



Staff Report

Hearing Date: August 12, 2026
Case #: HCOA-2026-00027
Project #: PR-2026-000128
Agent: Jason Radler, Local Concepts LLC
Applicant: Cameron Crandall
Application: Historic Certificate of Appropriateness – Major
IDO Section: IDO §14-16-6-6(D)(2)(b),
IDO §14-16-6-6(D)(3)
Legal Description: Lots 7 & 8, Block 23, Perea Additions
Address/Location: 514 13th Street NW
Property Area: Approximately 0.1607 Acres
Existing Zoning: R-1
Staff Planner: Nasima Hadi

CASE SUMMARY: This request is for a Certificate of Appropriateness – Major for alteration to the existing house. Changes include:

- relocation of an existing window;
- installation of a new full-glass-and-wood exterior door in lieu of an existing window; and
- wood fence with a gate in the front yard and the back yard.

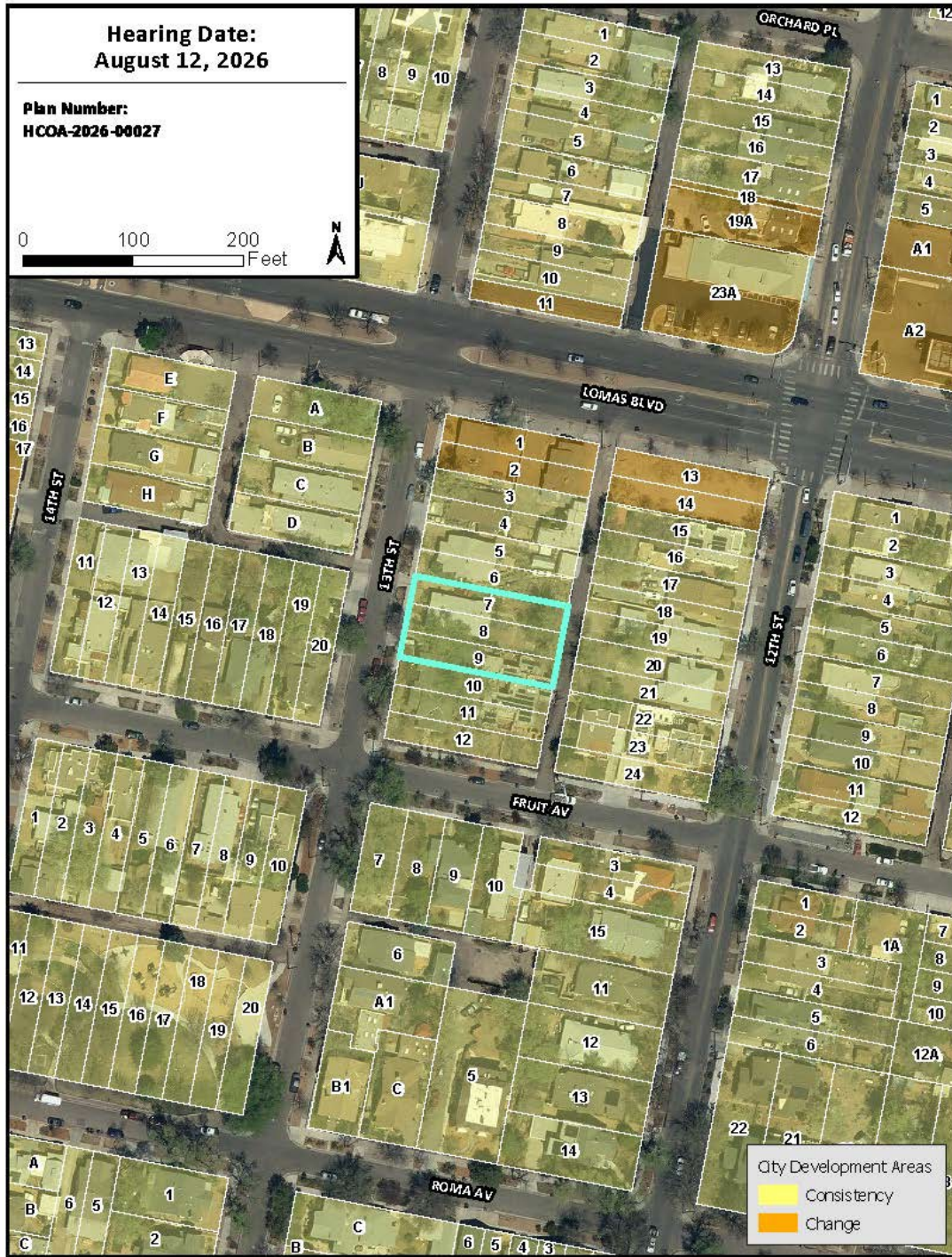
STAFF RECOMMENDATION: APPROVAL of HCOA 2026-00027 for alteration based on Findings

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I. Maps

Aerial Map

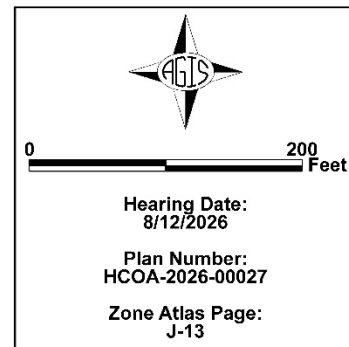


IDO Zoning Map



IDO ZONING MAP

Note: Gray shading
Indicates County.



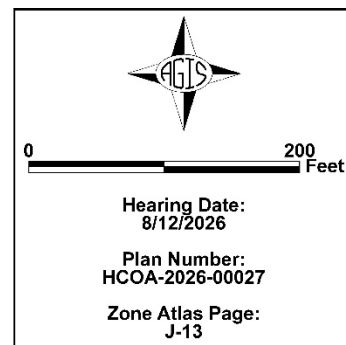
Land Use Map



LAND USE MAP

Note: Gray shading
Indicates County.

Key to Land Use Abbreviations
LDRES | Low-density Residential
COMM | Commercial Retail
CMSV | Commercial Services
OFC | Office
PARK | Parks and Open Space
VAC | Vacant



0 200 Feet

Hearing Date:
8/12/2026

Plan Number:
HCOA-2026-00027

Zone Atlas Page:
J-13

II. Introduction

Request

<i>Request</i>	<i>Certificate of Appropriateness for 4Alterations to Door and Window openings.</i>
<i>Historic Location</i>	<i>Fourth Ward Historic Protection Overlay zone(HPO-4)</i>

Area History and Character

	Subject Site	Site to the North	Site to the South	Site to the West	Site to the East
<i># of Stories</i>	1	1	1	1 and 1/2	1
<i>Roof Configuration</i>	Hipped with front gable	Jerkinhead Roof	Jerkinhead Roof	Single ridge Pitched	Hipped
<i>Architectural Style</i>	Bungalow	Bungalow	Bungalow	Vernacular	Hipped Box
<i>Age of Construction (approx.)</i>	1922	1923	1923	1905	1903
<i>Historic Classification</i>	Contributing	Noncontributing	Contributing	Contributing	Contributing
<i>Land Use</i>	Low-density Residential	Low-density Residential	Low-density Residential	Low-density Residential	Low-density Residential

Request

This application for a Certificate of Appropriateness – Major proposes removing one existing window to accommodate the installation of a new full-glass-and-wood exterior door for egress. Additionally, the scope of work includes relocating an existing window to adjoin another, resulting in a cohesive, unified double-window configuration. This application includes the wood fence with a gate in the front and back yards, which was built without a Certificate of Appropriateness.

The contributing building is in the Bungalow architectural style and was built in 1922. It features a hipped roof for the body of the building, a gable on the north wing with asphalt

shingles, and a flat-roofed covered patio. The exterior is finished with narrow planked horizontal wood siding with vertical wood gables ends.

The following are the proposed details regarding the exterior alterations to the Cameron Crandall residence:

East Elevation (Rear): It proposes removing one existing window and installing a new full-glass-and-wood exterior door to provide egress from the bedroom.

South Elevation: It proposes the repositioning of one existing window to adjoin an adjacent window, creating a cohesive double-window configuration.

The applicant replaced the existing timber fencing with a 6-foot-high cedar picket fence that matches the previous design. Additionally, a sliding access gate was installed at the rear of the property to provide access to and from the alley, which was built without approval of a Certificate of Appropriateness.

These alterations are designed to improve the residence's functionality, light exposure and egress access while ensuring compatibility with the historic character of the surrounding Fourth Ward Historic Protection Overlay Zone (HPO-4).

Landmark Commission's Role

The Landmarks Commission (LC) is a 7-member board appointed by the mayor to promote the preservation of Albuquerque's historic and architectural character and to administer the development requirements for designated City historic districts and landmarks pursuant to Section 14-16-3-5 (Historic Protection Overlay Zones) and Subsection 14-16-6-7(C) (Adoption or Amendment of Historic Designation Site History)

Site History

Project #BPR-2026-0064 was submitted on June 22, 2026, for a building permit also on March 16, 2026 - SWF 2026-00037 was submitted for wall/fence Permit.

Area History and Character

The Fourth Ward Historic District is described in the State and National Register nomination written in 1980 as "primarily important for its architecture, for its great variety of fine homes built between 1880 and 1930. As Albuquerque's finest residential area between about 1905 and 1923, it also has cultural significance as the home of many of the city's most influential citizens. Currently, Fourth Ward is valuable as a stable, well-preserved neighborhood on the fringes of the downtown business district.

The original Fourth Ward comprised a much larger area than it does now. The city had been divided into 4 quadrants demarcated by the railroad running North and South and Central Avenue, then called Railroad Avenue, running East and West. The current Fourth Ward district represents an area located between Villa de Albuquerque or Old Town and the New Town built around the railroad itself.

The area of the current Fourth Ward Historic District, although available for development after being sold by the Perea estate after his death in 1887 to the Albuquerque Townsite Company, did not begin to flourish until after 1900. By 1908, a number of large homes had been built, making it the most fashionable neighborhood in town. Although it was never exclusively upper-middle-class, it was exclusively residential, contrary to other city neighborhoods. The area prospered until after the Second World War, when resources were directed toward building new neighborhoods to the east of the city.

The National Registry nomination goes on to say that “The architectural character and interest of the Fourth Ward District comes from the leisurely pace with which it developed and the high quality of houses built there over the years, so that the neighborhood boasts a great variety of styles and forms, finely executed. While only one or two houses can claim to be mansions, most are substantial, well-designed homes of well-to-do people. Styles range from Italianate to Period Revival, Prairie School, Bungalow, and Pueblo Revival, with building dates for significant and contributing buildings from 1882 to 1941.

III. Zoning

The application for this request was submitted subsequent to the effective date of April 21, 2025, of the Integrated Development Ordinance (IDO) and is, therefore, subject to its regulations and processes.

IV. Certificate of Appropriateness – Major

IDO Review and Decision Criteria

Pursuant to IDO §14-16-6-6(D)(3) (Review and Decision Criteria), "An application for a Historic Certificate of Appropriateness – Major shall be approved if it meets all of the following criteria."

- (a) The change is consistent with §14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located.

The proposed alterations enhance the property's utility by adding an exterior door on the east elevation (not visible from the street) to provide direct egress from the rear bedroom. In addition, combining the existing windows on the south elevation into a single, cohesive double window will improve interior functionality without compromising the architectural integrity of the Fourth Ward Historic Overlay Zone Development Guidelines. The new fences and gates also meet the requirements of the Historic Protection Overlay.

- (b) The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished.

The proposal will not adversely affect the integrity of the contributing building, and the unique characteristics of the Historic District will remain preserved.

- (c) The change qualifies as a “certified rehabilitation” pursuant to the Tax Reform Act of 1976, if applicable.

Not applicable.

- (d) The structure or site’s distinguished original qualities or character will not be altered. For the purposes of §14-16-3-5 (Historic Protection Overlay Zones) and this §14-16-6-6(D), “original” shall mean as it was at the time of initial construction or as it has developed over the course of the history of the structure.

The proposed alterations will preserve the distinctive qualities and historic integrity of the contributing building and its surrounding site. The new rear door is designed to be visually recessive, ensuring it does not detract from the building's character. Additionally, the proposed double-window arrangement and gated fence will complement the existing site features while enhancing the property's overall value.

- (e) Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design.

The window being used to create the double window is an original window to the house and will be refurbished for its new location. This application is for the installation of a new exterior door, integrated windows, and a gated perimeter fence. The replacement of the fence is necessary as the existing structure has deteriorated beyond repair.

- (f) Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone in which it is to be located.

Not applicable .

- (g) If the application is for a Historic Certificate of Appropriateness – Major for demolition of a landmark or a contributing structure in an HPO zone, demolition shall only be allowed if it is determined that the property is incapable of producing a reasonable economic return as presently controlled and that no means of preserving the structure has been found. In making a determination regarding reasonable economic return, the LC or City Council may consider the estimated market value of the building, land, and any proposed replacement structures; financial details of the property, including but not limited to income and expense statements, current mortgage balances, and appraisals; the length of time that the property has been on the market for sale or lease; potential return based on projected future market conditions; the building's structural condition; and other items determined to be relevant to the application.

Not applicable.

Resolution – 046-1991 Designating the Fourth Ward and Eighth and Forrester Historic Overlay Zone (1991)

The resolution designated, mapped, and provided general guidelines for the establishment of the Fourth Ward and Eighth and Forrester Historic Overlay Zones. For this case, this resolution will be referred to only as it applies to the Fourth Ward Historic Overlay Zone and the subject property contained therein, excluding references to the Eighth and Forrester Historic Overlay Zone. Contained within this resolution are general guidelines, of which the specific Fourth Ward Historic Overlay Zone Design Guidelines are derived.

The development guidelines were approved by the LUCC (LC) in October 2010. The development guidelines to protect neighborhood character, specifically those relating to accessory buildings and site features, are applicable to this request. The proposal is analyzed with regard to relevant sections:

Guidelines:

1. Retain and preserve the position, number, size, and arrangement of historic windows and doors.
 - It is not appropriate to enclose, cover, or fill in a historic window or door opening.
 - If additional openings are necessary for a new use, install them on a rear or non-character-defining façade of the building.
 - New window and door openings on the front facades shall be permitted only in

locations where there is evidence that original openings have been filled with other material.

- New openings should never compromise the architectural integrity of the building. The design of new window units shall be compatible with the overall character of the building, but should be distinguished as a later feature.

A single window on the south elevation was relocated to form a double-window configuration. Rather than being discarded, the unit was mullied with an adjacent window on-site. Furthermore, a single window on the east-facing rear elevation was removed and replaced with a full-lite, exterior-grade wood door. Although there is a change in the window placements in these instances, the double window is typical of many windows found on houses of the same time period.

4. Retention and repair of original windows is the preferred option. If replacement of a historic window or door feature is necessary, consider replacing only the deteriorated feature in kind rather than the entire unit.
 - If replacement of a historic window or door feature is necessary, the replacement window or door shall match the original as closely as possible in size, proportion, operation (i.e., sash or casement), mullion pattern, and material. The size of the opening shall not be altered.
 - Snap-in muntins and mullions may be acceptable for new or replacement window units on facades not visible from the public right-of-way. Snap-in features should convey the scale and finish of true muntins and mullions. Snap-in muntins and mullions should be used on both the interior and exterior of the window.
 - The use of plastic, vinyl, metal, or other unsympathetic materials is discouraged, except that wood windows with exterior aluminum cladding may be approved. Metal window frames may be used when replacing historic metal windows.
 - When replacing windows with multiple lites, simplified sash patterns may be approved on rear and secondary facades.
 - Reglazing and adding additional layers of glass are acceptable, provided the glazing is within the profile of the original window.

On the East side of the property, a single window has been removed and replaced with a full-glass exterior-grade wood door. No additional exterior-grade door is available for use at the home in this application. The purpose is to provide more reliable egress to the bedroom, given the functionality of the original windows. The new door and window replacement meets the requirements of the Fourth Ward Historic Protection Overlay Zone Guidelines.

POLICY: Historic site features should be retained. New site features should be compatible with the architectural character of the historic district.

Guidelines:

Fences and Free-Standing Walls

6. Preserve historic fences and yard walls when feasible.

- Replace only those portions that are deteriorated beyond repair.

The existing fences were beyond repair, and their repair was deemed impracticable; they have been replaced with new installations.

7. When constructing new fences, use materials that appear similar to those used historically.

- Simple designs consistent with historic iron fencing, wood picket fencing, and other
- Where an ornate style of fencing can be documented as having been present at the property, that historic fencing may be replicated.
- A painted wood picket fence is an appropriate replacement in most locations.
- A simple metal fence, similar to traditional “wrought iron” or wire, may be appropriate.
- Coyote fencing, split rail fencing, and chain link fencing are not appropriate materials for these historic districts and are prohibited.
- Vinyl and other synthetic fencing is reviewed on a case-by-case basis. In some instances, it may be allowed if it is not seen from the street, if the style of the fence is compatible with the house, and if the vinyl fence is not replacing a historic fence or landscape feature.
- The use of extruded vinyl fencing material is not permitted in the front yard.
- Cellular vinyl fencing may be appropriate if painted.

The pre-existing wood picket fence was severely deteriorated and required extensive, ad hoc reinforcement. It has been replaced with a new cedar picket fence that maintains a 6-foot vertical profile and includes a rear alley access gate. The new installation

replicates the material, structural arrangement, and overall aesthetic of the original, while offering superior durability and structural integrity.

8. Fences taller than three feet may be appropriate in side or rear yards. However, the fence should not begin before the midpoint of the house.

The newly installed 6-foot fence extends beyond the centerline of the primary residence and is situated along the rear property line abutting the alley." The 6-foot fence meets the requirements of the Fourth Ward Historic Protection Overlay Zone Guidelines.

V. Agency & Neighborhood Concerns

Reviewing Agencies

No agency reviews have been sought or received.

Neighborhood/Public

The applicant notified the Downtown Neighborhoods Association and property owners within 100 feet of the subject property, excluding public rights-of-way. The required notification sign was posted on the property to inform the public of this application. To date, no comments have been received.

VI. Conclusion

This request for a Certificate of Appropriateness for an alteration has been reviewed against the Development Guidelines for the Fourth Ward Historic Protection Overlay Zone and the criteria for approval of a Certificate of Appropriateness set forth in the *Integrated Development Ordinance*. The installation of the new door, double-window configuration, and wood fence with a gate in the front and back yards meets the requirements for a Certificate of Appropriateness.

Findings, Certificate of Appropriateness – Major

Project #: HCOA-2026-00027

1. This is a request for a Certificate of Appropriateness for the installation of the new door, double-window configuration, and wood fence with a gate in the front yard and the back yard, located at 514 13th Street NW, described as Lot 7 & 8, Block 23 Perea Additions Fourth Ward Historic Protection Overlay Zone (HPO-4), zoned R-1A
2. The application is for the installation of a new door, double-window configuration, and wood fence with a gate in the front yard and the back yard of the Fourth Ward Historic Protection Overlay Zone
3. The subject site is approximately 0.1607 acres.
4. Pursuant to IDO §14-16-6-6(D)(3) (Review and Decision Criteria), "An application for a Historic Certificate of Appropriateness – Major shall be approved if it meets all of the following criteria."

- a. The change is consistent with §14-16-3-5 (Historic Protection Overlay Zones), the ordinance designating the specific HPO zone where the property is located, and any specific development guidelines for the landmark or the specific HPO zone where the property is located.

The proposed alterations enhance the property's utility by adding an exterior door on the east elevation to provide direct egress from the rear bedroom. In addition, combining the existing windows on the south elevation into a single, cohesive double window will improve interior functionality without compromising the architectural integrity of the Fourth Ward Historic Overlay Zone Development Guidelines. The new fences and gates also meet the requirements of the Historic Protection Overlay.

- b. The architectural character, historical value, or archaeological value of the structure or site itself or of any HPO zone in which it is located will not be significantly impaired or diminished.

The proposal will not adversely affect the integrity of the contributing building, and the unique characteristics of the Historic District will remain preserved.

