



**Environmental
Planning
Commission**

**Agenda Number: 07
Project Number: 1004675
Case Number: 17EPC- 400
Hearing Date: September 14, 2017**

Staff Report

Agent	Consensus Planning
Applicant	Hajjar Management Co, INC/Vista Realty Trust
Request	Amend SPS, SPS and BP
Legal Description	Lots 1-72, P1 block A , lots 1-63 P1 block B plat for Vista de la Luz, Tract K1 and K-2 Vista de la Luz Commercial
Location	Southwest Corner of Coors and Sevilla
Size	30 acres
Existing Zoning	SU-1 PRD, SU-1 for PRD and one restaurant with full service liquor
Proposed Zoning	same

Staff Recommendation

**APPROVAL of Project # 1004675
Case # 17EPC-40037
Case # 17EPC-40038
Case # 17EPC-40036
based on the Findings and subject to the Conditions of Approval included within this report**

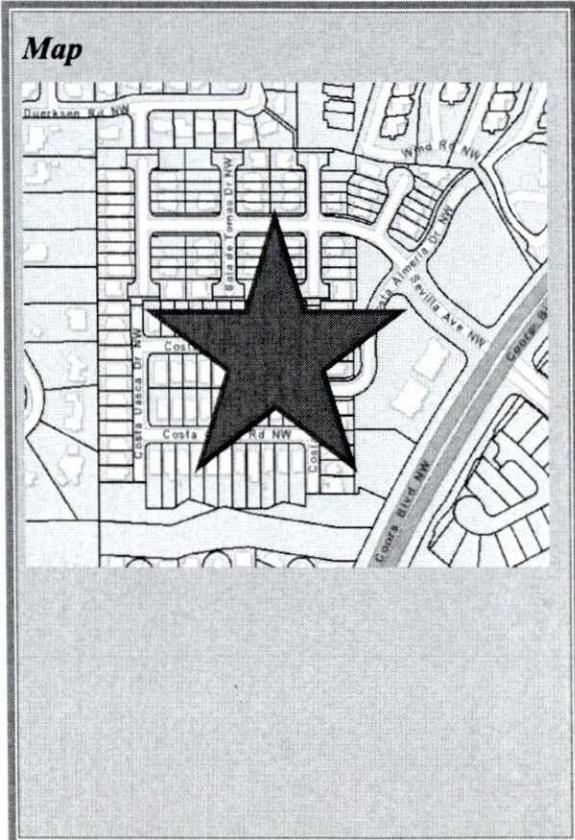
**Staff Planner
Maggie Gould**

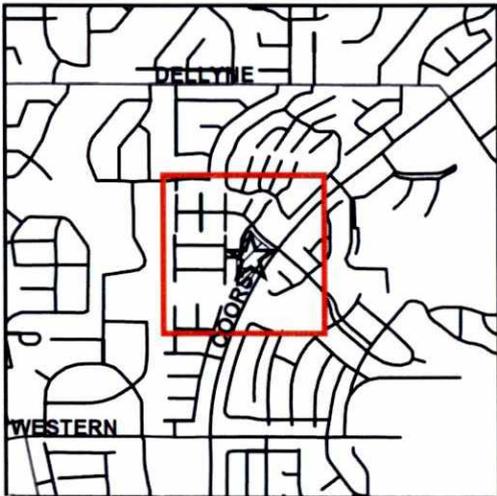
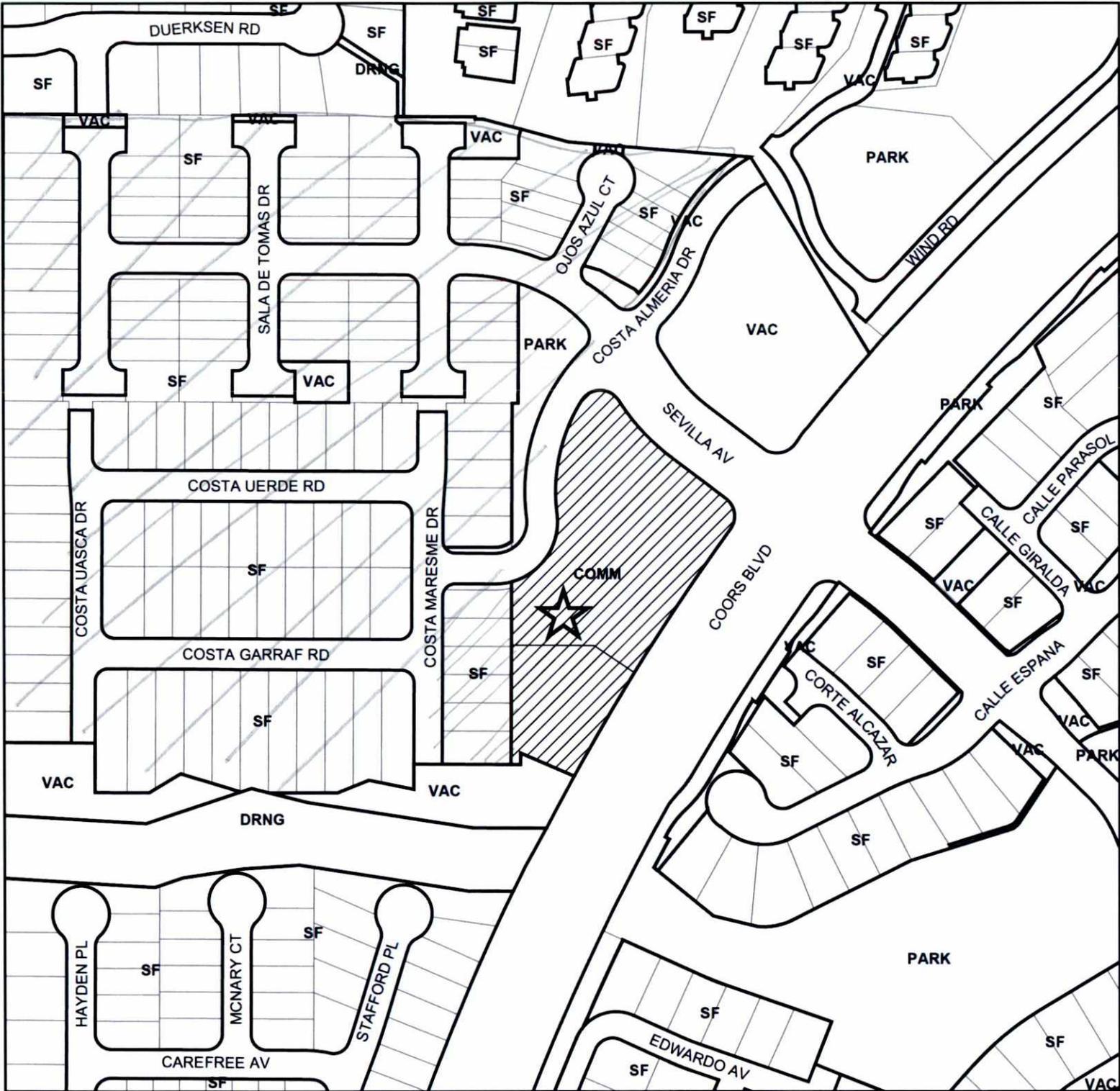
Summary of Analysis

This is a three part request to amend the Site Development Plan for Subdivision for the entire 30 acre Vista de la Luz subdivision to amend the design standards for Section II Parking item D, to change the allowed parking from the zoning code requirement plus 10 percent to the zoning code requirement plus 15 percent and amend the Site Development Plan for Subdivision for the 3 acre Vista de la Luz Commercial Subdivision to combine the two existing tracts, K-1 and K-2 into one tract and amend Site Development Plan for Building for the 3 acre Vista de la Luz Commercial Subdivision to remove the previously approved 3,729 office building on tract K-2 and add an additional parking area for the existing commercial buildings on tract K-1 and K-2(proposed to be one tract with this request).

The 9. The Vista de la Luz HOA, Taylor Ranch NA and Westside Coalition of NA were notified. A facilitated meeting was not requested.

There is no know opposition to the request and staff recommends approval.





LAND USE MAP

Note: Grey shading indicates County.

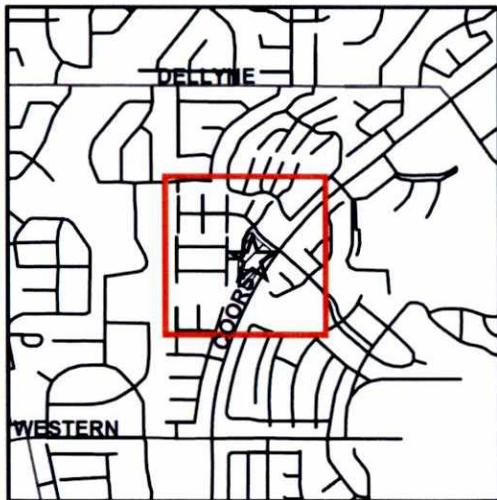
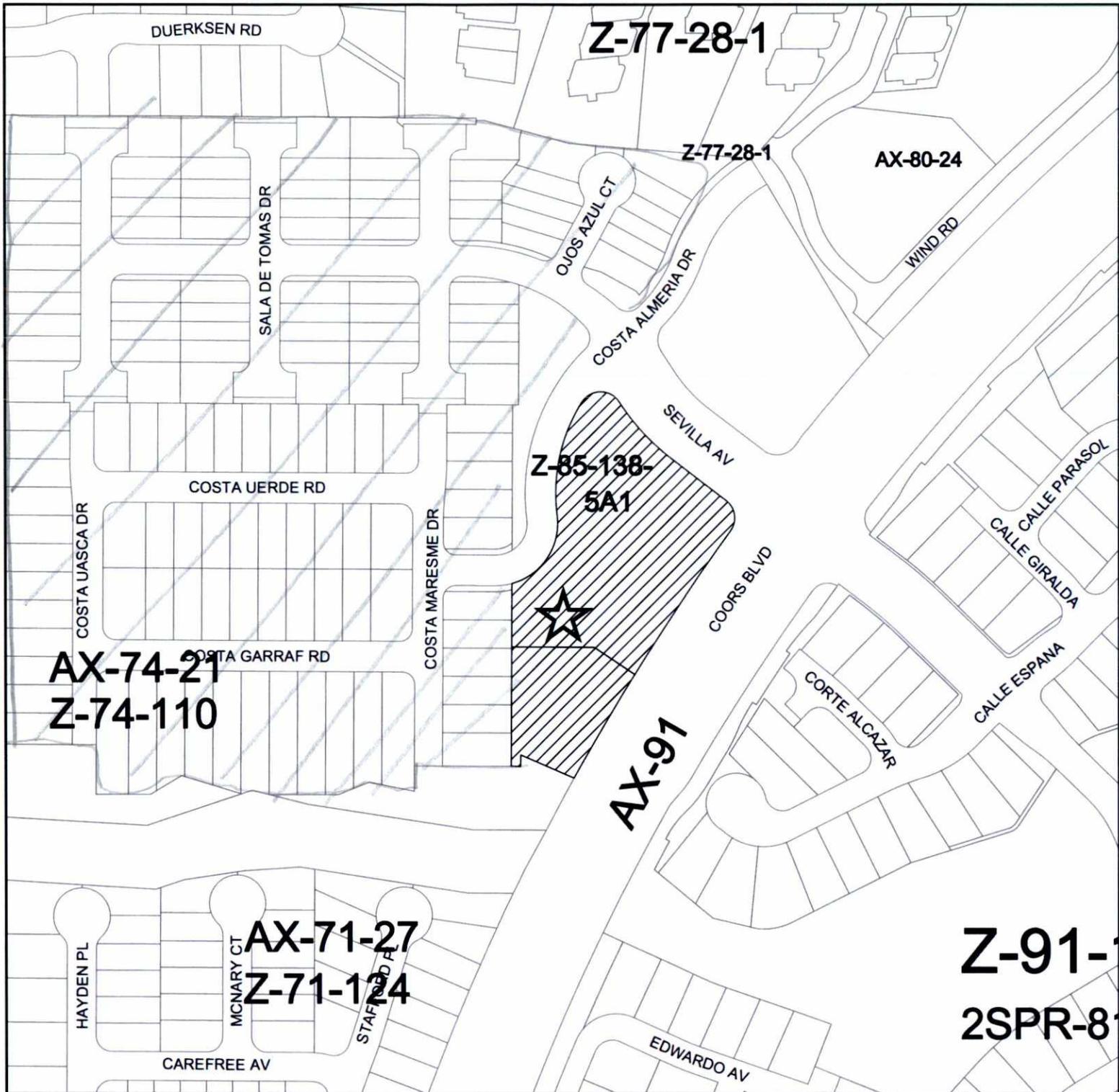
KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 220 feet

Project Number:
1004675
Hearing Date:
09/14/2017
Zone Map Page: F-11
Application Case Numbers:
17EPC-40036
17EPC-40037
17EPC-40038



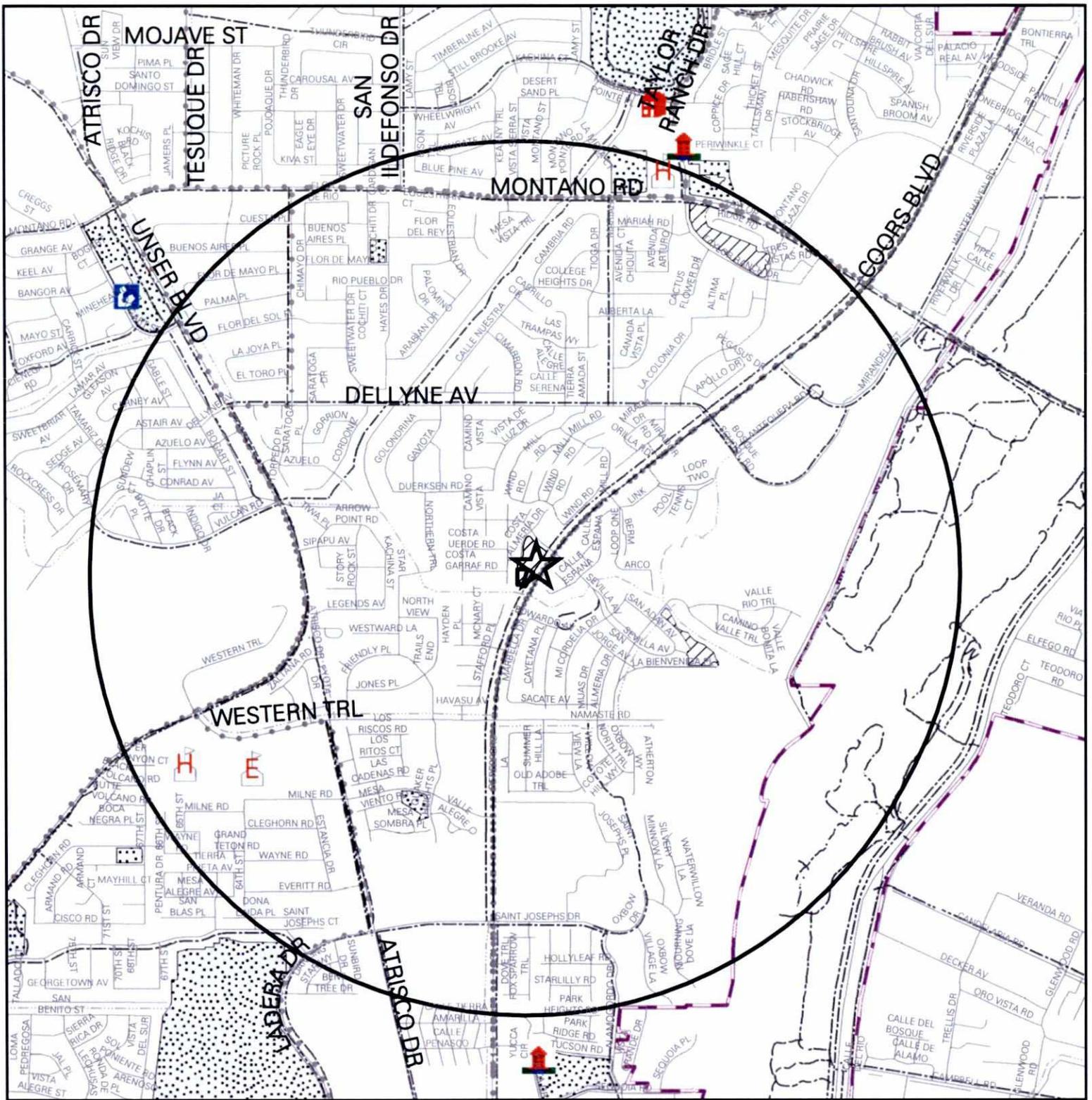
HISTORY MAP

Note: Grey shading indicates County.



1 inch = 220 feet

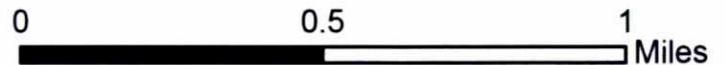
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1004675
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09/14/2017
Zone Map Page: F-11
Application Case Numbers:
17EPC-40036
17EPC-40037
17EPC-40038



Public Facilities Map with One-Mile Buffer

- | | | | |
|---|---|--|---|
|  COMMUNITY CENTER |  FIRE |  Public Schools |  Landfill Buffer (1000 feet) |
|  MULTI-SERVICE CENTER |  POLICE |  Proposed Bike Facilities |  Landfills designated by EHD |
|  SENIOR CENTER |  SHERIFF |  ABQ Bike Facilities |  Developed County Park |
|  LIBRARY |  SOLID WASTE |  ABQ Ride Routes |  Undeveloped County Park |
|  MUSEUM |  Albuquerque City Limits | |  Developed City Park |
| | | |  Undeveloped City Park |

Project Number: 1004675





CABQ AGIS 2016 Imagery (aerial photo)

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I. INTRODUCTION

A. Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-1 PRD and SU-1 PRD and one restaurant with full service liquor	Area of Change/ Area of Consistency	Commercial, single family residential
North	SU-1 PRD, SU-1 Mixed Residential and Office uses	Area of Consistency/ WSSP, Coors Corridor Plan	Single Family Residential
South	SU-1 PRD	Area of Consistency, WSSP, Coors Corridor Plan	Single Family Residential
East	SU-1 PRD 5 DUA	Area of Consistency, WSSP, Coors Corridor Plan	Single Family Residential
West	RA-2	Area of Consistency, WSSP, Coors Corridor Plan	Single Family Residential

B. Proposal

This is a three part request to amend the Site Development Plan for Subdivision for the entire 30 acre Vista de la Luz subdivision to amend the design standards for Section II Parking item D, to change the allowed parking from the zoning code requirement plus 10 percent to the zoning code requirement plus 15 percent. The request also includes amending the Site Development Plan for Subdivision for the 3 acre Vista de la Luz Commercial Subdivision to combine the two existing tracts, K-1 and K-2 into one tract and amending the Site Development Plan for Building for the 3 acre Vista de la Luz Commercial Subdivision to remove the previously approved 3,729 office building on tract K-2 and add an additional parking area for the existing commercial buildings on tract K-1 and K-2 (proposed to be one tract with this request).

C. EPC Role

The EPC was the original approval body for this request and so, the EPC is the appropriate body to review the changes. The request is not being handled as an Administrative Amendment because the requested parking is not allowed in the design standards of the SPS.

D. History/Background

The EPC approved a Site Development Plan for Subdivision for the entire 30 acre site in May of 2006, this plan set up the residential subdivision lots and road configuration and

showed the commercial tracts as future development with O-1 and C-1 permissive uses with exclusions. The commercial tracts were required to return to the EPC for approval when a specific uses was proposed. The EPC approved the SPS and SPBP for the commercial tracts , K-1 and K-2 in October of 2007, these plans showed the existing commercial building and the proposed office.

E. Context

The area developed with a mixture of residential and commercial uses. The area to the of the site contains a variety of housing. The eastern portion of the site contains commercial development, including a restaurant, gym and nail salon.

F. Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Coors Boulevard as a Principal Arterial.

The LRRS designates Sevilla Ave as a Local street.

G. Comprehensive Plan Corridor Designation

The Comprehensive Plan designates Coors Boulevard as a Major Transit Corridor. Major Transit Corridors are anticipated to be served by high frequency and local transit (e.g. Rapid Ride, local, and commuter buses). These corridors prioritize transit above other modes to ensure a convenient and efficient transit system.

Walkability on these corridors is key to providing a safe and attractive pedestrian environment, as well as good access for pedestrians, cyclists, and transit users to goods and services along these Corridors and the Centers they connect. Development along Major Transit Corridors should be transit- and pedestrian-oriented near transit stops, while auto-oriented for much of the Corridor.

H. Trails/Bikeways

Coors Boulevard contains a bike path along the east and west sides.

A bike path is proposed for the San Antonio Arroyo, but has not yet been constructed.

I. Transit

The 155 and 96 bus routes stop along Coors Boulevard near the northwest corner of Tract K-1.

The 790, West Side Rapid Ride bus stops just south of Dellyne Ave, about .5 miles from the subject site.

J. Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES

A. Albuquerque Comprehensive Zoning Code

The residential portion of the site is zoned SU-1 PRD (10 DU/ acre). The approved Site Development Plan for Subdivision (SPS) shows the land uses as 65 single family residential dwelling units, 72 townhomes and 1.55 acres private commons area. The commercial portion of the site is zone SU-1 PRD & one restaurant with full service liquor; the SPS lists O-1 and C-1 permissive uses with exceptions, including a prohibition on antenna, school, public utility structure, auto repair and loaning money or pawn shop.

The parking lot is allowed under the existing zoning, but would be limited to the number spaces required by the Zoning Code, plus 10 percent.

B. Definitions

Site Development Plan.

(1) An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies:

(a) For Subdivision.

The site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio. (See also MASTER DEVELOPMENT PLAN.)

(b) For Building Permits. In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for non-auto transportation, or energy

C. Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site (tracts K-1 and K-2) is located in the areas designated Area of Change by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:

Character 4.1

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed amendment to the SPBP and SPS will allow the development of a parking area that will serve the existing businesses and prevent spillover parking into the adjacent residential areas. The SPBP shows a 15 foot landscape buffer between the residential development and the parking area. The request furthers policy 4.1.2.

Land Use 5.

5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

The proposed changes to the SPS, SPS and SPBP partially further the major transit goal by providing a well landscaped parking area that will buffer the existing residential development from Coors Boulevard, but will add additional parking in an area where transit is encouraged.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers goal 5.6 because the proposed changes allow the development of a parking area in an area of change.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

a) Provide appropriate transitions between uses of different intensity or density and between non-residential uses and single-family neighborhoods to protect the character and integrity of existing residential areas.

b) Minimize development's negative effects on individuals and neighborhoods with respect to noise, lighting, air pollution, and traffic.

The proposed parking area is an in area of change; the residential development to the west of the parking area is an area of consistency. The parking area will be landscaped, light poles are limited to 16 feet in height within 70 feet of residential areas and will discourage spillover parking into the neighborhood. The request furthers policy 5.6.4.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design

Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request furthers goal 7.2 because the proposed parking area has a sidewalk along the west side of the site and existing pedestrian connections to the commercial buildings. The parking area contains a pedestrian connection in the northeast corner of the parking area to building 1.

Policy 7.4.3 Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.

- a) Locate off-street parking to respond appropriately for each Center and Corridor per Tables 7-3 and 7-4.
- b) Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.
- c) Ensure safe pedestrian pathways in parking areas that connect to building entrances, adjacent roadways, and adjacent sites.

The request furthers Policy 7.4.3 because the proposed parking area is well landscaped and has pedestrian connections to the sidewalk and building 1. There is an existing pedestrian path from the bus stop along Coors Boulevard to the patio of building 1.

D. West Side Strategic Plan (Rank 2)

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings.

The request furthers Policy 1.5 because the proposed parking area has pedestrian connections between buildings. There is existing bike parking on site and a bike trail along Coors Boulevard. Access to the bike trail is via the existing sidewalk along Seville and Costa Almeria.

Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement efficient location for receiving City services.

The request furthers policy 3.15 because the proposed parking area will have the required landscaping and will not obstruct views to or from the escarpment.

E. Coors Corridor Plan (Rank 3)

The subject site lies within the boundaries of the Coors Corridor Sector Development Plan (CCSDP), a Rank III plan adopted in 1984 and amended in 1989, 1995 and 2003.

The CCSDP contains overarching policies and specific design regulations for development in the Coors Corridor area, which extends northward from Central Avenue to NM 528 (Corrales Road). The CCSDP divides the Coors Corridor into four segments; the subject site is located in Segment 3 (Western Trail to Calabacillas Arroyo) and lies within a view preservation area (see p. 103). The following CCSDP policies apply:

Policy 5 Off Street Parking: Generally Off Street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

The proposed parking area is located to the side of the existing buildings; these building are close to the edge of the site. There will be landscaping along the edge of the site. The subject is approximately 10 feet above the grade of Coors Boulevard.

Issue 3 Land Use and Intensity of Development- Policy 5 Development Intensity: The intensity of development shall be compatible with roadway function, existing zoning or recommended land use, environmental concerns and design guidelines.

The proposed parking area is compatible with the existing development because it will add to the parking for the existing business, will comply with the design standards of the SPS and the Coors Corridor Plan.

III. SITE DEVELOPMENT PLAN FOR SUBDIVISION Amendment (17 EPC 40037 whole site)

A. Request

Section 14-16-3-11(B) of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan, the Comprehensive Zoning Code and all other applicable City planning documents.

The applicant proposes an amendment to the SPS design standards that are applicable to the 30 acres that includes both the residential and commercial development.

Section II Parking , item D states that the maximum allowed parking will the parking required by the City Zoning Code, plus 10 percent. The applicant wishes to amend this to allow the maximum allowed parking will the parking required by the City Zoning Code, plus 15 percent. The staff report and findings do not indicate why the maximum parking standard was imposed. However, this cap was imposed for many projects and in some Sector Development Plans and was considered a best practice at the time.

The change would allow the applicant to add 7 spaces over what would be allowed, 143 spaces are allowed, 150 spaces are requested.

One of the ways that parking is often addressed in other parts of the City is through on-street parking. The site has no street frontage on Coors Boulevard; the slope and size of Sevilla are not conducive to on-street parking and the width and curvature of Costa Almeria do not allow for on-street parking. Because of these factors, staff believes that the change is appropriate for the site.

IV. SITE DEVELOPMENT PLAN FOR SUBDIVISION Amendment (17 EPC 40038, Tracts K-1 and K-2)

The applicant proposes to combine these two existing tracts, K-1 and K-2 into one tract. This action will require a re-plat through the DRB.

V. SITE DEVELOPMENT PLAN FOR Building Permit Amendment SPBP (17 EPC 40036, Tracts K-1 and K-2)

The approved SPBP shows a 3,729 square foot office building on Tract K-2 in the southwest corner of the site, near the existing single family residential development. The approved SPBP shows an 1,175 square foot outdoor employee break area to the east of the office building and a small seating area between the office and restaurant/commercial building (building 1). The SPBP also contains pedestrian connections between the office and existing restaurant/commercial building as well as a connection from the office building to the street and bus stop. The SPBP contains a total 114 parking spaces.

The applicant proposes a parking lot on what is currently tract K- 2. The parking lot will replace the previously approved office building and related amenities. The parking lot will add 36 spaces to entire site for a total of 150 spaces. A large portion of the proposed parking lot exists, but without the required landscaping and drainage improvements. If approved, the applicant will be required to bring the site up to the standards of the zoning code.

The applicant states that between the 2008 approval of the SPBP and the applicant's acquisition of the site in 2013 the existing restaurant added 48 patio seats. These seats would require 16 additional spaces. Additionally, the applicant states that the existing businesses use the parking area to the west of the commercial buildings on tract K-1. The additional parking will serve the restaurant and may prevent overflow parking into the neighborhood to the west. The applicant proposes a pedestrian crossing in the northeast corner of the parking area to connect to the restaurant/commercial building. The proposed sidewalk along the east side of the parking area will connect to the existing sidewalk along Costa Almeria Dr. and the pedestrian connection to the existing pedestrian connection to building 1.

The landscaping plan submitted with this request shows a mixture of low and medium water plants that are generally successful in the area. The proposed landscaping plan

shows Chinese Pistache, Desert Willow, Chamisa and Apache Plume in the 15 foot wide landscape area between the residential development and the parking area. The trees should grow well in the area and provide a good screen for the residential development.

Design Regulations in the Coors Corridor Plan

5.A.1.: No Parking area shall intrude upon the 15-foot-wide front landscaped street yard in segments 1 and 2, or the 35 foot landscaped setback in segments 3 and 4

5.B.

1. Landscaping in and around the paved area . A minimum of 20% of the parking lot area shall be landscaped. The landscaping shall consist primarily of shade trees and shrubs and shall be distributed through the parking lot Generally, peripheral landscaping should not be less than five feet in width.

2. One tree shall be planted per every ten parking spaces and shall be distributed such that at least one tree is planted per every 15 linear parking spaces. Interior landscaping in larger parking areas (2 or more access aisles) which will provide additional screening and break up the parking areas into smaller increments.

