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CITY OF ALBUQUERQUE

Albuquerque, New Mexico

Planning Department

Mayor Timothy M. Keller

INTER-OFFICE MEMORANDUM

September 4, 2024

TO: Dan Lewis, President, City Council

FROM: Alan Varela, Planning Director 
Alan Varela (Sep 9, 2024 11:16 MDT)

SUBJECT: **AC-24-21**, VA-2024-00233, PR 2022-006844

BP-2024-10295, BP 2024-15349, BP-2024-15353

Danny Senn appeals the Site Plan-Administrative decision to approve a Site Plan for all or a portion of TRACT A THE PEARL ADDITION (being a replat of Tracts 107-B, 107-C together with Tract 106-A within projected Section 18 T10 N, R3E) zoned MX-M and R1-A, located at 1701/1623 Central Avenue, NW containing approximately 0.5767 acre(s). (J-13)

REQUEST

This is an appeal of the administrative approval of a Site Plan for a mixed-use development including 34 multi-family units and 19,926 square feet of commercial space. The Site Plan is for a project less than 50,000 square-foot and less than 5 acres and, therefore, was filed in conjunction with the building permit. The site plan portion of the site plan/building permit submittal is the item under appeal.

The application was received on April 11, 2024 and was deemed complete on June 7, 2024. The review was according to the IDO Effective Date of July 2023. The Site Plan was approved with the Building Permit on July 18, 2024.

The appellant made a timely appeal of the application by filing by August 5, 2024.

An appeal of a site plan decision must show the following:

IDO 6-4(V)(4) Criteria for Decision

The criteria for review of an appeal shall be whether the decision-making body or the prior appeal body made 1 of the following mistakes.

6-4(V)(4)(a) The decision-making body or the prior appeal body acted fraudulently, arbitrarily, or capriciously.

6-4(V)(4)(b) The decision being appealed is not supported by substantial evidence.

6-4(V)(4)(c) The decision-making body or the prior appeal body erred in applying the requirements of this IDO (or a plan, policy, or regulation referenced in the review and decision-making criteria for the type of decision being appealed).

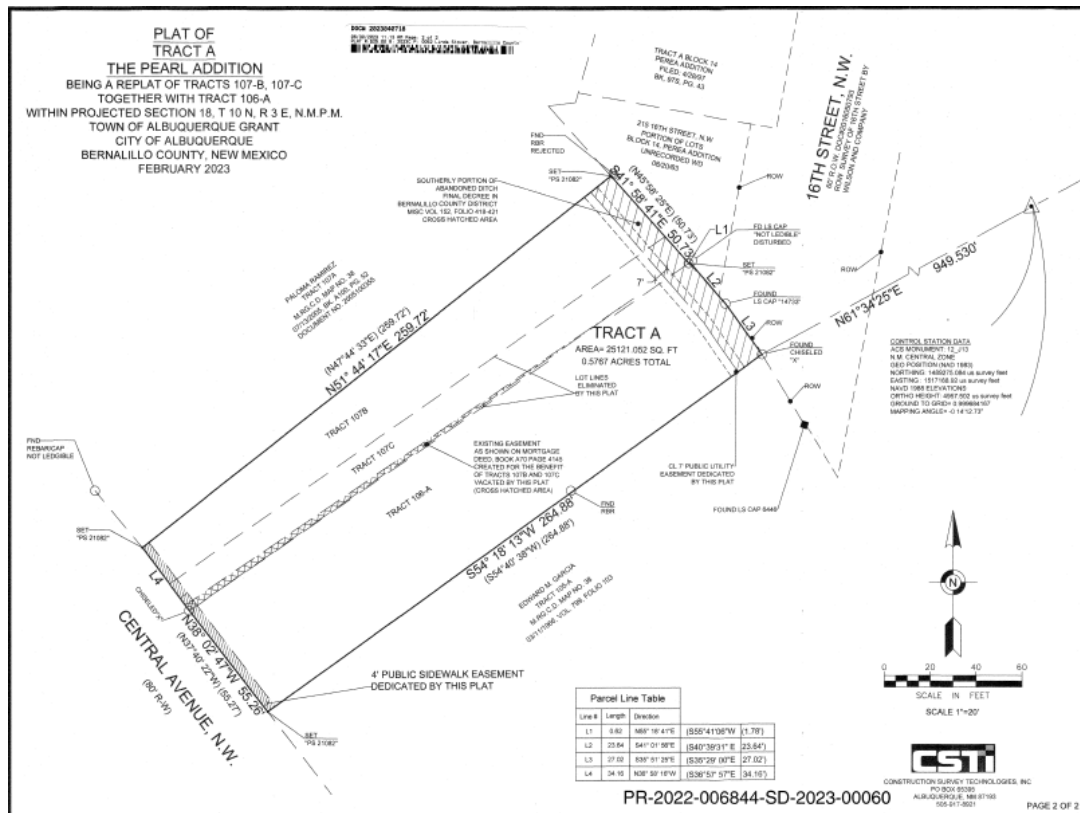
BACKGROUND

A. Previous Approvals

Preliminary/Final Plat. On March 22, 2023, the Development Hearing Officer (DHO) reviewed and approved a request for a replat of the subject property (PR 2022-006844). The plat consolidated three lots (Tracts 107-B, 107-C, and 107-A) into one parcel and vacated a private easement. The R1-A zoning over the abandoned MRCGD acequia was existing on the three parcels and was retained on the replat.

Staff had previously reviewed the proposed plat and proposed development for multifamily and commercial at a sketch plat on April 20, 2022. Staff comments are in the “Additional Information” section of the Record.

Figure 1. Preliminary Plat approved by the DHO, March 22, 2023. The full Plat is in the Record under ‘Additional Information.’



An Infrastructure List for the widening of the Central Avenue sidewalk was reviewed with the plat and received final approved on March 31, 2023.

B. Site Plan-Administrative Approval Under Appeal:

The application for a Site Plan for projects less than 50,000 square feet and under 5 acres are reviewed administratively by Planning Department staff, including transportation, hydrology, and code enforcement. This occurs concurrently with the Building Safety review of the building permit. The site plan and building plan submittal combine to become a building permit approval. The full application was received April 11, 2024. The Site Plan-Administrative portion was reviewed subject to the following criteria from the IDO:

IDO 6-5(G)(3) Review and Decision Criteria

An application for Site Plan – Administrative shall be approved if it meets all of the following criteria.

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection Sub-section 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

REASONS FOR THE APPEAL

This memo summarizes the appeal statements made by the appellant. Please refer to the filed appeal for the complete text of the appellants statements.

1. **Appellant:** IDO 6-4(V)(4)(a). The well-being of the 16th Street Neighborhood has not been addressed and are arbitrarily ignored by proposing traffic access on a very narrow street.

Staff Response: The appellant refers to the IDO review criterion for an appeal and appears to assert that the staff acted arbitrarily in reaching its decision. The appellant associates a claim of the wellbeing of the neighborhood with traffic access to 16th Street.

Staff incorporated a 2022 ZEO Interpretation in its review of the multi-family access. The ZEO interpretation focused on the question: Does the IDO provision 14-16-3-4(D)(5)(a)2. Parking Access prohibit parking access to *residential* development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. The ZEO determined that the provision does allow access for residential uses to 16th Street.

16th Street measures approximately 27 feet from face-of-curb to face-of-curb. 16th Street is classified as an Access Local. Its current width of 27 feet is within the current design standard of 26-28 feet face-of-curb to face-of-curb for an Access Local. The Traffic Engineer allowed the residential portion of the project to access 16th Street because it is the function of an 'Access Local' to provide access to parcels, as opposed to 'Limited Access' streets, and the street is wide enough to perform this function.

2. **Appellant:** Referring to IDO 'Access and Connectivity Section' IDO 14-16-5-3(A)(4) and (A)(5). There is an impact on the 16th St neighborhood directly behind the property in which the traffic from this proposed building will be diverted. It is not an efficient or convenient access, and the issue of mitigating the traffic impact has not been addressed responsibly.

Staff Response: The IDO Access and Connectivity Section 5-3 includes these two purpose statements:

- (A) (4) Ensuring convenient and efficient access to current and future neighborhoods.
- (A)(5) Improve connectivity in existing and future development by mitigating the traffic impacts of new development.

The purpose statements lead to regulations which follow in the section and cross reference other regulations in the IDO and Development Process Manual (DPM). The City Council approves the IDO which combines purpose statements with the regulations that implement them. The purpose statements are not something staff can use discretion to apply differently than laid out in the IDO regulations.

Staff used DPM standards regarding the Traffic Impact Study (TIS) and for the Traffic Circulation Layout (TCL). The traffic generated from the proposed development falls well below the 100 trips during either the AM or PM peak hour threshold where Transportation can require a TIS (DPM 7-5(C)). There are only 22 total trips generated by the development in the AM Peak Hour and 34 trips generated in the PM Peak Hour, substantially below the 100-trip threshold.

The **commercial** portion of the project would generate approximately 5 trips in the AM peak and 7 trips in the PM peak, based on the latest ITE Trip Generation Manual. The commercial trips only affect traffic on Central. The cars are parking offsite, except for a dedicated ADA space, which was secured through an agreement with the Department of Municipal Development which oversees Central Avenue operations. The customers will have primary access to the commercial building via vehicle, transit, or walking and only from Central Ave. The commercial users will have with no vehicle access from 16th Street.

This type of parking agreement is allowed per IDO 14-16-5-5(C)(5)(b) 'Shared Parking Reduction' and IDO 14-16-5-5(C)(6)(e) 'Off-site Parking Credit':

IDO 14-16-5-5(C)(6)(e) Off-site Parking Credit

1. The provision of required parking at an off-site parking

area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.

2. Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.

The location standard for this project is that the designated parking is within 330 feet of the premises served by the parking. (*See IDO 14-16-5-5(F)(1)(a)(10).*) These parking arrangements are in support of Main Street/Premium Transit for this segment of Central which emphasize access by transit and pedestrians. (*See "Approved Shared Parking Agreement" in 'Submittals' section of the Record.*)

The **residential** portion of the project will generate approximately 17 trips in the AM peak hour and 27 trips in the PM peak hour, based on the latest ITE Trip Generation Manual. All required residential parking is located north of the multi-family building with access via 16th Street, which is permitted by IDO Subsection 14-16-3-4(D)(5)(a)2.

Figure 2. Graphic from the Recorded Shared Parking Agreement. (Additions by staff are: (1) a red circle indicating location of required ADA parking space, (2) a blue circle indicating required parking spaces, (3) a black circle indicated location of required motorcycle space, and (4) a yellow highlight showing the property boundary.)

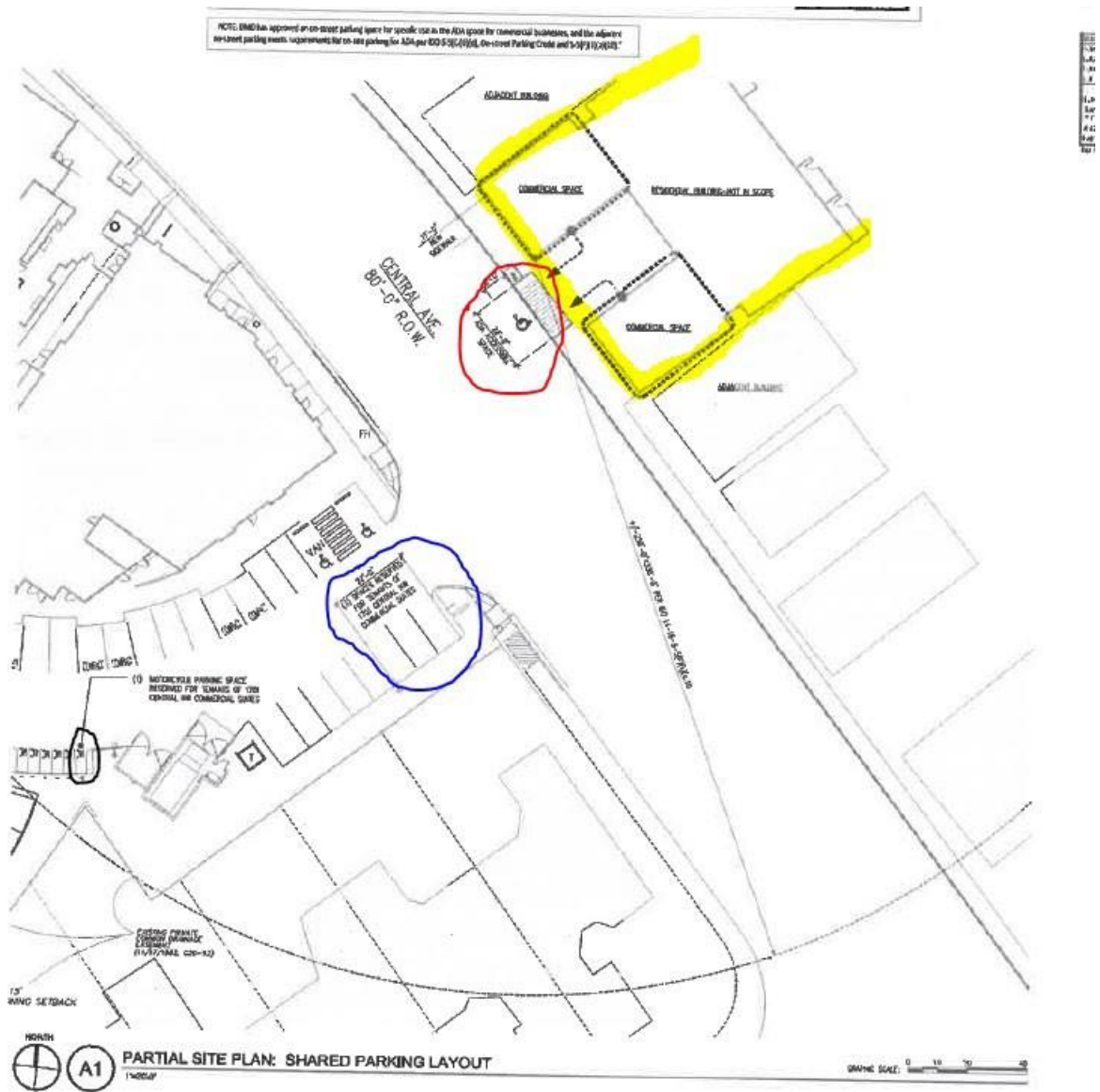
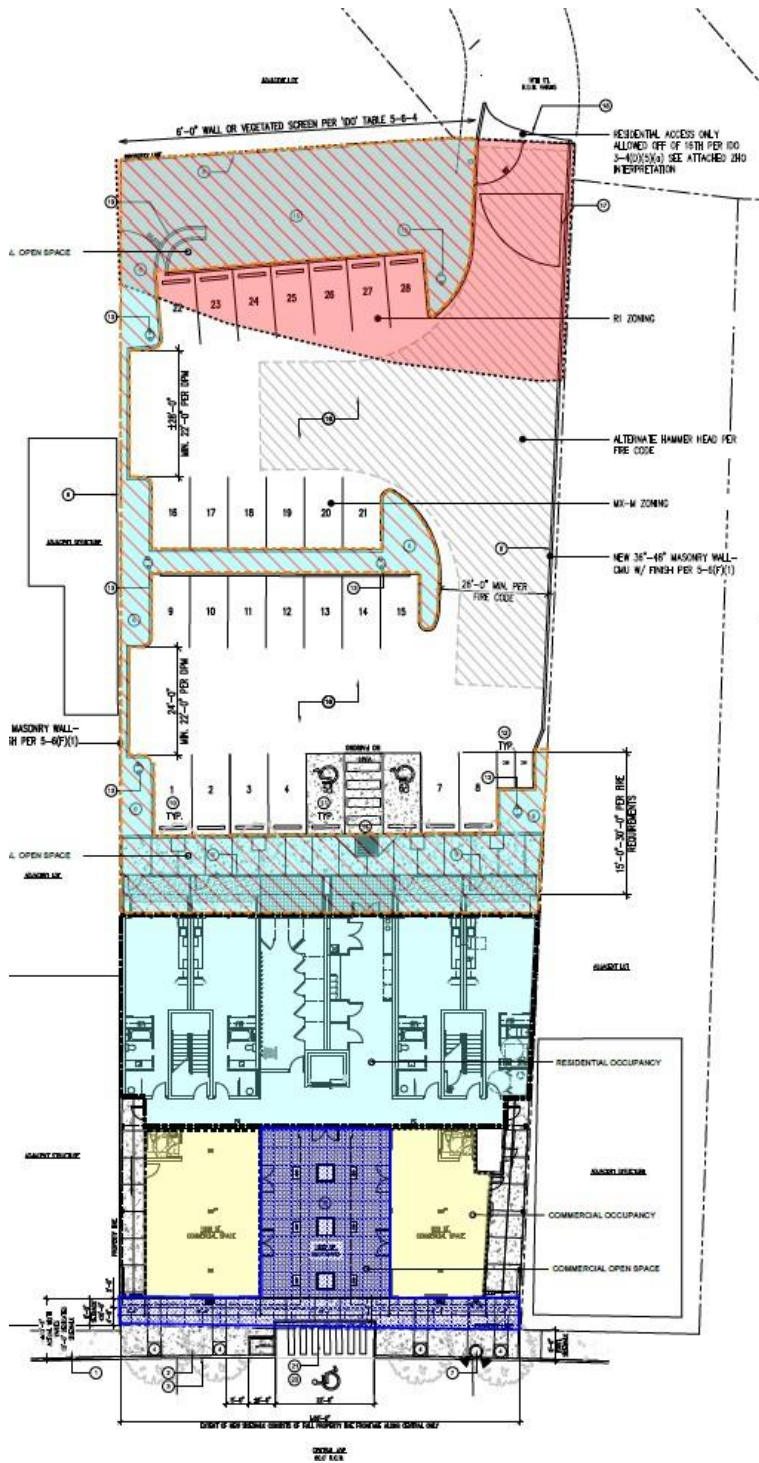


Figure 3. The Pearl, mixed-use development, approved Site Plan.



CONCLUSION

The Planning staff reviewed the Site Plan–Administrative application and found that it met the requirements of the IDO and DPM. The access for the project is compliant with IDO Subsection 14-16-3-4(D)(5). The commercial portion of the project uses Central Avenue as the primary access for vehicles, transit riders, and pedestrians. The required parking is provided through an Off-Site Parking agreement with most parking provided across Central Avenue. The residential portion of the project has vehicle accessing parking from 16th Street. 16th Street is the standard width of 27 feet for an Access Local. The decision was supported by substantial evidence and was not arbitrary or capricious. The Planning staff did not err in applying the IDO and DPM to the site plan.






Planning_Memo_AC-24-21_Senn_Final

Final Audit Report

2024-09-09

Created:	2024-09-09
By:	Lucinda Montoya (lucindamontoya@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAa8cwYicwgz_mOLFmjXqNRmioppNdq6DV

"Planning_Memo_AC-24-21_Senn_Final" History

-  Document created by Lucinda Montoya (lucindamontoya@cabq.gov)
2024-09-09 - 4:23:47 PM GMT
-  Document emailed to Alan Varela (avarela@cabq.gov) for signature
2024-09-09 - 4:23:53 PM GMT
-  Email viewed by Alan Varela (avarela@cabq.gov)
2024-09-09 - 5:16:03 PM GMT
-  Document e-signed by Alan Varela (avarela@cabq.gov)
Signature Date: 2024-09-09 - 5:16:23 PM GMT - Time Source: server
-  Agreement completed.
2024-09-09 - 5:16:23 PM GMT



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Opposition to traffic being diverted onto 16th Street. This imposes a hardship for the current residents who currently have a very narrow street as is, adding more traffic will have a negative impact on the established neighborhood.

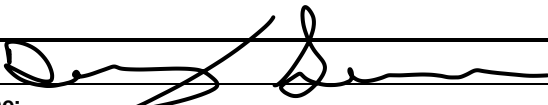
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM A: Appeals

Complete applications for appeals will only be accepted within 15 consecutive days, excluding holidays, after the decision being appealed was made.

- APPEAL OF A DECISION OF CITY PLANNING STAFF (HISTORIC PRESERVATION PLANNER) ON A HISTORIC CERTIFICATE OF APPROPRIATENESS – MINOR TO THE LANDMARKS COMMISSION (LC)**
- APPEAL OF A DECISION OF CITY PLANNING STAFF ON AN IMPACT FEE ASSESSMENT TO THE ENVIRONMENTAL PLANNING COMMISSION (EPC)**
- APPEAL TO CITY COUNCIL THROUGH THE LAND USE HEARING OFFICER (LUHO)**

Interpreter Needed for Hearing? if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form A at the front followed by the remaining documents *in the order provided on this form*.

Project number of the case being appealed, if applicable: _____

Application number of the case being appealed, if applicable: _____

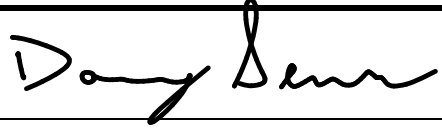

Type of decision being appealed: Building Permit -2024-10295

Letter of authorization from the appellant if appeal is submitted by an agent

Appellant's basis of standing in accordance with IDO Section 14-16-6-4(V)(2)

Reason for the appeal identifying the section of the IDO, other City regulation, or condition attached to a decision that has not been interpreted or applied correctly, and further addressing the criteria in IDO Section 14-16-6-4(V)(4)

Copy of the Official Notice of Decision regarding the matter being appealed

Signature: 	Date: <u>7/30/2024</u>
Printed Name: <u>Danny Senn</u>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number: _____
Staff Signature: _____	
Date: _____	



Building Permit BP-2024-10295 (Issued)

Status: Issued
Application Date: Mar 20, 2024
Issue Date: Jul 18, 2024
Completed Date:
Expiration Date: Jan 18, 2025

Description: Commercial - Apartment - New Building

Details Inspections

DETAILS

Type of Building Permit: Commercial
Location: 1701 CENTRAL AV NW, Albuquerque, NM
Specific Location:
Work Description: Construction of a new four (4) story, wood construction, market rate apartment building. Approximately 19,926 square feet, with 1,846 square feet of commercial space located on the first floor. Property boundaries include zero lot lines along the east and west, with an open parking lot to the north and Central Avenue to the south.
 Main permit: BP-2024-10295
 Associated permits:
 BP-2024-15349
 BP-2024-15353
Type of Work: (None)
Type of Structure: Apartment **Number of Units:**
Other:

PARCELS

Parcel ID	Address	Net Acres
10-130-5827814431111	1701 CENTRAL AV NW, Albuquerque, NM	0.17
10-130-5828014231110	1701 CENTRAL AV NW, Albuquerque, NM	0.09
10-130-5828114131109	1701 CENTRAL AV NW, Albuquerque, NM	0.04
Total Area:		0.3

OWNER / TENANT

Name: Silver Lofts, LLC

RESIDENTIAL

Type of Heat: (None)
Fireplace: (None)
Total Square Feet: 24,701

UTILITIES

Water Supply Type: (None)
Sewer Type: (None)
Septic Permit Number:
New Gas Service:
New Power Service:

ZONING

County Zoning:
Zoning Code: (None)

RELATED INFORMATION

Type	Description
 Building Occupancy	Occupancy: R-2 Residential (>2 Dwellings) 23970 Sq. Ft.
 Building Occupancy	Occupancy: S-2 Storage (Low Hazard) 731 Sq. Ft.
 Building Contractor	INSIGHT CONSTRUCTION, LLC Phone: (505) 888-7927, No License Numbers
 Building Contractor	Rembe Properties Phone: (505) 243-0188, No License Numbers

Zoning Approved: In Flood Zone:
Other Zoning
Jurisdiction: (None)

Screen ID: 972087

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Referring to IDO 6-4(V)(2) the Downtown Neighborhood Association qualifies to stand for appeals based on proximity to subject property. The Office of Neighborhood Coordination recognizes the Downtown Neighborhood Association as included in the boundary map of Subject Property.

Danny Senn, President of the Downtown Neighborhood Association

Criteria for Decision- IDO 6-4(V)(4)(a)

The well being of the 16th Street neighborhood have not been addressed and abitrarily ignored by proposing traffic access on a very narrow street

Referring to the IDO Access and Connectivity section-

IDO 5-3(A)(4) and IDO 5-3(A)(5)

The Downtown Neighborhood Association appeals the decision to issue building permit 2024-10295 to Silver Lofts LLC. 1701 Central Ave NW. We as a board are opposed mainly because of the impact of the 16th Street neighborhood directly behind the property in which the traffic from this proposed building will be diverted. It is not an efficient or convenient access, the issue of mitigating the traffic impact has not been addressed responsibly.

Danny Senn, President of the Downtown Neighborhood Association

Good afternoon,

I can confirm that the Permit for BP-2024-10295 at 1701 Central Ave. NW (for the construction of a new four (4) story multi-family residential and commercial building) was issued today, along with the associated permits for BP-2024-15349 and BP-2024-15353 for the construction of 1,000 square foot and 846 square foot shell spaces respectively. With the issuance of the Permits, the window to appeal to the Land Use Hearing Officer (LUHO) the Site Plan Administrative-portion of the project has commenced.

Per 6-4(V)(3) of the IDO, an appeal must be filed within 15 calendar days, excluding City holidays and the date that the decision was made (which is today, the date of the issuance of the Permits). According to my calculations, that deadline would fall on Saturday, August 3rd. Per the definition of “Calendar Days” in the IDO, if the final day falls on a weekend, the period ends on the following business day. Therefore, **the appeal submittal deadline is Monday, August 5th**. Should an appeal be submitted, a **complete** appeal submittal must be submitted by the close of business on that date (any deficiencies in the appeal submittal must be remedied by the deadline to ensure a timely appeal submittal).

Should it be decided to submit an appeal of the Site Plan Administrative-portion of the project, our Navigators (Annette Ortiz at annetteortiz@cabq.gov and Renee Zamora at rczamora@cabq.gov) in the Development Review Services Division can be contacted to obtain the application forms for an appeal and receive guidance as to what will need to be included in the appeal submittal (they are both copied in this message as well).

In lieu of a Notice of Decision (NOD), you can include the attached documentation confirming the issuance of the Building Permits. I defer to senior Planning staff, Building Safety staff, and Code Enforcement staff copied in this message regarding any additional documentation which could be provided within an appeal submittal in lieu of an NOD.

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf

Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

- [image001.jpg](#)
- [LMS Online \(OCI\) - Building Permit BP-2024-15353 \(Issued\).pdf](#)
- [LMS Online \(OCI\) - Building Permit BP-2024-15349 \(Issued\).pdf](#)
- [LMS Online \(OCI\) - Building Permit BP-2024-10295 \(Issued\).pdf](#)

Plan Review - Review Comments Report

Project Name: **BP-2024-10295**

Workflow Started: **3/21/2024 2:35:08 PM**

Report Generated: **08/13/2024 08:57 AM**

REVIEW COMMENTS						
REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
1		Review Coordinator Desiree Gonzales 3/25/24 7:49 AM	Comment All files in the DRAWINGS folder must be uploaded one page at a time. The following files have multiple pages which need to be uploaded separately. 23.07 MP 1701 Central.pdf If you need files removed or moved to a different folder, please provide the EXACT name of the file, the date it was uploaded, the version and what you want done with it.		Responded by: Kenneth Myers - 3/26/24 2:15 AM My apologies, please remove the following documents, as they are full copies of mechanical and electrical. Note the single drawings were included in the original upload: 23.07 ELEC 1701 Central IFC, 23.07 MP 1701 Central -Thanks!	Resolved
2	1	Hydrology Brian Melton 3/26/24 10:44 AM	Comment Approved Final inspection required			Info Only
3	1	Transportation Brian Melton 3/26/24 10:48 AM	Comment Disapproved A Traffic Circulation Layout (TCL) plan is required, when new or modified changes are requested for site access, circulation for parking areas, and drive through facilities. A pre-design conference with this office is recommended, to schedule a meeting contact: Marwa Al-najjar; 505-924-3675, malnajjar@cabq.gov, Ernest Armijo; 505-924-3991, earmijo@cabq.gov or Curtis Cherne 505-924-3986 ccherne@cabq.gov http://documents.cabq.gov/planning/development-process-manual/DPM-2020-06-02_signed.pdf Transportation Chapter 7.		Responded by: Kenneth Myers - 5/28/24 12:04 PM TCL HAS BEEN SENT TO TRAFFIC FOR APPROVAL	Resolved
4	1	Fire Christopher Payan 3/26/24 11:07 AM	Comment APPROVED WITH CONDITIONS. STANDPIPE LOCATIONS WILL BE NOTED ON ALL FUTURE PLANS FIRE FINAL REQUIRED			Info Only
5	1	Electrical David Tedford 3/26/24 3:18 PM	Comment Electrical: Corrections Needed Electrical Final Inspection: Yes Reviewed: 3/26/2024 If you have any questions please call me, David Tedford at (505) 924-3905. 1) Drawing ES100 > Provide grounding for the metal light pole per 2020 NEC 250.4.		Responded by: Kenneth Myers - 5/21/24 11:26 AM REVISED	Resolved
6	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 1 1) Drawing MP-101 > Provide fire dampers per 2021 IBC § 717 and 2021 UMC § 316.5 & 606.2.	[2] MP-101 M&P BLDG LEVEL 1.pdf	Responded by: Kenneth Myers - 5/21/24 11:26 AM FIRE DAMPERS ADDED TO ERV DUCTING	Resolved

Plan Review - Review Comments Report

Project Name: **BP-2024-10295**

Workflow Started: **3/21/2024 2:35:08 PM**

Report Generated: **08/13/2024 08:57 AM**

REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
7	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 2 2) Drawing MP-101 > Utility Room 008 > Provide exhaust for janitor's closet per 2021 UMC § 403.7.	[2] MP-101 M&P BLDG LEVEL 1.pdf	<p>Responded by: Kenneth Myers - 7/1/24 4:07 PM drawing revised and uploaded</p> <p>-----</p> <p>Reviewer Response: William Ditz - 6/27/24 3:37 PM 2) Not Approved – A fan was not added to the room.</p> <p>-----</p> <p>Responded by: Kenneth Myers - 6/27/24 9:48 AM ALREADY RESOLVED SEE PLAN MP-101</p> <p>-----</p> <p>Reviewer Response: William Ditz - 5/30/24 12:59 PM 2) Not Approved – A fan was not added to the room.</p> <p>-----</p> <p>Responded by: Kenneth Myers - 5/21/24 11:32 AM EXHAUST FAN ADDED TO UTILITY ROOM</p>	Resolved
8	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 3 3) Drawing MP-101, MP-102, MP-103 & MP-104 > Sheet Keynote 1 > Hallway & Stair FCU > The condensate connection is to be located in the area controlled by the same person controlling the equipment per 2021 UMC § 310.6.	[2] MP-101 M&P BLDG LEVEL 1.pdf	<p>Responded by: Kenneth Myers - 6/27/24 9:49 AM revised 6/17/2024</p> <p>-----</p> <p>Reviewer Response: William Ditz - 5/30/24 1:00 PM 3) Not Approved – The condensate drains from these units cannot be routed to any fixture in an apartment.</p> <p>-----</p> <p>Responded by: Kenneth Myers - 5/28/24 11:21 AM REVISED</p>	Resolved
9	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 4 4) Drawing MP-101, MP-102, MP-103 & MP-104 > ERV-1 > Ensure the outside air intakes are at least 10' from Exhaust discharge per 2021 UMC § 311.3 (1).	[2] MP-101 M&P BLDG LEVEL 1.pdf	<p>Responded by: Kenneth Myers - 5/21/24 11:33 AM REVISED</p>	Resolved
10	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 5 5) Drawing MP-101, MP-102, MP-103 & MP-104 > Provide an opening for Clothes Dryer makeup air per 2021 UMC § 504.4.1.	[2] MP-101 M&P BLDG LEVEL 1.pdf	<p>Responded by: Kenneth Myers - 5/21/24 11:34 AM REVISED; UNDERCUT DOOR 2"</p>	Resolved

Plan Review - Review Comments Report

Project Name: **BP-2024-10295**

Workflow Started: **3/21/2024 2:35:08 PM**

Report Generated: **08/13/2024 08:57 AM**

REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
11	1	Mechanical William Ditz 3/26/24 4:14 PM	Changemark Comment 6 6) Drawing MP-101, MP-102, MP-103 & MP-104 > The clothes dryer vent is too long per 2021 UMC § 504.4.2.1.	[2] MP-101 M&P BLDG LEVEL 1.pdf	Responded by: Kenneth Myers - 5/21/24 11:36 AM CLOTHES DRYER TO BE RATED FOR LONG VENT RUNS SEE CUT SHEET UPLOADED TO DOCUMENT FOLDER.	Resolved
12	1	Mechanical William Ditz 3/26/24 4:15 PM	Comment Mechanical Final Inspection: Yes See drawing MP-101 for Changemarks. See drawing MP-105 for a note. Reviewed: March 26, 2024 If you have any question please call me, Bill Ditz at (505) 924-3859.			Info Only
13	1	Solid Waste David Urioste 3/27/24 9:22 AM	Comment CO REQUIRED DISAPPROVED DAVID URIOSTE 03-27-24 AN APPROVED SITE PLAN FOR ACCESS SIGNED BY THE COA SOLID WASTE DEPARTMENT IS REQUIRED. IS LOCATION PROPOSING NEW TRASH ENCLOSURE? CITY OF ALBUQUERQUE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURE https://www.cabq.gov/solidwaste/documents/enclosurespecificationswordsfont14.pdf PROVIDE LEDGIBLE SITE PLAN TO SCALE FOR ACCESS APPROVAL TO hgallegos@cabq.gov		Responded by: Kenneth Myers - 5/28/24 11:30 AM '1701 Central Ave NW 12-21-23--The George Apartment Building' APPROVAL HAS BEEN UPLOADED TO THE DOCUMENTS FOLDER FOR REVIEW	Resolved
14	1	Environmental Health Michelle Wall 3/27/24 9:58 AM	Comment NO CO INSPECTIONS FROM EHD-CHPD NO CO INSPECTIONS FROM EHD-ESD AIR QUALITY: THE ENVIRONMENTAL HEALTH PLAN REVIEW HAS FOUND THAT THE PLANS SUBMITTED INVOLVE AN ACTIVITY THAT MAY BE REGULATED BY THE ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY DIVISION. PLEASE SEE BELOW AND CONTACT THEIR OFFICE FOR MORE INFORMATION. BEFORE YOU BEGIN ANY CONSTRUCTION, RENOVATION, DEMOLITION, OR SURFACE DISTURBANCE, YOU MAY HAVE TO OBTAIN ADDITIONAL PERMITS OR SUBMIT NOTIFICATION. EXAMPLES: FUGITIVE DUST CONTROL PERMIT, STATIONARY SOURCE PERMIT (FOR EMERGENCY BACKUP GENERATOR, GAS STATION, PAINT AND BODY SHOPS, DRY CLEANERS) AND ASBESTOS NOTIFICATION. FOR A LIST OF OTHER SOURCES THAT REQUIRE AIR QUALITY PERMITS, PLEASE GO TO www.cabq.gov/airquality/ OR CONTACT THE AIR QUALITY DIVISION AT (505) 768-1972.			Info Only
15	1	Plumbing Dirk Shaw 4/3/24 9:21 AM	Comment Plumbing Final Yes Reviewed: 04/03/2024 Corrections Needed If you have any question please call Dirk Shaw at (505) 924-3903. Thank You.			Info Only
16	1	Plumbing Dirk Shaw 4/3/24 9:22 AM	Comment Drawing P-101, MP-501 & MP-502; Check the sizing of the main line and the risers. Provide information to verify the sizes of the Domestic Water system, include the meter size, pressure range in psi at the meter, distance from the meter to the farthest fixture and the information from Appendix A including; Demand load, and Permissible friction loss. 2021 UPC Appendix A, Table A103.1, Chart A103.1(1) or (2), and Chart A 105.1(1).		Responded by: Kenneth Myers - 5/21/24 11:40 AM REVISED	Resolved

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Project Name: **BP-2024-10295**

Workflow Started: **3/21/2024 2:35:08 PM**

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
17	1	Plumbing Dirk Shaw 4/3/24 9:22 AM	Comment Drawing P-101 & MP-502; There is a discrepancy between C300 Utility Plan and P-101. C300 indicates a 2.5 water service, P-101 indicates a 3 water service. P-100 should match C300 for code compliance		Responded by: Kenneth Myers - 5/21/24 11:44 AM REVISED	Resolved
18	1	Plumbing Dirk Shaw 4/3/24 9:22 AM	Comment Drawing P-101 & MP-502; The water main to the pump is 2.5 after it is 1.25 is an obstruction of flow. 2021 UPC-310.5 The size is also too small for the demand. 433 water supply fixture units equals 110 gallons per minute (not to exceed 8 per second velocity) which requires a 2.5 line. 2021 UPC Appendix A, Table A103.1, Chart A103.1(1) or (2), and Chart A 105.1(1).		Responded by: Kenneth Myers - 5/21/24 11:48 AM CORRECTED TO 3"	Resolved
19	1	Plumbing Dirk Shaw 4/3/24 9:23 AM	Comment Drawing MP-101, 102, 103, & 104; Condensate waste piping serving HVAC units in common areas of apartments, motels, hotels etc., shall drain by means of an indirect waste, to an area controlled by the buildings management, to an approved plumbing fixture or disposal area. 2021 UPC-814.1 and 814.6		Reviewer Response: Dirk Shaw - 5/31/24 3:19 PM ----- Responded by: Kenneth Myers - 5/21/24 11:48 AM REVISED	Resolved
20	1	Plumbing Dirk Shaw 4/3/24 9:26 AM	Changemark Changemark #01 Rain Leaders and Conductors. Rain leaders and conductors connected to a building storm sewer shall have a cleanout installed at the base of the outside leader or outside conductor before it connects to the horizontal drain. 2021 UPC-1101.13.1	[11] P-201 W&V LEVEL 1.pdf	Responded by: Kenneth Myers - 7/1/24 4:07 PM drawing revised and uploaded ----- Responded by: Kenneth Myers - 6/27/24 9:53 AM revised 6/17/2024 ----- Responded by: Kenneth Myers - 5/28/24 11:24 AM REVISED	Resolved
21	1	Plumbing Dirk Shaw 4/3/24 9:26 AM	Changemark Changemark #02 Drawing P-201; The secondary roof drain shall discharge above grade, in an location observable by the building occupants or maintenance personnel. 2021 UPC 1101.12.2.2.1	[11] P-201 W&V LEVEL 1.pdf	Responded by: Kenneth Myers - 7/1/24 4:08 PM drawing revised and uploaded ----- Responded by: Kenneth Myers - 6/27/24 10:03 AM SHEET A201 HAS BEEN REVISED TO SHOW THIS. ----- Responded by: Kenneth Myers - 5/28/24 11:24 AM SEE REVISED SHEET A201. OVERFLOW HAS BEEN REVISED TO DISCHARGE ABOVE GRADE	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
22	1	Plumbing Dirk Shaw 4/3/24 9:29 AM	Changemark Changemark #01 Drawing MP-501; Sumps and receiving tanks for a public use occupancy shall automatically discharge, have dual pumps or ejectors arranged to function alternately in normal use and independently in case of overload or mechanical failure, and have an audio and visual alarm readily accessible, that signals pump failure or an overload condition. 2021 UPC-710.9	[15] MP-501 M&P DETAILS.pdf	<p>Responded by: Kenneth Myers - 7/1/24 4:08 PM drawing revised and uploaded</p> <p>-----</p> <p>Responded by: Kenneth Myers - 6/27/24 9:56 AM REVISED AND UPLOADED</p> <p>-----</p> <p>Reviewer Response: Dirk Shaw - 5/31/24 3:04 PM The sump is a simplex or single pump, not dual pumps</p> <p>-----</p> <p>Responded by: Kenneth Myers - 5/28/24 11:28 AM REVISED</p>	Resolved
23	1	Plumbing Dirk Shaw 4/3/24 9:30 AM	Changemark Changemark #02 Drawing MP-501; Discharge from a relief valve into a water heater pan shall be prohibited. 2021 UPC-608.5 Note #7	[15] MP-501 M&P DETAILS.pdf	<p>Responded by: Kenneth Myers - 5/28/24 11:28 AM REVISED</p>	Resolved
24	1	Plumbing Dirk Shaw 4/3/24 9:32 AM	Changemark Changemark #03 Drawing MP-503; The waste and vent isometric does not reflect the waste and vent level one floor plan (P-201) on the northeast of the building, which going upstream from the main has a clothes washer, a lavatory, a water closet, a bathtub, and a kitchen sink, with three floors in the middle and four floors on the outside. There is no isometric drawing for the southwest portion of the building. Construction documents shall be drawn to scale with clarity to identify that the intended work to be performed is in accordance with the code. 2021 UPC-104.3.1	[17] MP-503 PLUMBING RISER DIAGRAM.pdf	<p>Responded by: Kenneth Myers - 7/1/24 4:08 PM drawing revised and uploaded</p> <p>-----</p> <p>Responded by: Kenneth Myers - 6/27/24 9:53 AM revised 6/17/2024</p> <p>-----</p> <p>Reviewer Response: Dirk Shaw - 5/31/24 3:27 PM No change</p> <p>-----</p> <p>Responded by: Kenneth Myers - 5/28/24 11:29 AM REVISED DETAIL</p>	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
25	1	Building Joseph Dennison 4/4/24 9:31 AM	Changemark UAC Identify compliance with the currently applicable adopted codes (CoA 2023 UAC Exhibit A). 2021 New Mexico Commercial Building Code (2021 International Building Code as amended) 2021 New Mexico Existing Building Code (2021 International Existing Building Code as amended) 2020 New Mexico Electrical Code (2020 National Electric Code as amended) 2021 New Mexico Mechanical Code (2021 Uniform Mechanical Code as amended) 2021 New Mexico Plumbing Code (2021 Uniform Plumbing Code as amended) 2018 New Mexico Energy Conservation Code (2018 International Energy Conservation Code as written) 2017 ICC A117.1 Accessible and Usable Buildings and Facilities Joe Dennison 924-3962	G000 CODE.pdf	Responded by: Kenneth Myers - 5/21/24 11:20 AM Sheet G000 CODE HAS BEEN UPDATED FOR YOUR REVIEW	Resolved
26	1	Building Joseph Dennison 4/4/24 10:39 AM	Changemark UAC Upload structural sheets. Additional corrections may follow once the structural drawings are received (CoA 2023 UAC 110.3). Joe Dennison 924-3962	T001 TITLE.pdf	Responded by: Kenneth Myers - 5/21/24 11:21 AM STRUCTURAL DRAWINGS HAVE BEEN UPLOADED FOR REVIEW	Resolved
27	1	Building Joseph Dennison 4/4/24 11:23 AM	Comment Conditions: Provide soils report sealed, signed and dated by a NM registered engineer on job site at time of inspection (2021 IBC 1705.6). Joe Dennison 924-3962			Info Only
28	1	Building Joseph Dennison 4/4/24 11:24 AM	Changemark IBC Provide truss shop drawings sealed, signed and dated by a NM registered engineer (2021 IBC 2303.4.1.4.1). Provide a truss layout plan that correlates all pre-engineered wood trusses to their locations, or add the truss tags to this Structural Roof Framing Plan (2021 IBC 2303.4.1.4.1). Joe Dennison 924-3962	A001 WALL TYPES.pdf	Responded by: Kenneth Myers - 5/21/24 11:22 AM TRUSS DRAWING DEFERRAL LETTER SIGNED BY DEAN CADELL HAS BEEN UPLOADED.	Resolved
29	1	Building Joseph Dennison 4/4/24 11:57 AM	Changemark IBC Identify required quantity of portable fire extinguisher locations in common areas on plans, specify types of extinguishers, provide calculations for quantity requirements, and indicate maximum travel distance allowed to/between extinguishers (IBC 906). Joe Dennison 924-3962	G001 FIRE SAFETY 1.pdf	Responded by: Kenneth Myers - 5/21/24 11:25 AM SHEETS G001-G004 HAVE BEEN REVISED TO INCLUDE REQUESTED INFORMATION	Resolved
30	1	Building Joseph Dennison 4/4/24 12:13 PM	Changemark JWD Provide vertical grab bar for bathtub (ICC A117.1-2017 607.4). Joe Dennison 924-3962	A113.1 UNIT C ADA.pdf	Responded by: Kenneth Myers - 5/21/24 11:23 AM SHEET A113.1 UNIT C ADA HAS BEEN UPDATED TO INCLUDE REQUIRED INFORMATION.	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
31	1	Building Joseph Dennison 4/4/24 1:04 PM	Comment Building: Corrections needed. Main (apartment complex): BP-2024-10295 CO: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction Construction Type: V-A Occupancy Group: R-2 23,970 SF, S-2 731 SF Occupancy Load: 123 occupants Fire Sprinklers: Yes Square Footage: 24,701 SF Valuation: \$ 2,352,675.00 Description of Work: Construction of a new four (4) story, wood construction, market rate apartment building. Approximately 19,926 square feet, with 1,846 square feet of commercial space located on the first floor. Property boundaries include zero lot lines along the east and west, with an open parking lot to the north and Central Avenue to the south. New Permit #1 (shell space): BP-2024-XXXXX CO: No, CoC: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction – Shell Only Construction Type: V-A Occupancy Group: none (future B) Occupancy Load: 0 occupants Fire Sprinklers: Yes Square Footage: 1,000 SF Valuation: \$ see main permit BP-2024-10295 Description of Work: Construction of a new 1,000 square foot shell space. New Permit #2 (shell space): BP-2024-XXXXX CO: No, CoC: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction – Shell Only Construction Type: V-A Occupancy Group: none (future B) Occupancy Load: 0 occupants Fire Sprinklers: Yes Square Footage: 846 SF Valuation: \$ see main permit BP-2024-10295 Description of Work: Construction of a new 846 square foot shell space. Joe Dennison 924-3962			Info Only

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
32	1	Zoning Dominick Porquis 4/11/24 3:24 PM	<p>Comment CO-Yes MX-M / CPO-3 MS, PT, MT</p> <p>Disapproved</p> <ol style="list-style-type: none"> floating zone line- Provide Zoning Map Amendment - EPC or Zoning Map Amendment - City Council. Per Part 14-16-6-6(K)(2)(c) Provide Final Replat showing lots combined Parking Access Shall be from Central Ave for Properties west of 14th St. Access from 16th St PROHIBITED. (CPO-3) 50% / 50% rule for Frontage / courtyard appears to be off. Show Dimensions and Percentage. (CPO-3) Front patio requires 15ft setback. (CPO-3) Show open space calculations Usable open space is 100 sq feet per dwelling unit (Per Table 5-1-2) and 10% for Non-Residential abutting Central Ave. Per (CPO-3) Missing ONC.... Missing Sign Posting agreement.... Missing Approved DFT.... Provide TCL with parking calculations. <ol style="list-style-type: none"> 1 bedroom unit 1 space=34 spaces. Commercial Services 3 spaces / 1000 sq ft. = 1,800 sq ft = 6 spaces Obtain a Parking bonus, waiver or a deviation for required parking. provide bicycle & Motorcycle Parking requirements Provide Dumpster location with Solid waste approval. Provide façade features as per 14-16-5-11(D) Window recess must be at least 2 inches. (Sheet A610 note: calls out 1.5" recess.) Provide heat mitigation features along the west side of the building. 5-11(D)(2)(a)(3). Provide location and height of the parking light poles. Front Sidewalk requires 10 ft walkway per size of Building., Show Dimensions. Usable open space is 100 sq feet per dwelling unit and 10% for Non-Residential abutting Central Ave. Per CPO-3. provide correct calculations and the location of the usable open space and features. Show Dimensions to Front setback. (Maximum Front 10 feet & Minimum 6 ft per CPO-3) <p>DPorquis 4-11-2024</p>		<p>Responded by: Kenneth Myers - 6/14/24 10:04 AM This was all uploaded in prior submittal. TCL and approved parking agreement has been uploaded for review</p> <p>-----</p> <p>Responded by: Kenneth Myers - 5/28/24 12:03 PM</p> <ol style="list-style-type: none"> FLOATING ZONE LINE WAS EXISTING CONDITION AND WAS NOT CREATED OR EXACERATED BY THE LOT CONSOLIDATION AND THERFORE A ZONE CHANGE IS NOT REQUIRED. FINAL PLAT HAS BEEN UPLOADED FOR REVIEW PARKING FOR RESIDENTIAL USE ALLOWED ON 16TH. SEE UPLOADED INTERPRETATION-14-16-3-4(D)(5)(a)2-PARKING ACCESS DOCUMENT. SEE SHEET AS102 ZONE LAYOUT FOR CALCULATIONS. 15' SET BACK IS A MAXIMUM. SEE SHEET AS102 ZONING LAYOUT FOR CALCULATIONS. ONC INFORMATION UPLOADED TO DOCUMENTS SIGN POSTING FORM UPLOADED TO DOCUMENTS NO DFT REQUIRED BASED ON SIZE OF DEVELOPMENT PARKING CALCS INCLUDED ON SHEET AS102 ZONING LAYOUT. NO DUMPSTER ON SITE- SEE REFUSE APPROVAL IN DOCUMENTS FOLDER- 1701 Central Ave NW 12-21-23--The George Apartment Building REVISED A610 UPLOADED NOT REQUIRED AS NO WINDOWS ON WEST SIDE. LIGHT POLES LOCATED ON AS102 ZONE LAYOUT SHEET AND ON TCL SHOWN ON AS102 ZONE LAYOUT SHEET CALCULATIONS INCLUDED ON AS102 ZONE LAYOUT SHEET CALCULATIONS AND LOCATION SHOWN ON AS102 ZONE LAYOUT SHEET SHOWN ON AS102 ZONE LAYOUT SHEET 	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
34	2	Transportation Brian Melton 5/28/24 1:57 PM	Comment Disapproved After the TCL is reviewed and approved, upload the stamped/approved drawings to the drawings folder and the approval letter to the documents folder.		Responded by: Kenneth Myers - 6/14/24 10:02 AM TCL approval has been uploaded to documents drawings to the drawings folder	Resolved
35	2	Building Joseph Dennison 5/28/24 3:30 PM	Comment Conditions: Provide all required sealed, signed, and dated Statements of Special Inspections for the inspector at time of inspection (2021 NMCBC 1704.3). Joe Dennison 924-3962			Info Only
36	2	Building Joseph Dennison 5/28/24 3:35 PM	Comment Conditions: Provide Special Inspection Report for elevators to inspector at time of inspection (IBC Chapter 17). Joe Dennison 924-3962			Info Only
37	2	Building Joseph Dennison 5/28/24 3:46 PM	Comment Building: Approved. Main (apartment complex): BP-2024-10295 CO: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction Construction Type: V-A Occupancy Group: R-2 23,970 SF, S-2 731 SF Occupancy Load: 123 occupants Fire Sprinklers: Yes Square Footage: 24,701 SF Valuation: \$ 2,352,675.00 Description of Work: Construction of a new four (4) story, wood construction, market rate apartment building. Approximately 19,926 square feet, with 1,846 square feet of commercial space located on the first floor. Property boundaries include zero lot lines along the east and west, with an open parking lot to the north and Central Avenue to the south. New Permit #1 (shell space): BP-2024-15349 CO: No, CoC: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction – Shell Only Construction Type: V-A Occupancy Group: none (future B) Occupancy Load: 0 occupants Fire Sprinklers: Yes Square Footage: 1,000 SF Valuation: \$ see main permit BP-2024-10295 Description of Work: Construction of a new 1,000 square foot shell space. New Permit #2 (shell space): BP-2024-15353 CO: No, CoC: Yes, Final Inspection: Yes Work Classification: Commercial – New Construction – Shell Only Construction Type: V-A Occupancy Group: none (future B) Occupancy Load: 0 occupants Fire Sprinklers: Yes Square Footage: 846 SF Valuation: \$ see main permit BP-2024-10295 Description of Work: Construction of a new 846 square foot shell space. Joe Dennison 924-3962			Info Only

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
38	2	Electrical David Tedford 5/29/24 4:43 PM	Comment Electrical: Corrections Needed Electrical Final Inspection: Yes Reviewed: 5/29/2024 If you have any questions please call me, David Tedford at (505) 924-3905. 1. Drawing ES-100: must be submitted for construction, not 99 % Progress NOT FOR CONSTRUCTION.		Responded by: Kenneth Myers - 7/1/24 4:07 PM drawing has been revised and uploaded ----- Reviewer Response: David Tedford - 6/28/24 1:44 PM Not resolved. ----- Responded by: Kenneth Myers - 6/14/24 9:41 AM Revised Drawing has been uploaded.	Resolved
39	2	Mechanical William Ditz 5/30/24 12:59 PM	Comment Mechanical Final Inspection: Yes Reviewed: May 30, 2024 If you have any question please call me, Bill Ditz at (505) 924-3859.			Info Only
40	2	Mechanical William Ditz 5/30/24 1:00 PM	Comment 7) Latest Submitted Mechanical, Electrical and Plumbing Drawings > The drawings are labeled 98% Progress Not For Construction. The drawings have to be for construction.		Reviewer Response: William Ditz - 6/27/24 3:38 PM 7) Not Approved – Files “[11] ES-100 Elec Site Plan.pdf”, “[15] MP-501 M&P Details.pdf” & “[16] MP-502 Plumbing Riser Diagram.pdf” are still labeled Not for Construction. ----- Responded by: Kenneth Myers - 6/14/24 9:46 AM Drawing have been reloaded	Resolved
41	2	Plumbing Dirk Shaw 5/31/24 2:46 PM	Changemark Changemark #01 Drawing MP-502; The water main to the pump is 2.5” after it is 1.25” is an obstruction of flow. 2021 UPC-310.5 The size is also too small for the demand. 433 water supply fixture units equals 110 gallons per minute (not to exceed 8’ per second velocity) which requires a 2.5” line. 2021 UPC Appendix A, Table A103.1, Chart A103.1(1) or (2), and Chart A 105.1(1).	[16] MP-502 PLUMBING RISER DIAGRAM.pdf	Responded by: Kenneth Myers - 7/1/24 4:08 PM drawing revised and uploaded ----- Responded by: Kenneth Myers - 6/27/24 9:53 AM revised 6/17/2024	Resolved
42	2	Plumbing Dirk Shaw 5/31/24 2:46 PM	Changemark Changemark #02 Drawing C300 & MP-502; There is a discrepancy between C300 Utility Plan and MP-502. C300 indicates a 2.5” water service, MP-502 indicates a 3” water service MP-502 should match C300 for code compliance.	[16] MP-502 PLUMBING RISER DIAGRAM.pdf	Responded by: Kenneth Myers - 7/1/24 4:07 PM drawing revised and uploaded ----- Responded by: Kenneth Myers - 6/14/24 10:00 AM drawing has been revised.	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
43	2	Plumbing Dirk Shaw 5/31/24 3:37 PM	Comment Drawing MP-101, 102, 103, & 104; The plans are required to be prepared and sealed by a Registered New Mexico Architect and/or a Registered New Mexico Professional Engineer and be 100% complete, ready for permit plans. Per 2022 CoA UAC-110.2		Responded by: Kenneth Myers - 7/1/24 4:07 PM drawing revised and uploaded ----- Responded by: Kenneth Myers - 6/14/24 10:00 AM revised and uploaded	Resolved
44	2	Zoning Dominick Porquis 6/7/24 2:30 PM	Comment CO-Yes MX-M / CPO-3 MS, PT, MT Disapproved 1. Missing approval for ADA parking on on street. <i>(upload document signed from Planning Director.)</i> DPorquis 6-7-2024		Responded by: Kenneth Myers - 6/27/24 9:54 AM RECORDED SHARED PARKING AGREEMENT UPLOADED	Resolved
45	2	Solid Waste David Urioste 6/14/24 9:32 AM	Comment CO REQUIRED APPROVED DAVID URIOSTE 06-14-24 AGREEMENT FOR SHAREED REFUSE SERVICE FOR THIS PROJECT CAN BE FOUND IN DOCUMENTS. ADDRESS IS 1716 CENTRAL NW AND 1701 CENTRAL SW			Info Only
46	3	Transportation Brian Melton 6/27/24 10:22 AM	Comment Approved Final inspection required prior to CO			Info Only
47	3	Plumbing Dirk Shaw 6/27/24 2:12 PM	Comment Corrections Needed 3rd Review Plumbing Final Yes Reviewed: 06/27/2024			Info Only
48	3	Plumbing Dirk Shaw 6/27/24 2:12 PM	Comment Several plan sheets with changes were uploaded and the original eplan designation was changed. Please upload the plan sheets with the changes using the same eplan designation Provide her with the Building Permit Number, File Name and Upload Date. There were duplicates with [number] preceding the sheet name and description: [17] MP-503 PLUMBING RISER DIAGRAM.pdf V2, and there are more duplicates: PEARL M&P DESIGN-MP-503 PLUMB RISERS.pdf All new drawings are duplicates.		Responded by: Kenneth Myers - 7/1/24 4:15 PM The revised drawings have been renamed to match the names in blue above the comment to the left of these responses.	Resolved
49	3	Mechanical William Ditz 6/28/24 12:32 PM	Comment Mechanical Final Inspection: Yes Reviewed: June 28, 2024 If you have any question please call me, Bill Ditz at (505) 924-3859.			Info Only
50	3	Electrical David Tedford 6/28/24 1:45 PM	Comment Electrical: Corrections Needed Electrical Final Inspection: Yes Reviewed: 6/28/2024 If you have any questions please call me, David Tedford at (505) 924-3905.		Responded by: Kenneth Myers - 7/1/24 4:07 PM revised and uploaded	Resolved

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REF #	CYCLE	REVIEWED BY	TYPE	FILENAME	DISCUSSION	STATUS
51	3	Zoning Dominick Porquis 7/1/24 9:26 AM	Comment CO-Yes Approved DPorquis 7-1-2024			Info Only
52	4	Electrical David Tedford 7/1/24 4:30 PM	Comment Electrical: Approved Electrical Final Inspection: Yes Reviewed: 7/1/2024 If you have any questions please call me, David Tedford at (505) 924-3905.			Info Only
53	4	Mechanical William Ditz 7/2/24 3:50 PM	Comment Mechanical Final Inspection: Yes Reviewed: July 2, 2024 If you have any question please call me, Bill Ditz at (505) 924-3859.			Info Only
54	4	Plumbing Dirk Shaw 7/5/24 2:04 PM	Comment Plumbing: Approved Plumbing Final Yes Reviewed: 07/05/2024 Dirk Shaw at (505) 924-3903 Noted on Drawings P-202, 203, & 204: CONDENSATE WASTE PIPING SERVING HVAC UNITS IN COMMON AREAS OF APARTMENTS, MOTELS, HOTELS ETC., SHALL DRAIN BY MEANS OF AN INDIRECT WASTE, TO AN AREA CONTROLLED BY THE BUILDING'S MANAGEMENT, TO AN APPROVED PLUMBING FIXTURE OR DISPOSAL AREA. 2021 UPC-814.1 AND 814.6			Info Only

Responded by: Kenneth Myers - 5/28/24 12:03 PM

1. FLOATING ZONE LINE WAS EXISTING CONDITION AND WAS NOT CREATED OR EXACERATED BY THE LOT CONSOLIDATION AND THEREFORE A ZONE CHANGE IS NOT REQUIRED.
2. FINAL PLAT HAS BEEN UPLOADED FOR REVIEW
3. PARKING FOR RESIDENTIAL USE ALLOWED ON 16TH. SEE UPLOADED INTERPRETATION-14-16-3-4(D)(5)(a)2-PARKING ACCESS DOCUMENT. ?
4. SEE SHEET AS102 ZONE LAYOUT FOR CALCULATIONS.
5. 15' SET BACK IS A MAXIMUM.
6. SEE SHEET AS102 ZONING LAYOUT FOR CALCULATIONS.
7. ONC INFORMATION UPLOADED TO DOCUMENTS
8. SIGN POSTING FORM UPLOADED TO DOCUMENTS
9. NO DFT REQUIRED BASED ON SIZE OF DEVELOPMENT ?
10. PARKING CALCS INCLUDED ON SHEET AS102 ZONING LAYOUT. TCLZ
11. NO DUMPSTER ON SITE- SEE REFUSE APPROVAL IN DOCUMENTS FOLDER- 1701 Central Ave NW 12-21-23--The George Apartment Building
12. REVISED A610 UPLOADED
13. NOT REQUIRED AS NO WINDOWS ON WEST SIDE.
14. LIGHT POLES LOCATED ON AS102 ZONE LAYOUT SHEET AND ON TCL
15. SHOWN ON AS102 ZONE LAYOUT SHEET
16. CALCULATIONS INCLUDED ON AS102 ZONE LAYOUT SHEET
17. CALCULATIONS AND LOCATION SHOWN ON AS102 ZONE LAYOUT SHEET
18. SHOWN ON AS102 ZONE LAYOUT SHEET

CO-Yes

MX-M / CPO-3 MS, PT, MT

Disapproved

~~1. floating zone line Provide Zoning Map Amendment - EPC or Zoning Map Amendment - City Council. Per Part 14-16-6-6(K)(2)(c)~~

~~2. Provide Final Replat showing lots combined~~

~~3. Parking Access Shall be from Central Ave for Properties west of 14th St. Access from 16th St PROHIBITED. (CPO-3)~~

~~4. 50% / 50% rule for Frontage / courtyard appears to be off. Show Dimensions and Percentage. (CPO-3)~~

~~5. Front patio requires 15ft setback. (CPO-3)~~

~~6. Show open space calculations Usable open space is 100 sq feet per dwelling unit (Per Table 5-1-2) and 10% for Non-Residential abutting Central Ave. Per (CPO-3)~~

~~7. Missing ONC....~~

~~8. Missing Sign Posting agreement.....~~

? ~~9. Missing Approved DFT....~~

? 10. Provide TCL with parking calculations.

TCLZ

~~a. 1 bedroom unit 1 space=34 spaces.~~

~~b. Commercial Services 3 spaces / 1000 sq ft. = 1,800 sq ft = 6 spaces~~

~~c. Obtain a Parking bonus, waiver or a deviation for required parking.~~

~~d. provide bicycle & Motorcycle Parking requirements~~

~~11. Provide Dumpster location with Solid waste approval~~

~~12. Provide facade features as per 14-16-5-11(D) Window recess must be at least 2 inches.~~

~~(Sheet A610 note: calls out 1.5" recess.)~~

~~13. Provide heat mitigation features along the west side of the building 5-11(D)(2)(a)(3).~~

~~14. Provide location and height of the parking light poles.~~

~~15. Front Sidewalk requires 10 ft walkway per size of Building, Show Dimensions.~~

~~16. Usable open space is 100 sq feet per dwelling unit and 10% for Non-Residential abutting Central Ave. Per CPO-3.~~

~~17. provide correct calculations and the location of the usable open space and features.~~

~~18. Show Dimensions to Front setback. (Maximum Front 10 feet & Minimum 6 ft per CPO-3)~~

BP-2024-10295 -Commercial Plan Review Exercise

CO-Yes

MX-M / CPO-3 MS, PT, MT

Disapproved

1. Missing ONC....
2. Missing Sign Posting agreement.....
3. Missing Approved DFT....
4. Provide TCL with parking calculations.
 - a. 1 bedroom unit 1 space=34 spaces.
 - b. Commercial Services 3 spaces / 1000 sq ft. = 1,800 sq ft = 6 spaces
 - c. Obtain a Parking bonus, waiver or a deviation for required parking.
 - d. provide bicycle & Motorcycle Parking requirements
5. Provide Dumpster location with Solid waste approval.
6. Provide facade features as per 14-16-5-11(D) Window recess must be at least 2 inches.
(Sheet A610 note: calls out 1.5" recess.)
7. Provide heat mitigation features along the west side of the building. 5-11(D)(2)(a)(3).
8. Provide location and height of the parking light poles.
9. Front Sidewalk requires 10 ft walkway per size of Building., Show Dimensions.
10. Usable open space is 100 sq feet per dwelling unit and 10% for Non-Residential abutting Central Ave. Per CPO-3.
provide correct calculations and the location of the usable open space and features.
11. Show Dimensions to Front setback. (Maximum Front 10 feet & Minimum 6 ft per CPO-3)

12. CALS FOR OPEN SPACE ^{Bldg 20,000 NEED 2000?} (CPO-3 Requires 10%)

~~13. FRONT PATIO REQUIRING 15FT FRONT SETBACK~~

* ~~14. 50/50 RULE FOR FRONTAGE VS. OPEN SPACE (CPO-3)~~

* ~~15. WEST OF 14th ST / SHALL ENTER FROM CENTRAL.~~

~~16. Floating zone line 14-16-6-6(K)(2)(C)
Replat~~

COMMERCIAL PLAN REVIEW

Examiner: D PORQUIS Permit# BP-2024-10295 Date: 4-1-2024
 Address: 1701 CENTRAL AV NW
 APO: _____ CPO: 3 HPO: _____ VPO: _____
 Lot: 107B Block: 0 Zone: MX-M Previous zone: SU-2 Map page: J-13
 Subdivision: MARGCD MAP 38 Landfill buffer: Yes No
 Mapped Area: _____ Master Plan: Yes No Site Dev. Plan: Yes No
 Renovation cost \$ 2.3 m triggers landscape: Yes No Expansion of 25% triggers parking/land: Yes No
 Case History: 1007842/1001620 PR-2022-006844 UC-AC-MS-PT-MT: Yes No
 Approved Variance and/or Conditional use numbers: _____

Commercial Plan Review					Notes/Comments:
Office of Neighborhood Coordination	Y	<input checked="" type="checkbox"/>	N/A		RePlat - GOOD ↑
Sign Posting Agreement	Y	<input checked="" type="checkbox"/>	N/A		
Address in City limits	<input checked="" type="checkbox"/>	N	N/A		
Lot must be platted 1-7(B)	Y	<input checked="" type="checkbox"/>	N/A		
Transitions from previous approvals 1-10	<input checked="" type="checkbox"/>	N	N/A		34 Unit Apartment
Complete application 1-10(B)	Y	N	<input checked="" type="checkbox"/>		
Mixed use districts standards 2-4(A-E)	<input checked="" type="checkbox"/>	N	N/A		1st FL Commercial - 2,800 FT Residential 19,814 Total Shared 5,188
Non-residential zone district 2-5(A-F)	Y	<input checked="" type="checkbox"/>	N/A		
PD 2-6	Y	<input checked="" type="checkbox"/>	N/A		
Allowable uses 2-6(A)(4)	<input checked="" type="checkbox"/>	N	N/A		
Development/form standards 2-6(A)(5)	<input checked="" type="checkbox"/>	N	N/A		shared space 5,188 1,610 ON Heated 3,578 - Heated 3,808 FT
PC 2-6(B)	Y	<input checked="" type="checkbox"/>	N/A		
Dimensional/other standards 2-6(B)(2)	<input checked="" type="checkbox"/>	N	N/A		
Allowable uses 2-4(B)(4)	<input checked="" type="checkbox"/>	N	N/A		
Development/form standards 2-6(B)(3)	Y	<input checked="" type="checkbox"/>	N/A		
Provisions of Specific Areas 2-6(B)(6)	Y	<input checked="" type="checkbox"/>	N/A		
Verify use from Table 4-2-1	Y	N	N/A		
Verify use specific standards 4-3	Y	N	N/A		
Mapped area in use specific standards	Y	N	N/A		
Dimensional Standards applicability 14-16-5-B	Y	N	N/A		
Mixed use zone districts table 5-1-1					
		Actual	Req'd		
Usable Open Space 5-1-2			225 - 50% 112 SQ FT		
Front Setback Minimum 5-1-2		6'	0'		
Front Setback Maximum 5-1-2		7'	15'		
Side Setback Minimum 5-1-2		0'	0'		
Side Setback Maximum 5-1-2			N/A		
Rear Setback Minimum 5-1-2			15'		0 if street or alley
Rear Setback Maximum 5-1-2			N/A		
Building Height Maximum 5-1-2		198'	65'		100 FT FROM PROPERTY LINE

Additional notes, comments, calculations:
 → SIDEWALK LESS THEN 10 FT

14188

COMMERCIAL PLAN REVIEW

NR-C,NR-BP,NR-LM,NR-GM 5-1-3		Actual		Req'd	
Lot width, minimum	5-1-3				
Building Coverage Minimum	5-1-3				
Front Setback Minimum	5-1-3				
Front Setback Maximum	5-1-3				
Side Setback Minimum	5-1-3				
Side Setback Maximum	5-1-3				
Rear Setback Minimum	5-1-3				
Rear Setback Maximum	5-1-3				
Building Height Maximum	5-1-3				
Exceptions and Encroachments	5-1-(F)	Y	N	N/A	Replat removed easement
Utility Clearance	5-1(C)	Y	N	N/A	
Site design and sensitive lands	5-2	Y	N	N/A	
Applicability	5-2(B)	Y	N	N/A	
Avoidance of sensitive lands	5-2(C)				
Archeological sites	5-2(D)	Y	N	N/A	
Major arroyo standards	5-2(E)		/		
Irrigation facility standards	5-2(F)		/		
Landfill buffers	5-2(G)		/		
Standards	5-2(G)(2)	Y	N	N/A	
Major Open Space Edges	5-2(H)	Y	N	N/A	
Access And Connectivity	5-3	Y	N	N/A	
Applicability	5-3(B)				
ADA	5-3(C)(1)	Y	N	N/A	
No new curb cuts in university heights	5-3(C)(3)(b)	Y	N	N/A	
Sidewalk in Residential Development	5-3(D)(1)	Y	N	N/A	10ft sidewalks - (good)
Sidewalks in mixed use and non res. Dev.	5-3(D)(2)	Y	N	N/A	
On Site Pedestrian Connections	5-3(D)(3)	Y	N	N/A	
Subdivision Access and Circulation	5-3(E)	Y	N	N/A	
Subdivision of land	5-4				
Applicability	5-4(B)	Y	N	N/A	MISSING <u>TCL</u>
Block design and layout	5-4(E)	Y	N	N/A	
Lot Design and Layout	5-4(F)	Y	N	N/A	
Easements or Right of Way	5-4(L)	Y	N	N/A	Replat
Parking and loading	5-5	Y	N	N/A	
Applicability	5-5(B)	Y	N	N/A	34 units studios
Exemptions and Reductions	5-5(B)(2)	Y	N	N/A	
Pre 1965 Buildings	5-5(B)(2)(b)	Y	N	N/A	16.4
Minimum Off Street Parking Table	5-5(C)(2)	Y	N	N/A	12.7
Amenity/Recreation/Entertainment Uses	5-5(C)(3)	Y	N	N/A	1 BED 12

Additional notes, comments, calculations:

comment @ 1000

COMMERCIAL PLAN REVIEW

Unlisted uses	5-5(C)(4)	Y	N	N/A	
Parking Reductions, Credits, Allowances	5-5(C)(5)	Y	N	N/A	34 res (40) 20% 8 6 comm *32 parking
Motorcycle Parking	5-5(D)	Y	N	N/A	
Bicycle Parking	5-5(E)	Y	N	N/A	
Parking Location and Design	5-5(F)	Y	N	N/A	PT - 30% 9.6 = 22.4
DT, UC, MS, PT Areas	5-5(F)(1)(b)	Y	N	N/A	motorcycle = 1 space
Design, access and circulation	5-5(F)(2)	Y	N	N/A	Bicycle = 3 space
Technical design standards	5-5(F)(3)	Y	N	N/A	compact - 5.6
Historic Parking Overlay	5-5(F)(4)	Y	N	N/A	
Parking Structure Design	5-5(G)	Y	N	N/A	
Off Street Loading	5-5(H)	Y	N	N/A	
Vehicle stacking, drive through, drive up	5-5(I)	Y	N	N/A	
Drive thru or drive up facilities	5-5(I)(1)	Y	N	N/A	
LANDSCAPING/BUFFERING/SCREENING	5-6	Y	N	N/A	NEED TCL
Applicability	5-6(B)	Y	N	N/A	
Landscape Plan Required	5-6(C)(1)	Y	N	N/A	
Minimum Landscape Area	5-6(C)(2)	Y	N	N/A	
Overlapping Requirements	5-6(C)(3)	Y	N	N/A	NO TRASH
Required Plant Materials	5-6(C)(4)	Y	N	N/A	
Minimum Plant Sizes	5-6(C)(6)	Y	N	N/A	
Plant Material Spacing	5-6(C)(7)	Y	N	N/A	
Protecting Clear Site Triangle	5-6(C)(8)	Y	N	N/A	LANDSCAPE - OK
Planting In Or Over Public Right Of Way	5-6(C)(9)	Y	N	N/A	MIN 10%
Planting Near Utilities	5-6(C)(10)	Y	N	N/A	75% ok 25% ok
Parking On Landscaped Areas Prohibited	5-6(C)(11)	Y	N	N/A	
Existing Vegetation Credit and Bonuses	5-6(C)(12)	Y	N	N/A	
Alternative landscaping	5-6(C)(16)	Y	N	N/A	
Street Frontage Landscaping	5-6(D)	Y	N	N/A	
Street frontage landscaping	5-6(D)(1)	Y	N	N/A	
Additional frontage landscaping	5-6(D)(2)				50% LANDSCAPE - SHORT
Edge Buffer Landscaping	5-6(E)				
Dev. next to low density residential	5-6(E)(2)	Y	N	N/A	25' REAR PROPERTY - OK
DT, UC, MS, PT Areas	5-6(E)(2)(b)	Y	N	N/A	
Dev. Next To Multi Family Development	5-6(E)(3)	Y	N	N/A	
General	5-6(E)(3)(a)	Y	N	N/A	
DT, UC, MS, PT Areas	5-6(E)(3)(b)				
Industrial Dev, Adjacent To Non Industrial	5-6(E)(4)	Y	N	N/A	MS PT 6 FT - OK
Area of change next to area of consistency	5-6(E)(5)	Y	N	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

Parking Lot Landscaping	5-6(F)	<input checked="" type="radio"/>	N	N/A	3 FT HIGH WALL - SIDE & REAR
Parking Lot Edges	5-6(F)(1)	<input checked="" type="radio"/>	N	N/A	
Parking Lot Interior	5-6(F)(2)	<input checked="" type="radio"/>	N	N/A	50 species or fewer - 10% MS, PT 5%
Screening Of Mechanical Equipment	5-6(G)	<input checked="" type="radio"/>	<input checked="" type="radio"/>	N/A	
Loading, Service, Refuse Areas	5-6(G)(3)	Y	<input checked="" type="radio"/>	N/A	30 species = 10 Trees needed 3
Satellite Dishes	5-6(G)(5)	Y	N	N/A	
WALLS/FENCES	5-7(D)	<input checked="" type="radio"/>	N	N/A	MISSING Dumpsters
Retaining Wall Standards	5-7(E)	<input checked="" type="radio"/>	N	N/A	
OUTDOOR LIGHTING	5-8	Y	<input checked="" type="radio"/>	N/A	MISSING Lights
Prohibited Lighting	5-8(C)	Y	N	N/A	
General Design and Illumination	5-8(D)	Y	N	N/A	100% AUM
Additional standards for types of light	5-8(E)	Y	N	N/A	
NEIGHBORHOOD EDGES	5-9	Y	N	N/A	
Building Step Down	5-9(C)	Y	N	N/A	
Parking, drive through, drive ups loading	5-9(F)	Y	N	N/A	
SOLAR ACCESS	5-10	Y	N	N/A	
Building Height	5-10(E)	Y	<input checked="" type="radio"/>	N/A	
BUILDING DESIGN	5-11	<input checked="" type="radio"/>	N	N/A	
Applicability	5-11-(B)				west heat mitigation Window wrong → 1.5" need 2"
Multi-Family Residential Dev.	5-11(D)	Y	<input checked="" type="radio"/>	N/A	
Mixed Use and Non-Res.	5-11(E)	<input checked="" type="radio"/>	N	N/A	38x32' 1240
Façade Design	5-11(E)(2)	<input checked="" type="radio"/>	N	N/A	
UC, AC, MS, PT Areas	5-11(E)(2)(b)	<input checked="" type="radio"/>	N	N/A	
Outdoor seating and gathering areas	5-11(E)(3)	<input checked="" type="radio"/>	N	N/A	
Historic Building Facades	5-11(F)	Y	<input checked="" type="radio"/>	N/A	
Parking Structures	5-11(G)	Y	<input checked="" type="radio"/>	N/A	
Definitions	7-1	Y	<input checked="" type="radio"/>	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

OVERLAY ZONE REGS.	Y	N	N/A	Notes/Comments:
APO	Y	N	N/A	
Cross-references 3-3(G)	Y	N	N/A	
CPO 1	Y	N	N/A	OPEN space set at 100 per D Unit.
Cross-references 3-4(B)(6)	Y	N	N/A	
CPO 2	Y	N	N/A	10% For Non Res
Cross-references 3-4(C)(6)	Y	N	N/A	
CPO 3	Y	N	N/A	FRONT setback
Cross-reference 3-4(D)(6)	Y	N	N/A	
CPO 4	Y	N	N/A	MAX 10 FT
Cross-references 3-4(E)(6)	Y	N	N/A	
CPO 6	Y	N	N/A	Height above 30 FT min
Cross-references 3-4(G)(6)	Y	N	N/A	
CPO 7	Y	N	N/A	6 FT
Cross-references 3-4(H)(6)	Y	N	N/A	
CPO 8	Y	N	N/A	
Cross-references 3-4(I)(6)	Y	N	N/A	
CPO 9	Y	N	N/A	
Cross-references 3-4(J)(5)	Y	N	N/A	
CPO 10	Y	N	N/A	
Cross-references 3-4(K)(6)	Y	N	N/A	
CPO 11	Y	N	N/A	
Cross-references 3-4(L)(6)	Y	N	N/A	
CPO 12	Y	N	N/A	
Cross-references 3-4(M)(6)	Y	N	N/A	
HPO 1	Y	N	N/A	
Cross-references 3-5(F)(6)	Y	N	N/A	
HPO 2	Y	N	N/A	
Cross-references 3-5(G)(3)	Y	N	N/A	
HPO 3	Y	N	N/A	
Cross-references 3-5(H)(3)	Y	N	N/A	
HPO 4	Y	N	N/A	
Cross-reference 3-5(I)(3)	Y	N	N/A	
HPO 5	Y	N	N/A	
Cross-references 3-5(J)(5)	Y	N	N/A	
HPO 6	Y	N	N/A	
Cross-references 3-5(K)(3)	Y	N	N/A	
VPO 1	Y	N	N/A	
Cross-reference 3-6(D)(9)	Y	N	N/A	
VPO 2	Y	N	N/A	
Cross-reference 3-6(E)	Y	N	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

OVERLAY ZONE REGS.				Notes/Comments:
	Actual		Req'd	
Lot size				
Lot width				
Usable open space				
Front setback minimum				
Garage setback minimum				
Side set back min.				
Side set back max.				
Street side set back				
Rear setback minimum				
Building height to peak				
Building height to mid-pitch				
Building Height Step back				
Building Height Stepdown				
Bulk				
Massing				
Other development standards	Y	N	N/A	
Cross references	Y	N	N/A	
Grading	Y	N	N/A	
Landscape	Y	N	N/A	
Lighting	Y	N	N/A	
Design	Y	N	N/A	
Parking	Y	N	N/A	
Res. Garage Access 3-4(M)(5)(c)	Y	N	N/A	
Colors	Y	N	N/A	
Reflectivity	Y	N	N/A	
Roofs	Y	N	N/A	
Protected views	Y	N	N/A	
Cert of Appropriateness 6-5(D)	Y	N	N/A	
Roof mounted equipment	Y	N	N/A	
Neighborhood Edges 5-9	Y	N	N/A	
Building Separation 3-4(G)(5)(d)	Y	N	N/A	
Sub Areas (Height Restriction)	Y	N	N/A	

Additional notes, comments, calculations:

APPROVED

DISAPPROVED

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

ADMINISTRATION

600 2nd Street NW, 3rd Floor

Albuquerque, NM 87102

Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the "applicant") is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,

A handwritten signature in black ink, appearing to read 'J.M. Aranda'.

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department

MATERIALS SCHEDULE

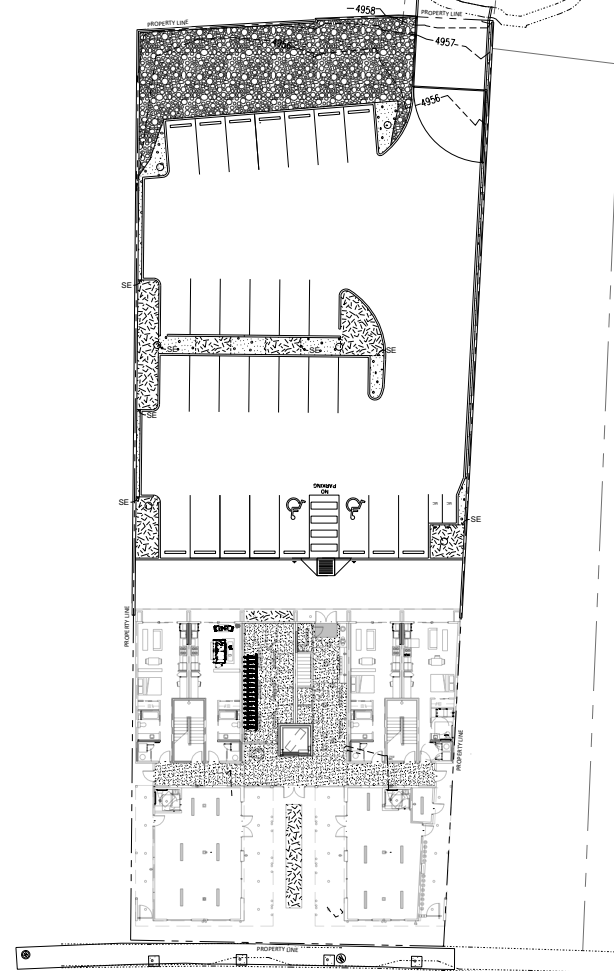
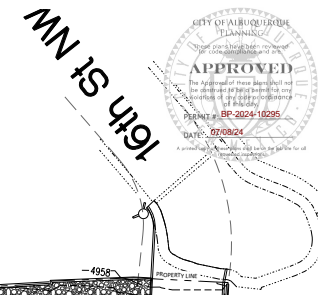
SYMBOL	EDGING DESCRIPTION
	1 1/2" BROWN STEEL EDGE
SYMBOL	DESCRIPTION
	AMARETTI 5/8 - 1 1/4" GRAVEL
	BARK MULCH
	BLUE SAIS 2-4" ANGULAR COBBLE

LANDSCAPE DATA

IDB UPC#	DESCRIPTION	ZONING DESIGNATION	MP-L
1019640360360154	GROSS LOT AREA (SF)	MP-L	25,059
	BUILDING AREA (SF)		6,520
	NET LOT AREA (SF)		19,079
MINIMUM LANDSCAPE			
	AREA (SF) - MINIMUM 15% OF NET LOT AREA*	REQUIRED	PROVIDED
	TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	2,862	3,417 18%
	VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	2,146	2,205 77%
		537	739 34%
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
**SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
PLANTING AREA MULCH			
	GRAVEL OR CRUSHER FINES (SF)	REQUIRED	PROVIDED
	MAX. 75%	2,937	74%
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
STREET TREES - 1 PER 25 LF			
	STREET TREE COVERAGE (LF)	REQUIRED	PROVIDED
		3.2	4
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
EDGE BUFFER LANDSCAPE			
	TREES	REQUIRED	PROVIDED
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
PARKING LOT EDGES			
	WITHIN 30' OF FRONT LOT LINE - CONTINUOUS 3' HT EVERGREEN SHRUBS	REQUIRED	PROVIDED
		-	81
	TREES PER (2 PER 25 LF)	6	8
	SHRUBS (2 PER 25 LF)	18	27
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
PARKING LOT INTERIOR			
	PARKING STALLS	REQUIRED	PROVIDED
		-	28
	PARKING LOT AREA (SF)	399	3,989
	LANDSCAPED AREA (10% OF PARKING LOT AREA)	2.5	4
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			
COOL SEASON GRASS			
	NO MORE THAN 10% OF REQUIRED LANDSCAPE AREA	REQUIRED	PROVIDED
		0	0%
TOTALS			
	TREES	REQUIRED	PROVIDED
		12	17
*SEE SD-11-16-2(1)(b) FOR MORE INFORMATION REGARDING THIS REQUIREMENT.			

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PURSUANT TO 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PURSUANT TO 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(9)(c), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



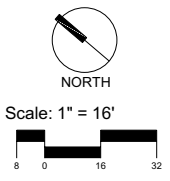
CENTRAL AVE NW

YELLOWSTONE LANDSCAPE
 www.yellowstonelandscape.com
 P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com



Date: 11/17/2023
 Revisions:
 △
 △
 △
 △
 △
 △
 Drawn by: E.G.
 Reviewed by: CM

The George
1623 Central Ave NW
 Albuquerque, New Mexico



Sheet Title:
Materials Plan

Sheet Number:
LS-02



GENERAL NOTES (V.I.D.)

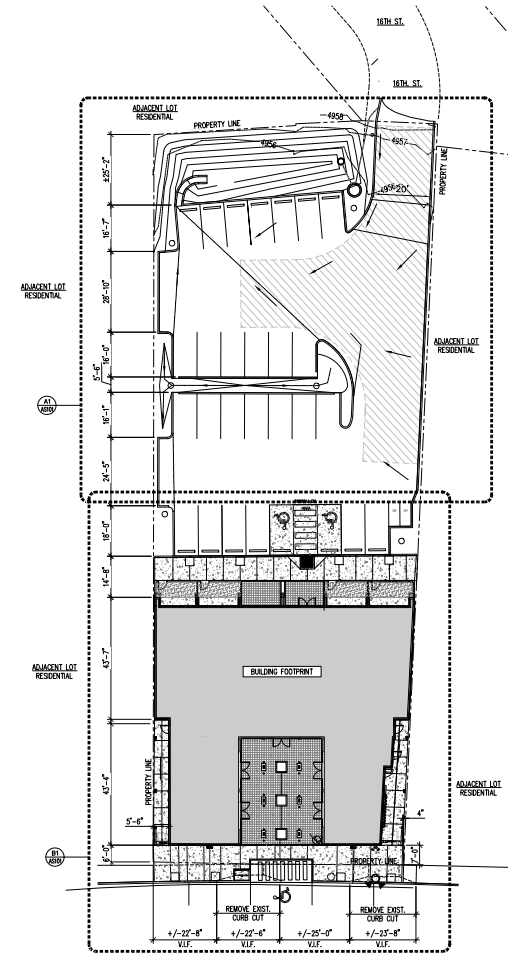
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ANY DIMENSIONAL ERRORS, VARIANCES, OR OMISSIONS SHALL BE CORRECTED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ARE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ARCHITECTURAL DIMENSIONS AND ELEVATIONS FOR SITE CONSTRUCTION ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH DIMENSIONAL INFORMATION PROVIDED ON THE CIVIL ENGINEERING DRAWINGS.
3. BUILDING FINISH FLOOR = 4955.50' - SEE CIVIL PLAN FOR DETAILED ELEVATIONS AND SITE INFORMATION.
4. REMOVAL OF EXISTING ASPHALT, CONCRETE, AND OTHER DEBRIS FROM THE SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

RADIUS LEGEND

- = 2'-0" RADIUS
- = 22'-0" RADIUS
- = 182'-0" RADIUS
- = 176'-0" RADIUS

KEYED NOTES

1. EXISTING SIDEWALK TO REMAIN
2. NEW SIDEWALK CONSTRUCTION PER COA STANDARD DETAIL # 2030
3. NEW CURB AND GUTTER PER COA STANDARD DETAIL # 2415
4. NEW FIRE DEPARTMENT CONNECTION - SEE FIRE SUPPRESSION SUBMITTAL
5. NEW DRAIN LINE THROUGH CURB AND UNDER SIDEWALK PER COA STANDARD DETAIL # 2235
6. NEW SIDEWALK CURBENT PER COA STANDARD DETAIL # 2236 - SEE DETAIL #1/AS110 FOR EXTENT
7. NEW TREE WELL PER COA STANDARD DETAIL
8. NEW CONCRETE WALKWAY PER DETAIL C1/AS110
9. NEW MOW CURB PER DETAIL B2/TC102
10. NEW PAVER MATERIAL OVER 2" COMPACTED SAND
11. NEW FRENCH DRAIN - DRAIN TO STREET
12. NEW LANDSCAPE WELL PER DETAIL A5/AS110
13. NOT USED
14. NEW FIRE HYDRANT PER CIVIL
15. NEW SITE WALL SEE DETAIL B2/AS110
16. NEW STEEL GATE - SEE DETAIL B4/AS110
17. CRUSHER FINES - COLOR TBD
18. NEW 36" TALL 48" BLOCK WALL PER DETAIL B2/AS110 - SEE ELEVATIONS FOR PATTERN AND INTENT.
19. CONCRETE STOOP - SLOPE TO DRAIN - SEE DETAIL
20. STANDARD PARKING SPACE PER DETAIL A4/TC101
21. STANDARD HC PARKING SPACE, ACCESS ISLE AND SIGNAGE PER DETAILS A1, A2, A5, TC101
22. STANDARD MOTORCYCLE PARKING SPACE AND SIGN PER DETAIL A4, A5, TC101
23. NEW LIGHT POST BASE PER DETAIL A3/TC101
24. NEW CURB RAMP PER DETAIL B4/TC101
25. LANDSCAPE AREA / DRAINAGE SWALE - SEE CIVIL FOR EXTENT, LANDSCAPE FOR LANDSCAPING.
26. CRUSHER FINE PARKING SURFACE - SURFACE COMPACTION MUST MEET FIRE DEPARTMENT REQUIREMENTS - 75,000 LB/FT³ CAPACITY
27. 4'-0" PAINTED BLOCK WALL PER IDO 5-40(X1)-2
28. AUTOMATIC VEHICULAR GATE
29. EXISTING ROLL OVER CURB TO REMAIN - PATCH REPAIR REPLACE AS REQUIRED
30. NEW PUMP SYSTEM PER CIVIL
31. RETENTION POND PER CIVIL - SEE LANDSCAPE PLAN FOR LANDSCAPING
32. CONCRETE FLUME PER CIVIL
33. STRUCTURAL COLUMNS - SEE STRUCTURAL, SEE DETAIL C2/AS110 FOR PILING DETAIL
34. ELECTRICAL METERS PER ELECTRICAL
35. NEW TRANSITION CURB - SEE DETAIL A2/AS110
36. NEW STEEL GATE - PROVIDE LOCKABLE LATCH
37. NEW ON STREET HC PARKING SPACE - 22'-0" LONG X 8'-0" WIDE
38. NEW VAN ACCESS ISLE - 8'-0" WIDE X 22'-0" LONG PROVIDE CURB RAMPS BOTH SIDE PER CITY STANDARD DWG #2443



PROPOSED SITE PLAN
A1

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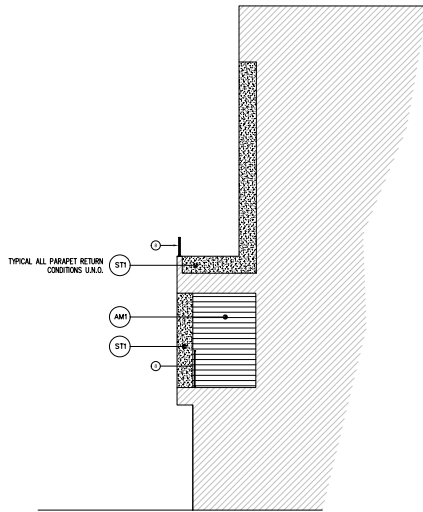


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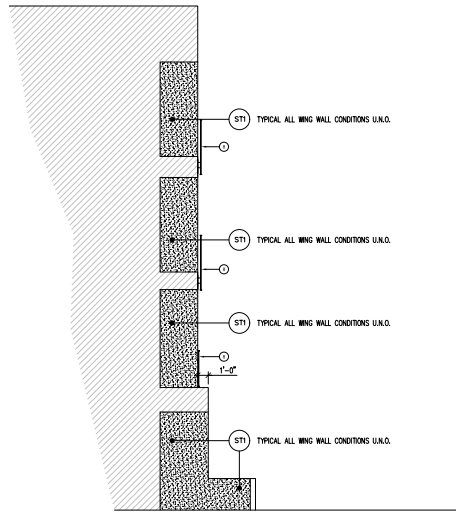
OWNER	CCP - THE GEORGE
DESIGNER	KMA
DATE	03/04/2024
PROJECT	2204

ARCHITECTURAL SITE PLAN

AS100



B1 BUILDING ELEVATION-COURTYARD- WEST
3/16"=1'-0"

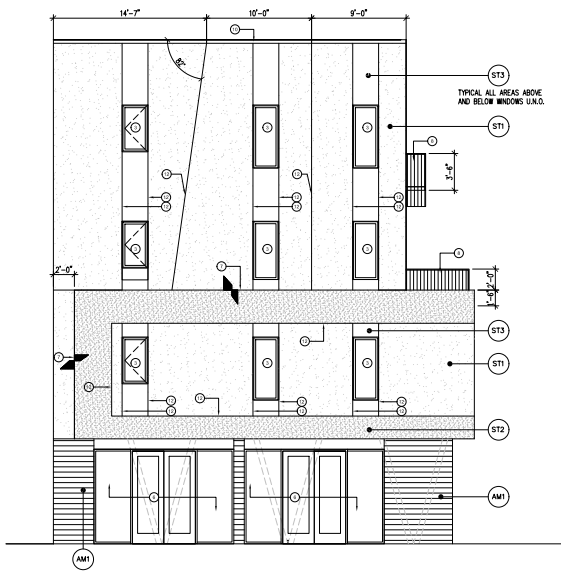


B2 BUILDING ELEVATION-COURTYARD- EAST
3/16"=1'-0"

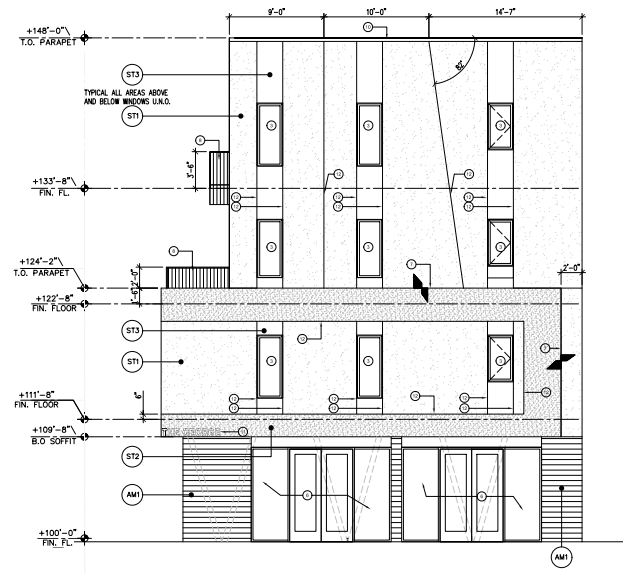
- GENERAL NOTES**
- 2 COAT SYNTHETIC BRACK MATCH SYSTEM OVER (2) LAYERS MINERAL WOOL INSULATION. SEE EXISTING FOR LOCATION AND COLOR.
 - PROJECT DESIGN AND CONSTRUCTION - PARAPET IS TO BE REFERRED TO AS +102'-0" ALL VERTICAL DIMENSIONS ARE TAKEN FROM THAT POINT.
 - EXCEPT WHERE SHOWN OTHERWISE, ALL ROOF DRAINAGE IS TO BE TO THE STREET.
 - ALL PARAPET WALLS ARE TO BE SHARP CORNERS WITH MAX. RADIUS OF 1/4".
 - ALL JOINTS ARE TO BE FINISHED FROM PUBLIC VIEW.
 - PARAPET HEIGHTS ARE TO BE AS SHOWN ON DRAWINGS. HEIGHTS ARE TO BE AS SHOWN ON DRAWINGS. HEIGHTS AND FLASHING CLEARANCES ARE TO BE AS SHOWN. HEIGHTS ARE TO BE AS SHOWN ON DRAWINGS. HEIGHTS ARE TO BE AS SHOWN ON DRAWINGS. HEIGHTS ARE TO BE AS SHOWN ON DRAWINGS.
 - ALL VENTS (EXCEPT DRYER VENTS) TO HAVE GALVANIZED HARDWARE CLOTH WITH 1/2" MAX OPENING - SEE DETAIL XXX FOR INFORMATION.

