

GENERAL SHEET NOTES

1. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
3. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY WILL BE INCLUDED ON A PUBLIC WORK ORDER.

SHEET KEYED NOTES

1. PARKING LOT STRIPING
2. PEDESTRIAN PATHWAY
3. NEW CURB CUT
4. ASPHALT DRIVE FOR AMBULANCE/LOADING AREA
5. CANOPY OVERHEAD
6. PATIENT DROP-OFF
7. FREESTANDING MONUMENT SIGN (TYPE A). SEE DETAIL B4/SDP-5.2
8. DUMPSTER ENCLOSURE. SEE DETAIL D5/SDP-1.2
9. PROPERTY LINE
10. CONCRETE CROSSWALK
11. MOTORCYCLE PARKING
12. BIKE RACK
13. CONCRETE SIDE WALK
14. NOT USED
15. NOT USED
16. 7' HIGH CMU SCREEN WALL. SEE DETAIL A3/SDP-1.2
17. NEW RIGHT TURN LANE. SEE CIVIL
18. BUILDING MOUNTED SIGN (TYPE B). SEE DETAIL A4/SDP-5.2
19. FREESTANDING UPRIGHT SIGN INDICATING MOTORCYCLE PARKING ONLY.
20. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
21. CONCRETE SIDEWALK ALONG COORS BLVD.

PROJECT DATA

BUILDING AREA
 PHASE I: 15,000 SF
 PHASE II: 35,000 SF

FULL BUILD OUT AREA: 51,000 SF

CONSTRUCTION TYPE: IIB
 OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

AMBULATORY CARE FACILITY	12,000 S.F. (PHASE I) + 4,000 S.F. (FUTURE)	
OUTPATIENT CLINIC	25,800 S.F. (PHASE II) + 9,400 S.F. (FUTURE)	
BASIC PARKING: 14-16-3-1(A)(18) OFF STREET PARKING PARKING PROVIDED AT 5 SPACES PER DOCTOR		
EMERGENCY/URGENT CARE:		
PHASE I	10 DOCTORS (5) =	50 SPACES
PHASE II (FUTURE EXPANSION)	15 DOCTORS (5) =	75 SPACES
OUTPATIENT CLINIC:		
PHASE I	19 DOCTORS (5) =	95 SPACES
PHASE II (FUTURE EXPANSION)	35 DOCTORS (5) =	175 SPACES
FULL BUILD OUT:		250 SPACES
ACCESSIBLE PARKING: 14-16-3-1(F)(9)(A) OFF STREET PARKING		
PHASE I	80 SPACES (76-100)	4 SPACES
PHASE II (FULL BUILD OUT)	255 SPACES (201-300)	7 SPACES
MOTORCYCLE SPACES: 14-16-3-1(C)(1) OFF STREET PARKING		
PHASE I	26-50	2 SPACES
PHASE II (FULL BUILD OUT)	151-300	5 SPACES
BICYCLE PARKING: 14-16-3-1(B)(3) OFF STREET PARKING		
PHASE I	50 SPACES	3 SPACES
PHASE II (FULL BUILD OUT)	250 SPACES	12 SPACES

PROJECT NO. _____

APPLICATION NO. _____

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
 YES NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

LEGEND

- PROPERTY LINE
- - - PHASE LINE
- - - EASEMENT
- RETAINING WALLS (SEE CIVIL)
- ▨ 6' WIDE CONCRETE CROSSWALK
- - - EXISTING 10' WIDE TRAIL
- LANDSCAPE AREA
- POLE LIGHT (20' MAX HEIGHT)
- ▾ SIDEWALK RAMP (ARROW POINTS DOWN)
- ⊕ FIRE HYDRANT

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PHS AMBULATORY CARE FACILITY
 ALBUQUERQUE, NM 87120

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DRAWN BY: AS
 REVIEWED BY: DH
 DATE: 04/03/2018
 PROJECT NO.: 18-0023.001

SDP 1-1
 OF 000



VICINITY MAP



SITE PLAN

ALBUQUERQUE CONTROL SURVEY
 ELEVATION: 5013.25 (NAD 83)
 DATE: 05/02/2018
 PROJECT NO.: 18-0023.001

ALBUQUERQUE CONTROL SURVEY
 ELEVATION: 5013.25 (NAD 83)
 DATE: 05/02/2018
 PROJECT NO.: 18-0023.001

LA LUX DE OESTE
 UNITS 1 THRU 3

12 OESTE
 THRU 3

INTRODUCTION:
 THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF COORS BLVD NW AND LEARNING RD. NW (TRACT 5 LANDS OF RAY A. GRAHAM III OWENWEST CORP.) THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE PRESBYTERIAN HEALTHCARE SERVICES CLINIC AND EMERGENCY DEPARTMENT FACILITIES. WITH THIS SUBMITTAL WE ARE REQUESTING APPROVAL FOR SITE PLAN FOR BUILDING PERMIT.

EXISTING CONDITIONS:
 TRACT 5 IS A 7.68 ACRE SITE THAT IS CURRENTLY UNDEVELOPED. THE SITE SLOPES TO THE SOUTHEAST TO A LOW POINT AND CULVERT AT THE SOUTHEAST CORNER OF THE SITE. THE CULVERT CROSSES LOOP 2 ROAD NW, WHICH IS A PRIVATE ROAD. RUNOFF FROM THE ULTIMATELY DRAINS TO RETENTION POND B AS IDENTIFIED IN THE NORTH ANDALUCIA DRAINAGE MASTER PLAN (E120015). THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C0114H.

BASED ON THE DRAINAGE MASTER PLAN REFERENCED ABOVE THE SITE IS ALLOWED TO DISCHARGE A TOTAL VOLUME OF 1.43 ACRE FEET IN THE 100-YEAR, 10 DAY STORM EVENT. THE DIFFERENCE BETWEEN DEVELOPED RUNOFF VOLUME AND ALLOWABLE DISCHARGE VOLUME MUST BE RETAINED ONSITE. THE APPROVED MASTER DRAINAGE PLAN WAS BASED ON THE CURRENT ZONING WITH A MAXIMUM OF 10 DU/ACRE.

METHODOLOGY:
 THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE CURRENT SITE PLAN.

PROPOSED CONDITIONS:
 THIS DRAINAGE MANAGEMENT PLAN WAS DEVELOPED BASED ON A FULLY DEVELOPED SITE. LAND TREATMENTS ARE ESTIMATED TO BE 15% C, 85% D. THE TOTAL RUNOFF VOLUME IN THE 100-YEAR, 10 DAY STORM IS 2.23 ACRE FEET. THE REQUIRED ONSITE RETENTION VOLUME IS 0.8 ACRE FEET. RUNOFF IN EXCESS OF THE RETENTION VOLUME WILL DISCHARGE THROUGH THE EXISTING CULVERT CROSSING LOOP 2 ROAD WILL FOLLOW ITS HISTORIC PATH TO POND B.

CONCLUSION:
 THE REQUIRED ONSITE RETENTION VOLUME PROVIDED IS IN ACCORDANCE WITH THE APPROVED MASTER DRAINAGE PLAN. THE GRADING AND DRAINAGE PLAN IS IN CONFORMANCE WITH CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST SITE PLAN FOR BUILDING PERMIT APPROVAL.

LA LUX DE OESTE
 UNITS 1 THRU 3

LA LUX DE OESTE
 UNITS 1 THRU 3

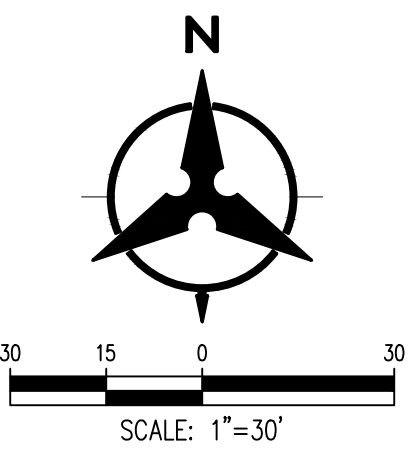
TRACT 4
 LANDS OF RAY GRAHAM III, OWENWEST CORP.
 AND CITY OF ALBUQUERQUE
 FILED APRIL 1, 2002 IN FILE BOOK 20002, PAGE 191

KEYED NOTES

1. STORM DRAIN PIPE.
2. STORM DRAIN MANHOLE.
3. STORM DRAIN INLET.
4. RETAINING WALL (RW)

LEGEND

- 5301 --- EXISTING CONTOURS
- x 5301.15 EXISTING GROUND SPOT ELEVATION
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK / RIDGE OR HIGH POINT
- ===== PROPOSED RETAINING WALL
- 5305 ----- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- SD PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

