIT DEPARTMENT***

### ***ABC WATER UTILITY AUTHORITY (ABCWUA)***

### ***ALBUQUERQUE PUBLIC SCHOOLS***

### ***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)***

No adverse comments.

**COUNTY OF BERNALILLO**

**MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)**

No adverse comments.

**MID-REGION METROPOLITAN PLANNING ORGANIZATION**

No adverse comments.

**PUBLIC SERVICE COMPANY OF NEW MEXICO**

**NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)**

NMDOT has no comments at this time.

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

**PNM GAS COMPANY**

The applicant should contact PNM's New Service Delivery Department as soon as possible to coordinate electric service regarding any proposed project. Submit a service application at [www.pnm.com/erequest](http://www.pnm.com/erequest) for PNM to review.

**PETROGLYPH NATIONAL MONUMENT**

**AVIATION DEPARTMENT**

**KIRTLAND AIR FORCE BASE**



**Figure 1: Looking south from Petirrojo Rd NW towards subject site.**

**Figure 2: Looking east from Aguila St NW toward subject site.**







***Figure 3: Looking west from subject site toward Aguila St NW, notice the down slope of Aguila St NW.***

***Figure 4: Looking north from subject site toward Petirrojo Rd, notice the down slope toward subject site and two-story home.***



## ZONING

Please refer to IDO Section 14-16-2-3(B) for the R1-D Zone District



## HISTORY



CITY OF ALBUQUERQUE  
OFFICE OF ADMINISTRATIVE HEARINGS  
ZONING HEARING EXAMINER  
NOTIFICATION OF DECISION

James Tafoya requests a variance of .3477 acres to allow a lot larger than the allowable contextual standards for Lot 1, Block 11, Volcano Cliffs Unit 18, located at 6604 Petirrojo Rd NW, zoned R-1D [Section 14-16-5-1(C)(2)(b)]

Special Exception No:..... **VA-2019-00084**  
Project No: ..... **Project# 2019-001734**  
Hearing Date: ..... 04-16-19  
Closing of Public Record: ..... 04-16-19  
Date of Decision: ..... 05-01-19

On the 16th day of April, 2019, property owner James Tafoya (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a variance of .3477 acres to allow a lot larger than the allowable contextual standards (“Application”) upon the real property located at 6604 Petirrojo Rd NW (“Subject Property”). Below are the ZHE’s findings of fact and decision:

**FINDINGS:**

1. Applicant is requesting a variance of .3477 acres to allow a lot larger than the allowable contextual standards.
2. The City of Albuquerque Integrated Development Ordinance, Section 14-16-6-6(N)(3)(a) (Variance-Review and Decision Criteria) reads: “... an application for a Variance-ZHE shall be approved if it meets all of the following criteria:
  - (1) *There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone and vicinity such as size, shape, topography, location, surroundings, or physical characteristics created by natural forces or government action for which no compensation was paid. Such special circumstances of the property either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or return on the property, or practical difficulties result from strict compliance with the minimum standards.*
  - (2) *The Variance will not be materially contrary to the public safety, health, or welfare.*
  - (3) *The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.*
  - (4) *The Variance will not materially undermine the intent and purpose of the IDO or the applicable zone district.*
  - (5) *The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.”*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(N)(1).
4. Jim Strozier of Consensus Planning, agent for James Tafoya, property owner appeared and gave evidence in support of the application.

5. The subject address is 6604 Petroglyph Rd NW.
6. The subject property is currently zoned R-1D.
7. The subject site consists of lots 1 and 2, Block 11, Volcano Cliffs Subdivision Unit 18.
8. The subject property is located at the corner of Petirrojo Road NW and Aguila Street NW.
9. The subject property is in an Area of Consistency as designated by the ABC Comp. Plan.
10. Contextual Standards for Residential Development from the IDO apply.
11. The Applicant is requesting a Variance of 0.3477 acres to the maximum lot size allowed by the contextual standards of 0.4017 acres to combine the 2 lots.
12. The single lot would be 0.7494 acres in size.
13. Applicant will construct a custom single family residence on the combined lots.
14. There are several other lots and homes in the area that have built on similar combined lots ranging from 0.6197 to 1.115 acres in size.
15. All property owners within 100 feet of the subject property and the affected neighborhood association were notified.
16. Taylor Ranch Neighborhood Association is the affected neighborhood association.
17. An e-mail from Ruth Horvath, TRNA, dated February 23, 2019, indicating the TRNA has “no objection to the request was submitted in support of the Application.
18. No one appeared in opposition to the request.
19. There are special circumstances applicable to the Subject Property that are not self-imposed and that do not apply generally to other property in the same zone and vicinity such as size, shape, topography, location, surroundings, or physical characteristics created by natural forces or government action for which no compensation was paid, as required by Section 14-16-6-6(N)(3)(a)(1).
20. The variance will not be contrary to the public safety, health and welfare of the community as required by Section 14-16-6-6(N)(3)(a)(2).
21. The variance will not cause significant adverse material impacts on surrounding properties or infrastructure improvements in the vicinity as required by Section 14-16-6-6(N)(3)(a)(3).
22. The variance will not materially undermine the intent and purpose of the IDO or applicable zone district as required by Section 14-16-6-6(N)(3)(a)(4).
23. The variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties as required by Section 14-16-6-6(N)(3)(a)(5).
24. The proper “Notice of Hearing” signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
25. The Applicant has authority to pursue this Application.

#### DECISION:

APPROVAL of a variance of .3477 acres to allow a lot larger than the allowable contextual standards.

#### APPEAL:

If you wish to appeal this decision, you must do so by May 16, 2019 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



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Stan Harada, Esq.  
Zoning Hearing Examiner

cc: Zoning Enforcement  
ZHE File  
James Tafoya, 2216 Rosendo Garcia RD SW, 87105  
Consensus Planning, 302 8<sup>th</sup> ST NW, 87102



## DEVELOPMENT REVIEW BOARD

### Agenda

Plaza del Sol Building Basement Hearing Room

**May 22, 2019**

Kym Dicome..... DRB Chair  
Racquel Michel ..... Transportation  
Kris Cadena ..... Water Authority  
Doug Hughes .....City Engineer/Hydrology  
Ben McIntosh.....Code Enforcement

*Angela Gomez ~ Administrative Assistant*

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**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.


**NOTE:** DEFERRAL OF CASES WILL BE ANNOUNCED AT THE BEGINNING OF THE AGENDA.

**NOTE:** IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW. PER THE DRB RULES OF PROCEDURE, AN INDEFINITE DEFERRAL REQUIRES A RE-APPLICATION AND REPAYMENT OF ALL APPLICATION FEES.

**A. Call to Order: 9:00 A.M.**

**B. Changes and/or Additions to the Agenda**

### **MAJOR CASES**

1. **Project# PR-2019-002358  
(1006844)  
SD-2019-00079 – EXTENSION OF  
INFRASTRUCTURE IMPROVEMENTS  
AGREEMENT (IIA)** 

**MARK GOODWIN AND ASSOCIATES** agent(s) for **DRAGONFLY DEVELOPMENT INC.** request(s) the aforementioned action(s) for all or a portion of Tract A-1-B of PLAT for TRACTS A-1-A & A-1-B, LUTHERAN CHURCH IN AMERICA, zoned R-1C, located at 6901 WYOMING BLVD NE, south of HARPER RD NE, containing approximately 1.9565 acre(s). (E-19)


**PROPERTY OWNERS:** HOLY CROSS LUTHERAN CHURCH

**REQUEST:** EXTEND THE IIA FOR ONE YEAR TO ALLOW THE CLOSEOUT OF THE PROJECT

**IN THE MATTER OF THE AFOREMENTIONED APPLICATION, BEING IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE DPM AND THE IDO, THE DRB HAS APPROVED A YEAR EXTENSION TO THE INFRASTRUCTURE IMPROVEMENTS AGREEMENT.**

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2. **Project# PR-2019-002398  
(1003613)**

**VA-2019-00172 – VARIANCE – TEMP  
DEFERRAL OF S/W CONSTRUCTION** 


**DON BRIGGS PE** agent(s) for **SUNSET VILLAGE LLC** request(s) the aforementioned action(s) for all or a portion of LOTS 1-70, SUNSET VILLA SUBDIVISION, zoned PD & R1-B, located on SUNSET GARDENS RD SW between ATRISCO DRIVE SW and SUNSET GARDENS RD SW, containing approximately 4.5 acre(s). (K-12)

**PROPERTY OWNERS:** VARIOUS LOT OWNERS/SUNSET VILLA LLC  
**REQUEST:** EXTEND THE TEMPORARY DEFERRAL OF S/W FOR ONE YEAR

**IN THE MATTER OF THE AFOREMENTIONED APPLICATION, BEING IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE DPM AND THE IDO, THE DRB HAS APPROVED THE ONE-YEAR TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT IN THE PLANNING FILE.**

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3. **Project# PR-2019-002046  
(1010582, 1001515)**

**SI-2019-00032 - SITE PLAN – DRB** 

**WILSON & COMPANY,** agent(s) for **COA SOLID WASTE MANAGEMENT DEPT.,** request(s) the aforementioned action(s) for all or a portion of a northerly portion of TRACT 107B1A1 excluding portions of Right of Way and excluding a northerly portion, TRACT 107B1A2 excluding portion of Right of Way, TRACT in the SW Corner – TRACT 107B1B, TRACT 108A3A1A, TRACT 108A3A1B, and TRACT 108A3B, TRACTS 108A1A1B1B & 108A1A2B2, TRACT 108A1A2B1A, TRACT 107B2A2 excluding Rights of Way, TRACT 107B2A1, excluding portion of Right of Way, MRGCD Map#33, zoned NR-LM, located at 4600 EDITH BLVD NE (SE corner of COMANCHE RD NE AND EDITH BLVD NE), containing approximately 22.0 acre(s). (G-15) *[Deferred from 2/27/19, 3/27/19, 5/1/19]*

**PROPERTY OWNERS:** CITY OF ALBUQUERQUE  
**REQUEST:** SITE PLAN FOR NEW ADMIN BUILDING, VEHICLE MAINTENANCE BUILDING, BIN REPAIR/WELD SHOP BUILDING AND STORAGE AREA, GUARD SHACK, RECYCLING DROP OFF AREA, PARKING AREAS AND CNG FUELING STATION

**DEFERRED TO JUNE 19<sup>TH</sup>, 2019.**

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4. **Project# PR-2018-001759**  
**SD-2018-00129** –PRELIMINARY PLAT  
**VA-2018-00234** – DESIGN VARIANCE  
**VA-2019-00025** - SIDEWALK WAIVER  
**VA-2019-00026** – VARIANCE -TEMP  
DEFERRAL OF S/W CONSTRUCTION  
**VA-2019-00027** - DESIGN VARIANCE



**BOHANNAN HUSTON INC.** agent(s) for **WESTERN ALBUQUERQUE LAND HOLDINGS C/O GARRETT REAL ESTATE DEV.** request(s) the aforementioned action(s) for all or a portion of TRACT P WATERSHED SUBDIVISION, zoned PC, located on ARROYO VISTA BLVD NW near 118<sup>th</sup>/HIGH MESA, containing approximately 88.68 acre(s). (H-07, J-08, J-07) [Deferred from 1/23/19, 2/13/19, 4/3/19, 4/10/19, 4/24/19, 5/8/19]

**PROPERTY OWNERS:** WESTERN ALBQ LAND HOLDINGS c/o GARRETT DEV CORP

**REQUEST:** SUBDIVIDE INTO 327 RESIDENTIAL LOTS + 46 TRACTS AND DESIGN VARIANCES TO DPM AND WAIVER/ DEFERRAL OF S/WS

**DEFERRED TO JUNE 5<sup>TH</sup>.**

5. **Project# PR-2018-001525**  
**(1000469)**  
**SI-2019-00086** - SITE PLAN



**TIERRA WEST LLC** agent(s) for **MAVERICK INC.** request(s) the aforementioned action(s) for all or a portion of TRACT L-1-A-1 PLAT of TRACTS L-1-A-1 & L-1-B-1-A ATRISCO BUSINESS PARK & LOT 21-A MERIDAN BUSINESS PARK, zoned NR-BP, located at 551 SILVER CREEK RD NW, SEC of UNSER BLVD NW and LOS VOLCANES RD NW, containing approximately 3.077 acre(s). (K-10)[Deferred from 4/17/19, 5/8/19]

**PROPERTY OWNERS:** GRAYLAND CORP & J2C LLC & CLIFFORD JACK & LEE RVT & ETAL

**REQUEST:** SITE PLAN FOR CONVENIENCE STORE AND FUELING STATION

**IN THE MATTER OF THE AFOREMENTIONED APPLICATION, BEING IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE DPM AND THE IDO, THE DRB HAS APPROVED THE SITE PLAN. FINAL SIGN-OFF IS DELEGATED TO: PLANNING FOR THE INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA).**

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### **MINOR CASES**

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6. **Project# PR-2019-002285**