- KEYED NOTES- ELEVATIONS**
- 36" TALL SITE WALL W/ STUCCO FINISH
 - STEEL GATE - SEE 02/4400 FOR DETAIL
 - WINDOW SYSTEM PER SCHEDULE. TYPICAL - REFER TO BUILDING PLANS FOR TYPE
 - ROOF DRAIN DOWNSPOUT - SEE ROOF PLAN FOR ROOF DRAIN LOCATION. SEE PLUMBING FOR ROOF DRAIN DETAILS
 - DOOR PER SCHEDULE. TYPICAL - SEE BUILDING PLANS FOR TYPE
 - ALUMINUM STOREFRONT SYSTEM PER SCHEDULE
 - 4" FURF OUT - STUCCO FINISH - SLOPE TOP TO DRAIN
 - PAINTED STEEL PICKET STYLE GUARDRAIL - SEE DETAIL 03_03/4400 - FINAL TOTAL HEIGHT TO BE 42" MINIMUM
 - WALL MOUNTED EXTERIOR LIGHT FIXTURE - REFER TO ELECTRICAL FOR TYPE. CENTER OF FIXTURE AT 6'-0" A.F.F.
 - METAL PARAPET CAP - COLOR TO MATCH ADJACENT STUCCO - SEE 03/4451
 - 10" TALL ALUMINUM CHANNEL LETTERS
 - ACCORD WITH TYPICAL
 - 1 HR. RATED STRUCTURAL COLUMN - SEE STRUCTURAL
 - LINE OF FLOOR BEYOND
 - ELECTRICAL METERS
 - VERTICAL NEON STYLE LIGHTING ELEMENT - TBD
 - STEEL FENCE PANELS - MATCH ADJACENT GATE - SEE A610

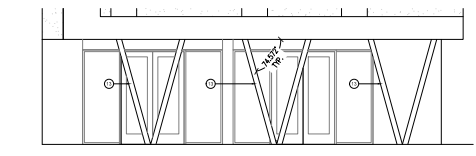
- EXTERIOR FINISH LEGEND**
PROVIDE COLOR MOOD-UPS FOR APPROVAL PRIOR TO COLOR ORDER
- ST1 STUCCO COLOR #1
 - ST2 STUCCO COLOR #2
 - ST3 STUCCO COLOR #3
 - AM1 JAMES HARDIE BOARD LAP SOING
 - GLAZED AREA ON EAST AND WEST ELEVATIONS - PER IBC CODE REQUIREMENT MAXIMUM AGGREGATE GLAZING AREA NOT TO EXCEED 60% HEIGHT OF 4000 S.F. TOTAL PROVIDED 136 SF.



A1 BUILDING ELEVATION-COURTYARD- WEST
3/16"=1'-0"



A2 BUILDING ELEVATION-COURTYARD- EAST
3/16"=1'-0"



A3 BUILDING ELEVATION-COURTYARD COLUMNS- TYPICAL
3/16"=1'-0"

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ALBUQUERQUE, NM 87104

STATE OF NEW MEXICO
KENNETH
MORIS
No. 006751
03/04/2024
REGISTERED ARCHITECT

REM BE
urban design + development
1716 Central Ave. Suite A
Albuquerque, NM 87104
t: 505-243-0188

CCP - THE GEORGE
KMA
PERMITTING
03/04/2024
2204
BUILDING ELEVATIONS

SCALE DRAWINGS
A203

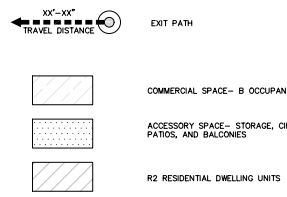


SCOPE OF WORK
NEW 4 STORY BUILDING TYPE 2A COMMERCIAL-FLOOR WITH SPRINKLERED W/ 24 RESIDENTIAL UNITS AND 24 FLOOR COMMERCIAL UNITS.

- GENERAL NOTES - FIRE SAFETY**
- FIRE PROTECTION SYSTEMS SHALL BE DETAIL SHOWN IN SHOP DRAWINGS.
 - SHOP DRAWINGS WILL BE SUBMITTED TO THE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
 - THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE (IFC).
 - SEE SHEET G000 FOR FULL CODE ANALYSIS.

CODE PLAN LEGEND

- #XXYY: # = NUMBER OF OCCUPANTS, XX = EXIT WIDTH PROVIDED, YY = EXIT WIDTH REQUIRED
- ⊗: CEILING / WALL MOUNTED COMBINATION EMERGENCY EXIT LUMINAIRE WITH BATTERY BACKUP - ARROW INDICATES DIRECTION
- ⏏: CEILING / WALL MOUNTED EMERGENCY EGRESS LUMINAIRE 24 HOUR 'DN' OPERATION
- ⬡: AREA OCCUPANCY TAG (OFF, OCCUPANTS, LOAD FACTOR, XX GR/MET)
- ⌈: NUMBER OF OCCUPANTS PER SPACE
- ⊙FE: TYPE 2A-10B-C FIRE EXTINGUISHERS AT 13,000 SF MAX FOR BUSINESS (SEE CODE PLAN) MOUNTING BRACKET HEIGHT = 42" AFF. NOTES: 75" TRAVEL DISTANCE MAXIMUM. VERIFY FINAL LOCATIONS WITH FIRE MARSHAL AND TENANTS- SEE 62/72 FOR EMERGENCY AND EXIT LIGHT LOCATION
- ⊙: CABINET
- ⚠: QUANTITY CALCULATION: 13000-SQ FT PROVIDED-1 REQUIRED, MAXIMUM TRAVEL DISTANCE FOR 108 UNIT /R CLASS 7" FOR LOW HAZARD- 50'-0" REQUIRED-1 PROVIDED
- ⬡: EXIT PATH (XX'-XX" TRAVEL DISTANCE)
- ▨: COMMERCIAL SPACE- B OCCUPANCY
- ▨: ACCESSORY SPACE- STORAGE, CIRCULATION, PATIOS, AND BALCONIES
- ▨: R2 RESIDENTIAL DWELLING UNITS

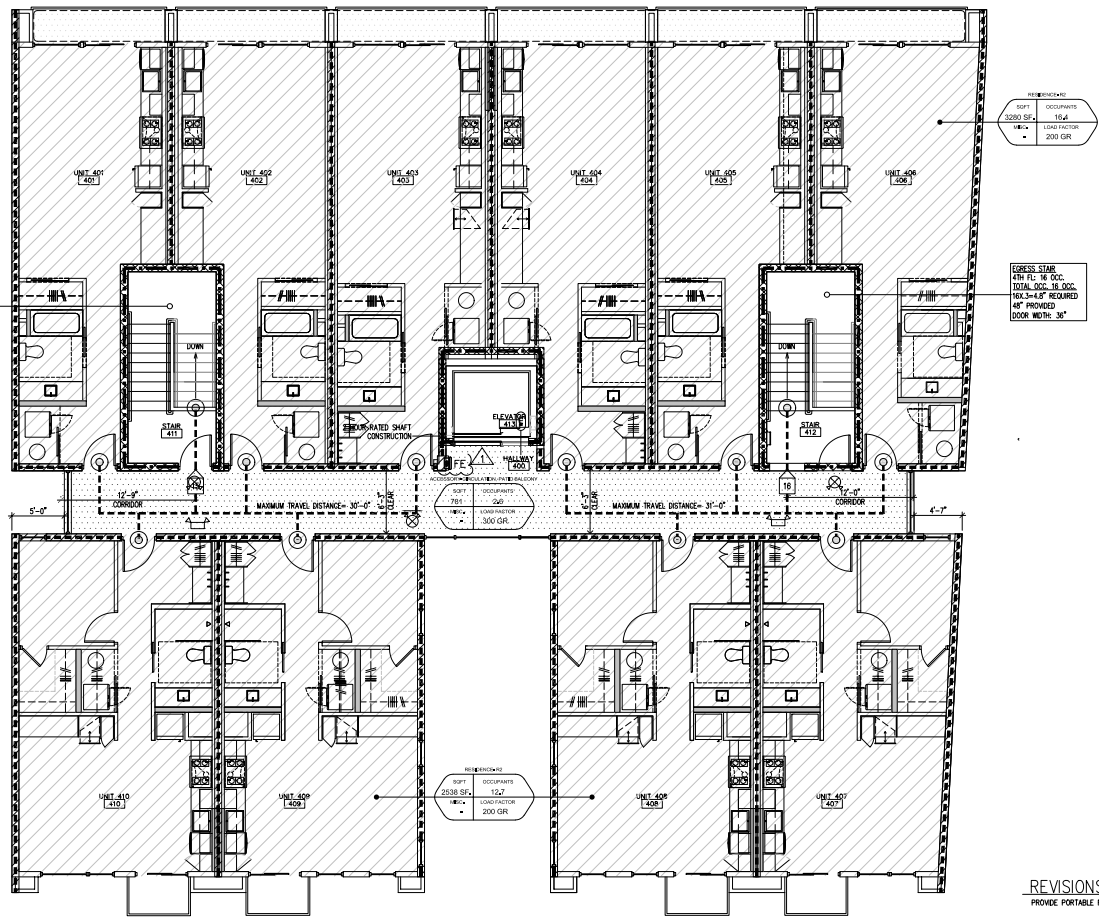


- PARTITION LEGEND**
- SEE PLAN FOR SPECIFIC PARTITION TYPE INFORMATION
SEE SHEET A001 FOR PARTITION TYPE DETAILS
- ▨: ONE HOUR RATED WALL ASSEMBLY- SEE PLAN FOR WALL TYPE, SHEET A001 FOR DETAILS
 - ▨: TWO HOUR RATED WALL ASSEMBLY- SEE PLAN FOR WALL TYPE, SHEET A001 FOR DETAILS

REVISIONS

PROVIDE PORTABLE FIRE EXTINGUISHER INFORMATION

04/19/2024
BUILDING DEPARTMENT COMMENTS-04/19/24



EGRESS STAIR
474 FT² 15 OCC.
TOTAL OCC. 15 OCC.
100.0-45" REQUIRED
48" PROVIDED
DOOR WIDTH 36"

EGRESS STAIR
474 FT² 15 OCC.
TOTAL OCC. 15 OCC.
100.0-45" REQUIRED
48" PROVIDED
DOOR WIDTH 36"

OFFICE
OCCUPANTS 127
LOAD FACTOR 200 GR

A1 CODE PLAN-FOURTH FLOOR
3/18/2024

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ALBUQUERQUE, NM 87104



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03/04/2024
2204

FIRE 2:
FIRE SAFETY
PLAN-FOURTH FLOOR

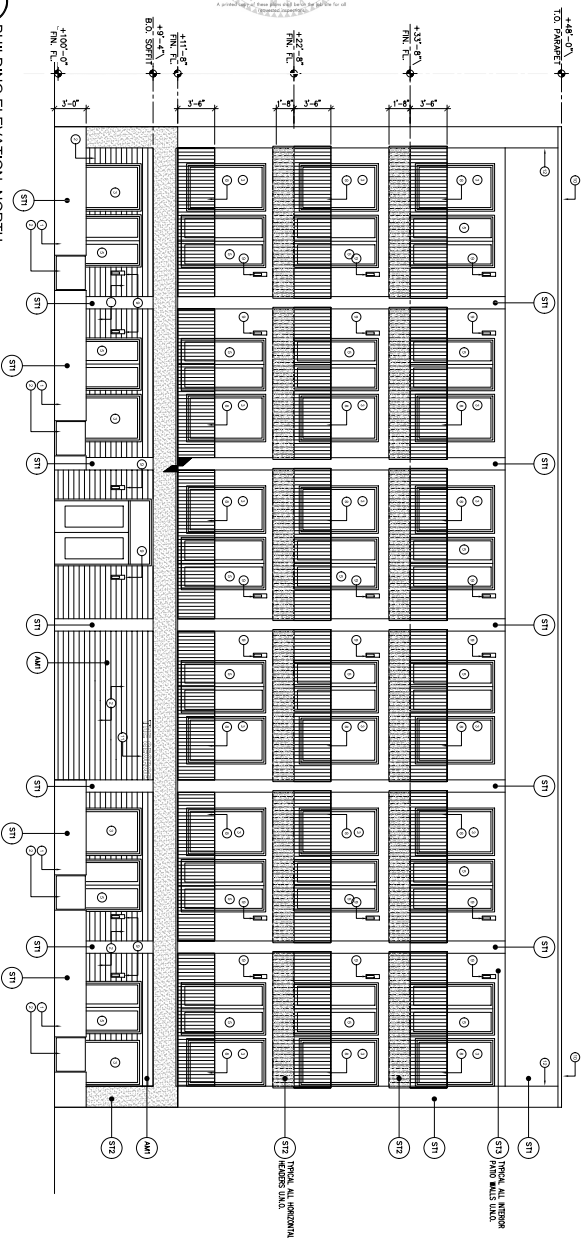
G004



B1

318'-0" x 4'-0"

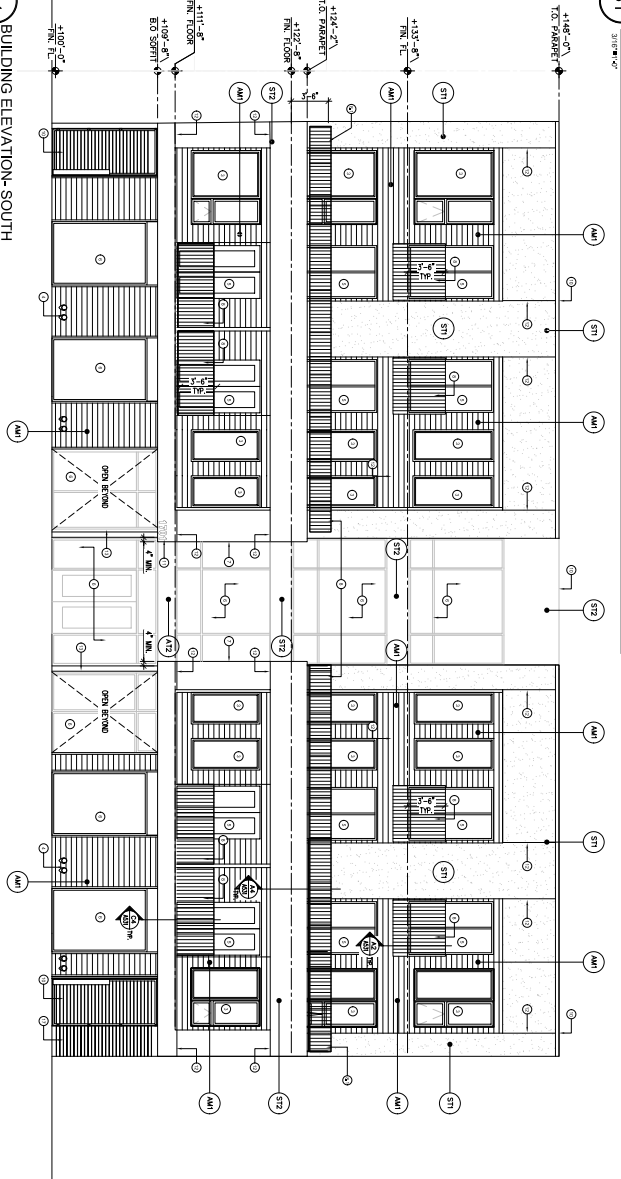
BUILDING ELEVATION-NORTH



BUILDING ELEVATION-SOUTH

A1

318'-0" x 4'-0"



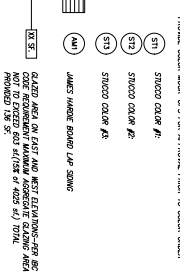
GENERAL NOTES

- A. 2 COAT FINISH SYSTEM OVER MASONRY SYSTEM OVER (2) LAYERS
- B. FINISH SYSTEM SHALL BE APPLIED TO EXTERIOR SURFACES TO BE RETURNED TO AS SHOWN ON THESE DRAWINGS
- C. EXTERIOR MASONRY SHALL BE CONSTRUCTED TO BE FINISHED WITH PAINT
- D. ALL POINTS AND WALL ENDS TO BE SHARP CORNERS WITH MAX. RADIUS 1/8" UNLESS OTHERWISE NOTED
- E. ALL ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH
- F. ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- G. ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- H. ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- I. ALL ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- J. ALL ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- K. ALL ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED
- L. ALL ROOF RISERS TO BE FINISHED WITH ALUMINUM FINISH UNLESS OTHERWISE NOTED

KEYED NOTES- ELEVATIONS

- 1. SEE THE SEE WALL #1 SECTION
- 2. SEE THE SEE WALL #2 SECTION
- 3. SEE THE SEE WALL #3 SECTION
- 4. SEE THE SEE WALL #4 SECTION
- 5. SEE THE SEE WALL #5 SECTION
- 6. SEE THE SEE WALL #6 SECTION
- 7. SEE THE SEE WALL #7 SECTION
- 8. SEE THE SEE WALL #8 SECTION
- 9. SEE THE SEE WALL #9 SECTION
- 10. SEE THE SEE WALL #10 SECTION
- 11. SEE THE SEE WALL #11 SECTION
- 12. SEE THE SEE WALL #12 SECTION
- 13. SEE THE SEE WALL #13 SECTION
- 14. SEE THE SEE WALL #14 SECTION
- 15. SEE THE SEE WALL #15 SECTION
- 16. SEE THE SEE WALL #16 SECTION
- 17. SEE THE SEE WALL #17 SECTION
- 18. SEE THE SEE WALL #18 SECTION
- 19. SEE THE SEE WALL #19 SECTION
- 20. SEE THE SEE WALL #20 SECTION

EXTERIOR FINISH LEGEND



REVISIONS

- 1. ISSUE KEYED NOTE #1 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 2. ISSUE KEYED NOTE #2 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 3. ISSUE KEYED NOTE #3 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 4. ISSUE KEYED NOTE #4 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 5. ISSUE KEYED NOTE #5 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 6. ISSUE KEYED NOTE #6 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 7. ISSUE KEYED NOTE #7 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 8. ISSUE KEYED NOTE #8 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 9. ISSUE KEYED NOTE #9 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 10. ISSUE KEYED NOTE #10 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 11. ISSUE KEYED NOTE #11 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 12. ISSUE KEYED NOTE #12 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 13. ISSUE KEYED NOTE #13 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 14. ISSUE KEYED NOTE #14 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 15. ISSUE KEYED NOTE #15 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 16. ISSUE KEYED NOTE #16 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 17. ISSUE KEYED NOTE #17 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 18. ISSUE KEYED NOTE #18 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 19. ISSUE KEYED NOTE #19 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024
- 20. ISSUE KEYED NOTE #20 TO INDICATE OVERLAP DOWNSHIFT TO BLD COMMENTS 05/07/2024

DO NOT SCALE DRAWINGS

A201

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760.243.1888

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KOMA PERMITTING
KOMA DESIGN
KOMA

DATE: 05/07/2024
PROJECT: 2204
DRAWING: BUILDING ELEVATIONS

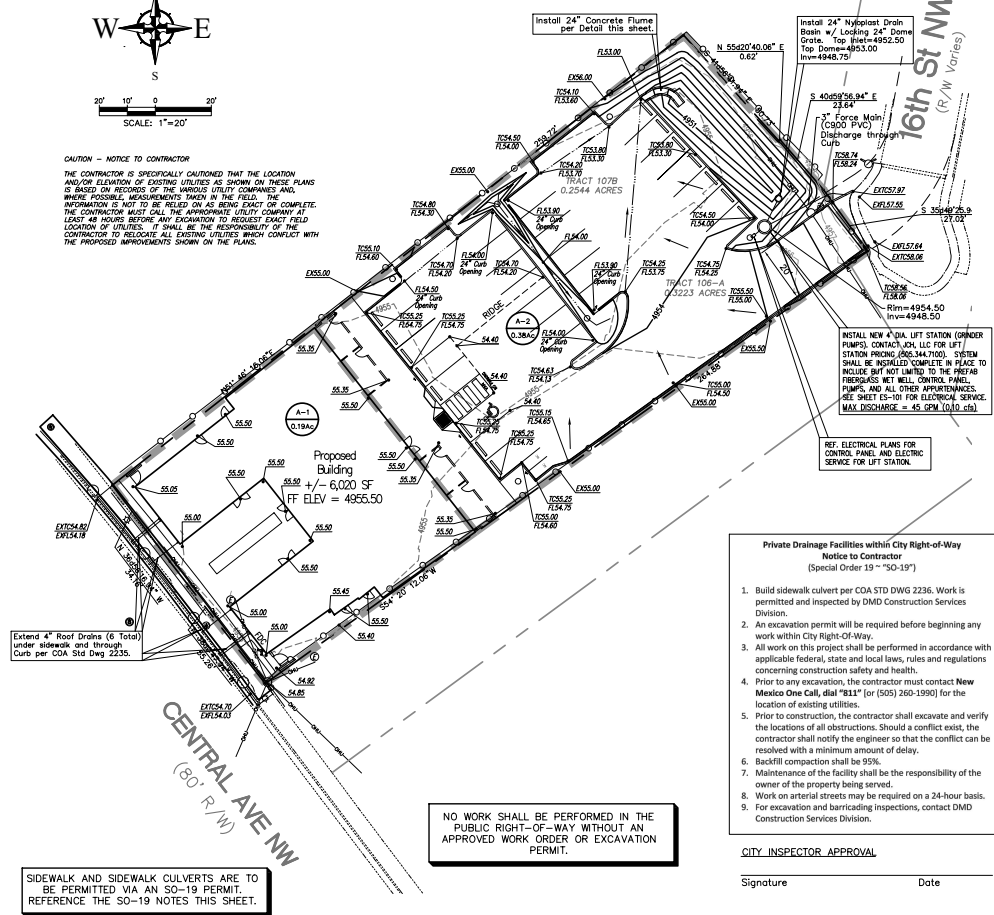
STATE OF NEW MEXICO
REGISTERED ARCHITECT
KENNETH MAHONEY
No. 1020

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ALBUQUERQUE, NM 87104

045

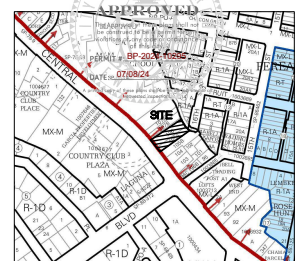


CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS MADE IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

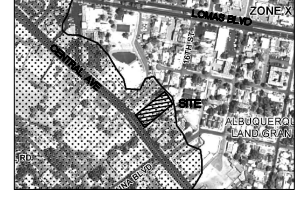


LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/P/WT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- (FIN) FGL83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- S15 EXISTING CONTOUR
- S15 PROPOSED CONTOUR
- S15 EXISTING STORM DRAIN



VICINITY MAP
LEGAL DESCRIPTION:
 MRGCD Map No 38, Tracts 106-A, 107-B & 107-C, City of Albuquerque, NM.
BENCHMARK:
 ACS Monument 12-P3, New Mexico Central Zone 023 Station (NAD 1983), N: 149275.094, E: 151768.652, Z: 4957.502 (NAD 1983), Ground-to-Ground: 0.999684167, Mapping Angle: -07412.73°



FIRM MAP 35001033334
 Per Firm Map 35001033334, dated August 16, 2015, the site is located within the Zone X Floodplain and determined to be within the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION
 The purpose of this submittal is to provide a final grading plan for the subject site located on Tracts 106-A, 107-B, & 107-C, MRGCD Map No 38 with an address of 1623 Central Ave NW in Albuquerque, NM. The overall development contains approximately 0.57 acres. The site was previously developed as residential and is now being developed into a new Mixed-Use Building with associated parking and landscaping. There is no prior hydrology file available for this property.

EXISTING HYDROLOGIC CONDITIONS
 The site currently drains to a ponding area located near the middle western property line. This drainage either discharges via infiltration into underlying soils or overflows onto the property to the west.

PROPOSED HYDROLOGIC CONDITIONS
 The proposed development will consist of two basins per the Calculations Table this sheet.

BASIN A-1
 The building roots (Basin A-1) will discharge to Central Ave and will not provide SMO Treatment since it is not feasible due to the IDO requiring that the building be located adjacent to Central Ave. The SWQ Calculations table on this sheet reflect the calculation of the Payment-in-Lieu which is \$1,432.00.

BASIN A-2
 The north portion of the site (Basin A-2) will surface drain to a new SWQ Pond along the north property line. This pond will overflow into a Drain Basin with a Dorned Gate and then into a wet well which will be pumped via a 3" pipe through the curb and into 16th St NW. During the 100-Yr, 6-hr event, we calculate that the pond will completely discharge via the lift station in 19.8 hours (475 minutes). No surface drainage shall be directed onto the neighboring properties.

CONCLUSION
 This drainage management plan conforms to City of Albuquerque DPM. With this submittal, we are requesting SO-19 Permit, Grading Permit and Building Permit approvals.

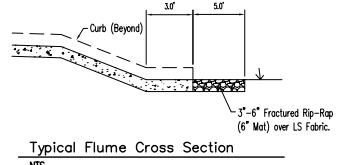
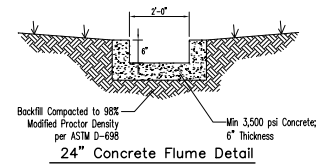


- Private Drainage Facilities within City Right-of-Way**
 Notice to Contractor
 (Special Order 19 -- "SO-19")
- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
 - An excavation permit will be required before beginning any work within City Right-of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" or (505) 260-1990 for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be 95%.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets may be required on a 24-hour basis.
 - For excavation and barricading inspections, contact DMD Construction Services Division.

CITY INSPECTOR APPROVAL
 Signature _____ Date _____

NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

SIDEWALK AND SIDEWALK CULVERTS ARE TO BE PERMITTED VIA AN SO-19 PERMIT. REFERENCE THE SO-19 NOTES THIS SHEET.



Existing Drainage Calculations
 This table is based on the COA DPM Chapter 6.2 (A), Zone 2.

BASIN	Area (AC)	Land Treatment Percentages (%)				Impervious (%)	V (in/hr)	T ₁ (hr)	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)	W _T (ft)	V ₁₀₀ (cfs)	V ₁₀ (cfs)
		A	B	C	D								
A-1	0.19	0.0	0.0	50.0	10.0	0.65	12.00	3.18	2.89	0.40	1.16	800	910
A-2	0.38	0.0	0.0	50.0	10.0	0.65	12.00	3.18	2.89	0.79	1.16	1600	1821
TOTAL	0.57									1.19		2400	2731

Proposed Drainage Calculations
 This table is based on the COA DPM Chapter 6.2 (A), Zone 2.

BASIN	Area (AC)	Land Treatment Percentages (%)				Impervious (%)	V (in/hr)	T ₁ (hr)	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)	W _T (ft)	V ₁₀₀ (cfs)	V ₁₀ (cfs)
		A	B	C	D								
A-1	0.19	0.0	0.0	10.0	90.0	0.87	12.00	4.24	3.68	0.70	2.80	1517	2517
A-2	0.38	0.0	0.0	20.0	80.0	0.85	12.00	4.08	3.45	1.31	2.87	2865	4261
TOTAL	0.57									2.01		4373	7171

STORMWATER QUALITY CALCULATIONS
BASIN A-1 (REDEVELOPMENT RATE = 0.26%)
 TOTAL NEW IMPERVIOUS PAVED AREA = 8,276 SF
 SWQ VOLUME RED'D = 8,276 x 0.26 / 12 = 179 CF
 TOTAL VOLUME PROVIDED = 0 CF
 PAYMENT-IN-LIEU = 179CF x \$8.00 = \$1,432.00
BASIN A-2 (REDEVELOPMENT RATE = 0.26%)
 TOTAL NEW IMPERVIOUS PAVED AREA = 14,898 SF
 SWQ VOLUME RED'D = 14,898 x 0.26 / 12 = 323 CF
 TOTAL VOLUME PROVIDED = 556 CF

NO.	DATE	BY	REVISIONS

DESIGNED BY: JMW
 DRAWN BY: RC
 CHECKED BY: JMW
 DATE: Aug 2023
 DATE: Aug 2023
 JOB NO.: 2022029
 DATE: Aug 2023



Wooten Engineering
 1623 Central Avenue NW
 Albuquerque, NM 87104
 Phone: (505) 980-3560

The George
 1623 Central Avenue NW
 Albuquerque, NM 87104
 Grading Plan

C-200

PLANT SCHEDULE

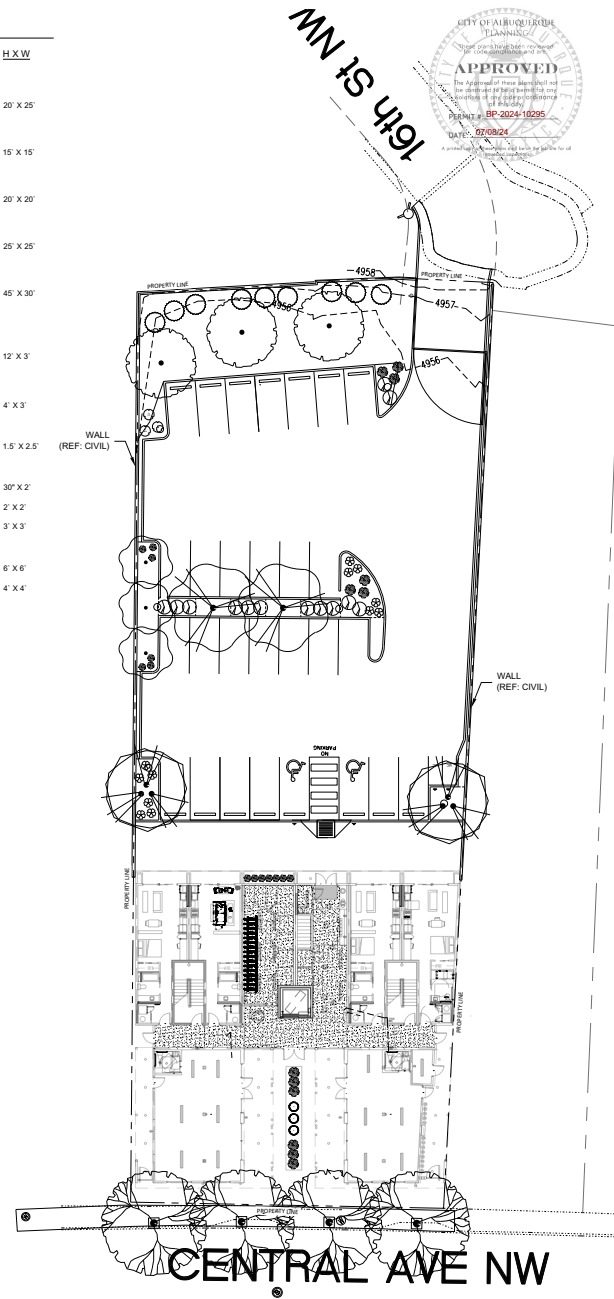
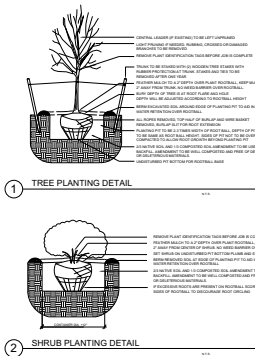
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H X W
DECIDUOUS TREE					
	2	CHLOPSIS LINEARIS / DESERT WILLOW	2" 8&8	LOW	20' X 25'
	3	FORESTIERA NEOMEXICANA XX / NEW MEXICAN PRIVET	24" 80X	MEDIUM	15' X 15'
	3	PRUNUS AMERICANA / AMERICAN PLUM	2" 8&8	MEDIUM	20' X 20'
	2	QUERCUS GAMBELII / GAMBEL OAK	15 GAL	MEDIUM	25' X 25'
	4	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" 8&8	MEDIUM	45' X 30'
EVERGREEN TREE					
	3	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	15 GAL	LOW	12' X 3'
DESERT ACCENT					
	3	YUCCA PENDULA / SOFT LEAF YUCCA	5 GAL	LOW	4' X 3'
PERENNIAL					
	12	CENTRANTHUS RUBER / RED VALERIAN	1 GAL	MEDIUM	1.5' X 2.5'
ORNAMENTAL GRASS					
	7	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	MEDIUM	30' X 2'
	6	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	MEDIUM	2' X 2'
	12	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	MEDIUM	3' X 3'
DECIDUOUS SHRUBS					
	9	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	LOW	6' X 6'
	13	PRUNUS BESSEYI / SAND CHERRY	5 GAL	MEDIUM	4' X 4'

LANDSCAPE DATA

ID/UPC#	10199440300300154	ZONING DESIGNATION	MP-L
GROSS LOT AREA (SF)	25,059		
BUILDING AREA (SF)	6,520		
NET LOT AREA (SF)	18,079	REQUIRED	PROVIDED
MINIMUM LANDSCAPE AREA (SF) - MINIMUM 15% OF NET LOT AREA*	2,562	2,562	3,417
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	2,146	2,205	77%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL MINIMUM)	537	739	34%
*SEE 501-19-6-2 FOR MORE DETAILS ON HOW TO CALCULATE THESE VALUES			
PLANTING AREA MULCH	1	REQUIRED	PROVIDED
TRAVEL OR CRUSHER FINES (SF)	MAX. 75%	2,937	74%
STREET TREES - 1 PER 25 LF	1	REQUIRED	PROVIDED
STREET FRONTSAGE (LF)	3.2	4	
EDGE BUFFER LANDSCAPE TREES	1	REQUIRED	PROVIDED
PARKING LOT EDGES WITHIN 30' OF FRONT LOT LINE - CONTINUOUS 3' HT EVERGREEN SHRUBS	-	-	81
SHRUBS @ PER 25 LF	6	8	
PARKING LOT INTERIOR PARKING STALLS	-	-	27
PARKING LOT AREA (SF)	399	3,985	
LANDSCAPED AREA (10% OF PARKING LOT AREA)	2.5	4	
COOL SEASON GRASS NO MORE THAN 10% OF REQUIRED LANDSCAPE AREA	0	0	0%
TOTALS	12	17	

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PURSUANT TO 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PURSUANT TO 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN A 8 FOOT CLEARANCE OVER THE SIDEWALK, ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(9)(c), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

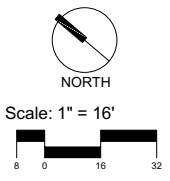


YELLOWSTONE LANDSCAPE
 www.yellowstonelandscape.com
 PO Box 10597
 Albuquerque, NM 87184
 505.898.9815
 design@yellowstonelandscape.com



Date: 11/17/2023
 Revisions:
 △
 △
 △
 △
 △
 Drawn by: E.G.
 Reviewed by: CM

The George
 1623 Central Ave NW
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-01

Kenny Myers

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Friday, April 26, 2024 1:05 PM
To: Kenny Myers
Subject: 1701 Central Ave. NW_Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_J-13-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address
Downtown Neighborhoods Association		Sylvia	Holguin	sylvia4quality@gmail.com	1503
Downtown Neighborhoods Association		Danny	Senn	1senn@sbcglobal.net	506 L
Huning Castle NA	hcnaalert@gmail.com	Deborah	Allen	debzallen@ymail.com	206 L SW
Huning Castle NA	hcnaalert@gmail.com	Brenda	Marks	brenda.marks648@gmail.com	1726

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.



If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Friday, April 26, 2024 11:11 AM
To: Office of Neighborhood Coordination <design@rembedesign.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

kenneth myers

Telephone Number

518-364-9914



Email Address

design@rembedesign.com

Company Name

Rembe Urban Design + Development

Company Address

1716 Central Ave. SW

City

Albuquerque

State

nm

ZIP

87104

Legal description of the subject site for this project:

TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD
MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and 107C .

Physical address of subject site:

1701 Central Ave. NW

Subject site cross streets:

Central Ave

Other subject site identifiers:

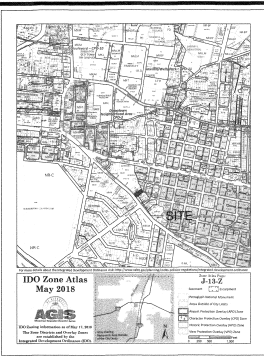
This site is located on the following zone atlas page:

J-13-Z

Captcha

x





PURPOSE OF PLAT
THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE TO CREATE ONE LOT FROM THREE LOTS AND TO GRANT ANY EASEMENTS AND VACATE ALL EASEMENTS AS SHOWN HEREON.

NOTES

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES
3. ALL SET POINTS ARE IDENTIFIED AS SET. ARE BE REBAR WITH BLUE PLASTIC CAP STAMPED "PS 1162" AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED
4. BEARINGS AND DISTANCES IN () ARE RECORD
5. FEMA FLOOD ZONE DESIGNATION: ZONE X

SUBDIVISION DATA

DRAWN: ZONE ATLAS INDEX NO. J-13
DATE OF FIELD SURVEY: JANUARY 2019; APRIL 2022
TOTAL NO. OF TRACTS EXISTING: 3
TOTAL NO. OF LOTS CREATED: 2
TOTAL ACRES (EST. ACRES):
DOCUMENTS USED:
PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2022.
SETBACK FRONT OF WAY SURVEY BY WILSON AND COMPANY, DOCUMENTS ALTAZON SURVEY BY QUEST SURVEYS OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.G.C.D. MAP 38, UNRECORDED.
SOLAR COLLECTION NOTE:
PER SECTION 14-4-4.7 OF THE SUBDIVISION ORDINANCE
NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT FROM THE SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR BEING DIRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX
PAGE 1 COVER
PAGE 2 SUBDIVISION PLAT

LEGAL DESCRIPTION
BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.G.C.D. MAP 38, WITHIN PROJECTED SECTION 18, T.10 N. R.3 E., N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES; EASEMENTS FOR ELECTRIC TRANSFORMER SWITCHGEAR, AS REPLACES, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER; SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QUEST CORPORATION D.B.A. CENTURY LINK, GC, FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATION SERVICES.

CONVEYANCE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES (S) INCLUDES: IS THE RIGHT TO REPAIR, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO FROM AND OVER EACH EASEMENT WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE" INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, LAWN, GROUND OR SUBSURFACE, NOT BE CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE CONSTRUCTED OR CONSTRUCTED ON SAID EASEMENTS UNLESS ANY WELL BE DRILLED ON OR NEAR THE TRACT OR PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGCO), CENTURY LINK AND COMCAST DO NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGCO), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT AND VACATION
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF THIS INSTRUMENT AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE LAND IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE SURVEYS OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AGAINST THEIR COMPLETE AND RECOVERABLE TITLE IN THE PARCELS HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATE ALL EASEMENTS SHOWN. SAID OWNER(S) AND/OR PROPRIETOR(S) DO NOT REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: *[Signature]* 2/10/2023

ACKNOWLEDGMENT
STATE OF New Mexico
COUNTY OF Bernalillo
THIS INSTRUMENT WAS VOLUNTARILY FORWARDED TO ME ON THIS 10th DAY OF February 2023 BY:
[Signatures]
NOTARY PUBLIC: [Signature] 02/07/2023
MY COMMISSION EXPIRES: 04/07/2025
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
UNIFORM PROPERTY CODE # 013628019130108 1013068281419104 101306828251110
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 6/30/23

SURVEYOR'S CERTIFICATE
I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21062, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES POSSESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 11, 2007, AND IS TRUE, CORRECT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
DATE: 02/07/2023

PLAT OF TRACT A THE PEARL ADDITION BEING A REPLAT OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A WITHIN PROJECTED SECTION 18, T. 10 N. R. 3 E., N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO FEBRUARY 2023

PROJECT NUMBER: PR-2022-006844 APPLICATION NUMBER: 00-2023-0000

CITY APPROVALS

CITY APPROVALS	DATE
<i>[Signature]</i> 2/7/2023	2/7/2023
CITY SUPERVISOR	DATE
<i>[Signature]</i> Jun 9, 2023	Jun 9, 2023
TRAVEL AND TRANSPORTATION DIVISION	DATE
<i>[Signature]</i> 2/17/2023	2/17/2023
M.R.C.O.P.	DATE
<i>[Signature]</i> Hydrographer Jun 8, 2023	Hydrographer Jun 8, 2023
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i> 2/17/2023	2/17/2023
A.M.A.P.C.A.	DATE
<i>[Signature]</i> Jun 15, 2023	Jun 15, 2023
<i>[Signature]</i> Jun 22, 2023	Jun 22, 2023
CITY ENGINEER	DATE
<i>[Signature]</i> Jun 8, 2023	Jun 8, 2023
HYDROLOGY	DATE
<i>[Signature]</i> Jun 8, 2023	Jun 8, 2023
PLANNING DEPARTMENT	DATE
<i>[Signature]</i> Jun 9, 2023	Jun 9, 2023
CODE ENFORCEMENT	DATE
<i>[Signature]</i>	

UTILITY APPROVALS

UTILITY APPROVALS	DATE
<i>[Signature]</i> 2/10/2023	2/10/2023
PNM ELECTRIC SERVICES	DATE
<i>[Signature]</i> 1/24/2023	1/24/2023
NEW MEXICO GAS	DATE
<i>[Signature]</i> 2/9/2023	2/9/2023
QUEST CORPORATION D.B.A. CENTURY LINK GC	DATE
<i>[Signature]</i> 02/07/2023	02/07/2023
COMCAST	DATE
<i>[Signature]</i>	

M.S.S.E.D.
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MEDIA OR GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LENS, ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED BY THE SUBDIVIDER, ACCTION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATER AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

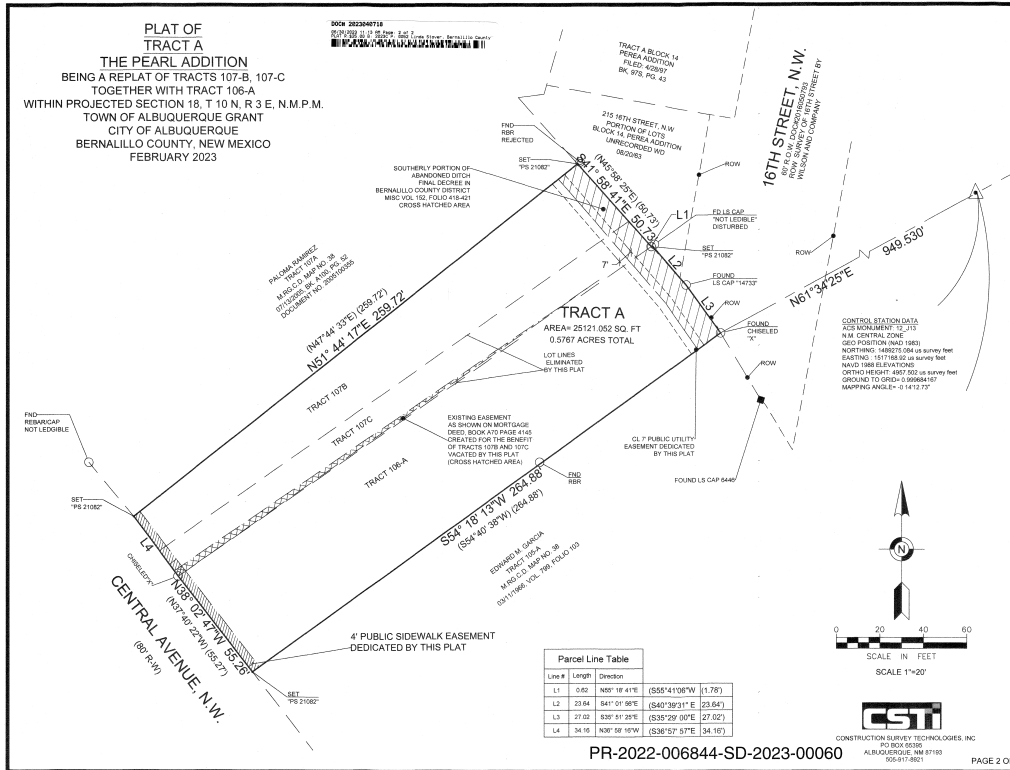
[Signature] 2/17/2023
DATE

0000 2023040718
SUPERVISOR'S SIGNATURE
CITY OF ALBUQUERQUE

CSTI
CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 60300
ALBUQUERQUE, NM 87130
505-871-8801

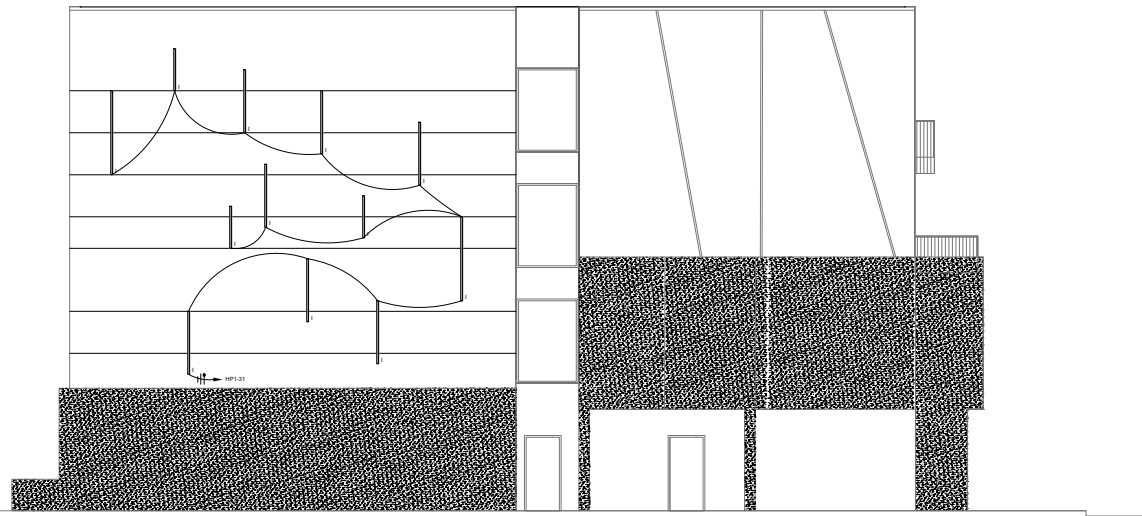
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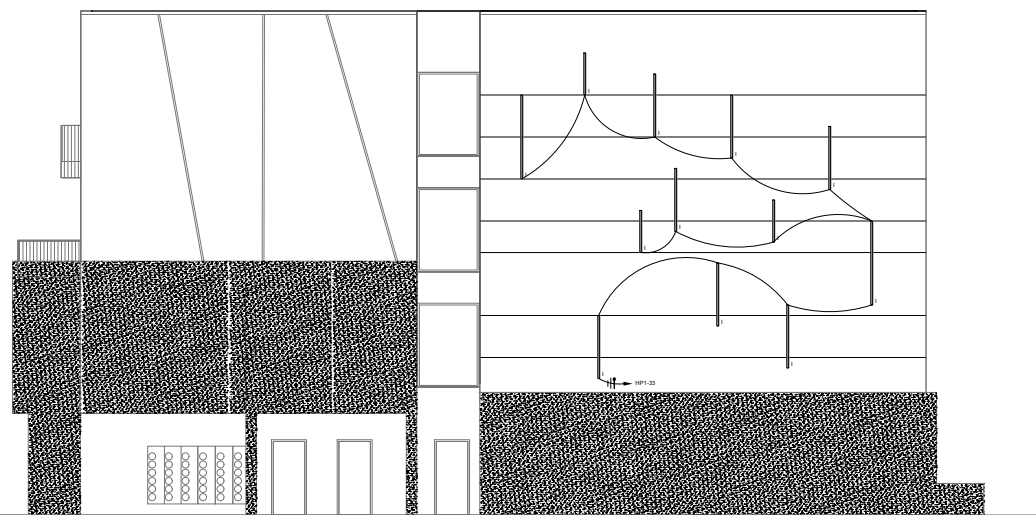
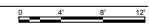


GENERAL NOTES:

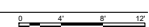
- A. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2008 EDITION OF NATIONAL ELECTRICAL CODE (NEC).
- B. PROVIDE HOUSEHOLD FIRE WARNING DEVICES IN CONFORMANCE WITH NFPA 72 / FIRE ALARM CODE (FAC) EDITION 2005, SECTION 7.2.1.1.1 AND 7.2.2.
- C. REFER TO ARCHITECTURAL PLAN # **SP-2024-10295** FOR ALL ELECTRICAL OBJECTS FOR COORDINATION. DATE: **07/09/24**



1 BUILDING ELEVATION LIGHTING
SCALE: 3/16" = 1'-0"



1 BUILDING ELEVATION LIGHTING
SCALE: 3/16" = 1'-0"



THE GEORGE | 34 UNIT APARTMENT BUILDING
1701 CENTRAL AVE. NW
ALBUQUERQUE, NM 87104



EMEC LLC
Consulting Engineers
3055-10TH AVENUE, SUITE 100, ALBUQUERQUE, NM 87110
10305 BERNARDO THOMAS LN, SW
ALBUQUERQUE, NM 87105

Project: CCP
Client: KMA
Contractor: KMA

COA SUBMITTAL
Date: 3/15/2024 3:28 PM
Sheet Number: 2204

ETI.5 BLDG
ELEVATION ELEC
PLAN

Sheet Number:
ETI.5

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 11, 2024

Kenneth Myers, RA
Rembe urban design + development
1716 Central Ave. SW
Corrales, NM 87104

Re: The George Apartments
1701 Central Ave. NW
Traffic Circulation Layout
Architect's Stamp 01-31-24 (J13-D220)

Dear Mr. Myers,

The TCL submittal received 04-19-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **A SIGNED SHARED PARKING AGREEMENT BY THE PLANNING DIRECTOR IS A CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

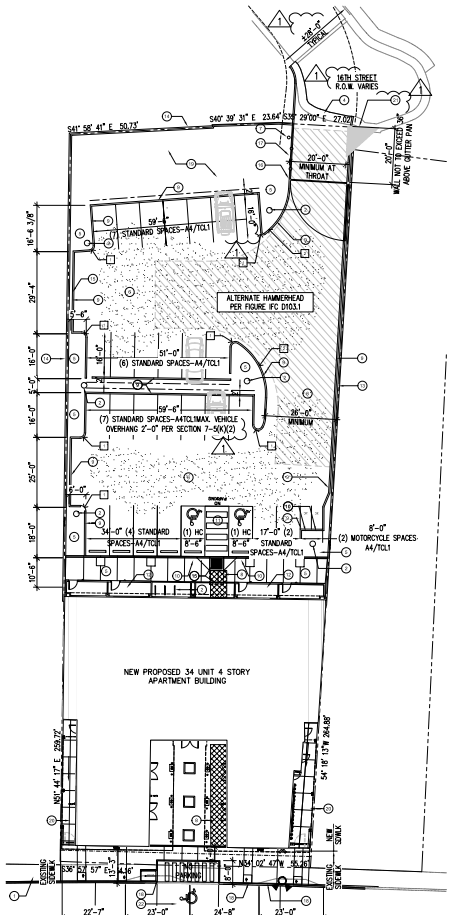
Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

KEYED NOTES-SITE PLAN

- EXISTING SIDEWALK TO REMAIN
- NEW BIKE RACK PER DETAIL B3/TOL1
- NEW LIGHT POST PER DETAIL A3/TOL1
- EXISTING RAMP OVER CURB COA STANDARD DETAIL 2415G. REPAIR REPLACE AS REQUIRED.
- NEW LANDSCAPE AREA
- SUPPORT NEW ASPHALT PARKING AREA-PER COA STANDARDS ASPHALT TO SURFPORT A MINIMUM OF 75,000 PSI
- EXISTING PNM ELECTRICAL POST TO REMAIN.
- PROPOSED PEDESTRIAN BUILDING ACCESS= MIN. 6'-0" WIDE
- PROPOSED HEADER CURB PER DETAIL B2/TOL1
- SIDWALK--SEE DETAIL A4/TOL1
- NEW 8'-0" MIN. ADA VAN ACCESS ISLE--PROVIDE PANTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.8 NMSA 1978
- 3'-0" TALL UNIT COURTYARD WALLS
- 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- EXISTING SITE WALL TO REMAIN
- CURB RAMP PER DETAIL B4/TOL2-- PROVIDE MINIMUM LANDING.
- AUTOMATED GATE-- PROVIDE KIOSK FOR EMERGENCY ACCESS
- 8'-0" TALL WROUGHT IRON FENCE
- EXISTING PONDING AREA PER COA
- NEW CONCRETE HARDSCAPE-- CROSS SLOPE MAXIMUM 2% IN ANY DIRECTION
- MINI SITE TRIANGLE PER DPM 7-40(S)(10)
- NEW ON-STREET HC PARKING SPACE SEE DETAIL C2/TOL0



Submittal Package/Description	No. Count	3D view	Detailed	Printed
Final/As-Built/As-Noted/CPDS	34	28.0-28.0	28.0	28.0
Site Reader to Be Used		28.0	28.0	28.0
Access to Spaces (FAC)	28	Per ADA-3 for 28% of total spaces (minimum 6 accessible spaces, and one wheelchair accessible)	2	2
Motor Cycle	34	100.000-5.0-4. 5.0-4.0-2.2. reserved	1	1
Site	34	100.000-5.0-4. 5.0-4.0-2.2. reserved	1.4	1.4 (detach. 1.41.4.4)

Notes:
 *Provide 30" padding on all sides
 **Cover metal finish provided through shared parking agreement
 #1 END CONCRETE FIN. PER DETAIL B2/S-5-L-8
 PARKING FOR NON-RESIDENTIAL PARKING MIN. MAX. 1.0% SLOPE.
 SEE DETAIL T22 FOR SIGNIFICATION.
 PER IDO S-5-C-6 Markers are required down

GENERAL NOTES

- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM-MAXIMUM ADA PARKING SPACE SLOPE 5.2% IN ALL DIRECTIONS.
- ALL NEW CURBS AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2418A-TYPICAL.
- ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD DRAWING 2423.
- NEW DRIVE (IF REQUIRED) PAD PER COA STANDARD DRAWING 2422.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS-- SIGN WALLS TREES AND SHRUBBERY BETWEEN 3 FEET AND 9 FEET TALL-- MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE.
- PER DPM 7-50(S) VEHICLES MAY OVERHANG WALKWAYS AND LANDSCAPE AREA AS LONG AS THE OVERHANG DOES NOT NEGATIVELY IMPACT THE PROPOSED LANDSCAPE, OR REDUCE THE REQUIRED PEDESTRIAN ACCESS ROUTE TO LESS THAN 4 FEET WIDE. THE MAXIMUM OVERHANG OF PARKING SPACES ARE 2 FEET FOR STANDARD PARKING AND 1.5 FEET FOR SMALL CAR SPACES.
- LANDSCAPE AREAS IN FRONT OF PARKING SPACES TO HAVE LOW GROUND COVER AS TO NOT INTERFERE WITH 24" CAR OVERHANG.

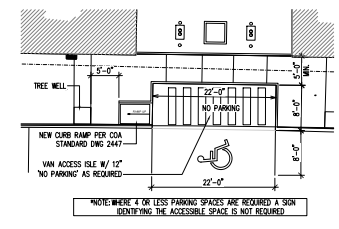
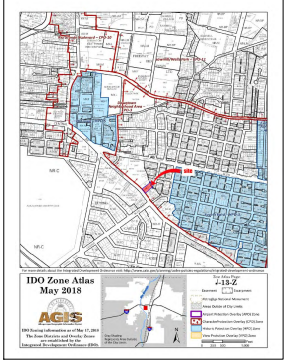
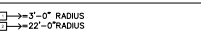
PROJECT INFORMATION

ADDRESS: 1701 CENTRAL AVE, ALBUQUERQUE, NM 87104
 LEGAL DESCRIPTION: TRACT 100 & A PORTION OF ABANDONED ALBUQUERQUE DITCH W/SD MAPS/COA 2322 AC W/L, and MAP 38 TRACT 109B and 107C-86-4
 ASSOCIATED PRJ#: PR-2023-00887

GROUND SURFACE LEGEND

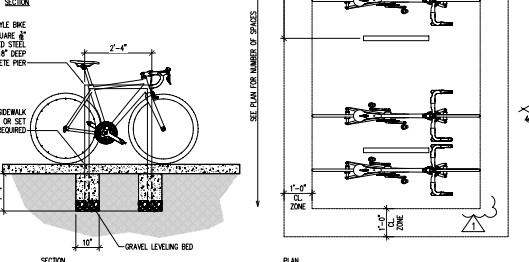


RADIUS INFORMATION



C2 ON-STREET HC SPACE
1/2"=1'-0"

1. CHANGES PER TOL COMMENT LETTER-- SEE RESPONSE LETTER 08/22/2023

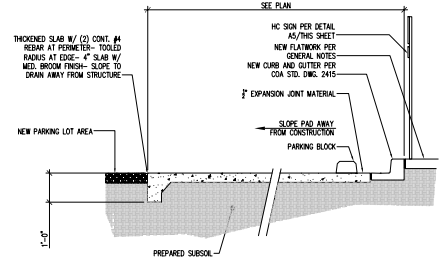


B3 Bike Rack Detail
1/2"=1'-0"

B4 Curb Ramp Detail
1/4"=1'-0"

B1 TRAFFIC CONTROL LAYOUT PLAN
1/32"=1'-0"

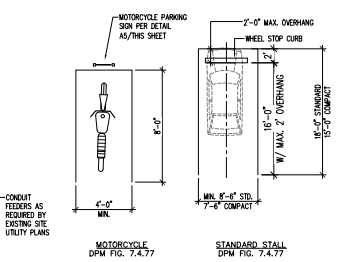
B2 New Header Curb Detail
1/2"=1'-0"



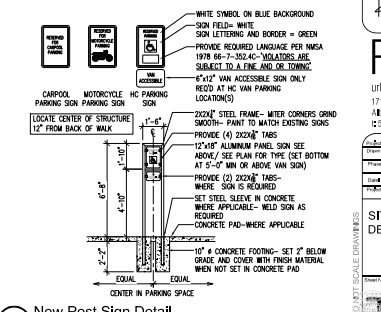
A1 New HC Parking Space Detail
1/2"=1'-0"

A2 HC PARKING SPACE DETAIL
1/2"=1'-0"

A3 Light Post Foundation Detail
1/2"=1'-0"



A4 New Parking Space Detail
1/4"=1'-0"



A5 New Post Sign Detail
1/4"=1'-0"

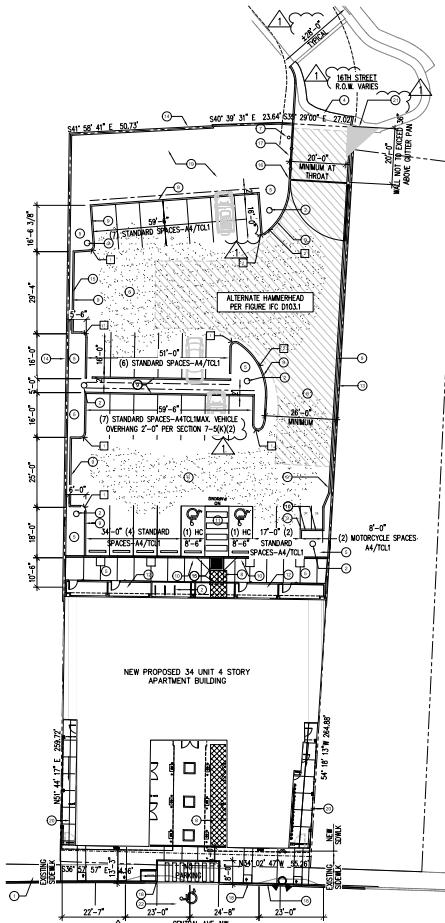
The George | 34 Unit Apartment Building
 1701 CENTRAL AVE, NW
 ALBUQUERQUE, NM 87104



REMBE
 urban design + development
 1716 Central Blvd, Suite A
 Albuquerque, NM 87104
 t: 505-243-0188
 k: 505-243-0188

CCP- THE GEORGE
 PERMITTING
 08/14/2024
 2404

CL01



KEYED NOTES-SITE PLAN

- EXISTING SIDEWALK TO REMAIN
- NEW BIKE RACK PER DETAIL B3/T01
- NEW LIGHT POST PER DETAIL A3/T01
- EXISTING ROLL OVER CURB COA STANDARD DETAIL 24156. REPAIR REPLACE AS REQUIRED.
- NEW LANDSCAPE AREA
- PROPOSED NEW ASPHALT PARKING AREA—PER COA STANDARDS ASPHALT TO SUPPORT A MINIMUM OF 75,000 PPS
- EXISTING PAV ELECTRICAL POST TO REMAIN.
- PROPOSED PEDESTRIAN BUILDING ACCESS—MIN. 6'-0" WIDE
- PROPOSED HEADER CURB PER DETAIL B2/T01
- SIDING—SEE DETAIL A4/T01
- NEW 8'-0" MIN. ADA VAN ACCESS ISLE—PROVIDE PAINTED 'NO PARKING' IN CAPITAL LETTERS PER 66-1-4.1.8 NMSA 1978
- 3'-0" TALL UNIT COURTYARD WALLS
- 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- EXISTING SITE WALL TO REMAIN
- CURB RAMP PER DETAIL B4/T01— PROVIDE MINIMUM LANDING
- AUTOMATED GATE— PROVIDE KIOSK BOX FOR EMERGENCY ACCESS
- 8'-0" TALL WROUGHT IRON FENCE
- EXISTING PONDING AREA PER COA
- CURB AND GUTTER PER DPM COA CITY STANDARD DWG 2430.
- EXISTING GUTTER TO BE REMOVED AND REPLACED WITH NEW SIDEWALK.
- NEW CONCRETE HARDSCAPE— CROSS SLOPE MAXIMUM 2% IN ANY DIRECTION
- MIN SITE TRIANGLE PER DPM 7-40(S)(3)
- NEW ON-STREET HC PARKING SPACE SEE DETAIL C2/T01

Submittal Package Description	Unit Count	3D View	2D View	3D View	2D View
Vertical Lifts to include CPDS	34		34	28.8	28.8
Units Ready to Be Occupied				25	25
Access to Spaces (FAC)	34		34	2	2
Motor Cycle	34		34	1	1
Site	34		34	1.4	1.4

- ### GENERAL NOTES
- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM—MAXIMUM ADA PARKING SPACE SLOPE 5.2% IN ALL DIRECTIONS.
 - ALL NEW CURBS AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2415A—TYPICAL.
 - ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD DRAWING 2430.
 - NEW DRIVE (IF REQUIRED) PAD PER COA STANDARD DRAWING 2422.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS— SIGN WALLS, TREES AND SHRUBBERY BETWEEN FEET AND 9 FEET TALL— MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE.
 - PER DPM 7-50(C) VEHICLES MAY OVERHANG WALKWAYS AND LANDSCAPE AREA AS LONG AS THE OVERHANG DOES NOT NEGATIVELY IMPACT THE PROPOSED LANDSCAPE, OR REDUCE THE REQUIRED PEDESTRIAN ACCESS ROUTE TO LESS THAN 4 FEET WIDE. THE MAXIMUM OVERHANG OF PARKING SPACES ARE 2 FEET FOR STANDARD PARKING AND 1.5 FEET FOR SMALL CAR SPACES.
 - LANDSCAPE AREAS IN FRONT OF PARKING SPACES TO HAVE LOW GROUND COVER AS TO NOT INTERFERE WITH 2' C&G OVERHANG.

PROJECT INFORMATION

ADDRESS: 1701 CENTRAL AVE, NW ALBUQUERQUE, NM 87104

OWNER: THE GEORGE | 34 UNIT APARTMENT BUILDING

ARCHITECT: REMBE

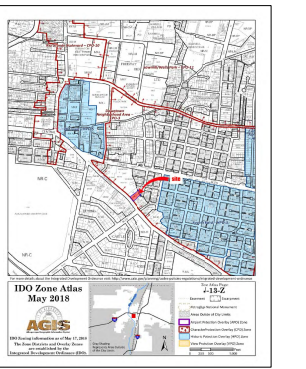
DATE: 6/11/2024

GROUND SIGNAGE LEGEND

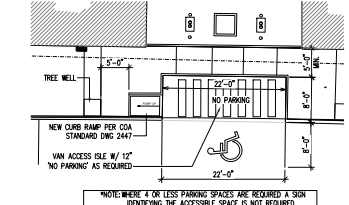
- NEW STANDARD LANDSCAPE— FINISH TO MEET DPM STANDARDS
- NEW LANDSCAPING
- NEW ASPHALT PER GENERAL NOTES

RADIUS INFORMATION

- 3'-0" RADIUS
- 22'-0" RADIUS

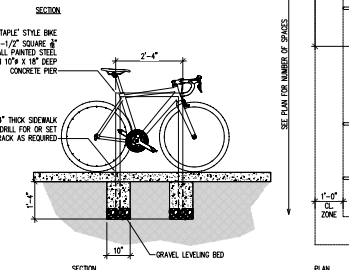


Submittal Package Description	Unit Count	3D View	2D View	3D View	2D View
Commercial Office Space in B7/M, CPC-2	34		34	4.65	4.65
Access to Spaces (FAC)	34		34	1	1
Motor Cycle	3		3	1	1
Site	3		3	2.3	2.3

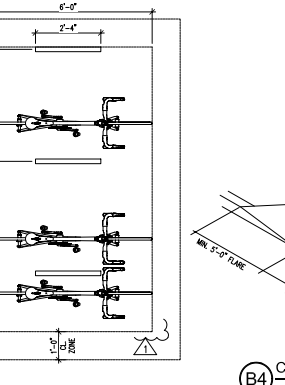


C2 ON-STREET HC SPACE
1/2" = 1'-0"

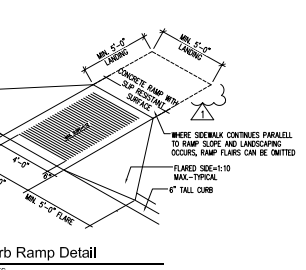
1. CHANGES PER TOL COMMENT LETTER— SEE RESPONSE LETTER 06/22/2023



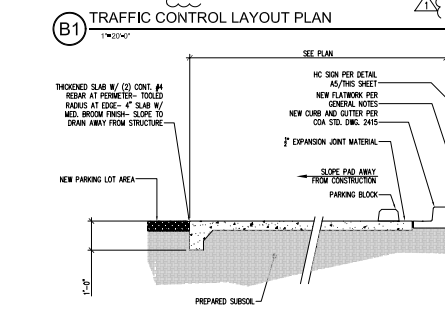
B3 Bike Rack Detail
1/2" = 1'-0"



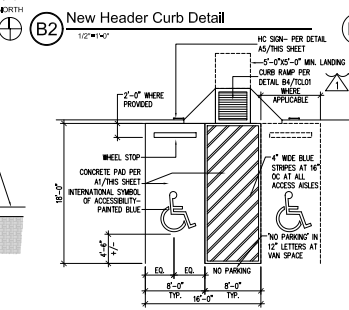
B4 Curb Ramp Detail
1/4" = 1'-0"



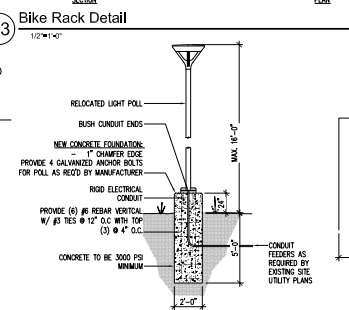
B2 New Header Curb Detail
1/2" = 1'-0"



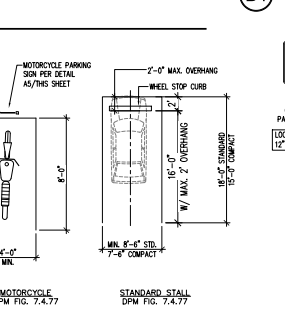
B1 TRAFFIC CONTROL LAYOUT PLAN
1/8" = 1'-0"



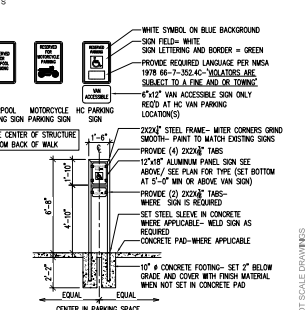
A2 HC PARKING SPACE DETAIL
1/2" = 1'-0"



A3 Light Post Foundation Detail
1/2" = 1'-0"



A4 New Parking Space Detail
1/4" = 1'-0"



A5 New Post Sign Detail
1/4" = 1'-0"

The George | 34 Unit Apartment Building
1701 CENTRAL AVE, NW
ALBUQUERQUE, NM 87104



REMBE

urban design + development
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t: 505-243-0188

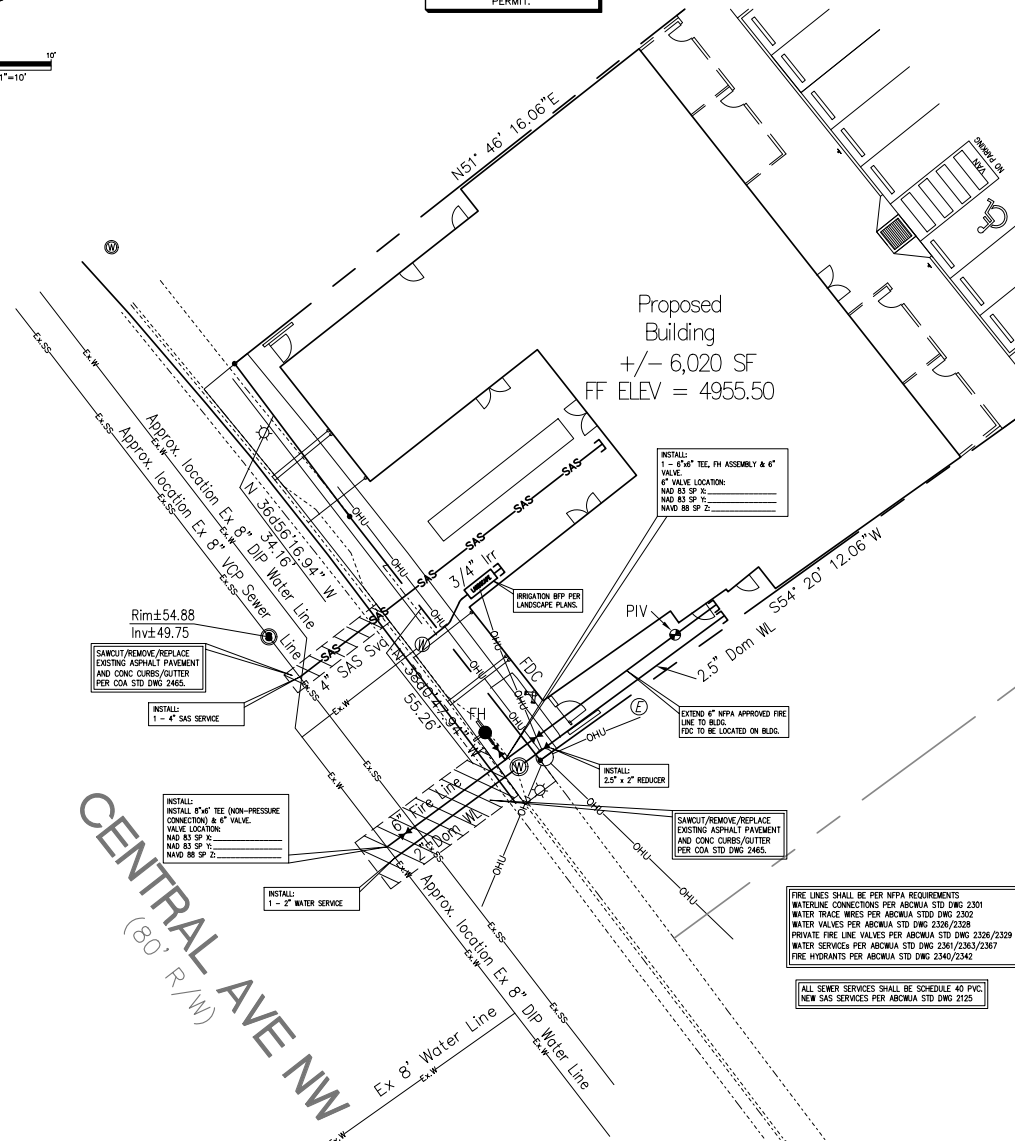
CCP - THE GEORGE
KMA
PERMITTING
06/11/2024
204

SITE PLAN-
DETAILS AND LAYOUT

TCL01



NOTE: ALL WORK IN CITY
RIGHT-OF-WAY BY SEPARATE
PERMIT.



CENTRAL AVE NW
(80' R/W)



VICINITY MAP
LEGAL DESCRIPTION:
MIRAGEC Map No 38, Tracts 106-A, 107-B & 107-C, City of Albuquerque NM.
BENCHMARK
ACS Monument 123_113, New Mexico Central Zone GEO Position (NAD 1983),
N: 1480275.084, E: 1317168.02, Z: 4957.502 (NAVD 1988),
Ground-to-Grid: 0.00668167, Mapping Angle: -174.12, 2.3"

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, SHOULDER, SUPPORTS, CLEANOUT PANS, SERVICE STEPS AND BRICKS, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY REINSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: .36' FOR WATERLINES AND .48' FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARDS.
7. FIRE LINES (IF REQUIRED) SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METER, FIRE LINE, AND SERVICE HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROPORTA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY HEIGHTS AND LOCATIONS OF EXISTING WATER/GAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

1. PROPOSED 2" WATER SERVICE BY OTHERS. EXTEND 2" WATER SERVICE TO BUILDING. BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING.
2. NEW 4" FIRE LINE AND FIRE HYDRANT BY OTHERS.
3. PROPOSED 4" GAS SERVICE BY OTHERS.
4. CONNECT TO NEW 4" GAS SERVICE (BY OTHERS) AND EXTEND NEW 4" GAS SERVICE TO BUILDING/GREASE TRAP (PER PLUMBING PLANS) AND TO THE TRASH ENCLOSURE AND BUILDING AS REQUIRED PER THE UPC. MINIMUM SLOPE ON 4" GAS LINES IS 2%.
5. INSTALL GREASE TRAP PER PLUMBING PLANS AND INSTALL EXTENSIONS AND/OR RINGS TO BRING GREASE TRAP TO GRADE PER GRADING PLAN.
6. INSTALL 4" FLOOR DRAIN WITH P-TRAP AND 2" VENT PER UPC STANDARDS. EXTEND 4" PVC GAS TO 4" GAS SERVICE AT GREASE INTERCEPTOR. VENT SHALL BE INSTALLED ON THE OUTSIDE EDGE OF THE TRASH ENCLOSURE. REF. DETAIL THIS SHEET FOR DEEP TRAP.
7. INSTALL IRRIGATION SERVICE OUTSIDE 2" DOMESTIC SERVICE ALONG WITH THE REQUIRED BACKFLOW PREVENTER AND HOTBOX. REF. IRRIGATION PLAN AND REF PLANS FOR DETAILS.

NOTES:
COORDINATE ALL CONSTRUCTION ACTIVITY WITHIN STREET RIGHTS-OF-WAY WITH THE CITY OF ALBUQUERQUE AS APPLICABLE TO THE WORK. THIS INCLUDES PAVEMENT REMOVAL/REPLACEMENT AND NECESSARY TRAFFIC CONTROL. OBTAIN RIGHT TO WORK PERMITS AS NECESSARY.
REFERENCE MEP PLANS FOR ELECTRICAL SERVICE AND SITE LIGHTING. COORDINATE WITH ELECTRIC UTILITY COMPANY FOR PROPOSED TRANSFORMERS, METERS, AND SERVICE LINE EXTENSIONS AS REQUIRED.
REFERENCE MEP PLANS FOR GAS SERVICE. COORDINATE WITH GAS COMPANY FOR PROPOSED LOADINGS AS REQUIRED.
COORDINATE WITH TELECOMMUNICATION COMPANIES FOR NEW PHONE AND CABLE SERVICE AS REQUIRED FOR THE PROJECT. REFERENCE MEP PLANS FOR BUILDING SITE OUT LOCATIONS AND SERVICE REQUIREMENTS.

FIRE LINES SHALL BE PER NFPA REQUIREMENTS
WATERLINE CONNECTIONS PER ABCMJA STD DWG 2301
WATER TRACE WIRES PER ABCMJA STD DWG 2302
WATER VALVES PER ABCMJA STD DWG 2328/2329
PRIVATE FIRE LINE VALVES PER ABCMJA STD DWG 2328/2329
WATER SERVICES PER ABCMJA STD DWG 2361/2363/2367
FIRE HYDRANTS PER ABCMJA STD DWG 2340/2342

ALL SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
NEW GAS SERVICES PER ABCMJA STD DWG 2125

NO.	DATE	REMARKS / REVISIONS	BY
DESIGNED BY:	01/20/2022	DESIGN	DATE: December 2022
DRAWN BY:	01/20/2022	DESIGN	DATE: December 2022
CHECKED BY:	01/20/2022	DESIGN	DATE: December 2022

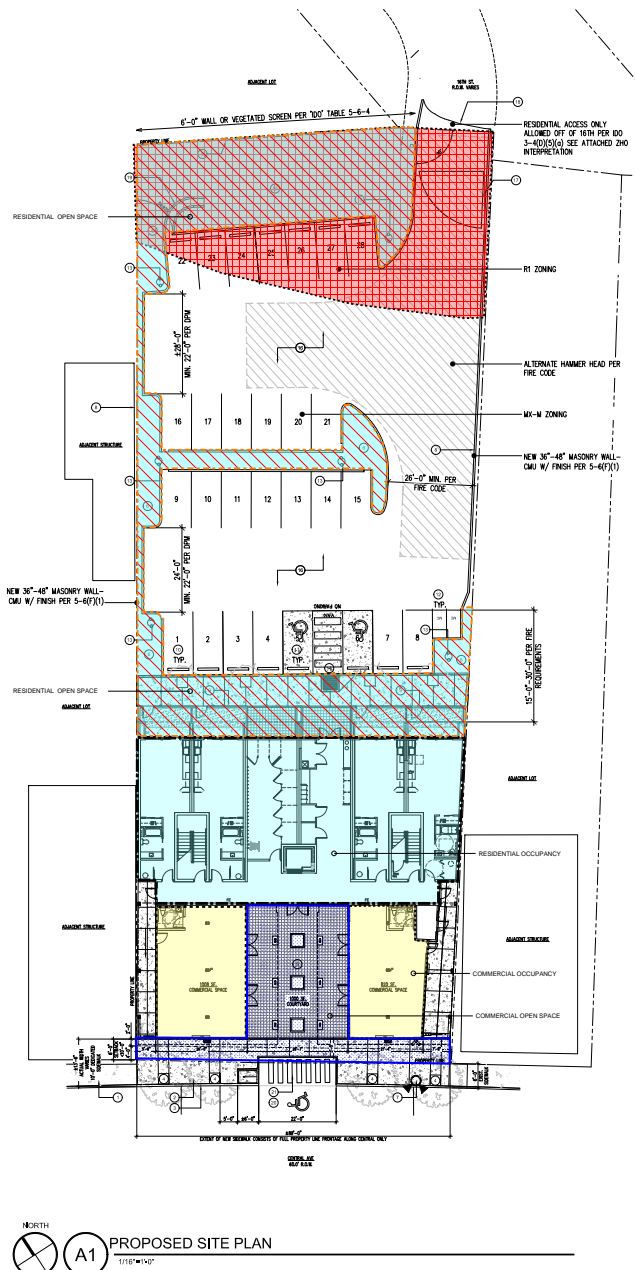
NOT FOR CONSTRUCTION

Wooten Engineering
PO Box 1584
Rio Rancho, NM 87174
Phone: (505) 980-5560

The George
1701 Central Avenue NW
Albuquerque, NM 87104

Utility Plan

C-300



Use/Category	Min. Count	Max. Count	Notes
Residential Units	34	34	Table 5-6-2: BLOCK-W/ 1 space / 2U = 1 space per unit - 34
Motorcycles	36	36	5-6-203: 1 space for 10 units / 10 units = 36
Standard Parking	14	14	5-6-6-4: 14 = 14 x 1.0
Commercial Office Space	14	14	Per 5-6-2: 14 units for 14 units of office space, no more than 14 units
Motorcycles	36	36	IDO, 88M 5-6-4: 1-25-1, 28-54-2: 36
Motorcycles	36	36	IDO, 88M 5-6-4: 1-25-1, 28-54-2: 36
Motorcycles	36	36	IDO, 88M 5-6-4: 1-25-1, 28-54-2: 36



SITE / ZONING INFORMATION

ADDRESS: 1701 CENTRAL SW AVE. ALBUQUERQUE, NM 87104
 LEGAL DESCRIPTION: TRACT 108 & A PORTION OF ABANDONED ALBUQUERQUE DITCH W/ CD MAP#88 CON# 0.222 AC W/ L, and MAP 38 TRACT 107B and 107C.
 PROJECT SITE: .56 ACRES

PROJECT INFORMATION

4. STORY WOOD CONSTRUCTION, 34 UNIT LUXURY APARTMENT BUILDING WITH SMALL COMMERCIAL COMPONENT, AND ASSOCIATED PARKING FOR RESIDENTIAL TENANTS ONLY - SEE BELOW FOR SQUARE FOOTAGE BREAK DOWN:

Use/Category	Sq. Ft.	% of Total
Residential	1410	34.8%
Commercial	110	2.6%
Parking	1000	24.2%
Open Space	1000	24.2%
Other	100	2.4%
Total	4020	100%

B2 ELEVATION STUDY-CPO-3
1/8"=1'-0"

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIREMENTS PER 3-4(D)(2):
 RESIDENTIAL IN PT-100 SF. PER DU
 COMMERCIAL 10% OF SITE AREA

RESIDENTIAL REQUIRED: 100*34=3,400 SF. OF USABLE OPEN SPACE
 RESIDENTIAL PROVIDED: 6,441 SF. (SEE PLAN FOR OUT DOOR SPACE-NOTE THAT THIS INCLUDES RESIDENTIAL BALCONIES AS ALLOWED PER IDO USABLE SPACE DEFINITION.)

COMMERCIAL REQUIRED: 10% OF 4,110 SF. (COMMERCIAL AREA)=410 SF.
 COMMERCIAL PROVIDED: 1,662 SF.

- KEYED NOTES**
- NOTE: INFORMATION BELOW IS FOR ZONING REFERENCE ONLY - SEE TRAFFIC CIRCULATION LAYOUT SHEETS FOR DETAILED INFORMATION RELATED TO CIRCULATION.
- EXISTING SIDEWALK TO REMAIN
 - NEW SIDEWALK CONSTRUCTION PER COA STANDARD DETAIL# 2030
 - NEW CURB AND GUTTER PER COA STANDARD DETAIL# 2415
 - NEW TREE WELL PER COA STANDARD DETAIL
 - NEW PAVER MATERIAL OVER 2" COMPACTED SAND
 - NEW LANDSCAPE WELL PER DETAIL
 - NEW FIRE HYDRANT PER CIVIL
 - 4'-0" PAINTED BLOCK WALL PER IDO 5-6(F)(1)-2
 - NEW 36" TALL 6" BLOCK WALL
 - STANDARD PARKING SPACE
 - STANDARD HOV PARKING SPACE
 - STANDARD MOTORCYCLE PARKING SPACE
 - NEW LIGHT POST AND BASE - MAX HEIGHT 16'-0"
 - NEW CURB RAMP
 - LANDSCAPE AREA / DRAINAGE SWALE/RETENTION POND - SEE LANDSCAPE PLAN FOR LANDSCAPING - SEE CIVIL FOR EXTENSIVE LANDSCAPE FOR LANDSCAPING.
 - CRUSHER FINE PARKING SURFACE - SURFACE COMPACTION MUST MEET FIRE DEPARTMENT REQUIREMENTS-25,000LB/FT. CAPACITY
 - AUTOMATIC VEHICULAR GATE
 - EXISTING ROLL OVER CURB TO REMAIN - PATCH REPAIR REPLACE AS REQUIRED
 - CONCRETE FLUME PER CIVIL
 - NEW ON STREET HOV PARKING SPACE-22'-0" LONG X 8'-0" WIDE
 - NEW VAN ACCESS ISLE - 8'-0" WIDE X 22'-0" LONG PROVIDE CURB RAMPS BOTH SIDE PER CITY STANDARD DWG. #2443

A2 PROPOSED SIDEWALK SECTION
1/8"=1'-0"

THE CITY OF ALBUQUERQUE PLANNING & DEVELOPMENT

APPROVED

PROJECT NO: 2024-10295

DATE: 07/09/24

THE GEORGE | 34 Unit Apartment Building
1701 CENTRAL AVE., NW
ALBUQUERQUE, NM 87104

STATE OF NEW MEXICO
KENNETH MYERS
No.005751
03/04/2024
REGISTERED ARCHITECT

REMBE
urban design + development
1716 Central Ave. SW Suite A
Albuquerque, NM 87104
505-243-4088

CP- THE GEORGE
KMA
PERMITTING
03/04/2024
2204

ZONING DIAGRAM

AS102

DO NOT SCALE DRAWINGS

Responded by: Kenneth Myers - 5/28/24 12:03 PM

1. FLOATING ZONE LINE WAS EXISTING CONDITION AND WAS NOT CREATED OR EXACERATED BY THE LOT CONSOLIDATION AND THEREFORE A ZONE CHANGE IS NOT REQUIRED.
2. FINAL PLAT HAS BEEN UPLOADED FOR REVIEW
3. PARKING FOR RESIDENTIAL USE ALLOWED ON 16TH. SEE UPLOADED INTERPRETATION-14-16-3-4(D)(5)(a)2-PARKING ACCESS DOCUMENT. ?
4. SEE SHEET AS102 ZONE LAYOUT FOR CALCULATIONS.
5. 15' SET BACK IS A MAXIMUM.
6. SEE SHEET AS102 ZONING LAYOUT FOR CALCULATIONS.
7. ONC INFORMATION UPLOADED TO DOCUMENTS
8. SIGN POSTING FORM UPLOADED TO DOCUMENTS
9. NO DFT REQUIRED BASED ON SIZE OF DEVELOPMENT ?
10. PARKING CALCS INCLUDED ON SHEET AS102 ZONING LAYOUT. TCLZ
11. NO DUMPSTER ON SITE- SEE REFUSE APPROVAL IN DOCUMENTS FOLDER- 1701 Central Ave NW 12-21-23--The George Apartment Building
12. REVISED A610 UPLOADED
13. NOT REQUIRED AS NO WINDOWS ON WEST SIDE.
14. LIGHT POLES LOCATED ON AS102 ZONE LAYOUT SHEET AND ON TCL
15. SHOWN ON AS102 ZONE LAYOUT SHEET
16. CALCULATIONS INCLUDED ON AS102 ZONE LAYOUT SHEET
17. CALCULATIONS AND LOCATION SHOWN ON AS102 ZONE LAYOUT SHEET
18. SHOWN ON AS102 ZONE LAYOUT SHEET

CO-Yes

MX-M / CPO-3 MS, PT, MT

Disapproved

~~1. floating zone line Provide Zoning Map Amendment - EPC or Zoning Map Amendment - City Council. Per Part 14-16-6-6(K)(2)(c)~~

~~2. Provide Final Replat showing lots combined~~

~~3. Parking Access Shall be from Central Ave for Properties west of 14th St. Access from 16th St PROHIBITED. (CPO-3)~~

~~4. 50% / 50% rule for Frontage / courtyard appears to be off. Show Dimensions and Percentage. (CPO-3)~~

~~5. Front patio requires 15ft setback. (CPO-3)~~

~~6. Show open space calculations Usable open space is 100 sq feet per dwelling unit (Per Table 5-1-2) and 10% for Non-Residential abutting Central Ave. Per (CPO-3)~~

~~7. Missing ONC....~~

~~8. Missing Sign Posting agreement.....~~

? ~~9. Missing Approved DFT....~~ |

? 10. Provide TCL with parking calculations.

