



## Environmental Planning Commission

Agenda Number: 1

Project #: PR-2019-002667

Case #: SI-2019-00249

Hearing Date: September 12, 2019

### Staff Report

<b>Agent</b>	Century Sign Builders
<b>Applicant</b>	Presbyterian Healthcare
<b>Request</b>	Amendment to Site Development Plan Signage.
<b>Legal Description</b>	Tract 3-B plat of Lots 3A and 3B Coors Village
<b>Location</b>	4515 Coors Blvd. NW, SW corner of Coors Boulevard and Western Trail NW
<b>Size</b>	6.8 acres
<b>Existing Zoning</b>	MX-M

### Staff Recommendation

**APPROVAL** of SI-2019-00249, based on the Findings beginning on Page 12.

Staff Planner  
Leslie Naji, AIA Senior Planner

### Summary of Analysis

The request is for an amendment to the site's Subdivision Design Standards for part of an approximately 6.8 acre site, consisting of the eastern half of Tract 3B on the west side of Coors Blvd. in the northwestern portion of the City. The lot is zoned MX-M. The applicant has previous EPC approval for this site and is requesting a change to the approved Subdivision Design Standards to allow for two larger wall-mounted illuminated signs.

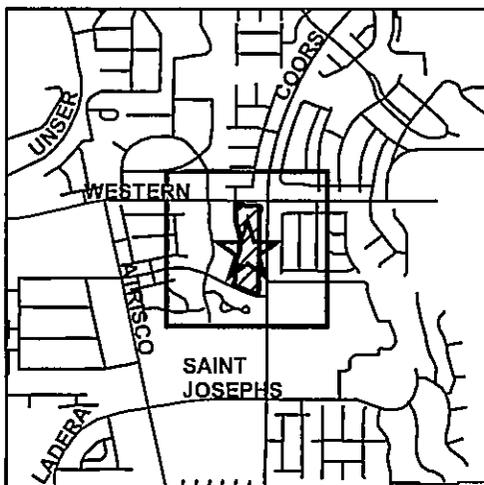
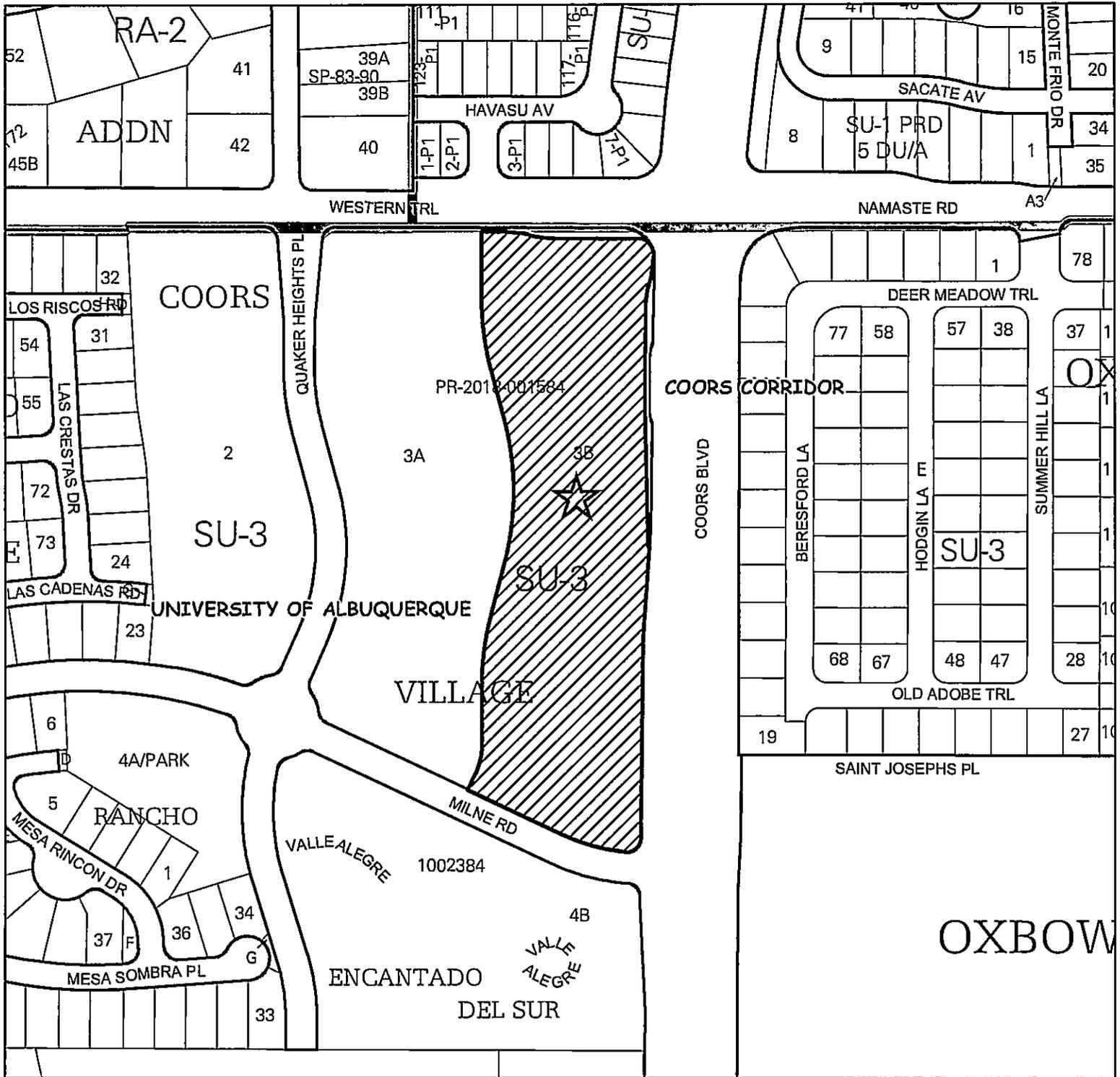
The subject site is in an Area of Change, as designated by the Comprehensive Plan. A zone map amendment was approved by EPC in December 2018 changing the site from MX-L to MX-M. The MX-M was requested to allow for the larger medical facility being constructed.

Subdivision Design Standards were written with the anticipation of multiple, smaller business retail buildings as allowed under the previous zoning.

The affected neighborhood organization is the Westside Coalition, which was notified as required. Property owners within 100 feet of the subject site were also notified as required. A facilitated meeting was not requested. Staff has not been contacted. There is no known opposition. Staff recommends approval.







### OLD ZONING MAP

Note: Gray shading indicates County.



1 inch = 250 feet

Hearing Date:

9/12/2019

Project Number:

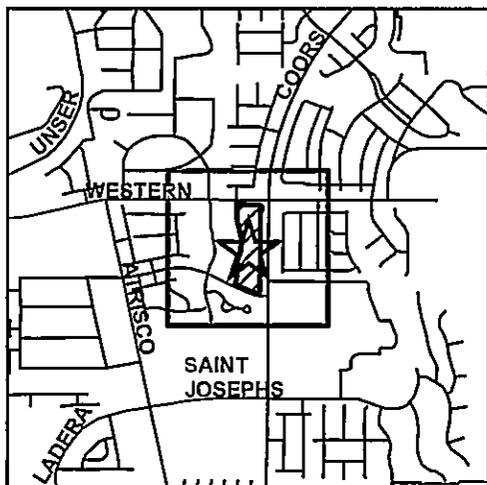
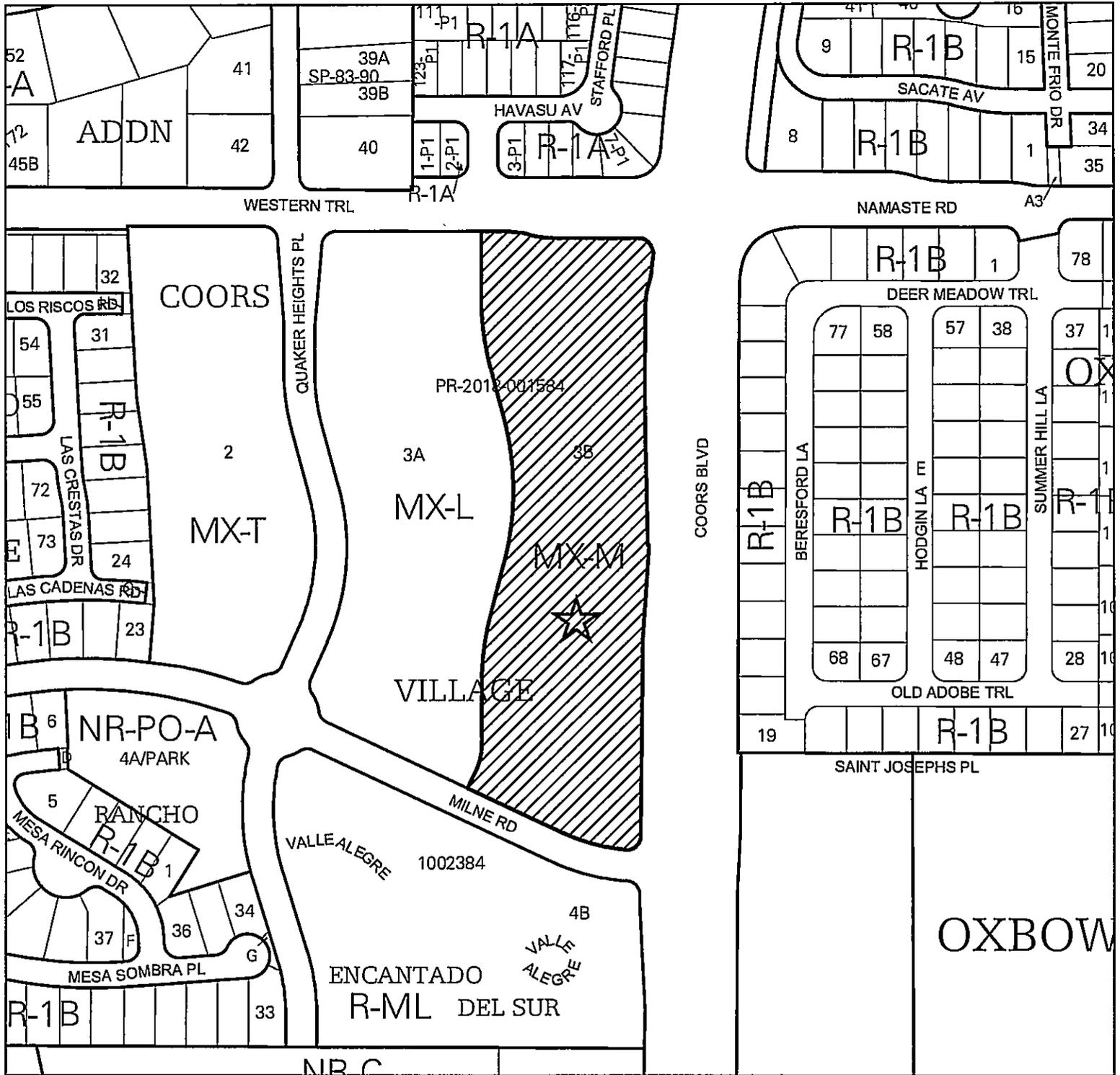
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# IDO ZONING MAP

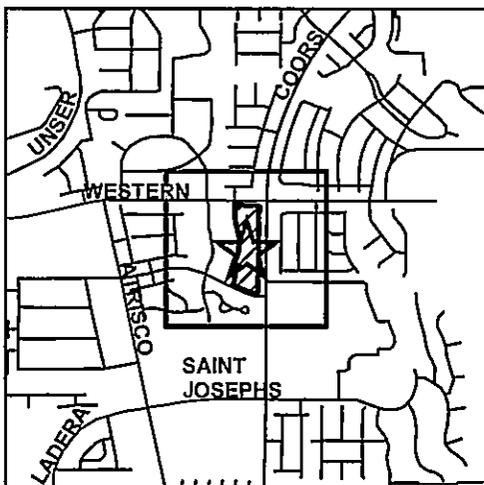
Note: Gray shading indicates County.



1 inch = 250 feet

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Zone Map Page:  
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## LAND USE MAP

Note: Gray shading indicates County.

LDRES   Low-density Residential	APRT   Airport
MULT   Multi-family	TRANS   Transportation
COMM   Commercial Retail	AGRI   Agriculture
CMSV   Commercial Services	PARK   Parks and Open Space
OFC   Office	DRNG   Drainage
IND   Industrial	VAC   Vacant
INSMED   Institutional / Medical	UTIL   Utilities
ED   Educational	CMTY   Community
	KAFB   Kirtland Air Force Base



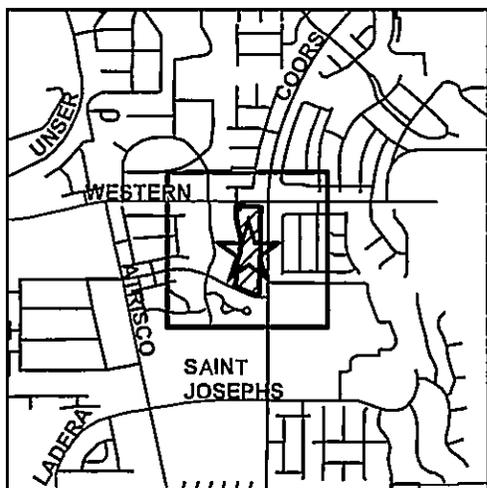
1 inch = 250 feet

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### HISTORY MAP

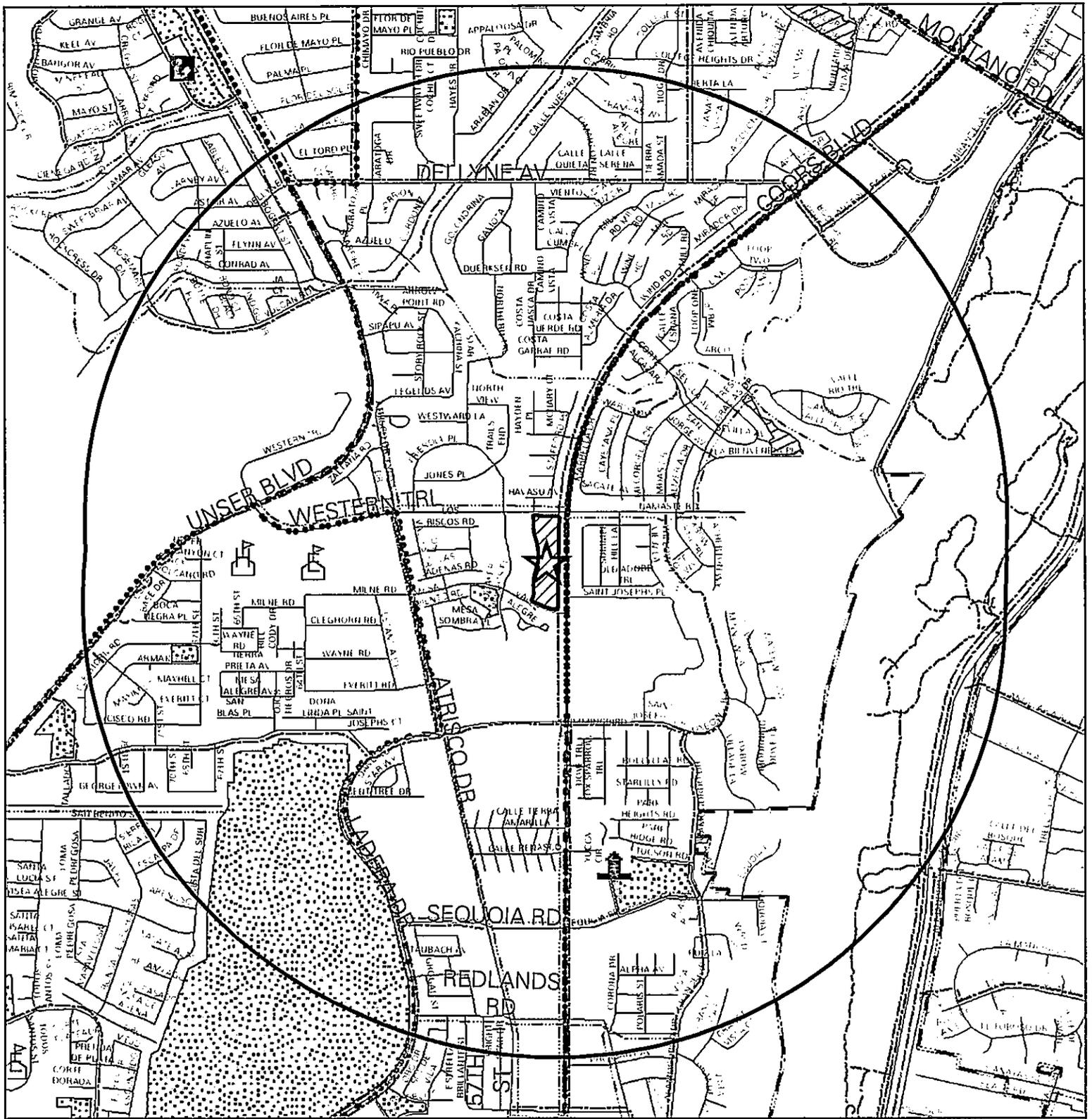
Note: Gray shading indicates County.



1 inch = 250 feet

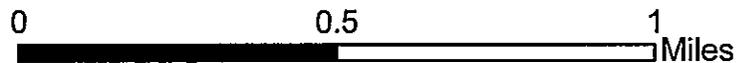
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## Public Facilities Map with One-Mile Buffer

- |  |   |  |   |
|--|---|--|---|
|  Community Center     |  Fire        |  Public Schools           |  Landfill Buffer (1000-foot) |
|  Multi-Service Center |  Police      |  Proposed Bike Facilities |  Landfill designated by EHD  |
|  Senior Center        |  Sheriff     |  ABQ Bike Facilities      |  Developed County Park       |
|  Library              |  Solid Waste |  ABQ Ride Routes          |  Undeveloped County Park     |
|  Museum               |   |  Albuquerque City Limits  |  Developed City Park         |
|  |   |  |  Undeveloped City Park       |



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**I. INTRODUCTION**

*Surrounding zoning, plan designations, and land uses:*

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	MX-M	Area of Change	Emergency Medical Facility
<b>North</b>	Right-of-way, R A, R-1A	Area of Consistency	Single-family homes
<b>South</b>	Right-of-way, R-ML	Area of Consistency	Duplex Condominiums
<b>East</b>	Right-of-way, R-1B, NR-PO-C	Area of Consistency	Single-family homes
<b>West</b>	MX-L, Right-of-way, MX-T	Area of Change	Vacant, Quaker Heights Place

**Request**

The request is for a site plan amendment for lot 3-B and affects a change or variance in the approved Subdivision Design Standards (SDS) to allow for larger signs.

While the IDO allows for wall signs in this location not to exceed 15% of the building face, the Subdivision Design Standards (SDS), as approved with the site subdivision in 2008, has a limit of 20% or 60 square feet maximum.

**EPC Role**

The EPC is hearing this case because the EPC is required to hear changes to a previously approved site plan. The sign size requires a change to the SDS and the EPC was the original approving body hence the site plan review. The EPC is the final decision-making body unless the EPC decision is appealed. If so, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council. The City Council would make then make the final decision. The requests are quasi-judicial matters.

**Context**

The subject site is located in a largely developed area with large scattered vacant parcels along Coors Blvd. St. Pius High School is to the east of the southern end of the site. North of the subject site are the single-family homes of the Western Trails subdivision. South of the subject site are duplex condominiums of the Rancho Encantado subdivision. To the west of the subject site is a large undeveloped tract zoned MX-L which has been approved for a senior living facility. To the west of that site is Quaker Heights Place, and then another vacant lot zoned MX-T.