**(1008124 + 1009526)**

**SD-2019-00098** – PRELIMINARY/FINAL  
PLAT

**SD-2019-00091** – VACATION OF PUBLIC  
EASEMENT (PUE)

**SD-2019-00092** – VACATION OF PUBLIC  
EASEMENT(OVERHEAD UTILITY)

**SD-2019-00093** – VACATION OF PUBLIC  
EASEMENT (GAS)

**SD-2019-00094** – VACATION OF PUBLIC  
EASEMENT (TELEPHONE + TELEGRAPH)



**CSI – CARTESIAN SURVEYS, INC.** agent(s) for **VISTA ORIENTE LTD. CO.** request(s) the aforementioned action(s) for all or a portion of LOT 2 PLAT OF LOTS 1 & 2 AMERICAN SQUARE, zoned MX-M, located at 3535 MENAUL BLVD NE, Albuquerque, NM, containing approximately 10.5095 acre(s). (H-16)

**PROPERTY OWNERS:** VISTA ORIENTE LTD COATTN: JOHN SEDBERRY  
**REQUEST:** VACATE EASEMENTS & SUBDIVIDE ONE EXISTING LOT INTO 2 LOTS AND GRANT EASEMENTS

**IN THE MATTER OF THE AFOREMENTIONED APPLICATION, BEING IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE DPM AND THE IDO, THE DRB HAS APPROVED THE PRELIMINARY/FINAL PLAT, AND THE VACATIONS AS SHOWN ON EXHIBIT IN THE PLANNING FILE PER SECTION 14-16-6(K) OF THE IDO. FINAL SIGN OFF IS DELEGATED TO: CODE ENFORCEMENT FOR PARKING CALCULATIONS AND TO PLANNING FOR 15 DAY APPEAL PERIOD.**

7. **Project# PR-2018-001734**

**SD-2018-00099** - PRELIMINARY/FINAL  
PLAT

**ALPHA PRO SURVEYING LLC** agent(s) for **JAMES TAFOYA** request(s) the aforementioned action(s) for all or a portion of LOTS 1 + 2, BLOCK 11, VOLCANO CLIFFS SUBDIVISION UNIT 18, zoned R-1D, located at 6604 + 6600 PETIRROJO RD NW, containing approximately 0.7494 acre(s). (D-10)[Deferred from 11/7/18, 11/14/18, 1/30/19 for a no show, 2/6/19]

**PROPERTY OWNERS:** HIGHLANDS JOINT VENTUREC/O TAFOYA JAMES C  
**REQUEST:** CONSOLIDATION OF 2 LOTS INTO 1 LOT

**INDEFINITELY DEFERRED.**

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**SKETCH PLAT**

8. **Project# PR-2019-002042**

**PS-2019-00040** – SKETCH PLAT



**MARK GOODWIN & ASSOCIATES, PA** agent(s) for **SOLARE COLLEGIATE FOUNDATION** request(s) the aforementioned action(s) for all or a portion of TRACT 12-B-1 BULK LAND PLAT FOR EL RANCHO GRANDE 1, zoned PD, located on GIBSON BLVD SW east of 98<sup>th</sup> STREET SW, containing approximately 10.9992 acre(s). (M-9)

**PROPERTY OWNERS:** SOUTHBAY INVESTMENTS LLC  
**REQUEST:** SUBDIVIDE 1 LOT INTO 2

**THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**

---

9. Other Matters: None

10. **ACTION SHEET MINUTES: May 15, 2019  
were approved**

ADJOURNED at: 9:23

## APPLICANT INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Frank J. & Clarissa J. Gonzales		Phone: 505-908-1918
Address: 7828 Aguila St NW (Changed from 6604 Petirrojo Rd NW)		Email: fgonzal2@outlook.com
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

Height variance request 14-16-6(M)(1)(c)

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1	Block: 11	Unit: 18
Subdivision/Addition: Volcano Cliffs Subdivision	MRGCD Map No.:	UPC Code: 101006326020041233
Zone Atlas Page(s):	Existing Zoning: R-1D	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.38

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 7828 Aguila St NW	Between: Petirrojo	and: Aguila
--	--------------------	-------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

BP-2020-39365 Residential - Single Family - New Building on hold due to EPC. BP-2020-44348 Residential - Single Family - Foundation approved 10/22

Signature:	Date: 22 October 2020
Printed Name: Frank J. Gonzales	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #





# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 20, 2020

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

RE: **Lot 1 Block 11 Volcano Cliffs Unit 18 SAD 228  
6404 Petirrojo NW  
Grading and Drainage Plan  
Engineers Stamp Date 6/16/2020 (D10D003H1)  
Pad Certification Date 10/16/2020**

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your submittal received 10/20/2020, this plan is approved for Building Permit.

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

**Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated and Pad Certification.**

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

October 9, 2020

To whom it may concern

**RE: Grading plan  
7828 Aguila**

The purpose of this letter is to introduce and explain the grading plan for the reference lot. The development of this land was done at the direction of the city of Albuquerque with the Special Assessment District 228. The master drainage plan shows general flow paths for all the lots. This lot is required to drain to Aguila street as shown on the attached map. The surrounding roads were raised causing this lot to not be able to drain. The pad elevation was raised the absolute minimum to allow the site to drain per the city of Albuquerque drainage ordinance and the sad 228 master drainage plan. Any lowering of the pad will make the lot unbuildable. The limiting design issue was caused by the construction of the public road higher than the lot.

Should you have any questions regarding this submittal, feel free to contact me.

Sincerely,



David Soule, PE  
Rio Grande Engineering  
505.321.9099

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-201 Date: 11/2/20 Time: N/A (sent via email to [cmaes20@gmail.com](mailto:cmaes20@gmail.com))

Address: 7828 Aguila NW

### AGENCY REPRESENTATIVES

Planning: Linda Rumpf ([lrumpf@cabq.gov](mailto:lrumpf@cabq.gov))

Zoning/Code Enforcement: Marcelo Ibarra ([marceloibarra@cabq.gov](mailto:marceloibarra@cabq.gov))

Fire Marshal: Bob Nevárez ([rnevarez@cabq.gov](mailto:rnevarez@cabq.gov)) or call 505-924-3611 (if needed)

Transportation: Nilo Salgado ([nsalgado-fernandez@cabq.gov](mailto:nsalgado-fernandez@cabq.gov))

Hydrology: Ernest Armijo, P.E., ([earmijo@cabq.gov](mailto:earmijo@cabq.gov))

### PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.*

*Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** New home construction with height variance.

### SITE INFORMATION:

Zone: R-1D

Size: 0.36 acres

Use: Vacant

Overlay zone: (CPO) - Character Protection Overlay Zone (3-4)-Volcano Mesa – CPO-13; (VPO) - View Protection Overlay Zone (3-6)- Northwest Mesa Escarpment VPO-2 Height Restrictions Sub-area; (VPO) - View Protection Overlay Zone (3-6)- Northwest Mesa Escarpment – VPO-2

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-1: Residential Zone District Dimensional Standards

\*Neighborhood Organization/s: Westside Coalition of NAs

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: Variance EPC 6-6(M)

Review and Approval Body: EPC Is this a PRT requirement? Yes

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-201 Date: 11/2/20 Time: N/A (sent via email)

Address: 7828 Aguila NW

### NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

### Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

### Zoning Comments

Location: 7828 Aguila NW

Lots: 1 Block: 11, Subdivision: Volcano Cliffs UNIT 18

Project – Height Variance Request as per the VPO 2

Current Zoning – R-1D

Area of Consistency

Variance required per section 3-6(E)(3)(c)

Previous Zoning – SU-2 VCLL

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-201 Date: 11/2/20 Time: N/A (sent via email)

Address: 7828 Aguila NW

CPO 12

### Process:

Variance EPC 6-6(M)

*As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3857 option 1.*

### Transportation Development comments

For additional information contact Nilo Salgado (924-3630) or Jeanne Wolfenbarger (924-3991)

### **\*\*GENERAL COMMENTS BELOW (if applicable):**

#### **Curb Cuts**

- Follow DPM guidelines for residential curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)

#### **Clear Sight Triangle at Access Points and Intersections**

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.
  - Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
  - Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.
1. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
  2. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
  3. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** 7828 Aguila aka 6604 Petirrojo Gonzales Build

Building Permit #: BP-2020-39365 Hydrology File #: \_\_\_\_\_

Zone Atlas Page: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

DRB#: Legal Description: Lot 1 Block 11 Volcano Cliffs Unit 18

Development Street Address: 7828 Aguila St NW 87120

**Applicant:** Frank J. & Clarissa J. Gonzales Contact: \_\_\_\_\_

Address: 9051 Fenton Lake Rd NW 87120

Phone#: 505-908-1170 Fax#: \_\_\_\_\_

E-mail: cmaes20@gmail.com

### Development Information

Build out/Implementation Year: 2020 Current/Proposed Zoning: R-1D

Project Type: New: ☒ Change of Use: ☐ Same Use/Unchanged: ☐ Same Use/Increased Activity: ☐

Proposed Use (mark all that apply): Residential: ☒ Office: ☐ Retail: ☐ Mixed-Use: ☐

Describe development and Uses:  
New Residential Build 3018 sq ft

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): 3018 sq ft

Number of Residential Units: 1

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

ITE Trip Generation Land Use Code #120 Single Family Housing

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* AM 6 trips, PM 2 trips

Driveway(s) Located on: Street Name 1 single car entry located off Petirrojo rd, 1 double car entry located off Aguila St.



Adjacent Roadway(s) Posted Speed: Street Name    Aguila @ Petirrojo Posted Speed    Residential Speed 25MPH?  
Street Name Posted Speed

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

### **Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Main Street  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): Albuquerque, Bernalillo County

Adjacent Roadway(s) Traffic Volume: \_\_\_\_\_ Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): \_\_\_\_\_ Nearest Transit Stop(s): \_\_\_\_\_

Is site within 660 feet of Premium Transit?: \_\_\_\_\_

Current/Proposed Bicycle Infrastructure: \_\_\_\_\_  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: \_\_\_\_\_

### **Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### **TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Below the number of trips to require a TIS

Traffic Impact Study (TIS) Required: Yes [ ☐ ] No [ ☒ ]

Thresholds Met? Yes [ ☐ ] No [ ☒ ]

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ☐ ]

Notes:

M. P. E.

10/29/2020

TRAFFIC ENGINEER

DATE

---

### **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



\_\_\_\_\_  
(Applicant or Agent)

28 October 2020

\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: BP-2020-39365

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***



\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- \_\_\_ 1. Date of drawing and/or last revision
- \_\_\_ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

## SITE PLAN CHECKLIST

- \_\_\_ 3. Bar scale
- \_\_\_ 4. North arrow
- \_\_\_ 5. Legend
- \_\_\_ 6. Scaled vicinity map
- \_\_\_ 7. Property lines (clearly identify)
- \_\_\_ 8. Existing and proposed easements (identify each)
- \_\_\_ 9. Phases of development, if applicable

### B. Proposed Development

#### 1. Structural

- \_\_\_ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- \_\_\_ B. Square footage of each structure
- \_\_\_ C. Proposed use of each structure
- \_\_\_ D. Signs (freestanding) and other improvements
- \_\_\_ E. Walls, fences, and screening: indicate height, length, color and materials
- \_\_\_ F. Dimensions of all principal site elements or typical dimensions
- \_\_\_ G. Loading facilities
- \_\_\_ H. Site lighting (indicate height & fixture type)
- \_\_\_ I. Indicate structures within 20 feet of site
- \_\_\_ J. Elevation drawing of refuse container and enclosure, if applicable.
- \_\_\_ K. Existing zoning/land use of all abutting properties

#### 2. Parking, Loading and Internal Circulation

- \_\_\_ A. Parking layout with spaces numbered per aisle and totaled.
  - \_\_\_ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - \_\_\_ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - \_\_\_ 3. On street parking spaces
- \_\_\_ B. Bicycle parking & facilities
  - \_\_\_ 1. Bicycle racks – location and detail
  - \_\_\_ 2. Other bicycle facilities, if applicable
- \_\_\_ C. Vehicular Circulation (Refer to DPM and IDO)
  - \_\_\_ 1. Ingress and egress locations, including width and curve radii dimensions
  - \_\_\_ 2. Drive aisle locations, including width and curve radii dimensions
  - \_\_\_ 3. End aisle locations, including width and curve radii dimensions
  - \_\_\_ 4. Location & orientation of refuse enclosure, with dimensions
  - \_\_\_ 5. Loading, service area, and refuse service locations and dimensions
- \_\_\_ D. Pedestrian Circulation
  - \_\_\_ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- ☐ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☐ 3. Location and description of amenities, including patios, benches, tables, etc.
- ☐ E. Off-Street Loading
  - ☐ 1. Location and dimensions of all off-street loading areas
- ☐ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - ☐ 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- ☐ A. Locate and identify adjacent public and private streets and alleys.
  - ☐ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - ☐ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - ☐ 3. Location of traffic signs and signals related to the functioning of the proposal
  - ☐ 4. Identify existing and proposed medians and median cuts
  - ☐ 5. Sidewalk widths and locations, existing and proposed
  - ☐ 6. Location of street lights
  - ☐ 7. Show and dimension clear sight triangle at each site access point
  - ☐ 8. Show location of all existing driveways fronting and near the subject site.
- ☐ B. Identify Alternate transportation facilities within site or adjacent to site
  - ☐ 1. Bikeways and bike-related facilities
  - ☐ 2. Pedestrian trails and linkages
  - ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- ☐ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- ☐ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☐ 2. Bar Scale
- ☐ 3. North Arrow
- ☐ 4. Property Lines
- ☐ 5. Existing and proposed easements
- ☐ 6. Identify nature of ground cover materials
  - ☐ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - ☐ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - ☐ C. Ponding areas either for drainage or landscaping/recreational use



