



**Environmental
Planning
Commission**

**Agenda Number: 02
Project Number: 1004167
Case Number: 17EPC- 40048
Hearing Date: October 12, 2017**

Staff Report

Agent	Daniel Puzak, AIA and Jonathan Turner
Applicant	Legacy Home Health
Request	Site Development Plan for Building Permit
Legal Description	Lot 2 of Bosque Plaza
Location	Bosque Plaza Lane southeast of the corner of Coors Blvd. NW and La Orilla Road NW
Size	2 acres
Existing Zoning	C-1 (SC) (Neighborhood Commercial Shopping Center)
Proposed Zoning	No Change

Staff Recommendation

APPROVAL of Project # 1004167
Case # 17EPC-40048
based on the Findings and subject to the Conditions of Approval included within this report

Staff Planner
Cheryl Somerfeldt

Summary of Analysis

This is a request for a Site Development Plan for Building Permit for Lot 2, an approximately 2-acre site, located in the southeast corner of Bosque Plaza Shopping Center on Bosque Plaza Ln to the east of Coors Blvd NW and south of La Orilla Rd NW. The request is to construct an approximately 9 acre retail and office facility for Legacy Health in a C-1 (SC) zone (Neighborhood Commercial Shopping Center).

The subject site is designated as an Area of Change within the Comprehensive Plan; within the Taylor Ranch Community of the Westside Strategic Plan; and within the view corridor of the Coors Corridor Plan. The request is consistent with these applicable plans and policies and the approved Bosque Plaza Site Plan Subdivision Design Standards.

The applicant notified the Taylor Ranch Neighborhood Association and the Westside Coalition of Neighborhood Associations, as well as property owners within 100 feet of the subject site as required. A facilitated meeting was not requested nor held.

Staff recommends approval based on the findings and conditions outlined in the staff report.

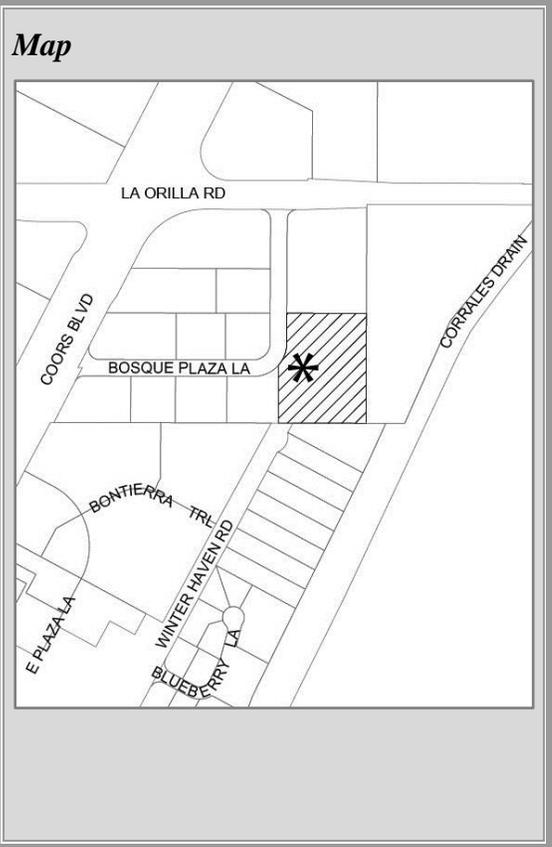
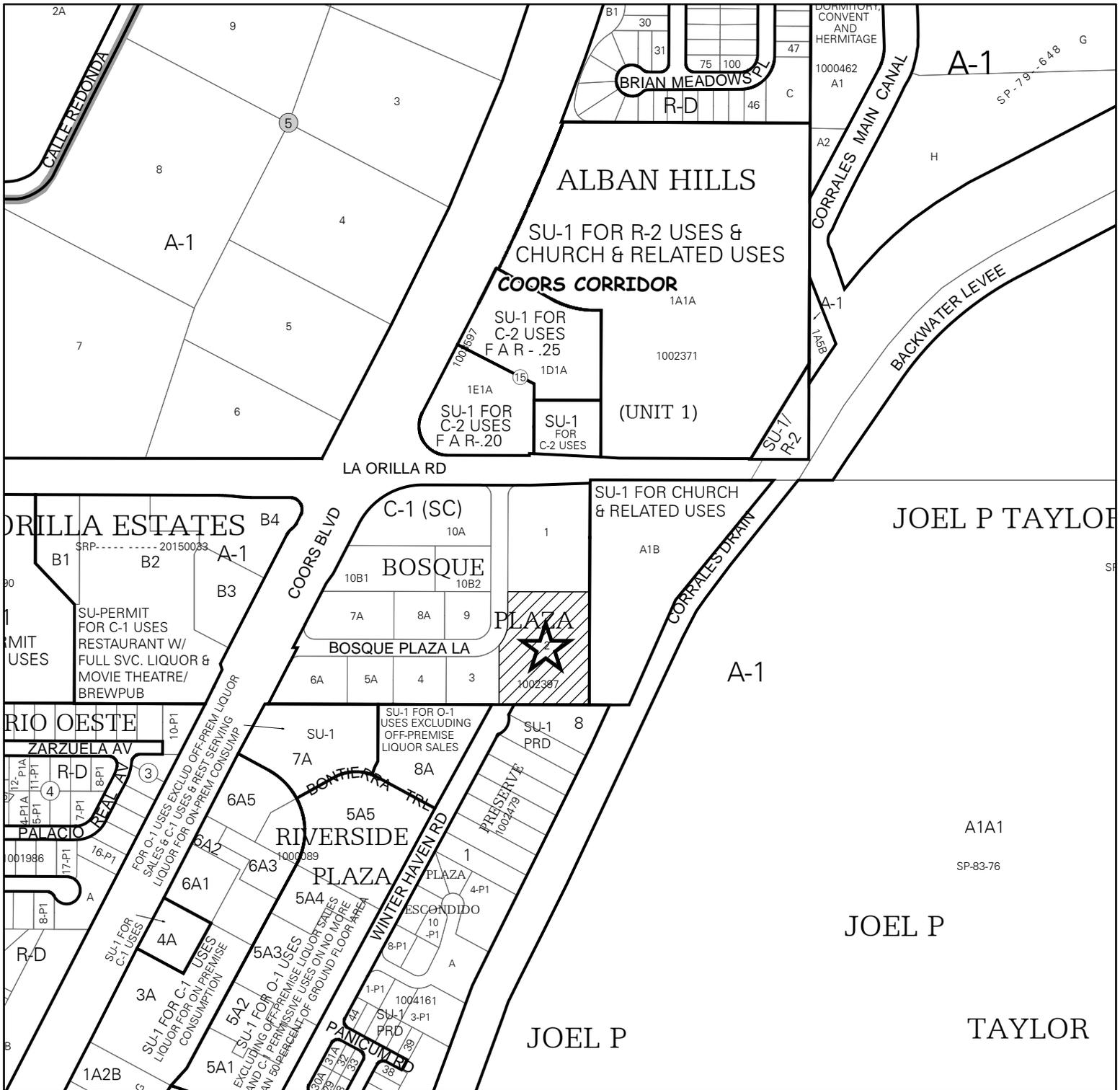




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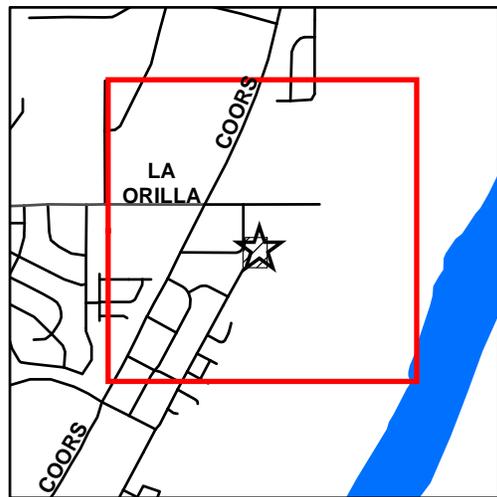
ZONING MAP

Note: Grey shading indicates County.



1 inch = 403 feet

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1004167
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10/12/2017
Zone Map Page: E-12
Additional Case Numbers:
17EPC-40048



LAND USE MAP

Note: Grey shading indicates County.

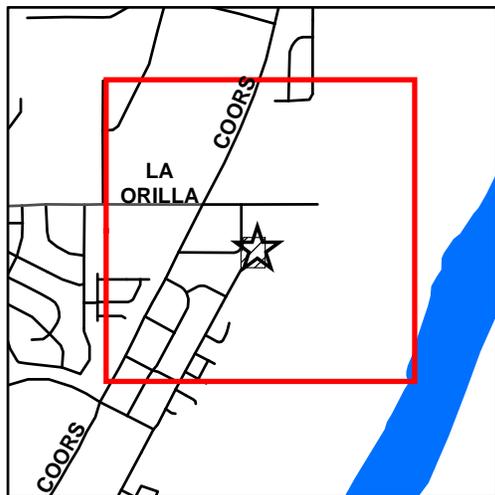
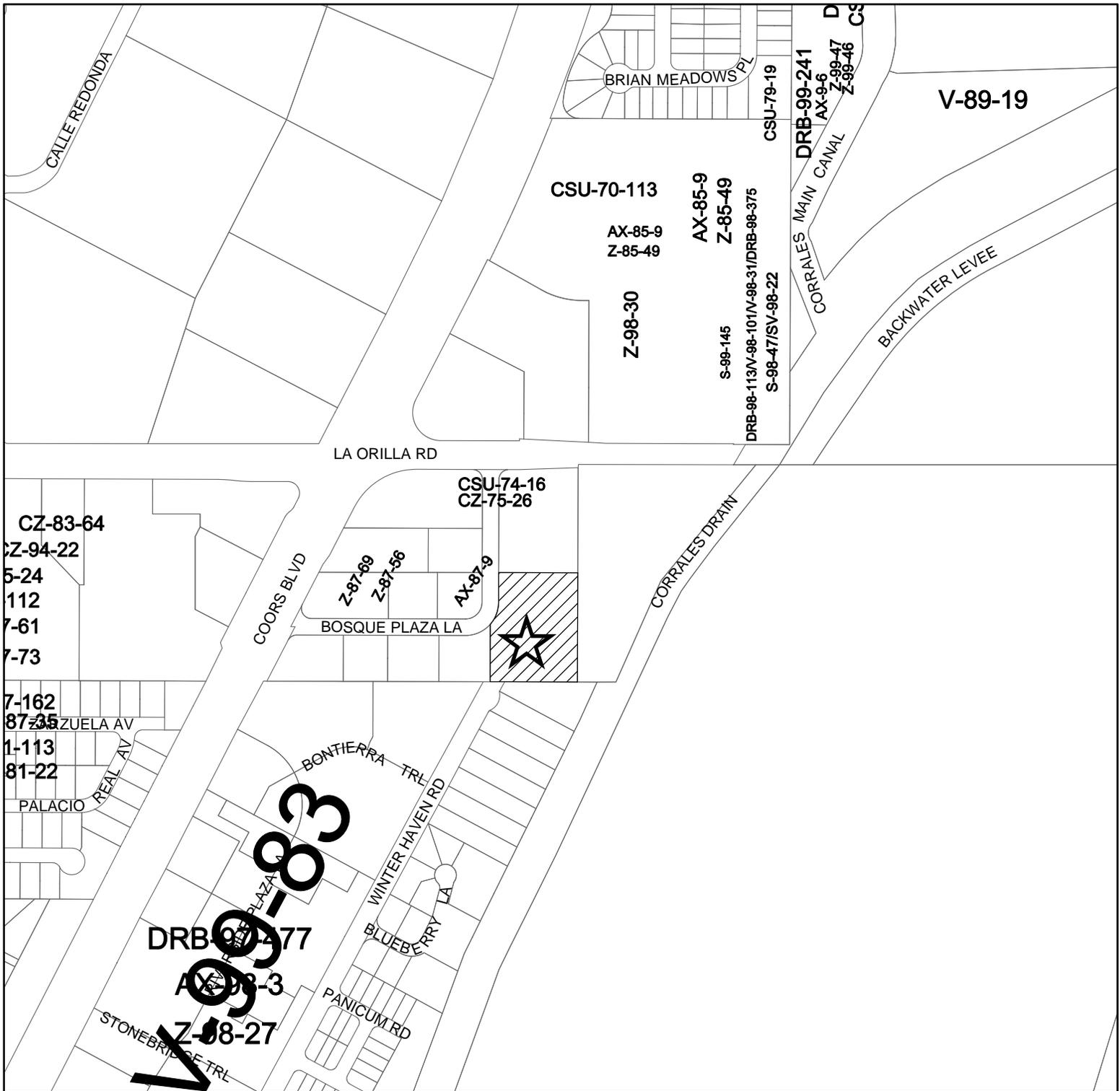
KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 417 feet

