

**Landmarks & Urban  
Conservation Commission**



**Agenda Number: 6  
Case No.: 16-LUCC-50006  
Project # 1010753  
March 9, 2016**

**Staff Report**

<b>Agent</b>	Maryellen Hennessy
<b>Applicant</b>	City of Albuquerque
<b>Request</b>	Adoption of Specific Development Guidelines
<b>Legal Description</b>	Multiple tracts and multiple blocks of the Perea Addition, Luna Place Addition, Coronado Addition and Park Addition
<b>Address/Location</b>	Fourth Ward and Eighth and Forrester Historic Overlay Zones.
<b>Size</b>	
<b>Zoning</b>	SU2/DNA multiple designations Map K14 & K15
<b>Historic Location</b>	Fourth Ward and Eighth and Forrester Historic Overlay Zones.

**Staff Recommendation**

**APPROVAL** of Case No.: 16-LUCC-50006 Project # 1010753 an application to adopt specific development guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones based on the Findings beginning on page 6.

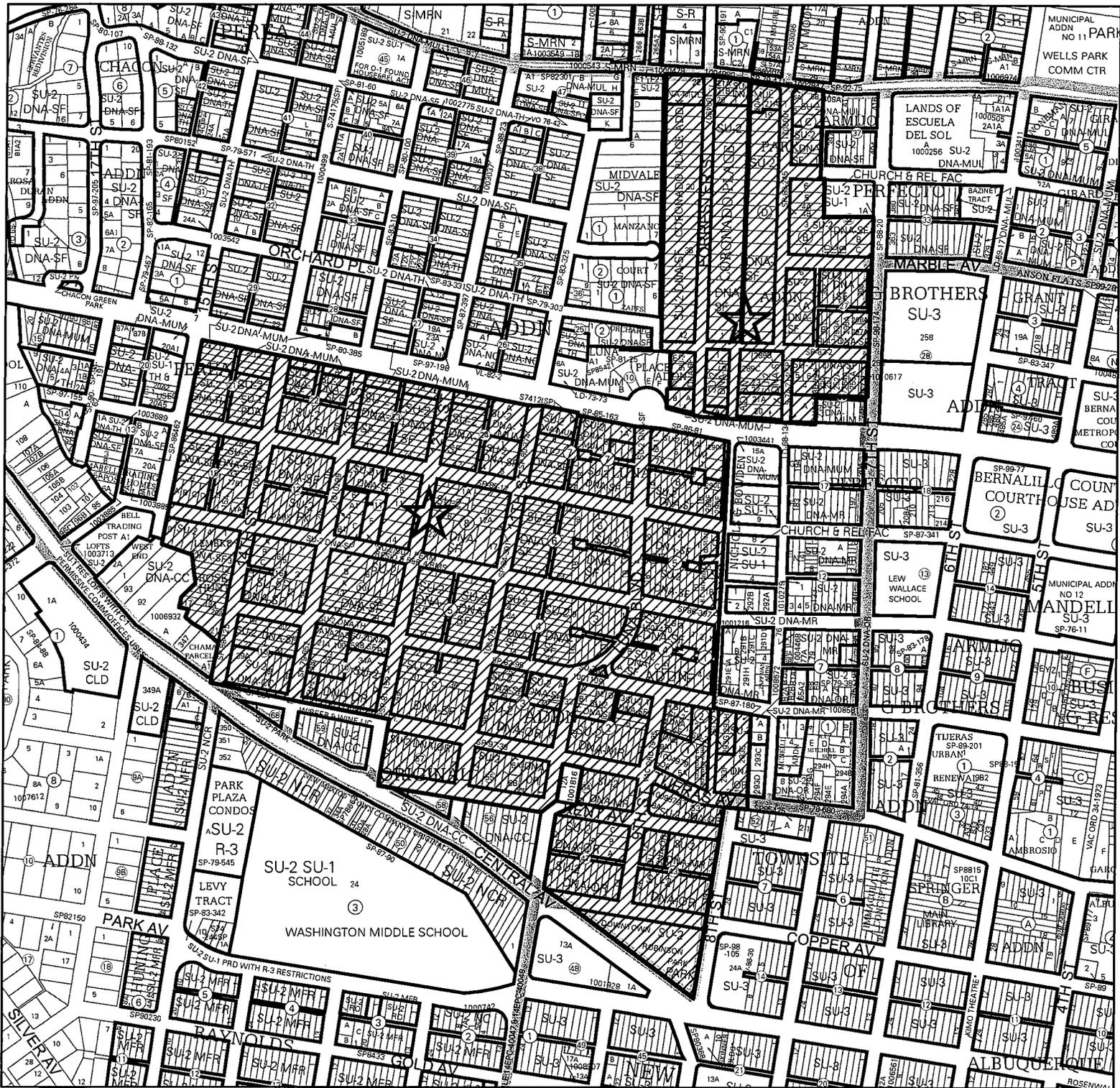
**Maryellen Hennessy  
Senior Planner  
Staff Planner**

**Summary and Background**

*This is an application by the City to revise the development (design) guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones. The two historic overlay zones are within the Downtown Neighborhoods Sector Plan area.*

*In 2009, the planning staff, in consultation with professional consultant Kells and Craig Architects, developed a format for guidelines for the historic overlay zones. The LUCC thought that guidelines for the various HOZ's could have consistent format and language to facilitate the decision making process. The LUCC and planning staff also thought that property owners and other applicants would benefit from more detail and direction provided in the development guidelines. The guidelines are accompanied by an illustrated handbook that includes educational information about the history and architecture of the historic districts as well as information about the application process for Certificates of Appropriateness. The handbook is informative only and can be supplemented without revision of the guidelines themselves. In addition, the revised guidelines include direction for the installation of solar equipment. Technology has changed considerably and outdated guidelines do not provide adequate direction in this area.*

*The revised guidelines were adopted by the LUCC for the Huning Highland and Silver Hill Historic Overlay Zones in 2010. No action was taken for the remaining historic overlays. The proposed guidelines have worked well in the other Historic Overlays. Staff recommends approval of the amended guidelines.*



# ZONING MAP

Note: Grey shading indicates County.

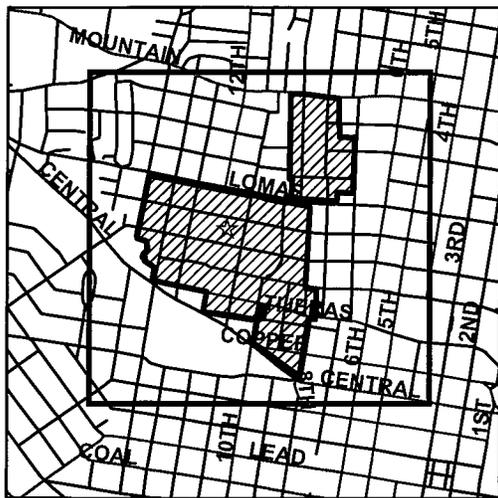


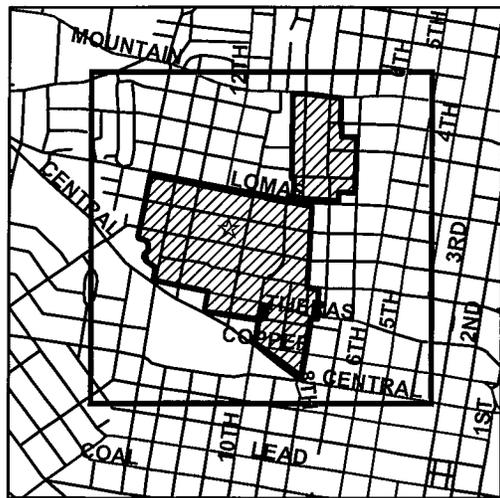
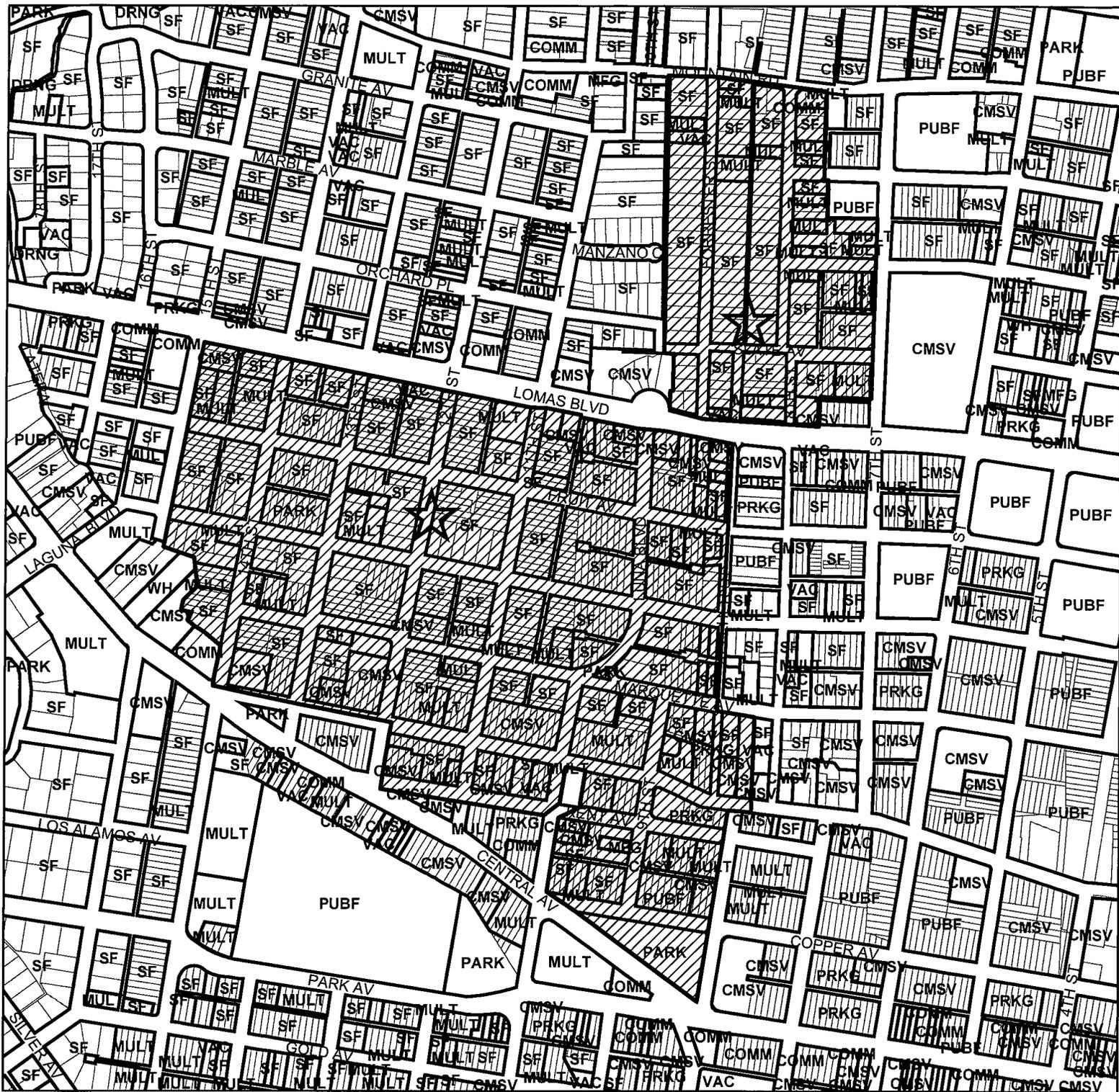
1 inch = 550 feet

Project Number:  
1010753

Hearing Date:  
03/09/2016

Zone Map Page: J-13  
Additional Case Numbers:  
16LUCC-5006





## LAND USE MAP

Note: Gray shading indicates County.

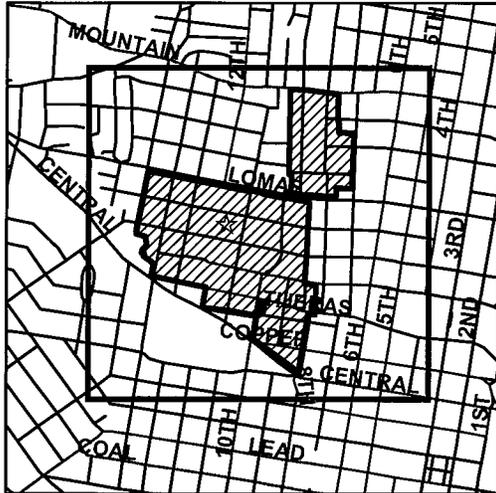
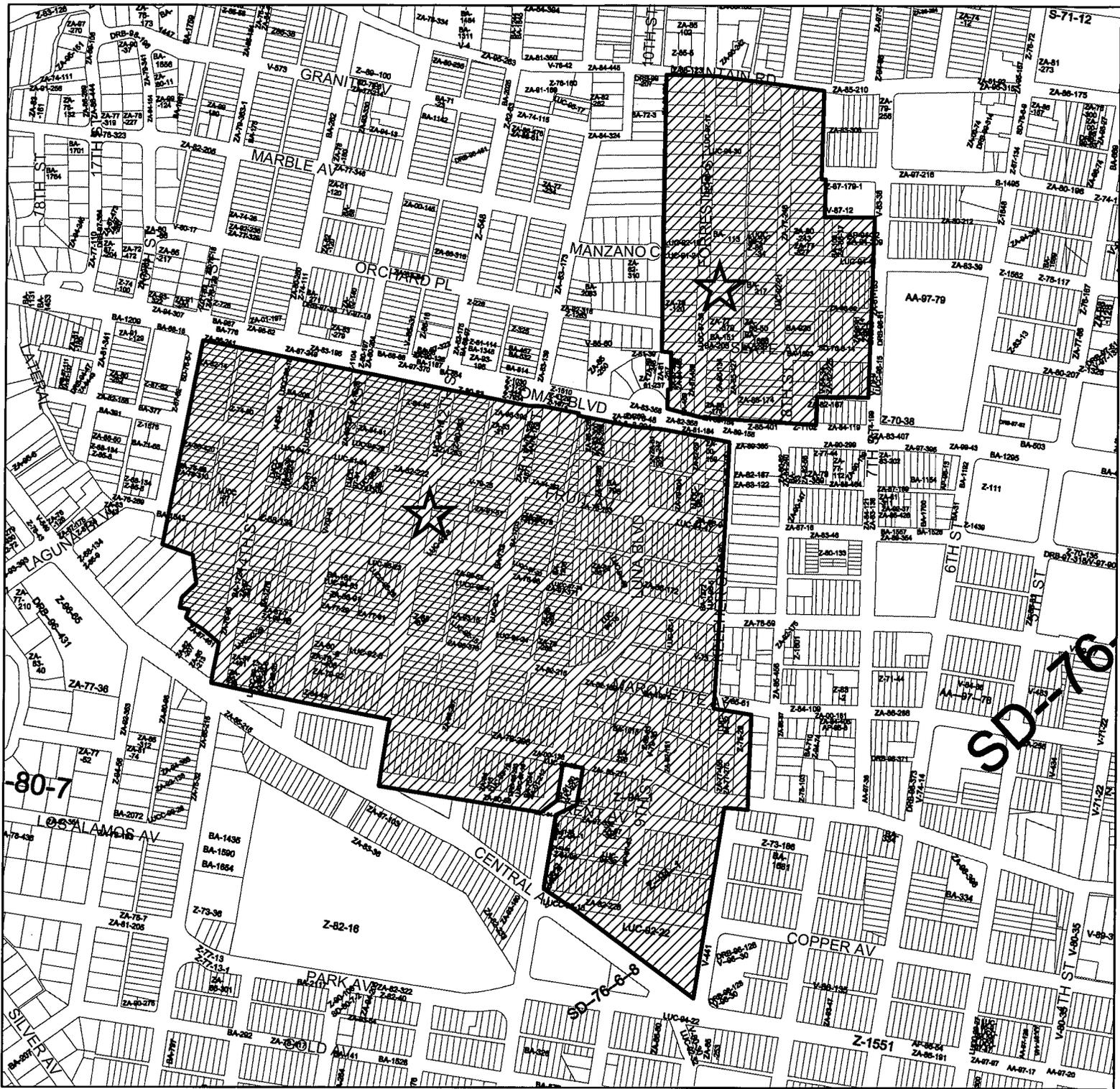
### KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 550 feet

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16LUCC-50006



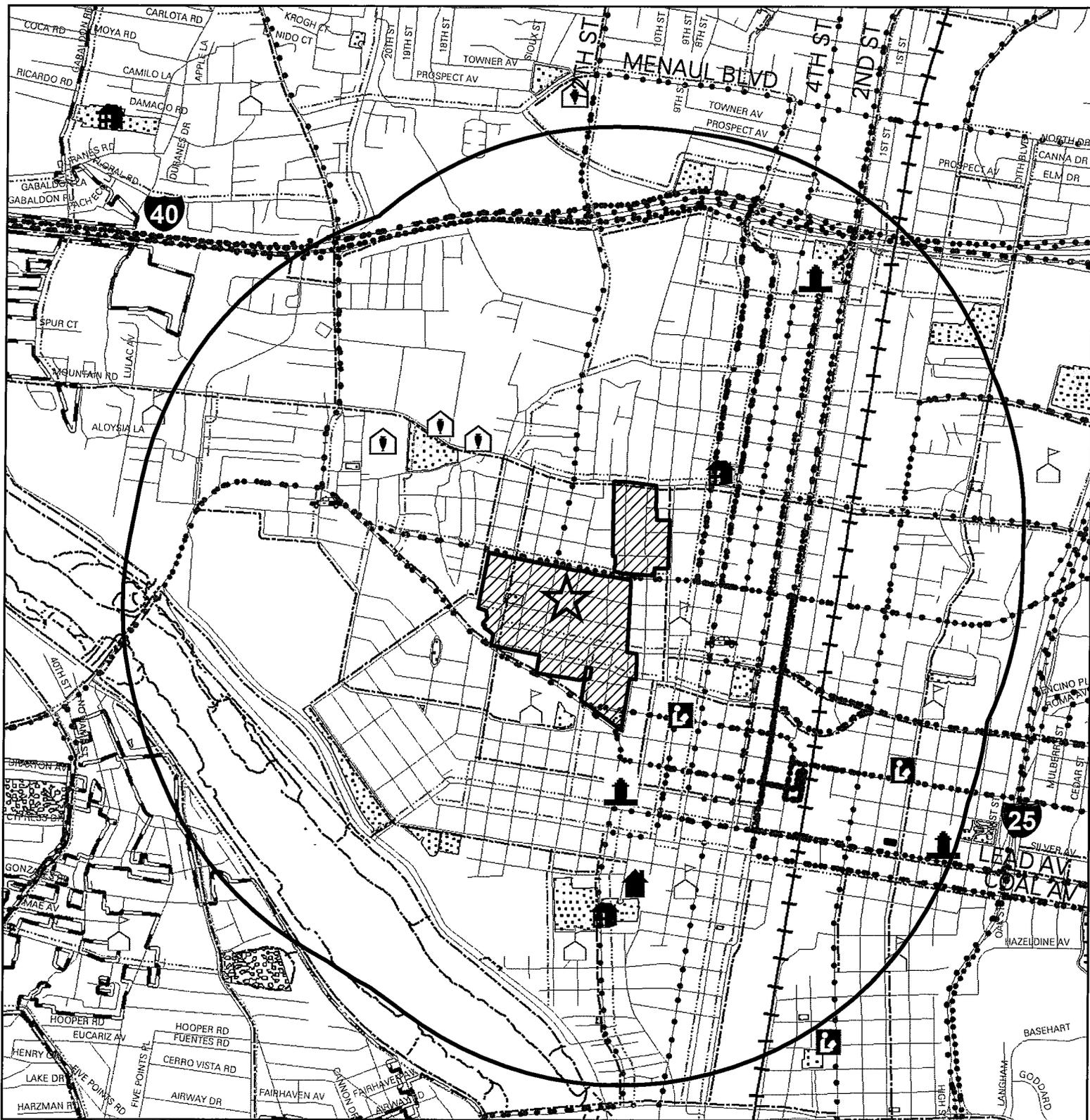
# HISTORY MAP

Note: Grey shading indicates County.