## SITE PLAN CHECKLIST

- \_\_\_ 7. Identify type, location and size of plantings (common and/or botanical names).
  - \_\_\_ A. Existing, indicating whether it is to be preserved or removed.
  - \_\_\_ B. Proposed, to be established for general landscaping.
  - \_\_\_ C. Proposed, to be established for screening/buffering.
- \_\_\_ 8. Describe irrigation system – Phase I & II . . .
- \_\_\_ 9. Planting Beds, indicating square footage of each bed
- \_\_\_ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- \_\_\_ 11. Responsibility for Maintenance (statement)
- \_\_\_ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- \_\_\_ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- \_\_\_ 14. Planting or tree well detail
- \_\_\_ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- \_\_\_ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- \_\_\_ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- \_\_\_ 1. Scale - must be same as Sheet #1 - Site Plan
- \_\_\_ 2. Bar Scale
- \_\_\_ 3. North Arrow
- \_\_\_ 4. Property Lines
- \_\_\_ 5. Existing and proposed easements
- \_\_\_ 6. Building footprints
- \_\_\_ 7. Location of Retaining walls

#### B. Grading Information

- \_\_\_ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- \_\_\_ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- \_\_\_ 3. Identify ponding areas, erosion and sediment control facilities.
- \_\_\_ 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# **SITE PLAN CHECKLIST**

## **SHEET #4- UTILITY PLAN**

- ☐ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☐ B. Distribution lines
- ☐ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☐ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☐ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ☐ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## **SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS**

### **A. General Information**

- ☐ A. Scale
- ☐ B. Bar Scale
- ☐ C. Detailed Building Elevations for each facade
  - ☐ 1. Identify facade orientation
  - ☐ 2. Dimensions of facade elements, including overall height and width
  - ☐ 3. Location, material and colors of windows, doors and framing
  - ☐ 4. Materials and colors of all building elements and structures
  - ☐ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### **B. Building Mounted Signage**

- ☐ 1. Site location(s)
- ☐ 2. Sign elevations to scale
- ☐ 3. Dimensions, including height and width
- ☐ 4. Sign face area - dimensions and square footage clearly indicated
- ☐ 5. Lighting
- ☐ 6. Materials and colors for sign face and structural elements.
- ☐ 7. List the sign restrictions per the IDO

**SUBJECT:** Height Variance Request Project Letter 7828 Aguila Rd. NW (AKA. 6604 Petirrojo Rd. NW) 87120, UPC 101006326020041233, Lot 1 Block 11 Volcano Cliffs Subdivision Unit 18

## **INTRODUCTION**

The purpose of this memorandum is to document the applicability of 14-16-6(M)(1)(c) and 6-6(M)(3)(a) of the City of Albuquerque Integrated Development Ordinance (IDO) for a height variance request through Variance – EPC for the subject address.

### **1. Background/Findings**

The IDO revised and updated through May 2018, section 14-16-3: Overlay Zones 3-6(E): Northwest Mesa Escarpment – VPO-2 specifically 3-6(E)(3)(c) states: Additional height may be requested through a Variance – EPC pursuant to Subsection 14-16-6-6(M).

1. No structure shall exceed 19 feet in height from the finished grade, inclusive of any Variance granted.
2. When a Variance is requested for structure height, the visual impact of additional structure height on views to and from the escarpment shall be minimized through at least 1 of the following techniques:

#### **a. Height/Slope**

An increase in height in response to slope to produce a stepped-down effect and a smooth transition in scale. For example, 1 foot of additional structure height may be granted for every 3 feet to 4 feet of drop in ground elevation from a base elevation established at the escarpment face (i.e. where the 9 percent slope line begins). Buildings may also be depressed below the natural grade.

#### **b. View Corridors**

Two-story construction that is located and designed so that massing maintains views to the escarpment at the perimeter of the site, or at the nearest public road (whichever offers the predominant public views) and views from the escarpment – primarily from public trails and access points. The intent is to preserve the maximum amount of unobstructed lateral views to the base of the escarpment. If the site is located above the escarpment, the views will be to the top of the escarpment.

### c. Height/Slope/Setback

Structures set back from major public views (i.e. views from the site perimeter, nearest public road, public trails, or access points along the escarpment; views to the east, west, south, and north property lines; or views to the escarpment) so that building height increases in proportion to the size of the setback and the slope without increasing the visual impact from a particular vantage point.

The subject property utilizes technique (a) Height/Slope as the lowest point of natural grade is at 5,317 feet with an elevation at street edge at 5,322 feet (see approved grading & drainage plan). Naturally, this creates a stepped-down effect and a smooth transition in scale when compared to many of the adjacent properties located both in and out of the Northwest Mesa Escarpment – VPO-2 zone (figure 1 below shows a representation of this.) Furthermore, there are (2) existing storm drains located in front of the property line which cause a significant drop in elevation for drainage purposes.

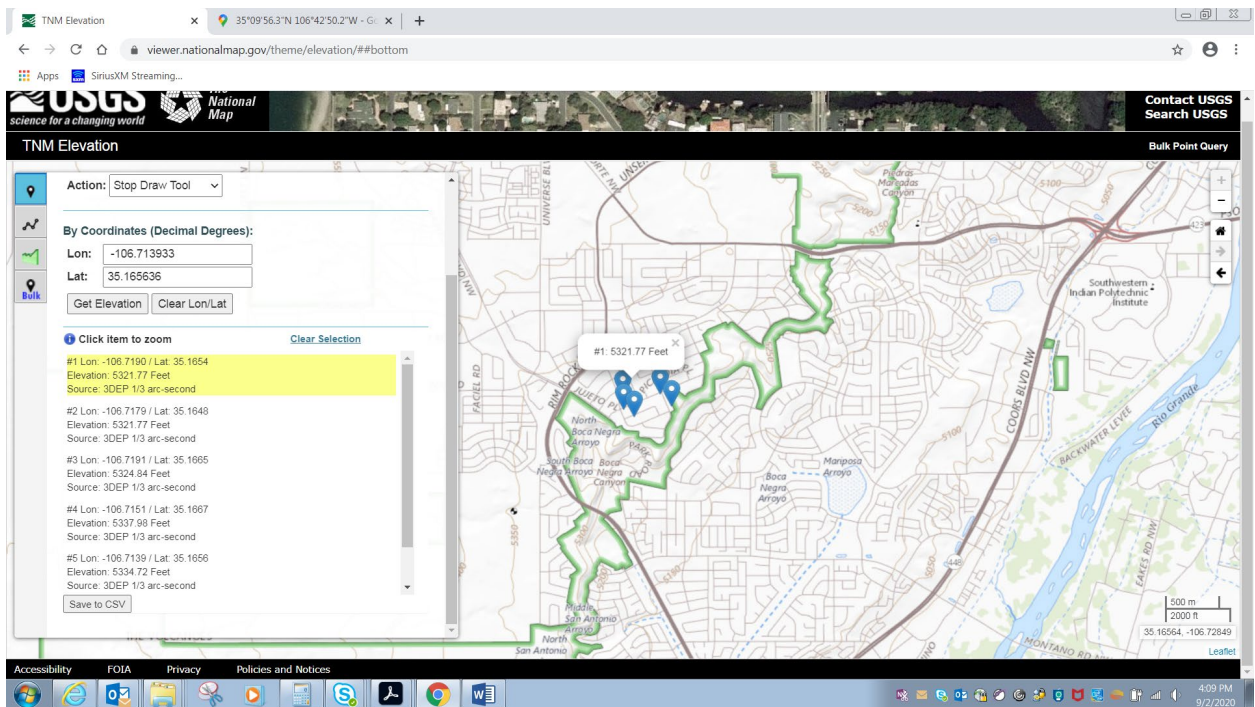


Figure 1

### Adjacent Properties Identified

- #1 – 7828 Aguila Rd NW (highlighted subject property), Elevation: 5321.77 Feet.
- #2 – 6548 Azor Ln NW (2 story home), Elevation: 5321.77 Feet.
- #3 – 7900 Aguila St NW, Elevation: 5324.84 Feet.
- #4 – 6500 Petirrojo Rd NW, Elevation: 5337.98 Feet.
- #5 – 7816 Urraca St NW, Elevation: 5334.72 Feet.

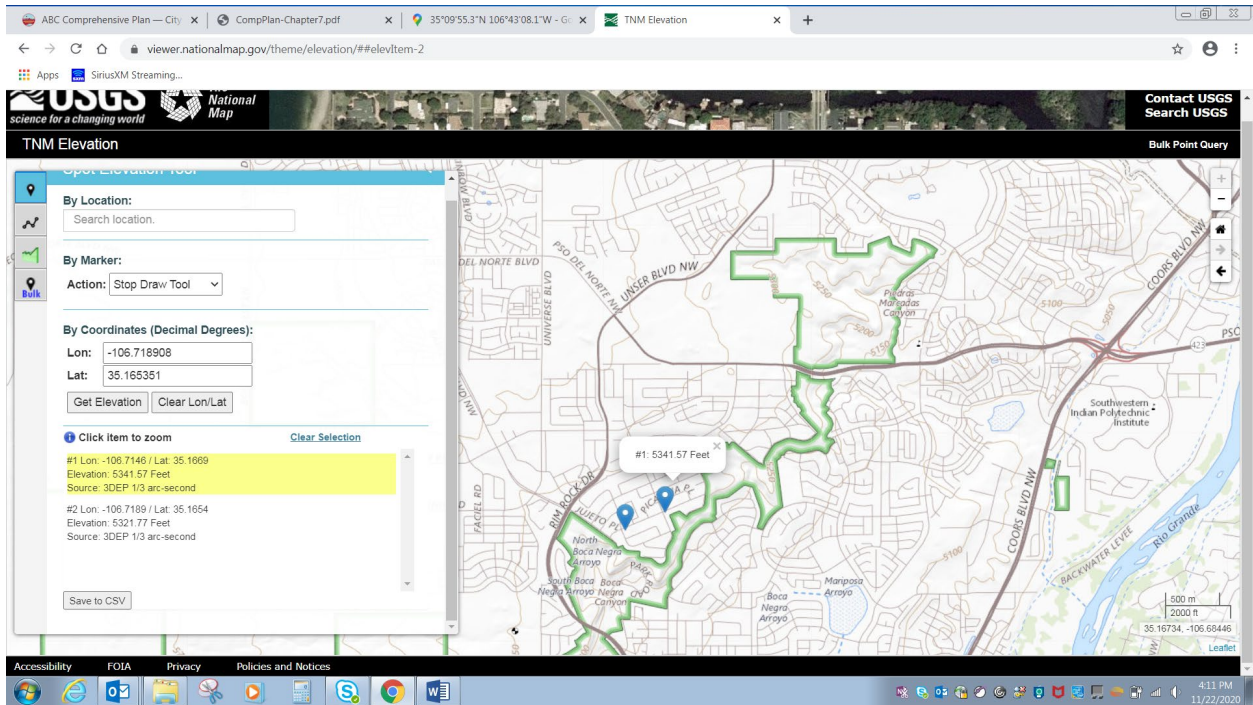


Figure 2

## Properties Identified

- #1 – 6432 Petirrojo Rd NW (highlighted property/base elevation at escarpment face), Elevation: 5341.57 Feet.
- #2 – 7828 Aguila Rd NW (subject property/ground elevation), Elevation: 5321.77 Feet.

Figure 1 clearly indicates the subject property sits significantly lower than most of the properties located within the vicinity. In addition, the variance states; an increase in height in response to slope to produce a stepped-down effect and a smooth transition in scale. For example, 1 foot of additional structure height may be granted for every 3 feet to 4 feet of drop in ground elevation from a base elevation established at the escarpment face.

Figure 2 demonstrates Height/Slope as the base elevation utilized is 6432 Petirrojo Rd NW which has an elevation of 5341.57 feet, 19.8 feet higher than the subject address at 7828 Aguila Rd NW, which would allow up to an additional 4.95 feet in structure height if the 4 feet of drop in ground elevation from the base elevation were utilized. Furthermore, 14-16-6-6(M)(3)(c) states:

The EPC shall approve an application for a Variance from the 15-foot structure height limit in the Height Restriction Sub-area in Subsection 14-16-3-6(E)(3) (Northwest Mesa Escarpment – VPO-2) if it meets all of the following criteria.

### 1. Hardship

The intent of the view regulations in Section 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) must be met. The burden is on the applicant to demonstrate that strict

adherence to VPO-2 building height regulations would render the lot undevelopable because of physical and/or engineering constraints (e.g. rock outcroppings, street grades, ADA compliance, utility design, etc.).

As outlined in the grading and drainage plan letter by Principal Engineer David Soule, the surrounding elevations were raised causing the subject property the inability to drain properly...any lowering of the lot will make it unbuildable.