- c. The change qualifies as a "certified rehabilitation" pursuant to the Tax Reform Act of 1976, if applicable.

Not applicable.

- d. The structure or site's distinguished original qualities or character will not be altered. For the purposes of §14-16-3-5 (Historic Protection Overlay Zones) and this §14-16-6-6(D), "original" shall mean as it was at the time of initial construction or as it has developed over the course of the history of the structure.

The proposed alterations will preserve the distinctive qualities and historic integrity of the contributing building and its surrounding site

- e. Deteriorated architectural features shall be repaired rather than replaced, if possible. If replacement is necessary, the new material shall match the original as closely as possible in material and design.

Not applicable.

- f. Additions to existing structures and new construction may be of contemporary design if such design is compatible with its landmark status (if any) or the HPO zone in which it is to be located.

Not applicable.

- g. If the application is for a Historic Certificate of Appropriateness – Major for demolition of a landmark or a contributing structure in an HPO zone, demolition shall only be allowed if it is determined that the property is incapable of producing a reasonable economic return as presently controlled and that no means of preserving the structure have been found. In making a determination regarding reasonable economic return, the LC or City Council may consider the estimated market value of the building, land, and any proposed replacement structures; financial details of the property, including but not limited to income and expense statements, current mortgage balances, and appraisals; the length of time that the property has been on the market for sale or lease; potential return based on projected future market conditions; the building's structural condition; and other items determined to be relevant to the application.

Not applicable.

- 5. The application addresses the relevant policies in “New Town Development Guidelines” for windows & doors and Fences.
 - A. Retain and preserve the position, number, size, and arrangement of historic windows and doors.
 - *A single window on the south elevation was relocated to form a double-window configuration. Rather than being discarded, the unit was milled with an adjacent window on-site. Furthermore, a single window on the east-facing rear elevation was removed and replaced with a full-lite, exterior-grade wood door.*
 - B. Retention and repair of original windows is the preferred option. If replacement of a historic window or door feature is necessary, consider replacing only the deteriorated feature in kind rather than the entire unit.
 - *On the East side of the property, a single window has been removed and replaced with a full-glass exterior-grade wood door. No additional exterior-grade door is available for use at the home in this application. The purpose is to provide*

more reliable egress to the bedroom, given the functionality of the original windows.

- C. Preserve historic fences and yard walls when feasible.
 - *The existing fences were beyond repair, and their repair was deemed impracticable; they have been replaced with new installations.*
 - D. When constructing new fences, use materials that appear similar to those used historically.
 - *The new installation replicates the material, structural arrangement, and overall aesthetic of the original, while offering superior durability and structural integrity.*
 - E. Fences taller than three feet may be appropriate in side or rear yards. However, the fence should not begin before the midpoint of the house.
 - *The newly installed 6-foot fence extends beyond the centerline of the primary residence and is situated along the rear property line abutting the alley."*
- 6. The Neighboring Association and neighboring properties within 100 feet, excluding public rights of way, were notified of this application. The requisite sign was posted at the property, giving notification of this application.
- 7. As of this writing, Staff has not received any comments in support of or in opposition to the request.

Recommendation

APPROVAL of Project #: HCOA- 2026-00027, a request for Certificate of Appropriateness – Major for Alterations, located at 514 13th Street NW, described as Lot 7 & 8, Block 23, Perea Addition (the “subject site”), a property in the Fourth Ward Historic Protection Overlay Zone, based on the above findings and subject to the following conditions.

Recommended Conditions of Approval

- 1. Applicant is responsible for acquiring, and approval is contingent upon, all applicable permits and related approvals.

Nasima Amin Hadi

Nasima A Hadi
Historic Preservation Planner
Urban Design and Development Division

Notice of Decision cc list:

A) PHOTOGRAPHS

Existing photos



Southwest elevation



West elevation



Northwest elevation

New Fence Pictures



West view from Hilly



East view from 13th Street, Fence on the north side of the building



East view from 13th Street, Fence on the south side of the building



B) APPLICATION INFORMATION

7/8/2026

From: Local Concepts LLC
2807 Los Arboles Court NE
Albuquerque, NM 87112

To: Land Marks Commission
City of Albuquerque, NM

To Whom it may concern:

The purpose of this letter is to outline the intentions of exterior changes to renovation proposed at 514 13th Street NW in Albuquerque, New Mexico.

On the East side of the property we would like to remove a single window and replace it with an exterior grade wood door with full glass. No extra exterior-grade door exists for use at the home in this application. The reason is to provide more reliable egress to bedroom due to functionality of original windows and secondary backyard access for guests.

On the south side of the property we would like to move a single original historic window to combine and make a double window at an interior seating area inside the home. The window will move toward the west about three feet to join other existing window. The arrangement of window and trim will be consistent with rest of historic homes' appearance. All original windows and components will be used.

Respectfully,
Jason Radler
Local Concepts LLC
ABQ, NM
505-710-3481

7/9/2026

From: Local Concepts LLC
Jason Radler
2807 Los Arboles Court NE
Albuquerque, NM 87112

To: LUCC CABQ
Albuquerque, NM

To Whom it may concern:

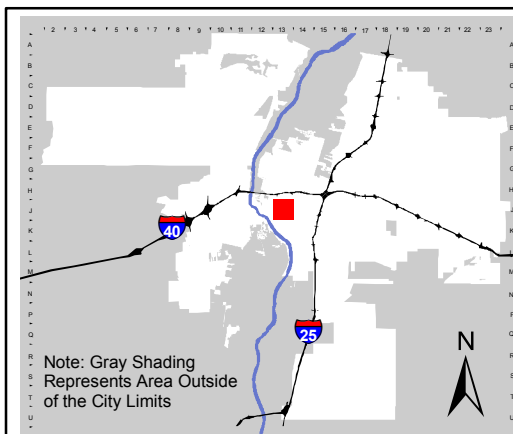
The purpose of this letter is to justify the replacement of a small wall/fence. Associated with the property at 514 13th Street NW is permit # SWF2026--00037.

The pre-existing fence was a wood picket fence in poor condition with many odd alterations to hold it together. A new similar wood cedar picket fence has replaced the old fence. The fence is 6' tall with gate access to alley in rear of property. The new fence is stronger, more functional and identical in construction material and arrangement as previous.

Respectfully,
Jason Radler



For more current information and details visit: www.cabq.gov/gis

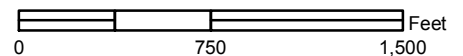
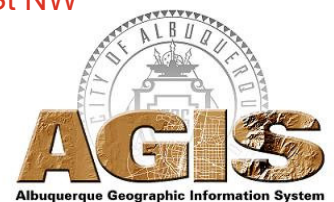


Address Map Page: **Site: 514 13th St NW**

J-13-Z

Map Amended through:
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.



SIGN POSTING AGREEMENT

Landmarks Commission

All persons requesting a hearing before the Landmarks Commission are responsible for the posting and maintaining of one or more signs on the property.

Failure to maintain the signs during this entire period may be cause for deferral or denial of the application.

Per Integrated Development Ordinance 14-16-6-4(J)(4): **The applicant shall post at least 1 sign on each street abutting the property that is the subject of the application, at a point clearly visible from that street, for at least 15 calendar days before the public hearing and for the appeal period of 15 calendar days following any decision, required pursuant to Subsection 14-16-6-4(T) and Subsection 14-16-6-4(U)(3)(a)1.**

1. LOCATION

- A. The sign shall be conspicuously located within twenty feet of the public sidewalk (or edge of public street).
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

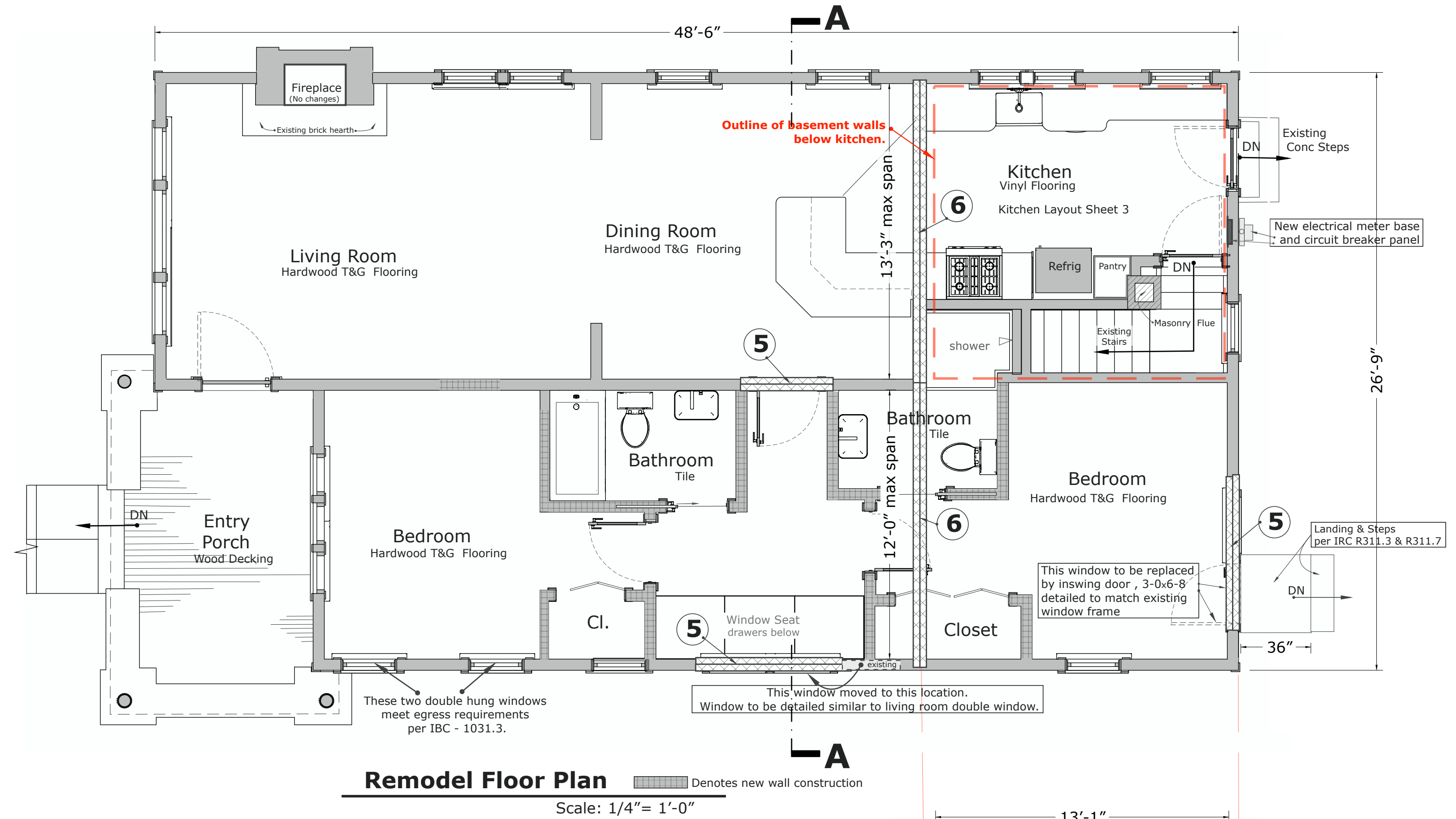
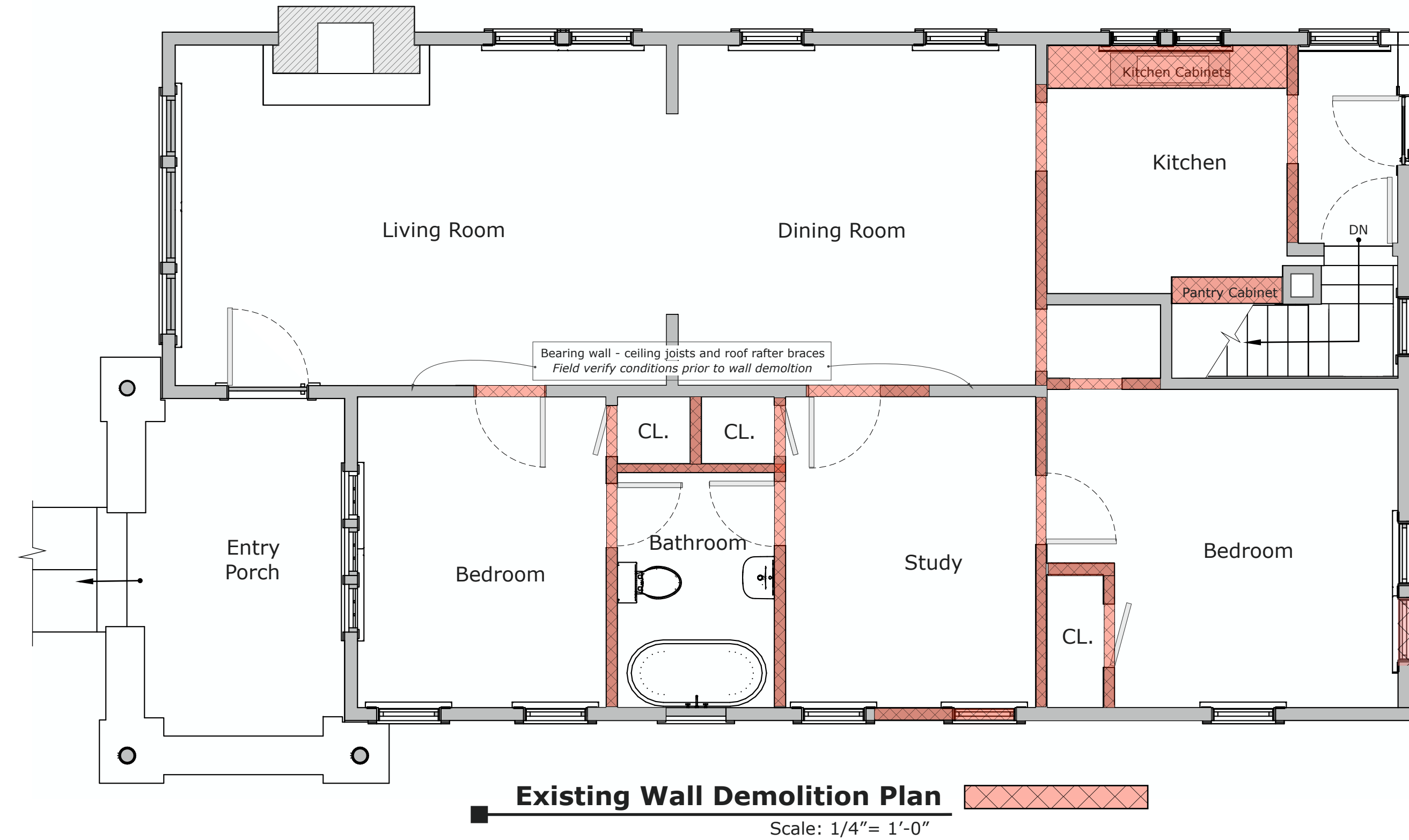
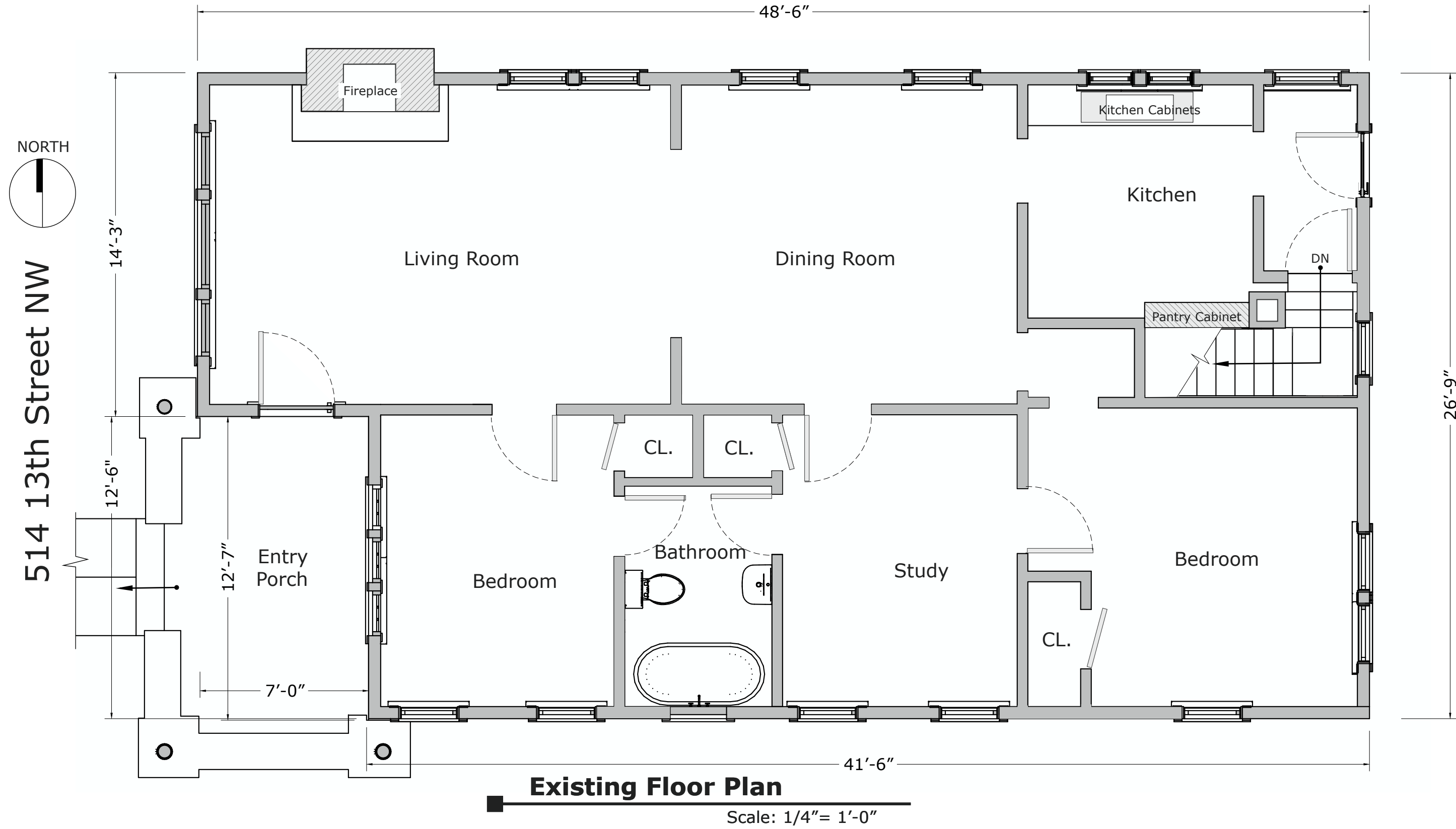
3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples help prevent tearing and are best for attaching signs to a post or backing.

Signs must be posted from 15 days prior to the hearing to 15 days after the hearing.