The subject site is not located in a designated Activity Center. The Ladera Activity Center is about three quarters of a mile to the south along Coors and provides several commercial outlets. Between the Ladera Activity Center and the project site are two large parcels zoned NR-C.

### ***History***

The University of Albuquerque area was designated as an Urban Center with the adoption of the Metropolitan Areas and Urban Centers Plan in 1975. The University of Albuquerque Sector Development Plan was adopted by the City Council in 1982, which included annexation and establishment of SU-3 Zoning. The sector plan was rescinded with the adoption of the IDO and the areas SU-3 zoning was converted to zones that reflected the entitlements for each property.

In 2008 the EPC reviewed the SU-3 land uses for reallocation, allowing for a senior housing development to be built on the western half of the property. This site plan was reviewed and signed-off by the DRB November 2, 2018.

In December 2019, EPC approved a zone map amendment for parcel 3-B to MX-M to allow for the construction of the Presbyterian Emergency care facility. This amendment is to the controlling Subdivision Design Standards for the entire Tract 3-A & 3-B.

### ***Transportation System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Metropolitan Region Planning Organization (MRMPO), identifies the functional classifications of roadways. Coors Blvd. is a Regional Principal Arterial roadway. Western Trail is designated a Minor Arterial roadway. Less than half a mile to the west of the site along Western Trail is Atrisco Dr, designated a Major Collector.

### ***Comprehensive Plan Corridor Designation***

The subject site is located along Coors Blvd. NW, which the Comprehensive Plan designates as a Major Transit Corridor.

### ***Trails/Bikeways***

A Buffered Bike Lane - Conventional bike lanes paired with a designated buffer space, is located on Coors along the eastern edge of the site.

### ***Transit***

The subject site fronts a Major Transit Corridor and is served by three major bus lines. Standard bus route 155 has a stop along the east edge of the site approximately 300 feet south of the corner of Coors Blvd. and Western Trail. The 790 Rapid Ride 790 and the 96 Commuter Routes have a stop approximately one quarter of a mile south of the site located at St. Joseph's Dr. and Coors Blvd.

### ***Public Facilities/Community Services***

Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services located within one mile of the subject site.

## II. ANALYSIS of APPLICABLE ORDINANCES, PLANS, AND POLICIES

### Integrated Development Ordinance (IDO)

The subject site is zoned MX-M [Mixed Use Medium Intensity Zone District, IDO 14-16-2-4(B)], which was assigned through application for Zone Map Amendment from MX-L to the EPC in December 2018. The purpose of the MX-M zone district is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses, with taller, multi-story buildings encouraged in Centers and Corridors. The MX-M zone district would allow for medical offices larger than 10,000 square feet. Allowable uses are shown in Table 4-2-1.

#### *IDO Review and Decision Criteria for Site Plan-EPC:*

Criteria are shown in standard font. Applicant's responses are in *Italic font*. Staff comments are in ***Bold Italic font***.

6-6(H)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

### Albuquerque / Bernalillo County Comprehensive Plan

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. Applicable Goals and policies were reviewed at the time of initial application. These included Community Identity, Centers and Corridors, Efficient Development Patterns, City Development Areas and Entrepreneurship.

*This site plan is congruent with the ABC Comp Plan and exemplifies its primary goal to: "better reflect new market demands, diversify and bolster the economy, better serve all demographics...and improve efforts to grow and develop in ways that are sustainable*

***The current request does not require additional justification through the ABC Comp Plan. Per previously approved application for this site and project:***

*This request for a SDP-BP to accommodate an Ambulatory Care Center and Medical Clinic is an appropriate request for an area intended to capture denser / intense uses and would support the city's many growth and land use policies by:*

- Providing a more equitable distribution of critical health care services throughout the city and particularly on the west side, to improve the overall quality of life for residents while reducing the need to commute.*
- Establishing vibrant activity centers and complete communities that provide convenient access to a range of neighborhood-serving services within walking distance to residences.*
- Expanding the concentration/ mix of services offered and the availability of higher paying, professional jobs within the vicinity of the Activity Center and Transit Corridor, increasing the range and variety of opportunities that currently exist in the area.*
- Improving the housing to jobs imbalance and fostering west side employment by brining and estimated 130 well-paying jobs to the area (approximately 40-50 at the ambulatory care center and 80 for the outpatient clinic, ranging from nurses to physician).*
- Encouraging developments that expand employment opportunities within designated Centers and Corridors and near existing high-frequency transit facilities.*

- *Protecting single-family neighborhoods from development that is of an inconsistent density and scale by locating denser, more intense uses within an Area of Change, thereby maintaining neighborhood stability.*
- *Reducing the need for automobile travel by increasing mixed-use infill development that brings critical services within a Major Transit corridor and in close proximity to an established Activity which enables residents to easily travel between them by walking, cycling or use of public transportation.*
- *Encouraging infill development on a vacant site that is contiguous to existing City infrastructure thereby leveraging public and private investments.*

*For sites located along Major Transit Corridor like Coors, the Comp Plan advocates for more suburban, linear strip commercial development to occur (Table 7-1& 2 Development Context, Comp Plan, pg. 7-6) in order to transition into surrounding single-family neighborhoods (sub-policy 5.1.9.b). The proposed Ambulatory Care Center and Medical Clinic offer more critical services situated in a higher quality of development type than the standard commercial strip would provide.*

6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

*The Site Development Plan for Subdivision allows for an area “20% of that wall or 60 square feet, whichever is less”. The requested size is within zoning code for the current 2018 IDO (under 15% of the façade) and exceedingly meets one of the two above requirements of the Site Development Plan for Subdivision (<20%).*

*We believe a larger letter size is necessary for this location as it is on a major thoroughfare and the inability to locate the facility due to signage illegibility is a life-safety issue as this is an emergency facility. At its current size, visibility is 232’ and at our proposed size, visibility is 348’ with a difference of 116’. We believe this visibility variance is significant enough to make a difference in public wayfinding.*

*Design Guidelines submitted with the initial site plan application in 2008 states:*

*Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20% of the wall or 60 square feet, whichever is less.*

*This application is for an amendment to the current Subdivision Design Standards which limit any size to a maximum of 60 square feet.*

*At the time of the 2008 application, the entire tract was zoned SU-3 which was converted to MX-L with the IDO. The purpose of the MX-L zone district is to provide for neighborhood-scale convenience shopping needs, primarily at the corners of collector intersections. Primary land*

*uses include non-destination retail and commercial uses, as well as townhouses, low-density multi-family residential dwellings, and civic and institutional uses to serve the surrounding area, with taller, multi-story buildings encouraged in Centers and Corridors.*

*Under MX-L, it would have been expected that the site would have a number of smaller retail and commercial outlets. The zone map amendment to MX-M was requested to allow for a medical facility that serves a wider area. Instead of multiple, smaller buildings there will ultimately be only two buildings; the Ambulatory Care Center and the Medical Clinic.*

*Signage regulations for MX-M allow for wall signs state:*

Shall not exceed the following percentage of façade area, inclusive of door and window openings. MX-M: 15%

*Both of the signs proposed, though larger than the 60 square foot maximum of the SDS, fall well within the IDO's 15% of façade limit. The sign facing Coors would cover 4% of the façade and the sign on Western Trails would cover 7% of the façade.*

*The increased size of the signs would allow for visibility before consumers get up to the intersection and may assist in people being in the appropriate lane or exiting mass transit at the nearest stop. (See Attachment A)*

6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

*Relevant section of the IDO Include:*

#### PART 14-16-5: DEVELOPMENT STANDARDS

##### 5-8 OUTDOOR LIGHTING

5-8(B)(2)(g) Illuminated and electronic signs are regulated in Section 14-16-5-12 (Signs).

##### 5-12 SIGNS

The purpose of the regulations in this Section 14-16-5-12 is to promote and protect the public health, welfare, and safety by regulating existing and proposed outdoor signs of all types. More specifically, these regulations are intended to help implement adopted ABC Comp Plan policies, protect property values, create a more attractive economic and business climate, enhance and protect the physical appearance of the community, preserve scenic and natural beauty, minimize sign clutter, reduce hazards that may be caused by signs overhanging or projecting over public rights-of-way, curb the deterioration of the community's appearance and attractiveness, comply with all applicable federal and state laws regarding the First Amendment and free speech, and avoid regulating signage based on content, viewpoint, or

message.

*The façade facing Coors is 2,200 square feet (111 square foot sign = 4% of façade)*

*The façade facing Western Trails is 1,550 square feet (111 square foot sign = 7% of façade)*

#### 5-12(E)(4) Design And Construction

5-12(E)(4)(a) All signs shall be constructed of durable material and maintained in good condition and repair, shall be securely anchored and constructed to prevent lateral movement that would cause wear on supporting connections, and shall be constructed to withstand expected wind loads appropriate to design and installation.

*The attachment method for these signs has been engineer stamped and approved for installation at a second location. These signs represent the highest quality in signage fabrication.*

5-12(E)(4)(b) No sign may have overhead wiring to supply electric power, except for a freestanding off-premises sign where underground power cannot be accessed from the site.

*Wiring will run through conduit from inside the building to the roof and the signs will be wired behind the parapet out of view.*

5-12(E)(4)(c) Sign supports for building-mounted signs other than allowed rooftop signs shall be covered in a manner that integrates the sign with the building design.

*These signs will be flush mounted, so no attachments/hardware will be visible.*

5-12(E)(4)(d) Building-mounted signs shall not extend more than 2 feet above the wall of a building, except in the following mapped areas, as noted.

*These signs do not extend above the façade.*

#### 5-12(E)(5) Illumination and Motion

##### 5-12(E)(5)(a) General

1. Signs may be internally or externally lit, provided that the light source is not directly visible from the public right-of-way or from adjacent properties, unless specified otherwise in this IDO.

*These signs are front lit with both perforated film and translucent vinyl applied to the faces, so there will be no direct light source.*

2. No portion of an illuminated sign shall have a luminance greater than 200 foot lamberts or 685 nits at night.

*Our signs comply with this requirement and will have dimmer switches to accommodate any requests post-install related to sign brightness.*

3. No sign or any part of any sign shall move or rotate at a rate of more than once each 10 seconds, with the exception of wind devices, the motion of which is not restricted.

*These signs are static*

4. No sign or any part of any sign shall change its message or picture at a rate of more than once each 8 seconds.

*These signs are not electronic*

5-12(E)(5)(c) Mixed-use and Non-residential Zone Districts

An illuminated sign or illuminated element of a sign in any Mixed use or Non-residential zone district may turn on or off or change its brightness, provided that the following requirements are met, unless Subsection 14-16-5-12(H)(4) (Illumination, Brightness, and Images) applies any more restrictive standard or Subsection 14-16-5-12(F)(4)(a) (Neon Signs along Central Avenue) applies any less restrictive standard to eligible signs.

1. The sign is not within 200 feet of any Residential zone district and visible from that zone district.

*These signs do not apply to this section as they are static (no flashing, movement, animation, etc.)*

2. The sign is not within 330 feet of Major Public Open Space.

*These signs do not apply to this section as they are static (no flashing, movement, animation, etc.)*

3. Change of illumination does not produce any apparent motion of the visual image, including but not limited to illusion of moving objects, moving patterns or bands of light, expanding or contracting shapes, or any similar effect of animation except twinkling.

*These signs do not apply to this section as they are static (no flashing, movement, animation, etc.)*

4. There is no continuous or sequential flashing in which more than 1/3 of the lights are turned on or off at one time.

*These signs do not apply to this section as they are static (no flashing, movement, animation, etc.)*

5-12(E)(5)(c) Mixed-use and Non-residential Zone Districts

*The current application complies with all city regulations. It is also in compliance with the site plan as approved by the EPC and DRB with the exception of the sign size. Although the*

*proposed signs are larger than the originally planned signs, the luminance from the signs will not exceed 200 foot lamberts or 685 nits at night, in compliance with IDO Section 14-16-5-12(E)(5)(a)(2).*

6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

*The requested variance does not affect any of the existing infrastructures listed above.*

*All infrastructure and traffic issues have been successfully addressed with previous applications regarding this project. Current City services available to the site are sufficient.*

6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

*This signage will not adversely affect the surrounding areas. The luminance is equivalent to a 60W-75W standard household bulb and will be screened by translucent vinyl on the letter faces*

- *. Illumination: Internal*
- *Style: Front-Lit*
- *Light Source: LED Modules*
- *Light Source Color: 7000K*
- *Primary Power Source Input Required: 277v*
- *Circuit Required: 20 Amp Dedicated*
- *Timer or Dusk to Dawn (Photo Cell): Yes*
- *Power supply LED Driver Input Voltage: 100-277v*
- *Service Disconnect Switch: Yes*
- *Dimmer: Yes*
- *Amp Draw: 4 Power Supplies (.45A draw each at 277V) Total of 1.8A at 277 Power*
- *Luminance Not to Exceed 200 Foot Lamberts or 685 Nits at Night*

*Client will also install a dimmer on the signs, so luminance can be adjusted once installed if there are any complaints from the surrounding area.*

*The light from these signs will not be any higher than other signs along Coors and will not extend to any properties beyond that which would be reached by the smaller signs. The applicant agrees to provide dimmers on each light should there be any complaints from neighboring properties.*

### **III. AGENCY & NEIGHBORHOOD CONCERNS**

#### **Reviewing Agencies**

City departments and other interested agencies reviewed this application from 7/29/2019 to 8/19/2019. Few agency comments were received. All responding agencies stated either No Comment or No Objection.

***Neighborhood/Public***

The West Side Coalition of Neighborhood Associations (NA), were required to be notified, which the applicant did (see attachments). The Ladera Heights NA submitted a letter of no objection, and Taylor Ranch/West Side Coalition NAs also responded with no objection.

Property owners within 100 feet of the subject site were also notified, as required (see attachments). Note that the 100 feet does not include the right-of-way of Coors Blvd, Western Trails, or Milne. No responses were received.

***IV. CONCLUSION***

The request is for an amendment to the site's Subdivision Design Standards for part of an approximately 6.8 acre site, consisting of the eastern half of Tract 3B on the west side of Coors Blvd. in the northwestern portion of the City. The lot is zoned MX-M. The applicant has previous EPC approval for this site and is requesting a variance to the approved Subdivision Design Standards to allow for larger wall-mounted illuminated signs.

The subject site is in an Area of Change, as designated by the Comprehensive Plan. A zone map amendment was approved by EPC in December 2018 changing the site from MX-L to MX-M. The MX-M was requested to allow for the larger medical facility being constructed.

The IDO allows signage within the MX-M zone to cover up to 15% of a building facade. The Original SDS for the property had a 20% limit but had the added restriction of 60 square feet maximum. The proposed signs are 4% and 7 % of the building's facades but over the 60 square feet at 110 square feet.

The zoning at the time of the SDS approval supported the development of multiple smaller businesses with an expectation of numerous signs on the site. With the current approved site plan and construction, the site will only have two buildings. The approval of an amendment to the SDS to incorporate IDO limits on signage is appropriate for this request.

Staff recommends approval of the request to amend the SDS for the site.

***FINDINGS - PR-2019-002667/ SI-2019-00249-Amendment to Site Development Plan design Standards:***

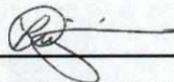
1. The request is for an amendment to the site's Subdivision Design Standards for part of an approximately 6.8 acre site, consisting of the eastern half of Tract 3B, Coors Village.
2. The zoning was changed from MX-L to MX-M and the corresponding site plan was approved by EPC in December 2018, case # PR-2018-001584/SI-2018-001584.
3. Signage allowances within the MX-M zone are limited to 15% of the façade area.
4. The subject site is located in an Area of Change as designated in the ABC Comprehensive Plan. Coors Blvd. is designated as a major transit corridor.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance are incorporated herein by reference and made part of the record for all purposes.
6. The request is consistent with the Comprehensive Plan's Goals and policies of Community Identity, Centers and Corridors, Efficient Development Patterns, City Development Areas and Entrepreneurship.
7. Both of the signs proposed, though larger than the 60 square foot maximum of the SDS, fall well within the IDO's 15% of façade limit. The sign facing Coors would cover 4% of the façade and the sign on Western Trails would cover 7% of the façade.
8. The increased size of the signs would allow for visibility before consumers reach the intersection and may assist in people being in the appropriate lane or exiting mass transit at the nearest stop.
9. The current application complies with all city regulations. It is also in compliance with the site plan as approved by the EPC and DRB with the exception of the sign size. Although the proposed signs are larger than the originally planned signs, the luminance from the signs will not exceed 200 foot lamberts or 685 nits at night, in compliance with IDO Section 14-16-5-12(E)(5)(a)(2).
11. All infrastructure and traffic issues have been successfully addressed with previous applications regarding this project. The requested amendment would place no burden on the city's infrastructure.
12. The light from these signs will not be any higher than other signs along Coors and will not extend to any properties beyond that which would be reached by the smaller signs. The applicant agrees to provide dimmers on each light should there be any complaints from neighboring properties.

13. The Westside Coalition was notified by the applicant. Property owners within 100 feet of the subject site were also notified, as required. No meeting was requested. There is no known opposition to the request.

**RECOMMENDATION - SI-2019-00249, September 12, 2019**

***APPROVAL of Project #: 2019-002667, Case #: SI-2019-00249, an amendment to site development plan design guidelines for signage to reflect IDO standards for All or Portion of Tract 3B plat of Lots 3A and 3B, Coors village an approximately 6.8 acre site located at the west side of Coors Blvd. NW, between Western Trail NW and Milne Dr. NW, based on the preceding Findings are subject to the following Conditions of Approval.***

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**Leslie Naji, AIA  
Senior Planner**

Notice of Decision cc list:

Scott Whittington, Univest-Coors Rd.LLC, 10611 N Heights Pl NW, Albuquerque, NM 87120  
Christopher Gunning, DPS,7601 Jefferson NE Suite 100, Albuquerque, NM 87109  
Westside Coalition of NAs, Rene Horvath, 5515 Palomino Dr. NW, ABQ, NM 87120  
Westside Coalition of NAs, Harry Hendrickson, 10592 Rio del Sol NW, ABQ, NM 87114  
Kevin Morrow [kmorrow@cabq.gov](mailto:kmorrow@cabq.gov)  
Kathy Berglund [kberglund@cabq.gov](mailto:kberglund@cabq.gov)

## ***CITY OF ALBUQUERQUE AGENCY COMMENTS***

### ***PLANNING DEPARTMENT***

#### ***Zoning Enforcement***

#### ***Office of Neighborhood Coordination***

#### ***Long Range Planning***

PR-2019-002667/SI-2019-00249  
Address: 4515 Coors Blvd  
IDO Zoning: MX-L  
Request: Site Map Amendment/Variance  
Comments for Site Map Amendment/Variance:

The request is for an amendment to a Site Plan approved prior to the adoption of the IDO by the Environmental Planning Commission. The approved site plan limits the size and heights of signs more than what's allowed by the zone district under the IDO. The request includes a variance to allow wall-mounted signs and a freestanding sign as allowed by Table 5-12-2 for Mixed-use zone districts. The freestanding sign would be visible from a major arterial to advertise an Emergency Room/24 Hour Urgent Care. The request seems appropriate for the use and is allowed under the IDO standards.