## 2. Visual Impact

The impact of the proposed development on views to and from the escarpment will be the same as, or less than, the impact if the 15-foot height limit were met.

The data above, along with the provided drawings and attached figures demonstrate the criteria is met for Visual Impact via (views to and from the escarpment will be the same as, or less than, the impact if the 15-foot height limit were met).

Lastly, 6-6(M)(3)(a) Review and Decision Criteria 6-6(M)(3)(a) Except as indicated in Subsections (b) and (c) below, an application for a Variance— EPC shall be approved if it meets all of the following criteria:

1. There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, and physical characteristics, and such special circumstances were created either by natural forces or by government eminent domain actions for which no compensation was paid. Such special circumstances of the property either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or return on the property, or practical difficulties result from strict compliance with the minimum standards.

As explained above the subject property location, surroundings, grading and topography have created special circumstances and an extraordinary hardship that justify the need for the variance. If an inspector were to visit the property and look east, the major drop in elevation in comparison to the outlying properties is apparent. The driving factor is the two major storm drains that are located directly in front of the property line, these drains require an increased ground elevation of all surrounding properties within unit 18 & 22 in order to properly drain, this is why the subject property has a much lower elevation than the referenced properties in figure 1 & 2 above.

\*Please reference the provided grading and drainage plan letter by Principal Engineer David Soule for a more detailed explanation of the limiting factors of the lot.

2. The Variance will not be materially contrary to the public safety, health, or welfare.

The minimal request of an additional 2 feet 5 inches in structure height is so negligible that there is no direct impact to public safety, health or welfare. The minor request is to



allow the property owners the opportunity to take advantage of the views to and from the escarpment. Moreover, as mentioned above and outlined in the grading and drainage plan letter by Principal Engineer David Soule, the surrounding elevations were raised causing the subject property the inability to drain properly...any lowering of the lot will make it unbuildable, the limiting design issue is caused by the construction of the public road higher than the lot.

3. The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

The overall design of the home took into careful consideration what is stated in the CABQ ABC Comprehensive Plan (Comp Plan) Policy. The 6 principles of the Comp Plan are the guiding principles to urban design goals, policies, and actions. The first guiding principal of "strong neighborhoods" makes mention of appropriate design helps establish and enhance neighborhood character. The overall goal of this variance is not to only take advantage of the beautiful views that SAD 228 offers but also to maintain the character of the neighborhood through a unique design that blends in seamlessly with the homes that have already been constructed. Furthermore, another principal of "economic vitality" states: quality design attracts investment and increases property values. We believe, along with our designer that our home design is an attractive as well as a functional one that will help draw families to the Petroglyph Estates community and continue to help promote development in the area, thus helping to increase values.

4. The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.

The variance request adheres to the strict criteria/standards of the IDO, more specifically, the Northwest Mesa Escarpment and zone R-1D, in fact circumstances like the one at the subject property are the very reasons as to why the Variance-EPC request and process were established.

5. The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

14-16-6-6(M) states no structure shall exceed 19 feet in height from the finished grade, inclusive of any variance granted. The highest point identified on the plans (entry tower) is approximately 17 feet 5 inches in height from the finished grade, 1 foot 7 inches less than the maximum allowed.

In closing, it is our confidence with the data provided and the due diligence on our part coupled with additional supporting documents will make for a quick and easy variance approval process. Please feel free to contact my wife or me with any questions you may have and thank you for your time and consideration on this matter.



FRANK J. GONZALES

## STAFF INFORMATION

November 17th, 2020

TO: Frank J. and Clarissa J. Gonzales  
FROM: Sergio Lozoya, Associate Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3349  
RE: Project #2018-001734, VA 2020-00375 – Variance

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I've completed a first review of this application for Variance-EPC. I have some questions and suggestions. I am available to answer questions about the process and requirements. Please provide the following:

⇒ A revised site plan, elevation drawings (showing building colors and materials), and site sections (electronic format will suffice) by:

**End of day on Monday November 23, 2020.** If you have difficulty with this deadline, please let me know. The hard deadline for submittal of new documents is **Monday November 30, 2020 at 9:00 am.** There is a drop-off box at the front of Plaza del Sol, or time permitting, I can pick up a set from your office, I will accept electronic versions as well.

I would like to see an updated project letter as soon as possible, if you are able by Friday November 20, 2020 would be best to allow a proper analysis.

If the application is not complete and I am unable to make an analysis, I will have to recommend deferral to the January 2021 EPC Hearing.

1) Introduction:

A. Though I've done my best for this review, additional items may arise as the case progresses. If so, I will inform you as soon as I can.

2) Significant Issues:

A. This request is a Variance-EPC. Requirements for the Variance-EPC process can be found in IDO Section 6-6(M).

B. Please read and review IDO Section 3-6(E) Northwest Mesa Escarpment – VPO-2. The views protected include the views to and from the Petroglyph National Monument.

C. There are requirements specific to height variances in the Northwest Mesa Arroyo Escarpment found in IDO Section 6-6(M)(2)(e). This application is missing all four minimum requirements in this section, as follows:

6-6(M)(2)(e) Requests for a Variance to structure heights in Subsection 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) shall at a minimum include all of the following:

1. Site plans, site elevations, and site sections showing the location of the major public views (i.e. views from the site perimeter or nearest public road to the east, west, south, and north property lines and views to the escarpment),

2. View plane exhibits that illustrate the expected impact of structure height on major public views given the relationship of slopes, building heights, setbacks, escarpment height, and view corridors. (See figure 1)

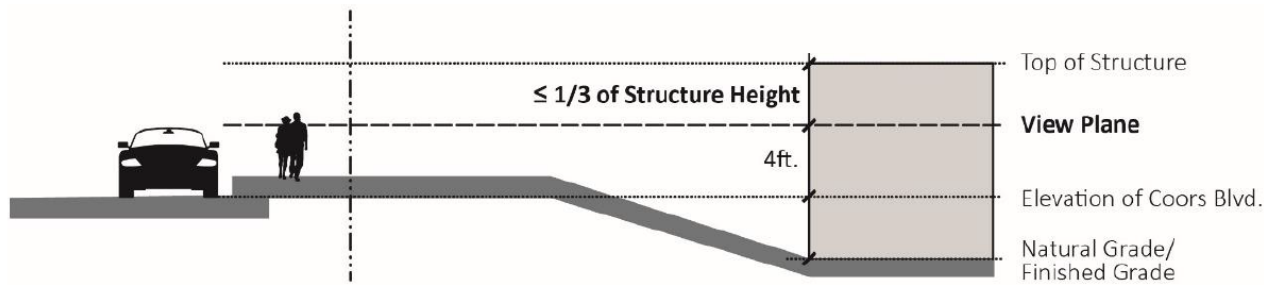


Figure 1: Replace elevation of Coors Blvd. with elevation of nearest public right of way, include all requirements called out in 6-6(M)(2)(e)2

3. Analysis and demonstration of at least 1 of the techniques required by Subsection 14-16-3-6(E)(3) (i.e. height/slope, view corridors, or height/slope/setback) to minimize the impact of additional structure height on views to and from the escarpment.

4. A Grading and Drainage Plan that has been approved by the City Engineer.

D. As done in PRT meetings, every project begins with a look at IDO definitions.

### Building Height

The vertical distance above the grade at each façade of the building, considered separately, to the top of the coping or parapet on a flat roof, whichever is higher; to the deck line of a mansard roof; or to the average height between the plate and the ridge of a hip, gable, shed, or gambrel roof. The height of a stepped or sloped building is the maximum height above grade of any distinct segment of the building that constitutes at least 10 percent of the gross floor area of the building.

### Corner Lot

A lot located at the intersection of and having frontage on 2 or more streets.

### Escarpment

Land with 9 percent slope or more and considered sensitive land, where development is discouraged. The Northwest Mesa Escarpment is part of the Petroglyph National Monument, which is also designated as Major Public Open Space.

### Grade

1. The average of the approved ground levels immediately adjacent to each façade of a building, considered separately; where an earth embankment is placed against the side of a building or a retaining wall supporting a terrace is placed close to a building, grade

- shall be measured from the toe, or bottom, of the embankment or retaining wall; building floor level is irrelevant.
2. The elevation of the finished, approved ground level at all points along a wall or fence. Approved grade shall be no higher than the specified elevation on the grading plan approved by the City in conjunction with subdivision or site development plan approval; in the absence of such approved plans, original natural grade applies.

### **Natural Grade**

Grade based on the original site contours, prior to any grading.

- D. A valid sign posting agreement is required. The sign posting agreement in the file was not signed by Staff and no dates are provided (Sign should be up by November 24, 2020). Also, please pick up the signs, ensure they are posted according to the dates provided, and provide evidence for the record that the signs have been posted. Please contact Maggie Gould to complete the sign posting agreement, she can be reached at [MGould@cabq.gov](mailto:MGould@cabq.gov)

### **3) Process:**

- A. Information regarding the EPC process, including the calendar and current Staff reports, can be found at:  
<http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission>
- B. Agency Comments are due to me November 21st, 2020. I will put together all the comments I have received and provide them to you by end of day November 21st, 2020.
- C. Final deadline for submittal of revised materials to be reviewed in full consideration is November 30, 2020. However, to allow proper time for review I ask for any revised drawings to be submitted by November 23, 2020 and response to Variance EPC criteria letter to be submitted by November 25, 2020. Let me know if you foresee any issues with these timelines.

### **4) Notification:**

I counted 11 properties with 9 unique owners. I only see 8 envelopes in the picture and the quality is such that I cannot determine who the recipients were. Do you have a higher quality picture that clearly demonstrates the names and addresses of the recipients? Can you confirm that you sent letters to all property owners? If you have not sent to all property owners, there is still time to notify the missing parties.

Please include the original e-mail sent to Rene Horvath, the one provided does not clearly show that she was the recipient.

### **5) Project Letter & Variance-EPC:**

- A. Please update the project letter to reflect all applicable requirements found in IDO Section 6-6(M)(3)(a) and 6-6(M)(3)(c), as follows:

### **6-6(M)(3) Review and Decision Criteria**

6-6(M)(3)(a) Except as indicated in Subsections (b) and (c) below, an application for a Variance– EPC shall be approved if it meets all of the following criteria:

1. There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, and physical characteristics, and such special circumstances were created either by natural forces or by government eminent domain actions for which no compensation was paid. Such special circumstances of the property either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or return on the property, or practical difficulties result from strict compliance with the minimum standards.
2. The Variance will not be materially contrary to the public safety, health, or welfare.
3. The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.
4. The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.
5. The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

6-6(M)(3)(c) The EPC shall approve an application for a Variance from the 15-foot structure height limit in the Height Restriction Sub-area in Subsection 14-16-3-6(E)(3) (Northwest Mesa Escarpment – VPO-2) if it meets all of the following criteria.

1. Hardship

The intent of the view regulations in Section 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) must be met. The burden is on the applicant to demonstrate that strict adherence to VPO-2 building height regulations would render the lot undevelopable because of physical and/or engineering constraints (e.g. rock outcroppings, street grades, ADA compliance, utility design, etc.).

2. Visual Impact

The impact of the proposed development on views to and from the escarpment will be the same as, or less than, the impact if the 15-foot height limit were met.



## Lozoya, Sergio

---

**From:** Lozoya, Sergio  
**Sent:** Wednesday, November 25, 2020 4:15 PM  
**To:** 'Frankie Gonzales'  
**Cc:** 'cmaes20@gmail.com'  
**Subject:** RE: Project Memo

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

I made some additional clarifications below.



### SERGIO LOZOYA

long range associate planner  
urban design & development

o 505.924.3349

e slozoya@cabq.gov

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Lozoya, Sergio  
**Sent:** Wednesday, November 25, 2020 2:36 PM  
**To:** 'Frankie Gonzales' <fgonzal2@outlook.com>  
**Cc:** 'cmaes20@gmail.com' <cmaes20@gmail.com>  
**Subject:** RE: Project Memo

**From:** Lozoya, Sergio  
**Sent:** Wednesday, November 25, 2020 12:46 PM  
**To:** 'Frankie Gonzales' <[fgonzal2@outlook.com](mailto:fgonzal2@outlook.com)>  
**Cc:** [cmaes20@gmail.com](mailto:cmaes20@gmail.com)  
**Subject:** RE: Project Memo

Hey Frankie,

A reminder on what is being protected in VPO-2:

#### **3-6(E)(2) Protected Views**

Views protected by this VPO-2 are looking **to and from** the Petroglyph National Monument, Volcanic Escarpment, and Volcano Mesa.

A reminder on the requirements for EPC Variance:

**6-6(M)(2)(e)** Requests for a Variance to structure heights in Subsection 14-16-3-6(E) (Northwest Mesa Escarpment – VPO-2) shall at a minimum include all of the following:

Please label each drawing in accordance to the regulation it is satisfying. (Tell me what the drawing is for).

Make sure you show your designer the slides I sent you as they are helpful in determining what is needed.