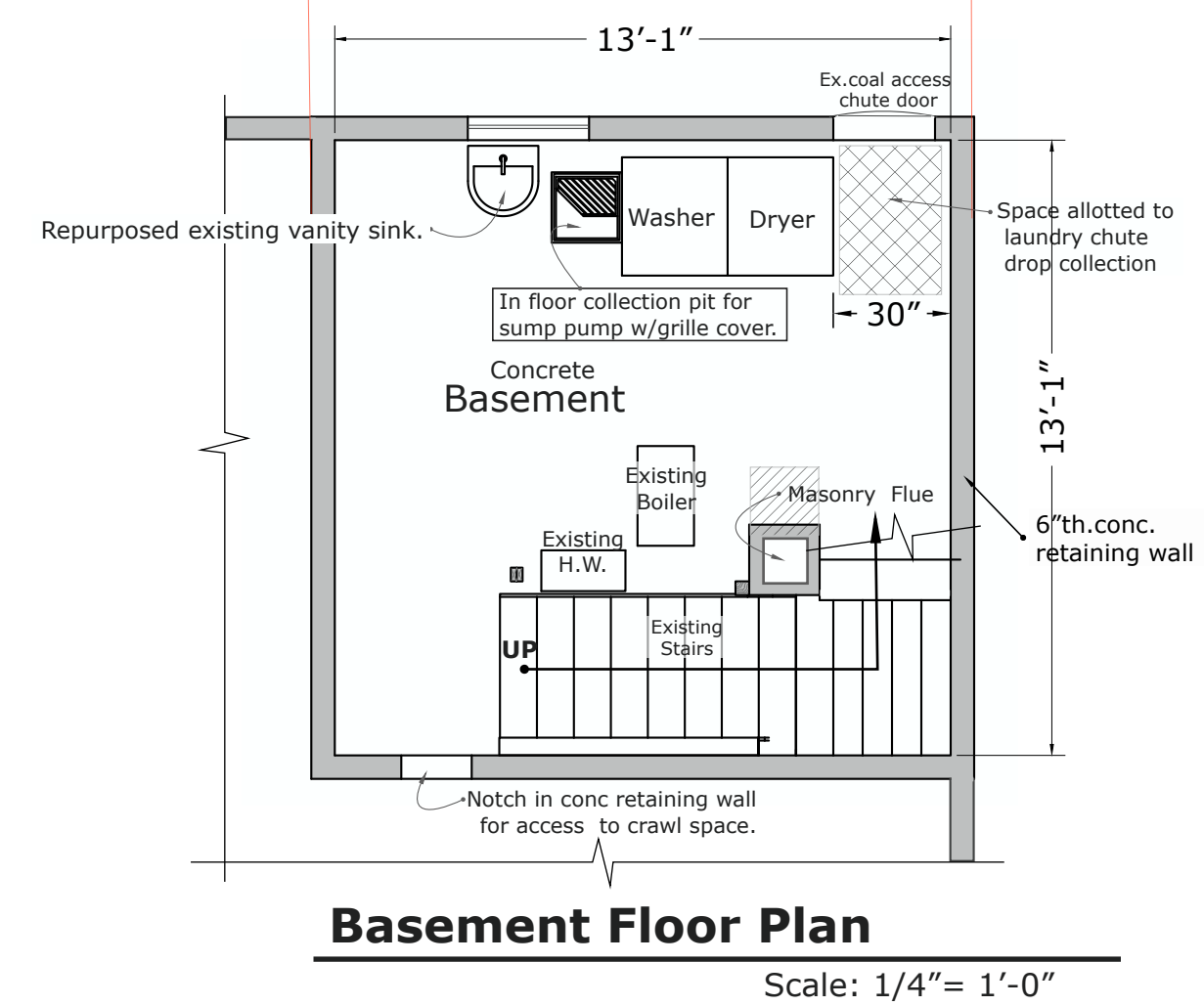
Applicant/Agent Signature Jason Radler date 6/29/2026

Sign(s) were issued for the property located at 514 13th St NW Alb, NM 87102



Scope of Building's Interior Work

- 1.- Demolish existing walls and Kitchen cabinetry as indicated on Demolition Plan.
- 2.- Salvage and recycle existing doors and trim into new Remodel Plan.
- 3.- Strip existing kitchen vinyl floor tiles to existing wood substructure. (Existing oak flooring to remain and be refinished).
- 4.- Frame new walls as per remodel plan. Plumbing & pocket door walls - 2"x6", 16"o.c. #2 pine or better. All other walls - 2"x4", 16"o.c., #2 pine or better.
- 5.- Headers: 2- LVLs 1 3/4" x 9 1/2".
- 6.- Beams - Frame in support beams below hip rafters 1920's framing when existing walls removed.. 2 LVLs 1 3/4" x 9 1/2" Bedroom, max span 12'-5". 2 LVLs 1 3/4" x 11 7/8" Dining/Kitchen, max span 13'-3". Min 2" bearing on wall plates. See Boise Cascade Structure Calculations Report on specs and sizing.
- 7.- Insulate all exposed exterior walls with max R-value insulation.
- 8.- New wall finished with sheetrock and detailed to match and blend with remaining existing walls. Prime and paint all walls & ceilings.
- 9.- Install new kitchen cabinetry and countertops and appliances in consultation with Owner..
- 10.- New tile work to include shower and tub surrounds new bathroom flooring and countertop back splashes.
- 11.- New electrical wiring, mechanical systems and plumbing.



Notes

Date of Issue: 5 Jun 26
Updates: 16 Jun 26

Project Designer
Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

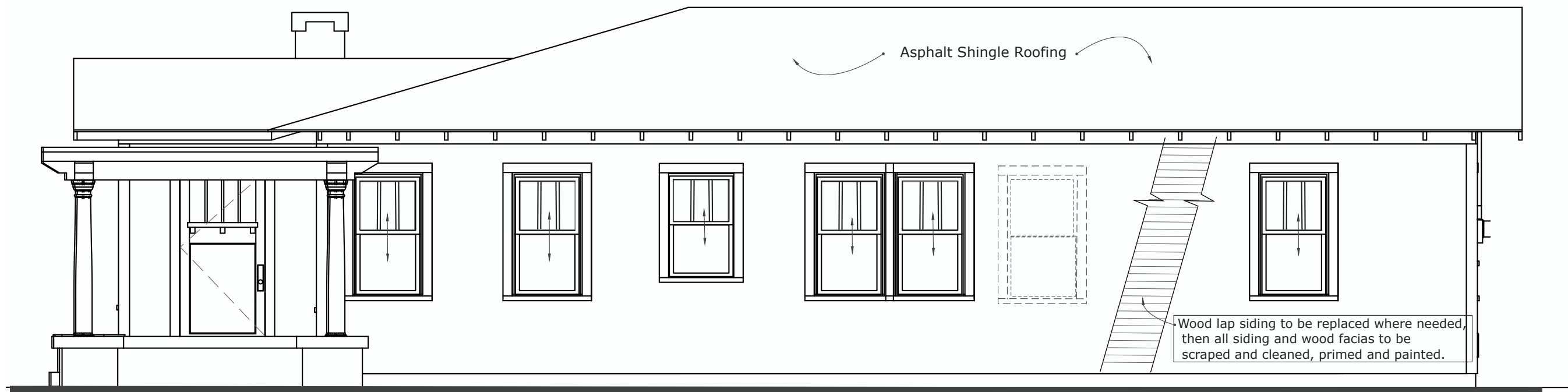
Project Builder
Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Floor Plans

Owner
Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludum.com

Sheet No.

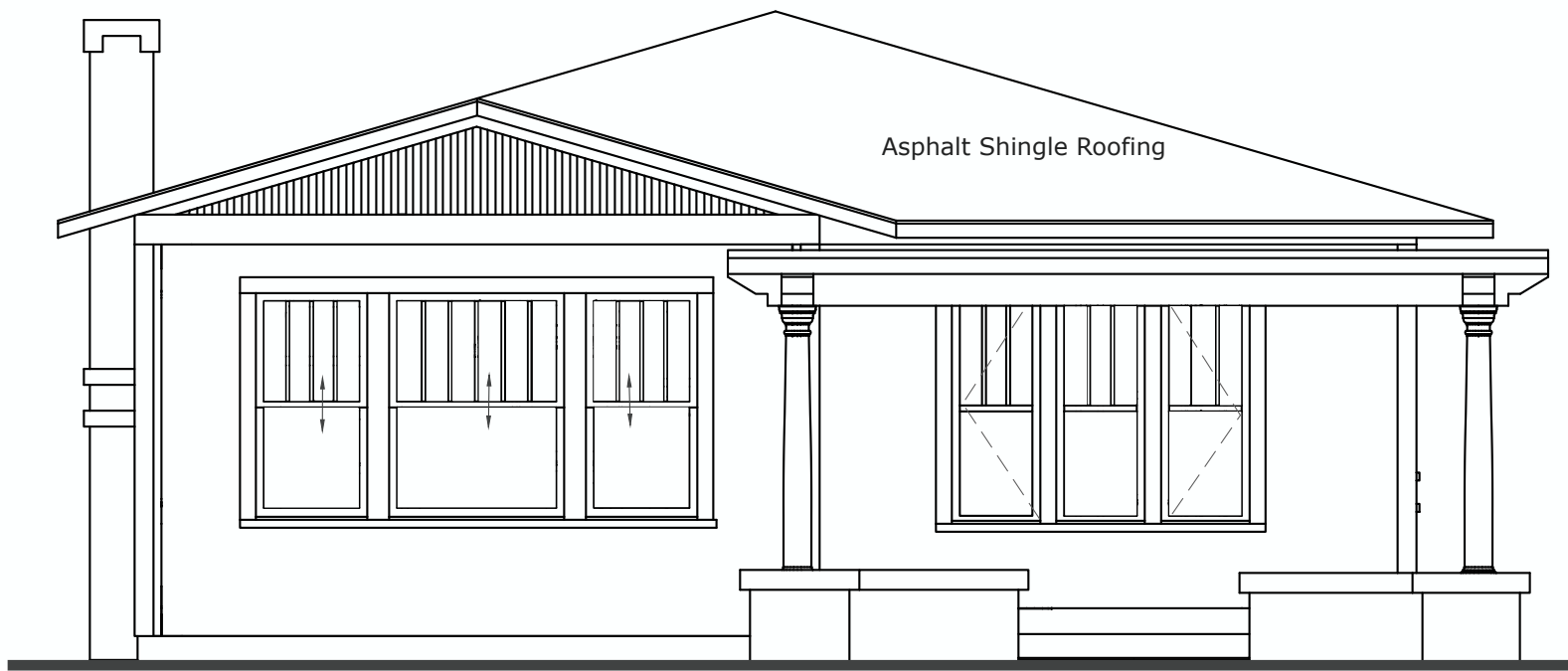
3
of 7



Elevation - South (No changes except as noted)

Scale: 1/4"= 1'-0"

Outline of Basement, See Plan Sheet 2.

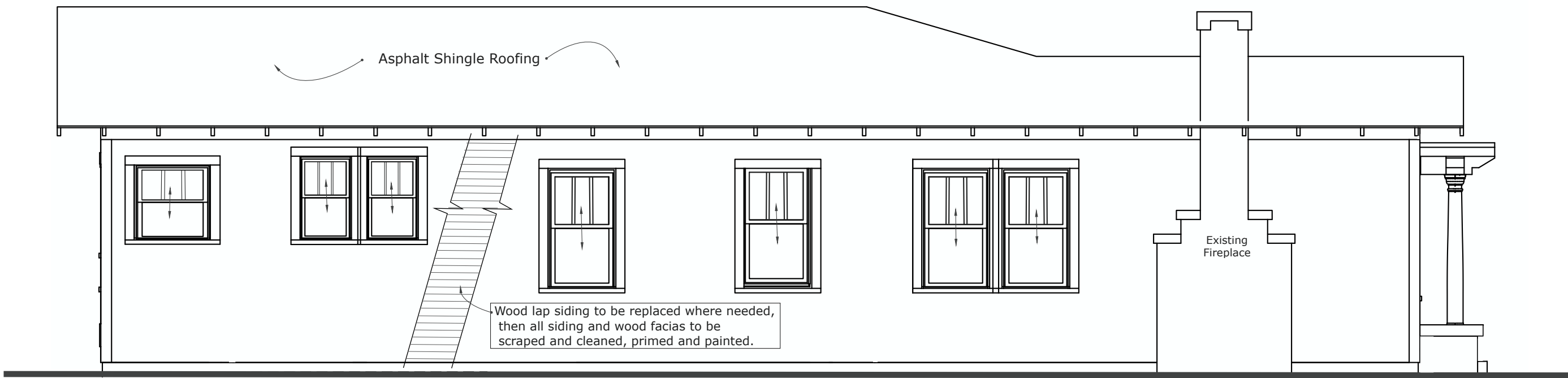


Elevation - West (No changes except as noted)

Scale: 1/4"= 1'-0"

Scope of Building's Exterior Work

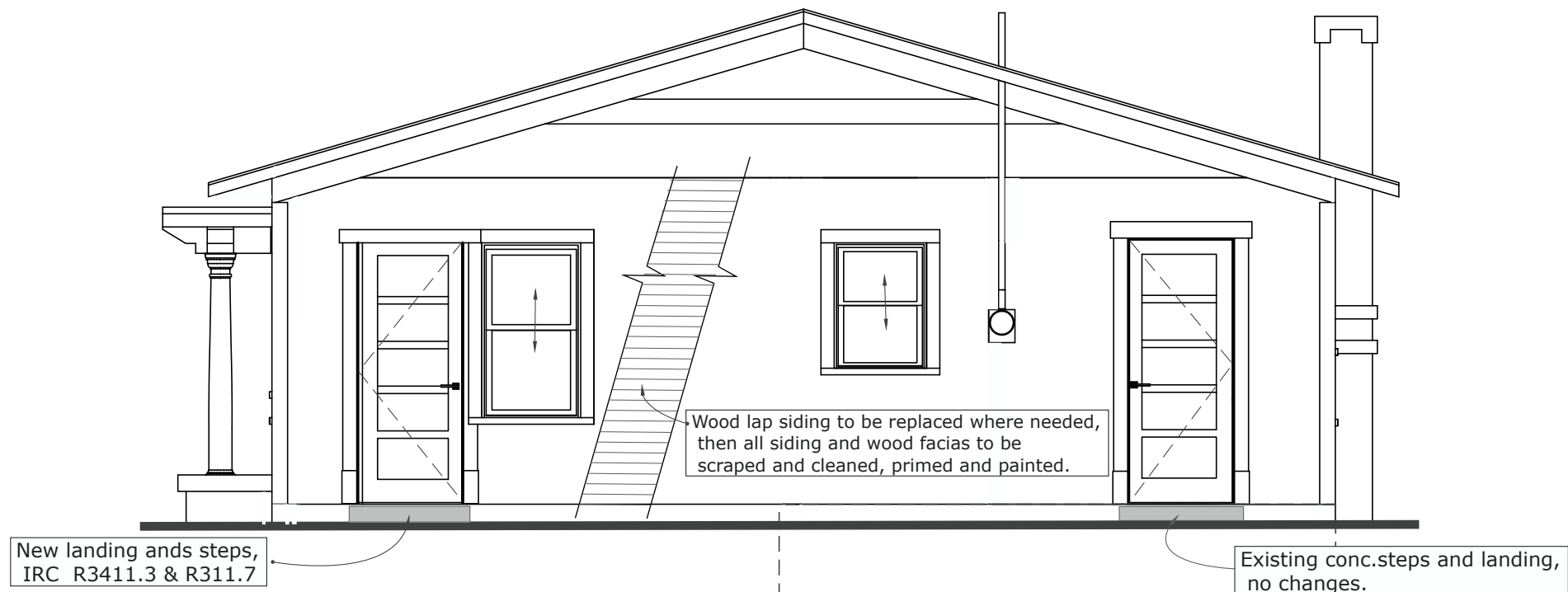
- 1.- Wood lap siding and fascia woods:
Replace damaged pieces.
Scrap and clean wood.
Prime and paint siding and fascia
- 2.- Wood double hung existing windows:
Scrape and clean surfaces.
Verify window operability.
Prime and paint surfaces.
- 3.- Reposition this window as shown.
- 4.- Removed this window and
replace with 3'-0 x 6'-8 inswing door.
Consult with Owner as to style.
Detail trim to match window style.
- 5.- Install door landing:
per IRC 311.3 landing &
IRC 311.7 steps.



Elevation - North (No changes except as noted)

Scale: 1/4"= 1'-0"

Outline of Basement, See Plan Sheet 2.



Elevation - East (No changes except as noted)

Scale: 1/4"= 1'-0"

Outline of Basement, See Plan Sheet 2.

Notes

Date of Issue:
5 Jun 26
Updates:
16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

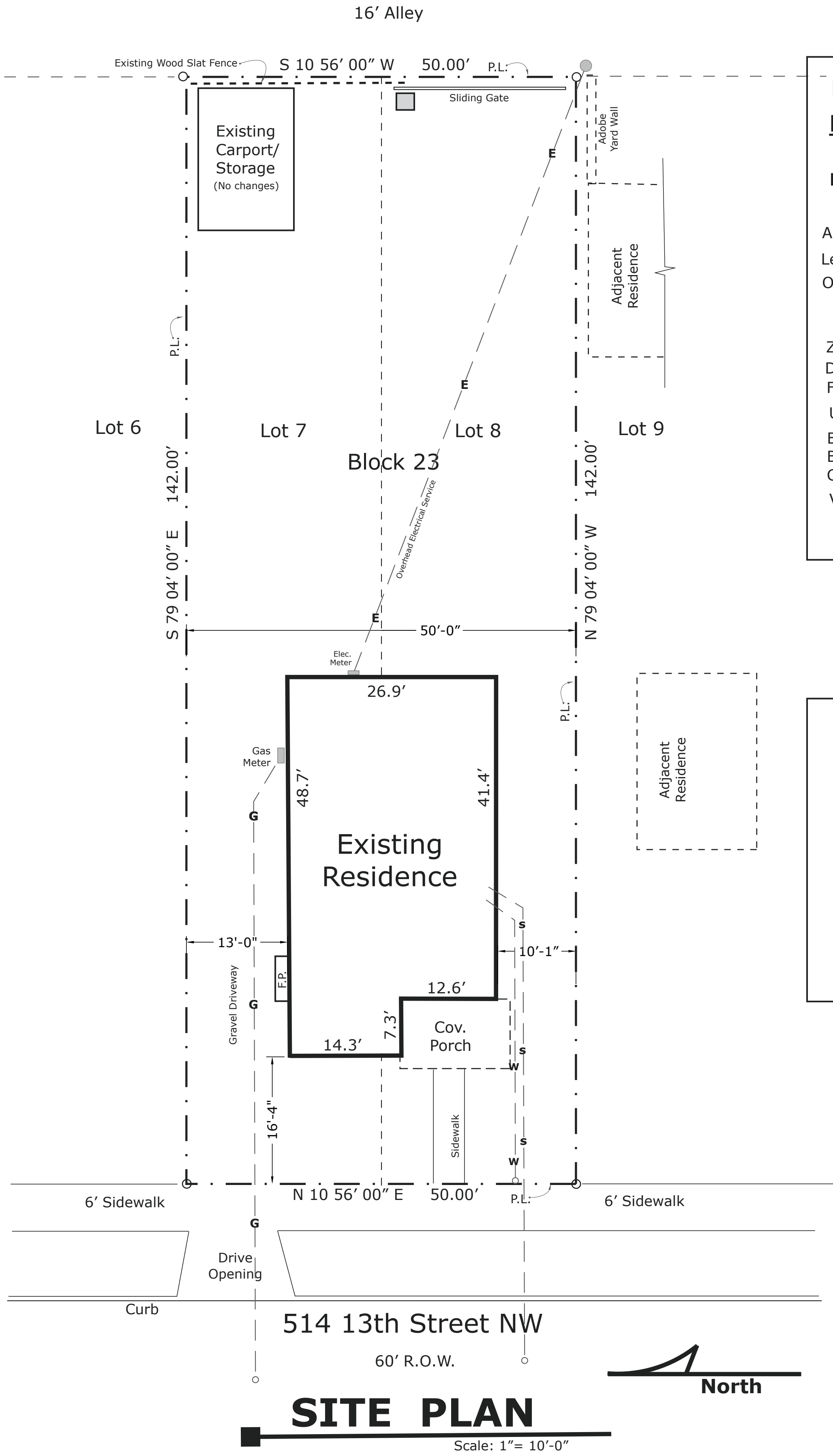
Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

Sheet No.

2
of 7



Project Information
Project: Remodel to interior walls and finishes, including mechanical, electrical and plumbing.