### ***CITY ENGINEER***

#### ***Transportation Development***

#### ***Hydrology Development***

- Please note that there was a revised site plan for Subdivision approved at the DRB for Tract 3B & Tract 3A back in February of this year. The main part that was removed was the round-a-bout. The provided Site Plan for Subdivision, Sheet C1 does not match this. Also the Presbyterian is currently constructing on Tract 3B which also is not reflected on the application. Also with the removal of the round-a-bout, the private storm drain shown on Sheet C6 was also revised.

### ***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)***

#### **Department Comments:**

- NMDOT requires that there will be not advertising within NMDOT ROW. All signs and monuments shall be located outside NMDOT ROW

**DEPARTMENT of MUNICIPAL DEVELOPMENT**

Transportation Planning

Traffic Engineering Operations (Department of Municipal Development)

No Comments

Street Maintenance (Department of Municipal Development)

**WATER UTILITY AUTHORITY**

SI-2019-00249 – Site Plan

- Identification: UPC – 101806204324530336
- a. No adverse comment to the proposed Site Plan
- b. There is currently an Availability Statement for this site. If the information pertaining to the site has changed since the issuance of Availability Statement 190111 (issued 01/24/2019) then a new request shall be made. A new Availability request shall be made in the event Availability Statement 190111 expires.

**ENVIRONMENTAL HEALTH DEPARTMENT**

Air Quality Division

Environmental Services Division

**PARKS AND RECREATION**

Planning and Design

Open Space Division

City Forester

**POLICE DEPARTMENT/Planning**

**SOLID WASTE MANAGEMENT DEPARTMENT**

#2019-002667 (Site Plan/Variance) - No Comment

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

No Comment

## ***COMMENTS FROM OTHER AGENCIES***

### ***BERNALILLO COUNTY***

#### ***ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY***

SI-2019-00249 – Site Plan • No objections.

#### ***ALBUQUERQUE PUBLIC SCHOOLS***

APS Case Comments: No adverse impacts.

#### ***MID-REGION COUNCIL OF GOVERNMENTS***

MRMPO has no adverse comments.

#### ***MIDDLE RIO GRANDE CONSERVANCY DISTRICT***

#### ***PUBLIC SERVICE COMPANY OF NEW MEXICO***

**Conditions for Approval for Project #2019-002667 (SI-2019-00249; VA-2019-00239) Site Plan and Variance (Presbyterian Ambulatory Care Center – increased sign size located at 4515 Coors Blvd NW between Coors and Western Trails NW)**

1. An existing overhead electric distribution line is located on the east side of the subject property along Coors Blvd NW and an existing overhead distribution line is located along a portion of the north side of the subject property along Western Trails NW. It is the applicant's obligation to abide by any conditions or terms of these easements.

2. It is necessary for the applicant to coordinate with PNM to ensure that compliance with the National Electrical Safety Code for both horizontal and vertical clearances are met between the existing distribution line and the proposed sign footprint. The customer must also ensure applicable OSHA safe working clearance requirements for employees and equipment with respect to PNM's lines are met during and after construction of the building.

It will be necessary for the developer to contact the PNM to coordinate proposed sign location and height in order to ensure sufficient safety clearances. Contact:

Mike Moyer  
PNM Service Center  
4201 Edith Boulevard NE  
Albuquerque, NM 87107

Phone: (505) 241-3697



Illustration of additional visibility distance at approaching intersection of Coors and Western Trail.

*Pictures Taken: August 26, 2019*



Figure 1: Looking Northwest along Coors from added visibility distance.



Figure 2: Looking Northwest along Coors from current visibility distance.

Figure 3: Looking Southwest along Namaste from added visibility distance.

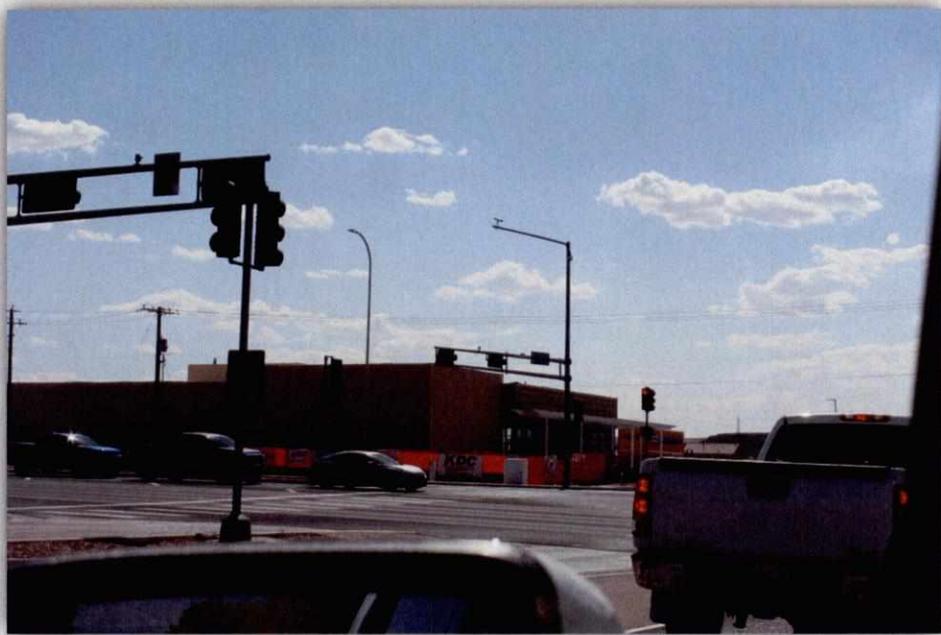


Figure 4: Looking Southwest along Namaste from current visibility distance.

*CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
CURRENT PLANNING SECTION*

*ENVIRONMENTAL PLANNING COMMISSION  
Project #: 2019-002667, Case #: SI-2019-00249  
September 12, 2019*

---

APPLICATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<input type="checkbox"/> Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: James Jeppson, Presbyterian Healthcare Foundation  
 Address: 1011 Coal Avenue NE  
 City: Albuquerque State: NM  
 Phone: 505-563-6032  
 Email: dlamb3@pns.org  
 Zip: 87106

Professional/Agent (if any): Ingrid Kocher  
 Address: 2117 Commercial St NE  
 City: Albuquerque State: NM  
 Phone: 314-550-9096  
 Email: ingridk@csbdesigns.com  
 Zip: 87102

Proprietary Interest in Site: \_\_\_\_\_ List all owners: \_\_\_\_\_

**BRIEF DESCRIPTION OF REQUEST**

Amendment to the site development plan to increase the size of the two wall-mounted signs within IDO restrictions

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: 3A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdivision/Addition: Coors Village Cont MRGCD Map No.: \_\_\_\_\_ UPC Code: 101106122909631302  
 Zone Atlas Page(s): F-11-Z Existing Zoning: MX-L Proposed Zoning: MX-L  
 # of Existing Lots: \_\_\_\_\_ # of Proposed Lots: \_\_\_\_\_ Total Area of Site (acres): 7

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 4515 Coors Blvd NW / Between: Coors Blvd NW and: Western Trails NW

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

Signature: *Ingrid Kocher* Date: 7/25/2019  
 Printed Name: Ingrid Kocher  Applicant or  Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees
SI-2019-00249	SP-EPC	\$600
VA-2019-00239	V-EPC	\$275
Meeting/Hearing Date: September 12 2019		Fee Total: \$875
Staff Signature: <i>[Signature]</i>	Date: 7-24-19	Project # PR-2019-002667

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-168 Date: 6-10-19 Time: 1:00pm

Address: 4515 Coors Blvd NW (SW corner of Coors + Western Trail)

AGENCY REPRESENTATIVES AT MEETING:

Planning: Catalina Lehner

Code Enforcement: Carl Garcia

Fire Marshall: \_\_\_\_\_

Transportation: \_\_\_\_\_

Other: \_\_\_\_\_

**PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!**

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed.

Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: one of the approved types  
① move and increase size of illuminated monument signs (100), and ② increase size of wall-mounted signs from 45 SF to 111 SF.

SITE INFORMATION:

Zone: MX-L Size: 7 acres

Use: medical clinic Overlay Zone: CPO-2 (Coors)

Comp Plan Area Of: Change Comp Plan Corridor: Coors-Major Transit

Comp Plan Center: no MPOS or Sensitive Lands: no

Parking: Table 5-5-1, p. 231 MR Area: no

Landscaping: 5-6, p. 251 Street Trees: 5-6(D), p. 258

Use Specific Standards: 4.3(D)(25), p. 153

Dimensional Standards: Table 5-1-2, p. 194

\*Neighborhood Organization/s: Western Trails, Taylor Ranch, Westside Coalition

\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods/resources](http://www.cabq.gov/neighborhoods/resources).

PROCESS:

Type of Action: Major Amendment to site plan.

Review and Approval Body: DRB Is this PRT a requirement? no

**FORM P1: SITE PLAN – EPC**

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL SITE PLAN – EPC AND VARIANCE – EPC APPLICATIONS**

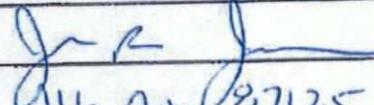
- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
  - Letter of authorization from the property owner if application is submitted by an agent
  - Zone Atlas map with the entire site clearly outlined and labeled
  - Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
  - Sign Posting Agreement
  - Signed Traffic Impact Study (TIS) Form
  - Completed Site Plan Checklist
  - SITE PLAN – EPC**
  - MASTER DEVELOPMENT PLAN**
  - MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
  - EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
  - Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
  - Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
  - Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
  - Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable
  - Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
  - Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)  
*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
  - Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)
  - Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
  - VARIANCE – EPC**
  - In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).
- Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Project Number:	Case Numbers
PR-2019-002667	SI-2019-00249
	VA-2019-00239
Staff Signature:	
Date: 7-24-18	

**Letter of Authorization**

Date: 6/11/2019

I, James R. Jeppson hereby authorize Ingrid Kocher to act on my behalf in all matters relating to this application for Special Exception filed for my property located at 4515 Coors Boulevard NW

Property Owner(s)\* (Applicant) Printed Name James R. Jeppson  
Property Owner(s)\* (Applicant) Signature   
Mailing Address PO Box 2666 Albuquerque 87125

\* Where a property has more than one owner, all owners must consent in writing to the filing of the application to the maximum extent practicable. In the case that not all of the property owners have consented in writing to the application, or when the ownership status of some parties is unclear (as shown on a title abstract or title insurance commitment), the owner shall attest in writing that all of the property owners shown on a title abstract or title insurance commitment have been notified of the application in writing at their last known address as shown on the property tax records of Bernalillo County.

4515 Coors  
Avenue NW

CITY OF ALBUQUERQUE  
TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Ingrid Kocher DATE OF REQUEST: 6/12/19 ZONE ATLAS PAGE(S): F-11-2

CURRENT:

ZONING MX-2  
PARCEL SIZE (AC/SQ. FT.) 7 AC

LEGAL DESCRIPTION:

LOT OR TRACT # 3A BLOCK # \_\_\_\_\_  
SUBDIVISION NAME Coors Village Cont

REQUESTED CITY ACTION(S):

ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [ ]  
AMENDMENT (Map/Text)

SITE DEVELOPMENT PLAN:

SUBDIVISION\* [ ] AMENDMENT   
BUILDING PERMIT [ ] ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION [ ]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

GENERAL DESCRIPTION OF ACTION:

# OF UNITS: \_\_\_\_\_  
BUILDING SIZE: \_\_\_\_\_ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Ingrid Kocher DATE 06/14/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>nd</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes: Work proposed will not alter traffic. If future development occurs a new TIS form will be required to determine if a TIS is required

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]  
TRAFFIC ENGINEER

6-14-19  
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1  
-FINALIZED 1/1

TRAFFIC ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_



## Amendment to the Site's Subdivision Design Standards Justification

City of Albuquerque

1 Civic Plaza NW,

Albuquerque, NM 87102

RE: Request for a an Amendment to the Site's Subdivision Design Standards at 4515 Coors Boulevard NW, Albuquerque NM 87120 allowing the installation of two larger illuminated wall-mounted signs, one facing Coors Boulevard and the other facing Western Trails NW. The Subdivision Guidelines associated with this property restrict wall-mounted signage in the following way: "Wall mounted signs shall not...exceed an area of 20 percent of the wall or 60 square feet, whatever is less." Our signage is less than 20% of the façade, but is greater than 60 square feet at 111 square feet. Our signage does comply with the IDO in that both signs are under 15% of the façade at 7% and 4%, so we are requesting the signage guidelines to be amended to reflect the IDO only. In the first section below see justifications for this allowance and in the second section, see our compliance with the IDO.

### **Section 1 - Justification**

1. There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity. This site is on a major thoroughfare and is to be used as an emergency and urgent care facility. This requires visible and legible signage to direct visitors to the site from every direction 24/7.
  - 1) The Amendment will not be materially contrary to the public safety, health, or welfare because these signs are intended to assist in the safety, health, and welfare of the public by clearly marking an emergency facility.
  - 2) The Amendment does not cause adverse impacts on surrounding properties or infrastructure improvements in the vicinity because it falls well within the current 2018 IDO regulations.
  - 3) The Amendment will not materially undermine the intent and purpose of this IDO or the applicable zone district because it is within zoning code for the current 2018 IDO--both signs are under 15% of the façade (7% and 4%).
  - 4) The Amendment approved is the minimum necessary to avoid extraordinary hardship or practical difficulties in directing urgent care and emergency visitors quickly and efficiently to the appropriate location. The DRB approved size is not sufficient for visibility—please see the enclosed photos showing the smaller size letters installed on the 6400 Paseo clinic (with same exterior elevations and footprint) that led to the request for larger letters.

Section 2 – Compliance with IDO

Table 5-12-2: On-premises Signs in Mixed-use and Non-residential Zone Districts		
Sign Type	Zone District	
	Mixed-use Zone Districts, NR-C, NR-LM, NR-GM	NR-BP, NR-SU, NR-PO, PD, PC
Wall Sign		
Number, maximum	N/A	
Size, maximum	Shall not exceed the following percentages of façade area, inclusive of door and window openings. MX-T, MX-FB-ID: 5% MX-L: 10% MX-M, MX-H, MX-FB-FX, MX-FB-AC, MX-FB-UD, NR-C: 15% NR-LM, NR-GM: 25%	
Location	Where there is no side setback between 2 establishment frontages in the same or abutting buildings, no wall sign may extend closer than 2 feet to the shared edge of the frontage.	
		Per approved plan <sup>(1)</sup>

-The façade facing Coors is 2,200 square feet (111 square foot sign = 4% of façade)

-The façade facing Western Trails is 1,550 square feet (111 square foot sign = 7% of façade)

**5-12(E)(4) Design and Construction**

**5-12(E)(4)(a)** All signs shall be constructed of durable material and maintained in good condition and repair, shall be securely anchored and constructed to prevent lateral movement that would cause wear on supporting connections, and shall be constructed to withstand expected wind loads appropriate to design and installation. Response: The attachment method for these signs has been engineer stamped and approved for installation at a second location. These signs represent the highest quality in signage fabrication.

**5-12(E)(4)(b)** No sign may have overhead wiring to supply electric power, except for a freestanding off-premises sign where underground power cannot be accessed from the site. Response: Wiring will run thorough a conduit from inside the building to the roof and the signs will be wired behind the parapet and out of view.

**5-12(E)(4)(c)** Sign supports for building-mounted signs other than allowed rooftop signs shall be covered in a manner that integrates the sign with the building design. Response: These signs will be flush mounted, so no attachments/hardware will be visible.

**5-12(E)(4)(d)** Building-mounted signs shall not extend more than 2 feet above the wall of a building, except in the following mapped areas, as noted. Response: These signs do not extend above the façade.

**5-12(E)(5) Illumination and Motion**

**5-12(E)(5)(a) General**

1. Signs may be internally or externally lit, provided that the light source is not directly visible from the public right-of-way or from adjacent properties, unless specified otherwise in this IDO. Response: These signs are front-lit with both a perforated film and translucent vinyl applied to the faces, so there will be no direct light source.

2. No portion of an illuminated sign shall have a luminance greater than 200 foot lamberts or 685 nits at night. Response: Our signs comply with this requirement and will have dimmer switches to accommodate any requests post-install related to sign brightness.

3. No sign or any part of any sign shall move or rotate at a rate of more than once each 10 seconds, with the exception of wind devices, the motion of which is not restricted. Response: These signs are static.

4. No sign or any part of any sign shall change its message or picture at a rate of more than once each 8 seconds. Response: These signs are not electronic.

**5-12(E)(5)(c) Mixed-use and Non-residential Zone Districts**

An illuminated sign or illuminated element of a sign in any Mixed use or Non-residential zone district may turn on or off or change its brightness, provided that the following requirements are met, unless Subsection 14-16-5-12(H)(4) (Illumination, Brightness, and Images) applies any more restrictive standard or Subsection 14-16-5-12(F)(4)(a) (Neon Signs along Central Avenue) applies any less restrictive standard to eligible signs.

1. The sign is not within 200 feet of any Residential zone district and visible from that zone district.

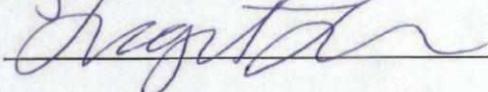
Response: These signs do not apply to this section as they are static (no flashing, movement, animation etc.)

2. The sign is not within 330 feet of Major Public Open Space. Response: These signs do not apply to this section as they are static (no flashing, movement, animation etc.)

3. Change of illumination does not produce any apparent motion of the visual image, including but not limited to illusion of moving objects, moving patterns or bands of light, expanding or contracting shapes, or any similar effect of animation except twinkling. Response: These signs do not apply to this section as they are static (no flashing, movement, animation etc.)

4. There is no continuous or sequential flashing in which more than 1/3 of the lights are turned on or off at one time. Response: These signs do not apply to this section as they are static (no flashing, movement, animation etc.)

Name: Ingrid Kocher Title: Project Manager

Signature:  Date: 8.30.2019

\*On Behalf of Presbyterian Healthcare Foundation

## Design Guidelines

### Signage and Graphics

The following signage criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development will be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City regulations, the more restrictive shall apply.

### Standards

Prohibited signs include the following: those consisting of banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic event); brashly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

One monument or freestanding sign is allowed on Coors Boulevard as a "landmark" identifying the Commercial Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. This sign shall be of similar style and material as the other entry signs in keeping with the project theme.

Entry signs shall be located at primary entrances at Coors Boulevard and Western Trail, and at the secondary entrance at Milne.

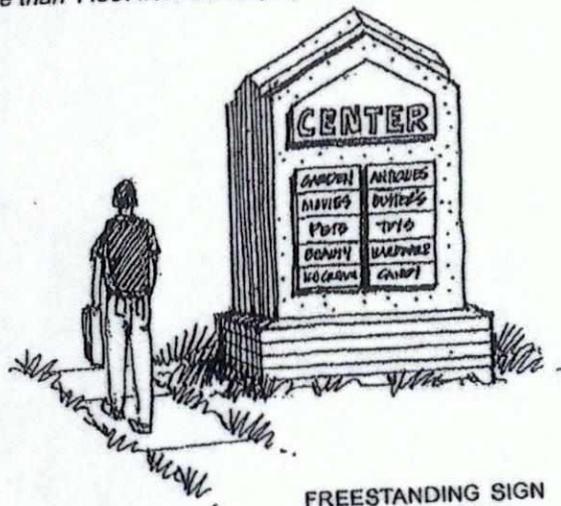
All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.)

No sign may overhang a right-of-way or property line.

No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.



### Guidelines

Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.