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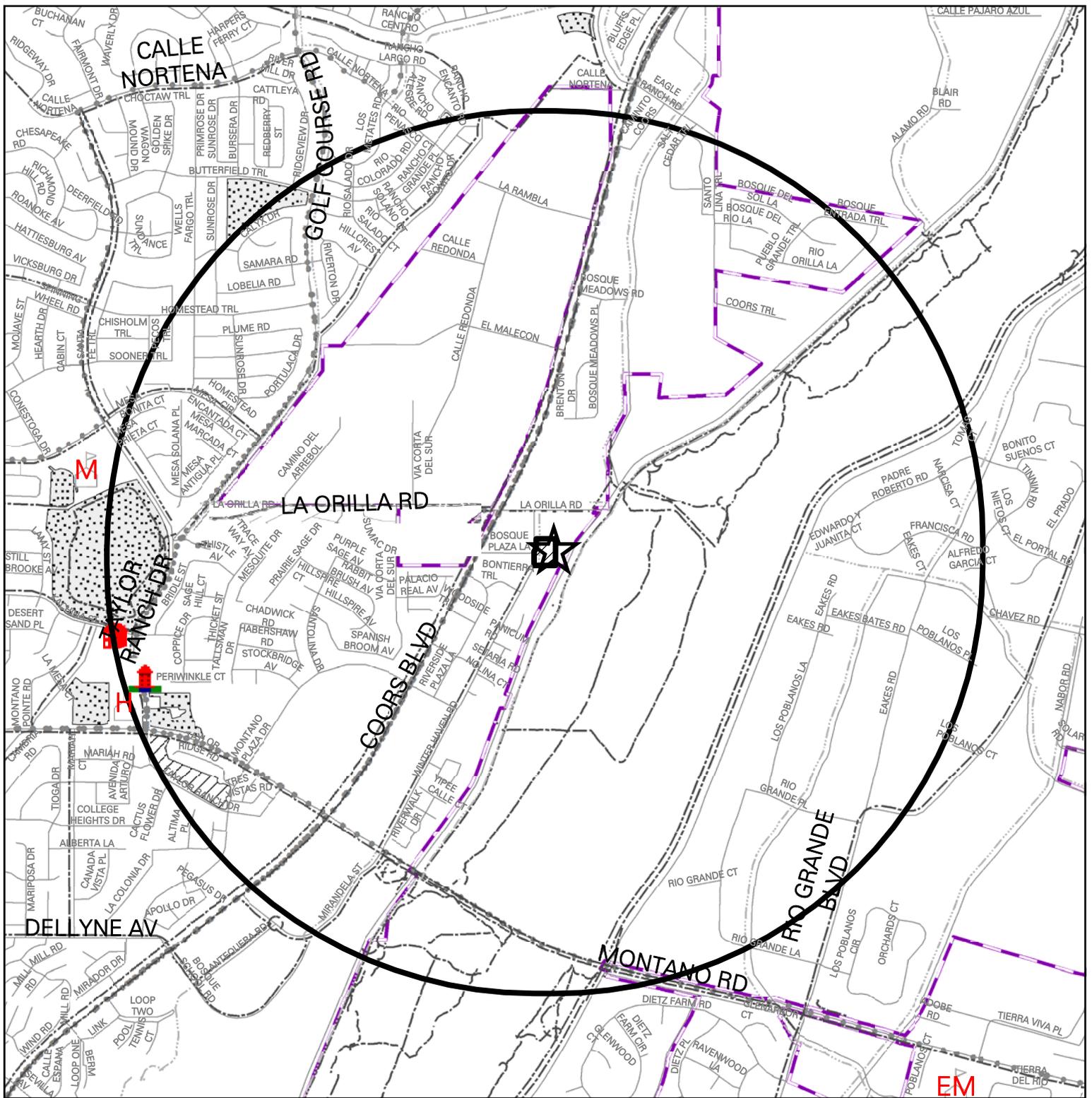
HISTORY MAP

Note: Grey shading indicates County.



1 inch = 417 feet

Project Number:
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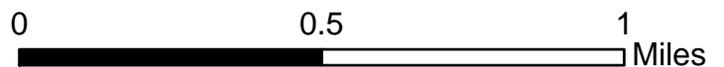


Public Facilities Map with One-Mile Buffer

- | | | | |
|---|---|--|---|
|  COMMUNITY CENTER |  FIRE |  Public Schools |  Landfill Buffer (1000 feet) |
|  MULTI-SERVICE CENTER |  POLICE |  Proposed Bike Facilities |  Landfills designated by EHD |
|  SENIOR CENTER |  SHERIFF |  ABQ Bike Facilities |  Developed County Park |
|  LIBRARY |  SOLID WASTE |  ABQ Ride Routes |  Undeveloped County Park |
|  MUSEUM | |  Albuquerque City Limits |  Developed City Park |
| | | |  Undeveloped City Park |



Project Number: 1004167



I. INTRODUCTION

Surrounding Zoning, Plan Designations, and Land Uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	C-1 (SC)	Area of Change, West Side Strategic Plan, Coors Corridor Plan	Vacant
<i>North</i>	C-1 (SC)	Area of Change, West Side Strategic Plan, Coors Corridor Plan	Self-Storage
<i>South</i>	SU-1 for PRD/8 DU/Acre Requiring Landscape and Open Space Buffers	Area of Consistency West Side Strategic Plan, Coors Corridor Plan	Vacant/Residential
<i>East</i>	SU-1 for Church and related uses	Area of Change, West Side Strategic Plan, Coors Corridor Plan	Institutional
<i>West</i>	C-1 (SC)	Area of Change, West Side Strategic Plan, Coors Corridor Plan e	Commercial/Vacant

Proposal

This is a request for a Site Development Plan for Building Permit for Lot 2, an approximately 2-acre parcel (the “subject site”), at the southeast corner of the Bosque Plaza Shopping Center on Bosque Plaza Lane, east of Coors Boulevard NW and south of La Orilla Road NW.

The applicant proposes to develop an approximately 8,900 square foot, L-shaped building that is partially 1-story and steps up to 2-stories on the northern leg. The subject building is expected to house space for offices and retail sales of items such as oxygen tanks and wheelchairs for Legacy Health, a hospice organization. Access to the property will be at the northwest corner of the site and will travel south in front of the building toward the primary parking area at the southern portion of the property.

The subject site is within an Area of Change of the Comprehensive Plan, within the Talyor Ranch Community of the West Side Strategic Plan, within the boundaries of the Coors Corridor Plan and part of the recently amended Bosque Plaza Site Development Plan for Subdivision, and therefore must comply with these applicable plans including the Design Standards of Bosque Plaza.

EPC Role

The Environmental Planning Commission (EPC) is hearing this case because the EPC has decision-making authority for site development plans in SC, Shopping Center sites, by the same approval process as SU-1 zones pursuant to Zoning Code Sections 14-16-3-2(C) of Shopping Center Regulations and 14-16-2-22(A)(1) of SU-1 Special Use Zones. The EPC

is the final decision-making body unless the EPC decision is appealed. If appealed, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council, which would make the final administrative decision pursuant to Zoning Code Section 14-16-4-4-(A)(2) Appeal. This is a quasi-judicial matter.

History/Background

Prior to annexation to the City, the entire site was zoned County C-1. In May 1987, the subject site was annexed as part of an approximately 12 acre annexation (AX-87-9) and C-1 zoning was established (Z-87-56). In July 1987, the EPC approved a site development plan for subdivision and a site development plan for building permit for a home improvement center and nine other freestanding buildings, which were never built.

The approximately 12 acre site was not designated a Shopping Center upon annexation even though it met the Zoning Code definition by being over 5 acres and zoned C-1. In 2001, the Zoning Enforcement Manager determined that based upon the intent of the property owners and the EPC at the time of annexation and zoning establishment in 1987, the site was indeed a Shopping Center. In 2004, Lots 1-9 were re-platted and named the Bosque Plaza shopping center. This action renumbered the lots, established new easements and created Bosque Plaza Lane NW to provide access.

In April of 2004, in the absence of Design Standards, a Village Inn restaurant was constructed on Lot 10-A (Project #1002397) of Bosque Plaza at the corner of Coors Boulevard NW and La Orilla NW. In October of 2005, a Dairy Queen restaurant with a drive-up service window was approved, but at that time strict conditions of approval were placed to blend it architecturally with Riverside Plaza to the south. In July of 2006, the EPC approved the Site Development Plan for Subdivision and Design Standards for Bosque Plaza. In September of 2006, a request for a Panda Express restaurant was approved by the EPC (Project #1004647).

In July of 2008, the EPC approved a Site Plan for Building Permit for a medical office building on the Lot 3 immediately to the west of the subject site (Project #1007313). In May of 2017, a 2-story indoor storage facility was approved by the EPC for Lot 1 immediately to the north of the subject site after a conditional use permit was acquired for the storage use, and this project is currently involved with the DRB process.

Context

The Bosque Plaza Shopping Center consists of 11 lots on 12 acres. At this time, Lots 10A (Village Inn), 10B (Panda Express), 6A (Dairy Queen) 5A (medical offices), and 3 (medical offices) have been developed, and seven lots are still undeveloped within Bosque Plaza Shopping Center.

Winter Haven Road NW dead ends with a cul-de-sac at the southern edge of the subject site and there is an ADA accessible pedestrian connection via a concrete drainage channel to Bosque Plaza Road NW. Immediately to the south of the subject site is a gated residential development east of Winter Haven Road NW; however, the residential lots closest to the subject site are still vacant.

The area to the southwest is developed as shopping centers, Riverside Plaza and Montaña Plaza, a designated Neighborhood Center. The site immediately to the east is a church and there is a concrete block wall separating the lots. The lot immediately to the north within the Bosque Plaza Shopping Center is currently vacant, but was approved by the EPC in May of 2017 for a two-story self-storage facility.

Since this lot is on the east side of the Bosque Plaza Shopping Center, the remainder of the Bosque Plaza lots lie to the west with a recently constructed medical office on the adjacent lot to the west. Farther west across Coors Boulevard lies a new movie theater and restaurant located in unincorporated Bernalillo County.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Coors Boulevard as a Principal Arterial. The LRRS designates La Orilla as a Local street. Bosque Plaza Lane is a private roadway that provides direct access to Coors Boulevard from the Bosque Plaza Subdivision.

Comprehensive Plan Corridor Designation

Coors Boulevard is a Major Transit Corridor.

Trails/Bikeways

There is an existing Bike Lane along Coors Boulevard, a Bike Route along Winter Haven Road, which dead ends at the subject site, and a paved multiple use trail along La Orilla Road. An existing concrete channel within a drainage easement is designated a pedestrian pathway by the Site Plan for Subdivision Design Standards and links Winter Haven Road and Bosque Plaza Lane on the western edge of the subject site.

Transit

Routes 96 and 155 share a pair of stops on Coors about 450 feet on either side of the La Orilla intersection.

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

The site is zoned C-1 (SC) Neighborhood Commercial, Shopping Center. The C-1 zone provides suitable sites for office, service, institutional, and limited commercial uses to satisfy the day to day needs of residential areas. The Zoning Code requires that Shopping Centers sites develop in accordance with an EPC approved Site Development Plan.

However, unlike the SU-1 zone, the EPC does not have discretion over height and parking, which are subject to the C-1 zone. The EPC can require additional landscape buffers in unusual circumstances, but the development of the site is generally governed by the underlying requirements of the Zoning Code and requirements of applicable plans including the Site Development Plan. The subject site is permitted by right to operate the permissive uses in the C-1 zone, which include the requested office and retail uses.

Definitions

SHOPPING CENTER: A premises containing five or more acres; zoned P, C-1, C-2, C-3, M-1, M-2 or a combination thereof; or a large retail facility; but excluding premises used and proposed to be used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT: An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies, in addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for non-auto transportation, or energy conservational building construction), and proposed schedule for development.

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:

Plan Element 5: Land Use

Policy 5.1.2- Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The request furthers Policy 5.1.2 because the request would result in development of a commercial office and retail building that meets applicable regulations including those in the Zoning Code, in the Bosque Plaza Shopping Center Design Standards, and in the Coors Corridor Plan view protection; and therefore is appropriate in scale and density for a shopping center in an area zoned for commercial uses but outside of the designated activity center immediately to the south.

Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request furthers Goal 5.3 because the subject site is in an area that has seen an increased amount of development, and has access to a full range of urban services

including water and sewer, electrical service, paved roads, and provision of emergency response services. The subject site is in the middle of established existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible to local and outside residents.

Policy 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request furthers Policy 5.6.2 because the growth resulting from the request would be directed to a neighborhood commercial location adjacent to a Major Transit Corridor, where change is generally encouraged. Major Transit Corridors are intended to be transit and pedestrian-oriented near transit stops, while auto-oriented along much of the corridor. The proposed use would be auto-oriented but would be accessible by pedestrians from Coors Boulevard and Bosque Plaza Lane.

West Side Strategic Plan (Rank 2)

The West Side Strategic Plan (WSSP) was first adopted in 1997 and amended in 2002 to help promote development of Neighborhood and Community Activity Centers. The WSSP identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The subject site is located in the Taylor Ranch community, which consists of the area within the following boundaries: the Volcanic Escarpment on the west, Paseo del Norte on the north, the river on the east and the vicinity of Western Trail Road on the south.

The request furthers the West Side Strategic Plan because it is adding offices and commercial retail development to an existing shopping center in the Taylor Ranch Community.

Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City and efficient location for receiving City services.

The request furthers Policy 3.12 because all Bosque Plaza lots, including the subject site (Lot 2), are located within City boundaries in the Taylor Ranch Community and are therefore an appropriate location for growth and an efficient location for receiving City services.

Policy 3.18 (Taylor Ranch): Protection and preservation of the Bosque is critical. Development east of Coors Boulevard shall be sensitive to this community asset.

The request furthers WSSP Policy 3.18 because the proposed building would be located in the Bosque Plaza shopping center, located just south of La Orilla Road, which provides one of the few remaining public access points to the valued community asset of the Bosque. The request generally demonstrates sensitivity toward the Bosque environment by meeting the view preservation requirements in the Coors Corridor Plan, by complying with the Bosque Plaza Design Standards, and because the use does not compromise Bosque protection.

Coors Corridor Plan (Rank 3)

The subject site lies within the boundaries of the Coors Corridor Sector Development Plan (CCSDP), a Rank III plan adopted in 1984 and amended in 1989, 1995 and 2003.

The CCSDP contains overarching policies and specific design regulations for development in the Coors Corridor area, which extends northward from Central Avenue to NM 528 (Corrales Road). The CCSDP divides the Coors Corridor into four segments; the subject site is located in Segment 3 (Western Trail to Calabacillas Arroyo) and lies within a view preservation area (see p. 103). The following CCSDP policies and regulations apply:

Policy 4.a.3-New Development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (p. 86).

The request furthers CCSDP Policy 4.a.3 because the colors are compatible with the nearby built environment and the nearby natural environment. The proposed building would not detract from the Bosque setting. The proposed building is a Territorial Revival design as required by the Bosque Plaza Design Standards.

Design regulation 1 (4.b.5.B.1): Landscaping “in” and “around” the paved area. A minimum of 20% of the parking lot area shall be landscaped. The landscaping shall consist primarily of shade trees and shrubs and shall be distributed throughout the parking lot. Generally, peripheral landscaping should not be less than 5 ft. in width.

The request complies with Design regulation 1 (4.b.5.B.1) because the proposed landscaping around the parking lot area consists of shade trees, shrubs and grasses and fulfills the requirement.

Policy 4.b.7-Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized (p. 96).

The request furthers Policy 4.b.7 because separate pedestrian connections from the sidewalk along Bosque Plaza Lane to the building are proposed and a pedestrian only access exists between the development to the south and the subject site.

Policy 4.b.10-Architectural Design: Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

A. Architectural Design, Design Guideline 3: “Trade-Mark” type buildings are discouraged (p. 100).

B. Architectural Details, Design Guideline 2: The predominant building color should be compatible with other buildings along the corridor and should reinforce the visual character of the environment of the proposed buildings. Differentiation of color should relate to material and/or plane differentiation or some other specific architectural purpose. Preferred colors are those used in traditional Southwest architecture. Integral coloring of concrete, stucco, and similar materials is encouraged (p. 101).

The request complies with the Design Guidelines of Policy 4.b.10 because the proposed building is a not a franchise design. The proposed colors are compatible with the natural and built visual environment in the area. The proposed building is compatible with the immediate built environment of the Bosque Plaza Shopping Center and does not detract from the Bosque natural landscape.

Policy 4.c.1-View Preservation: Unique views within and beyond the Coors Corridor area in Segments 3 and 4 east of Coors Boulevard should be protected and enhanced in accordance with additional design guidelines for this portion of the corridor (p. 103).

The request complies with Policy 4.c.1 because the subject site is located in Segment 3 and meets the view preservation design regulations. The two-story section of the proposed building would not penetrate the view plane and would not adversely impact scenic resources.

Design Standards

The purpose of the Bosque Plaza Site Development Plan for Subdivision Design Standards is to provide design guidance for the development to ensure that it will promote a high-quality cohesive development while furthering the intent of applicable City plans and policies. The proposed Site Development Plan for Building Permit meets the applicable Bosque Plaza Design Standards.

III. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Request

The request is for a Site Development Plan for Building Permit to construct an approximately 8,900 square foot office and retail facility for Legacy Healthcare on Lot 2 of Bosque Plaza and in compliance with the Bosque Plaza Site Development Plan for Subdivision.

Section 14-16-3-11(B) of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan, the Comprehensive Zoning Code and all other applicable City planning documents, per Section II of this staff report.

Site Plan Layout / Configuration

The subject site is located at the southeast corner of the Bosque Plaza shopping center, east of Coors Boulevard and south of La Orilla Road NW. The proposed building will face west onto Bosque Plaza Lane, an L-shaped private roadway within the shopping center that connects Coors Boulevard NW and La Orilla Road NW. The site is currently undeveloped with the exception of two concrete drainage channels on the northern and western boundaries with the latter also providing ADA accessible pedestrian connection to the subject site.

The site is generally rectangular with the longer edges on the east and west sides, and the shorter edges on the north and south. The proposed building is L-shaped with the northern 2-story leg holding the main entrance and the southern 1-story leg holding a secondary entrance within an enclosed courtyard. Portales are proposed at the entrance points on the west façade. The first story will hold offices and retail space while the second story will be exclusively office. The dumpster is proposed to be located at the southeast corner of the site.

Public Outdoor Space

In accordance with landscaping regulations and the Bosque Plaza Design Standards, landscaping and street trees are proposed along the adjacent street frontages. A sidewalk is proposed along these streets and benches are being provided on the outside of the walled courtyard in multiple locations.

The request proposes an enclosed walled courtyard with a trellis that provides private outdoor space. Appropriately placed benches are provided on the outside of the planter wall for the public per Zoning Code 14-16-3-18 (3).

Vehicular Access, Circulation and Parking

As a shopping center site, the EPC does not have discretion over parking in the same way it would for an SU-1 zoned property. Parking must be provided in accordance with the Comprehensive Zoning Code. The Bosque Plaza Design Standards require that the parking count is no more than 10% of the required parking by the Zoning Code.

The minimum required parking (with 1 space per 200 square feet on the first floor and 1 space per 300 square feet on the second floor) is 42 spaces, and the applicant is providing 47 spaces, which is the maximum allowed. The applicant incorporates the required amount of disabled, bicycle, and motorcycle parking spaces pursuant to the Zoning Code.

There are two access points to parking at the northwest part of the subject site on either side of a landscaped island. Drive aisles are proposed on the north, west, and south of the subject building with the primary parking area to the south. To the north of the subject building is a small parking area that is partially gated in order to lock in some of the vehicles, which hold expensive merchandise such as wheelchairs, at night.

Pedestrian and Bicycle Access and Circulation, Transit Access

Pedestrian access is provided by a sidewalk along Bosque Plaza Lane. Per Zoning Code 14-16-3-1 (H), pedestrian connections are 6-feet wide, demarcated with special paving, and connect the street sidewalk to the principal customer entrances. An existing concrete channel within a drainage easement is designated a ADA compliant pedestrian pathway by the Site Plan for Subdivision Design Standards and links Winter Haven Road and Bosque Plaza Lane on the western edge of the subject site. Transit access is provided from Coors Boulevard NW via Bosque Plaza Lane and the sidewalks provided by each lot as developed.

Walls/Fences

The eastern façade is proposed to hold a courtyard in front of the southern leg enclosed with a solid wall topped with a transparent metal fence and secured with a metal gate, all to be 5-foot maximum in height. The northern façade is proposed to have an enclosed section with a solid wall and transparent metal gates in order to secure parked vehicles with merchandise at night, all to be 6-foot maximum height. The proposed walls and fences will be a similar color as the building as specified by the Bosque Plaza Design Standards.

Lighting and Security

Lighting is proposed around the parking and drive aisles, and will be in compliance with the Design Standards by being a maximum of 16 feet tall since the parking area is near residential properties. Bronze sconce lighting will illuminate the elevations. Lights will be fully shielded to minimize fugitive light from escaping the subject site. A metal gate and stucco wall are proposed on the northern side of the building in order to secure company trucks at night.

Landscaping

Landscaping is required by the Zoning Code in the amount of 15% of the net lot area (lot area less building footprints). The total site area is 83,764 square feet, and the building area is 7,342 square feet leaving a total net lot area of 76,422 square feet. 15 percent of the net lot area of the subject site is 11,463 square feet, and the applicant is providing 19,913 square feet of landscape area (26%). The SPS design standards specify that 80% of the landscape area must consist of live vegetative coverage. The applicant is proposing 23,762 square feet of live vegetative coverage, or 120% of the required landscape area due to the spread of mature tree canopies.

All plants have been selected from the Bosque Plaza SPS plant list. Parking lot trees are provided at the rate of at least one tree for each ten spaces and all parking spaces are within 100 feet of a tree trunk as required by the Zoning Code. Four street trees have been provided along Bosque Plaza Lane with a mix of deciduous and evergreen trees in accordance with the Bosque Plaza Design Standards.

Grading, Drainage, Utility Plans

Generally, the site will drain from the west to the east where an existing drainage channel flows south into a drain inlet in the southeast portion of the site. Water and sewer service will be provided from existing lines located in Bosque Plaza Lane.

Architecture

In accordance with the Bosque Plaza Design Standards, the proposed building has a maximum height of 26 feet to the top of the parapet for the 2-story portion and 17-foot 6-inches for the 1-story portion. All facades include Territorial elements such as flat roofs with brick coping edging the parapet, earth-tone stucco, and white window frames and details such as lintels. On the west side, two portales are proposed over the double French-

door entrances. The east façade also holds a courtyard with a white trellis over the windows and doors. The second story holds a balcony with a guardrail on the east elevation.

Signage

Building-mounted signage is proposed primarily for the west elevation or front façade of the building to be positioned on the portales over the two entrances. Signage will meet all applicable regulations for the C-1 zone as well as the Design Standards for Bosque Plaza, which require that the signage area shall not exceed 6% of the façade.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies/Pre-Hearing Discussion

The New Mexico Department of Transportation (NMDOT) commented that Bosque Plaza Lane will need a permit for access to Coors Boulevard NW (NM 45), which is a state owned facility. Bosque Plaza Lane is a private road owned by the shopping center association, and the applicant will forward this comment to the shopping center owner.

The Department of Municipal Development commented that an additional multi-use trail should be added to the western side of the property along Bosque Plaza Lane. Staff has not conditioned this due to the following reasons:

- It appears that the existing ADA compliant concrete channel was intended to be the multi-use trail as shown in MRCOG's 2040 Long Range Bikeway System Map. Lot 2 and Lot 3 of the subdivision each have an easement to their property to accommodate this ADA accessible pedestrian connection as shown on the Site Plan for Subdivision Design Standards, which was determined in 2006 through the EPC.
- When applying the intent of the 2040 MRCOG plan for a multi-use connection, the site is meeting the intent in this way: pedestrians can walk the concrete connection and then travel the concrete sidewalk toward La Orilla; bicyclists can ride through the concrete connection and take the private Bosque Plaza Lane to the La Orilla multi-use trail. An asphalt multi-use trail on the site would have to cross many parking lot entrances which is undesirable to bicyclists.
- The site immediately to the north (Guardian Storage) does not currently have a multi-use trail shown on the EPC approved Site Plan which is going through the DRB process. If the site to the north does not provide a multi-use trail, the current applicant's trail would dead-end and not continue to the La Orilla multi-use trail.
- The site is an awkward shape, and if an asphalt trail was required adjacent to the concrete channel, landscaping would be eliminated to be replaced with asphalt and it would be unattractive to the neighborhood.