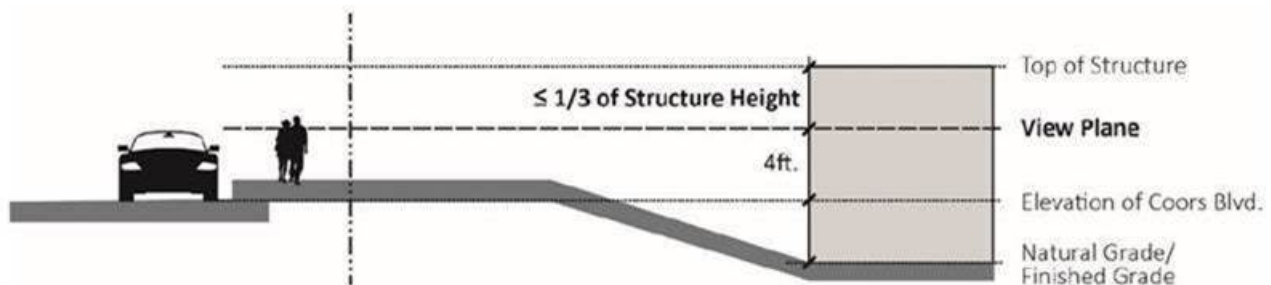
1. Site plans, site elevations, and site sections showing the location of the major public views (i.e. views from the site perimeter or nearest public road to the east, west, south, and north property lines and views to the escarpment) (both major public views and views to the escarpment), (See slides for example site plan and section drawings)

Site Elevations: Similar to the drawing you provided but do not show anything below grade. Call out the escarpment edge on the drawings along with any other major public views (Petroglyphs, Volcanoes, Mountains, etc.) Ensure that all sides are shown as called for above (north, east, south, west).

Site Sections: Similar to the elevations, but showing below grade (see page 5 in the slides I sent you). Must show escarpment edge and the escarpment edge with elevations called out. Ensure that all sides are shown as called for above (north, east, south, west).

Site Plan: See example on slide 3. Show all impacted major views and show views as described above (from site perimeter or nearest public road to the east south, and north property lines and views to the escarpment)

2. View plane exhibits that illustrate the expected impact of structure height on major public views given the relationship of slopes, building heights, setbacks, escarpment height, and view corridors. (See figure 1)



(Provide justification as to why you chose that point for the view, and why your diagram satisfies these requirements. Label all major public views and escarpment edge.)

2. Analysis and demonstration of at least 1 of the techniques required by Subsection 3-6(E)(3) (i.e. height/slope, view corridors, or height/slope/setback) **to minimize the impact of additional structure height on views to and from the escarpment.**

Discuss how your techniques minimize the impact of additional structure heights on views to and from the escarpment, be very clear in the language. Use one of the site sections to label and demonstrate as shown in page 5 and page 10 (instead of from below as shown, do it from above the escarpment).

4. A Grading and Drainage Plan that has been approved by the City Engineer. (I have received this).

As stated above, there are several views that are protected under the CPO-2 guidelines, which is why I pointed to them in the project memo provided November 17th. Under these regulations, the drawings provided are insufficient. I am not able to make a case without the complete information needed as described in **6-6(M)(2)(e)** (which I have copied and pasted into this email, above). There is potential in this case, but again, I cannot make a recommendation without all of the required drawings.

The diagram provided does have potential to satisfy requirement from IDO Section **6-6(M)(2)(e)(2)** , but it needs to be from the nearest public right of way, or property line.

At present, your verbal description of the techniques required by IDO Section **6-6(M)(2)(e)(3)** is insufficient. This needs to be done in relation to the escarpment. These techniques work best as drawings. An example of these techniques are provided in the slides attached. I also provided an image demonstrating where your property is in relation to the escarpment.

I am available to meet with your designer, however all of the materials are due Monday November 30<sup>th</sup>,2020 by 9:00 am or I will have to recommend deferral. Each drawing should be clearly labeled as per the requirement that it is satisfying, please do so when re-submitting.

Given the status of the application, I believe deferral would be in your best interest to allow time to complete the required conditions in a manner in which I can recommend approval. I understand this has been a long and difficult process, therefore, if deferred I will advocate for waiving the fee to do so (my team is in agreement).

I am available this afternoon if you wish to discuss our next steps moving forward.

Thanks,



**SERGIO LOZOYA**

long range associate planner

urban design & development

o 505.924.3349

e [slozoya@cabq.gov](mailto:slozoya@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

## NOTIFICATION

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



\_\_\_\_\_  
(Applicant or Agent)

28 October 2020

\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**Gonzales, Frank J.**

---

**From:** Frankie Gonzales <fgonzal2@outlook.com>  
**Sent:** Thursday, October 29, 2020 11:00 AM  
**To:** Gonzales, Frank J.  
**Subject:** [EXTERNAL] Fwd: 6604 Petirrojo NW Public Notice Inquiry  
**Attachments:** image001.png; image002.png; image003.png; image004.png; image007.png; IDOZoneAtlasPage\_D-10-Z.PDF

Sent from my iPhone

Begin forwarded message:

**From:** Frankie Gonzales <fgonzal2@outlook.com>  
**Date:** October 16, 2020 at 4:29:44 PM MDT  
**To:** My Wub <cmaes20@gmail.com>  
**Subject:** Fwd: 6604 Petirrojo NW Public Notice Inquiry

Sent from my iPhone

Begin forwarded message:

**From:** "Carmona, Dalaina L." <dlcarmona@cabq.gov>  
**Date:** October 16, 2020 at 4:22:15 PM MDT  
**To:** "fgonzal2@outlook.com" <fgonzal2@outlook.com>  
**Subject:** 6604 Petirrojo NW Public Notice Inquiry

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Alb
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Alb

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>



Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,

*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334  
[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

---

**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org]  
**On Behalf Of** webmaster@cabq.gov  
**Sent:** Friday, October 16, 2020 1:25 PM  
**To:** Office of Neighborhood Coordination <fgonzal2@outlook.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Frank Gonzales

Telephone Number

5059081919

Email Address

[fgonzal2@outlook.com](mailto:fgonzal2@outlook.com)

Company Name

Company Address

9051 Fenton Lake Rd NW, Petirrojo and Aguila

City

Albuquerque

State

NM

ZIP

87120

Legal description of the subject site for this project:

001 011VOLCANO CLIFFS SUBD UNIT 18

Physical address of subject site:  
6604 Petirrojo NW 87120  
Subject site cross streets:  
Petirrojo and Aguila  
Other subject site identifiers:  
This site is located on the following zone atlas page:  
D10

=====  
This message has been analyzed by Deep Discovery Email Inspector.

\*\*\*\*\*

This message does not originate from a known Department of Energy email system.  
Use caution if this message contains attachments, links or requests for information.

\*\*\*\*\*

**From:** [Clarissa Gonzales](#)  
**To:** [Gonzales, Frank J.](#)  
**Subject:** [EXTERNAL] Fwd: 6604 Petirrojo NW Notice for EPC  
**Date:** Wednesday, October 28, 2020 4:54:27 PM  
**Attachments:** [6604 Petirrojo Mailed Notice.pdf](#)

---

----- Forwarded message -----

From: **Clarissa Gonzales** <[cmaes20@gmail.com](mailto:cmaes20@gmail.com)>  
Date: Tue, Oct 27, 2020 at 11:30 AM  
Subject: 6604 Petirrojo NW Notice for EPC  
To: <[aboard111@gmail.com](mailto:aboard111@gmail.com)>

Good Afternoon,

Please see the attachment for the notice we have to send for an EPC hearing. If you have any questions or concerns. Please contact us.

Have a great day.

Thank you,

Clarissa J. Gonzales

\*\*\*\*\*

This message does not originate from a known Department of Energy email system.  
Use caution if this message contains attachments, links or requests for information.

\*\*\*\*\*

[Note: Items with an asterisk (\*) are required.]

10/27/2020

[Date\*]

Frank J. & Clarissa J. Gonzales

[Name\* of Property Owner or Neighborhood Association (NA) Representative, Name of NA]

6604 Petirrojo aka 7828 Aguila

[Address\* of Property Owner or NA Representative]

**RE: Public Notice of Proposed Project**

Dear Ms. Horvath [Name\* of Property Owner or NA Representative],

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance

(IDO) **Subsection 14-16-6-4(K)(2) Mailed Public Notice**, we are notifying you as a

Neighborhood Association Representative ☐ [Property Owner or NA Representative] that

Frank J. & Clarissa J. Gonzales [Name of Agent/Property Owner/Developer]

will be submitting the following application(s): [Application(s) per Table 6-1-1 in the IDO]

Variance – EPC



Variance – EPC



to be reviewed and decided by [Decision-making body per Table 6-1-1]

Environmental Planning Commission



The application(s) is/are for [description of project/request]

Height Variance Requested

1. Property Owner\* Frank J. and Clarissa J. Gonzales
2. Agent\* [if applicable] N/A
3. Subject Property Address\* 6604 Petirrojo aka 7828 Aguila
4. Location Description Corner of Petirrojo and Aguila
5. Zone Atlas Page \_\_\_\_\_ [Available here: <http://data.cabq.gov/business/zoneatlas/>]
6. Legal Description 01 011VOLCANO CLIFFS SUBD UNIT 18
7. Area of Property [typically in acres] \_\_\_\_\_
8. IDO Zone District D10 ☐

[Note: Items with an asterisk (\*) are required.]

9. Overlay Zone [if applicable] \_\_\_\_\_
10. Center or Corridor Area [if applicable] \_\_\_\_\_
11. Current Land Use [vacant, if none] \_\_\_\_\_
12. Deviations Requested [if applicable] \_\_\_\_\_
13. Variances Requested [if applicable] \_\_\_\_\_

This application will be decided administratively by staff. No public meeting or hearing is required.

You can ask for more information by contacting Catalina Lehner at [CLehner@cabq.gov](mailto:CLehner@cabq.gov) or 505-924-3935.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Please contact me with any questions or concerns at (505) 908-1918 [phone number\*] or via [fgonzal2@outlook.com](mailto:fgonzal2@outlook.com) [email\*].

More information about the project can be found here: [project webpage\*, if applicable]

#### Useful Links

**Integrated Development Ordinance (IDO):**

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Frank J. and Clarissa J. Gonzales \_\_\_\_\_ [Agent/Property Owner/Developer]

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_  
\_\_\_\_\_

From: [Clarissa Gonzales](#)  
To: [Gonzales, Frank J.](#)  
Subject: [EXTERNAL] Fwd: 6604 Petirrojo NW -Notice of Hearing for EPC  
Date: Wednesday, October 28, 2020 4:53:32 PM  
Attachments: [6604 Petirrojo Mailed Notice #2.pdf](#)

---

----- Forwarded message -----

From: Clarissa Gonzales <[cmaes20@gmail.com](mailto:cmaes20@gmail.com)>  
Date: Tue, Oct 27, 2020 at 11:32 AM  
Subject: 6604 Petirrojo NW -Notice of Hearing for EPC  
To: <[ekhaley@comcast.net](mailto:ekhaley@comcast.net)>

Good Afternoon,

Please see the attachment for the notice we have to send for an EPC hearing. If you have any questions or concerns. Please contact us.

Have a great day.

Thank you,

Clarissa J. Gonzales

\*\*\*\*\*

This message does not originate from a known Department of Energy email system.  
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\*\*\*\*\*

[Note: Items with an asterisk (\*) are required.]

10/27/2020

[Date\*]

Frank J. & Clarissa J. Gonzales

[Name\* of Property Owner or Neighborhood Association (NA) Representative, Name of NA]

6604 Petirrojo aka 7828 Aguila

[Address\* of Property Owner or NA Representative]

**RE: Public Notice of Proposed Project**

Dear Ms. Haley [Name\* of Property Owner or NA Representative],

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance

(IDO) **Subsection 14-16-6-4(K)(2) Mailed Public Notice**, we are notifying you as a

Neighborhood Association Representative ☐ [Property Owner or NA Representative] that

Frank J. & Clarissa J. Gonzales [Name of Agent/Property Owner/Developer]

will be submitting the following application(s): [Application(s) per Table 6-1-1 in the IDO]

Variance – EPC



Variance – EPC



to be reviewed and decided by [Decision-making body per Table 6-1-1]

Environmental Planning Commission



The application(s) is/are for [description of project/request]

Height Variance Requested

1. Property Owner\* Frank J. and Clarissa J. Gonzales
2. Agent\* [if applicable] N/A
3. Subject Property Address\* 6604 Petirrojo aka 7828 Aguila
4. Location Description Corner of Petirrojo and Aguila
5. Zone Atlas Page \_\_\_\_\_ [Available here: <http://data.cabq.gov/business/zoneatlas/>]
6. Legal Description 01 011VOLCANO CLIFFS SUBD UNIT 18
7. Area of Property [typically in acres] \_\_\_\_\_
8. IDO Zone District D10 ☐



[Note: Items with an asterisk (\*) are required.]

9. Overlay Zone [if applicable] \_\_\_\_\_
10. Center or Corridor Area [if applicable] \_\_\_\_\_
11. Current Land Use [vacant, if none] \_\_\_\_\_
12. Deviations Requested [if applicable] \_\_\_\_\_
13. Variances Requested [if applicable] \_\_\_\_\_

This application will be decided administratively by staff. No public meeting or hearing is required.