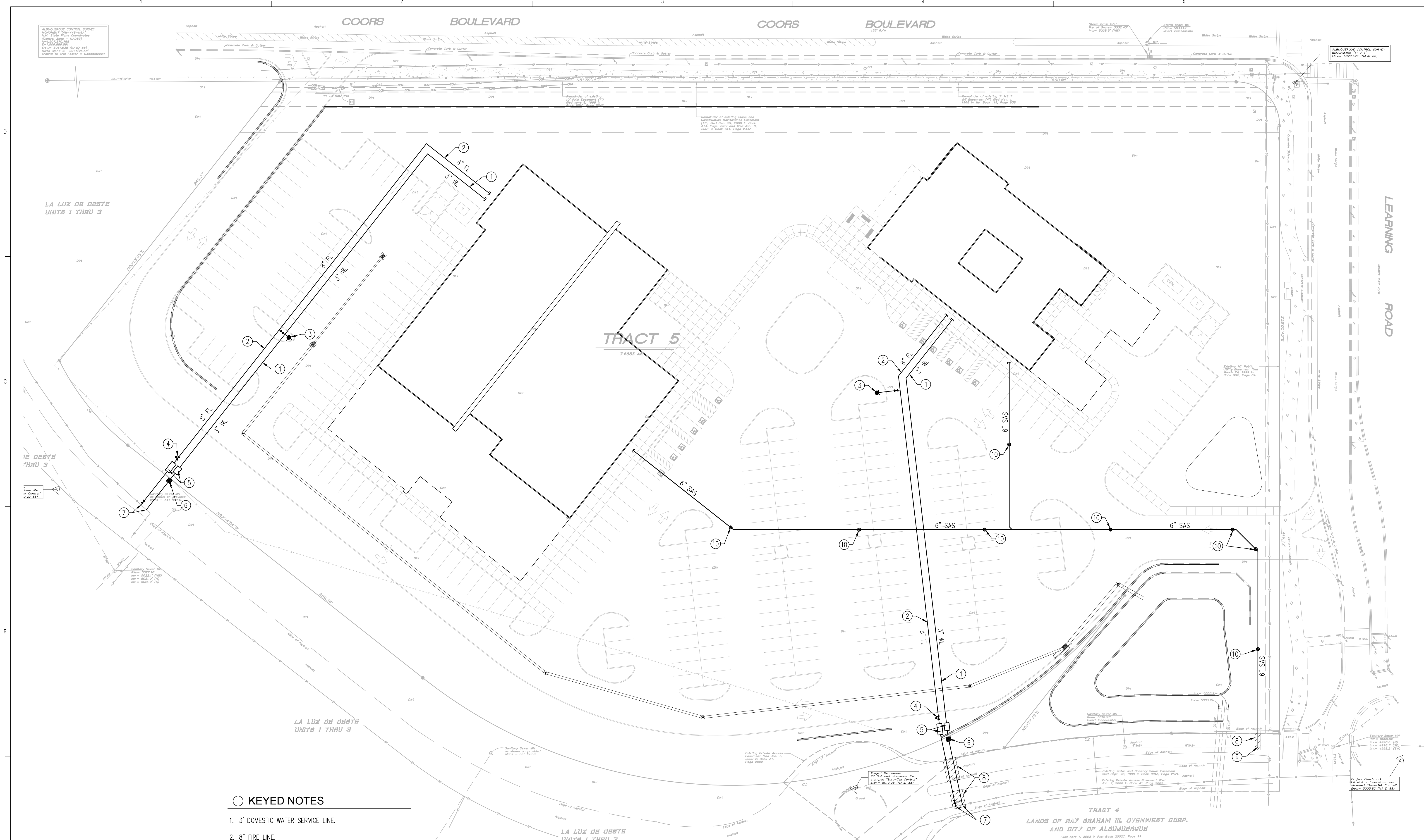


DEKKER PERICH SABATINI ARCHITECTURE / DESIGN / INSPIRATION 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.9700 DPSDESIGN.ORG	REVISIONS 1 2 3
	PHS AMBULATORY CARE FACILITY ALBUQUERQUE, NM 87120 CONCEPTUAL GRADING & DRAINAGE PLAN DRAWING NAME
DRAWN BY: BO REVIEWED BY: GSB DATE: 05/02/2018 PROJECT NO.: 18-0023.001	SHEET NO. C100 OF 000

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ALBUQUERQUE CONTROL SURVEY
 MONUMENT "50-44-104"
 N.M. State Plane Coordinate
 Zone 10N
 FIPS 5000
 Zone 10N
 Datum: NAD 83
 Spheroid: GRS 80
 Datum: NAD 83
 Spheroid: GRS 80
 Datum: NAD 83
 Spheroid: GRS 80

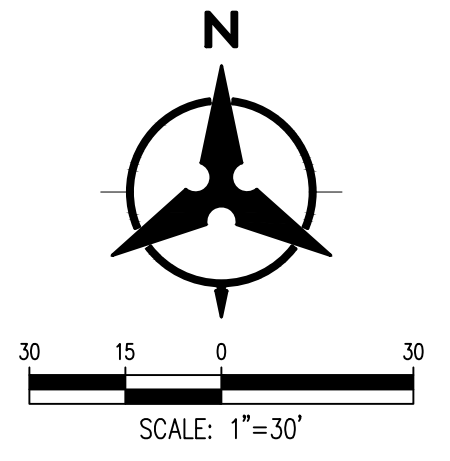
ALBUQUERQUE CONTROL SURVEY
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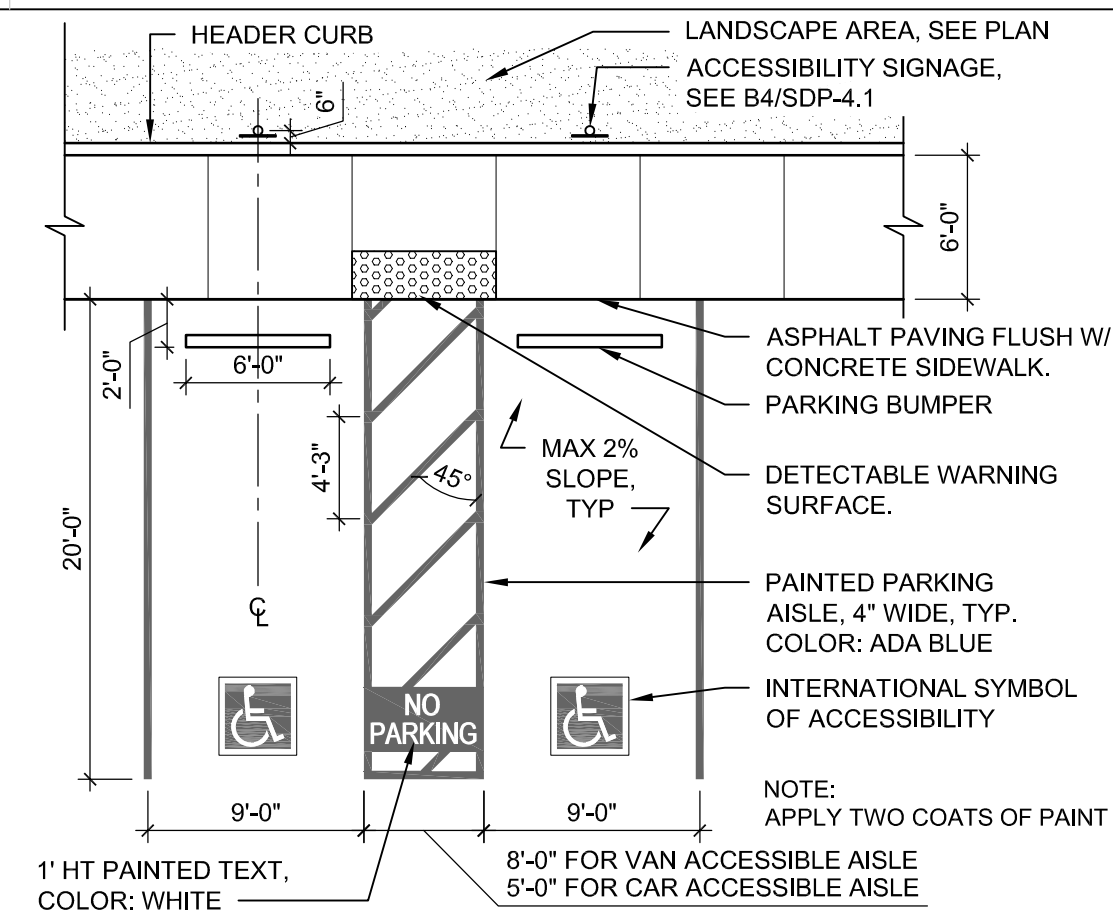
- KEYED NOTES**
- 3" DOMESTIC WATER SERVICE LINE.
 - 8" FIRE LINE.
 - FIRE HYDRANT.
 - POST INDICATOR VALVE (PIV).
 - REDUCED PRESSURE BACK FLOW PREVENTER WITH HEATED ENCLOSURE.
 - WATER METER.
 - CONNECT TO EXISTING WATER LINE.
 - REMOVAL & REPLACEMENT OF EXISTING ASPHALT.
 - CONNECT TO EXISTING SANITARY SEWER LINE.
 - SANITARY SEWER CLEANOUT.