Neighborhood/Public

The applicant notified the Taylor Ranch Neighborhood Association and the West Side Coalition of Neighborhood Associations as well as property owners within 100 feet. A facilitated meeting was not requested nor held. The applicant has not received comments in support or opposition to the request.

V. CONCLUSION

The request is for a Site Development Plan for Building Permit for Lot 2 of Bosque Plaza Subdivision, an approximately 2 acre site located on the southeast corner of Bosque Plaza Lane, east of Coors Blvd and south of La Orilla Road (the “subject site”).

The applicant proposes to develop an approximately 8,900 square foot, L-shaped building with a 2-story leg and a 1 story leg for office and retail use. Access will be from Bosque Plaza Lane at the northwest corner of the subject site with a drive continuing around the front or west side of the building to the southern portion of the site where the primary parking area is located.

The request generally furthers applicable goals and policies of the Comprehensive Plan, the West Side Strategic Plan, and the Coors Corridor Plan, as well as meets the Design Standards of the Bosque Plaza Site Development Plan for Subdivision. Staff has not received comments in support or opposition to the request. Staff recommends approval of the Site Development Plan for Building Permit with the Findings and subject to the Conditions outlined in this staff report.

FINDINGS, Site Development Plan for Building Permit

Project # 1004167, Case # 17EPC- 40048

1. This is a request for a Site Development Plan for Building Permit for Lot 2 of Bosque Plaza Subdivision located on Bosque Plaza Lane, east of Coors Boulevard and south of La Orilla Road and containing approximately 2 acres.
2. The subject site is zoned C-1 (SC), Neighborhood Commercial with a Shopping Center designation. Retail and offices uses are permissive in the C-1 zone.
3. The applicant proposes to develop an approximately 8,900 square foot, 2-story L-shaped building with office and retail space.
4. The proposed Site Development Plan for Building Permit complies with the Bosque Plaza Site Development Plan for Subdivision and Design Standards, as well as the Coors Corridor view preservation requirements.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Coors Corridor Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. Section 14-16-3-11 of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." The attached site development plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan, and other applicable Plans.
7. The subject site is located in an Area of Change as designated by the Comprehensive. Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:
 - a. The request furthers Policy 5.1.2 because the request would result in development of a commercial office and retail building that meets applicable regulations including those in the Zoning Code, the Bosque Plaza Shopping Center Design Standards, and the Coors Corridor Plan view protection overlay; and therefore is appropriate in scale and density for a shopping center in an area zoned for commercial uses.
 - b. The request furthers Goal 5.3 because the subject site is in an area that has seen an increased amount of development, and has access to a full range of urban services including water and sewer, electrical service, paved roads, and provision of emergency response services. The subject site is in the middle of existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible to nearby residents and other visitors.
 - c. The request furthers Policy 5.6.2 because the growth resulting from the request would be directed to a neighborhood commercial location adjacent to a Major Transit Corridor, where change is generally encouraged. Major Transit Corridors are intended to be transit and pedestrian-oriented near transit stops, while auto-oriented along much of the corridor. The proposed use would be auto-oriented but would be accessible by pedestrians from Coors Boulevard and Bosque Plaza Lane.

8. The subject site is located in the Taylor Ranch community of the West Side Strategic Plan (Rank 2 Area Plan) and furthers the West Side Strategic Plan because the request is adding retail and office development to an existing shopping center in that community. Additional applicable policies include:
 - a. The request furthers Policy 3.12 because all Bosque Plaza lots, including the subject site (Lot 2), are located within City boundaries in the Taylor Ranch Community and are therefore an appropriate location for growth and an efficient location for receiving City services.
 - b. The request furthers WSSP Policy 3.18 because the proposed building would be located in the Bosque Plaza shopping center, located just south of La Orilla Road, which provides one of the few remaining public access points to the valued community asset of the Bosque. The request demonstrates sensitivity toward the Bosque environment by meeting the view preservation requirements in the Coors Corridor Plan, by complying with the Bosque Plaza Design Standards, and because the use does not compromise Bosque protection.
9. The subject site lies within the boundaries of the Coors Corridor Sector Development Plan (CCSDP), a Rank 3 Sector Plan, adopted in 1984 and amended in 1989, 1995 and 2003. Applicable policies and regulations include:
 - a. The request furthers CCSDP Policy 4.a.3 because the colors are compatible with the nearby built environment and the nearby natural environment. The proposed building would not detract from the Bosque setting. The proposed building is a Territorial Revival design as required by the Bosque Plaza Design Standards.
 - b. The request complies with Design regulation 1 because the proposed landscaping around the parking lot area consists of shade trees, shrubs and grasses and fulfills the required 20% of the parking lot area landscaped with primarily of shade trees and shrubs distributed throughout the parking lot.
 - c. The request furthers Policy 4.b.7 because separate pedestrian connections from the sidewalk along Bosque Plaza Lane to the building are provided and a pedestrian only access exists between the development to the south and the subject site.
 - d. The request complies with the Design Guidelines of Policy 4.b.10 because the proposed building is a not a franchise design. The proposed colors are compatible with the natural and built visual environment in the area. The proposed building is compatible with the immediate built environment of the Bosque Plaza Shopping Center and does not detract from the Bosque natural landscape.
 - e. The request complies with Policy 4.c.1 because the subject site is located in Segment 3 and meets the view preservation design regulations. The two-story section of the proposed building would not penetrate the view plane and would not adversely impact scenic resources.
10. The Taylor Ranch Neighborhood Associations and the West Coalition of Neighborhoods were notified of the request, as well as property owners within 100 feet. A facilitated meeting was not requested nor held for this request.

RECOMMENDATION

APPROVAL of 17EPC-40048, a request for Site Development Plan for Building Permit, for Lot 2 of Bosque Plaza Subdivision, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL, Site Development Plan for Building Permit

Project # 1004167, Case # 17EPC- 40048

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Architectural Site Plan shall be re-labeled "Site Plan for Building Permit".
4. Per Zoning Code 14-16-3-1 (H) (1), pedestrian walkways shall be lined with adjacent shade trees. Trees shall be added to the landscape strip between the pedestrian connection to Winter Haven and the parking lot to meet this requirement. In addition, one tree shall be added to the landscape island closer to the pedestrian connection that leads to the building entrance just north of the pedestrian connection entrance.
5. The special paving material for the pedestrian connections shall be specified.
6. An ADA accessible curb cut shall be made to connect the pedestrian connection between Winter Haven Road NW and Bosque Plaza Lane NW at the sidewalk.
7. A note shall be added on the Elevations under General Notes "Individual building-mounted signs shall have an area not to exceed 6% of the façade to which it is applied. All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location."

Transportation Development

8. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
9. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

10. It is not apparent what type of pavement surface is being proposed. Please provide detail per the zoning code.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.

12. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

Water Utility Authority

13. As a condition for approval an availability statement is required. Requests can be made at the link below:

- http://www.abcwua.org/Availability_Statements.aspx
- Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.

14. Please note that the water meter box installed with project 26-7134.81-05 indicates the installation of a 2" water service.

- The proposed utility plan does not indicate the size of the meter to be used for the site. The standard detail for water services groups services sizes for ¾" and 1", as well as 1 ½" and 2". Based on the existing 2" water service, the meter is to be 1-1/2" or 2" if the existing service is to be utilized. If a service other than that mentioned is desired, a new connection to the street as well as abandonment of the existing service will be required.

15. The proposed utility plan does not indicate utilization of the existing fire line.

- Please note that as the site develops if the fire line is not required then the fire line will need to be abandoned to the distribution main in the street prior to sale of service.

Solid Waste Management Department:

16. All new/proposed refuse enclosures must be built to COA requirements. Contact Mike Anaya at (505) 761-8125 or (505) 681-2765. Owner will trim island trees so they will not encroach into the turning radius required by solid waste.

Public Service Company of New Mexico (PNM)

17. Existing PNM underground distribution lines are located along the southern, western and eastern boundaries of the subject property. It is the applicant's obligation to abide by any conditions or terms of those easements.

18. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Andrew Gurule
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107
Phone: (505) 241-0589

19. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

New Mexico Department of Transportation

20. The NMDOT is requiring the owner complete the State Access Management Manual's Site Threshold Assessment (STH) or provide a Traffic Impact Study (TIS) Addendum to the originally approved TIS if already completed. Please schedule an appointment with Nancy Perea or Margaret Haynes to discuss this development's potential impacts on NM 45 Coors Blvd.
21. The city road, Bosque Plaza Lane that accesses NM 45 (Coors Blvd) at MP 18.6 is currently NOT permitted. Per the State Access Management Manual (SAMM) the NMDOT is asking City of Albuquerque to obtain an access permit from the NMDOT. Please contact Israel Suazo at 798-6655 to coordinate the submittal of an access permit application for approval.
- Bosque Plaza Lane NW is a private road owned by the shopping center. The applicant will forward the request for the access permit to the shopping center owner.*
22. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
-



Planner

Notice of Decision cc list:

Legacy Home Health, 9388 Valley View Dr. NW, 3300, ABQ, NM 87114
Daniel Puzak, AIA, P.O. Box 1515, Cedar Crest, NM 87008
Gerald Worrall, 1039 Pinatubo Pl. NW, ABQ, NM 87120
Harry Hendriksen, 10592 Rio Del Sole Ct NW, ABQ, NM 87114
Rene Horvath, 5515 Palomino Dr. NW, ABQ, NM 87105
Jolene Wolfley, 7216 Carson Tr. NW, ABQ, NM 87120

AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

No adverse comments.

Office of Neighborhood Coordination

The West Side Coalition of Neighborhoods and the Taylor Ranch Neighborhood Association were notified.

Long Range Planning

No comment.

CITY ENGINEER

Transportation Development

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. It is not apparent what type of pavement surface is being proposed. Please provide detail per the zoning code.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
3. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Section:

Coors Blvd. is designated as a Regional Principal Arterial by MRCOG's 2040 Long Range Roadway System Map and is owned by NMDOT. Please refer to NMDOT for further comment. La Orilla is designated as a Major Collector.

The City's 2015 Bikeways and Trails Facility Plan and MRCOG's 2040 Long Range Bikeway System Map both call for a new multi-use trail to be installed along Bosque Plaza Lane running north/south and connecting the northern termini of Winter Haven Rd. to La Orilla Road. The submitted site development plan currently does not identify the

new trail, but instead just a sidewalk along its western frontage. Should the site development plan be approved by EPC, DMD recommends that the site development plan include the multi-use trail in accordance with the previously referenced maps.

WATER UTILITY AUTHORITY

1. As a condition for approval an availability statement is required. Requests can be made at the link below:
 - http://www.abcwua.org/Availability_Statements.aspx
 - Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
2. Please note that the water meter box installed with project 26-7134.81-05 indicates the installation of a 2” water service.
 - The proposed utility plan does not indicate the size of the meter to be used for the site. The standard detail for water services groups services sizes for ¾” and 1”, as well as 1 ½” and 2”. Based on the existing 2” water service, the meter is to be 1-1/2” or 2” if the existing service is to be utilized. If a service other than that mentioned is desired, a new connection to the street as well as abandonment of the existing service will be required.
3. The proposed utility plan does not indicate utilization of the existing fire line.
 - Please note that as the site develops if the fire line is not required then the fire line will need to be abandoned to the distribution main in the street prior to sale of service.

PARKS AND RECREATION

SOLID WASTE MANAGEMENT DEPARTMENT

All new/proposed refuse enclosures must be built to COA minimum requirements. The 2 island trees on approach to enclosure need to be removed. Cut back the sidewalk, North of proposed refuse enclosure by 5’, up to the 30’ radius marker on Pg. AS001, to allow safe refuse truck exit.

TRANSIT DEPARTMENT

1004167 17EPC- 40048	Site Plan for Building Permit for a Clinic for 1.92 acres at La Orilla and Coors	Coors Major Transit Corridor	Commuter Route 96 and Fixed Route 155 both run on Coors	Both routes share a stop pair about 400 feet either side of La Orilla Road	No Comment
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ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed, No comment.

ALBUQUERQUE PUBLIC SCHOOLS

This will have no adverse impacts to the APS district.

MID-REGION COUNCIL OF GOVERNMENTS

Reviewed. No adverse comments.

