

6-6(D)(3)(a)The proposed changes are consistent with Section 14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located. The design of the six new town houses is compatible with the Simplified Queen Anne style. Elements of this style, as indicated in the Design Guidelines, a porch parallel to the street, single hung windows and gable and gable and hip roof elements are included in the new design. These details are found throughout the neighborhood. The proposed front facade is single family in appearance. Additionally, details include shingle roofing, stucco exterior walls, bay windows and terraces.

6-6(D)(3)(b) The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished. The original structure was destroyed by a fire.

6-6(D)(3)(c) The change qualifies as a "certified rehabilitation" pursuant to the Tax Reform Act of 1976, if applicable. Not Applicable.

6-6(D)(3)(d) The structure or site's distinguished original qualities or character will not be altered. For the purposes of Section 14-16-3-5 (Historic Protection Overlay Zones) and this Subsection 14-16-6-6(D), "original" shall mean as it was at the time of initial construction or as it has developed over the course of the history of the structure. The original structure was destroyed by a fire.

6-6(D)(3)(e) Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design. The original structure was destroyed by a fire.

6-6(D)(3)(f) Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone in which it is to be located. New construction has been designed to be compatible with HPO zone. Window styles and proportions are consistent with those found in the neighborhood. Exterior finishes are stucco with wood style trim, roof is asphalt shingles consistent with exterior finishes in the neighborhood. The front façade includes a bay window, terrace, and covered porch compatible with other homes in the neighborhood. The new construction includes hip and gabled roofs with dormers which are typical of Queen Anne styles.

Notice of Decision 10.12.23

The Landmarks Commission requested a deferral for the following concerns to be addressed. Below is a short summary of how the revised design accomplishes the LC concerns.

1. *Remove front yard parking space, curb cut and driveway.* Removed.
2. *Extend front setback to 25 feet from the front property line to match adjacent properties.* Front setback is at 25 feet.
3. *The space between adjacent buildings should be the same as the average space between other buildings on the block.* The building to the north is located approximately 15 feet north of the south property line. To locate the project 15 feet from south property line would make the project not feasible. The existing adjacent buildings to the north and south (and the previous building on the site destroyed by fire) were constructed prior to the existing zoning code and do not meet current side setback requirements and Solar Access

requirements. Any new construction on the site will have to meet the requirements of the IDO. Setting the structure 15 feet from the south property line would reduce the buildable area on the southern portion of the lot. This is the portion of the lot where Solar Access requirements permit a second story. Thus, if the building were to be located with the same average spacing as other buildings on the block, it would not only reduce the buildable footprint, but would also remove the second story. The proposed building design meets the IDO setback requirements for side setback and buffering, Solar Access requirements and has an additional 10 feet of front setback beyond the required 15 feet. The front two units are setback seven feet from the south property line creating approximately 12'-6" feet between the existing building to the south and the proposed building. This distance is close to the approximately 14' distance that existed between the building destroyed by the fire and the building to the north.

4. *Provide clearly and properly dimensioned drawings for all setbacks, overhangs, and elevations.* Plans and elevations are clearly dimensions. Roof site plan provided, landscape plan provided, site plan/floor plan provided.
5. *Incorporate details and ornamentation found on historic buildings within the context of new construction.* Window frames are painted with extended (deeper) lower sills, dormers have shingles, porches are enclosed with 3' painted pickets and 6" square posts, fascia boards outline dormers and porches have trim detailing below roof. Window sizing and proportions are consistent with historic windows, stucco cladding is consistent with neighborhood, stone like raised foundation consistent with neighborhood.
6. *Provide site plan with parking calculations (requirements/provided) and usable open space requirements.* Site plan is provided with parking requirements and provided spaces and usable open space requirements and provided per unit.

We appreciate your time and interest in the manner.

Thank you,



Michelle Negrette (agent)

Strata Design, LLC

505.710.4221



Agenda Item: 04
 Case # SI-2023-01514
 Project # PR-2021-005685
 January 10, 2024

Supplemental Staff Report

<i>Agent</i>	Strata Design/Michelle Negrette
<i>Applicant</i>	Homewise Inc.
<i>Request</i>	Certificate of Appropriateness For Alteration
<i>Legal Description</i>	Lot 5, Block 26, Huning Highland Addition
<i>Address/Location</i>	119 High Street SE Between Gold Avenue SE and Central Avenue SE
<i>Size</i>	0.17-acres
<i>Zoning</i>	R-ML
<i>Historic Location</i>	Huning Highland Historic Protection Overlay Zone (HPO-5)

Staff Recommendation

APPROVAL of Case # SI-2023-01514, Project # PR-2021-005685, a request for new construction, based on the 10 Findings beginning on page 9 and with Condition on page 13.

Leslie Naji, Principal Planner
Historic Preservation

Summary of Analysis

This report is supplemental to the report dated October 11, 2023, and is intended to be read in conjunction with that report. At the October hearing the commission asked for a deferral to enable the applicant to redesign and clearly address concerns with the submitted design.

The new design addresses changes requested by the LC, including, properly dimensioned drawings for all setbacks, overhangs, and elevations, extension of the front setback to 25 feet from the front property to match adjacent properties, the removal of the front yard parking space and curb cut. A revised site plan with parking calculations and usable open space has also been provided.

This request was reviewed against the relevant guidelines for the Huning Highland Historic Overlay Zone and the criteria for approval of a Certificate of Appropriateness in the Integrated Development Ordinance. The proposed alterations, with conditions, conform to the development guidelines and are considered appropriate.

SUMMARY OF REQUEST

<i>Request</i>	<i>Certificate of Appropriateness for Alteration</i>
<i>Historic Location</i>	<i>Huning Highland Historic Protection Overlay Zone</i>

AREA HISTORY AND CHARACTER

Surrounding architectural styles, historic character, and recent (re)development

	<i># of Stories</i>	<i>Roof Configuration, Architectural Style, and Approximate Age of Construction</i>	<i>Historic Classification & Land Use</i>
<i>General Area</i>	1-2	Craftsman Bungalow; Bungalow; Spanish Pueblo Revival; Prairie; Mediterranean Revival; Colonial Revival	Contributing; Neutral; residential
<i>Site to the North</i>	1	Broad bungalow gabled roof, Bungalow, c. 1923	Contributing
<i>Site to the South</i>	2	Hipped and gabled, Queen Anne, c. 1908-1923	Contributing
<i>Sites to the East</i>	1	Flat roof, Southwest Vernacular; c. 1924	Contributing
<i>Site to the West</i>	2	Cross gable/Gambrel, Queen Anne c. 1901	Contributing

II INTRODUCTION

This report is supplemental to the report dated October 11, 2023, and is intended to be read in conjunction with that report. At the October hearing the commission asked for a deferral to enable the applicant to redesign and clearly address clearly information by January 10, 2024 concerns with the submitted design.

The new design addresses changes to the design requested by the LC, including: properly dimensioned drawings for all setbacks, overhangs, and elevations; extension of the front setback to 25 feet from the front property to match adjacent properties; the removal of the front yard parking space, curb cut and driveway; and a revised site plan with parking calculations and usable open. The revised design has addressed the concerns of the Landmarks Commission at the October hearing. The new plans provide the 25-foot front setback while still providing 6 units. The two rear units are smaller than the other four units while still meeting housing standards.