TCLZ

~~a. 1 bedroom unit 1 space=34 spaces.~~

~~b. Commercial Services 3 spaces / 1000 sq ft. = 1,800 sq ft = 6 spaces~~

~~c. Obtain a Parking bonus, waiver or a deviation for required parking.~~

~~d. provide bicycle & Motorcycle Parking requirements~~

~~11. Provide Dumpster location with Solid waste approval~~

~~12. Provide façade features as per 14-16-5-11(D) Window recess must be at least 2 inches.~~

~~(Sheet A610 note: calls out 1.5" recess.)~~

~~13. Provide heat mitigation features along the west side of the building 5-11(D)(2)(a)(3).~~

~~14. Provide location and height of the parking light poles.~~

~~15. Front Sidewalk requires 10 ft walkway per size of Building, Show Dimensions.~~

~~16. Usable open space is 100 sq feet per dwelling unit and 10% for Non-Residential abutting Central Ave. Per CPO-3.~~

~~17. provide correct calculations and the location of the usable open space and features.~~

~~18. Show Dimensions to Front setback. (Maximum Front 10 feet & Minimum 6 ft per CPO-3)~~

BP-2024-10295 -Commercial Plan Review Exercise

CO-Yes

MX-M / CPO-3 MS, PT, MT

Disapproved

1. Missing ONC....
2. Missing Sign Posting agreement.....
3. Missing Approved DFT....
4. Provide TCL with parking calculations.
 - a. 1 bedroom unit 1 space=34 spaces.
 - b. Commercial Services 3 spaces / 1000 sq ft. = 1,800 sq ft = 6 spaces
 - c. Obtain a Parking bonus, waiver or a deviation for required parking.
 - d. provide bicycle & Motorcycle Parking requirements
5. Provide Dumpster location with Solid waste approval.
6. Provide facade features as per 14-16-5-11(D) Window recess must be at least 2 inches.
(Sheet A610 note: calls out 1.5" recess.)
7. Provide heat mitigation features along the west side of the building. 5-11(D)(2)(a)(3).
8. Provide location and height of the parking light poles.
9. Front Sidewalk requires 10 ft walkway per size of Building., Show Dimensions.
10. Usable open space is 100 sq feet per dwelling unit and 10% for Non-Residential abutting Central Ave. Per CPO-3.
provide correct calculations and the location of the usable open space and features.
11. Show Dimensions to Front setback. (Maximum Front 10 feet & Minimum 6 ft per CPO-3)

12. CALS FOR OPEN SPACE ^{Bldg 20,000 NEED 2,000?} (CPO-3 Requires 10%)

~~13. FRONT PATIO REQUIRING 15FT FRONT SETBACK~~

* ~~14. 50/50 RULE FOR FRONTAGE VS. OPEN SPACE (CPO-3)~~

* ~~15. WEST OF 14th ST / SHALL ENTER FROM CENTRAL.~~

~~16. Floating zone line 14-16-6-6(K)(2)(C)
Replat~~

COMMERCIAL PLAN REVIEW

Examiner: D PORQUIS Permit# BP-2024-10295 Date: 4-1-2024
 Address: 1701 CENTRAL AV NW
 APO: _____ CPO: 3 HPO: _____ VPO: _____
 Lot: 107B Block: 0 Zone: MX-M Previous zone: SU-2 Map page: J-13
 Subdivision: MRGCD MAP 38 Landfill buffer: Yes No
 Mapped Area: _____ Master Plan: Yes No Site Dev. Plan: Yes No
 Renovation cost \$ 2.3 m triggers landscape: Yes No Expansion of 25% triggers parking/land: Yes No
 Case History: 1007842/1001620 PR-2022-006844 UC-AC-MS-PT-MT: Yes No
 Approved Variance and/or Conditional use numbers: _____

Commercial Plan Review					Notes/Comments:
Office of Neighborhood Coordination	Y	<input checked="" type="checkbox"/>	N/A		RePlat - GOOD ↑
Sign Posting Agreement	Y	<input checked="" type="checkbox"/>	N/A		
Address in City limits	<input checked="" type="checkbox"/>	N	N/A		
Lot must be platted 1-7(B)	Y	<input checked="" type="checkbox"/>	N/A		
Transitions from previous approvals 1-10	<input checked="" type="checkbox"/>	N	N/A		34 Unit Apartment
Complete application 1-10(B)	Y	N	<input checked="" type="checkbox"/>		
Mixed use districts standards 2-4(A-E)	<input checked="" type="checkbox"/>	N	N/A		1st FL Commercial - 2,800 FT Residential 19,814 Total Shared 5,188
Non-residential zone district 2-5(A-F)	Y	<input checked="" type="checkbox"/>	N/A		
PD 2-6	Y	<input checked="" type="checkbox"/>	N/A		
Allowable uses 2-6(A)(4)	<input checked="" type="checkbox"/>	N	N/A		
Development/form standards 2-6(A)(5)	<input checked="" type="checkbox"/>	N	N/A		shared space 5,188 1,610 ON Heated 3,578 - Heated 3,808 FT
PC 2-6(B)	Y	<input checked="" type="checkbox"/>	N/A		
Dimensional/other standards 2-6(B)(2)	<input checked="" type="checkbox"/>	N	N/A		
Allowable uses 2-4(B)(4)	<input checked="" type="checkbox"/>	N	N/A		
Development/form standards 2-6(B)(3)	Y	<input checked="" type="checkbox"/>	N/A		
Provisions of Specific Areas 2-6(B)(6)	Y	<input checked="" type="checkbox"/>	N/A		
Verify use from Table 4-2-1	Y	N	N/A		
Verify use specific standards 4-3	Y	N	N/A		
Mapped area in use specific standards	Y	N	N/A		
Dimensional Standards applicability 14-16-5-B	Y	N	N/A		
Mixed use zone districts table 5-1-1					
		Actual	Req'd		
Usable Open Space 5-1-2			225 - 50% 112 SQ FT		
Front Setback Minimum 5-1-2		6'	0'		
Front Setback Maximum 5-1-2		7'	15'		
Side Setback Minimum 5-1-2		0'	0'		
Side Setback Maximum 5-1-2			N/A		
Rear Setback Minimum 5-1-2			15'		0 if street or alley
Rear Setback Maximum 5-1-2			N/A		
Building Height Maximum 5-1-2		148'	83 FT	65'	100 FT FROM PROPERTY LINE

Additional notes, comments, calculations:
 → SIDEWALK LESS THEN 10 FT

14188

COMMERCIAL PLAN REVIEW

NR-C,NR-BP,NR-LM,NR-GM 5-1-3		Actual		Req'd	
Lot width, minimum	5-1-3				
Building Coverage Minimum	5-1-3				
Front Setback Minimum	5-1-3				
Front Setback Maximum	5-1-3				
Side Setback Minimum	5-1-3				
Side Setback Maximum	5-1-3				
Rear Setback Minimum	5-1-3				
Rear Setback Maximum	5-1-3				
Building Height Maximum	5-1-3				
Exceptions and Encroachments	5-1-(F)	Y	N	N/A	Replat removed easement
Utility Clearance	5-1(C)	Y	N	N/A	
Site design and sensitive lands	5-2	Y	N	N/A	
Applicability	5-2(B)	Y	N	N/A	
Avoidance of sensitive lands	5-2(C)				
Archeological sites	5-2(D)	Y	N	N/A	
Major arroyo standards	5-2(E)		/		
Irrigation facility standards	5-2(F)		/		
Landfill buffers	5-2(G)		/		
Standards	5-2(G)(2)	Y	N	N/A	
Major Open Space Edges	5-2(H)	Y	N	N/A	
Access And Connectivity	5-3	Y	N	N/A	
Applicability	5-3(B)				
ADA	5-3(C)(1)	Y	N	N/A	
No new curb cuts in university heights	5-3(C)(3)(b)	Y	N	N/A	
Sidewalk in Residential Development	5-3(D)(1)	Y	N	N/A	10ft sidewalks - (good)
Sidewalks in mixed use and non res. Dev.	5-3(D)(2)	Y	N	N/A	
On Site Pedestrian Connections	5-3(D)(3)	Y	N	N/A	
Subdivision Access and Circulation	5-3(E)	Y	N	N/A	
Subdivision of land	5-4				
Applicability	5-4(B)	Y	N	N/A	MISSING <u>TCL</u>
Block design and layout	5-4(E)	Y	N	N/A	
Lot Design and Layout	5-4(F)	Y	N	N/A	
Easements or Right of Way	5-4(L)	Y	N	N/A	Replat
Parking and loading	5-5	Y	N	N/A	
Applicability	5-5(B)	Y	N	N/A	34 units studios
Exemptions and Reductions	5-5(B)(2)	Y	N	N/A	
Pre 1965 Buildings	5-5(B)(2)(b)	Y	N	N/A	16.4
Minimum Off Street Parking Table	5-5(C)(2)	Y	N	N/A	12.7
Amenity/Recreation/Entertainment Uses	5-5(C)(3)	Y	N	N/A	1 BED 12

Additional notes, comments, calculations:

comment @
1800

COMMERCIAL PLAN REVIEW

Unlisted uses	5-5(C)(4)	Y	N	N/A	
Parking Reductions, Credits, Allowances	5-5(C)(5)	Y	N	N/A	34 res (40) 20% 8 6 comm *32 parking
Motorcycle Parking	5-5(D)	Y	N	N/A	
Bicycle Parking	5-5(E)	Y	N	N/A	
Parking Location and Design	5-5(F)	Y	N	N/A	PT - 30% 9.6 = 22.4
DT, UC, MS, PT Areas	5-5(F)(1)(b)	Y	N	N/A	motorcycle = 1 space
Design, access and circulation	5-5(F)(2)	Y	N	N/A	Bicycle = 3 space
Technical design standards	5-5(F)(3)	Y	N	N/A	compact - 5.6
Historic Parking Overlay	5-5(F)(4)	Y	N	N/A	
Parking Structure Design	5-5(G)	Y	N	N/A	
Off Street Loading	5-5(H)	Y	N	N/A	
Vehicle stacking, drive through, drive up	5-5(I)	Y	N	N/A	
Drive thru or drive up facilities	5-5(I)(1)	Y	N	N/A	
LANDSCAPING/BUFFERING/SCREENING	5-6	Y	N	N/A	NEED TCL
Applicability	5-6(B)	Y	N	N/A	
Landscape Plan Required	5-6(C)(1)	Y	N	N/A	
Minimum Landscape Area	5-6(C)(2)	Y	N	N/A	
Overlapping Requirements	5-6(C)(3)	Y	N	N/A	NO TRASH
Required Plant Materials	5-6(C)(4)	Y	N	N/A	
Minimum Plant Sizes	5-6(C)(6)	Y	N	N/A	
Plant Material Spacing	5-6(C)(7)	Y	N	N/A	
Protecting Clear Site Triangle	5-6(C)(8)	Y	N	N/A	LANDSCAPE - OK
Planting In Or Over Public Right Of Way	5-6(C)(9)	Y	N	N/A	MIN 10%
Planting Near Utilities	5-6(C)(10)	Y	N	N/A	75% ok
Parking On Landscaped Areas Prohibited	5-6(C)(11)	Y	N	N/A	25% ok
Existing Vegetation Credit and Bonuses	5-6(C)(12)	Y	N	N/A	
Alternative landscaping	5-6(C)(16)	Y	N	N/A	
Street Frontage Landscaping	5-6(D)	Y	N	N/A	
Street frontage landscaping	5-6(D)(1)	Y	N	N/A	
Additional frontage landscaping	5-6(D)(2)				50% LANDSCAPE - SHORT
Edge Buffer Landscaping	5-6(E)				
Dev. next to low density residential	5-6(E)(2)	Y	N	N/A	25' REAR PROPERTY - OK
DT, UC, MS, PT Areas	5-6(E)(2)(b)	Y	N	N/A	
Dev. Next To Multi Family Development	5-6(E)(3)	Y	N	N/A	
General	5-6(E)(3)(a)	Y	N	N/A	
DT, UC, MS, PT Areas	5-6(E)(3)(b)				
Industrial Dev, Adjacent To Non Industrial	5-6(E)(4)	Y	N	N/A	MS PT 6 FT - OK
Area of change next to area of consistency	5-6(E)(5)	Y	N	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

Parking Lot Landscaping	5-6(F)	<input checked="" type="radio"/>	N	N/A	3 FT HIGH WALL - SIDE & REAR
Parking Lot Edges	5-6(F)(1)	<input checked="" type="radio"/>	N	N/A	
Parking Lot Interior	5-6(F)(2)	<input checked="" type="radio"/>	N	N/A	
Screening Of Mechanical Equipment	5-6(G)	<input checked="" type="radio"/>	<input checked="" type="radio"/>	N/A	50 species or fewer - 10%
Loading, Service, Refuse Areas	5-6(G)(3)	Y	<input checked="" type="radio"/>	N/A	MS, PT 5%
Satellite Dishes	5-6(G)(5)	Y	N	N/A	30 species = 10 Trees needed 3
WALLS/FENCES	5-7(D)	<input checked="" type="radio"/>	N	N/A	
Retaining Wall Standards	5-7(E)	<input checked="" type="radio"/>	N	N/A	
OUTDOOR LIGHTING	5-8	Y	<input checked="" type="radio"/>	N/A	MISSING Dumpsters
Prohibited Lighting	5-8(C)	Y	<input checked="" type="radio"/>	N/A	
General Design and Illumination	5-8(D)	Y	<input checked="" type="radio"/>	N/A	
Additional standards for types of light	5-8(E)	Y	<input checked="" type="radio"/>	N/A	MISSING Lights
NEIGHBORHOOD EDGES	5-9	Y	N	N/A	
Building Step Down	5-9(C)	Y	N	N/A	
Parking, drive through, drive ups loading	5-9(F)	Y	N	N/A	100%+ AUM
SOLAR ACCESS	5-10	Y	N	N/A	
Building Height	5-10(E)	Y	<input checked="" type="radio"/>	N/A	
BUILDING DESIGN	5-11	<input checked="" type="radio"/>	N	N/A	
Applicability	5-11-(B)				
Multi-Family Residential Dev.	5-11(D)	Y	<input checked="" type="radio"/>	N/A	West heat mitigation
Mixed Use and Non-Res.	5-11(E)	<input checked="" type="radio"/>	N	N/A	Window wrong → 1.5"
Façade Design	5-11(E)(2)	<input checked="" type="radio"/>	N	N/A	Need 2"
UC, AC, MS, PT Areas	5-11(E)(2)(b)	<input checked="" type="radio"/>	N	N/A	38x32' 1240
Outdoor seating and gathering areas	5-11(E)(3)	<input checked="" type="radio"/>	N	N/A	
Historic Building Facades	5-11(F)	Y	<input checked="" type="radio"/>	N/A	
Parking Structures	5-11(G)	Y	<input checked="" type="radio"/>	N/A	
Definitions	7-1	Y	<input checked="" type="radio"/>	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

OVERLAY ZONE REGS.	Y	N	N/A	Notes/Comments:
APO	Y	N	N/A	
Cross-references 3-3(G)	Y	N	N/A	
CPO 1	Y	N	N/A	OPEN space set at 100 per D Unit.
Cross-references 3-4(B)(6)	Y	N	N/A	
CPO 2	Y	N	N/A	10% For Non Res
Cross-references 3-4(C)(6)	Y	N	N/A	FRONT setback
CPO 3	Y	N	N/A	
Cross-reference 3-4(D)(6)	Y	N	N/A	MAX 10 FT
CPO 4	Y	N	N/A	Height above 30 FT min
Cross-references 3-4(E)(6)	Y	N	N/A	
CPO 6	Y	N	N/A	6 FT
Cross-references 3-4(G)(6)	Y	N	N/A	
CPO 7	Y	N	N/A	
Cross-references 3-4(H)(6)	Y	N	N/A	
CPO 8	Y	N	N/A	
Cross-references 3-4(I)(6)	Y	N	N/A	
CPO 9	Y	N	N/A	
Cross-references 3-4(J)(5)	Y	N	N/A	
CPO 10	Y	N	N/A	
Cross-references 3-4(K)(6)	Y	N	N/A	
CPO 11	Y	N	N/A	
Cross-references 3-4(L)(6)	Y	N	N/A	
CPO 12	Y	N	N/A	
Cross-references 3-4(M)(6)	Y	N	N/A	
HPO 1	Y	N	N/A	
Cross-references 3-5(F)(6)	Y	N	N/A	
HPO 2	Y	N	N/A	
Cross-references 3-5(G)(3)	Y	N	N/A	
HPO 3	Y	N	N/A	
Cross-references 3-5(H)(3)	Y	N	N/A	
HPO 4	Y	N	N/A	
Cross-reference 3-5(I)(3)	Y	N	N/A	
HPO 5	Y	N	N/A	
Cross-references 3-5(J)(5)	Y	N	N/A	
HPO 6	Y	N	N/A	
Cross-references 3-5(K)(3)	Y	N	N/A	
VPO 1	Y	N	N/A	
Cross-reference 3-6(D)(9)	Y	N	N/A	
VPO 2	Y	N	N/A	
Cross-reference 3-6(E)	Y	N	N/A	

Additional notes, comments, calculations:

COMMERCIAL PLAN REVIEW

OVERLAY ZONE REGS.				Notes/Comments:
	Actual		Req'd	
Lot size				
Lot width				
Usable open space				
Front setback minimum				
Garage setback minimum				
Side set back min.				
Side set back max.				
Street side set back				
Rear setback minimum				
Building height to peak				
Building height to mid-pitch				
Building Height Step back				
Building Height Stepdown				
Bulk				
Massing				
Other development standards	Y	N	N/A	
Cross references	Y	N	N/A	
Grading	Y	N	N/A	
Landscape	Y	N	N/A	
Lighting	Y	N	N/A	
Design	Y	N	N/A	
Parking	Y	N	N/A	
Res. Garage Access 3-4(M)(5)(c)	Y	N	N/A	
Colors	Y	N	N/A	
Reflectivity	Y	N	N/A	
Roofs	Y	N	N/A	
Protected views	Y	N	N/A	
Cert of Appropriateness 6-5(D)	Y	N	N/A	
Roof mounted equipment	Y	N	N/A	
Neighborhood Edges 5-9	Y	N	N/A	
Building Separation 3-4(G)(5)(d)	Y	N	N/A	
Sub Areas (Height Restriction)	Y	N	N/A	

Additional notes, comments, calculations:

APPROVED

DISAPPROVED

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

ADMINISTRATION

600 2nd Street NW, 3rd Floor

Albuquerque, NM 87102

Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the "applicant") is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
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zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department

Kenny Myers

From: Montoya, Patrick <patrick@cabq.gov>
Sent: Friday, April 26, 2024 10:22 AM
To: Kenny Myers
Cc: Jay Rembe
Subject: RE: 1701 Central: ADA parking space

Kenny,

Based on our discussion yesterday and my understanding of your request I am approving that you use one of the on street parking spaces for your 1 ADA van accessible parking space. Should you or Mr. Armijo have any questions please feel free to call me at 505-206-4031

PATRICK MONTOYA
Chief Operations Officer
505.768.3000
patrick@cabq.gov



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Sent: Friday, April 26, 2024 10:06 AM
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[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Patrick,

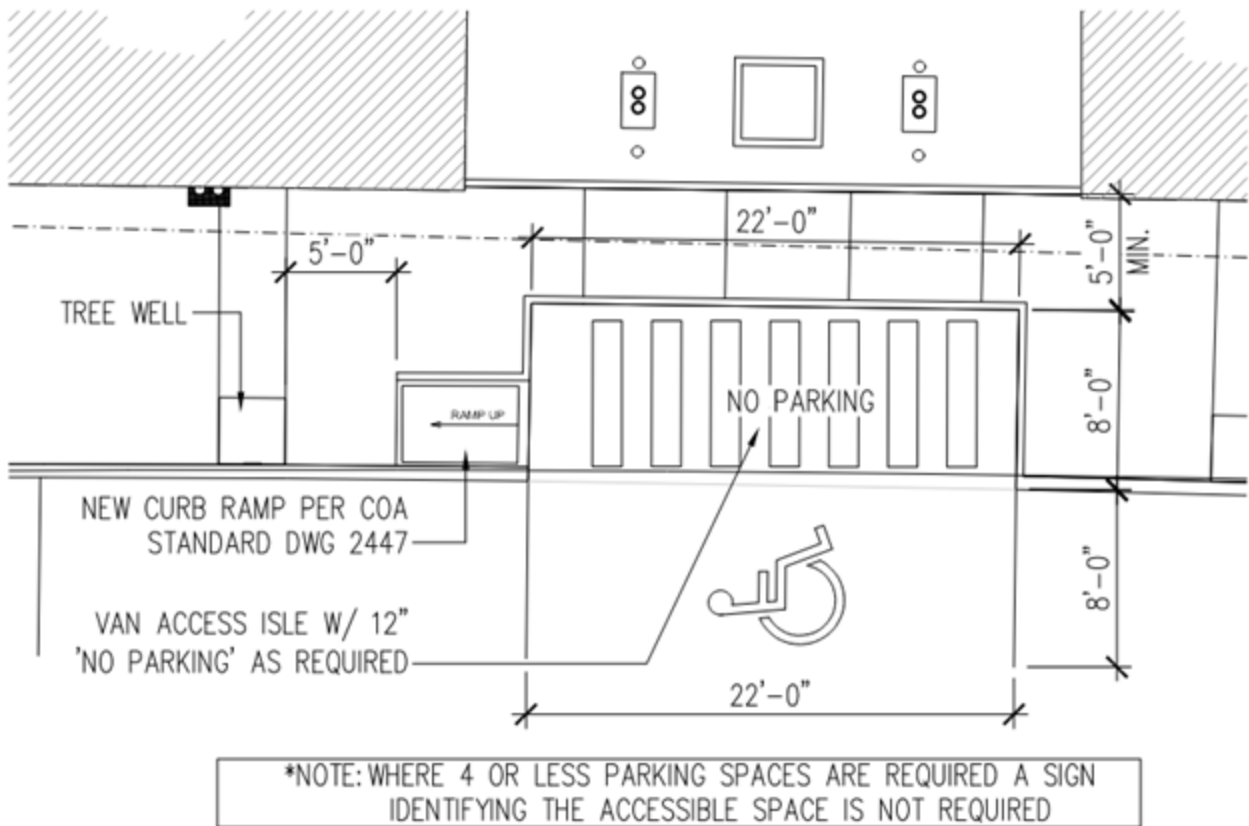
Thank you for calling Jay back yesterday and agreeing to have a look at this. I have articulated our intent and our request below:

The new development will include one 4 story, 34-unit market rate apartment building. As required by the IDO and as a condition of our RTA tax abatement approval, the project will provide approximately 1,700 square feet of commercial space located at ground level and servicing Central Ave. The project is located within CPO-3 which allows for residential access off 16th street, but not commercial access. As such, the project will provide 28

parking spaces (only 17 are required based on proximity to ART and EV charger credits) located to the rear (north end) of the lot which will be gated and accessed only by residential tenants from 16th street per the IDO. Commercial parking will be accommodated on the south side of Central Ave. at the existing Country Club Plaza Development, which is also owned by Jay Rembe. A shared parking agreement will be signed and recorded for this purpose. The IDO and zoning code require 1 ADA van accessible parking space for the commercial space. Due to the site constraints, we are proposing the utilization of one on-street parking space for this use with the required van access isle to be located to the north and accessed from the sidewalk via a curb ramp. Both the space, and associated access isle will meet all DPM standards. I have included a screen shot of the proposed plan below and have attached our proposed TCL for your review. We have spoken with and been given a verbal approval by Ernest Armijo from the transportation division, but request confirmation that this strategy is meets with your approval.

Please feel free to reach out with any additional questions, or comments, and again; thank you for your time.

All the best.



ON-STREET HC SPACE

1/2"=1'-0"

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

REMBE

urban design + development

Jeffrey Palmer
Code Enforcement Supervisor
City of Albuquerque

RE: Request for Conditional approval: shared parking agreement for 1701 Central Ave; The George Apartment Building- BP-2024-10295

Mr. Palmer

We hope this finds you well. We respectfully ask that the Zoning Department grant the above-mentioned project approval to allow the building permit to be issued and construction to begin under the following conditions:

- All City of Albuquerque Parking requirements set forth under the Current version (as of April 26, 2024) of the Integrated Development Ordinance (IDO) are met prior to the issuance of a certificate of Occupancy.

To this end, a shared parking agreement has been submitted to the City of Albuquerque. The agreement grants the unconditional use of three standard parking spaces, and one Motorcycle space which will fulfill the requirements set forth in the current version of the IDO. One (1) ADA Van Accessible Parking Space will be provided on-site and is not included in this agreement, but has been verbally approved through the Transportation Division.

We, at Rembe Urban Design and Development, Kenneth Myers (Architect) and Rembe Silver Lofts, LLC, Jay Rembe (Owner) indemnify the city of all risk associated with charges that may be required with review and approval of the deferred submittal, as well as acknowledge that no Certificate of Occupancy may be issued without the recorded approval of the above mentioned documentation.

Thank you for your time and consideration,



Jay Rembe, Silver Lofts, LLC, Owner



Kenneth Myers, Rembe Urban Design and Development, Architect



Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL NW, ALBUQUERQUE, NM 87104

Legal Description: BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104
LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

In Conjunction with the development of The George Apartment Building, located at 1701 Central Ave. NW Albuquerque, NM 87104, (the "Property") for which the legal description is:

BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

the City of Albuquerque has allowed, and the owner, Silver Lofts, LLC has voluntarily elected, for a reduction to off-street parking requirements based upon IDO section 5-5(C)(6)(e) Off-site Parking Credit:

1. *The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.*
2. *Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding Agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.*



The location of the shared parking described herein and illustrated in exhibit 'A' meets the conditions set forth in IDO section 14-16-5-5(F)(1)(a)10:

Required parking spaces for uses in the Civic and Institutional, Commercial, and Industrial use categories may be located in a designated parking area on a lot within 330 feet in any direction of the premises served by such parking if they meet the standards in Subsection 14-16-5-5(C)(5)(b) (Shared Parking Reduction) or Subsection 14-16-5-5(C)(6)(e) (Off-site Parking).

The provided site plan, as shown on Exhibit 'A' includes a parking layout and reduced parking calculations. Based on the site plan and considering the tenant uses, the IDO requires a minimum of four (4) off-street parking spaces, and one (1) motorcycle parking space: Three (3) standard spaces and one (1) ADA Van Accessible Handicap space. Under the terms of this Agreement, zero (0) off-street standard parking will be provided on the property. All three (3) required standard off-street parking spaces, and one (1) motorcycle space will be provided on the property with the off-site parking area located at 1700-1718 Central Ave. SW. Albuquerque, NM 87104. One (1) ADA Van Accessible Parking Space will be provided on-site as approved by DMD and is not included in this agreement. See Exhibit 'B' for approval.

The owner and its successor and assigns agree that it will not change the tenant uses at the property in a manner that increases the number of required off-street parking spaces unless additional parking spaces are provided. In the event that there are changes to the tenant uses which would increase the number of required off-street parking spaces on the Property, the parking calculations shall be updated by the owner to reflect such change and presented to the city.

Furthermore, the owner agrees that the Property shall operate an open/shared parking arrangement, whereby the owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by the users of any portion of the property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking area for such items as spaces for disabled drivers, loading, designated timed area such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City or take commercially reasonable actions to prevent parking in area which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this. The terms of the Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

Shared Parking Agreement



IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below by the Planning Director.

Owner (Applicant) 1701 Central Ave. NW

Date

5/29/2024

Owner (off-site Parking Area) 1700-1718 Central Ave. SW

Date

5/29/2024

Note that the owner of 1701 Central NW and the owner of 1700-1718 Central SW. are one and the same.

ACKNOWLEDGMENTS

State of New Mexico)
County of Bernalillo) ss.

The foregoing was acknowledged before me on May 29th, 2024, by Jay Rembe, Owner(s).

Aubree Russell
Notary Public

My commission expires: 03/29/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
AUBREE RUSSELL
COMMISSION # 1133010
COMMISSION EXPIRES 03/29/2025

Approved as to Form-City Attorney

Date

City of Albuquerque, Planning Director

Date



Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL SW, ALBUQUERQUE, NM 87104

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ACKNOWLEDGMENTS

State of New Mexico)
County of Bernalillo) ss.

The foregoing was acknowledged before me on May 29th, 2024, by Jay Rembe

Owner(s).

Aubree Russell

Notary Public

My commission expires: 03/29/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
AUBREE RUSSELL
COMMISSION # 1133010
COMMISSION EXPIRES 03/29/2025

DocuSigned by:

Matthew Montoya

45160E71B5204CC...

Approved as to Form-City Attorney

DocuSigned by:

Alan Landa

947D8BB8FF4C443

City of Albuquerque, Planning Director

6/7/2024 | 11:02 AM MDT

Date

6/7/2024 | 12:31 PM MDT

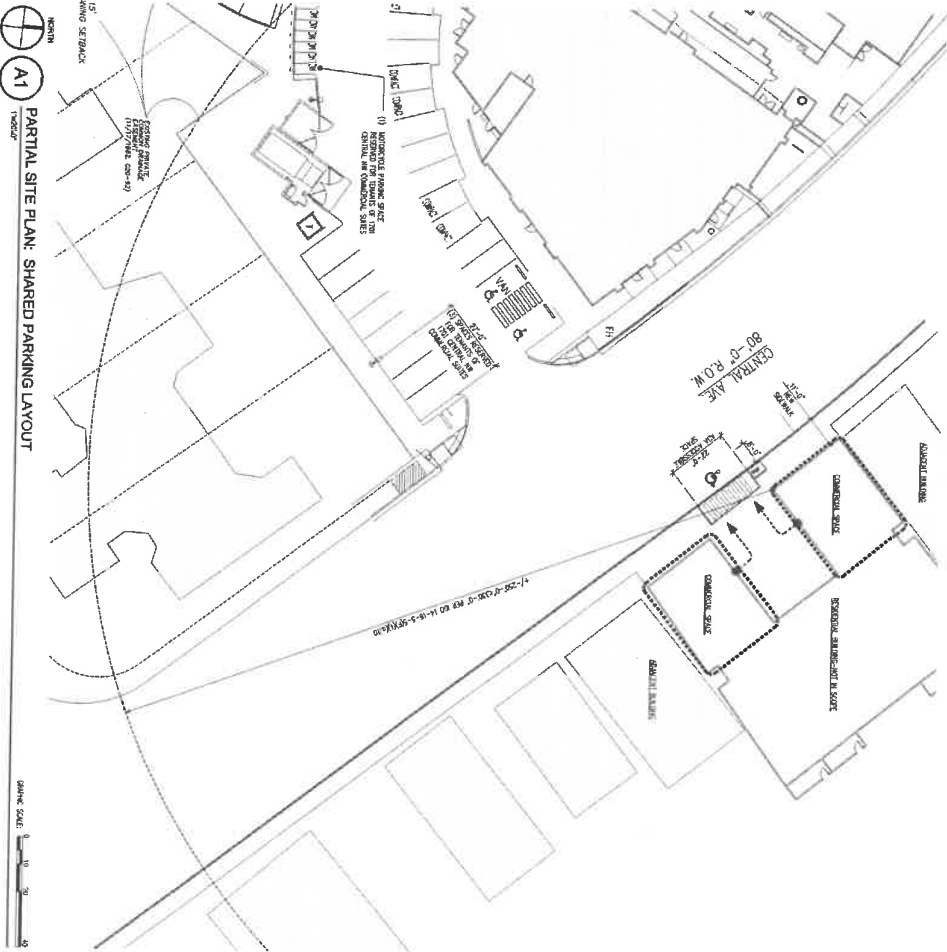
Date



PARKING CALCULATIONS FOR 1701-1720 CENTRAL, SW

Category	Count	Notes
Residential	11	11 Units
Commercial	12	12 Units
Public	12	12 Units
Other	12	12 Units
Total	47	47 Units

Notes: 1. All units are assumed to be single-family units. 2. All units are assumed to be single-family units. 3. All units are assumed to be single-family units.



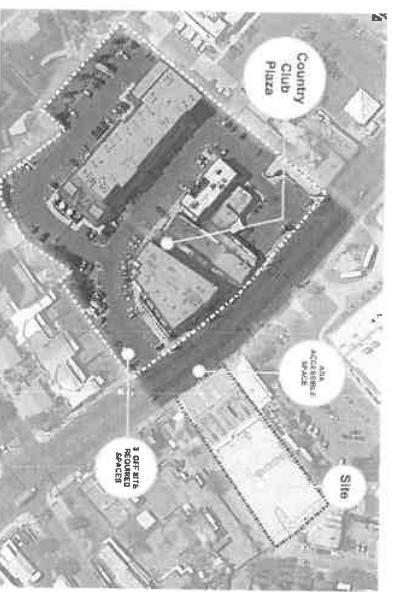
PARTIAL SITE PLAN: SHARED PARKING LAYOUT

PARKING CALCULATIONS FOR 1701 CENTRAL, NW

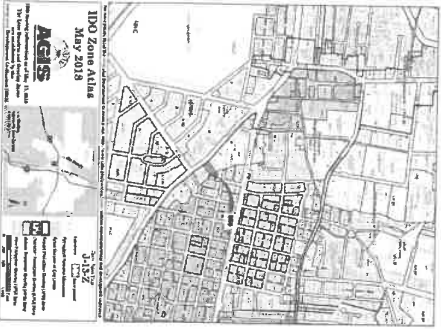
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VICINITY MAP AND LAYOUT



The George | 34 Unit Apartment Building
1701 CENTRAL AVE., NW
ALBUQUERQUE, NM 87104

REMBE
urban design + development
1000 15th Street, NW
Albuquerque, NM 87104
www.rembenm.com

CGE - THE GEORGE
1000 15th Street, NW
Albuquerque, NM 87104
www.thegeorge.com

PERMITTING
KMA

PARTIAL SITE PLAN: SHARED PARKING
DRAWING

EXHIBIT 'A'



Kenny Myers

From: Montoya, Patrick <patrick@cabq.gov>
Sent: Friday, April 26, 2024 10:22 AM
To: Kenny Myers
Cc: Jay Rembe
Subject: RE: 1701 Central: ADA parking space

Kenny,

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PATRICK MONTOYA
Chief Operations Officer
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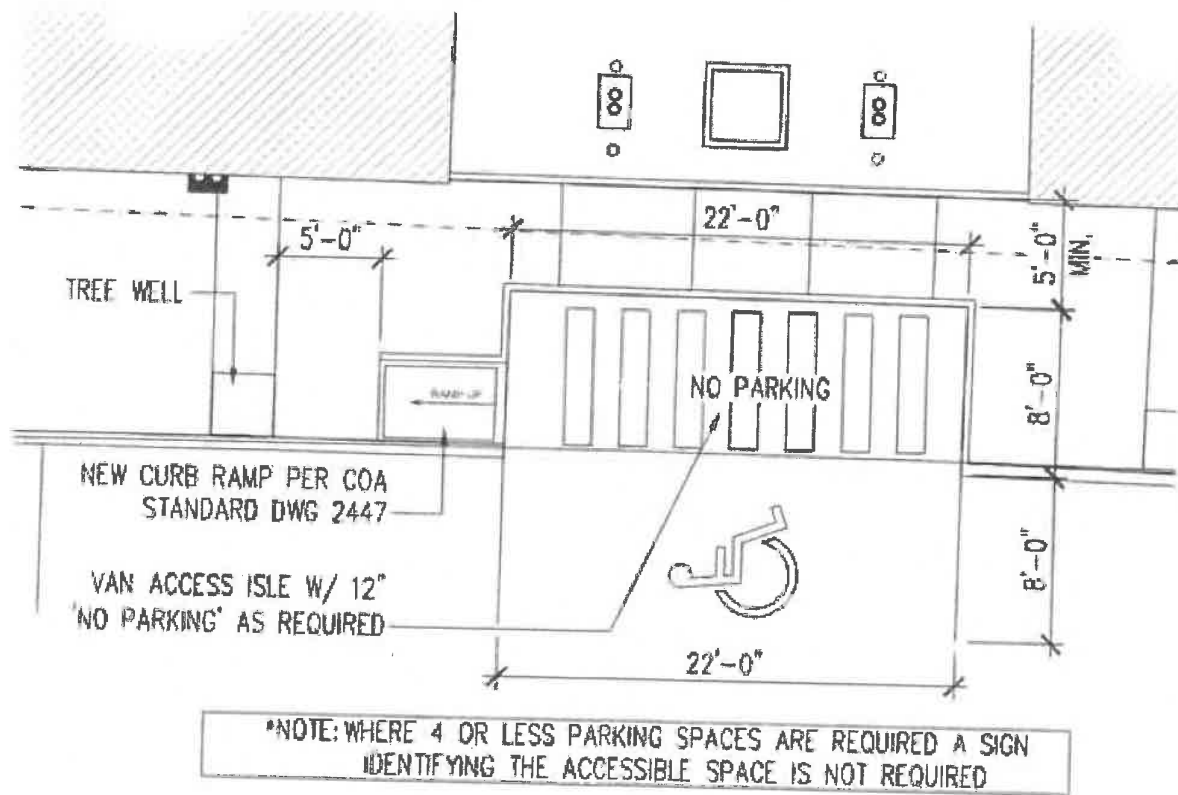
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Please feel free to reach out with any additional questions, or comments, and again; thank you for your time.

All the best.



C2 ON-STREET HC SPACE
1/2"=1'-0"



From: [Palmer, Jeffrey](#)
To: [Porquis, Dominick A.](#)
Subject: FW: 1701 Central: Conditional approval request
Date: Friday, April 26, 2024 11:15:21 AM
Attachments: [image001.png](#)
[2024-0426-Zoning Conditional Approval Request.pdf](#)
[2024-0426-Approval email from Patric Montoya.pdf](#)
[image002.jpg](#)

Please review and let's discuss. Thank you.



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:36 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Conditional approval request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Morning, sir.

Hope all is well on your end. I have attached here our request for conditional approval along with our shared parking agreement request. In addition, I have included the email approval from Patrick Montoya.

Please review and let me know if you require any additional information.

All the best.

 [Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

REMBE

urban design + development

Jeffrey Palmer
Code Enforcement Supervisor
City of Albuquerque

RE: Request for Conditional approval: shared parking agreement for 1701 Central Ave; The George Apartment Building- BP-2024-10295

Mr. Palmer

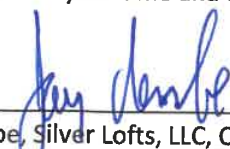
We hope this finds you well. We respectfully ask that the Zoning Department grant the above-mentioned project approval to allow the building permit to be issued and construction to begin under the following conditions:

- All City of Albuquerque Parking requirements set forth under the Current version (as of April 26, 2024) of the Integrated Development Ordinance (IDO) are met prior to the issuance of a certificate of Occupancy.


To this end, a shared parking agreement has been submitted to the City of Albuquerque. The agreement grants the unconditional use of three standard parking spaces, and one Motorcycle space which will fulfill the requirements set forth in the current version of the IDO. One (1) ADA Van Accessible Parking Space will be provided on-site and is not included in this agreement, but has been verbally approved through the Transportation Division.

We, at Rembe Urban Design and Development, Kenneth Myers (Architect) and Rembe Silver Lofts, LLC, Jay Rembe (Owner) indemnify the city of all risk associated with charges that may be required with review and approval of the deferred submittal, as well as acknowledge that no Certificate of Occupancy may be issued without the recorded approval of the above mentioned documentation.

Thank you for your time and consideration,



Jay Rembe, Silver Lofts, LLC, Owner



Kenneth Myers, Rembe Urban Design and Development, Architect





Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		

APPLICATION INFORMATION		
Applicant/Owner: Rembe Urban Design + Development		Phone: 505-243-0188
Address: 1718 Central Ave SW		Email: design@rembedesign.com
City: Albuquerque	State: NM	Zip: 87104
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List all owners: Rembe Properties
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 106-A, 107B and 107C	Block:	Unit:
Subdivision/Addition: Rembe Properties	MRGCD Map No.:	UPC Code: 101305828413731108, 101305828114131109
Zone Atlas Page(s): J-13-Z	Existing Zoning: MX-M/ RA	Proposed Zoning MX-M/ RA
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (Acres): .58 (2 Lots)
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1701/1623 Central Ave. NW	Between: Laguna Blvd.	and: Rancho Seco Rd.
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PA-20-254		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 04/06/2022
Printed Name: Kenneth Myers, Achitect, Rembe Urban Design + Development	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? NO if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.

Zone Atlas map with the entire site clearly outlined and labeled

Letter describing, explaining, and justifying the request

Scale drawing of the proposed subdivision plat

Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

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___ Zone Atlas map with the entire site clearly outlined and labeled

___ Proposed Final Plat

___ Design elevations & cross sections of perimeter walls

___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

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___ Zone Atlas map with the entire site clearly outlined and labeled

___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)

___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use

___ Sidewalk Exhibit and/or cross sections of proposed streets

___ Proposed Infrastructure List, if applicable

___ Required notice with content per IDO Section 14-16-6-4(K)

___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)

___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.

___ Zone Atlas map with the entire site clearly outlined and labeled

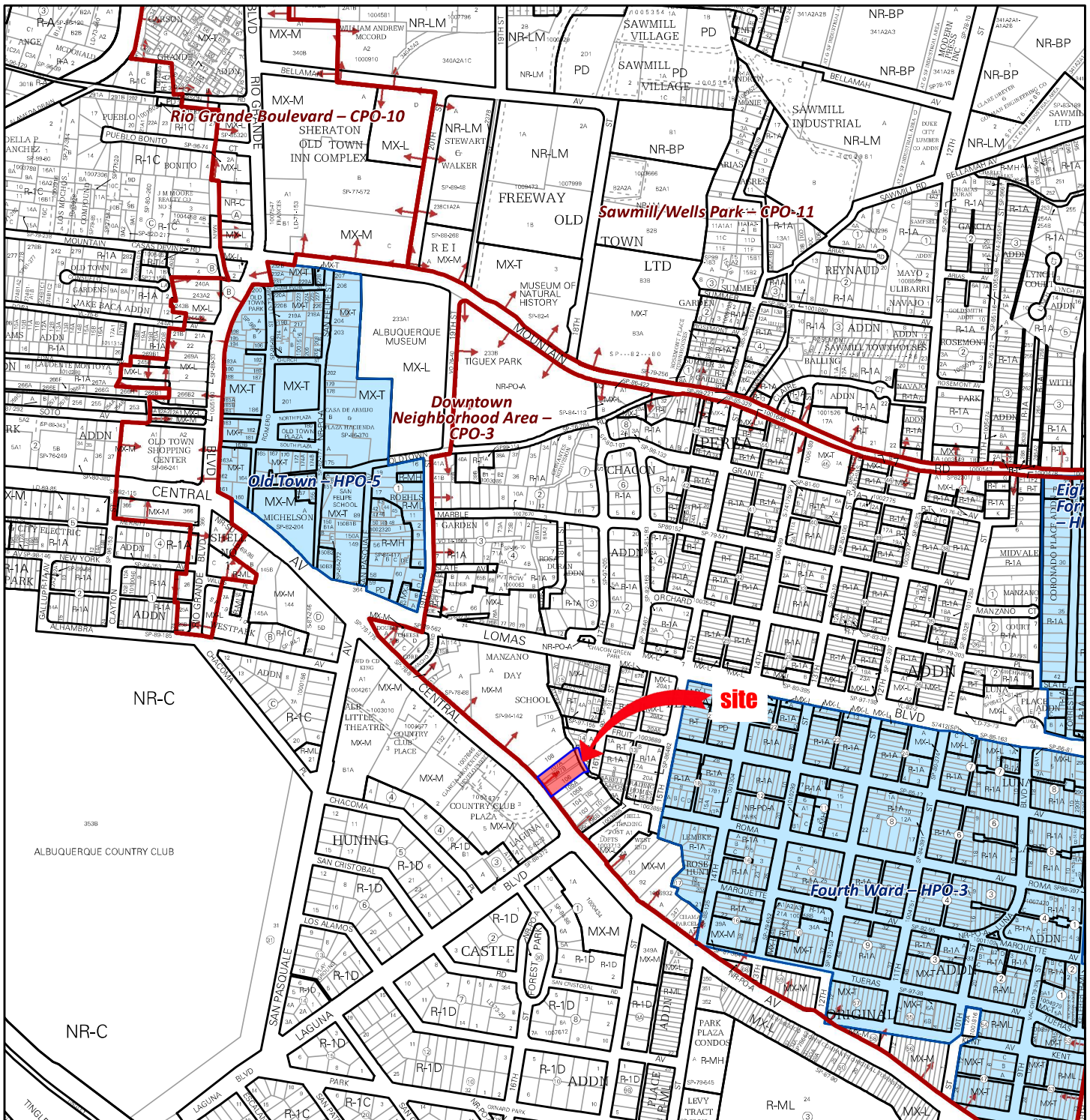
___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan

___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan

___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet



April 6, 2022

City of Albuquerque Planning Department-Design Review Board
600 2nd St NW, Albuquerque, NM 87102

RE: Proposed Re-Plat and Redevelopment of 1623 and 1701 Central Ave. NW

We respectfully submit the following information and attached documentation for your review and comment.

Project Goals:

The proposed project is the third chapter in the Country Club Plaza story. Dubbed 'The Clyde' after Clyde Tingley, and a companion to its neighbor The Franz, the new building looks to establish a seamless connection to the existing fabric of this well-established commercial and residential mixed-use community. By providing a consistent design language and shared amenities that bridge the central corridor, the project looks to further establish a sense of place through community, density, and walkability.

Project Description:

The project will consolidate tracts 106-A, 107B, and 107C located at 1623 and 1701 Central Ave. NW into one, .58-acre lot.

The majority of the property is zoned MX-M with a small portion located at the far north end of the property zoned RA. The property abuts an area zoned R-1.

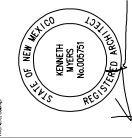
The new development will include one 4 story, 34-unit market rate apartment building with approximately 1,700 square feet of commercial space located at ground level, facing Central Ave. the project will provide +/- 28 parking spaces located to the rear (north end) of the lot which will be gated and accessed only by residential tenants from 16th street. Primary commercial parking access will be located on the south side of Central Ave. at the existing Country Club Plaza Development, which is owned by the same developer, Jay Rembe. A shared parking agreement will be signed and recorded for this purpose.

The building will be constructed a maximum of 10'-0" from Central Ave. and will utilize the 0-lot line side setbacks to the east and to the west. Rear setbacks will be a minimum of 25 feet as defined by the IDO. Open space associated with the residential portion of the building will be distributed throughout the property utilizing tenant balconies, courtyards, and landscaped areas. The open space requirements for the commercial space will be located to the South of the project along Central Ave.

The design character will complement the architecture of the existing Country Club Plaza and will conform to the design guidelines set forth in the current addition of the IDO.

Thank you for your time,
Best regards,

Jay Rembe, Owner
Kenneth Myers, Architect



REMBE
urban design + development
705 Central Ave. SW
Albuquerque, NM 87102
+ 505.933.0308

Project: central
Client: KMA
Phase: SD
Project No: 06/26/2022

Project No: 2201
Sheet Name: SKETCH PLAT



A1 SKETCH PLAT

Porquis, Dominick A.

From: Webb, Robert L. on behalf of Planning Development Review Services
Sent: Monday, April 11, 2022 9:13 AM
To: Montoya, Yolanda
Subject: FW: 1701 Central Ave: Sketch Plat Submittal
Attachments: 2022-0406-sketch plat submittal_1701 Central.pdf
Categories: NOW

Ready to go.

Thank you,

Robert



ROBERT WEBB

Planner – *Development Services (DRB)*

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Kenny Myers [mailto:design@rembedesign.com]
Sent: Monday, April 11, 2022 7:43 AM
To: Planning Development Review Services <PLNDRS@cabq.gov>
Subject: 1701 Central Ave: Sketch Plat Submittal

[EXTERNAL]

Forward to
phishing@cabq.gov
and delete if an
email causes any
concern.

Good morning,

Hope you had a great weekend. Please find attached our sketch plat submittal for the above-mentioned project. Please send out invoice for payment when you can. Please let me know if you require any additional information.

Have a great week!

Kenneth Myers, RA
rembe urban design + development
1718 Central SW, Suite B
Albuquerque, NM 87104
518-364-9914

Porquis, Dominick A.

From: Aranda, James M.
Sent: Thursday, June 16, 2022 2:42 PM
To: Martin Vigil
Cc: Keiser, Jeremy F.; Webb, Robert L.; Renz-Whitmore, Mikaela J.
Subject: RE: 1623 Central

Importance: High

Martin,

My apologies for no response! My understanding from speaking with Mr. Keiser is that Code Enforcement has discussed the code compliance concerns you have regarding the neighboring property and has begun enforcement. I also spoke at length with Mr. Webb who informed me that he spoke with you and shared what available information he has regarding Jay Rembe's proposed development.

In regarding to registering your solar rights, I believe ZHE staff is responsible for that process. I will do some research and have the appropriate staff member respond/follow up next week.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Thursday, June 16, 2022 10:47 AM

To: Aranda, James M. <jmaranda@cabq.gov>

Subject: Re: 1623 Central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

James,

I still have not received a response for my previous email sent to you on 5/31/2022. Additionally, me and my neighbors would like to have our solar rights registered and have solar energy. Solar rights are allowed except in Historic zones. My neighborhood has been named "Historic Central". Is there any official registry

or is this a name designation only. What impact does this have on me and my neighbor's ability to have solar energy?

I'd like to schedule another call or in person meeting with you. I do not require an appointment so feel free to call whenever.

Thanks,

Martin
505-659-1547

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Tuesday, May 31, 2022 11:20 AM
To: Aranda, James M. <jmaranda@cabq.gov>
Subject: Re: 1623 Central

James,

You have indicated you have no knowledge of Jay Rembe's current proposal for our neighborhood. Who is assigned to this new development. As I have explained to you this neighborhood is entirely made up of seniors. Everybody in my neighborhood I have spoken to so far did not receive any correspondence that our properties were being rezoned as mixed use-m with the 2018 IDO.

Additionally the City of Albuquerque contends it sent out 81 surveys and only 5 residents responded. None of the seniors I have spoken to have received this survey. There is a definite disconnect with communication of actions that adversely effect our lives and an property. Somebody should be appointed to take into account our input.

Jeremy Kaiser failed to provide any substantial information regarding 1623 Central, and 1701. Jeremy also has failed to call me back to provide an update as we agreed. Weeks ago I supplemented Jeremy Kaisers failure to provide information with a Information Request as you suggested. The City has failed to provide any of those information requests.

On 7/23/21 I sent an email to Gary Sandoval detailing flooding, and other issues the City of Albuquerque has been ignoring. This email notified the City of Albuquerque that serious safety issues were also occurring on Central Ave. Drag racing up and down Central Ave in ATV, UTV Side By Sides, Dirtbikes and cars. On Dec 12, 2021 a 7 year old boy was killed by a drive of a UTV. A year later I still have not received a response from Gary or his supervisor after repeated requests, and he likely failed to pass that information on to the appropriate department. I have a long well established record of a repeated pattern of practice for the City of Albuquerque failing in it's duties and obligations to citizens resulting in harm of property damage. Please provide contact information for whoever is above Jeremy Kaiser.

Thanks,

Martin

From: Aranda, James M. <jmaranda@cabq.gov>
Sent: Wednesday, May 11, 2022 12:34 PM
To: Martin Vigil <vigilmartin@hotmail.com>
Subject: RE: 1623 Central

Martin,

No problem. Jeremy Keiser reached out and will be in contact with you soon. Please see my responses to your questions in your message below.

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department
o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Tuesday, May 10, 2022 1:35 PM
To: Aranda, James M. <jmaranda@cabq.gov>
Subject: Re: 1623 Central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

James,

Thank you for speaking with me last week. Can you please send:

1. Jay Rembe's current proposal for 1623 Central Ave. and 1701 Central N.W. Communication with Jay has broken down. The official way to request this information would be to submit a Public Records (IPRA) request. That can be done here: <https://nextrequest.cabq.gov/> . You can also contact Development Services Manager Jay Rodenbeck (jrodenbeck@cabq.gov /505-924-3994) but it is possible that he may require you to file an IPRA.
2. What is the status of corrective plans/agreement with the City of Albuquerque regarding his properties? I have no knowledge of any agreements with Mr. Rembe regarding the subject properties nor any corrective plans. I recommend discussing this with Code Enforcement.
3. When was the front portion of my property switched from dual zoning to MX-M? What process did the switch happen through? All properties in the City underwent a Legislative Zoning Conversion via the City Council upon adoption of the Integrated Development Ordinance (IDO) in 2018. The conversion changed from the zoning classifications of the old Zoning Code to the current zoning classifications contained in the IDO. The majority of your property would have been converted from SU-2 to MX-M at this time. The northeast corner (rear) of your property is zoned as Unclassified due to the old Albuquerque Acequia which I understand was vacated in the 1940s. As we have discussed, no actions have been taken to get rid of the floating UNCL zone. If you would like more history on this, please contact AGIS Manager Michelle Gricius (mgricius@cabq.gov) and let her know I referred you to her to provide a brief history on how the floating zones came to be.

I still have not received a call back from Angelo, and I left Jeremy a message today. Thanks for clarifying those issues last week.

Thanks,

Martin

From: Aranda, James M. <jmaranda@cabq.gov>

Sent: Wednesday, May 4, 2022 1:56 PM

To: Martin Vigil <VigilMartin@hotmail.com>

Subject: RE: 1623 Central

Mr. Vigil,

Thank you for reaching out regarding this matter. I would like to talk via phone to clarify how the Zone Map Amendment came about.

I am free tomorrow (5/5) at 2:00pm and Friday (5/6) between 10am-12:00pm. Please let me know if either of these times work for you.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Wednesday, May 4, 2022 1:31 PM

To: Aranda, James M. <jmaranda@cabq.gov>

Subject: 1623 Central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

James,

Shawn Watson provided your contact information regarding the rezoning issue on Central (West Downtown). I have spoken directly with Jay Rembe and he stated “the rezoning was because of his proposed development”. I specifically asked if it pertained to Jay Rembe and was informed it did not. In either case I did not agree to the rezoning along with another neighbor. The City of Albuquerque sent a proposal without disclosing the full information of why the rezoning was being proposed. I am requesting :

1. A correction letter be mailed out to all impacted neighbors, along with full disclosure of why the rezoning is being proposed. The City of Albuquerque has a duty to provide full disclosure to it’s citizens especially when proposing contractual and permanent changes to property.
2. Please send me and effected neighbors Jay Rembe’s proposed plans for building an apartment complex in our neighborhood along with the correction letter.

My house, Edward Garcia, and Mrs. Ruiz own the last 3 remaining houses on Central Ave (Route 66). All other houses have either been knocked down or turned into commercial businesses. Our houses were built in the early 1900s. The City of Albuquerque has shown bias in handling affairs for property owner’s like Jay Rembe compared to property owners like myself, Edward Garcia, and Mrs. Ruiz. It is extremely rare and difficult even to get a call back for very serious issues. Shawn Watson was very professional and diligent in trying to understand some of the issues. It is unfortunate she is not employed with the planning department.

I am going to be contacting various department directors this week, along with the Mayors office. Specifically in regards to selective enforcement of normal property owners, and neglecting to enforce owners of true nuisance properties like Mr. Rembe 1623 Central and 1701 with the abandoned house and shed. In addition issues like property damage from flooding on Central Ave to serious crime issues related to the abandoned house at 1623 Central. There is also a termite infestation because Jay Rembe has failed to exterminate since he purchased these properties. And in writing rejected my requests for termite inspection/treatment. He has also failed to seal the house properly to prevent infestations and entry from vagrants after repeated request.

I also plan this week on filing tort notice with the City of Albuquerque risk management. Because the City of Albuquerque has failed to return calls or remedy the situation I plan on filing a complaint for damages against the City of Albuquerque along with Jay Rembe.

Thanks,

Martin Vigil
505-659-1547

Sent from [Mail](#) for Windows

Porquis, Dominick A.

From: Aranda, James M.
Sent: Thursday, June 16, 2022 2:42 PM
To: Martin Vigil
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JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department
o 505.924.3361

e jmaranda@cabq.gov

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1. Jay Rembe's current proposal for 1623 Central Ave. and 1701 Central N.W. Communication with Jay has broken down. The official way to request this information would be to submit a Public Records (IPRA) request. That can be done here: <https://nextrequest.cabq.gov/> . You can also contact Development Services Manager Jay Rodenbeck (jrodenbeck@cabq.gov /505-924-3994) but it is possible that he may require you to file an IPRA.
2. What is the status of corrective plans/agreement with the City of Albuquerque regarding his properties? I have no knowledge of any agreements with Mr. Rembe regarding the subject properties nor any corrective plans. I recommend discussing this with Code Enforcement.
3. When was the front portion of my property switched from dual zoning to MX-M? What process did the switch happen through? All properties in the City underwent a Legislative Zoning Conversion via the City Council upon adoption of the Integrated Development Ordinance (IDO) in 2018. The conversion changed from the zoning classifications of the old Zoning Code to the current zoning classifications contained in the IDO. The majority of your property would have been converted from SU-2 to MX-M at this time. The northeast corner (rear) of your property is zoned as Unclassified due to the old Albuquerque Acequia which I understand was vacated in the 1940s. As we have discussed, no actions have been taken to get rid of the floating UNCL zone. If you would like more history on this, please contact AGIS Manager Michelle Gricius (mgricius@cabq.gov) and let her know I referred you to her to provide a brief history on how the floating zones came to be.

I still have not received a call back from Angelo, and I left Jeremy a message today. Thanks for clarifying those issues last week.

Thanks,

Martin

From: Aranda, James M. <jmaranda@cabq.gov>

Sent: Wednesday, May 4, 2022 1:56 PM

To: Martin Vigil <VigilMartin@hotmail.com>

Subject: RE: 1623 Central

Mr. Vigil,

Thank you for reaching out regarding this matter. I would like to talk via phone to clarify how the Zone Map Amendment came about.

I am free tomorrow (5/5) at 2:00pm and Friday (5/6) between 10am-12:00pm. Please let me know if either of these times work for you.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Wednesday, May 4, 2022 1:31 PM

To: Aranda, James M. <jmaranda@cabq.gov>

Subject: 1623 Central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

James,

Shawn Watson provided your contact information regarding the rezoning issue on Central (West Downtown). I have spoken directly with Jay Rembe and he stated “the rezoning was because of his proposed development”. I specifically asked if it pertained to Jay Rembe and was informed it did not. In either case I did not agree to the rezoning along with another neighbor. The City of Albuquerque sent a proposal without disclosing the full information of why the rezoning was being proposed. I am requesting :

1. A correction letter be mailed out to all impacted neighbors, along with full disclosure of why the rezoning is being proposed. The City of Albuquerque has a duty to provide full disclosure to it’s citizens especially when proposing contractual and permanent changes to property.
2. Please send me and effected neighbors Jay Rembe’s proposed plans for building an apartment complex in our neighborhood along with the correction letter.

My house, Edward Garcia, and Mrs. Ruiz own the last 3 remaining houses on Central Ave (Route 66). All other houses have either been knocked down or turned into commercial businesses. Our houses were built in the early 1900s. The City of Albuquerque has shown bias in handling affairs for property owner’s like Jay Rembe compared to property owners like myself, Edward Garcia, and Mrs. Ruiz. It is extremely rare and difficult even to get a call back for very serious issues. Shawn Watson was very professional and diligent in trying to understand some of the issues. It is unfortunate she is not employed with the planning department.

I am going to be contacting various department directors this week, along with the Mayors office. Specifically in regards to selective enforcement of normal property owners, and neglecting to enforce owners of true nuisance properties like Mr. Rembe 1623 Central and 1701 with the abandoned house and shed. In addition issues like property damage from flooding on Central Ave to serious crime issues related to the abandoned house at 1623 Central. There is also a termite infestation because Jay Rembe has failed to exterminate since he purchased these properties. And in writing rejected my requests for termite inspection/treatment. He has also failed to seal the house properly to prevent infestations and entry from vagrants after repeated request.

I also plan this week on filing tort notice with the City of Albuquerque risk management. Because the City of Albuquerque has failed to return calls or remedy the situation I plan on filing a complaint for damages against the City of Albuquerque along with Jay Rembe.

Thanks,

Martin Vigil
505-659-1547

Sent from [Mail](#) for Windows

Porquis, Dominick A.

From: Aranda, James M.
Sent: Tuesday, August 9, 2022 2:13 PM
To: Martin Vigil; Jay Rembe; Maestas, Helen; Renz-Whitmore, Mikaela J.; Varela, Alan M.; Webb, Robert L.; Brunner, Terry; Iverson, Karen R.; Sisneros, Bobby M.; CHRIS ISENGARD; Carol Gladin; williegochefs@yahoo.com; Edward Garcia; Michael Valdez; Chinchilla, Antonio R.; -Frances Garcia; joshuafernandez@gmail.com
Subject: RE: Formal Notice

Mr. Vigil,

Just a note to confirm receipt. I will ensure pertinent Planning staff are also aware of your communication.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Tuesday, August 9, 2022 12:50 PM

To: Jay Rembe <rembe@rembedesign.com>; Maestas, Helen <hmaestas@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Renz-Whitmore, Mikaela J. <mrenz-whitmore@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Brunner, Terry <terrybrunner@cabq.gov>; Iverson, Karen R. <kiverson@cabq.gov>; Sisneros, Bobby M. <bsisneros@cabq.gov>; CHRIS ISENGARD <csisengard@msn.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Edward Garcia <emg.abq7@gmail.com>; Michael Valdez <turtletays@gmail.com>; Chinchilla, Antonio R. <achinchilla@cabq.gov>; -Frances Garcia <francesandrea9@gmail.com>; joshuafernandez@gmail.com

Subject: Formal Notice

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8/9/22

Jay Rembe,

You have been non-responsive since early June. While you were responsive you would ignore common questions I was receiving from my neighbors. This letter is being provided anyways as a supplemental letter to the formal notice I provided on 8/1/22 and to various departments within the City of Albuquerque. Since you lack the character development to receive feedback, I am again requesting your legal counsel's information if you do not feel competent to discuss these issues. I find it especially disingenuous for you to call yourself a steward of the neighborhood, yet refuse to speak to the neighbors.

Today there was another pedestrian fatality (hit and run) on West Central. It is common public knowledge that Central Ave is poorly/dangerously designed for automobiles and especially pedestrians. A recent report from Smart Growth America ranked New Mexico "as the most dangerous state in the Nation for pedestrians). Three pedestrian traffic deaths per 100,000 residents. Albuquerque is the most populous region accounting for these deaths. The City of Albuquerque has shown a disregard for safety and a propensity to engage in unsafe design practices to appease developers and ART proponents.

The City of Albuquerque recently settled a lawsuit with John Kolesar who used to manage the City's traffic division. The whistle-blower lawsuit alleged the City of Albuquerque employee was fired for raising traffic safety issues. He alleged the City of Albuquerque disregarded national standards for signs and other safety issues on Central Ave, ART bus lines, and non-ART issues. The Lawsuit was settled for \$360,000.

In the previous 8/1/22 email, I addressed the issues pertaining to 16th street. Your current plan for the retail space creates a dangerous road condition. It is especially dangerous for pedestrians. Presently your own tenants/employees do not follow your plan:

1) Upon information and belief people who work at the establishments that lease from you at Country Club Plaza are instructed not to park in Country Club Plaza. Employees daily park on Central Ave and cross the street (two lanes of traffic and two ART bus lanes).

2) I'll be providing a supplemental affidavit explaining neighbors cannot take out our trash because Country Club Plaza vehicles are parked in front of our houses. I have photos available at your request.

3) My complaint is not against these Country Club Plaza employees they are simply parking and trying to earn a living. My issue is with you and your team's unsafe design practices and lack of regard for public safety.

4) The affidavit will also include I have never seen any County Club Plaza employee or patron ever utilize a crosswalk as you have included with your plan. Instead, they cross two lanes of traffic and two ART bus lanes. Your plan is inadequate now without the new 1700 retail space and 34-unit apartments you propose

This letter serves as formal notice to you and also the City of Albuquerque to stop engaging in unsafe design practices. This is notice that you will be held liable for any faulty or unsafe designs that result in the loss of human life or injury.

It is time common sense returns to the City of Albuquerque planning process and that only happens by getting input from the people who truly know the community and its members. Developer influence in Albuquerque is wildly out of control and is having a detrimental impact on public safety, health, and well-being of our community. Crime is on the rise and police patrols have been diminished, this is also formal notice to the City of Albuquerque to stop waiving (impact fees) for developers which detract funding from public safety and infrastructure.

Respectfully,

Martin Vigil

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From: Aranda, James M.
Sent: Tuesday, August 23, 2022 3:39 PM
To: Martin Vigil; Varela, Alan M.; Jay Rembe; Brunner, Terry; chair@abqdn.com
Cc: Rael, Lawrence; Maestas, Helen; Rodenbeck, Jay B.; Iverson, Karen R.; Renz-Whitmore, Mikaela J.; Webb, Robert L.; CHRIS ISENGARD; williegochefs@yahoo.com; Carol Gladin; Michael Valdez; -Frances Garcia; Edward Garcia; Keiser, Jeremy F.
Subject: RE: Front Fence substandard construction materials/methods

Mr. Vigil,

This message is to confirm receipt of your emailed concerns regarding 1623/1701 Central NW. Thank you!

Respectfully,

JMA

JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>
Sent: Tuesday, August 23, 2022 10:44 AM
To: Varela, Alan M. <avarela@cabq.gov>; Jay Rembe <rembe@rembedesign.com>; Brunner, Terry <terrybrunner@cabq.gov>; chair@abqdn.com
Cc: Rael, Lawrence <lrael@cabq.gov>; Maestas, Helen <hmaestas@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Iverson, Karen R. <kiverson@cabq.gov>; Renz-Whitmore, Mikaela J. <mrrenz-whitmore@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; CHRIS ISENGARD <csisengard@msn.com>; williegochefs@yahoo.com; Carol Gladin <cgjabq@gmail.com>; Michael Valdez <turtletays@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; Keiser, Jeremy F. <jkeiser@cabq.gov>
Subject: Front Fence substandard construction materials/methods

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Alan Varela,

I have repeatedly reached out to Code Enforcement regarding Jay Rembe's property 1623/1701 Central Ave NW. I spoke to Jeremy Keiser on May 17th. He stated, "he was new to the position and did not have any information for me, and that he would call me back". As of 8/23/22 he has not returned my telephone call or emails.

Upon information and belief Jay Rembe is creating blight on purpose and then requesting redevelopment funds:

1. There is no consequence from the City of Albuquerque towards Jay for his negligence and construction with substandard building materials/methods.

2. I have attached pictures of his front fence. The first few feet of chain link were there prior to Jay Rembe's ownership. Upon information and belief Alfred Chavez (Jay's maintenance man) installed chicken wire and poles. Some poles are 7 feet high and are not dug into the ground.
3. In May I informed Jeremy Keiser that the poles and chicken wire have sharp edges and are a hazard for the kids that walk by daily to Manzano Elementary School. Some poles are damaged with rust and sharp edges at eye level that can cause serious injury for kids and parents walking by.
4. On top of the safety hazards, the look causes additional blight and did not function to properly secure the property. As a result, I, my tenants, and neighbors have dealt with various types of crime from vagrants and mentally ill people occupying the structure.
5. I have email evidence Jay Rembe colluded and was aided by officials to initiate the foreclosure of 1623 Central Ave NW "to get the property into good hands". The same conditions that existed prior to Jay's ownership continued after he took control of the property. Squatting from vagrants and mentally ill people, human waste, termite/and other infestations, hypodermic needles, the property has caught on fire twice, theft, assault and battery.

Per the City of Albuquerque, "Jay Rembe manages over 80 million in assets within the City of Albuquerque". Chain link fences can be rented for very cheap, or cost under five hundred dollars to purchase. Jay Rembe ensured his 4th street Los Pablanos Commissary has a properly installed chain-link fence with barbwire attached to the top. There is a distinct difference between his 4th Street property and how he has failed to secure 1623/1701 Central. It is reasonable to conclude either he does not care or he did it purposefully to further his case for redevelopment area funding. I have tried to talk to Jay as neighbors and respectfully asked him to self-reflect on his conduct prior to resorting to more forceful requests for remedy.

On one occasion I accompanied APD officers onto 1623 Central but did not enter the structure. Officers informed me that people had urinated/defecated throughout the house. This along with the infestations classifies as creating additional contamination making him ineligible to apply for EPA Brownfields grant funds. Jay Rembe was required by statute to secure his abandoned structure. He was also required to register it within 30 days. The City of Albuquerque created these rules and had the jurisdiction and obligation to enforce them. Failure to do so caused harm to the surrounding property owners, and created constant challenges/harm for my rental business. Jeremy Keiser and Angelo Metzger did not conduct a thorough investigation of these issues and refuse to call or email back.

I have email evidence of disparate impact/discriminatory treatment towards me and my neighbors compared to how Jay Rembe is treated. I have conducted public information requests and have emails between Jay Rembe and various code enforcement officers. I have evidence of special treatment and selective enforcement.

This is formal notice to the City of Albuquerque to acknowledge there are litigation issues surrounding this project and be given consideration during the MRA funds allotment process. I am also filing tort notices this week with the City of Albuquerque as the statute of limitations is approaching, and communication has broken down leaving me no other remedy. Anybody who was (CC) in this email is welcome to email or call me to discuss solutions.

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505-659-1547

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Respectfully,

Martin Vigil

505-659-1547

233 16th St NW
Albuq, NM 87104
Sept. 9, 2022

Jay Rodenbeck
Planning Manager
City of Albuquerque
600 2nd St, NW
Albuquerque, NM 87102

Dear Mr Rodenbeck,

Attached is a letter from Mr. Edward
Garcia, my neighbor, who asked that
I deliver it to the City of Albuquerque.
I said I would but advised him to deliver
it as well.

Sincerely,

Carol G. Johnson

Attachment

City of Albuquerque c/o Carol Johnson

My name is Edward Garcia,

It has come to my recent attention that Rembe Urban Design + Development has submitted an initial sketch plat for what is called the "Clyde Project" located at 1623 and 1701 Central Ave NW. This is directly adjacent to my property and residence at 1617 Central Ave NW, 87104, a single family dwelling. I am contacting you regarding the destruction/construction which will be occurring on that premises which has the most likely potential of severely impacting my livelihood, daily routine life, and safety. As you are aware, the Developers plat lists the dimensions of the projected plat with 0' side setbacks. My property line (chain link fence) runs parallel south to north of 1623 Central Ave NW from Central Ave. to 16th St. NW. My (cast iron) sewer line to the public (Central) main sewer line also runs parallel from the clean outs at the northeast corner of my back residence, buried underneath my walkway inside my chain link fence out to Central Ave. I fear that once the developer begins the project, the strong possibility exists that my sewer line could be severely damaged as a result of digging, vibrations, etc. with his building construction so close to my property line. As well, I am very concerned that structural damage, plumbing damage, electrical damage, roof damage, stucco damage, windows, damage due to falling beams, bulldozers, wrecking into my home or fence, etc. could severely impact my well being, day to day livelihood, and property, with the construction of a 48' four story building next to my property line. As I have read, the revised IDO (July 2022), the developer may have one internal 0 ft. side setback on one side if the opposite internal side setback is at least 10 ft. I believe this is in accordance with the IDO and Table 5-1 #11. The 10 ft. side setback may not be sufficient and may require at least 15 ft. or 20 ft. given the serious and dangerous damage which is likely to occur as well as the potentially dangerous circumstances surrounding construction directly next to my residence and property.

Porquis, Dominick A.

From: Webb, Robert L.
Sent: Monday, September 26, 2022 11:43 AM
To: Martin Vigil
Cc: Rodenbeck, Jay B.; Aranda, James M.
Subject: RE: Update Rembe project

Good morning Martin. Sorry for any delay.

Here's some of the information I found for For 1623 Central and 1701 Central.

There have been a couple Demo permits. We did not see any building permits as of yet. The permits info is below and a link to the online search site for building permits.

GP-2020-37689: Demolition Expired (Resident... 1701 CENTRAL AV NW, Albuquerque, NM (LUPITA PENA...	Aug 27, 2020
GP-2022-23186: Demolition Issued (Residenti... 1701 CENTRAL AV NW, Albuquerque, NM (JACLYNN MA...	May 23, 2022
GP-2020-55113: Demolition Expired (Resident... 1623 CENTRAL AV NW, Albuquerque, NM (JAY REMBE - ...	Dec 14, 2020
GP-2022-23192: Demolition Issued (Residenti... 1623 CENTRAL AV NW, Albuquerque, NM (JACLYNN MA...	May 23, 2022

Here's the link to our building permit search:

[LMS Online - Permit Search By Address \(cabq.gov\)](https://cabq.gov/lms-online-permit-search-by-address)

In our area with the DRB there has not been any additional submittals for that project. It went through an informational pre-application meeting earlier in the year. That step is call a sketch plat. The comments that I had emailed you previous were from that sketch plat.

Any platting action will go through our department as a DRB case, but I don't believe the site plan submittal will. All indications is that it would be Site Plan-Admin which is the building permit submittal & review. Notice requirements are electronic. So notice for those would go to any relevant neighborhood association, but not to specific neighbors or residents. The building permit review is similar to a DRB review, but it does not have a public meeting. Applicants and neighbors or neighborhood representatives can meet separately.

All of the standards are technical. It is not discretionary. Building, Zoning, Transportation, & Hydrology would all need to review and approve the building permit for it to be issued. It will have a thorough review and it would need to meet all the required standards to move forward. We hope this helps.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov
cabq.gov/planning

From: Martin Vigil [mailto:vigilmartin@hotmail.com]
Sent: Sunday, September 25, 2022 10:32 AM
To: Webb, Robert L. <rwebb@cabq.gov>
Subject: Re: Update Rembe project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert,

No worries, thank you for the update.

Martin

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Friday, September 23, 2022 4:49 PM
To: Martin Vigil <VigilMartin@hotmail.com>
Subject: RE: Update Rembe project

Good afternoon Mr. Vigil.

Apologize for any delay. Was extremely short handed today and I was unable to complete my research for that case. I have your request on my desk and will contact you again on Monday. Thank you for your time.

Thank you,

Robert



ROBERT WEBB

Senior Planner -
Development Review Services
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning

From: Martin Vigil [<mailto:VigilMartin@hotmail.com>]
Sent: Thursday, September 22, 2022 10:05 AM
To: Webb, Robert L. <rwebb@cabq.gov>
Subject: Update Rembe project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert,

Can you please provide an update on project # PR-2022-006844. Has anything happened since the Sketch Plat was submitted? Can you please provide if it is scheduled for a DRB hearing?

Thanks,

Martin
505-659-1547

Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Friday, April 21, 2023 9:45 PM
To: Wolfley, Jolene; Biazar, Shahab; Webb, Robert L.; Whittaker, Jeannette M.; Sanchez, Nicole A.
Subject: FW: Failure to Secure Property
Attachments: RembeFront Substandard Fence.jpg; Stashing Objects.jpg; Stashing Objects2.jpg

FYI

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Friday, April 21, 2023 6:42 PM

To: Jay Rembe <rembe@rembedesign.com>; Brunner, Terry <terrybrunner@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Maestas, Helen <hmaestas@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Iverson, Karen R. <kiverson@cabq.gov>; Renz-Whitmore, Mikaela J. <mrenz-whitmore@cabq.gov>; Keefe, Lauren <lkeefe@cabq.gov>; Keiser, Jeremy F. <jkeiser@cabq.gov>; Les Romaine <les@arnmlawyers.com>; Carol Gladin <cgladin@gmail.com>; williegochefs@yahoo.com; -Frances Garcia <francesandrea9@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; vivalucia3 <vivalucia3@proton.me>; joshuafernandez@gmail.com; Lithgow, Ciaran R. <crlithgow@cabq.gov>; Michael Valdez <turtletays@gmail.com>; Ted Cloak <tcloak@unm.edu>

Subject: Failure to Secure Property

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

4/21/23

Jay Rembe,

I provided you formal notice to secure your property and other serious issues:

1. April 2022 Formal Notice was provided to you to stop operating your nuisance properties in a negligent manner. I tried to work out issues with you as neighbors amongst ourselves.
2. 8/23/2023 I sent 2nd request for you to properly secure your property and install or rent a fence.
3. 5/17/22 Code Enforcement Officer Jeremy Keiser agreed to call me back. One year later as of 4/21/23 Jeremy has failed to return any calls/emails in violation of the CABQ code of conduct.
4. I CC: (Helen Maestas, Alan Varela, Terry Brunner, JJ Mancini, J Rodenbreck, Karen Iverson, Miquela Whitmore, Robert Webb) and all failed to return my email/or call regarding failure to secure your property and abuse of redevelopment funds by creating additional blight.

On 4/10/23 myself and another neighbor observed two individuals stashing items on your property 1623/1701 Central N.W. (see attached photos). Individuals have also been sleeping in the rear portion of your property next to the fallen tree. One neighbor observed a mattress and people sleeping there. You have been given formal notice that people were according to APD officers "urinating and defecating in your abandoned building". People are still utilizing your nuisance property to use the restroom. Not only did you not fix your fence, but your fence has gotten considerably worse since last year. This is especially egregious considering you are managing over 80 million in assets within the City of Albuquerque. It is shocking considering you receive millions in taxpayer MRA subsidy, and tax abatement for each project you build.

Most concerning a few months back another individual hopped a fence from your property and entered into my house. The next day a bracelet was found between your property and another neighbor's property that indicated he was just released from the psychiatric ward of either jail/or hospital. This person was high on drugs and police/EMS was called. I have a large number of photos of people utilizing your nuisance property. You have exhibited a repeated pattern of practice of negligently handling matters on your property. You still have not installed a proper fence, while simultaneously across the street "The Feel Good/Modern General" was recently fenced. Your commissary for Los Poblanos has a proper fence.

I have an email admission from you "wanting as many neighbors as possible to report issues on your property". The only logical explanation is that helps you obtain Redevelopment Funds, and there are no consequences or enforcement from the City of Albuquerque. I have tangible evidence of discrimination/selective enforcement against other neighbors (CABQ continues to negligently refuse to investigate these matters). You continue to receive millions of dollars of taxpayer MRA bonds while failing to secure your abandoned property (as required by statute).

There should be safeguards added to the MRA language so that developers like yourself cannot create additional blight, and serious crime/health concerns and then profit from that negligence. Since last year I have requested your legal counsel's information. As of today 4/21/23 you still have refused to provide who your legal counsel is while additional harm is continuing to happen against my property and other neighbors. You also failed to respond to my request for us to split the costs of an independent mediator (non-CABQ). So I am moving forward with legal remedies.

Both you and the City of Albuquerque have been given formal notice about the harm and health/safety risks your property presents. Both will be held liable if any of my tenants, or neighbors are hurt by somebody residing on your nuisance property. There are many other aspects of harm your operation of a nuisance property creates. Your acts of omission/commission have crossed the threshold of negligence to willful and wanton disregard. I again, welcome anybody who was (CC) in this email to contact me to discuss solutions.

Thanks,

Martin Vigil
505-659-1547
vigilmartin@hotmail.com







Porquis, Dominick A.

From: Webb, Robert L.
Sent: Wednesday, May 10, 2023 3:33 PM
To: Martin Vigil
Cc: Aranda, James M.
Subject: RE: Project on central

Hello Mr. Vigil.

I was able to get some additional information.

The replat application was submitted in mid-March and it was approved in late-March. The appeal period has past. Unfortunately no way to change that, but I can provide the contact information of the agent that managed the application file. They could give specific detail to the public notice that was given to the association.

Consensus Planning – 505-764-9801.

Copies of the application documents, comment memos and the notice of decision can be requested. Some available directly from the cabq.gov web site. It is listed under the project number of PR-2022-6844

Public Information

<https://www.cabq.gov/clerk/public-records>

<https://www.cabq.gov/cpoa/contact-us>

The next step for that project would be to submit for building permit through the building safety department. It will go through a thorough review. They are located on the basement level of the Plaza Del Sol building. 505-924-3320.

I'm still waiting to hear back from the Fire Marshal.

One of our Deputy Directors is also familiar with this project and location. He was not aware of any upcoming change to the parking requirement on 16th.

I'm unable to speak to past denials or approvals that I wasn't a part of. I'm not sure what access what submitted previously or the circumstances of the denial.

I hope some of that information is helpful for you.

Have a good day.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Martin Vigil [mailto:vigilmartin@hotmail.com]

Sent: Friday, May 5, 2023 1:12 PM

To: Webb, Robert L. <rwebb@cabq.gov>

Subject: Re: Project on central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert,

Thank you for speaking with me today, and for researching the situation. It is much appreciated. If it helps the hearing officers were David S. Campbell, and Jay Rodenbeck.

Thanks again,

Martin

From: Webb, Robert L. <rwebb@cabq.gov>

Sent: Friday, May 5, 2023 11:55 AM

To: Martin Vigil <vigilmartin@hotmail.com>

Subject: Project on central



Hello Mr. Vigil.

I wanted to get back to you from our conversation earlier. I'm doing some research to ensure I can provide accurate information. It may take a couple days to get back to you.

I'll get back to you on Tuesday unless I can find the information this afternoon.

Thank you,

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Sent: Thursday, May 11, 2023 6:17 PM
To: Webb, Robert L.
Subject: Re: Project on central

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Robert,

Thank you for the detailed information, it is much appreciated! I will call consensus planning tomorrow, and review the links you sent.

Thanks again,

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Robert



ROBERT WEBB

Senior Planner -

Development Review Services

e rwebb@cabq.gov

cabq.gov/planning

Porquis, Dominick A.

From: Webb, Robert L.
Sent: Tuesday, May 23, 2023 4:24 PM
To: Aranda, James M.; Perez, James
Cc: Biazar, Shahab
Subject: FW: Traffic Imact Study Request

Here's the most recent email.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Martin Vigil [mailto:VigilMartin@hotmail.com]

Sent: Tuesday, May 23, 2023 1:03 PM

To: Varela, Alan M. <avarela@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Planning Department <planningdepartment@cabq.gov>; Maestas, Helen <hmaestas@cabq.gov>; jwolfey@cab <jwolfey@cab.cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Renz-Whitmore, Mikaela J. <mrenz-whitmore@cabq.gov>; Iverson, Karen R. <kiverson@cabq.gov>; Sanchez, Suzanna A. <suzannasanchez@cabq.gov>; Brunner, Terry <terrybrunner@cabq.gov>; williegochefs@yahoo.com; Carol Gladin <cgjabq@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; Ted Cloak <tcloak@unm.edu>; Michael Valdez <turtletays@gmail.com>; vivalucia3 <vivalucia3@proton.me>; familia@gmail.com; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; dennis@fusion.org; lauren.clipp@gmail.com; myrandar102@gmail.com; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; downtown abq news <downtownabqnews@gmail.com>; smshultz@cabq.gov; Morris, Petra <pmorris@cabq.gov>; Lehner, Catalina L. <CLehner@cabq.gov>; KAY Monaco <kaymonaco@msn.com>; Webb, Cecilia <cwebb@cabq.gov>; dbazen@cabq.gov

Subject: Traffic Imact Study Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/23/23

Alan Varela,

The City of Albuquerque has a duty to ensure public health, safety, and welfare while planning for development/redevelopment projects. Other duties include corresponding with citizens with the same level of responsiveness and diligence you extend to developers like Jay Rembe. Failure to communicate results in disparate impact and discriminatory actions. If the City of Albuquerque is partnering with private developers for redevelopment projects, then all ADA guidelines must be adhered to (especially considering public taxpayer funds are subsidizing the project).

This letter serves as a formal request that a traffic impact study/analysis be conducted for the "Pearl Development" and its effect on:

1) 16th Street and Fruit (does not meet the Uniform Fire code of 20 unobstructed feet). At peak traffic times vehicles are parked on both sides of the street. We have confirmed there is only 14 feet of unobstructed feet with cars parked on both sides. CABQ has negligently refused to discuss this issue.

2) 16th Street has senior residents aged 75-95 years old. Lt. Chinchilla with the Fire Marshals Office has indicated "16th street is too narrow to allow traffic to flow north and south, likely one side of the street's parking will be removed". The majority of 16th Street residents do not have driveways and require on-street parking as close as possible because they use mobility devices.

3) The impact "The Pearl development" would have on the surrounding neighbor's property residential/commercial including Manzano Day School and Central Ave residents.

Downtown Albuquerque News recently published an article about 16th Street residents David and Lilian Saiz (95 and 87 years old). They have lived on 16th Street since the 1960s, David faithfully worked for the railyards for 40 years. Albuquerque was able to grow largely because of the railroad system. David's son William is retired from law enforcement. The Saiz family has dutifully served Albuquerque and contributed to our community. The Saiz family has faithfully paid their property taxes with the expectation that they would be able to enjoy their home in their elder years.

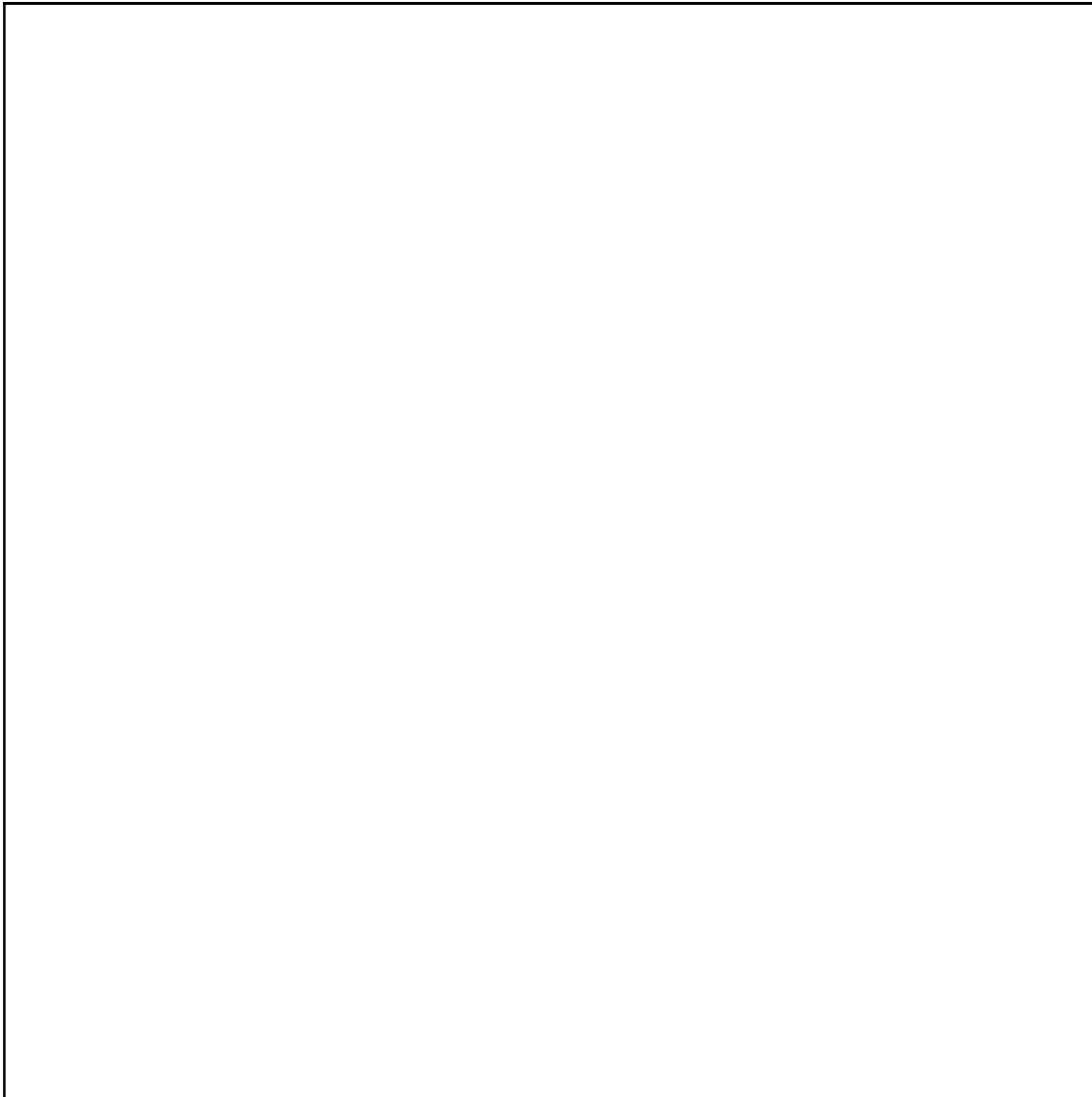
Allowing a 34-unit apartment complex only ingress/egress down a tiny residential street is not only negligent it is immoral when you consider its effect on disabled senior citizens of 16th street.

Regarding the traffic statement issued by James Aranda, there was no mention of substandard widths and the massive changes likely to occur to a pre-existing residential neighborhood. Most importantly James did not address the safety risks for the seniors who have lived on 16th Street and the dangerous road condition it would create. The statement also failed to identify that it is impossible for traffic to flow north/south at the same time because of the substandard width.

This letter serves as a formal request that the residents of the surrounding neighborhood would like an in-person meeting with you, and Mayor Keller at the proposed build site. If Mayor Keller cannot meet at the site a small group of neighbors will meet at his office.

I will send an additional email with neighbor's signatures once all are gathered. Anybody that was (CC) is welcome to contact me to discuss solutions or obtain more information.

He retired from the Rail Yards more than 30 years ago, but kept up a devotion to tight schedules



David and Lillian Saiz, at home in the Downtown Neighborhoods.

Railroads run on precise timing just as much as they run on steel, and so far as David Saiz is concerned, that sort of regimented scheduling was the secret to his considerable professional and

personal success.

He started young: Born in 1927, he grew up in Barelas on Second Street between Pacific and Cromwell.

"My mother kept me going, fed me well - that's why I'm always on schedule," he said. "You always get on a schedule. Eat at the same time, sleep at the same time."

It was a constitution perfectly suited to a career working at the Santa Fe Locomotive Repair Shops, the complex of industrial buildings between Barelas and South Broadway we now call the Rail Yards. After working a series of odd jobs at a stationary store, a tortilla shop, and Presbyterian Hospital, opportunity knocked.

"I had a primo that told my mom that they were going to hire people at the shops and I went and inquired," Saiz said.

He would work for the railroad for the next 40 years and five months, retiring around 1989, and over the decades he did all kinds of jobs around the sprawling complex. Saiz fixed roofs, maintained the water and electrical systems, drove a forklift, tended to cabooses, pumped water and diesel into trains, and put in a particularly long stint at [a plant located near Rio Bravo that made railroad ties](#).

Looking back, he seems positively elated to have had the job and a great collection of colleagues and supervisors: "They were wonderful people. I never gave them no trouble and they never gave me none," Saiz said. He celebrates his 95th birthday next month, but "If they would call me back to work right now I'd be there."

To be sure, staying at the shops for that long took something more than an agreeable personality and a good work ethic. The railroading labor market changed considerably over Saiz's tenure as high-maintenance steam locomotives gave way to more efficient diesel models. The railroad itself was also in the habit of moving various components of its operation around the country, sometimes leaving workers in the lurch.