PUBLIC SERVICE COMPANY OF NEW MEXICO

1. Existing PNM underground distribution lines are located along the southern, western and eastern boundaries of the subject property. It is the applicant's obligation to abide by any conditions or terms of those easements.
2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Andrew Gurule
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107
Phone: (505) 241-0589

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)

District 3 Traffic

Possible Impacted NMDOT roadway(s): NM 45 (Coors Blvd)

1. The NMDOT is requiring the owner complete the State Access Management Manual's Site Threshold Assessment (STH) or provide a Traffic Impact Study (TIS) Addendum to the originally approved TIS if already completed. Please schedule an appointment with Nancy Perea or Margaret Haynes to discuss this development's potential impacts on NM 45 Coors Blvd.
2. The city road, Bosque Plaza Lane that accesses NM 45 (Coors Blvd) at MP 18.6 is currently NOT permitted. Per the State Access Management Manual (SAMM) the NMDOT is asking City of Albuquerque to obtain an access permit from the NMDOT. Please contact Israel Suazo at 798-6655 to coordinate the submittal of an access permit application for approval.



View of the subject site looking east.



View from the subject site looking northeast.



View from the subject site looking southeast.



View of the subject site looking north from Winter Haven Rd NW cul-de-sac.



View from the subject site looking west.



View of the entrance to the pedestrian connection from the subject site.

HISTORY



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 21, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004167**
05EPC -01225 Site Development Plan-
Subdivision

La Orilla Group LLC
5445 Edith NE, Suite F
Albuq., NM 87107

LEGAL DESCRIPTION: for all or a portion of
Lots 1-9, 10A & 10B, **Bosque Plaza**, zoned C-1
(SC), located on the west side of COORS BLVD.
NW, between SE CORNER of LA ORILLA and
COORS BLVD. NW, containing approximately
11.46 acres. (E-12) Catalina Lehner, Staff
Planner

On July 20, 2006 the Environmental Planning Commission voted to approve Project 1004167/05EPC 01225, a request for a Site Development Plan for Subdivision, for Lots 1-9, 10A and 10B of the Bosque Plaza Shopping Center, zoned C-1 (SC), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision with design standards for Lots 1-9, 10A and 10B of the Bosque Plaza Shopping Center, an approximately 12 acre site. This request includes creation of Lot 10-C and a corresponding new lot line.
2. The 11 Bosque Plaza lots are zoned C-1 (SC), a designation received upon annexation in 1987. The C-1 (SC) zoning ensures that subsequent requests for development on individual lots will come before the Environmental Planning Commission (EPC).
3. This site plan for subdivision replaces the 1987 approval (Z-87-69).
4. First presented at the August 18, 2005 EPC hearing, this request has been in the (EPC) process for a year. It has taken this amount of time to develop meaningful design standards.
5. This request was heard and then deferred for 60 days at the April 20, 2006 EPC hearing. The applicant was asked to obtain cooperation of the owners of Lots 2 and 3 to make the Winterhaven Road connection possible.

6. The site plan for subdivision *further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5.e-Programmed facilities/neighborhood integrity. Urban services are already available.
 - B. Policy II.B.5.l-Design quality/innovation. Architectural style and colors are limited to ensure their appropriateness to the Plan area.

7. The site plan for subdivision *partially further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5.d-Neighborhood values/natural environmental conditions. Architectural style and colors are limited, but the number of drive-thru uses is not.
 - B. Policy II.D.4.g-Transportation and transit. The site plan could do more to create safe and pleasant non-motorized travel conditions by limiting the number of drive-thru uses.
 - C. Policy II.B.5.i-Employment/service use location. Bosque Plaza is located in a mostly commercial area, but residential uses have developed nearby.
 - D. Policy II.B.5.j-Location of new commercial development. Bosque Plaza is not an area-wide shopping center, but could function as a neighborhood shopping center if it was better connected to the surrounding area.

8. The site plan for subdivision *partially further*s the following West Side Strategic Plan (WSSP) policies:
 - A. Policy 3.18-Development east of Coors/Bosque preservation. Architecture styles are limited and will blend with natural environmental conditions. Building elements, however, are unrestricted.
 - B. Policy 4.6-Design guidelines sections/policies. The site plan will ensure Bosque view preservation by complying with CCSDP regulations, but potentially distracting building elements are unrestricted.
 - C. Policy 4.10-Land use/vehicle alternatives. Separate vehicle and pedestrian entrances and pedestrian paths are included, but promoting single-occupancy vehicle alternatives is difficult without limiting the number of drive-thrus.

9. The site plan for subdivision *does not further* the intent of WSSP Policy 3.16-uses in Centers, and Policy 1.1-Community and Neighborhood Centers, though it *further*s Policy 3.12-contiguous location for growth.

10. Regarding the Coors Corridor Sector Development Plan (CCSDP), the site plan for subdivision *further*s the following policy: Policy 4.a.3-New development. Colors and architectural style are limited.

11. The site plan for subdivision *partially further*s the following CCSDP policies:
 - A. Policy 4.b.9.A.2-Site Lighting Regulation. It limits pole height but not exterior lighting.
 - B. Policy 4.d.1-Signage Regulation. It meets basic requirements but does not provide for limitations that would further the intent of preserving the surrounding environment.

- C. Policy 7-Access. Separate vehicle and pedestrian access is provided, but the pedestrian paths are proposed on drive aisles.
12. The submittal *complies* with the following CCSDP policies:
- A. Policy 4.b.2.A.1-Building Setback Regulation, because the 35 foot setback is required.
 - B. Policy 4.b.4.A.2-Site Landscaping Regulation, because refuse enclosures and utility boxes will be screened.
 - C. Policy 4.c.1-Views preservation, because the site plan specifies that buildings shall comply with CCSDP views preservation regulations.
 - D. Design Guideline 2 of Policy 4.b.10-Architectural Details, because building colors are limited, but any color can be used for building elements.
 - E. Design Guideline 3 of Policy 4.b.10-Architectural Details, because franchise architecture and corporate decorations are prohibited.
 - F. Policy 4.b.2.B.1-Height and Bulk Regulation, because height is per the underlying zone and CCSDP views regulations.
 - G. Policy 4.b.4.A.6-Site Landscaping Guideline, because it mentions refuse enclosures and fencing must be compatible with building architecture.
 - H. Policy 4.b.4.B.2-Site Landscaping Regulation, because crushed rock, river rock or similar materials can be top dressing but not groundcovers.
 - I. Policy 4.b.5.B.1-Off-Street Parking Regulation-Landscaping, because a minimum 20% of the parking areas shall be landscaped.
 - J. Policy 4.b.5.B.2-Off-Street Parking Regulation, because at least one tree is provided for every 10 parking spaces and every 15 linear parking spaces.
13. Limiting the number of drive-thru uses is appropriate in Bosque Plaza because drive-thru uses promote auto-oriented sites, discourage pedestrians and generate traffic that could compromise Bosque protection at La Orilla Road.
14. A connection at Winterhaven Road is not needed because the recently widened Montano bridge can accommodate two turning lanes from southbound Coors to eastbound Montano, and the access control median at the Montano/Winterhaven intersection minimizes turning movement delays.
15. Connecting the Riverside Plaza and Bosque Plaza shopping centers will serve local traffic, promote pedestrianism, maintain the residential nature of Winterhaven Road and create synergy between commercial uses.
16. This connection will be provided between Riverside Plaza Lots 7A and 8A and between Bosque Plaza Lots 4 and 5.
17. The neighborhoods are opposed to a connection at Winterhaven Road. They support uniform architecture, limiting the number of drive-thru uses and connecting Bosque Plaza to the Riverside Plaza shopping center.

17. A note in the file re: #16.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are thoroughly addressed. Evidence of this meeting shall be provided to the DRB at the time of application.
3. A vehicular (and pedestrian) connection shall be provided between Lot 4 and Lot 5 to internally link the Bosque Plaza and Riverside Plaza shopping centers.
4. References to a Winterhaven Road connection shall be removed from the site plan.
5. **CONDITIONS FROM THE CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**
Conditions of approval for the proposed Site Development Plan for Subdivision shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Site plan shall comply and be designed per DPM Standards.
 - e. Platting must be a concurrent DRB action.
 - f. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
 - g. Construction of the fourth northbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).

OFFICIAL NOTICE OF DECISION
JULY 20, 2006
PROJECT #1004167
PAGE 5 OF 6

6. Drive thru uses shall be limited as follows: 2 fastfood restaurants and 1 financial institution. No other drive thru uses shall be allowed.
7. There shall be no cell phone towers.
8. Building signage shall be limited to 6% of the building facades to which it is applied.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 4, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/CL/ac

OFFICIAL NOTICE OF DECISION

JULY 20, 2006

PROJECT #1004167

PAGE 6 OF 6

cc: Jim Strozier, Consensus Planning, 302 Eighth St. NW, Albuquerque, NM 87102
Rene Horvath, Taylor Ranch NA, 5515 Palomino Dr. NW, Albuquerque, NM 87120
Jolene Wolfley, Taylor Ranch NA, 6804 Staghorn NW, Albuquerque, NM 87120
Ken Brudos, Alban Hills NA, 6441 Via Corta del Sur NW, Albuquerque, NM 87120
Cindi Caruso Mapel, Alban Hills NA, 6507 Calle Redonda NW, Albuquerque, NM 87120
Janet Laros, Coors Trail NA, 2924 River Willow Tr. NW, Albuquerque, NM 87120
Jim Timmons, Coors Trail NA, 2715 Pueblo Grande NW, Albuquerque, NM 87120
Alan Schwartz, c/o Las Terrazas NA, PO Box 66862, Albuquerque, NM 87193
Sharon Sharrett, 6250 Winterhaven Rd. NW, Albuquerque, NM 87120
Sandra Carnes, 6408 Winterhaven Rd. NW, Albuquerque, NM 87120
Bill Kraemer, 200 Lomas NW, #1111, Albuquerque, NM 87103

ZONING

Please refer to the Zoning Code for specifics of
the C-1 zone and the SU-1 zone.

APPLICATION INFORMATION



SUBDIVISION		Supplemental Form (SF)	
<input type="checkbox"/>	Major subdivision action	S	Z ZONING & PLANNING
<input type="checkbox"/>	Minor subdivision action		Annexation
<input type="checkbox"/>	Vacation	V	Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/>	Variance (Non-Zoning)		Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN		P	Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input checked="" type="checkbox"/>	for Subdivision		
<input checked="" type="checkbox"/>	for Building Permit	D	Street Name Change (Local & Collector)
<input type="checkbox"/>	Administrative Amendment (AA)	L	A APPEAL / PROTEST of...
<input type="checkbox"/>	Administrative Approval (DRT, URT, etc.)		Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/>	IP Master Development Plan		
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)		
STORM DRAINAGE (Form D)			
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DANIEL PUZAK, AIA PHONE: 505-506-2314
 ADDRESS: PO BOX 1515 FAX: _____
 CITY: CEDAR CREST STATE NM ZIP 87008 E-MAIL: DANIEL@ALIASINC.CO
 APPLICANT: LEGACY HOME HEALTH PHONE: 505-917-7998
 ADDRESS: 9388 VALLEY VIEW DRIVE NW QUITE 300 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87114 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: LIMMY MELTON

DESCRIPTION OF REQUEST: NEW BUILDING FOR OFFICE /RETAIL FOR LEGACY HOME HEALTH

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: BOSQUE PLAZA
 Existing Zoning: C-1 Proposed zoning: C-1 MRGCD Map No _____
 Zone Atlas page(s): E-12-7 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z, V, S, etc.):
1004167

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.9231
 LOCATION OF PROPERTY BY STREETS: On or Near: COORS & LA GRILLA
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 8/31/17
 (Print Name) DANIEL PUZAK, AIA Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>17EPC . 40048</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$ 50.00</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 166.08</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	Total
	Hearing date <u>Oct. 12, 2017</u>			<u>\$ 601.08</u>

[Signature] 8-31-17 Project # 1004167
 Staff signature & Date

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16)** Maximum Size: 24" x 36"
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15)** Maximum Size: 24" x 36"
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **20 copies**
- Site Plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
 - Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
 - Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
 - Registered engineer or architect's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01)** Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
 - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DANIEL PURAK
 Applicant name (print)
[Signature] 8/31/17
 Applicant signature / date



Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

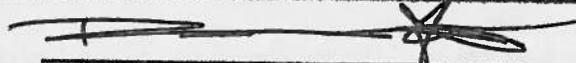
Application case numbers
17-EPC-40048

Form revised November 2010
[Signature] 8-31-17
 Planner signature / date
 Project #: 1004167

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

 8/31/17
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale:
 - 1.0 acre or less 1" = 10'
 - 1.0 - 5.0 acres 1" = 20'
 - Over 5 acres 1" = 50'
 - Over 20 acres 1" = 100'
 - [other scales, if approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Vicinity map
- 6. Signature Block (for DRB site dev. plans)
- 7. Property lines (clearly identify)
- 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: DANIEL PUZAK DATE OF REQUEST: 8/31/17 ZONE ATLAS PAGE(S): E-12-E

CURRENT:

ZONING C-1
PARCEL SIZE (AC/SQ. FT.) 1.9231

LEGAL DESCRIPTION:

LOT OR TRACT # 2 BLOCK # _____
SUBDIVISION NAME BOSQUE PLAZA

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 1
BUILDING SIZE: _____ (sq. ft.)
8,998 NLSF, 13,000 GSF

*6,199 NLSF OFFICE
2,699 NLSF RETAIL*

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 8/31/17

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]
TRAFFIC ENGINEER

8/31/17
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB**. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

September 28, 2017

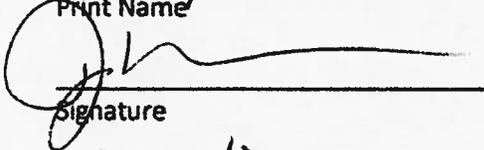
City of Albuquerque
Environmental Planning Commission
PO Box 1239
Albuquerque, NM 87103

RE: 3610 Bosque Plaza NW- Lot 2 Bosque Plaza

To Whom It May Concern:

As the Owner/Developer, I authorize Garcia/Kraemer & Associates to act as agent on behalf of Jimmy Melton, on matters pertaining to any and all submittals to the City of Albuquerque regarding the above referenced property.