The proposed building detail draws in simplified architectural details found throughout Huning Highland such as shingled gables and roof dormers. Window sizing and proportions are consistent with historic windows; stucco finish is consistent with the neighborhood.

The site plan provides one parking space per unit and the required usable open space for units.

APPLICABLE PLANS, ORDINANCES, DESIGN GUIDELINES & POLICIES

III. ANALYSIS

Policies are written in regular text, and staff analysis and comments are in bold italic print.

Integrated Development Ordinance (IDO)

In May 2018, the Integrated Development Ordinance (IDO) replaced the City's Zoning Code and the property was zoned R1-A. An application in 2021, RZ-2021-00025, rezoned the property R-ML.

The property is located within the Huning Highland Historic Preservation Overlay Zone. The Integrated Development Ordinance Part 14-16-3-5 establishes controls and procedures for Historic Protection Overlay Zones (HPO). Part 14-16-3-5 (I) identifies standards and guidelines for HPO-5: Huning Highland.

6-6(D)(3) Review and Decision Criteria

An application for a Historic Certificate of Appropriateness – Major shall be approved if it complies with all of the following criteria:

6-6(D)(3)(a) The change is consistent with Section 14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located.

The changes do not conflict with the designation ordinance. As discussed in the analysis below, the proposal substantially conforms to the development guidelines.

6-6(D)(3)(b) The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished.

The proposed townhouses are well thought out and work to blend the two different scales of the properties to the north and south of the site. The architectural character and historical value of the Huning Highland Overlay Zone will not be significantly impaired or diminished as the project substantially conforms to the development guidelines.

6-6(D)(3)(c) The change qualifies as a "certified rehabilitation" pursuant to the Tax Reform Act of 1976, if applicable.

Not applicable

6-6(D)(3)(d) The structure or site's distinguished original qualities or character will not be altered. For the purposes of Section 14-16-3-5 (Historic Protection Overlay Zones) and this Subsection 14-16-6-6(D), "original" shall mean as it was at the time of initial construction or as it has developed over the course of the history of the structure.

Not Applicable. The original character of the Queen Anne style house has, unfortunately, been lost to fire. The new construction looks to incorporate materials, roof patterns and scale of the original building.

6-6(D)(3)(e) Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design.

Not Applicable

6-6(D)(3)(f) Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone.

The proposed design is fundamentally similar to other buildings within the Huning Highland Historic District, with multiple pitched roofs, sash windows and front porches and balconies. Though not a contemporary design, it does not try to falsely present as an historic home.

Resolution – 132-1980 Designating the Huning Highland Historic Overlay Zone

This resolution designated and mapped the Huning Highland Historic Overlay Zone. The district was established and adopted by the Council on June 2, 1980 and development guidelines were adopted with the resolution. The proposal does not conflict with the designation ordinance.

Huning Highland Historic Protection Overlay Zone Development Guidelines

This handbook was produced by the City of Albuquerque Planning Department. The development guidelines incorporated into this handbook were adopted in 2010 by the Landmarks and Urban Conservation Commission for the Huning Highland Historic Overlay Zone on October 13, 2010

POLICY – NEW CONSTRUCTION

New construction should add visual interest and a sense of scale to the streetscape and be compatible with the general characteristics of contributing buildings in the vicinity. New buildings should reflect designs traditionally used in the area.

Guidelines

1. Design new buildings to appear similar in scale to other buildings on the block.
 - Break large masses into smaller segments similar to other buildings.
 - The perceived mass of buildings from the street shall be reduced by details such as windows, doors and entry porches.

The new building, when viewed from the street provides variety in masses and successfully links the lot to the adjoining properties. The house to the south is a large brick two-story Victorian with a steeply pitched roof. The house to the north is a single-story bungalow with a moderately sloped roof. The proposed building faces the street with a high and low side, each addressing the relevant neighboring buildings and providing a transition in scale along the street. A small covered front porch and a second-floor balcony help to establish the scale of the building.

2. Design a new building to reinforce a sense of human scale. This can be achieved with the use of:
 - Building materials of traditional dimensions
 - One-story porches
 - Solid to void ratios that are similar to traditional buildings.
 - Windows should be recessed and similar in size to surrounding buildings.

While most of the units are accessible from the side of the lot, the front unit is designed to provide a front entry and street facing façade consistent with many houses in the neighborhood. The proposed design front setback is 25 feet from the front property line, which maintains the front setback most common on the block. The front facade incorporates a front porch and second-story balcony, bay window, and shingled gables which enhance the pedestrian character.

The space between this building and the property to the north is approximately 14 feet which is consistent with the previous building on the site and in keeping with

norms on the street. The setback at the south of the proposed building meets the required setback of 5 feet. The resulting space between buildings is approximately 8 feet.

3. Design the front elevation to appear similar in scale to contributing buildings on the block.

- On a two-story building there should be a one-story element such as a porch.

The front elevation works well to address the scale of the adjoining building which are quite different between the north and south properties. Higher two-story elements are located on the south side of the building which is adjacent to a large brick Victorian house. The northern side of the building steps down to one-story and a cut-out for a second-story balcony, allowing it to mesh more easily with the single-story bungalow located to the north.

4. Infill construction should enhance the pedestrian character of the district.

- Entrances to new buildings shall be oriented towards the street.
- Maintain patterns of window and door proportions and placement found in the vicinity.
- Maintain the front setback most common on the block.
- The space between adjacent buildings should be the same as the average space between other buildings on the block.
- Parking and garages should be located towards the rear of the property whenever possible.

The proposed design has space between adjacent buildings to the north consistent with other buildings on the block; however, the spacing to the south is considerably less although meeting minimum setback requirements.

The front presentation of the proposed building, with 25-foot setback, enhances the district character with front porch, gabled ends and standard window spacing and proportions.

On-site parking is accessed from the rear alley with 2 on-street parking spaces fulfilling parking needs.

5. Use building forms that are similar to those of contributing buildings on the block.
 - Rectangular masses are the typical building form.

The proposed design provides plans and elevations that are clearly dimensioned. The building forms are consistent with the building types of the historic district.

6. Use roof forms that are similar to contributing buildings on the block.
 - Hip and gabled roofs are appropriate in most settings.
 - Flat roofs should be used only where appropriate to the context and should have a parapet.

The proposed roof is a front gabled pitch roof with a slope at an angle between the properties to either side of it.

7. Exterior materials used on new buildings should complement those materials found on contributing buildings in the neighborhood.
 - The use of wood, masonry and stucco is encouraged. If wood is used, it must be laid in a historic manner such as beveled (clapboard) or drop (shiplap).
 - Synthetic siding materials, such as cementitious products, may be appropriate if they are similar to traditional materials.
 - Wood is the preferred choice for window and doors. Metal window frames are discouraged other than exterior cladding for wood windows.
 - Roofing materials shall be similar in appearance to other buildings in the district.

Exterior materials of stucco, wood gable shingles and asphalt roof shingles are in keeping with materials traditionally used in the Huning Highland neighborhood.

8. Imitation of older historic styles is discouraged.
 - Interpretations of historic styles may be appropriate if they are subtly distinguishable as new buildings.
 - Incorporate details and ornamentation found on historic buildings within the context of new construction.