Address: 514 13th Street NW, Albuquerque,NM.
Legal Description: Lot 7 & 8, Block 23, Perea Subdivision
Owner: Cameron Crandall & Gabriel Campos
1215 Fruit NW, Albuquerque,NM 87102
ccrandall@saludunm.com
Zoning: R-1A
Downtown Neighborhood Area - CPO- 3
Fourth Ward - HPO-4
UPC: 101305841715943314
Building - Heated 1,200 sq.ft.
Basement - Not Heated 170 sq.ft.
Covered Entry Porch - 90 sq.ft.
Valuation:

Sheet Index

1. - Site Plan
2. - Elevations
3. - Floor Plan
4. - Framing Plan
5. - Cabinets
6. - Electrical Plan
7. - Mechanical Plan

Notes

Date of Issue: 5 Jun 26
Updates: 16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Site Plan

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

Sheet No.

1
of 7

C) PUBLIC NOTICE

June 29, 2026

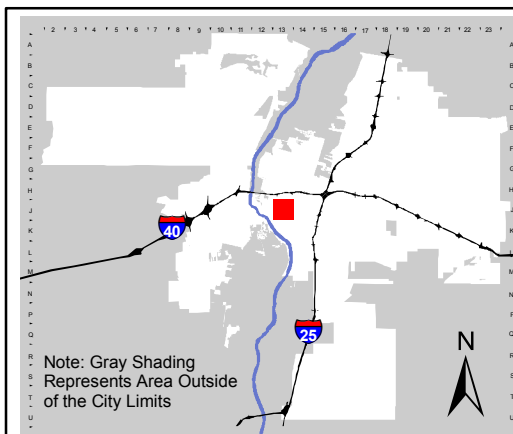
To Whom it may concern:

The purpose of this letter is to inform neighborhoods associations as well as neighbors of a Major Alteration Notice with in the neighborhood. The property address is 514 13th Street NW Albuquerque, NM 87102. We would like to remove 1 window on the east backyard elevation and replace it with a full glass and wood exterior door. We would also like to move 1 window on the south elevation closer to create a double window. All original windows will remain without replacement. A hearing will take place on August 12, 2026 in person or by zoom.

Respectfully,
Jason Radler
Local Concepts LLC



For more current information and details visit: www.cabq.gov/gis

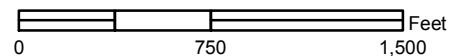
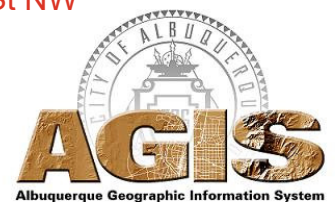


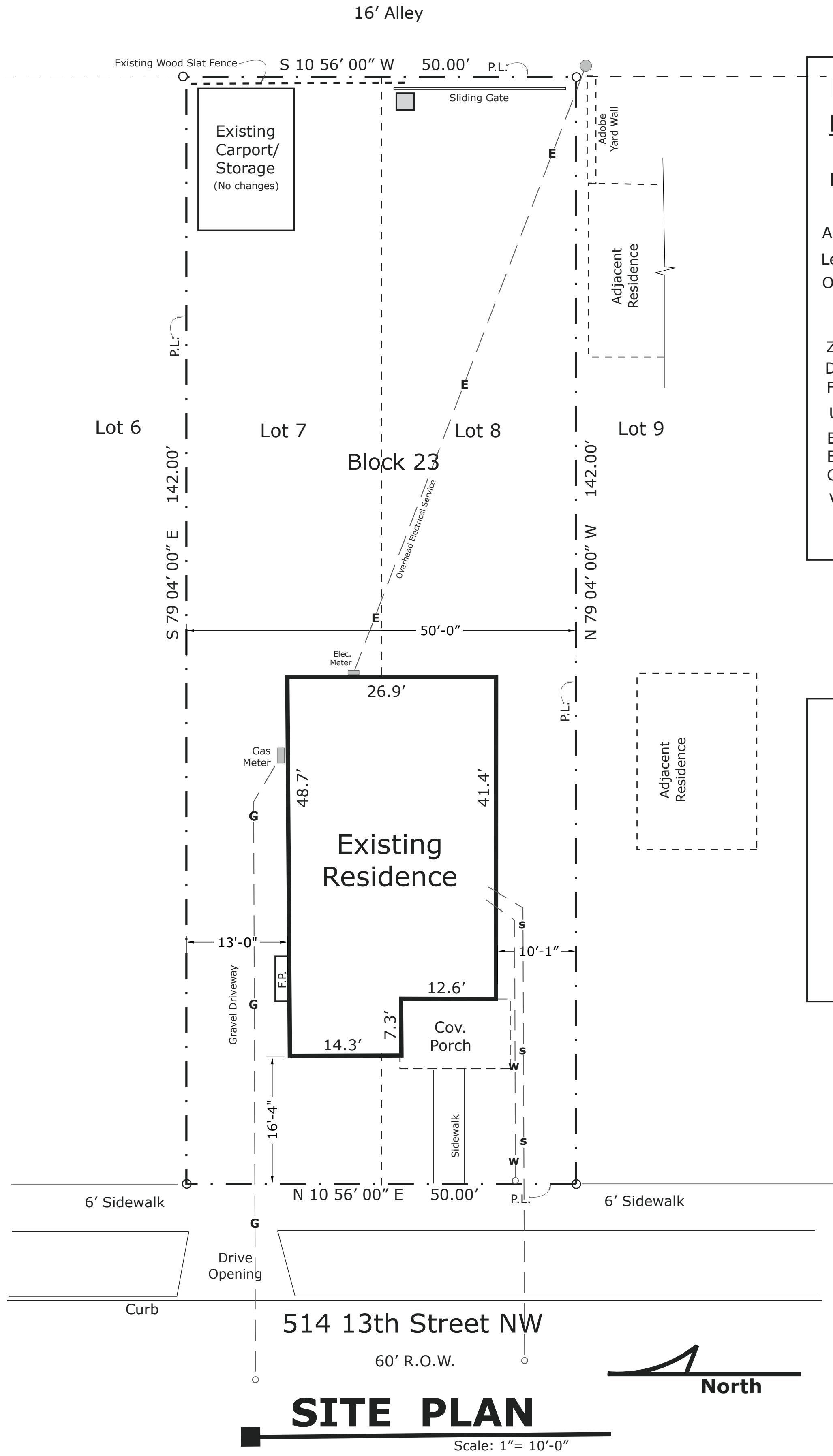
Address Map Page: **Site: 514 13th St NW**

J-13-Z

Map Amended through:
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.





Project Information
Project: Remodel to interior walls and finishes, including mechanical, electrical and plumbing.

Address: 514 13th Street NW, Albuquerque,NM.
Legal Description: Lot 7 & 8, Block 23, Perea Subdivision
Owner: Cameron Crandall & Gabriel Campos
1215 Fruit NW, Albuquerque,NM 87102
ccrandall@saludunm.com
Zoning: R-1A
Downtown Neighborhood Area - CPO- 3
Fourth Ward - HPO-4
UPC: 101305841715943314
Building - Heated 1,200 sq.ft.
Basement - Not Heated 170 sq.ft.
Covered Entry Porch - 90 sq.ft.
Valuation:

Sheet Index

1. - Site Plan
2. - Elevations
3. - Floor Plan
4. - Framing Plan
5. - Cabinets
6. - Electrical Plan
7. - Mechanical Plan

Notes

Date of Issue: 5 Jun 26
Updates: 16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Site Plan

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

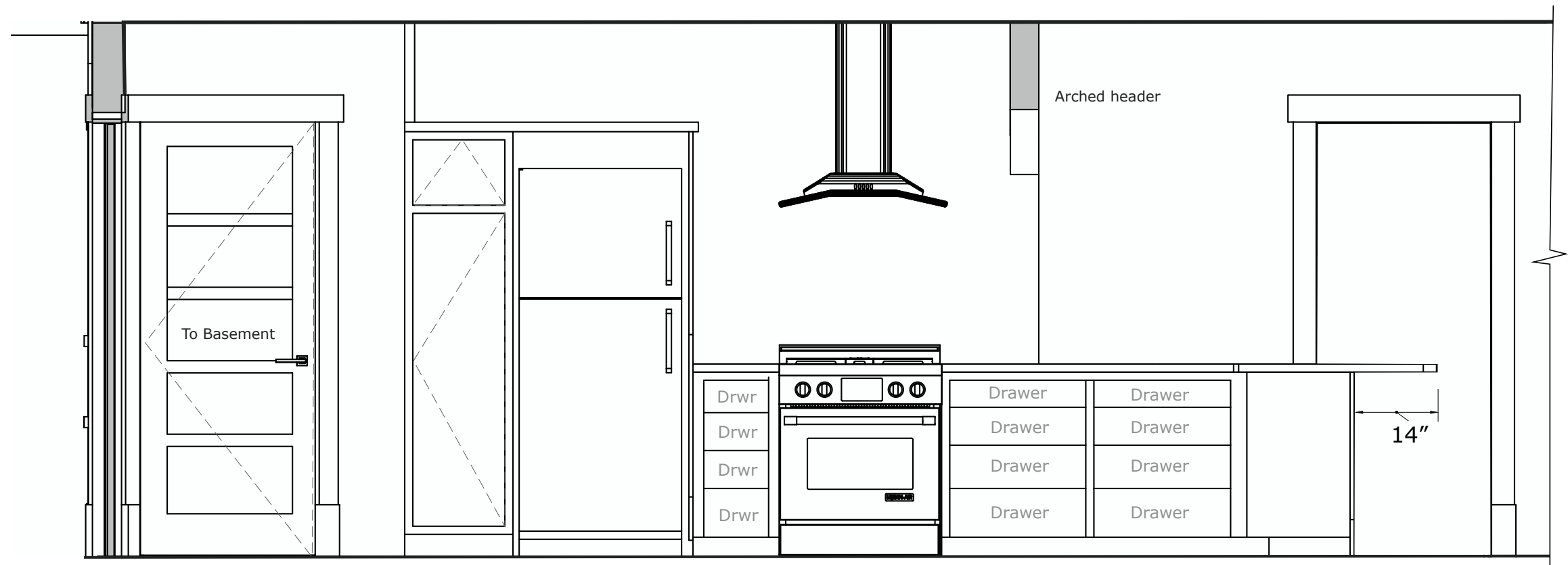
Sheet No.

1
of 7



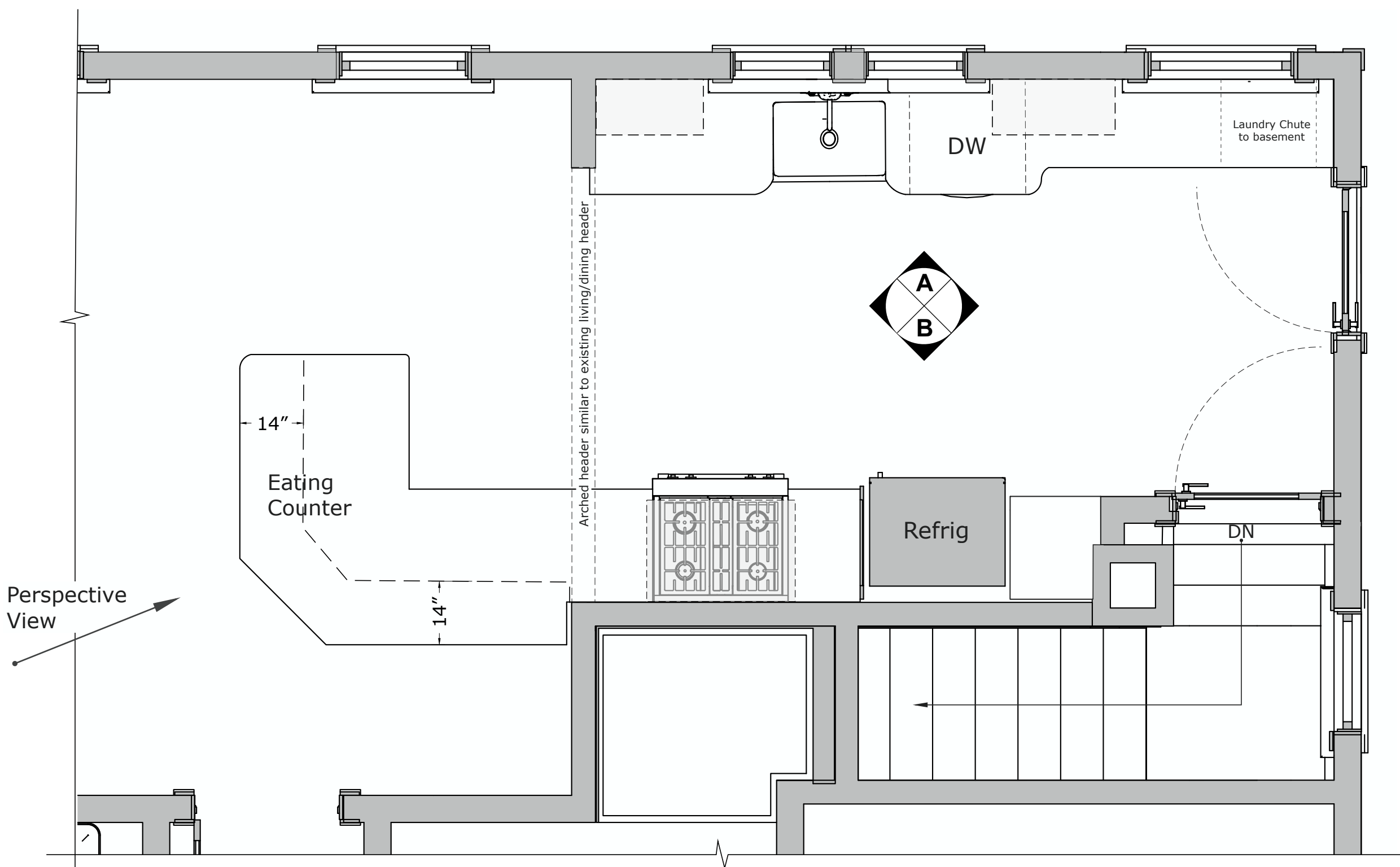
A Kitchen Elevation

Scale: 1/2"= 1'-0"



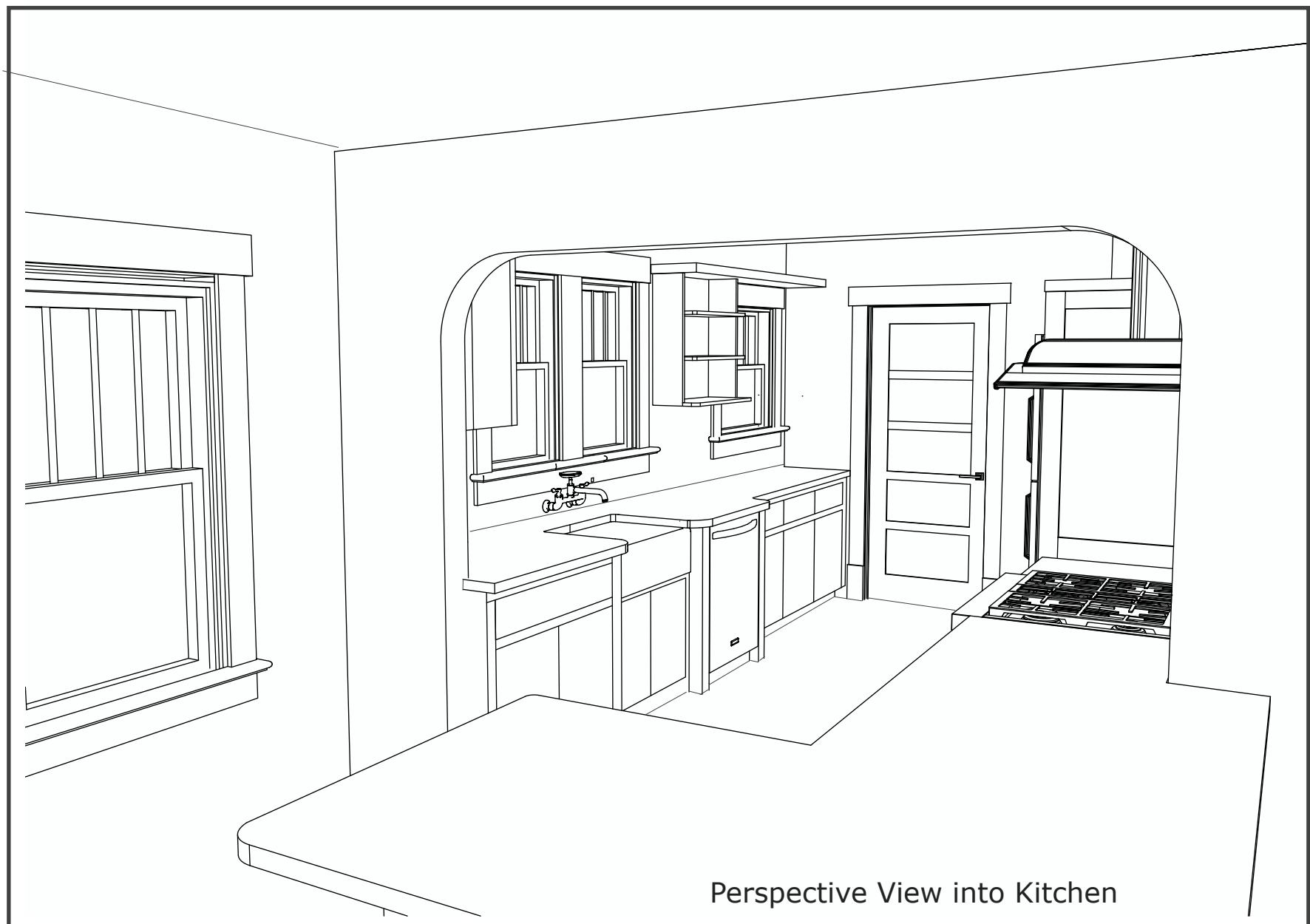
B Kitchen Elevation

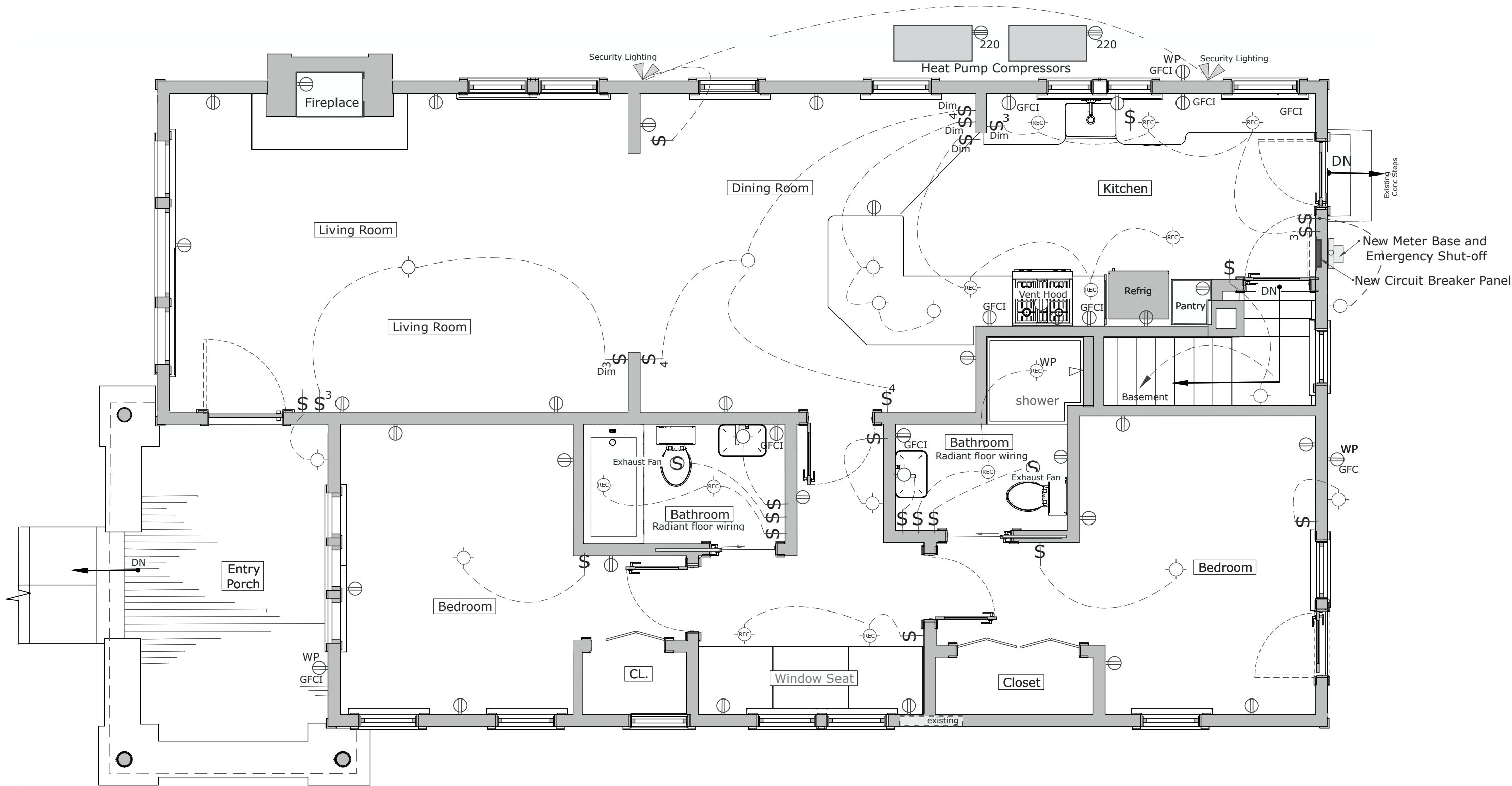
Scale: 1/2"= 1'-0"



Kitchen Floor Plan

Scale: 1/2"= 1'-0"





Floor Plan

Scale: 1/4"= 1'-0"

Electrical

Symbols Legend

Dedicated Circuits

- Ra** 220 v. range 40 amp.
- Wa** 110 v. washer 20 amp.
- Re** 110 v. refrig 20 amp.
- Di** 110 v. dishwasher 20 amp.
- Mi** 110 v. microwave 20 amp.