LEGEND

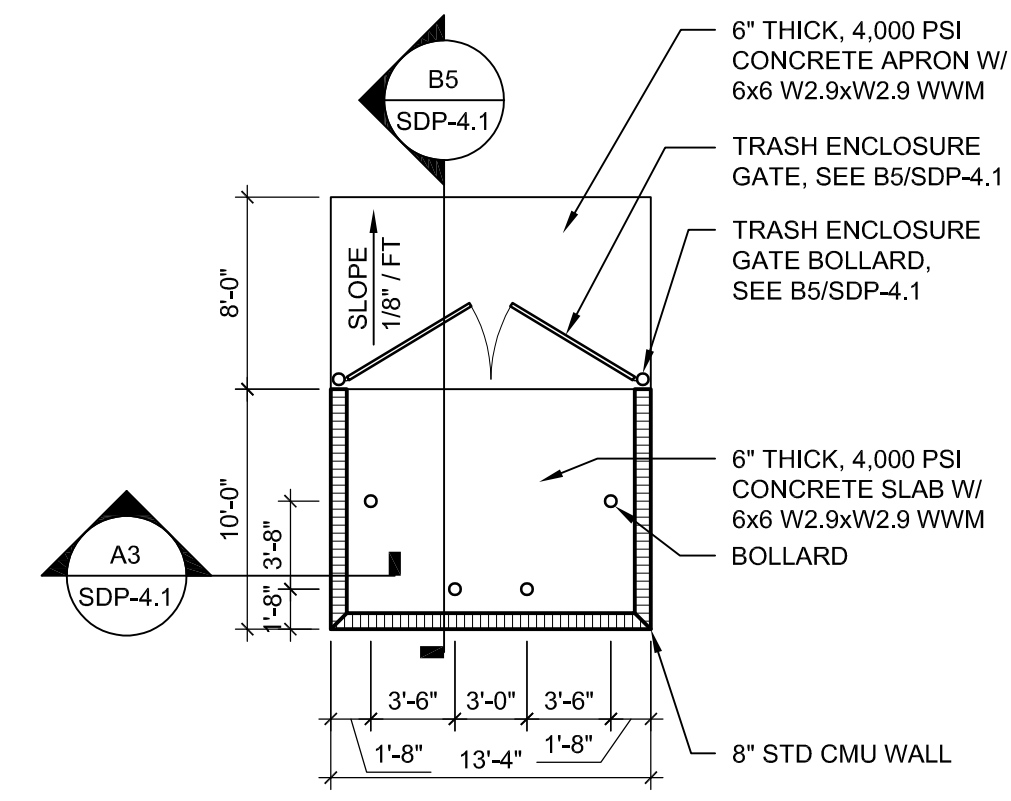
	EXISTING EASEMENT		PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER MANHOLE
	EXISTING WATER LINE		PROPOSED CLEANOUT
	EXISTING COMMUNICATION LINE		PROPOSED WATER LINE
	EXISTING VALVE		PROPOSED FIRE LINE
	EXISTING FIRE HYDRANT		PROPOSED HYDRANT
	EXISTING SANITARY SEWER MANHOLE		PROPOSED CAP
			PROPOSED WATER METER



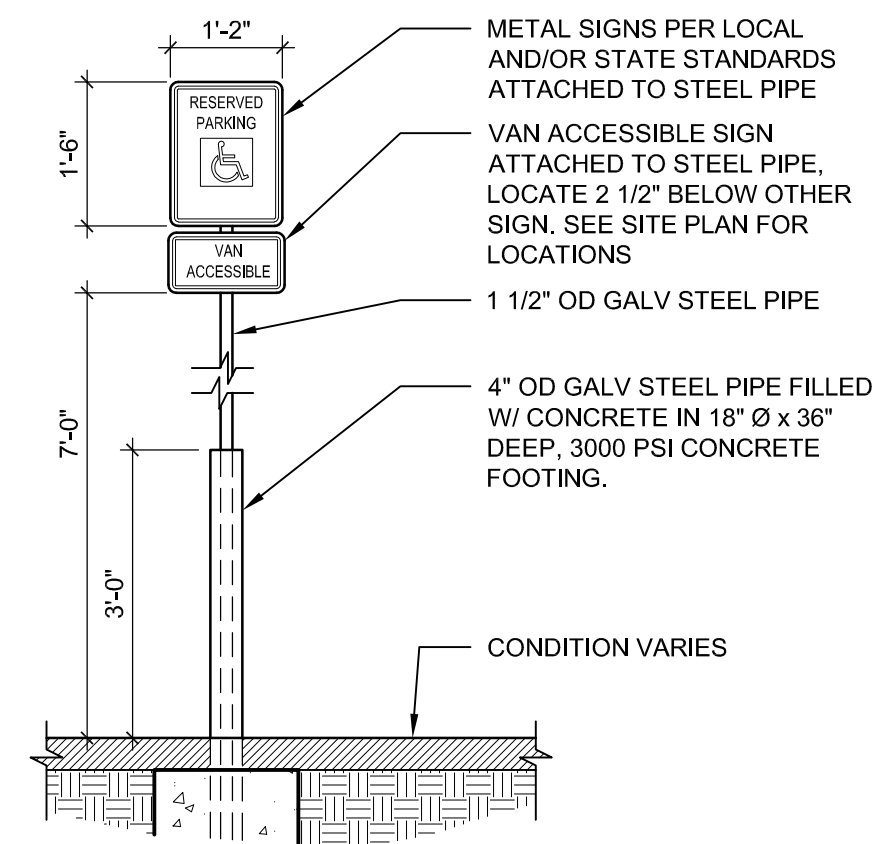
DEKKER PERICH SABATINI ARCHITECTURE / DESIGN / INSPIRATION 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.9700 DPDESIGN.ORG	REVISIONS
	PHS AMBULATORY CARE FACILITY ALBUQUERQUE, NM 87120 CONCEPTUAL UTILITY PLAN
DRAWN BY: BO REVIEWED BY: GSB DATE: 05/02/2018 PROJECT NO.: 18-0023.001	C200 OF 000