1 inch = 550 feet

Project Number:  
1010753  
Hearing Date:  
03/09/2016  
Zone Map Page: J-13  
Additional Case Numbers:  
16LUCC-50006

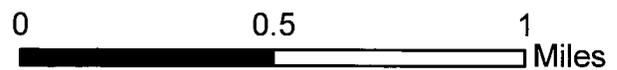


## Public Facilities Map with One-Mile Buffer

- |  |                      |  |                         |  |                          |  |                             |
|--|----------------------|--|-------------------------|--|--------------------------|--|-----------------------------|
|  | COMMUNITY CENTER     |  | FIRE                    |  | APS Schools              |  | Landfill Buffer (1000 feet) |
|  | MULTI-SERVICE CENTER |  | POLICE                  |  | ABQ Ride Routes          |  | Landfills designated by EHD |
|  | SENIOR CENTER        |  | SHERIFF                 |  | ABQ Bike Facilities      |  | Developed County Park       |
|  | LIBRARY              |  | SOLID WASTE             |  | Proposed Bike Facilities |  | Undeveloped County Park     |
|  | MUSEUM               |  | Albuquerque City Limits |  | Developed City Park      |  | Undeveloped City Park       |



Project Number: 1010753



***Development Review Division Report:***

***SUMMARY OF REQUEST***

<b><i>Requests</i></b>	<i>Adoption of specific development guidelines for Historic Overlay Zone</i>
<b><i>Location</i></b>	<i>Fourth Ward and Eighth and Forrester Historic Overlay Zones</i>

***AREA CHARACTERISTICS AND ZONING HISTORY***

***Surrounding zoning, plan designations, and land uses:***

	<b><i>Zoning</i></b>	<b><i>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</i></b>	<b><i>Land Use</i></b>
<b><i>Site</i></b>	SU-2	Central Urban; Huning Highlands Sector Development Plan	Residential/ Commercial
<b><i>North</i></b>	SU-2	same	Residential
<b><i>South</i></b>	SU-2	same	Residential/ Commercial
<b><i>East</i></b>	SU-2	same	Residential/Co mmercial
<b><i>West</i></b>	SU-2	same	Residential/ Commercial

***Proposal and Background***

This is an application forwarded by the City Planning Department to adopt revised development guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones (HOZ).

Under the HOZ, design review of new construction and alterations to existing buildings by the Landmarks and Urban Conservation Commission (LUCC) or its staff is required. The HOZ also controls demolition of existing buildings in the zone. The design review is conducted in accordance with development guidelines adopted for the zone. Approved projects are issued a “Certificate of Appropriateness” that certifies that the proposed development is in substantial compliance with the guidelines.

The Fourth Ward and Eighth and Forrester Historic Districts were listed on the National Register of Historic Places and the State Register of Cultural Properties in 1980. The City created the HOZ designation in 1991. Development (design) guidelines were adopted for the zone in 1991. The guidelines for the Fourth Ward Historic Overlay Zone were revised in 2002. The guidelines for the Eighth and Forrester Historic Overlay Zone have not been substantially revised since adoption with the exception of an amendment in 1998 regarding security features.

In 2009, the planning staff, in consultation with professional consultant Kells and Craig Architects, developed a format for guidelines for the historic overlay zones. The LUCC thought that guidelines for the various HOZ’s could have consistent format and language to facilitate the decision making

process. The LUCC and planning staff also thought that property owners and other applicants would benefit from more detail and direction provided in the development guidelines. The guidelines are accompanied by an illustrated handbook that includes educational information about the history and architecture of the historic districts as well as information about the application process for Certificates of Appropriateness. The handbook is information only and can be supplemented without revision of the guidelines themselves.

In addition, the revised guidelines include direction for the installation of solar equipment. Technology has changed considerably and outdated guidelines do not provide adequate direction.

The revised guidelines were adopted by the LUCC for the Huning Highland and Silver Hill Historic Overlay Zones in 2010. No action was taken for the remaining historic overlays.

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***ANALYSIS OF APPLICABLE PLANS, ORDINANCES, DESIGN GUIDELINES & POLICIES***

**City of Albuquerque Comprehensive Zoning Code**

§14-16-2-28 addresses Overlay Zones (appended to this report). If a HOZ change is approved by the City Council, the LUCC approves specific development guidelines for the area within 60 days of the approval by City Council. Those specific development guidelines should be consistent with the adopting resolution and are used to evaluate development proposals. The Landmarks and Urban Conservation Commission may amend the guidelines at a public hearing.

Overlay zones are mapped in addition to the provisions of another zone. The majority of properties in the Fourth Ward and Eighth and Forrester Historic Overlay Zones are zoned for residential uses. The overlay zone does not change any permissive, conditional or prohibited uses of the underlying zoning, but the overlay zone applies the requirements of the Landmarks and Urban Conservation (LUC) Ordinance (§14-12) to development proposals.

**Landmarks and Urban Conservation Ordinance**

The Landmarks and Urban Conservation Ordinance was first adopted by the City of Albuquerque in 1976 (§12, R.O.A., 1994). The intent of this ordinance is to:

*“Preserve, protect, enhance, perpetuate and promote the use of structures and areas of historical, cultural, architectural, engineering, archeological or geographic significance located in the city; to strengthen the city’s economic base by stimulating the tourist industry; to enhance the identity of the city by protecting the city’s heritage and prohibiting the unnecessary destruction or defacement of its cultural assets; and to conserve existing urban developments as viable economic and social entities.”*

§14-12-6(D) describes the powers and duties of the Commission and provides that the Commission may *“prepare and adopt specific development guidelines for any designated landmark, historic zone or urban conservation overlay zone.”* The development guidelines are used for the evaluation of applications for Certificates of Appropriateness.

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***NOTIFICATION***

This application was legally advertised and property owners within the boundaries of the Fourth Ward and Eighth and Forrester Historic Overlay Zone were individually notified by mail of the application and the March 9, 2016 LUCC public hearings regarding the adoption of the revised development guidelines. Staff attended a meeting of the Downtown Neighborhood Association on February 3, 2016 to discuss. Staff was encouraged to proceed with the application.

The Barelás, Broadway Central Corridors Partnership, Citizen's Information Committee of Martineztown, Downtown, Historic Old Town Property Owners Association, Huning Castle, Huning Highland, Martineztown Work Group, Raynolds Addition, Santa Barbara-Martineztown, Sawmill Area, Sawmill Community Land Trust, Silver Platinum Downtown, South Broadway, Villa De San Martin, Wells Park, and West Park Neighborhood Associations were notified of this application.

There is no known opposition to this request.

***CONCLUSION***

City planning staff with the participation of other professional consultants developed the proposed guidelines. The proposed guidelines were posted on City and local websites for review. The guidelines have worked well in the Huning Highland and Silver Historic Overlay Zones since 2010.

There is general consensus between the neighborhood association, city staff and the LUCC that the guidelines articulate the preservation goals and provide standards for development that protects the cultural resources of the historic districts.

The City's Comprehensive Zoning Code provides that the LUCC may amend the development guidelines at a public hearing.

Staff recommends that the amended development guidelines be adopted.

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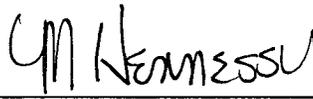
***FINDINGS for APPROVAL of Development Guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones - Case #16-LUCC-50006 / Project # 10100753 (March 9, 2016)***

1. This is an application to revise the development guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones, zoned SU2DNA/SF, SU2DNA/MR, SU2DNA/OR, SU2DNA/CC, SU2DNA/MUM, SU2DNA/MUL. The subject area contains multiple tracts and multiple blocks of the Perea Addition, Luna Place Addition, Coronado Addition, Park Addition and miscellaneous other minor subdivisions.
2. The Fourth Ward Historic District was nominated to the National Register of Historic Places and the State Register of Cultural Properties in 1980. The Historic Overlay Zone designation was applied by City Council resolution R-46-1991 on March 18, 1991.
3. The Fourth Ward and Eighth and Forrester Historic Districts include single-family houses, duplexes, and apartment buildings in the Queen Anne, Pueblo Revival, Tudor and Colonial Revivals, Southwest Vernacular, Craftsman Bungalow, styles and other building types dating between the turn of the twentieth-century and contemporary. There are no contributing historic commercial buildings in the overlays other than those that occupy converted historic houses.
4. The adoption of specific development guidelines to provide standards and controls for conserving the distinctive character of the historic districts by the Landmarks and Urban Conservation Commission are required by the City's Comprehensive City Zoning Code §14-12-6(D). These guidelines are to be developed and adopted by the LUCC following the overlay zone designation by the City Council and may be amended by the LUCC at a public hearing.
5. Individual property owners within the Historic Overlay Zones were notified by mail of the LUCC public hearing on March 9, 2016 to consider adoption of amended development guidelines.
6. The proposed amended guidelines were available for public review on the City Planning Department web site and provided to the Downtown Neighborhoods Association for posting on their web site from February 9, 2016 to the present.
7. The proposed amended guidelines do not conflict with the designation ordinance R-46-1991.
8. There is no known opposition to the adoption of the amended guidelines.

***RECOMMENDATION - - Case #16-LUCC-50006 / Project # 1010753 (March 9, 2016)***

**APPROVAL** of Case #16-LUCC-50006 / Project # 1010753, an application to adopt specific development guidelines for the Huning Highland Historic District based on the above 8 Findings.

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**Maryellen Hennessy, Senior Planner,  
Urban Design and Development Division**

Attachments:

- A-1 Recommended development guidelines
- A-2 §14-16-2-28 Comprehensive Zoning Code OVERLAY ZONES
- A-3 Adopting Resolution R-46-1991
- A-4 Existing guidelines for the Eighth and Forrester HOZ
- A-5 Existing guidelines for the Fourth Ward HOZ

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

<p><b>SUBDIVISION</b></p> <p><input type="checkbox"/> Major subdivision action</p> <p><input type="checkbox"/> Minor subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN – EPC, DRB &amp; Administrative Approval</b></p> <p><input type="checkbox"/> for Subdivision</p> <p><input type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> Minor Amendment (Administrative)</p> <p><input type="checkbox"/> Major Amendment (EPC, DRB)</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input checked="" type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p><b>STORM DRAINAGE (Form D)</b></p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p>Supp. Form</p> <p><b>S</b></p> <p><b>V</b></p> <p><b>P</b></p> <p><b>D</b></p> <p><b>L</b></p>	<p><b>ZONING &amp; PLANNING</b></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> Downtown 2010 SDP Conditional Use (\$100)</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning; includes Zoning within Sector Development Plans)</p> <p><input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar</p> <p><input type="checkbox"/> Text Amendment to Adopted Plan(s), Zoning Code, or Subd. Regulations</p> <p><input type="checkbox"/> Street Name Change (Local &amp; Collector)</p> <p><b>APPEAL / PROTEST</b></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other</p>	<p>Supp. form</p> <p><b>Z</b></p> <p><b>A</b></p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): \_\_\_\_\_ PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: City of Albuquerque Planning Dept. PHONE: 924-3860

ADDRESS: 600 2<sup>nd</sup> St. NW FAX: \_\_\_\_\_

CITY: Albuq STATE NM ZIP 87102 E-MAIL: mhennessy@cabq.gov

Proprietary interest in site: No List all owners: n/a

DESCRIPTION OF REQUEST: Adoption of Specific Development Guidelines for the Fourth Ward and 8<sup>th</sup> & Forrester HOZ

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Multiple Lots Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: Perea Addition, Luna Place Addition, Coronado Addition, Park Addition

Existing Zoning: SU2/DNA multiple Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_

Zone Atlas page(s): 200 J-15 & 14 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_ Total site area (acres): \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Fourth Ward and 8<sup>th</sup> & Forrester HOZ

Between: Central and Mountain Road

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE M Hennessy DATE 2/9/16

(Print Name) M HENNESSY Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>16 LUCC - 50006</u>	<u>COA</u>	_____	\$ <u>0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>March 9, 2016</u>			Total \$ <u>0</u>

[Signature]

2-9-16  
Staff signature & Date

Project # 1010753

Revised: 4/2012

FORM L: LANDMARKS AND URBAN CONSERVATION COMMISSION

- CERTIFICATE OF APPROPRIATENESS PUBLIC HEARING
- CERTIFICATE OF APPROPRIATENESS STAFF DECISION
- CERTIFICATE OF COMPLIANCE (HH-Edo UCOZ)

- Historic Zone or Designation:**
- Historic Old Town
  - Historic Old Town Buffer Zone
  - Huning Highland
  - Fourth Ward
  - Eighth & Forrester
  - City Landmark
  - HH-Edo UCOZ
  - Silver Hill

- Type of Request:**
- Alteration
  - New Construction
  - Sign (Please read the note below)\*
  - Relocation
  - Demolition
  - National Register Nomination Review
  - City Landmark Designation
  - City Overlay Designation
  - Other Revise Development Guidelines

**Number and Classification of structures on property:**

- #    Significant Structures
- # multiple Contributing Structures
- # multiple Noncontributing Structures
- #    Unclassified Structures

- Does this request involve a residential property?  
 Yes  No
- Are tax credits or preservation loan funds applied for in connection with this proposal?  
 Yes  No

**Attention applicants:**

A conference with the LUCC Planner is advised prior to application. Call the LUCC Administrative Assistant at 924-3883 for an appointment. At the conference, the planner will determine if your project may be approved administratively or if a public hearing before the Commission is required. The planner will also determine what materials are required to complete an application. These requirements will be indicated on the "Project Drawing Checklist" that the planner will complete during your pre-application conference. For public hearings, the applicant will prepare packets containing one each of the items with drawings folded to fit into an 8.5" by 14" pocket.

**LUCC public hearing applications:**

- Project drawing checklist completed during a consultation with LUCC planner
- All materials indicated on the project drawing checklist.    packets
- Letter detailing the scope of the proposal including:
  1. Extent of work to be done
  2. Use(s) of existing and/or proposed site(s) and structure(s)
  3. Square footage of proposed structure(s)
  4. Proposed phasing of improvements and provisions for interim facilities
  5. Relevant historic facts
- Zone Atlas map with the entire property precisely and clearly outlined and crosshatched
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement (provided upon application)

**Administrative (Staff) Approval checklist:**

- Project drawing checklist completed during consultation with LUCC planner
- All materials indicated on the project drawing checklist and required by the LUCC planner
- Letter detailing the scope of the proposal including:
  1. Extent of work to be done
  2. Use(s) of existing and/or proposed site(s) and structure(s)
  3. Square footage of proposed structure(s)
  4. Proposed phasing of improvements and provisions for interim facilities
  5. Relevant historic facts
- Zone Atlas map with the entire property precisely and clearly outlined and crosshatched
- Administrative Approval (LUCCS) Sign Posting Agreement
- LUCC building permit waiver signed by the applicant (provided upon approval)

**\*PLEASE NOTE:** Approval of a signs in the overlay zones also require a sign permit from Zoning in addition to LUCC approval.

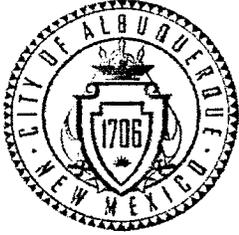
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

M HENNESSY  
 Applicant name (print)  
M HENNESSY  
 Applicant signature/date

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
16 - Lucc - 50006  
 - - -  
 - - -

Form revised October 2012  
[Signature] 2-9-16  
 Dev Review Division signature/date  
**PROJECT#** 1010753



# DEVELOPER INQUIRY SHEET

## (To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

- Cell Tower Submittal:  Free-Standing Tower -OR-  Concealed Tower
- EPC Submittal  DRB Submittal  LUCS Submittal  Liquor Submittal
- Administrative Amendments (AA's) Submittal  City Project Submittal

CONTACT NAME: MARYELLEN HENNESSY

COMPANY NAME: CITY OF ALBUQ

ADDRESS/ZIP: 600 2ND ST NW

PHONE: 924 3891 FAX: \_\_\_\_\_

### LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

MULTIPLE LOTS MULTIPLE BLOCK  
PEREA ADDITION, LUNA ADDITION, CORONADO ADDITION, PARK ADDITION

LOCATED ON 9th & FORRESTER LEGAL DESCRIPTION FOURTH WARD HOZ  
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN \_\_\_\_\_ AND \_\_\_\_\_  
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE J13 & 14.  
**(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)**  
**(Zone Map MUST be provided with request)**



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

February 5, 2016

Maryellen Hennessy  
City of Albuquerque  
Planning Department  
600 Second Street NW, Third Floor/87102  
Phone: 505-924-3891/Fax: 505-924-3339  
E-mail: [mhennessy@cabq.gov](mailto:mhennessy@cabq.gov)

Dear Maryellen:

Thank you for your inquiry of **February 5, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(LUCC SUBMITTAL) – MULTIPLE LOTS, MULTIPLE BLOCKS, PEREA ADDITION, LUNA ADDITION, CORONADO ADDITION, PARK ADDITION, LOCATED IN THE 8<sup>TH</sup> STREET AND FORRESTER AND FOURTH WARD HOZ** Zone Map: **J-13-14.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA/COALITIONS THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.**

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing **(PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from USPS showing date.)** If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

planningrnaform(02/05/16)

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA AND/OR HOA AND COALITION PROVIDED ON THIS LETTER.**

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*  
(below this line for ONC use only)

Date of Inquiry: **02/05/16** Time Entered: **4:00 p.m.** ONC Rep. Initials: **siw**

# **ATTACHMENT A**

**(LUCC SUBMITTAL) – MULTIPLE LOTS, MULTIPLE BLOCKS, PEREA ADDITION, LUNA ADDITION, CORONADO ADDITION, PARK ADDITION, LOCATED IN THE 8<sup>TH</sup> STREET AND FORRESTER AND FOURTH WARD HOZ Zone Map: J-13-14 for Maryellen Hennessy, Staff Planner.**

**BARELAS N.A.**

Ophelia Cornet  
903 5<sup>th</sup> St. SW/87102 804-3054 (h)

**BROADWAY CENTRAL CORRIDORS PARTNERSHIP, INC. “R”**

**\*Doug Majewski**

P.O. Box 302/87103  
Rob Dickson  
P.O. Box 302/87103 515-5066 (c)

**CITIZEN’S INFORMATION COMMITTEE OF MARTINEZTOWN “R”**

**\*Kristi L. Houde**

617 Edith Blvd. NE, Apt. #8/87102 250-6704 (h)  
Frank H. Martinez  
501 Edith Blvd. NE/87102-2511 243-5267 (h)

**DOWNTOWN N.A. “R”**

**\*Reba Eagles**

c/o Original Medicine Acupuncture, 1500 Lomas NW, Ste. B/87104 604-3434 (c)  
Robert Bello  
1424 Roma NW/87104 280-3774 (c)

**HISTORIC OLD TOWN PROPERTY OWNERS ASSOC.**

Kathy Hiatt  
110 San Felipe St. NW/87104 715-1609 (c)  
Jim Hoffsis  
2012 South Plaza St. NW/87104 242-7204 (w)

**HUNING CASTLE N.A. “R”**

**\*Harvey Buchalter**

1615 Kit Carson SW/87104 247-2602 (h)  
Brian Terrell  
400 San Pasquale Ave. SW/87104 980-8340 (h)

**HUNING HIGHLAND HISTORIC DISTRICT ASSOC. “R”**

**\*Bonnie Anderson**

522 Edith SE/87102 242-8848 (h)  
Ann L. Carson  
416 Walter SE/87102 242-1143 (h)

**MARTINEZTOWN WORK GROUP**

**\*Loretta Naranjo Lopez**

1127 Walter NE/87102 246-9601 (h) 270-7716 (c)  
Christina Dauber  
708 Don Tranquilino NE/87102 243-1718 (h)

**RAYNOLDS ADDITION N.A. "R"**

**\*Bob Tilley**

806 Lead Ave. SW/87102 263-9848 (h)

Deborah Foster

1307 Gold SW/87102 243-4865 (h)

**SANTA BARBARA-MARTINEZTOWN ASSOC. "R"**

**\*Juan Lopez**

800 Mountain Rd. NE/87102 459-1068 (c)

Christina Chavez *e-mail: mom2301br@aol.com*

517 Marble NE/87102 459-4521 (c)

**SAWMILL AREA N.A. "R"**

**\*Devin H. Chapman**

520 Lomas Blvd. NW/87102 362-2429 (h)

Thomas Hopkins

918 19<sup>th</sup> St. NW/87104 217-9110 (h)

**SAWMILL COMMUNITY LAND TRUST**

Kim Rose

P.O. Box 25181/87125 764-0359 (w)

Annette Montoya

P.O. Box 25181/87125 764-0359 (w)

**SILVER PLATINUM DOWNTOWN N.A. "R"**

**\*Ron Casias**

100 Silver Ave. SW, #212/87102 319-0958 (c)

Fred Williams

100 Silver Ave. SW, #223/87102

**SOUTH BROADWAY N.A. "R"**

**\*Frances Armijo**

915 William SE/87102 247-8798 (h)

**\*Gwen Colonel**

900 John St. SE/87102 513-257-9414 (c)

**VILLA DE SAN MARTIN H.O.A., INC.**

**\*Stephen Maynard**

521 Roma NE/87102 207-2065 (h)

Pamela Meyer

4121 Eubank Blvd. NE/87111 323-7600 ext. 28 (o)

**WELLS PARK N.A. "R"**

**\*Jerry Miller**

1715 5<sup>th</sup> St. NW/87102 463-5824 (c)

Mark Horst

1114 7<sup>th</sup> St. NW/87102 612-384-4049 (c)

**WEST PARK N.A. "R"**

**\*David Medina Jr.**

2101 New York Ave. SW, #1/87104 203-3533 (c)

Nina Simbana

2010 Alhambra SW/87104 507-5143 (c)

**\*President of NA/HOA/Coalition**

# CITY OF ALBUQUERQUE

## *Planning Department*

Suzanne Lubar, Director  
600 2<sup>nd</sup> Street NW – 3<sup>rd</sup> Floor  
Albuquerque, NM 87102



Richard J. Berry, Mayor

February 8, 2016

Dear Neighborhood Association:

RE: Development Guidelines for the Fourth Ward and Eighth and Forrester Historic Overlay Zones

The City Planning Department is recommending enhanced development guidelines (design guidelines) for the Fourth Ward and Eighth and Forrester Overlay Zones to replace the current development guidelines that were adopted in 2002 and 1991 respectively. These revised guidelines have been working well in the Huning Highland and Silver Hill historic overlays for several years. The associated Preservation Handbook includes illustrative information about the historic buildings and downtown neighborhoods.