"When word came out that there was going to be a layoff or they were closing down a certain shop then he would go out of his way to maneuver to another shop," son Willie Saiz said.

But it was well worth it. The wages were sufficient for David and wife Lillian Saiz to send Willie and two other children to private schools, including San Felipe de Neri and St. Pius.

"I was able to do that because the wages were amazing," David said. "Everything takes a little

money."

The family moved to a quiet street just east of Duran Central Pharmacy in 1963. There Saiz figured out a precise route and departure time that would get him to the shops in the morning without hitting any red lights. He's still in that house, though the routines these days hew more toward favorite TV shows (Seinfeld, M*A*S*H, Andy Griffith), a nightly round of sudoku, going to bed at 10:45 p.m and rising at 7 a.m., give or take five minutes.

The precision still works for him after all these years: "That's why I feel good right now," Saiz said. "At my age, I've got a good appetite. I sleep like a bear. And I don't snore."

Porquis, Dominick A.

From: Webb, Robert L.
Sent: Tuesday, May 23, 2023 5:23 PM
To: Martin Vigil
Cc: Aranda, James M.
Subject: Submittal documentation
Attachments: DHO Minor Plat Application - Rembe Replat-1.pdf

Good afternoon.

Here is some of the submittal documentation for the platting. It was submitted by Consensus Planning. The appeal period for the platting has already past. However you are welcome to continue to reach out to the agent and/or developer for additional information. Project # is PR-2022-006844.

The next step in the submittal process would be building permit.

Once a building permit is completely approved and issued then anyone would have 15 days to notify and submit an appeal packet.

General information regarding a traffic study. As a part of most project submittals there are several different types of documentation required. Some of that is transportation related. However, an actual traffic study is not necessarily required on everyone. Fire approvals are also separate from transportation approvals. *I'm not an engineer though, so I cannot speak to those specific requirement types.

The office I work in is Development Review Services. We reviewed the platting actions and the Development Hearing Officer approved the requests. (Copies of any Notice of Decision can be found on the cabq.gov web page in the DHO agenda section). Our office is not directly involved with the building permit process though. That is a separate submittal and review.

Have a good day.

Thank you,

Robert



ROBERT WEBB

Development Review Services

e rwebb@cabq.gov

cabq.gov/planning



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.

SUBDIVISIONS	MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Sidewalk Waiver (Form V2)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<input type="checkbox"/> Waiver to IDO (Form V2)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Waiver to DPM (Form V2)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Public Easement(s) DHO (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
	APPEAL
	<input type="checkbox"/> Decision of DHO (Form A)

BRIEF DESCRIPTION OF REQUEST

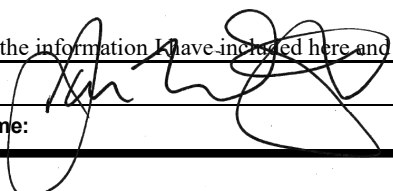
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ MAJOR SUBDIVISION FINAL PLAT APPROVAL

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the two documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form S with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat.
- ___ 6) Design elevations & cross sections of perimeter walls
- ___ 7) Recorded Infrastructure Improvements Agreement

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing and explaining the request
- ___ 10) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer
- ___ 11) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

PLAT DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form S with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Proposed Preliminary/Final Plat with the surveyor's, property owner's, City Surveyor's, utility, and AMAFCA signatures on the Plat
- ___ 6) Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ 7) Sidewalk Exhibit and/or cross sections of proposed streets
- ___ 8) Proposed Infrastructure List, if applicable

SUPPORTIVE DOCUMENTATION

- ___ 9) Letter of authorization from the property owner if application is submitted by an agent
- ___ 10) Letter describing, explaining, and justifying the request per the criteria in IDO 14-16-6-6(K)(3)
- ___ 11) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ 12) Landfill disclosure and EHD signature line on the Plat if property is within a landfill buffer

PUBLIC NOTICE DOCUMENTATION

- ___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
- ___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ MINOR AMENDMENT TO PRELIMINARY PLAT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form S2 with all the submittal items checked/marked
- ___ 3) Form S with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Letter of authorization from the property owner if application is submitted by an agent
- ___ 6) Proposed Amended Preliminary Plat and/or Grading and Drainage Plan
- ___ 7) Original Preliminary Plat and/or Grading and Drainage Plan
- ___ 8) Infrastructure List, if applicable
- ___ 9) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

FORM V: VACATIONS OF EASEMENTS OR RIGHT-OF-WAY - DHO

Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.

_ VACATION OF RIGHT-OF-WAY - DHO**_ VACATION OF RIGHT-OF-WAY - COUNCIL**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

VACATION DOCUMENTATION

- ___ 1) DHO Application form completed, signed, and dated
- ___ 2) Form V with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Copy of the complete document which created the easement(s)
Not required for City owned public right-of-way
- ___ 5) Drawing showing the easement or right-of-way to be vacated
- ___ 6) If easements, list number to be vacated _____
- ___ 7) Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____

SUPPORTIVE DOCUMENTATION

- ___ 8) Letter of authorization from the property owner if application is submitted by an agent
- ___ 9) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ 10) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

PUBLIC NOTICE DOCUMENTATION

- ___ 11) Sign Posting Agreement
- ___ 12) Proof of a Pre-Submittal Neighborhood Meeting per IDO 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ Completed neighborhood meeting request form(s)
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 13) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

___ 14) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

_ VACATION OF PRIVATE EASEMENT

_ VACATION OF PUBLIC EASEMENT

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

___ 1) DHO Application form completed, signed, and dated

___ 2) Form V with all the submittal items checked/marked

___ 3) Zone Atlas map with the entire site clearly outlined and labeled

___ 4) Copy of the complete document which created the easement(s)

___ 5) Drawing showing the easement or right-of-way to be vacated

___ 6) List number to be vacated _____

___ 7) Letter of authorization from the property owner if application is submitted by an agent

___ 8) Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

___ 9) Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

___ 10) Interpreter Needed for Hearing? ___ if yes, indicate language: ___

ALTA/NSPS LAND TITLE SURVEY
REMBE PROPERTIES LLC

TRACT 106-A
M.R.G.C.D. MAP NO. 38
CITY OF ALBUQUERQUE, 87109
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2020

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 40°39'31" E	23.64'
L2	S 35°29'00" E	27.02'

CONTROL STATION DATA
 ACS MONUMENT: 12_J13
 N.M. CENTRAL ZONE
 GEO POSITION (NAD 1983)
 NORTHING: 1489275.084
 EASTING: 1517168.92
 NAVD 1988 ELEVATIONS
 ORTHO HEIGHT: 4957.502
 GROUND TO GRID=0.999684167
 MAPPING ANGLE= -0°14'12.73"

CONTROL STATION DATA
 ACS MONUMENT: 17_J14
 N.M. CENTRAL ZONE
 GEO POSITION (NAD 1983)
 NORTHING: 1488866.762
 EASTING: 1519149.317
 NAVD 1988 ELEVATIONS
 ORTHO HEIGHT: 4957.484
 GROUND TO GRID=0.999683611
 MAPPING ANGLE= -0°13'59.00"

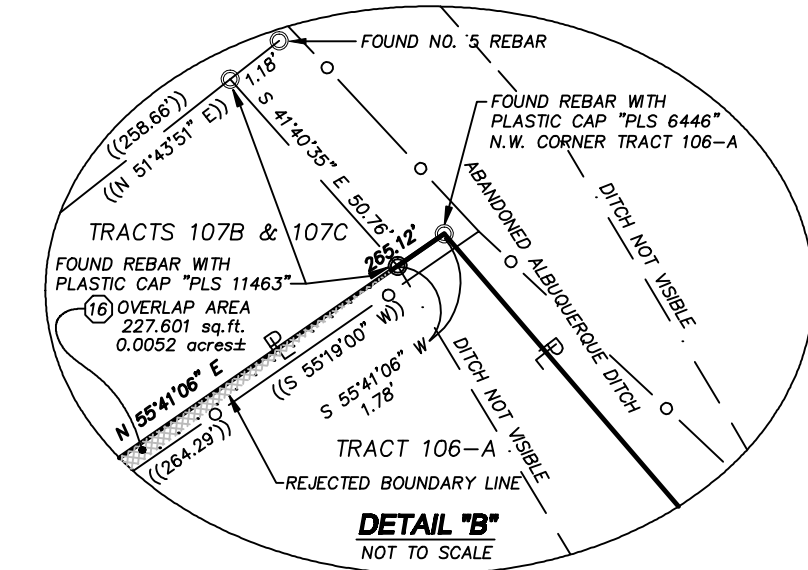
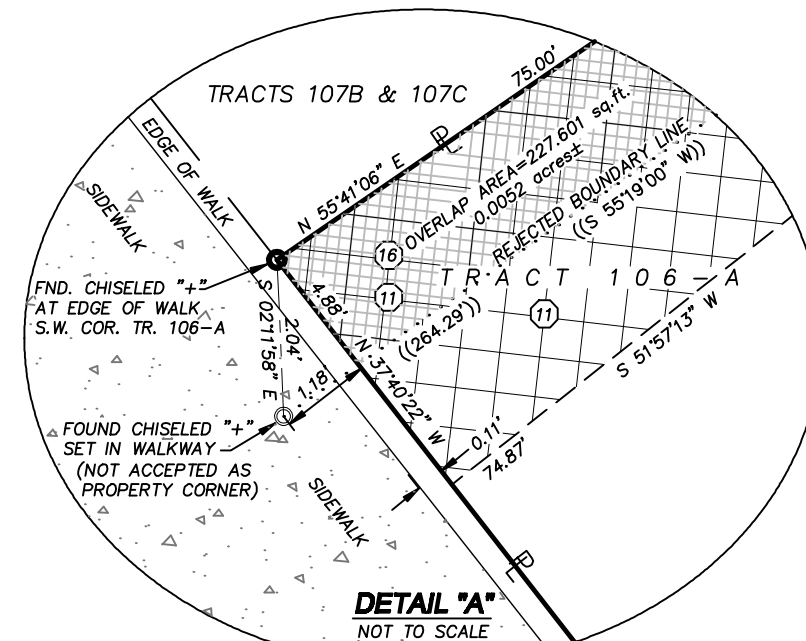
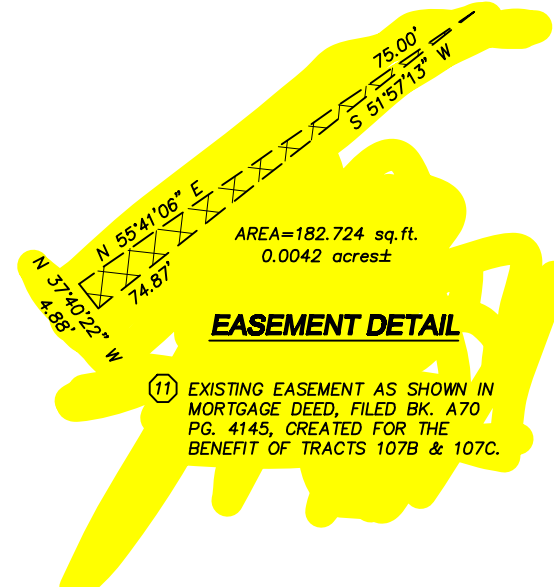
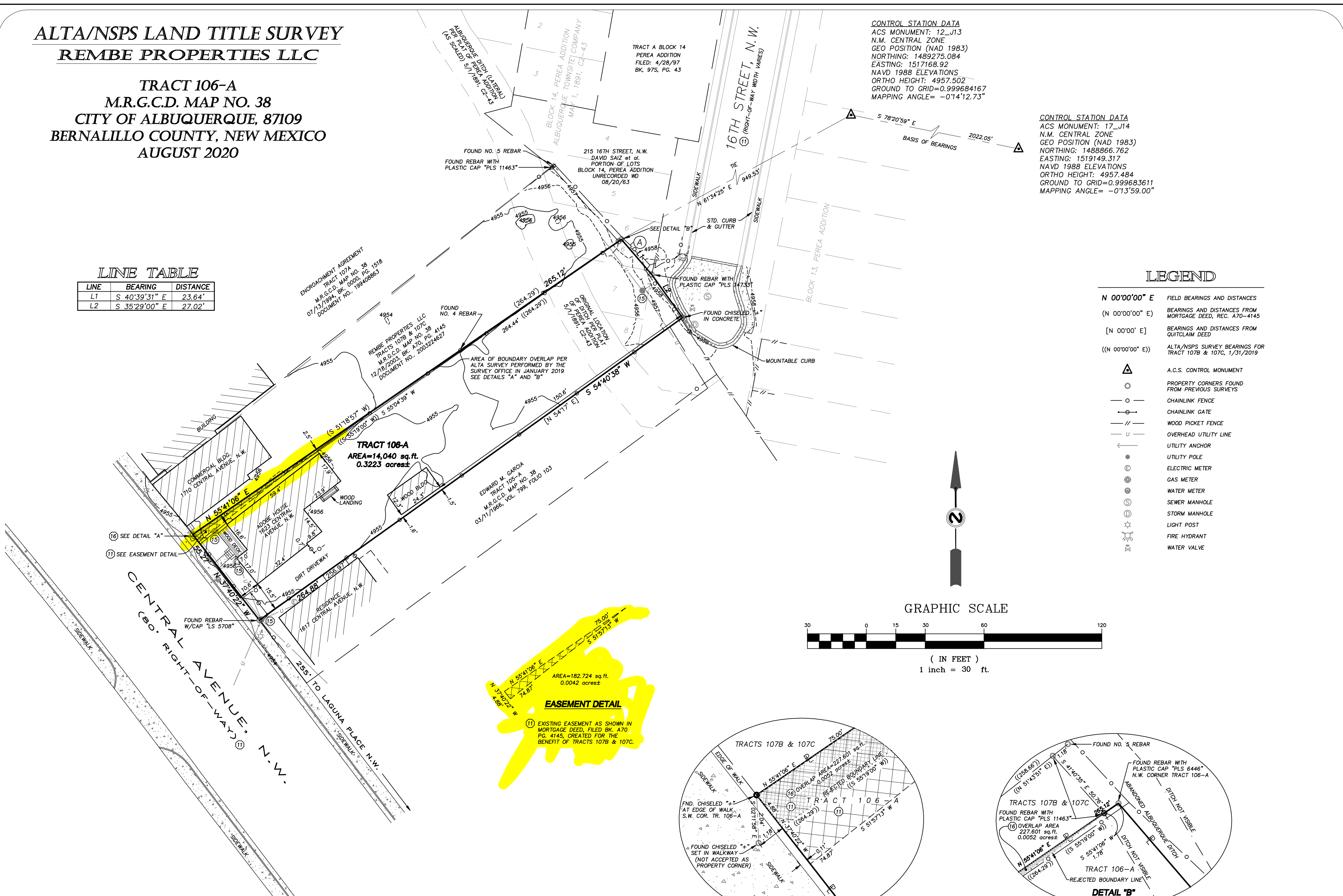
LEGEND

- N 00°00'00" E FIELD BEARINGS AND DISTANCES
- (N 00°00'00" E) BEARINGS AND DISTANCES FROM MORTGAGE DEED, REC. A70-4145
- [N 00°00' E] BEARINGS AND DISTANCES FROM OUTCLAIM DEED
- ((N 00°00'00" E)) ALTA/NSPS SURVEY BEARINGS FOR TRACT 107B & 107C, 1/31/2019
- ▲ A.C.S. CONTROL MONUMENT
- PROPERTY CORNERS FOUND FROM PREVIOUS SURVEYS
- CHAINLINK FENCE
- CHAINLINK GATE
- WOOD PICKET FENCE
- OVERHEAD UTILITY LINE
- UTILITY ANCHOR
- UTILITY POLE
- ELECTRIC METER
- GAS METER
- WATER METER
- SEWER MANHOLE
- STORM MANHOLE
- LIGHT POST
- FIRE HYDRANT
- WATER VALVE

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.



Quest Network, LLC
 John Paisano III Operations Manager, (505) 280-4051 ~ John Paisano Jr. NMPIS, (505) 362-6253
 9816 Admiral Dewey Ave., N.E., Albuquerque, NM 87111 Email: questnetwork@msn.com



March 15, 2023

Mr. David Campbell
Development Hearing Officer
600 Second Street NW
Albuquerque, NM 87102

Re: Survey Plat of Tract 107-B-1 and Private Easement Vacation Rembe Addition

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Campbell:

The purpose of this letter is to transmit a request for a minor subdivision for review and approval by the Development Review Board (DRB). The project is a replat of Tracts 107-B, 107-C together with 106-A. The resulting tract will be approximately .58 acres and is zoned Mixed Use – Medium Intensity (MX-M). It is anticipated that once this replat is approved, the applicant intends to move forward with a Site Plan – Administrative for a mixed-use project including retail and multi-family development.

Review and Decision Criteria An application for a Subdivision of Land – Minor shall be approved if it meets all of the following criteria.

6-6(K)(3)(a) The application complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: *Conforms. The proposed replat combines three existing lots into one new tract. The future site plan will address all relevant IDO and DPM requirements.*

6-6(K)(3)(b) Any Waivers granted to Development Standards applicable to the subdivision in Section 14-16-5-3 (Access and Connectivity) or Section 14-16-5-4 (Subdivision of Land) and any deviations to other IDO standards granted within the thresholds established by Section 14-16-6-4(P) (Deviations) are documented in the application.

Applicant Response: *Conforms. There are no waivers requested with this replat.*

Vacation of Private Easement

The subject property includes a small triangular easement between two of the existing lots. This easement serves no purpose and is unnecessary once the property is replated into one tract.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



Please contact me if you have any questions or require any additional information. The TCL, Grading and Drainage Plan, and Water and Sewer Availability will be done with the future Site Plan.

Sincerely,

A handwritten signature in black ink, appearing to read 'James K. Strozier', written over a printed name and title.

James K. Strozier, FAICP
Principal

c: Mr. Jay Rembe, Rembe Urban Design + Development

FORM S: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: 1623 and 1701 Central Ave. NW and legally described as , TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and C .

Job Description: Minor Platting action- Replat, lot consolidation of above mentioned lots.

Hydrology:

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Renee C. Brissette

Hydrology Department 12/15/22
Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA

Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA

Qui Guad

ABCWUA 12/19/2022
Date

- Infrastructure Improvements Agreement (IIA*) Approved
- AGIS (DXF File) Approved
- Fire Marshall Signature on the plan Approved

Signatures on Plat

- Owner(s) Yes
- City Surveyor Yes
- AMAFCA** Yes NA
- NM Gas** Yes
- PNM** Yes
- COMCAST** Yes
- MRGCD** Yes NA

* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application

FORM S: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: 1623 and 1701 Central Ave. NW and legally described as , TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and C .

Job Description: Minor Platting action- Replat, lot consolidation of above mentioned lots.

Hydrology:

- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department _____
Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ X NA
- Traffic Impact Study (TIS) _____ Approved _____ X NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ X NA
- Bernalillo County _____ Approved _____ X NA
- NMDOT _____ Approved _____ X NA

Ernest Armijo _____
Transportation Department _____
Date 12/16/2022

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Availability Statement/Serviceability Letter _____ Approved _____ NA
- ABCWUA Development Agreement _____ Approved _____ NA
- ABCWUA Service Connection Agreement _____ Approved _____ NA

ABCWUA _____
Date

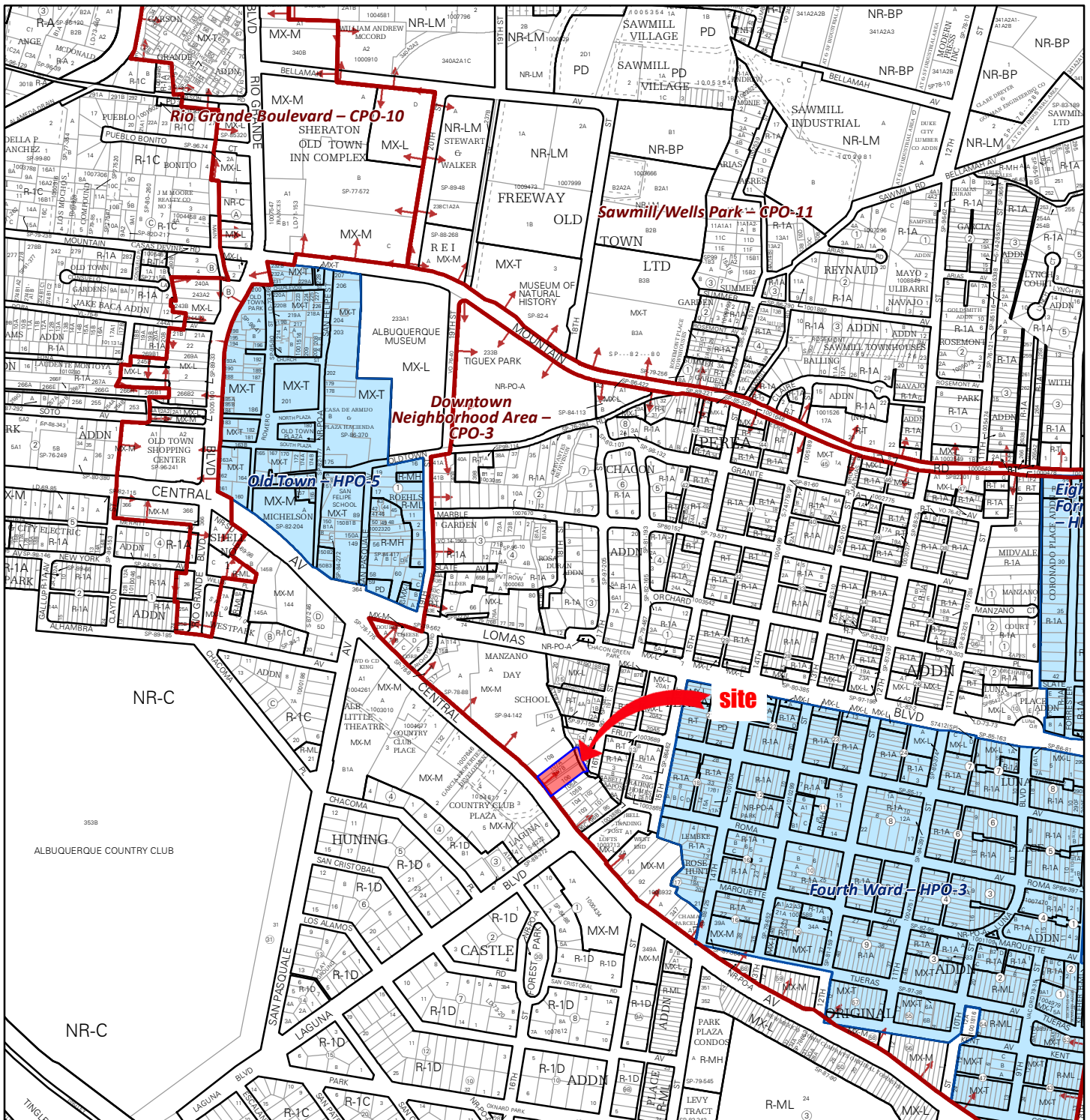
- Infrastructure Improvements Agreement (IIA*) _____ Approved
- AGIS (DXF File) _____ Approved
- Fire Marshall Signature on the plan _____ Approved

Signatures on Plat

- Owner(s) _____ Yes
- City Surveyor _____ Yes
- AMAFCA** _____ Yes _____ NA
- NM Gas** _____ Yes
- PNM** _____ Yes
- COMCAST** _____ Yes
- MRGCD** _____ Yes _____ NA

* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-13-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000

March 1, 2023

City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87102

RE: Agent Authorization Notice- 1701 and 1623 Central Ave. NW

To Whom it may concern,

Jay Rembe, of Rembe Properties, LLC hereby authorizes, James Strozier, of Consensus Planning, to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the properties located at 1701 and 1623 Central Ave. NW and legally described as, TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD MAP#38 CONT 0.3222 AC M/L, and MAP 38 TRACT 107B and 107C .

This authorization is valid as needed to provide services associated with the lot consolidation and Vacation of easement process for the afore-mentioned properties or until written notice from Rembe Properties, LLC or James Strozier, of Consensus Planning (Agent) is given. Please direct all correspondence and communication to our Agent for the purposes of this requested lot consolidation consideration by the DRB.

Sincerely,



Rembe Properties
c/o Jay Rembe
1716 Central Ave SW,
Albuquerque, NM 87104
Phone: 505-453-7164
Email: rembe@rembedesign.com



February 28, 2023

Mr. David Campbell
Development Hearing Officer
600 Second Street NW
Albuquerque, NM 87102

Re: Survey Plat of Tract 107-B-1. Rembe Addition

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Campbell:

The purpose of this letter is to transmit a request for a minor subdivision for review and approval by the Development Review Board (DRB). The project is a replat of Tracts 107-B, 107-C together with 106-A. The resulting tract will be approximately .58 acres and is zoned Mixed Use – Medium Intensity (MX-M). It is anticipated that once this replat is approved, the applicant intends to move forward with a Site Plan – Administrative for a mixed-use project including retail and multi-family development.

Review and Decision Criteria An application for a Subdivision of Land – Minor shall be approved if it meets all of the following criteria.

6-6(K)(3)(a) The application complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

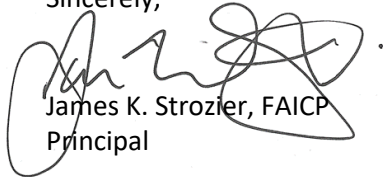
Applicant Response: *Conforms. The proposed replat combines three existing lots into one new tract. The future site plan will address all relevant IDO and DPM requirements.*

6-6(K)(3)(b) Any Waivers granted to Development Standards applicable to the subdivision in Section 14-16-5-3 (Access and Connectivity) or Section 14-16-5-4 (Subdivision of Land) and any deviations to other IDO standards granted within the thresholds established by Section 14-16-6-4(P) (Deviations) are documented in the application.

Applicant Response: *Conforms. There are no waivers requested with this replat.*

Please contact me if you have any questions or require any additional information. The TCL, Grading and Drainage Plan, and Water and Sewer Availability will be done with the future Site Plan.

Sincerely,



James K. Strozier, FAICP
Principal

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

c: Mr. Jay Rembe, Rembe Urban Design + Development

From: Office of Neighborhood Coordination
To: Jim Strozier
Subject: 1701/1623 Central Ave. NW, Public Notice Inquiry Sheet Submission
Date: Thursday, November 17, 2022 3:15:45 PM
Attachments: [jmaoe001.png](#)
[jmaoe002.png](#)
[jmaoe003.png](#)
[jmaoe004.png](#)

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Downtown Neighborhoods Association	Zoning	Committee	zoning@abqdna.com	400 Romero Street NW	Unit 1	Albuquerque	NM	87104		
Huning Castle NA	Harvey	Buchalter	hcbuchalter@gmail.com	1615 Kit Carson SW		Albuquerque	NM	87104	5052702495	5052472602
Huning Castle NA	Deborah	Allen	debzallen@ymail.com	206 Laguna Boulevard SW		Albuquerque	NM	87104		5052923644

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CARQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>.
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Vanessa Baca
 Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
 (505) 768-3331 Office
 E-mail: vanessabaca@cabq.gov
 Website: www.cabq.gov/neighborhoods



From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Thursday, November 17, 2022 3:07 PM
To: Office of Neighborhood Coordination <cp@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:
 Development Review Board
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Contact Name
 Jim Strozier
 Telephone Number
 5057649801
 Email Address
cp@consensusplanning.com
 Company Name
 Consensus Planning, Inc.
 Company Address
 302 8th Street NW
 City
 Albuquerque

State NM
ZIP 87102
Legal description of the subject site for this project:
Tract 106-A, 107B and 107C, Rembe Properties
Physical address of subject site:
1701/1623 Central Ave. NW
Subject site cross streets:
West of Laguna
Other subject site identifiers:
Between Central Avenue and 16th Street
This site is located on the following zone atlas page:
J-13
Captcha
x

From: [Jim Strozier](#)
To: zoning@abqdna.com; hcbuchalter@gmail.com; debzallen@ymail.com
Subject: UPDATE RE: DRB Minor Replat Application IDO Notification
Date: Tuesday, December 20, 2022 9:00:00 AM

There was an item missing from our application last week, that has been corrected and the new hearing date will be January 4, 2023.

Do not hesitate to reach out to me if you need more information or would like to request a meeting.

Sorry for any confusion this may have caused. Thank you and Happy Holidays!

Jim Strozier, FAICP
Consensus Planning, Inc.
302 8th Street NW
(505) 764-9801

From: Jim Strozier
Sent: Tuesday, December 13, 2022 11:00 AM
To: zoning@abqdna.com; hcbuchalter@gmail.com; debzallen@ymail.com
Subject: DRB Minor Replat Application IDO Notification

Downtown Neighborhoods Association and Huning Castle NA,

Please see the attached IDO Notification Form for a minor replat for a property with 3 existing lots that are being consolidated into 1 lot. The properties are owned by Jay Rembe with Rembe Properties.

Please let me know if you have any questions.

Jim Strozier, FAICP
Consensus Planning, Inc.
302 8th Street NW
(505) 764-9801

From: [Jim Strozier](#)
To: zoning@abqdna.com; hcbuchalter@gmail.com; debzallen@ymail.com
Subject: DRB Minor Replat Application IDO Notification
Date: Tuesday, December 13, 2022 11:00:00 AM
Attachments: [Emailed-Mailed-Notice-PublicMeetingHearing-Rembe Replat.pdf](#)

Downtown Neighborhoods Association and Huning Castle NA,

Please see the attached IDO Notification Form for a minor replat for a property with 3 existing lots that are being consolidated into 1 lot. The properties are owned by Jay Rembe with Rembe Properties.

Please let me know if you have any questions.

Jim Strozier, FAICP

Consensus Planning, Inc.

302 8th Street NW

(505) 764-9801

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: December 13, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See Attached

Name of NA Representative*: See Attached

Email Address* or Mailing Address* of NA Representative¹: See Attached

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 1701/1623 Central Ave. NW
Location Description North side of Central Avenue NW
2. Property Owner* Rembe Properties
3. Agent/Applicant* *[if applicable]* Consensus Planning, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Minor - 3 existing lots to 1 lot (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Replat 3 existing lots into 1 lot for future development of a mixed use project.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

Date/Time*: December 21, 2022/9:00 AM

Location*³: Zoom: https://cabq.zoom.us/j/81711919604

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

See Attached

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ J13
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] .58 acres
 - 2. IDO Zone District MX-M
 - 3. Overlay Zone(s) [if applicable] NA
 - 4. Center or Corridor Area [if applicable] Central Avenue - MainStreet and Premium Transit
- Current Land Use(s) [vacant, if none] Vacant buildings
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: Office of Neighborhood Coordination
To: Jim Strozier
Subject: 1701/1623 Central Ave. NW, Public Notice Inquiry Sheet Submission
Date: Thursday, November 17, 2022 3:15:45 PM
Attachments: [jmaoe001.png](#)
[jmaoe002.png](#)
[jmaoe003.png](#)
[jmaoe004.png](#)

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Downtown Neighborhoods Association	Zoning	Committee	zoning@abqdn.com	400 Romero Street NW	Unit 1	Albuquerque	NM	87104		
Huning Castle NA	Harvey	Buchalter	hcbuchalter@gmail.com	1615 Kit Carson SW		Albuquerque	NM	87104	5052702495	5052472602
Huning Castle NA	Deborah	Allen	debzallen@ymail.com	206 Laguna Boulevard SW		Albuquerque	NM	87104		5052923644

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CARQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>.
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Vanessa Baca
 Manager

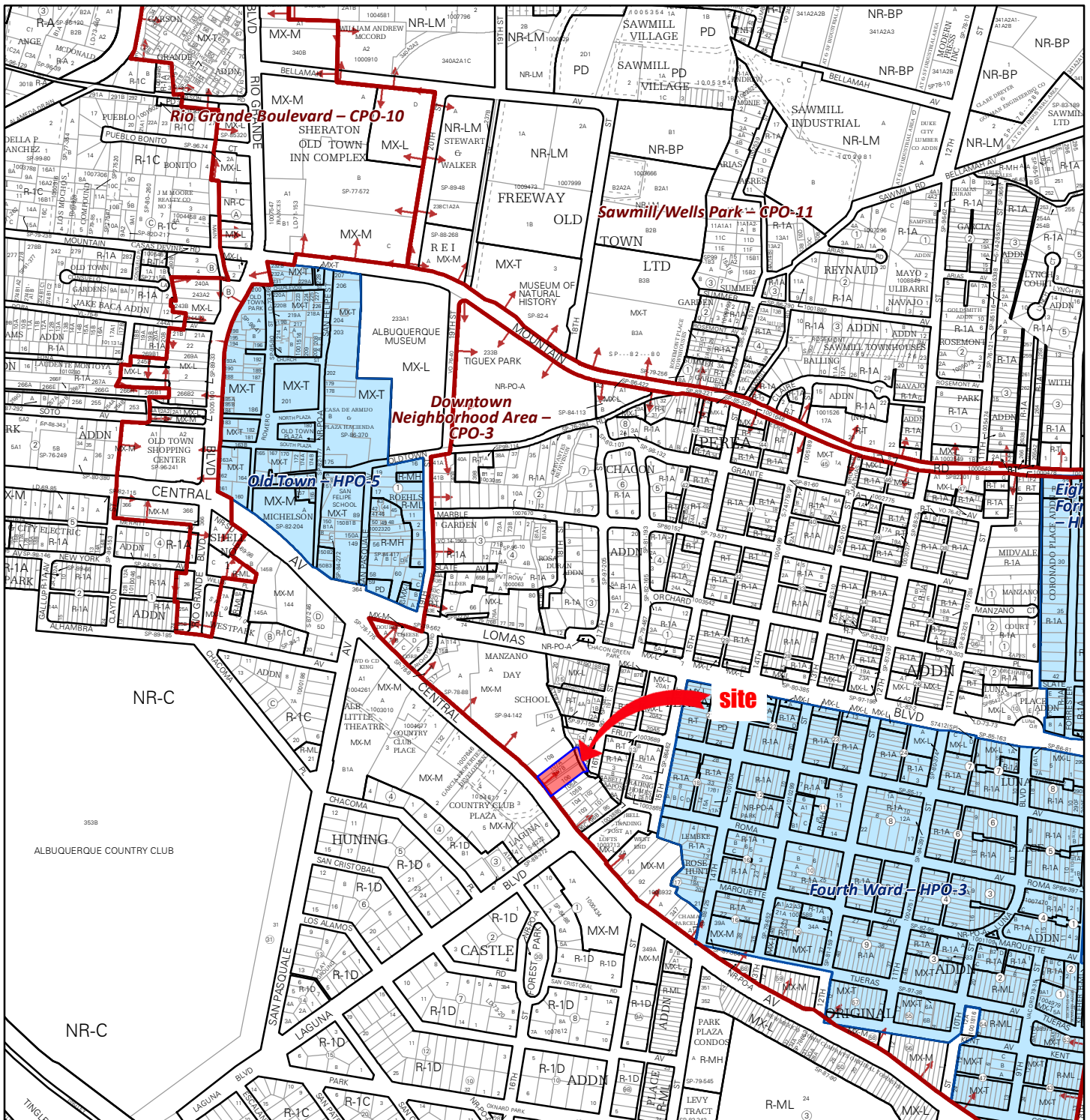
Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
 (505) 768-3331 Office
 E-mail: vanessabaca@cabq.gov
 Website: www.cabq.gov/neighborhoods



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Sent: Thursday, November 17, 2022 3:07 PM
To: Office of Neighborhood Coordination <cp@consensusplanning.com>
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Subject: Public Notice Inquiry Sheet Submission

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Public Notice Inquiry For:
 Development Review Board
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Contact Name
 Jim Strozier
 Telephone Number
 5057649801
 Email Address
cp@consensusplanning.com
 Company Name
 Consensus Planning, Inc.
 Company Address
 302 8th Street NW
 City
 Albuquerque



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

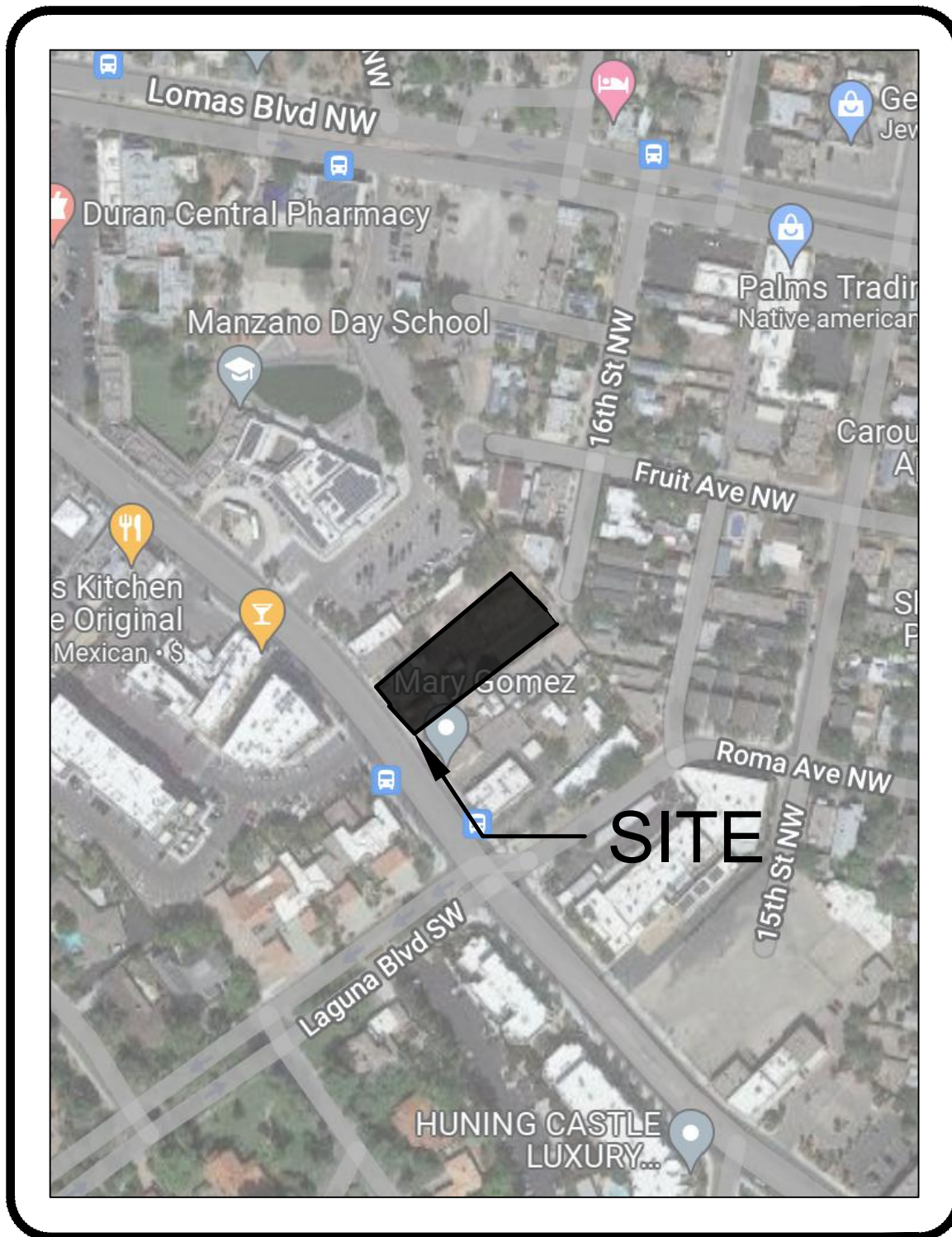
May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-13-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment
- Petroglyph National Monument

0 250 500 1,000 Feet



ZONE ATLAS MX-M NO SCALE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT TO CREATE ONE LOT FROM THREE LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON

NOTES:

1. BEARINGS ARE GRID BASED--NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL SET POINTS ARE IDENTIFIED AS "SET", ARE 5/8" REBAR WITH BLUE PLASTIC CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. J-13
 DATE OF FIELD SURVEY: JANUARY, 2019; APRIL 2022
 TOTAL NO. OF TRACTS EXISTING 3
 TOTAL NO. OF LOTS CREATED 1

DOCUMENTS USED:

PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2020.

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX

PAGE 1 COVER
 PAGE 2 SUBDIVISION PLAT
 PAGE 3 DESCRIPTION OF AREA

LEGAL DESCRIPTION:

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A REMBE ADDITION FOUND IN M.R.G.C.D. MAP 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS. NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT AND VACATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL RIGHT OF WAY OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: _____
 OWNER/DATE

ACKNOWLEDGMENT

STATE OF _____)
) SS.
 COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2022, BY _____

NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURE'S OFFICE: _____

M.R.G.C.D APPROVAL:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER, ADDITION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

**SURVEY PLAT OF
 TRACT 107-B-1
 REMBE ADDITION**

BEING A REPLAT OF TRACTS 107-B, 107-C
 TOGETHER WITH TRACT 106-A
 WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2022

PROJECT NUMBER: _____ APPLICATION NUMBER: _____

CITY APPROVALS: _____ DATE _____

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

M.R.G.C.D. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

ABCWUA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____

NEW MEXICO GAS _____ DATE _____

QWEST CORPORATION D.B.A. CENTURY LINK QC _____ DATE _____

COMCAST _____ DATE _____

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 DAVID P. ACOSTA, NMPLS NO. 21082

DATE _____



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395
 ALBUQUERQUE, NM 87193
 505-917-8921

FINAL PLAT OF
TRACT 107-B-1
REMBE ADDITION

BEING A REPLAT OF TRACTS 107-B, 107-C
TOGETHER WITH TRACT 106-A
WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2021

PALOMA RAMIREZ
TRACT 107A
M.R.G.C.D. MAP NO. 38
07/13/2005 BK. A100, PG. 52
DOCUMENT NO. 2005100355

TRACT A BLOCK 14
PEREA ADDITION
FILED: 4/28/97
BK. 97S, PG. 43

215 16TH STREET, N.W.
PORTION OF LOTS
BLOCK 14, PEREA ADDITION
UNRECORDED WD
08/20/63

16TH STREET, N.W.
(RIGHT-OF-WAY WIDTH VARIES)

TRACT 107-B-1
AREA= 25121.052 SQ. FT
0.5767 ACRES TOTAL

CONTROL STATION DATA
ACS MONUMENT: 12_J13
N.M. CENTRAL ZONE
GEO POSITION (NAD 1983)
NORTHING: 1489275.084
EASTING : 1517168.92
NAVD 1988 ELEVATIONS
ORTHO HEIGHT: 4957.502
GROUND TO GRID= 0.999684167
MAPPING ANGLE= -0 14'12.73"

FND
PRPC
SET
"PS 21082"

EXISTING BLDG

(N47°44' 33"E) (259.72')
N51° 44' 17"E 259.72'

PROPERTY LINE
TO BE REMOVED

COMMERCIAL BLDG.
1710 CENTRAL AVENUE, N.W.

TRACT 107B
TRACT 107C

TRACT 106-A

WOOD BLDG

EXISTING BLDG
1623 CENTRAL
AVENUE N.W.

S54° 18' 13"W 264.88'
(S54° 40' 38"W) (264.88')

EDWARD M. GARCIA
TRACT 105-A
M.R.G.C.D. MAP NO. 38
03/11/1986, VOL. 799, FOLIO 103

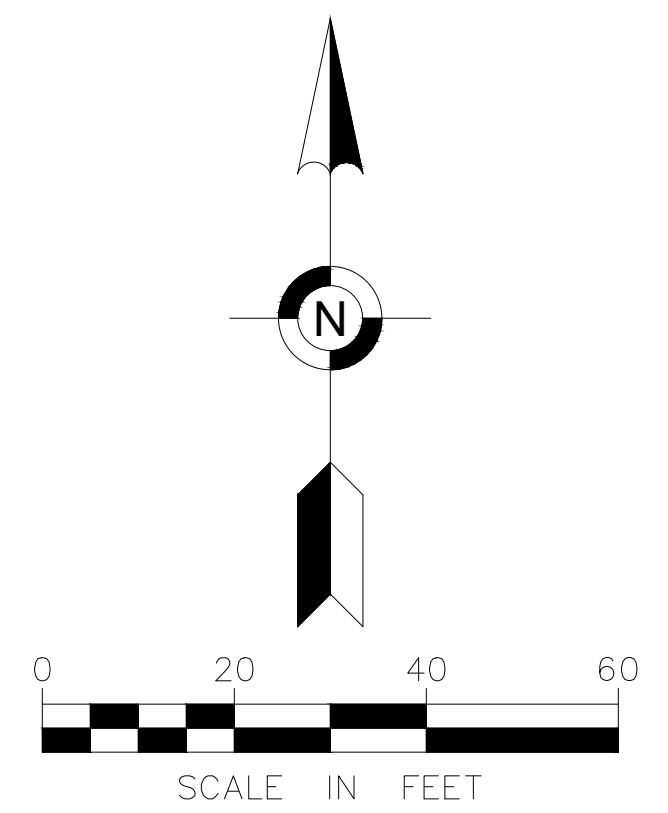
CHISELED "X"
L4
CENTRAL AVENUE, N.W.
(80' R-W)

N38° 02' 47"W 55.26'
(N37° 40' 22"W) (55.27')

4' PUBLIC SIDEWALK EASEMENT
DEDICATED BY THIS PLAT

SET
"PS 21082"

Line #	Length	Direction		
L1	0.62	N55° 18' 41"E	(S55°41'06"W	(1.78')
L2	23.64	S41° 01' 56"E	(S40°39'31" E	23.64')
L3	27.02	S35° 51' 25"E	(S35°29' 00"E	27.02')
L4	34.16	N36° 58' 16"W	(S36°57' 57"E	34.16')



CONSTRUCTION SURVEY TECHNOLOGIES, INC
PO BOX 65395
ALBUQUERQUE, NM 87193
505-917-8921

DESCRIPTION OF A 0.5767 ACRE TRACT 107-B-1

A TRACT OF LAND SITUATE IN BERNALILLO COUNTY, NEW MEXICO, LOCATED IN SECTION 18, T.10N. R.3E., N.M.P.M., BEING U.S.R.S. TRACT 107-B AND TRACT 107-C ALONG WITH TRACT 106-A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE SOUTH CORNER OF TRACT 106-A BEING A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING A POINT ON THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W.;

THENCE, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID TRACT 106-A N. 38° 02' 47"W, A DISTANCE OF 55.26 FEET TO A MARKED CHISELED "X" ON THE GROUND;

THENCE, N.36° 58' 16"W., A DISTANCE OF 34.16 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE WEST CORNER OF SAID TRACT 107-B;

THENCE, LEAVING THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W. N.51° 44' 17"E., A DISTANCE OF 259.72 FEET ALONG THE NORTHWEST BOUNDARY LINE OF SAID TRACT 107-B TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 107-B;

THENCE, FROM SAID NORTH CORNER, S.41° 58' 41"E., A DISTANCE OF 50.73 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, N.55° 18' 41"E., A DISTANCE OF 0.62 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 106-A;

THENCE, S.41° 01' 56"E., A DISTANCE OF 23.64 FEET TO A POINT LYING ON THE WEST AND SOUTH RIGHT-OF WAY LINE OF 16TH STREET, N.W FOR AN ANGLE POINT ON THE NORTHEAST BOUNDARY LINE;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF 16TH STREET S.35°51' 25"E., A DISTANCE OF 27.02 FEET TO THE EAST CORNER OF SAID TRACT 106-A, MARKED BY A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, LEAVING THE SAID SOUTH RIGHT-OF-WAY LINE, S.54° 18' 13"W., A DISTANCE OF 264.88 FEET TO SAID SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, ALSO BEING THE POINT OF BEGINNING. SAID TRACT 107-B-1 CONTAINING 0.5767 ACRES OF LAND (25121.052 SQUARE FEET) MORE OR LESS.



CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395
ALBUQUERQUE, NM 87193
575-644-0250

From: [Microsoft Outlook](#)
To: hcbuchalter@gmail.com
Subject: Relayed: DRB Minor Replat Application IDO Notification
Date: Tuesday, December 13, 2022 11:00:13 AM
Attachments: [DRB Minor Replat Application IDO Notification .msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
hcbuchalter@gmail.com (hcbuchalter@gmail.com) <<mailto:hcbuchalter@gmail.com>>
Subject: DRB Minor Replat Application IDO Notification

From: [Microsoft Outlook](#)
To: debzallen@ymail.com
Subject: Relayed: DRB Minor Replat Application IDO Notification
Date: Tuesday, December 13, 2022 11:00:13 AM
Attachments: [DRB Minor Replat Application IDO Notification .msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
debzallen@ymail.com (debzallen@ymail.com) <mailto:debzallen@ymail.com>
Subject: DRB Minor Replat Application IDO Notification

From: [Microsoft Outlook](#)
To: zoning@abqdna.com
Subject: Relayed: DRB Minor Replat Application IDO Notification
Date: Tuesday, December 13, 2022 11:00:12 AM
Attachments: [DRB Minor Replat Application IDO Notification .msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
zoning@abqdna.com (zoning@abqdna.com) <mailto:zoning@abqdna.com>
Subject: DRB Minor Replat Application IDO Notification

Jim Strozier

From: Jim Strozier
Sent: Tuesday, March 14, 2023 10:26 AM
To: zoning@abqdna.com; hcbuchalter@gmail.com; debzallen@ymail.com
Subject: IDO Neighborhood Notice for Vacation of Private Easement
Attachments: Emailed-Mailed-Notice-PublicMeetingHearing-PrintFill_DHO.pdf; PEARL ADDITION.pdf

Dear Neighbors,

I have previously sent notice regarding a minor replat for the property located at 1701 and 1623 Central Avenue NW that proposes to combine 3 existing parcels into 1 .58-acre parcel. We did not realize that a vacation of a small easement was also being requested, which requires this separate notification. This notice also updates the hearing type from the old Development Review Board (which no longer exists) to the Development Hearing Officer (DHO). The meeting time and zoom link are attached.

See the attached information. If you have any questions please contact me.

[Jim Strozier, FAICP](#)
Consensus Planning, Inc.
302 8th Street NW
(505) 764-9801

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: _____

Name of NA Representative*: _____

Email Address* or Mailing Address* of NA Representative¹: _____

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Hearing Officer (DHO)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

Date/Time*: _____

Location*³: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

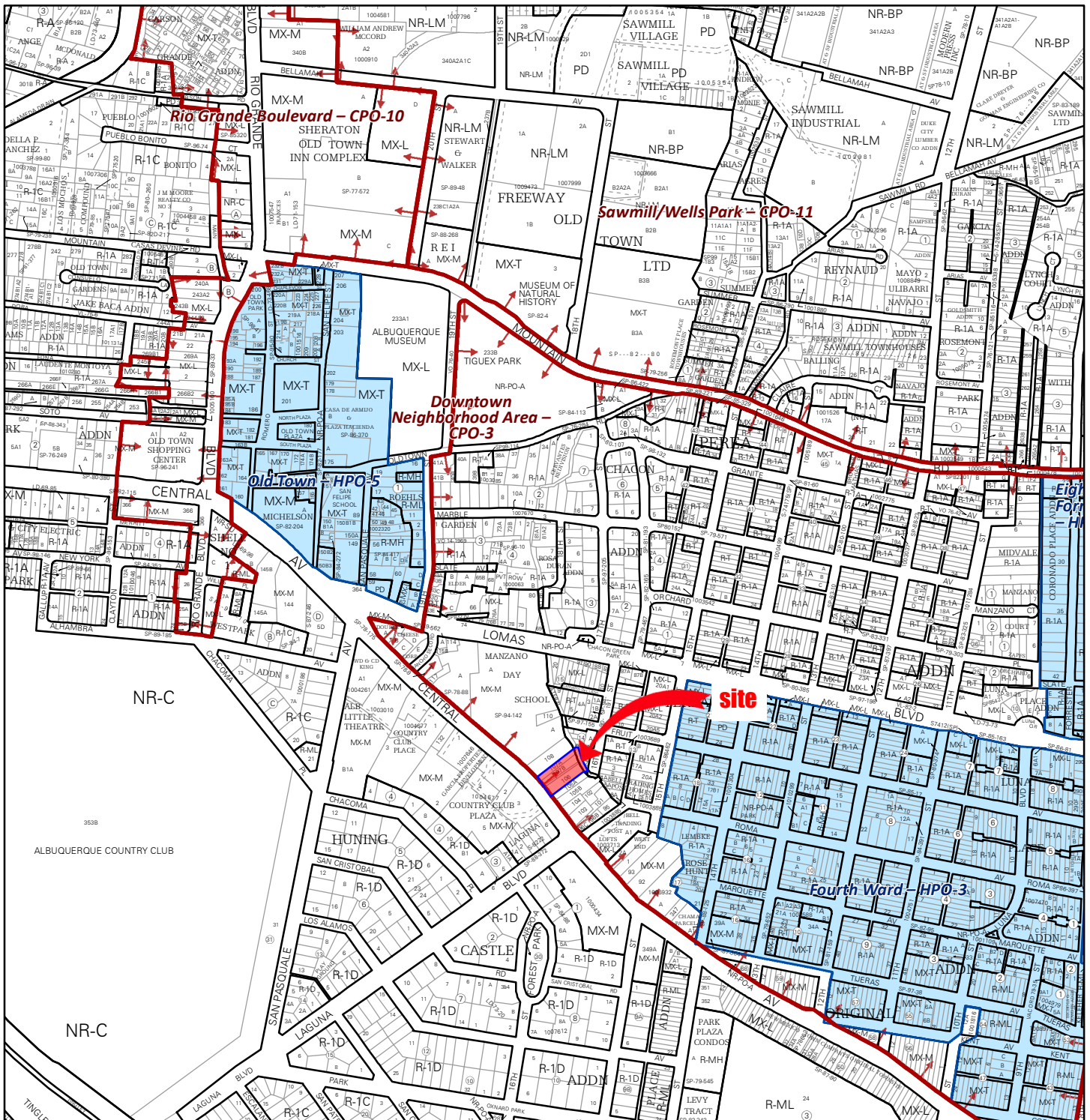
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-13-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment
- Petroglyph National Monument

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

From: [Microsoft Outlook](#)
To: debzallen@ymail.com
Subject: Relayed: IDO Neighborhood Notice for Vacation of Private Easement
Date: Tuesday, March 14, 2023 10:26:08 AM
Attachments: [IDO Neighborhood Notice for Vacation of Private Easement.msg](#)

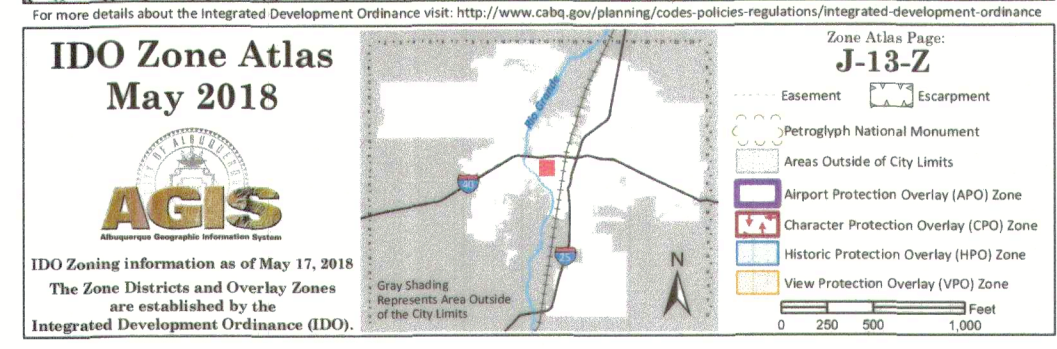
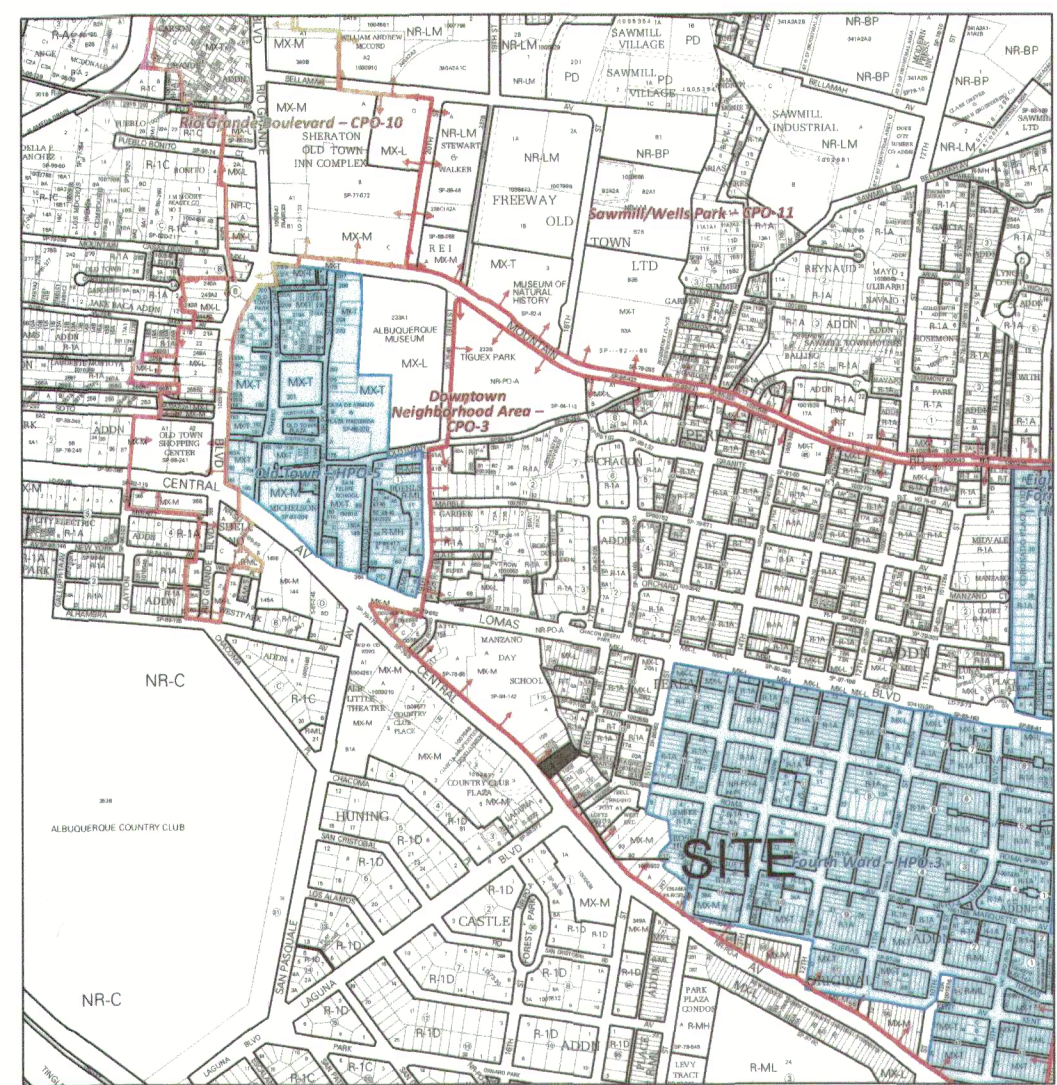
Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
debzallen@ymail.com (debzallen@ymail.com) <mailto:debzallen@ymail.com>
Subject: IDO Neighborhood Notice for Vacation of Private Easement

From: [Microsoft Outlook](#)
To: hcbuchalter@gmail.com
Subject: Relayed: IDO Neighborhood Notice for Vacation of Private Easement
Date: Tuesday, March 14, 2023 10:26:07 AM
Attachments: [IDO Neighborhood Notice for Vacation of Private Easement.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
hcbuchalter@gmail.com (hcbuchalter@gmail.com) <mailto:hcbuchalter@gmail.com>
Subject: IDO Neighborhood Notice for Vacation of Private Easement

From: [Microsoft Outlook](#)
To: zoning@abqdna.com
Subject: Relayed: IDO Neighborhood Notice for Vacation of Private Easement
Date: Tuesday, March 14, 2023 10:26:06 AM
Attachments: [IDO Neighborhood Notice for Vacation of Private Easement.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
zoning@abqdna.com (zoning@abqdna.com) <mailto:zoning@abqdna.com>
Subject: IDO Neighborhood Notice for Vacation of Private Easement



ZONE ATLAS J-13-Z

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS LOT CONSOLIDATION (TO CREATE ONE LOT FROM THREE LOTS) AND TO GRANT ANY EASEMENTS AND VACATE ALL EASEMENTS AS SHOWN HEREON.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL SET POINTS ARE IDENTIFIED AS "SET", ARE 5/8" REBAR WITH BLUE PLASTIC CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD
5. FEMA FLOOD ZONE DESIGNATION: ZONE X

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. J-13
 DATE OF FIELD SURVEY: JANUARY, 2019; APRIL 2022
 TOTAL NO. OF TRACTS EXISTING 3
 TOTAL NO. OF LOTS CREATED 1
 TOTAL ACRES: 0.5767 ACRES

DOCUMENTS USED:

PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2020.
 16TH STREET RIGHT OF WAY SURVEY BY WILSON AND COMPANY, DOC#2016050793 ALTA/ASCM SURVEY BY QUEST SURVEYS OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, UNRECORDED

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX

PAGE 1 COVER
 PAGE 2 SUBDIVISION PLAT

LEGAL DESCRIPTION:

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.R.G.C.D. MAP 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES. EASEMENTS FOR ELECTRIC TRANSFORMER/ SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT AND VACATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATED AS EASEMENTS SHOWN. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Jay Rembe 2/10/2023
 OWNER/DATE

ACKNOWLEDGMENT

STATE OF New Mexico) SS.
 COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 10th DAY OF February, 2023, BY Jay Rembe

NOTARY PUBLIC: Avram Penner
 MY COMMISSION EXPIRES: 12/07/2025

STATE OF NEW MEXICO
 NOTARY PUBLIC
 Avram Penner
 Commission Number 1121276
 My Commission Expires 27 December, 2025

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURE'S OFFICE:

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

David P. Acosta
 DAVID P. ACOSTA, N.M.P.S. NO. 21082
 PROFESSIONAL SURVEYOR

02/07/2023
 DATE

**PLAT OF
 TRACT A
 THE PEARL ADDITION
 BEING A REPLAT OF TRACTS 107-B, 107-C
 TOGETHER WITH TRACT 106-A
 WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2023**

PROJECT NUMBER: PR 2022-006244 APPLICATION NUMBER: _____

CITY APPROVALS: _____ DATE _____
Loren N. Risenhoover P.S. 2/7/2023
 CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
Ray Stuel 2/17/2023
 M.R.G.C.D. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____
John 2/21/2023
 A.M.A.F.C.A. _____ DATE _____

ABCWUA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

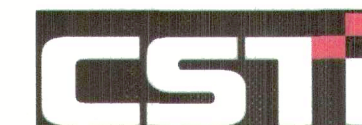
CODE ENFORCEMENT _____ DATE _____

UTILITY APPROVALS:
R. J. H. 1/20/2023
 PNM ELECTRIC SERVICES _____ DATE _____
Natalia Antonio 2/9/2023
 NEW MEXICO GAS _____ DATE _____
Mike Mortua 19/JAN/2023
 QWEST CORPORATION D.B.A. CENTURY LINK QC _____ DATE _____
 COMCAST _____ DATE _____

M.R.G.C.D.

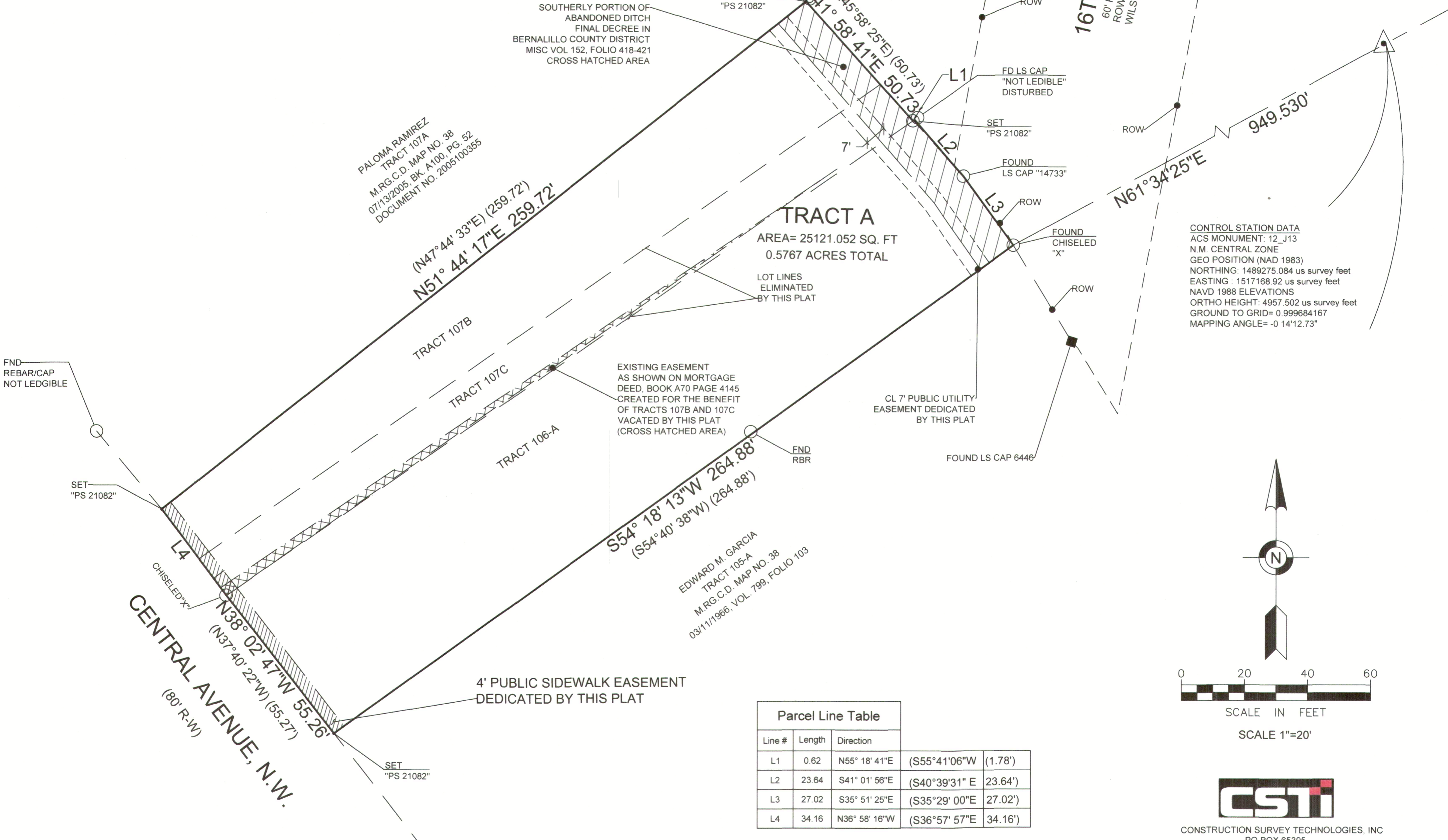
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER, ADDITION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

Ray Stuel 2/17/2023
 APPROVED _____ DATE _____



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395
 ALBUQUERQUE, NM 87193
 505-917-8921

**PLAT OF
TRACT A**
THE PEARL ADDITION
 BEING A REPLAT OF TRACTS 107-B, 107-C
 TOGETHER WITH TRACT 106-A
 WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2023



FND
REBAR/CAP
NOT LEDGIBLE

PALOMA RAMIREZ
TRACT 107A
M.R.G.C.D. MAP NO. 38
07/13/2005, BK. A100, PG. 52
DOCUMENT NO. 2005100355

TRACT A BLOCK 14
PEREA ADDITION
FILED: 4/28/97
BK. 97S, PG. 43

16TH STREET, N.W.
60' R.O.W. DOC#2016050793
ROW SURVEY OF 16TH STREET BY
WILSON AND COMPANY

CONTROL STATION DATA
ACS MONUMENT: 12_J13
N.M. CENTRAL ZONE
GEO POSITION (NAD 1983)
NORTHING: 1489275.084 us survey feet
EASTING: 1517168.92 us survey feet
NAVD 1988 ELEVATIONS
ORTHO HEIGHT: 4957.502 us survey feet
GROUND TO GRID= 0.999684167
MAPPING ANGLE= -0 14'12.73"

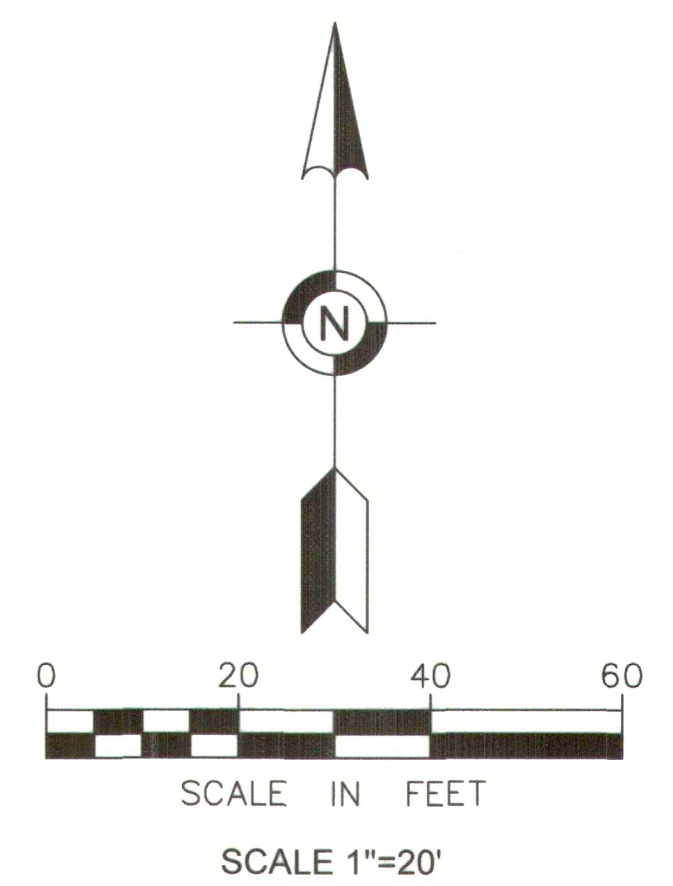
EXISTING EASEMENT
AS SHOWN ON MORTGAGE
DEED, BOOK A70 PAGE 4145
CREATED FOR THE BENEFIT
OF TRACTS 107B AND 107C
VACATED BY THIS PLAT
(CROSS HATCHED AREA)

CL 7' PUBLIC UTILITY
EASEMENT DEDICATED
BY THIS PLAT

4' PUBLIC SIDEWALK EASEMENT
DEDICATED BY THIS PLAT

TRACT A
 AREA= 25121.052 SQ. FT
 0.5767 ACRES TOTAL

Parcel Line Table				
Line #	Length	Direction		
L1	0.62	N55° 18' 41"E	(S55°41'06"W	(1.78')
L2	23.64	S41° 01' 56"E	(S40°39'31" E	23.64')
L3	27.02	S35° 51' 25"E	(S35°29' 00"E	27.02')
L4	34.16	N36° 58' 16"W	(S36°57' 57"E	34.16')



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395
 ALBUQUERQUE, NM 87193
 505-917-8921

DESCRIPTION OF A 0.5767 ACRE TRACT 107-B-1

A TRACT OF LAND SITUATE IN BERNALILLO COUNTY, NEW MEXICO, LOCATED IN SECTION 18, T.10N. R.3E., N.M.P.M., BEING U.S.R.S. TRACT 107-B AND TRACT 107-C ALONG WITH TRACT 106-A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE SOUTH CORNER OF TRACT 106-A BEING A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING A POINT ON THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W.;

THENCE, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID TRACT 106-A N. 38° 02' 47"W, A DISTANCE OF 55.26 FEET TO A MARKED CHISELED "X" ON THE GROUND;

THENCE, N.36° 58' 16"W., A DISTANCE OF 34.16 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE WEST CORNER OF SAID TRACT 107-B;

THENCE, LEAVING THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W. N.51° 44' 17"E., A DISTANCE OF 259.72 FEET ALONG THE NORTHWEST BOUNDARY LINE OF SAID TRACT 107-B TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 107-B;

THENCE, FROM SAID NORTH CORNER, S.41° 58' 41"E., A DISTANCE OF 50.73 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, N.55° 18' 41"E., A DISTANCE OF 0.62 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 106-A;

THENCE, S.41° 01' 56"E., A DISTANCE OF 23.64 FEET TO A POINT LYING ON THE WEST AND SOUTH RIGHT-OF WAY LINE OF 16TH STREET, N.W FOR AN ANGLE POINT ON THE NORTHEAST BOUNDARY LINE;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF 16TH STREET S.35°51' 25"E., A DISTANCE OF 27.02 FEET TO THE EAST CORNER OF SAID TRACT 106-A, MARKED BY A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, LEAVING THE SAID SOUTH RIGHT-OF-WAY LINE, S.54° 18' 13"W., A DISTANCE OF 264.88 FEET TO SAID SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, ALSO BEING THE POINT OF BEGINNING. SAID TRACT 107-B-1 CONTAINING 0.5767 ACRES OF LAND (25121.052 SQUARE FEET) MORE OR LESS.



CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395
ALBUQUERQUE, NM 87193
575-644-0250

Porquis, Dominick A.

From: Martin Vigil <VigilMartin@hotmail.com>
Sent: Tuesday, May 23, 2023 1:03 PM
To: Varela, Alan M.; Aranda, James M.; Planning Department; Maestas, Helen; jwolfey@cab; Webb, Robert L.; Renz-Whitmore, Mikaela J.; Iverson, Karen R.; Sanchez, Suzanna A.; Brunner, Terry; williegocheffs@yahoo.com; Carol Gladin; -Frances Garcia; CHRIS ISENGARD; Ted Cloak; Michael Valdez; vivalucia3; familia@gmail.com; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; dennis@fusion.org; lauren.clipp@gmail.com; myrandar102@gmail.com; vjliberatori@yahoo.com; johnhenryloan@icloud.com; downtown abq news; smshultz@cabq.gov; Morris, Petra; Lehner, Catalina L.; KAY Monaco; Webb, Cecilia; dbazen@cabq.gov
Subject: Traffic Imact Study Request
Follow Up Flag: Follow up
Flag Status: Flagged

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/23/23

Alan Varela,

The City of Albuquerque has a duty to ensure public health, safety, and welfare while planning for development/redevelopment projects. Other duties include corresponding with citizens with the same level of responsiveness and diligence you extend to developers like Jay Rembe. Failure to communicate results in disparate impact and discriminatory actions. If the City of Albuquerque is partnering with private developers for redevelopment projects, then all ADA guidelines must be adhered to (especially considering public taxpayer funds are subsidizing the project).

This letter serves as a formal request that a traffic impact study/analysis be conducted for the “Pearl Development” and its effect on:

1) 16th Street and Fruit (does not meet the Uniform Fire code of 20 unobstructed feet). At peak traffic times vehicles are parked on both sides of the street. We have confirmed there is only 14 feet of unobstructed feet with cars parked on both sides. CABQ has negligently refused to discuss this issue.

2) 16th Street has senior residents aged 75-95 years old. Lt. Chinchilla with the Fire Marshals Office has indicated “16th street is too narrow to allow traffic to flow north and south, likely one side of the street’s parking will be removed”. The majority of 16th Street residents do not have driveways and require on-street parking as close as possible because they use mobility devices.

3) The impact “The Pearl development” would have on the surrounding neighbor’s property residential/commercial including Manzano Day School and Central Ave residents.

Downtown Albuquerque News recently published an article about 16th Street residents David and Lilian Saiz (95 and 87 years old). They have lived on 16th Street since the 1960s, David faithfully worked for the railyards for 40 years. Albuquerque was able to grow largely because of the railroad system. David’s son William is retired from law enforcement. The Saiz family has dutifully served Albuquerque and contributed to our community. The Saiz family has faithfully paid their property taxes with the expectation that they would be able to enjoy their home in their elder years.

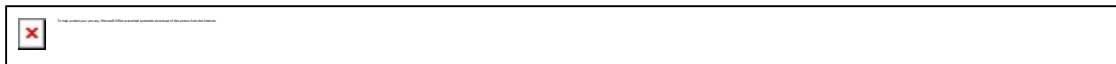
Allowing a 34-unit apartment complex only ingress/egress down a tiny residential street is not only negligent it is immoral when you consider its effect on disabled senior citizens of 16th street.

Regarding the traffic statement issued by James Aranda, there was no mention of substandard widths and the massive changes likely to occur to a pre-existing residential neighborhood. Most importantly James did not address the safety risks for the seniors who have lived on 16th Street and the dangerous road condition it would create. The statement also failed to identify that it is impossible for traffic to flow north/south at the same time because of the substandard width.

This letter serves as a formal request that the residents of the surrounding neighborhood would like an in-person meeting with you, and Mayor Keller at the proposed build site. If Mayor Keller cannot meet at the site a small group of neighbors will meet at his office.

I will send an additional email with neighbor's signatures once all are gathered. Anybody that was (CC) is welcome to contact me to discuss solutions or obtain more information.

He retired from the Rail Yards more than 30 years ago, but kept up a devotion to tight schedules



David and Lillian Saiz, at home in the Downtown Neighborhoods.

Railroads run on precise timing just as much as they run on steel, and so far as David Saiz is concerned, that sort of regimented scheduling was the secret to his considerable professional and personal success.

He started young: Born in 1927, he grew up in Barelás on Second Street between Pacific and Cromwell.

"My mother kept me going, fed me well - that's why I'm always on schedule," he said. "You always get on a schedule. Eat at the same time, sleep at the same time."

It was a constitution perfectly suited to a career working at the Santa Fe Locomotive Repair Shops, the complex of industrial buildings between Barelás and South Broadway we now call the Rail Yards. After working a series of odd jobs at a stationary store, a tortilla shop, and Presbyterian Hospital, opportunity knocked.

"I had a primo that told my mom that they were going to hire people at the shops and I went and

inquired," Saiz said.

He would work for the railroad for the next 40 years and five months, retiring around 1989, and over the decades he did all kinds of jobs around the sprawling complex. Saiz fixed roofs, maintained the water and electrical systems, drove a forklift, tended to cabooses, pumped water and diesel into trains, and put in a particularly long stint at [a plant located near Rio Bravo that made railroad ties](#).

Looking back, he seems positively elated to have had the job and a great collection of colleagues and supervisors: "They were wonderful people. I never gave them no trouble and they never gave me none," Saiz said. He celebrates his 95th birthday next month, but "If they would call me back to work right now I'd be there."

To be sure, staying at the shops for that long took something more than an agreeable personality and a good work ethic. The railroading labor market changed considerably over Saiz's tenure as high-maintenance steam locomotives gave way to more efficient diesel models. The railroad itself was also in the habit of moving various components of its operation around the country, sometimes leaving workers in the lurch.

"When word came out that there was going to be a layoff or they were closing down a certain shop then he would go out of his way to maneuver to another shop," son Willie Saiz said.

But it was well worth it. The wages were sufficient for David and wife Lillian Saiz to send Willie and two other children to private schools, including San Felipe de Neri and St. Pius.

"I was able to do that because the wages were amazing," David said. "Everything takes a little money."

The family moved to a quiet street just east of Duran Central Pharmacy in 1963. There Saiz figured out a precise route and departure time that would get him to the shops in the morning without hitting any red lights. He's still in that house, though the routines these days hew more toward favorite TV shows (Seinfeld, M*A*S*H, Andy Griffith), a nightly round of sudoku, going to bed at 10:45 p.m and rising at 7 a.m., give or take five minutes.

The precision still works for him after all these years: "That's why I feel good right now," Saiz said. "At my age, I've got a good appetite. I sleep like a bear. And I don't snore."

Porquis, Dominick A.

From: Martin Vigil <VigilMartin@hotmail.com>
Sent: Tuesday, July 11, 2023 12:56 PM
To: Aranda, James M.; Varela, Alan M.; Les Romaine; Carol Gladin; williegochefs@yahoo.com; -Frances Garcia; CHRIS ISENGARD; Webb, Robert L.; johnhenrysloan@icloud.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com
Subject: Traffic Impact Analysis/Study

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

7/11/23

James Aranda,

I was provided your response sent to my neighbor Carol Johnson. Over 40 neighbors have now signed the petition requesting a Traffic Impact Study for the Pearl Development. 100 percent of the surrounding neighbors are opposed to Jay Rembe's current proposed development. Before I address your assertion denying a TIA based on 100 vehicles during peak traffic hours, I will share tangible reasons why a Traffic Impact Analysis is warranted.

1. Traffic studies are warranted when there will be a drastic change to a pre-existing neighborhood.
2. Traffic studies are warranted when safety is an issue (especially concerning school zones). Our neighborhood is in a school zone and a massive number of parents park along Lomas and sub-streets and walk their children to school. The current plan is to have a 34 Unit apartment complex spill out onto a tiny residential street and out onto Lomas creating significant traffic that is dangerous to the parents/children. This is formal notice to Cease and Desist creating a dangerous road condition for the massive number of pedestrians that utilize Lomas to access Manzano Day School. I will be providing soon a petition from the parents/pedestrians of Manzano Day School.
3. You have been repeatedly informed about the safety impact of disabled seniors (aged 74-95) losing their ability to park in front of their homes.
4. This would be classified as a substandard design as it does not meet the 20-unobstructed feet clearance. It also violates the DPM driveway 5' minimum between adjacent property lines (on both sides).

Please provide any published literature/training materials regarding Traffic Impact Analysis. The Institute of Traffic Engineers (ITE) is the most widely accepted industry standard, (which is also repeatedly cited in CABQ planning documents and the Development Protocol Manual). According to the ITE Traffic Impact Analysis are warranted:

1. "There is an expectation of traffic congestion anticipated with a new development". I have illustrated to you repeatedly that vehicles cannot travel north/south at the same time (see attached photo).
2. "There is controversy with a neighborhood group or other citizens organization about the proposed project". You have full knowledge and disclosure that the entire neighborhood is against the proposed development with 40+ signatures. Upon information and belief, the Downtown Neighborhood Association has authored a letter expressing their concern and non-approval of the plan to utilize 16th Street for ingress/egress.
3. A development needs to go through an environmental review process.

More specific to our locale Bernalillo County Code states:

1. "Traffic Impact Analysis (TIA) may be required for subdivisions with 25 or more parcels, and apartment complexes and mobile home parks with 25 or more dwelling units".
2. "Whether a proposed development is residential or non-residential, a TIA may be required regardless of the minimum trip threshold to provide safe and efficient driveway access and to ensure pedestrian, and vehicle safety".

Your planning decisions have been arbitrary and capricious and do not coincide with industry standards. I can illustrate through IPRA that Jay Rembe has manipulated zoning codes, the IDO, the DPM, and the planning process to his benefit. I have repeatedly raised objections to his participation on certain boards (DPM Board, New Mexico League of Zoning Officials). CABQ has ignored these objections and allowed an abusive developer to corrupt the system.

The concept of 100 vehicles traveling during peak traffic hours assessment should not be the sole basis to deny our request for a TIA. You have been provided 8 reasons why a traffic study is not only suggested but required. As a planning professional, you have a duty to consider the safety and welfare of the citizens of Albuquerque. I respectfully suggest you consider apartment complexes have tenants that have spouses/significant others almost all have guests. Complexes have employees, maintenance, and deliveries. There is a massive amount of people who utilize sub-streets to park and walk to Manzano Day School.

There are many seniors on 16th Street who have serious illnesses. Most are retired/or on a fixed income. If a study is not initiated by 7/21/23 then I am considering paying for one on behalf of my senior neighbors and pursuing reimbursement through litigation. If an amicable solution cannot be reached by 7/21/23 I intend to file tort notice against you and Alan Varela to stop the repeated pattern of practice of capricious planning decisions that favor a manipulative developer to the detriment of the Citizens of Albuquerque. I have conducted IPRA requests and your emails illustrate you have two standards of care:

1. One towards developers like Jay Rembe (where you go into specific detail, provide solutions and workarounds, and contact colleagues on his behalf to attempt favorable solutions).
2. There are certain subjects you and Alan Varela refuse to provide responses to residents (in violation of the CABQ Code of Conduct). You failed to provide specific details of what will happen in regard to on-street parking for the senior/disabled residents on 16th Street. Your response to Carol is unsatisfactory and does not meet the standard of care you consistently provide to developers.
3. I can illustrate CABQ planning has engaged in intentional deceit and failure to disclose information to me and my neighbors. This allegation can be backed up by a combination of email admissions from Jay Rembe, and IPRA requests of planning department emails.
4. Instead of communicating with me (who wrote the traffic study request), you decided to email my neighbor Carol Johnson. Carol is 78 years old, and grieving the recent loss of her spouse/best friend. I respectfully suggest you self-reflect on your actions and how they might affect people.
5. There have been a few instances where you do provide appropriate/detailed responses (and I always commend you for that). Unfortunately, on the issues of importance, the repeated pattern of practice is either (no response, lack of details, or stonewalling).

I have repeatedly requested an in-person meeting with you and Alan Varela in good faith to find a solution. I have also suggested we utilize mediation. Both solutions have been ignored by you and Alan Varela. Alan Varela has failed to respond to some correspondence in excess of one year. Please forward this email to the current Traffic and Engineering Department Director along with a request for an in-person meeting with me and my neighbors.

Thanks,

Martin Vigil

6.

Porquis, Dominick A.

From: Varela, Alan M.
Sent: Thursday, July 13, 2023 3:14 PM
To: Aranda, James M.
Subject: FW: The Pearl apt development complex

James,
For the file.
Thank you,
Alan

-----Original Message-----

From: Carol Gladin <cgjabq@gmail.com>
Sent: Thursday, July 13, 2023 3:11 PM
To: Varela, Alan M. <avarela@cabq.gov>
Subject: The Pearl apt development complex

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

This is to express my opposition to the development plans to use 16th Street NW to access the 34 unit apt complex proposed for the 1600 and 1700 blocks of Central NW. I also request that a traffic impact study be conducted regarding this apt complex and the effect using 16th St to access it would have on the already existing neighbors living in the 200 and 300 blocks of 16th St NW.

Sent from my iPhone=

Porquis, Dominick A.

From: Carol Gladin <cgjabq@gmail.com>
Sent: Friday, July 14, 2023 10:25 AM
To: Aranda, James M.
Subject: The Pearl Apt Development Complex

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

This is to express my opposition to the development plans to use 16th street to access the subject 34 unit apartment complex. I also request that a traffic impact study be conducted. The 200 block of 16th Street is narrow and only 1/2 block long. It is part of Old Town and had the Acequia Madre ditch flowing next to it.

Sent from my iPhone=

Porquis, Dominick A.

From: Ted Cloak <tcloak@unm.edu>
Sent: Saturday, July 15, 2023 4:20 PM
To: Varela, Alan M.; Aranda, James M.
Subject: Mr. Rembe's "Pearl" 34-unit apartment complex proposal

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Gentlemen:

As the owner and resident of property near the intersection of 16th St NW and Fruit Ave NW, I strenuously object to Mr. Rembe's plan to have his parking lot debouch onto the end of 16th St. I think that if you visited our neighborhood you'd instantly see what a blow it would be to our way of life here.

At least, please undertake a traffic impact study before approving his plan.

Sincerely,

Ted Cloak

1613 Fruit Ave NW

505/243-5069

Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Monday, July 17, 2023 11:39 AM
To: Aranda, James M.
Cc: Varela, Alan M.; Biazar, Shahab; Armijo, Ernest M.; Biazar, Shahab; Chen, Tiequan; Webb, Robert L.; Grush, Matthew P.
Subject: FW: Traffic Impact Analysis/Study

Good morning James,

I am forwarding this thread to Ernest Armijo (our Transportation section head), Matt Grush (Transportation Engineer), and Shahab Biazar. It looks like Tiequan Chen was copied in the previous messages, but he's our Hydrology section head, and I believe this TIS inquiry pertains to Ernest, Matt, and Transportation rather than Tiequan and Hydrology.



Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Monday, July 17, 2023 10:59 AM
To: Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Les Romaine <les@arnmlawyers.com>; Melendez, Michelle <michellemelendez@cabq.gov>; Maestas, Helen <hmaestas@cabq.gov>; williegochefs@yahoo.com; Carol Gladin <cjjabq@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; Webb, Robert L. <rwebb@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>
Subject: Re: Traffic Impact Analysis/Study

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7/17/23

James Aranda,

Thank you for your swift response. Your email was vague and did not provide any substantial information. The repeated pattern of practice of not providing information is being documented. I am also documenting the hours or days/weeks spent trying to obtain basic information. My neighbors and I deserve clear and concise answers so they can make planning decisions related to health and disability. For instance, one of my neighbors is transitioning from a walker to a wheelchair. This is not an easy transition and requires planning.

Please provide a response:

1. Will CABQ/planning department initiate a Traffic Impact Analysis/Study?
2. What is the standard protocol when streets are too narrow for traffic to flow in opposite directions at the same time?
3. Lt. Chinchilla (Fire Marshals office planning division) indicated likely CABQ would remove parking on one side of the street. How come this is not being discussed with the seniors of my neighborhood aged 71-95 so they can plan for health and disability decisions?
4. Has CABQ ever allowed a large (34 unit) apartment complex only ingress/egress down a tiny residential R1 street? What is the special circumstance, that such a thing would even be considered on 16th street?
5. You stated, "all building/zoning codes will be followed". I can illustrate through IPRA Jay Rembe has corrupted the system to his benefit by sitting on various boards (DPM, NM League of Zoning Officials). Also, emails between CABQ employees and Jay Rembe reflect he changed definitions and MRA points systems he received financial benefit from. Who can I speak to about the corruption CABQ has allowed to take place?

I've lived in Albuquerque my entire life. I cannot think of one apartment complex that utilizes such an absurd idea. Aside from the oddity, it is unsafe and discriminatory towards the residents of 16th Street and surrounding R1 neighborhoods. This unprecedented move presents massive liability for CABQ, and violates simple common sense and safety standards.

Thanks,

Martin Vigil
505-659-1547

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Wednesday, July 12, 2023 4:17 PM
To: Carol Gladin <cjabq@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>
Subject: Fw: Traffic Impact Analysis/Study

From: Aranda, James M. <jmaranda@cabq.gov>
Sent: Wednesday, July 12, 2023 8:43 AM
To: Martin Vigil <VigilMartin@hotmail.com>; Varela, Alan M. <avarela@cabq.gov>; Les Romaine <les@arnmlawyers.com>; Carol Gladin <cjabq@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; -Frances Garcia <francesandrea9@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; johnhenrysloan@icloud.com <johnhenrysloan@icloud.com>; nori.brixenproperties@gmail.com <nori.brixenproperties@gmail.com>; scott.brixen@gmail.com <scott.brixen@gmail.com>
Cc: Webb, Robert L. <rwebb@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Chen, Tiequan

<tchen@cabq.gov>

Subject: RE: Traffic Impact Analysis/Study

Mr. Vigil,

Thank you very much for reaching out and providing your concerns regarding the proposed development at 16th and Central. As I have done with all correspondence received regarding this matter, I have provided your concerns to Development Review Services Staff and Building Safety Staff members—including our transportation engineer—so they continue to be aware of you and your neighbors’ concerns about the access/traffic/circulation impacts that will be generated by the proposed development. I’ve also discussed the concerns of neighborhood members at length with Building Safety, Development Review and Zoning staff and leadership.