The applicant proposes landscaping in and around the parking area that will meet the plan requirements the new parking area contains 62 spaces; the landscaping plan shows 10 trees that are in or around the parking area.

3.1. The front landscaped street yard shall be 15 feet wide in segments 1 and 2 and 35 feet wide in segments 3 and 4.

The subject site is within segment 3 of the plan. The applicant proposes to encroach into the landscaped area by approximately 15 feet. Because this would not comply with the plan requirements, the applicant is requesting an exception (see below)

3.2. A minimum of 50% of this area shall be maintained with live landscaping material which will visually screen and buffer parking development behind the street yard. Buffering is the use of continuous landscaping, along with berms, walls or decorative fences that at least partially obstruct the view from the street of vehicular use areas, parking lots and parked cars.

The applicant proposes landscaping in and around the parking area that will meet the plan requirements.

Exception to the Coors Corridor Plan

The Coors Corridor Plan requires a 35 foot landscape buffer along Coors Boulevard (see page 91 of the plan and discussion above). The plan allows exceptions Section D.1, page 111 of the plan allow the applicant to demonstrate the case and the solution requested for the exception.

The applicant proposes to encroach into the 35 foot landscape buffer by approximately 15 feet, including 13 parking spaces along the eastern edge of the site.

The subject site is approximately 10 feet above the grade of Coors Boulevard and the slope between the road and the subject site will be landscaped. This will add landscaping that is visible from Coors Boulevard. The additional parking will add to the parking for patrons of the commercial uses and may prevent spill over parking into the neighborhoods. The proposed parking area will meet the standards of the Zoning Code and will have landscaping throughout.

VI. AGENCY & NEIGHBORHOOD CONCERNS

A. Reviewing Agencies/Pre-Hearing Discussion

Transportation comments regarding parking standards need to be addressed prior to DRB.

The applicant will be required to submit a grading plan to hydrology and a fire plan to the Fire Marshall prior to DRB.

The landscape plan will require coordination with New Mexico Department of transportation for the right of way along Coors Boulevard.

B. Neighborhood/Public

The Vista de la Luz HOA, Taylor Ranch NA and Westside Coalition of NA were notified. A facilitated meeting was not requested. The Vista de la Luz HOA submitted a letter to the applicant with concerns regarding the sidewalk along the western boundary and a perimeter sidewalk for the site, the location of a light pole near the residential development and landscaping plan.

The applicant met with the Vista de la Luz HOA at the site to explain the request. Staff has not received any comments from the HOA regarding this meeting, but the applicant states that the HOA is comfortable with the request.

VII. CONCLUSION

This is a three part request to amend the Site Development Plan for Subdivision for the entire 30 acre Vista de la Luz subdivision to amend the design standards for Section II Parking item D, to change the allowed parking from the zoning code requirement plus 10 percent to the zoning code requirement plus 15 percent and amend the Site Development Plan for Subdivision for the 3 acre Vista de la Luz Commercial Subdivision to combine the two existing tracts, K-1 and K-2 into one tract and amend Site Development Plan for Building for the 3 acre Vista de la Luz Commercial Subdivision to remove the previously approved 3,729 office building on tract K-2 and add an additional parking area for the existing commercial buildings on tract K-1 and K-2(proposed to be one tract with this request).

FINDINGS, Site Development Plan for Subdivision Amendment

Project # 1004675, Case # 17EPC- 40037

1. This is a request for an amendment to the Site Development Plan for Subdivision for Lots 1-72, P1 block A , lots 1-63 P1 block B plat for Vista de la Luz, Tract K1 and K-2 Vista de la Luz Commercial located at the Southwest Corner of Coors Blvd and Sevilla Ave. and containing approximately 30 acres.
2. The request will amend the Site Development Plan for Subdivision to increase the parking allowance from the Zoning Code Requirement plus 10 % percent to the Zoning Code requirement plus 15 percent to allow the development of additional parking spaces to serve the existing development on tracts K-1 and K-2.
3. A Site Development Plan for Subdivision amendment (17 EPC-40038)and Site Development Plan for Building Permit (17 EPC 40036) amend are heard concurrently with the request
4. The EPC approved a Site Development Plan for Subdivision for the entire 30 acre site in May of 2006, this plan set up the residential subdivision lots and road and showed the commercial tracts as future development with O-1 and C-1 permissive uses with exclusions. The commercial tracts were required to return to the EPC for approval when a specific uses was proposed. The EPC approved the SPS and SPBP for the commercial tracts , K-1 and K-2 in October of 2007.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic PPlan and Coors Corridor Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The following Comprehensive Plan Policies apply:

The Character 4.1

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed amendment to the SPBP and SPS will allow the development of a parking area that will serve the existing businesses and prevent spillover parking into the adjacent residential areas. The SPBP shows a 15 foot landscape buffer between the residential development and the parking area. The request furthers policy 4.1.2.

Land Use 5.

5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

The proposed changes to the SPS, SPS and SPBP partially further the major transit goal by providing a well landscaped parking area that will buffer the existing residential development from Coors Boulevard, but will add additional parking in an area where transit is encouraged.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers goal 5.6 because the proposed changes allow the development of a parking area in an area of change.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

- a) Provide appropriate transitions between uses of different intensity or density and between non-residential uses and single-family neighborhoods to protect the character and integrity of existing residential areas.
- b) Minimize development's negative effects on individuals and neighborhoods with respect to noise, lighting, air pollution, and traffic.

The request furthers 5.6.4 because the proposed parking area is an in area of change; the residential development to the west of the parking area is an area of consistency. The parking area will be landscaped, light poles are limited to 16 feet in height within 70 feet of residential areas and will discourage spillover parking into the neighborhood. The request furthers policy 5.6.4.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design

Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request furthers goal 7.2 because the proposed parking area has a sidewalk along the west side of the site and existing pedestrian connections to the commercial buildings. The parking area contains a pedestrian connection in the northeast corner of the parking area connection to building 1.

Policy 7.4.3 Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.

- a) Locate off-street parking to respond appropriately for each Center and Corridor per Tables 7-3 and 7-4.
- b) Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.

c) Ensure safe pedestrian pathways in parking areas that connect to building entrances, adjacent roadways, and adjacent sites.

The request furthers Policy 7.4.3 because the proposed parking area is well landscaped and has pedestrian connections to the sidewalk and building 1. There is an existing pedestrian path from the bus stop along Coors Boulevard to the patio of building 1.

7. The subject site is within the boundaries of the West Side Strategic Plan. The following policies apply:

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings.

The proposed parking area has pedestrian connections between buildings. There is existing bike parking on site and a bike trail along Coors Boulevard. Access to the bike trail is via the existing sidewalk along Seville and Costa Almeria.

Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement efficient location for receiving City services.

The proposed parking area will have the required landscaping and will not obstruct views to or from the escarpment.

8. The subject site is within the boundaries of the Coors Corridor Plan:

Policy 5 Off Street Parking: Generally Off Street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

The proposed parking area is located to the side of the existing buildings; these buildings are close to the edge of the site. There will be landscaping along the edge of the site. The subject is approximately 10 feet above the grade of Coors Boulevard.

Issue 3 Land Use and Intensity of Development- Policy 5 Development Intensity: The intensity of development shall be compatible with roadway function, existing zoning or recommended land use, environmental concerns and design guidelines.

The proposed parking area is compatible with the existing development because it will add to the parking for the existing business, will comply with the design standards of the SPS and the Coors Corridor Plan.

9. The Vista de la Luz HOA, Taylor Ranch NA and Westside Coalition of NA were notified. A facilitated meeting was not requested. The Vista de la Luz HOA submitted a letter to the applicant with concerns regarding the sidewalk along the western boundary and a perimeter sidewalk for the site, the location of a light pole near the residential development and landscaping plan. The applicant met with the Vista de la Luz HOA at the site to explain the request. Staff has not received any comments from the HOA regarding this meeting, but the applicant states that the HOA is comfortable with the

request.

10. Property owners with one hundred feet of the subject site were notified. Staff received a phone call asking about the request from a property owner in the subdivision to the west of Vistas de la Luz. No opposition to the request was expressed.

RECOMMENDATION

APPROVAL of 17EPC-40037, a request for Site Development Plan for Subdivision Amendment, for Lots 1-72, P1 block A , lots 1-63 P1 block B plat for Vista de la Luz, Tract K1 and K-2 Vista de la Luz Commercial located at the Southwest Corner of Coors Blvd and Sevilla Ave. and containing approximately 30 acres, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Development Plan for Subdivision Amendment

Project # 1004675, Case # 17EPC- 40037

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

FINDINGS, Site Development Plan for Subdivision Amendment

Project # 1004675 Case # 17EPC- 40038

1. This is a request for a for an amendment to the Site Development Plan for Subdivision for Tracts K-1 and K-2 of the Vista de la Luz commercial located on southwest corner of Coors Boulevard and Sevilla Avenue and containing approximately 3 acres.
2. The applicant proposes to amend the Site Development Plan for Subdivision to replat the existing tracts K-1 and K-2 into one tract.

3. The EPC approved a Site Development Plan for Subdivision for the entire 30 acre site in May of 2006, this plan set up the residential subdivision lots and road and showed the commercial tracts as future development with O-1 and C-1 permissive uses with exclusions. The commercial tracts were required to return to the EPC for approval when a specific uses was proposed. The EPC approved the SPS and SPBP for the commercial tracts , K-1 and K-2 in October of 2007.
4. A Site Development Plan for Subdivision amendment (17 EPC-40037)and Site Development Plan for Building Permit (17 EPC 40036) amend are heard concurrently with the request
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and Coors Corridor Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The following Comprehensive Plan Policies apply:

The Character 4.1

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed amendment to the SPBP and SPS will allow the development of a parking area that will serve the existing businesses and prevent spillover parking into the adjacent residential areas. The SPBP shows a 15 foot landscape buffer between the residential development and the parking area. The request furthers policy 4.1.2.

Land Use 5.

5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

The proposed changes to the SPS, SPS and SPBP partially further the major transit goal by providing a well landscaped parking area that will buffer the existing residential development from Coors Boulevard, but will add additional parking in an area where transit is encouraged.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers goal 5.6 because the proposed changes allow the development of a parking area in an area of change.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

- a) Provide appropriate transitions between uses of different intensity or density and between non-residential uses and single-family neighborhoods to protect the character and integrity of existing residential areas.
- b) Minimize development's negative effects on individuals and neighborhoods with respect to noise, lighting, air pollution, and traffic.

The proposed parking area is an in area of change; the residential development to the west of the parking area is an area of consistency. The parking area will be landscaped, light poles are limited to 16 feet in height within 70 feet of residential areas and will discourage spillover parking into the neighborhood. The request furthers policy 5.6.4.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design

Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request furthers goal 7.2 because the proposed parking area has a sidewalk along the west side of the site and existing pedestrian connections to the commercial buildings. The parking area contains a pedestrian connection in the northeast corner of the parking area connection to building 1. .

Policy 7.4.3 Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.

- a) Locate off-street parking to respond appropriately for each Center and Corridor per Tables 7-3 and 7-4.
- b) Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.
- c) Ensure safe pedestrian pathways in parking areas that connect to building entrances, adjacent roadways, and adjacent sites.

The request furthers Policy 7.4.3 because the proposed parking area is well landscaped and has pedestrian connections to the sidewalk and building 1. There is an existing pedestrian path from the bus stop along Coors Boulevard to the patio of building 1.

7. The subject site is with the boundaries of the West Side Strategic Plan. The Following policies apply:

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings.

The proposed parking area has pedestrian connections between buildings. There is existing bike parking on site and a bike trail along Coors Boulevard. Access to the bike trail is via the existing sidewalk along Seville and Costa Almeria.

Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement efficient location for receiving City services.

The proposed parking area will have the required landscaping and will not obstruct views to or from the escarpment.

8. The subject site is with the boundaries of the Coors Corridor Plan:

Policy 5 Off Street Parking: Generally Off Street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

The proposed parking area is located to the side of the existing buildings; these building are close to the edge of the site. There will be landscaping along the edge of the site. The subject is approximately 10 feet above the grade of Coors Boulevard.

Issue 3 Land Use and Intensity of Development- Policy 5 Development Intensity: The intensity of development shall be compatible with roadway function, existing zoning or recommended land use, environmental concerns and design guidelines.

The proposed parking area is compatible with the existing development because it will add to the parking for the existing business, will comply with the design standards of the SPS and the Coors Corridor Plan.

9. The Vista de la Luz HOA, Taylor Ranch NA and Westside Coalition of NA were notified. A facilitated meeting was not requested. The Vista de la Luz HOA submitted a letter to the applicant with concerns regarding the sidewalk along the western boundary and a perimeter sidewalk for the site, the location of a light pole near the residential development and landscaping plan. The applicant met with the Vista de la Luz HOA at the site to explain the request. Staff has not received any comments from the HOA regarding this meeting, but the applicant states that the HOA is comfortable with the request.

10. Property owners with one hundred feet of the subject site were notified. Staff received a phone call asking about the request from a property owner in the subdivision to the west of Vistas de la Luz. No opposition to the request was expressed.

RECOMMENDATION

APPROVAL of 17EPC-40038, a request for Site Development Plan for Subdivision, for Tracts K-1 and K-2 of the Vista de la Luz commercial located on southwest corner of

Coors Boulevard and Sevilla Avenue and containing approximately 3 acres, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Development Plan for Subdivision Amendment

Project # 1004675, Case # 17EPC- 40038

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A replat is required at DRB to to replat the existing tracts K-1 and K-2 into one tract.

FINDINGS, Site Development Plan for Building Permit Amendment

Project # 1004675, Case # 17EPC- 40036

1. This is a request for a for an amendment to the Site Development Plan for Building Permit for Tract K-1 and K-2 of the Vista de la Luz commercial located on southwest corner of Coors Boulevard and Sevilla Avenue and containing approximately 3 acres.
2. The request will replace the previously approved 3,729 square foot office and assorted amenities with a parking area. The parking lot will add 36 spaces to entire site for a total of 150 spaces.
3. The EPC approved a Site Development Plan for Subdivision for the entire 30 acre site in May of 2006, this plan set up the residential subdivision lots and road and showed the commercial tracts as future development with O-1 and C-1 permissive uses with exclusions. The commercial tracts were required to return to the EPC for approval when a specific uses was proposed. The EPC approved the SPS and SPBP for the commercial tracts , K-1 and K-2 in October of 2007.
4. A Site Development Plan for Subdivision amendment (17 EPC-40037)and Site Development Plan for Subdivision (17 EPC 40038) amend are heard concurrently with the request.
5. The applicant is requesting an exception to 35 foot landscaped buffer required by the Coors Corridor Plan. The parking area will encroach into the 35 foot landscaped setback area by about 15 feet.
6. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan and Coors Corridor Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

7. The following Comprehensive Plan Policies apply:

The Character 4.1

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed amendment to the SPBP and SPS will allow the development of a parking area that will serve the existing businesses and prevent spillover parking into the adjacent residential areas. The SPBP shows a 15 foot landscape buffer between the residential development and the parking area. The request furthers policy 4.1.2.

Land Use 5.

5.1.10 Major Transit Corridors: Foster corridors that prioritize high frequency transit service with pedestrian-oriented development.

b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.

The proposed changes to the SPS, SPS and SPBP partially further the major transit goal by providing a well landscaped parking area that will buffer the existing residential development from Coors Boulevard, but will add additional parking in an area where transit is encouraged.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request furthers goal 5.6 because the proposed changes allow the development of a parking area in an area of change.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

a) Provide appropriate transitions between uses of different intensity or density and between non-residential uses and single-family neighborhoods to protect the character and integrity of existing residential areas.

b) Minimize development's negative effects on individuals and neighborhoods with respect to noise, lighting, air pollution, and traffic.

The proposed parking area is an in area of change; the residential development to the west of the parking area is an area of consistency. The parking area will be landscaped, light poles are limited to 16 feet in height within 70 feet of residential areas and will discourage spillover parking into the neighborhood. The request furthers policy 5.6.4.

Chapter 7: Urban Design

Goal 7.2 Pedestrian-Accessible Design

Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

The request furthers goal 7.2 because the proposed parking area has a sidewalk along the west side of the site and existing pedestrian connections to the commercial buildings. The parking area contains a pedestrian connection in the northeast corner of the parking area connection to building 1.

Policy 7.4.3 Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.

- a) Locate off-street parking to respond appropriately for each Center and Corridor per Tables 7-3 and 7-4.
- b) Incorporate trees, vegetation, and pervious surfaces in parking areas to mitigate environmental impacts, minimize heat and glare, and improve aesthetics.
- c) Ensure safe pedestrian pathways in parking areas that connect to building entrances, adjacent roadways, and adjacent sites.

The request furthers Policy 7.4.3 because the proposed parking area is well landscaped and has pedestrian connections to the sidewalk and building 1. There is an existing pedestrian path from the bus stop along Coors Boulevard to the patio of building 1.

8. The subject site is with the boundaries of the West Side Strategic Plan. The Following policies apply:

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings.

The proposed parking area has pedestrian connections between buildings. There is existing bike parking on site and a bike trail along Coors Boulevard. Access to the bike trail is via the existing sidewalk along Seville and Costa Almeria.

Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement efficient location for receiving City services.

The proposed parking area will have the required landscaping and will not obstruct views to or from the escarpment.

9. The subject site is with the boundaries of the Coors Corridor Plan:

Policy 5 Off Street Parking: Generally Off Street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

The proposed parking area is located to the side of the existing buildings; these building are close to the edge of the site. There will be landscaping along the edge of the site. The subject is approximately 10 feet above the grade of Coors Boulevard.

Issue 3 Land Use and Intensity of Development- Policy 5 Development Intensity: The intensity of development shall be compatible with roadway function, existing zoning or recommended land use, environmental concerns and design guidelines.

The proposed parking area is compatible with the existing development because it will add to the parking for the existing business, will comply with the design standards of the SPS and the Coors Corridor Plan.

10. The Vista de la Luz HOA, Taylor Ranch NA and Westside Coalition of NA were notified. A facilitated meeting was not requested. The Vista de la Luz HOA submitted a letter to the applicant with concerns regarding the sidewalk along the western boundary and a perimeter sidewalk for the site, the location of a light pole near the residential development and landscaping plan.
11. Property owners with one hundred feet of the subject site were notified. Staff received a phone call asking about the request from a property owner in the subdivision to the west of Vistas de la Luz. No opposition to the request was expressed.

RECOMMENDATION

APPROVAL of 17EPC-40036 a request for Site Development Plan for Subdivision/Building Permit, for Tract K-1 and K-2 of the Vista de la Luz commercial located on southwest corner of Coors Boulevard and Sevilla Avenue and containing approximately 3 acres, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Development Plan for Building Permit Amendment Project # 1004675, Case # 17EPC- 40036

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The landscaping plan shall comply with regulations of the Coors Corridor Plan.
4. The landscape plan can be altered to meet a landscaping permit from the New Mexico Department of Transportation if needed.
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

Maggie Gould
Planner



Notice of Decision cc list:

Consensus Planning 302 8th Street NW ABQ, NM 87102

Hajjar Management Company 30 Adams Street Milton Mass 02186

AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

No adverse comments.

Office of Neighborhood Coordination

Long Range Planning

No comment

Metropolitan Redevelopment Agency

CITY ENGINEER

Transportation Development

17EPC-40036 Site Development Plan for Building Permit Amendment

Transportation Development Conditions:

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
3. Sidewalk will be required along the site's frontage.

The following comments need to be addressed prior to DRB:

1. **The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.**
2. **The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)**
3. **Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.**

17EPC-40037 Site Development Subdivision Amendment

- No objection to the request.

17EPC-40038 Site Development Subdivision Amendment

- No objection to the request.

Hydrology Development

EPC project # 1004675; Will require a Grading and Drainage Plan prior to DRB submittal addressing the below comments and criteria, the criteria stated in the Development Process Manual, and the design guidelines in Standard Specifications when developing this property.

Hydrology Engineer: Reneé Brissette, PE (rbrissette@cabq.gov)

PROJECT SPECIFIC HYDROLOGY COMMENTS:

Grading and Drainage Plan needs to show the following:

- As-built conditions showing all grades, storm drains and storm pipes.
- Should follow previously approved Grading and Drainage Plan by Mark Goodwin & Associates with Engineering Stamp date of 6/14/08.
- Show First flush ponds with calculations per previously approved Grading and Drainage Plan.
- Please show Cross Lot Drainage Easement specifying the beneficiary and maintenance agreement.

GENERAL HYDROLOGY CRITERIA:

- Beyond 10' of a structure, all landscape beds to be depressed below grade. Within 10', runoff shall be directed away from the structure.
- All new development projects shall manage the runoff from precipitation which occurs during the 90th Percentile Storm Events, referred to as the "first flush." The Site Plan/Drainage Plan must indicate all areas and mechanisms intended to capture the first flush. For volume calculations, the 90th Percentile storm event is 0.44 inches. For Land Treatment D the initial abstraction is 0.1", therefore the first flush volume should be based on $0.44'' - 0.1'' = 0.34''$ and only consider the impervious areas.
 - State how the first flush will be retained and provide supporting calculations
 - State the area of Land Treatment D on the plan
- When determining allowable discharge from a site:
 - Downstream Capacity is the determining criteria for allowable discharge; historic discharge has no relevance.
 - If a Master Drainage Report planned an allowable discharge for a site, determine if the basis for that discharge is still valid or if conditions have since changed.
 - If discharging to the street, determine if the street has capacity. Also determine if the storm drain has capacity.
 - If discharging to the back of inlets, determine if doing so will still provide

- capacity for the discharge from the street.
- All flows must enter a water quality pond/swale before leaving the site or entering the public storm sewer system.

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations

WATER UTILITY AUTHORITY

Utility Services

1. 17EPC-40036 Site Development Plan for Building Permit Amendment
 - Identification: UPC – 101106130035422844, 101106128332522845
 - a. Upon future development request an Availability Statement. Requests can be made at the link below:
 - i. http://www.abcwua.org/Availability_Statements.aspx
 - ii. Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
 - b. The proposed Utility Plan indicates several onsite services.
 - i. Please note that all onsite services shall be considered private.
 - ii. Please note that all onsite hydrants are to be considered private. Private hydrants are to be painted safety orange and contain both public and private valves.
 - iii. Fire lines shall contain both public and private valves.
 - iv. Refer to the Water Utility Authorities Cross Connection Ordinance for pertinent information pertaining to commercial developments.
2. 17EPC-40037 Site Development Plan For Subdivision
 - a. No adverse comments pertaining to the proposed subdivision
3. 17EPC-40038 Site Development Plan for Subdivision Amendment
 - a. No adverse comments pertaining to the proposed amendment

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

#1004675 (#40032/Site Plan Bldg. Permit) Reduce the proposed South curb island by 6', on West side of #2 proposed light pole. Or, change curb island to striping, to increase the turning radius for refuse truck.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

I note on Sheet LS-101 of the proposed amendment to the Site Plan for Subdivision for this project that eight new street trees are being proposed for the area between front of sidewalk and back of curb on the Coors Boulevard frontage. This was surprising, as I understand that the right-of-way of Coors is held by the State; that there is no City requirement to apply the Street Tree Ordinance to a state highway, and; that such would be a site plan element that the City could not enforce on state property.

As we discussed, I think these trees were proposed here simply because someone intended to meet the Street Tree Ordinance and just forgot that Coors isn't a City street.

Obviously the developer is willing to supply the trees and the necessary irrigation system. While our first wish on any site is disability connections from the bus stop to the buildings that would be very hard to do on this site. So let me ask: Would it be possible to take the proposed trees (which have good crowns and great color) and cluster them to the south and west of the bus stop on the developers property? That would be a great enhancement to this shelter location.

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

I have reviewed the September 14 EPC hearing cases and have no comments.

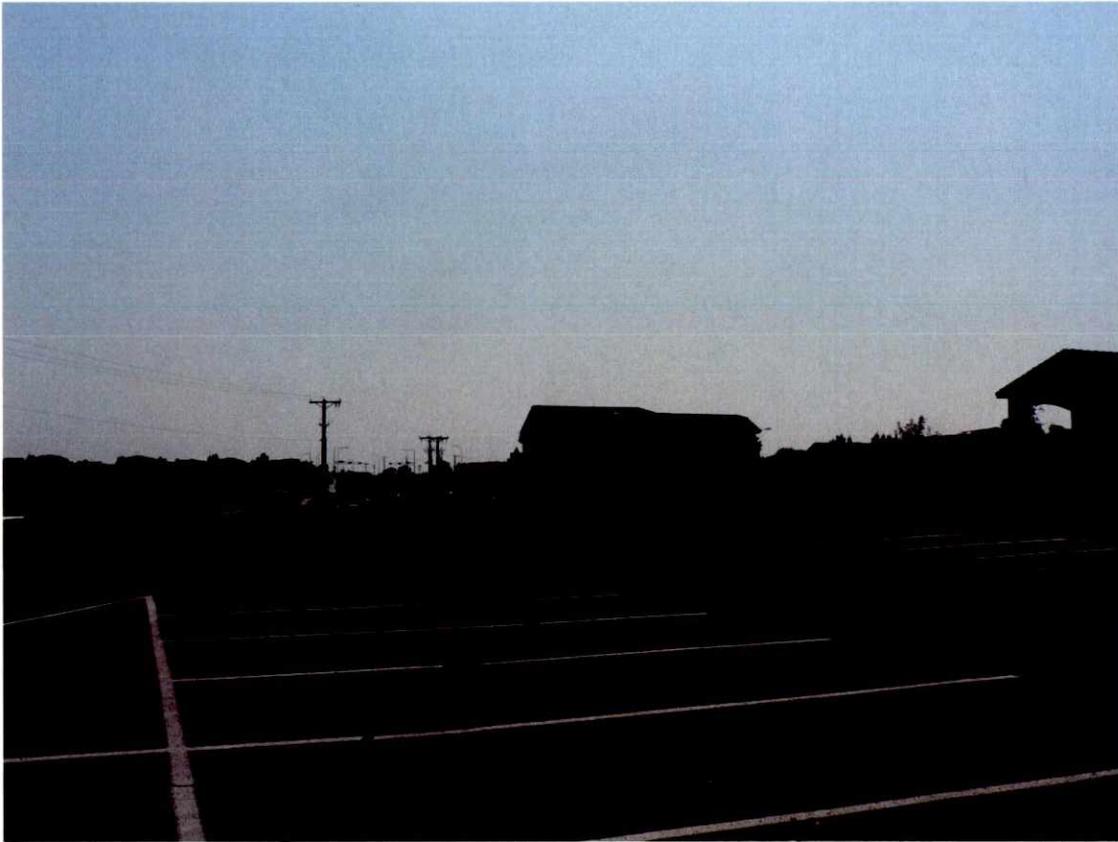
ALBUQUERQUE PUBLIC SCHOOLS

MID-REGION COUNCIL OF GOVERNMENTS

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

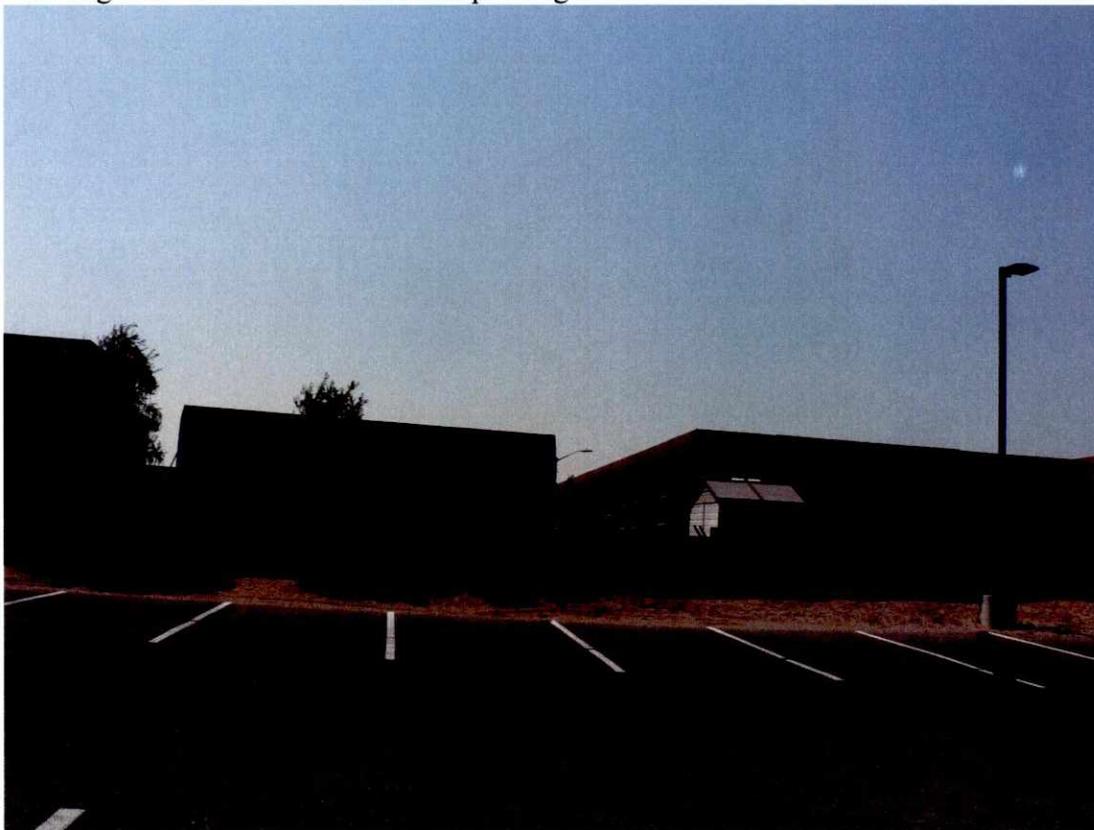


Looking south from the center of the parking area
Looking east from the center of the parking area





Looking north from the center of the parking area
Looking west from the center of the parking area

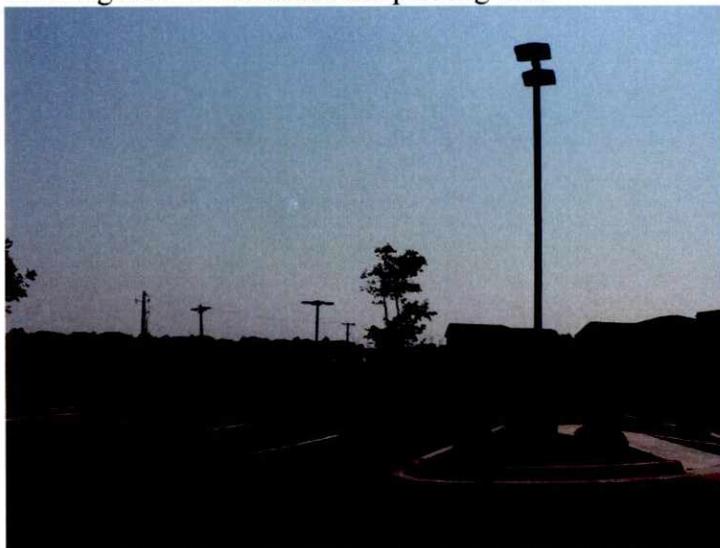




Looking north along Costa Almeria Dr.
Looking north to the existing commercial development



Looking southwest across the parking area



HISTORY



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 3, 2006

AMENDED OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004675**
06EPC-00140 EPC Site Development Plan-
Subdivision

TS McNaney & Associates
3 Wind Road NW
Albuq. NM 87120

LEGAL DESCRIPTION: for all or a portion of Tract 1, **Summary Plat of Kinscherff Lands and a tract of land in the SW ¼ of the NE ¼, Section 35, T11, R2E**, zoned SU-1 PRD-10 DU/ACRE, located on the west side of COORS BLVD. NW, between the SAN ANTONIO ARROYO and LA LUZ DEL OESTE, containing approximately 30 acres. (F-11) Catalina Lehner, Staff Planner

On April 20, 2006 the Environmental Planning Commission voted to approve Project 1004675/ 06EPC 00140, a Site Development Plan for Subdivision for Tract 1 Summary Plat, Kinscherff Lands, T11N R2E Section 35, and Tract of Land in SW ¼ of NE ¼, T11N R2E Section 35, zoned SU-1 for PRD (10 DU/ac), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for Tract 1 Summary Plat, Kinscherff Lands and a Tract of Land in SW ¼ of NE ¼, Section 35, T11N, R2E, approximately 29.32 acres located on the west side of Coors Boulevard, between the San Antonio Arroyo and south of La Luz del Oeste.
2. The applicant proposes design standards for the Vistas de La Luz project—a planned residential development (PRD) consisting of 67 single-family homes and 72 townhomes (139 units total). Two future areas are reserved for C-1 and O-1 permissive uses with exclusions.
3. The subject site lies within the boundaries of the West Side Strategic Plan (WSSP) and the Coors Corridor Sector Development Plan (CSDP). The Facilities Plan for Arroyos also applies.
4. The request *partially furthers* the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses. The proposed development will introduce more residential uses in a residential area but also includes some future office and/or commercial uses.