Outlets 110v.

- GFCI
- GFCI WP
- switched one side
- recessed floor
- 110 v.

Single Gang Switches

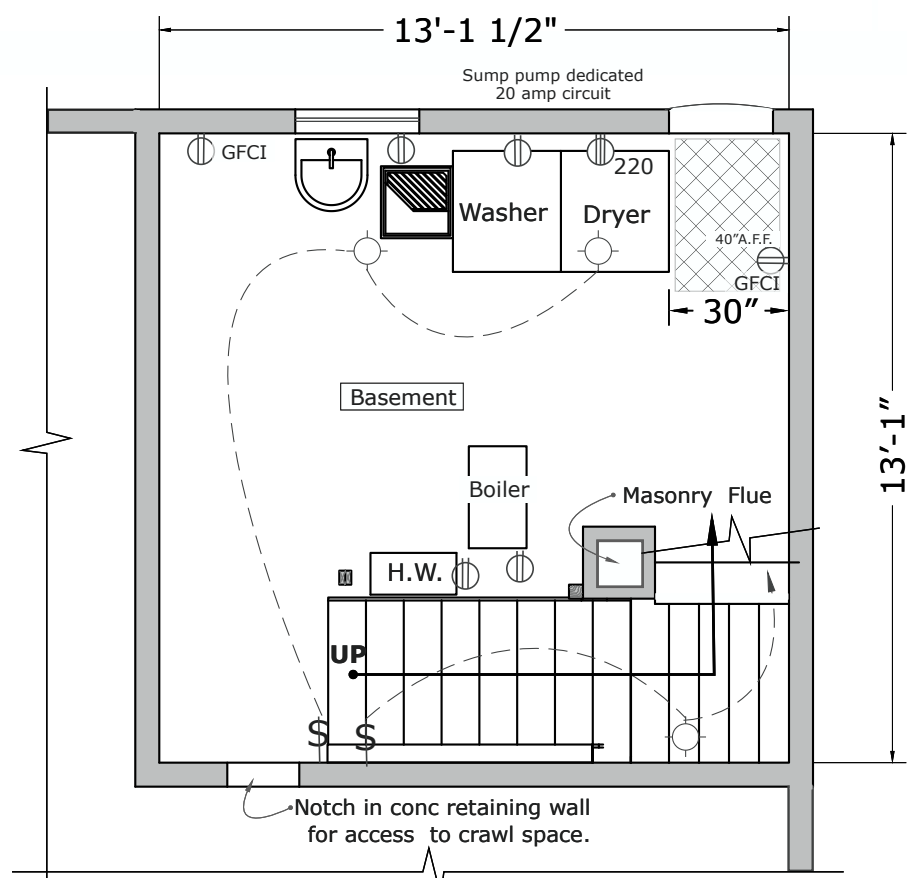
- single
- three way
- four way
- dimmer
- dimmer LEDs

Lighting

- All fixtures to be LED lighting
- ceiling fixture
- recessed ceiling fixture
- wall mounted fixture
- wall mounted w/ fan w/ry
- under cabinets - track lighting
- ceiling fan
- security lighting
- motion detector
- exhaust fan
- smoke detector

Low Voltage

- door bell
- chime
- thermostat
- cable wiring
- irrigation valve wiring



Basement Floor Plan

Scale: 1/4"= 1'-0"

Notes

Date of Issue:
5 Jun 26
Updates:
16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-348
localconceptsnn@gmail.com

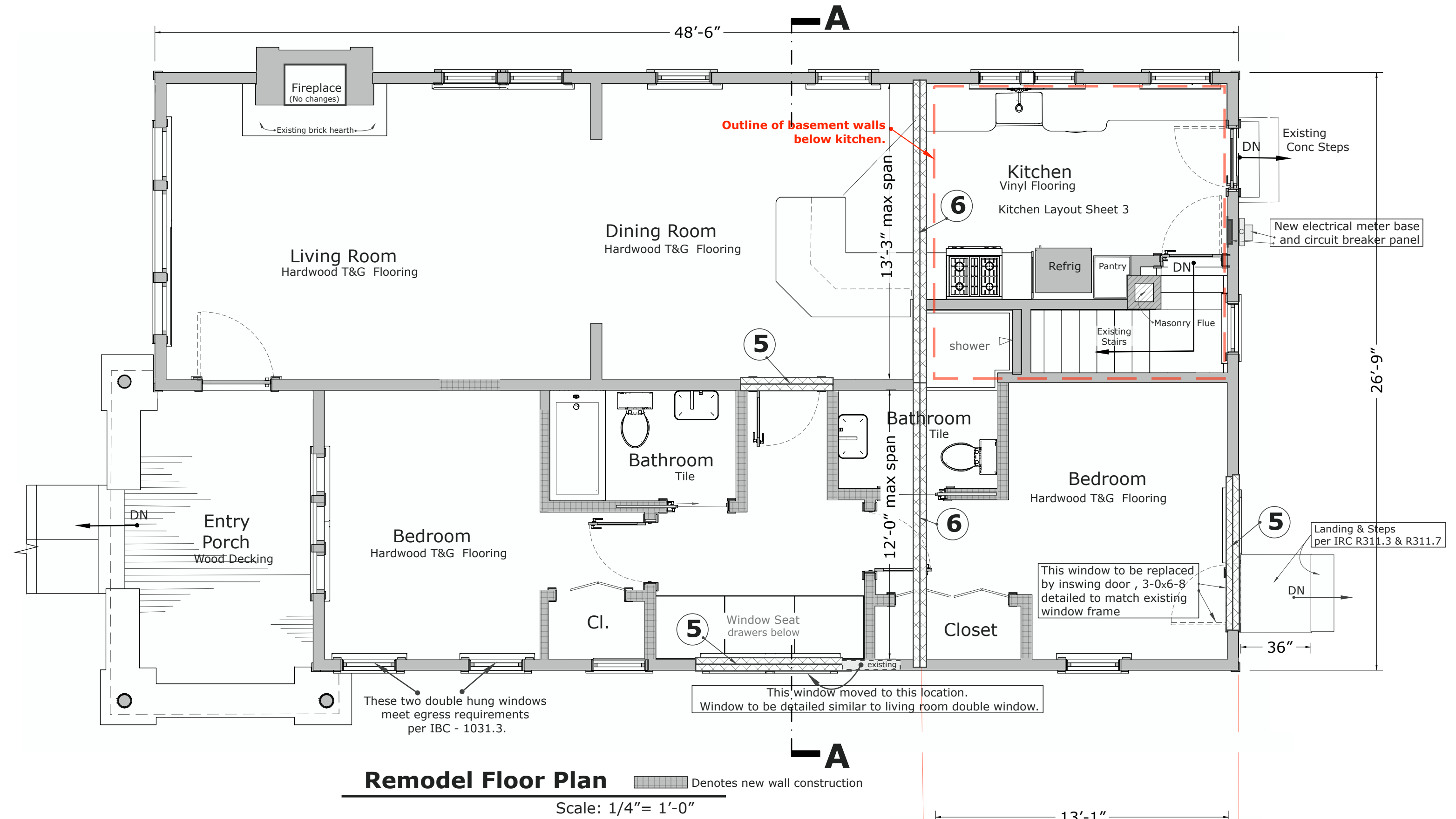
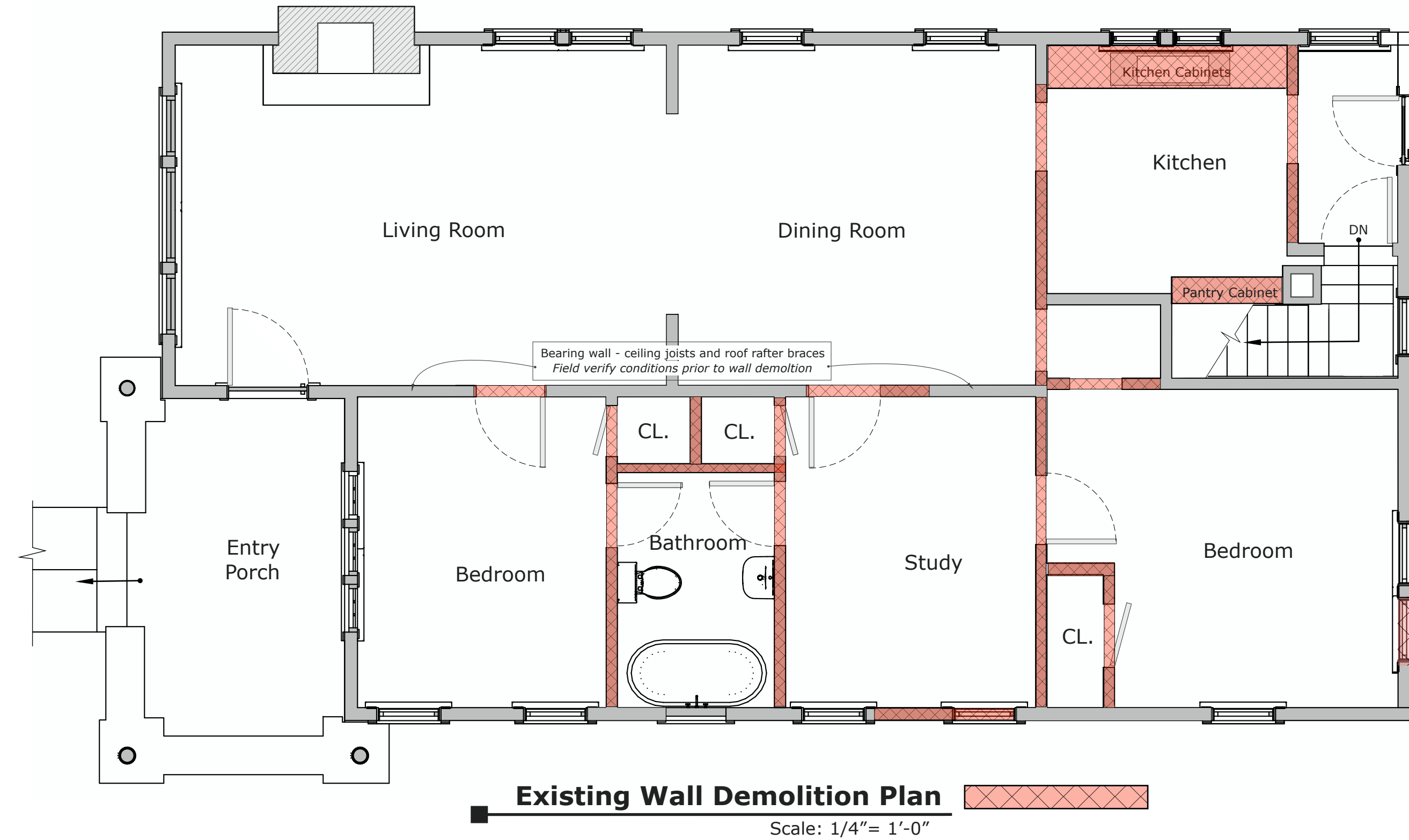
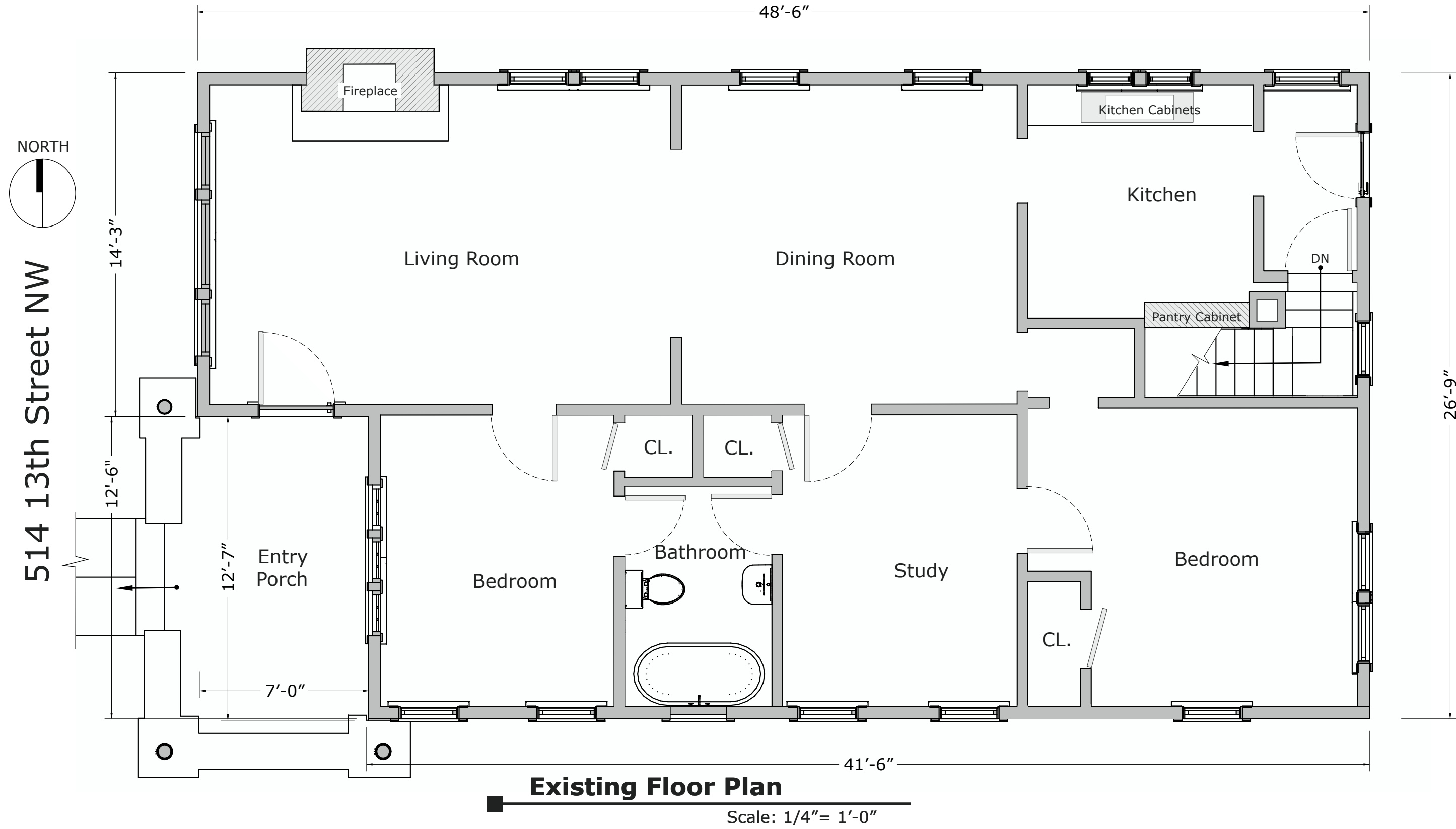
Electrical Plan

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

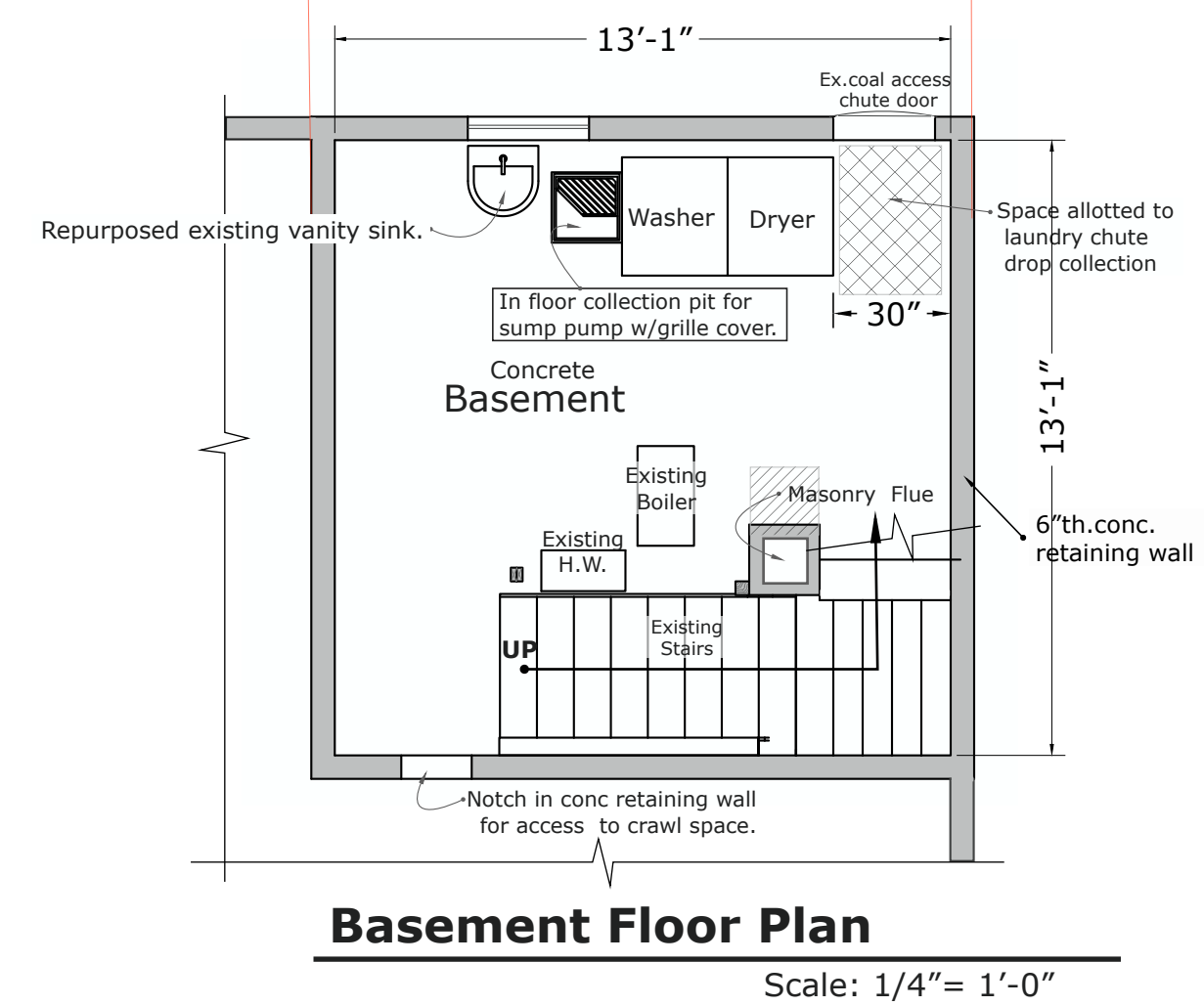
Sheet No.