Planning Department staff is aware of your specific concerns in addition to the potential traffic and access impacts associated with this project and through their review will ensure that the project complies with all applicable building/zoning codes and will ensure that any impacts are minimized and addressed by the developer.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

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Sent: Tuesday, July 11, 2023 12:56 PM

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Sent: Wednesday, July 12, 2023 8:43 AM
To: Martin Vigil <VigilMartin@hotmail.com>; Varela, Alan M. <avarela@cabq.gov>; Les Romaine <les@arnmlawyers.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; -Frances Garcia <francesandrea9@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; johnhenrysloan@icloud.com <johnhenrysloan@icloud.com>; nori.brixenproperties@gmail.com <nori.brixenproperties@gmail.com>; scott.brixen@gmail.com <scott.brixen@gmail.com>
Cc: Webb, Robert L. <rwebb@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>
Subject: RE: Traffic Impact Analysis/Study

Mr. Vigil,

Thank you very much for reaching out and providing your concerns regarding the proposed development at 16th and Central. As I have done with all correspondence received regarding this matter, I have provided your concerns to Development Review Services Staff and Building Safety Staff members—including our transportation engineer—so they continue to be aware of you and your neighbors’ concerns about the access/traffic/circulation impacts that will be generated by the proposed development. I’ve also discussed the concerns of neighborhood members at length with Building Safety, Development Review and Zoning staff and leadership.

Planning Department staff is aware of your specific concerns in addition to the potential traffic and access impacts associated with this project and through their review will ensure that the project complies with all applicable building/zoning codes and will ensure that any impacts are minimized and addressed by the developer.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Tuesday, July 11, 2023 12:56 PM

To: Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Les Romaine <les@arnmlawyers.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; -Frances Garcia <francesandrea9@gmail.com>; CHRIS ISENGARD <csisengard@msn.com>; Webb, Robert L. <rwebb@cabq.gov>; johnhenrysloan@icloud.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com

Subject: Traffic Impact Analysis/Study

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

7/11/23

James Aranda,

I was provided your response sent to my neighbor Carol Johnson. Over 40 neighbors have now signed the petition requesting a Traffic Impact Study for the Pearl Development. 100 percent of the surrounding neighbors are opposed to Jay Rembe's current proposed development. Before I address your assertion denying a TIA based on 100 vehicles during peak traffic hours, I will share tangible reasons why a Traffic Impact Analysis is warranted.

1. Traffic studies are warranted when there will be a drastic change to a pre-existing neighborhood.
2. Traffic studies are warranted when safety is an issue (especially concerning school zones). Our neighborhood is in a school zone and a massive number of parents park along Lomas and sub-streets and walk their children to school. The current plan is to have a 34 Unit apartment complex spill out onto a tiny residential street and out onto Lomas creating significant traffic that is dangerous to the parents/children. This is formal notice to Cease and Desist creating a dangerous road condition for the massive number of pedestrians that utilize Lomas to access Manzano Day School. I will be providing soon a petition from the parents/pedestrians of Manzano Day School.
3. You have been repeatedly informed about the safety impact of disabled seniors (aged 74-95) losing their ability to park in front of their homes.
4. This would be classified as a substandard design as it does not meet the 20-unobstructed feet clearance. It also violates the DPM driveway 5' minimum between adjacent property lines (on both sides).

Please provide any published literature/training materials regarding Traffic Impact Analysis. The Institute of Traffic Engineers (ITE) is the most widely accepted industry standard, (which is also repeatedly cited in CABQ planning documents and the Development Protocol Manual). According to the ITE Traffic Impact Analysis are warranted:

1. "There is an expectation of traffic congestion anticipated with a new development". I have illustrated to you repeatedly that vehicles cannot travel north/south at the same time (see attached photo).
2. "There is controversy with a neighborhood group or other citizens organization about the proposed project". You have full knowledge and disclosure that the entire neighborhood is against the proposed development with 40+ signatures. Upon information and belief, the Downtown Neighborhood Association has authored a letter expressing their concern and non-approval of the plan to utilize 16th Street for ingress/egress.
3. A development needs to go through an environmental review process.

More specific to our locale Bernalillo County Code states:

1. "Traffic Impact Analysis (TIA) may be required for subdivisions with 25 or more parcels, and apartment complexes and mobile home parks with 25 or more dwelling units".
2. "Whether a proposed development is residential or non-residential, a TIA may be required regardless of the minimum trip threshold to provide safe and efficient driveway access and to ensure pedestrian, and vehicle safety".

Your planning decisions have been arbitrary and capricious and do not coincide with industry standards. I can illustrate through IPRA that Jay Rembe has manipulated zoning codes, the IDO, the DPM, and the planning process to his benefit. I have repeatedly raised objections to his participation on certain boards (DPM Board, New Mexico League of Zoning Officials). CABQ has ignored these objections and allowed an abusive developer to corrupt the system.

The concept of 100 vehicles traveling during peak traffic hours assessment should not be the sole basis to deny our request for a TIA. You have been provided 8 reasons why a traffic study is not only suggested but required. As a planning professional, you have a duty to consider the safety and welfare of the citizens of Albuquerque. I respectfully suggest you consider apartment complexes have tenants that have spouses/significant others almost all have guests. Complexes have employees, maintenance, and deliveries. There is a massive amount of people who utilize sub-streets to park and walk to Manzano Day School.

There are many seniors on 16th Street who have serious illnesses. Most are retired/or on a fixed income. If a study is not initiated by 7/21/23 then I am considering paying for one on behalf of my senior neighbors and pursuing reimbursement through litigation. If an amicable solution cannot be reached by 7/21/23 I intend to file tort notice against you and Alan Varela to stop the repeated pattern of practice of capricious planning decisions that favor a manipulative developer to the detriment of the Citizens of Albuquerque. I have conducted IPRA requests and your emails illustrate you have two standards of care:

1. One towards developers like Jay Rembe (where you go into specific detail, provide solutions and workarounds, and contact colleagues on his behalf to attempt favorable solutions).
2. There are certain subjects you and Alan Varela refuse to provide responses to residents (in violation of the CABQ Code of Conduct). You failed to provide specific details of what will happen in regard to on-street parking for the senior/disabled residents on 16th Street. Your response to Carol is unsatisfactory and does not meet the standard of care you consistently provide to developers.
3. I can illustrate CABQ planning has engaged in intentional deceit and failure to disclose information to me and my neighbors. This allegation can be backed up by a combination of email admissions from Jay Rembe, and IPRA requests of planning department emails.
4. Instead of communicating with me (who wrote the traffic study request), you decided to email my neighbor Carol Johnson. Carol is 78 years old, and grieving the recent loss of her spouse/best friend. I respectfully suggest you self-reflect on your actions and how they might affect people.
5. There have been a few instances where you do provide appropriate/detailed responses (and I always commend you for that). Unfortunately, on the issues of importance, the repeated pattern of practice is either (no response, lack of details, or stonewalling).

I have repeatedly requested an in-person meeting with you and Alan Varela in good faith to find a solution. I have also suggested we utilize mediation. Both solutions have been ignored by you and Alan Varela. Alan Varela has failed to respond to some correspondence in excess of one year. Please forward this email to the current Traffic and Engineering Department Director along with a request for an in-person meeting with me and my neighbors.

Thanks,

Martin Vigil

6.

Porquis, Dominick A.

From: mlbowman41@q.com
Sent: Monday, July 17, 2023 12:01 PM
To: Aranda, James M.; Varela, Alan M.
Cc: vigilmartin@h0tmail.com
Subject: Rembe's apartment complex "The Pearl" on West Central

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I'm sending this email in support of my neighbors that live on the 16th street cul-de-sac. They oppose Rembe's 34 unit apartment, "The Pearl". It is not the building the neighbors object to, but the plan to have the tenant's exit and enter into the 16th street cul-de-sac. There will be only one gate designated for this. Could this mean there may be cars idling while waiting to enter or leave the complex?

Is there a traffic study planned? The cul-de sac is very narrow and some of the current residents have only street parking available. Could this hinder access
. for emergency vehicles?

Lastly, why would it cost Rembe \$800,000 more (for his project) to have tenant access from Central Ave? That's his reason for wanting access to the cul-de-sac.

Thank You for your attention to my concern,
Marilyn Bowman 1424 Fruit Ave. NW 87104

Porquis, Dominick A.

From: Martin Vigil <VigilMartin@hotmail.com>
Sent: Monday, September 11, 2023 3:48 PM
To: Webb, Robert L.; Carol Gladin; williegocheffs@yahoo.com
Subject: update

Follow Up Flag: Follow up
Flag Status: Flagged

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert,

Me and my neighbors hope your doing well! Can you please provide an update of any site plan, building permit hearings, or any hearings regarding the "The Pearl"? Also, are you aware of any hearings that have taken place recently that I was not aware of? Me and my neighbors respectfully request CABQ appoint somebody to keep my neighbors informed of any upcoming hearings/meetings.

Me and my neighbors have had a terrible time obtaining hearing information from other CABQ employees. You personally have been responsive and we appreciate that. I will be providing a response in the next day or two regarding the letter sent by CABQ attorney Nicole Sanchez.

Respectfully,

Martin
505-659-1547

Porquis, Dominick A.

From: Webb, Robert L.
Sent: Thursday, September 14, 2023 11:07 AM
To: Aranda, James M.; Sanchez, Nicole A.; Rodenbeck, Jay B.; Palmer, Jeffrey; Perez, James; Trujillo, Concetta M.
Subject: Neighborhood concern

Below is my response to Mr. Vigil.

This is in regards to 1701 Central. Multi-Family and office/retail project. This has been an ongoing issue, so I believe all of you are aware of it. But I wanted to send you a copy, just in case.

Thank you,

Robert



ROBERT WEBB
Senior Planner -
Development Review Services
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning

From: Webb, Robert L.
Sent: Thursday, September 14, 2023 11:02 AM
To: Martin Vigil <VigilMartin@hotmail.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com
Subject: RE: update

Hello Mr. Vigil.

Thank you for getting back with us. Very sorry for any delays and/or inconveniences. That is not our intention at all. I know how frustrating that can be though.

As staff we only have the ability to enforce the standards and guidelines. But do not have discretionary authority. But we do check and re-check that technical standards are being followed. Our interpretation of standards is generally on the stricter side where applicants need to demonstrate how they are meeting the requirements.

For this project I believe the only hearing that it went through was the platting actions to adjust property lines. That was with the DHO-Development Hearing Officer and that was completed. Previous to that the applicant went through a sketch plat, which is an informal process to help

gather next steps. I don't believe they will require a Site Plan approval before going to building permit.

Their next step is most likely going to building permit. I am outside of that process, but here are a couple contacts that can help. Also here is a public access link to check on active building permits.

Project web page link--

https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search

This is the division that controls the building permit—

***For verification of building permit info - Building Safety - 505-924-3320, or 505-924-3860, option #1.**

<https://www.cabq.gov/planning/building-safety-division>

Additional contacts--

Building Safety Applications Buildingsafetyapplications@cabq.gov

permitrequest@cabq.gov

Elliott, Laurie lelliott@cabq.gov

This is the division that will perform the zoning review within the building permit process—

***For verification of Zoning-land use requirements/restrictions/reviews/design— 505-924-3857, or 505-924-3860 option #4.**

Additional contacts—

Supervisor - Palmer, Jeffrey jppalmer@cabq.gov ;

Senior Code Enforcement - Trujillo, Concetta M. cmtrujillo@cabq.gov

I hope that helps.

Thank you,

Robert



ROBERT WEBB

Senior Planner -
Development Review Services
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>
Sent: Monday, September 11, 2023 3:48 PM
To: Webb, Robert L. <rwebb@cabq.gov>; Carol Gladin <cjabq@gmail.com>; williegochefs@yahoo.com
Subject: update

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Me and my neighbors have had a terrible time obtaining hearing information from other CABQ employees. You personally have been responsive and we appreciate that. I will be providing a response in the next day or two regarding the letter sent by CABQ attorney Nicole Sanchez.

Respectfully,

Martin
505-659-1547

Porquis, Dominick A.

From: Webb, Robert L.
Sent: Thursday, September 14, 2023 11:02 AM
To: 'Martin Vigil'; 'Carol Gladin'; 'williegocheffs@yahoo.com'
Subject: RE: update

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Additional contacts—

Supervisor - Palmer, Jeffrey jppalmer@cabq.gov ;

Senior Code Enforcement - Trujillo, Concetta M. cmtrujillo@cabq.gov

I hope that helps.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Martin Vigil <VigilMartin@hotmail.com>

Sent: Monday, September 11, 2023 3:48 PM

To: Webb, Robert L. <rwebb@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com

Subject: update

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Robert,

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Me and my neighbors have had a terrible time obtaining hearing information from other CABQ employees. You personally have been responsive and we appreciate that. I will be providing a response in the next day or two regarding the letter sent by CABQ attorney Nicole Sanchez.

Respectfully,

Martin
505-659-1547

Kenny Myers

From: Aranda, James M. <jmaranda@cabq.gov>
Sent: Thursday, February 9, 2023 9:26 AM
To: Kenny Myers
Cc: Vos, Michael J.; Webb, Robert L.
Subject: RE: 1701 Central: RA to MX-M parking

Importance: High

Kenny,

Thanks for your question. Per IDO Table 4-2-1, Paid Parking Lot and Parking Structures are not allowed in the R-1 zone. Paid Parking Lot is defined in IDO 14-16-7-1 as an area used to provide parking, as a commercial enterprise, for 4 or more motor vehicles for a fee. The term does not include a commercial parking structure that is a building primarily used for the provision of parking for a fee. Parking Structure is defined in IDO 14-16-7-1 as a multi-story structure or part of a multi-story building designed to accommodate motor vehicle parking spaces that are partially or completely enclosed, including podium parking, but not including a parking structure that is located underground or within the outer building envelope of another building. Parking structures are typically associated with Mixed-use and Non-residential development.

The parking area associated with your project is not a Paid Parking Lot or Parking Structure, thus is considered an accessory use to the multifamily component of the development, as it is necessary for off-street parking for the proposed use pursuant to the IDO. This being the case, the defining boundaries for all setbacks, buffers, and other use and dimensional standards would be from the property lines.

Respectfully,

JMA



JAMES M. ARANDA, MCRP

él/he/him/his

deputy director + zeo | planning department

o 505.924.3361

e jmaranda@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Monday, February 6, 2023 3:28 PM
To: Aranda, James M. <jmaranda@cabq.gov>
Subject: 1701 Central: RA to MX-M parking

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Afternoon, James.

Appreciate you taking the time out to speak to me this morning regarding our project. As discussed, based on our previous conversations, we designed the building with the understanding that because of the unique conditions of the site, that is, the misclassification of the rear of our site as R1 and not M as with the rest of the site, the defining boundaries for all setbacks, buffers, and other use and dimensional standards would be from the property lines. I want to confirm that this would be the case. This has particular bearing on the parking for our building. R1 excludes paid parking lots but does not reference any lots associated with residential units. We have designed the project to conform to all the dimensional standards related to the boundaries between an area of change and an area of conformity, along with all setback requirements.

Please let me know what you think.

Look forward to hearing from you.

All the best,

Kenneth Myers, RA
rembe urban design + development
1718 Central SW, Suite B
Albuquerque, NM 87104
518-364-9914

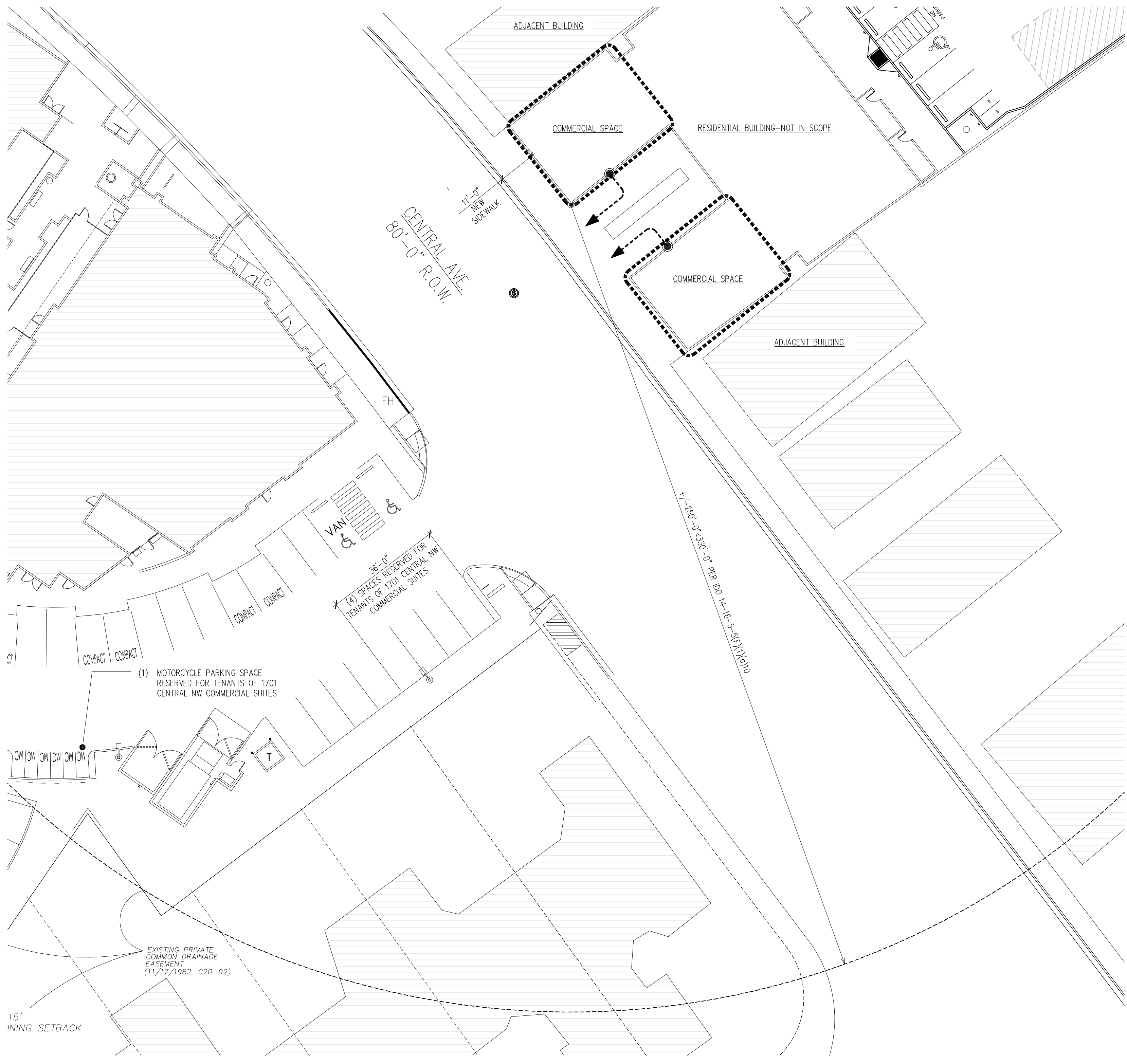
Parking Available						
Use per Table 5-5-3	Unit Count	Gross Square Footage	Space #	Parking Requirement per IDO	Actual Spaces per use	Required Spaces Per use
Residential unit	81		1	space per Dwelling Unit (DU) in UC-MS-PT	81	81
Office Space		13,317	2.5	Spaces per 1,000 GSF UC-MS-PT	33.2925	33
Restaurant/ Bar Tap Room		5,100	5	spaces per 1,000 GSF UC-MS-PT	25.5	25
Retail		2,537	2.5	Spaces per 1,000 GSF UC-MS-PT	6.3425	6
Total (Prior to application of credits and Reductions)					146.135	145
Reductions						
Shared Parking: 5-5(5)(b)-Table 5-5-3: Residential/ Office - 1.3: 81+33=114/1.3= 87 spaces+25+6= 118 spaces						118
Proximity to Transit: 5-5-C (5)(c): 30% reduction for proximity to transit stop=118-35=82 spaces						82
Total spaces required under current IDO guidelines						82 Spaces
Total spaces provided						159 Spaces
Required Motorcycle Parking Table 5-5-4						4 Spaces
Provide Motorcycle Parking						8 Spaces
Required Bicycle Parking per table 5-5-5						8 Spaces
Provided Bicycle Parking						92 Spaces

Residential Parking Calculations*	Unit Count	IDO notes	Total Req'd	Provided
Residential Units in MX-M, CPO-3	34	Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit =34	34	
		5-5(C)(5)(c) Reduction for Proximity to Transit=	23.8	
		5-5-C-6-a Electric Vehicle Charging Credit	22.8	
Total Residential Required			22	28
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 26-50 off street spaces one standard accessible space, and one van space required	2	2
MotorCycle	34	IDO, table 5-5-4: 1-25=1, 26-54= 2: required	2	2
bike	34	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	3.4	4 exterior, 16 interior
Commercial Parking Calculations**				
Commercial Office Space in MX-M, CPO-3	1846	IDO, table 5-5-2: Office in PT zone=2.5/ 1,000 sf.	4.615	
Total Commercial Parking Required			4	4 spaces provided**
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 1-25 off street spaces 1 van space required	1	1
MotorCycle	3	IDO, table 5-5-4: 1-25=1, 26-54= 1: required	1	1
bike	3	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	0.3	3 spaces provided

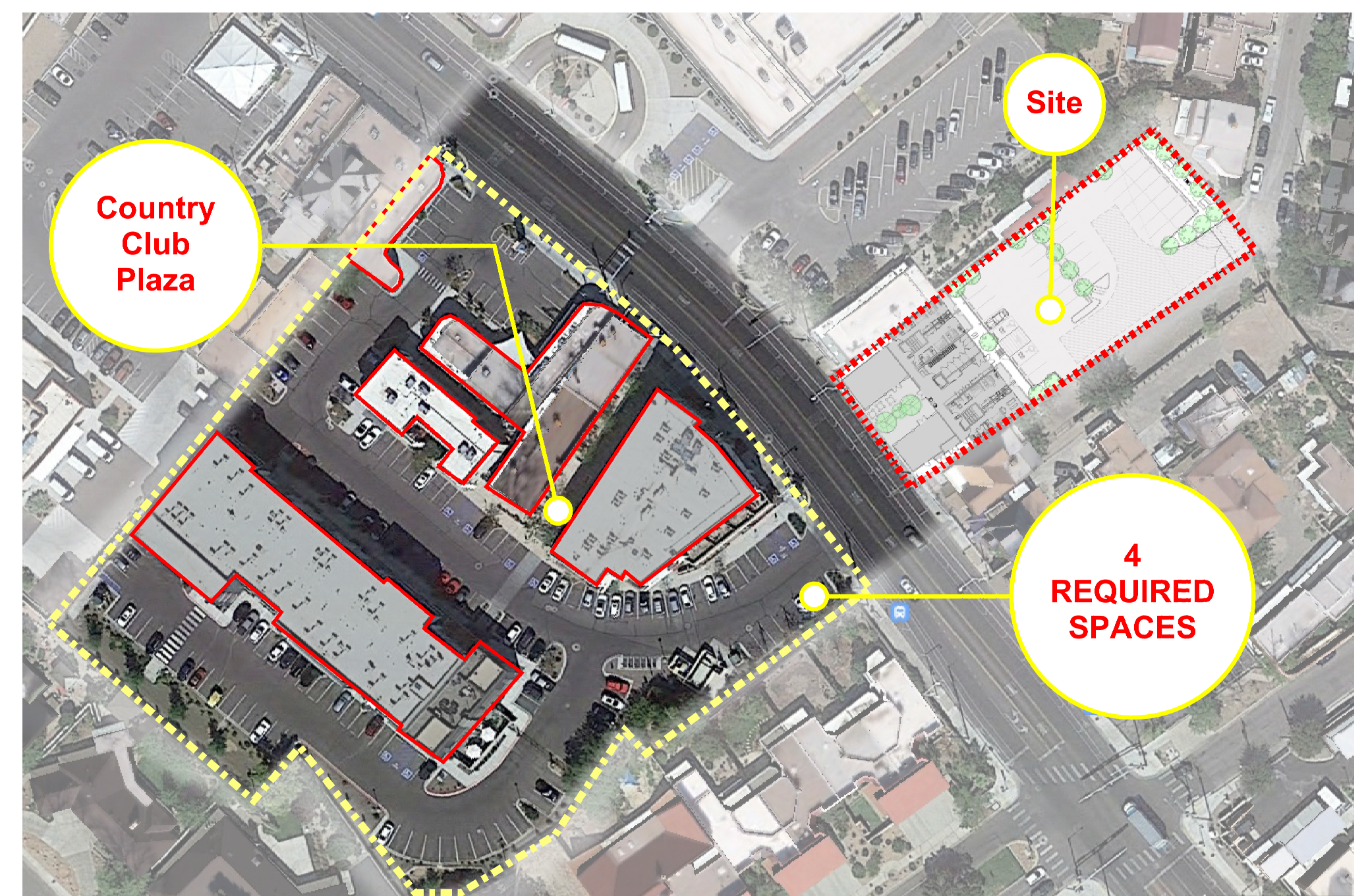
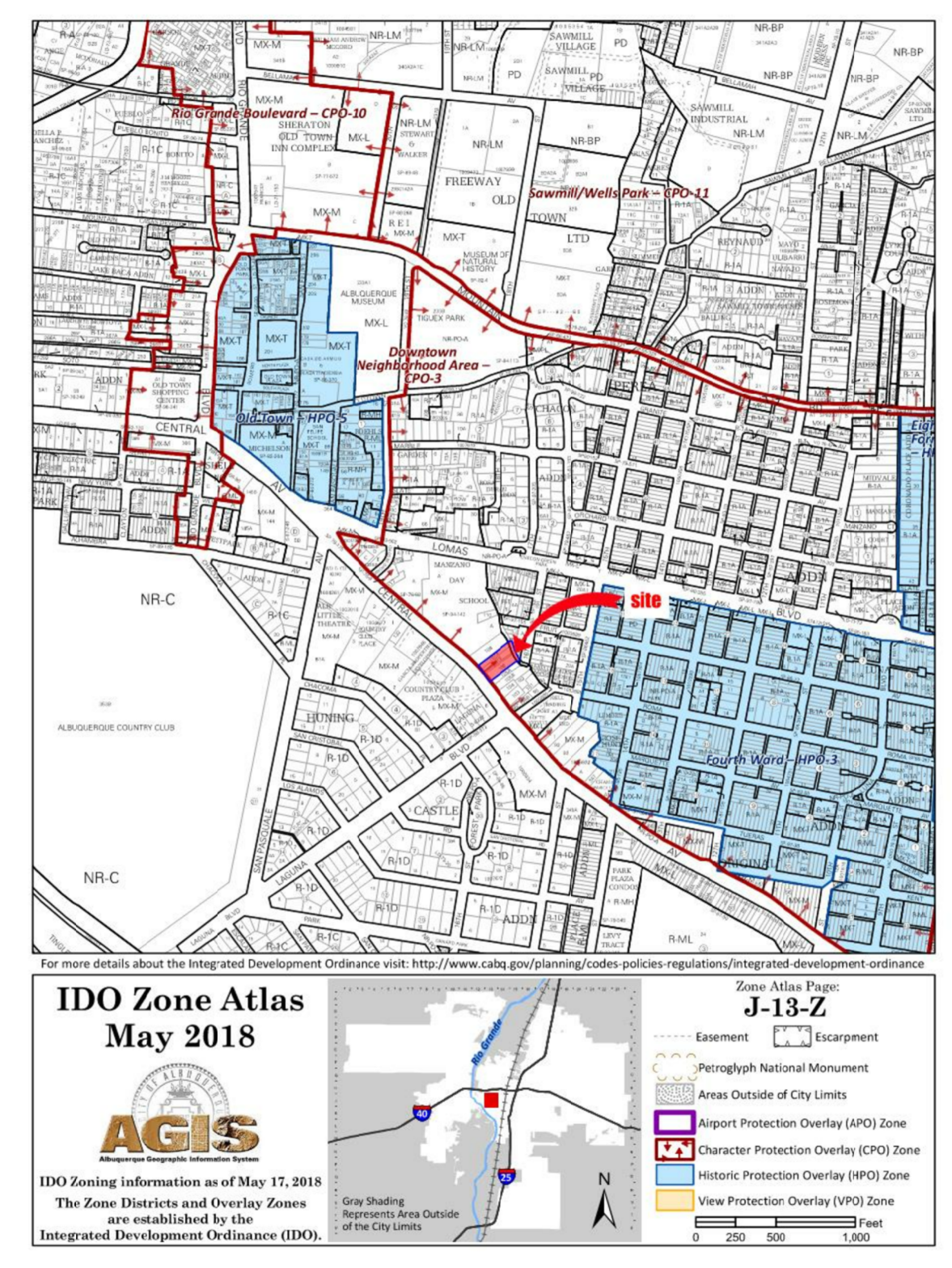
Notes:
 *Residential parking provided on site
 ** Commercial Parking provided through shared parking agreement at 1700 Central Ave. SW per IDO 5-5-F-1-b
 PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES- see sheet TCL2 for plan and calculations
 Per IDO 5-5-1-c Numbers are rounded down

Shared Parking Calculations	Spaces
Total spaces @ 1700 Central Ave. SW	159
Total Spaces Required for use @ 1700 Central	82
Total Spaces available for shared parking @ 1700 Central	77
Total Spaces Required for 1701 Central Commercial space	4

Notes:
 *Residential parking provided on site
 ** Commercial Parking provided through shared parking agreement at 1700 Central Ave. SW per IDO 5-5-F-1-b
 PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES

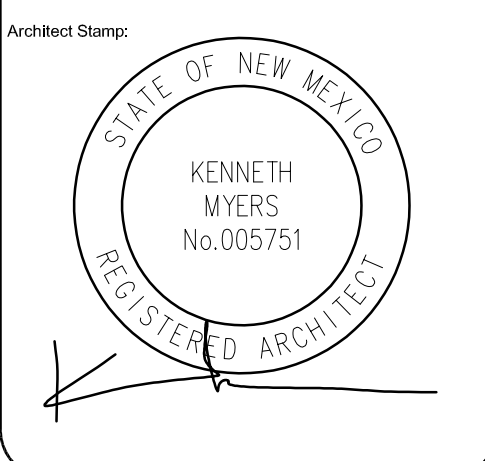


NORTH
A1 PARTIAL SITE PLAN: SHARED PARKING LAYOUT
 1"=20'-0"



NORTH
A2 VICINITY MAP AND LAYOUT
 NTS

The George | 34 Unit Apartment Building
 1701 CENTRAL AVE., NW
 ALBUQUERQUE, NM 87104



REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque, NM 87104
 t: 505-243-0188

Project:	CCP- THE GEORGE
Drawn By:	KMA
Checked By:	KMA
Phase:	PERMITTING
Date:	11/02/2023
Project Number:	2204

PARTIAL SITE PLAN:
 SHARED PARKING
 DIAGRAM

Sheet Number:
EXHIBIT 'A'

DO NOT SCALE DRAWINGS

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Friday, December 1, 2023 4:46 PM
To: Kenny Myers
Subject: FW: 1701 Central: Revised Shared parking Calculations
Attachments: Interpretation-14-16-3-4(D)(5)(a)2-Parking Access_8_2022.pdf; 2023-0209-IDO Parking-ZHE.pdf; 2023-1109-SHARED PARKING-EXHIBIT A.pdf

Good afternoon, Kenny,

I believe your Shared Parking Agreement meets all of the requirements. I did have some problems opening the Site Plan, Exhibit A, with the One-Drive link...not sure if you have other options for including that sheet. Get it signed and we will run it through for review. Upload what you have with the permit, and we can review the permit and get the signed copy uploaded later, or Conditionally approve the permit regarding that completion, if all else is approved. Let me know how you want to handle that.

As for the items attached above: I do not think they need to be added to the Shared Parking Agreement, but should definitely be added to your Building Permit submittal for explanation and justification of parking arrangements.

Finally, I have a question about the Tandem parking in the rear of the Residential lot – I do not recall that, and think it would be difficult to utilize. Is it needed to meet the required numbers? If not, please explain the reasoning for that.

Thanks, Kenny, for your patience! Have a great weekend!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers [mailto:design@rembedesign.com]
Sent: Thursday, November 9, 2023 4:08 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Revised Shared parking Calculations

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Kenny Myers has shared a OneDrive for Business file with you. To view it, click the link below.

 [2023-1109-SHARED PARKING-EXHIBIT A.pdf](#)

Jeff,

Thanks again for taking the time to talk with me this afternoon. I have attached here a copy of the revised Exhibit A which includes the break down of the parking requirements for the properties located at 1700 Central. In addition I have included the correspondence from James Aranda regarding the property and its unique zone situation, and access.

Please feel free to reach out to me if you have any additional questions. I am always available to discuss. I will be compiling a separate email with information related to Griegos Farms.

Again, really appreciate your time on this.

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the “applicant”) is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

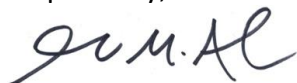
For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,



James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department

Porquis, Dominick A.

From: Montoya, Matthew
Sent: Thursday, December 7, 2023 10:01 AM
To: Palmer, Jeffrey
Cc: Sanchez, Nicole A.
Subject: Re: Shared Parking Agreement - 1701 & 1718 Central Av SW

Hello Mr. Palmer,

I do not believe this agreement is compliant. Specifically, this violates 14-16-5-5(C)(6)(e)(1); "The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, **except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use**" [emphasis added]

According to the [Ada.gov/topics/parking/](https://www.ada.gov/topics/parking/) —

Where parking spaces are limited to four or fewer spaces: one van accessible parking space must be provided. A sign identifying the accessible space is not required.

Further, on the ADA site, when the total number of parking spaces provided in a parking lot is 1-25, the minimum number of accessible parking spaces permitted is listed as "1."

Thus, there must be one van-accessible parking space provided on the site of the commercial building or use.

- _____

I understand this will be quite disappointing to the property owner, but it's out of our hands with the ADA.

Thank you,



Matthew Montoya
Assistant City Attorney
Property and Finance Division
o 505.768.3744
matthewmontoya@cabq.gov

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Monday, December 4, 2023 9:11 AM
To: Montoya, Matthew <matthewmontoya@cabq.gov>
Cc: Sanchez, Nicole A. <nasanchez@cabq.gov>
Subject: Shared Parking Agreement - 1701 & 1718 Central Av SW

Please review the attached Shared Parking Agreement for off-site parking to be shared, involving 1701 Central using 4 spaces on 1718 Central SW. Thank you!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Armijo, Ernest M.
Sent: Tuesday, January 9, 2024 3:48 PM
To: Martin Vigil; Carol Gladin; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abduinn@ablairdunn-esq.com
Subject: RE: The Pearl Project

Mr. Vigil,

Sorry for the delay in responding to you. I needed to check with other people so I could properly respond to your questions. Here are the replies:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur? – No building applications have been submitted, so no final approvals have been issued. The Fire Marshal’s Office reviewed and approved a Fire One Plan for the site on May 2, 2022 which will also be included in any subsequent Building Permit. On August 4, 2023, the applicant submitted a Traffic Circulation Layout (TCL) to our Transportation Engineering Division, they were given comments on August 10, 2023 to address. No resubmittal of the TCL has been made, so there are no official approvals of the TCL as of yet. A Grading & Drainage plan was reviewed and approved by our Hydrology Division on August 31, 2023. In my role as Principal Transportation Engineer, I do not have the authority to deny access to City right-of-way that fronts their property so long as there are no existing rules for limited or no access in place for the roadway. There are no such current rules in place for 16th Street.
2. Has your department been provided (Cease and Desist letters for creating a dangerous road condition, petition of neighbors opposing the project, request for a mediation conference/meeting to discuss the access issues)? – I am not aware of any official Cease and Desist orders, but Planning Staff has informed me that all pertinent documentation and information submitted by concerned neighbors have been included in the case file for the replat (which has been approved). Unless a cease-and-desist order were issued through the proposer legal channels, I would not be able to act on it other than forward it to City Legal. Any mediation/meeting should have been requested during the replat. The replat has already been approved, signed off, and recorded. The applicant is preparing for Building Permit. They have not yet applied for the permit and we have noted to inform you when this occurs so you may try meeting once an application is made.
3. Who have you spoke with in Planning/or other CABQ departments regarding the 16th St access issue? – I have spoken with Planning Staff on this, but only within the last few days as I didn’t realize there were issues with this site. All of them advised me that the surrounding neighbors have concerns about the traffic impacts of the proposed project. The IDO prohibits commercial access to 16th Street, but not residential access. Multifamily apartments are classified as a residential use in the IDO. The applicant has so far met the applicable City standards as to access off 16th Street.
4. I have sent various CABQ departments (photos, measurements) were these provided to you? – I have not personally received any, but I am familiar with the area and have reviewed aerial photos and street view photos of the area. After speaking with Planning Staff, they informed me that all pertinent documentation and information submitted by concerned neighbors have been included in the case file for the replat.

5. Have you considered AFR Lt. Antonio Chinchilla's assessment he provided last year that 16th St is too narrow for traffic to flow north/south at the same time, he indicated CABQ would likely remove parking on one side of the street". Lt. Chinchilla was assigned to the preliminary sketch plat. He also stated a skilled operator needs a minimum of 13 ft to squeeze into the proposed development (myself and none of my neighbors have ever disputed that). We are concerned with the traffic/flow and the dangerous road condition that would be created. – The Fire Marshall has approved the Fire One on this site. The Fire One plan is the plan that the Fire Marshall's office uses to determine if they have adequate access to site to respond to an emergency situation. Any other opinions have not been shared and should be only considered as such, opinions. The developer can only be required to address problems that their development is responsible for creating.

6. Have you reviewed the DPM rule that driveways must have 5' between driveways? Jay Rembe's proposed driveway does not meet that standard. – I am very familiar with the DPM and the purpose of the 5' between driveways is to allow a 5' flat area on the sidewalk for ADA accessibility. Currently there is no sidewalk at the drive adjacent to this property. Although, if there were a sidewalk at this portion of the cul-de-sac, the 5' spacing is not necessary because the mountable curb and sidewalk behind mountable curb do not dip to meet the roadway.



ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Friday, December 22, 2023 11:33 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: The Pearl Project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

12/22/23

Ernest Armijo,

Thank you for speaking with me and my neighbor Carol Johnson on 12/6/23. I hope you can clarify a few questions me and my neighbors have:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur?
2. Has your department been provided (Cease and Desist letters for creating a dangerous road condition, petition of neighbors opposing the project, request for a mediation conference/meeting to discuss the access issues)?
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6. Have you reviewed the DPM rule that driveways must have 5' between driveways? Jay Rembe's proposed driveway does not meet that standard.

My neighbors and I have sent over a dozen requests for a mediation conference/or informal meeting. CABQ has negligently ignored all requests. You have indicated CABQ will not be removing parking on one side of 16th St. If CABQ is certain of that stance then the legal standard is a written agreement. When are you or the CABQ legal department available to provide that for my neighbors?

My property stretches from Central to 16th St in the same manner Jay Rembe's does. My property has two tracts and I own ½ portion of the Abandoned Albuquerque Ditch. Bell Trading Post also quitclaimed to me their ½ portion. The rear tract is landlocked because CABQ has refused to provide formal access since around 2015. You can consult with Mellisa Lazoya regarding this issue:

1. My property has 4 units and I requested emergency use-only access. All requests were done via email and all were denied.
2. Jay Rembe has 34 units and is requesting sole ingress/egress for The Pearl.

If 16th St access is granted to Jay Rembe this is formal notice that I will be filing a complaint for damages for discriminatory and capricious planning decisions. I prefer CABQ stop ignoring requests for a meeting/mediation conference to hopefully reach an amicable resolution for all parties. This is also a formal request for a public hearing to be held for the Pearl Project.

Thanks,

Martin Vigil
505-659-1547

From: [Armijo, Ernest M.](#)
To: [Martin Vigil](#); [Carol Gladin](#); williegochefs@yahoo.com; [Les Romaine](#); warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Subject: RE: The Pearl Project
Date: Tuesday, January 9, 2024 3:48:08 PM

Mr. Vigil,

Sorry for the delay in responding to you. I needed to check with other people so I could properly respond to your questions. Here are the replies:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur? – No building applications have been submitted, so no final approvals have been issued. The Fire Marshal’s Office reviewed and approved a Fire One Plan for the site on May 2, 2022 which will also be included in any subsequent Building Permit. On August 4, 2023, the applicant submitted a Traffic Circulation Layout (TCL) to our Transportation Engineering Division, they were given comments on August 10, 2023 to address. No resubmittal of the TCL has been made, so there are no official approvals of the TCL as of yet. A Grading & Drainage plan was reviewed and approved by our Hydrology Division on August 31, 2023. In my role as Principal Transportation Engineer, I do not have the authority to deny access to City right-of-way that fronts their property so long as there are no existing rules for limited or no access in place for the roadway. There are no such current rules in place for 16th Street.
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ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Friday, December 22, 2023 11:33 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: The Pearl Project

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Thanks,

Martin Vigil
505-659-1547

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Friday, January 19, 2024 10:43 AM
To: Kenny Myers
Subject: FW: Shared Parking Agreement - 1701 & 1718 Central Av SW
Attachments: IDO - 14-16-5-5(C)(6)(d) and (e).pdf

Hello Kenny,

As we discussed this morning, below are the remarks from the City Attorney's office regarding the proposed Shared Parking Agreement. In short, it was deemed not in compliance with IDO 14-16-5-5(C)(6)(e)(1), regarding location of required ADA space(s) be located on the premise of the business.

Please review the options we discussed with Transportation, and get back to me with your proposed revisions, accordingly. Thank you.

Respectfully,



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Montoya, Matthew
Sent: Thursday, December 7, 2023 10:01 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Cc: Sanchez, Nicole A. <nasanchez@cabq.gov>
Subject: Re: Shared Parking Agreement - 1701 & 1718 Central Av SW

Hello Mr. Palmer,

I do not believe this agreement is compliant. Specifically, this violates 14-16-5-5(C)(6)(e)(1); "The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, **except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use**" [emphasis added]

According to the Ada.gov/topics/parking/ —

Where parking spaces are limited to four or fewer spaces: one van accessible parking space must be provided. A sign identifying the accessible space is not required.

Further, on the ADA site, when the total number of parking spaces provided in a parking lot is 1-25, the minimum number of accessible parking spaces permitted is listed as "1."

Thus, there must be one van-accessible parking space provided on the site of the commercial building or use.

- _____

I understand this will be quite disappointing to the property owner, but it's out of our hands with the ADA.

Thank you,



Matthew Montoya

Assistant City Attorney

Property and Finance Division

o 505.768.3744

matthewmontoya@cabq.gov

From: Palmer, Jeffrey <jppalmer@cabq.gov>

Sent: Monday, December 4, 2023 9:11 AM

To: Montoya, Matthew <matthewmontoya@cabq.gov>

Cc: Sanchez, Nicole A. <nasanchez@cabq.gov>

Subject: Shared Parking Agreement - 1701 & 1718 Central Av SW

Please review the attached Shared Parking Agreement for off-site parking to be shared, involving 1701 Central using 4 spaces on 1718 Central SW. Thank you!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

5-5(C)(6)(d) On-street Parking Credit

1. Any on-street parking space abutting the subject property may be counted as 1 required off-street parking space if the street does not have residential parking permit restrictions.
2. On-street parking spaces abutting the subject property shall be considered as located on the same lot for the purposes of Subsection 5-5(F)(1) (Location).
3. Each on-street parking space may only be counted once toward the parking requirements of the abutting lot, regardless of the number of individual buildings or tenants on the lot.
4. No development or use approved with an on-street parking credit shall be considered nonconforming if the on-street parking is later removed by City action and the remaining off-street parking does not meet the minimum off-street parking requirements of this Section 14-16-5-5.
5. On-street parking spaces credited for a specific use shall not be reserved for the exclusive use by customers, employees, or occupants of that use, but shall be available for general public use at all times. No signage or actions limiting general public use of on-street spaces shall be allowed.

5-5(C)(6)(e) Off-site Parking Credit

1. The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.
2. Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.

5-5(C)(7) Parking Maximums

- 5-5(C)(7)(a) In UC-MS-PT areas the maximum number of off-street parking spaces provided shall be no more than 175 percent of the off-street parking spaces required by Table 2-4-13 or Table 5-5-1, as applicable.
- 5-5(C)(7)(b) In areas exempt from minimum required off-street parking spaces pursuant to Subsection 14-16-5-5(B)(2)(a), the maximum number of off-street parking spaces provided shall be no more than 175 percent of the off-street parking spaces that would otherwise be required by Table 2-4-13 or Table 5-5-1, as applicable, for the proposed development.

Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Wednesday, February 14, 2024 11:33 AM
To: Aranda, James M.; Webb, Robert L.; Sanchez, Nicole A.
Subject: FW: Update regarding Pearl Project

Importance: High

I am checking POSSE to confirm if we have received a Site Plan Administrative / Building Permit application today, and will respond to all copied in the message below when I do.

From: Aranda, James M. <jmaranda@cabq.gov>
Sent: Wednesday, February 14, 2024 11:06 AM
To: vigilmartin@hotmail.com; cgjabq@gmail.com; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>
Subject: RE: Update regarding Pearl Project
Importance: High

Mr. Vigil,

Happy New Year! I sincerely apologize for the delay in response and thank you for your proposed solutions. Development Review Services (DRS) Planning Manager Jay Rodenbeck will serve as your designated point of contact for the Planning Department. You can reach out directly to him for project updates, and to discuss concerns, proposed solutions, and next steps in the process. He is cc'd on this response. You can contact Mr. Rodenbeck by phone: 505-924-3994 or email: jrodenbeck@cabq.gov.

Mr. Rodenbeck will provide final confirmation, but my understanding as of 2/9/2024 is that no submittals have been made for 1701 Central Ave NW. Pursuant to Subsection 14-16-6-5(G)(1)(f)2 of the IDO, the project meets the criteria for Site Plan – Administrative. Site Plan – Administrative applications are required with the submittal of a building permit. Because the approval process is administrative, staff does not have the authority to require a public meeting or hearing on the application.

Respectfully,

JMA

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Friday, February 2, 2024 12:39 PM
To: Planning Dev Help <devhelp@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Subject: Update regarding Pearl Project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

2/2/24

City of Albuquerque Site Plan Department,

Can you please provide an update regarding Jay Rembe's "The Pearl Project" located at 1701 Central Ave NW. Has a site plan been submitted? Will there be any public hearing regarding this development? The adjacent neighbors to this project are aged 72-96 years old (most are disabled). Here are a few possible solutions I have been offering since 2022:

1. A mediation conference with CABQ officials and several of my neighbors.
2. An Informal meeting would also be acceptable to start the process towards a resolution.
3. CABQ can appoint a designated person to keep me and my neighbors informed of what stage the development is, and the next steps. We are not receiving legal notices or surveys that are being used to change the characteristics of our neighborhood.

Communication has broken down entirely with several CABQ employees (which will be addressed with tort-notices). A designated employee to facilitate updates and discuss solutions would be beneficial to all parties to work towards a resolution. Past CABQ department directors have offered this solution for downtown neighborhood issues.

Thanks,

Martin Vigil
505-659-1547

Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Wednesday, February 14, 2024 11:59 AM
To: Aranda, James M.; vigilmartin@hotmail.com; cgjabq@gmail.com; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Cc: Webb, Robert L.; Sanchez, Nicole A.
Subject: RE: Update regarding Pearl Project

Good morning Mr. Vigil,

I can confirm that the Building Safety Division has **not** received a Site Plan Administrative / Building Permit application(s) for the address at 1701 Central Ave. NW. Once/if an application is received by the Building Safety Division and I receive confirmation of its/their receipt, I or another City staff member will inform you (Mr. Vigil) ASAP.



Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

From: Aranda, James M. <jmaranda@cabq.gov>
Sent: Wednesday, February 14, 2024 11:06 AM
To: vigilmartin@hotmail.com; cgjabq@gmail.com; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>
Subject: RE: Update regarding Pearl Project
Importance: High

Mr. Vigil,

Happy New Year! I sincerely apologize for the delay in response and thank you for your proposed solutions. Development Review Services (DRS) Planning Manager Jay Rodenbeck will serve as your designated point of contact for the Planning Department. You can reach out directly to him for project updates, and to discuss concerns, proposed solutions, and next steps in the process. He is cc'd on this response. You can contact Mr. Rodenbeck by phone: 505-924-3994 or email: jrodenbeck@cabq.gov.

Mr. Rodenbeck will provide final confirmation, but my understanding as of 2/9/2024 is that no submittals have been made for 1701 Central Ave NW. Pursuant to Subsection 14-16-6-5(G)(1)(f)2 of the IDO, the project meets the criteria for Site Plan – Administrative. Site Plan – Administrative applications are

required with the submittal of a building permit. Because the approval process is administrative, staff does not have the authority to require a public meeting or hearing on the application.

Respectfully,

JMA

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Friday, February 2, 2024 12:39 PM

To: Planning Dev Help <devhelp@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: Update regarding Pearl Project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

2/2/24

City of Albuquerque Site Plan Department,

Can you please provide an update regarding Jay Rembe's "The Pearl Project" located at 1701 Central Ave NW. Has a site plan been submitted? Will there be any public hearing regarding this development? The adjacent neighbors to this project are aged 72-96 years old (most are disabled). Here are a few possible solutions I have been offering since 2022:

1. A mediation conference with CABQ officials and several of my neighbors.
2. An Informal meeting would also be acceptable to start the process towards a resolution.
3. CABQ can appoint a designated person to keep me and my neighbors informed of what stage the development is, and the next steps. We are not receiving legal notices or surveys that are being used to change the characteristics of our neighborhood.

Communication has broken down entirely with several CABQ employees (which will be addressed with tort-notice). A designated employee to facilitate updates and discuss solutions would be beneficial to all parties to work towards a resolution. Past CABQ department directors have offered this solution for downtown neighborhood issues.

Thanks,

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505-659-1547

Porquis, Dominick A.

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From: Armijo, Ernest M.
Sent: Tuesday, March 5, 2024 10:30 AM
To: Webb, Robert L.; Rodenbeck, Jay B.; Aranda, James M.; Sanchez, Nicole A.
Subject: FW: The Pearl Project
Attachments: TrafficJam.jpg; DrivewayIllustration3vehicles.jpg; CompactCarAndMidSizeSUV.jpg

FYI

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Tuesday, March 5, 2024 10:25 AM
To: Armijo, Ernest M. <earmijo@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abduunn@ablairdunn-esq.com; williegochefs@yahoo.com; Carol Gladin <cgjabq@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; Michael Valdez <turtletays@gmail.com>; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry <mckinstrySusan@gmail.com>; lauren.clipp@gmail.com; dennis@fusionabq.org; Ted Cloak <tcloak@unm.edu>; myrandar102@gmail.com; vivalucia3 <vivalucia3@proton.me>; vjliberatori@yahoo.com; johnhenrysloan@icloud.com
Subject: Re: The Pearl Project

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I have attached several more photos illustrating:

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2. Residential units generally do not have elevators.
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4. Part of the discovery will include Jay Rembe's commercial loan...for his commercial 34-Unit apartment complex.

The City of Albuquerque has failed to consider or answer two questions:

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2. Under the hypothetical that Rembe's proposed development is built. After property damage/injuries occur because the street width is substandard is CABQ's solution to then remove parking on side of the street? This is what AFR Lt. Chinchilla had indicated would happen. What solution does CABQ propose for the inevitable scenario?

Your department has a duty towards the citizens of Albuquerque. This is formal notice that I will also begin filing disciplinary action against professional licenses for irresponsible design practice (Jay Rembe's Architect, CABQ Engineer). Feel free to share any steps you have taken that would indicate you are requiring Jay Rembe to design respectfully and safely and I will gladly stop disciplinary actions. If there is anything in this letter you feel you are not responsible for, then please provide the CABQ employee who is responsible for that duty.

Thanks,

Martin Vigil

From: Armijo, Ernest M. <earmijo@cabq.gov>

Sent: Tuesday, January 9, 2024 3:48 PM

To: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com

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Subject: RE: The Pearl Project

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Sorry for the delay in responding to you. I needed to check with other people so I could properly respond to your questions. Here are the replies:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur? – No building applications have been submitted, so no final approvals have been issued. The Fire Marshal’s Office reviewed and approved a Fire One Plan for the site on May 2, 2022 which will also be included in any subsequent Building Permit. On August 4, 2023, the applicant submitted a Traffic Circulation Layout (TCL) to our Transportation Engineering Division, they were given comments on August 10, 2023 to address. No resubmittal of the TCL has been made, so there are no official approvals of the TCL as of yet. A Grading & Drainage plan was reviewed and approved by our Hydrology Division on August 31, 2023. In my role as Principal Transportation Engineer, I do not have the authority to deny access to City right-of-way that fronts their property so long as there are no existing rules for limited or no access in place for the roadway. There are no such current rules in place for 16th Street.
2. Has your department been provided (Cease and Desist letters for creating a dangerous road condition, petition of neighbors opposing the project, request for a mediation conference/meeting to discuss the access issues)? – I am not aware of any official Cease and Desist orders, but Planning Staff has informed me that all pertinent documentation and information submitted by concerned neighbors have been included in the case file for the replat (which has been approved). Unless a cease-and-desist order were issued through the proposer legal channels, I would not be able to act on it other than forward it to City Legal. Any mediation/meeting should have been requested during the replat. The replat has already been approved, signed off, and recorded. The applicant is preparing for Building Permit. They have not yet applied for the permit and we have noted to inform you when this occurs so you may try meeting once an application is made.
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ERNEST ARMIJO, P.E., C.F.M.

principal engineer
transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Friday, December 22, 2023 11:33 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

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Porquis, Dominick A.

From: Ted Cloak <tcloak@unm.edu>
Sent: Tuesday, March 5, 2024 2:52 PM
To: Martin Vigil; Armijo, Ernest M.; Manzano, Daniel; Rodenbeck, Jay B.; Varela, Alan M.; Aranda, James M.; Webb, Robert L.; Les Romaine; warba.llp.jared@gmail.com; abduinn@ablairdunn-esq.com; williegocheffs@yahoo.com; Carol Gladin; -Frances Garcia; Edward Garcia; Michael Valdez; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry; lauren.clipp@gmail.com; dennis@fusionabq.org; myrandar102@gmail.com; vivalucia3; vjliberatori@yahoo.com; johnhenrysloan@icloud.com
Subject: RE: The Pearl Project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

This stinks to high heaven: **“The IDO prohibits commercial access to 16th Street, but not residential access. Multifamily apartments are classified as a residential use in the IDO.”** It would be interesting to know the history of that classification.

Ted

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Tuesday, March 05, 2024 10:25 AM
To: Armijo, Ernest M. <earmijo@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abduinn@ablairdunn-esq.com; williegocheffs@yahoo.com; Carol Gladin <cgjabq@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; Michael Valdez <turtletays@gmail.com>; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry <mckinstrysusan@gmail.com>; lauren.clipp@gmail.com; dennis@fusionabq.org; Ted Cloak <tcloak@unm.edu>; myrandar102@gmail.com; vivalucia3 <vivalucia3@proton.me>; vjliberatori@yahoo.com; johnhenrysloan@icloud.com
Subject: Re: The Pearl Project

You don't often get email from vigilmartin@hotmail.com. [Learn why this is important](#)

[EXTERNAL]

3//5/24

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The City of Albuquerque has failed to consider or answer two questions:

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From: Armijo, Ernest M. <earmijo@cabq.gov>
Sent: Tuesday, January 9, 2024 3:48 PM
To: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgiabq@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abdunn@ablairdunn-esq.com <abdunn@ablairdunn-esq.com>
Subject: RE: The Pearl Project

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ERNEST ARMIJO, P.E., C.F.M.
principal engineer
transportation
o 505.924.3991
e earmijo@cabq.gov
cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Friday, December 22, 2023 11:33 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Subject: The Pearl Project

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12/22/23

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meeting/mediation conference to hopefully reach an amicable resolution for all parties. This is also a formal request for a public hearing to be held for the Pearl Project.

Thanks,

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505-659-1547







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From: Julie King <jules1101@gmail.com>
Sent: Friday, March 8, 2024 6:47 PM
To: Ted Cloak
Cc: Martin Vigil; Armijo, Ernest M.; Manzano, Daniel; Rodenbeck, Jay B.; Varela, Alan M.; Aranda, James M.; Webb, Robert L.; Les Romaine; warba.llp.jared@gmail.com; abduunn@ablairdunn-esq.com; Williegocheffs@yahoo.com; Carol Gladin; -Frances Garcia; Edward Garcia; Michael Valdez; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry; lauren.clipp@gmail.com; dennis@fusionabq.org; myrandar102@gmail.com; vivalucia3; vjliberatori@yahoo.com; johnhenrysloan@icloud.com
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Hi Ernest,

My husband and I live at 305 16th St.

I agree with Ted's response. We, the homeowners, need the history on commercial vs residential access.

I also agree with everything Martin states and I can't feel more strongly that a traffic impact study is necessary.

Access to The Pearl via 16th St will not work. 1. When traveling west on Lomas, the left turn lane to 16th St (in its current state) is very short and dangerous, especially if more than one vehicle is attempting to turn. 2. It's dangerous and ill thought out to expect 16th St will be used by the apartment dwellers to go to and fro, in a safe manner. 16th is narrow and residents park on both sides of the street. Traffic is already increased by parents of Monzano School students on a routine basis. I don't think 16th St homeowners mind that. It's not every day and this added traffic is done by about 3pm, usually, and of course none on weekends, during school breaks, and summer. We DO mind residents of The Pearl accessing their homes via 16th St. All day, all night, every day, every night. Oh, let's not forget visitors to The Pearl. Again, more traffic.

3. Many residents are elderly, we being in our 70's. Adding additional traffic to 16th street is dangerous, negligent, and irresponsible to our well being.

I believe Jay Rembe may not have the homeowners' best interests in mind; unfortunately I don't believe the city is making decisions based on the safety of 16th St residents. I agree ABQ needs more rental opportunities. Why not convert abandoned buildings to lovely apartments??? If The Pearl is to move forward, access must be via Central.

Additionally, I believe a meeting is in order.

Thank you,
Julie and Bernie King

Sent from my iPhone

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<image001.jpg>

ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

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Sent: Friday, December 22, 2023 11:33 AM
To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>;
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I am certainly willing to meet concerning not using 16th St rather than Central to enter and exit the proposed apt development at the 1700 and 1800 blocks of Central. Please keep me advised when we can meet with those who will make this decision.

Sent from my iPhone

On Mar 8, 2024, at 11:00 PM, Dennis Gromelski <dennis@fusionabq.org> wrote:

All,

My wife and I have lived at 309 16th St. NW for 26 years. There is no question that an entrance to Jay Rembe's proposed new project will be injurious to one of Albuquerque's original neighborhoods. I am in full support of Downtown revitalization and my work life of the past 24 years speaks directly to those efforts. The Pearl's proposed access/egress via 16th St. is simply a really bad idea.

I appreciate the effort that Mr. Vigil has devoted to the cause. However, I am not a fan of the vitriol and ad hominem communications that are currently being levied, and frankly do not wish to be a party to such.

There is a better way to have this discussion, and that is to have an actual discussion.

Mr. Varela and all of the city employees that I see copied on this email, despite and because of the rancor being expressed over this project, I urge you to remain open and available to our neighborhood concerning this issue. The few neighbors that are copied on this email are only the tip of the iceberg. There is a groundswell of opposition to this project as it currently exists, and the concerns amongst the neighborhood residents and the neighborhood association are real and valid.

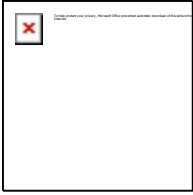
Julie, I wholly agree and propose a meeting between all involved to clear the air. I think all are eager to learn more from the ultimate decision-makers.

Mr. Varela et al, I urge you to consider agreeing to a meeting with our neighborhood members at the earliest possibility. I run a non-profit arts venue directly across the street from the Planning Department, and would be happy to host such a gathering. If amenable, perhaps Mr. Varela you and I could communicate directly regarding some potential meeting times, and then we could disseminate the invitation.

I hope I am not being presumptuous by offering this path to communication, but the time is past due for some affirmative action in regards to this divisive project.

Many thanks for your consideration,

Dennis Gromelski



Link [HERE](#) for the latest news / events.

On Fri, Mar 8, 2024 at 6:46 PM Julie King <jules1101@gmail.com> wrote:

Hi Ernest,

My husband and I live at 305 16th St.

I agree with Ted's response. We, the homeowners, need the history on commercial vs residential access.

I also agree with everything Martin states and I can't feel more strongly that a traffic impact study is necessary.

Access to The Pearl via 16th St will not work. 1. When traveling west on Lomas, the left turn lane to 16th St (in its current state) is very short and dangerous, especially if more than one vehicle is attempting to turn.

2. It's dangerous and ill thought out to expect 16th St will be used by the apartment dwellers to go to and fro, in a safe manner. 16th is narrow and residents park on both sides of the street. Traffic is already increased by parents of Monzano School students on a routine basis. I don't think 16th St homeowners mind that. It's not every day and this added traffic is done by about 3pm, usually, and of course none on weekends, during school breaks, and summer. We DO mind residents of The Pearl accessing their homes via 16th St. All day, all night, every day, every night. Oh, let's not forget visitors to The Pearl. Again, more traffic.

3. Many residents are elderly, we being in our 70's. Adding additional traffic to 16th street is dangerous, negligent, and irresponsible to our well being.

I believe Jay Rembe may not have the homeowners' best interests in mind; unfortunately I don't believe the city is making decisions based on the safety of 16th St residents. I agree ABQ needs more rental opportunities. Why not convert abandoned buildings to lovely apartments??? If The Pearl is to move forward, access must be via Central.

Additionally, I believe a meeting is in order.

Thank you,
Julie and Bernie King

Sent from my iPhone

On Mar 5, 2024, at 2:52 PM, Ted Cloak <tcloak@unm.edu> wrote:

This stinks to high heaven: **"The IDO prohibits commercial access to 16th Street, but not residential access. Multifamily apartments are classified as a residential use in the IDO."** It would be interesting to know the history of that classification.

Ted

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Tuesday, March 05, 2024 10:25 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; williegochefs@yahoo.com; Carol Gladin <cglabq@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; Michael Valdez <turtletays@gmail.com>; jules1101@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry <mckinstrysusan@gmail.com>; lauren.clipp@gmail.com; dennis@fusionabq.org; Ted Cloak <tcloak@unm.edu>; myrandar102@gmail.com; vivalucia3 <vivalucia3@proton.me>; vjliberatori@yahoo.com; johnhenrysloan@icloud.com

Subject: Re: The Pearl Project

You don't often get email from vigilmartin@hotmail.com. [Learn why this is important](#)

[EXTERNAL]

3//5/24

Ernest Armijo,

I still have not received a response to my email sent 1/22/24. I respectfully remind you this is a time-sensitive matter. Me and my neighbors requested a mediation conference and most importantly a written agreement that parking will not be removed on one side of 16th Street as AFR Lt. Chinchilla indicated. Also, please provide the Aug 10,2023 Traffic Circulation Comments (along with Jay Rembe's response). CABQ has refused to conduct a Traffic Impact Study/Analysis because the results would show this design lacks merit and is unsafe. Please respond to our Traffic Study request.

I have attached several more photos illustrating:

1. All that is needed is one car to be driving out of either Rembe or the Garcias property and a traffic jam will occur daily. Considering Rembe's proposed development is a 34-unit apartment complex the likelihood is guaranteed several times a day. 16th residents do not have driveways the only way to correct the traffic jam is multiple vehicles would need to travel over 100 feet in reverse.
2. Two driveways intersecting directly into each other is absurd and dangerous.
3. Please consult with Mellissa Lazoya, if Jay Rembe is allowed 16th St. access I too, would be given access utilizing my portion of The Old Albuquerque Ditch. This would be three driveways intersecting directly into each other. This concept has worked fine in our neighborhood that predates the 1900's. But dropping a 34-Unit Apartment complex into a R1 Zoned neighborhood is irresponsible and dangerous.

In response to your statement that the IDO defines MX-M apartments as residential. The IDO is not the final authority, in a civil lawsuit a fact finder such as a judge or jury is. The average jury member will likely agree that CABQ acted deceptively in calling a 34-Unit Apartment complex residential:

1. Industry standards including Bernalillo County define any property with five or more units it's commercial (including multifamily complexes).
2. Residential units generally do not have elevators.
3. CABQ has negligently allowed Jay Rembe to corrupt the system by allowing him to sit on multiple boards including the Development Protocol Manual which creates definitions. CABQ also allowed him to manipulate the MRA points system to his financial advantage. I can prove this through emails obtained legally through IPRA. Mayor Keller's office has negligently refused to address or investigate these allegations. CABQ employees have also provided exclusive advance notice to Jay Rembe for funding or government subsidy.
4. Part of the discovery will include Jay Rembe's commercial loan...for his commercial 34-Unit apartment complex.

The City of Albuquerque has failed to consider or answer two questions:

1. When a traffic jam occurs what is the solution for the drivers?
2. Under the hypothetical that Rembe's proposed development is built. After property damage/injuries occur because the street width is substandard is CABQ's solution to then remove parking on side of the street? This is what AFR Lt. Chinchilla had indicated would happen. What solution does CABQ propose for the inevitable scenario?

Your department has a duty towards the citizens of Albuquerque. This is formal notice that I will also begin filing disciplinary action against professional licenses for irresponsible design practice (Jay Rembe's Architect, CABQ Engineer). Feel free to share any steps you have taken that would indicate you are requiring Jay Rembe to design respectfully and safely and I will gladly stop disciplinary actions. If there is anything in this letter you feel you are not responsible for, then please provide the CABQ employee who is responsible for that duty.

Thanks,

Martin Vigil

From: Armijo, Ernest M. <earmijo@cabq.gov>
Sent: Tuesday, January 9, 2024 3:48 PM
To: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abdunn@ablairdunn-esq.com <abdunn@ablairdunn-esq.com>
Subject: RE: The Pearl Project

Mr. Vigil,

Sorry for the delay in responding to you. I needed to check with other people so I could properly respond to your questions. Here are the replies:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur? – **No building applications have been submitted, so no final approvals have been issued. The Fire Marshal's Office reviewed and**

approved a Fire One Plan for the site on May 2, 2022 which will also be included in any subsequent Building Permit. On August 4, 2023, the applicant submitted a Traffic Circulation Layout (TCL) to our Transportation Engineering Division, they were given comments on August 10, 2023 to address. No resubmittal of the TCL has been made, so there are no official approvals of the TCL as of yet. A Grading & Drainage plan was reviewed and approved by our Hydrology Division on August 31, 2023. In my role as Principal Transportation Engineer, I do not have the authority to deny access to City right-of-way that fronts their property so long as there are no existing rules for limited or no access in place for the roadway. There are no such current rules in place for 16th Street.

2. Has your department been provided (Cease and Desist letters for creating a dangerous road condition, petition of neighbors opposing the project, request for a mediation conference/meeting to discuss the access issues)? – I am not aware of any official Cease and Desist orders, but Planning Staff has informed me that all pertinent documentation and information submitted by concerned neighbors have been included in the case file for the replat (which has been approved). Unless a cease-and-desist order were issued through the proposer legal channels, I would not be able to act on it other than forward it to City Legal. Any mediation/meeting should have been requested during the replat. The replat has already been approved, signed off, and recorded. The applicant is preparing for Building Permit. They have not yet applied for the permit and we have noted to inform you when this occurs so you may try meeting once an application is made.

3. Who have you spoke with in Planning/or other CABQ departments regarding the 16th St access issue? – I have spoken with Planning Staff on this, but only within the last few days as I didn't realize there were issues with this site. All of them advised me that the surrounding neighbors have concerns about the traffic impacts of the proposed project. The IDO prohibits commercial access to 16th Street, but not residential access. Multifamily apartments are classified as a residential use in the IDO. The applicant has so far met the applicable City standards as to access off 16th Street.

4. I have sent various CABQ departments (photos, measurements) were these provided to you? – I have not personally received any, but I am familiar with the area and have reviewed aerial photos and street view photos of the area. After speaking with Planning Staff, they informed me that all pertinent documentation and information submitted by concerned neighbors have been included in the case file for the replat.

5. Have you considered AFR Lt. Antonio Chinchilla's assessment he provided last year that 16th St is too narrow for traffic to flow north/south at the same time, he indicated CABQ would likely remove parking on one side of the street". Lt. Chinchilla was assigned to the preliminary sketch plat. He also stated a skilled operator needs a minimum of 13 ft to squeeze into the proposed development (myself and none of my neighbors have ever disputed that). We are concerned with the traffic/flow and the dangerous road condition that would be created. – The Fire Marshall has approved the Fire One on this site. The Fire One plan is the plan that the Fire Marshall's office uses to determine if they have adequate access to site to respond to an emergency situation. Any other opinions have not been shared and should be only considered as such, opinions. The developer can only be required to address problems that their development is responsible for creating.

6. Have you reviewed the DPM rule that driveways must have 5' between driveways? Jay Rembe's proposed driveway does not meet that standard. – I am very familiar with the DPM and the purpose of the 5' between driveways is to allow a 5' flat area on the sidewalk for ADA accessibility. Currently there is no sidewalk at the drive adjacent to this property. Although, if there were a sidewalk at this portion of the cul-de-sac, the 5' spacing is not necessary because the mountable curb and sidewalk behind mountable curb do not dip to meet the roadway.

<image001.jpg>

ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Friday, December 22, 2023 11:33 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Carol Gladin <cgjabq@gmail.com>;

williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>;

warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: The Pearl Project

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

12/22/23

Ernest Armijo,

Thank you for speaking with me and my neighbor Carol Johnson on 12/6/23. I hope you can clarify a few questions me and my neighbors have:

1. Has your department approved using 16th St for access? If so, who approved those plans, and when did that occur?
2. Has your department been provided (Cease and Desist letters for creating a dangerous road condition, petition of neighbors opposing the project, request for a mediation conference/meeting to discuss the access issues)?

3. Who have you spoke with in Planning/or other CABQ departments regarding the 16th St access issue?
4. I have sent various CABQ departments (photos, measurements) were these provided to you?
5. Have you considered AFR Lt. Antonio Chinchillas assessment he provided last year that 16th St is too narrow for traffic to flow north/south at the same time, he indicated CABQ would likely remove parking on one side of the street". Lt. Chinchilla was assigned to the preliminary sketch plat. He also stated a skilled operator needs a minimum of 13 ft to squeeze into the proposed development (myself and none of my neighbors have ever disputed that). We are concerned with the traffic/flow and the dangerous road condition that would be created.
6. Have you reviewed the DPM rule that driveways must have 5' between driveways? Jay Rembe's proposed driveway does not meet that standard.

My neighbors and I have sent over a dozen requests for a mediation conference/or informal meeting. CABQ has negligently ignored all requests. You have indicated CABQ will not be removing parking on one side of 16th St. If CABQ is certain of that stance then the legal standard is a written agreement. When are you or the CABQ legal department available to provide that for my neighbors?

My property stretches from Central to 16th St in the same manner Jay Rembe's does. My property has two tracts and I own ½ portion of the Abandoned Albuquerque Ditch. Bell Trading Post also quitclaimed to me their ½ portion. The rear tract is landlocked because CABQ has refused to provide formal access since around 2015. You can consult with Mellisa Lazoya regarding this issue:

1. My property has 4 units and I requested emergency use-only access. All requests were done via email and all were denied.
2. Jay Rembe has 34 units and is requesting sole ingress/egress for The Pearl.

If 16th St access is granted to Jay Rembe this is formal notice that I will be filing a complaint for damages for discriminatory and capricious planning decisions. I prefer CABQ stop ignoring requests for a meeting/mediation conference to hopefully reach an amicable resolution for all parties. This is also a formal request for a public hearing to be held for the Pearl Project.

Thanks,

Martin Vigil

505-659-1547

From: [Aranda, James M.](#)
To: [cgjabq@gmail.com](#); [vigilmartin@hotmail.com](#); [williegochefs@yahoo.com](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [dennis@fusionabq.org](#); [jules1101@gmail.com](#); [tcloak@unm.edu](#)
Cc: [Rodenbeck, Jay B.](#); [Sanchez, Nicole A.](#); [Armijo, Ernest M.](#); [Webb, Robert L.](#)
Subject: RE: Mediation Request
Date: Monday, March 18, 2024 10:20:53 AM
Importance: High

Esteemed Neighbors of 16th Street:

Thank you all very much for expressing your concerns about the proposed development project known as the Pearl. Your correspondence has been included in the project file associated with the project. Development Review Services (DRS) Planning Manager Jay Rodenbeck is the designated point of contact for the Planning Department. You can contact Mr. Rodenbeck for project updates by phone: 505-924-3994 or email: jrodenbeck@cabq.gov. Mr. Rodenbeck will provide final confirmation, but as of 3/15/2024, no new submittals have been made for 1701/1623 Central Ave NW. The following project reviews have taken place thus far:

- A Fire One plan was approved by the Fire Marshal's Office in May 2022.
- In August 2022, the Zoning Enforcement Officer (ZEO) issued an interpretation based on the IDO's explicit prohibition of access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. The ZEO found that the prohibition does not extend to residential access to the aforementioned streets.
- A Lot Consolidation was approved by the Development Hearing Officer (DHO) in March 2023.
- A conceptual Traffic Circulation Layout (TCL) was submitted and comments from staff were provided to the applicant in August 2023.
 - No new TCL addressing staff comments has been submitted, therefore, there are no official TCL approvals yet.
- A Grading & Drainage Plan was approved by Hydrology in August 2023.

PUBLIC MEETING/HEARING REQUEST

Pursuant to Subsection 14-16-6-5(G)(1)(f)2. of the IDO, the project meets the criteria for Site Plan – Administrative, which will be submitted as a component of a building permit. Per IDO Subsections 14-16-6-4(B)(1)(b) and 14-16-6-4(L)(1)(a)1, Pre-Submittal Neighborhood Meetings and Post-Submittal Facilitated Meetings are required only when a project contains more than 100 multi-family dwelling units and/or more than 50,000 square feet of non-residential development. Staff does not have the authority to require a public meeting or public hearing on any application if the project does not meet the applicable IDO criteria.

Please be aware that pursuant to IDO 14-16-6-4(V), a final decision on the application may be appealed by any party with standing to the City Council through the Land Use Hearing Officer (LUHO) [IDO 14-16-6-4(V)(2)(a)]. The appeal of the zoning approval for the Site Plan must be filed with the Planning Department within 15 calendar days (excluding holidays) of issuance of the Building Permit.

RESIDENTIAL VS NON-RESIDENTIAL

Section 7-1 of the IDO defines Non-Residential Development as: "Development of allowable land uses on a property that includes no residential development." (IDO 7-1, page 559). Multi-Family

Residential Development is defined in the IDO as: “Residential development of multi-family dwellings or uses from the Group Living category (except small community residential facilities) in zone districts as allowed per Table 4-2-1. Properties that include both multi-family dwellings and low-density residential development are considered multi-family residential development for the purposes of this IDO. *Properties with other uses accessory to residential primary uses allowed per Table 4-2-1 are still considered multi-family residential development for the purposes of this IDO.*” IDO Table 4-2-1 explicitly categorizes multi-family dwellings as a Residential Use.

TRAFFIC IMPACT STUDY

The City’s Development Process Manual (DPM) includes criteria in Section 7-5(C)(2) to determine which activities warrant a Traffic Impact Study (TIS). A TIS can only be required if the following two conditions are met:

1. The project will generate more than 100 AM or PM peak hour trips per day and is located along Commuter Corridors or non-designated or “other” corridors.
2. The project will result in more than 100 AM or PM peak hour trips per day and is located in a Center or along a Corridor where the AM or PM peak hour volume-to-capacity ratios already exceed 0.5. Exceptions include Downtown, Urban Centers, Premium Transit station areas, and Main Street Corridors.

According to the ITE Trip Generation Manual, the traffic that a development of this size (34 units) would generate would be far below the 100-trip threshold, thus unfortunately, staff does not have the authority to require a TIS as you have requested. Generally speaking, it takes an apartment complex of approximately 245 units to meet this threshold.

MEDIATION REQUEST

City staff do not determine where specific development projects are proposed and are not the applicant in this particular case. Furthermore, staff do not advocate on behalf of a particular project or applicant. Staff’s responsibility in the process is to ensure that all rules, regulations and procedures are upheld, and to review the application upon submittal to ensure that all aspects of the project meet the applicable provisions of the zoning code, DPM and Building Code. In conclusion, I strongly encourage you to establish a line of communication with the applicant and request a public meeting and/or mediation conference to discuss your neighborhood’s concerns about the development project’s impacts on 16th Street, and to explore potential paths forward.

Respectfully,

JMA

JAMES M. ARANDA, MCRP
deputy director
jmaranda@cabq.gov
cabq.gov/planning

From: Carol Gladin <cgjabq@gmail.com>

Sent: Thursday, March 14, 2024 7:33 AM

To: Martin Vigil <vigilmartin@hotmail.com>

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: Re: Mediation Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I join Martin in requesting a mediation conference. Accessing this 34 unit apt complex solely from our narrow, residential street (the 200 and 300 blocks of 16th NW) is not possible. Carol Johnson at 233 16th St, NW.
Sent from my iPhone

On Mar 13, 2024, at 6:26 PM, Martin Vigil <vigilmartin@hotmail.com> wrote:

3/13/24

Jay Rodenbeck,

Thank you for your email sent on 2/14/24. I apologize for the delay in responding. As you have been CC on the recent communications with various employees, it has become apparent the back-and-forth interactions are not leading to a resolution or clarification. I and my neighbors have spent a considerable amount of time speaking with different departments (planning, building permits, DRB, traffic and engineering, MRGCD). But so far nobody has taken responsibility for certain issues. I will be filing tort, and some of my neighbors are considering filing tort notice regarding some key issues:

1. Which CABQ employee decided to allow access on 16th St?
2. Why have requests for a mediation conference been ignored?
3. Which CABQ employee decided to not conduct a Traffic Impact Study/Analysis?

So far employees regularly shift responsibility back in forth to other departments. Please identify the employees and we can begin additional legal remedies, and avoid the counter-productive back and forth.

If you have any suggestions to resolve some of the issues, I welcome any ideas. At this time, I think a mediation conference would be beneficial to all parties.

Thanks,

Martin Vigil

Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Monday, March 25, 2024 4:07 PM
To: cgjabq@gmail.com; vigilmartin@hotmail.com; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; dennis@fusionabq.org; jules1101@gmail.com; tcloak@unm.edu; dennis@fusionabq.org; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com
Cc: Aranda, James M.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.; Elliott, Laurie; Perez, James; Rodenbeck, Jay B.
Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Attachments: RE_Mediation Request.pdf
Importance: High

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

I will provide status updates on the Building Permit/Site Plan Administrative application to everyone copied in this message as I can and as I receive them from other staff.

To inquire about any status updates and/or information regarding the Building Permit/Site Plan Administrative application with the Building Safety Division directly, you can contact the Building Safety Division permit counter for status updates and/or information at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address noted above) at:
https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.

For your information, I have also attached correspondence sent by the Deputy Director (of the Planning Department) James Aranda on March 18th, 2024 to many of you copied in this message, which provides information regarding the following:

1. Facilitated meeting process.
2. Appeal process.
3. Definition of residential vs. non-residential per the IDO.
4. Information on when a Traffic Impact Study can be required.
5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:

LMS Online (OCI) - Building Permit BP-2024-10295 (In E-Review)

https://posse.cabq.gov/posse/pub/lms/Default.aspx?PossePresentation=Public&PosseObjectId=200421814

Building Permit BP-2024-10295 (In E-Review)

Status: In E-Review Application Date: Mar 20, 2024
 Issue Date:
 Completed Date:
 Expiration Date:

Description: Commercial - Apartment - New Building

Details Inspections

DETAILS

Type of Building Permit: Commercial
 Location: 1701 CENTRAL AV NW, Albuquerque, NM
 Specific Location:
 Work Description: New 4 story 34 unit apartment building with small commercial component on first floor
 Type of Work: (None)
 Type of Structure: Apartment Number of Units:
 Other:

RELATED INFORMATION

Type	Description
Building Occupancy	Occupancy: R-2 Residential (>2 Dwellings) 26547 Sq. Ft.
Building Contractor	REMBE URBAN DESIGN AND DEVELOPMENT Phone: (505) 243-0188, No License Numbers

PARCELS

Parcel ID	Address	Net Acres
10-130-5827814431111	1701 CENTRAL AV NW, Albuquerque, NM	0.17
10-130-5828014231110	1701 CENTRAL AV NW, Albuquerque, NM	0.09
10-130-5828114131109	1701 CENTRAL AV NW, Albuquerque, NM	0.04
Total Area:		0.3

OWNER / TENANT

Name: Silver Lofts, LLC



Jay Rodenbeck
 Planning Manager
 Development Review Services
 o (505) 924-3994
 c (505) 553-0682
 e jrodenbeck@cabq.gov
cabq.gov/planning

From: [Julie King](#)
To: [Rodенbeck, Jay B.](#)
Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Date: Monday, March 25, 2024 4:31:46 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Thanks for the update, Jay.

My simple question remains: why is entry to the 34 unit apartment complex at 1701 Central Ave not being accessed via Central Ave? Can you please provide explanation?

There is nothing positive to come of this for our neighborhood.

Thank you,

Julie and Bernie King
305 16th St NW

Sent from my iPhone

On Mar 25, 2024, at 4:07 PM, Rodенbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

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1. Facilitated meeting process.
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5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:

<image002.jpg>

<image004.jpg>

Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

<RE_ Mediation Request.pdf>

From: [Aranda, James M.](#)
To: [cgjabq@gmail.com](#); [vigilmartin@hotmail.com](#); [williegochefs@yahoo.com](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [dennis@fusionabq.org](#); [jules1101@gmail.com](#); [tcloak@unm.edu](#)
Cc: [Rodenbeck, Jay B.](#); [Sanchez, Nicole A.](#); [Armijo, Ernest M.](#); [Webb, Robert L.](#)
Subject: RE: Mediation Request
Date: Monday, March 18, 2024 10:20:53 AM
Importance: High

Esteemed Neighbors of 16th Street:

Thank you all very much for expressing your concerns about the proposed development project known as the Pearl. Your correspondence has been included in the project file associated with the project. Development Review Services (DRS) Planning Manager Jay Rodenbeck is the designated point of contact for the Planning Department. You can contact Mr. Rodenbeck for project updates by phone: 505-924-3994 or email: jrodenbeck@cabq.gov. Mr. Rodenbeck will provide final confirmation, but as of 3/15/2024, no new submittals have been made for 1701/1623 Central Ave NW. The following project reviews have taken place thus far:

- A Fire One plan was approved by the Fire Marshal's Office in May 2022.
- In August 2022, the Zoning Enforcement Officer (ZEO) issued an interpretation based on the IDO's explicit prohibition of access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. The ZEO found that the prohibition does not extend to residential access to the aforementioned streets.
- A Lot Consolidation was approved by the Development Hearing Officer (DHO) in March 2023.
- A conceptual Traffic Circulation Layout (TCL) was submitted and comments from staff were provided to the applicant in August 2023.
 - No new TCL addressing staff comments has been submitted, therefore, there are no official TCL approvals yet.
- A Grading & Drainage Plan was approved by Hydrology in August 2023.

PUBLIC MEETING/HEARING REQUEST

Pursuant to Subsection 14-16-6-5(G)(1)(f)2. of the IDO, the project meets the criteria for Site Plan – Administrative, which will be submitted as a component of a building permit. Per IDO Subsections 14-16-6-4(B)(1)(b) and 14-16-6-4(L)(1)(a)1, Pre-Submittal Neighborhood Meetings and Post-Submittal Facilitated Meetings are required only when a project contains more than 100 multi-family dwelling units and/or more than 50,000 square feet of non-residential development. Staff does not have the authority to require a public meeting or public hearing on any application if the project does not meet the applicable IDO criteria.

Please be aware that pursuant to IDO 14-16-6-4(V), a final decision on the application may be appealed by any party with standing to the City Council through the Land Use Hearing Officer (LUHO) [IDO 14-16-6-4(V)(2)(a)]. The appeal of the zoning approval for the Site Plan must be filed with the Planning Department within 15 calendar days (excluding holidays) of issuance of the Building Permit.

RESIDENTIAL VS NON-RESIDENTIAL

Section 7-1 of the IDO defines Non-Residential Development as: "Development of allowable land uses on a property that includes no residential development." (IDO 7-1, page 559). Multi-Family

Residential Development is defined in the IDO as: “Residential development of multi-family dwellings or uses from the Group Living category (except small community residential facilities) in zone districts as allowed per Table 4-2-1. Properties that include both multi-family dwellings and low-density residential development are considered multi-family residential development for the purposes of this IDO. *Properties with other uses accessory to residential primary uses allowed per Table 4-2-1 are still considered multi-family residential development for the purposes of this IDO.*” IDO Table 4-2-1 explicitly categorizes multi-family dwellings as a Residential Use.

TRAFFIC IMPACT STUDY

The City’s Development Process Manual (DPM) includes criteria in Section 7-5(C)(2) to determine which activities warrant a Traffic Impact Study (TIS). A TIS can only be required if the following two conditions are met:

1. The project will generate more than 100 AM or PM peak hour trips per day and is located along Commuter Corridors or non-designated or “other” corridors.
2. The project will result in more than 100 AM or PM peak hour trips per day and is located in a Center or along a Corridor where the AM or PM peak hour volume-to-capacity ratios already exceed 0.5. Exceptions include Downtown, Urban Centers, Premium Transit station areas, and Main Street Corridors.

According to the ITE Trip Generation Manual, the traffic that a development of this size (34 units) would generate would be far below the 100-trip threshold, thus unfortunately, staff does not have the authority to require a TIS as you have requested. Generally speaking, it takes an apartment complex of approximately 245 units to meet this threshold.

MEDIATION REQUEST

City staff do not determine where specific development projects are proposed and are not the applicant in this particular case. Furthermore, staff do not advocate on behalf of a particular project or applicant. Staff’s responsibility in the process is to ensure that all rules, regulations and procedures are upheld, and to review the application upon submittal to ensure that all aspects of the project meet the applicable provisions of the zoning code, DPM and Building Code. In conclusion, I strongly encourage you to establish a line of communication with the applicant and request a public meeting and/or mediation conference to discuss your neighborhood’s concerns about the development project’s impacts on 16th Street, and to explore potential paths forward.

Respectfully,

JMA

JAMES M. ARANDA, MCRP
deputy director
jmaranda@cabq.gov
cabq.gov/planning

From: Carol Gladin <cgjabq@gmail.com>

Sent: Thursday, March 14, 2024 7:33 AM

To: Martin Vigil <vigilmartin@hotmail.com>

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com

Subject: Re: Mediation Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I join Martin in requesting a mediation conference. Accessing this 34 unit apt complex solely from our narrow, residential street (the 200 and 300 blocks of 16th NW) is not possible. Carol Johnson at 233 16th St, NW.

Sent from my iPhone

On Mar 13, 2024, at 6:26 PM, Martin Vigil <vigilmartin@hotmail.com> wrote:

3/13/24

Jay Rodenbeck,

Thank you for your email sent on 2/14/24. I apologize for the delay in responding. As you have been CC on the recent communications with various employees, it has become apparent the back-and-forth interactions are not leading to a resolution or clarification. I and my neighbors have spent a considerable amount of time speaking with different departments (planning, building permits, DRB, traffic and engineering, MRGCD). But so far nobody has taken responsibility for certain issues. I will be filing tort, and some of my neighbors are considering filing tort notice regarding some key issues:

1. Which CABQ employee decided to allow access on 16th St?
2. Why have requests for a mediation conference been ignored?
3. Which CABQ employee decided to not conduct a Traffic Impact Study/Analysis?

So far employees regularly shift responsibility back in forth to other departments. Please identify the employees and we can begin additional legal remedies, and avoid the counter-productive back and forth.

If you have any suggestions to resolve some of the issues, I welcome any ideas. At this time, I think a mediation conference would be beneficial to all parties.

Thanks,

Martin Vigil

From: [Martin Vigil](#)
To: [Rodenbeck, Jay B.](#); [Carol Gladin](#); [williegocheffs@yahoo.com](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [jules1101@gmail.com](#); [tloak@unm.edu](#); [francesandrea9@gmail.com](#); [emg.abq7@gmail.com](#); [nori.brixenproperties@gmail.com](#); [scott.brixen@gmail.com](#); [turtletays@gmail.com](#); [murphymjb@gmail.com](#); [paxrasmussen@gmail.com](#); [mckinstryusan@gmail.com](#); [lauren.cipp@gmail.com](#); [myrandar102@gmail.com](#); [vivalucia3@proton.me](#); [villiberatori@yahoo.com](#); [johnhenrysloan@icloud.com](#); [info@tbirdinc.com](#); [Aranda, James M.](#); [Sanchez, Nicole A.](#); [Armijo, Ernest M.](#); [Webb, Robert L.](#); [Elliott, Laurie](#); [Roseman, Melissa](#); [Perez, James](#)
Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Date: Wednesday, March 27, 2024 3:20:01 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

3/27/24

Jay Rodenbeck,

Thank you for the update, it is much appreciated. Can you please send the site plan application submitted by Jay Rembe? I tried locating it by using the building permit search function yesterday but the system was down. In consideration that this is a time-sensitive matter, NextRequest is not an option.

My neighbors and I have a few questions:

1. Has the site plan application been approved by the Development Facilitation Team?
2. Is there an appeals process for the site plan itself, or just the building permit?

I requested the Traffic Circulation Layout application/comments from Ernest Armijo (CABQ Engineer) via email on 3/5/24. I still have not received a response. I also sent Ernest Armijo an email on 1/22/24 (again no response). While I understand Traffic and Engineering is not within Planning, any assistance to encourage communication and the sharing of information is beneficial to all parties.

After I speak with additional neighbors, I or one of my neighbors will respond to the email sent by James Aranda on 3/18/24.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Monday, March 25, 2024 4:07 PM
To:
Cc: Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

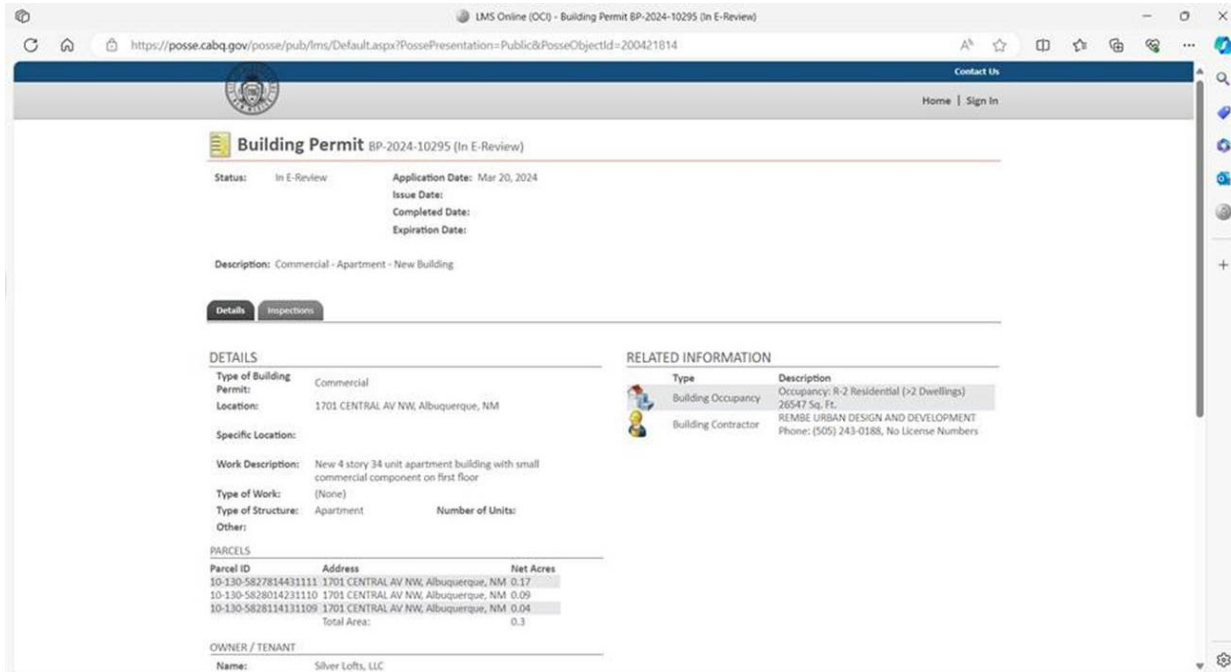
I will provide status updates on the Building Permit/Site Plan Administrative application to everyone copied in this message as I can and as I receive them from other staff.