You can ask for more information by contacting Catalina Lehner at [CLehner@cabq.gov](mailto:CLehner@cabq.gov) or 505-924-3935.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Please contact me with any questions or concerns at (505) 908-1918 [phone number\*] or via fgonzal2@outlook.com [email\*].

More information about the project can be found here: [project webpage\*, if applicable]

---

### Useful Links

**Integrated Development Ordinance (IDO):**

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Frank J. and Clarissa J. Gonzales \_\_\_\_\_ [Agent/Property Owner/Developer]

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_  
\_\_\_\_\_

**Gonzales, Frank J.**

---

**From:** Frankie Gonzales <fgonzal2@outlook.com>  
**Sent:** Thursday, October 29, 2020 1:40 PM  
**To:** Gonzales, Frank J.  
**Subject:** [EXTERNAL] Fwd: 6604 Petirrojo NW Notice for EPC

Sent from my iPhone

Begin forwarded message:

**From:** Clarissa Gonzales <cmaes20@gmail.com>  
**Date:** October 29, 2020 at 1:36:53 PM MDT  
**To:** Babes♥ <fgonzal2@outlook.com>  
**Subject:** Fwd: 6604 Petirrojo NW Notice for EPC

Sent from my iPhone

Begin forwarded message:

**From:** Rene' Horvath <aboard111@gmail.com>  
**Date:** October 29, 2020 at 1:32:48 PM MDT  
**To:** Clarissa Gonzales <cmaes20@gmail.com>  
**Subject:** Re: 6604 Petirrojo NW Notice for EPC

Dear Mr. Gonzales,  
Thank you for your phone call explaining your variance request for 2 ft. 5 inches for the entry tower of your home.  
I'm glad you are aware of the view regulations and respect the height rules. As you explained to me, the entry tower will serve as a small view deck and add an attractive architectural feature to the home. WSCONA will not be requesting a meeting for the variance request.  
Thank you, for contacting us.  
Rene' Horvath  
WSCONA Land Use Director

On Tue, Oct 27, 2020 at 11:30 AM Clarissa Gonzales <[cmaes20@gmail.com](mailto:cmaes20@gmail.com)> wrote:

Good Afternoon,

Please see the attachment for the notice we have to send for an EPC hearing. If you have any questions or concerns. Please contact us.

Have a great day.

Thank you,

Clarissa J. Gonzales

\*\*\*\*\*  
This message does not originate from a known Department of Energy email system.  
Use caution if this message contains attachments, links or requests for information.  
\*\*\*\*\*

HIGHLANDS JOINT VENTURE C/O  
TAFOYA JAMES C  
2216 ROSENDO GARCIA RD SW  
ALBUQUERQUE NM 87105-3643

GONZALES MARY ELLEN BURNS  
2806 CALLE CAMPEON  
SANTA FE NM 87505-6419

HIGHLANDS JOINT VENTURE C/O  
TAFOYA JAMES C  
2216 ROSENDO GARCIA RD SW  
ALBUQUERQUE NM 87105-3643

HAJI SHIRAZ & YASMIN  
6619 SUERTE PL NE  
ALBUQUERQUE NM 87113-1971

GRIEGO AHREN L & MEREDITH K  
4843 STAFFORD PL NW  
ALBUQUERQUE NM 87120-3232

GALLEGOS J MELVIN & KATHLEEN J  
4632 ARLINGTON AVE NW  
ALBUQUERQUE NM 87114-4337

LAIL CHARLES R & BARBARA A  
7831 AGUILA ST NW  
ALBUQUERQUE NM 87120-7032

KIA FARBOD  
5336 MORNING SAGE WAY  
SAN DIEGO CA 92130-5049

GONZALES MARY ELLEN BURNS  
2806 CALLE CAMPEON  
SANTA FE NM 87505-6419

MONTOYA MAURICIO C & RICARDA P  
CO- TRUSTEE MONTOYA RVT  
PO BOX 5723  
SANTA FE NM 87502-5525

LOVE BETTY MAE & DENTON GORDON  
E & NANCY J TRUSTEES DENTON LVT &  
ETAL  
7816 HENDRIX RD NE  
ALBUQUERQUE NM 87110-1522

Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

Haji Shiraz & Yamin  
6619 SUITE PL NE  
ALBUQUERQUE NM 87113-1971



Frank J. & Clarissa J. Gonzales  
9051 FENTON LAKE RD.  
ABQ, NM 87120

LOVE BETTY MAE & DENTON GORDON E & NANCY J  
TRUSTEES DENTON LUT & ETL  
7816 HENDRIX RD NE  
ALBUQUERQUE NM 87110-1522



(Note: Items with an asterisk (\*) are required.)

10/29/2020

(Date\*)

Frank J. and Clarissa Gonzales

(Name\* of Property Owner or Neighborhood Association (NA) Representative, Name of NA)

7828 Aguilera NW Albuquerque, NM 87120

(Address\* of Property Owner or NA Representative)

RE: Public Notice of Proposed Project

Property Owner (Name\* of Property Owner or NA Representative)

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance

(IDDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a

Property Owner (Name of Agent/Property Owner/Developer)

Frank J. and Clarissa Gonzales

(Name of Agent/Property Owner/Developer)

will be submitting the following application(s) (Application(s) per Table 6-1.1 in the IDDO)

Site Plan - EPC

Site Plan - EPC

to be reviewed and decided by (Decision-making body per Table 6-1.1)

The application(s) is/are for (description of project/request)

Height Variance Requested

1. Property Owner: Frank J. and Clarissa Gonzales

2. Agent: (If applicable) 7828 Aguilera NW Albuquerque, NM 87120

3. Subject Property Address: Corner of Palmito and Aguilera

4. Location Description: (Available here: <http://www.ci.abq.nm.us/planning/development/development>)

5. Zone Atlas Page: D10

6. Legal Description: D1 011 VOLCANO CLIFFS SUBD UNIT 18

7. Area of Property (Physically in acres)

8. IDO Zone District: R-1D

CABQ Planning Dept.  
Mailed Public Notice

Printed 9/21/2018

(Note: Items with an asterisk (\*) are required.)

9. Overlay Zone(s) (If applicable)

10. Center or Corridor Area (If applicable)

11. Current Land Use (vacant, if none)

12. Deviations Requested (If applicable)

13. Variances Requested (If applicable)

The anticipated public hearing (meeting or hearing) for this request will be on

12/10/20 (Date) at 8:30am (Time)

In the Hearing Room (Basement Level) of Plaza Del Sol, 6800 2nd St NW, Albuquerque, NM 87102.

You can check the agenda for the relevant decision-making body online here:

<https://www.ci.abq.nm.us/planning/boards-committees> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated

meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed

project (IDDO Section 14-16-6-4(D)). To request a Facilitated Meeting regarding this project, contact the

Planning Department at [development@ci.abq.nm.us](mailto:development@ci.abq.nm.us) or 505-924-3955. To view and download the Facilitated

Meetings Criteria, visit <http://www.ci.abq.nm.us/planning/urban-design-development/facilitated-meetings>.

Please contact me with any questions or concerns at 505-908-1918 (phone number\*) or

via [frankj2@outlook.com](mailto:frankj2@outlook.com) (email\*).

More information about the project can be found here: (project webpage\*, if applicable)

#### Useful Links

Integrated Development Ordinance (IDDO):

<http://www.ci.abq.nm.us/planning/codes-policies-regulations/integrated-development-ordinance>

IDDO Interactive Map

<http://www.ci.abq.nm.us/planning/development/development>

Sincerely,

Frank J. and Clarissa Gonzales (Agent/Property Owner/Developer)

Cc: (Other Neighborhood Associations, if any)

CABQ Planning Dept.  
Mailed Public Notice

Printed 9/21/2018

Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

LAIL CHARLES R & BARRARA A  
7831 AGUILERA ST NW  
ALBUQUERQUE NM 87120-7032



Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

GRISSO AHHEN L & MEREDITH K  
4843 STAFFORD PL NW  
ALBUQUERQUE NM 87120-3232



Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

Melvin & Kathleen Gallagos  
4632 Arlington Ave. NW  
Albuquerque, NM 87114



Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd.  
Albuquerque, NM 87120

MONTOYA MAURICIO C & RICARDO P CD-TRUSTEE  
MONTOYA RVT  
PO BOX 5723  
SANTA FE NM 87508-5525



Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

HIGHLANDS JOINT VENTURE C/O TAYOYA JAMES C  
2216 ROSENDO GARCIA RD SW  
ALBUQUERQUE NM 87105-3643



Frank J. & Clarissa Gonzales  
9051 Fenton Lake Rd. NW  
Albuquerque, NM 87120

Mary Ellen  
2806 Calle Compton  
Santa Fe, NM 87505-4419



Frank J. & Clarissa J. Gonzales  
9051 FENTON LAKE RD  
ABQ, NM 87120

RIA FARROO  
5316 MORNING SADE WAY  
SAN DIEGO CA 92130-5048





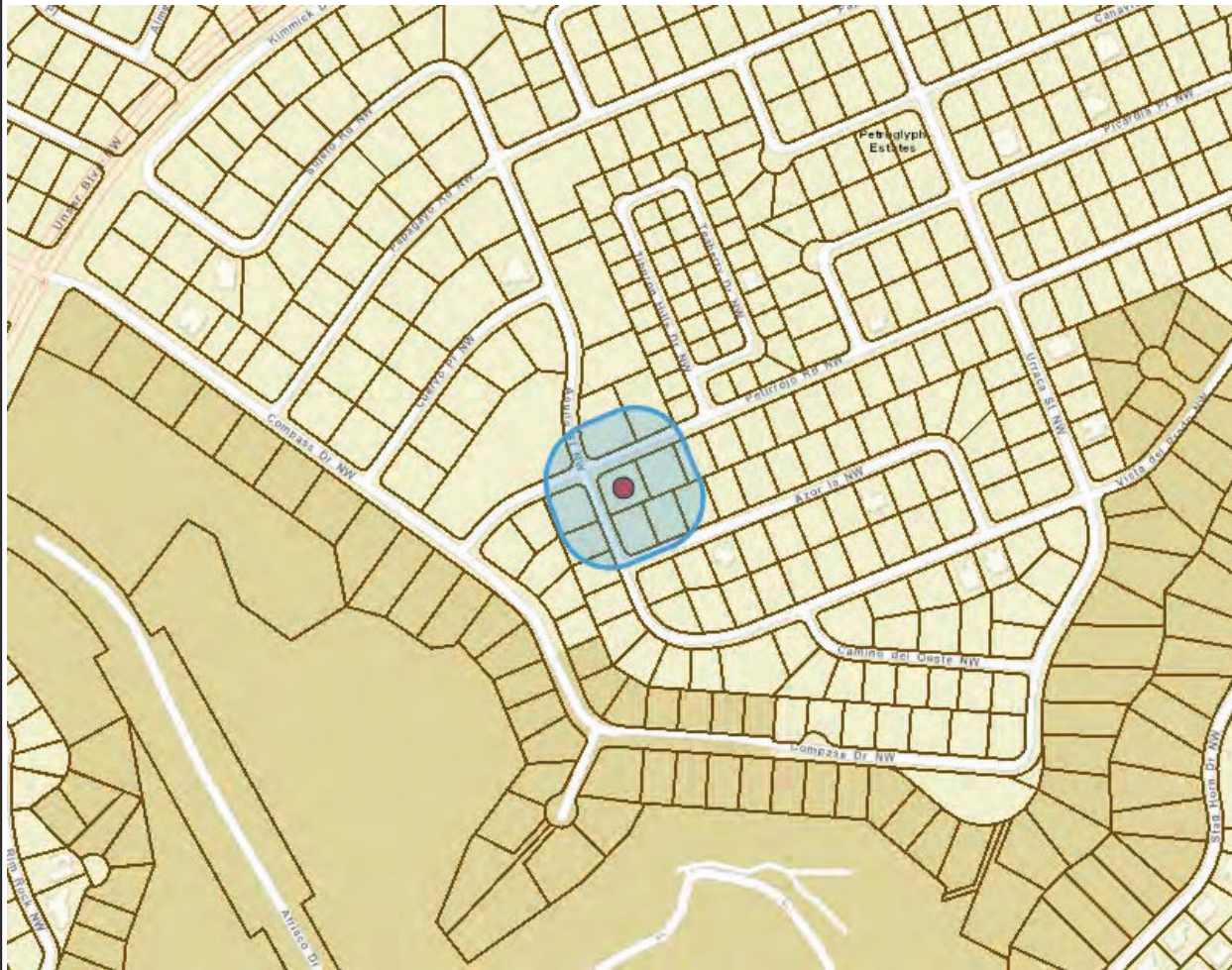


## 7828 Aguila St NW



### Legend

■ Bernalillo County Parcels



### Notes

Buffer Map: 160 FT.  
ROW Petirrojo Rd NW

908 0 454 908 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
10/29/2020 © City of Albuquerque

1: 5,448

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

SITE PLAN/ SITE SECTIONS / ELEVATION/ VIEW ANALYSIS  
REDUCTIONS

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 20, 2020

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

RE: **Lot 1 Block 11 Volcano Cliffs Unit 18 SAD 228  
6404 Petirrojo NW  
Grading and Drainage Plan  
Engineers Stamp Date 6/16/2020 (D10D003H1)  
Pad Certification Date 10/16/2020**

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your submittal received 10/20/2020, this plan is approved for Building Permit.