The project design is a simplified Victorian style and not one that could be confused with historic construction.

9. Contemporary interpretations of traditional detail are encouraged.
 - New designs for details such as window and door trim, porch railings, columns add interest while remaining compatible with the historic buildings.

The proposed design utilizes historic styles where window frames are painted with extended (deeper) lower sills; gabled ends have decorative shingles; porch rails are 3' painted pickets with 6" square posts; fascia boards outline dormers; and porches have trim detailing below the roof. Window sizing and proportions are consistent with

historic windows; stucco finish is consistent with the neighborhood, and stone-like raised foundations are consistent with the neighborhood.

POLICY – SITE FEATURES & STREETSAPES

Historic site features should be retained. New site features should be compatible with the architectural character of the historic district.

Guidelines

Parking areas and driveways

1. Avoid large expanses of parking

- Divide large parking lots with planting areas. Large parking areas are those with more than five cars.
- Locate parking areas to the rear of the property when physical conditions permit.
- An alley should serve as the primary access to parking when physical conditions permit. Parking shall not be located in the front yard except in driveways. Existing driveways should not be widened or expanded. Paving in the front yard setback other than for driveways is prohibited
- Any alteration of the public rights-of-way is subject to approval by the Landmarks and Urban Conservation Commission

The proposed design has removed the front yard parking space, curb cut, and driveway. Also, the front setback is 25 feet from the front property line, which maintains the front setback on the block in the neighborhood. All on-site parking is accessed through the rear alley. Two parking spaces are available as on-street parking.

IV. CONCLUSIONS

This request for a Certificate of Appropriateness is for the new construction of a six-unit townhouse in the Huning Highland Historic Protection Overlay Zone (HPO-5) and the criteria for approval of a Certificate of Appropriateness contained in the LC Ordinance.

As discussed in the analysis above, the proposal, following various design modifications, conforms to the intent of the guidelines with the removal of the front yard parking space and extending the front setback to 25 feet from the front property line, space between adjacent buildings should be the same as the average space between other buildings on the block.

Space between buildings to the south is smaller than typically seen within Huning Highland and will result in a tight front space for those units opening on to this 5-foot space. Information was not provided for the setback of the building to the south but a greater setback for the new building would be preferred.

Aside from the south side building spacing, the proposed design site plan meets the parking requirements, including parking spaces and usable open space requirements per unit. Therefore, the proposed design meets the majority of IDO and Huning Highland guidelines requirements.

FINDINGS for APPROVAL (Supplemental) of a request for a Certificate of Appropriateness for New Construction – Case #SI-2023-01514/Project #PR-2021-005685 (January 10,2024).

1. The request is for a Certificate of Appropriateness for new construction for an approximately 0.17-acre site legally described as Lot 5, Block 26, Huning Highland Addition, located at 119 High Street SE, between Gold Avenue SE and Central Avenue SE (the “subject site”).
2. The subject site is zoned R-ML (Residential – Multi-Family Low Density Zone District).
3. The subject site is within the boundaries of the Huning Highland Historic Protection Overlay Zone, HPO-5.
4. The application for a Certificate of Appropriateness for new construction of six two-story, townhouse units. Four units have two-bedrooms and two units are one-bedroom. Five of the units have access from the side. One unit addresses the street directly and appears more as a single-family house.
5. The IDO Section 14-16-6-6(D)(1) requires that all development and modification of structures in any HPO zone and all development or modification of a landmark site first receive a Certificate of Appropriateness.
6. The IDO Section 14-16-6-6(D)(3) states that a Certificate of Appropriateness shall be approved if it complies with all of the following criteria:

- a. 14-16-6-6(D)(3)(a) The change is consistent with Section 14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located”.

The changes do not conflict with the designation ordinance. As discussed in the analysis above, the proposal substantially conforms to the development guidelines.

- b. 14-16-6-6-(D)(3)(b) The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished.

The proposed townhouses are well thought out and work to blend the two different scales of the properties to the north and south of the site. The architectural character and historical value of the Huning Highland Overlay Zone will not be significantly impaired or diminished as the project conforms to the development guidelines.

- c. 14-16-6-6(D)(3)(c) The change qualifies as “certified rehabilitation” pursuant to the Tax Reform Act of 1976, if applicable.

Not applicable.

- d. 6-6-(D)(3)(d) The structure or site’s distinguished original qualities or character will not be altered. For the purposes of Section 14-16-3-5 (Historic Protection Overlay Zones) and this Subsection 14-16-6-6(D), “original” shall mean s it was at the time of initial construction or as it has developed over the course of the history of the structure.

The original character of the Queen Anne style house has, unfortunately, been lost to fire. The new construction looks to incorporate materials, roof patterns and scale of the original building.

- e. 6-6(D)(3)(e) Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design.

Not Applicable

- f. 6-6(D)(3)(f) Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone.

The proposed design is fundamentally similar to other buildings within the Huning Highland Historic District, with multiple pitched roofs, sash windows and front

porches and balconies. Though not a contemporary design, it does not try to falsely present as an historic home.

7. Subject to the Conditions of Approval, the proposed work is consistent with designation ordinance R-132-1980. Subject to Condition of Approval, the proposed work complies with the relevant development guidelines for the historic zone as described in the staff report and in Findings 7 & 8 below.

The proposal does not conflict with the designation ordinance.

8. The proposal is consistent with the Guidelines for Huning Highland Historic Protection Overlay Zone.

- a. Policy – New Construction

- New construction should add visual interest and a sense of scale to the streetscape and be compatible with the general characteristics of contributing buildings in the vicinity. New buildings should reflect designs traditionally used in the area.

The new building, when viewed from the street provides variety in masses and successfully links the lot to the adjoining properties. The house to the south is a large brick two-story Victorian with a steeply pitched roof. The house to the north is a single-story bungalow with a moderately sloped roof.

- Design a new building to reinforce a sense of human scale.

The proposed design reinforces a sense of human scale in a number of ways. The street front has a single-story front porch, exterior materials are stucco which is used on many properties in the area and there are wood shingles at the roof gables. Windows are 1 over 1 sash windows and follow typical rhythms across the building.

- Infill construction should enhance the pedestrian character of the district.

The entrance to the unit facing the street is clearly visible and faces High St. Window patterns and styles are appropriate to the area.

- Maintain the front setback most common on the block.

The front setback has been changed to 25 feet which is consistent with the neighboring buildings

- Use building forms that are similar to those of contributing buildings on the block. Building forms are similar to existing building forms on the block.

- Use roof forms that are similar to contributing buildings on the block.

The proposed roof is a front gabled pitch roof with a slope at an angle between the properties to either side of it.

- Exterior materials used on new buildings should complement those materials found on contributing buildings in the neighborhood.

Exterior materials of stucco, wood gable shingles and asphalt roof shingles are in keeping with materials traditionally used in the Huning Highland neighborhood.

- Imitation of older historic styles is discouraged.

The project design is a simplified Victorian style and not one that could be confused with historic construction.

- Contemporary interpretations of traditional detail are encouraged.

The use of shingled gables, wood porch rails and front porches incorporate more traditional architectural features.

- b. Policy – Site Features & Streetscapes. Historic site features should be retained. New site features should be compatible with the architectural character of the historic district.