To inquire about any status updates and/or information regarding the Building Permit/Site Plan Administrative application with the Building Safety Division directly, you can contact the Building Safety Division permit counter for status updates and/or information at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address noted above) at: https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.

For your information, I have also attached correspondence sent by the Deputy Director (of the Planning Department) James Aranda on March 18th, 2024 to many of you copied in this message, which provides information regarding the following:

1. Facilitated meeting process.
2. Appeal process.
3. Definition of residential vs. non-residential per the IDO.
4. Information on when a Traffic Impact Study can be required.
5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:



Jay Rodenbeck
 Planning Manager
 Development Review Services
 o (505) 924-3994
 c (505) 553-0682
 e jrodenbeck@cabq.gov
cabq.gov/planning

From: [Rodenbeck, Jay B.](#)
To: [Julie King](#)
Cc: [Martin Vigil](#); [Carol Gladin](#); [Williegochefs@yahoo.com](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [tcloak@unm.edu](#); [francesandrea9@gmail.com](#); [emg.abq7@gmail.com](#); [nori.brixenproperties@gmail.com](#); [scott.brixen@gmail.com](#); [turtletays@gmail.com](#); [murphymjb@gmail.com](#); [paxrasmussen@gmail.com](#); [mckinstrysusan@gmail.com](#); [lauren.clipp@gmail.com](#); [myrandar102@gmail.com](#); [vivalucia3@proton.me](#); [vjliberatori@yahoo.com](#); [johnhenrysloan@icloud.com](#); [info@tbirdinc.com](#); [Aranda, James M.](#); [Sanchez, Nicole A.](#); [Armijo, Ernest M.](#); [Webb, Robert L.](#); [Elliott, Laurie](#); [Roseman, Melissa](#); [Perez, James](#)
Subject: RE: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Date: Friday, March 29, 2024 1:04:00 PM

Hi Julie,

As soon as we confirm that the Building Permit is issued, me or another Planning Department staff member will inform everyone copied in this message of its issuance.

You can inquire about the status of the Building Permit/Site Plan Administrative application yourself as well by contacting the Building Safety Division permit counter at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address) at: https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Julie King <jules1101@gmail.com>

Sent: Friday, March 29, 2024 12:55 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Cc: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgljabq@gmail.com>; Williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; tcloak@unm.edu; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo,

Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>

Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Jay,
How will we know the date the building permit is issued? I ask because 15 days is a tight timeframe.
Thanks,
Julie King

Sent from my iPhone

On Mar 29, 2024, at 12:19 PM, Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Good afternoon Mr. Vigil,

In response to your request for the application submittal for the Building Permit/Site Plan Administrative application (BP-2024-10295) that is currently under review (as of the time of this message) at 1701 Central Ave. NW, I have included a link to the application submittal below:

<https://sfftp.cabq.gov/link/4L-XxzKt5-c/>

Ernest Armijo (from our Transportation Section and copied in this message) also provided me with a link as follows to the HydroTrans files which Hydrology and Transportation have reviewed (the link below is to a publicly-available site):

<https://dmdmaps.cabq.gov/HydroTrans/J13D220/>

In response to your question regarding if the Site Plan has been approved by the Development Facilitation Team (DFT), I can confirm that the DFT is not reviewing this Site Plan Administrative application (this proposed development did not meet the thresholds for DFT review of the Site Plan Administrative application). However, I can confirm that the Site Plan Administrative/Building Permit application is currently under review at the time of this message.

In response to your question regarding if there's an appeals process for the Site Plan Administrative application, I can confirm that there is in fact a process of appeal of the Site Plan Administrative application, as this application could be appealed within 15 calendar days (excluding holidays) of the issuance of the Building Permit to the Land Use Hearing Officer (LUHO) per Table 6-1-1 of the IDO (see screenshot from the IDO below):

<image005.png>

<image007.png>

<image008.jpg>

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf

<image003.jpg>

Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Wednesday, March 27, 2024 3:20 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Carol Gladin <cglabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstryusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; viliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>

Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

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3/27/24

Jay Rodenbeck,

Thank you for the update, it is much appreciated. Can you please send the site plan application submitted by Jay Rembe? I tried locating it by using the building permit search function yesterday but the system was down. In consideration that this is a time-sensitive matter, NextRequest is not an option.

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After I speak with additional neighbors, I or one of my neighbors will respond to the email sent by James Aranda on 3/18/24.

Thanks,

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From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Sent: Monday, March 25, 2024 4:07 PM

To:

Cc: Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Good afternoon,

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4. Information on when a Traffic Impact Study can be required.

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<image012.jpg>

<image003.jpg>

Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Rodenbeck, Jay B.
To: "Martin Vigil"; Carol Gladin; williegocheffs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; emq.abg7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymb@gmail.com; paxrasmussen@gmail.com; mckinstryusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; viliberatori@yahoo.com; johnhenrysoan@cloud.com; info@birdinc.com; Aranda, James M.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.; Elliott, Laurie; Roseman, Melissa; Perez, James; Rodenbeck, Jay B.
Subject: RE: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Date: Friday, March 29, 2024 12:19:00 PM
Attachments: image004.png
 image005.png
 image007.png

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Part 14-16-6: Administration and Enforcement
 6-1: Procedures Summary Table

Table 6-1-1: Summary of Development Review Procedures															
DHO = Development Hearing Officer EPC = Environmental Planning Commission LC = Landmarks Commission															
ZHE = Zoning Hearing Examiner LUHO = Land Use Hearing Officer															
X = Required [] = Public Hearing < > = Quasi-judicial Hearing															
R = Review/Recommend D = Review and Decide AR = Appeal Review / Recommend AD = Appeal Review and Decide															
Subsection	Mtgs		Public Notice				Review and Decision-making Bodies						Specific Procedures		
	6-4(B)	6-4(C)	6-4(K)(2)	6-4(K)(3)	6-4(K)(4)	6-4(K)(5)	6-4(K)(6)	6-2(B)	6-2(D)	6-2(E)	6-2(H)	6-2(I)		6-2(J)	6-2(A)
Application Type	Neighborhood	Pre-application	Email	Mailed	Posted Sign	Published	Web Posting	City Staff ⁽¹⁾	DHO	EPC	LC	ZHE	LUHO	City Council ⁽²⁾	
Site Plan – Administrative ⁽⁴⁾	X ⁽⁵⁾		X		X		X	D					<AR>	<AD>	6-5(G)

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Jay Rodenbeck
 Planning Manager
 Development Review Services
 o (505) 924-3994
 c (505) 553-0682

ejrodenbeck@cabq.gov
cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Wednesday, March 27, 2024 3:20 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abduunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>

Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

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3/27/24

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2. Is there an appeals process for the site plan itself, or just the building permit?

I requested the Traffic Circulation Layout application/comments from Ernest Armijo (CABQ Engineer) via email on 3/5/24. I still have not received a response. I also sent Ernest Armijo an email on 1/22/24 (again no response). While I understand Traffic and Engineering is not within Planning, any assistance to encourage communication and the sharing of information is beneficial to all parties.

After I speak with additional neighbors, I or one of my neighbors will respond to the email sent by James Aranda on 3/18/24.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Sent: Monday, March 25, 2024 4:07 PM

To:

Cc: Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

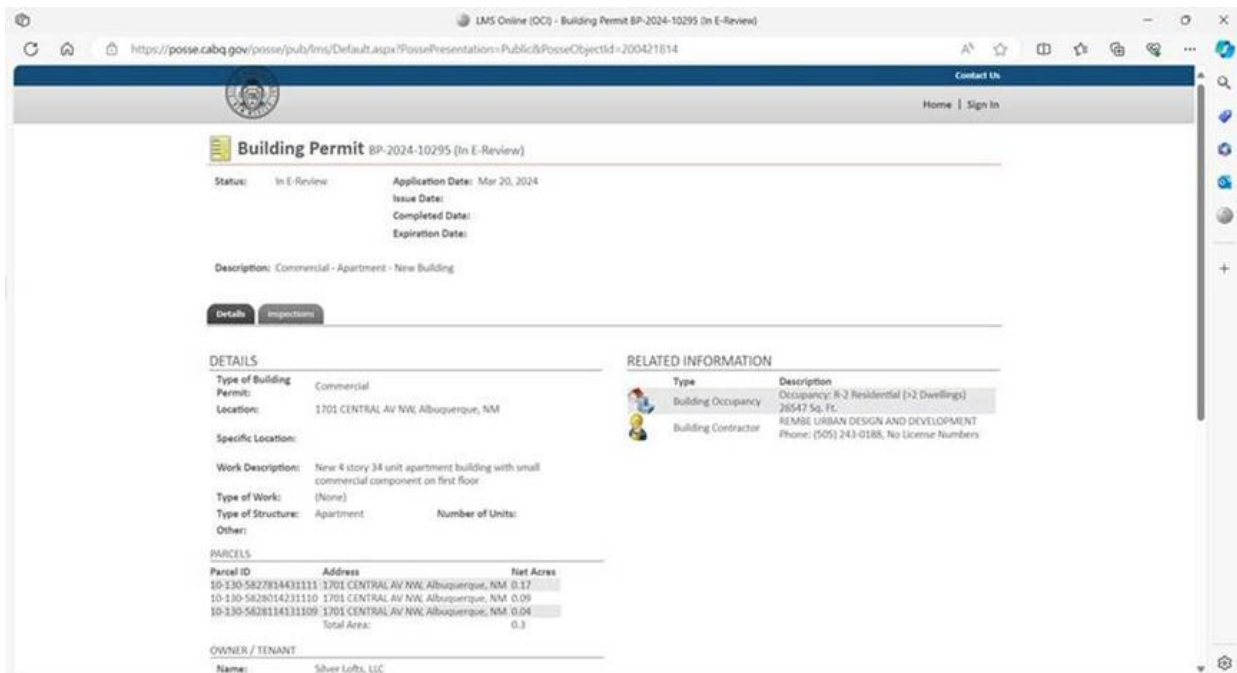
I will provide status updates on the Building Permit/Site Plan Administrative application to everyone copied in this message as I can and as I receive them from other staff.

To inquire about any status updates and/or information regarding the Building Permit/Site Plan Administrative application with the Building Safety Division directly, you can contact the Building Safety Division permit counter for status updates and/or information at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address noted above) at: https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.

For your information, I have also attached correspondence sent by the Deputy Director (of the Planning Department) James Aranda on March 18th, 2024 to many of you copied in this message, which provides information regarding the following:

1. Facilitated meeting process.
2. Appeal process.
3. Definition of residential vs. non-residential per the IDO.
4. Information on when a Traffic Impact Study can be required.
5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:





Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

Porquis, Dominick A.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Saturday, March 30, 2024 11:12 AM
To: Rodenbeck, Jay B.; Carol Gladin; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; Edward Garcia; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; Michael Valdez; murphymjb@gmail.com; paxrasmussen@gmail.com; Susan McKinstry; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; Aranda, James M.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.; Elliott, Laurie; Roseman, Melissa; Perez, James; -Frances Garcia; jules1101@gmail.com; Sanchez, Nicole A.; reportit@krqe.com
Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Attachments: CompactCarAndMidSizeSUV.jpg; HondaCivic.jpg; TrafficJam.jpg

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

3/30/24

Jay Rodenbeck,

Thank you for your response. Since the DFT team is not reviewing this site plan/building permit. Please identify what department is, or whom? If the Land Use Hearing Officer is tasked with reviewing the application, then this is formal notice for a meeting request or telephone discussion. There are a large number of concerns that have been willfully and wantonly ignored by CABQ. The City of Albuquerque and it's department directors have a duty towards the safety and general welfare of the public. Again, the adjacent neighbors are seniors aged 72-96 years old. This is formal notice that The City of Albuquerque has not exercised due diligence in analyzing the dangerous road condition that would be created in one of Albuquerque's oldest and smallest neighborhoods.

This is also a formal request for an immediate meeting with Municipal Development Deputy Director Mellisa Roseman. Mellisa Roseman is already familiar with the road conditions/traffic impact of 16th Street, and has an excellent ability to understand complex issues quickly. I have a documented history of working cooperatively with Mellisa Roseman and the department directors prior to her.

This is formal notice for The City of Albuquerque to stop excluding ordinary citizens from the planning process. Before any decisions are finalized each department director should meet at the proposed site to see in person the dangerous road condition that would be created. I have attached a photo illustrating that traffic cannot travel north/south at the same time as indicated by AFR Lt. Chinchilla. Lt. Chinchilla also stated "CABQ would likely remove parking on one side of the street". The dangerous road condition that would be created is a danger to the disabled seniors and all residents of 16th Street. Directors should meet with the disabled seniors who have faithfully paid property taxes since the 1960's with the expectation to be able to enjoy their property into their elder years. Allowing a 34-Unit apartment complex's sole ingress/egress onto 16th Street would be classified as a "nuisance" and create irreparable harm to property values. My neighbors and I are considering filing an injunction if CABQ does not willingly review our concerns.

I have a legal background and I am shocked at how basic requests are rejected/ignored (informal meeting requests, telephone conversations, mediation conferences, IPRA). The City of Albuquerque has some bright and sincere people like Mellisa Roseman and Robert Webb. While I disagree with them frequently, I do appreciate their ability to at least try and understand the issues. I think an on-site meeting would be beneficial to all parties.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Friday, March 29, 2024 1:04 PM
To: Julie King <jules1101@gmail.com>
Cc: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgjabq@gmail.com>; Williegochefs@yahoo.com <Williegochefs@yahoo.com>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abdunn@ablairdunn-esq.com <abdunn@ablairdunn-esq.com>; tcloak@unm.edu <tcloak@unm.edu>; francesandrea9@gmail.com <francesandrea9@gmail.com>; emg.abq7@gmail.com <emg.abq7@gmail.com>; nori.brixenproperties@gmail.com <nori.brixenproperties@gmail.com>; scott.brixen@gmail.com <scott.brixen@gmail.com>; turtletays@gmail.com <turtletays@gmail.com>; murphymjb@gmail.com <murphymjb@gmail.com>; paxrasmussen@gmail.com <paxrasmussen@gmail.com>; mckinstrySusan@gmail.com <mckinstrySusan@gmail.com>; lauren.clipp@gmail.com <lauren.clipp@gmail.com>; myrandar102@gmail.com <myrandar102@gmail.com>; vivalucia3@proton.me <vivalucia3@proton.me>; vjliberatori@yahoo.com <vjliberatori@yahoo.com>; johnhenrysloan@icloud.com <johnhenrysloan@icloud.com>; info@tbirdinc.com <info@tbirdinc.com>; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>
Subject: RE: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Hi Julie,

As soon as we confirm that the Building Permit is issued, me or another Planning Department staff member will inform everyone copied in this message of its issuance.

You can inquire about the status of the Building Permit/Site Plan Administrative application yourself as well by contacting the Building Safety Division permit counter at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address) at:

https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Julie King <jules1101@gmail.com>
Sent: Friday, March 29, 2024 12:55 PM
To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Cc: Martin Vigil <vigilmartin@hotmail.com>; Carol Gladin <cgjabq@gmail.com>; Williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abduhn@ablairdunn-esq.com; tcloak@unm.edu; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>

Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Jay,
How will we know the date the building permit is issued? I ask because 15 days is a tight timeframe.
Thanks,
Julie King

Sent from my iPhone

On Mar 29, 2024, at 12:19 PM, Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Good afternoon Mr. Vigil,

In response to your request for the application submittal for the Building Permit/Site Plan Administrative application (BP-2024-10295) that is currently under review (as of the time of this message) at 1701 Central Ave. NW, I have included a link to the application submittal below:

<https://sfftp.cabq.gov/link/4L-XxzKt5-c/>

Ernest Armijo (from our Transportation Section and copied in this message) also provided me with a link as follows to the HydroTrans files which Hydrology and Transportation have reviewed (the link below is to a publicly-available site):

<https://dmdmaps.cabq.gov/HydroTrans/J13D220/>

In response to your question regarding if the Site Plan has been approved by the Development Facilitation Team (DFT), I can confirm that the DFT is not reviewing this Site Plan Administrative application (this proposed development did not meet the thresholds for DFT review of the Site Plan Administrative application). However, I can confirm that the Site Plan Administrative/Building Permit application is currently under review at the time of this message.

In response to your question regarding if there's an appeals process for the Site Plan Administrative application, I can confirm that there is in fact a process of appeal of the Site Plan Administrative application, as this application could be appealed within 15 calendar days (excluding holidays) of the issuance of the Building Permit to the Land Use Hearing Officer (LUHO) per Table 6-1-1 of the IDO (see screenshot from the IDO below):

<image005.png>

<image007.png>

<image008.jpg>

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf

<image003.jpg>

Jay Rodenbeck

Planning Manager
Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Wednesday, March 27, 2024 3:20 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; emg.abq7@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; paxrasmussen@gmail.com; mckinstryusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>

Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

3/27/24

Jay Rodenbeck,

Thank you for the update, it is much appreciated. Can you please send the site plan application submitted by Jay Rembe? I tried locating it by using the building permit search function yesterday but the system was down. In consideration that this is a time-sensitive matter, NextRequest is not an option.

My neighbors and I have a few questions:

1. Has the site plan application been approved by the Development Facilitation Team?
2. Is there an appeals process for the site plan itself, or just the building permit?

I requested the Traffic Circulation Layout application/comments from Ernest Armijo (CABQ Engineer) via email on 3/5/24. I still have not received a response. I also sent Ernest Armijo an email on 1/22/24 (again no response). While I understand Traffic and Engineering is not within Planning, any assistance to encourage communication and the sharing of information is beneficial to all parties.

After I speak with additional neighbors, I or one of my neighbors will respond to the email sent by James Aranda on 3/18/24.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Sent: Monday, March 25, 2024 4:07 PM

To:

Cc: Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

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2. Appeal process.
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4. Information on when a Traffic Impact Study can be required.
5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:

<image012.jpg>

<image003.jpg>

Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning







Porquis, Dominick A.

From: Carol Gladin <cgjabq@gmail.com>
Sent: Sunday, March 31, 2024 7:58 AM
To: Julie King
Cc: Aranda, James M.; vigilmartin@hotmail.com; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; dennis@fusionabq.org; tcloak@unm.edu; Rodenbeck, Jay B.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.
Subject: Re: Mediation Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I am sure the 8 residents designated to be double parked will be using 16th St for parking rather than double park at the Pearl.
Sent from my iPhone

On Mar 19, 2024, at 2:09 PM, Julie King <jules1101@gmail.com> wrote:

One more thing.....

This is designated for 34 units but I seem to recall there's only parking for 26 residents.

Along with incoming and outgoing traffic using 16th St, is it a fact that residents in 8 units will park on 26th St, as well?

Thanks,
Julie King

Sent from my iPhone

On Mar 18, 2024, at 10:20 AM, Aranda, James M. <jmaranda@cabq.gov> wrote:

Esteemed Neighbors of 16th Street:

Thank you all very much for expressing your concerns about the proposed development project known as the Pearl. Your correspondence has been included in the project file associated with the project. Development Review Services (DRS) Planning Manager Jay Rodenbeck is the designated point of contact for the Planning Department. You can contact Mr. Rodenbeck for project updates by phone: 505-924-3994 or email: jrodenbeck@cabq.gov. Mr. Rodenbeck will provide final confirmation, but as of 3/15/2024, no new submittals have been made for 1701/1623 Central Ave NW. The following project reviews have taken place thus far:

1. A Fire One plan was approved by the Fire Marshal's Office in May 2022.
2. In August 2022, the Zoning Enforcement Officer (ZEO) issued an interpretation based on the IDO's explicit prohibition of access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. The ZEO found that the prohibition does not extend to residential access to the aforementioned streets.
3. A Lot Consolidation was approved by the Development Hearing Officer (DHO) in March 2023.
4. A conceptual Traffic Circulation Layout (TCL) was submitted and comments from staff were provided to the applicant in August 2023.
 1. No new TCL addressing staff comments has been submitted, therefore, there are no official TCL approvals yet.
5. A Grading & Drainage Plan was approved by Hydrology in August 2023.

PUBLIC MEETING/HEARING REQUEST

Pursuant to Subsection 14-16-6-5(G)(1)(f)2. of the IDO, the project meets the criteria for Site Plan – Administrative, which will be submitted as a component of a building permit. Per IDO Subsections 14-16-6-4(B)(1)(b) and 14-16-6-4(L)(1)(a)1, Pre-Submittal Neighborhood Meetings and Post-Submittal Facilitated Meetings are required only when a project contains more than 100 multi-family dwelling units and/or more than 50,000 square feet of non-residential development. Staff does not have the authority to require a public meeting or public hearing on any application if the project does not meet the applicable IDO criteria.

Please be aware that pursuant to IDO 14-16-6-4(V), a final decision on the application may be appealed by any party with standing to the City Council through the Land Use Hearing Officer (LUHO) [IDO 14-16-6-4(V)(2)(a)]. The appeal of the zoning approval for the Site Plan must be filed with the Planning Department within 15 calendar days (excluding holidays) of issuance of the Building Permit.

RESIDENTIAL VS NON-RESIDENTIAL

Section 7-1 of the IDO defines Non-Residential Development as: “Development of allowable land uses on a property that includes no residential development.” (IDO 7-1, page 559). Multi-Family Residential Development is defined in the IDO as: “Residential development of multi-family dwellings or uses from the Group Living category (except small community residential facilities) in zone districts as allowed per Table 4-2-1. Properties that include both multi-family dwellings and low-density residential development are considered multi-family residential development for the purposes of this IDO. *Properties with other uses accessory to residential primary uses allowed per Table 4-2-1 are still considered multi-family residential development for the purposes of this IDO.*” IDO Table 4-2-1 explicitly categorizes multi-family dwellings as a Residential Use.

TRAFFIC IMPACT STUDY

The City’s Development Process Manual (DPM) includes criteria in Section 7-5(C)(2) to determine which activities warrant a Traffic Impact Study (TIS). A TIS can only be required if the following two conditions are met:

1. The project will generate more than 100 AM or PM peak hour trips per day and is located along Commuter Corridors or non-designated or “other” corridors.
2. The project will result in more than 100 AM or PM peak hour trips per day and is located in a Center or along a Corridor where the AM or PM peak hour volume-to-capacity ratios already exceed 0.5. Exceptions include Downtown, Urban Centers, Premium Transit station areas, and Main Street Corridors.

According to the ITE Trip Generation Manual, the traffic that a development of this size (34 units) would generate would be far below the 100-trip threshold, thus unfortunately, staff does not have the authority to require a TIS as you have requested. Generally speaking, it takes an apartment complex of approximately 245 units to meet this threshold.

MEDIATION REQUEST

City staff do not determine where specific development projects are proposed and are not the applicant in this particular case. Furthermore, staff do not advocate on behalf of a particular project or applicant. Staff’s responsibility in the process is to

ensure that all rules, regulations and procedures are upheld, and to review the application upon submittal to ensure that all aspects of the project meet the applicable provisions of the zoning code, DPM and Building Code. In conclusion, I strongly encourage you to establish a line of communication with the applicant and request a public meeting and/or mediation conference to discuss your neighborhood's concerns about the development project's impacts on 16th Street, and to explore potential paths forward.

Respectfully,

JMA

JAMES M. ARANDA, MCRP

deputy director

jmaranda@cabq.gov

cabq.gov/planning

From: Carol Gladin <cgjabq@gmail.com>

Sent: Thursday, March 14, 2024 7:33 AM

To: Martin Vigil <vigilmartin@hotmail.com>

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; williegochefs@yahoo.com; Les

Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com;

abdunn@ablairdunn-esq.com

Subject: Re: Mediation Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I join Martin in requesting a mediation conference. Accessing this 34 unit apt complex solely from our narrow, residential street (the 200 and 300 blocks of 16th NW) is not possible.

Carol Johnson at 233 16th St, NW.

Sent from my iPhone

On Mar 13, 2024, at 6:26 PM, Martin Vigil <vigilmartin@hotmail.com> wrote:

3/13/24

Jay Rodenbeck,

Thank you for your email sent on 2/14/24. I apologize for the delay in responding. As you have been CC on the recent communications with various employees, it has become apparent the back-and-forth interactions are not leading to a resolution or clarification. I and my neighbors have spent a considerable amount of time speaking with different departments (planning, building permits, DRB, traffic and engineering, MRGCD). But so far nobody has taken responsibility for certain issues. I will be filing tort, and some

of my neighbors are considering filing tort notice regarding some key issues:

1. Which CABQ employee decided to allow access on 16th St?
2. Why have requests for a mediation conference been ignored?
3. Which CABQ employee decided to not conduct a Traffic Impact Study/Analysis?

So far employees regularly shift responsibility back in forth to other departments. Please identify the employees and we can begin additional legal remedies, and avoid the counter-productive back and forth.

If you have any suggestions to resolve some of the issues, I welcome any ideas. At this time, I think a mediation conference would be beneficial to all parties.

Thanks,

Martin Vigil

From: [Martin Vigil](#)
To: [Rodenbeck, Jay B.](#); [Varela, Alan M.](#)
Subject: Fw: License confirmation error
Date: Thursday, April 4, 2024 4:41:36 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Thursday, April 4, 2024 4:21 PM
To: Armijo, Ernest M. <earmijo@cabq.gov>; Aranda, James M. <jmaranda@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abduunn@ablairdunn-esq.com <abduunn@ablairdunn-esq.com>; Edward Garcia <emg.abq7@gmail.com>; -Frances Garcia <francesandrea9@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; Carol Gladin <cgjabq@gmail.com>; jules1101@gmail.com <jules1101@gmail.com>; Ted Cloak <tcloak@unm.edu>; vivalucia3 <vivalucia3@proton.me>; johnhenrysloan@icloud.com <johnhenrysloan@icloud.com>; Roseman, Melissa <melissaroseman@cabq.gov>; reportit@krqe.com <reportit@krqe.com>
Subject: License confirmation error

4/4/24

Ernest Armijo,

Several weeks ago the New Mexico Professional Board of Engineers said you were not on the licensed roster. My neighbor Carol Johnson was also a witness to the telephone conversation (on speaker). This morning, I reached out to the board to double-check. I just received a call from Jessie at the NMPE and she made a mistake, you are on the licensed board. I apologize for the misinformation regarding license confirmation.

My neighbors and I are filing for a review of your design practices by the board. I am also requesting you engage in discussions with me and my neighbors in accordance with the Albuquerque Code of Conduct. Several emails have not been responded to for more than a few months, and I have additional safety issues that need to be discussed.

My apologies for the mistake,

Martin Vigil

From: [Martin Vigil](#)
To: [Aranda, James M.](#); [Rodenbeck, Jay B.](#); [Webb, Robert L.](#); [Webb, Robert L.](#); [Armijo, Ernest M.](#); [Sanchez, Nicole A.](#); [Varela, Alan M.](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [Edward Garcia](#); [Frances Garcia](#); [williegochefs@yahoo.com](#); [Carol Gladin](#); [jules1101@gmail.com](#); [Ted Cloak](#); [vivalucia3](#); [johnhenryloan@icloud.com](#); [Roseman, Melissa](#); [reportit@krqe.com](#)
Subject: The Case file is missing pertinent documents
Date: Thursday, April 4, 2024 2:45:22 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

4/4/24

James Aranda
Jay Rodenbeck,

I was informed by the Traffic and Engineering director that the planning department is claiming to have provided all pertinent information from the case file. That is a false statement. I have several email admissions from various departments stating "they were not aware that there were issues with the site". Other officials had not seen the photographs or formal notices and had no idea of me and my neighbor's concerns.

1. The case file did contain two letters from my neighbors, (Carol Johnson and Edward Garcia sent in 2023).
2. It was missing a large number of documents sent by me and other neighbors.

I am requesting you print out and include these in the case file. If this is not a possibility, I am willing to print and provide a packet to each department. Cease and Desist any further decision-making until these documents have been included and reviewed. These documents include:

1. Formal notices of (a dangerous road condition, discrimination, selective enforcement, capricious and arbitrary planning decisions, ADA violations).
2. Cease and Desist letters.
3. Pictures, and measurements.
4. Petitions
5. Requests for Traffic Impact Study/Analysis, and response to your analysis.
6. Requests for mediation conferences, or meetings (including informal meetings and discussions).
7. Review of Jay Rembe sitting on various boards and corrupting the system (DPM, NM League of Zoning Officials). Manipulation of the MRA points system to his financial advantage, and helping create and test the IDO through the ULI (Jay Rembe is the NM founder of the ULI).
8. Misconduct between Jay Rembe and planning officials including (personal favors of

monetary value).

9. Letter from the Downtown Neighborhood Association's opposition to the current proposed plan to utilize 16th Street for egress/ingress.
10. Notice of discrimination that since 2011 CABQ refused my property 16th Street access. I requested emergency use only when Central Ave is blocked from ART construction, parades and marathons. I have four Units. Jay Rembe requested sole ingress/egress for 34 units.
11. My neighbors have sent emails to Alan Varela and James Aranda, those were also excluded from the case file. A good number of those emails went unanswered by James Aranda or Alan Varela.
12. Formal notices of potential litigation and torts that have been filed.
13. Make sure to also include my neighbor Edward Garcia's recent letter sent on 3/30/24. I and all of our neighbors stand in solidarity with Mr. Garcia and the issues he presented.

Please forward a copy of this email to the Land Use Hearing Officer. Also, please identify who that person is so my neighbors can contact them directly. Please also identify any other CABQ official who is presently reviewing the Pearl Project. Please also include in the case file that Ernest Armijo has refused to communicate in violation of the Albuquerque Code of Conduct. Upon information and belief, he has also violated his ethical duty toward the public's safety and welfare. No decisions should be made until a review has been completed by the New Mexico Board of Licensure for Professional Engineers. At this time this board has stated "Ernest Armijo is not on the licensed roster". If this is an error or he holds licensure with some other agency please let me know. I contacted Ernest Armijo directly requesting license information and I have not received a response. Please also note James Aranda, Miquela Rentz-Whitmore and Alan Varela also refuse to provide professional planning license information/and or a response. If this is at the direction of legal counsel, then please provide who gave that advice.

Thanks,

Martin Vigil

Porquis, Dominick A.

From: Kenny Myers <design@rembedesign.com>
Sent: Monday, April 15, 2024 9:56 PM
To: Palmer, Jeffrey
Subject: 1701 central: floating zone line.

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.
Evening, Jeff.

Hope your week is going well. I wanted to reach out to you to set up a time that Jay and I can come in to discuss one of the comments we received from you guys related to the floating zone line on our property. There is a fair amount of information regarding this that's led up to this submittal and Jay would like to go through that with you prior to our resubmittal. Let me know when you might be available and we can come by.

I understand you are super busy and do not want to take up your time but I do feel it would be helpful. Let me know and we will accommodate.

Thanks again for all the help.

Kenneth Myers, RA
rembe urban design + development
1718 Central SW, Suite B
Albuquerque, NM 87104
518-364-9914

Porquis, Dominick A.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Wednesday, April 17, 2024 11:35 AM
To: Roseman, Melissa; Les Romaine; abdunn@ablairdunn-esq.com; warba.llp.jared@gmail.com; williegochefs@yahoo.com; Carol Gladin; Edward Garcia; -Frances Garcia; jules1101@gmail.com; Ted Cloak; vivalucia3; scott.brixen@gmail.com; nori.brixenproperties@gmail.com; Rodenbeck, Jay B.; Armijo, Ernest M.
Subject: Disiplinary action
Attachments: CompactCarAndMidSizeSUV.jpg; DrivewayIllustration3vehicles.jpg; TrafficJam.jpg

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

4/17/24

Melissa Roseman,

I am reaching out to you because Ernest Armijo continues to refuse to communicate with the public. Your department is in charge of the supervision of the Traffic and Engineering Department. Since 2022 I have been reaching out to planning/DMD/Engineering Department regarding 16th street is too narrow for traffic to travel north/south simultaneously (pictures attached). Since 2022 CABQ has refused to discuss this specific issue. I have offered to speak:

1. Over the phone.
2. In person formal/informal meeting.
3. Mediation conference.
4. Meeting at the proposed development site.
5. In writing, I have not been provided a response in over a year and a half.

All are reasonable solutions, yet CABQ has refused all these attempts at an amicable resolution. I am formally requesting disciplinary action be taken against any employee under your supervision for refusal to communicate with the public, dishonest statements, unsafe design practices. I will be filing ethics complaints utilizing the CABQ process against department directors. Today I am filing disciplinary action against Ernest Armijo with the New Mexico Board of Licensing for Professional Engineers. As a respectful reminder I have conducted extensive IPRA requests, I am able to prove tangible instances of discriminatory practices of how ordinary citizens are treated vs. developers like Jay Rembe. Ordinary citizens are frequently ignored all together, or gaslighted. I have read over 8,000 emails between Jay Rembe and CABQ employees. There are many instances of preferential treatment.

As you are aware CABQ has refused to provide my property access to 16th Street since 2011. I have 4 units, I requested emergency access when Central access is blocked by (general construction, ART construction, marathons, parades). Jay Rembe has been granted access for a 34-Unit apartment complex sole ingress/egress. This issue has also been ignored repeatedly in writing (legal counsel was CC). CABQ/MRGCD authorized Jay Rembe to utilize the ½ portion of abandoned ditch classified as City Right of Way for 16th Street access without financial compensation. I own two ½ portions of the Old Albuquerque Ditch. CABQ own the remaining ½ unused portion. In 2022 CABQ refused my financial offer to purchase the portion of Right of Way adjacent to my property, while granting Jay Rembe's use of the right of way land for free.

Employees that are under your department's supervision are not abiding by the CABQ Code of Conduct, employees are required to deal with public in an honest and reasonable time frame. The adjacent neighbors are disabled seniors aged 72-96 years old. This is a formal request for the conduct to stop and for disciplinary action to be taken for employees under your department's supervision. This week I am filing tort notices to address some of these issues as well. Please provide a response for:

1. 16th Street is too narrow for traffic to travel north/south simultaneously.
2. Selective enforcement against my property for 16th Street access, while allowing Jay Rembe's 34-Unit apartment complex access.

Respectfully,

Martin Vigil







From: [Martin Vigil](#)
To: [Sanchez, Nicole A.](#); [Rodenbeck, Jay B.](#); [Armijo, Ernest M.](#); [Varela, Alan M.](#); [Perez, James](#); [Edward Garcia](#); - [Frances Garcia](#); [williegochefs@yahoo.com](#); [Carol Gladin](#); [Ted Cloak](#); [jules1101@gmail.com](#); [vivalucia3](#); [Aranda, James M.](#); [Webb, Robert L.](#); [Danny Senn](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#)
Subject: Preservation of Evidence
Date: Friday, April 19, 2024 11:35:42 AM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

4/19/24

City of Albuquerque Legal
Planning Department

This is a formal request to preserve all evidence regarding Jay Rembe's development activities within the City of Albuquerque. Preserve all notes, financial documents, and transcripts of the various board's Jay Rembe sits on. Preserve all text messages/emails between Jay Rembe and:

1. Alan Varela, James Aranda, Miquela Rentz-Whitmore.
2. Mayor Keller and Helen Maestas.
3. Former Chief Operations Officer Lawernce Rael.
4. Isaac Benton
5. Karen Iverson and Terry Brunner.
6. Sarita Nair
7. Ernest Armijo, and Jeanne Wolfenbarger.
8. Jeremy Keiser
9. CABQ coordination with the Urban Land Institute.

One of my neighbors was employed at the City of Albuquerque Planning Department for over 25 years. My neighbors and I have been provided information that Jay Rembe attempted to utilize a lot he owns on Laguna for ingress/egress for his Country Club Plaza development. Upon information and belief, Jay Rembe was forced to redesign his plans utilizing Central. While Country Club is more affluent than our neighborhood, our neighborhood deserves the same dignity and respect that was afforded to them. Preserve all evidence related to Jay Rembe's Country Club Plaza development. Preserve all notes, applications, variances, and any correspondence. Preserve all evidence regarding Country Club Plaza:

1. Ingress/egress on Laguna as opposed to Central
2. Building height, setbacks.
3. Refuse bin placement.

Please forward this email to the Land Use Hearing Officer designated for the current Pearl

Project. In your response please let me know who that individual is.

Respectfully,

Martin Vigil

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Thursday, April 25, 2024 3:37 PM
To: Porquis, Dominick A.
Subject: 1701 Central NW -- Various Records for Documentation BP-2024-10295
Attachments: PR-2022-006844 (2023-008387)_March_22_2023 - Notice of Decision - signed.pdf; Interpretation-14-16-3-4(D)(5)(a)2-Parking Access_8_2022.pdf; PR-2022-006844_SD-2023-00060_recorded.pdf

Dominick,

Please check these to be sure they are the items you are looking for, and, if so, get Kenny to upload them to the Documents file.

As discussed, in regards for parking for the Commercial portions on the lot, they also need to provide the Shared Parking Agreement, which was noted in the first paragraph of the ZEO Official Interpretation letter (see the excerpt from that document, below). The commercial parking must include provision for the required single ADA space, either on-site and accessed from Central, or on-street, with DMD authorization to take an adjacent City ROW parking space and designate it for ADA use only.

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. BACKGROUND Rembe Urban Design + Development (the "applicant") is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

Please keep me updated as to status. Thank you.



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the “applicant”) is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

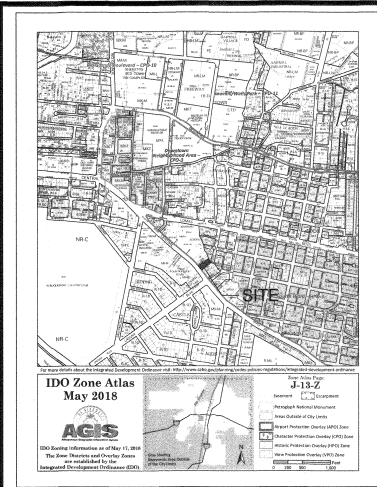
INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department



LEGAL DESCRIPTION

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.R.G.C.D. MAP # 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES. EASEMENTS FOR ELECTRIC TRANSFORMER SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTEES" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEES" INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, ABOVEGROUND OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKINGS, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT AND VACATION

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEIR COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATED AS EASEMENTS SHOWN, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY:

OWNERS: *[Signature]* 2/10/2023

ACKNOWLEDGMENT

STATE OF New Mexico
NOTARY PUBLIC
COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 10th DAY OF February, 2023, BY [Signature]

NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: 12/07/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
David P. Acosta
Commission Number 1121276
Expires 12/07/2025

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # 103058281493109 1013058281423110

BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYOR'S CERTIFICATE: [Signature] 6/30/23

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE. SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



ZONE ATLAS J-13-Z

PURPOSE OF PLAT:
THE PURPOSE OF THIS PLAT IS LOT CONSOLIDATION TO CREATE ONE LOT FROM THREE LOTS AND TO GRANT ANY EASEMENTS AND VACATE ALL EASEMENTS AS SHOWN HEREON

NOTES:

- BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
- ALL DISTANCES SHOWN ARE GROUND DISTANCES
- ALL SET POINTS ARE IDENTIFIED AS "SET" ARE 3/4" BEAR WITH BLUE PLASTIC CAP STAMPED "TS 21082" AND DEPICTED AS NOTE UNLESS OTHERWISE INDICATED
- BEARINGS AND DISTANCES IN () ARE RECORD
- FEMA FLOOD ZONE DESIGNATION: ZONE X

SUBDIVISION DATA:
DRM#
ZONE ATLAS INDEX NO. J-13
DATE OF FIELD SURVEY: JANUARY, 2019; APRIL, 2022
TOTAL NO. OF TRACTS EXISTING: 2
TOTAL NO. OF LOTS CREATED: 1
TOTAL ACRES: 0.5767 ACRES

DOCUMENTS USED:
PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2020.
18TH STREET RIGHT OF WAY SURVEY BY WILSON AND COMPANY, DOC#2016050793 ALTAGRAM SURVEY BY QWEST SURVEYS OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, UNRECORDED.

SOLAR COLLECTION NOTE:
PER SECTION 14-14-4.7 OF THE SUBDIVISION ORDINANCE
NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX
PAGE 1 COVER
PAGE 2 SUBDIVISION PLAT

PLAT OF TRACT A
THE PEARL ADDITION
BEING A REPLAT OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO FEBRUARY 2023

PROJECT NUMBER: PR-2022-006844 APPLICATION NUMBER: SD-2023-00060

CITY APPROVALS	DATE
<i>Loren N. Bandoover P.S.</i>	2/7/2023
CITY SURVEYOR	DATE
<i>Ernest Arango</i>	Jun 9, 2023
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Ray Street</i>	2/17/2023
M.R.G.C.D.	DATE
<i>Walter Ochoa</i>	Hydrology Jun 8, 2023
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	2/17/2023
A.M.A.C.O.A.	DATE
<i>[Signature]</i>	Jun 15, 2023
ABEWA	DATE
<i>[Signature]</i>	Jun 22, 2023
HYDROLOGY	DATE
<i>[Signature]</i>	Jun 8, 2023
PLANNING DEPARTMENT	DATE
<i>[Signature]</i>	Jun 8, 2023
CODE ENFORCEMENT	DATE
<i>[Signature]</i>	Jun 9, 2023

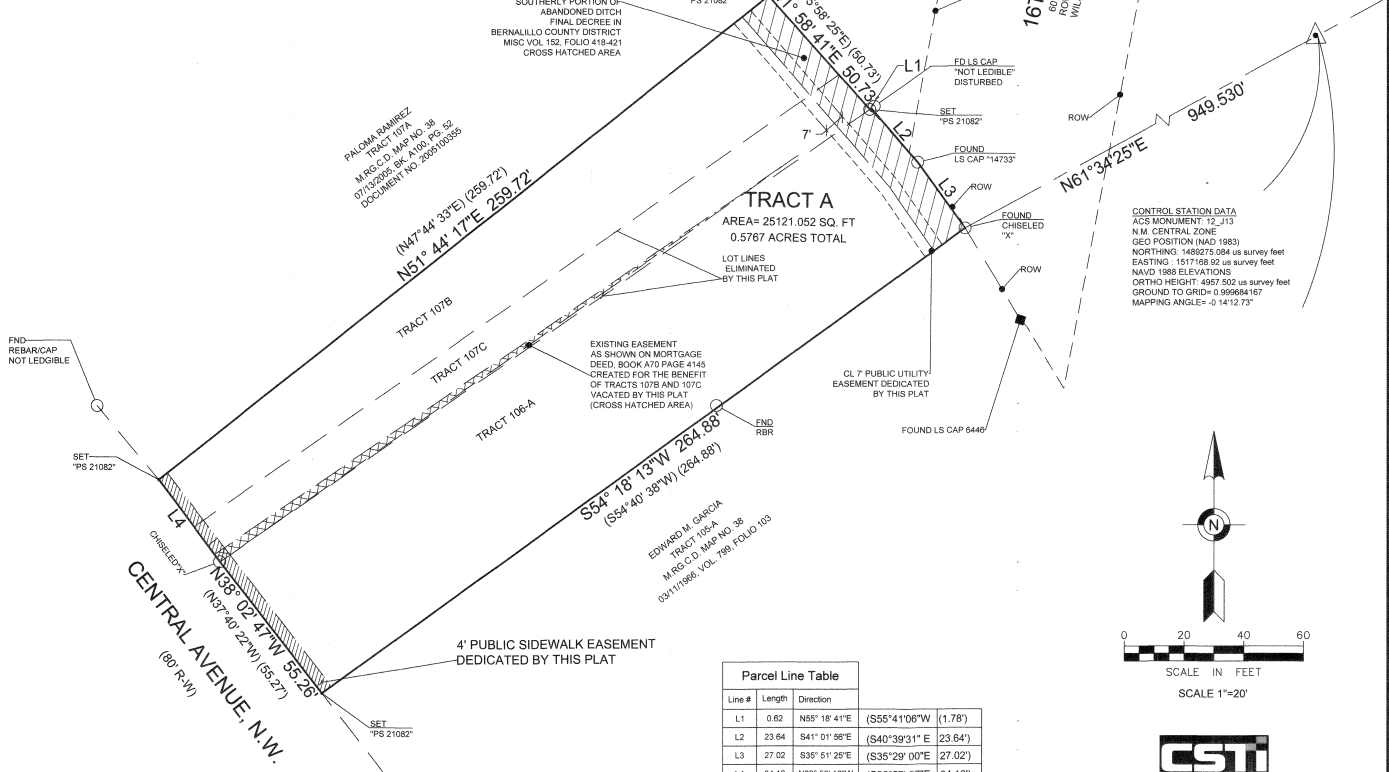
UTILITY APPROVALS:	DATE
<i>[Signature]</i>	Jan 20 2023
PNM ELECTRIC SERVICES	DATE
<i>[Signature]</i>	1/20/2023
NEW MEXICO GAS	DATE
<i>Natalia Antonis</i>	2/9/2023
QWEST CORPORATION D.B.A. CENTURY LINK QC	DATE
<i>Walter Morin</i>	19/Jan/2023
COMCAST	DATE
M.R.G.C.D.	DATE
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER, ADDITION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.	
<i>Ray Street</i>	2/17/2023
APPROVED	DATE



PR-2022-006844-SD-2023-00060

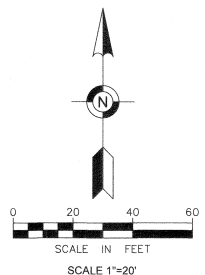
PLAT OF
TRACT A
THE PEARL ADDITION
BEING A REPLAT OF TRACTS 107-B, 107-C
TOGETHER WITH TRACT 106-A
WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2023

DOC# 2023040718
03/17/2023 11:17 AM 2023 2
03/17/2023 11:17 AM 2023 2
03/17/2023 11:17 AM 2023 2



Line #	Length	Direction	
L1	0.82	N55°18'41\"E	(S55°41'06\"W (1.78'))
L2	23.64	S41°01'56\"E	(S40°39'31\"E (23.64'))
L3	27.02	S35°51'25\"E	(S35°29'00\"E (27.02'))
L4	34.16	N39°58'19\"W	(S36°57'57\"E (34.16'))

CONTROL STATION DATA
ACS MONUMENT 12_113
N.M. CENTRAL ZONE
GEO POSITION (NAD 1983)
NORTHING: 1488275.084 us survey feet
EASTING: 1517168.92 us survey feet
NAVD 1988 ELEVATIONS
ORTHO HEIGHT: 4957.502 us survey feet
GROUND TO GRID: 0.99984157
MAPPING ANGLE: -0.141273°



CSTI
CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395
ALBUQUERQUE, NM 87113
505-917-8821

PR-2022-006844-SD-2023-00060

From: Rodenbeck, Jay B.
To: Edward Garcia
Cc: Carol Gladin; williegocheffs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; Pax Rasmussen; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; Johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.; Elliott, Laurie; Roseman, Melissa; Perez, James; Martin Vigil; Ortiz, Annette; Zamora, Renee C.
Subject: RE: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Date: Tuesday, April 2, 2024 12:42:00 PM

Good afternoon Mr. Garcia,

Regarding your "FORMAL NOTICE OF APPEAL" in your message below, please note that an appeal to the Land Use Hearing Officer (LUHO) of the Site Plan Administrative application for the proposed mixed-use development at 1701 Central Avenue NW cannot and will not be accepted and processed until/unless the Building Permit is issued for BP-2024-10295, as per 6-4(V)(1)(c) of the IDO there can't be an appeal of a Site Plan Administrative application that hasn't been approved and/or decided yet (the Site Plan Administrative/Building Permit for BP-2024-10295 is still under review as of the time of this message). Additionally, I will note that there are application forms for an appeal which would need to be signed and completed, as well as documentation included with the appeal application forms. You can contact our Navigators (Annette Ortiz at annetteortiz@cabq.gov and Renee Zamora at rczamora@cabq.gov) in the Development Review Services Division to obtain the application forms for an appeal and receive guidance as to what will need to be included in the appeal application submittal should you decide to apply for an appeal of the Site Plan Administrative application at the time a Building Permit is issued for BP-2024-10295.

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf



Jay Rodenbeck

Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

From: Edward Garcia <emg.abq7@gmail.com>
Sent: Saturday, March 30, 2024 3:04 PM
To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Cc: Carol Gladin <cjgabq@gmail.com>; williegocheffs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; Pax Rasmussen <paxrasmussen@gmail.com>; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <ermijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Martin Vigil <vigilmartin@hotmail.com>
Subject: Re: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Mr. Rodenbeck, Sir,

Rembe Urban Design and Development submitted a Building Permit BP-2024-10295 (In E-Review) to CABQ Planning Department on March 20th, 2024. It is for construction of a Commercial/Residential Apartment building located at 1701 Central Ave NW. It is described as a new 4 story, 48' high, 34 unit apartment building with a small commercial component on the first floor (26547 sq. ft.). It is also my understanding that, through review of this site plan, the developer is requesting a "0" ft. side set back at both sides of that property lot running south to north, front to back, from Central Ave to 16th St.

My single-family home and property is directly adjacent to 1701 Central Ave. NW (at 1617 Central Ave. NW) and is determined by my chain link fence residing on the property line running south to north, front to back, at approximately 290 ft. from Central Ave to 16th St.

With all due respect to CABQ, Planning Dept, staff, and all involved, rather to seek an alternative at this time, I am submitting this email, letter, correspondence, as a FORMAL NOTICE OF APPEAL on behalf of myself, and other affected participating private property residents to the site plan submitted by Rembe Urban Design and Development. I feel it is prudent to submit this appeal now in order to avoid conflict, or premature commencement of the actual building process by the developer. And given the fact, that to my knowledge, preparation for construction through turning dirt, digging, placement of material(s), worker(s), has begun at 1701 Central Ave NW.

Mr. Perez' admission to Mr. Vigil's correspondence on 3/29/24 concerning work already starting at 1701 Central Ave. NW prior to approval of the site plan, confirms that once the site plan is approved, prior to appeal, Rembe Urban Design and Development will immediately begin construction without restriction as is already being demonstrated. This places the private property owners, as well as myself, at a severe disadvantage. It makes no common sense that the project is actively beginning, while at exactly the same time the private property owners are filing appeals. This, in and of itself, weighs heavily in favor of the developer, and infringes on the rights of the private property owners to appeal this site plan, in a fair and equitable manner without exception. This also places CABQ, Planning Dept, and staff, in the position of compromising those rights, as well as those regulations pertaining to the IDO, concerning site plan BP-2024-10295, as has been described herein and have been signed into law. I believe this type of procedure would also violate the private property owners ability to affordable due process, without exception. The private property owners are a key component of the decision-making process for a site plan of this size affecting our entire surrounding neighborhood and Character Protection Overlay Zone (3). It is vital that the affected private residential property owners be provided the ability to take a timely and active participation at each step of this process without hindrance or exception.

In this way, the 16th St, Central Ave, and surrounding private property owners/residents affected by this new development have the ability, rights, opportunities, etc., to respond/appeal/mediate in an equitable, timely, correct and proper manner.

I am appealing for the following reasons:

I believe the new development building is too high and is outside the regulations with the IDO. The new building next to my residence/property would be overwhelming in height next to my home/property, as well as to the surrounding neighborhood and residents located within the CPO-3.

I believe the "0" ft. side setback requested in the site plan at both sides of the new development is outside the regulations with the IDO. And, one "0" side setback already exists at the west side lot property line adjacent to the next residence/property occupied by a separate owner(s) home/property at the property line.

The IDO regulations state that, and in accordance with:

www.cabq.gov/housing forward-abq/zoning changes 0-22-54,

voted and approved by the ABQ City Council on June 21,2023 as 0-22-54, which the Mayor signed into law on July 6,2023. The adopted went into effect on July 27th,2023.

Neighborhood Edge

"One existing rule that remains in place is the Neighborhood Edge which requires a transition between more higher-density and low-density development. ANY commercial or apartment building within 100 ft. of a single-family home can only be a maximum of 30 ft. tall. At more than 100 ft. away the building height maximum is determined by the zoning. Near the Centers and Corridors where development is most appropriate, Urban Centers (UC), Main Streets (MS), and Premium Transit (PT) areas, building heights are limited to 30 feet high only within 50 feet of a single-family home, townhouse, or two-family homes.

Side Setbacks

As per IDO regulation: Low Density Residential Development in Any Zone District (IDO pg.111)

Part 14-16-3

3-4(M)(3) Setback Standards

2. Side minimum

C. Between a single-family detached dwelling and any other dwelling: 10 feet

IDO Table 5-1-1

11. In the R-1A subzone, one internal side setback may be "0" feet if the opposite internal side setback is At Least "10" feet.

Character Protection Overlay Zones

The purpose of the (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as (HPO) zones. These areas meet 1 or more of the following characteristics:

3-4(A)(1) Have recognized neighborhood identity and character.

3-4(A)(3) Have a relationship to HPO zones that make the area's conservation critical.

I (we) are requesting a public meeting and/or mediation conference, etc., inclusive of all affected private property owners/residents CABQ, Planning, Developer(s),etc., by formal notice, letter, email, prior to the approval of this site plan for Building Permit BP 12024-10295 (In E-Review).

This grants the affected private residential property owners the rights, privileges, and opportunities to discuss, mediate, and explore a potential path forward to the satisfaction of all parties involved with this new project. This will help to avoid conflict, misunderstandings, disagreements, or other applicable remedies, prior to, during, and/or after construction. Thank you for your attention to this vital matter regarding site plan for Building Permit BP-2024-10295 (In E-Review).

"

On Wed, Mar 27, 2024, 3:19 PM Martin Vigil <vigilmartin@hotmail.com> wrote:

3/27/24

Jay Rodenbeck,

Thank you for the update, it is much appreciated. Can you please send the site plan application submitted by Jay Rembe? I tried locating it by using the building permit search function yesterday but the system was down. In consideration that this is a time-sensitive matter, NextRequest is not an option.

My neighbors and I have a few questions:

1. Has the site plan application been approved by the Development Facilitation Team?
2. Is there an appeals process for the site plan itself, or just the building permit?

I requested the Traffic Circulation Layout application/comments from Ernest Armijo (CABQ Engineer) via email on 3/5/24. I still have not received a response. I also sent Ernest Armijo an email on 1/22/24 (again no response). While I understand Traffic and Engineering is not within Planning, any assistance to encourage communication and the sharing of information is beneficial to all parties.

After I speak with additional neighbors, I or one of my neighbors will respond to the email sent by James Aranda on 3/18/24.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Sent: Monday, March 25, 2024 4:07 PM

To:

Cc: Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW

Good afternoon,

I can confirm that the Building Safety Division of the City of Albuquerque Planning Department has received and processed a Building Permit/Site Plan Administrative application for a proposed 4-story, 34-unit multi-family residential/mixed-use development (with commercial development proposed on the 1st floor) at 1701 Central Ave. NW, and the application is currently in E-Review (the Building Permit number is BP-2024-10295).

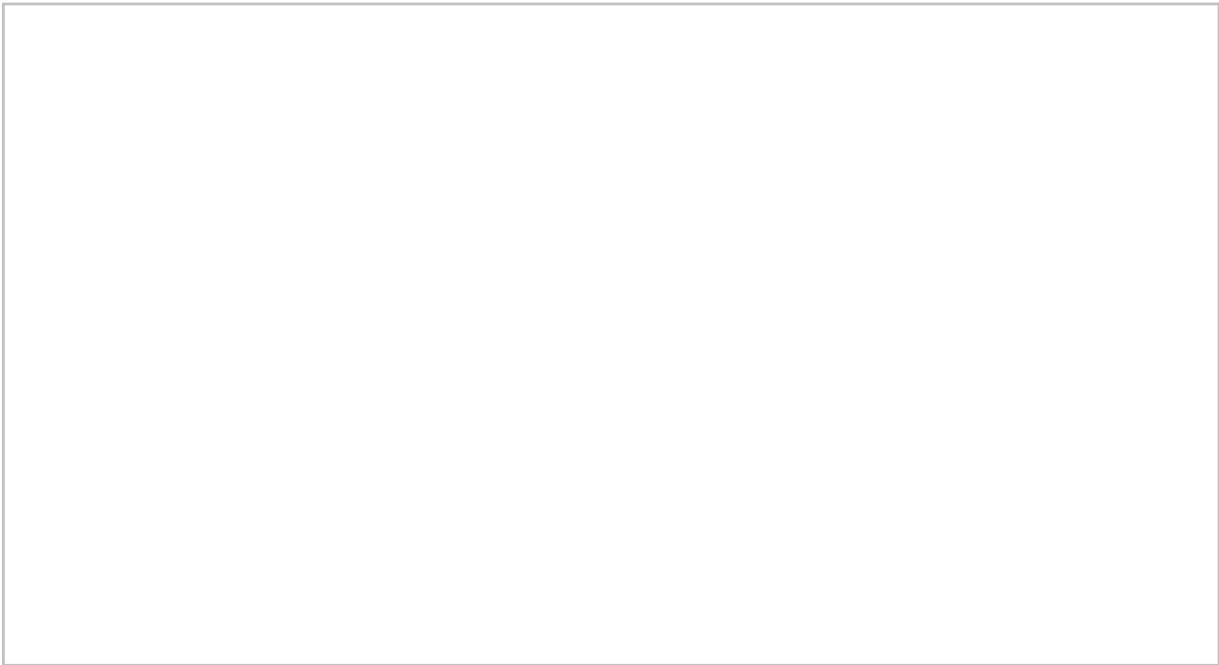
I will provide status updates on the Building Permit/Site Plan Administrative application to everyone copied in this message as I can and as I receive them from other staff.

To inquire about any status updates and/or information regarding the Building Permit/Site Plan Administrative application with the Building Safety Division directly, you can contact the Building Safety Division permit counter for status updates and/or information at (505) 924-3320 or inquire in-person at the Plaza del Sol Building at 600 2nd St. NW. You can also keep track of the status of the Building Permit by going to the LMS Online portal (you can search by the Building Permit number or address noted above) at: https://posse.cabq.gov/posse/pub/lms/Default.aspx?PosseMenuName=PC_Search.

For your information, I have also attached correspondence sent by the Deputy Director (of the Planning Department) James Aranda on March 18th, 2024 to many of you copied in this message, which provides information regarding the following:

1. Facilitated meeting process.
2. Appeal process.
3. Definition of residential vs. non-residential per the IDO.
4. Information on when a Traffic Impact Study can be required.
5. A response to a mediation request from Martin Vigil.

A screenshot of the noted Building Permit/Site Plan Administrative application as depicted in the LMS Online portal from today is featured below:



Jay Rodenbeck
Planning Manager
Development Review Services
o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Thursday, April 25, 2024 3:37 PM
To: Porquis, Dominick A.
Subject: 1701 Central NW -- Various Records for Documentation BP-2024-10295
Attachments: PR-2022-006844 (2023-008387)_March_22_2023 - Notice of Decision - signed.pdf; Interpretation-14-16-3-4(D)(5)(a)2-Parking Access_8_2022.pdf; PR-2022-006844_SD-2023-00060_recorded.pdf

Dominick,

Please check these to be sure they are the items you are looking for, and, if so, get Kenny to upload them to the Documents file.

As discussed, in regards for parking for the Commercial portions on the lot, they also need to provide the Shared Parking Agreement, which was noted in the first paragraph of the ZEO Official Interpretation letter (see the excerpt from that document, below). The commercial parking must include provision for the required single ADA space, either on-site and accessed from Central, or on-street, with DMD authorization to take an adjacent City ROW parking space and designate it for ADA use only.

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. BACKGROUND Rembe Urban Design + Development (the "applicant") is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

Please keep me updated as to status. Thank you.



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the “applicant”) is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

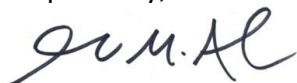
For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,



James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department

**PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946**

OFFICIAL NOTIFICATION OF DECISION

Rembe Urban Design + Development
1718 Central Ave. SW
Albuquerque, NM 87102

**Project# PR-2022-006844
(AKA: PR-2023-008387)
Application#
SD-2023-00060 PRELIMINARY/FINAL PLAT
SD-2023-00062 VACATION OF PRIVATE
EASEMENT**

LEGAL DESCRIPTION:

Requests the aforementioned action(s) for all or a portion of: **106-A, 107-B, AND 107-C, MAP 38** zoned **MX-M AND R-1A**, located at **1701/1623 CENTRAL AVE NW** containing approximately **0.58** acre(s). **(J-13)**

On March 22, 2023, the Development Hearing Officer (DHO) held a public hearing concerning the above referenced applications and approved the requests, based on the following Findings:

SD-2023-00060 PRELIMINARY/FINAL PLAT

1. This is a request to consolidate three existing tracts (Tracts 106-A, 107-B, and 107-C) of Map 38 into one tract (Tract A of The Pearl Addition) at 0.58 acres in size.
2. The property is zoned MX-M & R-1A (portion of Lot 106-A). Future development must be consistent with the underlying zone district and the IDO/DPM requirements.
3. An Infrastructure List was approved with this Plat, and an approved and recorded Financial Guaranty/Infrastructure Improvements Agreement (IIA) must be submitted prior to the final sign-off of the Plat.
4. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:

Final sign-off of the Plat by the DFT staff is conditioned as follows:

- a. DXF file approval from AGIS prior to final sign-off.
- b. Recorded IIA.

SD-2023-00062 VACATION OF PRIVATE EASEMENT

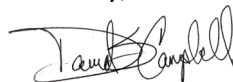
1. The applicant proposes to vacate an existing triangular private easement as shown on Mortgage Deed, Book A70 Page 4145 created for and between Tracts 106-A and 107-A.
2. The applicant justified the vacation request for the easement pursuant to 14-16-6-6-(M)(3) of the IDO. The public welfare does not require that the easement be retained, as the easement will be non-functional and unnecessary with the replat of the site.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DHO's decision or by **APRIL 7, 2023**. The date of the DHO's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



David S. Campbell
Development Hearing Officer

DSC/lis

Consensus Planning Inc., 302 8th Street, Albuquerque, NM 87102







PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision

Final Audit Report

2023-03-27

Created:	2023-03-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAPW8UD2WlQjHurDzo8l3tJ2cyS48wL1VX

"PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2023-03-26 - 7:44:06 PM GMT- IP address: 73.242.135.213
-  Document emailed to david@davidscampbell.com for signature
2023-03-26 - 7:44:53 PM GMT
-  Email viewed by david@davidscampbell.com
2023-03-27 - 1:47:07 AM GMT- IP address: 73.26.229.89
-  Signer david@davidscampbell.com entered name at signing as David S. Campbell
2023-03-27 - 1:52:16 AM GMT- IP address: 73.26.229.89
-  Document e-signed by David S. Campbell (david@davidscampbell.com)
Signature Date: 2023-03-27 - 1:52:18 AM GMT - Time Source: server- IP address: 73.26.229.89
-  Agreement completed.
2023-03-27 - 1:52:18 AM GMT

Names and email addresses are entered into the Acrobat Sign service by Acrobat Sign users and are unverified unless otherwise noted.

**PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946**

OFFICIAL NOTIFICATION OF DECISION

Rembe Urban Design + Development
1718 Central Ave. SW
Albuquerque, NM 87102

**Project# PR-2022-006844
(AKA: PR-2023-008387)
Application#
SD-2023-00060 PRELIMINARY/FINAL PLAT
SD-2023-00062 VACATION OF PRIVATE
EASEMENT**

LEGAL DESCRIPTION:

Requests the aforementioned action(s) for all or a portion of: **106-A, 107-B, AND 107-C, MAP 38** zoned **MX-M AND R-1A**, located at **1701/1623 CENTRAL AVE NW** containing approximately **0.58** acre(s). **(J-13)**

On March 22, 2023, the Development Hearing Officer (DHO) held a public hearing concerning the above referenced applications and approved the requests, based on the following Findings:

SD-2023-00060 PRELIMINARY/FINAL PLAT

1. This is a request to consolidate three existing tracts (Tracts 106-A, 107-B, and 107-C) of Map 38 into one tract (Tract A of The Pearl Addition) at 0.58 acres in size.
2. The property is zoned MX-M & R-1A (portion of Lot 106-A). Future development must be consistent with the underlying zone district and the IDO/DPM requirements.
3. An Infrastructure List was approved with this Plat, and an approved and recorded Financial Guaranty/Infrastructure Improvements Agreement (IIA) must be submitted prior to the final sign-off of the Plat.
4. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:

Final sign-off of the Plat by the DFT staff is conditioned as follows:

- a. DXF file approval from AGIS prior to final sign-off.
- b. Recorded IIA.

SD-2023-00062 VACATION OF PRIVATE EASEMENT

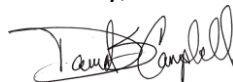
1. The applicant proposes to vacate an existing triangular private easement as shown on Mortgage Deed, Book A70 Page 4145 created for and between Tracts 106-A and 107-A.
2. The applicant justified the vacation request for the easement pursuant to 14-16-6-6-(M)(3) of the IDO. The public welfare does not require that the easement be retained, as the easement will be non-functional and unnecessary with the replat of the site.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DHO's decision or by **APRIL 7, 2023**. The date of the DHO's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



David S. Campbell
Development Hearing Officer

DSC/lis

Consensus Planning Inc., 302 8th Street, Albuquerque, NM 87102






PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision

Final Audit Report

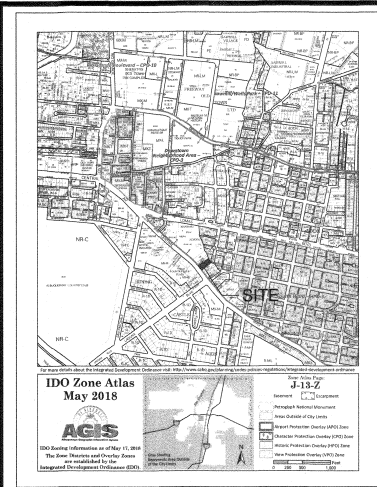
2023-03-27

Created:	2023-03-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAPW8UD2WlQjHurDzo8l3tJ2cyS48wL1VX

"PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2023-03-26 - 7:44:06 PM GMT- IP address: 73.242.135.213
-  Document emailed to david@davidscampbell.com for signature
2023-03-26 - 7:44:53 PM GMT
-  Email viewed by david@davidscampbell.com
2023-03-27 - 1:47:07 AM GMT- IP address: 73.26.229.89
-  Signer david@davidscampbell.com entered name at signing as David S. Campbell
2023-03-27 - 1:52:16 AM GMT- IP address: 73.26.229.89
-  Document e-signed by David S. Campbell (david@davidscampbell.com)
Signature Date: 2023-03-27 - 1:52:18 AM GMT - Time Source: server- IP address: 73.26.229.89
-  Agreement completed.
2023-03-27 - 1:52:18 AM GMT

Names and email addresses are entered into the Acrobat Sign service by Acrobat Sign users and are unverified unless otherwise noted.



LEGAL DESCRIPTION

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.R.G.C.D. MAP # 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES. EASEMENTS FOR ELECTRIC TRANSFORMER SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTEES" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEES" INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, ABOVEGROUND OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKINGS, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT AND VACATION

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEIR COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATED AS EASEMENTS SHOWN, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY:

OWNE(S) *[Signature]* 2/10/2023

ACKNOWLEDGMENT

STATE OF New Mexico
NOTARY PUBLIC
COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 10th DAY OF February, 2023, BY [Signature]

NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: 12/07/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
David P. Acosta
Commission Number 1121278
Expires 12/07/2025

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # 103058281493109 1013058281423110

BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYOR'S CERTIFICATE: [Signature] 6/30/23

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE. SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



PLAT OF TRACT A
THE PEARL ADDITION
BEING A REPLAT OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2023

PROJECT NUMBER: PR-2022-006844 APPLICATION NUMBER: SD-2023-00060

CITY APPROVALS	DATE
<i>Loren N. Bandoover P.S.</i>	2/7/2023
CITY SURVEYOR	DATE
<i>Ernest Arango</i>	Jun 9, 2023
TRAFFIC ENGINEER'S TRANSPORTATION DIVISION	DATE
<i>Ray Street</i>	2/17/2023
M.R.G.C.D.	DATE
<i>Walter P. Costa</i>	Hydrology Jun 8, 2023
PARKS AND RECREATION DEPARTMENT	DATE
<i>A.M. Garcia</i>	2/17/2023
A.M.A.C.O.A.	DATE
<i>David P. Acosta</i>	Jun 15, 2023
ABEQUA	DATE
<i>David P. Acosta</i>	Jun 22, 2023
ABEQUA	DATE
<i>Walter P. Costa</i>	Jun 8, 2023
HYDROLOGY	DATE
<i>Walter P. Costa</i>	Jun 8, 2023
PLANNING DEPARTMENT	DATE
<i>Walter P. Costa</i>	Jun 9, 2023
CODE ENFORCEMENT	DATE

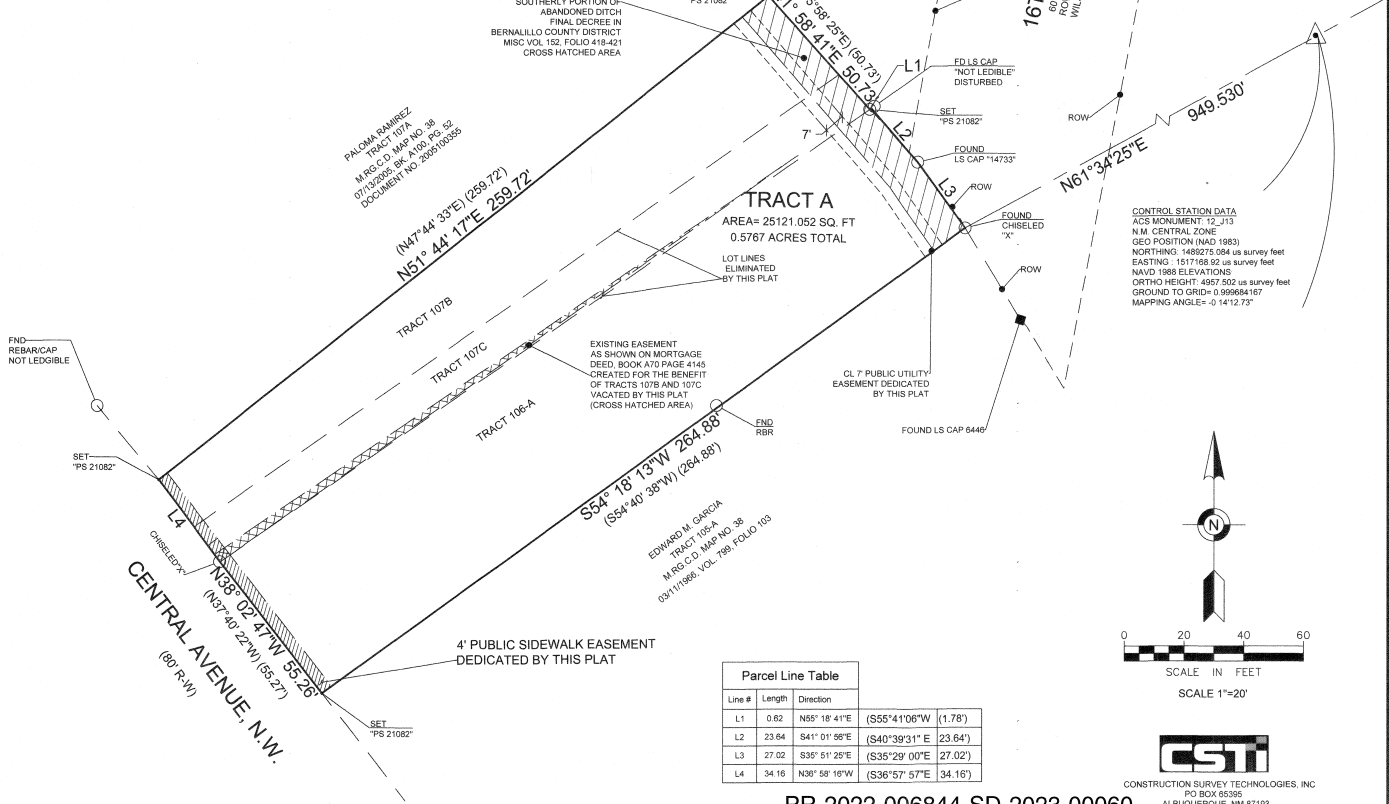
UTILITY APPROVALS	DATE
<i>PNM</i>	Jan 20 2023
PNM ELECTRIC SERVICES	DATE
<i>PNM</i>	1/20/2023
NEW MEXICO GAS	DATE
<i>Natalia Antonia</i>	2/9/2023
QWEST CORPORATION D.B.A. CENTURY LINK QC	DATE
<i>Walter P. Costa</i>	19/Jan/2023
COMCAST	DATE
M.R.G.C.D.	DATE
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER, ADDITION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.	
<i>Ray Street</i>	2/17/2023
APPROVED	DATE



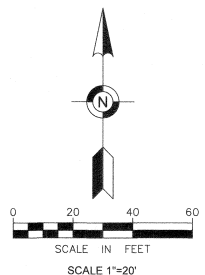
PR-2022-006844-SD-2023-00060

PLAT OF
TRACT A
THE PEARL ADDITION
BEING A REPLAT OF TRACTS 107-B, 107-C
TOGETHER WITH TRACT 106-A
WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2023

DOC# 2023040718
03/21/2023 11:17 AM 2:52 PM
2023 2:52 PM
Bernalillo County



CONTROL STATION DATA
ACS MONUMENT: 12_113
N.M. CENTRAL ZONE
GEO POSITION (NAD 1983)
NORTHING: 1488275.084 us survey feet
EASTING: 1517168.92 us survey feet
NAVD 1988 ELEVATION
ORTHO HEIGHT: 4957.502 us survey feet
GROUND TO GRID: 0.99984157
MAPPING ANGLE: -0.141273°



Line #	Length	Direction	
L1	0.82	N55°18'41"E	(S55°41'06"W (1.78')
L2	23.64	S41°01'56"E	(S40°39'31"E (23.64')
L3	27.02	S35°51'25"E	(S35°29'00"E (27.02')
L4	34.16	N39°58'19"W	(S36°57'57"E (34.16')

PR-2022-006844-SD-2023-00060

CSTI
CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395
ALBUQUERQUE, NM 87113
505-917-8821

Kenny Myers

From: Montoya, Patrick <patrick@cabq.gov>
Sent: Friday, April 26, 2024 10:22 AM
To: Kenny Myers
Cc: Jay Rembe
Subject: RE: 1701 Central: ADA parking space

Kenny,

Based on our discussion yesterday and my understanding of your request I am approving that you use one of the on street parking spaces for your 1 ADA van accessible parking space. Should you or Mr. Armijo have any questions please feel free to call me at 505-206-4031

PATRICK MONTOYA
Chief Operations Officer
505.768.3000
patrick@cabq.gov



From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:06 AM
To: Montoya, Patrick <patrick@cabq.gov>
Cc: Jay Rembe <rembe@rembedesign.com>
Subject: 1701 Central: ADA parking space

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

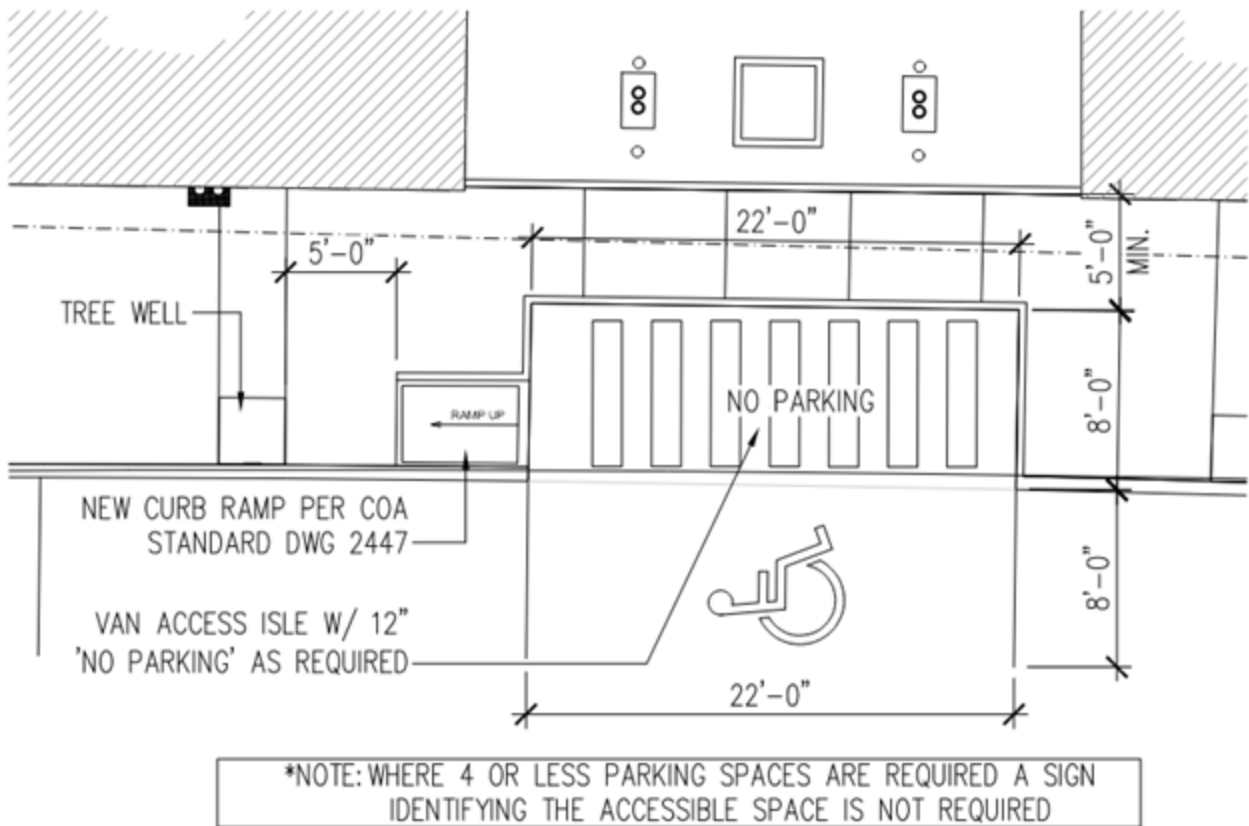
Patrick,
Thank you for calling Jay back yesterday and agreeing to have a look at this. I have articulated our intent and our request below:

The new development will include one 4 story, 34-unit market rate apartment building. As required by the IDO and as a condition of our RTA tax abatement approval, the project will provide approximately 1,700 square feet of commercial space located at ground level and servicing Central Ave. The project is located within CPO-3 which allows for residential access off 16th street, but not commercial access. As such, the project will provide 28

parking spaces (only 17 are required based on proximity to ART and EV charger credits) located to the rear (north end) of the lot which will be gated and accessed only by residential tenants from 16th street per the IDO. Commercial parking will be accommodated on the south side of Central Ave. at the existing Country Club Plaza Development, which is also owned by Jay Rembe. A shared parking agreement will be signed and recorded for this purpose. The IDO and zoning code require 1 ADA van accessible parking space for the commercial space. Due to the site constraints, we are proposing the utilization of one on-street parking space for this use with the required van access isle to be located to the north and accessed from the sidewalk via a curb ramp. Both the space, and associated access isle will meet all DPM standards. I have included a screen shot of the proposed plan below and have attached our proposed TCL for your review. We have spoken with and been given a verbal approval by Ernest Armijo from the transportation division, but request confirmation that this strategy is meets with your approval.

Please feel free to reach out with any additional questions, or comments, and again; thank you for your time.

All the best.



ON-STREET HC SPACE

1/2"=1'-0"

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Friday, April 26, 2024 11:15 AM
To: Porquis, Dominick A.
Subject: FW: 1701 Central: Conditional approval request
Attachments: 2024-0426-Zoning Conditional Approval Request.pdf; 2024-0426-Approval email from Patric Montoya.pdf

Please review and let's discuss. Thank you.



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:36 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Conditional approval request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Morning, sir.
Hope all is well on your end. I have attached here our request for conditional approval along with our shared parking agreement request. In addition, I have included the email approval from Patrick Montoya. Please review and let me know if you require any additional information.
All the best.

 [Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

REMBE

urban design + development

Jeffrey Palmer
Code Enforcement Supervisor
City of Albuquerque

RE: Request for Conditional approval: shared parking agreement for 1701 Central Ave; The George Apartment Building- BP-2024-10295

Mr. Palmer

We hope this finds you well. We respectfully ask that the Zoning Department grant the above-mentioned project approval to allow the building permit to be issued and construction to begin under the following conditions:

- All City of Albuquerque Parking requirements set forth under the Current version (as of April 26, 2024) of the Integrated Development Ordinance (IDO) are met prior to the issuance of a certificate of Occupancy.

To this end, a shared parking agreement has been submitted to the City of Albuquerque. The agreement grants the unconditional use of three standard parking spaces, and one Motorcycle space which will fulfill the requirements set forth in the current version of the IDO. One (1) ADA Van Accessible Parking Space will be provided on-site and is not included in this agreement, but has been verbally approved through the Transportation Division.

We, at Rembe Urban Design and Development, Kenneth Myers (Architect) and Rembe Silver Lofts, LLC, Jay Rembe (Owner) indemnify the city of all risk associated with charges that may be required with review and approval of the deferred submittal, as well as acknowledge that no Certificate of Occupancy may be issued without the recorded approval of the above mentioned documentation.

Thank you for your time and consideration,



Jay Rembe, Silver Lofts, LLC, Owner



Kenneth Myers, Rembe Urban Design and Development, Architect

Porquis, Dominick A.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Tuesday, April 30, 2024 11:09 AM
To: Aranda, James M.; Carol Gladin; williegochefs@yahoo.com; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; Edward Garcia; -Frances Garcia; Ted Cloak; jules1101@gmail.com; Michael Valdez; vivalucia3; Armijo, Ernest M.; johnhenryloan@icloud.com; reportit@krqe.com; newsdesk@krqe; Mentus Tessa; Varela, Alan M.; Rodenbeck, Jay B.; Roseman, Melissa; Webb, Robert L.; Danny Senn; scott.brixen@gmail.com; nori.brixenproperties@gmail.com
Subject: Response to 3/8/24 email (Traffic Study)
Attachments: CompactCarAndMidSizeSUV.jpg; DrivewayIllustration3vehicles.jpg; HondaCivic.jpg

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

4/30/24

James Aranda,

In response to your 3/8/24 email regarding a Traffic Impact Study Analysis.

Forty-three neighbors signed a petition requesting a Traffic Impact Study/Analysis. 100% of the surrounding neighbors are against Jay Rembe's current proposed development. Before I address your assertion denying a TIA based on 100 vehicles during peak traffic hours, I will share tangible reasons why a Traffic Impact Analysis is warranted.

1. Traffic studies are warranted when there will be a drastic change to a pre-existing neighborhood. La Orilla De La Acequia is one of Albuquerque's oldest neighborhoods.
2. Manzano Day School parents park along Lomas and sub-streets and walk their children to school. It is unsafe to allow 34 Unit apartment complex sole/ingress on 16th Street. This is formal notice to Cease and Desist creating a dangerous road condition, The City of Albuquerque and Jay Rembe will be held liable for unsafe design practices.
3. Traffic studies are warranted when safety is an issue. This would be classified as a substandard design as 16th Street does not meet the Fire Uniform Code 20-unobstructed feet minimum. 16th Street predates the 1900's and was built very narrow compared to today's minimum standards. 16th Street is currently a cul-de-sac (sub-street).

Please provide any published literature/training materials regarding Traffic Impact Analysis. The most widely accepted industry standard is the Institute of Traffic Engineers (ITE) which is repeatedly cited in CABQ planning documents and the Development Protocol Manual. According to the ITE Traffic Impact Analysis are warranted:

1. There is an expectation of traffic congestion anticipated with a new development. I have illustrated to you repeatedly that vehicles cannot travel north/south at the same time (see attached photo).
2. There is controversy among a neighborhood group or other citizen organizations about the proposed project. You have full knowledge and disclosure that 100% of the neighborhood is against the proposed development. You were provided the 43 signatures of surrounding neighbors.

More specific to our locale Bernalillo County Code states:

1. "Traffic Impact Analysis (TIA) may be required for subdivisions with 25 or more parcels, and apartment complexes and mobile home parks with 25 or more dwelling units".
2. "Whether a proposed development is residential or non-residential, a TIA may be required regardless of the minimum trip threshold to provide safe and efficient driveway access and to ensure pedestrian, and vehicle safety.

Albuquerque's IDO and protocols are required to be in accordance with the Bernalillo County Comprehensive Plan/codes. I am concerned as to why CABQ would violate industry standards, and continue to disregard the safety of the general public.

I have filed tort notice regarding The City of Albuquerque/Planning Department's refusal to require a Traffic Impact Study/Analysis. In good faith, CABQ should allow residents time to consult with an engineering firm before any final decisions are made on behalf of Jay Rembe. From a liability perspective, it is in The City of Albuquerque's best interest to require a Traffic Impact Study/Analysis. There is a high probability of injury or death on Central and 16th Street from the unsafe design.

Please provide this email to the Land Use Planning Zoning Committee, and please include it in the case file. I respectfully suggest you reconsider your previous position and act in the interests of the safety and welfare of the general public.

Thanks,

Martin Vigil

From: Aranda, James M. <jmaranda@cabq.gov>

Sent: Monday, March 18, 2024 10:20 AM

To: cgjabq@gmail.com <cgjabq@gmail.com>; vigilmartin@hotmail.com <vigilmartin@hotmail.com>; williegochefs@yahoo.com <williegochefs@yahoo.com>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abduunn@ablairdunn-esq.com <abduunn@ablairdunn-esq.com>; dennis@fusionabq.org <dennis@fusionabq.org>; jules1101@gmail.com <jules1101@gmail.com>; tcloak@unm.edu <tcloak@unm.edu>

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>

Subject: RE: Mediation Request

Esteemed Neighbors of 16th Street:

Thank you all very much for expressing your concerns about the proposed development project known as the Pearl. Your correspondence has been included in the project file associated with the project. Development Review Services (DRS) Planning Manager Jay Rodenbeck is the designated point of contact for the Planning Department. You can contact Mr. Rodenbeck for project updates by phone: 505-924-3994 or email: jrodenbeck@cabq.gov. Mr. Rodenbeck will provide final confirmation, but as of 3/15/2024, no new submittals have been made for 1701/1623 Central Ave NW. The following project reviews have taken place thus far:

- A Fire One plan was approved by the Fire Marshal's Office in May 2022.
- In August 2022, the Zoning Enforcement Officer (ZEO) issued an interpretation based on the IDO's explicit prohibition of access to non-residential development along Central from 15th Street, 16th

Street, and Fruit Avenue. The ZEO found that the prohibition does not extend to residential access to the aforementioned streets.

- A Lot Consolidation was approved by the Development Hearing Officer (DHO) in March 2023.
- A conceptual Traffic Circulation Layout (TCL) was submitted and comments from staff were provided to the applicant in August 2023.
 - No new TCL addressing staff comments has been submitted, therefore, there are no official TCL approvals yet.
- A Grading & Drainage Plan was approved by Hydrology in August 2023.

PUBLIC MEETING/HEARING REQUEST

Pursuant to Subsection 14-16-6-5(G)(1)(f)2. of the IDO, the project meets the criteria for Site Plan – Administrative, which will be submitted as a component of a building permit. Per IDO Subsections 14-16-6-4(B)(1)(b) and 14-16-6-4(L)(1)(a)1, Pre-Submittal Neighborhood Meetings and Post-Submittal Facilitated Meetings are required only when a project contains more than 100 multi-family dwelling units and/or more than 50,000 square feet of non-residential development. Staff does not have the authority to require a public meeting or public hearing on any application if the project does not meet the applicable IDO criteria.

Please be aware that pursuant to IDO 14-16-6-4(V), a final decision on the application may be appealed by any party with standing to the City Council through the Land Use Hearing Officer (LUHO) [IDO 14-16-6-4(V)(2)(a)]. The appeal of the zoning approval for the Site Plan must be filed with the Planning Department within 15 calendar days (excluding holidays) of issuance of the Building Permit.

RESIDENTIAL VS NON-RESIDENTIAL

Section 7-1 of the IDO defines Non-Residential Development as: “Development of allowable land uses on a property that includes no residential development.” (IDO 7-1, page 559). Multi-Family Residential Development is defined in the IDO as: “Residential development of multi-family dwellings or uses from the Group Living category (except small community residential facilities) in zone districts as allowed per Table 4-2-1. Properties that include both multi-family dwellings and low-density residential development are considered multi-family residential development for the purposes of this IDO. *Properties with other uses accessory to residential primary uses allowed per Table 4-2-1 are still considered multi-family residential development for the purposes of this IDO.*” IDO Table 4-2-1 explicitly categorizes multi-family dwellings as a Residential Use.

TRAFFIC IMPACT STUDY

The City’s Development Process Manual (DPM) includes criteria in Section 7-5(C)(2) to determine which activities warrant a Traffic Impact Study (TIS). A TIS can only be required if the following two conditions are met:

1. The project will generate more than 100 AM or PM peak hour trips per day and is located along Commuter Corridors or non-designated or “other” corridors.
2. The project will result in more than 100 AM or PM peak hour trips per day and is located in a Center or along a Corridor where the AM or PM peak hour volume-to-capacity ratios already exceed 0.5. Exceptions include Downtown, Urban Centers, Premium Transit station areas, and Main Street Corridors.

According to the ITE Trip Generation Manual, the traffic that a development of this size (34 units) would generate would be far below the 100-trip threshold, thus unfortunately, staff does not have the authority to require a TIS as you have requested. Generally speaking, it takes an apartment complex of approximately 245 units to meet this threshold.

MEDIATION REQUEST

City staff do not determine where specific development projects are proposed and are not the applicant in this particular case. Furthermore, staff do not advocate on behalf of a particular project or applicant. Staff’s responsibility in the process is to ensure that all rules, regulations and procedures are upheld, and to review the

application upon submittal to ensure that all aspects of the project meet the applicable provisions of the zoning code, DPM and Building Code. In conclusion, I strongly encourage you to establish a line of communication with the applicant and request a public meeting and/or mediation conference to discuss your neighborhood's concerns about the development project's impacts on 16th Street, and to explore potential paths forward.

Respectfully,

JMA

JAMES M. ARANDA, MCRP
deputy director
jmaranda@cabq.gov
cabq.gov/planning

From: Carol Gladin <cgjabq@gmail.com>
Sent: Thursday, March 14, 2024 7:33 AM
To: Martin Vigil <vigilmartin@hotmail.com>
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com
Subject: Re: Mediation Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

I join Martin in requesting a mediation conference. Accessing this 34 unit apt complex solely from our narrow, residential street (the 200 and 300 blocks of 16th NW) is not possible. Carol Johnson at 233 16th St, NW.
Sent from my iPhone

On Mar 13, 2024, at 6:26 PM, Martin Vigil <vigilmartin@hotmail.com> wrote:

3/13/24

Jay Rodenbeck,

Thank you for your email sent on 2/14/24. I apologize for the delay in responding. As you have been CC on the recent communications with various employees, it has become apparent the back-and-forth interactions are not leading to a resolution or clarification. I and my neighbors have spent a considerable amount of time speaking with different departments (planning, building permits, DRB, traffic and engineering, MRGCD). But so far nobody has taken responsibility for certain issues. I will be filing tort, and some of my neighbors are considering filing tort notice regarding some key issues:

1. Which CABQ employee decided to allow access on 16th St?
2. Why have requests for a mediation conference been ignored?
3. Which CABQ employee decided to not conduct a Traffic Impact Study/Analysis?