PO Box 1293

The LUCC will conduct consider adoption of revised development guidelines for the historic overlay zones a public hearing to be held at 3:00 p.m. on Wednesday March 9, 2016. The hearing will be held in the basement hearing room at Plaza del Sol, 600 2<sup>nd</sup> St. NW.

Albuquerque

The proposed guidelines will be posted on the City of Albuquerque Planning Department website at [www.cabq.gov/planning/lucc](http://www.cabq.gov/planning/lucc). Copies will also be available at City Planning, 600 2<sup>nd</sup> St. NW 3<sup>rd</sup> floor.

New Mexico 87103

We would appreciate your support. Please contact me if you have any questions.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Maryellen Hennessy  
Senior Planner, Landmarks and Urban Conservation Commission  
Urban Design and Development Division  
924-3891  
[mhennessy@cabq.gov](mailto:mhennessy@cabq.gov)

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2012 South Plaza St. NW**  
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Mark Horst**

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522 Edith SE**  
City, State **ABQ, NM 87102**

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Sent To: **Christina Chavez**

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Sent To: **Juan Lopez**

Street, Apt. or PO Box: **800 Mountain Rd. NE**

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Street, Apt. or PO Box: **100 Silver Ave. SW, #212**

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City, State: **ABQ, NM 87125**

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Total Po **CITIZEN'S INFORMATION COMMITTEE**

Sent To **OF MARTINEZTOWN**

Street, Apt. 1 or PO Box **Frank H. Martinez**

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**ABQ, NM 87102-2511**

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CORRIDORS PARTNERSHIP, INC.**

Sent To **Rob Dickson/ Doug Majewski**

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City, State **ABQ, NM 87103**

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Total P **CITIZEN'S INFORMATION  
COMMITTEE OF MARTINEZTOWN**

Sent To **Kristi L. Houde**

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City, State **ABQ, NM 87102**

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Total **SOUTH BROADWAY N.A.**

Sent To **Gwen Colonel**

**900 John St. SE**

Street, Apt. or PO Box **ABQ, NM 87102**

City, State

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Total Pos **WELLS PARK N.A.**  
**Jerry Miller**

Sent To **1715 5th St. NW**

Street, Apt. or PO Box **ABQ, NM 87102**

City, State

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**Loretta Naranjo Lopez**

Sent To **1127 Walter NE**

Street, Apt. or PO Box **ABQ, NM 87102**

City, State

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Total Pos **VILLA DE SAN MARTIN H.O.A.,**  
**INC.**

Sent To **Pamela Meyer**

Street, Apt. or PO Box **4121 Eubank Blvd. NE**

City, State **ABQ, NM 87111**

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Total **SOUTH BROADWAY N.A.**

Sent To **Frances Armijo**

Street, Apt. or PO Box **915 William SE**

City, State **ABQ, NM 87102**

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Total P **VILLA DE SAN MARTIN H.O.A.,**  
**INC.**

Sent To **Stephen Maynard**

Street, Apt. or PO Box **521 Roma NE**

City, State **ABQ, NM 87102**

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Total **RAYNOLDS ADDITION N.A. "R"**  
**Deborah Foster**

Sent To **1307 Gold SW**  
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Total F **MARTINEZTOWN WORK GROUP**  
**Christina Dauber**

Sent To **708 Don Tranquilino NE**  
**ABQ, NM 87102**

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or PO Box  
City, State

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Total Po **WEST PARK N.A.**  
**David Medina Jr.**

Sent To **2101 New York Ave. SW, #1**

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or PO Box **ABQ, NM 87104**

City, State

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PS Form 3800, August 2006

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A-1 Recommended development guidelines

# development guidelines for Historic Buildings

## Contributing Buildings

At the time the neighborhoods were listed on the state and national registers of historic places as historic districts, their buildings were surveyed to determine whether or not they contributed to the historic significance of the district, and are thus indicated on neighborhood maps as “Contributing” or “Non-contributing”. Contributing buildings are generally ones that date to the neighborhood’s period of historic significance, and that retain a reasonable level of their original architectural design and materials.

Non-Contributing buildings are historic buildings that have been altered to an extent that they no longer retain a significant level of their original architectural integrity, or they may be buildings that were built after the neighborhood’s period of historic significance.

The following guidelines for historic buildings will be used by the LUCC in design review for contributing buildings.

## POLICY

Primary historic building materials should be preserved in place whenever feasible. When the material is damaged, then limited replacement, matching the original, may be considered. Primary historic building materials should never be covered or subjected to harsh cleaning treatments.

## Guidelines

### 1. Retain and preserve exterior wall materials and details.

- It is inappropriate to cover or replace historic wall materials, including wood, stucco, brick, cast stone and stonework with coatings or contemporary substitute materials. Synthetic materials such as stucco, panelized brick, masonite, vinyl, aluminum or other composite siding materials should not be applied as a covering over, or in place of, historic masonry or wood materials or over any significant architectural feature.

### 2. Synthetic siding may be appropriate if:

- The building is considered a non-contributing building within the historic district (as defined in the Glossary of Terms.)
- The substitute materials are installed on a new addition or on a secondary façade not visible from the public right-of-way without irreversibly damaging or obscuring the architectural features and trim of the building.

### 3. It is inappropriate to remove or cover any detail associated with exterior walls, including decorative shingles, panels, brackets, bargeboards and corner boards.

### 4. If replacement of deteriorated wall materials or details is necessary, replace only the deteriorated portion in kind rather than the entire feature. Match the original in design, dimension, detail, texture, pattern and material. Consider a compatible substitute material only if using the original is not feasible.

### 5. The painting of unpainted brick and masonry does require a Certificate of Appropriateness. Painting brick or masonry is not considered a change of color, but a change to the character of the building and will not be permitted except under special circumstances:

- A building was first painted prior to the establishment of the Historic Over-

lay Zone.

- An instance where a building has poorly matched additions or repair work and the painting is designed to unify the disparate parts of the building.

6. When a stuccoed building is to be re-stuccoed, the original textures, if known, are recommended.
7. If masonry requires repair or re-pointing, any new units or mortar shall match the original as closely as possible in strength and appearance.
8. If masonry requires cleaning, the gentlest possible method shall be used to avoid harm to masonry units. Sandblasting is not appropriate as it is likely to cause damage to the masonry.

*For more information see:*

- *Preservation Brief #8: Aluminum and Vinyl Siding of Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings*
- *Preservation Brief #16: The Use of Substitute Materials on Historic Building Exteriors*

## POLICY

Where the foundation is a character defining feature of a building, this should continue. Exposed materials should remain exposed.

### Guidelines

#### 1. Retain and preserve original foundations.

- Avoid removing or altering original foundations to prevent weakening of the structural system.
- Avoid enclosing or infilling between original pier foundations with concrete block, brick, vinyl, metal or other material that would not have been used historically. If solid infill is necessary, the infill should be recessed at least four (4) inches from the front of the pier and should consist of a smooth finish and painted a dark color to diminish its visual impact.
- Consider lattice panels as infill between piers. Wood lattice should not touch the ground. Vinyl or composite lattice may be considered as alternatives.

#### 2. Protect and maintain original foundations.

- Vines and plant materials should not be allowed to grow on foundation walls since plants tend to retain moisture and keep the wall from properly drying.
- Soil or pavement next to a foundation should slope away from the wall.
- Gutters and downspouts should carry water away from the foundation.
- Masonry foundation systems should be inspected, cleaned and re-pointed as needed according to masonry guidelines.

#### 3. Repair deteriorated or damaged foundations through recognized maintenance and preservation methods.

- Repair deteriorated materials in kind, matching the original in scale, configuration, detail and material. Consider a compatible substitute material only if using the original is not feasible.

*For more information see:*

- *Preservation Brief #17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character.*

## POLICY

The character of a historical roof should be preserved, including its form. Materials should be preserved whenever feasible.

### 1, Retain and preserve the original roof forms.

- Avoid altering the pitch of a historic roof.
- Preserve the original eave depth. It is not appropriate to alter, cover, or remove the traditional roof overhang.

### 2. Retain and preserve original details, features and materials.

- It is inappropriate to remove character-defining roof features such as dormers, gables, vents, turrets and chimneys.
- Original roof materials such as tile or metal shingle with textured appearance should be retained and preserved when feasible. Asphalt shingles are an acceptable replacement for wood shingles.
- Avoid introducing new roof features or details to a historic building that may result in creating a false sense of history. New features may be approved if historically appropriate to a building's style.

### 3. Repair deteriorated or damaged roof features and materials through recognized maintenance and preservation methods.

- Repair deteriorated roof features and materials in kind, matching the original in design, pattern, detail, color and material. Compatible substitute materials can be considered if using the original material is not feasible.
- If replacement of a roof feature or material is necessary, replace it to match the original, based on physical or documentary evidence, or replace it with a new feature or material that is compatible with the original. Select new roofing materials that are appropriate for the building's architectural style.

### 4. Introduce new gutters and downspouts as needed, with care so that no architectural features are damaged or lost.

- Routinely clear clogged gutters and downspouts to prevent moisture damage to the building. Properly design downspouts so that water is diverted

away from the building.

**5. Minimize the visual impact of skylights, solar panels and other roof top devices.**

- The addition of features such as skylights and solar panels should be installed so as not be easily visible from the street. It is not appropriate to introduce new roof features in locations that compromise the architectural integrity of the building.
- Flush mounted or flat skylights may be appropriate on the sides or rear roof planes.
- Solar panels and accessory components should be designed to integrate the panels into the overall building pattern with emphasis on preserving roof slope and shape.

**6. Chimneys should be retained, particularly on primary facades.**

- Unstable or damaged chimneys visually located behind the roof peak as seen from the street may be removed.

*For more information see:*

- *Preservation Brief #4: Roofing for Historic Buildings*
- *Preservation Brief #19: The Repair and Prelacement of Historic Wood Shingle Roofs*
- *Preservation Brief #30: The Preservation & Repair of Historic Clay Tile Roofs*

## POLICY

Where a porch or a stoop is a primary character-defining feature of a front facade, it should be retained in its' original form. If a new (replacement) porch is proposed, it should be in character with the historic building in terms of scale, materials and detailing.

## Guidelines

### 1. Retain and preserve porches and related entrances.

- Existing materials, location, configuration, and dimensions of porches and stoops should not be altered, covered, or removed.
- Deteriorated materials should be replaced to match the original in design, dimension and material. Consider a compatible substitute material only if using the original material is not technically feasible.
- If replacement of an entire porch or stoop is necessary because of deterioration, replace it in kind, matching the original in design, form, dimension, details, texture and material. Consider a compatible substitute material only if using the original material is not technically feasible.
- Where a historic porch or stoop does not meet current code requirements and alterations are required, sensitive modifications can be considered. Do not replace an original porch or stoop that can otherwise be modified to meet code requirements.

### 2. Retain and preserve functional and decorative details, such as porch columns, balustrades, brackets, steps, piers, rails, ceilings, floors, entrance sidelights, transoms, pilasters and pediments.

- Original decorative elements should not be altered or removed, such as spindle work, latticework, or beaded board, unless accurate restoration requires it.
- If replacement of a deteriorated detail of an entrance or porch is necessary, replace only the deteriorated detail in kind. New details should match the original in design, material, dimension and historic placement on the building.
- Avoid introducing new features or details that do not complement the historic architectural style or may result in creating a false sense of history.

### 3. Protect and maintain historic materials.

- Porches and entrances should be inspected regularly for signs of moisture:

- damage, rust, structural damage or settlement and fungal or insect infestation.
- Porches and entrances should be adequately maintained through recognized preservation methods.

#### **4. Avoid enclosing open front porches.**

- It is not recommended to enclose a front porch or balcony.
- Consider the enclosure of a historic porch to accommodate a new use only if the enclosure can be designed to preserve the historic character of the porch and façade. All porch enclosures should be plausibly reversible.
- When a porch is enclosed or screened, it should be done with a clear, transparent material. Enclosing a porch with opaque materials that destroys the openness and transparency of the porch is not allowed.
- The original roof and supporting structure should remain visible and define the enclosure. The material should be placed behind supporting structure and should have a minimum number of vertical and horizontal framing members.

#### **5. A rear porch may be a significant feature. Historically, these served a variety of utilitarian functions and helped define the scale of a back yard. Preservation of a rear porch should be considered as an option, when feasible; at the same time it is recognized that such a location is often the preferred position for an addition.**

#### **6. When no documentation of a historic porch or entrance exists, a new feature may be considered that is similar in character to those found on comparable buildings.**

- Design of the feature and materials utilized should complement the original building.
- Buildings that historically did not have a porch or pronounced entrance should not introduce a new feature on a primary or secondary façade that may result in creating a false sense of history.

#### **7. When installation of new features for accessibility are necessary, see guidelines on site features (page??).**

– For more information see: *Preservation Brief #45: Preserving Historic Wooden Porches*

## POLICY

The character-defining features of historic windows & doors and their distinct arrangement should be preserved. In addition, new windows & doors should be in character with the historic building. This is especially important on primary facades.

### Guidelines

- 1. Retain and preserve the position, number, size and arrangement of historic windows and doors.**
  - It is inappropriate to enclose, cover or fill in a historic window or door opening.
  - If additional openings are necessary for a new use, install them on a rear or non-character defining façade of the building. New window and door openings on front facades shall be permitted only in locations where there is evidence that original openings have been filled with other material. New openings should never compromise the architectural integrity of the building. The design of new window units should be compatible with the overall character of the building, but should not replicate the original.
- 2. Replacement of windows and doors that have been altered and no longer match the historic appearance is recommended.**
  - If a window or a door is completely missing, replace it with a new unit based on accurate documentation or a new design compatible with the original opening and the historic character of the building.
- 3. Retain and preserve functional and decorative features such as transoms and side-lights.**
  - If replacement of a historic window or door feature is necessary, consider replacing only the deteriorated feature in kind rather than the entire unit.
  - Snap-in muntins and mullions may be acceptable for new or replacement window units on facades not visible from the public right-of-way. Snap in features should be made of wood and convey the scale and finish of true muntins and mullions. Snap-in muntins and mullions should be used on both the interior and exterior of the window.
- 4. The use of plastic, vinyl, metal or other unsympathetic materials is discouraged; excepting those wood windows with exterior aluminum cladding may be ap-**

**proved.**

- Non-wood materials will be evaluated on a case-by-case basis. The appearance of the window should be similar to the original window in dimension, profile and finish.

**7. Storm windows and doors are appropriate for energy conservation, provided that the existing window or door remains visible from the exterior.**

- Features should be wood (painted or unpainted) or anodized metal. Metal screen, storm or security doors without paint or an anodized finish are not appropriate.

**8. Exterior shutters, operable or otherwise, shall not be added unless appropriate to the style of the building and sized to fit the window openings they flank.**

**9. Replacement of windows and doors that have been altered and no longer match the historic appearance is recommended.**

*For more information see:*

- *Preservation Brief #9: The Repair of Historic Wooden Windows*
- *Preservation Brief #10: Exterior Paint Problems on Historic Woodwork*
- *Preservation Brief #13: The Repair & Upgrading of Historic Steel Windows*
- *Appendix: Resources / information*

## POLICY

**Details are important because they contribute to a historic building's distinct visual character and should be preserved whenever feasible. If ornamental or architectural details are damaged beyond repair, replacement matching the original detailing is recommended.**

### Guidelines

#### **1. Protect and maintain significant stylistic elements.**

- Distinctive stylistic features and examples of skilled craftsmanship should be treated with sensitivity. The best preservation procedure is to maintain historic features from the outset so that intervention is not required. Protection includes maintenance through rust removal, caulking, limited paint removal and reapplication of paint.

#### **2. If replacement is necessary, design the new element using accurate information about original features.**

- The design should be substantiated by physical or pictorial evidence. In historic districts, intact structures of similar age may offer clues about the appearance of specific architectural details or features. Replacement details should match the original in scale, proportion, finish and appearance.

#### **3. Develop a new design for the replacement feature that is a simplified interpretation when the original element is missing and cannot be documented.**

- The new element should relate to comparable features in general size, shape, scale and finish. Such a replacement should be identifiable as being new. Use materials similar to those that were used historically, if feasible.

*For more information see:*

- *Preservation Brief #16: The Use of Substitute Material*
- *Preservation Brief #17: Architectural Character-Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character.*

## POLICY

**Additions to contributing historic buildings have a responsibility to complement the original structure, ensuring that the original character is maintained. They should reflect the design, scale and architectural type of the original building. Older additions that have significance in their own right should be considered for preservation.**

### **1. Retain and preserve original features and elements.**

- Minimize damage to the historic building by constructing additions to be structurally self-supporting and attach the addition to the original building carefully to minimize the loss of historic fabric.
- Consider the reuse of original features and elements in the new construction where removal was required to accommodate an addition.
- One-story additions should be constructed on secondary facades or to the rear of the original building. Additions constructed on secondary facades should be set back from the primary façade. Two-story additions may be appropriate if attached at the rear of the building and if the addition's height, mass and scale maintains an overall relationship to other buildings on the block.

### **2. Design new additions to be in proportion, but subordinate to, the original building's mass, scale and form.**

- Additions should not visually overpower the original building.
- New additions should not exceed 50% of the original building's square footage.
- Design an addition to complement existing elements and features, such as roof shape and slope. Shed roofs may be appropriate on some additions.
- New additions should not convert a secondary façade into a primary façade.
- Roof additions, such as dormers, should be added to rear and secondary facades.

### **3. Design new additions to be compatible yet discernible from the original building.**

- New additions should have similar materials and details, however; there should be a clear distinction between the historic building and new addition.
- Consider simplifying details or slightly changing materials.

- Additions should not reflect historic styles that pre-date the original building.
- Contemporary design for an addition may be appropriate if the original building's characteristic historic and architectural features are retained and the addition's exterior materials are similar to or the same to those of the original building.

**4. Materials used in new construction should complement those materials found on the historic buildings in the neighborhood.**

**5. Windows should be similar in character to the historic building.**

- New windows should be of a similar type and materials.
- On primary facades of an addition, the solid to void ratio (percentage of windows to walls) should be similar to the historic building.

**6. Existing additions to historic buildings may be removed if not associated with the period of significance, or if they detract from the architectural character of the building.**

*For more information see:*

- *See Preservation Brief #14: New Exterior Additions to Historic Building*

development guidelines to protect  
**Neighborhood Character**

Non-contributing Buildings  
New Construction  
Accessory Buildings  
Other Site Features  
Painting  
Demolition

# Non-contributing Buildings

**B**uildings are classified as non-contributing to the historic character of the district when their construction date is outside of the district's period of significance, or when they have been altered to an extent that they no longer reflect their historic architectural character. Consult City Planning staff to determine the status of a building in the historic district. Non-contributing buildings are not eligible for tax credit rehabilitation programs.