- Policy II.B.5e-programmed facilities/neighborhood integrity. The use of existing services is not likely to compromise neighborhood integrity but it may affect septic tanks.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. Neighborhoods are concerned about views, open space, drainage, soil and impact to wildlife. The request has been revised to accommodate concern about views, but not the other issues.
 - Policy II.B.5l-design quality/innovation. The proposed development will be appropriate for the area in terms of color and design, though the design is not particularly innovative and garages are prominent.
5. The proposal *mostly does not further* the intent of the following Comprehensive Plan policies:
- Policy II.B.5j-location of new commercial development. The C-1/O-1 tracts are not located in a small-neighborhood center or a larger area shopping center.
 - Policy II.B.5i-employment/service use location. Though the C-1 and O-1 uses permitted are limited, but without a site plan it is not possible to tell if these uses will be sited to minimize potential effects.
6. Regarding the West Side Strategic Plan (WSSP), the request *further*s and *partially further*s the following policies:
- Policy 3.12-contiguous location for growth. The subject site is well-located for receiving City services.
 - Policy 4.6-design guideline sections/policies. The site plan and design standards have been revised to incorporate neighbors' concerns about views.
 - Policy 1.1-Community and Neighborhood Centers (*partially further*s). Locating residential uses outside of centers supports the Plan's intention, and locating non-residential uses outside of centers is contrary to the Plan's intention.
7. The request *mostly does not further* and *does not further* the following WSSP policies:
- Policy 3.16-commercial uses location (*mostly doesn't further*). Commercial uses are appropriate in Community and Neighborhood Centers, but are not prohibited outside them.
 - Policy 4.10-land use/vehicle alternatives. The request does not sufficiently address vehicle, pedestrian and bicycle circulation patterns.
 - Policy 1.2-transit feasibility/access plan. The request does not address transit and that Coors Boulevard is an Enhanced Transit Corridor.
8. The request *partially complies* with WSSP Policy 2.5. Families with children are likely to look for larger, less expensive housing but cannot be prohibited from residing in Vistas de La Luz. There is the potential for increased enrollment in area public schools. However, APS indicates that elementary capacity is not a problem and in a few years there will be new middle and high schools.
9. The proposed wall partially complies with Section F, Policy 4 of the Facilities Plan for Arroyos. The proposed perimeter wall is not staggered, though it does provide tubular steel panels to create an opening, and is split-face block (not stucco-finished).

10. The request *furtheres the intent of CCSDP Policy 4.a.3-New Development*, because it will ensure compatibility of new buildings with the natural and built environment. The request *partially furtheres the intent of Policy 7-Access*. Pedestrians and vehicles share the main access point, and separate pedestrian access is not emphasized enough for the commercial area.
11. Regarding CCSDP design regulations, the request *complies* with the following:
 - Design Guideline 3-Policy 4.b.10-Architectural Design. Franchise elevations are prohibited.
 - Design Guideline 2 of Policy 4.b.10-Architectural Details. Colors are limited to earthtones.
 - Policy 4.b.2.A.1-Building Setback Regulation. The 35 foot front yard setback is provided.
 - Policy 4.b.2.B.1-Height & Bulk Regulation. Buildings will not exceed the underlying zone's height limit.
 - Policy 4.b.5.B.2-Off-Street Parking Regulation. One tree shall be planted per every ten parking spaces.
 - Policy II.B.5m-site design/visual environment. One-story and two-story units will be staggered, but there is no view line analysis to demonstrate views preservation.
12. The request *mostly complies* with Policy 4.b.9.A.2-Site Lighting Regulation. Pole height is limited but building-mounted lights can be mounted as high as the poles near residential areas. With respect to Policy 4.d.1-Signage Regulation, basic requirements are met but limitations to protect views are not included.
13. The request *partially complies* with Policy 4.b.4.A.2-Site Landscaping Regulation, because screening must be from all views, not just the public view, and Policy 4.b.4.A.6-Site Landscaping Guideline. Trash enclosures and yard walls will be compatible with buildings, but perimeter walls are not sufficiently addressed. Per Policy 4.b.5.B.1-Off-Street Parking Regulation, at least 20% of the parking lot must be landscaped. The request *partially complies*.
14. The request *mostly does not comply* with Policy 4.b.4.B.2-Site Landscaping Regulation. Though the development will be extensively landscaped, prohibited groundcovers are included in the design standards.
15. The Traffic Impact Study (TIS) concludes that the proposed development will have a moderate impact along Coors Boulevard. Adverse impact to the transportation system can be minimized provided the TIS recommendations are followed.
16. An Air Quality Impact Analysis (AQIA) is required per Zoning Code § 14-16-3-14, despite the steady decline in monitored CO levels since Albuquerque/Bernalillo County's last violation of the National Ambient Air Quality Standards (NAAQS) for carbon monoxide (CO) in 1991.
17. Two facilitated meetings were held (March 7th, 2006 and April 10th, 2006). Though mostly concerned about views preservation, the neighborhoods are also concerned about public school capacity, connectivity/access, lack of open space, impact to wildlife, garagescapes, walls and drainage/soils.

18. Due to concerns about views preservation, there will be a grade change of 15 feet between Quaker Heights and the proposed development and one-story units will be located along the development's western border. Neither the Zoning Code nor applicable Plans contain policies to protect the views of individual property owners.
19. The Coors Corridor Sector Development Plan (CCSDP) requires views plane analysis for proposals in Segments 3 and 4 of the Coors Corridor, but this only applies east of Coors Boulevard. The subject site is in Segment 3, west of Coors Boulevard. Therefore, a view plane analysis is not required.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the Staff planner to ensure that conditions of approval are thoroughly addressed.
3. The site plan for subdivision shall comply with all design regulations in the CCSDP.
4. The following conditions address the Coors Corridor Sector Development Plan Design Regulations with which the request *does not fully comply*:
 - a. Policy 4.b.4.A.2 Site Landscaping Regulation.
Exterior trash and utility boxes shall be screened from all views, not just the public view.
 - b. Policy 4.b.4.A.6-Site Landscaping Guideline.
The design and materials of the perimeter wall shall be compatible with the architectural theme and materials buildings on the site.
 - c. Policy 4.b.9.A.2-Site Lighting Regulation.
Building-mounted exterior light fixtures at the non-residential areas shall not be mounted higher than 16 feet from the finished floor of the building.
 - d. Policy 4.d.1-Signage Regulation.
Building mounted signage shall not exceed 8% of the façade area upon which it is mounted.
 - e. Policy 4.b.5.B.1-Off-Street Parking Regulation.
At least 20% of the parking lots shall be landscaped.
 - f. Policy 4.b.4.B.2-Site Landscaping Regulation.
Bark shall only be utilized as mulch and not as a permanent groundcover.
5. The following instances of "will be" shall be changed to "shall":
 - a. Pedestrian and Site Amenities: "...landscaped private common areas shall be provided."

- b. IV. Setbacks: "within these setbacks shall be pedestrian walkways...".
6. The following language shall be reinstated under II. Parking: "In order to lessen the visual impact of parking areas, parking facilities should be broken into a series of smaller areas."
7. The color blue shall not be allowed for metallic roofs.
8. Free-standing cell towers or antennas are prohibited.
9. The Homeowners Association shall maintain trees planted in the right-of-way to ensure the trees' survival.
10. The wall design standards shall specify earthtone colors and surface treatments.
11. The site plan shall be revised for clarity regarding location of perimeter walls, the arroyo perimeter wall, open space and "pass through" areas.
12. RECOMMENDED CONDITIONS FROM THE FIRE DEPARTMENT:
 - a. Provide adequate hydrant spacing. There shall be one (1) hydrant at each street intersection with intermediate hydrants so that no one home is more than 500 feet (as the truck rolls) from a hydrant.
 - b. Dead end road of 150 feet or more shall provide adequate turn around for fire apparatus.
13. RECOMMENDED CONDITION FROM SOLID WASTE MANAGEMENT, REFUSE DIVISION:

The development shall have storage areas, not visible from street or located inside garage, for residential automated carts.
14. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision shall include:

 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.

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- c. The developer is responsible for one half of the new signal at Maduri and Coors, median improvements in Coors that are necessary for access to the site (i.e. nb left turn lane, etc.) and a sb right turn deceleration lane in Coors. These improvements are identified and shall be designed in accordance with the TIS unless a previous agreement exists with the developer at Andalucia Subdivision regarding the responsibility for signal and median improvements at Coors and Maduri.
 - d. The intersections of Maduri and Coors and Maduri and Vidal shall be designed per recommendations in the TIS (i.e. number of lanes and turn bay queue lengths, etc.).
 - e. The townhouse section of the development will need to connect to the single family detached section of the development or provide a standard cul-de-sac at the west end of Maduri Avenue unless otherwise approved by the Traffic Engineer.
 - f. All hammerhead type cul-de-sacs will require approval from Fire and Solid Waste.
 - g. Stub streets to be 150' in length maximum.
 - h. Align/design Maduri Avenue west of Vidal Drive with Maduri Avenue east of Vidal Avenue, such that entering and exiting traffic is on the appropriate side of the intersection.
 - i. Site plan shall comply and be designed per DPM Standards.
 - j. Platting must be a concurrent DRB action.
 - k. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard, a limited access principal arterial, as designated on the Long Range Roadway System map.
 - l. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - m. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
 - n. Dedication of additional rights-of-way, as necessary, and construction of the fourth southbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).
15. Add a transit shelter south of Maduri Drive.
 16. The second sentence under General Note #3 on sheet 1 shall be clarified that the lots it references are within north townhome area.
 17. The note regarding railroad ties shall be removed from the grading & drainage plan.
 18. Sheet #3: the wall detail for the arroyo perimeter wall shall be for the arroyo perimeter wall and the east perimeter wall.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MAY 5, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



for Richard Dineen
Planning Director

RD/CL/ac

cc: Consensus Planning, Inc., 302 Eighth St. NW, Albuquerque, NM 87102
Rae Perls, La Luz Landowners Assoc., 15 Tennis Ct. NW, Albuquerque, NM 87120
Bruce Masson, La Luz Landowners Assoc., 12 Arco NW, Albuquerque, NM 87120
Edward Totoro, La Luz Del Sol NA, 36 Mill Road NW, Albuquerque, NM 87120
Ray Graham, La Luz Del Sol NA, 1 Wind Road NW, Albuquerque, NM 87120
Bill Jack Rodgers, Taylor Ranch NA, 8308 Cedar Creek Dr. NW, Albuquerque, NM 87120
Robert Wood, Taylor Ranch NA, 6500 Carney Ave Albuquerque, NM 87120
Matthew Baca, 5125 Northern Trail NW, Albuquerque, NM 87120
Vic Pongetti, 5012 Northern Trail NW, Albuquerque, NM 87120
Rene Horvath, 5525 Palomino Dr. NW, Albuquerque, NM 87120
Victor Pongetti, 5012 Northern Tr. NW, Albuquerque, NM 87120
Monica Otero, 5100 Northern Tr NW, Albuquerque, NM 87120





City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: October 19, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1004675**
07EPC-40026 SITE DEVELOPMENT PLAN-
SUBDIVISION
07EPC-40027 SITE DEVELOPMENT PLAN-
BUILDING PERMIT

McNaney Building Investments
5111 San Mateo Blvd. NE, Suite A-1
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of
Tract K, VISTA DE LA LUZ, zoned SU-1/PRD
located on COORS BLVD NW BETWEEN
WESTERN TRAIL NW AND LEARNING RD
NW, containing approximately 3 acres. (F-11)
Catalina Lehner, Staff Planner

On October 18, 2007 the Environmental Planning Commission voted to approve Project 1004675/ 07EPC 40026, a Site Development Plan for Subdivision for Tract K of Vista de la Luz, zoned SU-1 for PRD (O-1 and C-1 permissive uses with exclusions), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for Tract K, Vista de la Luz, an approximately 3 acre site located on the west side of Coors Boulevard, between the San Antonio Arroyo to the south and La Luz del Oeste to the north.
2. The purpose of the site development plan for subdivision is to reconfigure Tract K of Vista de la Luz into two smaller tracts, Tract K-A and Tract K-B, approximately 0.6589 acre and 2.0376 acres, respectively. An office building is proposed for Tract K-A. A strip of shops is proposed for Tract K-B. A site development plan for building permit (07EPC 40027) is associated with this request.
3. The subject site lies within the boundaries of the West Side Strategic Plan (WSSP) and the Coors Corridor Sector Development Plan (CSDP). The Facilities Plan for Arroyos (FPA) also applies, as do the design standards for the Vistas de la Luz project.

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4. The subject site is zoned SU-1 for PRD, O-1 and C-1 permissive uses with exclusions (06EPC 00140). The excluded uses are: church, school, community residential program, antenna (including free-standing cell towers), temporary park and ride facility, storage yard, outside sales, gasoline/oil sales, hardware/building materials, auto repair or storage, auto parts/supply, activities in a tent, public utility structure, loaning money and taxidermy. The office and retail uses in the current request are permitted uses.
5. The request *further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5a-full range of urban land uses. The addition of non-residential uses would help diversify land use in the area.
 - B. Policy II.B.5d-neighborhood values/natural environmental conditions. The rooflines have been lowered to 26 ft., which will affect views less. The architectural style includes characteristic Territorial style elements. Views have been incorporated into the site layout.
 - C. Policy II.B.5e-programmed facilities/neighborhood integrity. Use of existing urban services is not likely to disrupt the integrity of nearby neighborhoods.
 - D. Policy II.B.5j-general location of new commercial development. The development is allowed under the zoning and will function as a de facto neighborhood center.
 - E. Policy II.B.5l-design quality/innovation. The buildings are appropriate for the Plan area and comply with the architectural design standards.
 - F. Policy II.B.5m-site design/visual environment. The quality of the visual environment will be improved. Unique views from Coors Blvd. have been incorporated into the site layout and will be maintained.
6. The request *partially further*s the following Comprehensive Plan policy:
Policy II.B.5i-employment/service use location. Some light poles and potential traffic congestion could adversely affect residents.
7. The request *further*s the Transportation and Transit Goal and Transit Policy II.D.4g-pedestrian opportunities shall be integrated into development. The Plan designates Coors Blvd. as an Enhanced Transit Corridor, perhaps one of the most important in the City. The intent is to "maximize pedestrian connections to transit stops." Two connections to Coors Blvd., near the transit stop, are included and pedestrian connections are integrated as intended.
8. Regarding the West Side Strategic Plan (WSSP), the request *further*s the following policies:
 - A. Policy 3.12-contiguous location for growth. The subject site is within City boundaries in a location appropriate for receiving City services.
 - B. Policy 4.6-design guideline sections/policies. The rooflines comply with O-1 height limitation and are not as likely to affect views. The lessened signage also helps achieve the Plan's intent to decrease signage impacts.
 - C. Policy 4.10-land use/vehicle alternatives. The request addresses vehicle, pedestrian and bicycle circulation patterns and will enhance public mobility in this designated Transit Corridor.

9. Regarding the Coors Corridor Sector Development Plan (CCSDP) design regulations, the request *complies* with the following:
 - A. Policy 4.a.3- The buildings are compatible with the area and meet the intent of the Vistas de la Luz design standards that apply to the site and the adjacent built environment.
 - B. Design Guideline 3- Architectural Details. The metal roof is specified as non-reflective and should not cause annoying glare.
 - C. Policy 4.b.1-Natural amenities have been incorporated into the site design on the landscaping plan.
 - D. Policy 4.b.2.b-Height and bulk regulation. The buildings do not exceed the height limitation in the C-1 and O-1 zones.
 - E. Policy 4.b.4.A.2- Site Landscaping Regulation. Additional landscaping has been provided to adequately screen the dumpster from Coors Blvd.
 - F. Policy 4.b.4.A.6-Site Landscaping Guideline. Colors for the wall or refuse enclosure are specified and are compatible with the buildings.
 - G. Policy 4.b.7-Access. Pedestrian access from Coors Blvd. is convenient and near the transit stop, which will help promote non-vehicle travel in this Enhanced Transit Corridor.
 - H. Policy 4.d.1-Signage Regulation. The monument sign is 9 ft. tall and complies. The tower signs are approx. 55 sf and do not exceed the 75 sf size limitation.
10. The request *partially complies* with the following CCSDP design regulation:
Policy 4.b.4.B.2-Live Plant Materials. Live plant materials shall be used extensively, but landscape coverage is sparse in places.
11. The site development plan for subdivision satisfactorily addresses the requirements of Zoning Code §14-16-1-5, which defines what elements a site development plan for subdivision must contain.
12. A facilitated meeting was held on August 2, 2007. The Taylor Ranch Neighborhood Association (TRNA) generally supports the proposal but had concerns about visual impact on Coors Blvd., architecture, building height, connectivity, signage and lighting. Revisions made during the deferral period are likely to address these concerns; however, no additional input has been received.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to DRB sign off, the applicant must meet with the Development Review Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Subdivision AND Site Development Plan for Building Permit shall include:
 - A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - B. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - C. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - D. Provide cross access agreement between subdivided properties.
 - E. Site plan shall comply and be designed per DPM Standards.
 - F. Platting must be a concurrent DRB action.
 - G. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
 - H. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
 - I. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
 - J. Dedication of additional rights-of-way, as necessary, and construction of the fourth southbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).

On October 18, 2007 the Environmental Planning Commission voted to approve Project 1004675/ 07EPC 40027, a Site Development Plan for Building Permit for Tract K of Vista de la Luz, zoned SU-1 PRD (O-1 and C-1 permissive uses with exclusions), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract K, Vista de la Luz, an approximately 3 acre site located on the west side of Coors Boulevard, between the San Antonio Arroyo to the south and La Luz del Oeste to the north.
2. The site development plan for building permit is for an office building on Tract K-A (approximately 0.6589 acre) and a strip of shops on Tract K-B (approximately 2.0376 acres). A site development plan for subdivision (07EPC 40026) is associated with this request.
3. The subject site lies within the boundaries of the West Side Strategic Plan (WSSP) and the Coors Corridor Sector Development Plan (CSDP). The Facilities Plan for Arroyos (FPA) also applies, as do the design standards for the Vistas de la Luz project.
4. The subject site is zoned SU-1 for PRD, O-1 and C-1 permissive uses with exclusions (06EPC 00140). The excluded uses are: church, school, community residential program, antenna (including free-standing cell towers), temporary park and ride facility, storage yard, outside sales, gasoline/oil sales, hardware/building materials, auto repair or storage, auto parts/supply, activities in a tent, public utility structure, loaning money and taxidermy. The office and retail uses in the current request are permitted uses.
5. The request *further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5a-full range of urban land uses. The addition of non-residential uses would help diversify land use in the area.
 - B. Policy II.B.5d-neighborhood values/natural environmental conditions. The rooflines have been lowered to 26 ft., which will affect views less. The architectural style includes characteristic Territorial style elements. Views have been incorporated into the site layout.
 - C. Policy II.B.5e-programmed facilities/neighborhood integrity. Use of existing urban services is not likely to disrupt the integrity of nearby neighborhoods.
 - D. Policy II.B.5j-general location of new commercial development. The development is allowed under the zoning and will function as a de facto neighborhood center.
 - E. Policy II.B.5l-design quality/innovation. The buildings are appropriate for the Plan area and comply with the architectural design standards.
 - F. Policy II.B.5m-site design/visual environment. The quality of the visual environment will be improved. Unique views from Coors Blvd. have been incorporated into the site layout and will be maintained.
6. The request *partially further*s the following Comprehensive Plan policy:
Policy II.B.5i-employment/service use location. Some light poles and potential traffic congestion could adversely affect residents.

7. The request *further*s the Transportation and Transit Goal and Transit Policy II.D.4g-pedestrian opportunities shall be integrated into development. The Plan designates Coors Blvd. as an Enhanced Transit Corridor, perhaps one of the most important in the City. The intent is to “maximize pedestrian connections to transit stops.” Two connections to Coors Blvd., near the transit stop, are included and pedestrian connections are integrated as intended.
8. Regarding the West Side Strategic Plan (WSSP), the request *further*s the following policies:
 - A. Policy 3.12-contiguous location for growth. The subject site is within City boundaries in a location appropriate for receiving City services.
 - B. Policy 4.6-design guideline sections/policies. The rooflines comply with O-1 height limitation and are not as likely to affect views. The lessened signage also helps achieve the Plan’s intent to decrease signage impacts.
 - C. Policy 4.10-land use/vehicle alternatives. The request addresses vehicle, pedestrian and bicycle circulation patterns and will enhance public mobility in this designated Transit Corridor.
9. Regarding the Coors Corridor Sector Development Plan (CCSDP) design regulations, the request *complies* with the following:
 - A. Policy 4.a.3- The buildings are compatible with the area and meet the intent of the Vistas de la Luz design standards that apply to the site and the adjacent built environment.
 - B. Design Guideline 3- Architectural Details. The metal roof is specified as non-reflective and should not cause annoying glare.
 - C. Policy 4.b.1-Natural amenities have been incorporated into the site design on the landscaping plan.
 - D. Policy 4.b.2.b-Height and bulk regulation. The buildings do not exceed the height limitation in the C-1 and O-1 zones.
 - E. Policy 4.b.4.A.2- Site Landscaping Regulation. Additional landscaping has been provided to adequately screen the dumpster from Coors Blvd.
 - F. Policy 4.b.4.A.6-Site Landscaping Guideline. Colors for the wall or refuse enclosure are specified and are compatible with the buildings.
 - G. Policy 4.b.7-Access. Pedestrian access from Coors Blvd. is convenient and near the transit stop, which will help promote non-vehicle travel in this Enhanced Transit Corridor.
 - H. Policy 4.d.1-Signage Regulation. The monument sign is 9 ft. tall and complies. The tower signs are approx. 55 sf and do not exceed the 75 sf size limitation.
10. The request *partially complies* with the following CCSDP design regulation:
Policy 4.b.4.B.2-Live Plant Materials. Live plant materials shall be used extensively, but landscape coverage is sparse in places.
11. The Traffic Impact Study (TIS) for the Vistas de la Luz project concluded that the development will have an overall moderate impact on the transportation system, which can be minimized if the TIS recommendations are followed.

12. The Air Quality Impact Analysis (AQIA) did not find any adverse impacts. This is consistent with the steady decline in carbon monoxide (CO) levels since Albuquerque/ Bernalillo County's last violation of the National Ambient Air Quality Standards (NAAQS) for CO in 1991, and vehicle technology advances that have rendered elevated CO levels a problem of the past on a national level.
13. The Coors Corridor Sector Development Plan (CCSDP) requires a view plane analysis for Segments 3 and 4 of the Coors Corridor, east of Coors Boulevard. The subject site is in Segment 3 and west of Coors Boulevard. Therefore, a view plane analysis is not required.
14. A facilitated meeting was held on August 2, 2007. The Taylor Ranch Neighborhood Association (TRNA) generally supports the proposal but had concerns about visual impact on Coors Blvd., architecture, building height, connectivity, signage and lighting. Revisions made during the deferral period are likely to address these concerns; however, no additional input has been received.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The site development plan for building permit shall comply with the Coors Corridor Sector Development Plan (CCSDP) and the Vistas de la Luz design standards (06EPC00140) approved in April 2006.
4. Pedestrian/Bicycle Access and Circulation:
 - A. Enhanced concrete shall be defined as textured concrete.
 - B. The bicycle rack for the shops shall be located next to the shops (Design Standard 1F).
 - C. A pathway shall be provided to link the office building to the open space area.
 - D. The handicap ramps shall be designed according to AASHTO specifications.

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5. Parking:
Accurate parking calculations for Tract K-B shall be provided and added to the site development plan.
6. Landscaping-Buffering:
 - A. The western buffer landscaping adjacent to the residences shall consist primarily of trees, the spacing of which shall be equal to 75% of the mature tree canopy pursuant to Zoning Code §14-16-3-10(E)(4)(b).
 - B. Additional plants shall be added to the sparsely covered areas near the northwestern corner and along the western landscape buffers.
7. Landscape-Plants:
 - A. The following additional shrubs from the Vistas de la Luz landscaping plan shall be added to the plant palette: Muhly grass, Sand penstemon and Rosemary.
 - B. Coverage with living, vegetative material shall be 80%.
8. Water conservation/green principles:
 - A. The landscape in the landscape islands shall be at the same level as the parking lot so that water can run into it.
 - B. Curb cuts shall be provided in the landscape islands every few feet to provide supplemental irrigation.
9. Lighting:
On-site luminance shall not exceed 1,000 lamberts from any point and 200 lamberts from any residential property line (Design Standard 6F).
10. Signage-Monument:
 - A. The monument sign detail shall specify finish and be drawn to scale.
 - B. The frame of the monument sign shall be labeled as a frame, not as an area available for additional signage.
 - C. Numeric addresses shall be placed on the monument sign and on the buildings pursuant to the City's sign code.
11. Refuse Enclosure/Dumpster:
The applicant shall consult with and obtain the approval of the Solid Waste Management Division (SWMD) regarding the refuse enclosure and dumpster location and orientation.
12. CONDITION FROM THE CITY FORRESTER:
Water from the roof tops shall be directed to landscaped areas, with overflow leading out to parking lot.