So far employees regularly shift responsibility back in forth to other departments. Please identify the employees and we can begin additional legal remedies, and avoid the counter-productive back and forth.

If you have any suggestions to resolve some of the issues, I welcome any ideas. At this time, I think a mediation conference would be beneficial to all parties.

Thanks,

Martin Vigil







From: [Martin Vigil](#)
To: [Rodенbeck, Jay B.](#); [Danny Senn](#); [Edward Garcia](#); [Carol Gladin](#); [williegochefs@yahoo.com](#); [jules1101@gmail.com](#); [Ted Cloak](#); [-Frances Garcia](#)
Subject: Site Plan Building Permit approval
Date: Wednesday, May 1, 2024 5:44:09 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/1/24

Jay Rodenbeck,

When the site plan/building permit is approved please include the Downtown Neighborhood Association chair Danny Senn. I informed Renee Zamora she supplied the wrong information to my neighbor Edward Garcia and I did not receive a response. Renee listed my deceased neighbor Paloma Ramirez as the owner/developer. The developer is Jay Rembe and he owns 1701 Central Ave NW. My neighbor Mrs. Ramirez/Neftaly Moreno own 1701 ½ Central Ave. Neighbors must have the correct information for the appeal. I'm not sure how many neighbors have reached out to her, but I know of at least a few.

Thanks,

Martin

From: [Scott Brixen](#)
To: [Rodenbeck, Jay B.](#)
Subject: Re: Communication/Update
Date: Wednesday, May 8, 2024 5:12:50 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Mr. Rodenbeck,

My wife and I own a multifamily property at 228 16th Street. Eight casitas around a little plazuela.

When we bought the place 2 years ago, it was after looking all over the city for southwestern-style buildings in good locations. 16th street ends in a cul de sac, was surrounded (mostly) by southwestern style buildings, is super quiet and safe at night, walking distance to Old Town etc. Perfect!

I don't know enough about the procedural rules to comment, and I don't want to get into accusations, but I know for sure that having 50 cars coming out of that building onto 16th street makes no sense. I can barely turn my truck around in that cul de sac without hitting neighbors' cars already!

The (mostly) elderly neighbors have a lot to complain about here. The process has not felt equitable at all. But the big issue is the access. I recognize that forcing the entrance onto Central isn't great for Mr. Rembe (he will have to give up some retail space and maybe a few apartments), but it would make all the difference for the existing property owners.

I'm also surprised the city of ABQ is so willing to add another large, nondescript building in an area that is one of ABQ's best hopes for tourism/culture.

Thank you for your consideration,

Scott Brixen
scott.brixen@gmail.com

On Wed, May 8, 2024 at 3:25 PM Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Mr. Vigil,

Regarding your assertion below that Carol Johnson was ignored by the Planning Department, I am not aware of Ms. Johnson's past visit(s) to our office, but I will be happy to see if we can find a date/time for her to meet up with staff to go over her questions/concerns either via teleconference or in-person at our office.

Regarding a post-submittal facilitated meeting, we have made it clear in past correspondence that

the IDO doesn't permit us to require a post-submittal facilitated meeting between the City as a facilitator, the applicant (Mr. Rembe), and the neighboring property owners and/or Neighborhood Association's; Section 6-4(L)(1) of the IDO notes that a post-submittal facilitated meeting can be requested by property owners within 330 feet and Neighborhood Associations within 660 feet in any direction of the subject property for a Site Plan Administrative application proposing more than 100 multi-family residential dwelling units and/or 50,000 square feet of non-residential development. However, neither threshold is met or exceeded by the proposed development at 1701 Central Avenue NW per BP-2024-10295.

Regarding the Site Plan Administrative/Building Permit for the proposed development at 1701 Central Avenue NW (BP-2024-10295), I can confirm at the time that this message was sent that the Building Permit has not been issued yet.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Monday, May 6, 2024 9:59 AM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; Aranda, James M.

<jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Carol Gladin <cgiabq@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; williegochefs@yahoo.com; vivalucia3 <vivalucia3@proton.me>; -Frances Garcia <francesandrea9@gmail.com>; Ted Cloak <tcloak@unm.edu>; jules1101@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; Michael Valdez <turtletays@gmail.com>
Subject: Communication/Update

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/ 6/24

Jay Rodenbeck,

It has been several weeks since you have responded to emails. Are you still the Planning Department's point of contact for our neighbors?

Additionally, it is very troublesome that planning staff does not engage in dialogue with our neighbors. Communication requires an actual response to the substance of our correspondence. As a respectful reminder, I have read over 8,000 emails (obtained legally through IPRA) between Jay Rembe and City of Albuquerque staff. There is a clear distinction of how ordinary citizens are treated vs. developers like Jay Rembe. This letter serves as formal notice to Cease and Desist excluding ordinary citizens from the planning process. Please provide a response to the emails I have sent to you recently, this is a time-sensitive matter.

Some of our senior neighbors do not have computers or printers. Some neighbors prefer to send handwritten notes, or make calls. For instance, my neighbor Carol Johnson is 78 years old, and was constantly ignored by the Planning Department. Carol decided to visit in person and was willing to wait all day until spoken to. No neighbor should have to do that, especially our senior neighbors. There are many instances of planning staff not responding to neighbors in violation of the code of conduct.

Over a dozen requests for a meeting, or mediation conference have been ignored or refused. Please meet with leadership and present some solutions to the refusal to communicate issues. In the meantime, I will be filing tort notices against staff for the misconduct. I will also file against the supervisors for negligent supervision. When the conduct stops, I will gladly stop additional legal remedies.

Additionally, Robert Webb will be out of the office for a few weeks. Please assign a point of contact I can speak with in the interim.

Thanks,

Martin Vigil

From: [Martin Vigil](#)
To: [Aranda, James M.](#); [Rodenbeck, Jay B.](#); [Perez, James](#); [Sanchez, Nicole A.](#); [Manzano, Daniel](#); [Webb, Robert L.](#); [Armijo, Ernest M.](#); [Les Romaine](#); [warba.llp.jared@gmail.com](#); [abdunn@ablairdunn-esq.com](#); [Edward Garcia](#); [Frances Garcia](#); [williegochefs@yahoo.com](#); [Carol Gladin](#); [jules1101@gmail.com](#); [nori.brixenproperties@gmail.com](#); [scott.brixen@gmail.com](#); [Ted Cloak](#); [johnhenrysloan@icloud.com](#); [vivalucia3](#); [Michael Valdez](#); [Danny Senn](#); [ericcarson@protonmail.com](#); [Varela, Alan M.](#); [mlbowman41@q.com](#); [Roseman, Melissa](#)
Subject: ZEO interpretation
Date: Wednesday, May 8, 2024 9:33:35 AM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/8/24

James Aranda,

In your email on 3/18/24, you stated that "a Zoning Enforcement Officer issued an interpretation". It is noteworthy that the ZEO was you. You stated:

"In August 2022, the Zoning Enforcement Officer (ZEO) issued an interpretation based on the IDO's explicit prohibition of access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. The ZEO found that the prohibition of access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. The ZEO found that the prohibition does not extend to residential access to the aforementioned streets".

Your interpretation comes from an amendment that was made by my recently deceased neighbor and friend Chris Isengard. Chris suggested the amendment to the LUPZ, on Sept 12, 2011. I attached the document for your reference. Below I will cite section 2. (that is what pertains to 16th Street). This interpretation has been in effect and enforced against my property since 2011-Present:

Page 126, in the SU-2/DNA-CC (Central Corridor) zone, amend section H. Vehicular Ingress/Egress as follows:

For properties west of 14th Street, primary vehicular access shall be from Central Avenue. Non-residential vehicular access to and/or from 15th Street, 16th Street, and Fruit Avenue is prohibited."

Please note the first sentence "For properties west of 14th Street, primary vehicular access shall be from Central Avenue. Jay Rembe's lots (1623 Central/1701 Central now consolidated under 1701 Central) both have driveways on Central Ave. Central Ave has been the primary and sole access for the past 100 years. The rear portion of the property is fenced without an

opening for rear access. While I understand my property and (5 other neighbors) property is no longer zoned SU-2, the zoning regulations still apply. If the regulations were changed, please identify when, and who, and provide proof of compliance under the Open Meetings Act. All actions so far have occurred behind closed doors excluding the public (preliminary plat, final plat, site development plans). No notice has been provided for those meetings.

Your interpretation contradicts CABQ's past LUPZ explanation. I brought up the discriminatory/selective enforcement against my property via email on 3/15/23. As of 5/8/24, both you and Alan Varela failed to respond to that specific issue in violation of the Albuquerque Code of Conduct. The City of Albuquerque Planning Department and committees have exercised a repeated pattern of practice of making decisions behind closed doors, and excluding the public from the planning process. Public meetings and/or live dialogue have been refused repeatedly. The adjacent neighbors range in age from 72 to 96 years old, I made multiple requests for ADA accommodations for my senior neighbors to be able to participate in person (rather than on Zoom). Neighbors were forced to either use Zoom or not participate. Some of the mistakes you have made as ZEO could have been avoided if you properly allowed feedback from the public.

I will consult with legal counsel if violations of The Open Meeting Act occurred, I respectfully suggest you do the same. Please identify who the LUPZ hearing officer is, so the public can participate in the process. I have been requesting this information for several months without a response from you or Jay Rodenbeck. Please add this document to the case file and submit it to the LUPZ officer.

Thanks,

Martin Vigil

Porquis, Dominick A.

From: Montoya, Matthew
Sent: Monday, May 13, 2024 4:49 PM
To: Palmer, Jeffrey
Subject: Re: 1701 Central: Shared parking agreement

Follow Up Flag: Follow up
Due By: Monday, May 20, 2024 8:30 AM
Flag Status: Flagged

If it's approved, then it's fine. The ADA was the only issue.



Matthew Montoya
Assistant City Attorney
Property and Finance Division
o 505.768.3744
matthewmontoya@cabq.gov

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Monday, May 13, 2024 2:56 PM
To: Montoya, Matthew <matthewmontoya@cabq.gov>
Subject: RE: 1701 Central: Shared parking agreement

Good afternoon, Matthew,
Do you think you can make time to review the Shared Parking Agreement this week for 1701 Central? They are anxious to get it completed, as it is holding up their permit process.

If unable to get to it, can you ask Nicole or someone else to do so? I would appreciate it if you could let me know what is a reasonable expectation time for you to get to this review, so I may respond, accordingly. Thank you!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Palmer, Jeffrey
Sent: Monday, May 6, 2024 12:09 PM

To: Montoya, Matthew <matthewmontoya@cabq.gov>

Subject: FW: 1701 Central: Shared parking agreement

Good afternoon, Matthew,

I know you always have a lot going on, but was wondering if you have had time to review this. They have been working to get the approvals needed from DMD for some time now, and now that they have it, they are anxious to get it reviewed and settled soon, if possible.

Please let me know if you have questions. Thank you.



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Palmer, Jeffrey

Sent: Thursday, May 2, 2024 2:48 PM

To: Montoya, Matthew <matthewmontoya@cabq.gov>

Subject: RE: 1701 Central: Shared parking agreement

Good afternoon, Matthew,

Please see the attached Shared Parking Agreement and related exhibits for 1701 Central Ave NW. They have received approval for use of an on-street parking space for their ADA accessible space, and as an on-street space abutting the property is considered as located on the same lot (per IDO 5-5(C)(6)(d) and 5-5(F)(1)(a)(10), I believe they are now meeting the requirements for parking for the commercial units to be located at 1701 Central Ave NW. Both transportation (Planning Development Review Services) and streets (the Department of Municipal Development) staff have approved this arrangement for location of the ADA space.

 [Shared Parking Agreement.pdf](#)

Please let me know if you need additional information or have questions. Thank you!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

[e jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)
cabq.gov/planning

From: Montoya, Matthew <matthewmontoya@cabq.gov>
Sent: Thursday, February 15, 2024 3:02 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: Re: 1701 Central: Shared parking agreement

If I recall correctly, the ADA issue was the only thing that held it up. Did they obtain a variance from the ADA on-site requirement under 14-16-5-5(C)(6)(3)?

If so, can we verify the variance has been granted?

Thank you.



Matthew Montoya
Assistant City Attorney
Property and Finance Division
o 505.768.3744
matthewmontoya@cabq.gov

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Thursday, February 15, 2024 10:38 AM
To: Montoya, Matthew <matthewmontoya@cabq.gov>
Subject: FW: 1701 Central: Shared parking agreement

Good morning, Matthew,

The applicant is asking about the status of this application. I know you have likely been quite busy with preparing for recent Code Enforcement related cases, but have you had time to take a look at this?

I would be happy to discuss it with you, if you have any questions. Please let me know the status on this, when you can. Thank you!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420

e jppalmer@cabq.gov
cabq.gov/planning

From: Palmer, Jeffrey
Sent: Wednesday, January 31, 2024 3:18 PM
To: Montoya, Matthew <matthewmontoya@cabq.gov>
Subject: FW: 1701 Central: Shared parking agreement

Good afternoon, Matthew,
Please review the plan attached (in the body of the email below) for a Shared Parking Agreement between 1700 and 1701 Central Av NW. They have received authorization for the ADA space to be located as shown in the street adjacent to 1701 Central, and have the remaining required spaces located on 1700 Central.

Once you approve, I will send it for signature to the Director and yourself. Thank you.



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers [<mailto:design@rembedesign.com>]
Sent: Wednesday, January 31, 2024 10:47 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Shared parking agreement

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Morning sir.

Hope you have been well. I have attached here our revised shared parking agreement. We have reduced the number of required shared spaces by 1 to 3 spaces, and included the ADA accessible space located at 1701 Central. I have discussed this with Ernest Armijo, and he agrees that this solution works. Let me know if you have any questions, and please send this along as soon as possible.

 [2024-0131-Shared Parking Agreement.pdf](#)

All the best,

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

Porquis, Dominick A.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Monday, May 20, 2024 10:55 AM
To: Brissette, Renee C.; Varela, Alan M.; Aranda, James M.; Webb, Robert L.; Tommy Lopez; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; Manzano, Daniel; Edward Garcia; -Frances Garcia; joshuafernandez@gmail.com; info@tbirdinc.com; williegocheffs@yahoo.com; Carol Gladin; Ted Cloak; nori.brixenproperties@gmail.com; jules1101@gmail.com; vivalucia3; Rodenbeck, Jay B.; Roseman, Melissa; Susan McKinstry; reportit@krqe.com; Michael Valdez; Nashboo, Shaun; mlbowman41@q.com; Jay Rembe; kenny@kennethmymyers.com
Subject: Jay Rembe's development 1701 Central (flooding on Central Ave)
Attachments: 1615 Central Front yard.jpg; Central.jpg; july23 Flooding.jpg

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/20/24

Renee Brissette
CABQ Senior Engineer Hydrology,

This letter serves as formal notice to Cease and Desist approval of Jay Rembe's development for 1701 Central Ave N.W. Any past approvals should be reconsidered. Please reference the attached pictures of the front of my property. During moderate/heavy rain, massive flooding occurs on Central Ave. The north side of Central Ave does not have storm drains. Since at least 2013, the City of Albuquerque has negligently failed to remedy the situation. From my understanding, Jay Rembe will not be utilizing water collection ponds for this development, and instead utilize drainage onto Central Ave. This will significantly increase the flooding that already occurs.

I have already initiated legal remedies against The City of Albuquerque:

1. In 2023 I filed a tort notice for this issue. I am preparing a lawsuit for damages, as a result of the negligent stormwater management.
2. Improper grading during ART construction contributed to improper stormwater management. The City of Albuquerque has negligently refused to investigate the matter and initiate a remedy from Bradbury Stamm Construction under the ART contract.
3. The City of Albuquerque Engineers/Planning failed in their duties for proper planning. The optimum time to install storm drains was during ART construction, while Central Ave was reconstructed.
4. The improper grading directs stormwater to the north side of Central (which has no storm drains).
5. The flooding has destroyed my front landscaping. I cannot install new landscaping until the flooding issue is resolved. More importantly, flooding can cause serious damage to me and my neighbor's property.

The City of Albuquerque has shown a repeated pattern of practice of failing to exercise due diligence. Since 2013, I have documented instances of the City of Albuquerque officials engaging in unsafe design practices. The lack of regard causes financial harm, and sometimes irreparable damage to private property. I would like to discuss this issue with you, and any possible solutions as soon as possible. Please include this letter (and pictures) in the case file and to the LUPZ committee.

Thanks,

Martin Vigil



JASON M. BURNETTE Ex
ALBUQUERQUE 1915
CHRISTINA A. VIGIL Ex
GILBERT J. VIGIL Ex





Laguna Blvd

From: [Rodenbeck, Jay B.](#)
To: [Scott Brixen](#)
Subject: RE: Communication/Update
Date: Monday, May 20, 2024 10:05:00 AM
Attachments: [Re The Pearl Project.pdf](#)

Good morning Scott,

Regarding access to 16th Street for Mr. Rembe's proposed development at 1701 Central Avenue NW currently undergoing Building Permit review per BP-2024-10295, for your information I am attaching past correspondence (from January 9th, 2024) from Principal Engineer Ernest Armijo (an engineer who heads our Transportation Section in the Development Review Services Division of the Planning Department) to concerned neighbors in response to neighborhood concerns pertaining to the proposed development, including concerns pertaining to access to 16th Street. Mr. Armijo's responses (in red font) include addressing and confirming concerns pertaining to access to 16th Street for the proposed development.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Scott Brixen <scott.brixen@gmail.com>

Sent: Wednesday, May 8, 2024 5:12 PM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: Re: Communication/Update

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Mr. Rodenbeck,

My wife and I own a multifamily property at 228 16th Street. Eight casitas around a little plazuela.

When we bought the place 2 years ago, it was after looking all over the city for southwestern-style buildings in good locations. 16th street ends in a cul de sac, was surrounded (mostly) by southwestern style buildings, is super quiet and safe at night, walking distance to Old Town etc. Perfect!

I don't know enough about the procedural rules to comment, and I don't want to get into accusations, but I know for sure that having 50 cars coming out of that building onto 16th street makes no sense. I can barely turn my truck around in that cul de sac without hitting neighbors' cars already!

The (mostly) elderly neighbors have a lot to complain about here. The process has not felt equitable at all. But the big issue is the access. I recognize that forcing the entrance onto Central isn't great for Mr. Rembe (he will have to give up some retail space and maybe a few apartments), but it would make all the difference for the existing property owners.

I'm also surprised the city of ABQ is so willing to add another large, nondescript building in an area that is one of ABQ's best hopes for tourism/culture.

Thank you for your consideration,

Scott Brixen
scott.brixen@gmail.com

On Wed, May 8, 2024 at 3:25 PM Rodenbeck, Jay B. <jrodenbeck@cabq.gov> wrote:

Mr. Vigil,

Regarding your assertion below that Carol Johnson was ignored by the Planning Department, I am not aware of Ms. Johnson's past visit(s) to our office, but I will be happy to see if we can find a date/time for her to meet up with staff to go over her questions/concerns either via teleconference or in-person at our office.

Regarding a post-submittal facilitated meeting, we have made it clear in past correspondence that the IDO doesn't permit us to require a post-submittal facilitated meeting between the City as a facilitator, the applicant (Mr. Rembe), and the neighboring property owners and/or Neighborhood Association's; Section 6-4(L)(1) of the IDO notes that a post-submittal facilitated meeting can be requested by property owners within 330 feet and Neighborhood Associations within 660 feet in any direction of the subject property for a Site Plan Administrative application proposing more than 100 multi-family residential dwelling units and/or 50,000 square feet of non-residential development. However, neither threshold is met or exceeded by the proposed development at 1701 Central Avenue NW per BP-2024-10295.

Regarding the Site Plan Administrative/Building Permit for the proposed development at 1701 Central Avenue NW (BP-2024-10295), I can confirm at the time that this message was sent that the Building Permit has not been issued yet.



Jay Rodenbeck
Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Monday, May 6, 2024 9:59 AM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; williegochefs@yahoo.com; vivalucia3 <vivalucia3@proton.me>; -Frances Garcia <francesandrea9@gmail.com>; Ted Cloak <tcloak@unm.edu>; jules1101@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; Michael Valdez <turtletays@gmail.com>

Subject: Communication/Update

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/ 6/24

Jay Rodenbeck,

It has been several weeks since you have responded to emails. Are you still the Planning Department's point of contact for our neighbors?

Additionally, it is very troublesome that planning staff does not engage in dialogue with our neighbors. Communication requires an actual response to the substance of our correspondence. As a respectful reminder, I have read over 8,000 emails (obtained legally through IPRA) between Jay Rembe and City of Albuquerque staff. There is a clear distinction of how ordinary citizens are treated vs. developers like Jay Rembe. This letter serves as formal notice to Cease and Desist excluding ordinary citizens from the planning process. Please provide a response to the emails I have sent to you recently, this is a time-sensitive matter.

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person and was willing to wait all day until spoken to. No neighbor should have to do that, especially our senior neighbors. There are many instances of planning staff not responding to neighbors in violation of the code of conduct.

Over a dozen requests for a meeting, or mediation conference have been ignored or refused. Please meet with leadership and present some solutions to the refusal to communicate issues. In the meantime, I will be filing tort notices against staff for the misconduct. I will also file against the supervisors for negligent supervision. When the conduct stops, I will gladly stop additional legal remedies.

Additionally, Robert Webb will be out of the office for a few weeks. Please assign a point of contact I can speak with in the interim.

Thanks,

Martin Vigil

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Friday, May 24, 2024 11:39 AM
To: Kenny Myers
Subject: FW: 1701 Central: Conditional approval request
Attachments: Shared Parking Agreement.docx; 2024-0426-Approval email from Patric Montoya.pdf

Good morning, Kenny,

The Shared Parking Agreement, along with the Exhibits attached (Site Plan and DMD Approval Email) all have been reviewed and approved for submittal and signing.

Please revise the Site Plan as we discussed, to clarify the "Parking Available" Table on the left side is for the Country Club plaza at 1716 Central SW. As discussed, I would recommend you combine, if possible, the Shared Parking Agreement, the Site Plan (Exhibit A) and DMD Approval for ADA space (Exhibit B) into one legal document for final signature and recording.

Let me know if further questions. Thank you.

Respectfully,



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Wednesday, May 1, 2024 6:40 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: RE: 1701 Central: Conditional approval request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

Thanks for reviewing the document. Please see attached. Let me know if this covers what you are looking for and I will execute and submit.

Thanks

 [2024-0501-EXHIBIT A DRAFT REVISION.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A

Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Wednesday, May 1, 2024 4:26 PM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Conditional approval request

And I would recommend you add the approval email from DMD as an exhibit to the Shared Parking Agreement, as verification that all parking is approved and accounted for. Contact me tomorrow morning, if questions on this. Thanks!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Palmer, Jeffrey
Sent: Wednesday, May 1, 2024 4:18 PM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Conditional approval request

I would recommend you add into your Notes on the Site Plan, under parking calculations, something to the effect that “DMD has approved an on-street parking space for specific use as the ADA space for commercial businesses, and the adjacent on-street parking meets requirements for on-site parking for ADA per IDO 5-5(C)(6)(d), On-street Parking Credit and 5-5(F)(1)(a)(10).”

The wording for the Agreement indicates one ADA space is provided onsite...which is not literally correct, but is technically correct. I think we can submit it for review, but would recommend you draft and add a note to the Site Plan for clarification.



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov

From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:36 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Conditional approval request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Morning, sir.

Hope all is well on your end. I have attached here our request for conditional approval along with our shared parking agreement request. In addition, I have included the email approval from Patrick Montoya.

Please review and let me know if you require any additional information.

All the best.



[Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL NW, ALBUQUERQUE, NM 87104

Legal Description: BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

UPC: 101305828014231110, 101305828114131109, 101305828413731108

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104

LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

In Conjunction with the development of The George Apartment Building, located at 1701 Central Ave. NW Albuquerque, NM 87104, (the "Property") for which the legal description is:

BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

the City of Albuquerque has allowed, and the owner, Silver Lofts, LLC has voluntarily elected, for a reduction to off-street parking requirements based upon IDO section 5-5(C)(6)(e) Off-site Parking Credit:

- 1. The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.*

2. Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding Agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.

The location of the shared parking described herein and illustrated in exhibit 'A' meets the conditions set forth in IDO section 14-16-5-5(F)(1)(a)10:

Required parking spaces for uses in the Civic and Institutional, Commercial, and Industrial use categories may be located in a designated parking area on a lot within 330 feet in any direction of the premises served by such parking if they meet the standards in Subsection 14-16-5-5(C)(5)(b) (Shared Parking Reduction) or Subsection 14-16-5-5(C)(6)(e) (Off-site Parking).

The provided site plan, as shown on Exhibit 'A' includes a parking layout and reduced parking calculations. Based on the site plan and considering the tenant uses, the IDO requires a minimum of four (4) off-street parking spaces, and one (1) motorcycle parking space: Three (3) standard spaces and one (1) ADA Van Accessible Handicap space. Under the terms of this Agreement, zero (0) off-street standard parking will be provided on the property. All three (3) required standard off-street parking spaces, and one (1) motorcycle space will be provided on the property with the off-site parking area located at 1700-1718 Central Ave. SW. Albuquerque, NM 87104. One (1) ADA Van Accessible Parking Space will be provided on-site as approved by DMD and is not included in this agreement. See Exhibit 'B' for approval.

The owner and its successor and assigns agree that it will not change the tenant uses at the property in a manner that increases the number of required off-street parking spaces unless additional parking spaces are provided. In the event that there are changes to the tenant uses which would increase the number of required off-street parking spaces on the Property, the parking calculations shall be updated by the owner to reflect such change and presented to the city.

Furthermore, the owner agrees that the Property shall operate an open/shared parking arrangement, whereby the owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by the users of any portion of the property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking area for such items as spaces for disabled drivers, loading, designated timed area such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City or take commercially reasonable actions to prevent parking in area which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this. The terms of the Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

Porquis, Dominick A.

From: Kenny Myers <design@rembedesign.com>
Sent: Wednesday, May 29, 2024 2:35 PM
To: Palmer, Jeffrey
Subject: RE: 1701 Central: Conditional approval request

Follow Up Flag: Follow up
Flag Status: Completed

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

See link below:

 [FULL Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Wednesday, May 29, 2024 2:22 PM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Conditional approval request

Good afternoon, Kenny,

A couple of items need clarification or possible correction.

1. The UPC codes given for the property being called 1701 Central do not appear to be accurate. Sorry, I did not check this before, assuming they would be correct. I cannot find record of the highlighted UPC numbers given. Please let me know if I am in error, or change if needed.
2. Also, if you need to change, I would advise inserting the address proposed for this property being described, for clarity, as well.

Legal Description: BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

UPC: 101305828014231110, 101305828114131109, 101305828413731108

3. Minor typo on Site Plan has crept in for address:

PARKING CALCULATIONS FOR 17010 CENTRAL NW

Residential Parking Calculations*	Unit Count
Residential Units in MK-M, CPO-3	34

Please call if questions.



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Tuesday, May 28, 2024 1:13 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: RE: 1701 Central: Conditional approval request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

Hope you had a great weekend. Please see attached for the signed parking agreement. Please have legal sign as soon as humanly possible.

Thanks,

 [FULL Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Friday, May 24, 2024 11:39 AM
To: Kenny Myers <design@rembedesign.com>
Subject: FW: 1701 Central: Conditional approval request

Good morning, Kenny,

The Shared Parking Agreement, along with the Exhibits attached (Site Plan and DMD Approval Email) all have been reviewed and approved for submittal and signing.

Please revise the Site Plan as we discussed, to clarify the "Parking Available" Table on the left side is for the Country Club plaza at 1716 Central SW. As discussed, I would recommend you combine, if possible, the Shared Parking Agreement, the Site Plan (Exhibit A) and DMD Approval for ADA space (Exhibit B) into one legal document for final signature and recording.

Let me know if further questions. Thank you.

Respectfully,



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

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Sent: Wednesday, May 1, 2024 6:40 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: RE: 1701 Central: Conditional approval request

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Jeff,

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Thanks

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Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

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Sent: Wednesday, May 1, 2024 4:26 PM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Conditional approval request

And I would recommend you add the approval email from DMD as an exhibit to the Shared Parking Agreement, as verification that all parking is approved and accounted for. Contact me tomorrow morning, if questions on this. Thanks!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

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From: Palmer, Jeffrey

Sent: Wednesday, May 1, 2024 4:18 PM

To: Kenny Myers <design@rembedesign.com>

Subject: RE: 1701 Central: Conditional approval request

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JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>

Sent: Friday, April 26, 2024 10:36 AM

To: Palmer, Jeffrey <jppalmer@cabq.gov>

Subject: 1701 Central: Conditional approval request


[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

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Hope all is well on your end. I have attached here our request for conditional approval along with our shared parking agreement request. In addition, I have included the email approval from Patrick Montoya.

Please review and let me know if you require any additional information.

All the best.

 [Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL SW, ALBUQUERQUE, NM 87104

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Rembe Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104

LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPLAT OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

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the City of Albuquerque has allowed, and the owner, Silver Lofts, LLC has voluntarily elected, for a reduction to off-street parking requirements based upon IDO section 5-5(C)(6)(e) Off-site Parking Credit:

- 1. The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.*
- 2. Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding Agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.*

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Furthermore, the owner agrees that the Property shall operate an open/shared parking arrangement, whereby the owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by the users of any portion of the property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking area for such items as spaces for disabled drivers, loading, designated timed area such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City or take commercially reasonable actions to prevent parking in area which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this. The terms of the Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below by the Planning Director.

Jay Rembe
Owner (Applicant) 1701 Central Ave. NW

5/29/2024
Date

Jay Rembe
Owner (off-site Parking Area) 1700-1718 Central Ave. SW

5/29/2024
Date

Note that the owner of 1701 Central NW and the owner of 1700-1718 Central SW. are one and the same.

ACKNOWLEDGMENTS

State of New Mexico)
) ss.
County of Bernalillo)

The foregoing was acknowledged before me on May 29th, 2024, by Jay Rembe, Owner(s).

Aubree Russell
Notary Public

My commission expires: 03/29/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
AUBREE RUSSELL
COMMISSION # 1133010
COMMISSION EXPIRES 03/29/2025

DocuSigned by:
Matthew Montoya
45160E71B5204CC...

Approved as to Form-City Attorney

DocuSigned by:
Alan Landa
947D8BB6EF4C443

City of Albuquerque, Planning Director

6/7/2024 | 11:02 AM MDT

Date

6/7/2024 | 12:31 PM MDT

Date

PARKING CALCULATIONS FOR 1700-1720 CENTRAL SW

Use per Table 5-5-3	Unit Count	Gross Square Footage	Space #	Parking Requirement per IDO	Actual Spaces per use	Required Spaces Per use
Residential unit	81		1	space per Dwelling Unit (DU) in UC-MS-PT	81	81
Office Space		13,317	2.5	Spaces per 1,000 GSF UC-MS-PT	33.2925	33
Restaurant/ Bar Tap Room		5,100	5	spaces per 1,000 GSF UC-MS-PT	25.5	25
Retail		2,537	2.5	Spaces per 1,000 GSF UC-MS-PT	6.3425	6
Total (Prior to application of credits and Reductions)					146.135	145
Reductions						
Shared Parking: 5-5(b)-Table 5-5-3: Residential/ Office - 1.3: 81+33=114/1.3= 87 spaces+25=118 spaces						118
Proximity to Transit: 5-5-C (5)c1: 30% reduction for proximity to transit stop=118-35=82 spaces						82
Total spaces required under current IDO guidelines						82 Spaces
Total spaces provided						159 Spaces
Required Motorcycle Parking Table 5-5-4						4 Spaces
Provide Motorcycle Parking						8 Spaces
Required Bicycle Parking per table 5-5-5						8 Spaces
Provided Bicycle Parking						92 spaces

NOTE: DMD has approved an on-street parking space for specific use as the ADA space for commercial businesses, and the adjacent on-street parking meets requirements for on-site parking for ADA per IDO 5-5(C)(6)(d), On-street Parking Credit and 5-5(F)(1)(a)(10)."

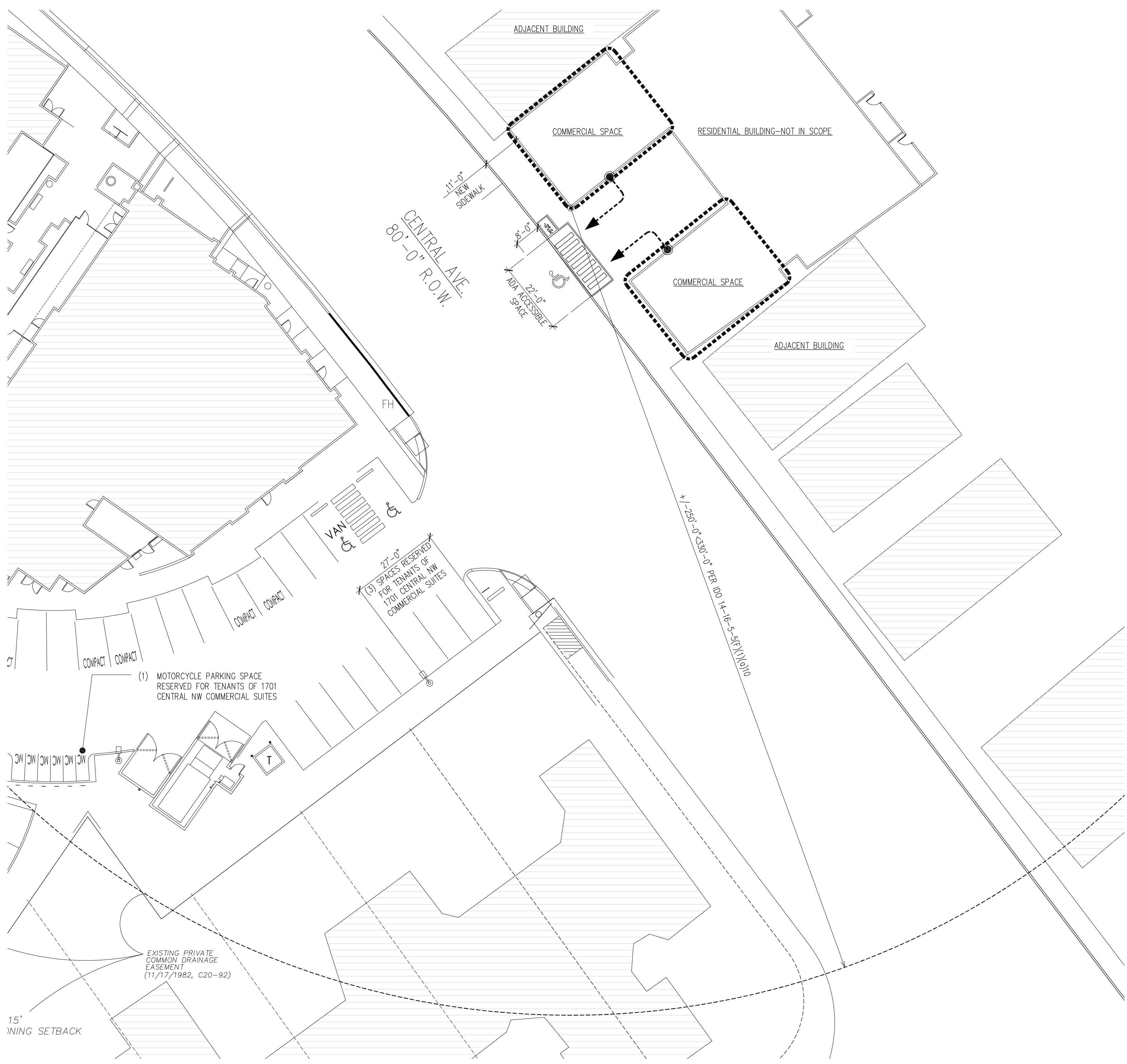
PARKING CALCULATIONS FOR 1701 CENTRAL NW

Residential Parking Calculations*	Unit Count	IDO notes	Total Req'd	Provided
Residential Units in MX-N, CPO-3	34	Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit=34	23.8	
		5-5(C)(5)(c)Reduction for Proximity to Transit=	22.8	
		5-5-C-6-a Electric Vehicle Charging Credit		
Total Residential Required			22.8	28
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 26-50 off street spaces 1 standard accessible space, and one van space required	2	2
Motorcycle	34	IDO, table 5-5-4: 1-25=1, 26-54= 2: required	2	2
bike	34	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	3.4	4 exterior, 16 interior
Commercial Parking Calculations**				
Commercial Office Space in MX-M, CPO-3	1846	IDO, table 5-5-2: Office in PT zone=2.5/ 1,000 sf.	4.615	
Total Commercial Parking Required			4	4 spaces provided**
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 1-25 off street spaces 1 van space req./req'd spaces required, no sign identifying accessible 'space req'd	1	1
Motorcycle	3	IDO, table 5-5-4: 1-25=1, 26-54= 1: required	1	1
bike	3	IDO, table 5-5-5: >5 units, 3 spaces or 10% of over all parking stalls whichever is greater	0.3	3 spaces provided

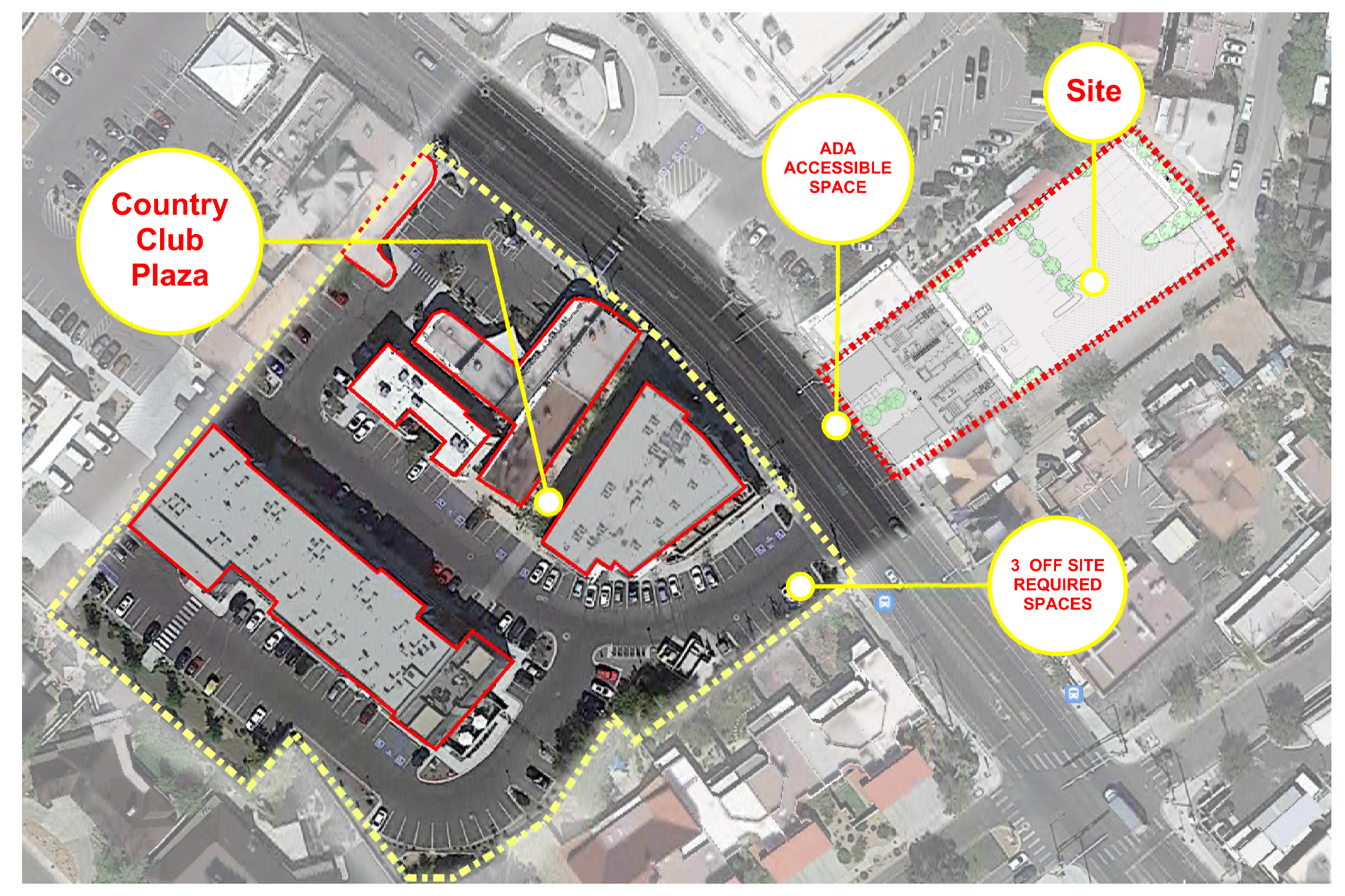
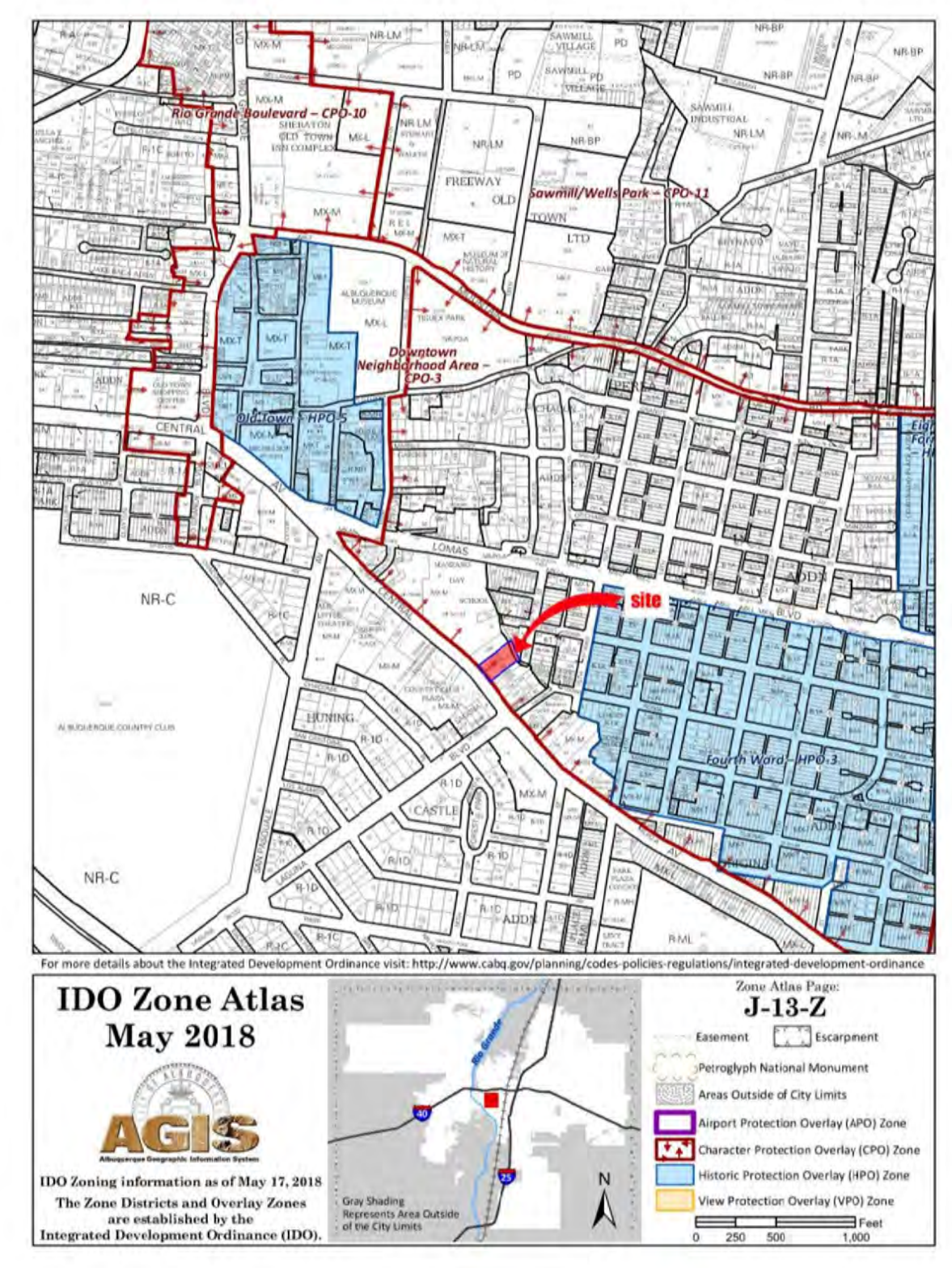
Notes:
 *Residential parking provided on site
 ** Commercial Parking provided through shared parking agreement at 1700 Central Ave. SW per IDO 5-5-F-1-b
 PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES- see sheet TCL2 for plan and calculations
 Per IDO 5-5-1-c Numbers are rounded down

Shared Parking Calculations	Spaces
Total spaces @ 1700 Central Ave. SW	159
Total Spaces Required for use @ 1700 Central	82
Total Spaces available for shared parking @ 1700 Central	77
Total Spaces Required for 1701 Central Commercial space	3

Notes:
 *Residential parking provided on site
 ** Commercial Parking provided through shared parking agreement at 1700 Central Ave. SW per IDO 5-5-F-1-b
 PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES
 Per IDO 5-5-1-c Numbers are rounded down

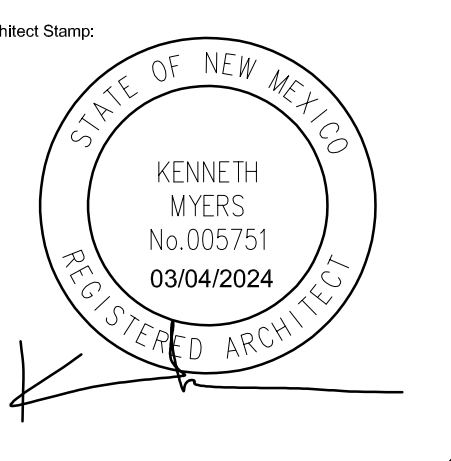


A1 PARTIAL SITE PLAN: SHARED PARKING LAYOUT
 1"=20'-0"



A2 VICINITY MAP AND LAYOUT
 NTS

The George | 34 Unit Apartment Building
 1701 CENTRAL AVE., NW
 ALBUQUERQUE, NM 87104



REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque, NM 87104
 t: 505-243-0188

Project:	CCP- THE GEORGE
Drawn By:	KMA
Checked By:	KMA
Phase:	PERMITTING
Date:	03/04/2024
Project Number:	2204

PARTIAL SITE PLAN:
 SHARED PARKING
 DIAGRAM

Sheet Number:
EXHIBIT 'A'

EXHIBIT 'B'

Kenny Myers

From: Montoya, Patrick <patrick@cabq.gov>
Sent: Friday, April 26, 2024 10:22 AM
To: Kenny Myers
Cc: Jay Rembe
Subject: RE: 1701 Central: ADA parking space

Kenny,

Based on our discussion yesterday and my understanding of your request I am approving that you use one of the on street parking spaces for your 1 ADA van accessible parking space. Should you or Mr. Armijo have any questions please feel free to call me at 505-206-4031

PATRICK MONTOYA
Chief Operations Officer
505.768.3000
patrick@cabq.gov



From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:06 AM
To: Montoya, Patrick <patrick@cabq.gov>
Cc: Jay Rembe <rembe@rembedesign.com>
Subject: 1701 Central: ADA parking space

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Patrick,

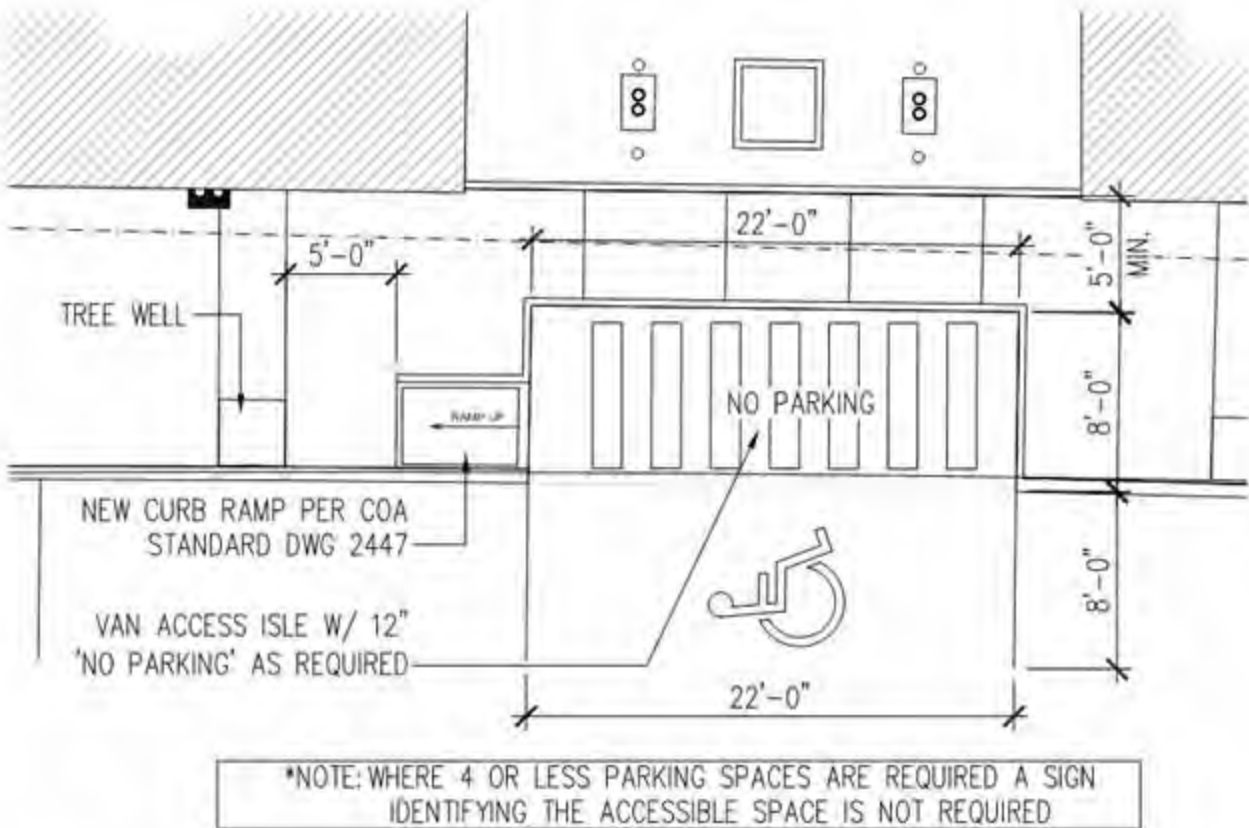
Thank you for calling Jay back yesterday and agreeing to have a look at this. I have articulated our intent and our request below:

The new development will include one 4 story, 34-unit market rate apartment building. As required by the IDO and as a condition of our RTA tax abatement approval, the project will provide approximately 1,700 square feet of commercial space located at ground level and servicing Central Ave. The project is located within CPO-3 which allows for residential access off 16th street, but not commercial access. As such, the project will provide 28

parking spaces (only 17 are required based on proximity to ART and EV charger credits) located to the rear (north end) of the lot which will be gated and accessed only by residential tenants from 16th street per the IDO. Commercial parking will be accommodated on the south side of Central Ave. at the existing Country Club Plaza Development, which is also owned by Jay Rembe. A shared parking agreement will be signed and recorded for this purpose. The IDO and zoning code require 1 ADA van accessible parking space for the commercial space. Due to the site constraints, we are proposing the utilization of one on-street parking space for this use with the required van access isle to be located to the north and accessed from the sidewalk via a curb ramp. Both the space, and associated access isle will meet all DPM standards. I have included a screen shot of the proposed plan below and have attached our proposed TCL for your review. We have spoken with and been given a verbal approval by Ernest Armijo from the transportation division, but request confirmation that this strategy is meets with your approval.

Please feel free to reach out with any additional questions, or comments, and again; thank you for your time.

All the best.



C2 ON-STREET HC SPACE
1/2"=1'-0"

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Friday, June 7, 2024 2:30 PM
To: Porquis, Dominick A.
Subject: FW: 1701 Central: Not signed parking agreement
Attachments: FULL Shared Parking Agreement - 1701 Central Av NW 5.30.24, reduced size (1) - Signed copy.pdf

Forgot to include you, Dominick. Sorry about that – please see my email, below. Thanks!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Palmer, Jeffrey
Sent: Friday, June 7, 2024 2:29 PM
To: 'Kenny Myers' <design@rembedesign.com>
Subject: RE: 1701 Central: Not signed parking agreement

Good afternoon, Kenny,
Attached is a signed copy of the Shared Parking Agreement. Please have this recorded with Bernalillo County and upload the recorded copy to the building permit in the Documents Folder, as well as sending me a copy of the recorded document. That way, if there is any problem with the upload, I may be able to assist from this end.

Let me know if any problems in receiving/opening document.
Thank you!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Thursday, May 30, 2024 1:48 PM

To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: RE: 1701 Central: Not signed parking agreement

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Thanks for catching this, Jeff.
Here is the revised document.
Talk soon.

 [FULL Shared Parking Agreement.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Thursday, May 30, 2024 1:34 PM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Not signed parking agreement

Kenny,
The agreement must be signed and notarized by owner(s) before it comes to us (to signify and notarize that the owners of the two properties have mutually agreed, and notarized, accordingly. Then, once the City signatures are attached, then you can take it to record at the County Clerk.

Correction needed: There is a duplication of the top paragraph circled, which has no address given. I think you should remove this paragraph on the top, and start with the Owner/Applicant, Owner of Off-Street Parking Area, and then proceed with the rest of the document. That would provide more clarity as to the properties involved – confusing as currently configured.

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL NW, ALBUQUERQUE, NM 87104

Legal Description: BEING A REPLAT OF PROTIIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104
LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING ICASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING ICASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

In Conjunction with the development of The George Apartment Building, located at 1701 Central Ave. NW Albuquerque, NM 87104, (the "Property") for which the legal description is:

BEING A REPLAT OF PROTIIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Call me if questions. Thanks!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>

Sent: Thursday, May 30, 2024 6:45 AM

To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Not signed parking agreement

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

I have attached here the parking agreement. This is not signed or notarized, in case legal needs to sign first.

Let me know.

All the best.

 [FULL Shared Parking Agreement-not signed.pdf](#)

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

Porquis, Dominick A.

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Sent: Friday, June 7, 2024 2:29 PM
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Thank you!



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c 505.803.3420
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rembe urban design + development
1716 Central SW, Suite A
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Kenny,

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Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL NW, ALBUQUERQUE, NM 87104

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UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

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Call me if questions. Thanks!



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>

Sent: Thursday, May 30, 2024 6:45 AM

To: Palmer, Jeffrey <jppalmer@cabq.gov>

Subject: 1701 Central: Not signed parking agreement

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I have attached here the parking agreement. This is not signed or notarized, in case legal needs to sign first.

Let me know.

All the best.

 [FULL Shared Parking Agreement-not signed.pdf](#)

Kenneth Myers, RA

rembe urban design + development

1716 Central SW, Suite A

Albuquerque, NM 87104

518-364-9914

Porquis, Dominick A.

From: Kenny Myers <design@rembedesign.com>
Sent: Tuesday, June 11, 2024 2:51 PM
To: Palmer, Jeffrey
Subject: FW: The George Apartments 1701 Central Ave. NW (J13D220)
Attachments: J13D220_TCL_BP_APPR.pdf; Shared Parking Agreement_RECORDED.pdf

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

Attached is the TCL approval letter and recorded shared parking agreement. Since you guys haven't added final comments yet can you upload, and approve this thing please?

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Tuesday, June 11, 2024 2:24 PM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>; Herrera, Steve G. <sgherrera@cabq.gov>; Melton, Brian <bmelton@cabq.gov>
Subject: RE: The George Apartments 1701 Central Ave. NW (J13D220)

Good afternoon Kenny,
Attached is approval letter for the project mentioned above.



Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

From: Kenny Myers <design@rembedesign.com>
Sent: Monday, June 10, 2024 11:43 AM
To: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: RE: The George Apartments 1701 Central Ave. NW (J13D220)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good morning, again.

See attached for recorded shared parking agreement. Please let me know if there are any additional comments or questions.

All the best

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Tuesday, June 4, 2024 10:15 AM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: FW: The George Apartments 1701 Central Ave. NW (J13D220)

Good morning Kenny,

Just a friendly reminder, I sent you the comments below on April 29, and I didn't hear anything back from you. If you have any questions, let me know.



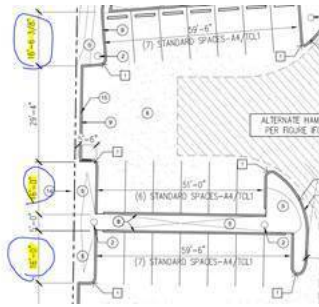
Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

From: Al-najjar, Marwa G.
Sent: Monday, April 29, 2024 11:58 AM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: The George Apartments 1701 Central Ave. NW (J13D220)

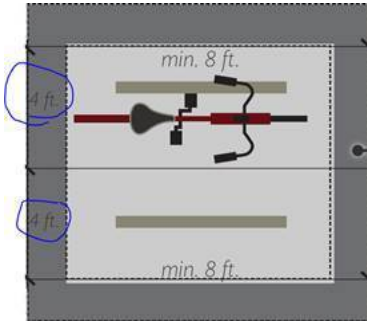
Good morning Kenny,

Prior to approve the TCL for the project mentioned above, please show on the site plan the following items:

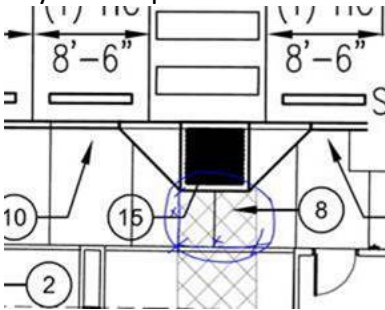
1. The minimum parking space length is 18 ft. please revise the site plan.



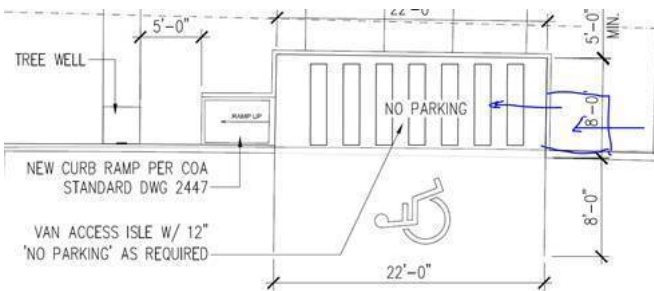
2. The minimum distance between the bike racks is 4 ft.



3. Keynote 8: please show on the site plan the proposed ADA landing dimensions.



4. Please install an ADA ramp on the east of the proposed on street ADA aisle to ensure a continuous flow of pedestrian traffic along the sidewalk. (if applicable).



5. Please revise general note 1, the max. ADA parking space slope is 2% in all directions.

6. An approved shared parking agreement must be provided.

If you have any questions, let me know.



Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 11, 2024

Kenneth Myers, RA
Rembe urban design + development
1716 Central Ave. SW
Corrales, NM 87104

Re: The George Apartments
1701 Central Ave. NW
Traffic Circulation Layout
Architect's Stamp 01-31-24 (J13-D220)

Dear Mr. Myers,

The TCL submittal received 04-19-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **A SIGNED SHARED PARKING AGREEMENT BY THE PLANNING DIRECTOR IS A CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

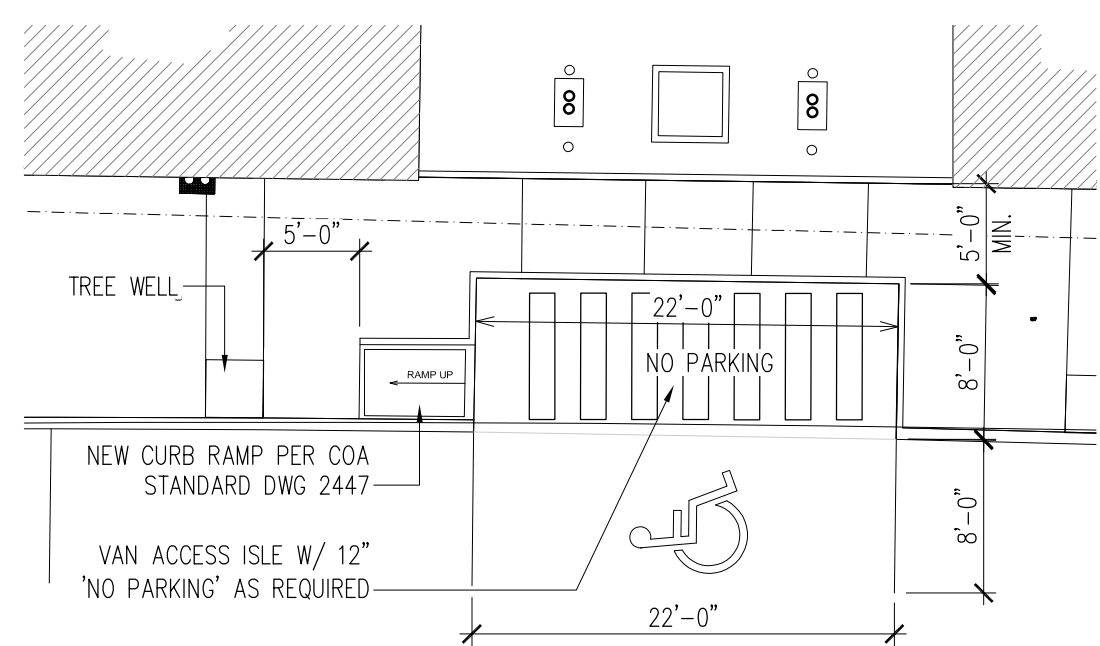
KEYED NOTES-SITE PLAN

- EXISTING SIDEWALK TO REMAIN
- NEW BIKE RACK PER DETAIL B3/TCL1
- NEW LIGHT POST PER DETAIL A3/TCL1
- EXISTING ROLL OVER CURB COA STANDARD DETAIL 2415B. REPAIR REPLACE AS REQUIRED.
- NEW LANDSCAPE AREA
- PROPOSED NEW ASPHALT PARKING AREA—PER COA STANDARDS ASPHALT TO SUPPORT A MINIMUM OF 75,000 PPF
- EXISTING PNM ELECTRICAL POST TO REMAIN.
- PROPOSED PEDESTRIAN BUILDING ACCESS—MIN. 6'-0" WIDE
- PROPOSED HEADER CURB PER DETAIL B2/TCL1
- SIGNAGE—SEE DETAIL A5/TCL1
- NEW 8'-0" MIN. ADA VAN ACCESS ISLE—PROVIDE PAINTED 'NO PARKING' IN
- CAPITAL LETTERS PER 66-1-4.1.8 NMSA 1978
- 3'-0" TALL UNIT COURTYARD WALLS
- 4'-0" TALL OPAQUE WALL AT PROPERTY LINES
- EXISTING SITE WALL TO REMAIN
- CURB RAMP PER DETAIL B4/TCL01—PROVIDE MINIMUM LANDING.
- AUTOMATED GATE—PROVIDE KNOX BOX FOR EMERGENCY ACCESS
- 6'-0" TALL WROUGHT IRON FENCE
- EXISTING CURB CUT TO BE REMOVED AND REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER DPM COA CITY STANDARD DWG 2430.
- PLANTED PONDING AREA PER CIVIL
- NEW CONCRETE HARDCAPE—CROSS SLOPE MAXIMUM 2% IN ANY DIRECTION
- MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
- NEW ON-STREET HC PARKING SPACE SEE DETAIL C2/TCL01

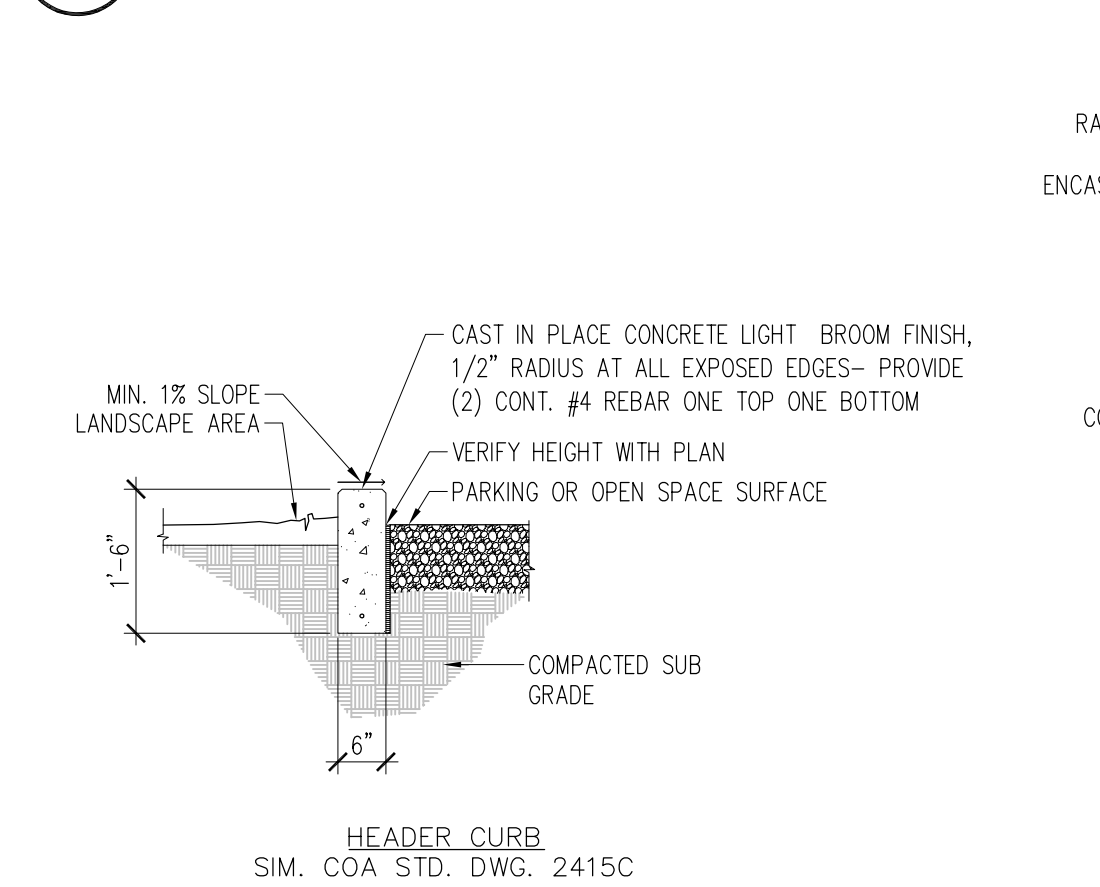
Residential Parking Calculations*	Unit Count	IDO notes	Total Req'd	Provided
Residential Units in MX-M, CPO-3	34	Table 5-5-2: DUUC-MS-PT= 1 space / DU = 1 space per unit = 34 5-5(C)(5)(c)Reduction for Proximity to Transit= 5-5-C-6a Electric Vehicle Charging Credit	34 23.8 22.8	
Total Residential Required			22	28
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 28-50 off street spaces one standard accessible space, and one van space required	2	2
Motorcycle	34	IDO, table 5-5-4: 1-25=1, 26-54= 2: required	2	2
bike	34	IDO, table 5-5-3 units, 3 spaces or 10% of over all parking stalls whichever is greater	3.4	4 exterior, 16 interior

Commercial Parking Calculations**	Square feet/ spaces req'd	IDO Notes	Total Req'd	Provided
Commercial Office Space in MX-M, CPO-3	1845	IDO, table 5-5-2: Office in PT zone=2.5/ 1,000 sf.	4.615	
Total Commercial Parking Required			4	4 spaces provided**
Accessible Spaces (HC)	28	Per 208.2 ADAAG for 1-25 off street spaces 1 van space required	1	1
Motorcycle	3	IDO, table 5-5-4: 1-25=1, 26-54= 1: required	1	1
bike	3	IDO, table 5-5-3 units, 3 spaces or 10% of over all parking stalls whichever is greater	0.3	3 spaces provided

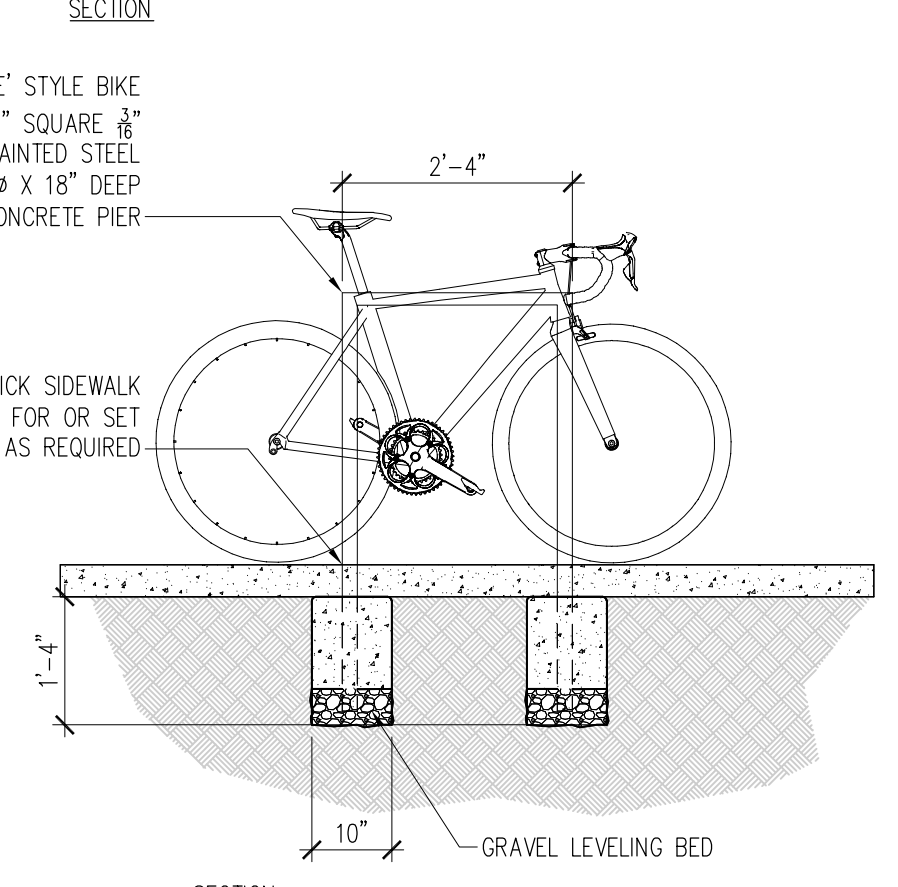
Notes:
 *Residential parking provided on site
 ** Commercial Parking provided through shared parking agreement at 1700 Central Ave. SW per IDO IDO 5-5-F-1-b
 PARKING FOR NON-RESIDENTIAL PARKING IN MIXED USE ZONES- see sheet TCL2 for plan and calculations
 Per IDO 5-5-1-c Numbers are rounded down



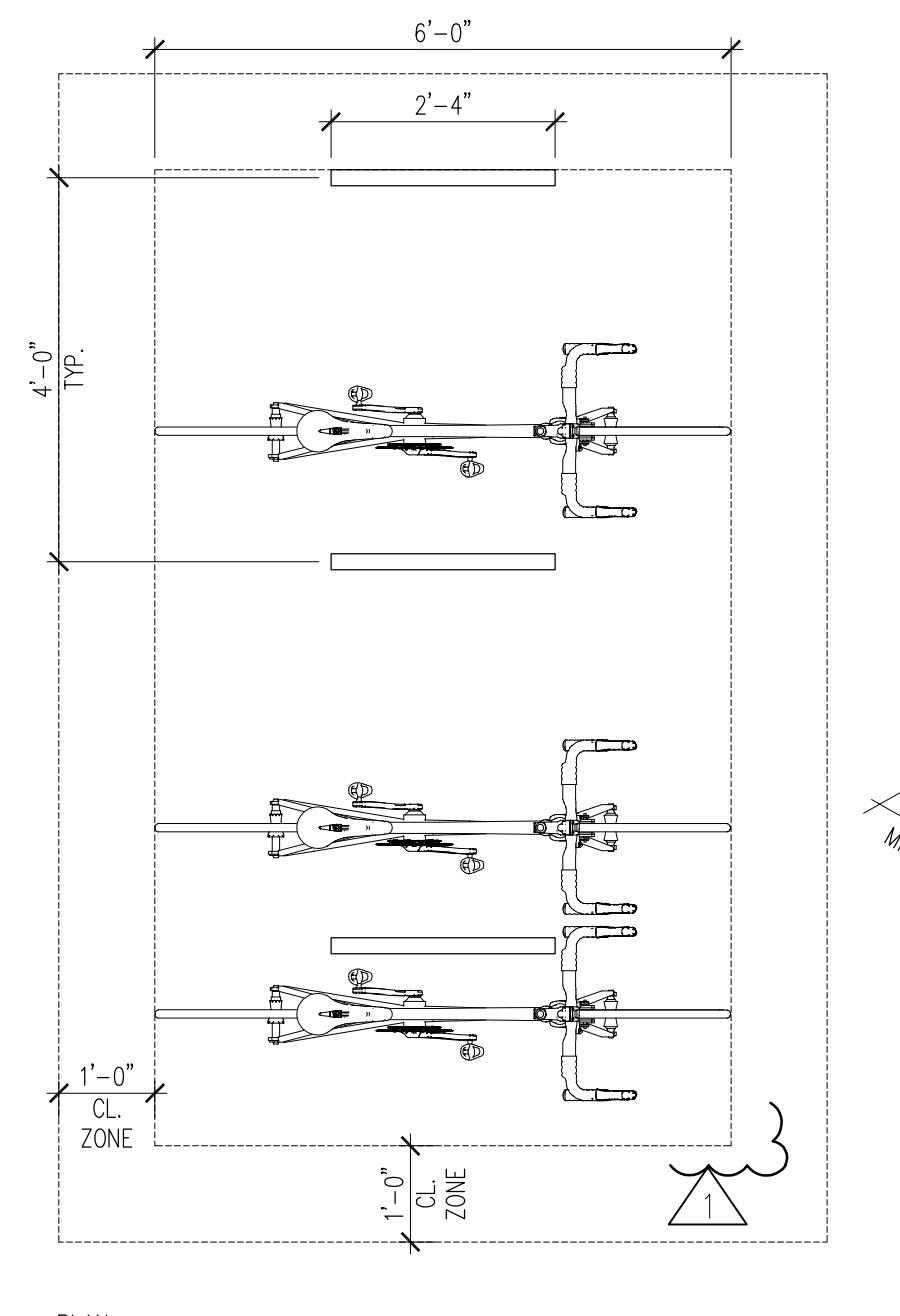
C2 ON-STREET HC SPACE
1/2"=1'-0"



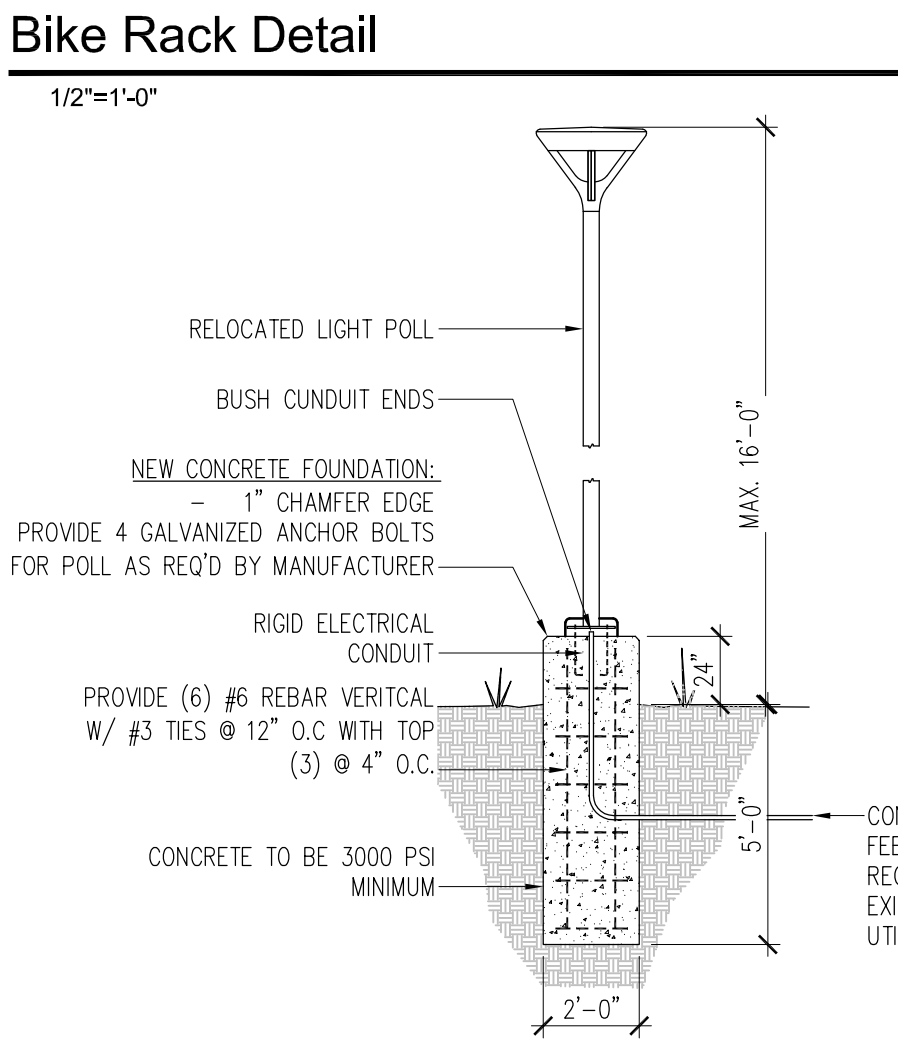
B2 New Header Curb Detail
1/2"=1'-0"



B3 Bike Rack Detail
1/2"=1'-0"



A4 New Parking Space Detail
1/4"=1'-0"



A3 Light Post Foundation Detail
1/2"=1'-0"

GENERAL NOTES

- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM—MAXIMUM ADA PARKING SPACE SLOPE 5.2% IN ALL DIRECTIONS.
- ALL NEW CURB AND GUTTER (IF REQUIRED) PER COA STANDARD DRAWINGS #2415A—TYPICAL
- ALL NEW PUBLIC SIDEWALK (IF REQUIRED) PER COA STANDARD DRAWING 2430
- NEW DRIVE (IF REQUIRED) PAD PER COA STANDARD DRAWING #2425
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS—SIGNS WALLS TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL—MEASURED FROM GUTTER PAN WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE.
- PER DPM 7-5(K)(2) VEHICLES MAY OVERHANG WALKWAYS AND LANDSCAPE AREA AS LONG AS THE OVERHANG DOES NOT NEGATIVELY IMPACT THE PROPOSED LANDSCAPE, OR REDUCE THE REQUIRED PEDESTRIAN ACCESS ROUTE TO LESS THAN 4 FEET WIDE. THE MAXIMUM OVERHANG OF PARKING SPACES ARE 2 FEET FOR STANDARD PARKING AND 1.5 FEET FOR SMALL CAR SPACES
- LANDSCAPE AREAS IN FRONT OF PARKING SPACES TO HAVE LOW GROUND COVER AS TO NOT INTERFERE WITH 24" CAR OVERHANG.

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arroyo 6/11/2024
 Signed Date

1. CHANGES PER TCL COMMENT LETTER—SEE RESPONSE LETTER 08/22/2023

PROJECT INFORMATION

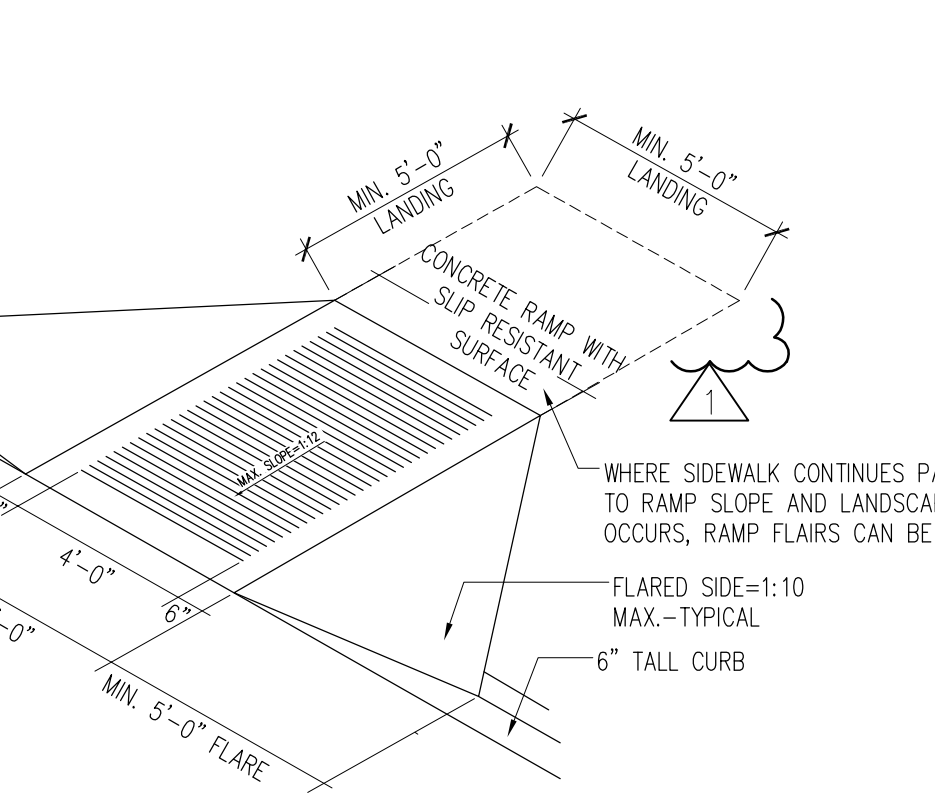
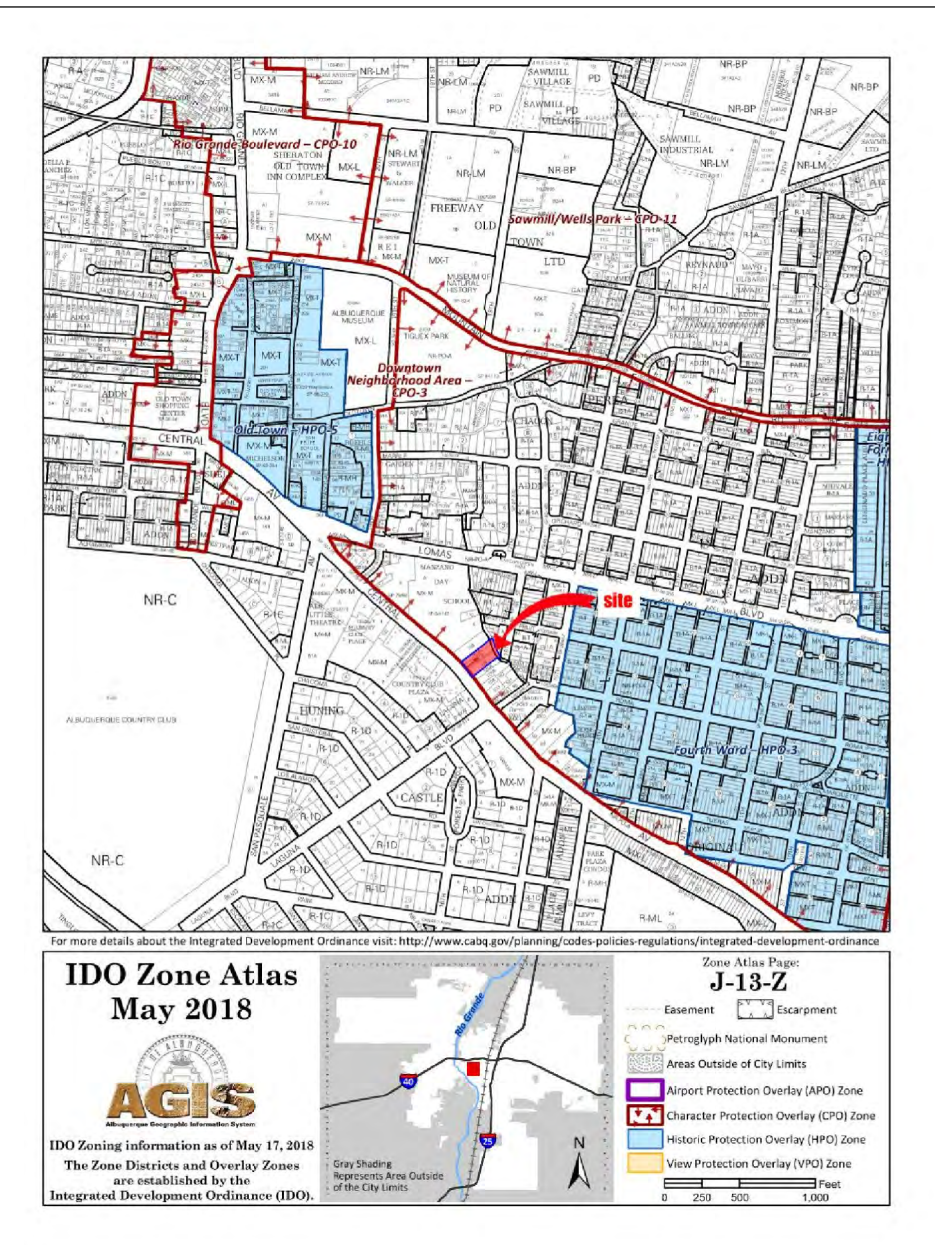
ADDRESS: 1701 CENTRAL SW. AVE. ALBUQUERQUE, NM 87104
 UPL: 101.30562843731068
 LEGAL DESCRIPTION: TRACT 106 & A PORTION OF ABANDONED ALBUQUERQUE DITCH MRGCD MAPS#S CONT 0.3222 AC W/L, and MAP 38 TRACT 107B and 107C. MX-M
 ZONING: MX-M
 ASSOCIATED PR#: PR-2023-008387

GROUND SURFACE LEGEND

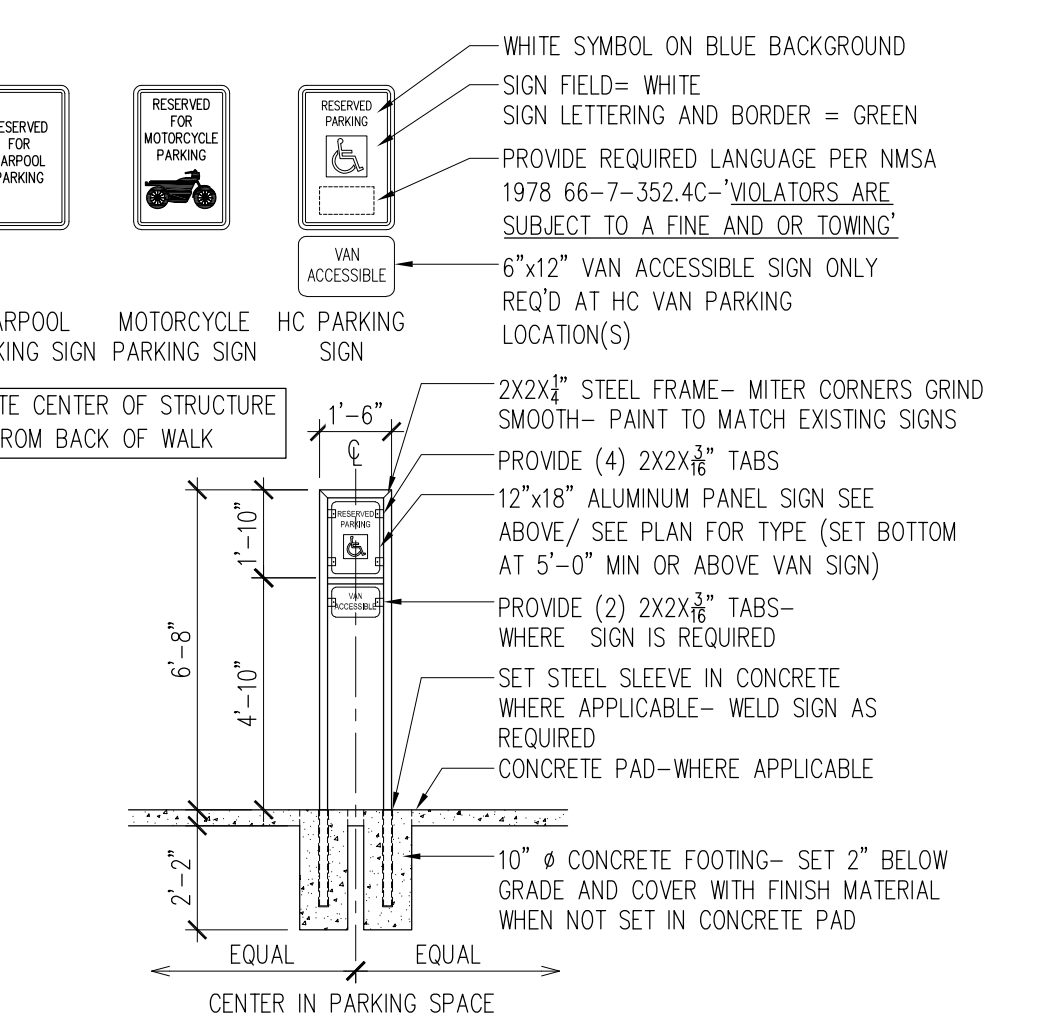
- NEW CONCRETE HARDCAPE—FINISH TO MEET DPM STANDARDS
- NEW LANDSCAPING
- NEW ASPHALT PER GENERAL NOTES

RADIUS INFORMATION

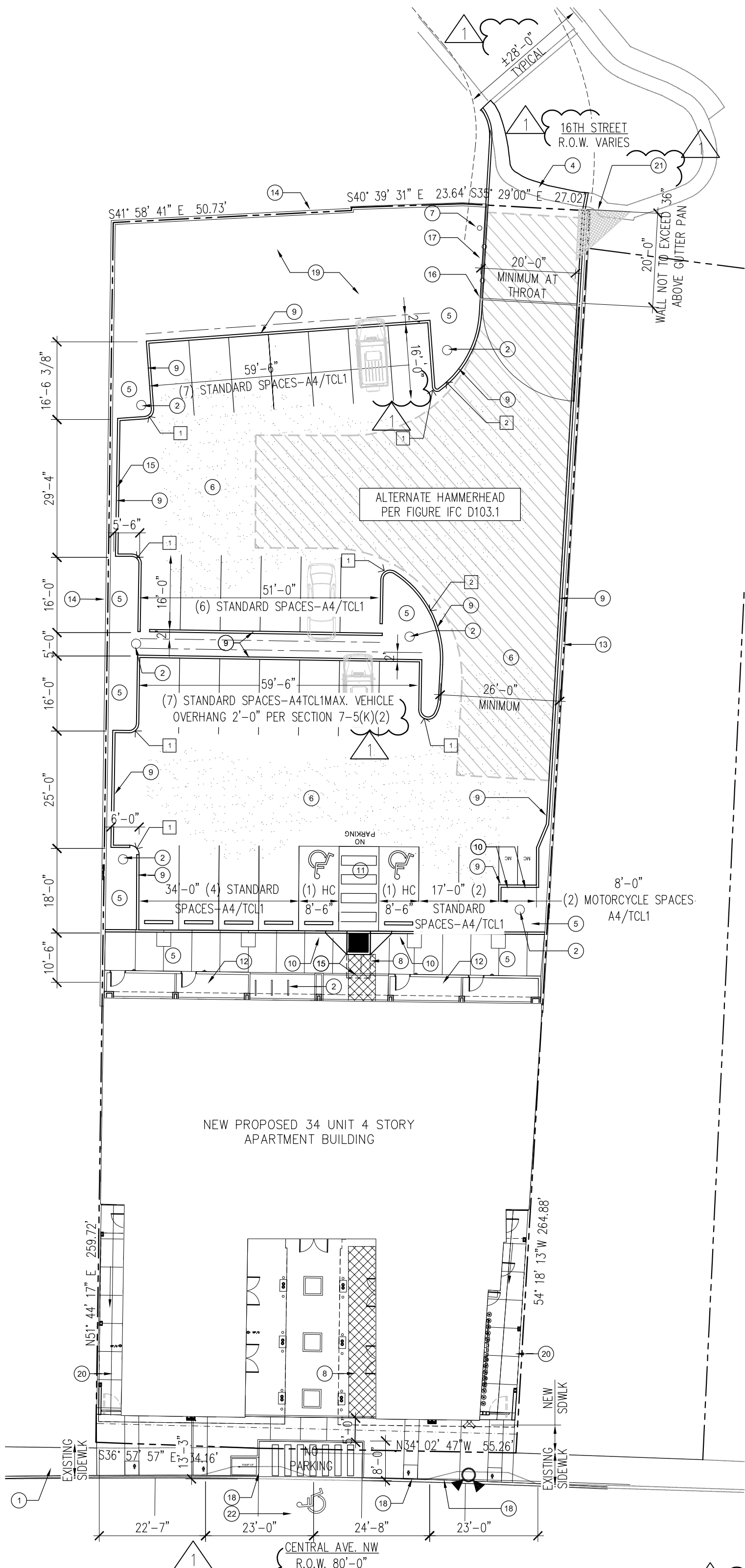
- 3'-0" RADIUS
- 22'-0" RADIUS



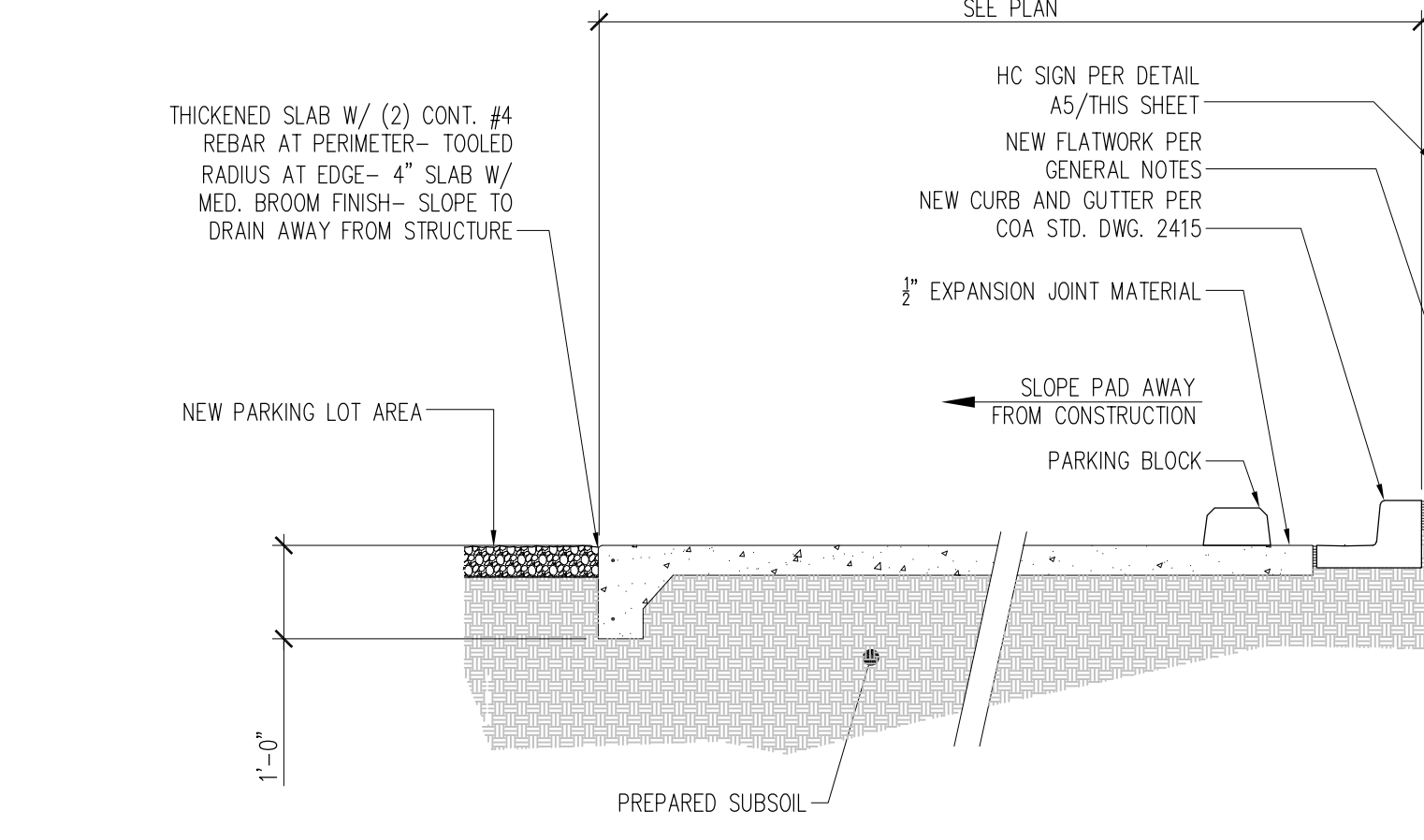
B4 Curb Ramp Detail
NTS



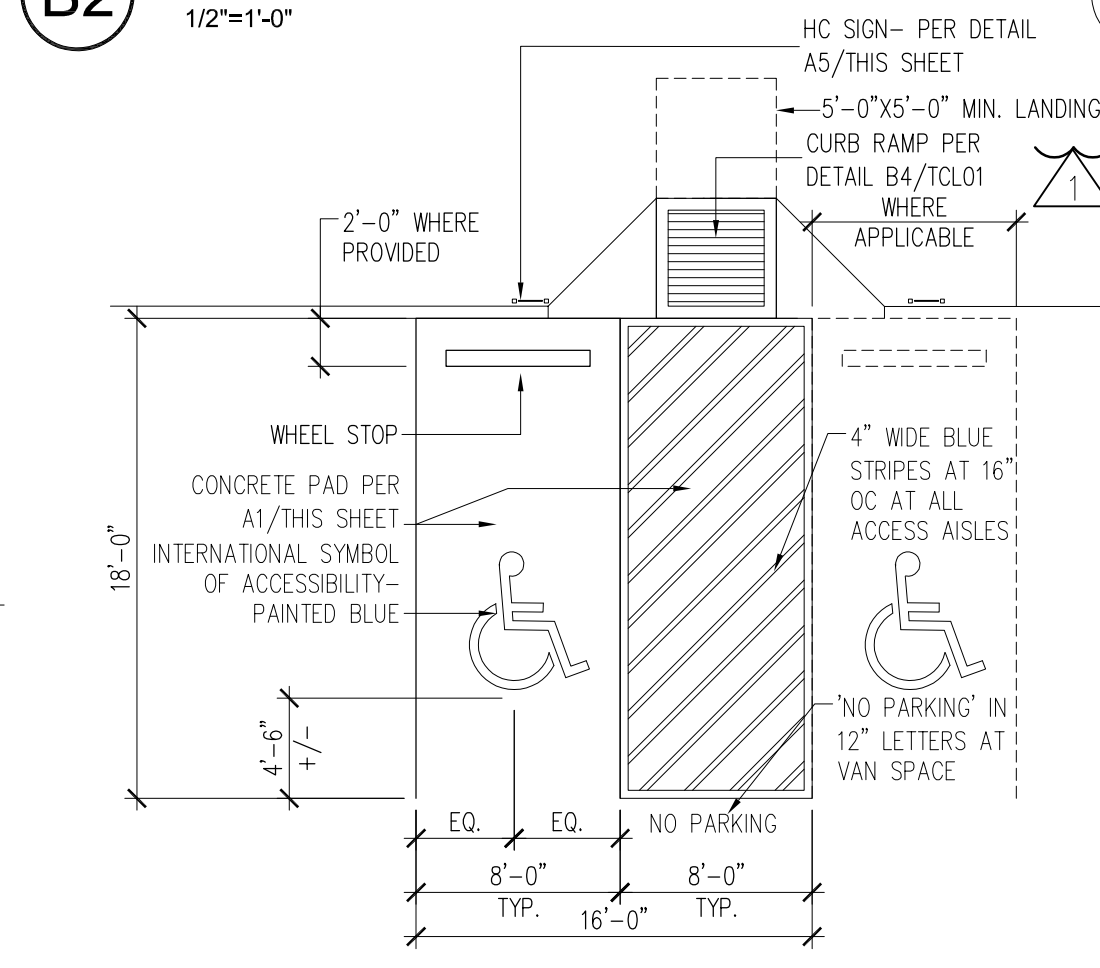
A5 New Post Sign Detail
1/4"=1'-0"



B1 TRAFFIC CONTROL LAYOUT PLAN
1"=20'-0"



A1 New HC Parking Space Detail
1/2"=1'-0"



A2 HC PARKING SPACE DETAIL
1/2"=1'-0"

The George | 34 Unit Apartment Building
 1701 CENTRAL AVE., NW
 ALBUQUERQUE, NM 87104

Architect Stamp:
 STATE OF NEW MEXICO
 KENNETH MYERS
 No. 005751
 01/03/2024
 REGISTERED ARCHITECT

REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque, NM 87104
 t: 505-243-0188

Project: CCP- THE GEORGE
 Drawn By: KMA Checked By: KMA
 Phase: PERMITTING
 Date: 08/04/2024
 Project Number: 2204

SITE PLAN- DETAILS AND LAYOUT

Sheet Number:

TCL01

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Tuesday, June 11, 2024 3:23 PM
To: Kenny Myers
Subject: RE: The George Apartments 1701 Central Ave. NW (J13D220)

Hi Kenny,

Unfortunately, we have completed our last review, and the only one outstanding right now is Solid Waste. Even if we attempted to upload, we could not approve until the next cycle.