6
of 7



Scope of Building's Interior Work

- 1.- Demolish existing walls and Kitchen cabinetry as indicated on Demolition Plan.
- 2.- Salvage and recycle existing doors and trim into new Remodel Plan.
- 3.- Strip existing kitchen vinyl floor tiles to existing wood substructure. (Existing oak flooring to remain and be refinished).
- 4.- Frame new walls as per remodel plan. Plumbing & pocket door walls - 2"x6", 16"o.c. #2 pine or better. All other walls - 2"x4", 16"o.c., #2 pine or better.
- 5.- Headers: 2- LVLs 1 3/4" x 9 1/2".
- 6.- Beams - Frame in support beams below hip rafters 1920's framing when existing walls removed.. 2 LVLs 1 3/4" x 9 1/2" Bedroom, max span 12'-5". 2 LVLs 1 3/4" x 11 7/8" Dining/Kitchen, max span 13'-3". Min 2" bearing on wall plates. See Boise Cascade Structure Calculations Report on specs and sizing.
- 7.- Insulate all exposed exterior walls with max R-value insulation.
- 8.- New wall finished with sheetrock and detailed to match and blend with remaining existing walls. Prime and paint all walls & ceilings.
- 9.- Install new kitchen cabinetry and countertops and appliances in consultation with Owner..
- 10.- New tile work to include shower and tub surrounds new bathroom flooring and countertop back splashes.
- 11.- New electrical wiring, mechanical systems and plumbing.



Notes

Date of Issue: 5 Jun 26
Updates: 16 Jun 26

Project Designer
Greg Baczek
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505-268-6361

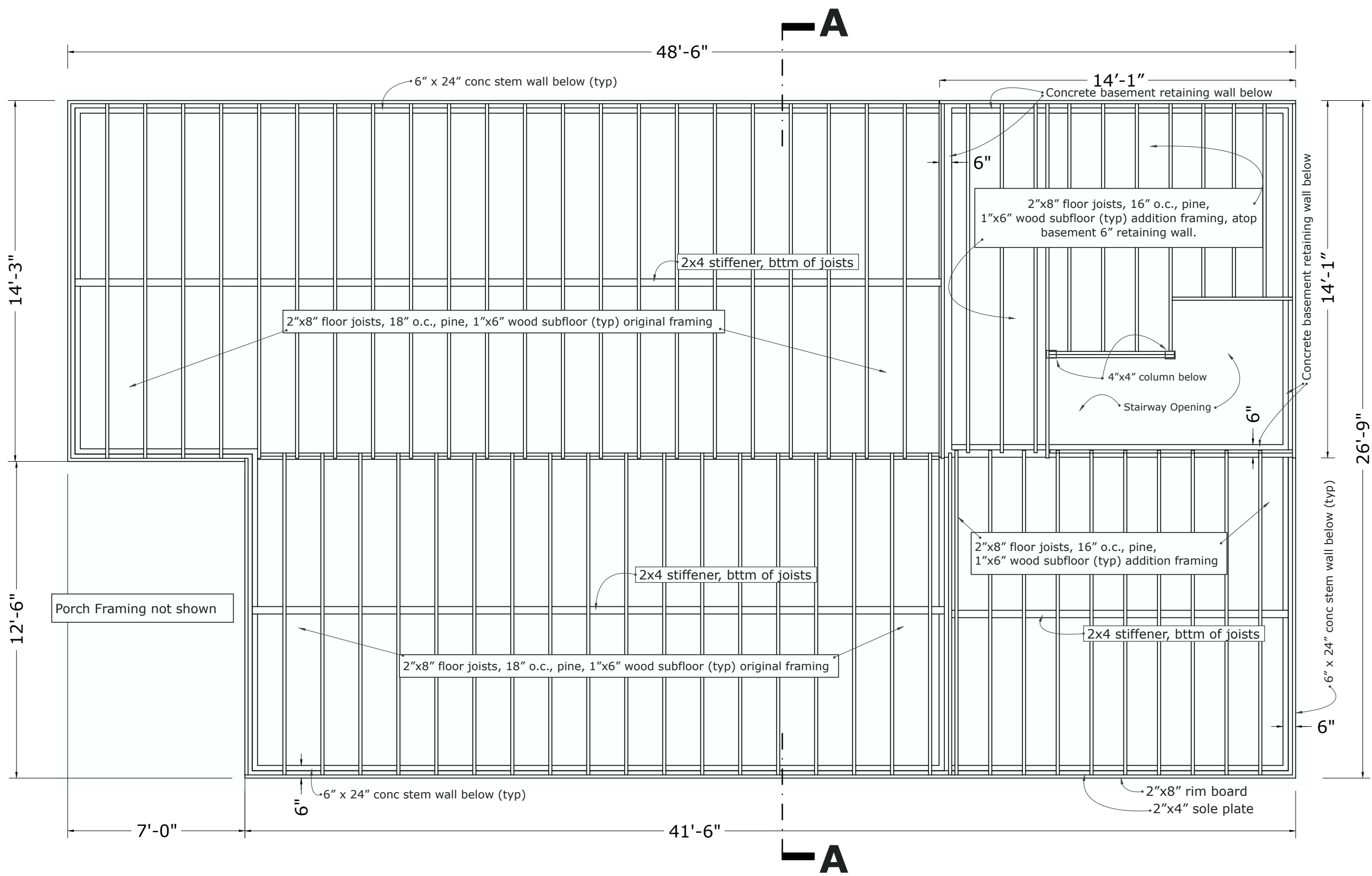
Project Builder
Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Floor Plans

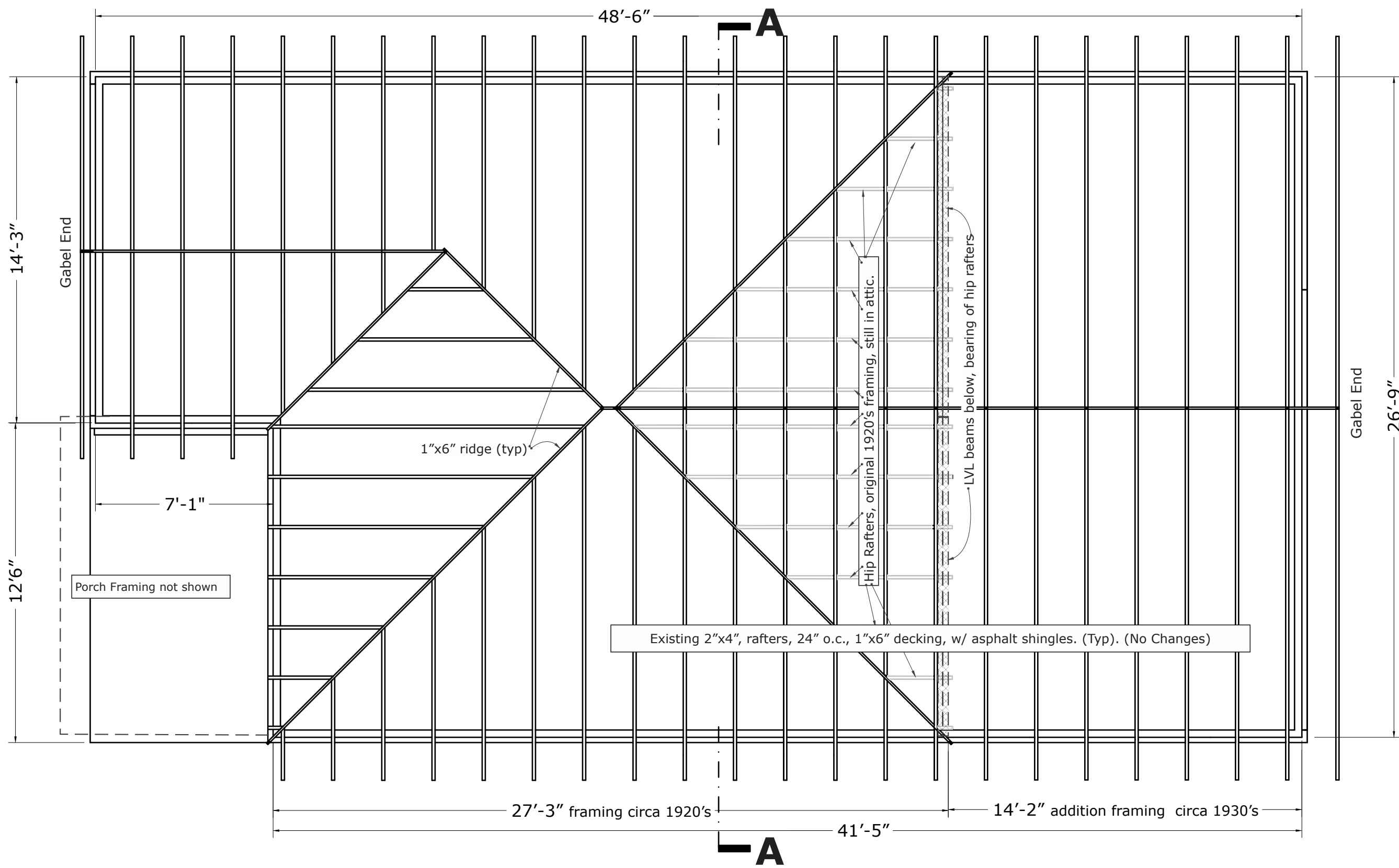
Owner
Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludum.com

Sheet No.

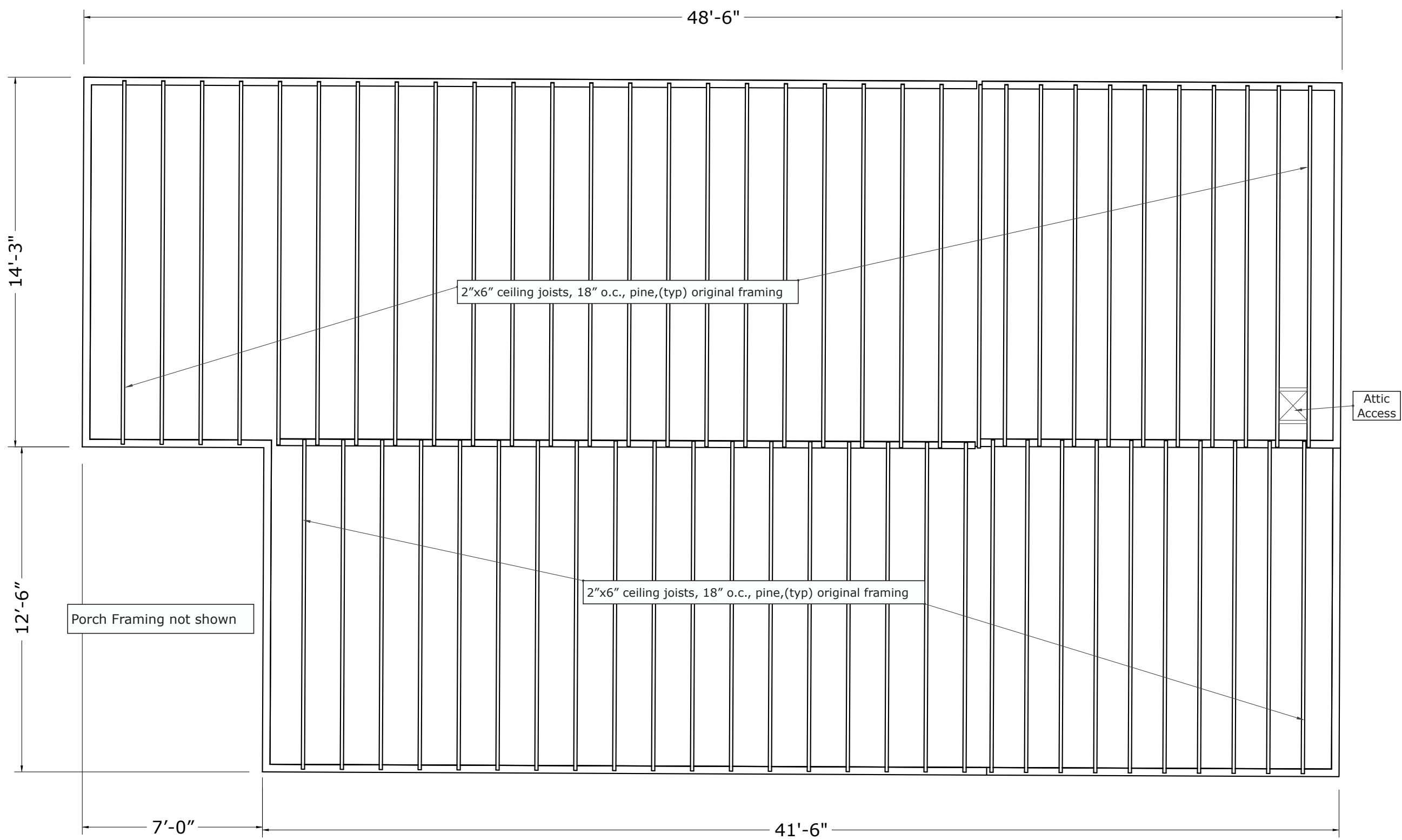
3
of 7



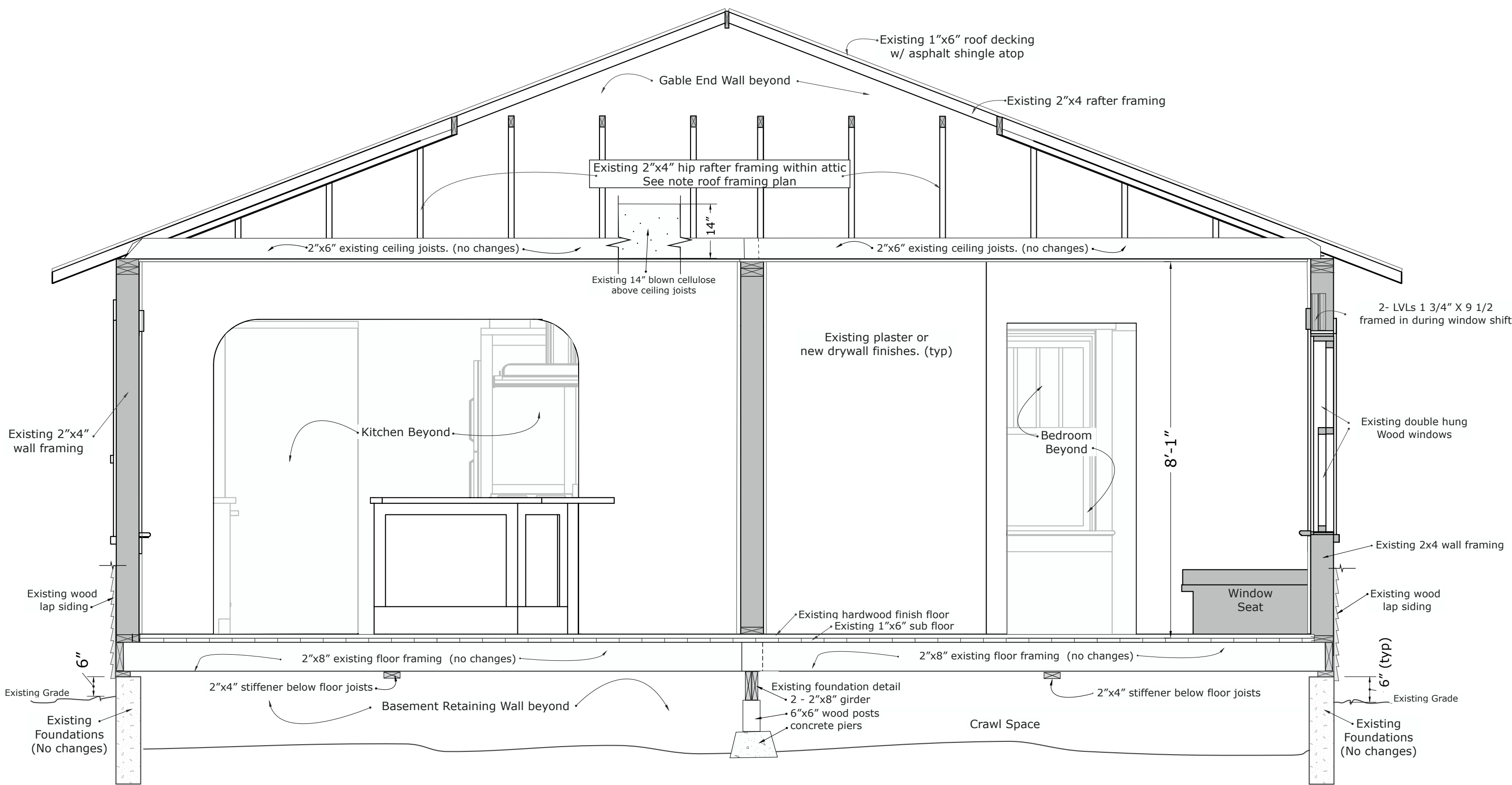
Floor Framing Plan (Existing - No Changes unless noted)
Scale: 1/4"= 1'-0"



Roof Framing Plan (Existing - No Changes unless noted)
Scale: 1/4"= 1'-0"



Ceiling Framing Plan (Existing - No Changes unless noted)
Scale: 1/4"= 1'-0"



Cross Section A-A
Scale: 1/2"= 1'-0"

Notes

Date of Issue:
5 Jun 26
Updates:
16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