Jimmy Melton
Print Name


Signature

Owner/Developer
Title

8/30/17
Date



Aria Studio Consultants, Inc.
Daniel Puzak, AIA | PO Box 1515 Cedar Crest, NM 87008 | 505-506-2314 | daniel@ariascinc.com

August 30, 2017

To Whom It May Concern:

This letter authorizes Daniel Puzak, AIA, and Debra West of Aria Studio Consultants, Inc. to serve as the representative for Legacy Home Health and Hospice in all matters to do with the City of Albuquerque regarding approvals and permits for construction.

If you have any questions, I can be reached at (505) 917-7998.

Thank You.

A handwritten signature in black ink, appearing to read "Jimmy Melton", followed by a long horizontal line extending to the right.

Jimmy Melton
Legacy Home Health
9388 Valley View Drive NW, Suite 300
Albuquerque, NM 87114



Aria Studio Consultants, Inc.

Daniel Puzak, AIA | PO Box 1515 Cedar Crest, NM 87008 | 505-506-2314 | daniel@ariascinc.com

August 30, 2017

Environmental Planning Commission
City of Albuquerque
600 2nd Street N.W.
Albuquerque, NM 87102

RE: EPC Hearing for Site Development at Lot 2, Bosque Plaza-Legacy Home Health and Hospice

On behalf of Legacy Home Healthcare Group, our team at ARIA Studio Consultants, Inc. is pleased to announce the development of the site at Lot 2, at Bosque Plaza. The site is at the SE corner of Coors and La Orilla, and is zoned (C-1).

With this site development, we are proposing a 8,898 NLSF retail/office building which can accommodate offices, and retail spaces for Legacy Home Health and Hospice. The site will also accommodate parking, landscaping and pedestrian connections per the requirements of the approved site plan for subdivision for Bosque Plaza.

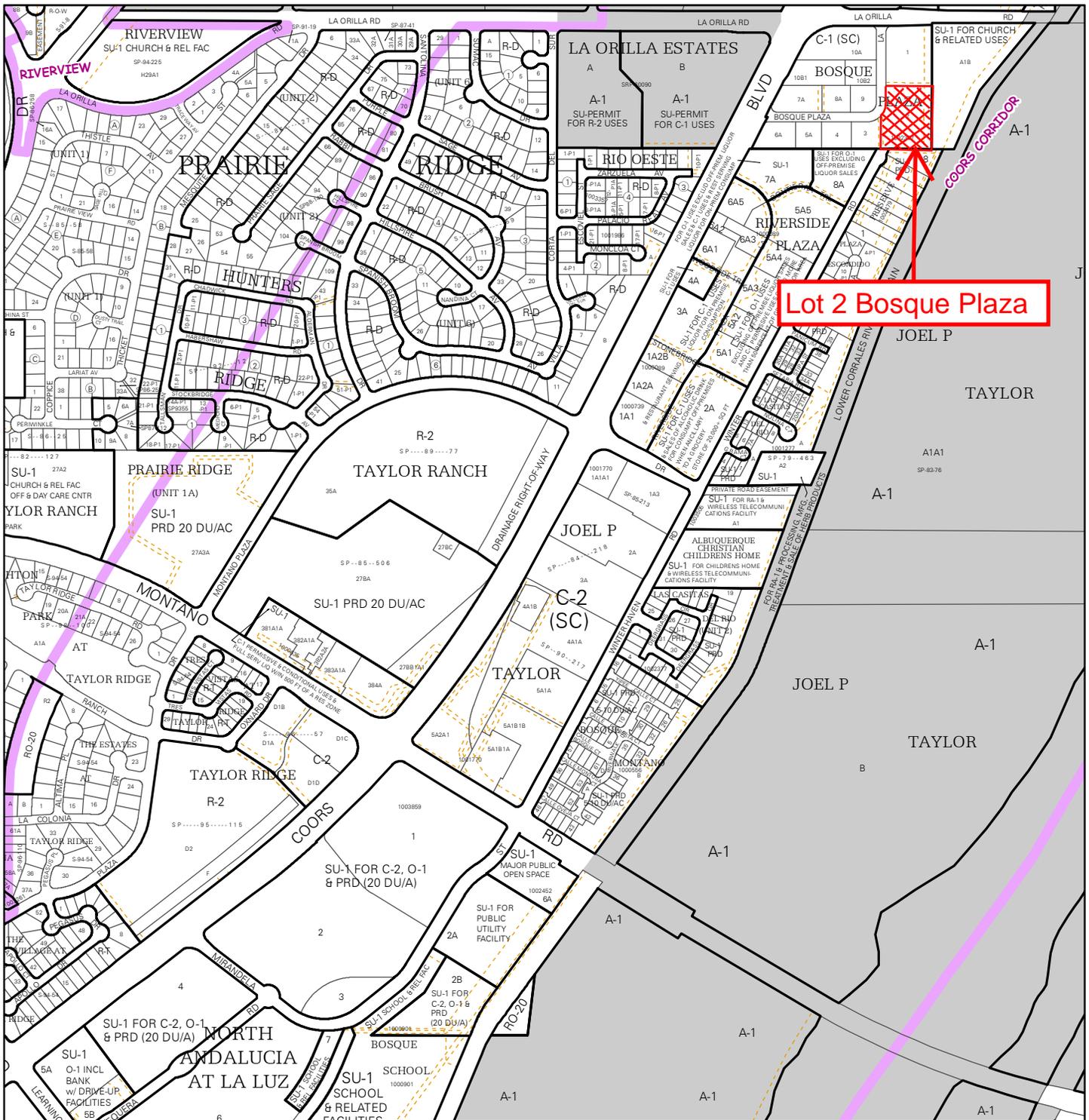
We feel our project is compatible with the uses recommended at the center, and will improve upon the unimproved lot and drainage of the location. The architecture of the building, landscaping, and parking will enhance the locality and will provide a draw to area merchants.

Thank you for your consideration of our improvements in this neighborhood. If you have any questions please feel free to contact me at: Daniel@ariascinc.com or 505-506-2314

Sincerely,

Daniel Puzak, AIA, 8/30/2017





Lot 2 Bosque Plaza

For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
E-12-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

NOTIFICATION &
NEIGHBORHOOD INFORMATION

GARCIA/KRAEMER & ASSOCIATES

600 1ST St NW Suite 211

Albuquerque, NM 87102

(505) 440-1524 mobile

(505) 242-9028 office

August 29, 2017

Gerald Worrall
1039 Pinatubo Place NW
Albuquerque, NM 87120

Harry Hendrikson
10592 Rio Del Sol Court NW
Albuquerque, NM 87114

Rene Horvath
5515 Palomino Drive NW
Albuquerque, NM 87105

Jolene Wolfley
7216 Carson Trail NW
Albuquerque, NM 87120

RE: Legacy Home Health Care and Hospice-Site Development Plan for Building Permit- 3610
Bosque Plaza NW

Dear Neighborhood Representatives:

The purpose of this correspondence is to inform you that an application has been submitted through the Environmental Planning Commission for approval of a Site Development for Building Permit to allow for a proposed Home Health Care supply business at the above referenced site. The property is within the city limits and is currently zoned C-1 Neighborhood Commercial/Shopping Center. This application will conform to the originally EPC approved Shopping Center Development Plan for architectural design standards and controls- Project # 1004167.

The site is located on Bosque Plaza NW in between La Orilla NW and Montano Plaza Dr. NW. The property is located on zone atlas map page E-12 and is within the boundaries of the Established Urban area of the Comprehensive Plan, and is legally described as Lot 2 Bosque Plaza subdivision.

The proposed use of home healthcare product retailing is a permissive use within the zone and the applicant feels strongly that providing high quality products to the public will be an asset to the surrounding neighborhood and the community as a whole. There are substantial improvements planned and anticipated in conjunction with the construction of the proposed building, such as improved drainage design and a professionally designed landscape plan. We believe that the overall site improvements to the premises will substantially improve the presence and look of the entire property along the Coors Corridor and Shopping Center site. Additionally, the planned building will be designed to comply with the architectural controls of the Site Development Plan for Subdivision and will follow the rules of the CCSDP for view plane and building height constraints.

On behalf of the applicant, I would like to take this opportunity to say thank you and the Taylor Ranch N.A. and Westside Coalition in advance, for your positive community spirit and support in this effort.

The project will be heard by the Environmental Planning Commission on Thursday October 12, 2017 in the basement of Plaza del Sol located at 600 Second Street NW. Please do not hesitate to contact me if you have questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Turner', with a long horizontal flourish extending to the right.

Jonathan Turner
Garcia/Kraemer and Associates

Note: Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Office of Neighborhood Coordination (ONC) by email at ONC@cabq.gov or by phone at (505)768-3334.

A facilitated meeting request must be received by ONC by: Monday September 11, 2017

Quevedo, Vicente M.

From: Quevedo, Vicente M.
Sent: Wednesday, August 30, 2017 4:22 PM
To: 'jturner@garciakraemer.com'
Subject: Notification Inquiry_Coors and La Orilla_EPC
Attachments: INSTRUCTION SHEET FOR APPLICANTS.pdf; Notification Inquiry_Coors and La Orilla_EPC.xls

Jonathan,

Good afternoon. See list below and attached of affected neighborhood associations related to your EPC submittal. Also see attached Instruction Sheet. Thank you.

First Name	Last Name	Email	Address Line 1	City	State	Zip	Home Phone	Mobile Phone	Neighborhood
Gerald	Worrall	jfworrall@comcast.net	1039 Pinatubo Place NW	Albuquerque	NM	87120	5056390893	5059331919	Westside Coalition of
Harry	Hendriksen	hihen@comcast.net	10592 Rio Del Sole Court NW	Albuquerque	NM	87114	5058903481	5058794995	Westside Coalition of
Rene	Horvath	land@trma.org	5515 Palomino Drive NW	Albuquerque	NM	87120	5058982114		Taylor Ranch NA
Jolene	Wolfley	secretary@trma.org	7216 Carson Trail NW	Albuquerque	NM	87120	5058909414		Taylor Ranch NA

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison, Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332
cabq.gov/neighborhoods

Follow us;



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Wednesday, August 30, 2017 3:10 PM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Notification Inquiry Sheet Submission

Notification Inquiry For:

Environmental Planning Commission Submittal

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Contact Name

Jonathan Turner

Company Name

Garcia/Kraemer & Associates

Address

600 1st St NW, Ste 211

City

Albuquerque

State

NM

ZIP

87102

Telephone Number

505-440-1524

Email Address

jturner@garciakraemer.com

Anticipated Date of Public Hearing (if applicable):

October 2017

Describe the legal description of the subject site for this project:

Lot 2 Bosque Plaza

Located on/between (physical address, street name or other identifying mark):
Bosque Plaza La / between La Orilla and Montano Plaza

This site is located on the following zone atlas page:

E-12

7008 0150 0002 5973 1415

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87114

Postage	\$3.35
Certified Fee	\$2.75
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
	\$0.49
Total Postage & Fees	\$6.59



09/01/2017

Sent To
Henry Hendriksen
Street, Apt. No., or PO Box No. **10592 Rio Del Sole Court NW**
City, State, ZIP+4 **Albuquerque, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

7008 0150 0002 5973 1408

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ALBUQUERQUE, NM 87120

Postage	\$3.35
Certified Fee	\$2.75
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
	\$0.49
Total Postage & Fees	\$6.59