Please contact Building Safety Permit Counter (or Supervisor) to seek assistance with upload and/or review by Solid Waste.

Respectfully,



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers <design@rembedesign.com>
Sent: Tuesday, June 11, 2024 2:51 PM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: FW: The George Apartments 1701 Central Ave. NW (J13D220)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

Attached is the TCL approval letter and recorded shared parking agreement. Since you guys haven't added final comments yet can you upload, and approve this thing please?

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Tuesday, June 11, 2024 2:24 PM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>; Herrera, Steve G. <sgherrera@cabq.gov>; Melton,

Brian <bmelton@cabq.gov>

Subject: RE: The George Apartments 1701 Central Ave. NW (J13D220)

Good afternoon Kenny,
Attached is approval letter for the project mentioned above.



Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

From: Kenny Myers <design@rembedesign.com>
Sent: Monday, June 10, 2024 11:43 AM
To: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: RE: The George Apartments 1701 Central Ave. NW (J13D220)

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good morning, again.
See attached for recorded shared parking agreement. Please let me know if there are any additional comments or questions.
All the best

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Al-najjar, Marwa G. <malnajjar@cabq.gov>
Sent: Tuesday, June 4, 2024 10:15 AM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: FW: The George Apartments 1701 Central Ave. NW (J13D220)

Good morning Kenny,

Just a friendly reminder, I sent you the comments below on April 29, and I didn't hear anything back from you. If you have any questions, let me know.

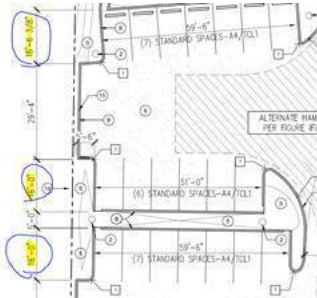


Marwa Al-najjar
Associate Engineer/ Development Review Services
(505)-924-3675
malnajjar@cabq.gov

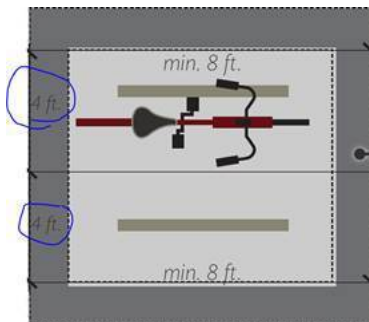
From: Al-najjar, Marwa G.
Sent: Monday, April 29, 2024 11:58 AM
To: Kenny Myers <design@rembedesign.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>; Cherne, Curtis <CCherne@cabq.gov>; Zafar, Muhammad <Mzafar@cabq.gov>; Kanbar, Sertil A. <skanbar@cabq.gov>
Subject: The George Apartments 1701 Central Ave. NW (J13D220)

Good morning Kenny,
Prior to approve the TCL for the project mentioned above, please show on the site plan the following items:

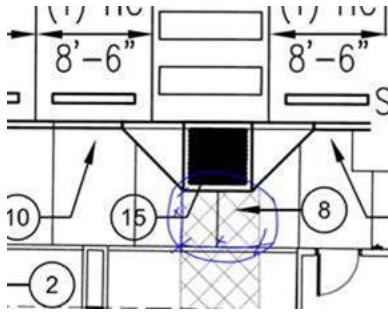
1. The minimum parking space length is 18 ft. please revise the site plan.



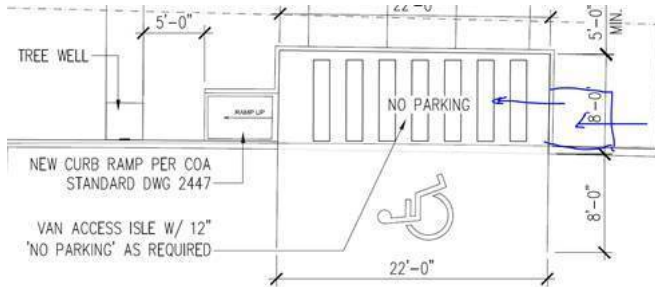
2. The minimum distance between the bike racks is 4 ft.



3. Keynote 8: please show on the site plan the proposed ADA landing dimensions.



4. Please install an ADA ramp on the east of the proposed on street ADA aisle to ensure a continuous flow of pedestrian traffic along the sidewalk. (if applicable).



5. Please revise general note 1, the max. ADA parking space slope is 2% in all directions.
6. An approved shared parking agreement must be provided.

If you have any questions, let me know.



Marwa Al-najjar
 Associate Engineer/ Development Review Services
 (505)-924-3675
malnajjar@cabq.gov



Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL NW, ALBUQUERQUE, NM 87104

Legal Description: BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104
LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

In Conjunction with the development of The George Apartment Building, located at 1701 Central Ave. NW Albuquerque, NM 87104, (the "Property") for which the legal description is:

BEING A REPLAT OF PROTIONS OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A REMBE ADDIOTION FOUND IN M.R.G.C.D. MAP 38 WITHIN PROJECTED SECTION 18, T 10N, R 3 E, M.N.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

the City of Albuquerque has allowed, and the owner, Silver Lofts, LLC has voluntarily elected, for a reduction to off-street parking requirements based upon IDO section 5-5(C)(6)(e) Off-site Parking Credit:

1. *The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.*
2. *Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding Agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.*

The location of the shared parking described herein and illustrated in exhibit 'A' meets the conditions set forth in IDO section 14-16-5-5(F)(1)(a)10:

Required parking spaces for uses in the Civic and Institutional, Commercial, and Industrial use categories may be located in a designated parking area on a lot within 330 feet in any direction of the premises served by such parking if they meet the standards in Subsection 14-16-5-5(C)(5)(b) (Shared Parking Reduction) or Subsection 14-16-5-5(C)(6)(e) (Off-site Parking).

The provided site plan, as shown on Exhibit 'A' includes a parking layout and reduced parking calculations. Based on the site plan and considering the tenant uses, the IDO requires a minimum of four (4) off-street parking spaces, and one (1) motorcycle parking space: Three (3) standard spaces and one (1) ADA Van Accessible Handicap space. Under the terms of this Agreement, zero (0) off-street standard parking will be provided on the property. All three (3) required standard off-street parking spaces, and one (1) motorcycle space will be provided on the property with the off-site parking area located at 1700-1718 Central Ave. SW. Albuquerque, NM 87104. One (1) ADA Van Accessible Parking Space will be provided on-site as approved by DMD and is not included in this agreement. See Exhibit 'B' for approval.

The owner and its successor and assigns agree that it will not change the tenant uses at the property in a manner that increases the number of required off-street parking spaces unless additional parking spaces are provided. In the event that there are changes to the tenant uses which would increase the number of required off-street parking spaces on the Property, the parking calculations shall be updated by the owner to reflect such change and presented to the city.

Furthermore, the owner agrees that the Property shall operate an open/shared parking arrangement, whereby the owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by the users of any portion of the property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking area for such items as spaces for disabled drivers, loading, designated timed area such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City or take commercially reasonable actions to prevent parking in area which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this. The terms of the Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

Shared Parking Agreement

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below by the Planning Director.

Jay Rembe
Owner (Applicant) 1701 Central Ave. NW

5/29/2024
Date

Jay Rembe
Owner (off-site Parking Area) 1700-1718 Central Ave. SW

5/29/2024
Date

Note that the owner of 1701 Central NW and the owner of 1700-1718 Central SW. are one and the same.

ACKNOWLEDGMENTS

State of New Mexico)
County of Bernalillo) ss.

The foregoing was acknowledged before me on May 29th, 2024, by Jay Rembe, Owner(s).

Aubree Russell
Notary Public

My commission expires: 03/29/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
AUBREE RUSSELL
COMMISSION # 1133010
COMMISSION EXPIRES 03/29/2025

Approved as to Form-City Attorney

Date

City of Albuquerque, Planning Director

Date

Shared Parking Agreement

Owner/ Applicant

Name: Jay Rembe

Business Name: REMBE SILVER LOFTS LLC

Street Address: 1716 CENTRAL SW, ALBUQUERQUE, NM 87104

Owner of Off-Street Parking Area

Name:(Same as Applicant) Jay Rembe

Business Name: (Same as Applicant) Rembe Silver Lofts, LLC

Street Address: 1700-1718 Central Ave. SW Albuquerque, NM 87104

LT 5 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPLAT OF REMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 3 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H. B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 2 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 1 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A, LT 4 PLAT OF LTS 1-5 COUNTRY CLUB PLAZA (BEING A REPL OFREMAINING PORT OF TR B AMENDED HUNING CASTLE ADDN TRSA & B LANDS OF H.B. HORN & CALVIN HORN MRGCD TRS 129-A

UPC: 101305823211430905, 101305825912030903, 101305824812230906, 101305824613130908, 101305823712730907

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the City of Albuquerque has allowed, and the owner, Silver Lofts, LLC has voluntarily elected, for a reduction to off-street parking requirements based upon IDO section 5-5(C)(6)(e) Off-site Parking Credit:

- 1. The provision of required parking at an off-site parking area may be counted toward required off-street parking spaces on a 1-for-1 basis and is allowed for 100 percent of the required parking spaces, except that those required to satisfy the Americans with Disabilities Act shall be provided on the site of the building or use.*
- 2. Off-site parking must meet the location standards in Subsection 14-16-5-5(F)(1)(a) and shall be guaranteed by a legally binding Agreement between the owner of the parking area and the owner of the building or use that is located on a different lot and served by the parking area.*

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The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking area for such items as spaces for disabled drivers, loading, designated timed area such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City or take commercially reasonable actions to prevent parking in area which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this. The terms of the Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below by the Planning Director.

Jay Rembe
Owner (Applicant) 1701 Central Ave. NW

5/29/2024
Date

Jay Rembe
Owner (off-site Parking Area) 1700-1718 Central Ave. SW

5/29/2024
Date

Note that the owner of 1701 Central NW and the owner of 1700-1718 Central SW. are one and the same.

ACKNOWLEDGMENTS

State of New Mexico)
County of Bernalillo) ss.

The foregoing was acknowledged before me on May 29th, 2024, by Jay Rembe Owner(s).

Aubree Russell
Notary Public

My commission expires: 03/29/2025

STATE OF NEW MEXICO
NOTARY PUBLIC
AUBREE RUSSELL
COMMISSION # 1133010
COMMISSION EXPIRES 03/29/2025

DocuSigned by:
Matthew Montoya
45160E71B5204CC...

6/7/2024 | 11:02 AM MDT

Approved as to Form-City Attorney

Date

DocuSigned by:
Alan Arista
947D8BB6FF4C443...

6/7/2024 | 12:31 PM MDT

City of Albuquerque, Planning Director

Date

EXHIBIT 'B'

Kenny Myers

From: Montoya, Patrick <patrick@cabq.gov>
Sent: Friday, April 26, 2024 10:22 AM
To: Kenny Myers
Cc: Jay Rembe
Subject: RE: 1701 Central: ADA parking space

Kenny,

Based on our discussion yesterday and my understanding of your request I am approving that you use one of the on street parking spaces for your 1 ADA van accessible parking space. Should you or Mr. Armijo have any questions please feel free to call me at 505-206-4031

PATRICK MONTOYA
Chief Operations Officer
505.768.3000
patrick@cabq.gov



From: Kenny Myers <design@rembedesign.com>
Sent: Friday, April 26, 2024 10:06 AM
To: Montoya, Patrick <patrick@cabq.gov>
Cc: Jay Rembe <rembe@rembedesign.com>
Subject: 1701 Central: ADA parking space

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Patrick,

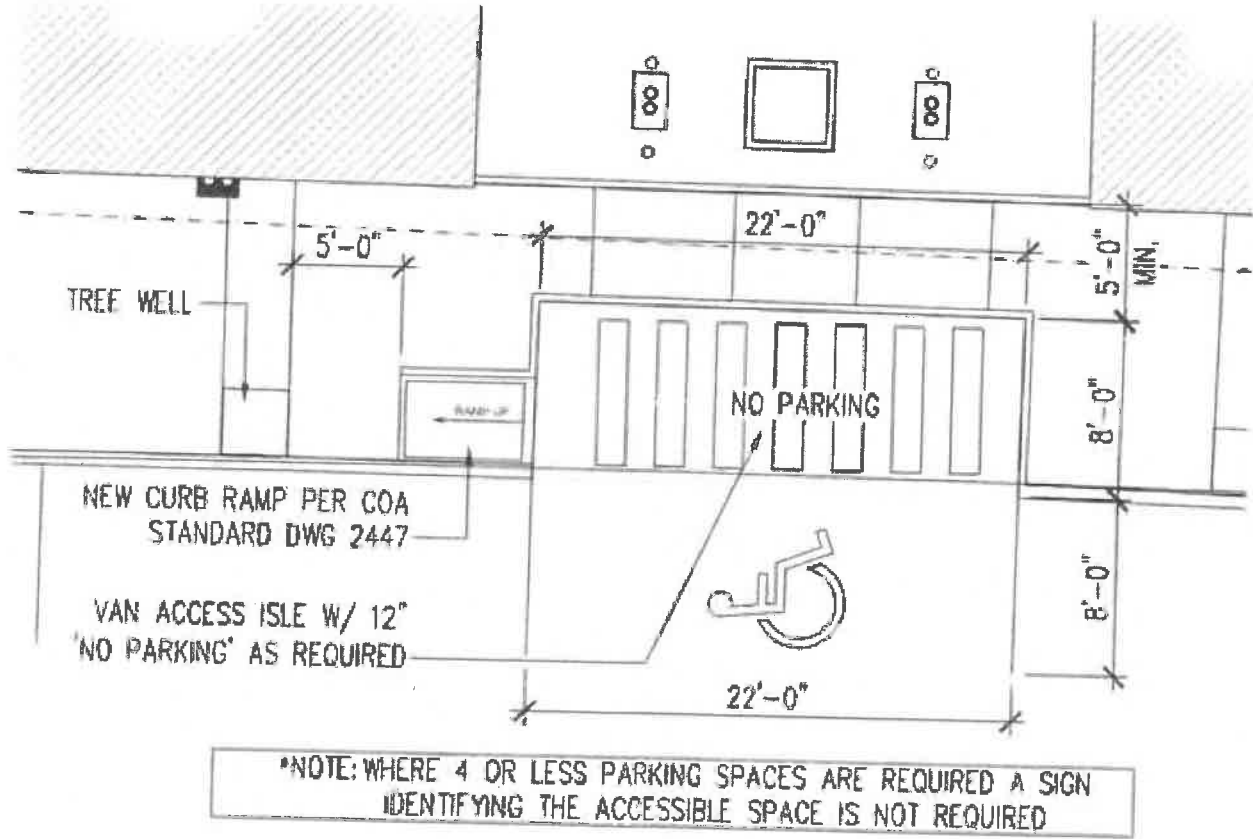
Thank you for calling Jay back yesterday and agreeing to have a look at this. I have articulated our intent and our request below:

The new development will include one 4 story, 34-unit market rate apartment building. As required by the IDO and as a condition of our RTA tax abatement approval, the project will provide approximately 1,700 square feet of commercial space located at ground level and servicing Central Ave. The project is located within CPO-3 which allows for residential access off 16th street, but not commercial access. As such, the project will provide 28

parking spaces (only 17 are required based on proximity to ART and EV charger credits) located to the rear (north end) of the lot which will be gated and accessed only by residential tenants from 16th street per the IDO. Commercial parking will be accommodated on the south side of Central Ave. at the existing Country Club Plaza Development, which is also owned by Jay Rembe. A shared parking agreement will be signed and recorded for this purpose. The IDO and zoning code require 1 ADA van accessible parking space for the commercial space. Due to the site constraints, we are proposing the utilization of one on-street parking space for this use with the required van access isle to be located to the north and accessed from the sidewalk via a curb ramp. Both the space, and associated access isle will meet all DPM standards. I have included a screen shot of the proposed plan below and have attached our proposed TCL for your review. We have spoken with and been given a verbal approval by Ernest Armijo from the transportation division, but request confirmation that this strategy is meets with your approval.

Please feel free to reach out with any additional questions, or comments, and again; thank you for your time.

All the best.



ON-STREET HC SPACE

1/2"=1'-0"

Porquis, Dominick A.

From: Martin Vigil <vigilmartin@hotmail.com>
Sent: Monday, July 1, 2024 6:53 PM
To: Jay Rembe; kenny@kennethmyers.com; Brissette, Renee C.; Les Romaine; warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; Rodenbeck, Jay B.; Aranda, James M.; Varela, Alan M.; Manzano, Daniel; Webb, Robert L.; Carol Gladin; -Frances Garcia; williegochefs@yahoo.com; Ted Cloak; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; jules1101@gmail.com; Roseman, Melissa; reportit@krqe.com; Tommy Lopez; Susan McKinstry
Subject: Ethics Complaint. CCP contributing to heavy flooding on Central Ave
Attachments: 15InchesofWater.jpg; CarARTLane.jpg

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

7/1/24

Jay Rembe,

I emailed your architect Kenneth Myers regarding the 16th Street access issue and the dangerous road condition that it would create. I did not receive a response. In good faith, I am providing one final attempt before filing an ethics complaint with the New Mexico Board of Examiners for Architects.

I would also like to speak with you and Kenneth Myers regarding flooding on Central Ave. There are dual issues:

1. Country Club Plaza front "pond" (water collection system) is not working correctly. It is heavily contributing to the Central Ave flooding. Country Club Plaza roof and gutter system is also heavily contributing to the flooding on Central Ave. I have photo and video evidence.
2. Your new proposed development will significantly compound the already major flooding issues. According to planning documents you will not be utilizing a ponding system in the front. Your new proposed development will utilize gutters that drain onto Central. The north side of Central does not have storm sewers. There is already massive flooding with moderate to heavy rains.

According to planning documents, there is not adequate space in the front portion of 1623 Central Ave for a ponding (water collection system). Your roof and gutter system also contributes a massive amount of water onto Central Ave. On 6/29/24 Central Ave motorists were forced to drive in the ART bus lane because the water flooded the north side of Central Ave. Waves of water flow over the 9" curb, creating a total of 15" of water against my home. Motorists were forced to drive in the middle of the road in the ART Bus lane. While I acknowledge that this weekend's rainstorm was stronger than usual. Issues also occur with moderate to heavy rains. The majority of liability is with CABQ failed stormwater management, improper grading, and refusal to install storm sewers on the north side of Central. Country Club Plaza also contributes to the dangerous road condition/property damage. Cease and Desist adding an additional poorly designed apartment complex into our neighborhood until the proper infrastructure is in place.

Cease and Desist your flawed/dangerous design practices. You have a duty to hire competent design professionals who uphold design practices and code of ethics. The safety of the general public is the most paramount of all architectural ethics. Failure to do so subjects Kenneth Myers to disciplinary action and potential liability towards you both. You also have a duty as a developer to consider when your proposed developments pose a danger to the public, or cause property damage. You, Kenny Myers and CABQ have

all been given full knowledge and disclosure of the harmful design practices. Upon information and belief, County Club Plaza has multiple design defects and has had flooding and heavy rain leaks inside of your buildings on multiple occasions.

Please confirm if Kenneth Myers is still your primary architect and please provide his license number. Please also provide Country Club Plaza's architects/engineers. This email is also being sent to the City of Albuquerque officials (any solutions are welcome).

Thanks,

Martin Vigil





Porquis, Dominick A.

From: Rodenbeck, Jay B.
Sent: Thursday, July 18, 2024 2:16 PM
To: 'Edward Garcia'; 'Carol Gladin'; 'williegocheffs@yahoo.com'; 'Les Romaine'; 'warba.llp.jared@gmail.com'; 'abdunn@ablairdunn-esq.com'; 'jules1101@gmail.com'; 'tcloak@unm.edu'; 'francesandrea9@gmail.com'; 'nori.brixenproperties@gmail.com'; 'scott.brixen@gmail.com'; 'turtletays@gmail.com'; 'murphymjb@gmail.com'; 'Pax Rasmussen'; 'mckinstrysusan@gmail.com'; 'lauren.clipp@gmail.com'; 'myrandar102@gmail.com'; 'vivalucia3@proton.me'; 'vjliberatori@yahoo.com'; 'johnhenrysloan@icloud.com'; 'info@tbirdinc.com'; Aranda, James M.; Sanchez, Nicole A.; Armijo, Ernest M.; Webb, Robert L.; Elliott, Laurie; Roseman, Melissa; Perez, James; 'Martin Vigil'; Ortiz, Annette; Zamora, Renee C.; Vos, Michael J.; Wolfley, Jolene; Kadell, Dean; Palmer, Jeffrey; Trujillo, Concetta M.; Metzgar, Angelo D.; Biazar, Shahab; Alcala, Wendi
Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Attachments: LMS Online (OCI) - Building Permit BP-2024-15353 (Issued).pdf; LMS Online (OCI) - Building Permit BP-2024-15349 (Issued).pdf; LMS Online (OCI) - Building Permit BP-2024-10295 (Issued).pdf
Importance: High

Good afternoon,

I can confirm that the Permit for BP-2024-10295 at 1701 Central Ave. NW (for the construction of a new four (4) story multi-family residential and commercial building) was issued today, along with the associated permits for BP-2024-15349 and BP-2024-15353 for the construction of 1,000 square foot and 846 square foot shell spaces respectively. With the issuance of the Permits, the window to appeal to the Land Use Hearing Officer (LUHO) the Site Plan Administrative-portion of the project has commenced.

Per 6-4(V)(3) of the IDO, an appeal must be filed within 15 calendar days, excluding City holidays and the date that the decision was made (which is today, the date of the issuance of the Permits). According to my calculations, that deadline would fall on Saturday, August 3rd. Per the definition of "Calendar Days" in the IDO, if the final day falls on a weekend, the period ends on the following business day. Therefore, **the appeal submittal deadline is Monday, August 5th**. Should an appeal be submitted, a **complete** appeal submittal must be submitted by the close of business on that date (any deficiencies in the appeal submittal must be remedied by the deadline to ensure a timely appeal submittal).

Should it be decided to submit an appeal of the Site Plan Administrative-portion of the project, our Navigators (Annette Ortiz at annetteortiz@cabq.gov and Renee Zamora at rczamora@cabq.gov) in the Development Review Services Division can be contacted to obtain the application forms for an appeal and receive guidance as to what will need to be included in the appeal submittal (they are both copied in this message as well).

In lieu of a Notice of Decision (NOD), you can include the attached documentation confirming the issuance of the Building Permits. I defer to senior Planning staff, Building Safety staff, and Code Enforcement staff copied in this message regarding any additional documentation which could be provided within an appeal submittal in lieu of an NOD.

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994
c (505) 553-0682
e jrodenbeck@cabq.gov
cabq.gov/planning

Porquis, Dominick A.

From: Palmer, Jeffrey
Sent: Thursday, July 18, 2024 2:51 PM
To: Metzgar, Angelo D.; Trujillo, Concetta M.; Porquis, Dominick A.
Subject: FW: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Attachments: LMS Online (OCI) - Building Permit BP-2024-15353 (Issued).pdf; LMS Online (OCI) - Building Permit BP-2024-15349 (Issued).pdf; LMS Online (OCI) - Building Permit BP-2024-10295 (Issued).pdf
Importance: High

FYI --



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Thursday, July 18, 2024 2:16 PM
To: Edward Garcia <emg.abq7@gmail.com>; Carol Gladin <cgjabq@gmail.com>; williegochefs@yahoo.com; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abduunn@ablairdunn-esq.com; jules1101@gmail.com; tcloak@unm.edu; francesandrea9@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; turtletays@gmail.com; murphymjb@gmail.com; Pax Rasmussen <paxrasmussen@gmail.com>; mckinstrysusan@gmail.com; lauren.clipp@gmail.com; myrandar102@gmail.com; vivalucia3@proton.me; vjliberatori@yahoo.com; johnhenrysloan@icloud.com; info@tbirdinc.com; Aranda, James M. <jmaranda@cabq.gov>; Sanchez, Nicole A. <nasanchez@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Elliott, Laurie <lelliott@cabq.gov>; Roseman, Melissa <melissaroseman@cabq.gov>; Perez, James <jamesaperez@cabq.gov>; Martin Vigil <vigilmartin@hotmail.com>; Ortiz, Annette <annetteortiz@cabq.gov>; Zamora, Renee C. <rczamora@cabq.gov>; Vos, Michael J. <mvos@cabq.gov>; Wolfley, Jolene <jwolfley@cabq.gov>; Kadell, Dean <dkadell@cabq.gov>; Palmer, Jeffrey <jppalmer@cabq.gov>; Trujillo, Concetta M. <cmtrujillo@cabq.gov>; Metzgar, Angelo D. <ametzgar@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>; Alcalá, Wendi <walcala@cabq.gov>
Subject: Building Permit/Site Plan Administrative Application Status Update at 1701 Central Ave. NW
Importance: High

Good afternoon,

I can confirm that the Permit for BP-2024-10295 at 1701 Central Ave. NW (for the construction of a new four (4) story multi-family residential and commercial building) was issued today, along with the associated permits for BP-2024-15349 and BP-2024-15353 for the construction of 1,000 square foot and 846 square foot shell spaces respectively. With the issuance of the Permits, the window to appeal to the Land Use Hearing Officer (LUHO) the Site Plan Administrative-portion of the project has commenced.

Per 6-4(V)(3) of the IDO, an appeal must be filed within 15 calendar days, excluding City holidays and the date that the decision was made (which is today, the date of the issuance of the Permits). According to my calculations, that deadline would fall on Saturday, August 3rd. Per the definition of “Calendar Days” in the IDO, if the final day falls on a weekend, the period ends on the following business day. Therefore, **the appeal submittal deadline is Monday, August 5th**. Should an appeal be submitted, a **complete** appeal submittal must be submitted by the close of business on that date (any deficiencies in the appeal submittal must be remedied by the deadline to ensure a timely appeal submittal).

Should it be decided to submit an appeal of the Site Plan Administrative-portion of the project, our Navigators (Annette Ortiz at annetteortiz@cabq.gov and Renee Zamora at rczamora@cabq.gov) in the Development Review Services Division can be contacted to obtain the application forms for an appeal and receive guidance as to what will need to be included in the appeal submittal (they are both copied in this message as well).

In lieu of a Notice of Decision (NOD), you can include the attached documentation confirming the issuance of the Building Permits. I defer to senior Planning staff, Building Safety staff, and Code Enforcement staff copied in this message regarding any additional documentation which could be provided within an appeal submittal in lieu of an NOD.

For more information on the Site Plan Administrative review process (6-5(G) of the IDO) as well as the appeals process (6-4(V) of the IDO), I have provided a link to the latest and active version of the IDO below:

https://documents.cabq.gov/planning/IDO/2022_IDO_AnnualUpdate/IDO-2022AnnualUpdate-EFFECTIVE-2023-07-27.pdf



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning



Building Permit BP-2024-10295 (Issued)

Status: Issued
Application Date: Mar 20, 2024
Issue Date: Jul 18, 2024
Completed Date:
Expiration Date: Jan 18, 2025

Description: Commercial - Apartment - New Building

Details Inspections

DETAILS

Type of Building Permit: Commercial
Location: 1701 CENTRAL AV NW, Albuquerque, NM
Specific Location:
Work Description: Construction of a new four (4) story, wood construction, market rate apartment building. Approximately 19,926 square feet, with 1,846 square feet of commercial space located on the first floor. Property boundaries include zero lot lines along the east and west, with an open parking lot to the north and Central Avenue to the south.
 Main permit: BP-2024-10295
 Associated permits:
 BP-2024-15349
 BP-2024-15353
Type of Work: (None)
Type of Structure: Apartment **Number of Units:**
Other:

PARCELS

Parcel ID	Address	Net Acres
10-130-5827814431111	1701 CENTRAL AV NW, Albuquerque, NM	0.17
10-130-5828014231110	1701 CENTRAL AV NW, Albuquerque, NM	0.09
10-130-5828114131109	1701 CENTRAL AV NW, Albuquerque, NM	0.04
Total Area:		0.3

OWNER / TENANT

Name: Silver Lofts, LLC

RESIDENTIAL

Type of Heat: (None)
Fireplace: (None)
Total Square Feet: 24,701

UTILITIES

Water Supply Type: (None)
Sewer Type: (None)
Septic Permit Number:
New Gas Service:
New Power Service:

ZONING

County Zoning:
Zoning Code: (None)

RELATED INFORMATION

Type	Description
Building Occupancy	Occupancy: R-2 Residential (>2 Dwellings) 23970 Sq. Ft.
Building Occupancy	Occupancy: S-2 Storage (Low Hazard) 731 Sq. Ft.
Building Contractor	INSIGHT CONSTRUCTION, LLC Phone: (505) 888-7927, No License Numbers
Building Contractor	Rembe Properties Phone: (505) 243-0188, No License Numbers

Zoning Approved: In Flood Zone:
Other Zoning (None)
Jurisdiction:

Screen ID: 972087

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Building Permit BP-2024-15349 (Issued)

Status: Issued
Application Date: Apr 26, 2024
Issue Date: Jul 18, 2024
Completed Date:
Expiration Date: Jan 18, 2025

Description: Commercial - Commercial - Shell Building

[Details](#) [Inspections](#)

DETAILS

Type of Building Permit: Commercial
Location: 1701 CENTRAL AV NW, Albuquerque, NM
Specific Location: 1701 Central Ave. NW suite A
Work Description: Construction of a new 1,000 square foot shell space.
 Main permit: BP-2024-10295
 Associated permits:
 BP-2024-15349
 BP-2024-15353
Type of Work: (None)
Type of Structure: Commercial **Number of Units:** 1
Other:

PARCELS

Parcel ID	Address	Net Acres
10-130-5827814431111	1701 CENTRAL AV NW, Albuquerque, NM	0.17
	Total Area:	0.17

OWNER / TENANT

Name: Silver Lofts, LLC

RESIDENTIAL

Type of Heat: (None)
Fireplace: (None)
Total Square Feet: 1,000

UTILITIES

Water Supply Type: (None)
Sewer Type: (None)
Septic Permit Number:
New Gas Service:
New Power Service:

ZONING

County Zoning:
Zoning Code: (None)
Zoning Approved: **In Flood Zone:**
Other Zoning Jurisdiction: (None)

RELATED INFORMATION

	Type	Description
	Building Occupancy	Occupancy: B - Business 1000 Sq. Ft.
	Building Contractor	INSIGHT CONSTRUCTION, LLC Phone: (505) 888-7927, No License Numbers
	Building Contractor	Rembe Properties Phone: (505) 243-0188, No License Numbers





Building Permit BP-2024-15353 (Issued)

Status: Issued
Application Date: Apr 26, 2024
Issue Date: Jul 18, 2024
Completed Date:
Expiration Date: Jan 18, 2025

Description: Commercial - Commercial - Shell Building

[Details](#) [Inspections](#)

DETAILS

Type of Building Permit: Commercial
Location: 1701 CENTRAL AV NW, Albuquerque, NM
Specific Location: 1701 Central Ave. NW suite B
Work Description: Construction of a new 846 square foot shell space.
 Main permit: BP-2024-10295
 Associated permits:
 BP-2024-15349
 BP-2024-15353
Type of Work: (None)
Type of Structure: Commercial **Number of Units:**
Other:

PARCELS

Parcel ID	Address	Net Acres
10-130-5827814431111	1701 CENTRAL AV NW, Albuquerque, NM	0.17
	Total Area:	0.17

OWNER / TENANT

Name: silver lofts, llc

RESIDENTIAL

Type of Heat: (None)
Fireplace: (None)
Total Square Feet: 841

UTILITIES

Water Supply Type: (None)
Sewer Type: (None)
Septic Permit Number:
New Gas Service:
New Power Service:

ZONING

County Zoning:
Zoning Code: (None)
Zoning Approved: **In Flood Zone:**
Other Zoning Jurisdiction: (None)

RELATED INFORMATION

	Type	Description
	Building Occupancy	Occupancy: B - Business 841 Sq. Ft.
	Building Contractor	INSIGHT CONSTRUCTION, LLC Phone: (505) 888-7927, No License Numbers
	Building Contractor	Rembe Properties Phone: (505) 243-0188, No License Numbers



Porquis, Dominick A.

From: Ortiz, Annette
Sent: Thursday, July 25, 2024 2:33 PM
To: Rodenbeck, Jay B.
Subject: FW: Appeal application
Attachments: appealapplication.pdf; appealapplication2.pdf

From: Ortiz, Annette
Sent: Wednesday, July 24, 2024 1:53 PM
To: georgesenn.gs@gmail.com
Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Zamora, Renee C. <rczamora@cabq.gov>
Subject: RE: Appeal application

Good afternoon George,

Thank you for your submittal.

When submitting applications, you need to submit all documents listed on your checklist, in the order of the checklist submitted in 1 pdf emailed to plndrs@cabq.gov. You can add my email to this email so I can see it was submitted.

The pdf of your cover application form is blurred, your checklist is legible. If you could please provide everything that's listed in your checklist. If you need help with this, please feel free to contact me.

Thank you,



Annette V. Ortiz
Senior Admin/Navigator
Development Review Services
o 505.924.3623
e annetteortiz@cabq.gov
cabq.gov/planning

From: georgesenn.gs@gmail.com <georgesenn.gs@gmail.com>
Sent: Wednesday, July 24, 2024 1:33 PM
To: Ortiz, Annette <annetteortiz@cabq.gov>
Subject: Appeal application

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hopefully this is acceptable
[Sent from Yahoo Mail for iPhone](#)

FORM A: Appeals

Complete applications for appeals will only be accepted within 15 consecutive days, excluding holidays, after the decision being appealed was made.

- APPEAL OF A DECISION OF CITY PLANNING STAFF (HISTORIC PRESERVATION PLANNER) ON A HISTORIC CERTIFICATE OF APPROPRIATENESS – MINOR TO THE LANDMARKS COMMISSION (LC)
- APPEAL OF A DECISION OF CITY PLANNING STAFF ON AN IMPACT FEE ASSESSMENT TO THE ENVIRONMENTAL PLANNING COMMISSION (EPC)
- APPEAL TO CITY COUNCIL THROUGH THE LAND USE HEARING OFFICER (LUHO)

___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____

___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form A at the front followed by the remaining documents *in the order provided on this form*.

___ Project number of the case being appealed, if applicable: _____

___ Application number of the case being appealed, if applicable: _____

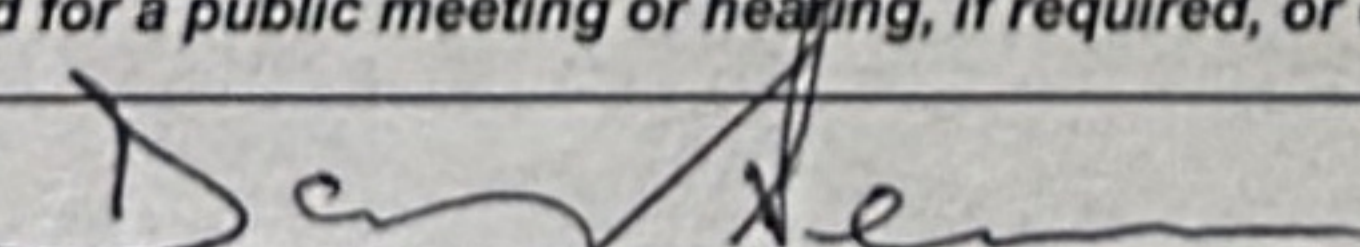
___ Type of decision being appealed: _____

___ Letter of authorization from the appellant if appeal is submitted by an agent

___ Appellant's basis of standing in accordance with IDO Section 14-16-6-4(V)(2)

___ Reason for the appeal identifying the section of the IDO, other City regulation, or condition attached to a decision that has not been interpreted or applied correctly, and further addressing the criteria in IDO Section 14-16-6-4(V)(4)

___ Copy of the Official Notice of Decision regarding the matter being appealed

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 7/24/2024
Printed Name: DANNY SENN	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	

From: [Martin Vigil](#)
To: [Rodenbeck, Jay B.](#); [Les Romaine](#); warba.llp.jared@gmail.com; abdunn@ablairdunn-esq.com; [Aranda, James M.](#); [Varela, Alan M.](#); [Webb, Robert L.](#); [Manzano, Daniel](#); [Carol Gladin](#); [Edward Garcia](#); williegochefs@yahoo.com; vivalucia3; [-Frances Garcia](#); [Ted Cloak](#); jules1101@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; [Michael Valdez](#); [Danny Senn](#)
Subject: Re: Communication/Update
Date: Thursday, May 9, 2024 4:50:18 PM

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jay Rodenbeck,

Thank you for your reply. The majority of neighbors are seniors, and many are disabled. I propose you/or a planning official, and possibly a LUPZ representative meet on site. I will even sit this meeting out, so you can dialogue directly with the neighbors. My neighbor William Siaz handles affairs for his mother and father (87 and 96 years old). Carol Johnson will be there. My neighbor Ted Cloak is 92.5 and has some concerns. There would be around 10-15 neighbors present.

It would be a good-faith effort, part of why I am so worked up and assertive is few people are sticking up, or even just listening to my neighbors. Channel 4 came today, and will be airing a story, which we appreciate. It would be greatly appreciated if you could make it happen. When I was younger, I got to know the previous department directors (Greg Smith, Brennon Williams, Mark Shephard, Andrew Garcia) a similar meeting was held on 16th Street in the past. Each department had either the director or their representative attend.

From my understanding it may be too late, as each department has already decided. The final approval is the building permit/site plan. Your clarification on this matter would be appreciated. And I did receive and understand your response regarding a "Public Meeting". I do think an informal meeting would be conducive to a resolution, or at a minimum a good-faith effort. Thank you for the update.

Thanks,

Martin Vigil

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>
Sent: Wednesday, May 8, 2024 3:25 PM
To: Martin Vigil <vigilmartin@hotmail.com>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com <warba.llp.jared@gmail.com>; abdunn@ablairdunn-esq.com <abdunn@ablairdunn-esq.com>; Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Manzano, Daniel

<dmanzano@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; williegochefs@yahoo.com <Williegochefs@yahoo.com>; vivalucia3 <vivalucia3@proton.me>; -Frances Garcia <francesandrea9@gmail.com>; Ted Cloak <tcloak@unm.edu>; jules1101@gmail.com <jules1101@gmail.com>; nori.brixenproperties@gmail.com <nori.brixenproperties@gmail.com>; scott.brixen@gmail.com <scott.brixen@gmail.com>; Michael Valdez <turtletays@gmail.com>

Subject: RE: Communication/Update

Mr. Vigil,

Regarding your assertion below that Carol Johnson was ignored by the Planning Department, I am not aware of Ms. Johnson's past visit(s) to our office, but I will be happy to see if we can find a date/time for her to meet up with staff to go over her questions/concerns either via teleconference or in-person at our office.

Regarding a post-submittal facilitated meeting, we have made it clear in past correspondence that the IDO doesn't permit us to require a post-submittal facilitated meeting between the City as a facilitator, the applicant (Mr. Rembe), and the neighboring property owners and/or Neighborhood Association's; Section 6-4(L)(1) of the IDO notes that a post-submittal facilitated meeting can be requested by property owners within 330 feet and Neighborhood Associations within 660 feet in any direction of the subject property for a Site Plan Administrative application proposing more than 100 multi-family residential dwelling units and/or 50,000 square feet of non-residential development. However, neither threshold is met or exceeded by the proposed development at 1701 Central Avenue NW per BP-2024-10295.

Regarding the Site Plan Administrative/Building Permit for the proposed development at 1701 Central Avenue NW (BP-2024-10295), I can confirm at the time that this message was sent that the Building Permit has not been issued yet.



Jay Rodenbeck

Planning Manager

Development Review Services

o (505) 924-3994

c (505) 553-0682

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Martin Vigil <vigilmartin@hotmail.com>

Sent: Monday, May 6, 2024 9:59 AM

To: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Les Romaine <les@arnmlawyers.com>; warba.llp.jared@gmail.com; abdudd@ablairdunn-esq.com; Aranda, James M. <jmaranda@cabq.gov>; Varela, Alan M. <avarela@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>; Manzano, Daniel <dmanzano@cabq.gov>; Carol Gladin <cgjabq@gmail.com>; Edward Garcia <emg.abq7@gmail.com>; williegochefs@yahoo.com; vivalucia3 <vivalucia3@proton.me>; -Frances Garcia <francesandrea9@gmail.com>; Ted Cloak <tcloak@unm.edu>; jules1101@gmail.com; nori.brixenproperties@gmail.com; scott.brixen@gmail.com; Michael Valdez <turtletays@gmail.com>

Subject: Communication/Update

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

5/ 6/24

Jay Rodenbeck,

It has been several weeks since you have responded to emails. Are you still the Planning Department's point of contact for our neighbors?

Additionally, it is very troublesome that planning staff does not engage in dialogue with our neighbors. Communication requires an actual response to the substance of our correspondence. As a respectful reminder, I have read over 8,000 emails (obtained legally through IPRA) between Jay Rembe and City of Albuquerque staff. There is a clear distinction of how ordinary citizens are treated vs. developers like Jay Rembe. This letter serves as formal notice to Cease and Desist excluding ordinary citizens from the planning process. Please provide a response to the emails I have sent to you recently, this is a time-sensitive matter.

Some of our senior neighbors do not have computers or printers. Some neighbors prefer to send handwritten notes, or make calls. For instance, my neighbor Carol Johnson is 78 years old, and was constantly ignored by the Planning Department. Carol decided to visit in person and was willing to wait all day until spoken to. No neighbor should have to do that, especially our senior neighbors. There are many instances of planning staff not responding to neighbors in violation of the code of conduct.

Over a dozen requests for a meeting, or mediation conference have been ignored or refused. Please meet with leadership and present some solutions to the refusal to communicate issues. In the meantime, I will be filing tort notices against staff for the misconduct. I will also file against the supervisors for negligent supervision. When the conduct stops, I will gladly stop additional legal remedies.

Additionally, Robert Webb will be out of the office for a few weeks. Please assign a point of contact I can speak with in the interim.

Thanks,

Martin Vigil

From: [Armijo, Ernest M.](#)
To: [Rodenbeck, Jay B.](#); [Aranda, James M.](#); [Webb, Robert L.](#); [Sanchez, Nicole A.](#)
Subject: 1701 Central
Date: Tuesday, June 11, 2024 2:23:30 PM

All,

Just wanted to let you know that the TCL for the project on Central that Mr. Vigil has been on about has just been approved. Not sure what else they need to address for the building permit, but Transportation's part in this is done.



ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

o 505.924.3991

e earmijo@cabq.gov

cabq.gov/planning

Porquis, Dominick A.

From: Kenny Myers <design@rembedesign.com>
Sent: Monday, December 4, 2023 9:16 AM
To: Palmer, Jeffrey
Subject: RE: 1701 Central: Revised Shared parking Calculations

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

That is super helpful. And yes, it was indicated on that plan originally but has been eliminated from the site plan.
Have a great day!
Talk soon.

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Monday, December 4, 2023 9:14 AM
To: Kenny Myers <design@rembedesign.com>
Subject: RE: 1701 Central: Revised Shared parking Calculations

Kenny,
I believe it was in the DRB reviewed plan, as I do not believe you have sent me any other site plan. It was shown in the parking area that is located in the R-1 section of the parking lot, the furthest reach of the parking lot next to the neighborhood. Hope that helps...I am not in the office, but will try to respond to you today; if you have further questions, let me know.



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers [<mailto:design@rembedesign.com>]
Sent: Monday, December 4, 2023 7:37 AM
To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: RE: 1701 Central: Revised Shared parking Calculations

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Jeff,

Thanks again for your time reviewing this. I will try and reduce the size of the file so that I can send as a simple PDF, and will include the justification letters with the building permit submittal but not the agreement itself. As for the tandem parking: Can you remind me where that is referenced? It was meant to be space in which a tenant could keep a second vehicle, if needed, but has since been eliminated from the project as it was not needed to meet our parking requirements and the space was needed for drainage.
All the best.

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Friday, December 1, 2023 4:46 PM
To: Kenny Myers <design@rembedesign.com>
Subject: FW: 1701 Central: Revised Shared parking Calculations

Good afternoon, Kenny,
I believe your Shared Parking Agreement meets all of the requirements. I did have some problems opening the Site Plan, Exhibit A, with the One-Drive link...not sure if you have other options for including that sheet. Get it signed and we will run it through for review. Upload what you have with the permit, and we can review the permit and get the signed copy uploaded later, or Conditionally approve the permit regarding that completion, if all else is approved. Let me know how you want to handle that.

As for the items attached above: I do not think they need to be added to the Shared Parking Agreement, but should definitely be added to your Building Permit submittal for explanation and justification of parking arrangements.

Finally, I have a question about the Tandem parking in the rear of the Residential lot – I do not recall that, and think it would be difficult to utilize. Is it needed to meet the required numbers? If not, please explain the reasoning for that.

Thanks, Kenny, for your patience! Have a great weekend!



JEFF PALMER
Code Enforcement Supervisor
o 505.924.3804
c 505.803.3420
e jppalmer@cabq.gov
cabq.gov/planning

From: Kenny Myers [<mailto:design@rembedesign.com>]
Sent: Thursday, November 9, 2023 4:08 PM

To: Palmer, Jeffrey <jppalmer@cabq.gov>
Subject: 1701 Central: Revised Shared parking Calculations

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Kenny Myers has shared a OneDrive for Business file with you. To view it, click the link below.

 [2023-1109-SHARED PARKING-EXHIBIT A.pdf](#)

Jeff,

Thanks again for taking the time to talk with me this afternoon. I have attached here a copy of the revised Exhibit A which includes the break down of the parking requirements for the properties located at 1700 Central. In addition I have included the correspondence from James Aranda regarding the property and its unique zone situation, and access.

Please feel free to reach out to me if you have any additional questions. I am always available to discuss.

I will be compiling a separate email with information related to Griegos Farms.

Again, really appreciate your time on this.

Kenneth Myers, RA
rembe urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
518-364-9914

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



August 18, 2022

Kenneth Myers, RA
Rembe Urban Design + Development
1718 Central Ave SW, Suite B
Albuquerque, NM 87104

Mr. Myers:

Greetings! Thank you for requesting an official interpretation on the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access.

BACKGROUND

Rembe Urban Design + Development (the “applicant”) is proposing a mixed-use development project located at 1623 and 1701 Central Ave NW. The proposed development will include a 4-story, 34-unit apartment building with approximately 1,700 square feet of commercial space located at ground level and facing Central Avenue. The project will provide +/- 28 parking spaces located to the rear (north end) of the lot. The parking area will be gated and accessed only by residential tenants from 16th Street. All commercial parking access will be located on the south side of Central Avenue at the existing Country Club Plaza Development, which is owned by the same person. The applicant has verified that a shared parking agreement will be signed and recorded for this purpose. The majority of subject site is zoned MX-M, with a small portion located at the far north end of the property zoned R-1A. The property is located within CPO-3 and abuts a group of parcels zoned R-1A. The applicant has requested an official interpretation from the Zoning Enforcement Officer (ZEO) to determine the applicability and extent of IDO Subsection 14-16-3-4(D)(5)(a)2. Parking Access. Specifically, the applicant has requested an interpretation as to whether or not the aforementioned provision prohibits parking access to residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

ANALYSIS

IDO Section 14-16-3-4 prescribes additional development standards within CPO 3: Downtown Neighborhood Area Overlay Zone. The purpose of Character Protection Overlay zones is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. Pursuant to IDO Subsection 14-16-1-8(A)(1), when any regulation in Part 14-16-3 (Overlay Zones) conflicts with any other regulation in the IDO, the regulations of the Overlay zone prevail regardless of whether the Overlay zone regulations are more or less restrictive than the other regulations. Where Overlay zone regulations complement other IDO regulations, the Overlay

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

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zone regulations apply in addition to the other IDO regulations unless specified otherwise in this IDO. Where the Overlay zone is silent, other IDO regulations apply.

For the purposes of the IDO, any primary use listed in the Residential Uses category in IDO Table 4-2-1 is defined as a Residential Use. Multifamily Dwellings are included in the Residential Uses category in IDO Table 4-2-1. IDO Subsection 14-16-3-4(D)(5)(a)2. IDO Subsection 14-16-3-4(D)(5)(a)2. regulates primary vehicular access to and from properties facing Central Avenue. The language of IDO Subsection 14-16-3-4(D)(5)(a)2.a. prohibits primary vehicular access from Central Avenue for all properties located east of 14th Street. The subject property is located west of 14th Street so this provision does not apply. IDO Subsection 14-16-3-4(D)(5)(a)2.b. prescribes that primary vehicular access shall be from Central Avenue for all properties west of 14th Street. The provision also prohibits access to non-residential development along Central Avenue from 15th Street, 16th Street, and Fruit Avenue.

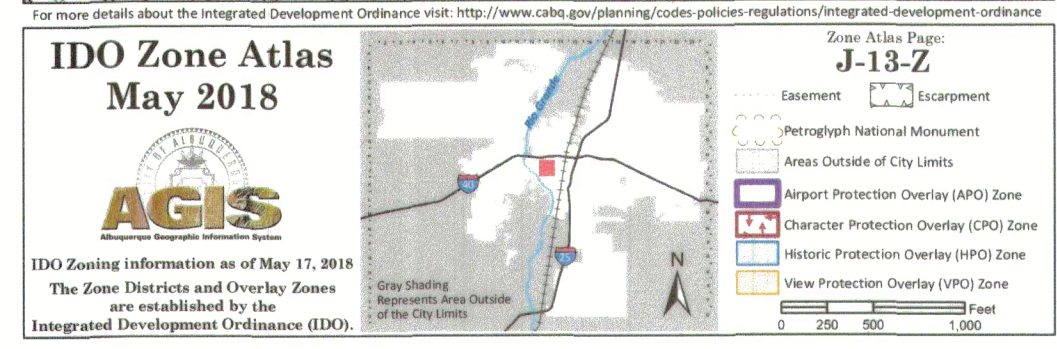
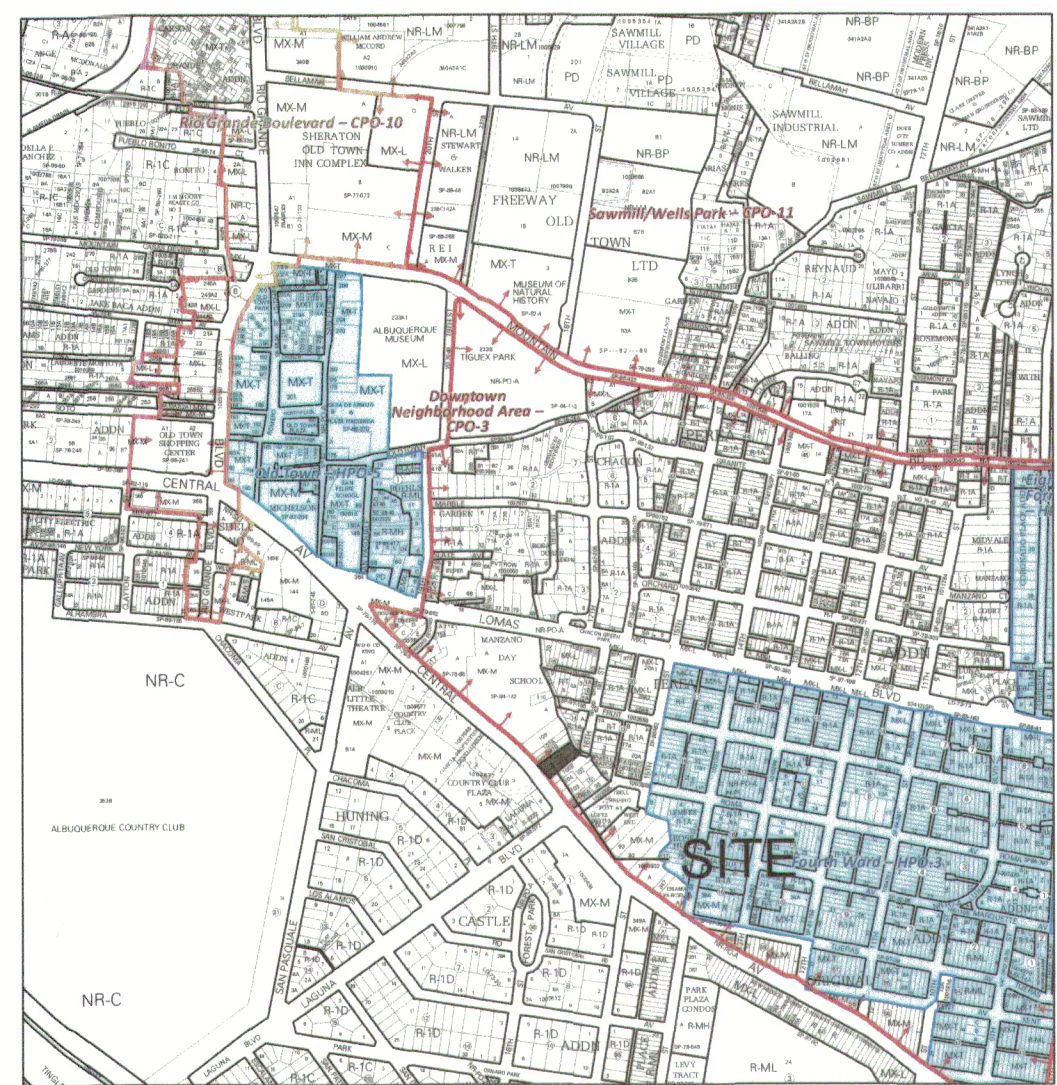
INTERPRETATION

The language of IDO Subsection 14-16-3-4(D)(5)(a)2.b. is explicit and unambiguous in prohibiting access to *non-residential development* along Central Avenue from 15th Street, 16th Street, and Fruit Avenue. Nowhere in the provision is an explicit or unambiguous reference, nor is the construction of language in the provision meant to extend the prohibition of access to residential development. Therefore, I interpret this provision as explicitly prohibiting access to non-residential development along Central from 15th Street, 16th Street, and Fruit Avenue. This prohibition does not extend to residential projects accessing 15th street, 16th Street and Fruit Ave.

In conclusion, the proposed parking area located to the rear (north end) of the subject site with access for a residential use on 16th Street complies with the provisions of IDO 14-16-3-4(D)(5)(a)2.b. To address the concerns of existing adjacent neighbors regarding potential changes to 16th Street as a result of this proposed development, the parking area shall be limited only to residential tenants of the proposed development and should be gated to discourage access by others. It is also strongly recommended that all potential impacts to 16th Street resulting from the proposed development be mitigated without creating major changes to the street's existing character, parking scheme, and usage.

Respectfully,

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer
Albuquerque Planning Department



ZONE ATLAS J-13-Z

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS LOT CONSOLIDATION (TO CREATE ONE LOT FROM THREE LOTS) AND TO GRANT ANY EASEMENTS AND VACATE ALL EASEMENTS AS SHOWN HEREON.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL SET POINTS ARE IDENTIFIED AS "SET", ARE 5/8" REBAR WITH BLUE PLASTIC CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD
5. FEMA FLOOD ZONE DESIGNATION: ZONE X

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. J-13
 DATE OF FIELD SURVEY: JANUARY, 2019; APRIL 2022
 TOTAL NO. OF TRACTS EXISTING 3
 TOTAL NO. OF LOTS CREATED 1
 TOTAL ACRES: 0.5767 ACRES

DOCUMENTS USED:

PLAT OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, RECORDED JANUARY 2019 AND AUGUST 2020.
 16TH STREET RIGHT OF WAY SURVEY BY WILSON AND COMPANY, DOC#2016050793
 ALTA/ASCM SURVEY BY QUEST SURVEYS OF TRACTS 106-A, 107-B AND 107-C FOUND IN M.R.G.C.D. MAP 38, UNRECORDED

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX

- PAGE 1 COVER
- PAGE 2 SUBDIVISION PLAT

LEGAL DESCRIPTION:

BEING A REPLAT OF PORTION OF TRACTS 107-B, 107-C, TOGETHER WITH TRACT 106-A FOUND IN M.R.G.C.D. MAP 38, WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES. EASEMENTS FOR ELECTRIC TRANSFORMER/ SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ SWITCHGEAR DOORS AND (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT AND VACATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL PUBLIC EASEMENTS SHOWN HEREON AND VACATED AS EASEMENTS SHOWN. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Jay Rembe 2/10/2023
 OWNER/DATE

ACKNOWLEDGMENT

STATE OF New Mexico) SS.
 COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 10th DAY OF February, 2023, BY Jay Rembe

NOTARY PUBLIC: Avram Penner
 MY COMMISSION EXPIRES: 12/07/2025

STATE OF NEW MEXICO
 NOTARY PUBLIC
 Avram Penner
 Commission Number 1121276
 My Commission Expires 27 December, 2025

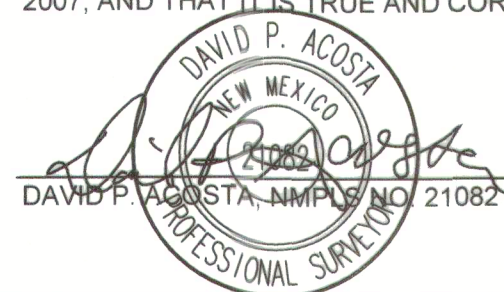
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURE'S OFFICE:

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



02/07/2023
 DATE

PLAT OF TRACT A
THE PEARL ADDITION
 BEING A REPLAT OF TRACTS 107-B, 107-C TOGETHER WITH TRACT 106-A WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2023

PROJECT NUMBER: PR-2022-006844 APPLICATION NUMBER: SD-2023-00060

CITY APPROVALS:	DATE
<u>Loren N. Risenhoover P.S.</u>	<u>2/7/2023</u>
CITY SURVEYOR	DATE
<u>Ernest Armijo</u>	<u>Jun 9, 2023</u>
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>Ray Stuel</u>	<u>2/17/2023</u>
M.R.G.C.D.	DATE
<u>Whitney Chiles</u>	<u>Jun 8, 2023</u>
PARKS AND RECREATION DEPARTMENT	DATE
<u>John</u>	<u>2/21/2023</u>
A.M.A.F.C.A.	DATE
<u>Qui Guad</u>	<u>Jun 15, 2023</u>
ABCWUA	DATE
<u>Shatabh Prasad</u>	<u>Jun 22, 2023</u>
CITY ENGINEER	DATE
<u>Heqin Cha</u>	<u>Jun 8, 2023</u>
HYDROLOGY	DATE
<u>Jay Rodenbach</u>	<u>Jun 8, 2023</u>
PLANNING DEPARTMENT	DATE
<u>Sh Pen</u>	<u>Jun 9, 2023</u>
CODE ENFORCEMENT	DATE

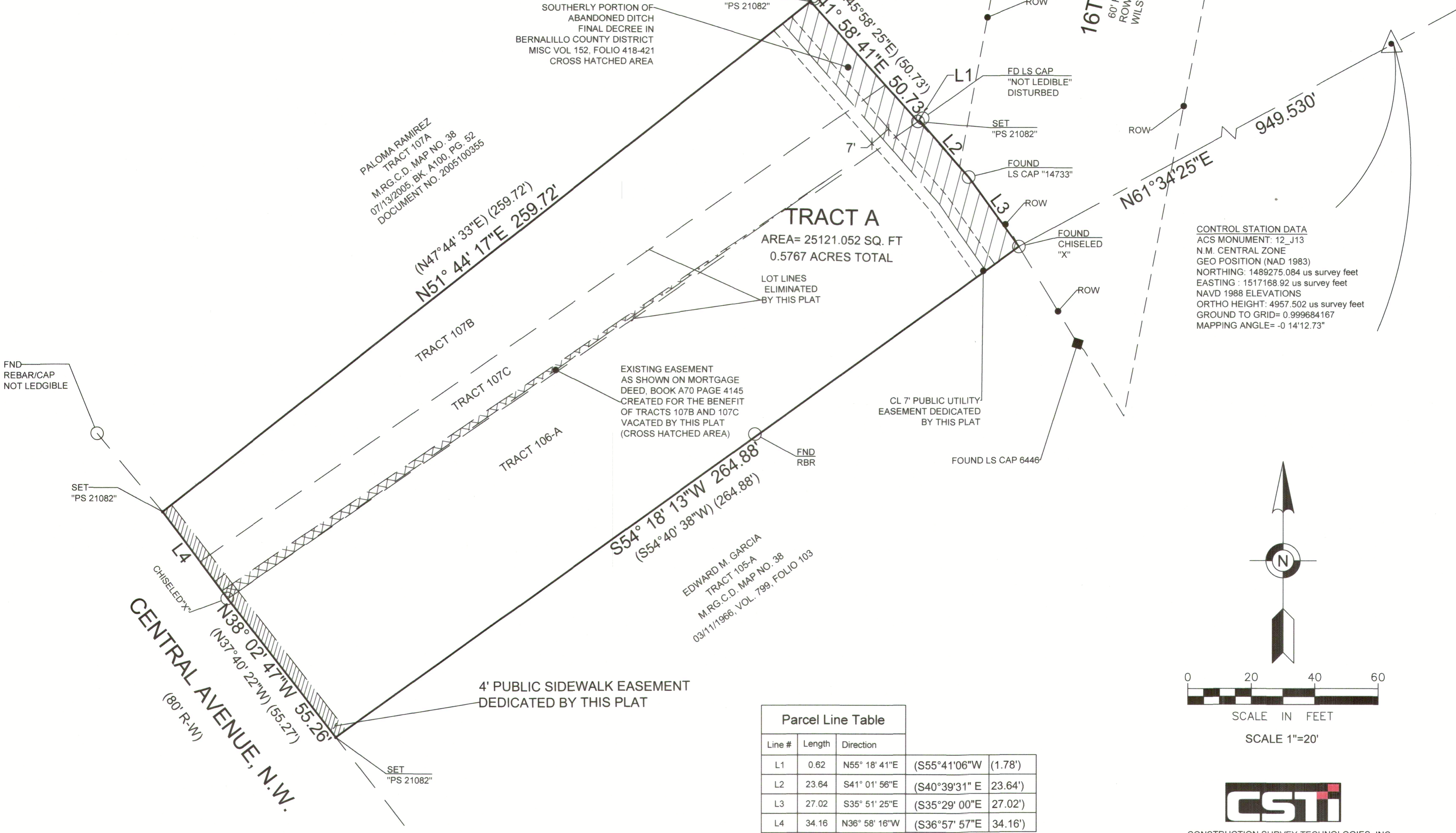
UTILITY APPROVALS:	DATE
<u>RJH</u>	<u>JAN 20 2023</u>
PNM ELECTRIC SERVICES	DATE
<u>Mike Mortua</u>	<u>1/20/2023</u>
NEW MEXICO GAS	DATE
<u>Natalia Antonio</u>	<u>2/9/2023</u>
QWEST CORPORATION D.B.A. CENTURY LINK QC	DATE
<u>Mike Mortua</u>	<u>19/Jan/2023</u>
COMCAST	DATE

M.R.G.C.D.
 APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENT, RIGHT OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER, ADDITION OR PLAT SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.
Ray Stuel 2/17/2023
 APPROVED DATE



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395
 ALBUQUERQUE, NM 87193
 505-917-8921

**PLAT OF
TRACT A**
THE PEARL ADDITION
 BEING A REPLAT OF TRACTS 107-B, 107-C
 TOGETHER WITH TRACT 106-A
 WITHIN PROJECTED SECTION 18, T 10 N, R 3 E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY 2023



FND
REBAR/CAP
NOT LEDGIBLE

PALOMA RAMIREZ
TRACT 107A
M.R.G.C.D. MAP NO. 38
07/13/2005, BK. A100, PG. 52
DOCUMENT NO. 2005100355

SOUTHERLY PORTION OF
ABANDONED DITCH
FINAL DECREE IN
BERNALILLO COUNTY DISTRICT
MISC VOL 152, FOLIO 418-421
CROSS HATCHED AREA

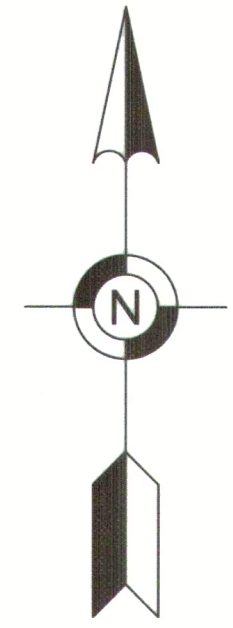
TRACT A
 AREA= 25121.052 SQ. FT
 0.5767 ACRES TOTAL

EXISTING EASEMENT
AS SHOWN ON MORTGAGE
DEED, BOOK A70 PAGE 4145
CREATED FOR THE BENEFIT
OF TRACTS 107B AND 107C
VACATED BY THIS PLAT
(CROSS HATCHED AREA)

EDWARD M. GARCIA
TRACT 105-A
M.R.G.C.D. MAP NO. 38
03/11/1966, VOL. 799, FOLIO 103

16TH STREET, N.W.
 60' R.O.W. DOC#2016050793
 WILSON AND COMPANY

CONTROL STATION DATA
 ACS MONUMENT: 12_J13
 N.M. CENTRAL ZONE
 GEO POSITION (NAD 1983)
 NORTHING: 1489275.084 us survey feet
 EASTING: 1517168.92 us survey feet
 NAVD 1988 ELEVATIONS
 ORTHO HEIGHT: 4957.502 us survey feet
 GROUND TO GRID= 0.999684167
 MAPPING ANGLE= -0 14'12.73"



SCALE IN FEET
 SCALE 1"=20'

Parcel Line Table				
Line #	Length	Direction		
L1	0.62	N55° 18' 41"E	(S55°41'06"W	(1.78')
L2	23.64	S41° 01' 56"E	(S40°39'31" E	23.64')
L3	27.02	S35° 51' 25"E	(S35°29' 00"E	27.02')
L4	34.16	N36° 58' 16"W	(S36°57' 57"E	34.16')

PR-2022-006844-SD-2023-00060



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395
 ALBUQUERQUE, NM 87193
 505-917-8921

DESCRIPTION OF A 0.5767 ACRE TRACT 107-B-1

A TRACT OF LAND SITUATE IN BERNALILLO COUNTY, NEW MEXICO, LOCATED IN SECTION 18, T.10N. R.3E., N.M.P.M., BEING U.S.R.S. TRACT 107-B AND TRACT 107-C ALONG WITH TRACT 106-A, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE SOUTH CORNER OF TRACT 106-A BEING A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING A POINT ON THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W.;

THENCE, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID TRACT 106-A N. 38° 02' 47"W, A DISTANCE OF 55.26 FEET TO A MARKED CHISELED "X" ON THE GROUND;

THENCE, N.36° 58' 16"W., A DISTANCE OF 34.16 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE WEST CORNER OF SAID TRACT 107-B;

THENCE, LEAVING THE NORTHEAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE N.W. N.51° 44' 17"E., A DISTANCE OF 259.72 FEET ALONG THE NORTHWEST BOUNDARY LINE OF SAID TRACT 107-B TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 107-B;

THENCE, FROM SAID NORTH CORNER, S.41° 58' 41"E., A DISTANCE OF 50.73 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, N.55° 18' 41"E., A DISTANCE OF 0.62 FEET TO A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, BEING THE NORTH CORNER OF SAID TRACT 106-A;

THENCE, S.41° 01' 56"E., A DISTANCE OF 23.64 FEET TO A POINT LYING ON THE WEST AND SOUTH RIGHT-OF WAY LINE OF 16TH STREET, N.W FOR AN ANGLE POINT ON THE NORTHEAST BOUNDARY LINE;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF 16TH STREET S.35°51' 25"E., A DISTANCE OF 27.02 FEET TO THE EAST CORNER OF SAID TRACT 106-A, MARKED BY A SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082;

THENCE, LEAVING THE SAID SOUTH RIGHT-OF-WAY LINE, S.54° 18' 13"W., A DISTANCE OF 264.88 FEET TO SAID SET 5/8" REBAR WITH A BLUE PLASTIC CAP MARKED PS 21082, ALSO BEING THE POINT OF BEGINNING. SAID TRACT 107-B-1 CONTAINING 0.5767 ACRES OF LAND (25121.052 SQUARE FEET) MORE OR LESS.



CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395
ALBUQUERQUE, NM 87193
575-644-0250











PR-2022-006844_SD-2023-00060

Final Audit Report

2023-06-22


Created:	2023-06-08
By:	Leila Shadabi (lshadabi@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA-venNIXWMDbRzcnmz4DfPbVhwiZG1_C

"PR-2022-006844_SD-2023-00060" History

-  Document created by Leila Shadabi (lshadabi@cabq.gov)
2023-06-08 - 9:54:33 PM GMT
-  Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature
2023-06-08 - 9:58:07 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
2023-06-08 - 9:58:08 PM GMT
-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature
2023-06-08 - 9:58:08 PM GMT
-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature
2023-06-08 - 9:58:08 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature
2023-06-08 - 9:58:08 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature
2023-06-08 - 9:58:08 PM GMT
-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature
2023-06-08 - 9:58:09 PM GMT
-  Email viewed by Tiequan Chen (tchen@cabq.gov)
2023-06-08 - 10:04:50 PM GMT
-  Document e-signed by Tiequan Chen (tchen@cabq.gov)
Signature Date: 2023-06-08 - 10:06:01 PM GMT - Time Source: server
-  Email viewed by Whitney Phelan (wphelan@cabq.gov)
2023-06-08 - 10:32:27 PM GMT

 Document e-signed by Whitney Phelan (wphelan@cabq.gov)

Signature Date: 2023-06-08 - 10:35:31 PM GMT - Time Source: server

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)


2023-06-08 - 10:51:28 PM GMT

 Document e-signed by Jay Rodenbeck (jrodenbeck@cabq.gov)

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 Email viewed by Ernest Armijo (earmijo@cabq.gov)

2023-06-09 - 12:45:09 PM GMT

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 Email viewed by Jeff Palmer (jppalmer@cabq.gov)

2023-06-10 - 2:30:57 AM GMT

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 Email viewed by Shahab Biazar (sbiazar@cabq.gov)


2023-06-12 - 2:18:50 PM GMT

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)


2023-06-15 - 8:13:33 PM GMT

 Document e-signed by David Gutierrez (dggutierrez@abcwua.org)

Signature Date: 2023-06-15 - 8:26:26 PM GMT - Time Source: server

 Email viewed by Shahab Biazar (sbiazar@cabq.gov)

2023-06-22 - 10:09:55 PM GMT

 Document e-signed by Shahab Biazar (sbiazar@cabq.gov)

Signature Date: 2023-06-22 - 10:10:21 PM GMT - Time Source: server

 Agreement completed.

2023-06-22 - 10:10:21 PM GMT



DEVELOPMENT HEARING OFFICER

Planning - Case Comments

HEARING DATE: 3/22/23 -- **AGENDA ITEM:** #7

Project Number: PR-2022-006844 {AKA 2023-6844}

Application Number: SD-2023-00060 Site Plan

SD-2023-00062 Vacation of a Private Easement

Project Name: 1701/1623 Central

Request:

Preliminary/Final Plat; Vacation of Private Easement

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- The application number must be added to the Plat.
- DXF File approval from AGIS will be required prior to final sign-off of the Plat should the Plat be approved by the DHO.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all replatting actions.
- Replat cannot increase any existing nonconformity or create a new nonconformity.
- Clarify how this plat allows access to 16th Street.
- Access approval on North side of property per Transportation and Fire Marshal.
- Central is a Main Street and Major Transit Corridor. The parcel 1701 Central lies in a Premium Transit Station. With this replat, the entire parcel would be within a Premium Transit Station area. Parcels are in Character Protection Overlay 3- Downtown Neighborhood Area. Parcel is in Area of Change and adjacent parcels are also Area of Change on the Comprehensive Plan.

**(See additional comments on next page)*

- Confirm compliance with DPM Table 7.2.29 regarding sidewalk and buffer widths. Standard requirements would be:
 - Central Ave.: Main Street: Sidewalk: 10-12 feet and Landscape Buffer Zone: 6-8 feet Existing sidewalk width if 6 feet and a 4-foot sidewalk easement is being established with this plat. The sidewalk should be added to an infrastructure list. If the existing sidewalk is to be retained, the landscape buffer may be on the inside of the sidewalk with accommodation for street trees. **If the landscape buffer is to be less than 5 feet or some other configuration, please provide a letter of justification.**

- Future development must meet all applicable standards and provisions of the IDO and the DPM. Including but not limited to the following:
 - MX-M standards and requirements.
 - CPO-3 standards and requirements are extensive. Where the CPO 3 is silent, then the IDO Standards apply.
 - See Multi-Family Use Specific Standards, Parking requirements, Landscaping-Buffering-Screening requirements and standards, Neighborhood Edge standards and requirements, Site Design Sensitive Lands-Drainage Area, Demolition Review, Corridor standards for PT-Premium Transit, MT-Major Transit, MS-Main Street.

- Clarify parking calculations with any site plan submittal.

- Provide 1 tree per ground floor unit per IDO 4-3(B)(7) and tree type per 4-3(B)(7).

- Comply with Building Façade standards for CPO 3 and IDO 5-11(E)(2)(b) that must be met for MS-PT areas.

- Please note the dimensional standards from IDO Table 5-1-2 below. Identify usable open space; please note CPO 3 Standards regarding usable open space? Please note height and stepback requirements in CPO 3 which take precedent over IDO standards for MX-M.

Table 5-1-2: Mixed-use Zone District Dimensional Standards				
UC-MS-PT = Urban Centers, Main Streets, and Premium Transit areas as identified in the ABC Comp Plan				
BR = bedroom DU = dwelling units.				
Note: Any different dimensional standards in Part 14-16-3 (Overlay Zones) and Section 14-16-5-9 (Neighborhood Edges) applicable to the property shall supersede the standards in this table.				
Zone District	MX-T	MX-L	MX-M	MX-H
Site Standards				
Usable open space, minimum ^[4]	Efficiency or 1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit UC-MS-PT: 50% reduction			
Setbacks ^{[2][3][4][5]}				
Front, minimum	5 ft. UC-MS-PT: 0 ft. ^[6]			
Front, maximum	N/A UC-MS-PT: 15 ft.			
Side, minimum	Interior: 0 ft.; Street side of corner lots: 5 ft. UC-MS-PT: 0 ft.			
Side, maximum	N/A UC-MS-PT: Interior: N/A; Street side of corner lots: 15 ft. ^[6]			
Rear, minimum	15 ft. UC-MS-PT: 0 ft. where rear lot line abuts a street or alley			
Rear, maximum	N/A			
Building Height ^[5]				
Building height, maximum	30 ft.	38 ft. UC-MS-PT: 55 ft.	48 ft. UC-MS-PT: 65 ft. No maximum for portions of building >100 ft. from all lot lines	68 ft. UC-MS-PT: 75 ft.
		UC-MS-PT-MT: 12 ft. Structured Parking Bonus		UC-MS-PT-MT: 24 ft. Structured Parking Bonus
		UC-MS-PT-MT: 12 ft. Workforce Housing Bonus		



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jolene Wolfley
Planning Department

DATE: 03/22/23

**PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946**

OFFICIAL NOTIFICATION OF DECISION

Rembe Urban Design + Development
1718 Central Ave. SW
Albuquerque, NM 87102

**Project# PR-2022-006844
(AKA: PR-2023-008387)
Application#
SD-2023-00060 PRELIMINARY/FINAL PLAT
SD-2023-00062 VACATION OF PRIVATE
EASEMENT**

LEGAL DESCRIPTION:

Requests the aforementioned action(s) for all or a portion of: **106-A, 107-B, AND 107-C, MAP 38** zoned **MX-M AND R-1A**, located at **1701/1623 CENTRAL AVE NW** containing approximately **0.58** acre(s). **(J-13)**

On March 22, 2023, the Development Hearing Officer (DHO) held a public hearing concerning the above referenced applications and approved the requests, based on the following Findings:

SD-2023-00060 PRELIMINARY/FINAL PLAT

1. This is a request to consolidate three existing tracts (Tracts 106-A, 107-B, and 107-C) of Map 38 into one tract (Tract A of The Pearl Addition) at 0.58 acres in size.
2. The property is zoned MX-M & R-1A (portion of Lot 106-A). Future development must be consistent with the underlying zone district and the IDO/DPM requirements.
3. An Infrastructure List was approved with this Plat, and an approved and recorded Financial Guaranty/Infrastructure Improvements Agreement (IIA) must be submitted prior to the final sign-off of the Plat.
4. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:

Final sign-off of the Plat by the DFT staff is conditioned as follows:

- a. DXF file approval from AGIS prior to final sign-off.
- b. Recorded IIA.

SD-2023-00062 VACATION OF PRIVATE EASEMENT

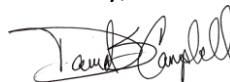
1. The applicant proposes to vacate an existing triangular private easement as shown on Mortgage Deed, Book A70 Page 4145 created for and between Tracts 106-A and 107-A.
2. The applicant justified the vacation request for the easement pursuant to 14-16-6-6-(M)(3) of the IDO. The public welfare does not require that the easement be retained, as the easement will be non-functional and unnecessary with the replat of the site.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DHO's decision or by **APRIL 7, 2023**. The date of the DHO's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



David S. Campbell
Development Hearing Officer

DSC/lis

Consensus Planning Inc., 302 8th Street, Albuquerque, NM 87102

PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision

Final Audit Report

2023-03-27

Created:	2023-03-26
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAPW8UD2WlQjHurDzo8l3tJ2cyS48wL1VX

"PR-2022-006844 (2023-008387)_March _22_2023 - Notice of Decision" History

 Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)

2023-03-26 - 7:44:06 PM GMT- IP address: 73.242.135.213

 Document emailed to david@davidscampbell.com for signature

2023-03-26 - 7:44:53 PM GMT

 Email viewed by david@davidscampbell.com

2023-03-27 - 1:47:07 AM GMT- IP address: 73.26.229.89

 Signer david@davidscampbell.com entered name at signing as David S. Campbell

2023-03-27 - 1:52:16 AM GMT- IP address: 73.26.229.89

 Document e-signed by David S. Campbell (david@davidscampbell.com)

Signature Date: 2023-03-27 - 1:52:18 AM GMT - Time Source: server- IP address: 73.26.229.89

 Agreement completed.

2023-03-27 - 1:52:18 AM GMT

Names and email addresses are entered into the Acrobat Sign service by Acrobat Sign users and are unverified unless otherwise noted.

DEVELOPMENT HEARING OFFICER

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2023-008387
1701-1623 Central NW

AGENDA ITEM NO: 7

SUBJECT: Preliminary/Final Plat, Vacation of Private Easement

ENGINEERING COMMENTS:

1. All questions have been addressed. No objection.
2. For future development an approved TCL (Traffic Circulation Layout) will be required before building permit. A traffic scoping form needs to be filled out and sent to Matt Grush mgrush@cabq.gov to determine if a TIS is required.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: March 22, 2023

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 006844
Central Avenue

AGENDA ITEM NO: 11

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Show existing sidewalk and sidewalk width on Central Avenue. Per the new DPM requirements, a minimum 10-foot wide sidewalk is required along a Premium Transit Corridor. However, landscape requirements along Central shall remain in place.
2. Provide a public easement at the proposed turnaround location.
3. The overall concept is acceptable. A 6-foot ADA pathway is needed to tie to the right-of-way. If future development is not going to be submitted to DRB, a TCL (Traffic Circulation Layout) will be required before building permit. Follow all applicable IDO and DPM requirements.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.
Transportation Development
505-924-3991 or jwolfenbarger@cabq.gov

DATE: April 20, 2022

ACTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT REVIEW BOARD

Planning - Case Comments

HEARING DATE: 4/20/22 -- **AGENDA ITEM:** #11

Project Number: PR-2022-006844

Application Number: PS-2022-00066

Project Name:

Request:

Sketch Plat

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning.
Utility signatures, AMAFCA signatures and DXF File approval from AGIS will be required for the Preliminary and/or Final Plat actions. Those signatures must be obtained and included with all submittals prior to the acceptance of that application and the placement on a DRB agenda.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all replatting actions.
- Replat cannot increase any existing nonconformity or create a new nonconformity.
- Access approval on North side of property per Transportation and Fire Marshal.

**(See additional comments on next page)*

- Future development must meet all applicable standards and provisions of the IDO and the DPM.
Including but not limited to the following:
MX-M standards and requirements, CPO-3 standards and requirements, Downtown mapped area standards, Multi-Family Use Specific Standards, Parking requirements, Landscaping-Buffering-Screening requirements and standards, Neighborhood Edge standards and requirements, Site Design Sensitive Lands-Drainage Area, Demolition Review, Corridors standards for PT-Premium Transit, MT-Major Transit, MS-Main Street.
- How do parking calculations include the commercial square footage (2.5 space/1000 GFA for UC-MS-PT areas)?
- Provide 1 tree per ground floor unit per IDO 4-3(B)(7) and tree type per 4-3(B)(7).
- Comply with Building Façade standards for Mixed Use Districts in IDO 5-11(D). Note additional requirements in IDO 5-11(E)(2)(b) that must be met for MS-PT areas.
- Please note the dimensional standards from IDO Table 5-1-2 below. How are you computing usable open space?

Table 5-1-2: Mixed-use Zone District Dimensional Standards
 UC-MS-PT = Urban Centers, Main Streets, and Premium Transit areas as identified in the ABC Comp Plan
 BR = bedroom DU = dwelling units.
 Note: Any different dimensional standards in Part 14-16-3 (Overlay Zones) and Section 14-16-5-9 (Neighborhood Edges) applicable to the property shall supersede the standards in this table.

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		UC-MS-PT-MT: 12 ft. Structured Parking Bonus		UC-MS-PT-MT: 24 ft. Structured Parking Bonus
UC-MS-PT-MT: 12 ft. Workforce Housing Bonus				



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb/Jolene Wolfley
Planning Department

DATE: 04/19/22