13. CONDITION FROM THE TRANSIT DEPARTMENT:

The applicant shall install a shelter and associated bench and trash can for the new bus stop south of Sevilla Avenue, as approved in the conditions for 06EPC-00140 (Vistas de la Luz), after coordination with and approval by the Transit Department.

14. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision AND Site Development Plan for Building Permit shall include:

- A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- B. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- C. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- D. Provide cross access agreement between subdivided properties.
- E. Site plan shall comply and be designed per DPM Standards.
- F. Platting must be a concurrent DRB action.
- G. Dedication of a *minimum* 78 feet of right-of-way from the centerline of Coors Boulevard a limited access, principal arterial as designated on the Long Range Roadway System map.
- H. Dedication of an additional 6 feet of right-of-way along Coors Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- I. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
- J. Dedication of additional rights-of-way, as necessary, and construction of the fourth southbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **NOVEMBER 2, 2007** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

OFFICIAL NOTICE OF DECISION
OCTOBER 18, 2007
PROJECT #1004675
PAGE 10 OF 10

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CL/ac

cc: George Rainhart Arch & Assoc., 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110
Suzanne Fetsco, La Luz Del Sol, 23 Wind NW, Albuquerque, NM 87120
George Shea, La Luz Del Sol, 4 Min NW, Albuquerque, NM 87120
Patrick Gallagher, La Luz Landowners, 2520 Jefferson NE, Ste #, Albuquerque, NM 87110
Rae Perls, La Luz Landowners, 15 Tennis Ct. NW, Albuquerque, NM 87120
Jolene Wolfley, Taylor Ranch, 6804 Staghorn Dr. NW, Albuquerque, NM 87120
Rene Horvath, Taylor Ranch, 5515 Palomino Dr. NW, Albuquerque, NM 87120

ZONING

Please refer to the Comprehensive Zoning Code for specific zone descriptions and the Site Development Plan for Subdivision for specific restrictions on the site.

APPLICATION INFORMATION



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision *Amendments*
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: 505-764-9801
 ADDRESS: 302 Eighth St. NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: fishman@consensusplanning.com
APPLICANT: Hajjar Management Co, Inc. / Vista Realty Trust PHONE: 617-296-5200
 ADDRESS: 30 Adams Street FAX: _____
 CITY: Milton STATE MA ZIP 02186 E-MAIL: _____
 Proprietary interest in site: Trustee List all owners: Vista Realty Trust

DESCRIPTION OF REQUEST: Amendments to Vista de La Luz Site Plan for Subdivision, Site Plan for Subdivision and Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts K1 and K2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Vista de La Luz Commercial
SU-1 for PRD and one restaurant with full service liquor
 Existing Zoning: full service liquor Proposed zoning: No proposed change MRGCD Map No _____
 Zone Atlas page(s): F-11-Z UPC Code: 101106130035422844, 101106128332522845

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
#1004675; 06EPC-00140; 07EPC-40026; 07EPC-40027

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 2.8 ac.
 LOCATION OF PROPERTY BY STREETS: On or Near: Southwest corner of Coors Boulevard NW and Sevilla Avenue NW
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

Jacqueline Fishman DATE 8/3/17
 (Print Name) Jacqueline Fishman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/>	All checklists are complete	<u>17 EPC - 40036</u>	<u>SBP</u>	___	<u>\$ 255.00</u>
<input type="checkbox"/>	All fees have been collected	<u>40037</u>	<u>SPS</u>	___	<u>\$ 255.00</u>
<input type="checkbox"/>	All case #s are assigned	<u>40038</u>	<u>SPS</u>	___	<u>\$ 255.00</u>
<input type="checkbox"/>	AGIS copy has been sent	___	<u>CMF</u>	___	<u>\$ 50.00</u>
<input type="checkbox"/>	Case history #s are listed	___	<u>AOU</u>	___	<u>\$ 348.24</u>
<input type="checkbox"/>	Site is within 1000ft of a landfill	___	___	___	Total
<input type="checkbox"/>	F.H.D.P. density bonus	___	___	___	<u>\$ 1163.24</u>
<input type="checkbox"/>	F.H.D.P. fee rebate	___	___	___	___

Hearing date Sept. 14, 2017

Jacqueline Fishman
 Staff signature & Date

8-3-17

Project # 1004675

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – EPC PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
- IP MASTER DEVELOPMENT PLAN (EPC11)**
 - 5 acres or more and zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Development Plan and related drawings (folded to fit into an 8.5" by 14" pocket) 20 copies.
 - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site Development Plans and related drawings reduced to 8.5" x 11" (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination inquiry response, notification letter, certified mail receipts
 - Completed Site Development Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17) Maximum Size: 11" x 17"**
 - 5 acres or more and zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Development Plan and related drawings (folded to fit into an 8.5" by 14" pocket) 20 copies.
 - Site Development Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 20 copies
 - Site Development Plans and related drawings reduced to 8.5" x 11" (1 copy)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination inquiry response, notification letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

NOTE: For waiver requests of a wireless regulation requirement, the following materials are required in addition to those listed above:

- Collocation evidence as described in Zoning Code §14-16-3-17(C)(2)
- Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(D)(1)(d)(ii)
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
- Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(D)(1)(d)(iii)
- Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(D)(1)(d)(v).
- Registered engineer or architect's stamp on the Site Development Plans. Refer to §14-16-3-17(D)(1)(d)(iv)
- Office of Neighborhood Coordination inquiry response based on ¼ mile radius, notification letter, certified mail receipts
- Map showing 100 foot buffer (excluding ROW) around the site, list of property owners, certified mail receipts

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - Proposed amended Site Development Plan (folded to fit into an 8.5" by 14" pocket) 20 copies
 - DRB signed Site Development Plan being amended (folded to fit into an 8.5" by 14" pocket) 20 copies
 - DRB signed Site Development Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 20 copies
 - Site plans and related drawings reduced to 8.5" x 11" (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination inquiry response, notification letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Development Plan for Building Permit Checklist (not required for SPS amendment)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

JACQUELINE FISHMAN
 Applicant name (print)
 Applicant signature / date 8/3/17



Form revised June 2017

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 17 - EPC - 40036
 - - - 40037
 - - - 40038

Planner signature / date 8-3-17
 Project # 1004675

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Consensus Planning, Inc. DATE OF REQUEST: 06/14/17 ZONE ATLAS PAGE(S): E-11-Z

CURRENT:

ZONING SU-1 for PRD
PARCEL SIZE (AC/SQ. FT.) 2.76 ac.

LEGAL DESCRIPTION:

LOT OR TRACT # Tract K1 and K2 BLOCK # _____
SUBDIVISION NAME Vista de La Luz

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT [X] Site Development Plans for
BUILDING PERMIT [] ACCESS PERMIT [] Subdivision and
BUILDING PURPOSES [] OTHER [] Site Plan for Building Permit
*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT [X]

GENERAL DESCRIPTION OF ACTION:

OF UNITS: N/A
BUILDING SIZE: N/A (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE *Erin Monahan* DATE 6/14/17
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Laura Pate 06-14-17
TRAFFIC ENGINEER DATE

Required **TIS must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / _____
-FINALIZED / / TRAFFIC ENGINEER DATE



HAJJAR
MANAGEMENT CO., INC.

30 Adams Street
Milton, MA 02186
617-296-5200 *tel*
617-296-5300 *fax*

www.hajjarmanagement.com

July 26, 2017

Ms. Karen Hudson, Chair.
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Madame Chair,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for Hajjar Management Company, Inc. and Vista Realty Trust on this request for an Amendment to the overall Site Development Plan for Subdivision and the Site Plan for Building Permit and Site Plan for Subdivision for the commercial area of Vista de La Luz (Tracts K1 and K2). Hajjar Management Co., Inc. manages this property on behalf of Vista Realty Trust. Vista Realty Trust is the owner of this property.

Sincerely,

Charles C. Hajjar
President, Hajjar Management Company, Inc.
Trustee, Vista Realty Trust



August 3, 2017

Ms. Karen Hudson, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Madame Chair:

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to request an amendment to the overall Site Plan for Subdivision for Vista de La Luz and amendments to the Site Plan for Subdivision and Site Plan for Building Permit for Tracts K1 and K2 of Vista de La Luz. The property is located on the southwest corner of Coors Boulevard NW and Sevilla Avenue NW. This request is being made on behalf of Vista Realty Trust.

HISTORY AND CONTEXT

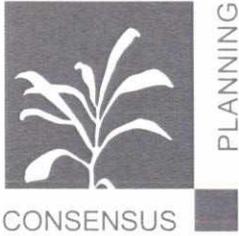
The site is approximately 2.8 acres and is currently zoned SU-1 for PRD and One Restaurant with Full Service Liquor. The site is part of the larger Vista de La Luz Subdivision. The following is a summary of the three-part request:

1. Amendment to overall Vista de La Luz Site Plan for Subdivision (Project #1004675; 06EPC-00140): The Site Plan for Subdivision and the Design Standards were approved in 2006 for 139 single-family units and two future areas reserved for C-1 and O-1 permissive uses with exclusions. The amendment is to the language in the Design Guidelines related to parking requirements.
2. Site Plan for Subdivision (Project#1004675; 07EPC-40026): The Site Plan for Subdivision was approved in 2007 to reconfigure one of the commercial lots along Coors Boulevard (Tract K) into two smaller tracts, Tract K2 and Tract K1. The request is to amend the Site Plan for Subdivision to combine the two tracts into one tract.
3. Site Plan for Building Permit (Project #1004675; 07EPC-40027): The Site Plan for Building Permit for Tract K was approved in 2007 in conjunction with the Site Plan for Subdivision. The Site Plan for Building Permit proposed an office building on Tract K2 and a two commercial buildings on K1. The request is to amend the Site Plan to remove the office building on Tract K2 and expand the parking lot in this area to serve the existing commercial businesses.

Vista Realty Trust purchased this property in 2013 when the property was in receivership. The property had some deficiencies in parking, landscape, and sidewalks and the applicant is addressing these with this application. The site is currently developed with two commercial buildings (three were shown on the Site Development Plans), parking, and landscape areas. The buildings back up to Coors Boulevard with a landscaped buffer and stairs leading down to the sidewalk and bus stop. These buildings are fully occupied with successful businesses, which currently utilize all of the existing parking on both tracts. The

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



parking is distributed along the western edge of the site and in a portion of Tract K2 to the south. When at capacity, the parking for these businesses overflows onto Costa Almeria Drive NW. This road is intended as an access road to the commercial site, as well as the fully developed residential subdivision to the west. The area does not provide or accommodate any on-street parking. Across Sevilla Avenue to the north is a vacant parcel that is currently approved for a carwash.

PROPOSED AMENDMENTS

The subject property falls within the Coors Corridor Plan (Segment 3) and the West Side Strategic Plan (Taylor Ranch Community). The Coors Corridor Plan is a Rank 3 plan that was adopted in 1984 and intended to guide the design and development along Coors Boulevard. The West Side Strategic Plan is a Rank 2 plan that was adopted in 1997 and intended to provide a policy framework to manage future growth of the West Side.

Coors Corridor Plan

The Coors Corridor Plan includes design regulations relevant to our request for property within Segment 3.

Policy 2, Building Setback, Height, and Bulk, Design Regulation, A. Setback:

1. There shall be a minimum front yard setback from the right-of-way of 15 feet in Segments 1 and 2. There shall be a minimum front yard setback of 35 feet from the right-of-way in Segments 3 and 4.

Policy 5, Off-Street Parking, A. Parking Improvements, Design Regulation:

1. No parking area shall intrude upon the 15-foot wide front landscaped street yard in Segments 1 and 2, or the 35-foot-wide landscaped setback in Segments 3 and 4.

Applicant's Response: The existing buildings and parking area maintain the minimum required 35-foot landscape setback, varying from 35 to 57 feet. The 35-foot landscape setback slopes up from Coors Boulevard and provides the necessary screening required by the Coors Corridor Plan. In addition, there is a parkway strip within the Coors Boulevard right-of-way between the back of curb and the public sidewalk of approximately 14 feet. There are currently no street trees within this area.

A portion (13 spaces) of the proposed parking falls within the 35-foot landscape setback on Tract K2. The applicant is requesting an exception to the 35-foot landscape setback to allow these parking spaces within the setback. The 13 parking spaces, which are shown as compact spaces in order to minimize their impact, represent 9% of the overall existing and proposed parking spaces (150 total spaces). The Coors Corridor Plan allows the Environmental Planning Commission to approve exceptions to the design regulations on the east side of Coors Boulevard, but is silent regarding properties on the west side. As mentioned above, the applicant purchased this property in 2013 and inherited some deficiencies that he is now trying to address through this request. The applicant is requesting that the EPC find that there is a hardship in meeting the required 35-foot landscape setback in regard to the parking area based on the



existing condition of the site. The existing businesses have exceeded the anticipated parking needs and cannot offer their customers an adequate amount of parking. The only area in which to add parking on this site is along the east and south edges of the property on Tract K2. The east edge is subject to the 35-foot setback; as such, the applicant must request the exception.

Policy 5, Off-Street Parking, B. Landscaping, Design Regulations:

1. Landscaping “in” and “around” the paved area. A minimum of 20 percent of the parking lot area shall be landscaped. The landscaping shall consist primarily of shade trees and shrubs and shall be distributed throughout the parking lot. Generally, peripheral landscaping should not be less than five feet in width.
2. One tree shall be planted per every ten parking spaces and shall be distributed such that at least one tree is planted per every 15 linear parking spaces.

Applicant’s Response: The existing and proposed landscaping in and around the existing and proposed parking area meets the minimum requirement of 20%. The “peripheral landscaping” is a minimum of ten feet wide. The parking lot trees meet the minimum requirement of one tree per 10 parking spaces.

Overall Site Plan for Subdivision – Design Standards, Sheet 6:

(Existing)

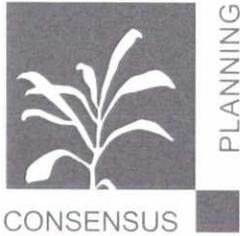
II. PARKING

- B. The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.

(Proposed)

- B. The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus ~~10~~ 15 percent.

When the Site Plans for Subdivision/Building Permit were approved in 2008, the restaurant was assumed to have an occupancy of 202 seats, requiring a minimum of 67 parking spaces, the commercial services adjacent to the restaurant required 15 spaces, the commercial space in the northern building required 32 spaces, and the office building required 19 spaces; a total of 133 minimum spaces required. The previous applicant then used a transit reduction to bring down the total minimum requirement to 113 parking spaces, as shown on the approved Site Plan for Building Permit. However, since the office building was never built, the total minimum requirement based on the two buildings (and before taking the transit reduction) remained at 114. Since the original 2008 approval, but prior to the applicant owning the property in 2013, Jinja Restaurant added an outdoor seating area containing 48 seats, which adds a minimum of 16 additional parking spaces, and brings the total minimum number of spaces to 130. The Vista de La Luz Design Standards allow for a 10% increase, bringing the maximum number of parking spaces to 143. Our request is to allow a total of 150 parking spaces, which is approximately 15% over the maximum number of parking spaces allowed, requiring an amendment to the Vista de La Luz Site Plan for Subdivision/Design Standards. This additional parking allowance is needed in order to provide the adequate amount of on-site parking for these



successful businesses. Off-street parking is not allowed on Coors Boulevard, Sevilla Avenue, or Costa Almeria Drive NW.

Amendment to Site Plans for Subdivision and Building Permit for Tracts K1 and K2:

The Site Plans for Subdivision and Building Permit show three buildings on the premise (Tracts K1 and K2). However, the site is currently developed with just two commercial buildings on Tract K1. These buildings accommodate five businesses including 4Ever Nails, Armando's Salon, Jinja restaurant, Jake and Harleys Cigar Gallery and Smoking Lounge, and the UFC Gym. Tract K2 is an undeveloped parking lot currently utilized by the existing businesses on Tract K1.

The applicant is proposing to remove the 3,729-square foot office building located on Tract K2 as shown on the Site Plans for Subdivision/Building Permit. The building has not been built and the applicant has no plans or need to develop it, nor could he reasonably accommodate the additional parking required. An additional building and business would be detrimental to the existing parking deficiency on this property.

In addition to removing the office building on Tract K2, the applicant is proposing to amend the Site Plan for Building Permit in regard to parking and landscape. As detailed above, the amendment is to allow a total of 150 parking spaces, 15% over the Zone Code required minimum. When the overall Vista de La Luz Site Plan for Subdivision was approved, it was common for the Environmental Planning Commission (EPC) to limit parking to the minimum parking required by the Zone Code, plus 10 percent. This has become an unnecessary constraint to these businesses and overflow parking has become a nuisance for the adjacent residential subdivision. There is no on-street parking allowed on Coors Boulevard, Sevilla Avenue, or Costa Almeria Drive NW. The landscape amendment will allow this site to meet the landscape requirements contained in the Coors Corridor Plan and provide screening of the parking area.

Lastly, the applicant is proposing to amend the Site Plan for Subdivision by removing the property line dividing the two tracts and consolidating the property into one tract. This will require a replat at the Development Review Board. The current SU-1 for PRD zoning prohibits any site to be developed only as parking. The combined tracts will allow parking for customers to be accommodated and distributed across the site.

CONCLUSION

The proposed amendments to the Vista de La Luz Site Plan for Subdivision and the Site Plan for Subdivision/Building Permit for Tracts K1 and K2 address the need for additional parking for the existing businesses and eliminate the on-street parking issue currently existing. In addition to the amendments for parking and landscape, the applicant is requesting an exception to the Coors Corridor Plan to allow 13 parking spaces (out of 150 total spaces – 9%) to be located within the 35-foot landscape setback. The applicant will bring the site up to meet the landscape and sidewalk requirements contained in the Coors Corridor Plan and the various Site Development Plans.



PLANNING

CONSENSUS

We respectfully request the EPC's approval of amendments to the Vista de La Luz Site Plan for Subdivision, and the Site Plans for Subdivision and Building Permit for Tracts K1 and K2. We appreciate your consideration of our request.

Sincerely,

Jacqueline Fishman, AICP
Principal

NOTIFICATION & NEIGHBORHOOD INFORMATION

ATTACHMENT A

VISTA DE LA LUZ H.O.A. (VDL)

***Sherrol Maratta**

5005 Costa Uasca Dr. NW/87120

Jack Corder e-mail: jack@corderandcompany.com

P.O. Box 45960, Rio Rancho, NM/87174 896-7700 (w) 615-0405 (c)

Website: corderandcompany.com NA E-mail: associations@corderandcompany.com

Council District: 1
County District: 1
Police Beat: 629/NW
Zone Map #: F-11

TAYLOR RANCH N.A. (TRN) "R"

Jolene Wolfley e-mail: govtaffairs@trna.org

7216 Carson Trl. NW/87120 890-9414 (h)

Rene Horvath e-mail: land@trna.org

5515 Palomino Dr. NW/87120 898-2114 (h)

Website: www.trna.org NA E-mail: president@trna.org

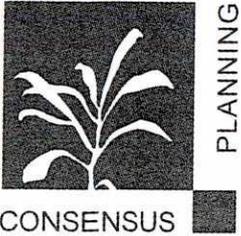
Council District: 1&5
County District: 1
Police Beat: 626/NW
Zone Map: C-F-11-14

WESTSIDE COALITION OF N.A.'S

***Jerry Worrall**, 1039 Pinatubo Pl. NW/87120 839-0893 (h) 933-1919 (c) e-mail: jfworrall@comcast.net

Harry Hendriksen, 10592 Rio Del Sole Ct. NW/87114-2701 890-3481 (h) 221-4003 (c)

e-mail: hlhen@comcast.net



CONSENSUS

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

August 3, 2017

Jolene Wolfley
7216 Carson Trail NW
Albuquerque, NM 87120

Rene Horvath
5515 Palomino Dr. NW
Albuquerque, NM 87120

Dear Ms. Wolfley and Ms. Horvath:

The purpose of this letter is to inform you and the Taylor Ranch Neighborhood Association that Consensus Planning has submitted a request for an amendment to the overall Vistas de La Luz Site Development Plan for Subdivision and the Site Plan for Building Permit/Subdivision for the commercial area of Vista de La Luz (Tracts K1 and K2) on behalf of Hajjar Management. This request will be heard by the Environmental Planning Commission (EPC) on Thursday, September 14, 2017 at Plaza del Sol located at 600 Second Street NW. The hearing begins at 8:30 a.m.

The current zoning on the approximately 2.8 acre property is SU-1 for PRD and One Restaurant with Full Service Liquor. The applicant is proposing a three-part request to amend the overall Site Plan for Subdivision, Site Plan for Building Permit/Subdivision to accommodate a minimal amount of additional parking for the existing uses (4Ever Nails, Armando's Salon, Jinja restaurant, Jake and Harleys Cigar Gallery and Smoking Lounge, and the UFC Gym) and on Tract K-1.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Office of Neighborhood Coordination (ONC) by email at ONC@cabq.gov or by phone at (505) 768-3334. A facilitated meeting request must be received by ONC by: Monday, August 14, 2017

Please do not hesitate to contact me at 764-9801 with any questions you may have regarding this request.

Sincerely,

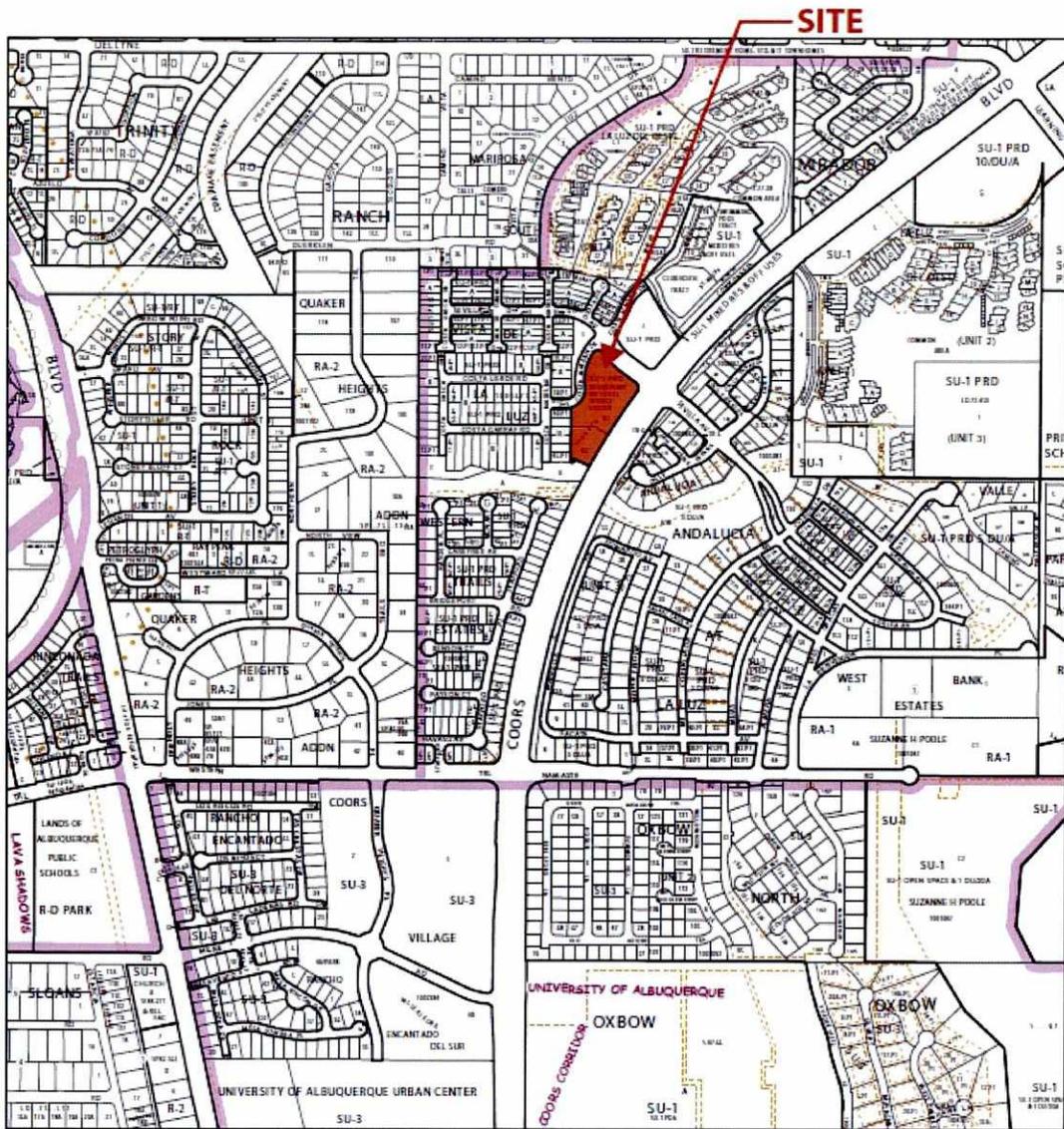


Jacqueline Fishman
Principal

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

Att: Revised Vista de La Luz Site Plan for Building Permit/Subdivision, 2008
Revised Vista de La Luz Landscape Plan



For more current information and details visit: <http://www.cabq.gov/gis>



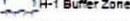
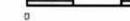
Map amended through: 1/28/2016



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-11-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	



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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		Postmark Here 08/03/2017
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Rene Horvath**
 Street and Apt. No., or PO Box No.
5515 Palamino Dr. NW
 City, State, ZIP+4®
ABQ, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
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<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Jolene Wolfleg**
 Street and Apt. No., or PO Box No.
7216 Carson Trail NW
 City, State, ZIP+4®
ABQ, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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RIO RANCHO, NM 87174

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		Postmark Here 08/03/2017
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Jack Cordler**
 Street and Apt. No., or PO Box No.
P.O. Box 45960
 City, State, ZIP+4®
Rio Rancho, NM 87174

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee	\$3.35		0101 09
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Sherril Murratta**
 Street and Apt. No., or PO Box No.
5005 Costa Vasca Dr. NW
 City, State, ZIP+4®
ABQ, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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ALBUQUERQUE, NM 87120

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Certified Mail Fee	\$3.35		0101 09
Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
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<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Jerry Worrall**
 Street and Apt. No., or PO Box No.
1039 Pinatubo Pl. NW
 City, State, ZIP+4®
ABQ, NM 87120

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		Postmark Here 08/03/2017
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$1.61		
Total Postage and Fees	\$7.71		

Sent To **Harry Hendriksen**
 Street and Apt. No., or PO Box No.
10592 Rio del Sole Ct. NW
 City, State, ZIP+4®
Rio Rancho NM 87114

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, Sept. 14, 2017 **1004675**

Zone Atlas Page: F-11

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: On or near Southwest corner of Coors Blvd. NW and
Sevilla Ave. NW

Applicant: Hajjr Management Co, Inc/Vista Realty Trust
30 Adams ST.
Milton MA 02186

Agent: Consensus Planning, Inc
302 8th St. NW
ABQ, NM 87102

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

- PLN Generated buffer map & address labels**
- Applicant Generated buffer map & address labels**

- PLN - First Class mail outs**
- PLN - Certified mail outs**
- Applicant - Certified mail outs**

Date Mailed: 08/23/17

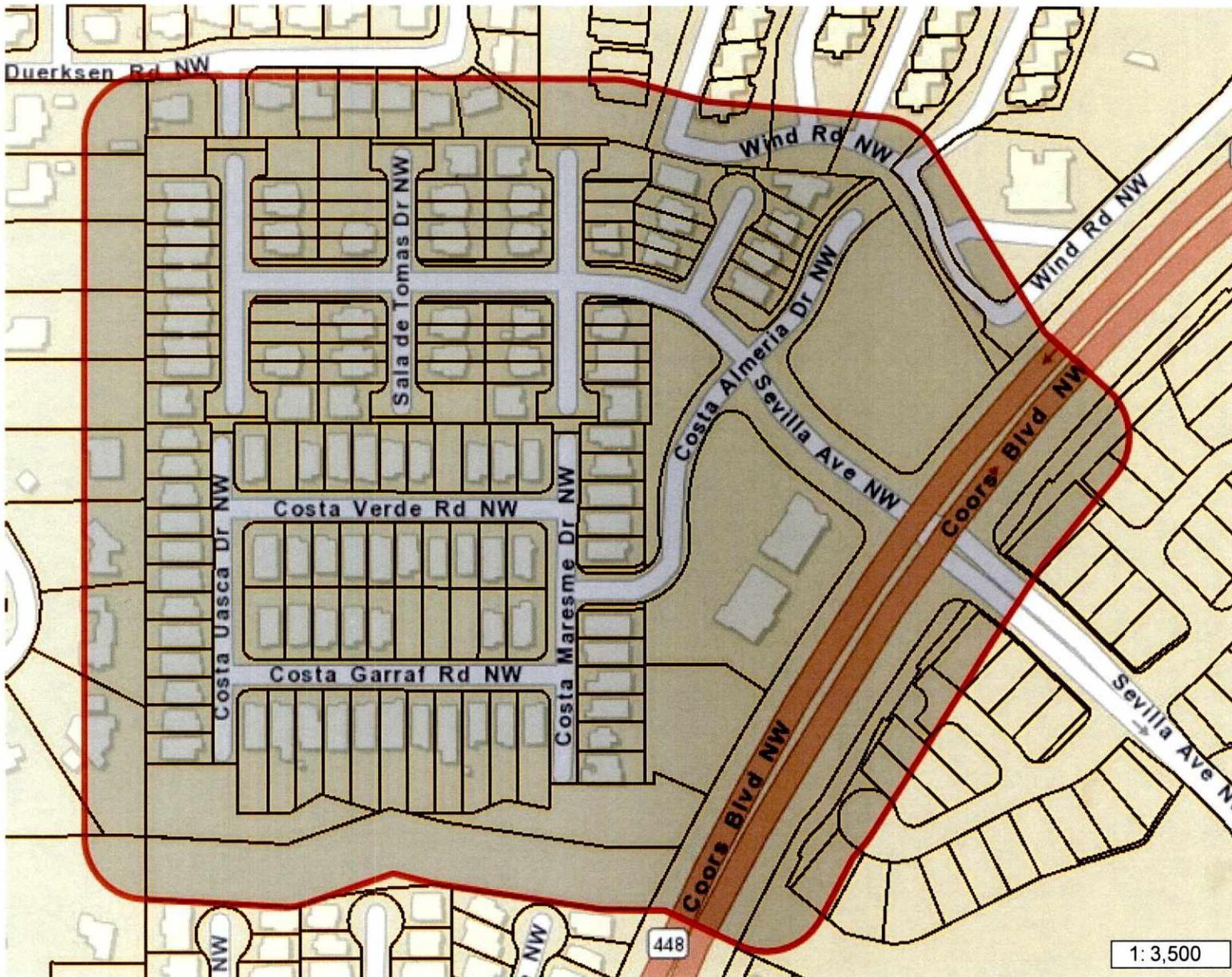
Signature: 

update



Vista de La Luz - Property Owner Notification Map

Prepared by: Consensus Planning on August 7, 2017



Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes

0.1 0 0.04 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
8/7/2017 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES

SITE



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-11-Z

Selected Symbols

- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.