09/01/2017

Sent To
Gerald Worrall
Street, Apt. No., or PO Box No. **1039 Pinatubo Place NW**
City, State, ZIP+4 **Albuquerque, NM 87120**

See Reverse for Instructions

7008 0150 0002 5973 1439

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For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120

Postage	\$3.35
Certified Fee	\$2.75
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
	\$0.49
Total Postage & Fees	\$6.59



09/01/2017

Sent To
Jolene Wolfley
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8020 RIO GRANDE BLVD NW
LOS RANCHOS NM 87114-1217

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3038 SIDCO DR
NASHVILLE TN 37204-4506

DEL CARMEN ENTERPRISES LLC
7009 PROSPECT AVE NE
ALBUQUERQUE NM 87110

MAMDANI TASNEEM T
9300 CACTUS TRL NW
ALBUQUERQUE NM 87114

LA ORILLA GROUP LLC
6509 DAWN VIEW DR NE
ALBUQUERQUE NM 87111

REID KEVIN L TRUSTEE REID RVT C/O REID &
ASSOCIATES
6300 RIVERSIDE PLAZA LN NW SUITE 220
ALBUQUERQUE NM 87120

BOSQUE PLAZA REALTY PARTNERS LLC
1224 CAMINO DE CRUZ BLANCA
SANTA FE NM 87505-0380

BOSQUE PLAZA HOLDINGS LLC
9388 VALLEY VIEW DR NW
ALBUQUERQUE NM 87114-4908

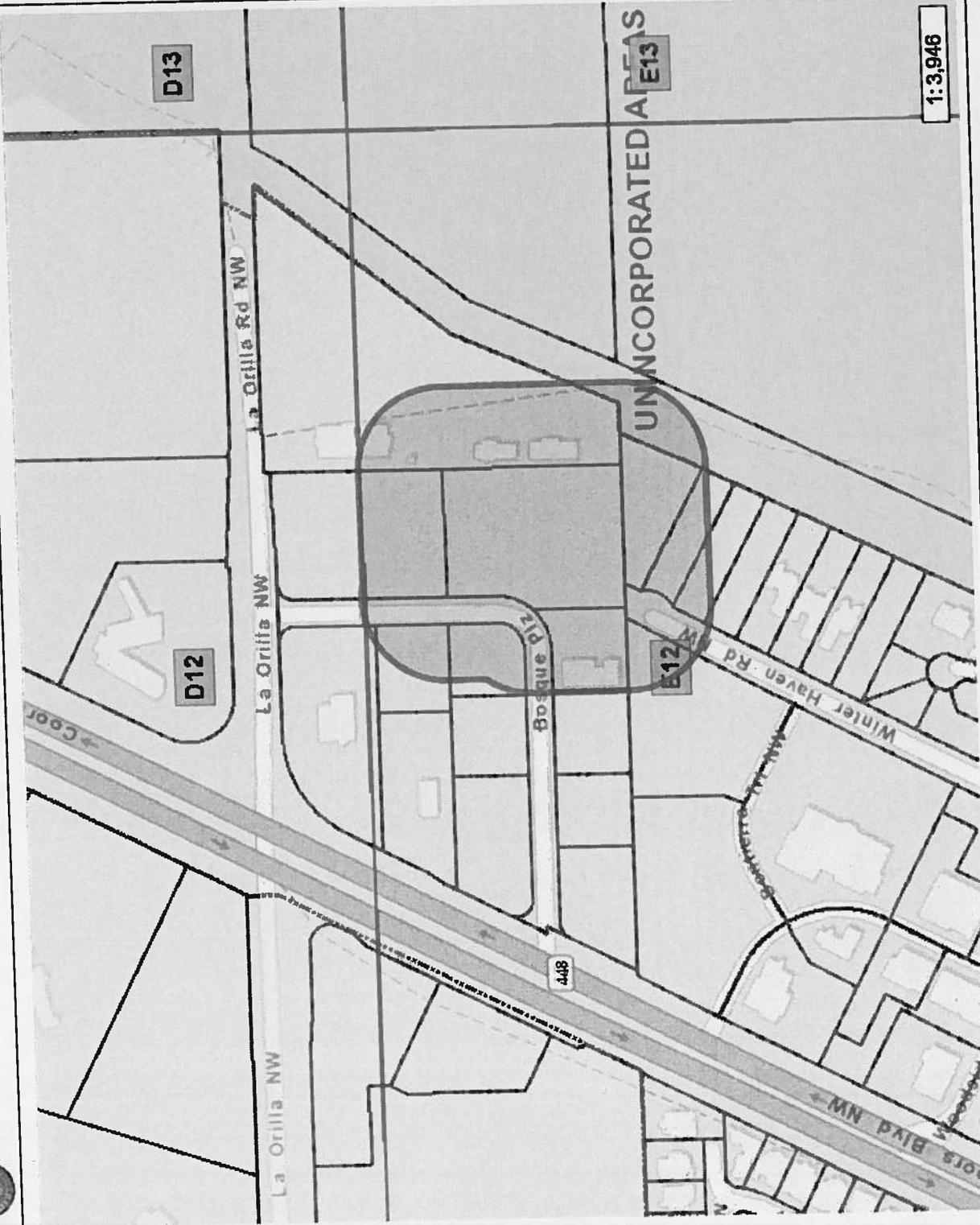
CHURCH OF CHRIST RIVERSIDE A NEW MEXICO
NON PROFIT CORPORATION
3100 LA ORILLA RD NW
ALBUQUERQUE NM 87120-2504

MARCH ACM LLC
6236 WHITEMAN DR NW
ALBUQUERQUE NM 87120

SCOTT WILLIAM D & LINDA W CO-TRUSTEES
SCOTT RVT
11817 BACCARAT LN NE
ALBUQUERQUE NM 87111-7600

CARNES CHAPIN P & SANDRA L
6408 WINTER HAVEN RD NW
ALBUQUERQUE NM 87120

Daniel Puzak Leadacy Home Health



1:3,946



WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of Albuquerque
8/31/2017

Legend

- Bernalillo County Parcels
- Zone Grid
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Buffer: 165ft.
ROW: Bosque Piz. 55ft

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES



Aria Studio Consultants, Inc.

Daniel Puzak, AIA | PO Box 1515 Cedar Crest, NM 87008 | 505-506-2314 | daniel@ariascinc.com

August 30, 2017

Environmental Planning Commission
City of Albuquerque
600 2nd Street N.W.
Albuquerque, NM 87102

RE: EPC Hearing for Site Development at Lot 2, Bosque Plaza-Legacy Home Health and Hospice

On behalf of Legacy Home Healthcare Group, our team at ARIA Studio Consultants, Inc. is pleased to announce the development of the site at Lot 2, at Bosque Plaza. The site is at the SE corner of Coors and La Orilla, and is zoned (C-1).

With this site development, we are proposing a 8,898 NLSF retail/office building which can accommodate offices, and retail spaces for Legacy Home Health and Hospice. The site will also accommodate parking, landscaping and pedestrian connections per the requirements of the approved site plan for subdivision for Bosque Plaza.

We feel our project is compatible with the uses recommended at the center, and will improve upon the unimproved lot and drainage of the location. The architecture of the building, landscaping, and parking will enhance the locality and will provide a draw to area merchants.

Thank you for your consideration of our improvements in this neighborhood. If you have any questions please feel free to contact me at: Daniel@ariascinc.com or 505-506-2314

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Puzak", with a stylized flourish at the end.

Daniel Puzak, AIA, 8/30/2017



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6236 WHITEMAN DR NW
ALBUQUERQUE NM 87120

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BOSQUE PLAZA REALTY PARTNERS LLC
1224 CAMINO DE CRUZ BLANCA
SANTA FE NM 87505-0380

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City, State, Zip	
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6509 DAWN VIEW DR NE
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BOSQUE PLAZA HOLDINGS LLC
9388 VALLEY VIEW DR NW
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REID KEVIN L TRUSTEE REID RVT C/O REID &
ASSOCIATES
6300 RIVERSIDE PLAZA LN NW SUITE 220
ALBUQUERQUE NM 87120

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SCOTT RVT
11817 BACCARAT LN NE
ALBUQUERQUE NM 87111-7600

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CHURCH OF CHRIST RIVERSIDE A NEW MEXIC
NON PROFIT CORPORATION
3100 LA ORILLA RD NW
ALBUQUERQUE NM 87120-2504

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DEL CARMEN ENTERPRISES LLC
7009 PROSPECT AVE NE
ALBUQUERQUE NM 87110

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SITE PLAN REDUCTIONS

SITE NOTES **PARKING CALCULATIONS**

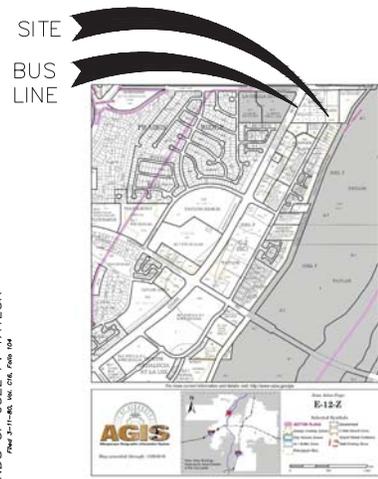
1. SITE LIGHTING SHALL BE LIMITED TO 15' POLES WITH SHARP CUT-OFF ANGLE FIXTURES.
2. ALL EXTERIOR LIGHTING SHALL BE NIGHT SKY COMPLIANT.
3. BUILDING MOUNTED SIGNAGE IS LIMITED TO 15% OF THE BUILDING FACADE. NO FREESTANDING SIGNS ARE ALLOWED PER APPROVED SITE PLAN FOR BOSQUE PLAZA.
4. SOUTH PARKING AREA IS DESIGNED TO ACCOMMODATE FIRE LANES.
5. SCREEN ALL METERS AND GROUND MOUNTED EQUIPMENT PER COA AND THE DEVELOPMENT STANDARDS.

Vehicular Spaces Required:
 1st floor office and retail (7342/200) = 36.71
 2nd floor office (1556/300) = 5.19
 Total Parking Spaces Required = 42

Per Design Standard C.1, the maximum allowed parking is equal to the required parking plus 10%:
Total Parking Spaces Provided = 47

Per Zoning Code 14-16-3-1 (F) (9) (a),
Disabled Parking Spaces Required and Provided = 3

Per Zoning Code 14-16-3-1 (B),
 Bicycle Parking Spaces Required and Provided = 3
 Per Zoning Code 14-16-3-1 (C),
 Motorcycle Parking Spaces Required and Provided = 2



C5 VICINITY PLAN
 N.T.S.

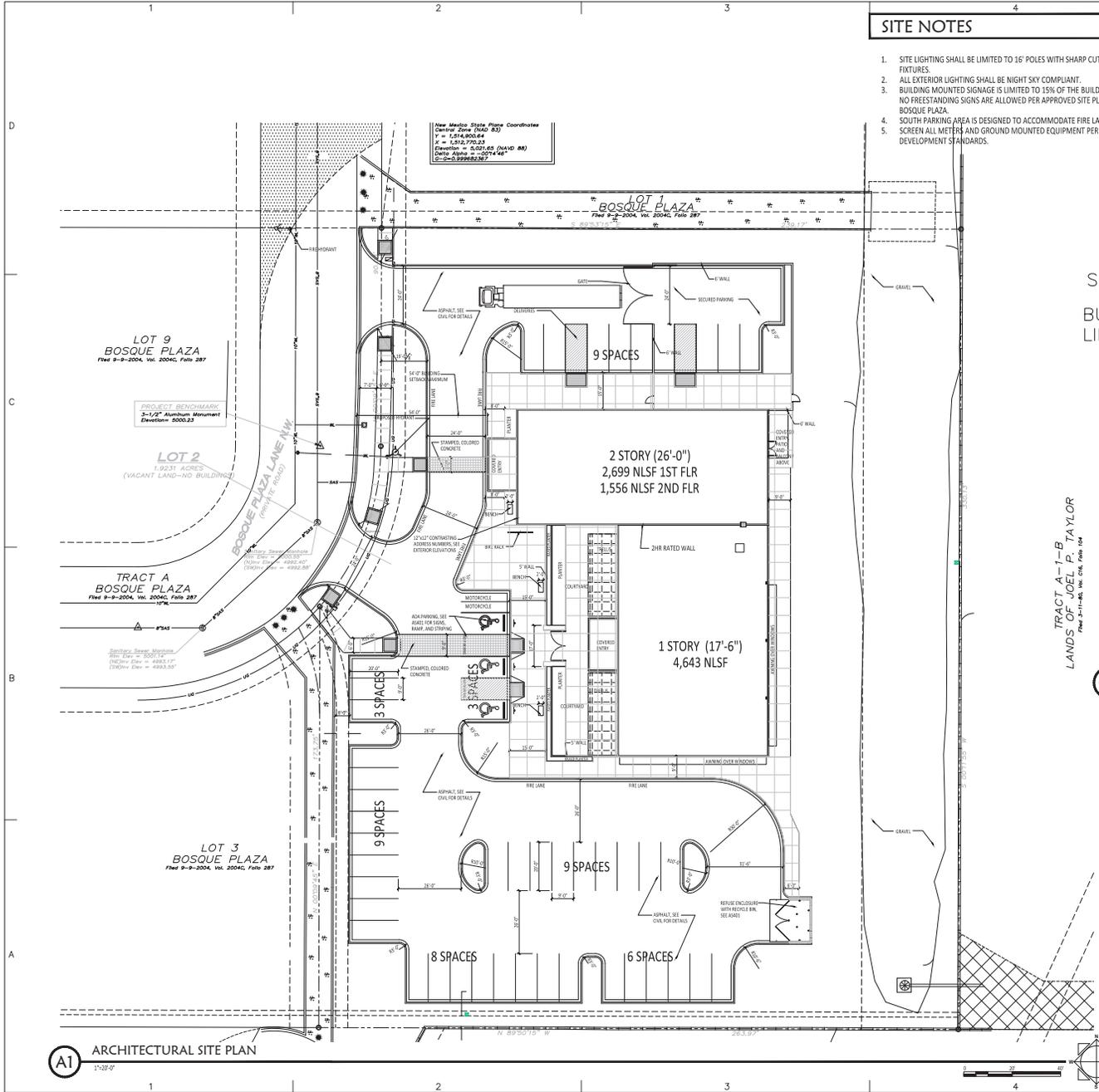
PROJECT NUMBER: 1004167
APPLICATION NUMBER: 17EPC-40048