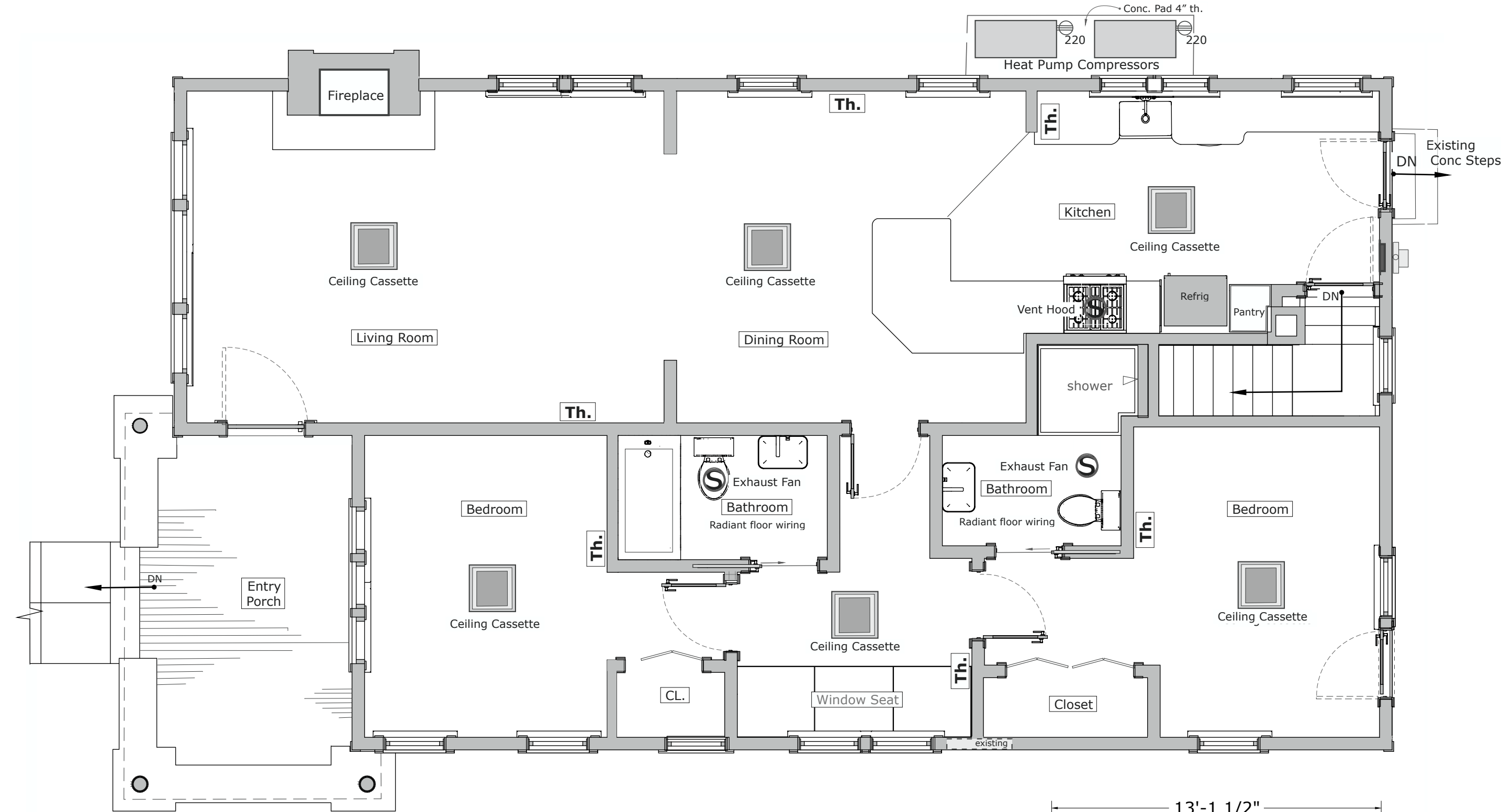
Framing Plans

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludum.com

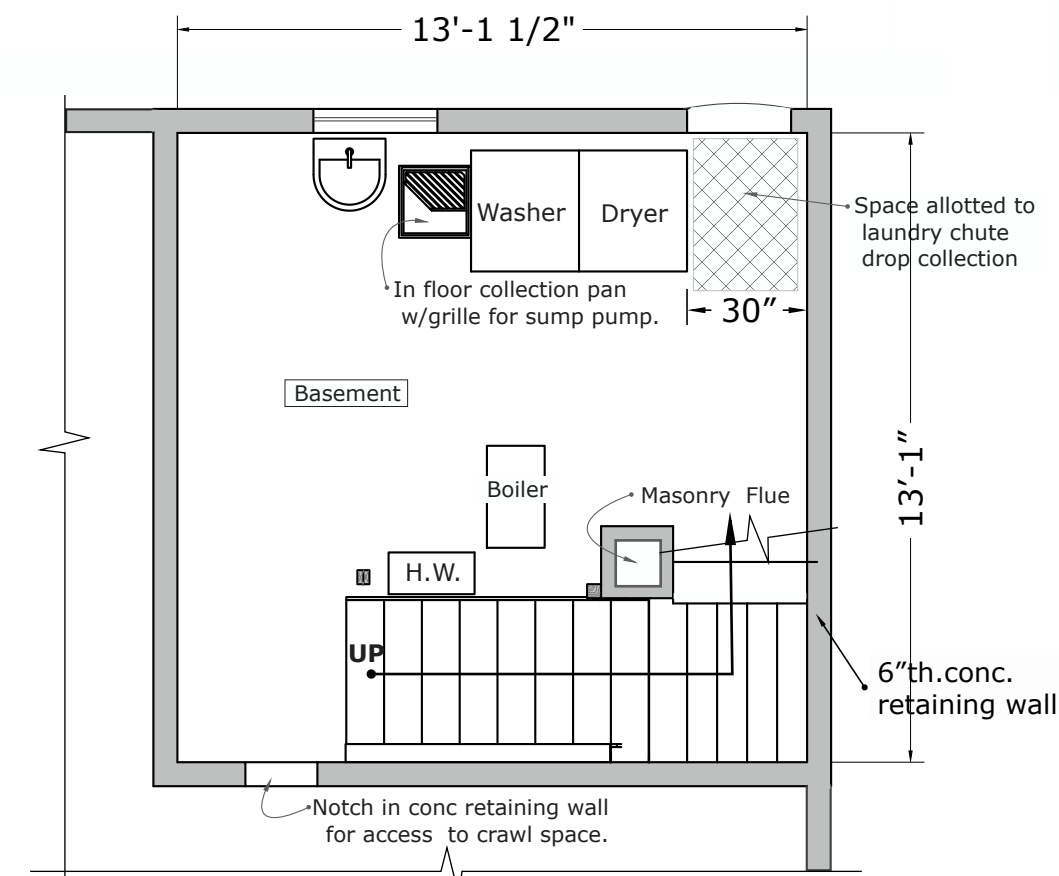
Sheet No.

4
of 7



Floor Plan
Scale: 1/4"= 1'-0"

Mechanical
Heat Pump



Basement Floor Plan
Scale: 1/4"= 1'-0"

Notes
Date of Issue: 5 Jun 26
Updates: 16 Jun 26

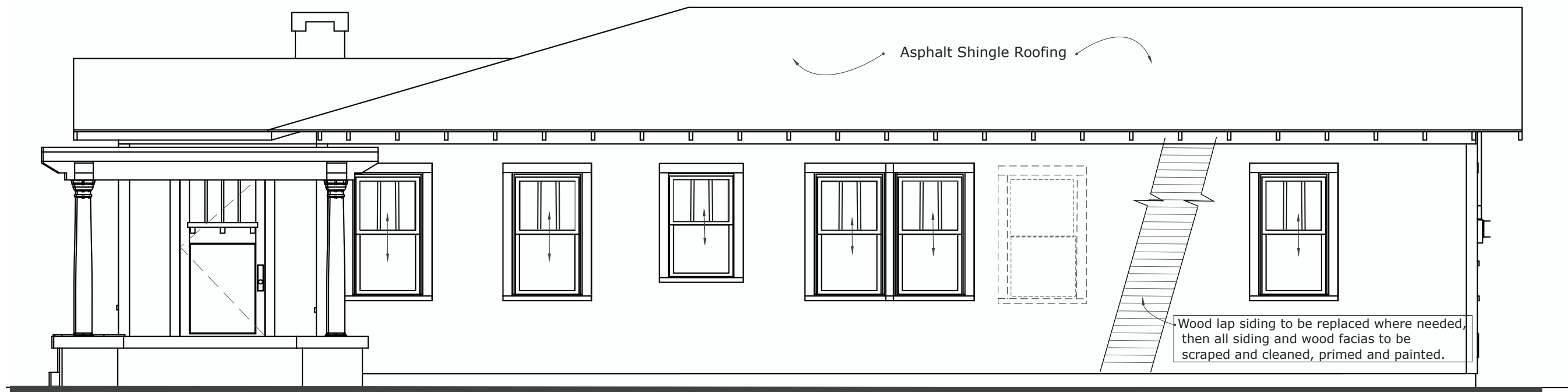
Project Designer
Greg Baczek Albuquerque, NM gregbaczek@gmail.com 505-268-6361

Project Builder
Local Concepts Jason Radler 505-710-3481 localconceptsnn@gmail.com

Mechanical Plan

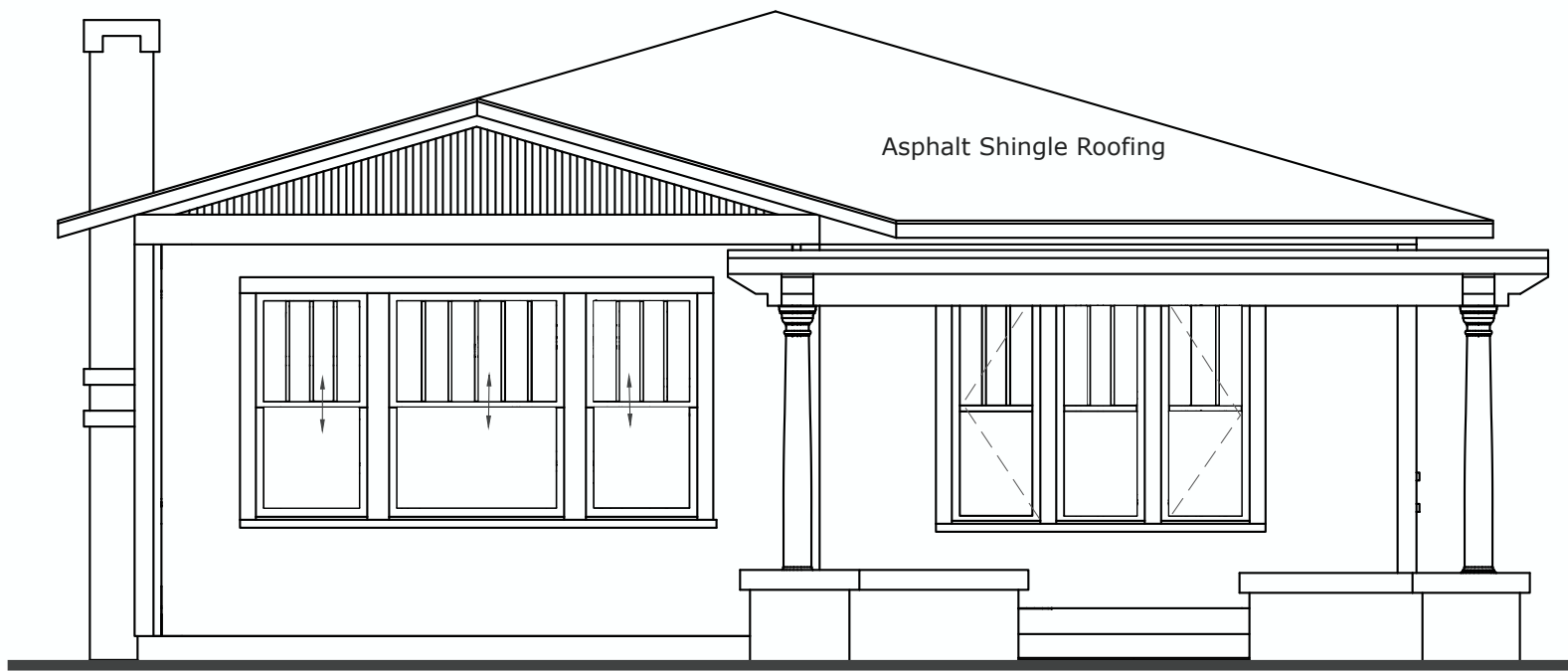
Owner
Cameron Crandall & Gabriel Campos 1215 Fruit NW Albuquerque, NM 87102 ccrandall@saludunm.com

Sheet No.
7 of 7



Elevation - South (No changes except as noted)
Scale: 1/4"= 1'-0"

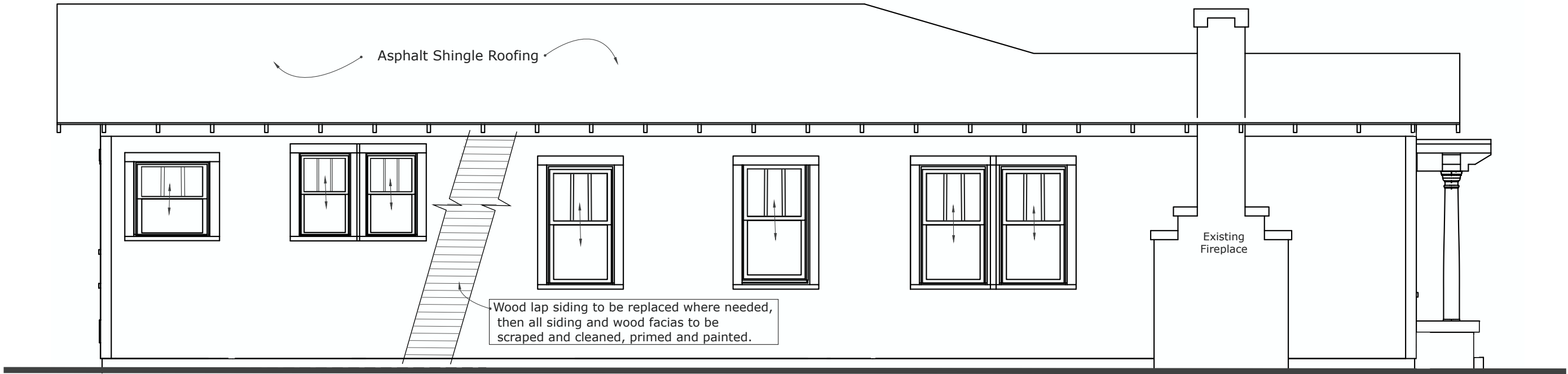
Outline of Basement, See Plan Sheet 2.



Elevation - West (No changes except as noted)
Scale: 1/4"= 1'-0"

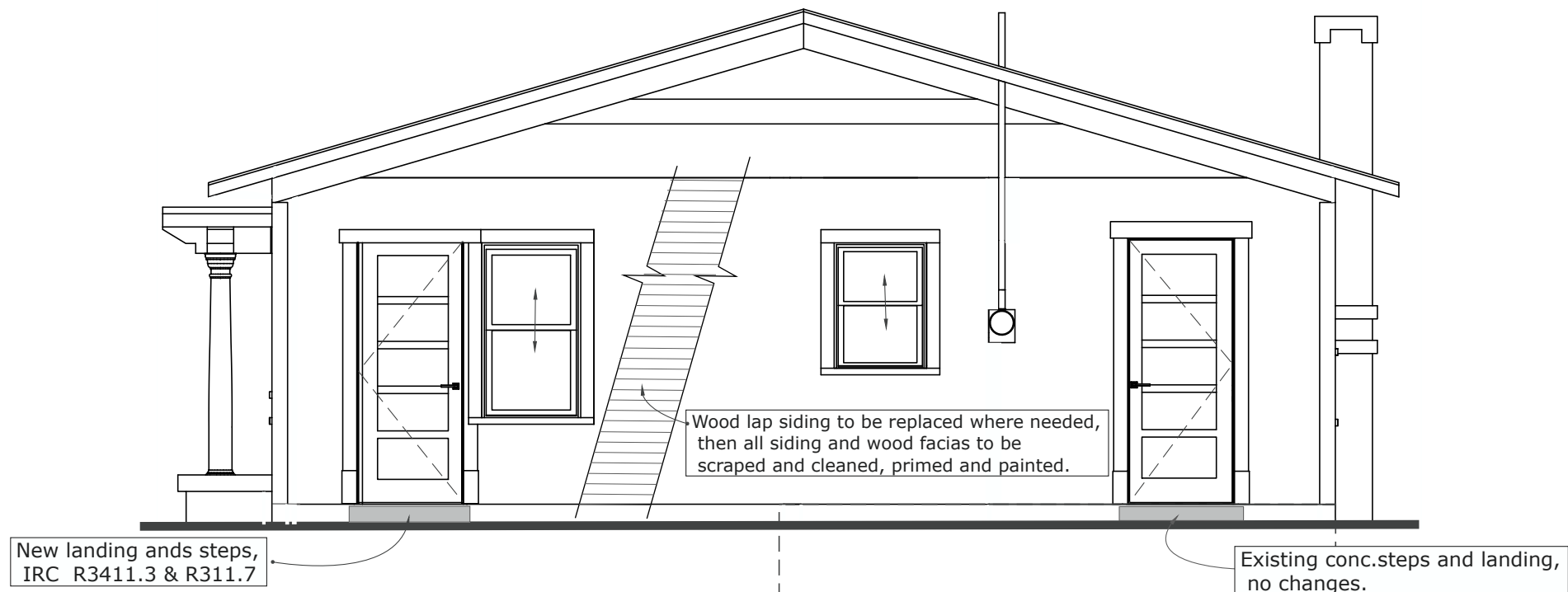
Scope of Building's Exterior Work

- 1.- Wood lap siding and fascia woods:
Replace damaged pieces.
Scrap and clean wood.
Prime and paint siding and fascia
- 2.- Wood double hung existing windows:
Scrape and clean surfaces.
Verify window operability.
Prime and paint surfaces.
- 3.- Reposition this window as shown.
- 4.- Removed this window and
replace with 3'-0 x 6'-8 inswing door.
Consult with Owner as to style.
Detail trim to match window style.
- 5.- Install door landing:
per IRC 311.3 landing &
IRC 311.7 steps.



Elevation - North (No changes except as noted)
Scale: 1/4"= 1'-0"

Outline of Basement, See Plan Sheet 2.



Elevation - East (No changes except as noted)
Scale: 1/4"= 1'-0"

Outline of Basement, See Plan Sheet 2.

Notes

Date of Issue:
5 Jun 26
Updates:
16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

Sheet No.

2
of 7

Letter of Notice

JR

Jason Radler <localconceptsnm@gmail.com>
To sylvia4quality@gmail.com; ericcarson@protonmail.com

← Reply

↩ Reply All

→ Forward

⋮

Tue 7/21/2026 3:25 PM

Click here to download pictures. To help protect your privacy, Outlook prevented automatic download of some pictures in this message.

PDF

514 13thlettertoneighbors.pdf
32 KB

PDF

J-13-Z OT FW.pdf
422 KB

PDF

Elevations (1).pdf
281 KB

This Message Is From an External Sender
This message came from outside your organization.

Report Suspicious

Hello. Attached is a letter of notice along side a zone atlas map and elevations to a residence proposing changes to its exterior appearance.

Kindly,

Jason Radler
Owner/Operator
505-710-3481
www.Localconceptsnm.com

Right-click or tap and hold here to download pictures. To help protect your privacy, Outlook prevented automatic download of this picture

514 13TH ST NW_Public Notice

Ask Gemini

mail.google.com/mail/u/0/#search/gsalas%40sms-results.com/FMfcgzQgMgGxwRjkfXnDgnNhScFkbbbg

Compose

Inbox14,092

Starred

Snoozed

Important

Sent

Drafts169

Purchases343

Social514

Updates12,113

Forums632

Promotions20,576

More

Labels

[Imap]/Drafts

[Imap]/Sent

[Imap]/Trash

gsalas@sms-results.com

4 of 4

AI Overview

- ONC provided neighbor contacts for 514 13TH ST NW Landmarks Commission application.
- Must email Glen Salas and Benjamin Bean; notify Planning Dept. with emails attached.
- Neighborhood contacts valid for 30 days from June 29, 2026.

By Gemini; there may be mistakes. Learn more

Office of Neighborhood Coordination

to me

Mon, Jun 29, 11:24 AM

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date. You must send notice to each e-mail address listed below.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Downtown Neighborhoods Association	Glen	Salas	gsalas@sms-results.com	901 Roma Avenue NW	Albuquerque	NM	87102	3013679830
Downtown Neighborhoods Association	Benjamin	Bean	benjamin.bean@comcast.net	1301 Marble Ave NW	Albuquerque	NM	87104	

← Reply

→ Forward

😊

88°F Mostly cloudy

Search

2:12 PM7/21/2026

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

Date of Notice*: 06/22/2026

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(J\) Public Notice](#). This notice is being provided to (mark as relevant):

- ☒ Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.¹
- ☐ Property Owners within 100 feet of the Subject Property.

Information Required by IDO [§14-16-6-4\(J\)\(1\)\(a\)](#)

1. Subject Property Address* 514 13th Street NW
Location Description Lomas & 13th
2. Property Owner* Cameron Crandall
3. Agent/Applicant* [if applicable] Jason Radler
4. Application Type(s)²* see IDO [Table 6-1-1](#)
 - ☐ Site Plan – EPC
 - ☐ Subdivision _____ (Minor, Major, or Bulk Land)
 - ☐ Vacation _____ (Easement, Private Way, or Public Right-of-way)
 - ☐ Variance – EPC
 - ☐ Waiver _____ (DHO or Wireless Telecommunication Facility)
 - ☒ Other: Residential alteration, major

Summary of project/request³*:

residential remodel to kitchen/bath, exterior door addition, window relocation.

5. This application will be heard at a public meeting or hearing by*:

- ☐ Development Hearing Officer (DHO)
- ☒ Landmarks Commission (LC)
- ☐ Environmental Planning Commission (EPC)

¹ If this box is marked, the Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination must be included as an attachment.