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

**Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated and Pad Certification.**

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

October 9, 2020

To whom it may concern

**RE: Grading plan  
7828 Aguila**

The purpose of this letter is to introduce and explain the grading plan for the reference lot. The development of this land was done at the direction of the city of Albuquerque with the Special Assessment District 228. The master drainage plan shows general flow paths for all the lots. This lot is required to drain to Aguila street as shown on the attached map. The surrounding roads were raised causing this lot to not be able to drain. The pad elevation was raised the absolute minimum to allow the site to drain per the city of Albuquerque drainage ordinance and the sad 228 master drainage plan. Any lowering of the pad will make the lot unbuildable. The limiting design issue was caused by the construction of the public road higher than the lot.

Should you have any questions regarding this submittal, feel free to contact me.

Sincerely,

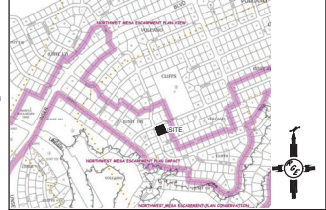


David Soule, PE  
Rio Grande Engineering  
505.321.9099

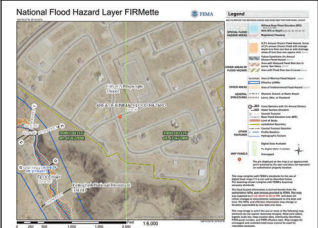


# **EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**VICINITY MAP: D-10-Z**



**FIRM MAP:**

## **LEGAL DESCRIPTION:**

LOT 1 BK 11 U 18 VOLCANO CLIFFS SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

## **NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED. PRIOR TO C&G.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

## **LEGEND**

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- PROPOSED EARTHEN SWALE
- ADJACENT BOUNDARY
- EXISTING CURB AND GUTTER
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE DRIVEWAY

Area	Area	Area	Area	Area	Area	Area	Area	Area	Area
100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'
100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'	100' x 100'

**Equations:**

Weighted  $E = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  (Total Area)

Volume = Weighted  $E \cdot$  Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year 6-hour storm, zone 1

$E_a = 0.04$   $Q_a = 1.29$

$E_b = 0.07$   $Q_b = 0.03$

$E_c = 0.08$   $Q_c = 0.07$

$E_d = 1.07$   $Q_d = 4.37$

ON-SITE CONDITIONS

FIRST FLUSH WATER QUALITY VOLUME REQUIRED

WATER QUALITY FLOOD CONTROL

Remarks

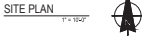
This site is within the SAG 228 Master Drainage plan boundaries. The site is to maintain existing patterns and drain as much as possible to the adjacent southeast culvert at the southeast per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable surface flow. This plan also corrects the allowed impervious area. Therefore propose to retain the 6-hour volume increase. The plan is in accordance to the master drainage plan.



SCALE: 1"=10'

ENGINEER'S SEAL	LOT 1 BK 11 U 18 VOLCANO CLIFFS SUB. 6604 PETIRROJO ROAD	DRAWN BY: DEM
DATE: 6/15/20	GRADING AND DRAINAGE PLAN	DATE: 6/15/20
DAVID SOLLE P.E. #14621	<b>Po Grande Engineering</b> 1000 UNIVERSITY AVENUE NW ALBUQUERQUE, NEW MEXICO 87102	SHEET # C1
		JOB #





2. SEE BELOW FOR EXISTAL PLATFORM LOCATIONS.
3. PROVIDE ALL EXISTAL VERTICAL LOCATIONS.
4. PROVIDE SET FENCING OR PROPERTY LINES FOR LOCATION OF CONSTRUCTION OR DRIVE. LIFE WALLS ARE BUILT.
5. LIFE WALLS SHALL BE LOCATED IN BARRIERS WHEREVER EXISTING.
6. CURBS OF CLEARING & GRADING SHALL BE THE PROPERTY LINES OF THE PROJECT.
7. PROVIDE FENCEABLE OR UNFENCEABLE BARRIERS AND SIGNAGE WHERE POSSIBLE FOR CITY LIMITS, BELLFLOWS AND MASTER PLANS. THE LOCATION OF THE FENCEABLE BARRIERS AND LIFE WALLS SHALL BE BUILT AS A CONCRETE OR METAL POST AND RAIL OR CONSTRUCTION SHALL COMPLY WITH CONSTRUCTION.
8. THE DISTURBANCE ZONES SHALL BE CREATED BY FENCING OR CONSTRUCTION OF THE BARRIERS AND SIGNAGE. THE DISTURBANCE ZONES SHALL BE LOCATED IN THE BARRIERS AND SIGNAGE ARE LOCATED ON THE LOT FROM THE BARRIERS AND SIGNAGE.
9. FENCED-GRAD AT THE EDGE OF THE BUILDING SHALL BE SLOPED TO PROVIDE A MINIMUM OF 10 FEET OF FENCED-GRAD AT THE EDGE OF THE BUILDING. THE FENCED-GRAD SHALL BE SLOPED TO PROVIDE A MINIMUM OF 10 FEET OF FENCED-GRAD AT THE EDGE OF THE BUILDING. THE FENCED-GRAD SHALL BE SLOPED TO PROVIDE A MINIMUM OF 10 FEET OF FENCED-GRAD AT THE EDGE OF THE BUILDING.
10. SPECIFICATIONS FOR ALL SLOPS REQUIRED OR GRADING & DRAINAGE SHALL BE PROVIDED IN THE SPECIFICATIONS AND ALL SLOPS SHALL BE PROVIDED IN THE SPECIFICATIONS AND ALL SLOPS SHALL BE PROVIDED IN THE SPECIFICATIONS.
11. SEE BELOW FOR PREPARED METHOD OF SLOPES, SLOPE INTERPOLATION.
12. ALL LOCALS AND NATIONALS SHALL BE DESIGNATED FOR ALL SLOPS.



2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

7828 AGUILA ST. NW  
ALBUQUERQUE, NM 87120  
MR. AND MRS. GONZALES

**adwelling** LLP  
**DESIGN**

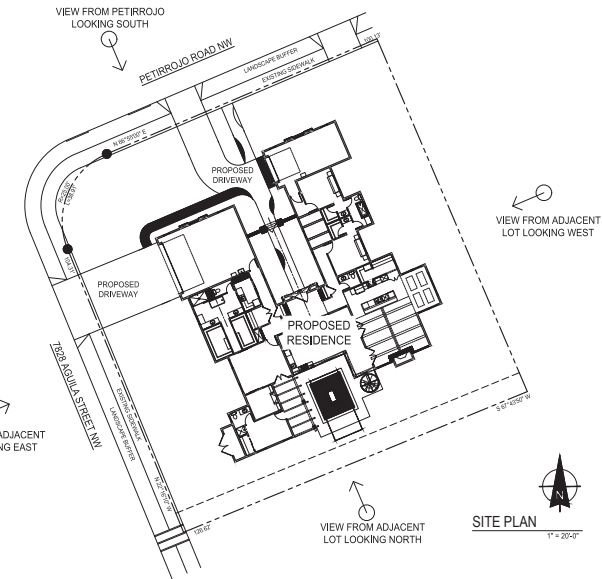
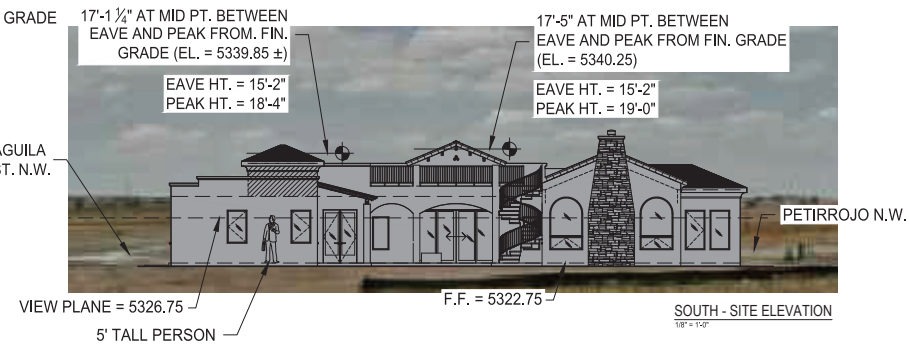
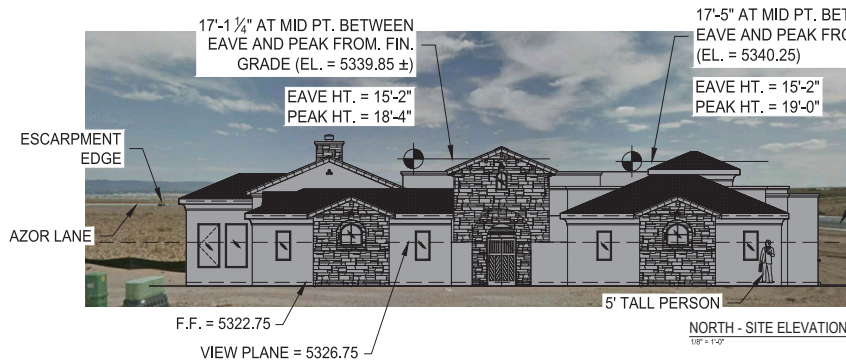
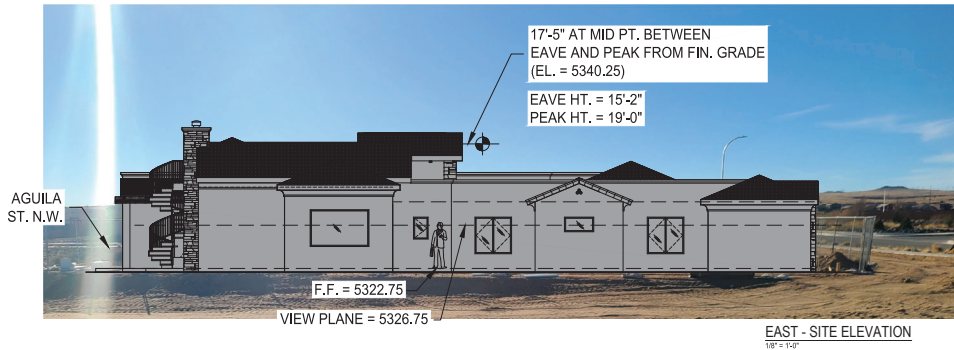
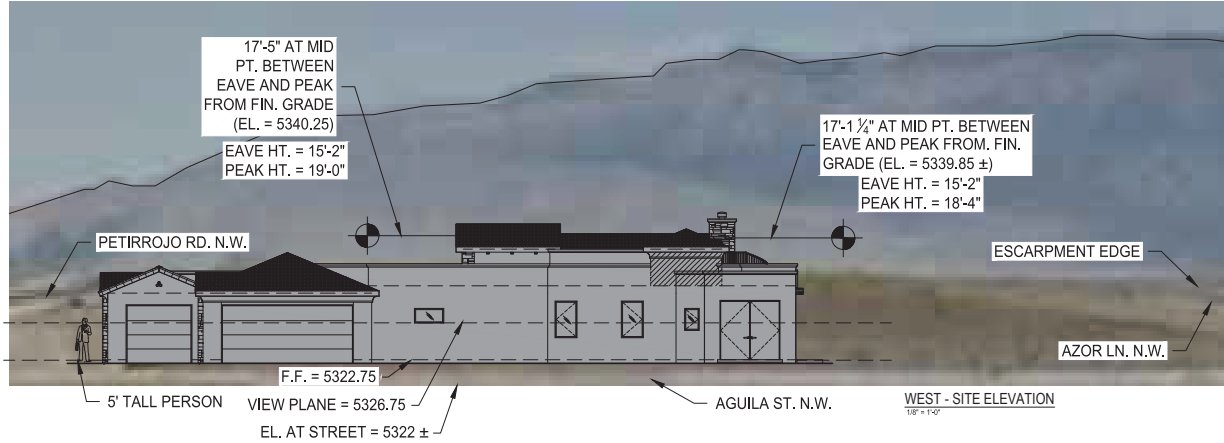
EXTERIOR ELEVATIONS

PROJECT NAME  
GONZALES RESIDENCE

PROJECT NUMBER	20-003
PROJECT PROGRESS	FINAL
OWNER	ADWELLING
DESIGNED BY	DG
APPROVED BY	MH
DATE	09.04.20
SCALE	AS NOTED

A3

• 8 TOTAL SHEETS



1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO ENSURE THAT THE PROJECT IS COMPLETED IN ACCORDANCE WITH THE PROJECT'S INTENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT'S INTENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT'S INTENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROJECT'S INTENT.