0 750 1,500 Feet

ABELLA HEATHER
9677 EAGLE RANCH RD NW APT 314
ALBUQUERQUE NM 87114-5857

ABRAMS JOSHUA T & JACQUELINE N
BOURQUET-ABRAMS
5001 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120-2721

ALFRED 2 LLC
PO BOX 37438
ALBUQUERQUE NM 87176

ALIPAT CHEARIE & MARTINEZ-SPELICH
JEFFREY J
4908 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-2719

AMAFCA
2600 PROSPECT AVE NE
ALBUQUERQUE NM 87107-1836

AMSPOKER SCOTT D
5500 DUERKSEN RD NW
ALBUQUERQUE NM 87120-1912

ANDALUCIA COMMUNITY ASSOC
8300 CARMEL AVE NE SUITE 401
ALBUQUERQUE NM 87122

ANDERSON JAMES P
5035 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

ANDLUCIA HOMEOWNERS ASSOCIATION INC
C/O ENTRUST ASSOCIATION MANAGEMENT
2823 RICHMOND DR NE
ALBUQUERQUE NM 87107-1918

ANDLUCIA HOMEOWNERS ASSOCIATION INC
C/O ENTRUST ASSOCIATION MANAGMENT
2823 RICHMOND DR NE
ALBUQUERQUE NM 87107-1918

ARAGON L ART & MARY ANN
4936 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

ARCHIBEQUE JERRY & LOUISE
4900 COSTA MERESME DR NW
ALBUQUERQUE NM 87120-2719

ARCHULETA THOMAS & MARTHA
5031 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

ARGUETA CARLOS
5020 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120-2722

ARGUETA JAVIER & ARGUETA EDWARD & G
VANESSA
5020 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-5788

ARNOLD BRIAN G & PARRA DENISE
5700 TINNIN RD NW
LOS RANCHOS DE ALBUQUERQUE NM 87107-
7103

ATENCIO ROSENDO
5031 OJOS AZUL CT NW
ALBUQUERQUE NM 87102

ATWELL WILLIAM T
5020 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

AYASH CHARLES & KAYE GERARD CO-
TRUSTEES AYASH & KAYE RVT
398 WINDOVER LN
CORRALES NM 87048

AYASH CHARLES M & KAYE GERARD J CO-
TRUSTEES AYASH & KAYE RVT
398 WINDOVER LN
CORRALES NM 87048

BACA EDWARD J
5128 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

BEAUCHAMP JOSEPH JR & TRUJILLO CRYSTAL
5501 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

BERNAL MELINDA M
5516 COSTA UERDA RD NW
ALBUQUERQUE NM 87120

BRE-2 INC
8300 CARMEL AVE NE SUITE 401
ALBUQUERQUE NM 87122

BRENNAN MAUREEN A
5024 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

BRETON PATRICIA
5031 COSTA MARESME DR NW
ALBUQUERQUE NM 87102-5787

BRINKER MADELEINE O
5501 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2075

CARRILLO MEGHANN D
5509 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

CASADOS DENAE C & CRUZ JAVIS
4916 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

CHAVEZ SAUCEDO & ABELL DAVID
5036 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

CHAVEZ SHIRLEY S
5543 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2723

CHESHIRE KENNETH L
5520 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2782

CHESHIRE KRISTYN
9043 GUADALUPE TRL NW
ALBUQUERQUE NM 87114

CHRISTIANSEN FRANCES H & GENE M
HC 75 BOX 1152
LOS OJOS NM 87551

CLASSIC EMPORIUM LLC
10013 SAN BERNARDINO DR NE
ALBUQUERQUE NM 87122-3210

COLEMAN BOBBIE
PO BOX 67384
ALBUQUERQUE NM 87193

CONSTANCIA DEANNE M
5008 COSTA UASCA DR NW
ALBUQUERQUE NM 87122

COOLEY W LEON & MARLENE
5008 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2026

CORDOVA TIFFANY
5019 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

DAVIS GERALD E & NANCY C
5536 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2032

DEBLASSIE ROBERT T
5005 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

DEPETRO PAUL W & SUSAN I
5124 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

DEVARGAS ANGELICA D & BARAJAS ALBERTO
A & MORAGA EUGENE & AGNES
4900 CALLE ESPANA NW
ALBUQUERQUE NM 87120-1862

DOLE FLORA A
5504 COSTA VERDE RD NW
ALBUQUERQUE NM 87120

DOW FRANK ROBERT & TIFFANY ROSE
5316 CALLE GIRALDA NW
ALBUQUERQUE NM 87120-1866

DURAN ANTONIO & CRYSTAL
5520 DUERKSEN RD NW
ALBUQUERQUE NM 87120

DURAN MELISSA
5015 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

DURKIN JUSTIN S
5008 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

EASLEY AVERI NICOLE
4947 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5789

EERIKAINEN LEILA
5023 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

EITZMANN JAMES I
5523 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2723

EMMERICH WILLIAM K & MARGO G
4939 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

ESQUIBEL JESSICA R
5005 CALLE PARASOL NW
ALBUQUERQUE NM 87120-1868

ESTRADA FRANCESCA G
5035 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

FIELD KYLE A & DIANE K
5106 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

FIERRO ROBERT
5508 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2782

FINEGAN ELLEN L & FINEGAN-STEELE
CAROLYN JOY
4909 CALLE ESPANA NW
ALBUQUERQUE NM 87120-1861

FISCHER HAHM YOUNGCHOON J
5016 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-2017

FLORES OLIVIA & ANDREW P & SARA E
FLORES & ELISIE A FLORES
8748 SPRINGHILL DR NW
ALBUQUERQUE NM 87114

FTF SALLS LLC
PO BOX 67263
ALBUQUERQUE NM 87193

GALLAGHER MARY K
5509 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

GALLEGOS ANTHONY B
5024 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

GALLEGOS MATTHEW JACOB
5505 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

GARCIA PAT E
4927 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

GIARRATANO JOSEPH S
5516 DUERKSEN RD NW
ALBUQUERQUE NM 87120

GIDDINGS MICHELLE
4905 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5789

GOMEZ ANTONIO & ELOYDA
5027 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

GONZALES FRANCINE L
5519 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

GONZALES MICHAEL A
5535 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

GONZALES RAMON M & HENKE ROSS K
49 MILL RD NW
ALBUQUERQUE NM 87120

GRAY DIANE P
4935 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

GURULE STEVEN A
5531 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

HAMILTON WHITNEY L & BRENNAN COLIN J
5023 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

HARVEY CHARLES A
5524 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

HERBERTSON ELLEN D TR HERBERTSON RVT
11032 ACADEMY RIDGE RD NE
ALBUQUERQUE NM 87111-6869

HERNANDEZ LUIS H & ISAIAH L MARTINEZ
5512 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2032

HERRERA MIREYA
5043 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5791

HOFFMAN CAROL T
50 WIND RD NW
ALBUQUERQUE NM 87120

JACKSON JAMES B & DEBRA S
5532 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

JACKSON VIRGIL
5024 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

JANSON FELIZ & CHARLES R
4932 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-2719

JOHNSON MELISSA
5028 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

KIRKLAND PATRICIA A TRUSTEE KIRKLAND
TRUST
5004 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

KNIGHTON JAY & KHIGHTON JOE B
PO BOX 66143
ALBUQUERQUE NM 87193

KNOLL JAMES P & HELEN L
5015 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

KOURY JASON T & KOURY JOHN P &
DEBORAH M
5027 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-5787

LA LUZ DEL SOL LANDOWNERS ASSOC C/O
SENTRY MANAGEMENT
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111

LA LUZ DEL SOL LANDOWNERS ASSOC C/O
CAROL RICKERT & ASSOC
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111-3421

LA LUZ DEL SOL LANDOWNERS ASSOCIATION
C/O SENTRY MANAGEMENT
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111

LA LUZ DEL SOL LANDOWNERS ASSOCIATION
C/O CAROL RICKERT & ASSOCIATES
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111-3421

LAPP WALTER B
5539 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

LASATER BEVERLEY J C
5519 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2075

LIM JOHN T & JOY C TRUST
533 WASHINGTON ST NE
ALBUQUERQUE NM 87108

LIM JOHN T & JOY C TRUST
533 WASHINGTON SE
ALBUQUERQUE NM 87108

LINDELL BRUCE
3301 R COORS BLVD NW 135
ALBUQUERQUE NM 87120

LIPPONER ORIANA
40 WIND RD NW
ALBUQUERQUE NM 87120

LONG STEVEN M & JUDY A
17 OLD GALISTEO RD
SANTA FE NM 87508

LOPEZ MONICA L & ARNOLD M
4924 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

LOS PADRES LLC
PO BOX 16473
ALBUQUERQUE NM 87191-6473

LOUIS GILBERT M III
5531 COSTA VERDE RD NW
ALBUQUERQUE NM 87120

LOVELESS TAMARAH E
4928 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-2719

LU PING & CHU QI
9901 SAN BERNARDINO DR NE
ALBUQUERQUE NM 87122-3215

LUCRECIO JEREMY C & VALERIE J
5027 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5791

LUNA MARIAN
5036 OJOS AZUL CT NW
ALBUQUERQUE NM 87120-4981

MAESTAS ARTHUR E
5000 COSTA MARESME CT NW
ALBUQUERQUE NM 87120-5788

MAESTAS THERESE C
4931 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

MAIER FRANCES
5116 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

MAIER FRANCES L
5116 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

MARATTA SHERROL P
3301 R COORS BLVD NW 121
ALBUQUERQUE NM 87120

MARQUEZ CARMEL G
4827 HAYDEN PL NW
ALBUQUERQUE NM 87120

MARQUEZ ELOY E ETUX
5801 NORTHVIEW LN NW
ALBUQUERQUE NM 87120-2039

MARTIN DAVID R & NANCY L
5001 CALLE PARASOL NW
ALBUQUERQUE NM 87120-1868

MAYES RICHARD A & LILA F
5505 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

MERCER PATRICIA L
5009 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

MICHAEL MANNING & ANDREA
5012 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

MILLER ROLEN A & LUCERO PAUL D
5315 CORTE ALCAZAR NW
ALBUQUERQUE NM 87120-1865

MONARSKI BRANDON & SARAH
5508 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

MONTOYA LISA M
5005 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

MVS DEVELOPMENT LLC
P O BOX 27560
ALBUQUERQUE NM 87125-7560

MVS DEVELOPMENT LLC
P O BOX 27560
ALBUQUERQUE NM 87125-7560

NASH NATHANIEL ADAM & AMBER RAE
5004 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2026

NELSON MATTHEW S & BROOKE E
5500 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2032

NGUYEN QUAT
4848 STAFFORD PL NW
ALBUQUERQUE NM 87120

NIENOW JUDITH M
5009 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-5787

NUANES RONALD LAWRENCE
4920 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

OLIVER LAWRENCE R & L BESS
5524 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

OTERO RAYMOND J & MONICA M
5100 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2024

OVENWEST CORPORATION ETAL C/O ROY A
GRAHM
1 WIND RD NW
ALBUQUERQUE NM 87120-1914

PADILLA PETER S
5028 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

PALACIOS DEAN J & SARAH M TRUJILLO
PALACIOS & TRUJILLO OLIVER S & HELEN D
5035 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

PECHA SHARON E
217 CONCHAS ST NE
ALBUQUERQUE NM 87123-2703

PEREA JEREMY
5516 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2032

PIPPY RICHARD JOSEPH
5520 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

PLAMAN MICHAEL & JILL K
3316 VISTA DEL SUR ST NW
ALBUQUERQUE NM 87120-1546

PLUMMER MATTHEW D & TAMARA D
5023 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

POMPA LESLEY E
5032 SAL DE TOMAS DR NW
ALBUQUERQUE NM 87120

PONGETTI J VICTOR & RITA A
5012 NORTHERN TRL NW
ALBUQUERQUE NM 87120-2026

POPP DENNIS
5528 COSTA VERDE RD NW
ALBUQUERQUE NM 87120

PRECIADO JOSE I TRUSTEE PRECIADO LVT &
HARTKE BARBARA H TRUSTEE HARTKE TRUST
5512 COSTA UERDE RD NW
ALBUQUERQUE NM 87120

PULTE HOMES OF NEW MEXICO INC
7601 JEFFERSON ST NE SUITE 180
ALBUQUERQUE NM 87109

PUTELLI MICHAEL JAMES
5512 DUERKSEN RD NW
ALBUQUERQUE NM 87120-1912

QUEZADA R N
1105 VISTA GRANDE NW
ALBUQUERQUE NM 87105

REINHARDT ROBERTA
5039 COSTA UASCA DR NW
ALBUQUERQUE NM 87102

REYES CARLOS R & SANDOVAL-REYES ALICIA
4909 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5789

RHETT ASHLEY HOMES LLC C/O JOHNSTON
TESSA
5035 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

RHETT ASHLEY HOMES LLC C/O KRAEMER
RICHARD
5250 QUEMAZON
LOS ALAMOS NM 87544-1752

RIVAS SOCORRO
207 LAGUNITAS RD SW
ALBUQUERQUE NM 87105-7577

ROMERO BONNIE K TRUSTEE ROMERO RVT
6304 CRABTREE CT NW
ALBUQUERQUE NM 87120

ROZZL ANITA A
5039 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

RUSCETTI JEFFREY T
5001 COSTA MARESME DR NW
ALBUQUERQUE NM 87120

SALAZAR MADELYN C
5020 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

SANCHEZ JOSEPH P
5500 COSTA UERDE RD NE
ALBUQUERQUE NM 87120

SANDOVAL MOISES T & BRENILDA
5504 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120-2032

SANDOVAL PHYLLIS DIANE
5012 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

SCHROEDER GREGORY A & SCHROEDER GARY
R & MARY ANN
5540 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

SEIS JENNIFER
5527 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2723

SERRANO JASON M
5012 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

SEWELL MARIA E
5004 COSTA UASCA DR NW
ALBUQUERQUE NM 87120-5790

SHEPARD TRAVIS G & ASHLEY N
5527 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

STAGEN INVESTMENTS LLC
9916 WILD TURKEY DR NW
ALBUQUERQUE NM 87114

STANDLEY CHRISTOPHER J & VICTORIA R
5036 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

STEWART ROBERT N & EAVES-STEWART
BARBARA
4912 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-2719

STONE NANCY L
5023 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

SYKES ROBERT A
4919 CALLE ESPANA NW
ALBUQUERQUE NM 87120-1861

TAFOYA BENJAMIN V & YVETTE KATHLEEN
5040 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

TAFOYA IVY H & TAFOYA YVETTE K &
BENJAMIN V
5515 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2723

TOBIAS MAGDA
5039 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

TRUETT JACOB
5024 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120-2722

VALDEZ THOMAS BRIAN
5027 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

VANDYKE LINDSEY M
5532 COSTA UERDE RD NW
ALBUQUERQUE NM 87120-2782

VARELA BRIAN R
4943 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

VAUGHAN MARK S
5009 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120

VIGIL JOSEPH
5032 COSTA UASCA DR NW
ALBUQUERQUE NM 87120

VISTA DE LA LUZ HOMEOWNERS ASSOC
7400 HANCOCK CT NE SUITE B
ALBUQUERQUE NM 87109

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1883

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1883

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1883

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87113-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1881

VISTA DE LA LUZ HOMEOWNERS ASSOC INC
8500 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1881

VISTA REALTY TRUST C/O CHARLES C HAJJAR
TRUSTEE
30 ADAMS ST
MILTON MA 02186-3412

VISTA REALTY TRUST C/O CHARLES C HAJJAR
TRUSTEE
30 ADAMS ST
MILTON MA 02186-3412

VOELKER DOUGLAS G & WENDY C
9710 SAN FRANCISCO RD NE
ALBUQUERQUE NM 87122-3205

WARD RICHARD F JR
5536 COSTA VERDE RD NW
ALBUQUERQUE NM 87120

WARD TAKISHA S & JEREMY R
5015 COSTA MARESME DR NW
ALBUQUERQUE NM 87120-5787

WEBER DARLENE
5016 SALA DE TOMAS DR NW
ALBUQUERQUE NM 87120-2722

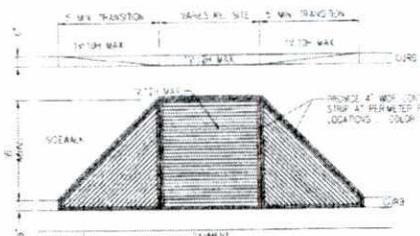
WHETSTONE PATRICIA J
5032 OJOS AZUL CT NW
ALBUQUERQUE NM 87120

WICKENS TAYLOR B
5515 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

WILSON SAMANTHA
5523 COSTA GARRAF RD NW
ALBUQUERQUE NM 87120

ZIA TRUST INC CUST FOR BOWEN KRISTI L
2850 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87107

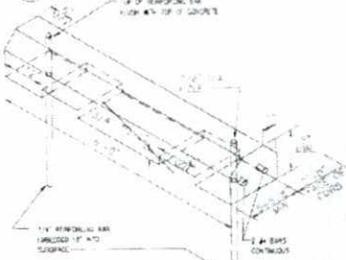
SITE PLAN REDUCTIONS



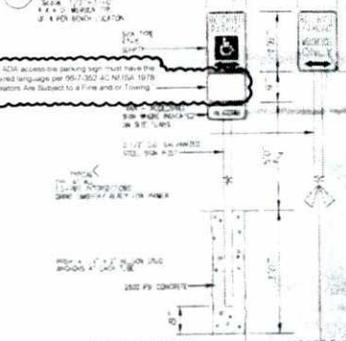
- ENCLOSURE NOTES**
1. ST. UDL. WALL WITH 2 COAT. ENCL. STUCCO
 2. 1/2\"/>
 - 3. 1/4\"/>
 - 4. 1/4\"/>
 - 5. 3/8\"/>
 - 6. 1/4\"/>
 - 7. 1/4\"/>
 - 8. 1/4\"/>
 - 9. 1/4\"/>
 - 10. ASPHALT FINISHING
 - 11. DRAINAGE COLLS. SOLID BELOW GRADE. TYPICAL

7 ENCLOSURE NOTES
Scale: N.T.S.

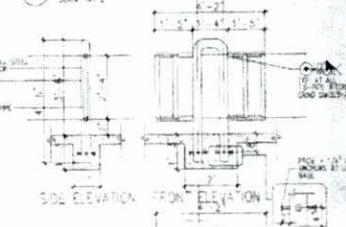
1 H.C. RAMP
Scale: N.T.S.



2 WHEEL STOP
Scale: 1/2\"/>



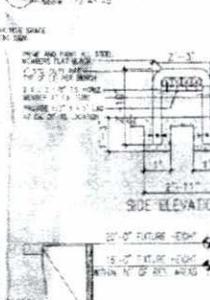
3 H.C./MOTOR CYCLE SIGN DETAIL
Scale: N.T.S.



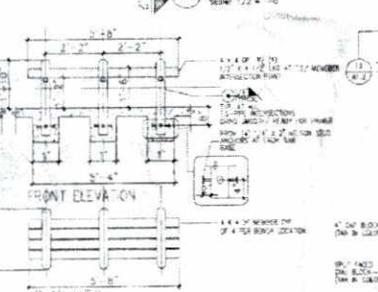
4 BIKE RACK
Scale: N.T.S.



5 BOLLARD DETAIL
Scale: 1/2\"/>



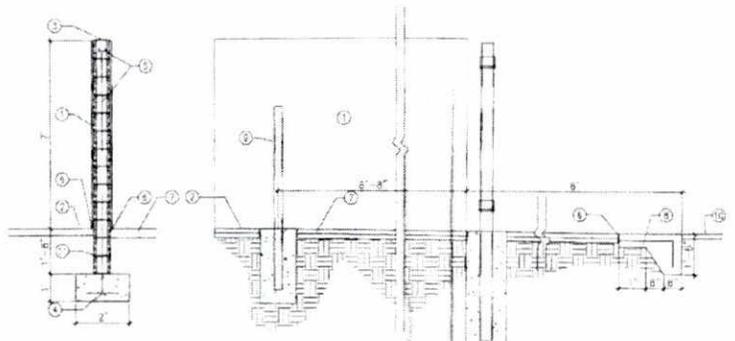
8 DUMPSTER PLAN
Scale: 1/2\"/>



4A BENCH DET.
Scale: N.T.S.

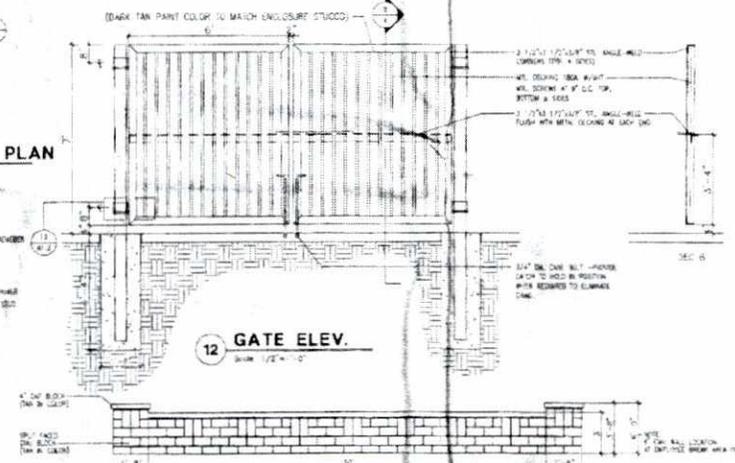


9 H.C. TYP. PARKING DET.
Scale: 1/4\"/>

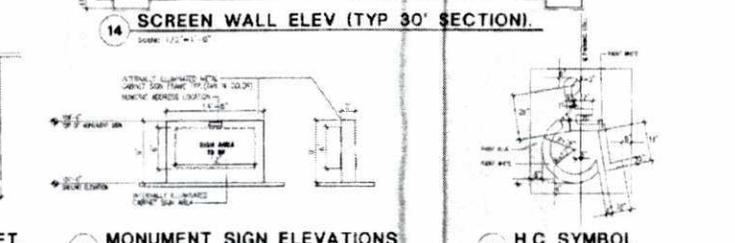


10 DUMPSTER SEC
Scale: 1/2\"/>

11 DUMPSTER SEC
Scale: 1/2\"/>

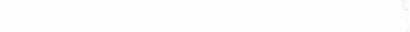


12 GATE ELEV.
Scale: 1/2\"/>



14 SCREEN WALL ELEV (TYP 30' SECTION)
Scale: 1/2\"/>

13 MONUMENT SIGN ELEVATIONS
Scale: N.T.S.



9A H.C. SYMBOL
Scale: N.T.S.



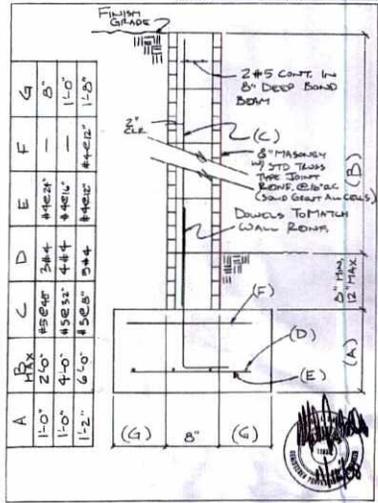
REV	DATE	BY	REVISION

GEORGE RANHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO AVE. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VISTAS DE LA LUZ COMMERCIAL
DATE	8/1/2006
SCALE	A3.0
PROJECT MANAGER	ALAN L. LUTZ
DESIGNER	
CHECKER	
DATE	
SCALE	
PROJECT TITLE	SITE DETAILS

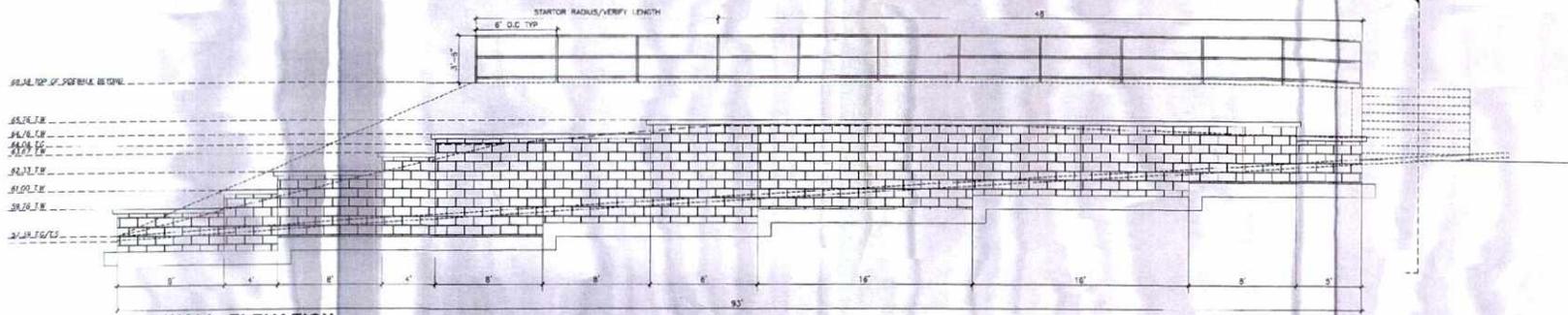
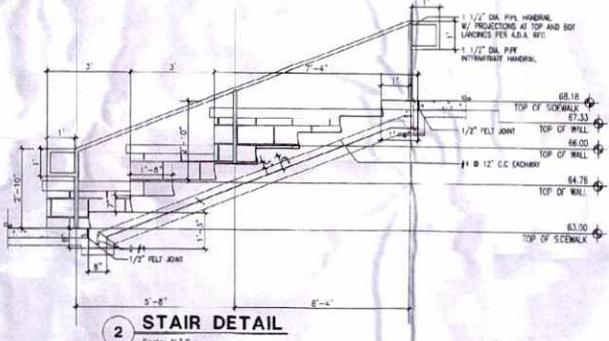
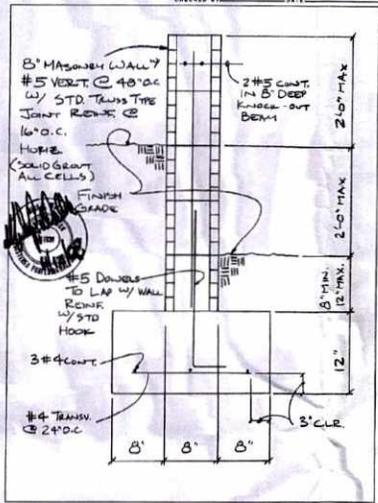
Walla

PROJECT NO. 2
 JOB VISTA DE LA LUZ
 SUBJECT RETAINING WALL
 CLIENT FIDELITY
 ARCHITECTURE
 201408
 11/15/08
 CHECKED BY: DATE



Walla

PROJECT NO. 2
 JOB VISTA DE LA LUZ
 SUBJECT RETAINING WALL
 CLIENT FIDELITY
 ARCHITECTURE
 201408
 11/15/08
 CHECKED BY: DATE