Parking

Parking on the site includes 4 spaces along the rear of the site with access from the alley. Street parking is available for two additional parking spaces.

9. The affected neighborhood organizations are the EDo Neighborhood Association and the Huning Highland Historic District Association. Property owners within 100 feet of the subject site were notified as required. The requisite sign was posted at the property giving notification of this application.
10. As of this writing, Staff has not received any comments in support or opposition to the request.

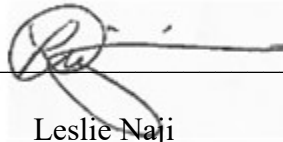
RECOMMENDATION

Case SI-2023-01514/Project #PR-2021-005685 (January 10, 2024)

APPROVAL of Case SI-2023-01514/Project #PR-2021-005685, an application for a Certificate of Appropriateness for New Construction, located at 119 High Street SE, described as Lot 5, Block 26, Huning Highland Addition, a property in the Huning Highland Historic Protection Overlay Zone, based on the above ten (10) findings and subject to the following conditions.

Recommended Conditions of Approval

1. Applicant is responsible to acquire, and approval is contingent upon, all applicable permits and related approvals.



Leslie Naji
Principal Planner, Historic Preservation
Urban Design and Development Division

APPLICATION MATERIALS



December 13, 2023

Landmarks Commission
City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

To Whom It May Concern:

Our client intends to build six new townhomes at 119 High Street SE which is within the Huning Highland Character Protection Overlay. Four units will be 2 bedroom and two units will be one bedroom. The new townhomes at 119 High Street SE will replace the previous structure which was removed due to a fire.

The design of the townhomes is in keeping with the Simplified Queen Anne style of the neighborhood. The design includes features including bay windows, dormers, terraces, stoops and porches. Window proportions and styles are similar to those found within the neighborhood. Windows will be metal clad windows, single hung, picture and awning style. Materials will be stucco with composite trim. The roof will be asphalt shingles.

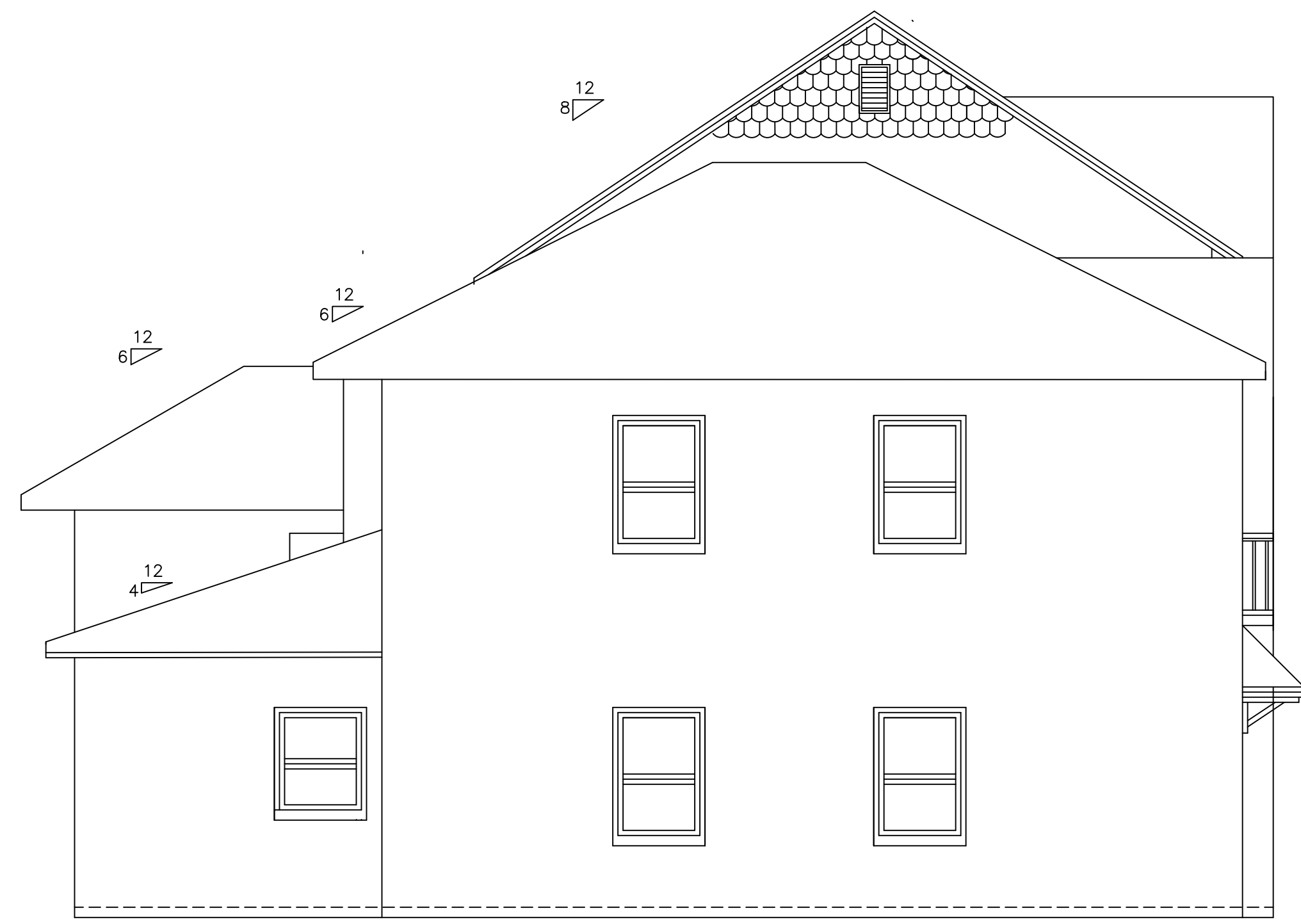
The front two units (A and B) are designed in the form of a single-family house. Unit A has a porch and is oriented to the street. These two units (A and B) are elevated 18" above grade in keeping with the raised residences to the north and south. Four additional townhomes are located behind and sit at the elevation of the alley. The rear two units (E and F) are also configured in the form of a single family house. Three of the rear units have an individual access from the south and one unit has access from the north.

The roof is intended to be green asphalt shingles to match as closely to what has been determined to be a portion of the original roof. Three units have bay windows. Units B and D have dormer windows.

Justification

The previous apartment house had been listed in the New Mexico Building Inventory as Simplified Queen Anne with Vernacular Additions. It was listed as contributing, but in poor condition due to a series of additions throughout the years which have masked the original facade and changed the roofline of the original house. In 1947, the single-family home had been converted into 13 apartment units and has been used as such until a fire made the building uninhabitable. A recent fire destroyed the structure, and it was removed from the site. A new six-unit townhouse development is proposed for the site.