Entry walls may be on both sides of the entry driveways within the 35 foot x 35 foot area. Compatibility should be given to the compatibility with entry

To: Ingrid Kocher, CSB Signs

From: Leslie Naji, Senior Planner

Re: Site Plan for Building Permit – EPC Tract 3 (Tract 3-B), Coors Village

I have completed a first review of the proposed site plan variance request. I have a few questions and need for clarification. If you have any questions please feel free to contact me.

Regarding your application, please provide the following:

Please clarify how this application is addressing each of the **Review and Decision Criteria for a Site Plan- EPC**, as set forth under **IDO 6-6(H)(2)(b) Procedure**. To facilitate proper evaluation of the requested amendment, we require that your letter copy each criteria in order, **6-6(H)(3)(a) thru 6-6(H)(3)(e)**, and explain how this application fulfills that requirement. Even if a criterion does not apply, include it and state why it does not apply.

**6-6(H)(3)(a)** The Site Plan is consistent with the ABC Comp Plan, as amended.

***Provide a statement addressing how the fulfillment of these criteria was explained in the original application for the site plan review. (PR-2018-001584/SI-2018-00221)***

**6-6(H)(3)(b)** The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

***Please discuss any conditions of the subdivision of this site through the DRB approval and the specific differences between this and the original approved plan.***

**6-6(H)(3)(c)** The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

## **5-12 SIGNS**

**5-12(F)(2)(a)** General

***Provide information on the allowable size and how this complies.***

**6-6(H)(3)(d)** The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

**6-6(H)(3)(e)** The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

***Include in this section the reason for the requested size increase.***

Clearly addressing each point will make for a stronger argument and better evaluation.

Any notes or public comments you have received should be included in the application.

Thank you.

Variance to the Site Development Plan for Subdivision Justification

City of Albuquerque

1 Civic Plaza NW,

Albuquerque, NM 87102.

RE: Request for a variance to the Site Development Plan for Subdivision at 4515 Coors Boulevard NW, Albuquerque NM 87120 allowing the installation of two larger illuminated wall-mounted signs, one facing Coors Boulevard and the other facing Western Trails NW.

1. There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity. This site is on a major thoroughfare and is to be used as an emergency and urgent care facility. This requires visible and legible signage to direct visitors to the site from every direction 24/7.
  - 1) The Variance will not be materially contrary to the public safety, health, or welfare because these signs are intended to assist in the safety, health, and welfare of the public by clearly marking an emergency facility.
  - 2) The Variance does not cause adverse impacts on surrounding properties or infrastructure improvements in the vicinity because it falls well within the current 2018 IDO regulations.
  - 3) The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district because it is within zoning code for the current 2018 IDO--both signs are under 10% of the façade (7% and 4%).
  - 4) The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties in directing urgent care and emergency visitors quickly and efficiently to the appropriate location. The DRB approved size is not sufficient for visibility—please see the enclosed photos showing the smaller size letters installed on the 6400 Paseo clinic (with same exterior elevations and footprint) that led to the request for larger letters.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

7.24.2019

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
CURRENT PLANNING SECTION**

**ENVIRONMENTAL PLANNING COMMISSION  
Project #: 2019-002667, Case #: SI-2019-00249  
September 12, 2019**

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PUBLIC INFORMATION

From: Susana A. Inalbio  
 To: Ingrid Koehler  
 Sent: Wednesday, May 29, 2019 9:46:27 AM  
 Subject: Notifications  
 Attachments: [Notifications](#)

Below are the neighborhood associations that need to be notified of your ZIE application, both by email and mail. Please use the sample letter in the notification packet to offer the neighborhood association a meeting. Save a copy of the email and also provide a receipt from the post office showing the parcels were mailed. After notifying the neighborhood association, you must give them 15 days to respond before you are able to submit your application.

Association Name	First Name	Last Name	Email	Alternative Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone
Ladera Heights NA	Allen	Ludi	aludi15@gmail.com		6216 St. Joseph Avenue NW		Albuquerque	NM	87120	5058979153
Ladera Heights NA	Miriam	Ludi	aludi2wo@yahoo.com		6216 St. Joseph Avenue NW		Albuquerque	NM	87120	5058979153
Western Trails Estates HOA	Michelle	Romero	mromero@qps.com		8500 Jefferson Street NE	Suite B	Albuquerque	NM	87113	5053422797
Western Trails Estates HOA	Fran	Pawlak	fpawlak@qps.com	land@vms.org	8500 Jefferson Street NE	Suite B	Albuquerque	NM	87120	5058979154
Westside Coalition of Neighborhood Associations	Renee	Hovath	rhovath10@juno.com	land@vms.org	5515 Palomino Drive NW		Albuquerque	NM	87120	5052214003
Westside Coalition of Neighborhood Associations	Harry	Hovath	rhovath10@juno.com	foxaffair@vms.org	10997 Rio Del Sol NW		Albuquerque	NM	87120	5052214003
Taylor Branch NA	Joanne	Woolfity	wcwoolfit@vms.org	land@vms.org	7216 Carson Trail NW		Albuquerque	NM	87120	5059154705
Taylor Branch NA	Rene	Hovath	rhovath10@juno.com	land@vms.org	5515 Palomino Drive NW		Albuquerque	NM	87120	5058992114

Below is a list of property owners within 100 feet of the subject property. Please use the public notice sample letter as a guide. Also, please provide a receipt from the post office.

Owner	Owner Address	Owner Address 2
HOESEH KOHN	5509 HAVASU AVE NW	ALBUQUERQUE NM 87120
FIGUEROA DAVID	5524 HAVASU NW	ALBUQUERQUE NM 87120
GONZALES JOHNNY M	5612 HAVASU AVE NW	ALBUQUERQUE NM 87120
UNWEST COCOS ROAD LLC	10511 N HINGEN RD SUITE D-105	SCOTTSDALE AZ 85260
D R HORTON INC	4000 ALAMEDA BLVD NE SUITE B	ALBUQUERQUE NM 87113
TAYLOR PATRICIA A	5516 HAVASU AVE NW	ALBUQUERQUE NM 87120
THOMPSON MARIA Y	5528 HAVASU AVE NW	ALBUQUERQUE NM 87120
PADEL LUNAL & POCOA	5500 HAVASU AVE NW	ALBUQUERQUE NM 87120
MORENO JARIL	4600 STAFFORD PL NW	ALBUQUERQUE NM 87120
CONGOVA VINCE	5504 HAVASU AVE NW	ALBUQUERQUE NM 87120
MARCELL JENNIFER N	5659 VALLE ALEGRE NW	ALBUQUERQUE NM 87120
SANCHEZ PETER A & CLAUDIA	5109 WILD PLUM WAY NW	ALBUQUERQUE NM 87120
MARTINEZ ROBERTA E & MARTINEZ ROBERT E & ANITA C	207 E PALACE AVE	SANTA FE NM 87501
VELAZQUEZ JOSEPH	9709 VALLE ALEGRE WAY NW	ALBUQUERQUE NM 87120
NIERTA JOSE L RODRIGUEZ ELVIRA	9701 VALLE ALEGRE PL NW	ALBUQUERQUE NM 87120
CHAVEZ OLIVIA TAPIA S ROBERT E	5535 VALLE ALEGRE WAY NW	ALBUQUERQUE NM 87120
CHAVEZ ROBERT E & OLIVIA T	5535 VALLE ALEGRE WAY NW BLDG 17-B	ALBUQUERQUE NM 87120
GIESCH JOHN P & DARINLA J	5527 VALLE ALEGRE RD NW 17C	ALBUQUERQUE NM 87120
TELLEZ FAMILY TRUST (THE)	1605 ERIN AVE	UPLAND CA 91784-1605
ANDERSON DARWIN L & OUIDA ANN TRUSTEES ANDERSON LVT	5639 VALLE ALEGRE NW UNIT C	ALBUQUERQUE NM 87120
MAESTRAS TIMOTHY A	5609 VALLE ALEGRE WAY NW BLDG 30-B	ALBUQUERQUE NM 87120
GUTY RICARDO P	PO BOX 5013	ALBUQUERQUE NM 87185
GARCIBO VICTORIA ROSINA	5555 VALLE ALEGRE WAY NW BLDG 10-A	ALBUQUERQUE NM 87120
SANCHEZ LORETTA	5550 VALLE ALEGRE WAY NW UNIT B	ALBUQUERQUE NM 87120
HENDRIX LASHI G/O LUCIA L BRACKEN	5551 VALLE ALEGRE WAY NW 15C	ALBUQUERQUE NM 87120
CASANES ROSALIA	5543 VALLE ALEGRE WAY NW BLDG 10-A	ALBUQUERQUE NM 87120
BERRY DICKEY J & MARILEEG	6006 DELLA CT SW	ALBUQUERQUE NM 87105
FULLOON PATRICIA H	3820 OXBOW VILLAGE LN NW	ALBUQUERQUE NM 87120

From: Ingrid Koehler [mailto:ingridk@cadisign.com]  
 Sent: Tuesday, June 4, 2019 3:24 PM  
 To: Susana A. Inalbio  
 Subject: RE: Notifications Needed

4501

Ingrid Koehler  
 Project Manager  
 Century Sign Builders  
 Arizona & New Mexico Offices  
 C 314.650.0000  
 E info@csb.com | Facebook

From: Susana, Susana A. Inalbio [mailto:susannasobes@csbj.gov]  
 Sent: Tuesday, June 04, 2019 3:25 PM  
 To: Ingrid Koehler  
 Subject: RE: Notifications Needed

Is it one of these parcels?

## Notice to Neighborhood Associations

Date: July 11, 2019

To Whom This May Concern:

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

This letter is an offer to meet with you to provide additional information.

Per Ordinance, you must respond within 15 consecutive days to: 1) request a meeting; 2) decline the meeting; or 3) support the above request from approval.

A Hearing will be held on September 12, 2019 beginning at 8:30AM at the Plaza Del Sol Hearing Room, Basement Level on 600 Second Street, NW in Albuquerque, NM.

Thank you,

**Ingrid Kocher**  
Project Manager

**Century Sign Builders**  
Arizona & New Mexico Offices  
ingridk@csbsigns.com  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

## Notice to Neighborhood Associations and Property Owners

Date: July 11, 2019

To Whom This May Concern:

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

Please contact me for details.

A Hearing will be held on September 12, 2019 beginning at 8:30AM at the Plaza Del Sol Hearing Room, Basement Level on 600 Second Street, NW in Albuquerque, NM.

Thank you,

**Ingrid Kocher**  
Project Manager

**Century Sign Builders**  
Arizona & New Mexico Offices  
ingridk@csbsigns.com  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

**From:** [Ingrid Kocher](#)  
**To:** "[vicepresident@trna.org](mailto:vicepresident@trna.org)"; "[aboard10@juno.com](mailto:aboard10@juno.com)"  
**Cc:** "[govtaffairs@trna.org](mailto:govtaffairs@trna.org)"; "[land@trna.org](mailto:land@trna.org)"  
**Subject:** Request for Neighborhood Association Meeting Re 4515 Coors PRESNow  
**Date:** Thursday, July 11, 2019 8:23:13 AM  
**Attachments:** [20190315 PRESNow 4515 Exterior Sign Submittal.pdf](#)  
**Importance:** High

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Hi Jolene and Rene,

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

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*This is the same request I sent last month for the DRB, but requiring different verbiage to be submitted to the EPC.*

Thank you,

**Ingrid Kocher**  
Project Manager  
**Century Sign Builders**  
Arizona & New Mexico Offices  
[ingridk@csbsigns.com](mailto:ingridk@csbsigns.com)  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

**From:** [Ingrid Kocher](#)  
**To:** "[aludi415@gmail.com](mailto:aludi415@gmail.com)"; "[aludi2wo@yahoo.com](mailto:aludi2wo@yahoo.com)"  
**Subject:** Request for Neighborhood Association Meeting Re 4515 Coors PRESNow  
**Date:** Thursday, July 11, 2019 8:17:27 AM  
**Attachments:** [20190315 PRESNow 4515 Exterior Sign Submittal.pdf](#)  
**Importance:** High

---

Hi Allan and Marie,

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

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*This is the same request I sent last month for the DRB, but requiring different verbiage to be submitted to the EPC.*

Thank you,

**Ingrid Kocher**  
Project Manager  
**Century Sign Builders**  
Arizona & New Mexico Offices  
[ingridk@csbsigns.com](mailto:ingridk@csbsigns.com)  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

**From:** [Ingrid Kocher](#)  
**To:** ["aboard10@juno.com"](mailto:aboard10@juno.com); ["hlhen@comcast.net"](mailto:hlhen@comcast.net)  
**Subject:** Request for Neighborhood Association Meeting Re 4515 Coors PRESNow  
**Date:** Thursday, July 11, 2019 8:18:28 AM  
**Attachments:** [20190315 PRESNow 4515 Exterior Sign Submittal.pdf](#)  
**Importance:** High

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Hi Rene and Harry,

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

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*This is the same request I sent last month for the DRB, but requiring different verbiage to be submitted to the EPC.*

Thank you,

**Ingrid Kocher**  
Project Manager  
**Century Sign Builders**  
Arizona & New Mexico Offices  
[ingridk@csbsigns.com](mailto:ingridk@csbsigns.com)  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

**From:** [Ingrid Kocher](#)  
**To:** "[mdromero@cgres.com](mailto:mdromero@cgres.com)"; "[fpawlak@cgres.com](mailto:fpawlak@cgres.com)"  
**Subject:** Request for Neighborhood Association Meeting Re 4515 Coors PRESNow  
**Date:** Thursday, July 11, 2019 8:16:20 AM  
**Attachments:** [20190315 PRESNow 4515 Exterior Sign Submittal.pdf](#)  
**Importance:** High

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Hi Michelle and Fran,

I, Ingrid Kocher, am representing the owner of property (Presbyterian Hospital) located at 4515 Coors Boulevard NW, Albuquerque NM 87120.

I am writing to notify you of my request for a variance to the Site Development Plan for Subdivision within the City of Albuquerque allowing the installation of two larger illuminated wall-mounted signs on the building facing Coors and Western Trails. The increase in size would be 66 square feet. Please see the enclosed sign package detailing the plans.

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*This is the same request I sent last month for the DRB, but requiring different verbiage to be submitted to the EPC*

Thank you,

**Ingrid Kocher**  
Project Manager

**Century Sign Builders**  
Arizona & New Mexico Offices  
[ingridk@csbsigns.com](mailto:ingridk@csbsigns.com)  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

I spoke with Rene Horvath of the Taylor Ranch Neighborhood Association and Westside Coalition of Neighborhood Associations on the phone on Tuesday, July 23 at 9:30 pm. I answered all questions and explained the variance request in further detail. I then sent a requested follow-up e-mail with photos.

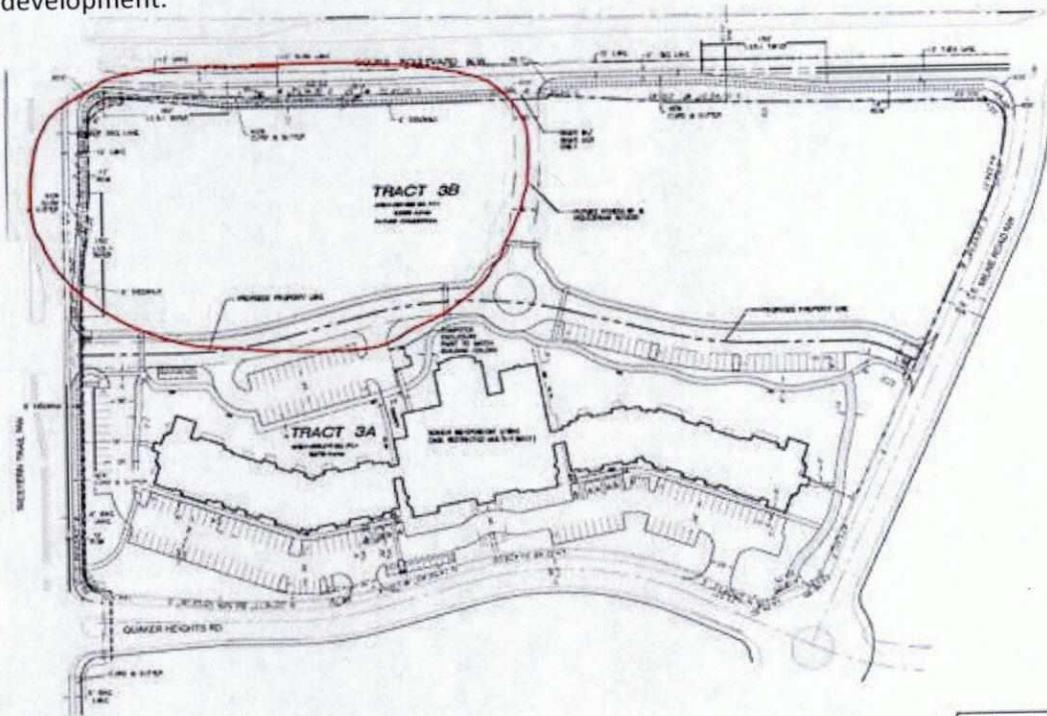
# Ingrid Kocher

**From:** Ingrid Kocher  
**Sent:** Tuesday, July 23, 2019 10:08 AM  
**To:** 'aboard10@juno.com'; 'land@trna.org'  
**Subject:** PRESNow Photos  
**Attachments:** IMG\_0624.jpg; IMG\_0625.jpg; IMG\_0627.jpg; IMG\_0628.jpg; IMG\_0629.jpg; IMG\_0630.jpg; IMG\_0631.jpg

Hi Rene,

I do want to make one last thing clear. We are following the city code that is enforced in the area with 10% of the façade, so all the buildings up and down Coors follow that code. This particular property (three lots) has a "Subdivision Development Plan" that restricts the signage. So, our proposed signage would very much match all other signage in the area, we are just trying to have approval to make an exception to the Subdivision Development Plan—this only applies to this particular lot, not the surrounding area.

This is the lot on Coors. I have circled the section that PRESNow is on. The rest of the lot will be used for other development.



Please feel free to call or e-mail if you have any more questions.

Thank you,

**Ingrid Kocher**  
Project Manager

**Century Sign Builders**  
Arizona & New Mexico Offices  
C 314.550.9096  
[csbsigns.com](http://csbsigns.com) / [Facebook](#)

## Ingrid Kocher

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**From:** Michelle D. Romero <mdromero@cgres.com>  
**To:** Ingrid Kocher  
**Sent:** Wednesday, July 24, 2019 2:46 PM  
**Subject:** Read: Request for Neighborhood Association Meeting Re 4515 Coors PRESNow

Your message

**To:**  
**Subject:** Request for Neighborhood Association Meeting Re 4515 Coors PRESNow  
**Sent:** Wednesday, July 24, 2019 2:45:47 PM (UTC-07:00) Mountain Time (US & Canada)

was read on Wednesday, July 24, 2019 2:45:44 PM (UTC-07:00) Mountain Time (US & Canada).