1 WALL ELEVATION
 Scale: 1/4"=1'

REV	DATE	BY	REVISION

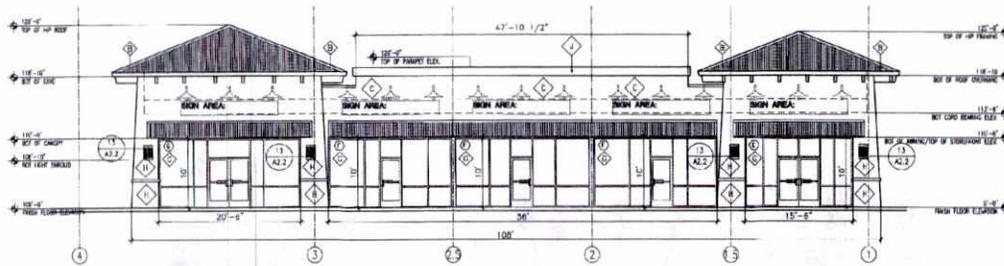


GEORGE RANHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9700 FAX (505) 837-9877

PROJECT TITLE	VISTA DE LA LUZ COMMERCIAL
DATE	9/1/08
SCALE	A1.4
1"=30'	of

PROJECT MANAGER	STEPHEN DUNBAR, A.A.
JOB NO.	
DRAWN BY	
SHEET TITLE	DETAILS

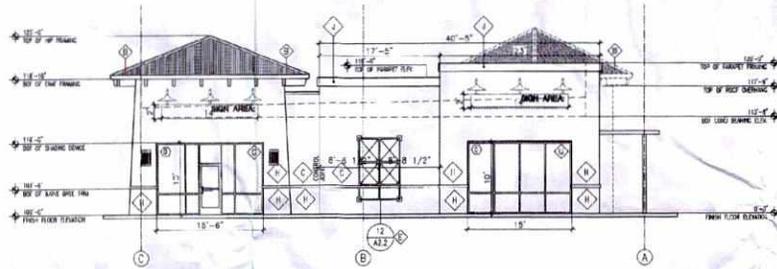
DATE	9/1/08
SCALE	A1.4
1"=30'	of



1 WESTERN ELEV.



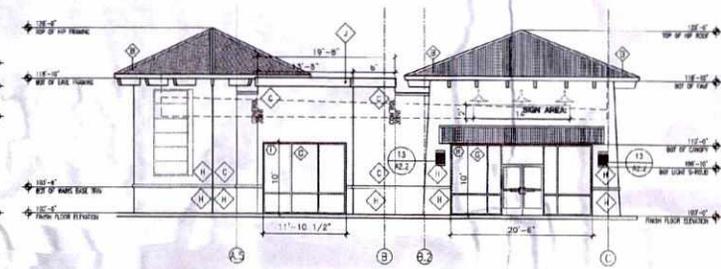
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
 1. 2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED W/OD TENANT SPACE



2 SOUTHERN ELEV.



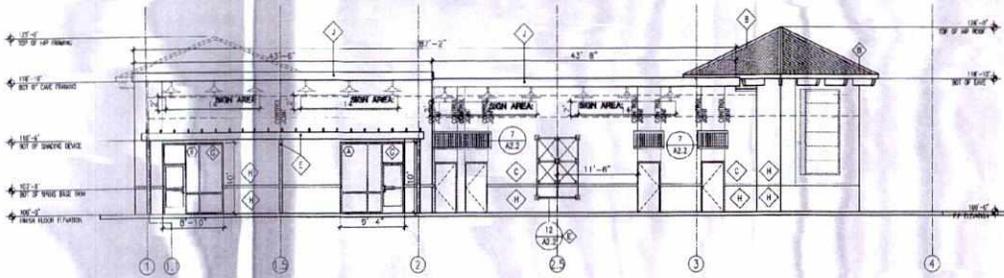
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
 1. 2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED W/OD TENANT SPACE



3 NORTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
 1. 2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED W/OD TENANT SPACE



3 SOUTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
 1. 2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED W/OD TENANT SPACE

Keyed Color / Material Schedule

◊ CALLED STONE	3 NORTH MATERIAL SYSTEM PRODUCTS
◊ 370-SPRUC SYSTEM	AMAZON RUSTIC LEASE
◊ MISC. ROOFING	BY ALUMINUM INC.
◊ 370-SPRUC SYSTEM	MOROCCO STONE SIL/OP
◊ 370-SPRUC SYSTEM	TELA MATERIALS 40 TN
◊ 370-SPRUC SYSTEM	(NON REFLECTIVE)
◊ 370-SPRUC SYSTEM	370-COLOR 20216
◊ 370-SPRUC SYSTEM	(SHOWN)
◊ WALL FINISH COLOR	SHIMMER MILLIAMS OR BENJAMIN MOORE
◊ WALL FINISH COLOR	PARIS WHITE SR 6099
◊ WALL FINISH COLOR	WHITE COLOR
◊ WALL FINISH COLOR	SHIMMER MILLIAMS
◊ WALL FINISH COLOR	SHIMMER GRAY SR 6144
◊ WALL FINISH COLOR	(LIGHT GREY COLOR)
◊ WALL FINISH COLOR	WHITE FINISH WIN SYSTEM
◊ WALL FINISH COLOR	GLAZING
◊ WALL FINISH COLOR	SHIMMER MILLIAMS
◊ WALL FINISH COLOR	SHIMMER TAL DE 6144
◊ WALL FINISH COLOR	(SHOWN)
◊ WALL FINISH COLOR	SHIMMER MILLIAMS
◊ WALL FINISH COLOR	SHIMMER RARE SR 6150
◊ WALL FINISH COLOR	(SHOWN)
◊ 370-SPRUC SYSTEM	(SHOWN)
◊ MISC.	SHIMMER MILLIAMS
	(NON REFLECTIVE)

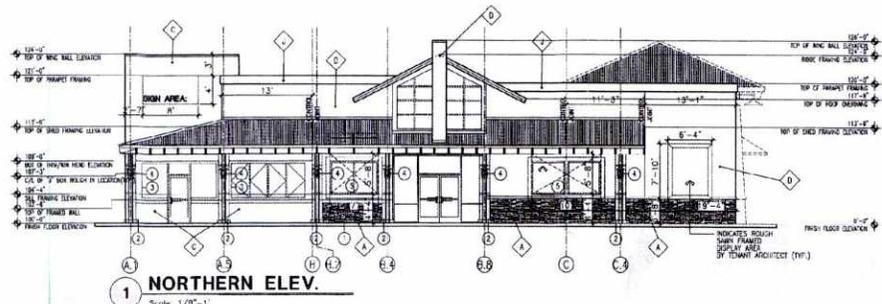
REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 218
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 336-1499 FAX (505) 336-1498
 TOLL FREE 1-866-224-2161



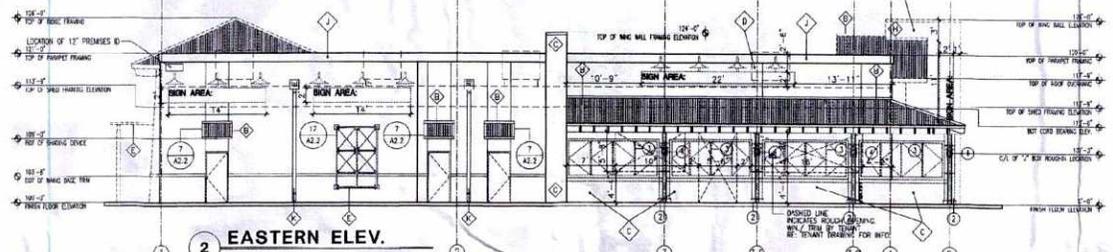
PROJECT TITLE	SHOPS-2 VISTAS DE LA LUZ
S.E.C. OF CODES AND STANDARDS	PROJECT, MEET RECORD
DATE	05/11/2016
SCALE	VARIES
DATE	05/11/2016
SCALE	A4.0
DATE	05/11/2016
SCALE	VARIES

ELEVATIONS



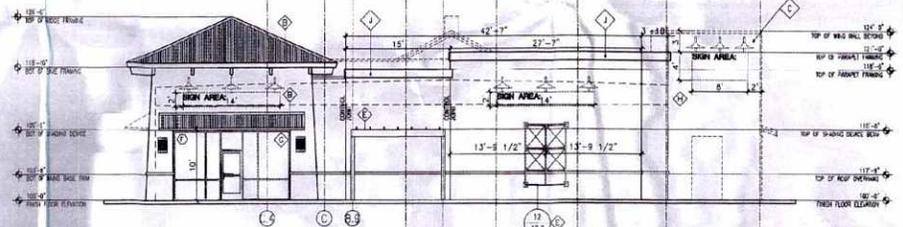
1 NORTHERN ELEV.
Scale: 1/8"=1'

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
① 1/2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED INTO TENANT SPACE



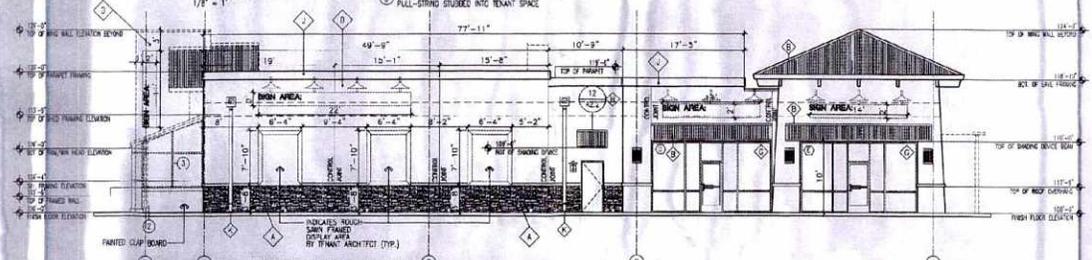
2 EASTERN ELEV.
Scale: 1/8"=1'

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
① 1/2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED INTO TENANT SPACE



3 SOUTHERN ELEV.
Scale: 1/8"=1'

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
① 1/2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED INTO TENANT SPACE



4 WESTERN ELEV.
Scale: 1/8"=1'

NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR.
① 1/2" BOX LOCATION W/ CONDUIT AND FULL-SHINE STUBBED INTO TENANT SPACE

- ① INDICATES STONE VENEER BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- ② INDICATES COLUMN FINISHING BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- ③ INDICATES SILL CAP AND WINDOW SYSTEM BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- ④ INDICATES 1/2" BOX FINISH IN LOCATION AT 7'-3" A.F.F. FOR FUTURE FINISH BY OTHERS. RE: TENANT DRAWINGS FOR FUTURE INFO.
- ⑤ INDICATES WINDOW BY OTHER WITH ROUGH OPENING LOCATION. RE: TENANT DRAWINGS FOR FUTURE INFO.

Keyed Color / Material Schedule	
①	COLORADO STONE SYNTHETIC STONE VENEER
②	1/4" NORTH NATURAL STONE PRODUCTS "MAZON RUSTIC LEUCE" BY: MAZON, INC.
③	"WOODCOCK" STONE SILL/CAP METAL MATERIALS AND TIN VARIOUS COLORS (NON-REFLECTIVE)
④	STO-STUCCO SYSTEM
⑤	STO-COLOR 20518 (BROWN)
⑥	STO-STUCCO SYSTEM
⑦	SHERRIN WILLIAMS OR BENJAMIN MOORE CASCADING SW 6124 BY 45° S (LIGHT BROWN) (LUSH BROWN)
⑧	SHERRIN WILLIAMS MISC METAL (WHITE COLOR)
⑨	SHERRIN WILLIAMS MISC METAL (LIGHT GREY COLOR)
⑩	PANPLA COAT WHITE ALUMINUM STIFFENING W/ CLEAR NON-REFLECTIVE GLAZING
⑪	WHITE FINISH MR 31514W (BROWN)
⑫	SHERRIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
⑬	SHERRIN WILLIAMS UNIVERSAL KAMI SW 6150 (BROWN)
⑭	STO-STUCCO SYSTEM (DARK RED)
⑮	CONCRETE/PAINT (HIGH REFLECTIVE)

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 SUITE 2-B
 2325 SAN PEDRO N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

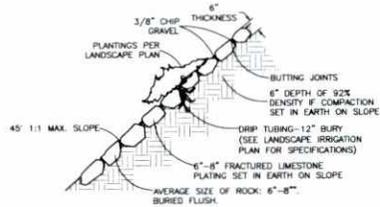
PROJECT TITLE
 SHOPS-VIVISTAS DE LA LUZ
 S.W. OF COORS AND LA SALLE
 PROJECT MANAGER
 STEPHEN DUNBAR, AIA
 JOB NO.
 DRAWN BY
 S

SHEET TITLE
ELEVATIONS

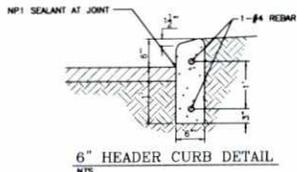
DATE: 12/05/08
 SCALE: VARIES
 SHEET: **A4.0**
 OF:

DRAINAGE NARRATIVE

THIS SITE IS GOVERNED BY THE MASTER DRAINAGE PLAN PREPARED BY MARK GOODWIN AND ASSOCIATED (6/14/08). PER THE GOVERNING PLAN, THIS SITE DRAINS TO THE SAN ANTONIO ARROYO VIA A PRIVATELY MAINTAINED STORM DRAIN. THE ORIGINAL PLAN DID NOT INCORPORATE FIRST FLUSH FEATURES. THE AREA OF NEW IMPROVEMENT WILL INCORPORATE THE REQUIRED FIRST FLUSH. THE REMAINING SITE WILL CONTINUE TO DRAIN IN ACCORDANCE WITH THE APPROVED PLAN. THE PROPOSED PARKING LOT HAS AN INCREASE IN PAVEMENT OF 16420 SF. THEREFOR THE SITE WILL RETAIN ONSITE 465 CUBIC FEET.

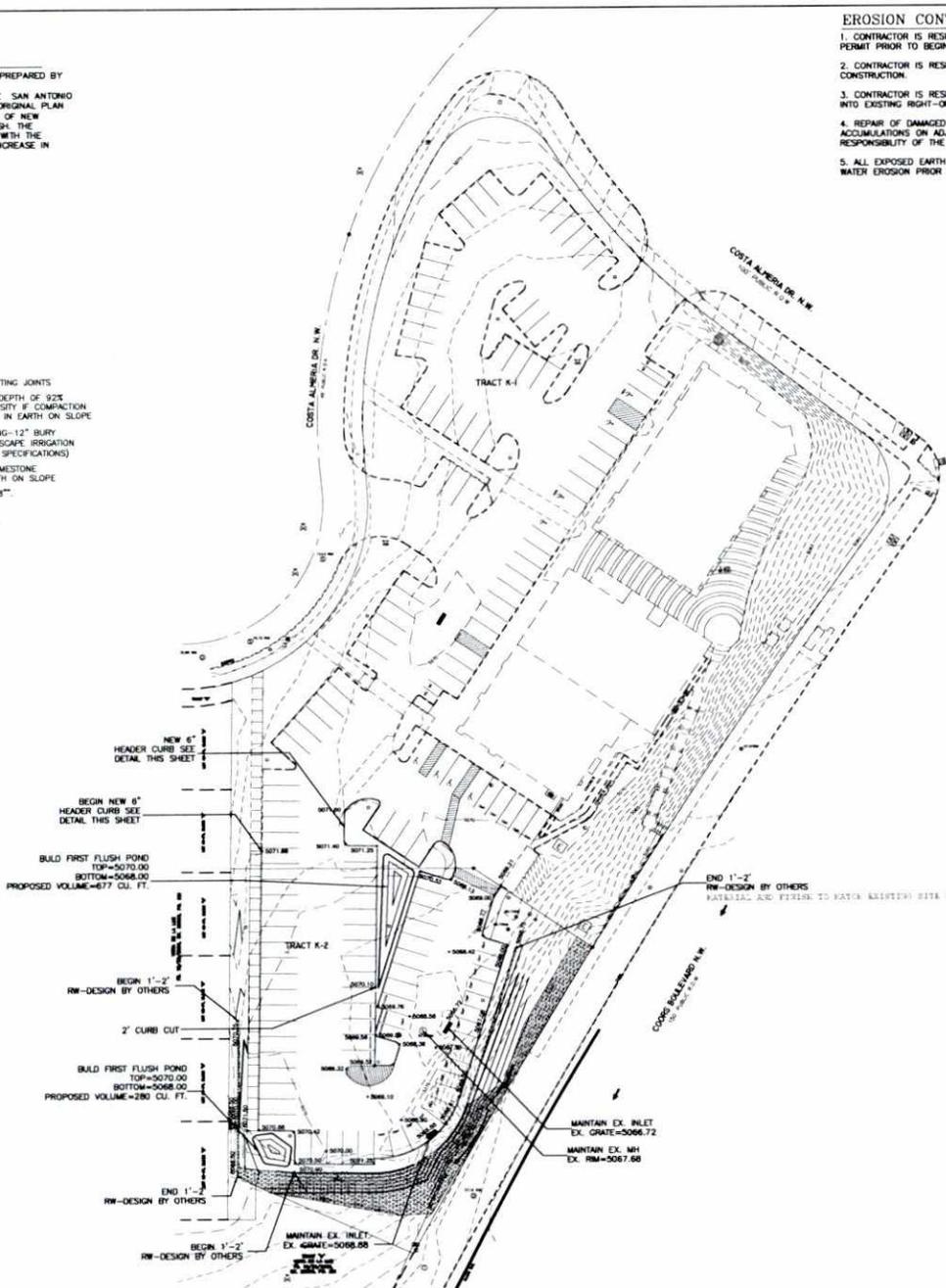


ROCK PLATING DETAIL
NTS

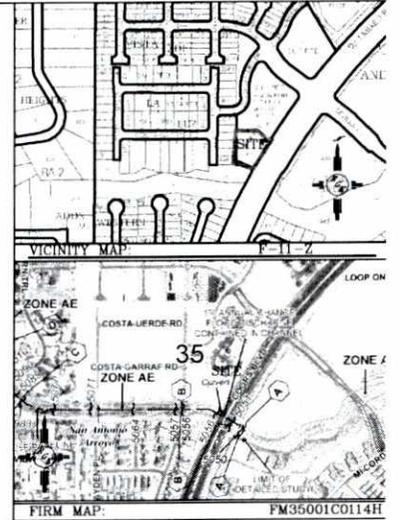


6" HEADER CURB DETAIL
NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
Tract K-2 and a portion of Tract K-1, Plat for Visto De La Luz Commercial

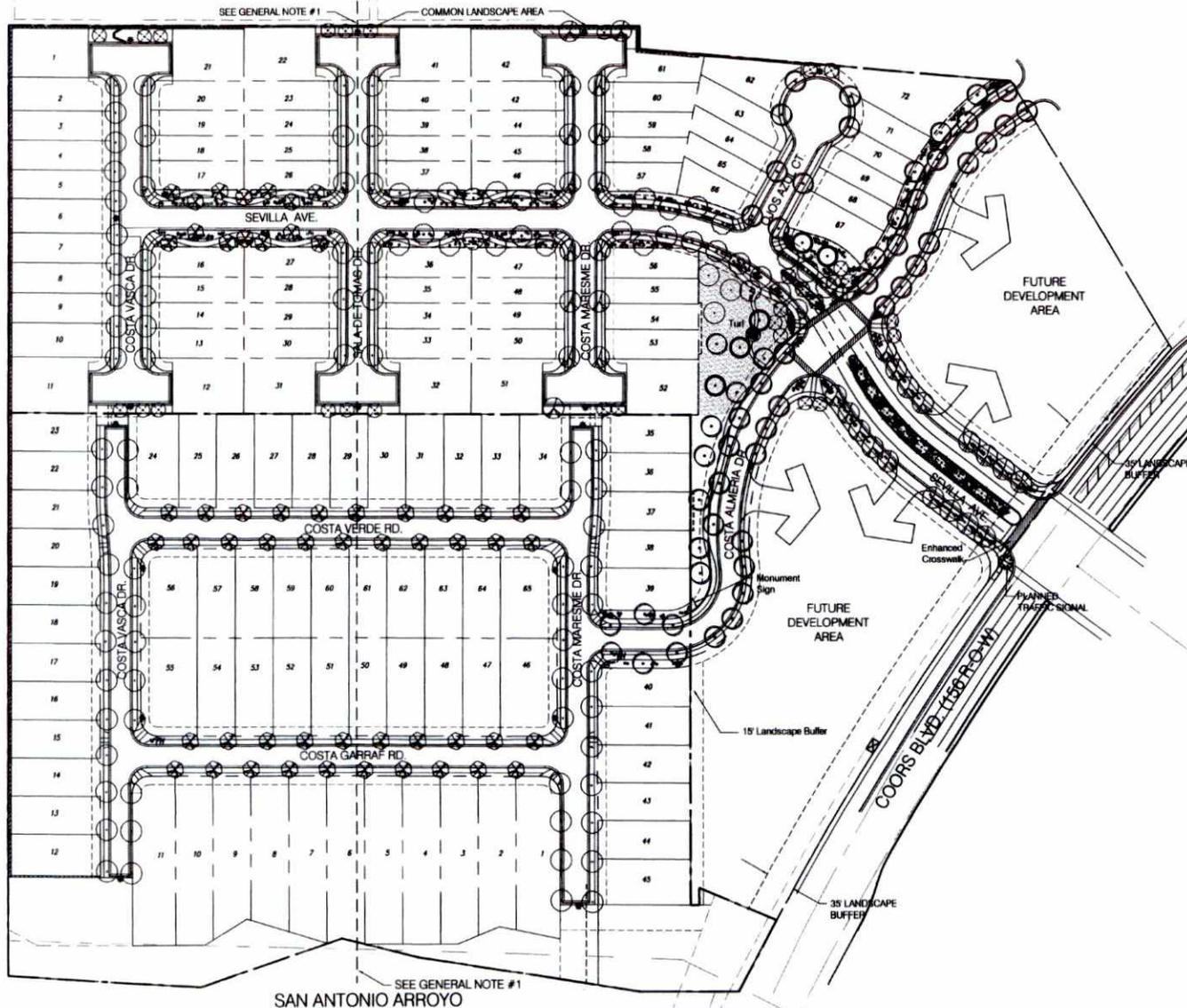
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FINISH ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 5. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 8.

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
+	EXISTING SPOT ELEVATION
x	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS)
---	ROCK PLATING SEE DETAIL THIS SHEET



ENGINEER'S SEAL	VISTAS DE LA LUZ COMMERCIAL GRADING AND DRAINAGE PLAN	DRAWN BY: MCM/JL
		DATE: 9-05-17
		SHEET #
DATE: 9-5-17	1000 CENTENNIAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 875-0999	JOB # 21644



PLANT LEGEND

Symbol	Scientific Name Common Name	Water Use	Size
Trees			
⊗	<i>Cercis occidentalis</i> Western Redbud (WR)	Medium	20'ht x 20'apr
⊗	<i>Parus californicus</i> 'Devland' Flowering Pear (FP)	Medium+	45'ht x 30'apr
⊗	<i>Robinia ambigua</i> Purple Robe Locust (CP)	Medium	30'ht x 30'apr
⊗	<i>Koeleria paniculata</i> Golden Rain Tree (GR)	Low	25'ht x 25'apr
⊗	<i>Gleditsia triacanthos</i> 'Moraine' Honey Locust 'Moraine' (HL)	Low+	30'ht x 30'apr
⊗	<i>Pinus leucodermis</i> Bonnie Pine (BP)	Low+	25'ht x 15'apr
⊗	<i>Chilopsis linearis</i> Desert Willow (DW)	Low+	20'ht x 25'apr
Shrubs/Grasscovers			
○	<i>Amorpha canescens</i> Leadplant (LP)	Medium	2'ht x 3'apr
○	<i>Artemisia canescens</i> Silver Spreader (SS)	Medium	2'ht x 2'apr
○	<i>Baccharis stricta</i> 'Thompson' Dwarf Copalobus (DC)	Medium	2'ht x 4'apr
○	<i>Berberis thunbergii</i> 'A. Nano' Crimson Pigmy Barberry (CB)	Low	2'ht x 2'apr
○	<i>Caryopteris clandonensis</i> Blue Mist (BM)	Low+	3'ht x 3'apr
○	<i>Nandina domestica</i> Dwarf Heavenly Bamboo (HB)	Low+	2'ht x 2'apr
○	<i>Penstemon ambiguus</i> Sand Penstemon (SP)	Medium	2'ht x 2'apr
○	<i>Pinus mugo mugo</i> Mugo Pine (MP)	Low+	4'ht x 4'apr
○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil (CF)	Medium	3'ht x 3'apr
○	<i>Raphiolepis indica</i> India Hawthorn (IH)	Medium	3'ht x 4'apr
○	<i>Rosmarinus officinalis</i> Rosemary (RM)	Low	3'ht x 3'apr
○	<i>Salvia greggii</i> Cherry Sage (CS)	Medium	3'ht x 3'apr
○	<i>Salvia leucanthalva</i> Lavender Sage (LS)	Low	2'ht x 2'apr
○	<i>Santolina virens</i> Green Santolina (GS)	Medium	2'ht x 3'apr
○	<i>Syringa patula</i> Lilac (LL)	Low	6'ht x 6'apr
Ornamental Grasses			
○	<i>Aristida purpurea</i> Purple Threeawn (PT)	Low	2'ht x 1'apr
○	<i>Muhlenbergia cap.</i> 'Regal Mist' Muhly Grass (MG)	Low	3'ht x 3'apr
○	<i>Miscanthus sinensis</i> Maiden Hair Grass (MH)	Low	5'ht x 4'apr
○	Moss Rock Boulder (3' x 3' min.)		

LANDSCAPE PLAN
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
T.S. McNaney & Associates
5111 San Mateo Blvd. NE Suite A-1
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

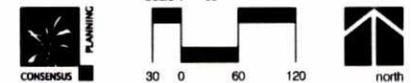
IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and grasscover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

LANDSCAPE NOTE
Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant.

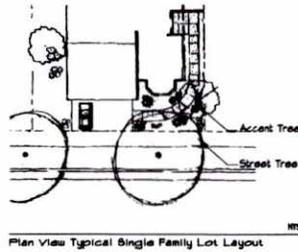
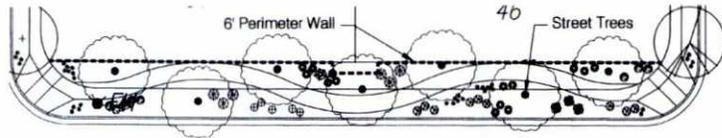
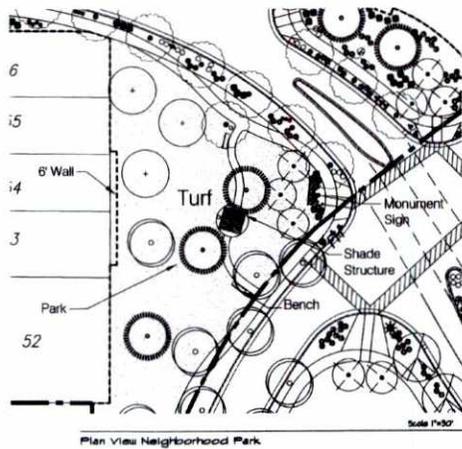
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

GENERAL NOTE:
1. Trees west of the N-S dashed line shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.



August 23, 2006

Sheet 2 of 67



MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ SINGLE FAMILY HOMES.

- 2 Accent Tree
- 1 Street Tree
- 5 Shrubs (min. 5 gallon)
- 10 Shrubs (min. 1 gallon)
- 3 Landscape Boulders (3' x 3' min.)

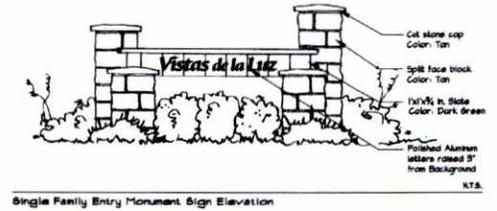
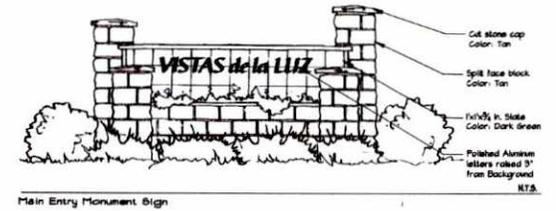
In addition all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-U.

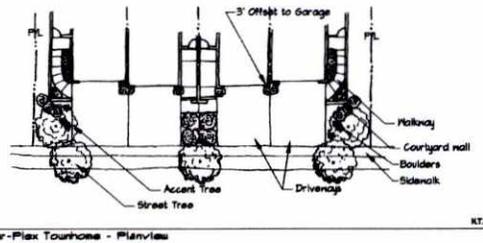
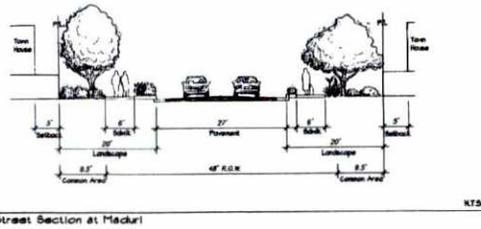
The following approved accents can be used for front yard landscaping:

- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



Planting Detail Along Mäduri

Scale 1"=30'



MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ TOWNHOMES.