7828 AGUILAS ST. NW  
ALBUQUERQUE, NM 87120  
MR. AND MRS. GONZALES

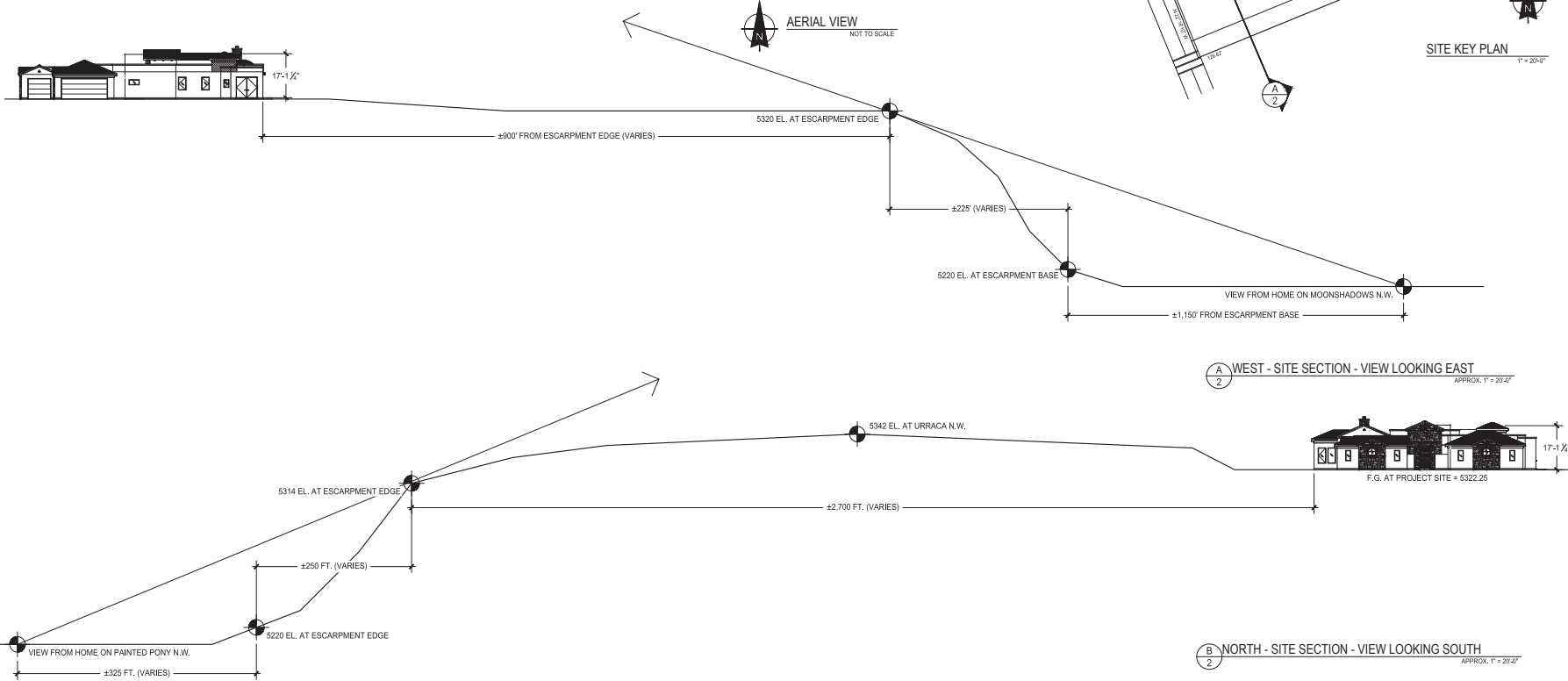
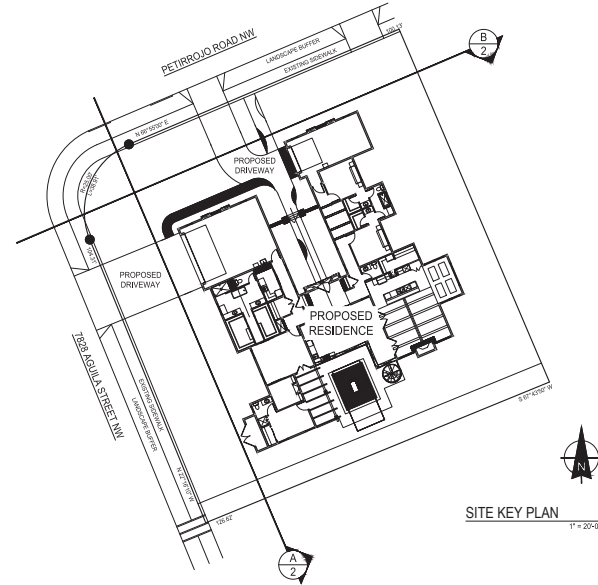
adwelling  
DESIGN

SITE PLAN & SITE ELEVATIONS  
GONZALES RESIDENCE

PROJECT NUMBER: 20-003  
PROJECT PHASE: FINAL EPC  
ARCHITECT: ADWELLING  
CHECKED BY: DG  
DATE: 01.13.21  
AS NOTED

1

- 8 TOTAL SHEETS -



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ALBUQUERQUE, NM 87120  
MR. AND MRS. GONZALES

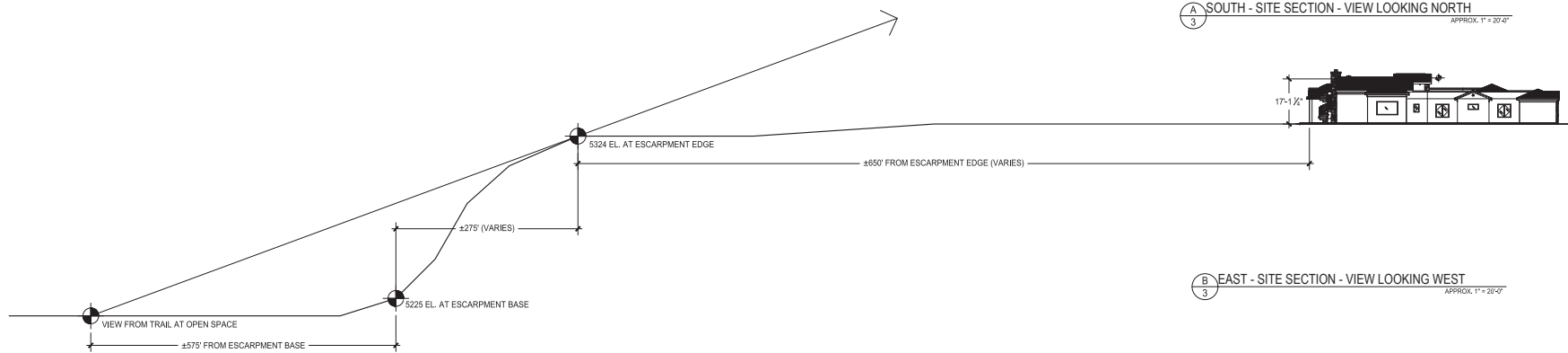
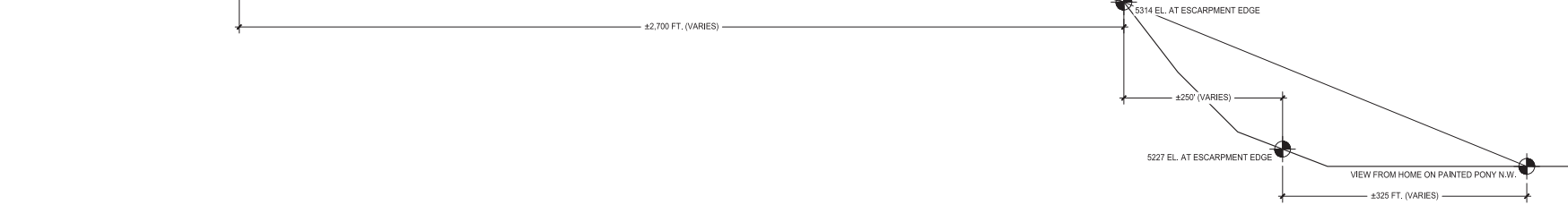
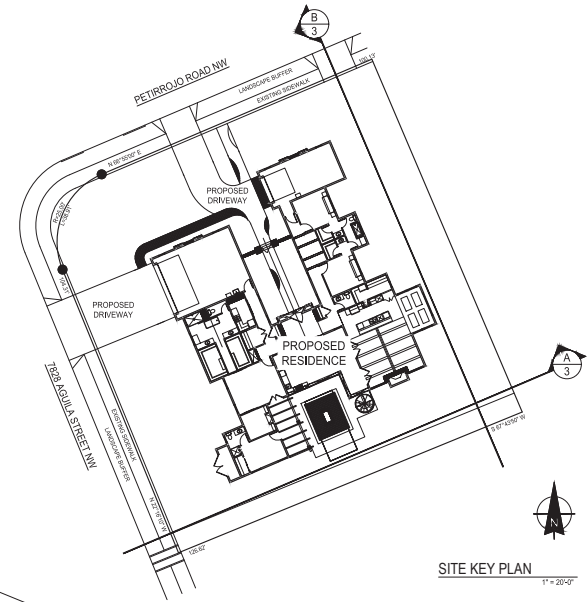
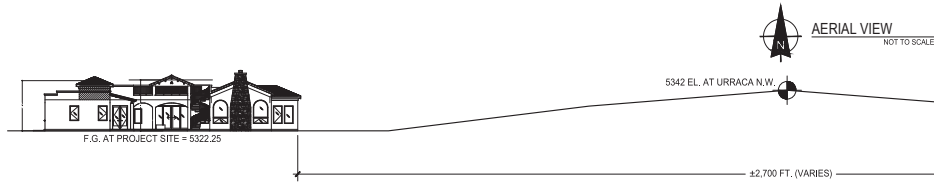
adwelling  
DESIGN

SITE SECTIONS  
WEST AND NORTH  
GONZALES RESIDENCE

PROJECT NUMBER: 20-303  
PROJECT PHASE: FINAL EPC  
OWNER: ADWELLING  
DESIGNED BY: DG  
DATE: 01.13.21  
AS NOTED

2  
- 8 TOTAL SHEETS -





1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY THAT THE SHEET MAY CONTAIN WORK PERTINENT TO THEIR PROJECT TO REVEAL THESE DRAWINGS AS SUCH. EACH SHEET OF THIS SET OF DRAWINGS IS THE PROPERTY OF ADWELLING DESIGN AND SHALL REMAIN THE PROPERTY OF ADWELLING DESIGN. REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OTHERWISE, WITHOUT THE WRITTEN PERMISSION OF ADWELLING DESIGN IS NOT RECOMMENDED.

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ALBUQUERQUE, NM 87120

MR. AND MRS. GONZALES

adwelling  
DESIGN

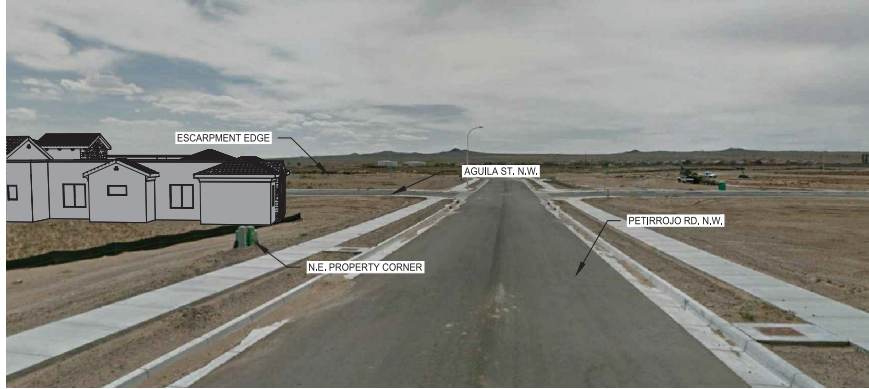
SITE SECTION  
SOUTH AND EAST

GONZALES RESIDENCE

PROJECT NUMBER: 20-003  
PROJECT PHASE: FINAL EPC  
OWNER: ADWELLING  
DRAWN BY: DG  
DATE: 01.13.21  
AS NOTED  
CHECKED BY: DG  
APPROVED BY: DG

3

- 8 TOTAL SHEETS -



VIEW PLANE EXHIBIT - LOOKING WEST FROM PETIRROJO  
NOT TO SCALE



AERIAL VIEW  
NOT TO SCALE



VIEW PLANE EXHIBIT - LOOKING SOUTHEAST FROM PARK  
NOT TO SCALE



VIEW PLANE EXHIBIT - LOOKING EAST FROM COMPASS N.W.  
NOT TO SCALE

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THAT THE SHEET MAY CONTAIN WORK PERTINENT TO THEIR PROJECT TO REVEAL THESE DRAWINGS AS SUCH. EACH SHEET OF THIS DRAWING SET IS A SEPARATE DOCUMENT. REPRODUCTION, SCALING, THE DRAWING TO VERIFY OR OTHER DIMENSIONS IS NOT RECOMMENDED.

7828 AGUILA ST. NW  
ALBUQUERQUE, NM 87120  
MR. AND MRS. GONZALES

adwelling  
DESIGN

VIEW PLAN EXHIBITS  
GONZALES RESIDENCE

PROJECT NUMBER  
20-203  
PROJECT PHASE  
FINAL EPC  
OWNER  
ADWELLING  
CHECKED BY  
DG  
DATE  
01.13.21  
AS NOTED  
DESIGN

4

- 8 TOTAL SHEETS -