While buildings may be considered as non-contributing to the historic character of the district, like new construction, they have a responsibility to blend in with the historic character and scale of the historic district in which they are located. A Certificate of Appropriateness is required for alteration and additions to non-contributing buildings in order to further their compatibility within the historic district's streetscape. Such alterations should be compatible with other buildings in the district, but should not copy or re-create, in detail or in whole, historic building design.

Generally, it is intended that alterations to non-contributing buildings be compatible with any historic features that they may retain, as well as with neighboring contributing buildings and with the overall neighborhood character.

Some non-contributing buildings can be rehabilitated to reflect their historic architectural character. Alterations can offer an opportunity to remove unsympathetic later additions and "modernizations" that may result in the building being re-classified as contributing.

The guidelines for New Construction apply to alterations and additions to non-contributing buildings. The guidelines for Site Features also apply to non-contributing buildings and sites.

## POLICY

**New construction should add visual interest and a sense of scale to the streetscape and be compatible with the general characteristics of contributing buildings in the vicinity. New buildings should reflect designs traditionally used in the area.**

**1. Design new buildings to appear similar in height, mass and scale to other buildings on the block.**

- Break large masses into smaller segments similar to other buildings.
- The perceived mass of buildings from the street shall be reduced by details such as windows, doors and entry porches.

**2. Design a new building to reinforce a sense of human scale. This can be achieved with the use of:**

- Building materials of traditional dimensions.
- One-story porches.
- Solid to void ratios that are similar to traditional buildings. Window openings should be similar in size to surrounding buildings.

**3. Design the front elevation to appear similar in scale to other buildings on the block.**

- On a two-story building, there should be a one-story element such as a porch.

**4. Infill construction should enhance the pedestrian character of the district.**

- Entrances to new buildings shall be oriented towards the street.
- Maintain patterns of window and door proportions and placement found in the vicinity.
- Maintain the front setback most common on the block.
- The space between adjacent buildings should be the same as the average space between other buildings on the block.
- Parking should be located towards the rear of the property whenever possible.

**5. Use building forms that are similar to those of other buildings on the block.**

- Rectangular masses are the typical building form.

**6. Use roof forms that are similar to those found on the block.**

- Hip and gabled roofs are appropriate in most settings.
- Flat roofs should be used only where appropriate to the context. Flat roofs should have a parapet.

**7. Materials used in new construction should complement those materials found on the historic buildings in the neighborhood.**

- The use of wood, masonry and stucco is encouraged. If wood is used, it must be laid in a historic manner such as beveled (clapboard) or drop (shiplap).
- Synthetic siding materials, such as cementitious products, may be appropriate if they are similar to traditional materials.
- Wood is the preferred choice for window and doors. Metal window frames are discouraged other than exterior cladding for wood windows.
- Roofing materials shall be similar in appearance to other buildings in the district.

**8. Imitation of older historic styles is discouraged.**

- Interpretations of historic styles may be appropriate if they are subtly distinguishable as new buildings.
- Incorporate details and ornamentation found on historic buildings within the context of new construction.

**9. Contemporary interpretations of traditional detail are encouraged.**

- New designs for details such as window and door trim, porch railings, columns add interest while remaining compatible with the historic buildings.

**10. See site features and streetscape section for guidelines on parking areas, site grading and lot pattern.**

**POLICY**

**Historic accessory buildings should be preserved when feasible. This may include preserving the structure in its present condition, rehabilitating it or executing an adaptive use so that the accessory structure provides new functions.**

**Guidelines**

- 1. Contributing accessory buildings should be preserved when feasible. The Landmarks and Urban Conservation Commission recognizes that these buildings are inadequate to serve the needs of today’s families and businesses. Rehabilitation and adaptive use to serve a new function is encouraged. A Certificate of Appropriateness is required for demolition (see demolition section).**
  
- 2. Alterations to contributing accessory buildings are to follow guidelines for historic buildings.**
  
- 3. New garages and accessory buildings should compliment the historic resource.**
  - Accessory buildings must be subordinate to the main building.
  - The main building should inspire design for new garages with building details derived from the main building.
  - Building materials and finishes should be compatible with the main building, although some contemporary materials are acceptable substitutes for wood siding. Unfinished concrete block and plywood are not appropriate materials for new accessory buildings.
  
- 4. New accessory buildings should be sited towards the rear of the property and may not be located in front or side yards.**
  
- 5. Access to these structures such as driveways shall be consistent with other existing driveways in the neighborhood.**
  
- 6. Garage doors that are substantially visible from the public street must be of a style and material appropriate to the main building and the district.**
  - Stamped metal or vinyls are not considered to be appropriate materials.
  - Two single doors on two car garages are preferable to a single door. This presents a less “blank” appearance.

6. Carports may be considered if they compliment the primary structure in building materials and design. All other guidelines apply including location. Carports attached to the main building are considered additions to the building and follow guidelines for additions.
7. Prefabricated storage sheds can be used in locations where they are not substantially visible from any street.

## POLICY

**Historic site features should be retained. New site features should be compatible with the architectural character of the historic district.**

## Guidelines

### **1. Preserve historically significant site features which may include:**

- Historic retaining walls, gardens, driveways and walkways. Some fences and street trees are also examples of original site features that should be preserved.
- Sidewalks, parking (planting) strips, street trees and street lighting are examples of historic streetscape elements that should be considered in all civic projects.
- Street medians and other landscaped, public rights-of-way shall be maintained by the City of Albuquerque. Routine maintenance and repair do not require a Certificate of Appropriateness. Any alteration of the public rights-of-way is subject to approval by the Landmarks and Urban Conservation Commission.

#### *Site grading and lot patterns*

### **2. The historic lot pattern creates a rhythm of buildings and the spaces between them and should be maintained**

- Lot sizes should not be consolidated or subdivided except, where lots have been consolidated in the past; replatting to traditional lot size is desirable.

### **3. Preserve the historic grading design of the site.**

- Altering the overall appearance of the historic grading is inappropriate. While some changes may be considered, these should remain subordinate and the overall historic grading character shall be preserved.

### **4. Any change of more than one foot in existing grade at any point within the front yard setback requires a Certificate of Appropriateness from the LUCC. In cases where a site's grading is a character-defining feature that establishes the visual shape and visual appearance of the Historic District, significantly altering or removing the grade is prohibited.**

**5. Any existing retaining wall within the front yard setback area that faces a public right-of-way shall be maintained, repaired or restored in place, except that existing retaining walls constructed of materials not common to the period of construction may be replaced with more appropriate materials.**

**6. Grading and drainage plans required for new construction shall show both existing and proposed grades.**

*Parking (Planting) Strips*

**7. Maintain the Parking (planting) strip between the sidewalk and the curb.**

- Impervious materials such as brick pavers, concrete pavers and concrete are prohibited.
- City Ordinance prohibits the planting or removal of street trees in the parking strip or other public right-of-way without a permit from the City Forester. Refer to Chapter 6-6-1 (R.O.A. 1994) for information on the removal of street trees.

*Fences and Free Standing Walls*

**8. Preserve historic fences and yard walls when feasible.**

- Replace only those portions that are deteriorated beyond repair.

**9. When constructing new fences, use materials that appear similar to those used historically.**

- Simple designs consistent with historic iron fencing, wood picket fencing and other historic types are recommended over more contemporary styles. In all cases, the fence components should be similar in scale to those seen historically in the neighborhood.
- Where an ornate style of fencing can be documented as having been present at the property, that historic fencing may be replicated.
- A painted wood picket fence is an appropriate replacement in most locations.
- A simple metal fence, similar to traditional wrought iron or wire, also may be appropriate.
- Coyote fencing, split rail fencing and chain link fencing are not appropriate materials for the historic districts and are prohibited.
- Vinyl and other synthetic fencing are reviewed on a case-by-case basis. In some instances, it may be allowed if it is not seen from the street, if the style of the fence is compatible with the house and if the vinyl fence is not replacing a historic fence or landscape feature.
- The use of extruded vinyl fencing is not permitted in the front yard.

- Cellular vinyl fencing may be appropriate if painted.

**10. A front yard fence should have a transparent quality, allowing views into the yard from the street.**

- Using a solid wood fence, with no spacing between boards, is inappropriate in a front yard.
- A front yard fence should not obscure the character defining features of the house.

**11. A taller privacy fence may be appropriate in side or rear yards. However, the fence should not begin before the midpoint of the house.**

**12. Concrete block walls shall be stuccoed and architecturally integrated into the building.**

*Retaining Walls*

**13. Any existing retaining wall within the front yard setback area that faces a public right-of-way shall be maintained, repaired or restored in place, except that existing retaining walls constructed of materials not common to the period of construction may be replaced with more appropriate materials. Railroad ties are not an appropriate material for new retaining walls or fencing.**

**14. Maintain the historic height of a retaining wall.**

- Increasing the height of an existing wall is inappropriate. If a fence is needed for security, consider using a wrought iron one that is mounted on top of the wall. This will preserve the wall, allow views into the yard and minimize the overall visual impact of the new fence.

**15. Preserve the materials and the historic finish of a historic masonry retaining wall when feasible.**

- If portions of the wall are deteriorated, consider replacing only those portions that are beyond repair if a suitable material is available. Any replacement material shall match the original in color, texture and finish. Masonry units of a size similar to that used historically shall be employed.

**16. Trellises and decks**

- A new trellis or deck should be located at the side or rear of the house.
- A new trellis or deck should be compatible with the historic resource in material and design.
- It is not appropriate to introduce a new feature that may introduce a false sense of history. New features should be easily distinguished.

**17. Mechanical equipment such as HVAC systems**

- Rear yards are the preferred location for mechanical units.
- Mechanical units are not allowed in the front yards of residential buildings unless the LUCC determines that there is no feasible alternative.
- Mechanical units are permitted in side yards, but only if screened from the street and adjoining properties.

**18. Satellite dishes**

- Property owners are encouraged to consider the smallest dish possible to meet their needs.
- Satellite dishes are not permitted in front yards.

**19. Playhouses constructed for use by children do not require a Certificate of Appropriateness.***Parking areas and driveways***20. Avoid large expanses of parking**

- Divide large parking lots with planting areas. Large parking areas are those with more than five cars.
- Large parking areas, especially those for commercial and multi-family uses, shall not be visually obtrusive.
- Locate parking areas to the rear of the property when physical conditions permit.
- An alley should serve as the primary access to parking when physical conditions permit.
- Parking shall not be located in the front yard, except in driveways if one exists. Existing driveways shall not be widened or expanded. Paving in the front yard setback is prohibited.

**21. Screen parking areas from view of the street.**

- Automobile headlight illumination should be screened from adjacent lots and the street. Fences, walls and planting, or a combination of these should be used to screen parking.

*Accessibility***22. When ADA accessibility accommodations are contemplated for historic buildings, the new work shall be designed and installed to be a complement to the existing structure and not detract.**

- Designs for new ramps or other structures should be simple.

- Design should be sensitive to the character and massing of the existing building, however, it should not mimic the historic design
- Landscaping, choice of building materials and compatible color choices are ways of minimizing the visual impact of a new feature.

**23. Installation of new ramps or other structures on private, residential buildings should be done in a manner that is reversible, and the work should be removed when the need has passed.**

- Existing door openings may be made wider to create an accessible path into a building.
- Extensive modification of existing porches and stoops should be avoided..

**24. Accessibility requirements for commercial and multi-family will need to be of permanent construction and shall incorporate materials and styling that complement the building. Commercial quality landscaping may be required.**

# Demolition

The Landmarks and Urban Conservation Ordinance Chapter 14-12-8 (B)(7) states that demolition of buildings within a historic overlay zone requires a Certificate of Appropriateness unless exempted by the specific development guidelines. The following standards apply to the demolition of buildings in the historic overlay zones:

- Demolition of contributing buildings shall only be permitted if the LUCC determines, based on evidence from the property owner, that the property is incapable of producing a reasonable economic return as presently controlled and that no mean of preserving the structure has been found.
- In making a determination or reasonable economic return, the LUCC may consider the estimated market value of the building, land and any proposed replacement structures and financial details of the property as cited in the Ordinance.
- Demolition of non-contributing primary buildings is permitted without a Certificate of Appropriateness if plans for a replacement building have been approved by the LUCC and a building permit has been issued for the new construction.
- Demolition of non-contributing buildings without approved plans for a replacement building shall only be permitted if the LUCC determines, based on evidence from the property owner, that the property is incapable of producing a reasonable economic return as presently controlled and that no mean of preserving the structure has been found.
- Demolition of a non-contributing accessory building (as defined in the glossary of terms) is permitted without a Certificate of Appropriateness.

A-2 §14-16-2-28 Comprehensive Zoning Code OVERLAY  
ZONES

**§ 14-16-2-28 OVERLAY ZONES.**

The following overlay zones apply to areas where they are mapped in addition to the provisions of another zone. Where the provisions of overlay zones conflict with the provisions of another section of this Zoning Code, the provisions of the overlay zone shall prevail.

**(A) WO Wall Overlay Zone.**

- (1) General. The overlay zone may be considered for land placed in any residential zone where, due to special planning considerations or external influences, high walls or fences are reasonable and proper even in the front yard.
- (2) Control. Front yard wall and fence heights shall be set by the Planning Commission; maximum height in feet shall be stated in the resolution and on the zone map: e.g., R-1/WO-4. However, no wall or fence shall violate the clear sight triangle nor shall a wall or fence over three feet high be closer than 11 feet to the junction of a driveway and a public sidewalk or planned public sidewalk location. All wall designs must comply with requirements of § 14-16-3-19, except for height regulations as determined by the Planning Commission.
- (3) Procedures. The wall overlay zone is mapped through the regular rezoning process.

**(B) HO Historic Overlay Zone.**

- (1) General. This overlay zone may be used in any area which is suitable for preservation and which has historical, architectural or cultural significance, and which in addition:
  - (a) Embodies the distinctive characteristics of a type, period, or method of construction;
  - (b) Portrays the environment of a group of people in an era of history characterized by a distinctive architectural type;
  - (c) Has yielded, or is likely to yield, information important in history or prehistory;
  - (d) Possesses high artistic values; or
  - (e) Has a relationship to designated landmarks or a historic zone which makes the area's preservation critical.
- (2) Controls and procedures shall be prescribed in division (D) of this section.

**(C) UCO Urban Conservation Overlay Zone.**

- (1) General. This overlay zone may be used for areas which have distinctive characteristics that are worthy of conservation but which lack sufficient historical, architectural, or cultural significance to qualify as historic areas, and which, in addition:
  - (a) Have recognized neighborhood identity and character;
  - (b) Have high artistic value;
  - (c) Have a relationship to urban centers or historic zones which makes the area's conservation critical; or
  - (d) Are located outside of the Redeveloping Area and are subject to blighting influences.

- (2) Controls and procedures shall be as proscribed in division (D) of this section.

**(D) Controls and procedures in the HO Historic and UCO Urban Conservation Overlay Zones.**

- (1) Control. The area's distinctive characteristics and general preservation guidelines for the area shall be identified by the City Council in the resolution applying the Historic or Urban Conservation Overlay Zone to any given area. Specific development guidelines for each Overlay Zone area shall be adopted by the Landmarks and Urban Conservation Commission. Any construction, alteration, or demolition which would affect the exterior appearance of any structure within said Overlay Zone shall not be undertaken until a Certificate of Appropriateness has been approved by the Landmarks and Urban Conservation Commission. Provided, however, that the adopted specific development guidelines may exempt specific structures and types of construction, alteration or demolition from the requirement for a Certificate of Appropriateness or may provide for City staff approval in lieu of Landmarks and Urban Conservation Commission approval. Procedures relating to the issuance of a Certificate of Appropriateness are proscribed in Chapter 14, Article 12, Landmarks and Urban Conservation.
- (2) Procedures. The HO Historic or UCO Urban Conservation Overlay Zones are mapped through the regular zone map amendment procedures as provided in § 14-16-4-1 of this Zoning Code, except that:
- (a) An application for the UCO Urban Conservation Overlay Zone or an application for amendment to the boundaries or the criteria adopted by the Council as to an existing UCO Urban Conservation Overlay Zone can only be submitted by property owners in the area. Fifty-one percent of the property owners in the area covered by the application for a UCO Urban Conservation Overlay Zone must agree in writing to the application before it is submitted.
- (b) The Landmarks and Urban Conservation Commission shall conduct the public hearing on the application. The notice requirements shall be the same as those proscribed for Planning Commission hearings on zone map amendments. On the basis of plans, policies and ordinances, adopted by the City Council, the Landmarks and Urban Conservation Commission may recommend approval or amendment of the application, or it may deny the application; and
- (c) If the Landmarks and Urban Conservation Commission recommends approval or amendment, the application shall be transmitted to the Planning Commission for review. The Planning Commission shall only conduct a public hearing on the application if new relevant events have occurred since the Landmarks and Urban Conservation Commission hearing or if the Planning Commission concludes that a public hearing is necessary to carry out the intent of the Zoning Code. The Planning Commission shall forward the application to the City Council with the Landmarks and Urban Conservation Commission's recommendations and the Planning Commission's evaluation; and
- (d) Only the City Council is authorized to approve any HO Historic or UCO Urban Conservation Overlay Zone map change. The City Council shall officially identify the area's distinctive characteristics which are to be preserved and provide general preservation guidelines in the resolution applying the overlay zone to any given area. The City Council may approve, amend or reject the Landmarks and Urban Conservation Commission's recommendations or the Planning Commission's evaluation. The City Council may amend or rescind any HO Historic or UCO Urban Conservation Overlay Zone it has granted; and

- (e) Notice of the time and place of the public hearing conducted by the Council committee on the overlay zone change resolution shall be contained in a public notice in a daily newspaper of general circulation in the city at least 15 days before the date of the hearing. The notice shall give the location of the property, the present zoning, and the requested zoning, and the place where copies of the application may be examined. Mailed notice of the City Council hearing may be provided to people who indicated interest at the Landmarks and Urban Conservation Commission hearing; and
- (f) Within 60 days after an Historic or Urban Conservation Overlay Zone change has been approved, the Landmarks and Urban Conservation Commission shall approve specific development guidelines for the area. The specific development guidelines shall be consistent with the resolution approved by the City Council. The Landmarks and Urban Conservation Commission may amend the guidelines at a public hearing.

**(E) AP Airport Protection Overlay Zones.**

- (1) These overlay zones are appropriate to be used in the vicinity of airports. They are particularly appropriate for essentially undeveloped land. The purpose of these overlay zones is to encourage land use patterns that will separate uncontrollable noise sources from residential and other noise-sensitive areas and to facilitate the orderly development of areas around airports.
- (2) The boundaries of the following overlay zones shall be based on expected airport area intermittent noise levels, based on averaged ambient conditions and existing and projected aircraft operations. The effect of noise generated by any other specific land use is not reflected in the Ldn contours which are used to establish the overlay zone boundaries.
- (3) AP-1.
  - (a) The AP-1 Airport Protection Over-ly Zone may be mapped in areas which, due to the operation of aircraft, the noise rating is more than 75 Ldn.
  - (b) Permissive Uses. In addition to the limitations on development and use contained in the underlying zone, uses allowed in this overlay zone are limited to the following:
    - 1. Agriculture including incidental nonresidential facilities, except mink and poultry production.
    - 2. Fishing.
    - 3. Mining.
    - 4. Open Space.
    - 5. Parking of vehicles.
    - 6. Transportation routes, including roads, rail lines, and plane runways or taxiways.
- (4) AP-2.
  - (a) The AP-2 Airport Protection Overlay Zone may be mapped in areas in which, due to the landing or takeoff of aircraft, the noise rating is over 65 and not more than 75 Ldn.