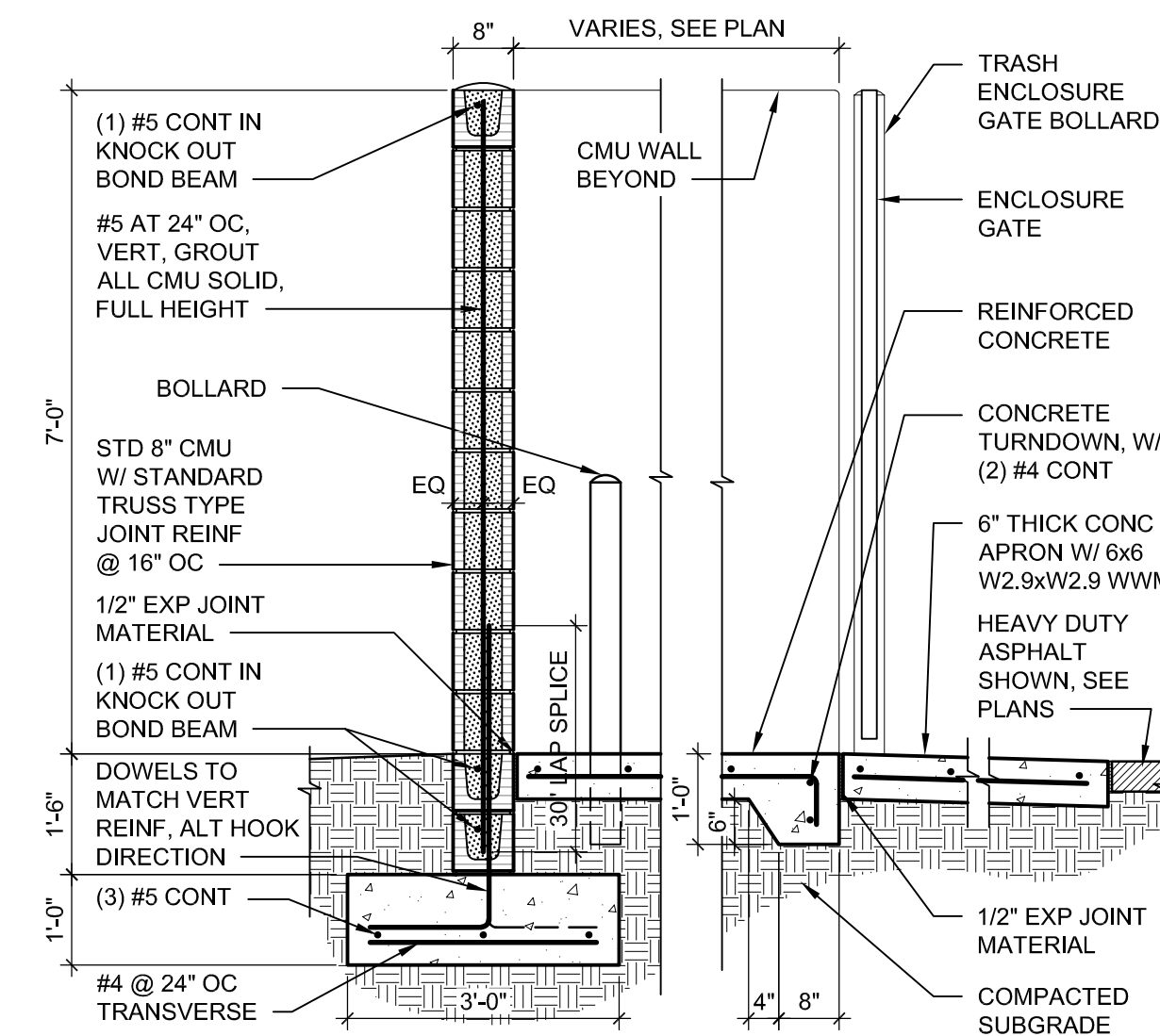
D4 ACCESSIBLE PARKING
1/8" = 1'-0"



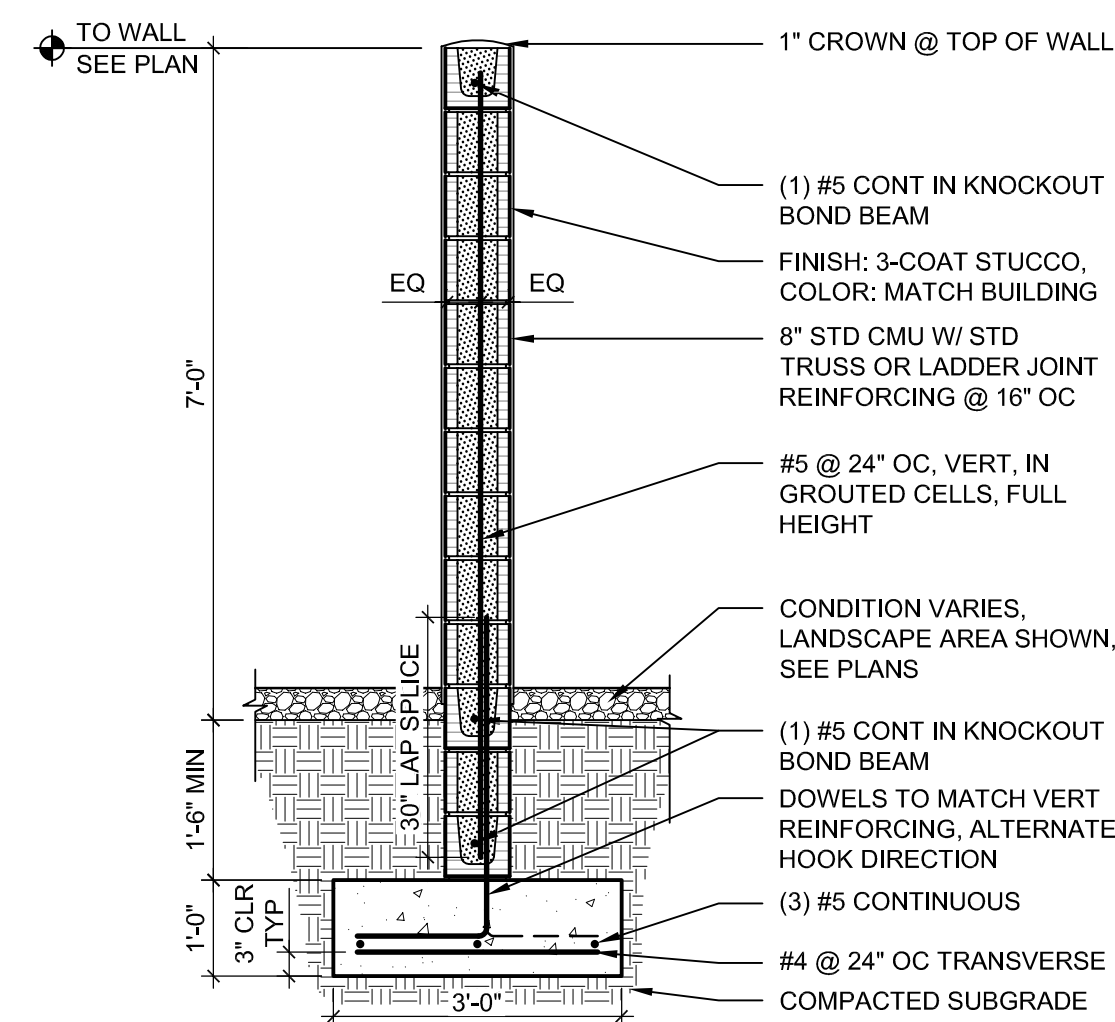
D5 TRASH ENCLOSURE
1/8" = 1'-0"



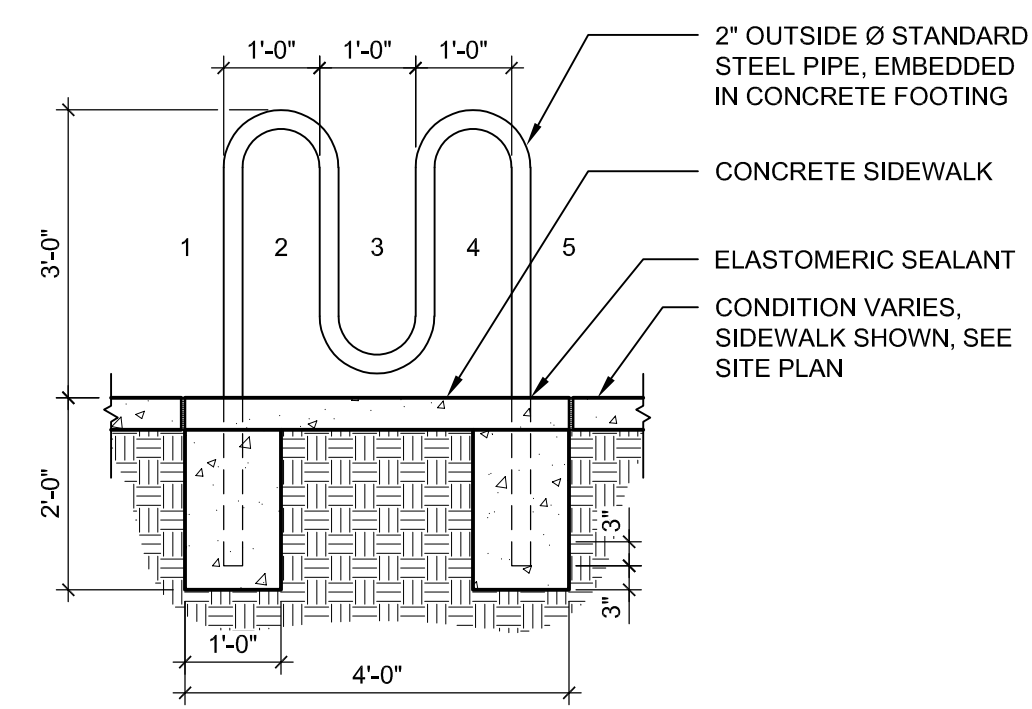
B4 POLE MOUNTED H.C. SIGN (VAN)
1/2" = 1'-0"