CENTURY MAIL SERVICES  
2117 Commercial St. NE  
Albuquerque, NM 87107



Marie Ludi  
Ladera Heights Neighborhood Association  
6216 St. Josephs Avenue NW  
Albuquerque, New Mexico  
87120



Rene Horvath  
Taylor Ranch Neighborhood Association  
5515 Palomino Drive NW  
Albuquerque, New Mexico  
87120



Jolene Wolfley  
Taylor Ranch Neighborhood Association  
7216 Carson Trail NW  
Albuquerque, New Mexico  
87120

CENTURY MAIL SERVICES  
2117 Commercial St. NE  
Albuquerque, NM 87107



Michelle Romero  
Western Trails Estates HOA  
8500 Jefferson Street NE  
Suite B  
Albuquerque, New Mexico  
87113



Allan Ludi  
Ladera Heights Neighborhood Association  
6216 St. Josephs Avenue NW  
Albuquerque, New Mexico  
87120



Fram Pawlek  
Western Trails Estates HOA  
8500 Jefferson Street NE  
Suite B  
Albuquerque, New Mexico  
87113

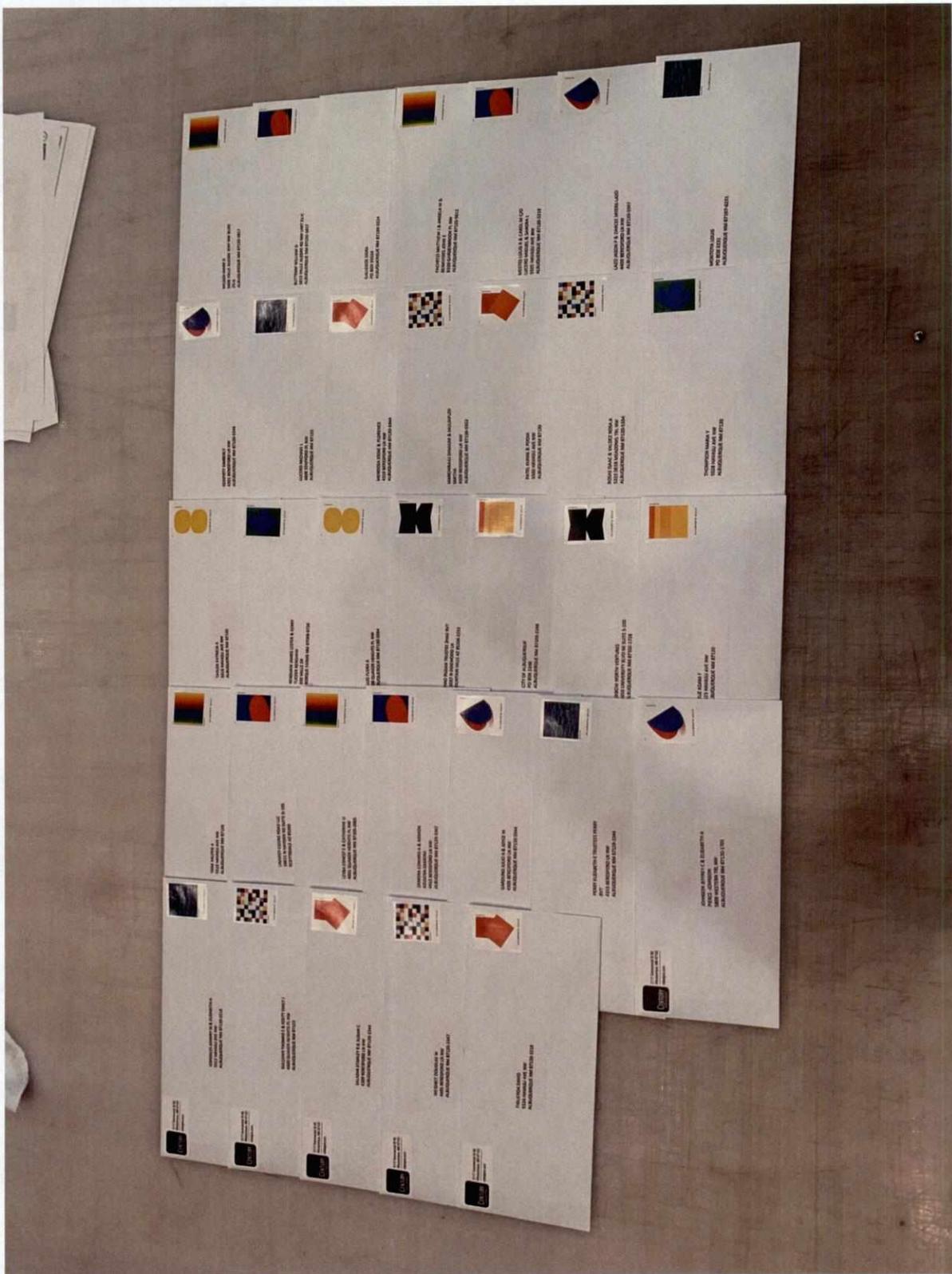
CENTURY MAIL SERVICES  
2117 Commercial St. NE  
Albuquerque, NM 87107



Rene Horvath  
Westside Coalition of  
Neighborhood Associations  
5515 Palomino Drive NW  
Albuquerque, New Mexico  
87120



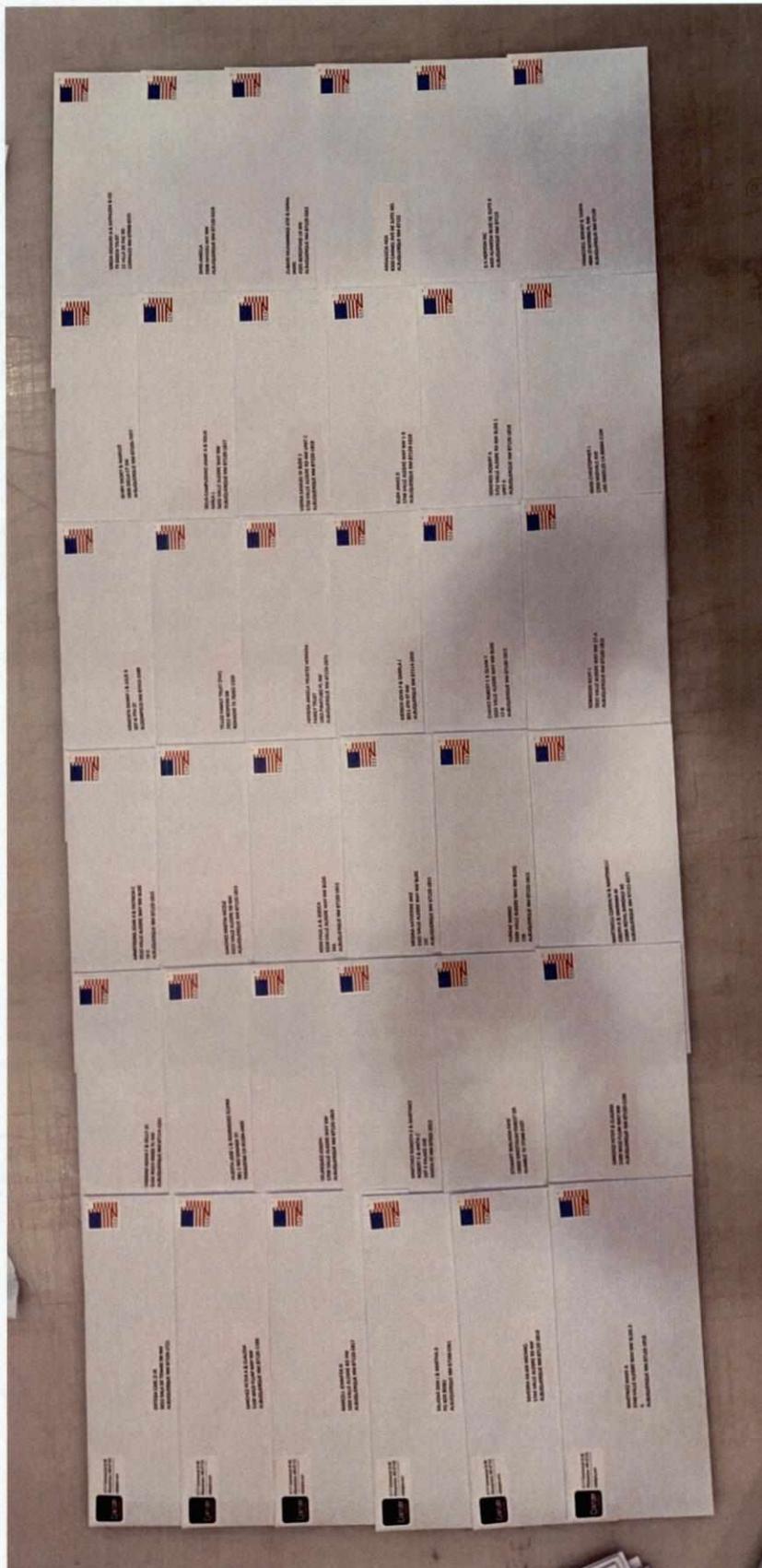
Harry Hendriksen  
Westside Coalition of  
Neighborhood Associations  
10592 Rio del Sol NW  
Albuquerque, New Mexico  
87114



Neighbor Mailings 1 of 3



Neighbor Mailings 2 of 3



Neighbor Mailings 3 of 3

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
CURRENT PLANNING SECTION**

**ENVIRONMENTAL PLANNING COMMISSION  
Project #: 2019-002667, Case #: SI-2019-00249  
September 12, 2019**

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REDUCED DRAWINGS

**DEKKER PERICH SABATIN**

7601 JEFFERSON HE. SUIT ALBUQUERQUE, NM  
505.761.9700 / OPS@DESIGN  
ARCHITECT

ENGINEER

PROJECT

**PHS AMBULATORY CARE FACILITY**  
COORS BLVD. N.W. ALBUQUERQUE, NM

DESIGNER  
△  
△  
△  
△

DRAWN BY  
REVIEWED BY  
DATE 1/15/20  
PROJECT NO. 18-0101  
DRAWING NAME  
**SITE PLAN**

SHEET NO  
**SDP1-**  
OF

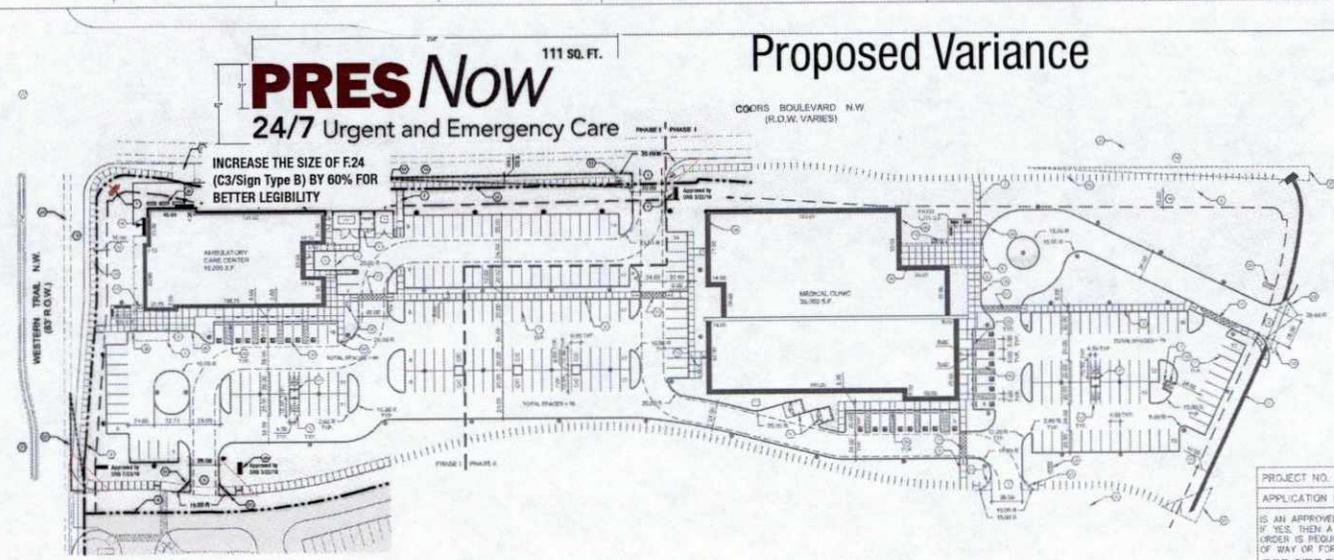
# Proposed Variance

**PRES Now**  
24/7 Urgent and Emergency Care

111 SQ. FT.

COORS BOULEVARD N.W.  
(R.D.W. VARIIES)

**INCREASE THE SIZE OF F:24  
(C3/Sign Type B) BY 60% FOR  
BETTER LEGIBILITY**



ADJACENT PROPOSED FUTURE DEVELOPMENT ZONING M-6. (SEE PLANS)

MILNE RD N.W.  
(R.D.W.)

**B3 SITE PLAN**  
1" = 50'-0"

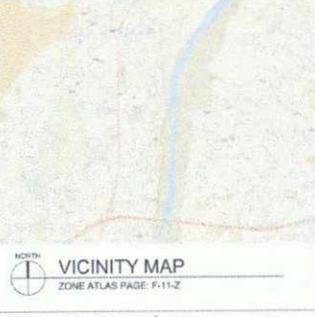
PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIREMENT [ YES / NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

PROJECT DATA	
<b>BUILDING AREA</b> PHASE 1: 15,200 SQ. FT. PHASE 2: 38,800 SQ. FT. FULL BUILD OUT AREA: 54,000 SQ. FT. CONSTRUCTION TYPE: MB OCCUPANCY TYPE: S	
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SACP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.	
<b>FIRE FLOW:</b> IFC TABLE 5109.10 AMBULATORY CARE CENTER (1,782) + (1,578) GPM OUTPATIENT CLINIC (4,892) + (3,660) GPM	
<b>FIRE HYDRANTS:</b> AMBULATORY CARE CENTER + OUTPATIENT CLINIC	REQUIRED: 1 (NO.1 SPACING) PROVIDED: 2 (NO.1 SPACING)

PARKING CALCULATIONS	
<b>AMBULATORY CARE CENTER</b> PHASE 1: 15,200 SF 5 SPACES PER 1,000 S.F. + ACCESSIBLE PARKING 51/102 SPACES 6 ACCESSIBLE, 2 VAN ACCESSIBLE	REQUIRED: 8 PROVIDED: 8
<b>MOTORCYCLE SPACES</b> 51/102 SPACES	REQUIRED: 3 PROVIDED: 3
<b>BIKEWAY PARKING</b> 50% OF REQUIRED OFF-STREET PARKING	REQUIRED: 8 PROVIDED: 8
<b>MEDICAL CLINIC</b> PHASE 2: 38,800 SF 5 SPACES PER 1,000 S.F. + INCLUDING 4 COMPACT CAR SPACES + 3N	REQUIRED: 175 SPACES PROVIDED: 175 SPACES
<b>ACCESSIBLE PARKING</b> 51/102 SPACES TO ACCESSIBLE, 4 VAN ACCESSIBLE	REQUIRED: 4 PROVIDED: 4
<b>MOTORCYCLE SPACES</b> 51/102 SPACES	REQUIRED: 3 PROVIDED: 3
<b>BIKEWAY PARKING</b> 50% OF REQUIRED OFF-STREET PARKING	REQUIRED: 18 PROVIDED: 18

- SHEET KEYED NOTES**
- PARKING LOT STORING
  - PEDESTRIAN PATHWAY
  - NEW CURB CUT
  - AMPHIBIAN CALICATED AREA
  - LANDSCAPE OVERSEED
  - PATIENT DROP-OFF
  - FREESTANDING MONUMENT SIGN (TYPE C) SEE DETAIL AS/SDPS-4
  - DUMPSTER ENCLOSURE. SEE DETAIL DS/SDPS-1
  - PROPERTY LINE
  - BUILDING SETBACK
  - CONCRETE TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH (DO NOTION 5-20(3)(D)) MATERIALS TO ACHIEVE RECORDED
  - MOTORCYCLE PARKING, 4" X 8" MINIMUM UNLESS NOTED OTHERWISE.
  - SEE BLACK. SEE DETAIL AS/SDPS-3
  - IF HIGH CURB CURBEN WALL. SEE DETAIL AS/SDPS-3
  - NEW WET TURN LANE
  - BUILDING MOUNTED SIGN (TYPE B). SEE DETAIL CS/SDPS-4
  - FREESTANDING MONUMENT SIGN INDICATING MOTORCYCLE PARKING ONLY.
  - EXISTING RIGHT TURN LANE
  - MC PARKING. SEE DETAIL CS/SDPS-3
  - NEW 6" WIDE CONCRETE PUBLIC SIDEWALK
  - NEW LEFT TURN LANE
  - SIGNALIZED INTERSECTION
  - LANDSCAPED AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, UNITS, AND BRUSHBERY BETWEEN 2 AND 4 FEET TALL AND MEASURED FROM THE OUTER PAVING WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
  - SEE LANE
  - FREESTANDING MONUMENT SIGN (TYPE D). SEE DETAIL AS/SDPS-4
  - BUILDING MOUNTED SIGN (TYPE A). SEE DETAIL DS/SDPS-4
  - TRUCK STOP
  - FLUSH CONCRETE SIDEWALK. SEE DETAIL DS/SDPS-3
  - METROPAC RIBBED FLOWERS. SEE SDPS-1

- GENERAL SHEET NOTES**
- ALL PARKING AREAS DRIVE ABLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
  - ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- LEGEND**
- PROPERTY LINE
  - SEALING SETBACK
  - FIRE ACCESS LANE
  - 6" WIDE CONCRETE SIDEWALK
  - LANDSCAPE AREA
  - EXISTING 6" WIDE CONCRETE SIDEWALK
  - POLE LIGHT (IF MAX HEIGHT). SEE DETAIL AS/SDPS-1
  - SIDEWALK RAMP (ARROWPOINTS DOWN)
  - FIRE HYDRANT
  - MC MOTORCYCLE SPACES, 4" X 8" MINIMUM UNLESS NOTED OTHERWISE
  - CG COMPACT CAR SPACE, 8' X 15.5' UNLESS NOTED OTHERWISE. ALL COMPACT CAR SPACES SHALL BE LABELED WITH THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON HI, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG  
ARCHITECT

ENGINEER

PROJECT

PHS AMBULATORY CARE FACILITY  
COORS BLVD. NW  
ALBUQUERQUE, NM

REVISIONS  
▲  
▲  
▲

DRAWN BY  
REVIEWED BY  
DATE 11/1/2018  
PROJECT NO. 18-0103.001  
DRAWING NAME  
SIGN ELEVATIONS

SHEET NO.  
**SPP-4**  
OF

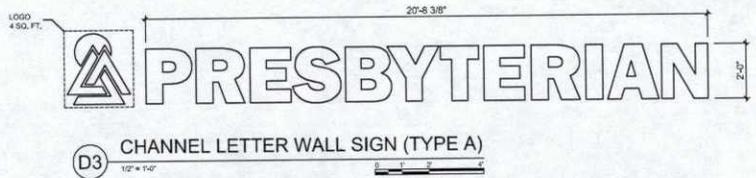


Illustration: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 585 NITS AT NIGHT

**D3** CHANNEL LETTER WALL SIGN (TYPE A)  
1/2" = 1'-0"

Proposed Major Amendment Requires DRB Approval

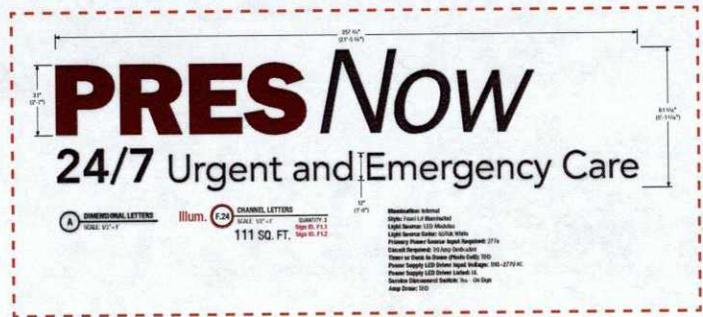
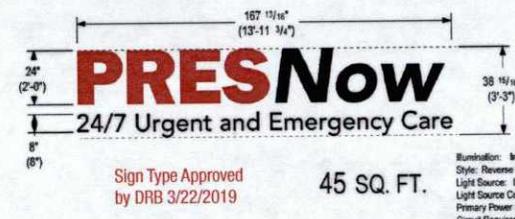