A-3 Adopting Resolution R-46-1991

CITY of ALBUQUERQUE  
NINTH COUNCIL

COUNCIL BILL NO. R-246 ENACTMENT NO. 46-1991

SPONSORED BY: Steve D. Gallegos, by request

Underscored Material - New  
[Bracketed Material] - Deletion

1 RESOLUTION

2 DESIGNATING THE FOURTH WARD AND EIGHTH/FORRESTER HISTORIC OVERLAY

3 ZONES; IDENTIFYING DISTINCTIVE NEIGHBORHOOD CHARACTERISTICS AND

4 PROVIDING GENERAL PRESERVATION GUIDELINES.

5 WHEREAS, the protection, reuse and enhancement of significant

6 historic buildings and districts is a goal of the

7 Albuquerque/Bernalillo County Comprehensive Plan; and

8 WHEREAS, the rehabilitation of older neighborhoods is an important

9 element of the City's commitment to creating a quality urban

10 environment; and

11 WHEREAS, the Comprehensive City Zoning Code provides for the

12 creation of Historic Overlay Zones in areas that are suitable for

13 preservation and have historical, architectural and cultural

14 significance; and

15 WHEREAS, the Fourth Ward and Eighth/Forrester areas include many

16 fine examples of early Albuquerque residential architecture, reflecting

17 the development of the city in the decades following the arrival of the

18 railroad; and

19 WHEREAS, the Fourth Ward and Eighth/Forrester Historic Districts

20 have been recognized as areas of historic and cultural significance

21 through their listing on the National Register of Historic Places; and

22 WHEREAS, the Landmarks and Urban Conservation Commission, in its

23 advisory role on historic preservation matters, and the Environmental

24 Planning Commission, in its advisory role on land use and planning

25 matters, have recommended approval of the Fourth Ward and

26 Eighth/Forrester Historic Overlay Zones.

Underscored Material - New  
[Bracketed Material] - Deletion

3 Section 1. Historic Overlay Zone designation is adopted for the  
4 Fourth Ward and Eighth/Forrester areas, as shown on the attached maps.

5 Section 2. The Fourth Ward area includes two subdistricts with  
6 varied development patterns, land uses and historic characteristics.

7 A. Properties located north of Tijeras Avenue (excluding  
8 properties on the north side of Tijeras east of Eleventh Street)  
9 generally follow traditional, single family residential development  
10 patterns and consist primarily of single family homes. Distinctive  
11 characteristics in this subdistrict include a variety of early  
12 twentieth century architectural styles (including Hipped Box, Bungalow,  
13 Southwest Vernacular, Mediterranean Revival and Spanish Pueblo Revival  
14 structures), many homes with extensive architectural ornamentation and  
15 prominent front porches, and clearly defined planting strips between  
16 the sidewalk and the street. There are several apartment complexes  
17 located in this area, often built in the Southwestern style, with a  
18 landscaped central courtyard, little or no setback and parking and  
19 service areas to the rear.

20 B. Over half of the buildings in the area south of Tijeras  
21 Avenue (including properties on the north side of Tijeras east of  
22 Eleventh Street) are multiple-family residences or offices.  
23 Development patterns in this subdistrict have been more altered than  
24 those in the area north of Tijeras Avenue, with some parcels cleared  
25 for redevelopment, many buildings converted to more intensive uses and  
26 some more recent construction. This area also has more intensive zoning  
27 than the area north of Tijeras Avenue. Although there is less  
28 remaining historic fabric in this subdistrict, there are important  
29 historic structures located here. Distinctive characteristics of this  
30 subdistrict include several Southwestern style apartment complexes and  
31 other structures representative of early twentieth-century  
32 architecture, as described in A above.

33 Section 3. Distinctive characteristics of the Eighth/Forrester

Underscored Material - New  
[Bracketed Material] - Deletion

1 area are a predominance of homes built in the Hipped Box style, with  
2 other styles interspersed (Queen Anne, Bungalow, Southwest Vernacular,  
3 Mission Revival and Spanish Pueblo Revival); many small, simple,  
4 one-story structures with modest ornamentation; use of brick, cast  
5 stone, frame and stucco and frame and clapboard as common building  
6 materials; common setbacks; clearly defined planting strips; long  
7 blocks (for streets running north and south).

8 Section 4. The following general preservation guidelines apply to  
9 both the Fourth Ward and Eighth/Forrester Historic Overlay Zones and  
10 provide a basis for more detailed design guidelines that may be  
11 developed for these areas:

12 A. Alterations or renovations to structures listed as  
13 contributing in the Historic Overlay Zones should strive to retain  
14 significant, character-defining architectural features of the structure  
15 and utilize exterior materials similar to those originally found on the  
16 structure. Additions to structures listed as contributing in the  
17 Historic Overlay Zones should utilize exterior materials and window  
18 alignment similar to those of the original structure and should match  
19 the general style and massing of that structure, with the regulations  
20 of the underlying zoning determining the maximum allowable building  
21 size.

22 B. Alterations, renovations or additions to structures  
23 listed as noncontributing in the Historic Overlay Zones should be  
24 designed to be compatible with surrounding properties. Exterior  
25 materials should be those generally found in the area (such as wood,  
26 stucco, brick, adobe, stone or cast stone). Review of changes to  
27 noncontributing structures should allow flexibility in design to meet  
28 the needs of property owners.

29 C. New construction is controlled by the underlying zoning,  
30 with height, setback, density, and other zoning regulations determining  
31 the maximum allowable building size. New construction should utilize  
32 exterior materials generally found in the area (as noted in B. above),  
33 have parking and service areas located to the rear of the structure

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[Bracketed Material] - Deletion

1 and, for areas other than those zoned SU-3 or SU-2/HDA, follow the  
2 general scale and massing of surrounding development.

3 D. Demolition approvals are as controlled by the Landmarks  
4 and Urban Conservation Ordinance Article 7-5 R.O. 1974; however,  
5 demolition of a main building listed as noncontributing in the Historic  
6 Overlay Zones is permitted without a Certificate of Appropriateness if  
7 plans have been approved by the City for a replacement structure.  
8 Demolition of an accessory building, as defined in the Zoning Code,  
9 listed as noncontributing in the Historic Overlay Zones is permitted  
10 without a Certificate of Appropriateness.

11 Section 5. The Landmarks and Urban Conservation Commission, City  
12 staff and area property owners should work together to develop design  
13 guidelines for the Fourth Ward and Eighth/Forrester Historic Overlay  
14 Zones that protect the historic character of the areas while allowing  
15 desired development and redevelopment activities to occur. Notice of  
16 any Landmarks and Urban Conservation Commission hearing adopting or  
17 amending design guidelines for the Historic Overlay Zones shall be  
18 mailed to all affected property owners.

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1 PASSED AND ADOPTED THIS 18th DAY OF March, 1991.

2 BY A VOTE OF 8 FOR AND 0 AGAINST.

3 Yes: 8  
4 Excused: Griego

5  
6 Michael Brasher

7 Michael Brasher, President  
8 City Council

9 APPROVED THIS 2<sup>nd</sup> DAY OF April, 1991

10  
11 Louis E. Saavedra

12 Louis E. Saavedra, Mayor  
13 City of Albuquerque

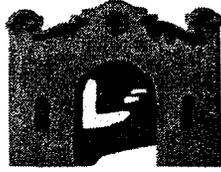
14 ATTEST:

15 Karen Owens

16 City Clerk  
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Underscored Material - New  
[Bracketed Material] - Deletion

A-4 Existing guidelines for the Eighth and Forrester HOZ



Landmarks & Urban  
Conservation Commission

## DESIGN GUIDELINES

For the

## EIGHTH AND FORRESTER HISTORIC OVERLAY ZONE

Adopted May 8, 1991  
(As amended April 9, 1998)



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## INTRODUCTION

The Albuquerque City Council designated the Fourth Ward and Eighth/Forrester Historic Overlay Zones on March 18, 1991 (see pages 10-11 for maps showing the boundaries of the overlay zones). Part of the neighborhoods west of downtown which matured between 1900 and 1930, these two areas contain diversified architecture, ranging from Victorian cottages to large Prairie Style homes, many preserved in their original condition. The Fourth Ward district reflects the tastes of middle and upper middle class residents during the City's formative years, while the Eighth/Forrester district contains a rare collection of smaller Anglo-style homes built for less affluent families. The overlay zones were established to protect the unique historic character of these neighborhoods for generations yet to come.

To insure that building projects in the overlay zones are compatible with traditional neighborhood features, property owners must receive a "Certificate of Appropriateness" from the City before they begin work. A "Certificate of Appropriateness" certifies that the owner has complied with historic design guidelines and may proceed with the proposed work. It is granted by the Landmarks and Urban Conservation Commission (LUCC), a Mayor-appointed board of citizens knowledgeable in historic preservation, or by Planning Department staff for the LUCC.

Historic Overlay Zones are established and controlled under the authority of the City's Zoning Code (Article 7-14 R.O. 1974). The Landmarks and Urban Conservation Ordinance (Article 7-5 R.O. 1974) establishes the Commission's authority to review proposed building activity within the overlay zones and provides general criteria for issuing Certificates of Appropriateness.

The design guidelines presented here provided more detailed criteria for the Commission and City staff to use in making decisions concerning the issuance of the Certificates of Appropriateness. They also provide assistance to property owners in designing their improvements.

This document is divided into three major sections. The General Requirements section discusses the types of projects that must obtain Certificates of Appropriateness and the normal procedures for reviewing applications. The next section contains detailed design guidelines for building alterations, new construction or demolition. The final section presents characteristics of the Fourth Ward and Eighth/Forrester districts.

## GENERAL PROCEDURES

The following construction activities in the Fourth Ward and Eighth/Forrester Historic Overlay zones require a Certificate of Appropriateness:

- ▶ EXTERIOR ALTERATIONS AND ADDITIONS to existing buildings (NOT interior work or routine maintenance, as noted below)
- ▶ NEW CONSTRUCTION
- ▶ DEMOLITION of contributing buildings (see page 6)

The following activities do not require a Certificate of Appropriateness:

- ▶ INTERIOR construction, alteration or demolition that affects only the interior of a building.
- ▶ ROUTINE MAINTENANCE that does not alter the appearance of the building. (re-roofing, window repairs, etc.)
- ▶ HEALTH OR SAFETY REQUIREMENTS - correcting or abating any condition declared unsafe by the appropriate City department.
- ▶ LAND USE - uses are governed by the underlying zoning
- ▶ PAINT COLOR and PLANT SELECTION - staff can provide interested applicants with recommendations for appropriate paint colors or plant materials.

Projects generally fall into three categories for review:

1. NO CITY HISTORIC APPROVAL required: this includes interior work, normal maintenance, re-roofing, window or door repairs, replacement of mechanical systems (unless visible changes to the exterior are involved)
2. ADMINISTRATIVE APPROVAL - a Certificate of Appropriateness from City staff required with no formal public hearing: items such as new fences, porch enclosures, security grilles, or work not requiring a building permit would fall into this category; staff may decide a public hearing is needed (as noted in 3 below) if the project could significantly impact the building or adjacent properties.
3. LANDMARKS AND URBAN CONSERVATION COMMISSION APPROVAL - a Certificate of Appropriateness required with a formal public hearing: major renovations and building additions (the exterior appearance would be noticeably changed), new construction or proposed demolitions of contributing buildings (see page 6).

If you are considering a project in the areas covered by the Historic Overlay Zones, please call the City Planning Department. Staff will be glad to discuss the project and explain what level of review is required.

## DESIGN GUIDELINES

The following section provides general guidelines for building projects in the Historic Overlay Zones. The guidelines are broken down into four categories:

- Alterations/Renovations/Additions to Existing Structures
- New Construction
- Guidelines for Security
- Miscellaneous Site Features
- Demolition

These guidelines apply in addition to other building regulations (Zoning Code, Uniform Building Code, Fire Code, Housing Code, etc.). Where the provisions of other regulations also apply, the regulation with the greatest restrictions takes precedence. The Uniform Code for Building Conservation allows for building code variances for historic structures, if health and safety provisions are adequately addressed. The City's Code Administration Division determines the appropriateness of requests for variances.

### GUIDELINES FOR ALTERATIONS/RENOVATIONS/ADDITIONS TO EXISTING STRUCTURES

These guidelines provide different standards for “contributing” and “non-contributing” buildings. Contributing buildings are those that add to the historic architectural qualities of the district and possess historic integrity reflecting the district's character. Noncontributing buildings are those that do not add to the historic architectural qualities of the district because they were built after 1945 or they no longer possess historic integrity due to alterations, additions or other changes.

The district maps (pages 10-11) indicate which buildings have been identified as contributing or noncontributing in each overlay zone.

For both contributing and noncontributing buildings, City staff is authorized to review and approve proposed building changes that do not require a building permit, as well as proposals for changes to elements such as freestanding walls, fences, porch enclosures, signs, windows and doors, etc. Staff may refer applications for these items to the Commission if there are concerns regarding potential impacts on the architectural or historical character of the property or of the neighborhood.

### GUIDELINES FOR CONTRIBUTING BUILDINGS:

- Retain original significant architectural features (such as stairs, porches, gables, chimneys, fascia boards, etc.) if possible. If replacement is required, the new feature should match the original as closely as possible in design and material. Complete demolition of original architectural features should be avoided.

Retain original doors and windows wherever possible. If the original doors and windows cannot be used, replacements should match the originals as closely as possible in size, proportion and materials. The addition of any new doors or windows should be consistent with the original rhythm of the building's existing door and window openings.

Match exterior materials as closely as possible to those originally used on the structure. Materials traditionally found in the area include wood, stucco, stone, adobe, brick and cast stone. Plastic, vinyl, aluminum siding or other metals are generally not appropriate, with the exception of metal window frames in some situations.

Choose wood or metal security grilles, storm windows, screens, etc. that blend with existing door or window surrounds so the appearance of the structure is not significantly altered.

Additions should have exterior materials and window alignment similar to those of the original structure and should match the general style and massing of that structure (the regulations of the underlying zoning determine the maximum allowable building size). Place additions to the rear of the original building whenever possible.

**GUIDELINES FOR NONCONTRIBUTING BUILDINGS** - Review of changes to noncontributing structures should allow flexibility in design to meet the needs of property owners.

Design alterations and additions to noncontributing buildings to be generally compatible with surrounding properties; massing, scale and roof-lines of additions should match those of nearby properties, with the underlying zoning determining the maximum allowable building size.

Use exterior materials that are generally found in the area, such as wood, stucco, brick, adobe, stone or cast stone.

**GUIDELINES FOR NEW CONSTRUCTION**

For new single family structures:

New construction should be compatible in scale, massing, setback, height and window treatment to existing adjacent contributing structures. If there are no adjacent contributing structures, new construction should be compatible with the predominant general characteristics of contributing buildings in the vicinity. In all cases, the regulations of the underlying zoning determine maximum allowable building size.

Use exterior materials traditionally found in the area, such as wood, stucco, stone, adobe, brick and cast stone. Plastic, vinyl, aluminum siding or other metals should not be used,

with the exception of metal window frames.

Orient major entries to the street.

Provide parking in driveways, where possible, or to the rear of the structure, not in the front yard.

For new multi-family residential or commercial structures:

New construction should follow the general scale and massing of surrounding development, with underlying zoning determining the allowable building size.

Where no single building type is dominant in the neighborhood (notably in the Fourth Ward southeast subdistrict), new construction should reflect designs traditionally used in the area - apartment complexes and commercial buildings often have flat roofs and relatively simple facades, while the structures built originally as single-family homes often have intricate roof-lines and facades punctuated by porches, dormers and other irregular elements. Since both flat and pitched roofs are traditionally found throughout the area, either is acceptable.

There should be a clearly defined front entry. Locate the main entry at the front facade is should be easily accessible from the public sidewalk.

Locate service and parking areas to the rear if possible.

Avoid blank walls wherever possible; facades should include architectural detailing or modulation to add visual interest and a sense of scale at the street level.

Place windows on the first floor, front facade:

---commercial or office spaces should have windows at the ground level of the front facade equal to or over 50% of this front facade area;

---residential spaces should devote approximately 50% of the front, ground-level facade to window and door openings.

Use clear glass on the ground-floor and, if possible, on the upper stories. Lightly tinted glass may be used on upper stories; reflective glass should be avoided.

Use traditional exterior finish materials, i.e. those that are generally found in the area - wood, stucco, stone, brick, cast stone. Plastic, vinyl, aluminum and other metals should be avoided. Metal windows may be appropriate in some situations; metal roofing is generally not appropriate.

Building height is controlled by the underlying zoning. Where the allowable height

exceeds that traditionally found in the neighborhood, efforts should be made to incorporate design features that are sympathetic to surrounding properties. Where possible, new development should include lower roof-lines along street frontages (one or two stories), with higher portions of the building set back to the rear of the property.

Building to the lot line is permissible in the SU-3 zone and is preferred for new commercial development, provided an adequate sidewalk width and street trees are provided.

#### GUIDELINES FOR SECURITY

Any security devices that prevents major features of doors and windows such as ornament, panels, glass panes, and mullions from being seen are prohibited.

Property owners considering installing security devices are urged to contact LUCC staff for advise and a free handout on how to increase security without detracting from the historic character of a building.

#### GUIDELINES FOR MISCELLANEOUS SITE FEATURES

All fences and walls should be compatible with the character of the neighborhood in size, scale, material, and color. Avoid using chain link fences around the front yards of buildings if possible. If chain link fencing is used, plant suitable vegetation to eventually cover it. Concrete block walls should be stuccoed.

Screen roof - or building-mounted mechanical or solar equipment so as not to be visible from the sidewalk or street across from the building.

Locate refuse containers and ground-level mechanical equipment at the rear of the structure whenever possible; these elements should be screened with an appropriate wooden or stucco wall and/or landscaping.

Place satellite dishes so as to be minimally visible from the street; satellite dishes are not permitted in the front yard.

Locate parking in the rear or side yards, not in the traditional front yard. Driveway parking is appropriate for single-family dwellings and other low-density residential uses; circular driveways and parking in the area n front of the house are not appropriate.

Front and side yard improvements should not include total coverage with concrete, gravel, stone or other hard, non-plant material; a minimum of 50% of the front and side yards should be live plant material (shrubs, flowering plants, trees and grass).

Retain mature trees to the greatest extent possible. If trees must be removed due to disease or conflict with new construction, replacement planting, closely matching the tree type and location of the original, should be provided.

## DEMOLITION

See page 3 for an explanation of contributing and noncontributing buildings.

### DEMOLITION OF NONCONTRIBUTING BUILDINGS

Demolition of an accessory building (a building detached from and smaller than the main building on the same lot whose use is customarily incidental to the main use of the lot) listed as noncontributing in the Historic Overlay Zone is permitted without a Certificate of Appropriateness.

Demolition of a main building listed as noncontributing in the Historic Overlay Zone is permitted without a Certificate of Appropriateness if plans for a replacement structure have been approved by the LUCC and a building permit has been issued for the new construction.

Demolition of a noncontributing building is permitted without approved plans for a replacement structure if the LUCC determines, based on evidence from the property owner, that the building cannot produce a reasonable economic return as presently controlled and that no means of preserving the structure has been found.

### DEMOLITION OF CONTRIBUTING BUILDINGS

Demolition of any building listed as contributing in the historic overlay zone is permitted if the LUCC determines, based on evidence from the property owner, that the building cannot produce a reasonable economic return as presently controlled and that no means of preserving the structure has been found.

If a Certificate of Appropriateness for demolition is denied by the Landmarks and Urban Conservation Commission, the Commission and appropriate City staff will work with the property owner to find an alternative to demolition. The Landmarks and Urban Conservation Commission Ordinance sets time limits (up to 180 days) for the period to develop alternatives to demolition. Expiration of this moratorium period, and determination by City Council that the building cannot produce a reasonable economic return as controlled and that there are no means of preserving the structure are cause for approving demolition.

## HARDSHIP

It is not the purpose of these guidelines to impose regulations that will cause undue financial

hardship. If a property owner feels that a decision by the Commission is financially detrimental, the Commission has the responsibility to further discuss and review the case, offering alternative rehabilitation solutions or reuse options for the property. City staff, the Commission and the property owner should cooperate to determine the base approach to meeting the property owner's needs while maintaining the historical character of the district by avoiding unnecessary demolition and inappropriate remodeling.

## AMENDMENT

These guidelines may be amended by the Commission at an advertised public hearing. Notice of the hearing shall be sent to all affected property owners.

## ARCHITECTURAL STYLES/NEIGHBORHOOD CHARACTERISTICS

### THE FOURTH WARD HISTORIC OVERLAY ZONE

Since the Fourth Ward was settled over many years (1882-1940), there is a wide range of architectural styles in the area.