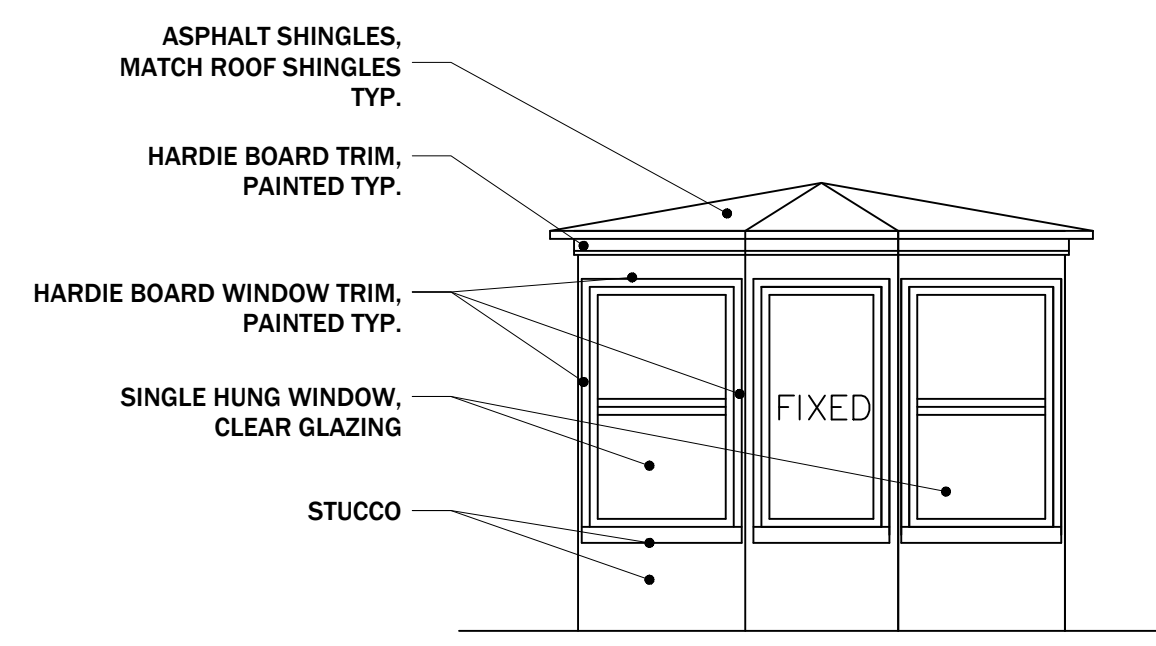
REVISED DRAWINGS



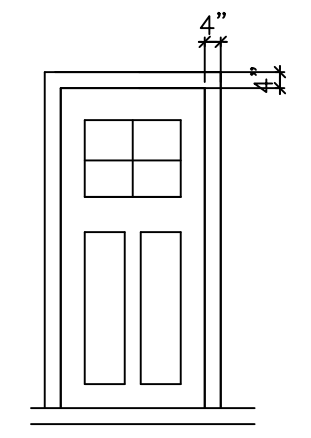
WEST ELEVATION (ALLEY)



EAST ELEVATION (STREET)

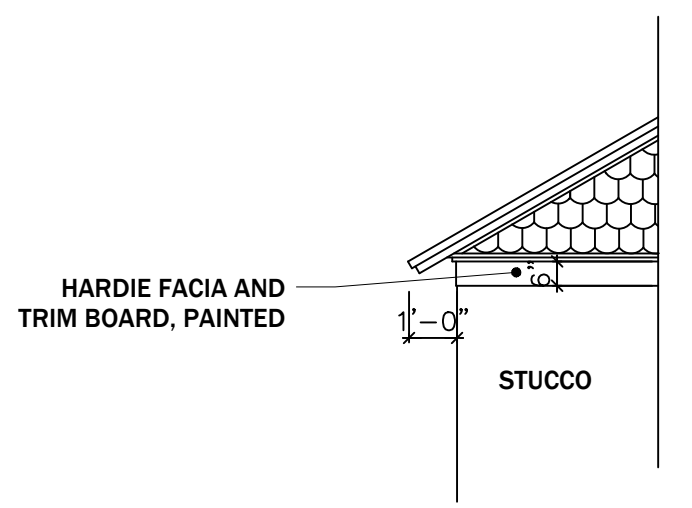


BAY WINDOW DETAIL 1/4"=1'-0"
© SOUTH ELEVATION, TYP.

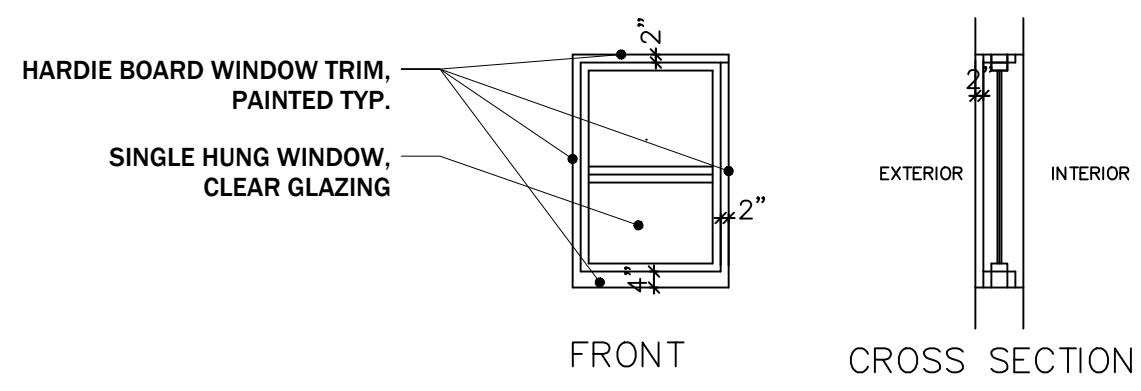


DOOR DETAIL, TYP. 1/4"=1'-0"

- NOTES:
1. RECESS DOOR AND TRIM 2 INCHES.
2. BULLNOSE STUCCO TO TRIM

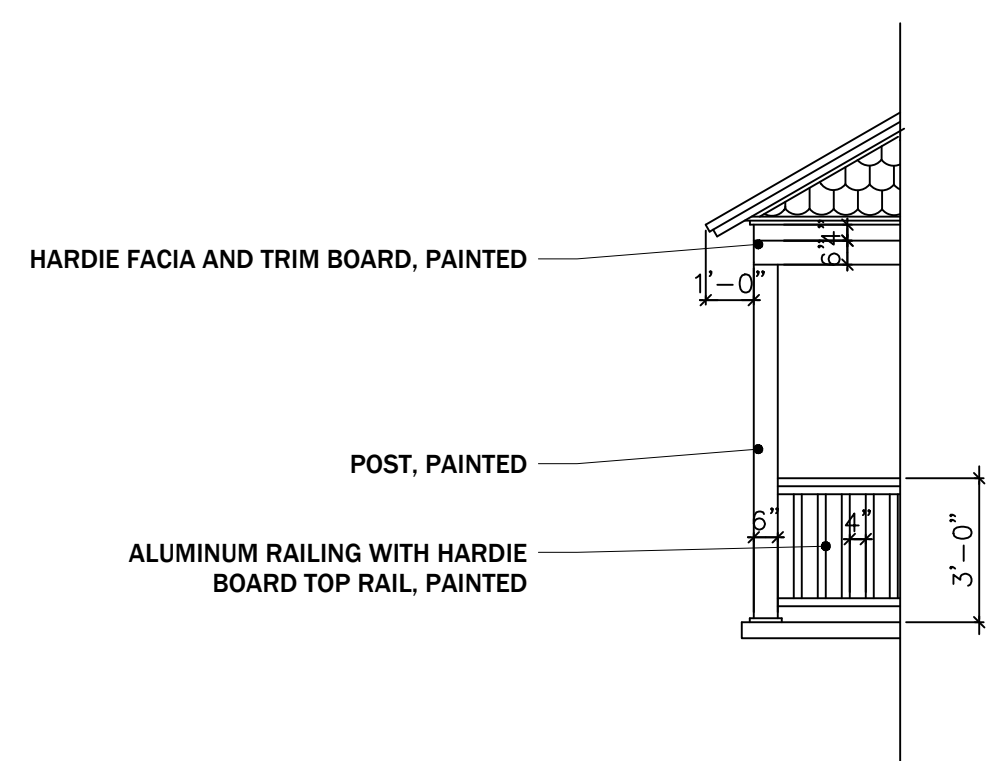


ROOF DETAIL 1/4"=1'-0"
© FRONT ELEVATION



WINDOW DETAIL, TYP. 1/4"=1'-0"