Illustration: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD



Sign Type Approved  
by DRB 3/22/2019

Illustration: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 585 NITS AT NIGHT

**C3** CHANNEL LETTER WALL SIGN (TYPE B)  
1/2" = 1'-0"

PROPOSED IS 111 SF  
66 SF = 60% INCREASE  
4% OF FACADE (COORS FACADE = 2,553 SF)  
7% OF FACADE (WESTERN TRAILS = 1,417SF)

APPROVED SIGN IS 45 SF  
2% OF FACADE (COORS FACADE = 2,553 SF)  
3% OF FACADE (WESTERN TRAILS = 1,417SF)

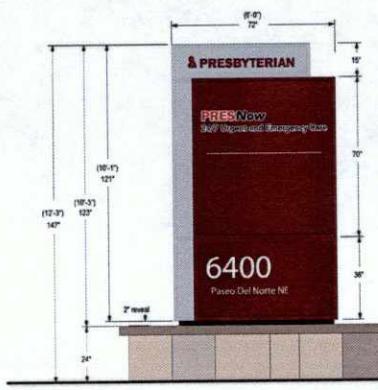


Illustration: Internal  
Style: Full Face Back Lit Monogram  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: 11.30  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 585 NITS AT NIGHT

62 SQ. FT.

**A3** MONUMENT SIGN (TYPE C)  
1/2" = 1'-0"

Sign Type Approved  
by DRB 3/22/2019

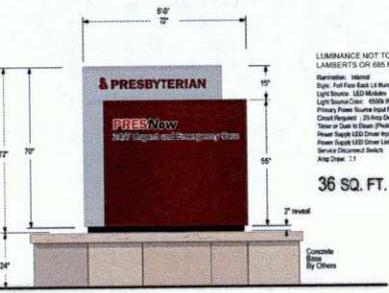


Illustration: Internal  
Style: Full Face Back Lit Monogram  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: 11

36 SQ. FT.

**A5** MONUMENT SIGN (TYPE D)  
1/2" = 1'-0"

Sign Type Approved  
by DRB 3/22/2019

# Original Existing Site Plan

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON BL, SUITE 100  
ALBUQUERQUE, NM 87116  
505.761.9708 / DP@DESIGN.ORG  
ARCHITECT

ENGINEER

PROJECT

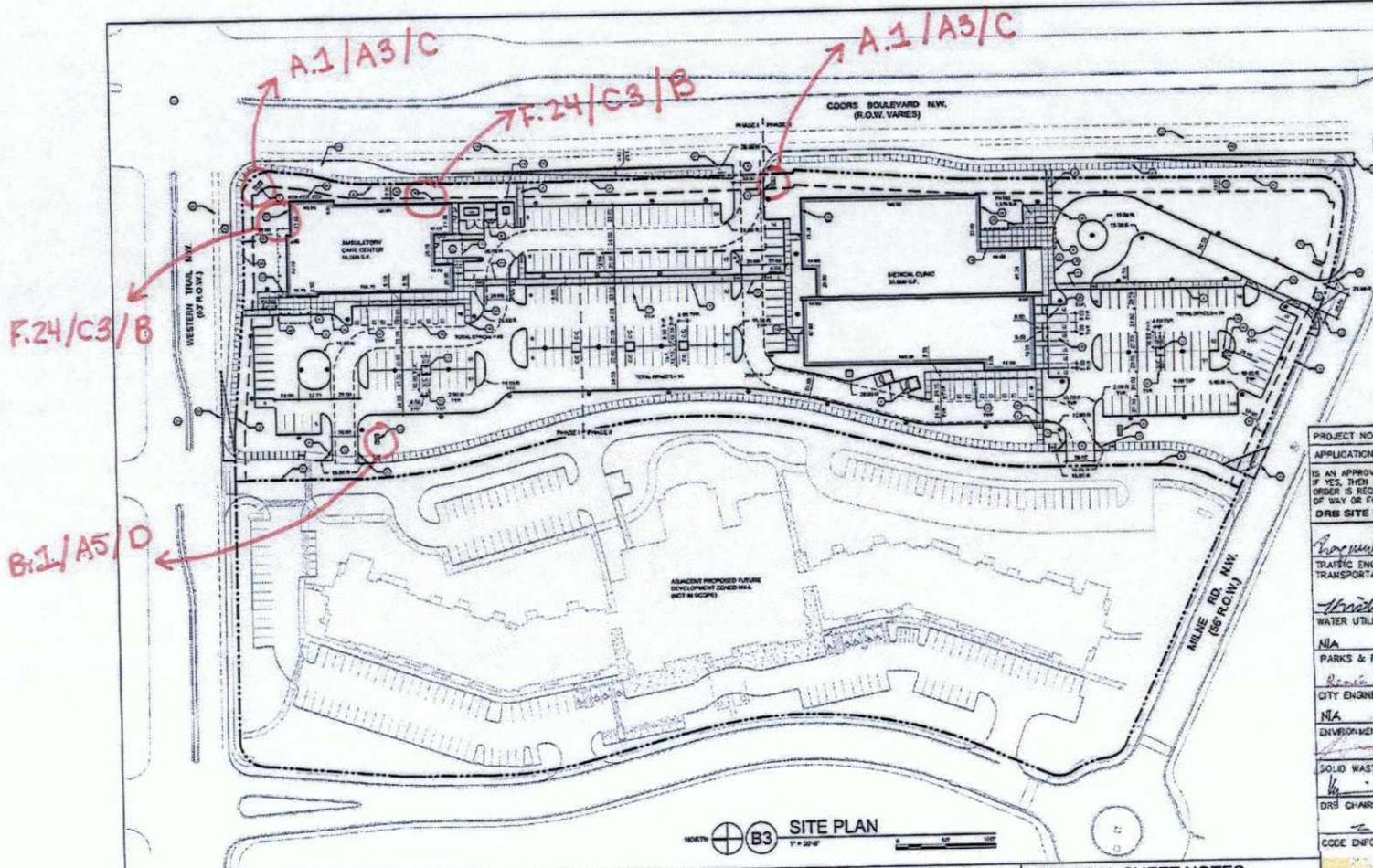
PHS AMBULATORY CARE FACILITY

COORS BLVD. NW  
ALBUQUERQUE, NM

REVISIONS  
▲  
▲  
▲  
▲

DRAWN BY: AHS  
REVIEWED BY:  
DATE: 1/23/19  
PROJECT NO: 18-010.001  
DRAWING NAME:  
SITE PLAN

944110  
**SDP1-1**  
OF



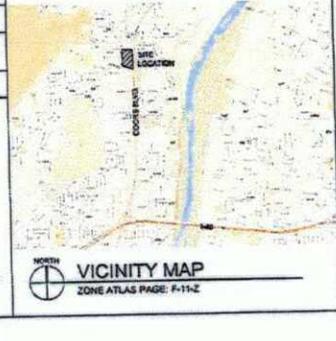
PROJECT NO. <b>PP-2018-20184</b>	
APPLICATION NO. <b>91-2019-00019</b>	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? (YES / NO). IF YES, THEN A SET OF APPROVED DRG PLANS WITH A TRACER ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRG SITE DEVELOPMENT PLAN APPROVAL:</b>	
<i>Barbara M. Wilson</i>	3/20/19
TRATEGIC ENGINEERING	DATE:
TRANSPORTATION DIVISION	
<i>David L. Cook</i>	01-23-19
WATER UTILITY DEPARTMENT	DATE:
N/A	
PARKS & RECREATION DEPARTMENT	DATE:
<i>Renee Bonaventura</i>	1/23/19
CITY ENGINEER	DATE:
N/A	
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
	01-23-19
SOLID WASTE MANAGEMENT	DATE:
<i>bb</i>	3-23-2019
DRS CHAIRPERSON, PLANNING DEPT.	DATE:
	1/23/19
CODE ENFORCEMENT	DATE:

PROJECT DATA	
BUILDING AREA PHASE 1: 76,787 SQ. FT. PHASE 2: 24,000 SQ. FT.	
FULL BUILD OUT AREA: 100,787 SQ. FT.	
CONSTRUCTION TYPE: B	
OCUPANCY TYPE: B	
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SMOKEALAR DETECTOR TO BE INST. SHIP PROVIDED TO THE AUTHORITY HAVING JURISDICTION FIRE ALARM SYSTEM TO BE PROVIDED.	
PHS FLOOR #10 TABLE (10x10) AMBULATORY CARE CENTER 2,700 + 1,375 SQM OUTPATIENT CLINIC 4,000 + 2,000 SQM	
FIRE HYDRANTS: AMBULATORY CARE CENTER = 1 OUTPATIENT CLINIC = 2	REQUIRED 1 PROVIDED 2 (20' SPACING)

PARKING CALCULATIONS	
AMBULATORY CARE CENTER PROJECT - NEEDS 5 SPACES PER 1,000 S.F. +	REQUIRED 60 SPACES PROVIDED 80 SPACES
ACCESSIBLE PARKING 5% OF TOTAL SPACES MINIMUM 2 SPACES	REQUIRED 3 PROVIDED 5
MOOTORCYCLE SPACES 3% OF TOTAL SPACES	REQUIRED 2 PROVIDED 4
BIKES 1% OF TOTAL SPACES	REQUIRED 1 PROVIDED 2
MECHANICAL CLING SPACES 7 - 2,000 S.F. 5 SPACES PER 1,000 S.F. + INCLUDING 4 COMPACT CAR SPACES = 2%	REQUIRED 175 SPACES PROVIDED 175 SPACES
ACCESSIBLE PARKING 1% OF TOTAL SPACES MINIMUM 2 SPACES	REQUIRED 2 PROVIDED 4
MOOTORCYCLE SPACES 3% OF TOTAL SPACES	REQUIRED 5 PROVIDED 8
BIKES 1% OF TOTAL SPACES	REQUIRED 1 PROVIDED 2

SHEET KEYED NOTES	
1. PROPERTY LOT LAYOUT	11. CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH ADA REQUIREMENTS. SIGNAGE SHALL BE INSTALLED TO ADJUST VEHICLE
2. PEDESTRIAN PATHWAY	12. MOOTORCYCLE PARKING, 40' MINIMUM UNLESS NOTED OTHERWISE.
3. SIGN CLING CURB	13. ONE BAY, SEE DETAIL AS09P-3
4. AMBULANCE LOADING AREA	14. 8' HIGH CAR SCENERY WALL, SEE DETAIL AS09P-3
5. GROUND PROTECT	15. NEW RIGHT TURN LANE
6. PROTECT DRIVEWAY	16. BUILDING MOUNTED SIGN (TYPE B), SEE DETAIL C03P-4
7. FREESTANDING SIGN (TYPE C), SEE DETAIL AS09P-4	17. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK
8. SIGNATURE ENCLOSURE, SEE DETAIL AS09P-3	18. EXISTING RIGHT TURN LANE
9. PROPERTY LINE	19. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK
10. SIGNAGE DETAIL	20. NEW LEFT TURN LANE
11. CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH ADA REQUIREMENTS. SIGNAGE SHALL BE INSTALLED TO ADJUST VEHICLE	21. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLES. TRUNKS, POLES, WALL, TREES, AND CHIMNEYS BETWEEN
12. MOOTORCYCLE PARKING, 40' MINIMUM UNLESS NOTED OTHERWISE.	22. 3 AND 6 FEET FALL (AS MEASURED FROM THE GUTTER) SHALL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
13. ONE BAY, SEE DETAIL AS09P-3	23. BURE LANE
14. 8' HIGH CAR SCENERY WALL, SEE DETAIL AS09P-3	24. SIGNAGE MOUNTMENT SIGN (TYPE B), SEE DETAIL AS09P-4
15. NEW RIGHT TURN LANE	25. BUILDING MOUNTED SIGN (TYPE A), SEE DETAIL AS09P-4
16. BUILDING MOUNTED SIGN (TYPE B), SEE DETAIL C03P-4	26. SIGN STOP
17. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK	27. FLUSH CONCRETE SIDEWALK, SEE DETAIL AS09P-3
18. EXISTING RIGHT TURN LANE	28. 6" WIDE 2" WIDE PLANTING, SEE DETAIL
19. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK	
20. NEW LEFT TURN LANE	

GENERAL SHEET NOTES	
1. ALL PARKING AREAS DRIVE ADLES AND AUTOMOTIVE CIRCULATION PATH TO BE ASPHALT PAVING.	
2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.	
<b>LEGEND</b>	
PROPERTY LINE	
BUILDING DETRACK	
FIRE ACCESS LANE	
6" WIDE CONCRETE CROSSWALK	
EXISTING 6" WIDE CONCRETE SIDEWALK	
LANDSCAPE AREA	
POLE LIGHT (IF MAX HEIGHT), SEE DETAIL AS09P-3	
SIDEWALK RAMP (ARROW POINTS DOWN)	
FIRE HYDRANT	
MOOTORCYCLE SPACE, IF 3' 6" MINIMUM, UNLESS NOTED OTHERWISE.	
COMPACT CAR SPACE, IF 2' 6" UNLESS NOTED OTHERWISE. ALL COMPACT CAR SPACES SHALL BE MARKED WITH THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.	



PROJECT DATA		PARKING CALCULATIONS		SHEET KEYED NOTES		GENERAL SHEET NOTES	
BUILDING AREA PHASE 1: 76,787 SQ. FT. PHASE 2: 24,000 SQ. FT.		AMBULATORY CARE CENTER PROJECT - NEEDS 5 SPACES PER 1,000 S.F. +	REQUIRED 60 SPACES PROVIDED 80 SPACES	1. PROPERTY LOT LAYOUT	11. CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH ADA REQUIREMENTS. SIGNAGE SHALL BE INSTALLED TO ADJUST VEHICLE	1. ALL PARKING AREAS DRIVE ADLES AND AUTOMOTIVE CIRCULATION PATH TO BE ASPHALT PAVING.	
FULL BUILD OUT AREA: 100,787 SQ. FT.		ACCESSIBLE PARKING 5% OF TOTAL SPACES MINIMUM 2 SPACES	REQUIRED 3 PROVIDED 5	2. PEDESTRIAN PATHWAY	12. MOOTORCYCLE PARKING, 40' MINIMUM UNLESS NOTED OTHERWISE.	2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.	
CONSTRUCTION TYPE: B		MOOTORCYCLE SPACES 3% OF TOTAL SPACES	REQUIRED 2 PROVIDED 4	3. SIGN CLING CURB	13. ONE BAY, SEE DETAIL AS09P-3		
OCUPANCY TYPE: B		BIKES 1% OF TOTAL SPACES	REQUIRED 1 PROVIDED 2	4. AMBULANCE LOADING AREA	14. 8' HIGH CAR SCENERY WALL, SEE DETAIL AS09P-3		
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SMOKEALAR DETECTOR TO BE INST. SHIP PROVIDED TO THE AUTHORITY HAVING JURISDICTION FIRE ALARM SYSTEM TO BE PROVIDED.		MECHANICAL CLING SPACES 7 - 2,000 S.F. 5 SPACES PER 1,000 S.F. + INCLUDING 4 COMPACT CAR SPACES = 2%	REQUIRED 175 SPACES PROVIDED 175 SPACES	5. GROUND PROTECT	15. NEW RIGHT TURN LANE		
PHS FLOOR #10 TABLE (10x10) AMBULATORY CARE CENTER 2,700 + 1,375 SQM OUTPATIENT CLINIC 4,000 + 2,000 SQM		ACCESSIBLE PARKING 1% OF TOTAL SPACES MINIMUM 2 SPACES	REQUIRED 2 PROVIDED 4	6. PROTECT DRIVEWAY	16. BUILDING MOUNTED SIGN (TYPE B), SEE DETAIL C03P-4		
FIRE HYDRANTS: AMBULATORY CARE CENTER = 1 OUTPATIENT CLINIC = 2	REQUIRED 1 PROVIDED 2 (20' SPACING)	MOOTORCYCLE SPACES 3% OF TOTAL SPACES	REQUIRED 5 PROVIDED 8	7. FREESTANDING SIGN (TYPE C), SEE DETAIL AS09P-4	17. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK		
		BIKES 1% OF TOTAL SPACES	REQUIRED 1 PROVIDED 2	8. SIGNATURE ENCLOSURE, SEE DETAIL AS09P-3	18. EXISTING RIGHT TURN LANE		
				9. PROPERTY LINE	19. NEW 6" WIDE CONCRETE PUBLIC SIDEWALK		
				10. SIGNAGE DETAIL	20. NEW LEFT TURN LANE		

**DEKKER  
PERICH  
SABATIN**

7601 2411 PHS BLVD NW  
ALBUQUERQUE, NM  
505.741.7760 / DPDESIGN  
ARCHITECT

PHS AMBULATORY CARE FACILITY  
COORS BLVD, NW  
ALBUQUERQUE, NM

DATE: 11/16  
REVIEWED BY: [Signature]  
DATE: 11/16  
PROJECT NO: 180102  
DRAWING NAME: SITE PLAN

SHEET NO: **SDP1-**

# Proposed Revised Site Plan

**PRES Now**  
24/7 Urgent and Emergency Care

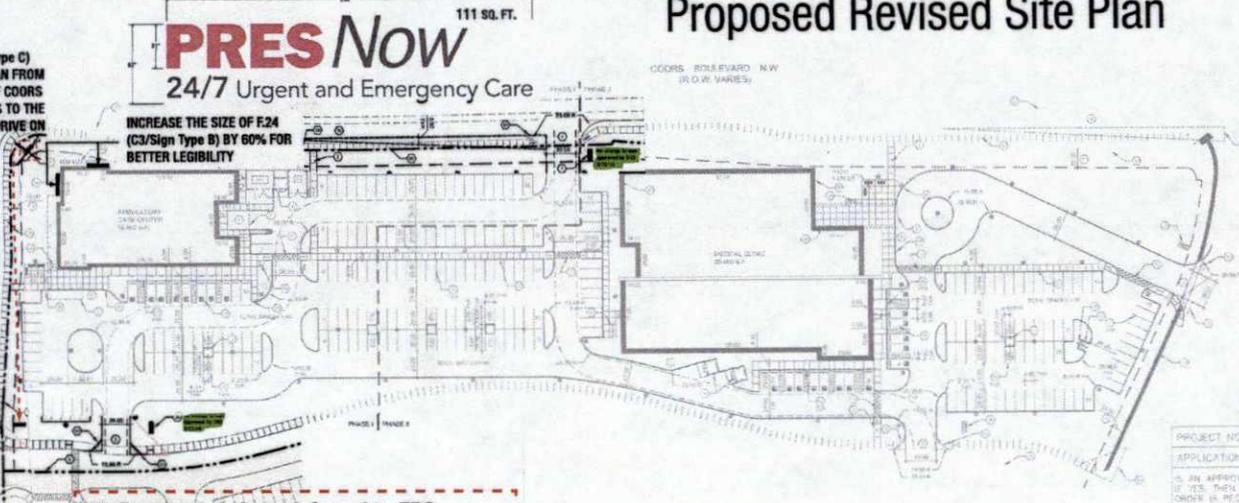
111 SQ. FT.