From the end of the 19th century, when most newcomers simply built houses similar to those they left behind on the east coast or in the Midwest, there are two styles:

Simplified Queen Anne and Italianate

In the early years of the 20th century, homeowners began to value simplicity and symmetry and built in three common styles:

Hipped Box, American Foursquare, and Bungalow

In the period between the World Wars when Americans became interested in picturesque styles, three "exotic" building types became popular:

Mediterranean Revival, Spanish Pueblo Revival, and Southwest Vernacular, a simplified combination of the first two styles

General neighborhood characteristics include:

- 1) A clearly defined planting strip between the sidewalk and the street
- 2) A predominance of open (unfenced) front yards
- 3) Detached single family homes with a 20 foot setback on north-south streets and a 15 foot setback on east-west streets
- 4) Few commercial structures (there are no historically contributing commercial structures except those which are converted homes) and a small number of multi-family residences;

- 5) New commercial buildings with a generally narrower setback, often built to the sidewalk.
- 6) Varying lot widths
- 7) Presence of mature deciduous trees

General characteristics of single family homes in the Fourth Ward Historic Overlay Zone, regardless of architectural style, include:

- 1) A clearly indicated front entry
- 2) Prominent front porches, often screened or glassed-in
- 3) Generous architectural detailing particular to the style of the building
- 4) Front facades with a high ratio of window and door area compared to wall area
- 5) Use of wood, stucco, stone, adobe, brick or cast stone as common building materials
- 6) Varying building heights ranging from low, single-story structures to 2 and ½ story structures with pitched roofs

General characteristics of multi-family residential structures in the Fourth Ward Historic Overlay Zone include:

- 1) Flat-roofed, one-story, Southwestern styles
- 2) Many built in a “C” shape, with a central courtyard, often landscaped
- 3) Parking and service areas usually located to the rear of the structure
- 4) Often a small landscaped area along the front sidewalk

#### SOUTHEAST SUBDISTRICT OF FOURTH WARD HISTORIC OVERLAY ZONE

Development patterns in the southeast corner of the Overlay Zone (see map, page 10) have been more altered than elsewhere in the Fourth Ward and this area also has more intensive zoning than the rest of the overlay zone. This small area includes some of the earliest homes in the overlay zone as well as large 1950's structures.

General characteristics of the subdistrict include:

- 1) More parcels cleared for redevelopment
- 2) Varied building setbacks
- 3) A high proportion of conversions to uses other than the original use
- 4) Several one-story apartment complexes made up of a cluster of separate buildings
- 5) Small groups of structures of similar architectural style
- 6) A wide range of building ages and styles

Although there is less remaining historic fabric in this subdistrict resulting in a less obvious predominant architectural style and a less repetitive building pattern, there are important historic structures located there.

## EIGHTH STREET/FORRESTER HISTORIC OVERLAY ZONE

This small area was primarily built between 1905 and 1930, with a few homes dating from before 1900 in its southeast corner. The predominant style, dating from the first decade of the century, is the Hipped Box -- a one-story, square house with a hipped roof and front porch. The front roof slope often includes a projecting dormer.

The earliest house are late adaptations to the Queen Anne style, and often include intricate woodwork and front facing gables.

In the late 1910's and in the 1920's small versions of the Bungalow style were added as well as Southwest Vernacular and Spanish Pueblo Revival styles.

General neighborhood characteristics include:

- 1) A clearly defined planting strip between the sidewalk and the street
- 2) Long blocks (for streets running north and south)
- 3) Common setbacks (setbacks are controlled by the underlying zoning)
- 4) Small scale homes on standard 50 foot lots
- 5) Presence of mature deciduous trees

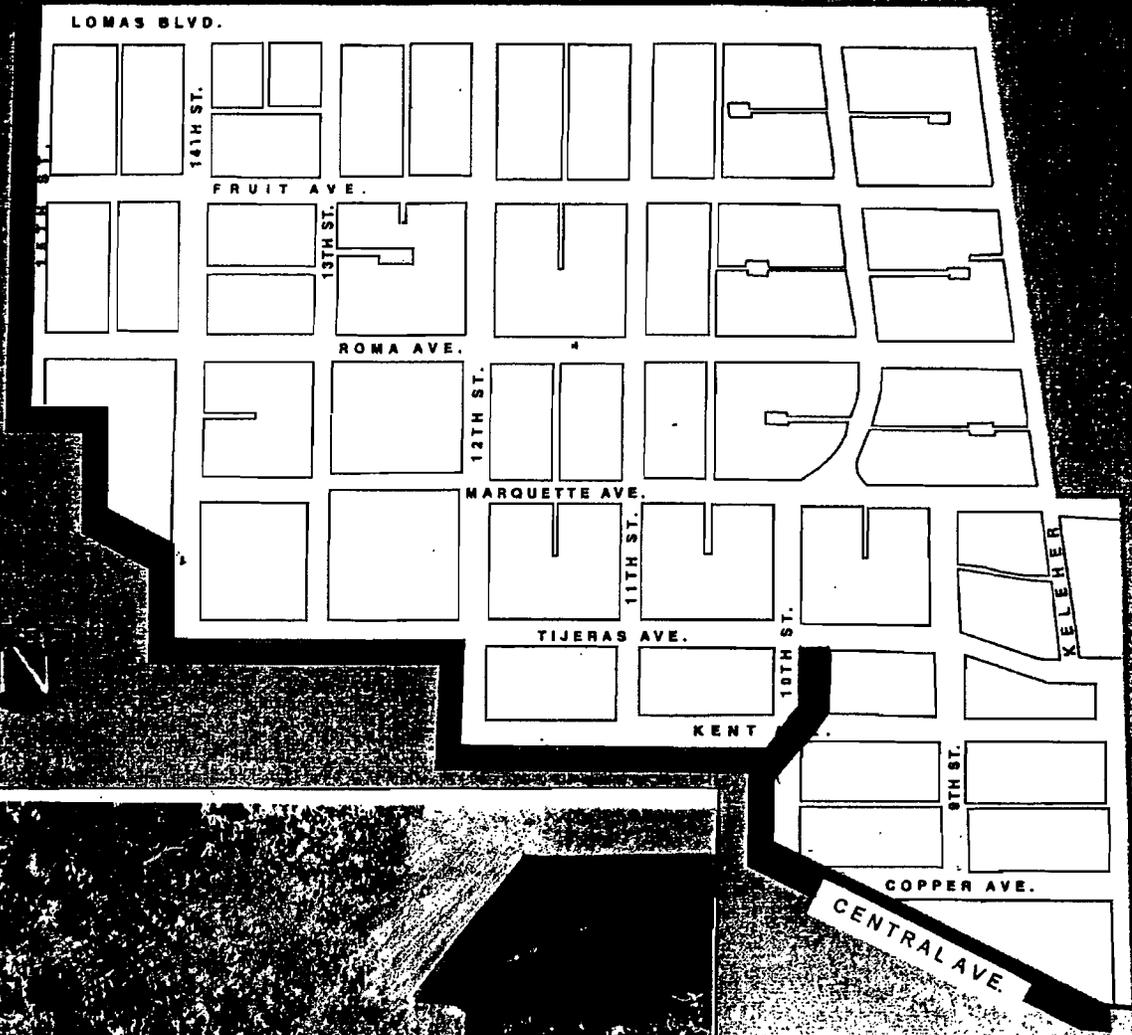
General building characteristics of the Eighth/Forrester Historic Overlay Zone, regardless of individual building style, include:

- 1) A predominance of one-story houses
- 2) Small, simple structures with modest ornamentation
- 3) Use of brick, frame and clapboard, frame and stucco, or cast stone as common building materials
- 4) Many houses constructed with hipped roofs

A-5 Existing guidelines for the Fourth Ward HOZ

# FOURTH WARD HISTORIC OVERLAY ZONE

## *Design Guidelines*



Approved by the LUCC  
June 2002



City of Albuquerque  
PLANNING DEPARTMENT

## ***INTRODUCTION***

Fourth Ward is one of the City of Albuquerque's designated historic overlay zones. The City has recognized this area for preservation due to the architectural and cultural significance that the buildings and neighborhood possess. The Historic Overlay Zone, as the name implies, overlays existing zoning requirements with added design requirements for the buildings, sites, and other features of this important Albuquerque neighborhood.

This document is both a user's guide for the property owners and a written policy and regulatory tool, containing design requirements that are used by the Landmarks and Urban Conservation Commission (LUCC) when evaluating development projects in the Fourth Ward. The LUCC has jurisdiction to oversee all development within the boundaries of the Fourth Ward Historic Overlay Zone.

Appendix A contains the LUCC's Rules for procedures on obtaining a Certificate of Appropriateness for development projects in Fourth Ward. The Certificate of Appropriateness is the approval given by the LUCC that allows the project to be submitted for both permits and construction.

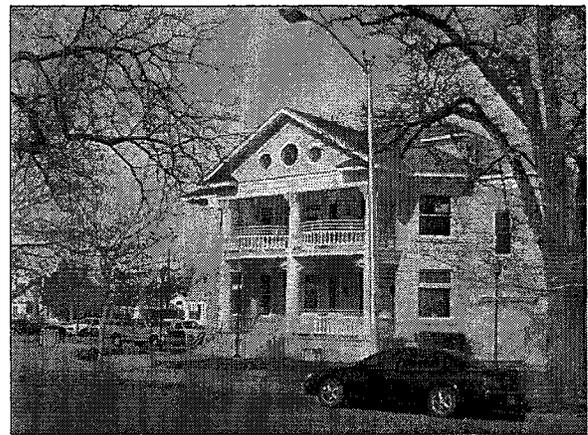
This document was prepared by the Downtown Neighborhood Association (DNA) and the Planning Department. The LUCC reviewed this at several public hearings, meetings, and workshops. The LUCC adopted the guidelines on March 13, 2002, with additional revisions, findings, and conclusions adopted on May 8, 2002.

The joint development of this document has encouraged both the neighborhood residents and other concerned citizens to participate and support the planning and public review process, culminating in regulations for use by both the property owners and the City for implementing exterior alterations to Fourth Ward properties.

The approval of this revision does not constitute any change to either the boundaries of the Fourth Ward Historic Overlay Zone or to the adopting resolution establishing the Fourth Ward Historic Overlay Zone.

## I. HISTORY OF THE NEIGHBORHOOD

The Fourth Ward Historic Overlay Zone is part of a wonderful neighborhood, truly unique in Albuquerque, a friendly and fascinating place in which to live, a vital area to preserve. This district contains fine examples of early Albuquerque residences, reflecting development of the City in the decades following the arrival of the railroad. The Fourth Ward Historic District is listed on both the National Register of Historic Places and the State Register of Cultural Properties.



The George Breece House at 809 Copper NW, was built c. 1908 in World's Fair Classic Style. Its exterior walls are concrete blocks shaped to mimic stone. In 1950 the house became a fraternal club's headquarters. Later, after an addition and rehabilitation project, it was converted to office use. This photo (left) was taken in the 1920s and is used by permission, Albuquerque Museum.

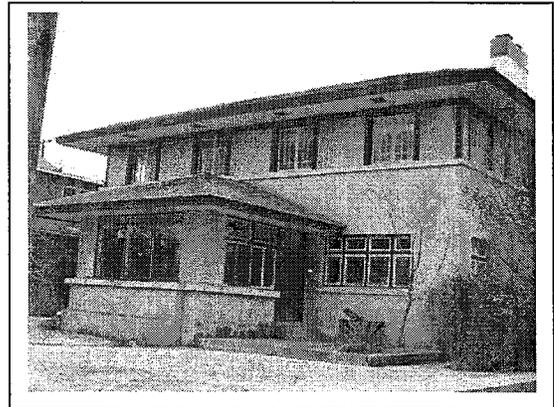
The Fourth Ward was the fourth residential area in the city of New Town Albuquerque. This neighborhood grew up between the original Villa de Albuquerque, now known as Old Town, situated near the Rio Grande River, and the New Town, which had grown up around the railroad tracks a mile and a half to the east in 1880. Most of the Fourth Ward Historic Overlay Zone is in a portion of the Perea Addition. Other development areas were the New Mexico Town Company's Original Townsite of Albuquerque on the eastern portion of the Fourth Ward Historic Overlay Zone. A small central portion is the Luna Place Addition. The entire area hosted orchards, and pastures until it was platted. In 1881 Jose Leandro Perea platted the Perea Addition with a regular grid pattern of numbered north-south streets and east-west avenues. The Luna Addition was platted later, in curved streets with pie-shaped lots. The Original Townsite was part of the New Town development, and focused on the areas close to Central Avenue. The first construction in the overlay zone area focused on the western side, from 14<sup>th</sup> Street to 11<sup>th</sup> Street. This area has some of the finest houses in the overlay zone, where they were built with accordance to the standard set by Castle Huning for building quality and size. Other than a few houses, this area remained undeveloped until about 1905.

Known primarily for its architecture, this district contains a variety of fine houses built between 1880-1930. Many of these were home to early influential Albuquerque citizens, such as Stover, Keleher, Huning, Fergusson, and Hesselden.

The greatest concentration of fine houses in the neighborhood is along 11th and 12th Streets, an area once known as Judge's Row, well known for its great old cottonwood trees and gardens as well as for its handsome buildings.

This overlay zone includes a variety of architectural styles such as Queen Anne, Bungalow, Hipped Box, Prairie, Federal Style, Territorial Revival, Mission Revival, Spanish Pueblo Revival, Dutch Colonial Revival, Tudor Revival and Foursquare.

The Spitz House is located at Marquette and 10<sup>th</sup> Street. It was designed in the Prairie Style by Trost and Trost, a prominent architectural firm based out of El Paso.



Map of Albuquerque, New Mexico  
Compiled by W.C. Willits, Civil Engineer,  
Denver, Colorado, for the Albuquerque  
Abstract Company, February 1898.

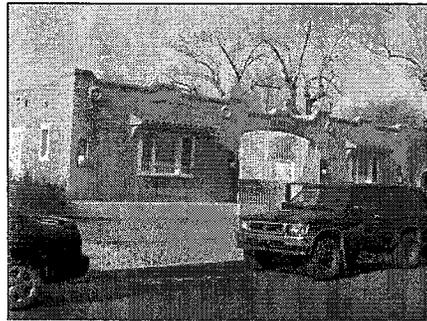
Interspersed between the large, fine houses of the prominent citizens, were smaller, traditional style houses, such as cottage styles or Southwest Vernacular, which blended elements from different styles or traditions. Throughout the neighborhood, large houses and smaller cottages and bungalows sit side-by-side. One of the pleasures of this district is the frequent change of style and scale.

Today, this district can still pride itself on good houses from a wider variety of historical periods and architectural styles than are found in any other district of the City. Many homes have extensive ornamentation, prominent front entries (usually on a porch), inviting front facades with a prominence of windows and doors, and various building heights, ranging from single-story structures to 2 ½ story structures.

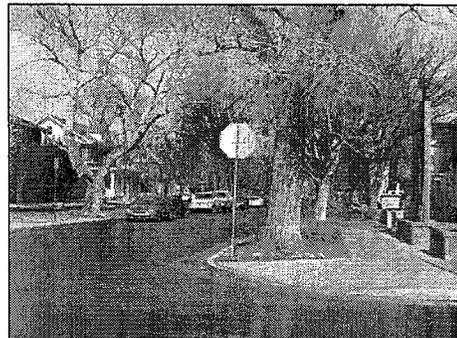
This area has some old style apartment complexes, often with a central landscaped courtyard. There are few commercial structures and a small number of multi-family residences. Fourth Ward developed as a mainly residential area, with very few of the corner stores and meeting halls typical of historic districts in center cities nationwide. This exclusion of commercial and institutional uses appears to be a choice by the high cost of the lots, making small-scale establishments less easy to open.

The Fourth Ward Historic Overlay Zone is characterized by fine streetscapes. Street characteristics include a clearly defined planting strip between the sidewalks that contain mature deciduous trees. Most homes have unfenced front yards. These street features set this area apart, qualities that enhance the architecture and lend a somewhat Midwestern flavor to the neighborhood.

Most homes are single-family dwellings, with a 20-foot setback on north-south streets and a 15-foot setback on east-west streets. The district has two parks within its boundaries: Mary Fox Park, at 13th Street and Roma, and Robinson Park, the oldest existing city park, between Copper and Central and 8th and 10th Streets.



El Portal, a complex of apartments at 11<sup>th</sup> Street and Marquette, is a typical courtyard apartment development, with a Mission style influence.

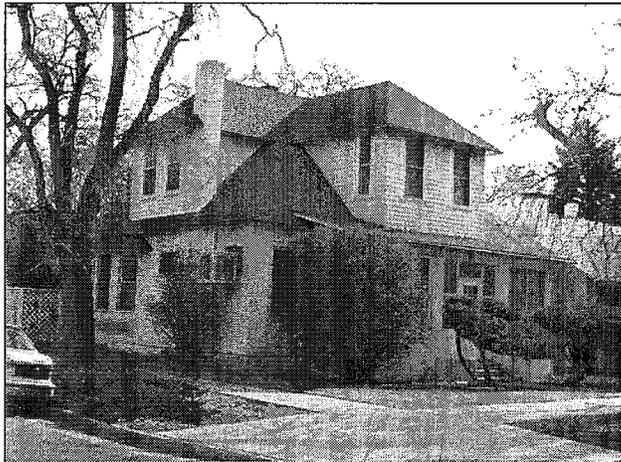
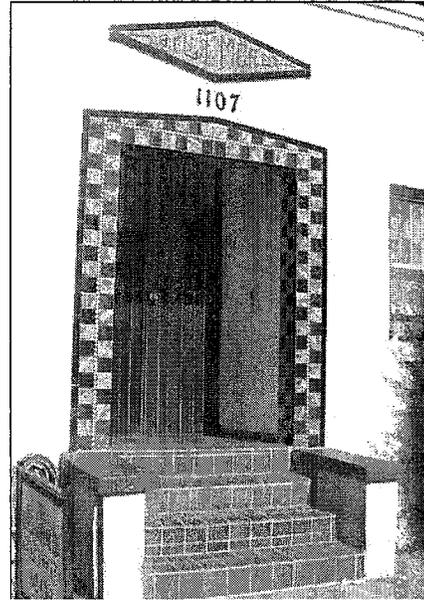


View of 11<sup>th</sup> Street north of Marquette. Note the setback, the sidewalk location, and the planting strip, all of which compose a pedestrian-friendly neighborhood environment.

(History compiled from the Fourth Ward Historic District National Register of Historic Places Nomination, prepared by the City of Albuquerque Planning Department. The Fourth Ward Historic District was nominated to the New Mexico Register of Cultural Properties in 1979 and the National Register of Historic Places in 1980.)



The Biltmore Apartments, at 1107 Tjeras Street NW, are an example of apartment design in the first half of the 1900s. The apartments have a beautiful tiled entry with a sign reminding the viewer of 1930s architecture.



This house at 12<sup>th</sup> and Fruit, 424 12<sup>th</sup> Street, is a two story Hipped Box style, with hipped dormers of a wide proportion. These dormers are a very visible feature on this house. Note the front yard setback and the side yard setback, with mature Siberian Elm trees in the planting strip.

# *Design Guidelines*

## II. DESIGN GUIDELINES FOR CONTRIBUTING BUILDINGS

**Policy:** All alterations shall preserve the overall form and detail character of contributing buildings so that they continue to contribute to the character of the overlay zone.

### A. General Guidelines

1. **Original** materials and architectural features **shall be retained** wherever possible.
2. If the original materials cannot be used, **new materials shall be identical** to the original in size, proportion, texture and finish.
3. **If a material or feature is too deteriorated to be repaired, and an identical material or feature is not technically feasible, a compatible substitute material may be submitted** for consideration and approval. **Approval shall be obtained before proceeding with the substitution.** The new material and/or feature shall convey the same visual appearance as the original.
4. **Replacement of inappropriate modern materials** with materials matching the original is encouraged. The replacement shall be based on historical, physical, or pictorial evidence.

### B. Exterior Wall Materials

1. Materials original to the building and materials that match the original as closely as possible in size, proportion, and pattern.
2. Materials that are appropriate to the style of the structure.

#### **Not Appropriate:**

1. Plastic, vinyl and aluminum siding.
2. Materials that are inappropriate to the style of the structure.



### C. Windows, Screens, Shutters, Awnings, Security, and Vents

1. **Retention and repair of original windows is the preferred option.** If replacement is necessary, the replacement shall match the originals as closely as possible in size, proportion, operation (sash or casement), mullion pattern and material. The size of the window opening shall not be altered.
2. **Glass** shall be clear in the majority of windows, but small amounts of stained or beveled glass may be appropriate and approved on a case-by-case basis.
3. The **addition of new window openings is discouraged.** When new windows are necessary, they shall be placed only on the side of the building that does not face the street. The new windows shall be consistent with the design of the building's existing windows in size, design and materials.
4. The use of **interior screens, storm windows and shutters** is encouraged. If this is not possible, exterior screens, storm windows, and shutters may be approved on a case-by-case basis.
5. Such exterior items, if approved, shall match the existing doors and windows and shall be painted to match existing items.
6. **Exterior shutters** are generally not acceptable. The addition of shutters is only acceptable if evidence exists that shutters were historically in use on the house. If so, replacement shutters shall replicate the original shutters.
7. **Awnings:** If awnings are acceptable, the use of canvas or other woven materials is encouraged. Metal awnings are not acceptable. Awnings shall not hide important architectural features, nor obscure the shape of the window. Awning fixtures shall conform to the shape of the window opening.
8. **Security bars:** The use of security bars is discouraged. Property owners are urged to contact LUCC Staff for advice on how to increase security with minimal impact to the historic character of a building.
9. **Vents**
  - a. Vents shall be retained wherever possible.
  - b. When it is demonstrated to be necessary to convert a vent to a window, the exterior shape and moldings are to be maintained.