- NOTES:
1. RECESS WINDOW AND TRIM 2 INCHES.
2. BULLNOSE STUCCO TO TRIM
3. SLOPE BOTTOM STUCCO SILL AWAY FROM WINDOW @ 2%



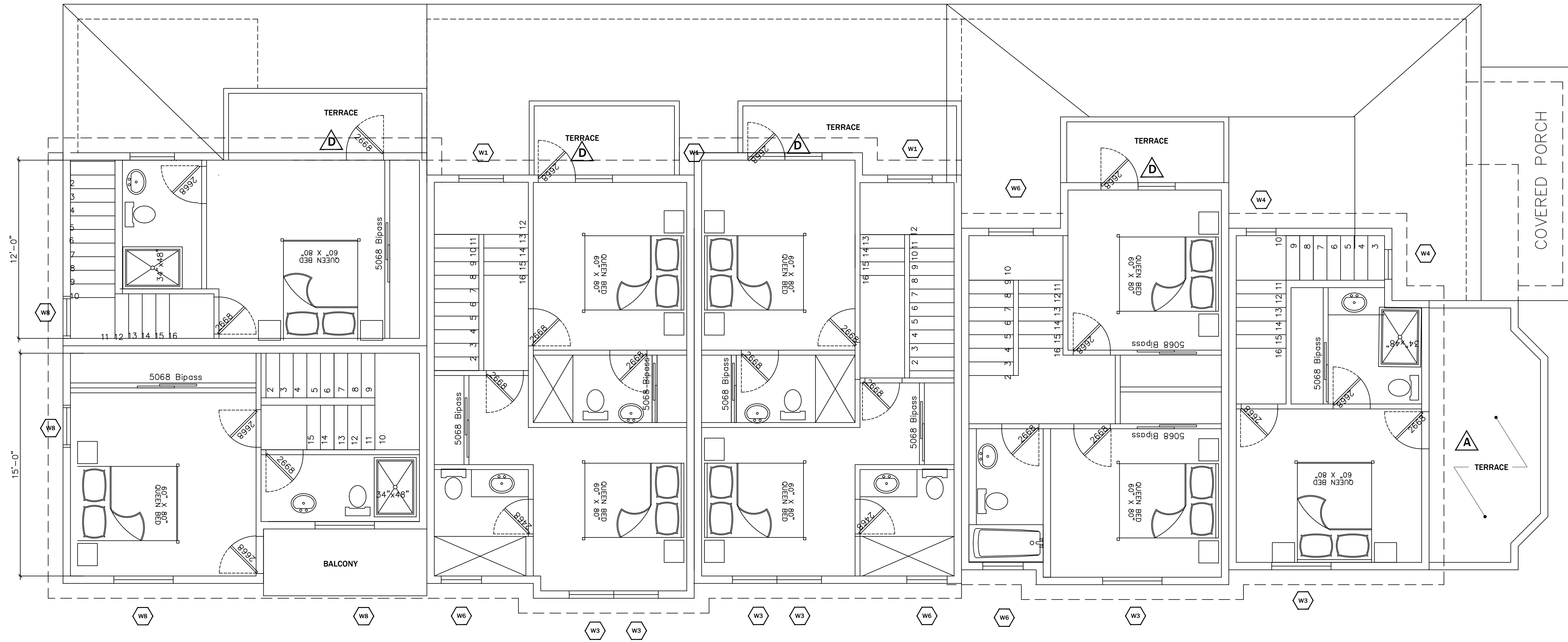
PORCH DETAIL 1/4"=1'-0"
© FRONT ELEVATION