COORS BOULEVARD, NW  
(R.O.W. VARIES)

**MOVE A.1 (A.3/Sign Type C)  
ON EXISTING SITE PLAN FROM  
THE INTERSECTION OF COORS  
AND WESTERN TRAILS TO THE  
FACILITY ENTRANCE DRIVE ON  
WESTERN TRAILS.**

**INCREASE THE SIZE OF F.24  
(C3/Sign Type B) BY 60% FOR  
BETTER LEGIBILITY**

**Wall-mounted signs deferred to EPC  
DRB sign-off for monument sign move only**



PROJECT NO. **PP-1810-001504**  
APPLICATION NO. **SD-1810-00177**

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? YES | NO  
IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK  
ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT  
OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>Rogaynd M. Wild</i>	7/23/19
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Theresa Lee</i>	07-10-19
WATER UTILITY DEPARTMENT	DATE
<i>[Signature]</i>	7-20-19
PARKS & RECREATION DEPARTMENT	DATE
<i>James D. Taylor</i>	7/10/19
ENGINEER	DATE
N/A	ENVIRONMENTAL HEALTH (CONTRACTUAL)
N/A	DATE
N/A	PLANT FACILITY MANAGEMENT
N/A	DATE
N/A	DRUG-LIQUOR-PLANNING DEPT.
N/A	DATE
N/A	CODE ENFORCEMENT
N/A	DATE

UNAPPROVED INFRASTRUCTURE  
CONSTRUCTION WITHIN  
R.O.W. VARIES

MILNE RD NW  
(R.O.W. VARIES)



**PROJECT DATA**

BUILDING AREA FOOTPRINT = 16,100 SQ. FT. FOOTPRINT TO R.O.W. = 11,100 SQ. FT.		
FULL BUILDING FOOT AREA = 11,100 SQ. FT.		
DRIVEWAY FOOTPRINT AREA = 11,100 SQ. FT.		
ALL EXISTING UTILITIES AND SMOKE DETECTION SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE BUILDING CONSTRUCTION TO SAFELY MAINTAIN ACCESS TO THE BUILDING. ALL EXISTING UTILITIES SHALL BE MAINTAINED AS REQUIRED.		
DRIVEWAY AREA FOOTPRINT = 16,100 SQ. FT. FOOTPRINT TO R.O.W. = 11,100 SQ. FT.	REQUIRED	11,100 SQ. FT.
DRIVEWAY AREA FOOTPRINT = 16,100 SQ. FT. FOOTPRINT TO R.O.W. = 11,100 SQ. FT.	REQUIRED	11,100 SQ. FT.

**PARKING CALCULATIONS**

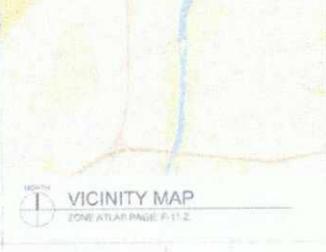
AMBULATORY CARE CENTER PROVIDE 10 SPACES	REQUIRED	PROVIDED	10 SPACES
EMERGENCY DEPARTMENT	REQUIRED	PROVIDED	10 SPACES
PHYSICIAN OFFICES	REQUIRED	PROVIDED	10 SPACES
PHYSICIAN OFFICES	REQUIRED	PROVIDED	10 SPACES
PHYSICIAN OFFICES	REQUIRED	PROVIDED	10 SPACES
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PHYSICIAN OFFICES	REQUIRED	PROVIDED	10 SPACES

**SHEET KEYED NOTES**

1. PROVIDE 10 SPACES
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**GENERAL SHEET NOTES**

1. ALL PARKING AREAS SHALL BE FENCED AND APPROVED INFRASTRUCTURE LIST REQUIRED.
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46. ALL PARKING AREAS SHALL BE FENCED AND APPROVED INFRASTRUCTURE LIST REQUIRED.
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50. ALL PARKING AREAS SHALL BE FENCED AND APPROVED INFRASTRUCTURE LIST REQUIRED.



**DEKKER  
PERICH  
SABATINI**

7601 JEFFERSON NE, SUITE 130  
ALBUQUERQUE, NM 87114  
505.741.9700 / DPSDESIGN.ORG  
ARCHITECT

ENGINEER

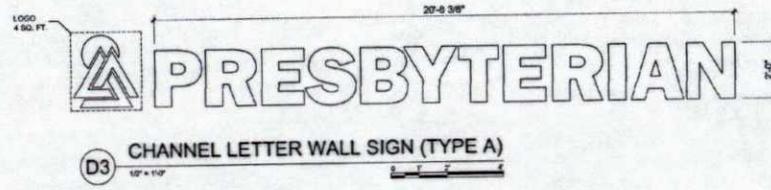
PROJECT

PHS AMBULATORY CARE FACILITY  
COORS BLVD, NW  
ALBUQUERQUE, NM

REVISIONS  
△  
△  
△

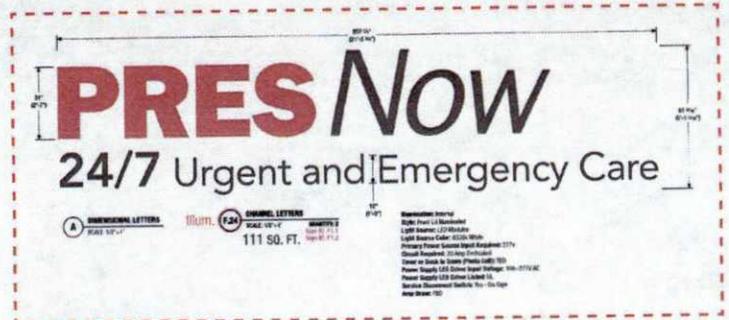
DRAWN BY  
REVIEWED BY  
DATE 11/1/2018  
PROJECT NO. 18-0103.001  
DRAWING NAME  
SIGN ELEVATIONS

SHEET NO.  
**SDP-4**  
OF



**Illumination:** Internal  
Style: Reverse Channel Halo L8  
Light Source: LED Modules  
Light Source Color: 6500K White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply: LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Label: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 665 NITS AT NIGHT

Proposed Major Amendment Requires DRB Approval

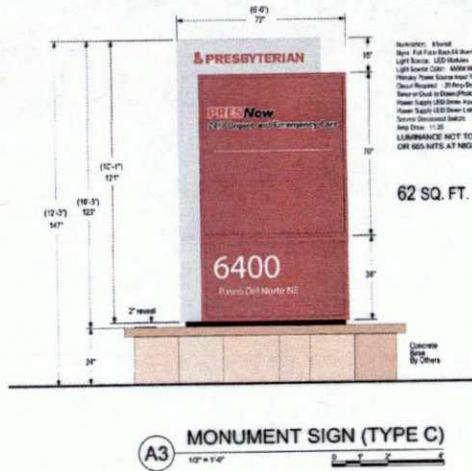


**APPROVED SIGN IS 45 SF  
PROPOSED IS 111 SF  
66 SF = 60% INCREASE**



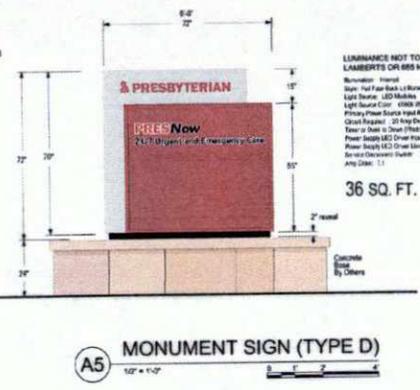
**Illumination:** Internal  
Style: Reverse Channel Halo L8  
Light Source: LED Modules  
Light Source Color: 6500K White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply: LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Label: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 665 NITS AT NIGHT

Sign Type Approved  
by DRB 3/22/2019



**Illumination:** Internal  
Style: Flat Face Backlit Monolith  
Light Source: LED Modules  
Light Source Color: 6500K White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply: LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Label: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 665 NITS AT NIGHT

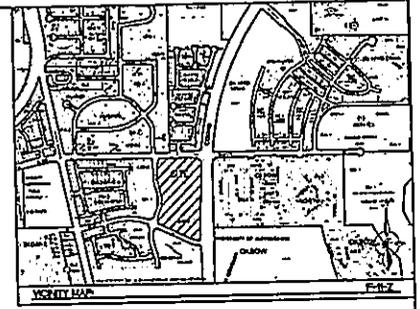
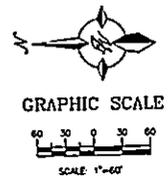
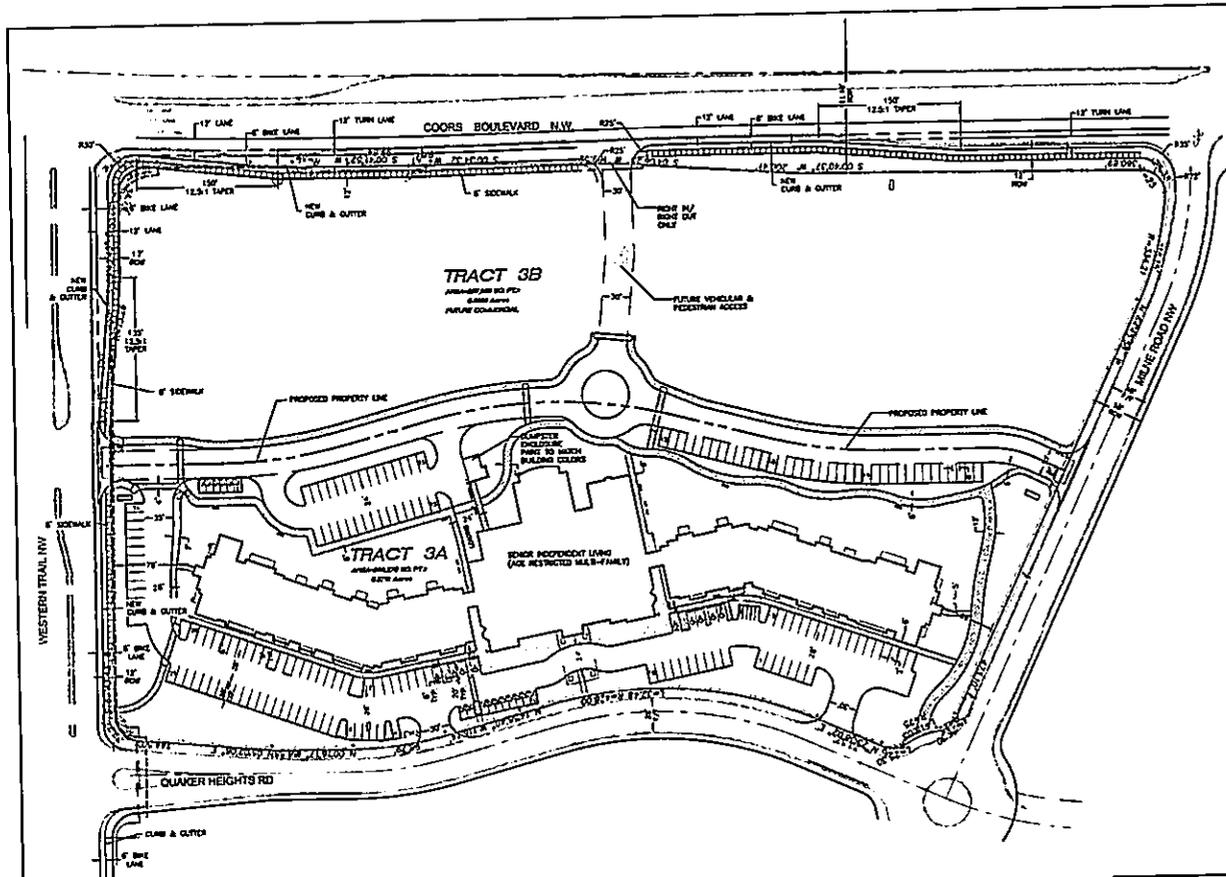
Sign Type Approved  
by DRB 3/22/2019



**LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS OR 665 NITS AT NIGHT**  
**Illumination:** Internal  
Style: Flat Face Backlit Monolith  
Light Source: LED Modules  
Light Source Color: 6500K White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply: LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Label: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD

Sign Type Approved  
by DRB 3/22/2019

# Master Development Plan



**LEGAL DESCRIPTION**  
TRACT NUMBERED THREE (3) OF THE PLAT OF TRACTS 1 THROUGH 4, COORS VILLAGE (BEING A REPLY OF TRACT 2-1-4, UNIVERSITY OF ALBUQUERQUE URBAN CENTER).

**LEGEND**

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED CROSSWALK
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED BUILDING
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED LIGHT
	TEMPORARY DRIVE

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS 3A AND 3B GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORNAMENTAL WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - THE SITE IS WITHIN 300' OF BUS ROUTE #76, #55 AND #730 ON COORS BOULEVARD.
  - LIGHT POLES SHALL BE A MAXIMUM OF 18' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 18" WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FLUORESCENT LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 50' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 18" HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
  - STRUCTURE HEIGHT UP SHALL BE PER TRACT ZONE AND SHALL COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
  - MINIMUM SETBACK REQUIREMENTS FROM COORS BOULEVARD SHALL BE AS STATED IN COORS CORRIDOR PLAN. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A AND PER THE O-2 ZONE WITHIN TRACT 3-B.
  - TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 47 U.S.C. SECTION 5407(D)(5). RESTRICTED TO RESIDENTS OF AGE 65 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.

TRACT	PROPOSED DU/AC	ALLOWED DU/AC	PROPOSED DWELLING UNITS	MAX ALLOWED DWELLING UNITS	PROPOSED FAR	MAX FAR
3A	20	17-24	171	158	0.81	1.0
3B	N/A					0.5

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
  - C2. DESIGN GUIDELINES
  - C3. SITE PLAN FOR BUILDING PERMIT
  - C4. GRADING PLAN- CONTOURS
  - C5. GRADING PLAN- SPOT ELEVATIONS
  - C6. GRADING PLAN- STORM DRAIN
  - C7. MASTER UTILITY PLAN
  - C7. DETAIL SHEET
  - C8. DETAIL SHEET
  - LS-01. LANDSCAPING PLAN
  - B1. BUILDING ELEVATIONS, CORE
  - B2. BUILDING ELEVATIONS, "A" WING
  - B3. BUILDING ELEVATIONS, "B" WING
  - B4. BUILDING ELEVATIONS, WING ENDS AND SIGN

PROJECT NUMBER: 1000032

APPLICATION NUMBER: \_\_\_\_\_

In an administrative law proceeding ( ) the ( ) be ( ) if you have a set of proposed rules, plans, etc. to which you wish to be heard by the commission upon public representation of public representation.

**DEVELOPER DEVELOPMENT PLAN APPROVAL**

Traffic Engineer, Transportation Division	Date
AUSENNA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

	COORS VILLAGE TRACTS 3-A AND 3-B	DRAWN BY R.P.
	SITE PLAN FOR SUBDIVISION	DATE 06/16/18
		SHEET # C1
TERRA WEST, LLC 5371 MONAY PARK PLACE NE ALBUQUERQUE, NM 87110 (505)258-3100		JOB # 2017107