- c. Complete removal of vents from the façade is not appropriate.

**Not Appropriate:**

1. Replacing historic windows that could be repaired or restored.
2. Shiny, or raw aluminum window frames.
3. Horizontal moving (“sliders”) or horizontally oriented windows.
4. Replacement windows that do not fit the size of the original opening.
5. Replacement of historic window openings with glass block.
6. Reflective glass in any window on the front façade or publicly visible side.
7. Addition of window openings on the front façade or publicly visible side that include non-functional shutters, metal awnings, raw aluminum storm

#### **D. Doors**

1. **New door panels**, if approved, shall be consistent in style and materials.
2. **New storm or screen doors visible from any street** shall be simple in style and constructed of wood or material with a similar appearance to wood.
3. **New door openings**, if approved, shall not be placed on the front façade or publicly visible side of the building, and shall be consistent with the original rhythm of the building's existing door opening.

#### **Not Appropriate:**

1. Removal of historic door.
2. Addition of new door openings to the front façade or publicly visible side.
3. Exposed (raw) aluminum doors.
4. Flat doors with no decorative features or doors inappropriate to the style

## E. Porches

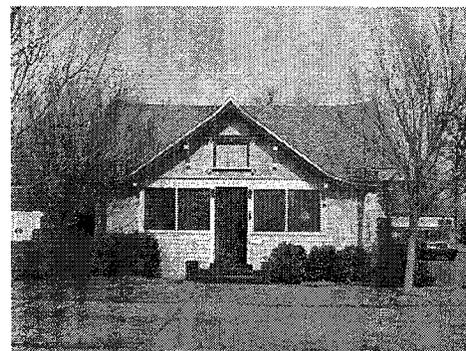
1. Porches were originally designed as outdoor spaces. **Opening up** previously enclosed porches is encouraged.
2. The **original lines** of the porch roof and all original materials and decorative elements **shall be retained** whenever possible.
3. Enclosing porches is discouraged. If a porch must be enclosed, **transparent materials** (glass or screen) that preserve the shape of the openings shall be used. The addition of opaque walls or materials is not appropriate.
4. If a porch is to be enclosed with screen wire and requires a door, the new porch screen door shall be simple and constructed of wood or metal.

### Not Appropriate:

1. Demolition of historic porches is not appropriate unless deterioration is severe and the proposal includes a matching replacement plan.
2. Enclosing porch with masonry or other solid material.
3. Removal of primary porch features and details.

## F. Roof Shapes and Materials

1. **Retain the original** style, pitch, and proportion of the roof. If these have been altered, rehabilitation shall be based on historical physical or pictorial documentation.
2. Original **parapet** height and design shall be maintained.
3. **Pitched roof** materials shall be replaced with a material that is identical in appearance. Replacement shall be visually consistent in composition, size, shape, color, and texture to the original or historically appropriate



This house at 1404 Roma follows a Craftsman style with an unusual flared gable. The porch has been enclosed.

roofing material.

4. **Skylights** may be approved as appropriate if located at the rear of the house and not visible from the street.



The contributing, multi-unit Mercier House at 422 11<sup>th</sup> Street NW is Dutch Colonial Revival Style, rare in Albuquerque. Its open porches and intact exterior details in wood and brick give the house strong historic architectural integrity.

**Not Appropriate:**

1. Metal roofs, excepting historically accurate metal Spanish tiles or replications thereof on Mission or Mediterranean style buildings, or corrugated tin or steel roofs on New Mexico Vernacular Style houses. Metal roofs shall never be used to replace shingle roofs.
2. **Skylights** on street facing pitched or hipped roofs.

## G. Architectural Features

1. **Retain and repair** all architectural features rather than demolish. This includes the form, materials, or details. If this is not possible, replace with forms or details that are identical (or as close to identical as possible) to the original in size, shape and material.
2. **Preserve** significant unusual and unique forms and features wherever possible.
3. Proposed new features shall be outside of the view from the public right of way wherever possible.



At 216 12<sup>th</sup> Street NW, Mediterranean Style is evident in the barrel tile roof, round arch window openings with metal casements, and twisting relief pilasters at the windows.

### **Not Appropriate:**

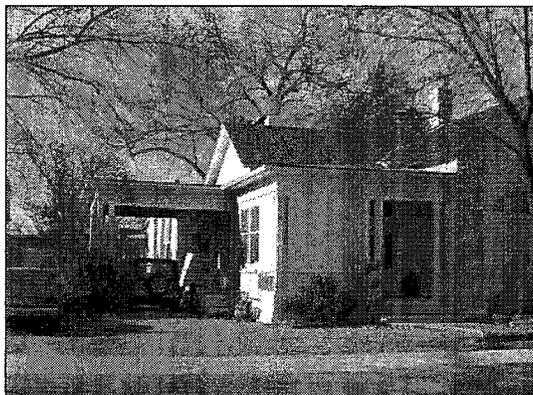
1. Removal of, or hiding from public view, original architectural features.
2. Addition of architectural features incompatible with the overall historical aspect of the building.

## H. Additions to Contributing Buildings

1. Additions to the building shall be **located to the rear of the original building** whenever possible. The orientation of the building to the street shall not be altered by the addition.
2. The general scale, style, height, proportion and massing of the addition **shall be consistent with and not dominate the existing structure visually**
3. Exterior materials and features of the addition shall **match those of the original structure**. This includes the roof pitch, style and material.
4. Additions shall be subordinate to the historic structure. Additions may be appropriate if the proportion, scale, massing, and exterior materials are compatible to the original structure.

### Not Appropriate:

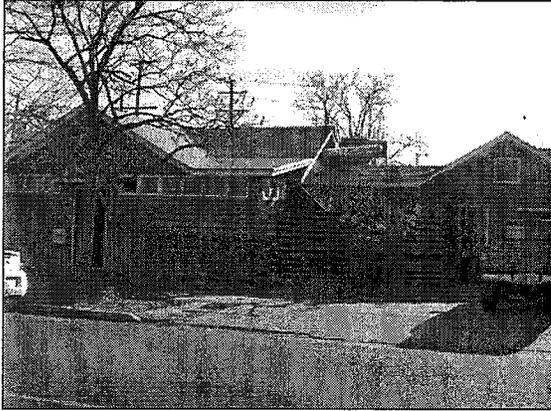
1. Additions larger than the original structure.
2. Additions located at the front third of the building.
3. Additions inconsistent with the contributing structure in architectural scale, style, proportion, massing, or material.



223 14<sup>th</sup> Street NW, a contributing building, has had multiple alterations including a *porte cochere* and front porch infill. The porch infill retained certain details but lost the appearance of an open porch.



This house at 315 Luna Avenue contributes to the character of the district despite several alterations. A sunroom has been enclosed at the left, as has the front porch, and a dormer was added at the upper right.



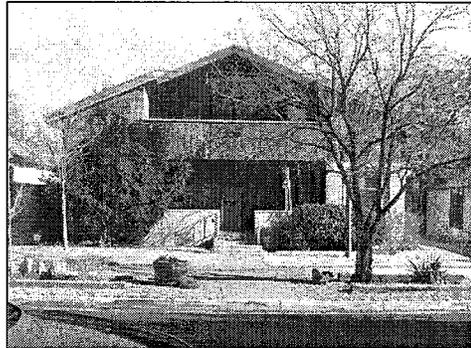
The much-altered building at 1018 Marquette does not contribute to the character of the district. Windows have been changed drastically and the house and garage, once separate, are joined by new construction.

### III. DESIGN GUIDELINES FOR NON-CONTRIBUTING BUILDINGS

Changes to non-contributing buildings shall allow flexibility in design to meet the needs of property owners. Major non-contributing buildings, while not the focus of the historic district, often contribute to the streetscape. Therefore, they should be maintained as companions to significant historical buildings, while still representing their own style and period in history. Alterations and additions to non-contributing buildings shall further their compatibility within the historic district's streetscape, but not copy or recreate, in detail or whole, historic building designs.

#### A. Additions to non-contributing Buildings

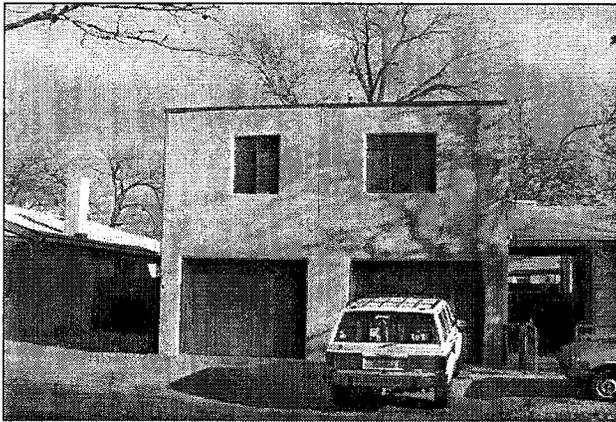
1. The scale, height, and massing of the addition shall not contrast greatly with the existing structure or surrounding contributing properties. The addition shall not overpower or overshadow surrounding contributing properties.
2. Rooflines shall not be significantly taller than surrounding contributing structures.
3. The standard street setback of the block shall be maintained.
4. The building shall remain oriented to the street.



This house at 208 13<sup>th</sup> Street has undergone extensive remodeling and is non-contributing to the historic character of the neighborhood.

## B. Accessory Buildings

1. Accessory buildings shall be **compatible with surrounding contributing primary structures on neighboring properties** in scale, height, and massing.
2. The rooflines of accessory buildings **shall not be significantly taller** than surrounding contributing structures.



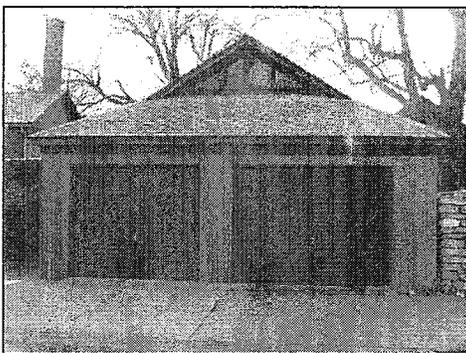
This accessory building at 406 15<sup>th</sup> Street has an apartment above two garage bays and an upstairs apartment. It's noncontributing, built in the 1950s, and compatible with neighboring buildings.

## IV. DESIGN GUIDELINES FOR NEW CONSTRUCTION

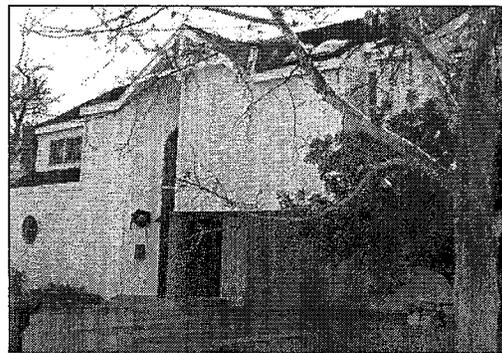
These guidelines are designed to encourage new development that is compatible to the historic buildings in the district. Because the area contains a wide variety of buildings, including some of the oldest in the downtown area, the guidelines allow for flexibility of design, but do not allow duplication of existing structures. Compatibility and individuality are the driving concepts of these guidelines.

### A. Standards for New Construction

1. **Public facades** of proposals for new buildings shall be more carefully reviewed than other sides. Street appearance is vital.
2. New construction should add **visual interest and a sense of scale** at the street level, and at the same time be **compatible** with predominant general characteristics of contributing buildings in the vicinity. The new structure should reflect designs traditionally used in the area.
3. New buildings shall not be imitations of contributing buildings or of other new buildings, but shall be unique in design. Compatibility is appropriate, **but imitation is not appropriate.**
4. New construction shall have a scale, proportion, and massing similar to that of contributing buildings on the same block. If none exist, then it shall be similar to that of contributing buildings in the area. In all cases, the scale, proportion and massing of new construction will be compared with the scale of contributing buildings.



This double-car garage was built behind the house at 12<sup>th</sup> and Marquette. Although the proportion of the doors and the setback of the garage is different from the house, the materials and colors work to blend this newer construction with the existing historic house.



The early 1980s rowhouses at 13<sup>th</sup> and Marquette are compatible with neighboring buildings in their compound gabled roof and massing, wood and brick detailing, and a variety of window shapes. Certain details and the frontal carports set them apart as non-historic, recently constructed buildings.

## B. Scale, Proportion, and Massing

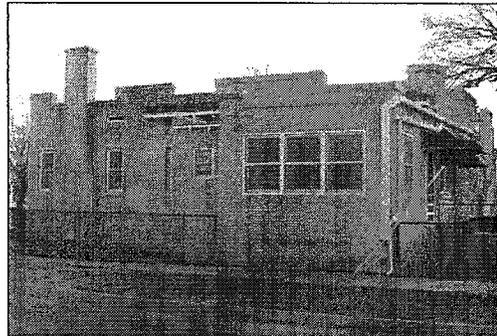
1. **Scale:** **Scale** is how we perceive the size of a building element or space relative to other forms. It can also be defined as the size of a new building and its mass in relation to open spaces. "Human Scale" is a dimension that relates to our own size.
2. **Proportion:** **Proportion** is the relationship between the height and width of a building or opening, or the amount and placement of openings compared to the amount of solid walls.  
In the Fourth Ward, the relationship between the height and width of a building is usually 1:1 or 2:1. There is a high proportion of windows and doors to walls.
3. **Massing:** **Mass** is the geometric bulk of the structure, usually rectangular in form. In the Fourth Ward, buildings are made up of regular larger masses, with smaller masses attached, such as porches or pitched roofs.

## C. Pattern and Rhythm

**Pattern and Rhythm:** **Pattern** is the form of the building, space, or object grouped together. **Rhythm** is the regular occurrence of those patterns that organize and harmonize a series of like forms or spaces. In Fourth Ward, lot sizes, building sizes, pitched roofs, porches, window and door openings, and street trees all create rhythm. Other patterns and rhythms are window configuration (such as 6/1 panes, grouped in threes) that are repeated throughout the house. Rhythms can be formed using more than one pattern.

1. New construction shall conform to established rhythms on the buildings and on the sites.
2. New construction shall employ at least two of the following methods:
  - (a) Incorporate similar patterns of **architectural details** from existing

contributing buildings. Texture and scale of those details are important



This Southwest Vernacular style house at 14<sup>th</sup> and Roma is a good example of pattern and rhythm. The parapet steps up and down rhythmically and the one-over-one, double hung windows set a pattern repeated all around.

considerations, without duplicating a historically accurate detail.

- (b) Match patterns of **exterior materials** with those of contributing buildings.
- (c) Match **rooflines** with those of contributing buildings.
- (d) Incorporate historically accurate **patterns** of existing doors and windows from contributing buildings.



At 1123 Tijeras Avenue NW, details to be preserved include the turret, diamond-pattern window muntins, projecting roof with exposed rafter ends, and siding of wood shingle and clapboard.

#### D. Siting and Setback

The underlying zoning category controls the setbacks on the parcel. In the Fourth Ward, the setbacks are traditionally 20 feet on north-south streets and 10-15 feet on east-west streets. These setbacks determine the building's siting, or position on the lot. Lot widths vary considerably in the Fourth Ward. The underlying zoning category setback may be different than the original setback. These guidelines shall be used where the traditional setback already exists on the site.

1. The established, traditional setback shall be maintained, unless demonstrated by the applicant to be unattainable.
2. If there is no established setback for the block, the setback for new construction shall be determined by using the average setback of the block. If between two buildings, new construction shall match the setback of the adjacent buildings. Where the adjacent buildings do not have a uniform setback, the average setback between the two adjacent buildings shall be used.
3. Where no setback is required in the underlying zoning category, none shall be required on that parcel.

## E. Height

The Zoning Code underlying zoning category controls height requirements for the parcel.

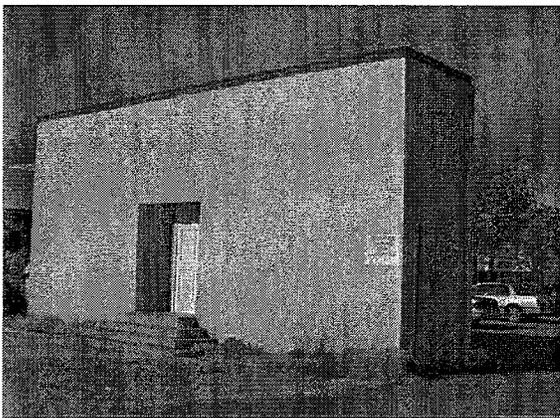
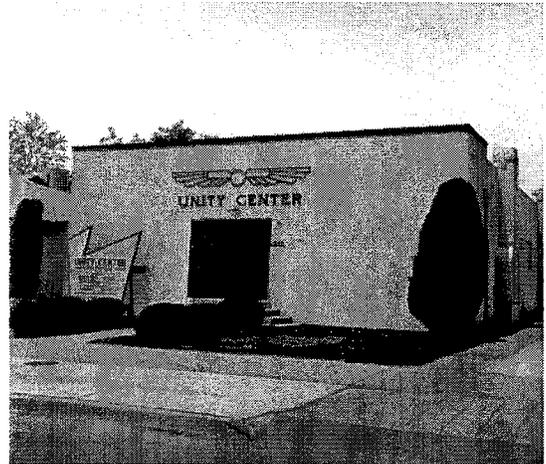
1. The height of any new construction shall be as controlled by the Zoning Code and compatible to nearby properties.
2. Where the allowable height as controlled by the underlying zoning exceeds that traditionally found in the neighborhood, incorporate design features that are compatible with surrounding properties.

## F. Exterior Materials

1. The use of **traditional materials** and those newer materials compatible with contributing buildings in the area is strongly encouraged. Traditional materials include wood, stucco, brick, adobe, stone and cast stone.
2. Plastic, vinyl, aluminum siding or other metals shall not be used, with the exception of metal window frames.

## G. Architectural Details

1. New construction shall not duplicate or replicate any contributing buildings, but rather use them as examples of appropriate style and design features.
2. Large blank walls are not appropriate.
3. Details and massing shall be on a human scale.
4. Front porches are encouraged on all residential structures.



Large blank walls are not appropriate, and the remaining façade (photo at left) of the former Unity Center building (photo above) at 1215 Tijeras Avenue NW shows why. Its blankness detracts from a streetscape of buildings with windows and a door in

## H. Windows

All buildings in the district are marked by an abundance of openings, because when these buildings were constructed, electric lighting was a luxury. The pattern of a high proportion of windows and doors, regularly placed, creates a pleasing rhythm and maintains a human scale.

1. Residential properties shall have approximately 30% of the wall surface in windows on the ground floor façades (specifically, the front façade).
2. Commercial, office, or multi-family structures shall allow approximately 50% of the ground-floor front façade to window and door openings.
3. Use of traditional window shapes and types is encouraged, with clear glass predominating. Lightly tinted glass may be used on upper stories.
4. Stained glass, beveled glass, or other architectural glass may be used.

### Not Appropriate:

1. Unpainted metal windows are not allowed.
2. Darkly tinted or reflective glass is not allowed.



The front porch (left side of photo) at 1015 Roma NW has been enclosed with glass set in wood framing. The porch enclosure's design is appropriate in its materials and similarity to the pattern of the house's original windows.

## I. Entries and Doors

A defining feature of the district is the emphasis on entries of the historic houses. They are always oriented to the street and are one of the most significant elements of the house. Entries of single-family houses are usually defined and enhanced by a porch.

1. Primary building **entrances** shall be oriented to the street. The use of architectural detail to highlight the entry is preferred.
2. Front entry **porches** are strongly encouraged on single-family dwellings.
3. Use a combination of wood and glass **door** with an historic design is encouraged.