- 1 Accent Trees
- 1 Street Tree (not required in front of units with attached garages)
- 4 Shrubs (min. 5 gallon)
- 5 Shrubs (min. 1 gallon)
- 2 Landscape Boulders (3' x 3' min.)

In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-U.

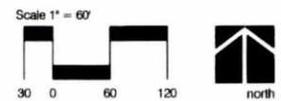
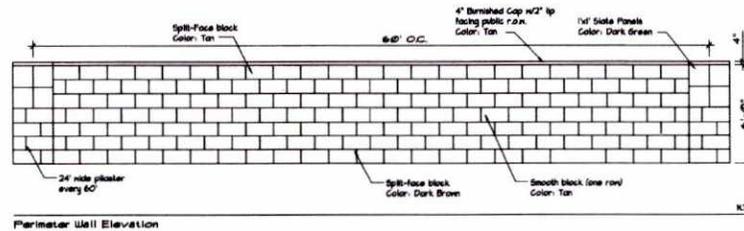
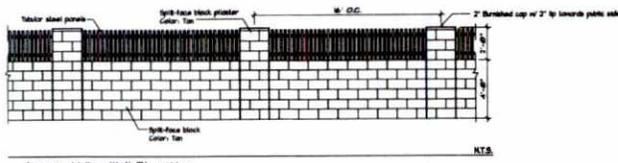
The following approved accents can be used for front yard landscaping:

- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)

**LANDSCAPE PLAN DETAILS
VISTAS de LA LUZ
SUBDIVISION**

Prepared by:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



August 1, 2006

Vistas de La Luz Design Standards

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The primary goal for this property is to achieve a mixed-use, mixed-density community. The Design Standards are intended to help facilitate the design of buildings which respect the natural conditions of the site and maintain and highlight the views of the Sandia and Mariposa Mountains.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting and signage that will create the visual image desired for Vistas de La Luz. They are intended to be complementary to the surrounding area. These standards address the entire project, which includes non-residential (i.e. commercial and office) and the residential (single-family and townhome) development. This Site Plan for Subdivision shall comply with all design regulations in the Coors Corridor Plan.

Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(B) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

I. PEDESTRIAN AND SITE AMENITIES

The creation of a pedestrian-friendly environment will be a primary design objective for Vistas de La Luz. Objectives to achieve this goal include maintaining a high quality and consistency in site for amenities including benches, walkways, lighting, etc. Landscaped private common areas shall be provided where the residents of the development can gather and enjoy the space.

Trails and sidewalks systems will be provided at Vistas de La Luz. The City's Trails and Sidewalks Facility Plan proposes a Primary Trail to cross underneath Coors Boulevard and follow the San Antonio Arroyo. Vistas de La Luz will provide a connection to this future trail from its southern property line, which will connect to the City's overall trail system.

- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible).
- Sidewalks along Median Avenue and Vidal Drive shall be six feet in width. All other sidewalks shall be four feet in width.
- Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks and pathways.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles.
- Restaurants shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Non-residential projects shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicular conflicts. Pedestrian access shall be provided to the structures to the public sidewalk.

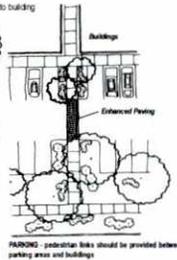


PEDESTRIAN AREAS - should include shade trees

II. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land.

- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 40% more.
- Parking areas shall be designed to include a pedestrian link to buildings.
- Parking area setback shall be a minimum of 15 feet to allow for an appropriately landscaped landscape buffer adjacent to roadways.
- Landscaping for screening purposes shall be provided where parking is adjacent to roadways. Screen walls, if used, shall be architecturally compatible with the surrounding buildings and shall not exceed 3 feet in height.
- Parking shall be placed on at least 2 sides of a building.
- Large parking areas shall not dominate street frontages.
- In order to lessen the visual impact of parking areas, parking facilities should be broken into a series of smaller areas.



PARKING - pedestrian links should be provided between parking areas and buildings

III. BUILDING STANDARDS

All development (non-residential, townhomes, and single-family residential) shall comply with the following building standards, except where noted:

- ROOF COLORS AND MATERIALS**
 - Roofs may be flat, pitched, or combination of both and shall be made of non-reflective materials. Non-metal roof colors shall be limited to sand, tan, brown, and sage green.
 - Metal roofs may only be used on non-residential buildings as accents and colors shall be limited to green, brown, and silver.
- ACCESSORY BUILDINGS AND REMODELS**
 - All accessory buildings and/or building remodeling under 200 square feet are permitted without special approval from the City. Projects that are larger than 200 square feet are required to apply for administrative approval from the City Planning Director.
- BUILDING HEIGHTS**
 - All non-residential building heights shall be limited to the regulations for the O-1 zoning district from the City Comprehensive Zoning Code.
 - Residential building heights shall not exceed 25 feet in height and shall be consistent with City Comprehensive Zoning Code, unless otherwise restricted as described below.
 - All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
 - Lots 10, 11, 24, 25, 55, and 56 of the single family detached areas (south) shall have a finished pad elevation a minimum of 18 feet below the top of the western-most perimeter wall. In addition, Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall be 1-story.
- Highly reflective surfaces shall be screened from public view.
- Stucco shall be the primary building material. Stucco colors shall be limited to shades of brown, tan, sage green, and sand. High intensity colors, such as metallics, black or fluorescent colors are prohibited as predominant colors on facades.
- Accent colors in entry portals, front door window frames and trim, and other incidental elements shall be shades of white, blue, brown, and green.
- Windows may be wood, metal or solid vinyl. All windows on non-residential buildings that are visible from nearby streets and paths shall be glazed with clear, non-reflective glass. Reflective film is prohibited.
- Exterior doors, including garage doors, shall be stained or painted wood, or painted metal.
- The minimum residential lot size is 2,700 square feet for the townhouse lots in the north area of the subdivision and 4,500 square feet for the single family detached lots in the south area of the subdivision.
- NON-RESIDENTIAL**

Permissive land uses are per the PRD, O-1, and C-1 zones. Conditional uses in the O-1 and C-1 zones are prohibited. In addition, some permissive uses within the O-1 and C-1 zones have been further restricted as listed on Sheet 1, General Notes.

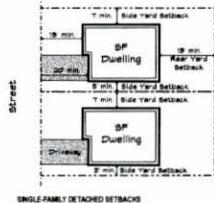
 - All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive Zoning Code, as well as all other local building and fire codes.
 - Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
 - Generic franchise building elevations or canopies are prohibited.
 - No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings and canopies, if used, shall be integrated with building architecture.
 - Maximum building height shall be per the O-1 zone in the Comprehensive Zoning Code.
 - Entry ways to non-residential buildings shall be clearly defined.
 - The maximum floor area ratio shall be 0.25.

IV. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks shall be pedestrian walkways and screening materials, including landscaping and walls. All development at Vistas de La Luz shall comply with the setback requirements of the Coors Corridor Plan.

A. SINGLE FAMILY DETACHED

- Minimum Front Yard Setbacks: 15 feet, except 20 feet for garage doors. For houses with a three car garage, the third garage shall meet the minimum front yard setback.
- Minimum Rear Yard Setbacks: 15 feet.
- Minimum Side Yard Setbacks: 3 feet on one side and 7 feet on the opposite side, for a total separation of 10 feet between single family units, 10 feet on the street side of corner lots.
- TOWNHOMES**
 - Minimum Front Yard Setbacks: 15 feet, except 20 feet for garages.



SINGLE-FAMILY DETACHED SETBACKS

- Minimum Rear Yard Setbacks: 15 feet.
- Minimum Side Yard Setbacks: Zero lot line is allowed, 10 feet on the street side of corner lots and 5 feet from a side lot line separating the townhome area from the single family detached area.
- GARAGES**
 - In order to de-emphasize the garages, the building setbacks shall be staggered as follows:
 - In the single-family detached area (south), no more than 3 houses in a row with garages facing the street can have the same setback. The maximum offset for houses shall be 3 feet.
 - For the townhouse area (north), architectural features (courtyard walls) have been added to the units that project in front of the garages and garages are offset by 3 feet.
- NON-RESIDENTIAL**
 - Setbacks shall comply with the setback requirements of the O-1 zone in the Comprehensive Zoning Code and the Coors Corridor Plan.

V. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property. The goal is to provide a richly landscaped community with tree-lined streets and common landscaped areas. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City Comprehensive Zoning Code. Trees west of the north-south dashed line (see Sheet 2, Landscape Plan, General Note #11) shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.

The following are minimum standards for the development of specific landscape plans:

- RESIDENTIAL**
 - For single family residential projects, street trees shall be provided along roadways at a rate of approximately one tree per lot. For the townhome area, street trees shall be provided where they do not interfere with the driveway leading to attached garages.
 - Individual lot owners will be responsible for the installation and maintenance of the landscape on their property, including the street line planted in the right-of-way in front of the lot. All plant material, including trees, shrubs, groundcovers, turf, well-timers, etc. shall be maintained by the lot owner in a living, attractive condition.
 - Landscaping within the private common areas shall be maintained by the homeowners association.
 - The homeowners association shall maintain trees planted in the right-of-way to ensure the trees' survival.
- NON-RESIDENTIAL**
 - Landscaping buffers along Coors Boulevard and the east side of Vidal Drive shall be the responsibility of the developer of the non-residential projects.
 - A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials.
 - At least 20% of the parking lot area shall be landscaped.
 - Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetable materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
 - All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material. Bark shall only be utilized as mulch and not as a permanent ground cover.
 - Appropriate landscape headers shall be used to separate any turf and groundcover areas.
 - Interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
 - Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.

VI. LIGHTING

In order to enhance the safety, security and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the "dark sky". Cobra and sodium lights are prohibited.
- Parking lot light fixtures shall be a maximum of 20 feet in height, except where they are within 70 feet of residential uses; they shall be a maximum of 15 feet.
- All building-mounted exterior light fixtures in the non-residential areas shall be mounted at a height no greater than 15 feet from the finished floor of the building.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.



LIGHTING - should be shielded source, with the height limit to a minimum necessary to meet safety standards

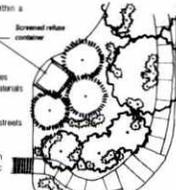
- Accent lighting is permitted; however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lit.
- Average light levels shall be limited to 2 footcandles with maximum levels limited to 15 footcandles as measured from 4 feet above the surface level of any point on the site.

VII. SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objectives of screening unattractive elements and activities.

A. SCREENING

- Parking areas shall be located away from adjacent streets and properties and shall be screened with plant materials, walls, or earthen berms. Such screening shall have a minimum height of 3 feet.
- All outdoor refuse containers shall be screened within a minimum 8 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- No refuse collection areas shall be allowed between streets and building fronts.
- All roof-mounted equipment shall be screened from public view with materials of the same nature as the basic materials of the building.
- Loading areas shall be screened from public view.
- Exterior trash and utility boxes shall be screened from all views.
- The development shall have storage areas, not visible from street or location made garage, for residential submersed carts.



REFUSE CONTAINERS - shall be screened by a 4 foot tall enclosure and plant materials

B. WALLS/FENCES

- Perimeter walls are allowed on the property; however, an effort should be made by the site designer to lessen its visual impact through landscaping, providing insets or openings.
- Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- Unfinished block walls and bermed wire, chain link, concrete wire, and plastic/vinyl fencing are prohibited.
- Development adjacent to the San Antonio Arroyo shall comply with Section F, Design Guidelines for Development Adjacent to Major Open Space Arroyos and Major Open Space Links of the Facility Plan for Arroyos.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retaining are required to be terraced in 8 foot vertical segments with a 4 foot horizontal separation, as required in the City Wall Regulations.
- Yard walls shall be constructed of adobe, cast concrete, masonry, terra or stucco/masonry block and shall be finished to match adjoining exterior house walls. Walls shall not exceed 6 feet in height except at the gate opening unless approved by the Architectural Control Committee and the City of Albuquerque.
- The maximum height of the wall adjoining the open space, private common areas, or pathways is 6 feet.
- The design and materials of the perimeter wall shall be compatible with the architectural theme and materials of the buildings on the site and shall be earth-tone colored and contain surface treatments.
- An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.



MECHANICAL SCREENING - should be screened from public view

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

August 1, 2006
May 31, 2007
August 3, 2017

Sheet 6 of 7

10. All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.

11. Minimum plant sizes at time of installation shall be as follows:
- Trees: 1 1/2 inch caliper or 10 to 12 feet in height for deciduous, 8-10 feet for evergreen
 - Shrubs & Groundcovers: 1 gallon
 - Turf grasses: Complete ground coverage within 1 growing season after installation.

VIII. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Vistas de La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style and complements the visual character of the property.

- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Sector Development Plan.
- B. Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings and shall not exceed 9 feet in height above grade, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- C. Free-standing signs shall be designed that do not require any external bracing, single-iron supports, guy wires or similar devices.
- D. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- E. Signs shall not overhang into the public right-of-way or extend above the building roof line, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- F. Off-premise signs are prohibited.
- G. Building-mounted signs shall not exceed 8 percent of the facade area and the lettering shall not exceed 2 feet in height and shall not be permitted on any elevation adjacent to residential zoning.
- H. No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.

IX. ARCHITECTURE

The following elevations are intended to illustrate the general styles permitted at Vistas de La Luz and shall reflect southwestern regional architecture. Minor variations to these styles are permitted. Refer to Section III of these Design Standards for building materials and roof styles.

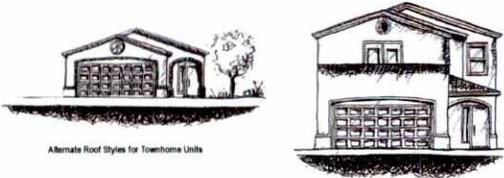
A. RESIDENTIAL STYLES

Architectural styles for the dwelling units for the townhome area (north) and single family detached area (south) are shown below. There will be a combination of one and two story units in both areas.

TOWNHOME AREA ELEVATIONS (north area)



Townhome Elevations - Combination of One and Two Story Units



Alternate Roof Styles for Townhome Units

TOWNHOME AREA ELEVATIONS (north area)



Single-Family Detached within Townhome Area



Single-Family Detached within Townhome Area

SINGLE FAMILY DETACHED ELEVATIONS (south area)



Single-Family Detached - Two Story



Single-Family Detached - Single Story

B. NON-RESIDENTIAL

Architectural styles for non-residential buildings shall be Pueblo, Contemporary Pueblo, or Territorial. This section describes the typical characteristics of these different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the buildings contains the characteristics of one of the styles listed below and adheres to Section II, Building Standards.

1. **Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed porches or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.
 - a. Entry porches are a hallmark of the style.
 - b. Limited over openings can be wood and exposed, but covered links are just as common.
 - c. Exterior wall finish is stucco from the approved color list.
 - d. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
 - e. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
 - f. Parapets are also used to emphasize forms.
 - g. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
2. **Contemporary Pueblo Style** - Contemporary Pueblo Style is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.
 - a. Flat roof is common to the style.
 - b. Square edge walls are also common to the style, along with square parapet walls.
 - c. Canales should be provided to direct rainwater from roof.
 - d. Deep window and door openings are typical of the style and can be used.
 - e. All openings should be placed away from corners.
 - f. Large square stucco posts can be provided to emphasize the style.
3. **Territorial Style** - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple if not symmetrical, massing, low sloped roofs (no pitched roofs), porches and courtyards often surrounded by low walls or gates, brick parapet caps, horizontal benches and/or chimneys, stucco walls with square corners of a limited color palette, and pedimented window and door heads, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more finished than the Pueblo style.
 - a. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8" per foot to 12". Low sloped roofs can also be combined with flat roof elements.
 - b. Entry porches are not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
 - c. Trim over and around openings can be tile or terracotta moldings, but untrimmed openings are just as common.
 - d. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
 - e. Parapets are also used to emphasize forms.
 - f. Exterior wall finish is stucco, from the approved color list, or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

X. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- A. All new electric distribution lines shall be placed underground.
- B. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120



Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	19100	square feet
TOTAL BUILDINGS AREA	20894	square feet
NET LOT AREA	11106	square feet
LANDSCAPE REQUIREMENT	19%	
TOTAL LANDSCAPE REQUIREMENT	16694	square feet
TOTAL BED PROVIDED	37471	square feet
GROUND COVER REQ.	80%	square feet
TOTAL GROUND COVER REQUIREMENT	28482	square feet
TOTAL GROUND COVER PROVIDED	9239 (95%)	square feet
TOTAL SOD AREA	0	square feet
(max. 30% of landscape required)		
TOTAL LANDSCAPE PROVIDED	37471 (94%)	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Reuse Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water reuse provisions of the Water Conservation Landscaping and Water Reuse Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Siting Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Reuse Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 80% live ground cover at maturity.

Santa Fe Brown gravel over Filter Fabric to a minimum depth of 8" shall be placed in all landscape areas which are not designated to receive native beds.

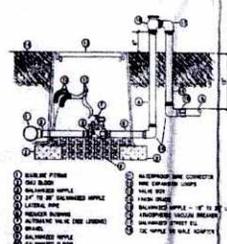
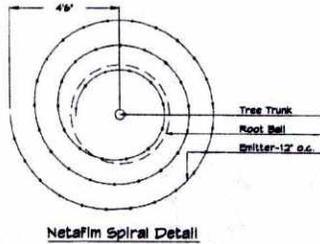
IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (30' length) with 9 loops at a Root radius of 4.8' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 3 gph. shrubs to receive 12 1/2" O.D. Drip Emitters, Drip and Bubble systems to be tied to 1/2" polyline with flush caps at each end. Trees and shrubs shall be on separate valves.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



TREE PLANTING DETAIL

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE HAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL FIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL
 - 8" DEPTH OF GRAVEL MULCH
 - UNDISTURBED SOIL

SHRUB PLANTING DETAIL

- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE THREE THE DIAMETER OF THE SHRUB PLANTING PIT.

- CONSTRUCTION NOTES:**
- SHRUB
 - BACKFILL WITH EXISTING SOIL
 - 8" DEPTH AROUND WATER RETENTION BASIN
 - 8" DEPTH OF GRAVEL MULCH
 - FRUSH GRASS
 - UNDISTURBED SOIL

PLANT LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> ORANGE PETALACE (M) 28
Petalace citrusus
8' height x 8' spread PURPLE ROSE LOCUST (M) 4
Rosa rugosa
2' height x 30' spread DEBBERT PELLON (L) 8
Citrusus Brad's
18' height x 30' spread BIRDEN BACCHARIS (L) 34
Baccharis arborescens
8' height x 30' spread PAN-PAN GRASS (M) 30
Cortaderia selowii
5' height x 30' spread LELAG (L) 35
Syringa sp.
5' height x 30' spread NEWAN HANTHORN (M) 16
Naphthalene hirtella
5' height x 30' spread BANANA YUCCA (L) 5
Yucca baccata
3' height x 30' spread DEER GRASS (M) 21
Muhlenbergia rigida
3' height x 30' spread REGAL HOT HAWKLY GRASS (L) 22
Lycopodium obscurum
3' height x 30' spread AMP HORTENSIA (M) 41
Hortensia sp.
5' height x 30' spread SANTA FE BROWN GRAVEL
OVER FILTER FABRIC
TO A MINIMUM 8" DEPTH COBBLE WITH
FILTER FABRIC
TO A MINIMUM 8" DEPTH Tree shown on Consensus plan
dated 8/28/06 THE GRASSES
EXISTING CONTAINED
TO REMAIN | <ul style="list-style-type: none"> EASTERN REDWOOD (M) 1
Sequoia sempervirens
8' height x 30' spread CHITALPA (M) 8
Chitalpa x Catalpa
5' height x 30' spread NEW MEXICO OLIVE (L) 18
Percnaria mexicana
18' height x 30' spread BEARGRASS (L) 28
Nolina microcarpa
5' height x 30' spread HARDGRASS (M) 21
Muhlenbergia sp.
5' height x 30' spread BLUE HSB SPYRDA (M) 11
Caryopteris diandromis
1' height x 30' spread POW GABLE BARK (L) 11
Artemisia x Rhus Casta
1' height x 30' spread SANTOLINA (M) 31
Santolina sp.
1' height x 30' spread PENTER JARDINE (L) 11
Santolina sp.
1' height x 30' spread HONEYBUCKLE (M) 33
Lonicera japonica
1' height x 30' spread SAND HORTENSIA (L) 33
Hortensia sp.
1' height x 30' spread NATURAL EDGE RIP RAP FIBER FILTER FABRIC Tree shown on Consensus plan
dated 8/28/06 |
|--|---|

BUFFER TREE REQUIREMENTS

Shade trees required:
Trees, spacing of which shall be equal to 15% of the mature tree canopy along western residential lots.
Required # 1 Provided # 1

STREET TREE REQUIREMENTS

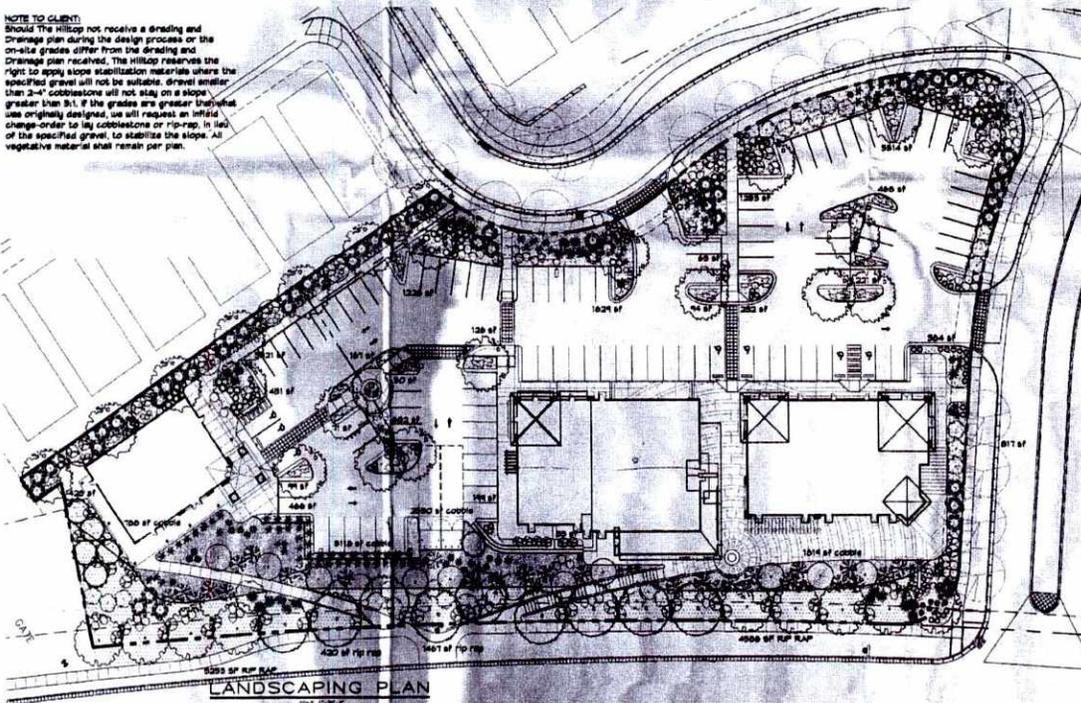
Street trees required under the CPA
Street Tree Ordinance are as follows:
Name of Street: Coors Blvd. NW
Required # 8 Provided # 10

PARKING LOT TREE REQUIREMENTS

Shade trees required under the CPA
Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 11 Provided # 16

NOTE TO CLIENT

Should the village not receive a grading and drainage plan during the design process or the on-site grades differ from the grading and drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel emitter than 2-4" cobblestone will not stay on a slope greater than 9:1. If the grades are greater than what was originally designed, we will request an infill change-order to lay cobblestone or rip-rap in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



LANDSCAPING PLAN



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-8370

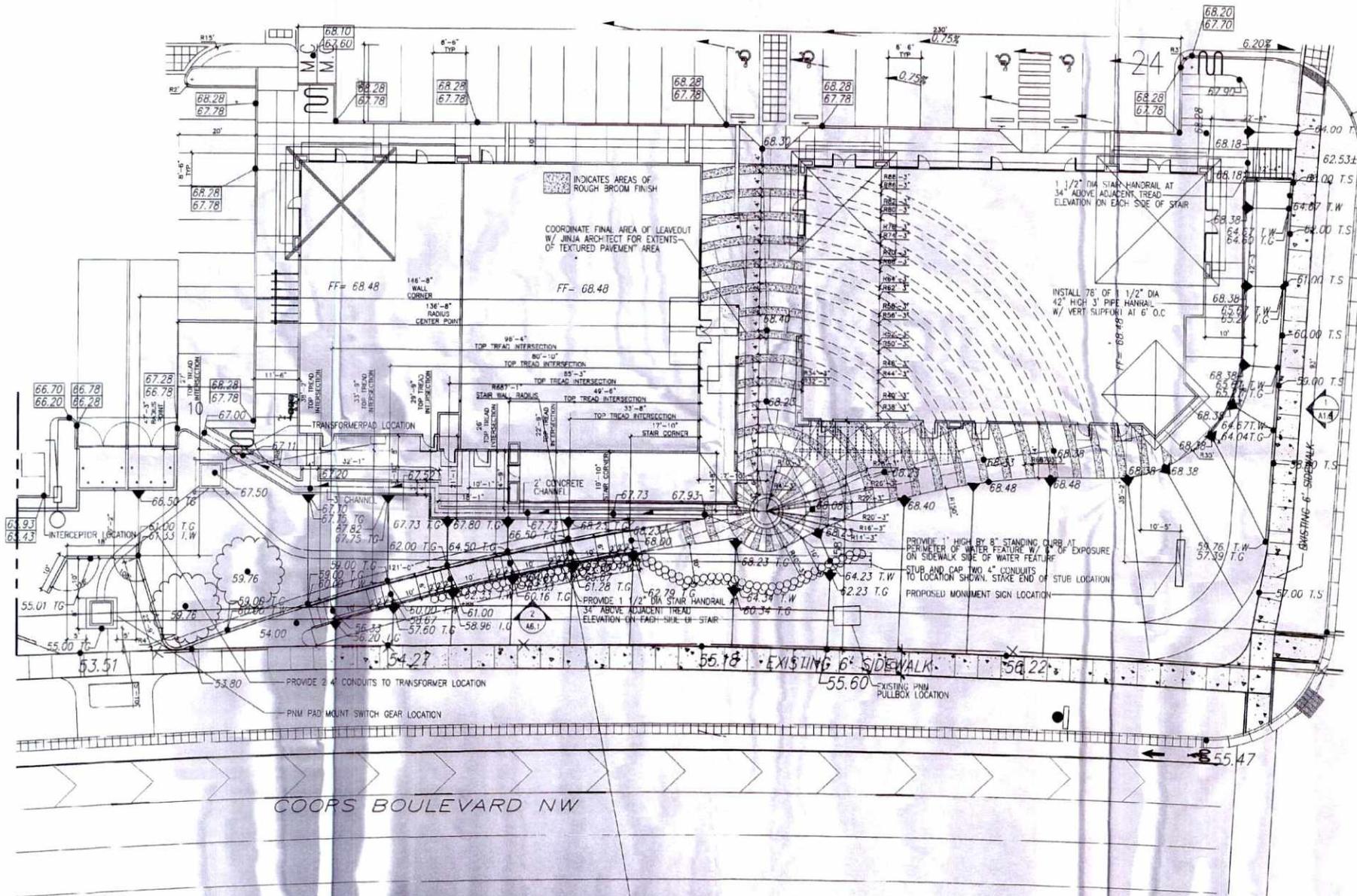


PROJECT TITLE: VISTAS DE LA LUZ COMMERCIAL
M.C. OF LUTHERAN CHURCH OF LA LUZ
PROJECT MANAGER: STEPHEN BUNSHAM, AIA
DATE: 8/28/06
SCALE: 1"=30'



LANDSCAPE ARCHITECTS & PLANNERS
Cont. Lic. #26458
7909 Edith N.E.
ALBUQUERQUE, NM 87154
Ph. (505) 895-9890
Fax (505) 898-7337
www.hilltoplandscaping.com

DATE:	8/1/06	SHEET:	11
SCALE:	1"=30'	TOTAL SHEETS:	11

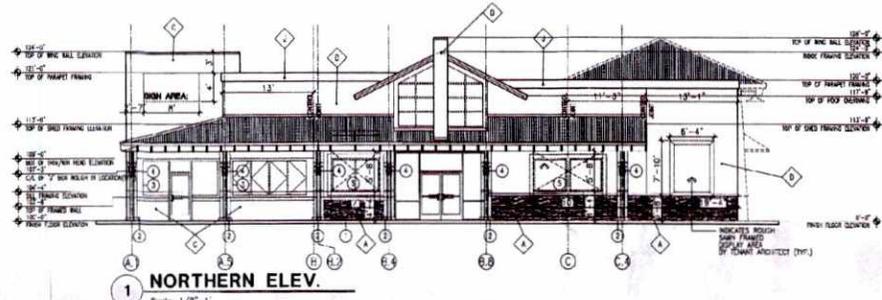


REV	DATE	BY	REVISION

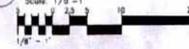
GEORGE RANHART ARCHITECT AND ASSOCIATES PC
 4300 SHAW BLVD. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 887-9877

PROJECT TITLE
 VISTAS DE LA LUZ COMMERCIAL
 NAME OF CORP. OR IND. OR PARTN. OR LLC
 ADDRESS AND CITY AND STATE AND ZIP NO.
 PROJECT MANAGER
 DESIGNER/ENGINEER
 DRAWING NO.
 SHEET NO.