PRELIMINARY NOT FOR CONSTRUCTION

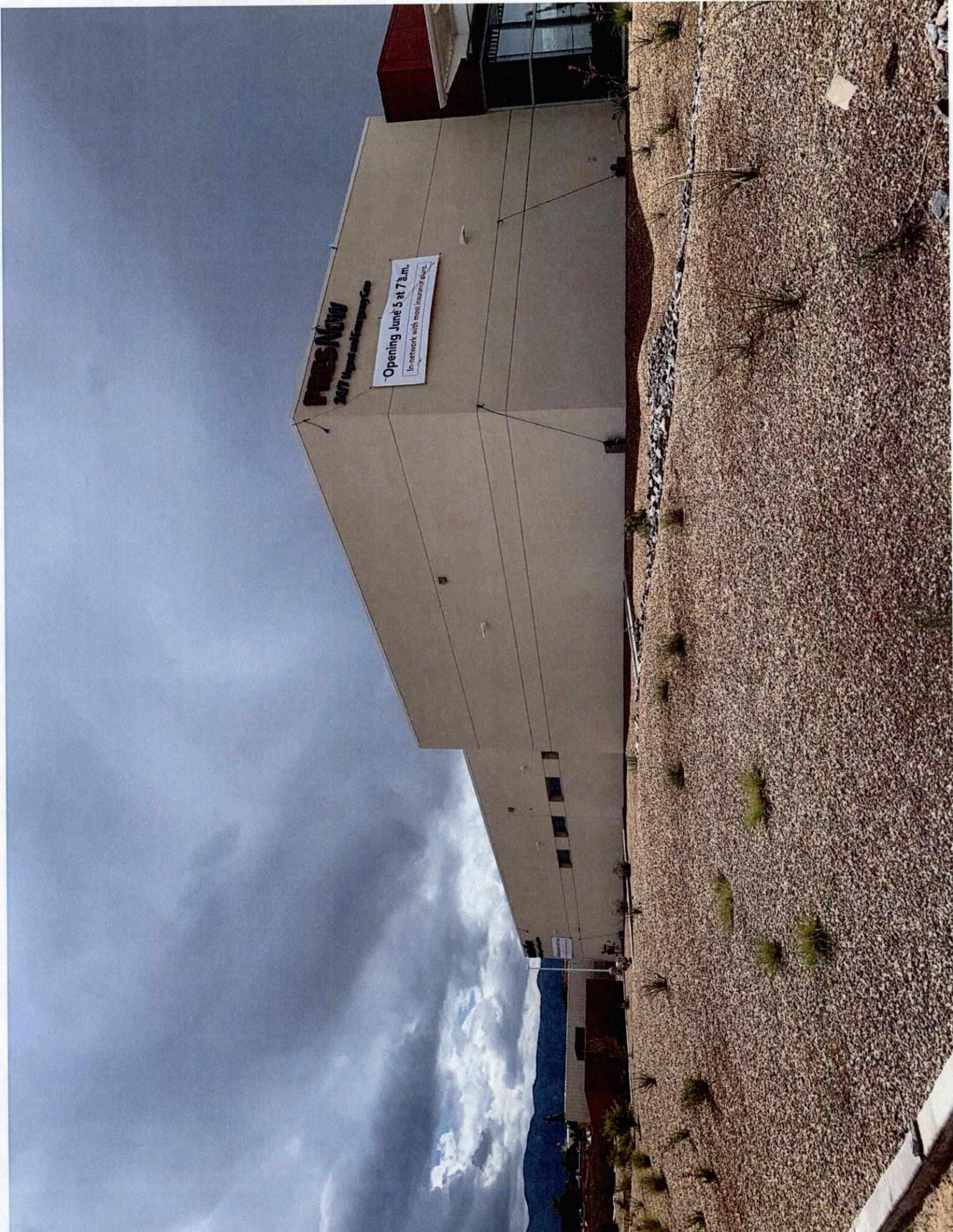




**PRES NOW**  
24/7 Urgent and Emergency Care

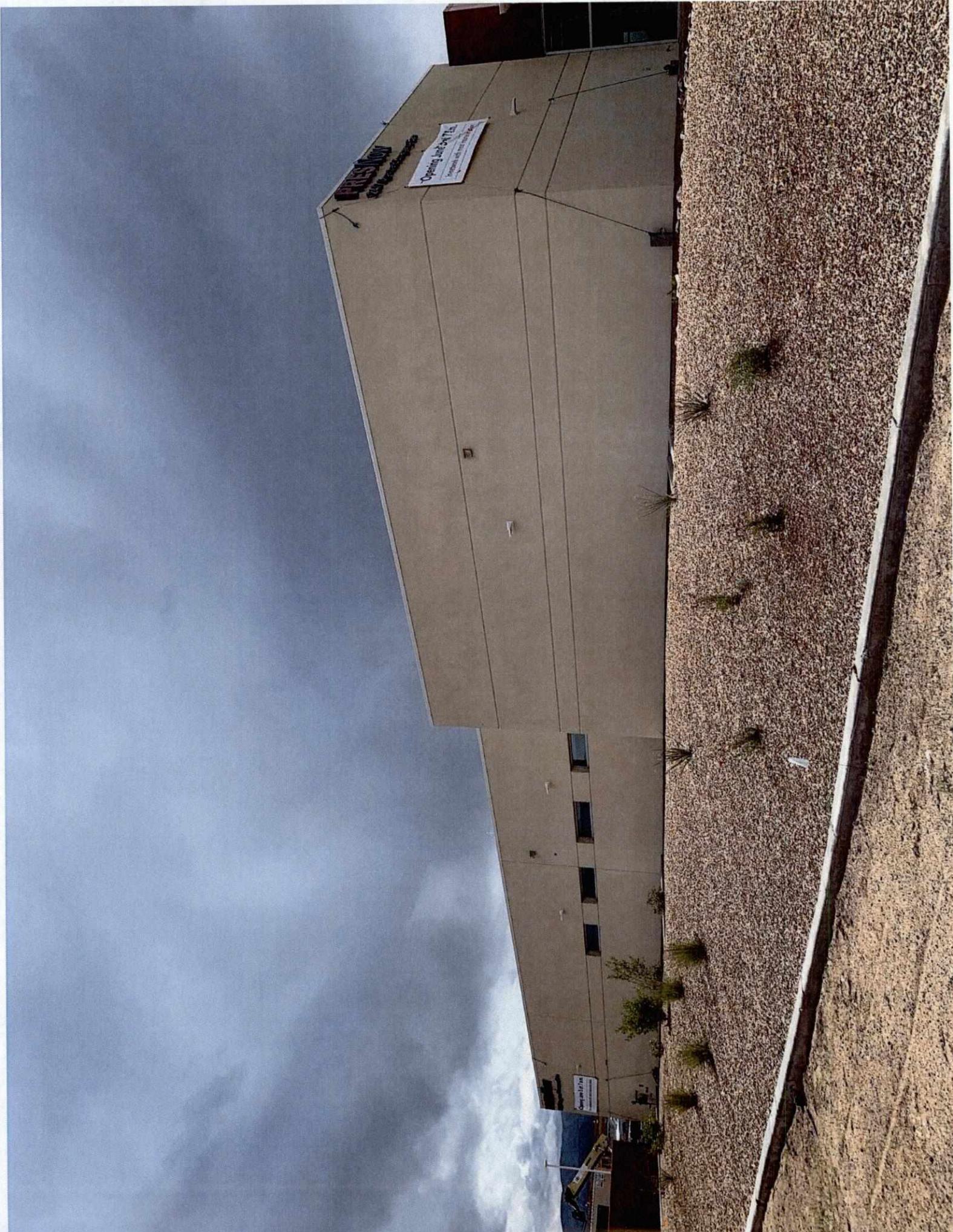
Opening June 5 at 7 a.m.  
In-network with most insurance plans.





**PINES NOW**  
24/7 Urgent and Emergency Care

Opening June 5 at 7 a.m.  
In-network with most insurance plans.



**OPENING SOON**  
Opening July 2014  
A property for lease only

Opening July 2014  
A property for lease only

**PHOTO REFERENCE ONLY - ACTUAL LOCATION 6400 PASEO PRESNOW**



**EAST ELEVATION -**  
DAYTIME SIMULATION

SCALE: 3/32"=1'  
**111 SqFt**

\* Note Space between brought in a bit more than original logo



<b>PRES</b> Height: 31" Visibility: 525'	<b>Emergency "E"</b> Height: 12" Visibility: 300'
--	---

PACKAGE 0 - Presbyterian 4515 Coors - PRESNow Clinic/20190313 PRESNow Clinic Exterior/Renderings, Submittals & PDFs/Submittals/20190313 PRESNow 4515 Exterior Sign Submittal

**CONTACT**  
Albuquerque / Phoenix  
P 505.888.2901 ext 104  
F 505.888.2902  
csbsigns.com

**DRAWN BY**  
Johnathan Sylversmythe  
JohnathanS@csbsigns.com  
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**CLIENT / PROJECT**  
Client / GC: Presbyterian PRESNow  
Project: 20190313 PRESNow Clinic Exterior

**APPROVAL REQUIRED FOR PRODUCTION** SIGNATURE / DATE

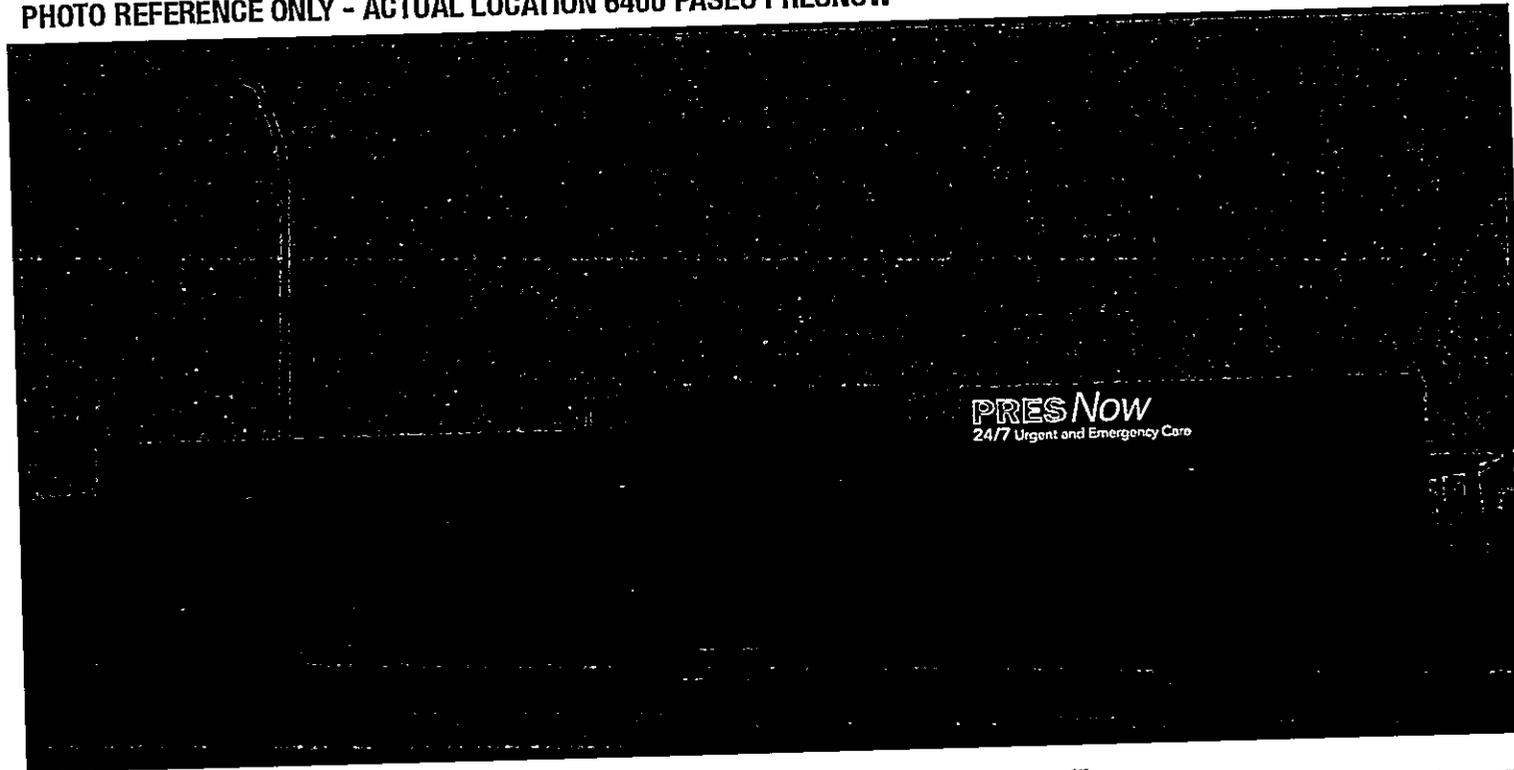
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00/00/0000  
Sign Package Modification Date: July 24, 2019 9:09 AM

**DRAWING REVISED DATE**  
00/00/0000

**SHEET TITLE**  
Photo Overlay Design Concept  
East of Building



**PHOTO REFERENCE ONLY - ACTUAL LOCATION 6400 PASEO PRESNOW**



**EAST ELEVATION -**  
NIGHT-TIME SIMULATION

SCALE: 3/32"=1"  
**111 SqFt**

\* Note Space between brought in a bit more than original logo



PRES Height: 31" Visibility: 525'  
Emergency "E" Height: 12" Visibility: 300'

PACKAGE Q- Presbyterian AS15 Doors - PRESnow Clinic 20190313 PRESnow Clinic Exterior/Pender sign, 0.0mmx24 & PPK in 0.0mmx24x20190315 PRESnow 4515 Exterior Sign Submit#



**CONTACT**  
Albuquerque / Phoenix  
P: 505.888.2901 ext 104  
F: 505.888.2902  
csbsigns.com

**DRAWN BY**  
Jonathan Sylvers/mythe  
JonathanS@csbsigns.com  
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**CLIENT / PROJECT**  
Client / GC: Presbyterian PRESnow  
Project: 20190313 PRESnow Clinic Exterior

**APPROVAL REQUIRED FOR PRODUCTION** SIGNATURE / DATE

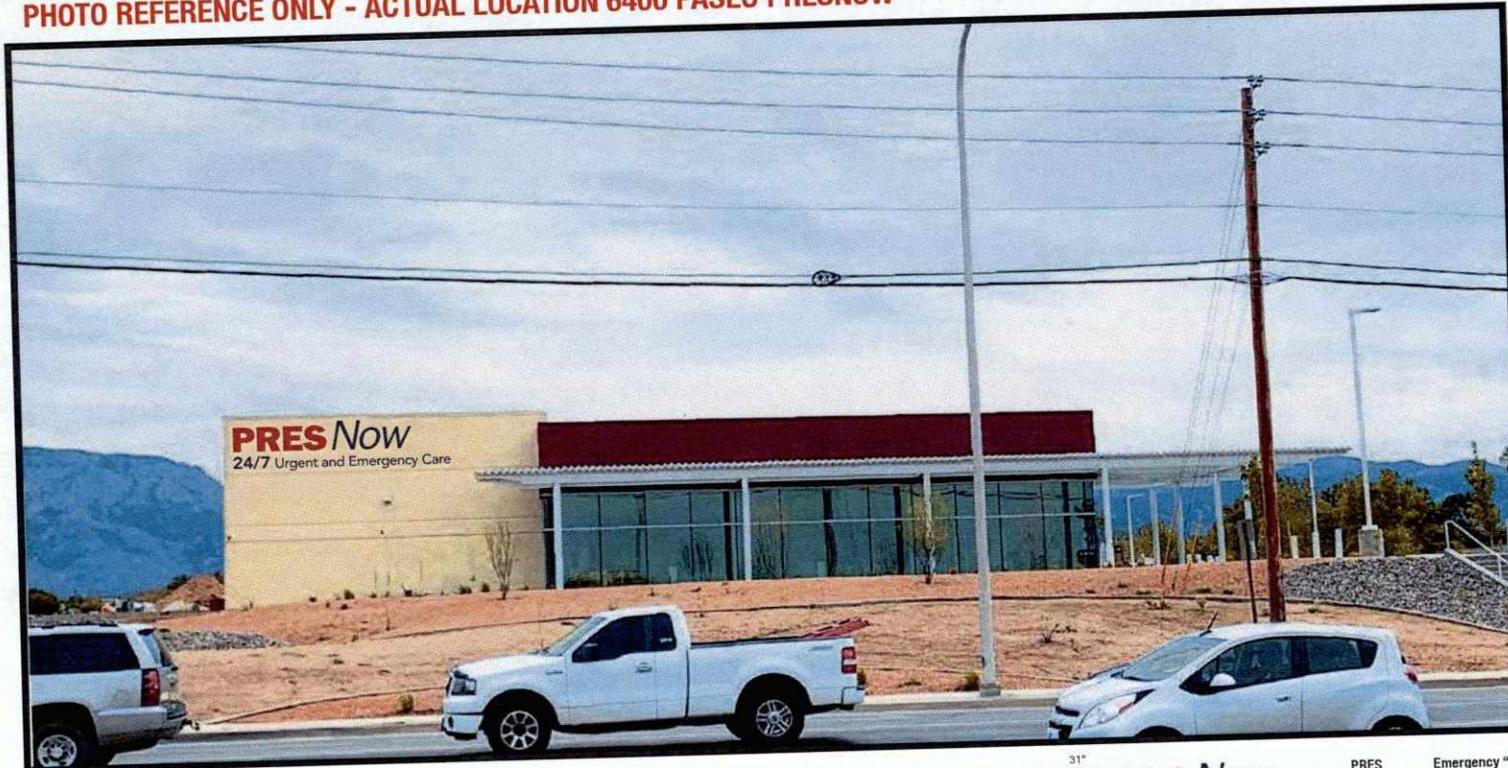
**SUBMITTAL DATE**  
00/00/0000  
Sign Package Modification Date: July 24, 2019 9:09 AM

**DRAWING REVISED DATE**  
00/00/0000

**SHEET TITLE**  
Photo Overlay Design Concept  
East of Building

**SHEET**  
05

**PHOTO REFERENCE ONLY - ACTUAL LOCATION 6400 PASEO PRESNOW**



**NORTH ELEVATION -**  
DAYTIME SIMULATION

SCALE: 3/32"=1'  
**111 SqFt**

\* Note Space between brought in a bit more than original logo



<b>PRES</b> Height: 31" Visibility: 525'	<b>Emergency "E"</b> Height: 12" Visibility: 300'
--	---

PACKAGE Q:\Presbyterian\4515 Coors - PRESnow Clinic\20190313 PRESnow Clinic Exterior\Renderings, Submittals & PDFs\Submittals\20190315 PRESnow 4515 Exterior Sign Submittal



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**CLIENT / PROJECT**  
Client / GC: Presbyterian PRESNow  
Project: 20190313 PRESNow Clinic Exterior

**APPROVAL REQUIRED FOR PRODUCTION** SIGNATURE / DATE

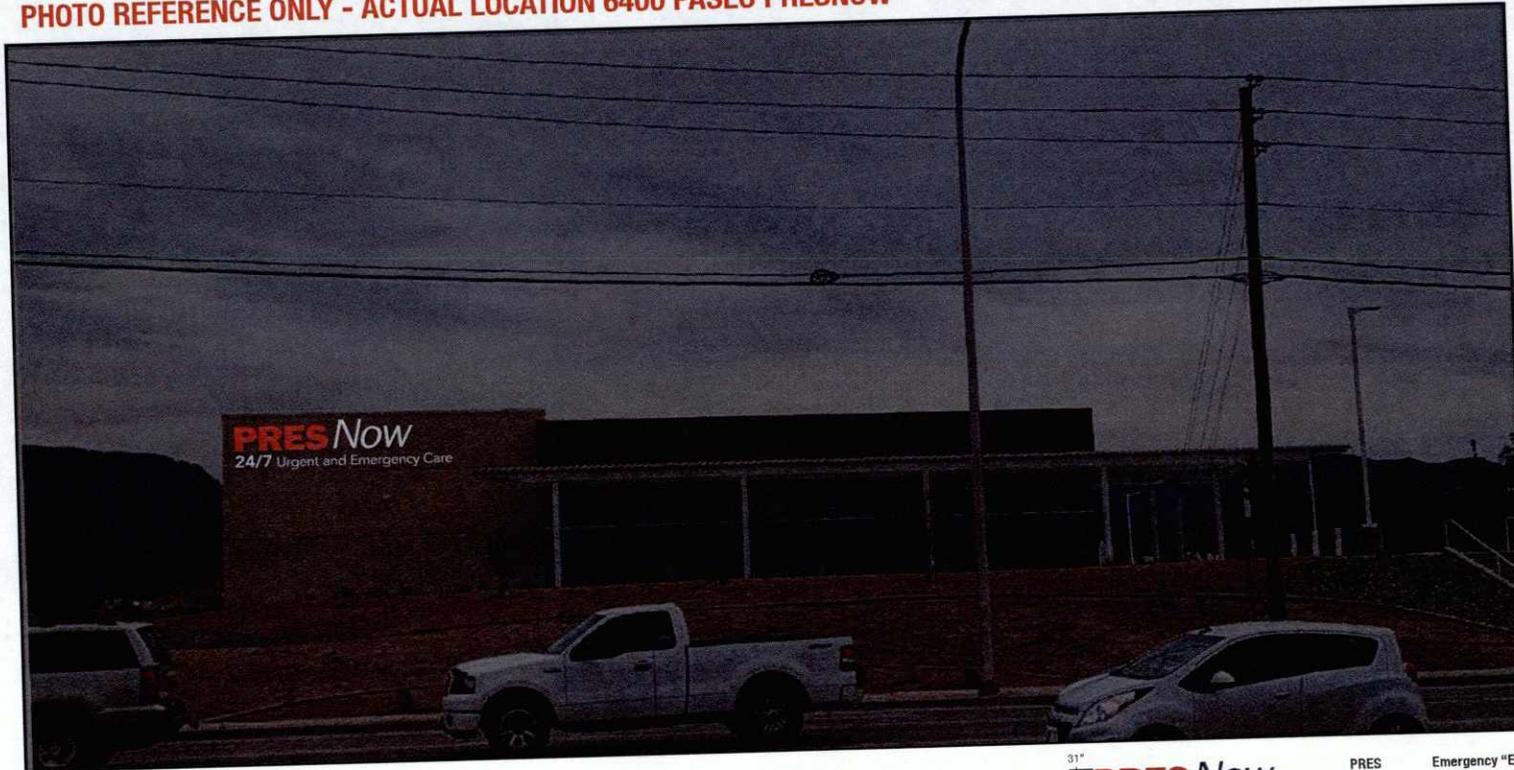
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00/00/0000  
Sign Package Modification Date: July 24, 2019 9:09 AM

**DRAWING REVISED DATE**  
00/00/0000

**SHEET TITLE**  
Photo Overlay Design Concept  
North of Building

**SHEET**  
**06**

**PHOTO REFERENCE ONLY - ACTUAL LOCATION 6400 PASEO PRESNOW**



**NORTH ELEVATION -**  
NIGHT-TIME SIMULATION

SCALE: 3/32"=1'  
**111 SqFt**

\* Note Space between brought in a bit more than original logo



<b>PRES</b> Height: 31" Visibility: 525'	<b>Emergency "E"</b> Height: 12" Visibility: 300'
--	---

PACKAGE Q- Presbyterian 4515 Coors - PRESNow Clinic/20190313 PRESNow Clinic Exterior/Renderings, Submittals & PDFs/Submittals/20190315 PRESNow 4515 Exterior Sign Submittal



**CONTACT**  
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csbsigns.com

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**CLIENT / PROJECT**  
Client / GC: Presbyterian PRESNow  
Project: 20190313 PRESNow Clinic Exterior

**APPROVAL REQUIRED FOR PRODUCTION** SIGNATURE / DATE

**SUBMITTAL DATE**  
00/00/0000  
Sign Package Modification Date: July 24, 2019 9:09 AM

**DRAWING REVISED DATE**  
00/00/0000

**SHEET TITLE**  
Photo Overlay Design Concept  
North of Building

**SHEET**  
**07**