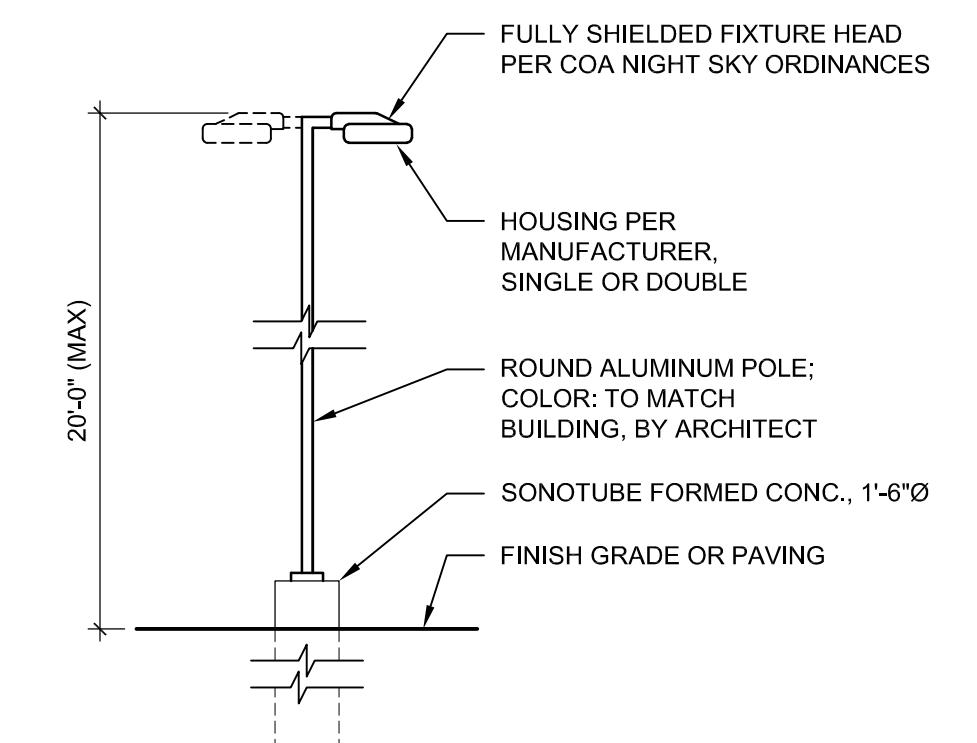
B5 TRASH ENCLOSURE CMU WALL AND GATE
1/2" = 1'-0"



A3 6' CMU SCREEN WALL
1/2" = 1'-0"



A4 BICYCLE RACK
1/2" = 1'-0"



A5 PARKING LIGHT POLE
1/4" = 1'-0"

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PHS AMBULATORY CARE FACILITY		
ALBUQUERQUE, NM 87120		
SITE DETAILS		
DRAWN BY: AS REVIEWED BY: DH DATE: 05/03/2018 PROJECT NO.: 18-0023.001	SHEET NO. SDP 1-2 OF 000	DRAWING NAME

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE
	46	Chilopsis linearis 'Arts Seedless'	Desert Willow	24" BOX	25.00	25.00	LOW
	14	Fraxinus pennsylvanica 'Urbanite'	Urbanite Ash	2" cal B&B	40.00	30.00	MED
	12	Populus fremontii wislizeni	Rio Grande Cottonwood	2" cal B&B	50.00	50.00	MED
	14	Quercus texana	Texas Red Oak	B & B	40.00	40.00	LOW
	25	Ulmus propinqua 'JFS-Bieberich'	Emerald Sunshine Elm	2" CAL	35.00	25.00	LOW
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE
	29	Artemisia filifolia	Sand Sage	5 gal	4.00	6.00	LOW
	5	Cercocarpus montanus	Mountain Mahogany	5 gal	8.00	8.00	LOW
	127	Chrysactinia mexicana	Damianita	5 gal	1.00	3.00	LOW
	106	Chrysothamnus nauseosa	Rubber Rabbitbrush	5 gal	6.00	6.00	LOW

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE
	131	Ericameria laricifolia	Turpentine Bush	5 gal	4.00	4.00	LOW
	128	Fallugia paradoxa	Apache Plume	5 gal	5.00	5.00	LOW
	9	Forestiera neomexicana	New Mexico Privet	24" BOX	15.00	15.00	LOW
	80	Rosa banksiae	Lady Banks Rose	5 gal	15.00	10.00	LOW
	130	Salvia greggii 'Ultra Violet'	Ultra Violet Sage	1 gal	2.00	2.50	LOW
	14	Vauquelinia californica	Arizona Rosewood	15 gal	15.00	10.00	LOW
ACCENT/GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE
	117	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal	3.00	3.00	LOW
	210	Hesperaloe parviflora	Red Yucca	5 gal	3.00	3.00	LOW
	67	Muhlenbergia rigens	Deer Grass	5 gal	5.00	5.00	LOW
	141	Nolina microcarpa	Beargrass	5 gal	5.00	5.00	LOW
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE
	135	Verbena bipinnatifida	Native Verbena	1 gal	0.50	1.50	LOW

LANDSCAPE NOTES

- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, AND STREET TREE REGULATIONS.
- THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION. THE PROPERTY OWNER ACKNOWLEDGES THAT APPROVED LANDSCAPING AND TREES IN THE RIGHT-OF-WAY MAY BE REMOVED BY THE CITY OR STATE WITHOUT COMPENSATION, BUT AT NO COST TO THE OWNER.
- THE ABILITY TO PROVIDE STREET TREES AS PART OF THIS PROJECT IS CONSTRAINED AND LIMITED BY UTILITY EASEMENTS. EASEMENTS ARE NOTED ON THE LANDSCAPE PLAN.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES SPRAY ZONES FOR IRRIGATED NATIVE SEED AND DRIP ZONES FOR ALL OTHER LANDSCAPING. IRRIGATION ZONES LOCATED IN CITY OF ALBUQUERQUE ROW WILL INCLUDE A SEPARATE VALVE AT THE PROPERTY LINE TO ALLOW ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC ROW.
- WATER MANAGEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE AREAS SHALL ACHIEVE 75% VEGETATIVE COVERAGE AT MATURITY. GROUND LEVEL PLANTS SHALL ACHIEVE 30% VEGETATIVE COVERAGE AT MATURITY.
- A LOW WATER USE NATIVE IRRIGATED NATIVE SEED IS USED ON THIS PROJECT IN ORDER TO STABILIZE SOIL AND MAXIMIZE VEGETATIVE COVER WITH A MINIMUM AMOUNT OF IRRIGATION, REDUCE THE URBAN HEAT ISLAND EFFECT ASSOCIATED WITH PAVING AND ROCK MULCH, AND REDUCE THE USE OF MINED MATERIALS AND HERBICIDES ASSOCIATED WITH ROCK MULCH.
- ROW LANDSCAPING ALONG LEARNING ROAD IS ALREADY PLANTED AND WILL BE PRESERVED AND PROTECTED.
- NO STREET TREES WERE PLANTED ALONG COORS TO COMPLY WITH THE COORS VIEW SHED TO THE EAST.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	334,976 SF (7.69 ACRES)
TOTAL BUILDING FOOTPRINT AREA (AT FULL BUILDOUT)	51,000 SF
NET LOT AREA	283,976 SF
LANDSCAPE REQUIREMENT	MIN. 15% OF NET LOT AREA
TOTAL LANDSCAPE REQUIREMENT	42,597 SF
TOTAL LANDSCAPE PROVIDED (INCLUDING ROW)	141,260 SF
VEGETATIVE COVER REQUIREMENTS	
TOTAL VEGETATIVE COVER REQUIRED	105,945 SF (75% OF LANDSCAPE AREA)
TOTAL VEGETATIVE COVER PROVIDED	112,949 SF (75% OF LANDSCAPE AREA)
TOTAL GROUND-LEVEL PLANT COVER REQUIRED	42,378 SF (30% OF LANDSCAPE AREA)
TOTAL GROUND-LEVEL PLANT COVER PROVIDED	43,135 SF
TREES PER PARKING SPACES - REQUIRED= 1 TREE / 10 PARKING SPACES	
NUMBER OF PARKING = 255 (AT FULL BUILD-OUT)	
REQUIRED NUMBER OF TREES= 26 TREES	
PROVIDED NUMBER OF TREES= 41 TREES	