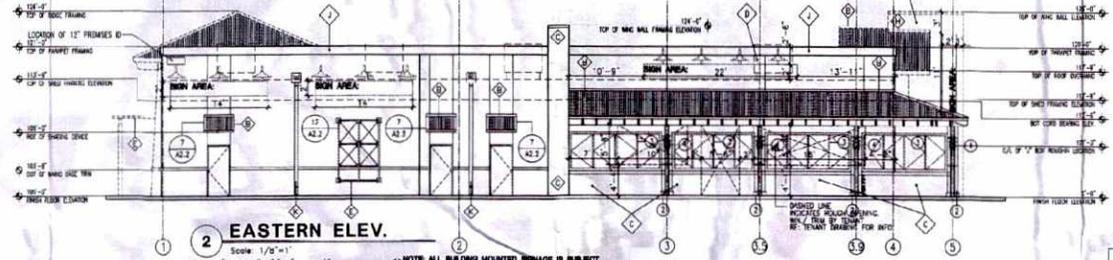
ENLARGED SITE PLAN
 DATE: 11/13/08
 SCALE: 1"=10'
 SHEET: A1.3
 OF: 5



1 NORTHERN ELEV.



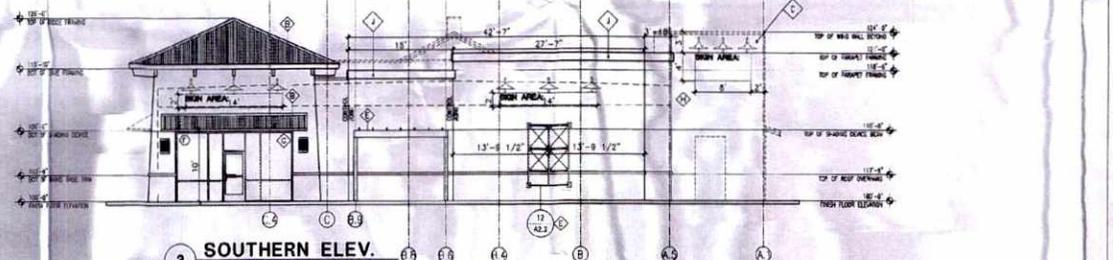
NOTE ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 1) 7' SIGN LOCATION W/ CONDUIT AND ALL-SIDING STUDIED INTO TENANT SPACE



2 EASTERN ELEV.



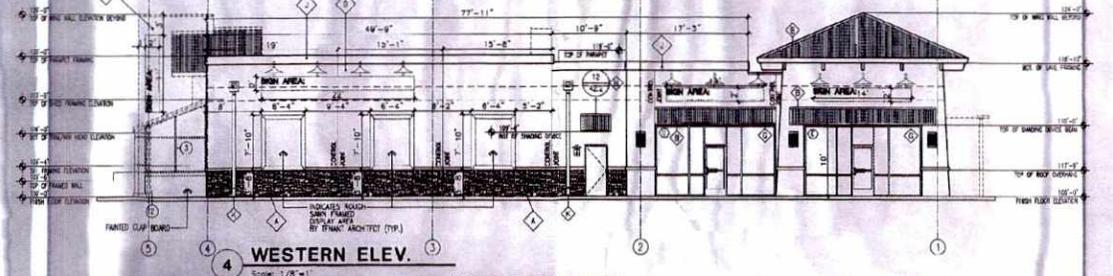
NOTE ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 1) 7' SIGN LOCATION W/ CONDUIT AND ALL-SIDING STUDIED INTO TENANT SPACE



3 SOUTHERN ELEV.



NOTE ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 1) 7' SIGN LOCATION W/ CONDUIT AND ALL-SIDING STUDIED INTO TENANT SPACE



4 WESTERN ELEV.



NOTE ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 1) 7' SIGN LOCATION W/ CONDUIT AND ALL-SIDING STUDIED INTO TENANT SPACE

- 1 INDICATES STONE WORKER BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- 2 INDICATES COLUMN TURNING BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- 3 INDICATES SILL CAP AND WINDOW SYSTEM BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK. RE: TENANT DRAWINGS FOR INFO.
- 4 INDICATES 7' SIGN TURNER IN LOCATION AT 7'-5" A.F.F. FOR FUTURE STUDIES BY OTHERS. RE: TENANT DRAWINGS FOR FUTURE INFO.
- 5 INDICATES WINDOW BY OTHER WORK. ROUGH OPENING LOCATION. RE: TENANT DRAWINGS FOR FUTURE INFO.

Keyed Color / Material Schedule	
◊ CALIBREED STONE	NORTH MOUNTAIN STONE PRODUCTS
◊ SYNTHETIC STONE VENEER	AMAZON RIVER LUMBER BY BELLECO, INC.
◊ "WOODCO" STONE SILL/CAP	"WOODCO" STONE SILL/CAP
◊ METAL ROOFING	WELLS METALS, HD 70#
	WALLS COLOR (100% REFLECTIVE)
◊ STD-STUCCO SYSTEM	STD-COLOR 20018 (BROWN)
◊ STD-STUCCO SYSTEM	SHERRIN WILLIAMS OR BENJAMIN MOORE
	CAPELLANO SW 6124 (DARK BROWN)
◊ WALL FINISH COLOR	SHERRIN WILLIAMS
◊ MISC. METAL	PAINTER WHITE SW 5088 (WHITE COLOR)
◊ WALL FINISH COLOR	SHERRIN WILLIAMS
	METAL GLOSS SW 6144 (LIGHT GREY COLOR)
◊ HAZARD COAT WHITE ALUMINUM SIDING/FRONT	WHITE FINISH SW 52514
	W/ CLEAR NON-REFLECTIVE GLAZING
◊ WALL FINISH COLOR	SHERRIN WILLIAMS
	PAINTER TAN SW 6144 (DARK BROWN)
◊ WALL FINISH COLOR	SHERRIN WILLIAMS
	UNIVERSAL KAW SW 6100 (BROWN)
◊ STD-STUCCO SYSTEM	(DARK RED)
◊ MISC.	DEALIMENTS (NOT REFLECTIVE)

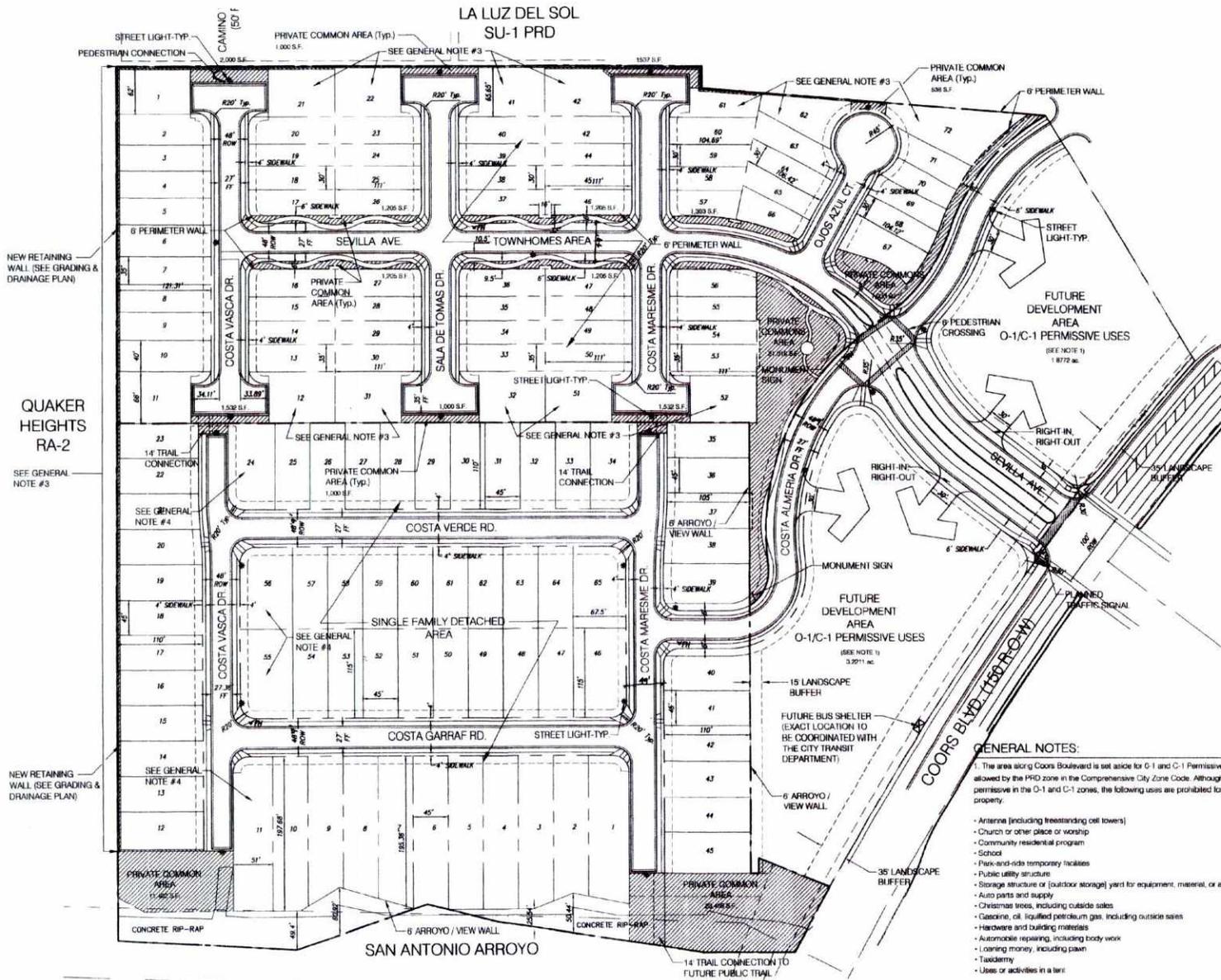
REV	DATE	BY	REVISION

GEORGE RANHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 864-9110 FAX (505) 837-9877

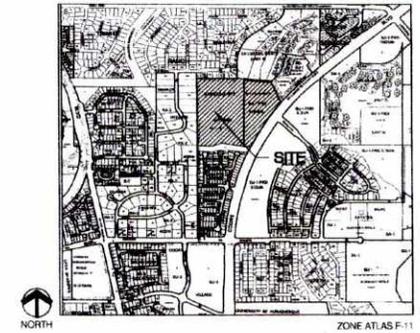
PROJECT TITLE	SHOPS-VIVISTAS DE LA LUZ
S.A.C. OF COORDS. AND SEVILLA	ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	RENEZAN DORRANT AL
JOB NO.	
DRAWN BY:	
CHECKED BY:	

ELEVATIONS

DATE	12/05/08	SHEET	
SCALE	A4.0		
VARIABLES			



SITE VICINITY



SITE DATA:
 SITE ACREAGE: 29.32 acres
 Zoning: SU-1 for PRD (10 units)
 Land Use: 65 Single Family Residential Dwelling Units, 72 Townhomes, 5.1 acres O-1/C-1 Permissive (with exceptions), and 1.55 acres Private Commons Area.
 Gross Residential Density: 5.66 du/ac
 F.A.R. (O-1/C-1): 25 Max.
 Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code. For Residential - See General Note #3 and #4.
 Setbacks: See Design Standards, Sheet 5
 Landscape: See Landscape Plan, Sheets 2 and 3

PROJECT NUMBER: 100673
 Application Number: 08PC100673 04DB-01097
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DFC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> City Engineer, Transportation Division	8/30/06 Date
<i>[Signature]</i> Water Utility Department	8/30/06 Date
<i>[Signature]</i> Parks and Recreation Department	8/30/06 Date
<i>[Signature]</i> City Engineer	8/30/06 Date
<i>[Signature]</i> Solid Waste Management	8/31/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/31/06 Date

**SITE PLAN FOR SUBDIVISION
 VISTAS de LA LUZ
 SUBDIVISION**

Prepared for:
 T.S. McNaney & Associates
 3 Wind Road NW
 Albuquerque, NM 87120

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

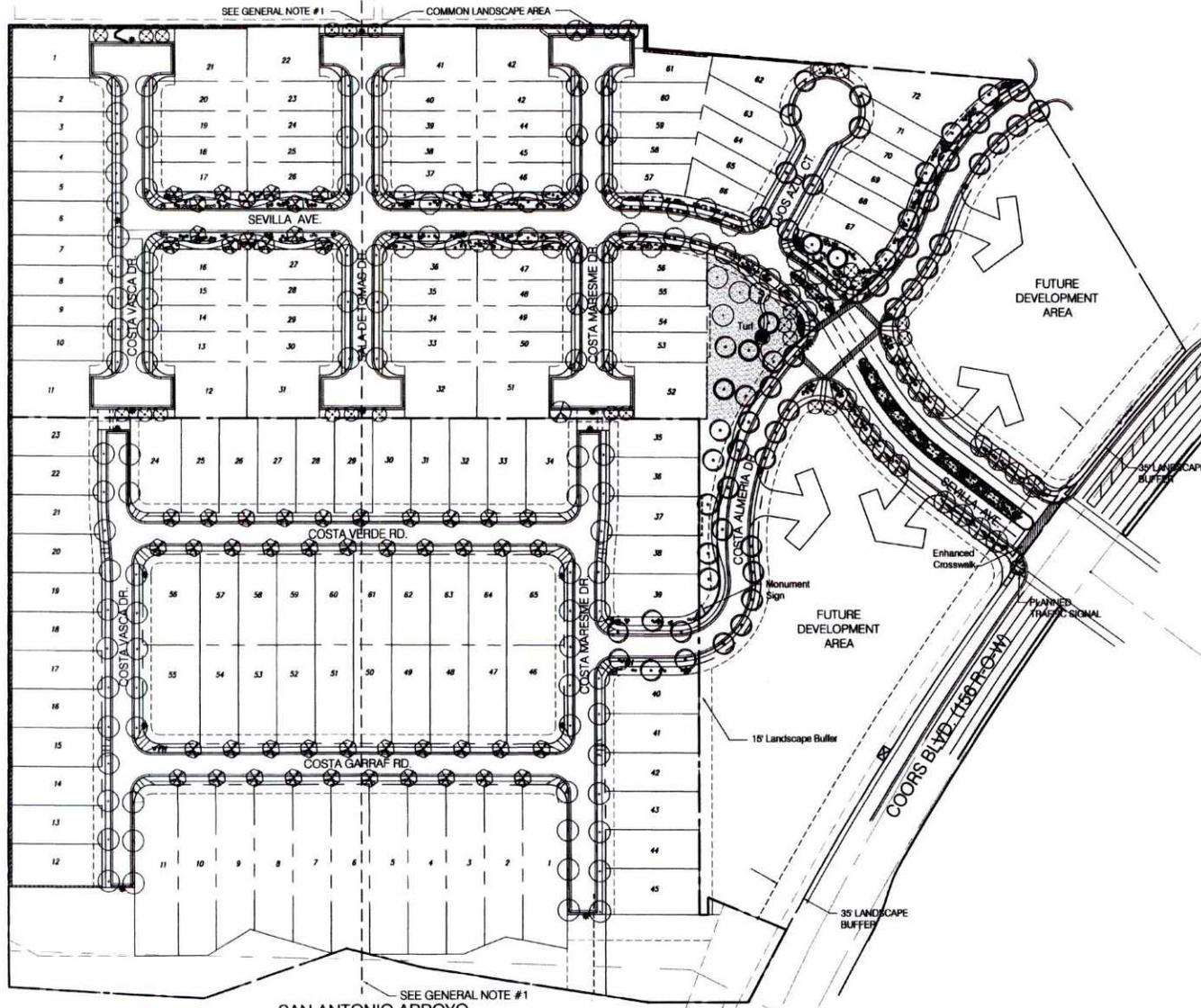
Scale 1" = 60'

August 29, 2006
 May 31, 2007

Sheet 1 of 67

ADMINISTRATIVE AMENDMENT
 File # 07-00630 Project # 100673
 Amend finished pad
 Revision for 8/26, 10, 11, 24,
 25, 55, & 56
 APPROVED BY: *[Signature]* DATE: 8/26/07

- GENERAL NOTES:**
- The area along Coors Boulevard is set aside for O-1 and C-1 Permissive Uses, as allowed by the PRD zone in the Comprehensive City Zone Code. Although permissive in the O-1 and C-1 zones, the following uses are prohibited for this property:
 - Antenna (including freestanding cell towers)
 - Church or other place of worship
 - Community residential program
 - School
 - Park-and-ride temporary facilities
 - Public utility structure
 - Storage structure or (outdoor storage) yard for equipment, material, or activity
 - Auto parts and supply
 - Christmas trees, including outside sales
 - Gasoline, oil, liquefied petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Lending money, including pawn
 - Taxidermy
 - Uses or activities in a tent
 - The O-1/C-1 areas will require separate Site Plan Approval by the Environmental Planning Commission when a specific development is proposed.
 - All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 within the townhome area (north) shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
 - Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall have a finished pad elevation a minimum of 18 feet below the top of the west-most perimeter wall. In addition, Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall be 1-story.



PLANT LEGEND

Symbol	Scientific Name Common Name	Water Use	Size
Trees			
⊗	<i>Cercis occidentalis</i> Western Redbud (WR)	Medium	20'ht x 20'apr
⊗	<i>Pinus edleyana</i> 'Develand' Flowering Pine (FP)	Medium+	45'ht x 30'apr
⊗	<i>Robinia ambigua</i> Purple Robe Locust (CP)	Medium	30'ht x 30'apr
⊗	<i>Koeleruteria paniculata</i> Golden Rain Tree (GR)	Low	25'ht x 25'apr
⊗	<i>Gleditsia tricanthos</i> 'Moraine' Honey Locust 'Moraine' (HL)	Low+	30'ht x 30'apr
⊗	<i>Pinus leucodermis</i> Bosnian Pine (BP)	Low+	25'ht x 15'apr
⊗	<i>Chilopsis linearis</i> Desert Willow (DW)	Low+	20'ht x 25'apr
Shrubs / Groundcovers			
⊙	<i>Amorpha canescens</i> Leadplant (LP)	Medium	2'ht x 3'apr
⊙	<i>Artemisia caucasicca</i> Silver Spreader (SS)	Medium	2'ht x 2'apr
⊙	<i>Baccharis 'Stam Thompson'</i> Dwarf Coyotebush (DC)	Medium	2'ht x 4'apr
⊙	<i>Berberis thunbergii</i> 'A. Nano' Crimson Pigmy Barberry (CB)	Low	2'ht x 2'apr
⊙	<i>Caryopteris clandonensis</i> Blue Mist (BM)	Low+	3'ht x 3'apr
⊙	<i>Nandina domestica</i> Dwarf Heavenly Bamboo (HB)	Low+	2'ht x 2'apr
⊙	<i>Penstemon ambiguus</i> Sand Penstemon (SP)	Medium	2'ht x 2'apr
⊙	<i>Pinus mugo mugo</i> Mugo Pine (MP)	Low+	4'ht x 4'apr
⊙	<i>Potentilla fruticosa</i> Shrubby Cinquefoil (CF)	Medium	3'ht x 3'apr
⊙	<i>Rhaphirolepis indica</i> India Hawthorn (IH)	Medium	3'ht x 4'apr
⊙	<i>Rosmarinus officinalis</i> Rosemary (RM)	Low	3'ht x 3'apr
⊙	<i>Salvia greggii</i> Cherry Sage (CS)	Medium	3'ht x 3'apr
⊙	<i>Salvia leucadalia</i> Lavender Sage (LS)	Low	2'ht x 2'apr
⊙	<i>Santolina virens</i> Green Santolina (GS)	Medium	2'ht x 3'apr
⊙	<i>Syringa patula</i> Lilac (LL)	Low	6'ht x 6'apr
Ornamental Grasses			
⊙	<i>Aristida purpurea</i> Purple Threesore (PT)	Low	2'ht x 1'apr
⊙	<i>Muhlenbergia cap</i> Muhly Grass (MG)	Low	3'ht x 3'apr
⊙	<i>Miscanthus sinensis</i> Maiden Hair Grass (MH)	Low	5'ht x 4'apr
⊙	Moss Rock Boulder (3' x 3' min.)		

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

LANDSCAPE NOTE
Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant.

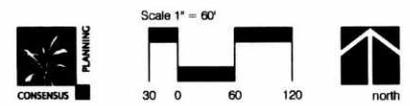
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

GENERAL NOTE:
1. Trees west of the N-S dashed line shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.

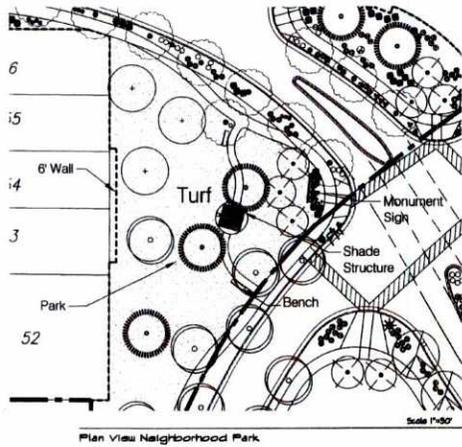
LANDSCAPE PLAN
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
T.S. McNamee & Associates
5111 San Mateo Blvd. NE Suite A-1
Albuquerque, NM 87109

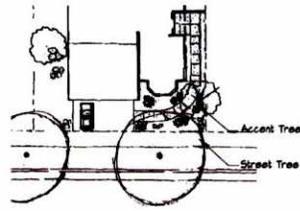
Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
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August 23, 2006



Plan View Neighborhood Park



Plan View Typical Single Family Lot Layout

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ SINGLE FAMILY HOMES.

- 2 Accent Tree
- 1 Street Tree
- 5 Shrubs (min. 5 gallon)
- 10 Shrubs (min. 1 gallon)
- 3 Landscape Boulders (3' x 3' min.)

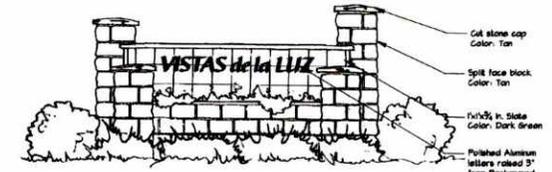
In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-III.

The following approved accents can be used for front yard landscaping:

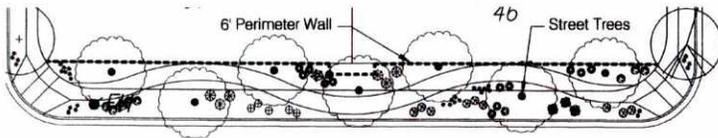
- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



Main Entry Monument Sign

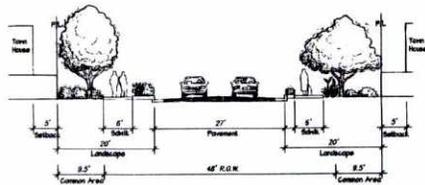


Single Family Entry Monument Sign Elevation



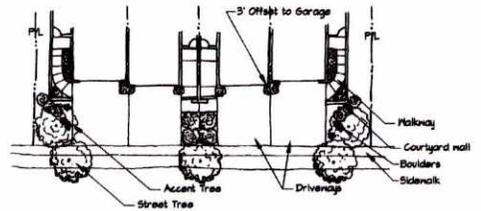
Scale 1"=30'

Planting Detail Along Meduri



Street Section at Meduri

Scale 1"=30'



Four-Plex Townhome - Plan View

Scale 1"=30'

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ TOWNHOMES.

- 1 Accent Tree
- 1 Street Tree (not required in front of units with attached garages)
- 4 Shrubs (min. 5 gallon)
- 5 Shrubs (min. 1 gallon)
- 2 Landscape Boulders (3' x 3' min.)

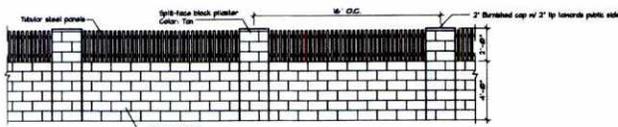
In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-III.

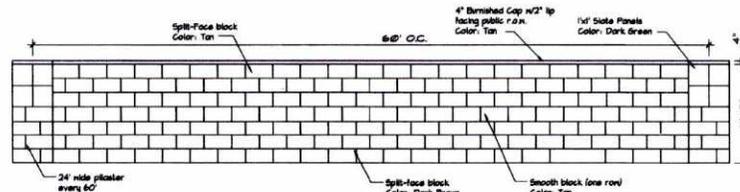
The following approved accents can be used for front yard landscaping:

- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



Arroyo / View Wall Elevation

Scale 1"=30'



Perimeter Wall Elevation

Scale 1"=30'

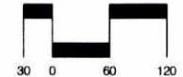
**LANDSCAPE PLAN DETAILS
VISTAS de LA LUZ
SUBDIVISION**

Prepared for:
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Scale 1" = 60'



August 1, 2006

Sheet 3 of 7

8. The design and materials of the perimeter wall shall be compatible with the architectural theme and materials of the buildings on the site and shall be earthtone colored and contain surface treatments.
9. An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
10. All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
11. Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height for deciduous; 8-10 feet for evergreen
Shrubs & Groundcovers	1 gallon
Turf grasses	Complete ground coverage within 1 growing season after installation.

VIII. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Vistas de La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style and complements the visual character of the property.

- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Sector Development Plan.
- B. Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings and shall not exceed 8 feet in height above grade, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- C. Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- D. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- E. Signs shall not overhang into the public right-of-way or extend above the building roof line, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (e), Signage.
- F. Off-premise signs are prohibited.
- G. Building-mounted signs shall not exceed 8 percent of the facade area and the lettering shall not exceed 2 feet in height and shall not be permitted on any elevation adjacent to residential zoning.
- H. No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.

IX. ARCHITECTURE

The following elevations are intended to illustrate the general styles permitted at Vistas de La Luz and shall reflect southwestern regional architecture. Minor variations to these styles are permitted. Refer to Section III of these Design Standards for building materials and roof styles.

A. RESIDENTIAL STYLES

TOWNHOME AREA ELEVATIONS (north area)



Townhome Elevations - Combination of One and Two Story Units



Alternate Roof Styles for Townhome Units



TOWNHOME AREA ELEVATIONS (south area)



Single-Family Detached within Townhome Area



Single-Family Detached within Townhome Area

SINGLE FAMILY DETACHED ELEVATIONS (south area)



Single-Family Detached - Two Story



Single-Family Detached - Single Story

Architectural styles for the dwelling units for the townhome area (north) and single-family detached area (south) are shown below. There will be a combination of one and two story units in both areas.

B. NON-RESIDENTIAL

Architectural styles for non-residential buildings shall be Pueblo, Contemporary Pueblo, or Territorial. This section describes the typical characteristics of these different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the buildings contains the characteristics of one of the styles listed below and adheres to Section III, Building Standards.

1. **Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexican Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed porches or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.
 - a. Entry porches are a hallmark of the style.
 - b. Lintels over openings can be wood and exposed, but covered lintels are just as common.
 - c. Exterior wall finish is stucco from the approved color list.
 - d. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed exterior pattern.
 - e. The chamfered form allows courtyards to be easily integrated into the design by low walls and gates.
 - f. Parapets are also used to emphasize forms.
 - g. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
2. **Contemporary Pueblo Style** - Contemporary Pueblo Style is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.
 - a. Flat roof is common to the style.
 - b. Square edge walls are also common to the style, along with square parapet walls.
 - c. Canopies should be provided to direct rainwater from roof.
 - d. Deep window and door openings are typical of the style and can be used.
 - e. All openings should be placed away from corners.
 - f. Large square stone posts can be provided to emphasize the style.
3. **Territorial Style** - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, massing, low sloped roofs (no pitched roofs), porches and courtyards often surrounded by low walls or gates, thick eaveled eaves, horizontal benches and/or chimneys, stucco walls with square corners of a limited color palette; and pedimented window and door head trim, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more detailed than the Pueblo style.
 - a. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8" per foot to 12". Low sloped roofs can also be combined with flat roof elements.
 - b. Entry porch is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
 - c. Two over and around openings can be tile or terracotta moldings, but unreinforced openings are just as common.
 - d. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
 - e. Parapets are also used to emphasize forms.
 - f. Exterior wall finish is stucco, from the approved color list; or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

X. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- A. All new electric distribution lines shall be placed underground.
- B. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

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