**Not Appropriate:**

1. Shiny **aluminum doors** are not allowed for front entry or any entry visible from any street.

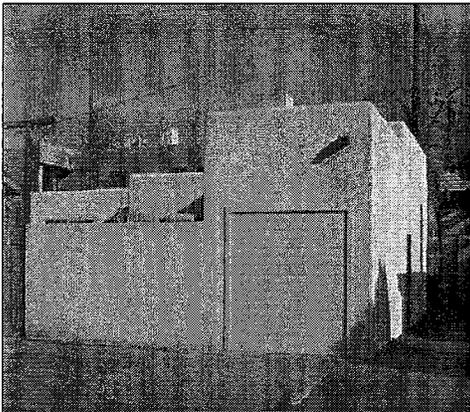
**J. Rooflines**

**Existing Conditions:** Single-family homes traditionally had intricate rooflines and facades punctuated by porches, dormers, and other elements. Historic roof shapes include: flat with a parapet, gabled, gambrel, hipped, or a combination of some of these shapes. Multi-family dwellings and nonresidential buildings traditionally had flat roofs. However, since both flat and pitched roofs are historically present, either may be appropriate on a new structure, depending on location of the new structure.

1. Historic roof shapes shall be used on all new structures. Both flat and pitched roofs are historically correct, depending upon the overall design of the structure.

**Not Appropriate:**

1. Hyperbolic, partial mansard, or barrel vault roofs are not allowed.
2. Metal roofing is not allowed.



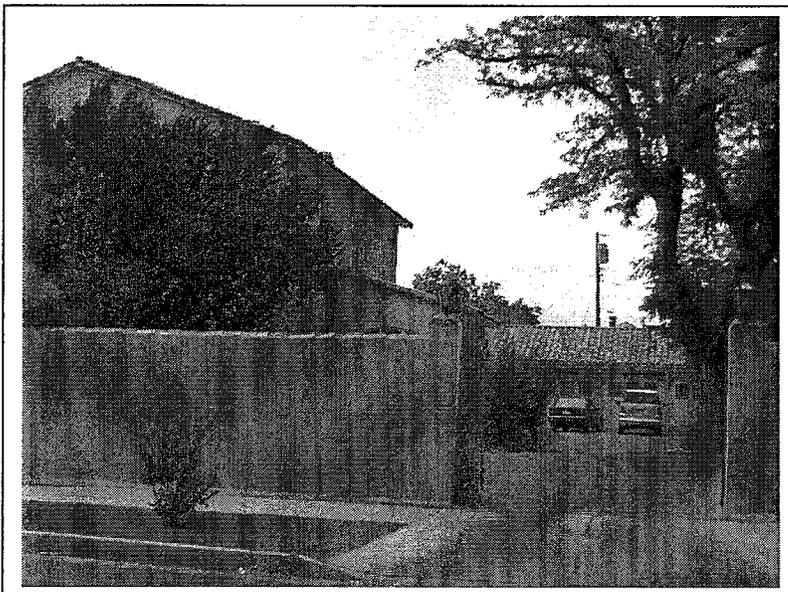
The proportion of the roofline to the structure is out of character with this historic overlay zone and would not be appropriate today. This house, located at 424 15<sup>th</sup> Street, has a higher than average wall height and parapet. This parapet is overly tall in proportion to its windows and door openings, including the one shown. A past alteration added height to the wall and resulted in the inappropriate proportioning. Such alterations should not be

### K. New Accessory Structures (on any site)

1. Accessory buildings are most commonly **garages or storage sheds**. Zoning determines the setback and maximum size, **but the style must be consistent with the style of the house**. Access to these structures, such as driveways, should be compatible with other existing driveways/entries in the neighborhood.
2. Accessory structure must be subordinate to the main structure and located to the rear of the lot. An accessory structure is **never permitted in the front yard**.
3. Portable, mass-produced storage sheds shall not be visible from the public right of way.

### VI. PARKING FOR MULTI-FAMILY OR COMMERCIAL STRUCTURES

1. Service and parking areas shall be located to the rear of the property.
2. Parking shall not be visible from the public right of way, if possible. If this is not possible, visible parking lots shall have a wall or well-maintained landscaped screen to buffer them from the public right of way.
3. When a parking lot borders a residential structure, there shall be an opaque wall and landscaped screen between the properties.
4. Eliminate or reduce parking on the street-facing side of corner buildings.



The Bond-Lovelace house, at 12<sup>th</sup> and Tijeras is used for offices today. The parking area is separated from the sidewalk and the 6' wall is architecturally integrated with the building style.

## VII. MECHANICAL AND GROUND LEVEL EQUIPMENT

1. Roof or building mounted **mechanical or solar equipment** shall be screened and not visible from the sidewalk or street across from the building.
2. **Refuse containers** and ground level mechanical or solar equipment shall be located at the rear of the structure and screened with an appropriate wooden or stucco wall and/or landscaping. Satellite dishes shall be placed so as to be minimally visible from the front street. Rolling trash receptacles shall be contained in a screened area, to either the side or rear of the structures. Front yard locations are not appropriate.

## VIII. MISCELLANEOUS FEATURES

As with other aspects of both Contributing and non-contributing buildings in the Fourth Ward, compatibility is the major focus of the guidelines. The size, scale, proportion and materials used should be compatible with the style and character of the neighborhood.

### A. Area Features to be preserved

- Original sidewalk paving
  - Buggy steps
  - Horse rings
  - Lawn curbs
1. All site and right-of-way alterations shall be reviewed by the LUCC for a Certificate of Appropriateness.

### B. Fences and Walls

1. **Front yard fences are not encouraged.** If a fence is necessary in the front yard, it shall be no taller than 3 feet, as established by zoning, and shall continue to the rear of the yard. Please consult with the Zoning Code and with LUCC Staff for fencing. The Zoning Hearing Examiner hears special exception variances to the height of front yard fences.
2. If a taller, privacy fence is desired, it shall be located in the rear yard, with the fence beginning at the rear edge of the house.
3. Concrete blocks walls shall be stuccoed and architecturally integrated to the building.

**Not Appropriate:**

1. Unstuccoed, smooth-faced block walls, chain link fencing, chicken wire and coyote/patio fencing shall not be approved.

**C. Landscaping**

Landscaping is a matter in which the LUCC has an advisory role. These guidelines are recommendations for property owners, but they are not requirements.

1. Retention and maintenance of existing **street trees** is highly encouraged, unless the trees are seriously diseased. If a diseased tree must be removed, replacement with an appropriate type of tree is encouraged. A planting list is available from the City of Albuquerque Parks Department for appropriate plants for disease resistance and drought tolerance. Before landscaping, please check with a local nursery/gardening center for important information on appropriate trees for this climate and for restrictions regarding pollen producing plants and high water use plants.
2. Where evidence of an historic landscape can be demonstrated through documentary evidence, maintenance and restoration of that historic landscape is appropriate (i.e. conversion to drought-tolerant or other planting schemes is inappropriate)
3. Front and sideyard improvements should not include total coverage with concrete, gravel, stone, or other hard, non-plant material. **A minimum of 50% of the front and side yards should consist of live plant material** such as shrubs, flowering plants, trees, and grass. Although xeriscaping is not required, the use of appropriate low water use plants is strongly encouraged
4. Evergreen trees, shrubs and low-branching trees are not recommended for the planting strip between street and sidewalk.

**D. Lighting**

Site lighting is addressed in the Zoning Code under the General Provisions: Area Lighting Requirements section. All lighting must meet Federal, State and local regulations regarding wattage, lighting spill, reflectance, and night sky protection.

## **IX. DEMOLITION**

**The demolition of any building in the Fourth Ward requires a Certificate of Appropriateness from the LUCC, as well as a demolition permit from the City.**

Demolition criteria are contained in the LUC Ordinance. Please refer to the LUC Ordinance for demolition requirements.

## **APPENDIX A: RESOURCES**

These programs and organizations have experience in rehabilitating historic buildings and in obtaining proper prior approval, and in some instances, financial assistance, for projects. Please feel free to contact one or more of these entities to inquire about receiving assistance.

### **1. Downtown Neighborhood Association**

Contact the City of Albuquerque Office of Neighborhood Coordinator for current phone and address representatives

### **2. City of Albuquerque Office of Neighborhood Coordination**

Phone: 768-3970

Address: 600 2nd Plaza Del Sol NW (basement)

### **3. Landmarks and Urban Conservation Commission Staff (LUCC)**

Phone: 924-3860

Address: 600 2nd Plaza Del Sol NW, 3<sup>rd</sup> Floor

Email: [mpiscitelli@cabq.gov](mailto:mpiscitelli@cabq.gov)  
[ftapia@cabq.gov](mailto:ftapia@cabq.gov)

### **4. State Preservation Office, re: state tax credits.**

Phone: (505) 827-6320

Address: 228 E. Palace Avenue

Room 321

Santa Fe, NM 87501

Website: [www.museums.nm.state.us/hpd](http://www.museums.nm.state.us/hpd)

The New Mexico Historic Preservation Division administers the state and federal programs. Please consult with the historian at the City of Albuquerque Planning Department to find out more information about the house.

### **5. Neighborhood Housing Services**

Phone: 243-5511

Address: 1500 Lomas, NW

Albuquerque, NM 87104

This organization offers income-based assistance and strives to be user-friendly and helpful.

### **6. City of Albuquerque Planning Department Historic Preservation Section**

Phone: 924-3860

1. *Historic Preservation Files:* There is a library of materials at the Planning Department LUCC and Historic Preservation Offices, on historic architecture, restoration technology,

survey forms of all properties in the districts, and files on preservation products and services, all of which are available to the public. Please call for an appointment. (Phone: **924-3860**) website: [www.cabq.gov/planning](http://www.cabq.gov/planning) then navigate to information and links in Community Revitalization and Historic Preservation.

2. *Assistance:* As a public service, Staff members with training and experience in architecture and architectural history are available to give limited assistance and know of other available resources. They will meet with you to discuss a restoration project, maintenance problem, historically appropriate paint color, or other issues.

7. Materials available from the **City Planning Department Planning Resource Center**  
**Telephone: 924-3909**

- Historic Albuquerque Tour Map and Guide
- Albuquerque New Mexico's Historic Route 66 Tour Guide and Map
- Imagine...* The Archeology of Albuquerque and Bernalillo County
- Design Guidelines Handbooks for Albuquerque's Four Historic Zones
- Albuquerque's Historic Landmarks
- Albuquerque/Bernalillo County Structures, Sites and Districts Listed on the National Register of Historic Places and the State Register of Cultural Properties (in Historic Preservation Section files)
- VIDEOS:
  1. Early Albuquerque, The Railroad Boom Years 1880-1920
  2. Discover Albuquerque
  3. Albuquerque at the Crossroads
  4. Common Home Repairs

8. **Relevant Books**

- Albuquerque*. Erna Ferguson. Merle Armitage Additions, 1947.
- Albuquerque: A Narrative History*, Marc Simmons. University of New Mexico Press, 1982.
- Albuquerque – 100 Years in Pictures*. George Fitzpatrick and Harvey Caplin. Modern Press, 1976.
- Historic Albuquerque Today: An Overview Survey of Historic Buildings and Districts* Susan Dewitt. City of Albuquerque Planning Department, 1962.
- Historical Background of Albuquerque, New Mexico*. Alan J. Oppenheimer. City of Albuquerque Planning Department, 1962.
- Making the Most of It: Public Works in Albuquerque During the Great Depression 1929-1942*. Charles Biebel. Albuquerque Museum, 1986.

9. **HPD Video** Focuses on the Federal tax credit program with case studies of success stories in New Mexico. This video and others are available for viewing in the Planning Department Resource Center.

## APPENDIX B: GLOSSARY

**Accessory Building:** An incidental building detached from and smaller than the main building on the same lot.

**Adaptive Reuse:** The process of converting a building to a new use other than that for which it was originally designed, (for example, changing a school into housing).

**Addition:** Expansion of an existing structure. Any new construction, which increases the height or floor area of an existing structure

**Adobe:** An unfired, sun-dried brick made of clay and sand. A **terrone** is made of river sod, and was often cut directly from the banks of the Rio Grande.

**Alteration:** Any construction, modification, addition, moving or destruction that would affect the exterior appearance of a structure which has been designated a landmark, or which is located in a historic overlay zone or urban conservation overlay zone, or which has been formally identified as worthy of preservation, or for which the city has received a preservation facade easement.

**Appropriate:** Especially suitable or compatible; fitting.

**Balustrade:** Part of a railing system that includes a hand- or top rail and its balusters. Sometimes a bottom rail is also included. A baluster is the post or spindle, which vertically supports a handrail on stairs or balcony railing.

**Bay Window:** A window or band of windows that protrudes from the face of a building within a structural bay.

**Bracket:** Any overhanging member projecting from a wall or other body possibly to support weight acting outside the wall. In the styles found in this district, they are often more decorative than functional.

**Buttress:** An exterior mass, typically masonry but may be wood, set at an angle to or bonded into a wall to strengthen or support the wall.

**Canales:** Projecting gutters or spouts built to carry rainwater away from the face of a building. Prominent in Spanish and Pueblo styles.

**Casement Window:** A window hung on one side that opens inward or outward. First appeared in wood and later in steel.

**Cast stone:** Found quite often in this district. Cast stone is a cement mortar and stone chip mixture molded into blocks to simulate stone. The New Mexico Cast Stone factory was in use from 1906-1910 and Sears sold mail-order machines.

**Castellated:** Bearing the external fortification elements of a castle such as battlements, turrets, etc. similar to a medieval castle. Southwest Vernacular styled houses sometimes have a castellated parapet.

**Certificate of Appropriateness:** The written approval of the Lucc or designated city Staff indicating that a project has been reviewed and determined to meet the applicable design criteria.

**Clapboard:** Overlapping horizontally laid long wood boards used on wood framed houses.

**Clerestory:** A series of windows placed along the upper edge of a wall.

**Compatible:** Capable of existing or operating together in harmony.

**Contributing:** A building so designated by the Landmarks and Urban Conservation Commission because it adds to the historic architectural qualities of the district and possesses historic integrity reflecting the district's characteristics

**Cornice:** Any molded projection which “finishes” or “crowns” the part to which it is attached.

**Demolition:** The complete removal of a structure or a significant portion thereof.

**Dentil:** Ornamentation in the form of a band of square, tooth-like blocks, usually found underneath the cornice. Brick is often used for this ornamentation on Territorial Revival buildings.

**Detail:** A drawing indicating location, composition and correlation of the elements and materials.

**Dormer:** A vertically set structure on a sloping roof containing a window or vent. There are many types of dormers which are named by their shape or roof type.

**Double Hung Sash Window:** A window with two vertically sliding sashes, one above another, arranged to slide vertically past each other.

**Eave:** The lower edge of the roof that projects beyond the wall.

**Exterior Materials:** The outer finish of a structure which provides protection against weather and serves as a decorative element.

**Facade:** The exterior face of a structure.

**Fascia:** A plain horizontal band or the finished edge of an eave or rafters.

**Feature:** A prominent architectural part or characteristic.

**Guideline:** An indication or outline (as by a government) of policy or conduct.

**Human scale:** The relationship of people to their surroundings; a dimension that relates to our own size.

**Leaded Glass:** A window comprised of

small panes of glass held together by lead strips called cames.

**Lintel:** A horizontal member (such as a beam) that spans a window or door opening in order to carry the weight of the wall above it. Often made of wood and exposed in the Spanish -Pueblo Revival style.

**LUC Ordinance:** The Landmarks and Urban Conservation Ordinance of the City of Albuquerque’s Revised Ordinances, Chapter 14, Article 12. This ordinance provides for the intent of historic preservation in the city, creation and duties of the Landmarks and Urban Conservation Commission, establishment of City Landmarks, historic zones, and urban conservation overlay zones, procedures for alteration, new construction, demolition, public hearing notification and procedures, appeal procedures, limits and penalties.

**Masonry:** The art of shaping, arranging and uniting stone, brick, adobe or concrete block to form walls and other parts of a structure.

**Massing:** The arrangement of structural volumes in order to create an overall proportionally interrelated form or series of forms.

**Mullion:** The primary vertical member separating and often supporting two window sashes or fixed panes of glass. Mullions and muntins are often confused.

**Muntin:** Secondary member separating fixed panes of glass within a window sash.

**National Register of Historic Places:** The official list of the Nation’s cultural resources worthy of preservation. The National Register is administered by the National Parks Service under the Office of the Secretary of the Interior. The associated programs for the National Register are administered by the NM Historic Preservation Division. Properties listed on the Register include districts, sites,

buildings, structures, and objects that are significant in United States History, architecture, archaeology, engineering, and culture. These resources contribute to the historical and cultural foundations of the Nation. The National Register does not control the use, alteration, or demolition of any privately owned property, unless Federal money is used in the project.

**New Mexico Register of Cultural Properties:** The official State of New Mexico list of cultural resources worthy of conservation and preservation. This list and associated programs are managed and administered by the State of New Mexico Office of Cultural Affairs, Historic Preservation Division. The NM Register does not control the use, alteration, or demolition of any privately-owned property unless public money is used in the project.

**Non-contributing:** A building that does not add to the historic architectural qualities of the district because it was built after 1945, or because it no longer possesses historic integrity reflecting the district's character due to alterations, additions or changes.

**Orientation:** The direction the front facade of a building faces.

**Original:** (As written in the LUC Ordinance) at the time of initial construction or developed over the course of history of the structure.

**Palladian Window:** A three-part window grouping. The central window is arched, wider and often taller, and is flanked by two smaller windows, either flat or arched.

**Parapet:** The extension or short wall above the roof line of a flat roof. In some styles, like Southwest Vernacular, found in creative shapes, like crenelated, stepped or undulating.

**Pitch:** The angle of a sloping roof. A low pitch is under 30°, normal pitch is 30-45°, a steep pitch is over 45°.

**Porch:** The covered entrance to a building, sometimes called a Veranda.

**Porte Cochere:** A covered entrance porch for carriages or cars to drive through. Also called a carport.

**Primary Structure:** A structure that functions as the primary living or working height to width.

**Proportion:** 1. Harmonious relation; balance; symmetry. 2. The relationship of the size, shape, and location of one building element to all the other elements; each architectural style typically has its own rules of proportion.

**Public Right Of Way:** Publicly owned streets and walkways. For the sake of the guidelines, alleys are not considered a public right of way.

**Quoin:** Units of masonry used to accentuate the corners of a building.

**Rafter:** A roof support, sometimes exposed as a decorative detail.

**Roof:**

**Flat-** A roof with no pitch, or a slight pitch.

**Gable-** A style of roof with one ridge. The gable is also the triangular wall area at the end of a gabled roof.

**Gambrel-** A ridged roof with two slopes on each side, the lower slope having the steeper pitch.

**Hipped Roof-** A roof with four uniformly pitched sides.

**Mansard Roof-** A roof with two slopes on all four sides.

**Shed-** A pitched roof with no ridge.

**Rhythm:** The use of recurring patterns to organize a series of like forms. Repetition organizes forms.

**Scale:** 1. How we perceive the size of a building element relative to other forms. Immediate surroundings to the subject site determine the scale of the site. 2. The size of a new building and its mass in relation to open spaces 3. the spatial relationship between buildings, open spaces, structures, and human beings.

**Security Bars (Wrought Irons):** Bars placed on the interior or exterior of a house over windows and/or doors for security.

**Setback:** The distance of a building from the road. Also, the situation in which the upper stories of a building are stepped back from the lower story.

**Shall:** In this publication, *shall* means *mandatory* in accordance with these guidelines.

**Should:** What must happen unless circumstances illustrate why an alternative may be appropriate in accordance with these guidelines.

**Shiny metal:** Unpainted metal, particularly modern metal like aluminum.

**Standard:** Something set up and established by authority as a rule for the measure of quantity, weight, extent, value, or quality; criterion; rule; requirement; mandate.

**Turret:** A circular or polygonal projecting bay or structure usually with a steep pointed roof.

**Unusual Details:** Details that are not typical of the style or era due to exceptional originality or workmanship, making them especially valuable. The Landmarks and Urban Conservation Commission will determine the treatment for unusual details.

**Vigas:** A projecting timber roof beam, now often decorative.

**Visible from the Street:** That portion of a structure that is visible to a person standing on any publicly maintained street. For the purposes of design review, that portion of any structure that is not visible due only to vegetation is still considered visible from the public right of way.

(This glossary of definitions was developed from common knowledge, dictionaries, and architecture and preservation texts.)

## **X. SEVERABILITY**

If any section, paragraph, sentence, clause, word or phrase of these design guidelines is for any reason held to be invalid or unenforceable by any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of these design guidelines.