SHEET KEYED NOTES

- CLEAR SIGHT TRIANGLE
- MOW CURB
- 10' UTILITY EASEMENT
- WATER AND SANITARY SEWER EASEMENT
- BERM
- PONDING AREA
- EXISTING LANDSCAPE TO PRESERVE AND PROTECT
- PROPERTY LINE

LEGEND

SYMBOL	NOTES
	IRRIGATED WESTSIDE SEED MIX
	ROCK MULCH, COLOR BROWN
	CRUSHER FINES, COLOR BROWN



PHS AMBULATORY CARE FACILITY

ALBUQUERQUE, NM 87120

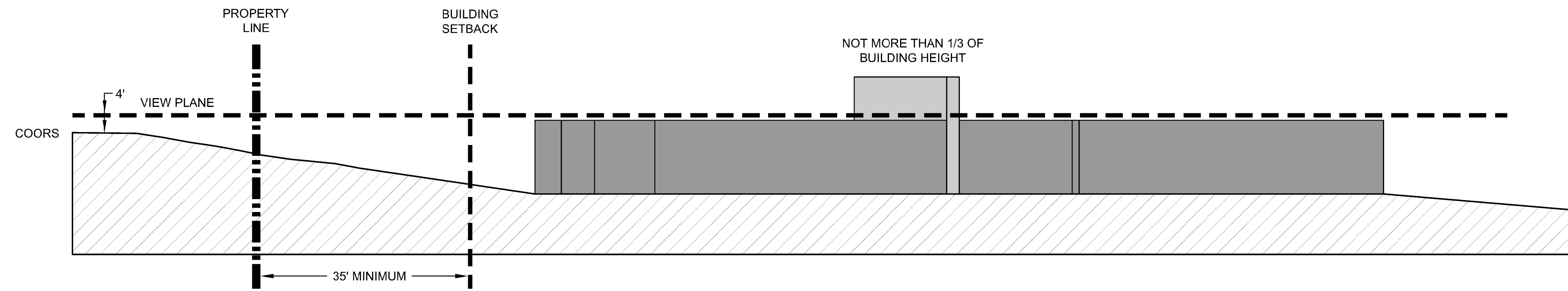
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 ALBUQUERQUE, NM 87119 | DPSDESIGN.ORG

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 REVIEWED BY: MB
 DATE: 06/03/2018
 PROJECT NO.: 18-0023.001

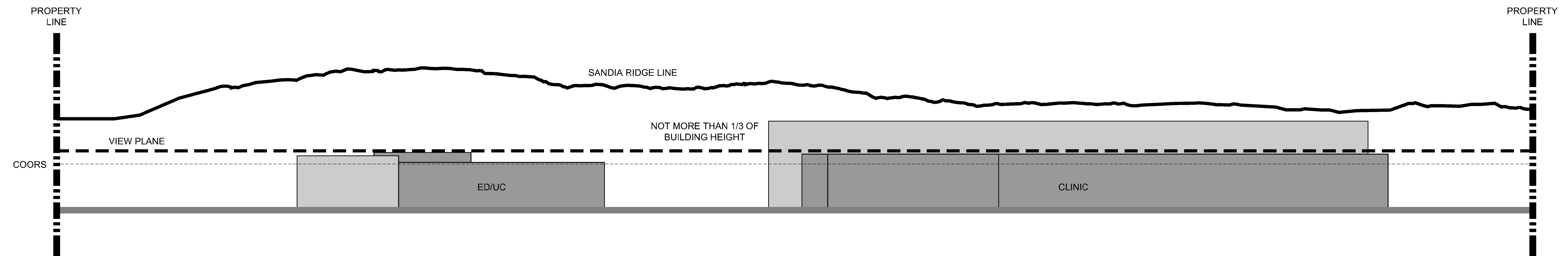
SDP-2.1
 OF 000

GENERAL SHEET NOTES

1. VIEW PLANE ESTABLISHED 4' ABOVE EAST EDGE OF COORS.
2. MAXIMUM BUILDING HEIGHT IS 27'.
3. ONLY 1/3 OF HEIGHT OF STRUCTURES ALLOWED TO PENETRATE ABOVE VIEW PLANE.
4. BULK OF STRUCTURES ARE ≤ 50% OF VIEW AREA.

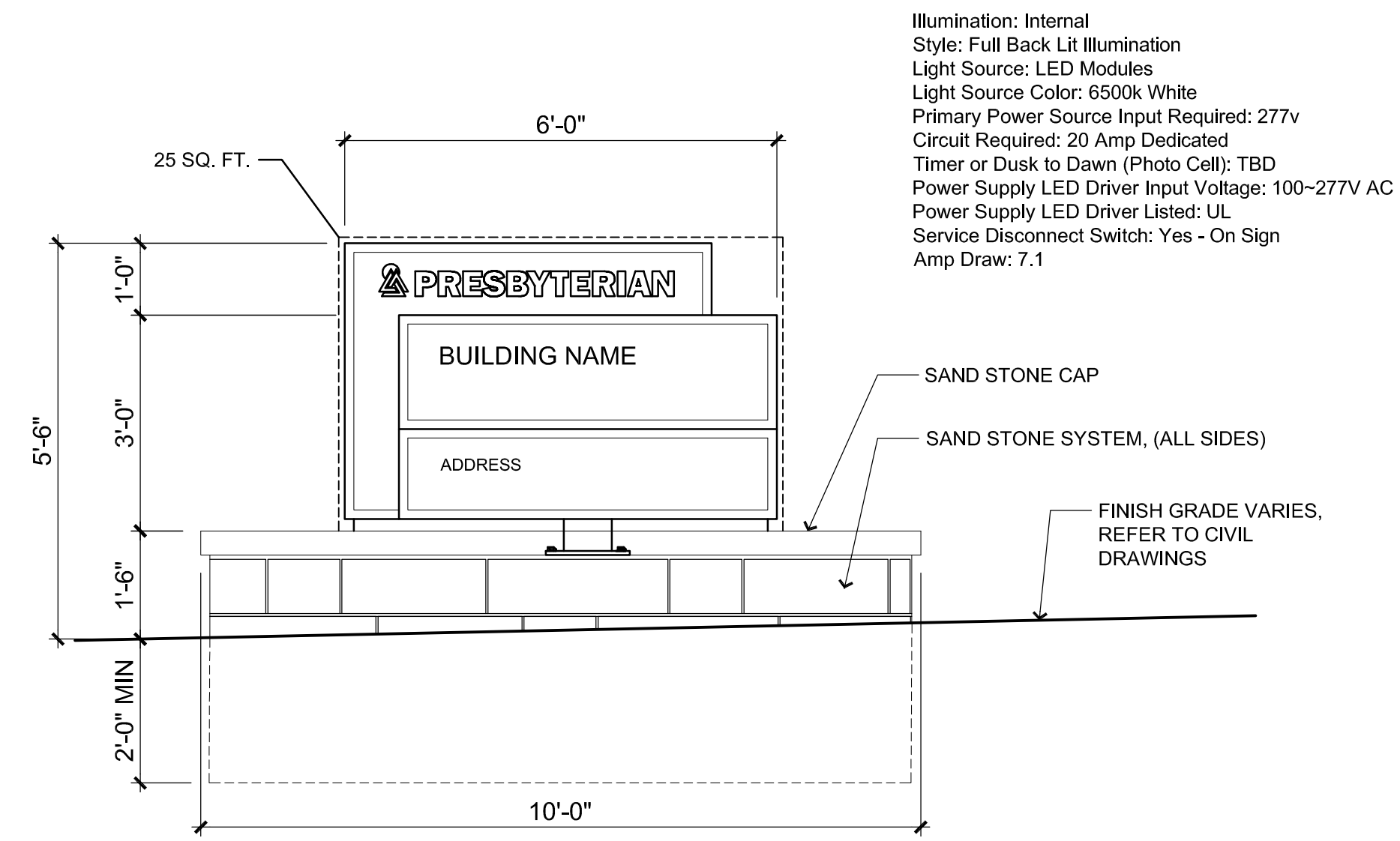


C2 CROSS SECTION
 1/16" = 1'-0"
 0 8' 16' 32'