SOUTH ELEVATION

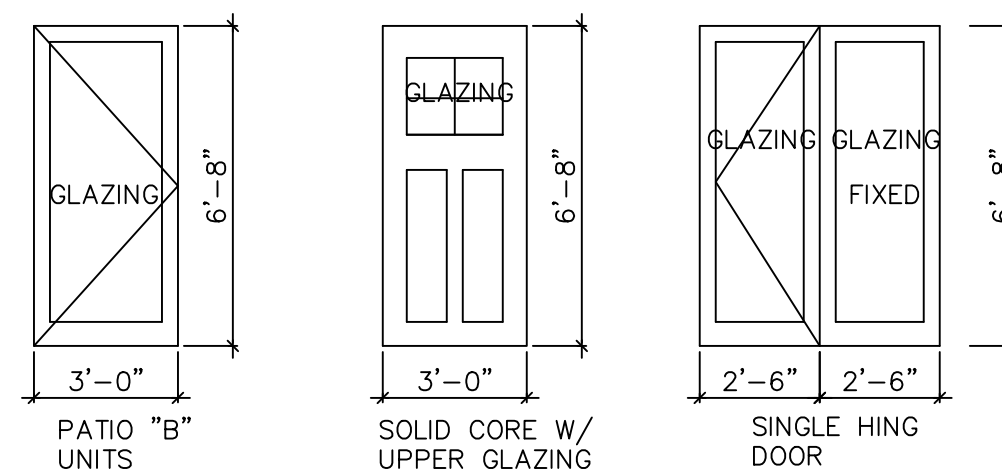


NORTH ELEVATION



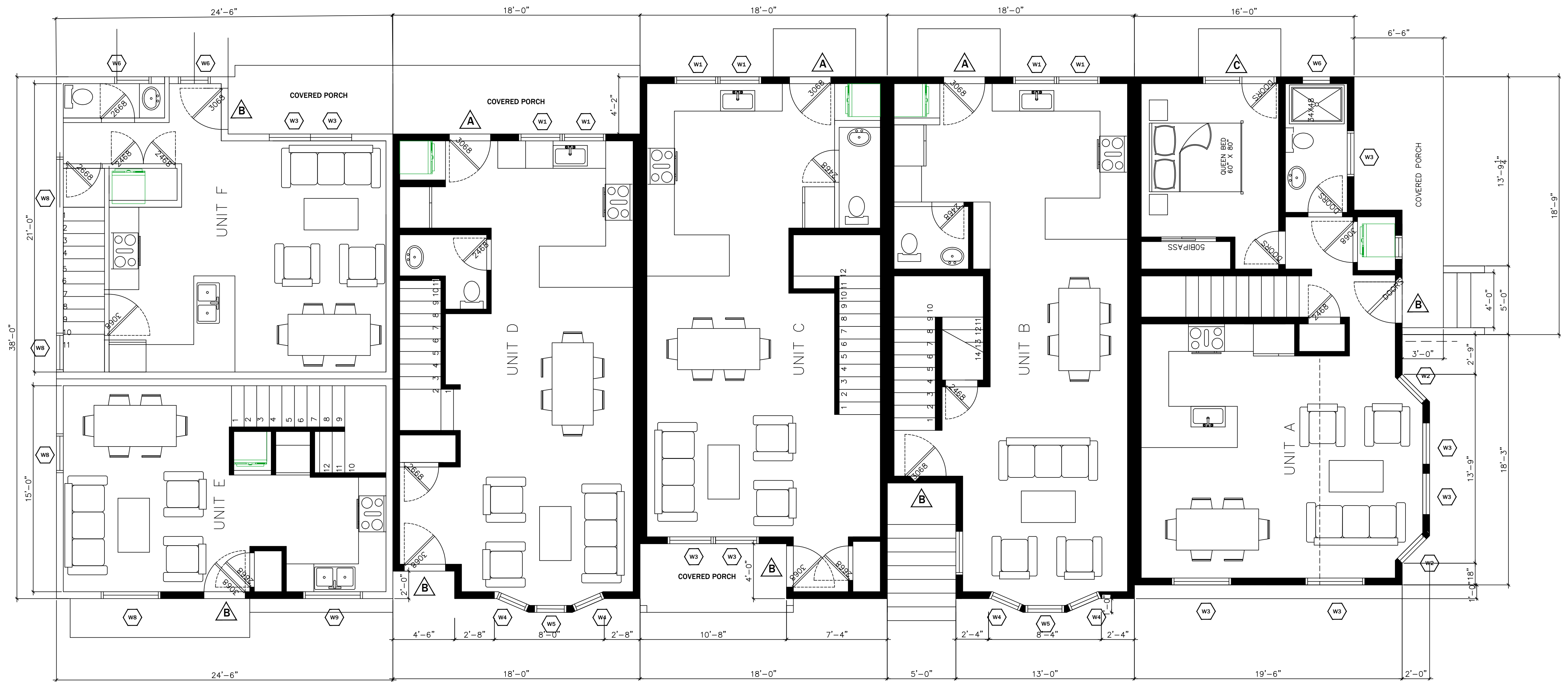
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
METAL CLAD, ANDERSON "E" SERIES OR EQ. COLOR TO BE WHITE			
#	TYPE	WIDTH	HEIGHT
1	SINGLE HUNG	26	40
2	SINGLE HUNG	20	40
3	SINGLE HUNG	30	40
4	SINGLE HUNG	30	50
5	FIXED	26	50
6	AWNING	20	20
7	FIXED	30	40



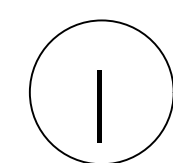
A B C
EXTERIOR DOOR TYPES

THERMA-TRU BENCHMARK FIBERGLASS DOORS, OR EQ. TO BE PAINTED, SEE RENDERINGS FOR COLOR INFORMATION



FIRST FLOOR PLAN

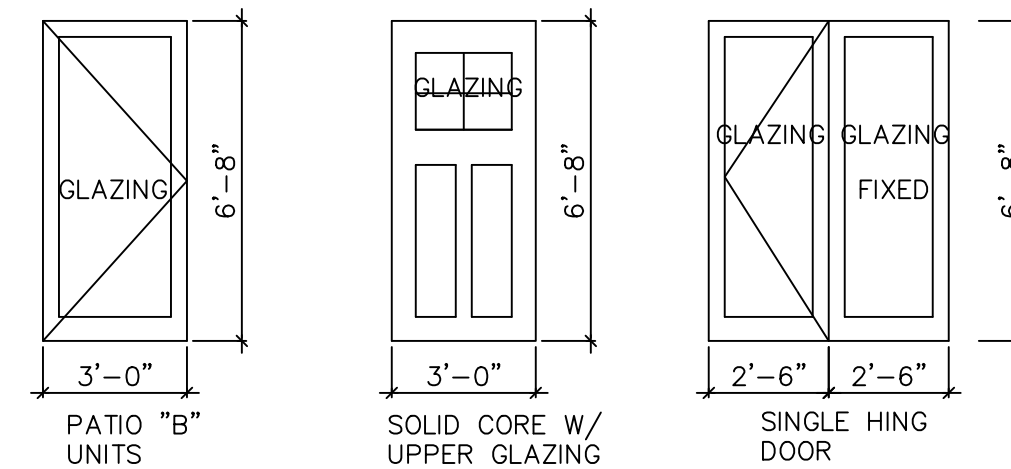
1" = 10'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
METAL CLAD, ANDERSON "E" SERIES OR EQ. COLOR TO BE WHITE			
#	TYPE	WIDTH	HEIGHT
1	SINGLE HUNG	26	40
2	SINGLE HUNG	20	40
3	SINGLE HUNG	30	40
4	SINGLE HUNG	30	50
5	FIXED	26	50
6	AWNING	20	20
7	FIXED	30	40