² Applications for the Zoning Hearing Examiner require a public notice form available here: <https://www.cabq.gov/planning/boards-commissions/zoning-hearing-examiner>. Otherwise, mark all that apply.

³ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Hearing Date/Time*: August 12, 2026 3 PM

Location*⁴: CABQ

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*:

Preferred project contact information:

Name: jason Radler

Email: localconceptsnm@gmail.com

Phone: 505-710-3481

☐ Website or project page: _____

☐ Attachments:

☐ Neighborhood Association Representative Contact List from the City's Office of Neighborhood Coordination*

☒ Other: president @abqdna.org vicepresident@abqdna.org

Project Information Required for Mail/Email Notice by [IDO §14-16-6-4\(J\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ J13

2. Project Materials, as relevant*⁶

☒ Architectural drawings

☒ Elevations of the proposed building(s)

☐ Other relevant illustrations

☐ Neighborhood meeting summary, if held

See attachments or the website/project page noted above for the items marked above.

3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

None

⁴ Physical address or Zoom link

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas>

⁶ While not required for applications other than Site Plan – EPC, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project. For Site Plan – EPC, see additional attachments required below.

[Note: Items with an asterisk (*) are required.]

4. **For Site Plan Applications only***, attach the site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*
- ☒ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information from IDO Zoning Map⁷:

1. Area of Property [acres]^{0.16} _____
2. IDO Zone District ^{J13} _____ Select
3. Overlay Zone(s) [if applicable] _____ Select Select Select Select
4. Center or Corridor Area [if applicable] _____
5. Current Land Use(s) [vacant, if none] single family home _____

NOTE: Pursuant to [IDO §14-16-6-4\(K\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public hearing date. Requests for a facilitated meeting must be submitted through ABQ-Plan: <https://www.cabq.gov/planning/abq-plan>

Useful Links

Integrated Development Ordinance (IDO): <https://ido.abq-zone.com>

IDO Interactive Map: <https://tinyurl.com/idozoningmap>

⁷ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

New tab

Public Notice to Neighborhood A...

Public Notice - localconceptsnm@...

https://mail.google.com/mail/u/0/#sent/QgrcJHsNkdVDhCwHDNrmCqFWpFKCmgwTxLV

Del YouTube Maps Gmail Booking.com McAfee Security

Browse right away. Launch Edge when Windows starts. Turn on

Gmail

Compose

Inbox13,861

Starred

Snoozed

Important

Sent

Drafts168

Purchases344

Social514

Updates11,900

Forums630

Promotions20,125

More

Labels

[imap]/Drafts

in:sent

1 of 2,004

Upgrade

Public Notice

Jason Radler<localconceptsnm@gmail.com>

to: gsalas, benjamin.bea...

Hello Attached is a publi

Kindly,

Jason Radler

Owner/Operator

505-710-3481

www.Localconceptsnm.c...

from: Jason Radler<localconceptsnm@gmail.com>

to: gsalas@sms-results.com,

benjamin.bea@comcast.net

date: Jun 29, 2026, 4:08 PM

subject: Public Notice

mailed-by: gmail.com

LOCAL CONCEPTS

CUSTOM BUILDING - PRESERVATION - RENOVATION

One attachment • Scanned by Gmail • Add to Drive

Reply Reply all Forward

61°F Sunny

Search

4:12 PM 6/29/2026



57



Go

0

100

200ft

EDIDINAN GABRIELLE HANNAH
516 11TH ST NW
ALBUQUERQUE NM 87102-1898

WEBER CAMERON
1015 ROMA AVE NW
ALBUQUERQUE NM 87102-1943

CREMIN REBECCA
416 IRON AVE SE
ALBUQUERQUE NM 87102-3937

GINSBERG TERRY A
PO BOX 25812
ALBUQUERQUE NM 87125-0812

CARRASCO TELESFOR M & ERNESTINE
1504 BOWE LN SW
ALBUQUERQUE NM 87105-3702

PROMISES PROMISES LLC
1014 FRUIT AVE NW
ALBUQUERQUE NM 87102-1920

LANDAU MARIE
1021 ROMA AVE NW
ALBUQUERQUE NM 87102-1943

422 11TH STREET NW LLC C/O FRANCES
VERONDA
35877 BLAIR PL
FREMONT CA 94536-3406

WEWERKA MICHAEL E & MEDLEY K S
1014 FRUIT AVE NW
ALBUQUERQUE NM 87102-1920

GARCIA MARSHA NICOLE
515 LUNA BLVD NW
ALBUQUERQUE NM 87102-1929

HUGHES JO ANNE
PO BOX 2184
CUBA NM 87013

PHILLIPS LUKE T
1020 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

PHILLIPS LUKE T & LANDAU CARMEN S
1016 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

STEWART AMY J
510 11TH ST NW
ALBUQUERQUE NM 87102-1806

DURIF-VARAMBON OLIVIA & PEPPER
SHANNON
1019 ROMA AVE NW
ALBUQUERQUE NM 87102-1943

BURKE MICHAEL S
1024 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

MADRID MARGIE B
1018 FRUIT AVE NW
ALBUQUERQUE NM 87102-1920

PEDROTTY AUGUSTUS LEE WHITE
506 11TH ST NW
ALBUQUERQUE NM 87102-1806

CARRILLO-KELLNER SHIRLEY TRUSTEE
CARRILLO-KELLNER RVT C/O ANTHONY
KELLNER
1010 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

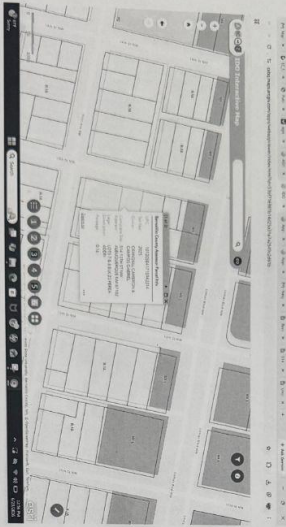
JAMES JORDAN O & WARNER KELL S
1014 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

JERGE JEREMY P & WILLIAMS CHRISTINE
M
416 11TH ST NW
ALBUQUERQUE NM 87102-1804

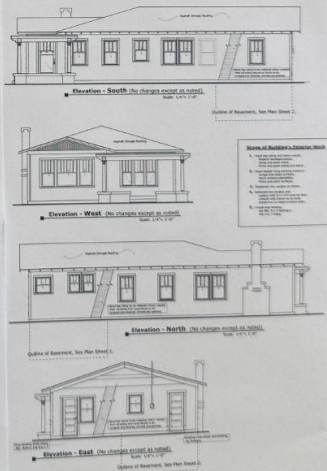
To Whom it may concern:

The purpose of this notice is to inform neighborhood associations as well as neighbors of a Motor Alteration Notice with in the neighborhood. The property address is 514 13th Street NW Albuquerque, NM 87102. We would like to remove a window on the east backside elevation and replace it with a full glass and wood exterior door. We would also like to move 1 window on the north elevation closer to create a double window. All original windows will remain without replacement. A hearing will take place on August 12, 2026 in person or by zoom.

Respectfully,
Jason Radler
Local Concepts LLC



Elevations

2
of

EDIDINAN GABRIELLE HANNAH
516 11TH ST NW
ALBUQUERQUE NM 87102-1898

GINSBURG TERRY A
PO BOX 25812
ALBUQUERQUE NM 87125-0812

LANDAU MARIE
1021 ROMA AVE NW
ALBUQUERQUE NM 87102-1943

GARCIA MARSHA NICOLE
515 LUNA BLVD NW
ALBUQUERQUE NM 87102-1922

PHILLIPS LUKE T & LANDAU CARMEN S
1016 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

BURKE MICHAEL S
1024 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

CARRILLO-KELLNER SHIRLEY TRUSTEE
CARRILLO-KELLNER RVT C/O ANTHON
KELLNER
1010 ROMA AVE NW
ALBUQUERQUE NM 87102-1944

WEBER CAMERON
1015 ROMA AVE NW
ALBUQUERQUE NM 87102-1943

CARRASCO TELESFOR M & ERN
1504 BOWE LN SW
ALBUQUERQUE NM 87105-370

422 11TH STREET NW LLC C/O
VERONDA
35877 BLAIR PL
FARMINGTON CT 06030

HUGHES JO ANNE
PO BOX 2184
CUBA NM 87013

STEWART AMY J
510 11TH ST NW
ALBUQUERQUE NM 87102-1

MADRID MARGIE B
1018 FRUIT AVE NW
ALBUQUERQUE NM 87102-

JAMES JORDAN O & WARR
1014 ROMA AVE NW
ALBUQUERQUE NM 87102-

CREMIN REBECCA
416 IRON AVE SE
ALBUQUERQUE NM 87102-3933

PROMISES PROMISES LLC
1014 FRUIT AVE NW
ALBUQUERQUE NM 87102-19

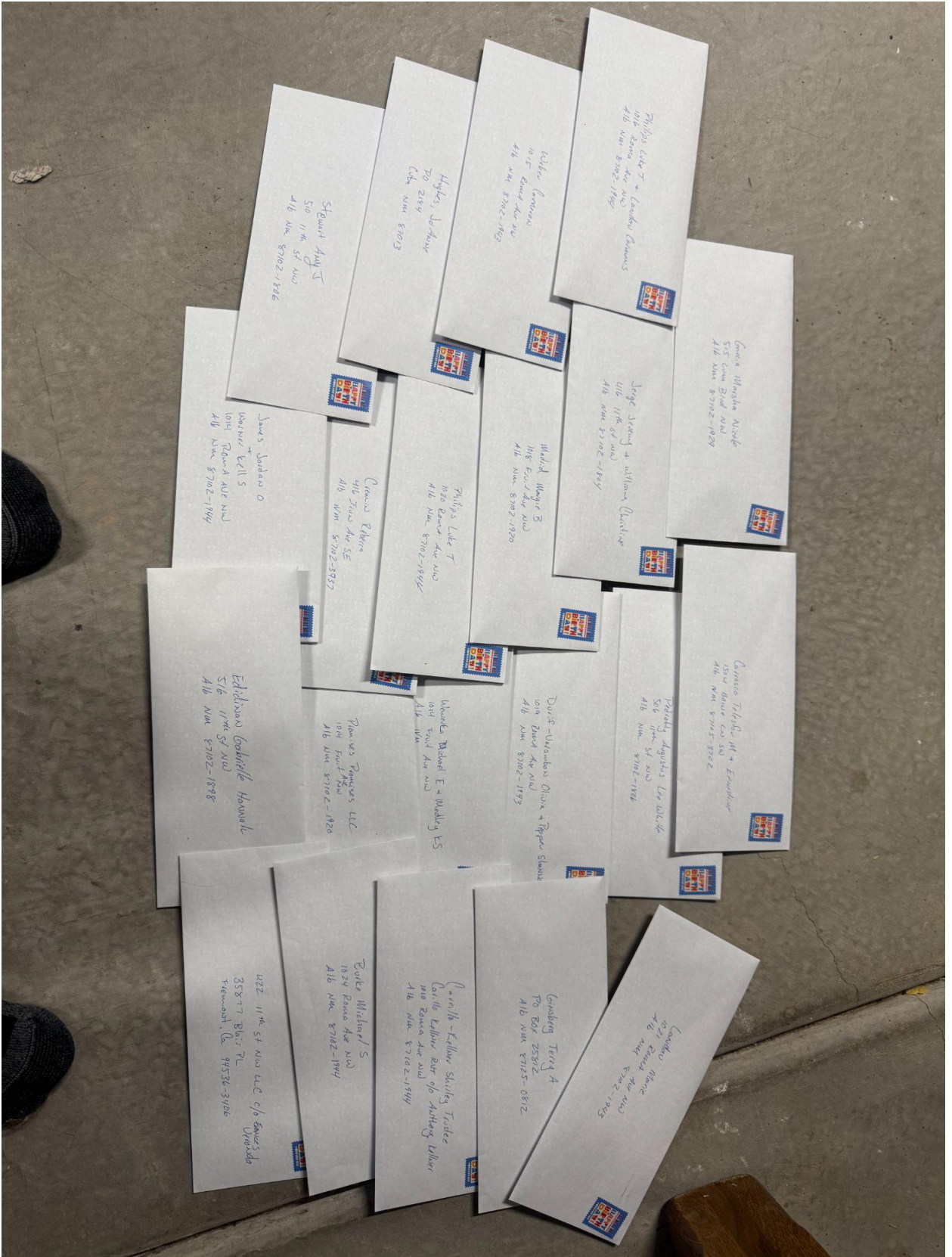
WEWERKA MICHAEL E & ME
1014 FRUIT AVE NW
ALBUQUERQUE NM 87102-1

PHILLIPS LUKE T
1020 ROMA AVE NW
ALBUQUERQUE NM 87102-

DURIF-VARAMBON OLIVIER
SHANNON
1019 ROMA AVE NW
A RIQUETVILLE NM 87102

PEDROTTY AUGUSTOS LE
506 11TH ST NW
ALBUQUERQUE NM 87103

JERGE JEREMY P & WILLIAM
M
416 11TH ST NW
ALBUQUERQUE NM 87102



Phillips Lake T + Landau Cammus
1016 Ramo Ave NW
416 NW 8702-1989

Conna Winston Alcock
515 East Blvd NW
416 NW 8702-1829

Jege, Jeremy + William Quintice
416 17th St NW
416 NW 8702-1897

Marik, Wayne B
1115 East Ave NW
416 NW 8702-1920

Hynes, LeAnne
702 NW
416 NW 8703

Shawn Amy J
510 11th St NW
416 NW 8702-1846

Phillips Lake T
1020 Ramo Ave NW
416 NW 8702-1984

Grand, Rhonda
416 17th St SE
416 NW 8702-3937

James Jordan O
1011 Ramo Ave NW
416 NW 8702-1944

Conna, Terrell M + Frankline
515 East Blvd NW
416 NW 8702-3922

Pratt, Angela Lee White
506 17th St NW
416 NW 8702-1886

Davis - Valentines Clinic + Paper Shaws
1016 Ramo Ave NW
416 NW 8702-1973

Wendy, Robert E + Madly ES
1011 East Ave NW
416 NW

Thomas Ramoers LLC
1014 East Ave NW
416 NW 8702-1920

Edrian, Gabrielle Hannah
516 17th St NW
416 NW 8702-1898

Landau, Wayne
1021 Ramo Ave NW
416 NW 8702-1903

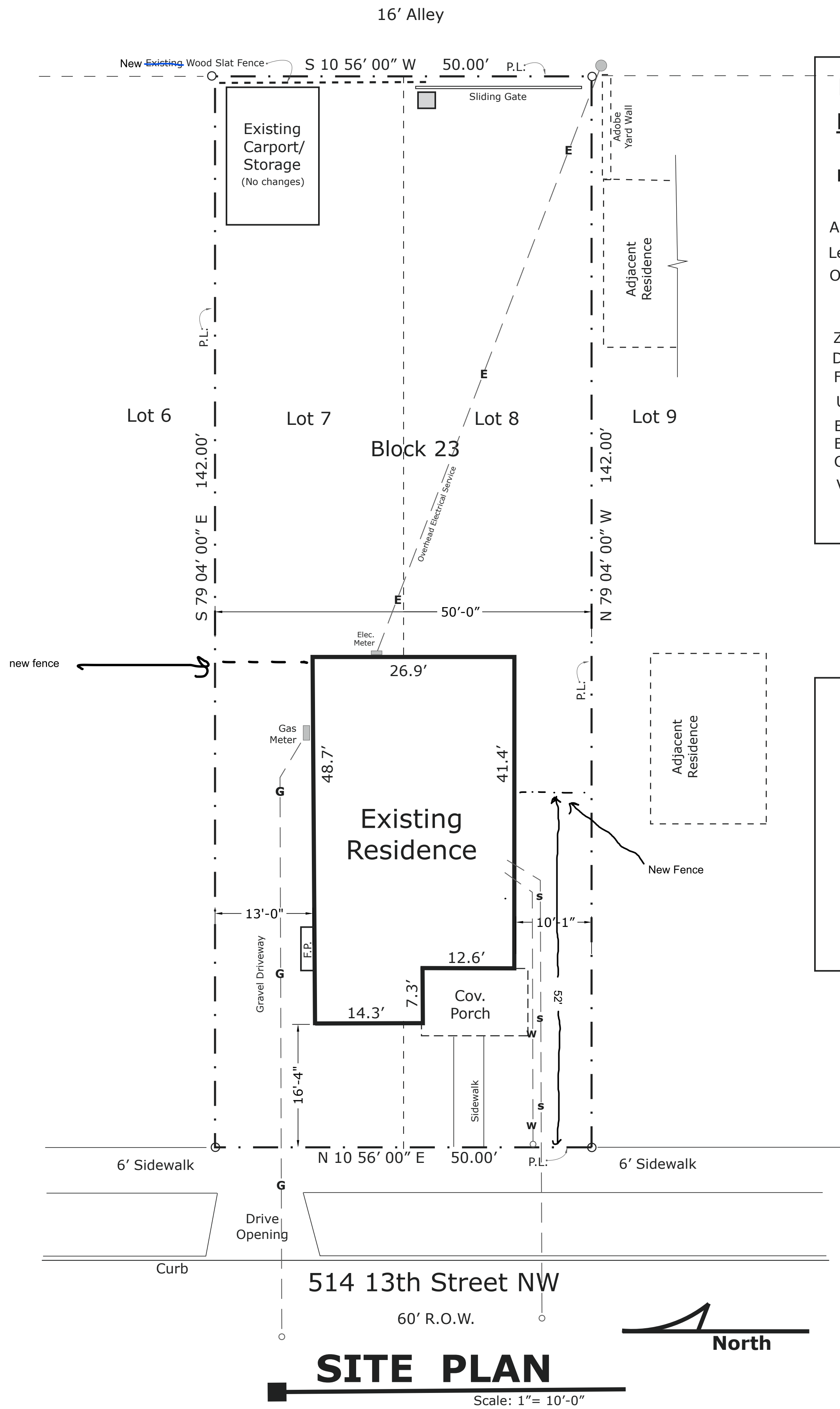
Ginsberg, Terry A
PO Box 25892
416 NW 8702-0812

Corrillo-Keller Shirley Trader
1016 Keller Bldg 910 Anthony Miller
1016 Ramo Ave NW
416 NW 8702-1944

Cutler, Michael S
1024 Ramo Ave NW
416 NW 8702-1944

422 11th St NW LLC c/o Bank
35877 Bldg 7L
Tremont, Ga 30156-3906

D) EXISTING SITE PLAN



Project Information

Project: Remodel to interior walls and finishes, including mechanical, electrical and plumbing.

Address: 514 13th Street NW, Albuquerque,NM.

Legal Description: Lot 7 & 8, Block 23, Perea Subdivision

Owner: Cameron Crandall & Gabriel Campos
1215 Fruit NW, Albuquerque,NM 87102
ccrandall@saludunm.com

Zoning: R-1A
Downtown Neighborhood Area - CPO- 3
Fourth Ward - HPO-4

UPC: 101305841715943314

Building - Heated 1,200 sq.ft.
Basement - Not Heated 170 sq.ft.
Covered Entry Porch - 90 sq.ft.

Valuation:

Sheet Index

- 1. - Site Plan
- 2. - Elevations
- 3. - Floor Plan
- 4. - Framing Plan
- 5. - Cabinets
- 6. - Electrical Plan
- 7. - Mechanical Plan

Notes

Date of Issue:
5 Jun 26
Updates:
16 Jun 26

Project Designer

Greg Baczek
Albuquerque, NM
gregbaczek@gmail.com
505-268-6361

Project Builder

Local Concepts
Jason Radler
505-710-3481
localconceptsnm@gmail.com

Site Plan

Owner

Cameron Crandall & Gabriel Campos
1215 Fruit NW
Albuquerque, NM 87102
ccrandall@saludunm.com

Sheet No.

1
of 7