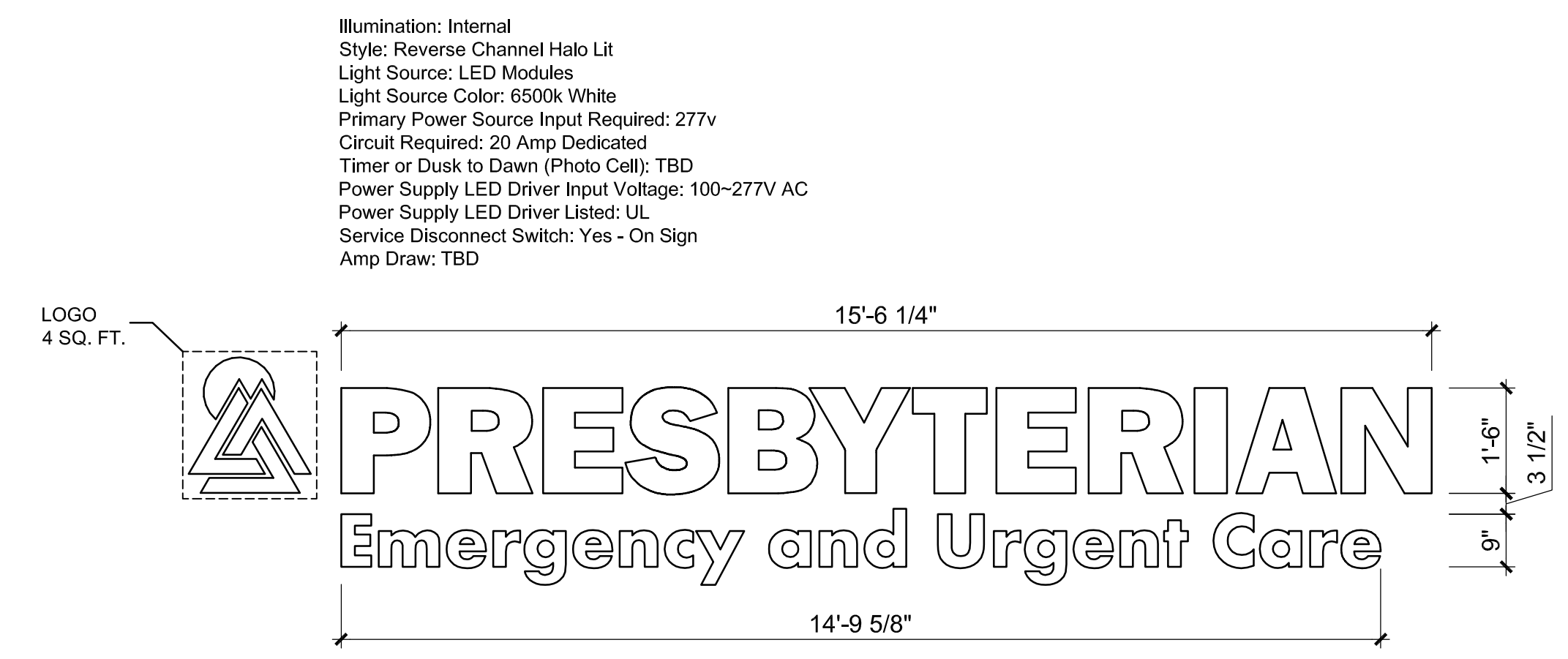


B2 ELEVATION TOWARD SANDIAS
 1/16" = 1'-0"
 0 8' 16' 32'

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PHS AMBULATORY CARE FACILITY ALBUQUERQUE, NM 87120		
VIEW CORRIDOR		
DRAWN BY: AS REVIEWED BY: DH DATE: 05/03/2018 PROJECT NO.: 18-0023.001	SHEET NO. SDP 5-3 OF 000	

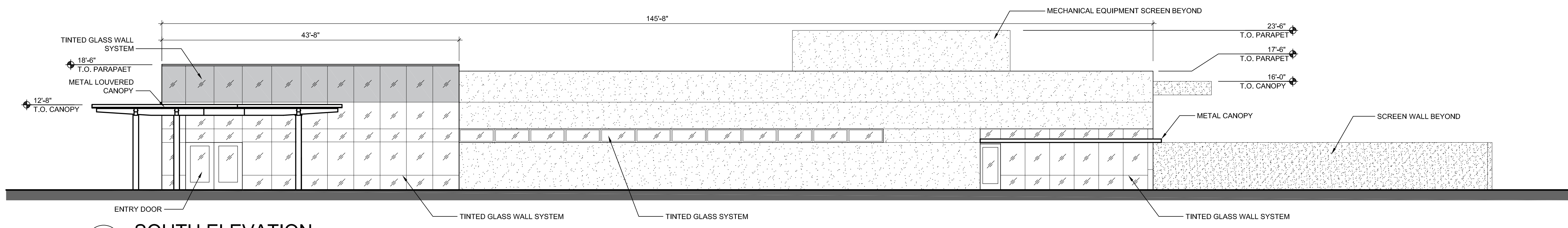


B4 FREE STANDING MONUMENT SIGN (TYPE A)
 1/2" = 1'-0"

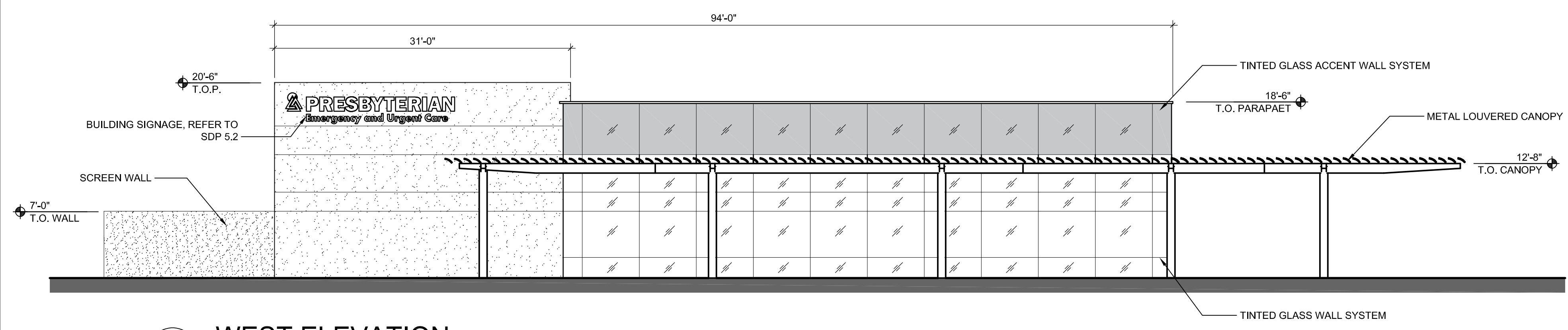


A4 BUILDING MOUNTED SIGN (TYPE B)
 1/2" = 1'-0"

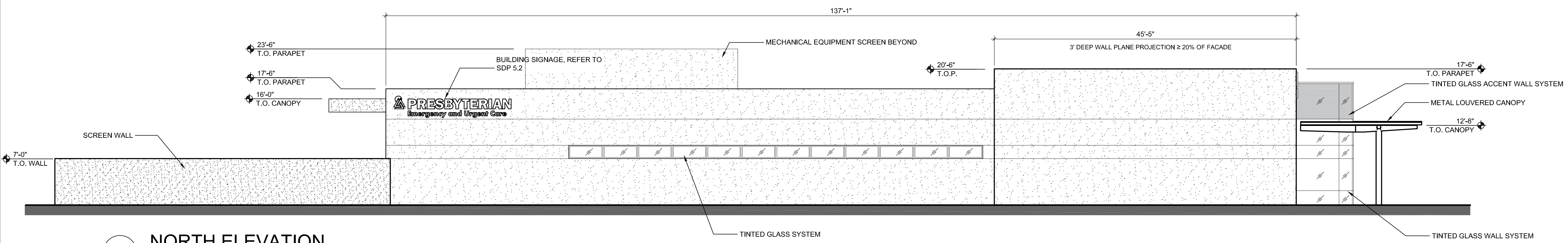
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	PHS AMBULATORY CARE FACILITY ALBUQUERQUE, NM 87120 DRAWING NAME
SIGN DETAILS	
DRAWN BY: AS REVIEWED BY: DH DATE: 05/03/2018 PROJECT NO.: 18-0023.001	SHEET NO. SDP 5-4 OF 000