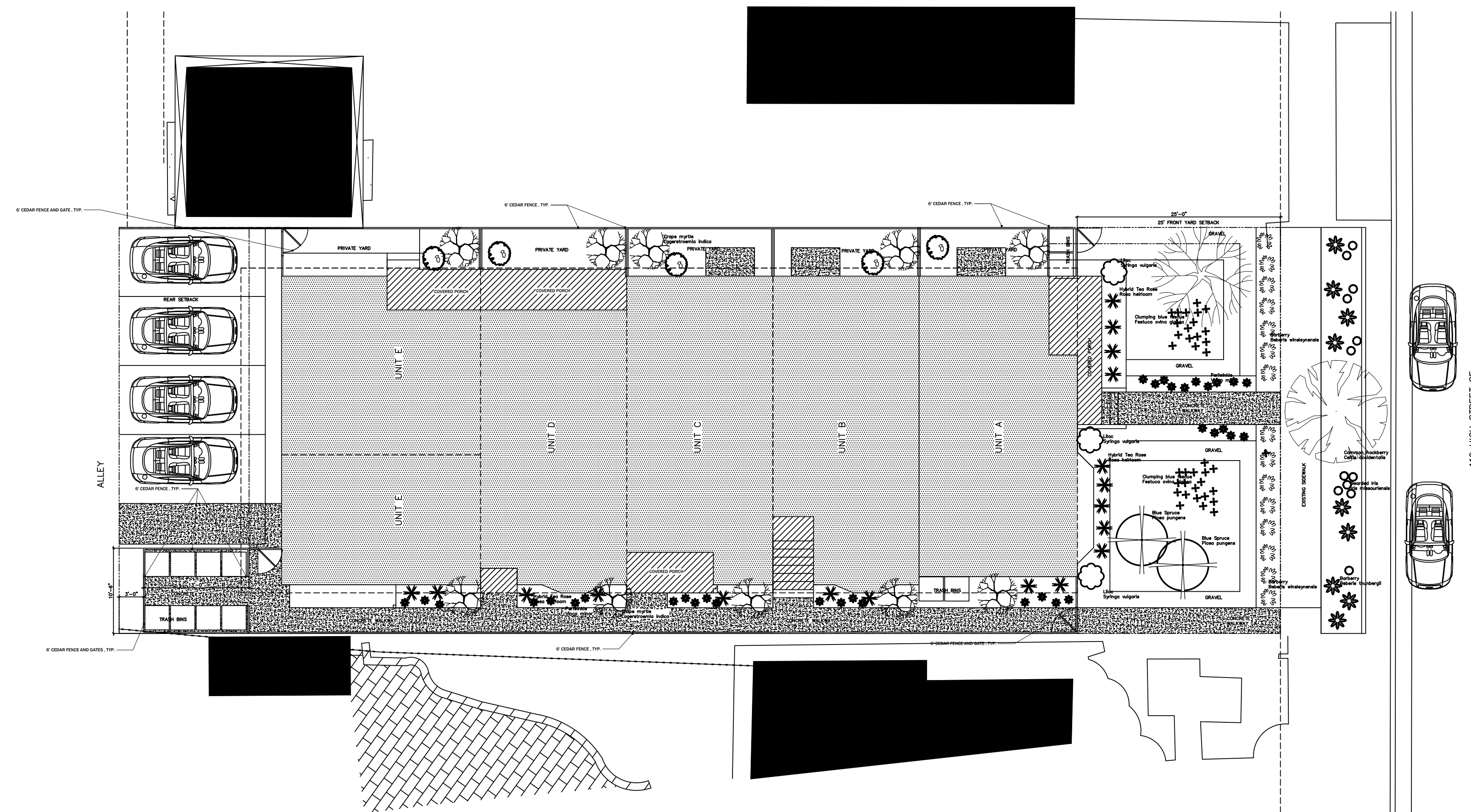


EXTERIOR DOOR TYPES

THERMA-TRU BENCHMARK FIBERGLASS DOORS, OR EQ. TO BE PAINTED, SEE RENDERINGS FOR COLOR INFORMATION

119 HIGH STREET SE

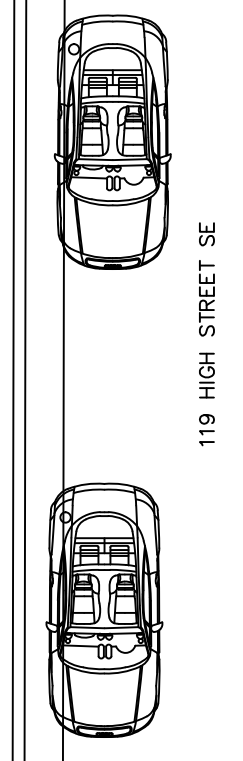
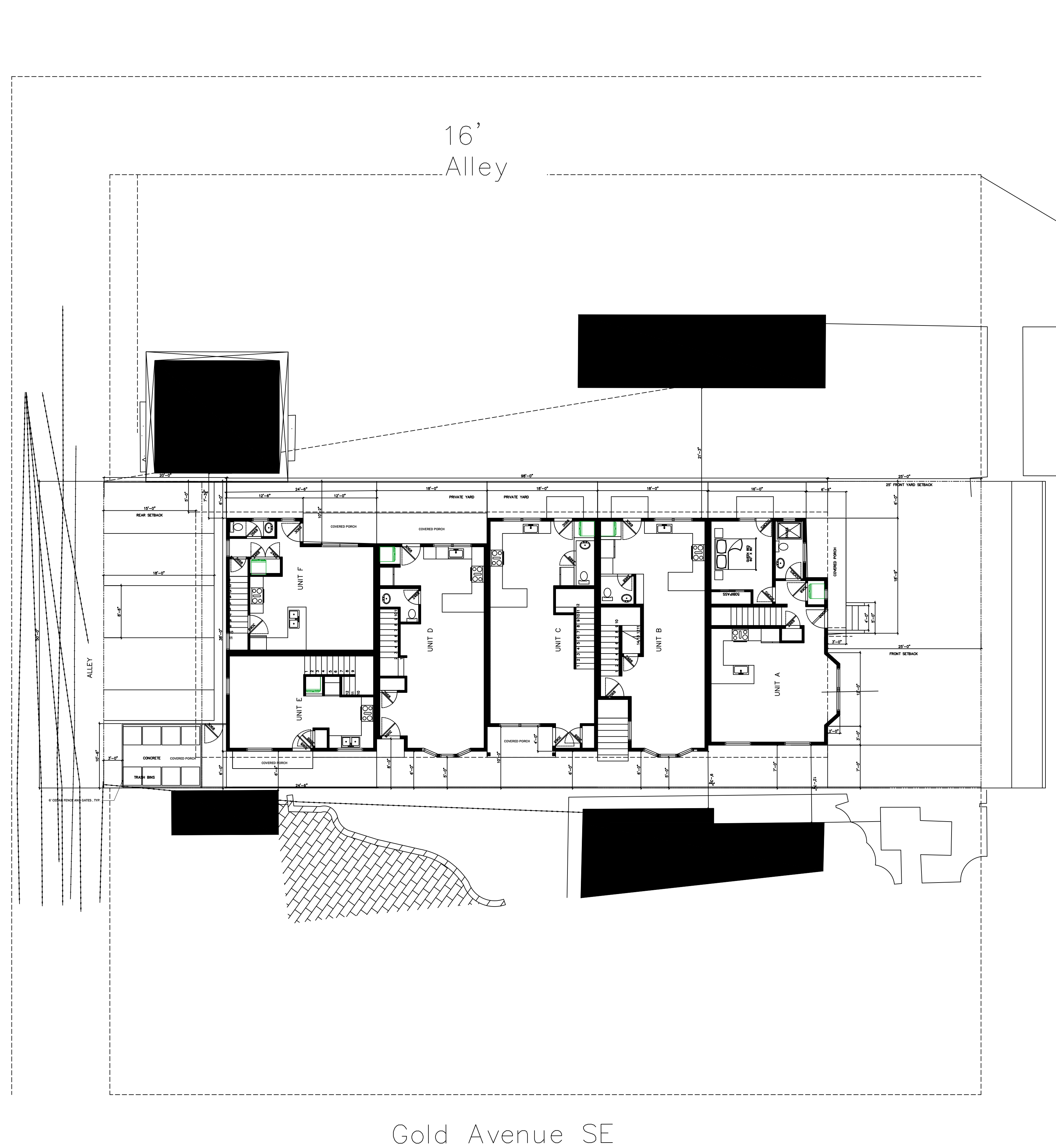
SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



PRELIMINARY LANDSCAPE PLAN 1" = 10'-0"



USABLE OPEN SPACE REQUIREMENTS
 6 TOWNHOUSE: NOT REQUIRED
 PROVIDED:
 UNIT A: 295 SQFT
 UNIT B: 150 SQFT
 UNIT C: 224 SQFT
 UNIT D: 183 SQFT
 UNIT E: 117 SQFT
 UNIT F: 150 SQFT



PARKING REQUIREMENTS
 TOWNHOUSE: 1 SPACE FOR UP TO TWO BEDROOMS
 6 2-BEDROOM UNITS = 6 PARKING SPACES REQUIRED
 6 PARKING SPACES PROVIDED ON SITE
 2 ON STREET PROVIDED
 4-5 ON SITE PROVIDED

SITE PLAN 1" = 10'-0"



Gold Avenue SE

16'
Alley

119 HIGH STREET SE

SCHEMATIC DESIGN - NOT FOR CONSTRUCTION