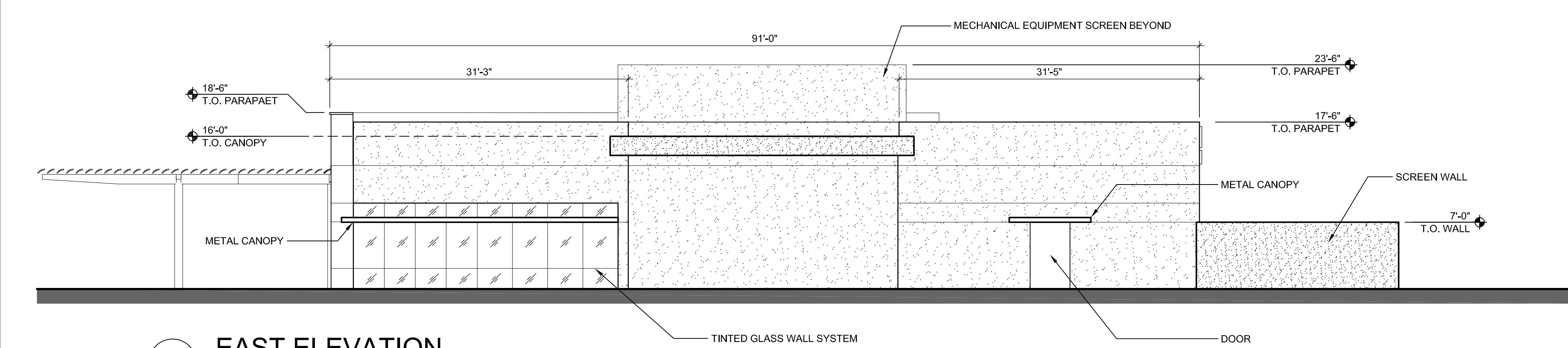
D1 SOUTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



C1 WEST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



B1 NORTH ELEVATION
1/8" = 1'-0"
0 4' 8' 16'



A1 EAST ELEVATION
1/8" = 1'-0"
0 4' 8' 16'

LEGEND

- DARK EARTHTONE EIFS ACCENT COLOR
- LIGHT EARTHTONE EIFS COLOR

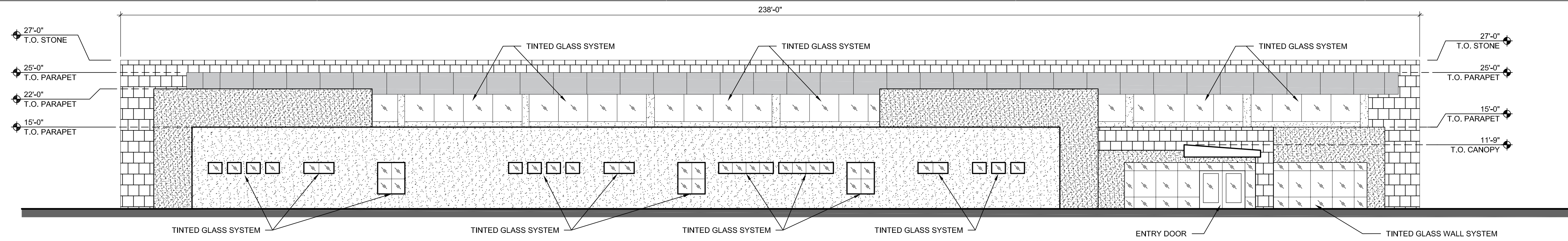
	ARCHITECTURE / DESIGN / INSPIRATION	REVISIONS
	7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.5700 DPSDESIGN.ORG	

PHS AMBULATORY CARE FACILITY
ALBUQUERQUE, NM 87120

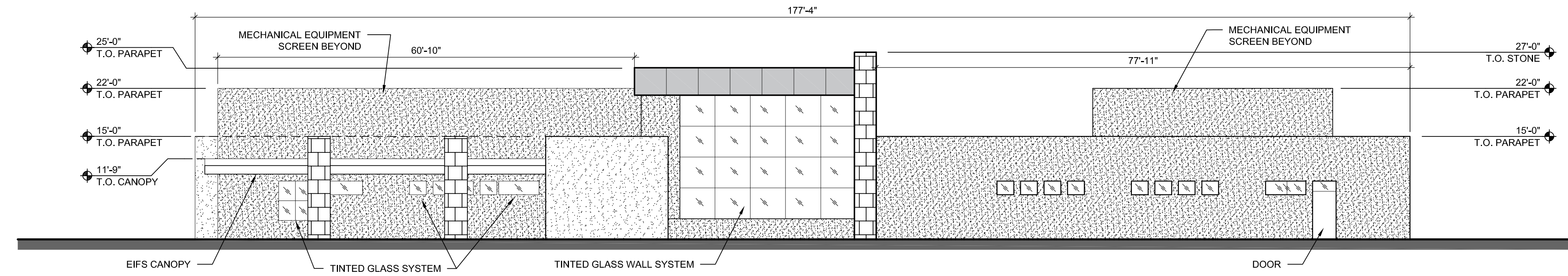
ELEVATIONS (AMBULATORY CARE FACILITY)

DRAWN BY: AS
REVIEWED BY: DH
DATE: 05/03/2018
PROJECT NO.: 18-0023.001

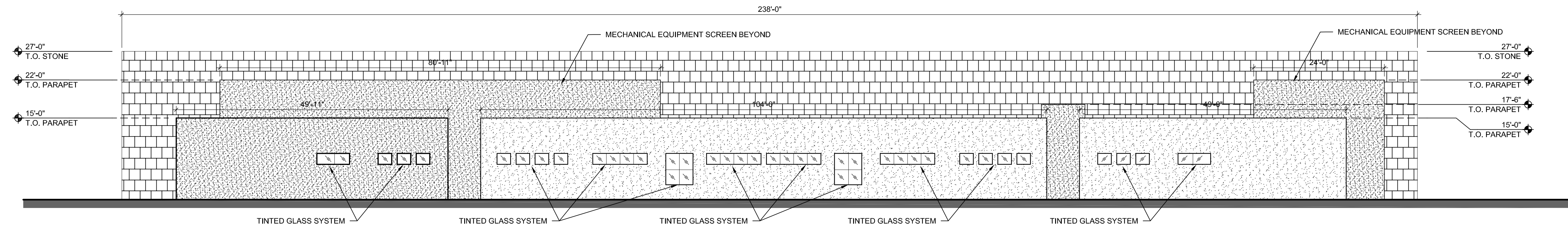
SDP 5-1
OF 000



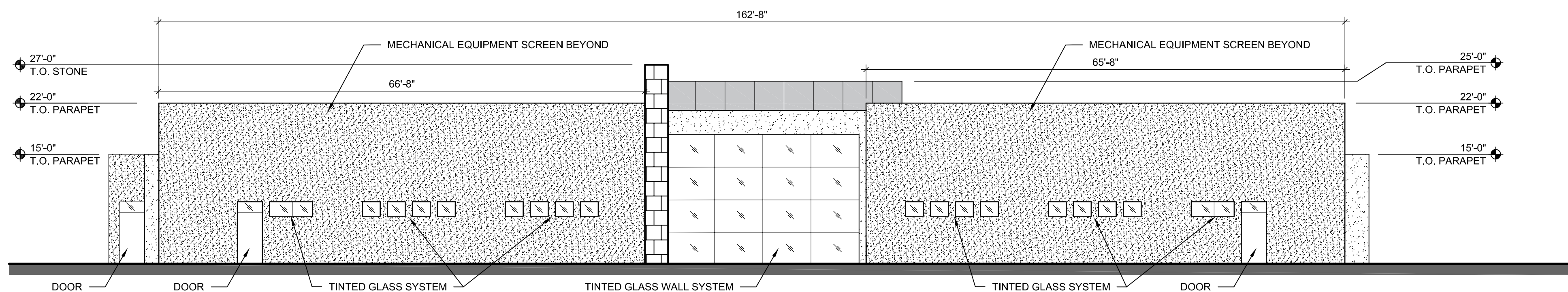
D1 EAST ELEVATION
3/32" = 1'-0"



C1 NORTH ELEVATION
3/32" = 1'-0"



B1 WEST ELEVATION
3/32" = 1'-0"



A1 SOUTH ELEVATION
3/32" = 1'-0"

LEGEND	
	DARK EARTHSTONE EIFS ACCENT COLOR
	LIGHT EARTHSTONE EIFS COLOR
	STONE

DEKKER PERICH SABATINI	ARCHITECTURE / DESIGN / INSPIRATION	<small>REVISIONS</small>
	<small>7601</small> JEFFERSON NE, SUITE 100 <small>ALBUQUERQUE, NM 87109</small>	

PHS AMBULATORY CARE FACILITY ALBUQUERQUE, NM 87120	
ELEVATIONS (FUTURE CLINIC)	
<small>DRAWN BY: AS</small> <small>REVIEWED BY: DH</small> <small>DATE: 05/03/2018</small> <small>PROJECT NO.: 18-0023.001</small>	<small>SHEET NO.</small> SDP 5-2 <small>OF 000</small>