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved CDS plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Approval	Date
Traffic Engineer, Transportation Division	
Water Utility Development	
Parks & Recreation Department	
City Engineer	
City Metropolitan Redevelopment Agency	
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	
Environmental Health, if necessary	



A1 ARCHITECTURAL SITE PLAN
 1"=50'-0"



STUDIO CONSULTANTS, INC
 PO BOX 1515
 CEDAR CREST NM, 87008
 DANIEL@ARIASCINC.COM
 (505) 506-2314



LEGACY HOME HEALTH
 LOT 2 BOSQUE PLAZA
 ALBUQUERQUE, NM 87120



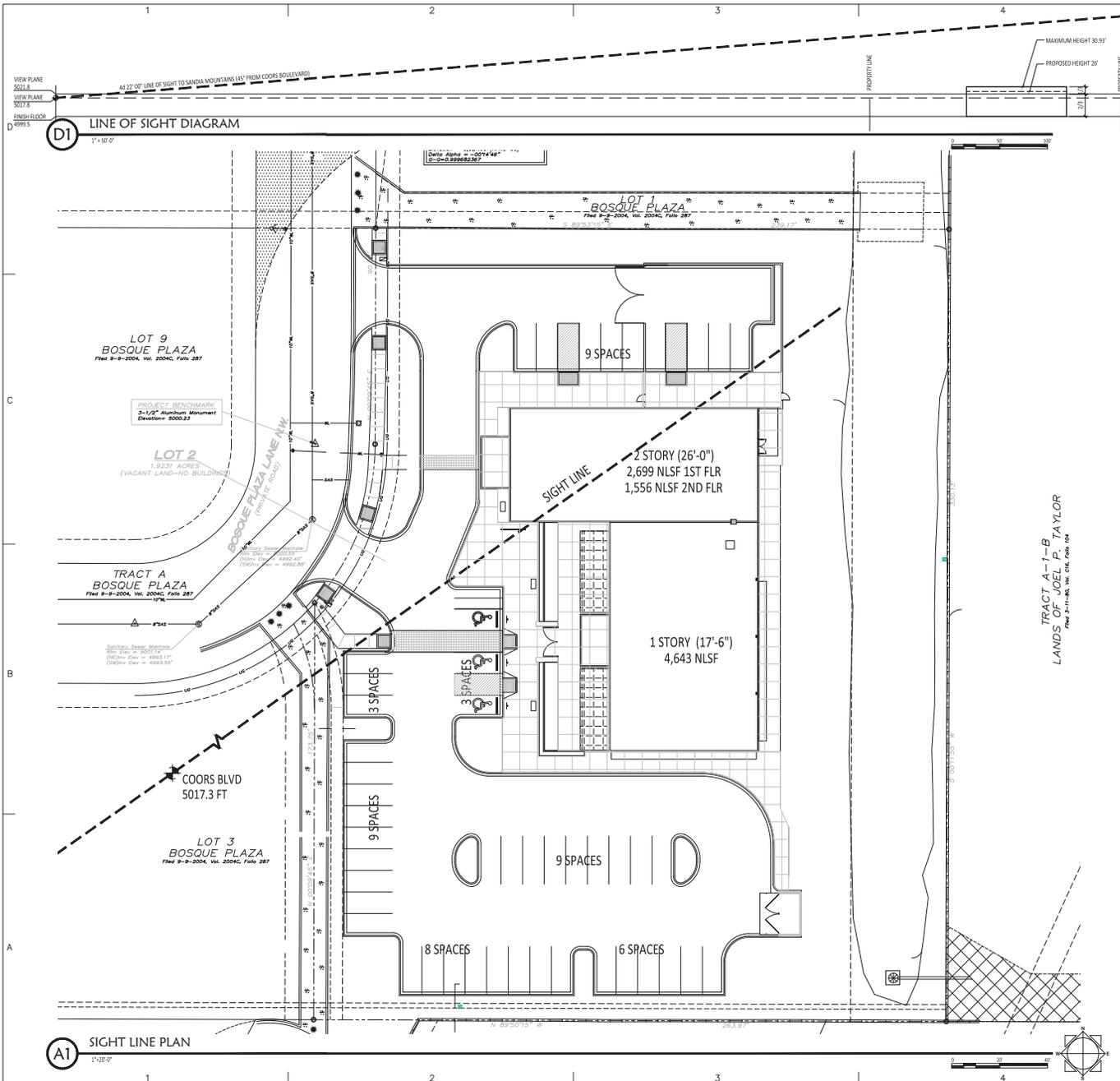
DANIEL PUZAK
 NO. 8317
 REGISTERED ARCHITECT

Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO		1714.1
CAD DWG FILE		1714.1 Legacy Site
DRAWN BY		DGP
CHECKED BY		DGP
DATE		10/02/2017

ARCHITECTURAL SITE PLAN

AS101



VIEW PLANE CALCULATIONS

(FINISH FLOOR, COORS GRADE, AND VIEW PLANE ARE IN FEET ABOVE SEA LEVEL. HEIGHTS ARE IN FEET.)

COORS BOULEVARD EAST DRIVE LANE ELEVATION	5017.80
VIEW PLANE - 4 FEET ABOVE EAST DRIVE LANE	5021.80
BUILDING FINISH FLOOR ELEVATION	4999.50
1/3 ABOVE VIEW PLANE	10.31
2/3 BELOW VIEW PLANE	20.62
MAXIMUM BUILDING HEIGHT *	30.93

*MAXIMUM BUILDING HEIGHT PER C1 ZONING IS 26'. THEREFORE PROPOSED BUILDING SHALL NOT EXCEED 26 FEET IN HEIGHT

ARIA

STUDIO CONSULTANTS, INC
 PO BOX 1515
 CEDAR CREST NM, 87008
 DANIEL@ARIASCINC.COM
 (505) 506-2314

LEGACY
 HOME HEALTH AND HOSPICE

LEGACY HOME HEALTH
 LOT 2 BOSQUE PLAZA
 ALBUQUERQUE, NM 87120

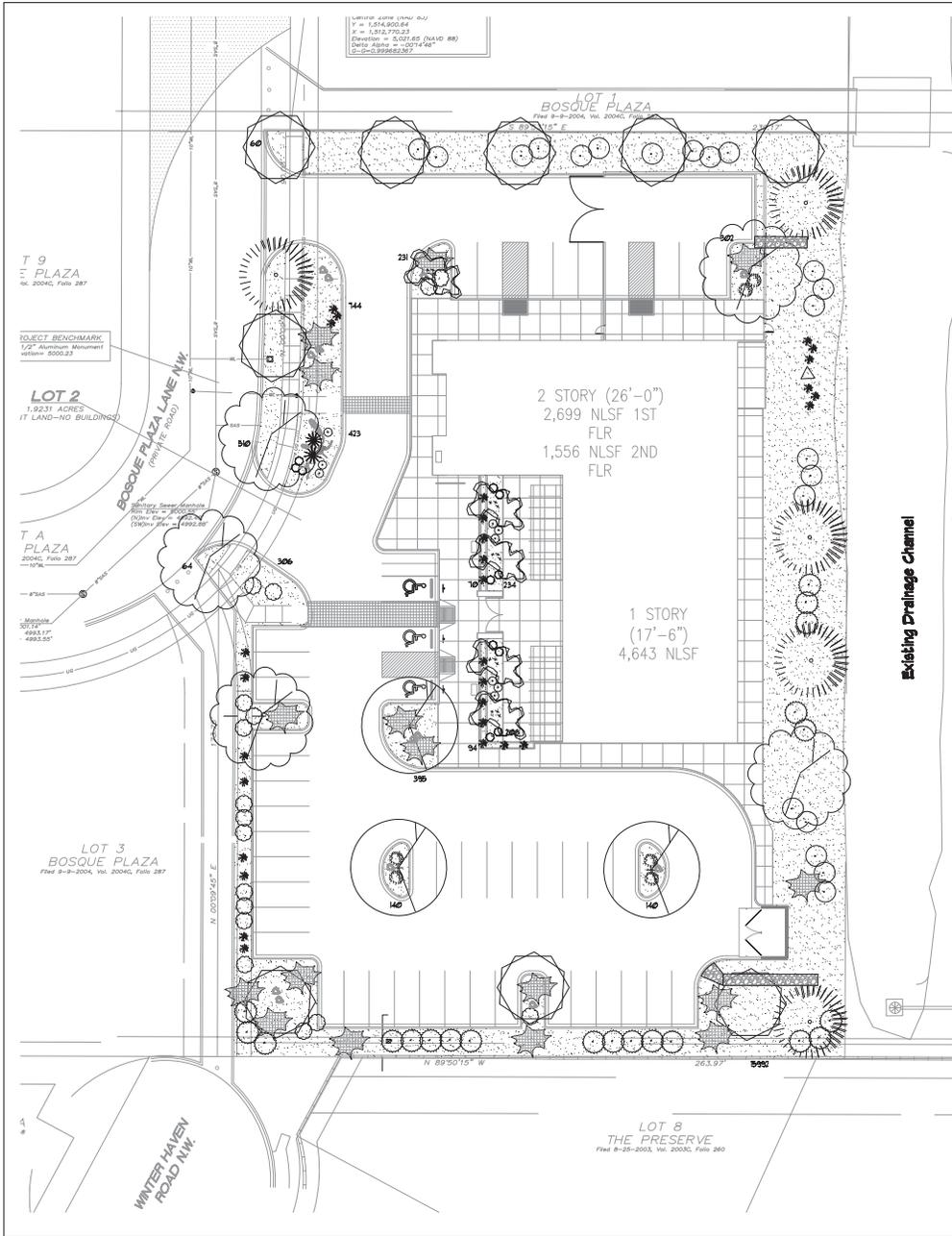
STATE OF NEW MEXICO
 DANIEL PUZAK
 NO. 8317
 10/02/2017
 REGISTERED ARCHITECT

Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO		1714.1
CAD DWG FILE		1714.1 Legacy Site
DRAWN BY		DGP
CHECKED BY		DGP
DATE		10/02/2017

LINE OF SIGHT DIAGRAM

AS201



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
3	2' cal	Chinese Platane <i>Albizia chinensis</i>	125 3675 M
5	6 - 8'	Alghan Pine <i>Pinus eideraria</i>	3525 625 3025 M
5	18 Gal	Chinese Tree <i>Vitex Agus Costus</i>	625 3025 M
5	15 Gal	Raywood Ash <i>Fraxinus oxycarpa</i>	625 7500 M
5	15 Gal	Desert Willow <i>Chrysothamnus linearis</i>	625 5625 M
Shrubs & Groundcovers			
5	Gal	Nolina <i>Nolina microcarpa</i>	49 204 M
29	9 Gal	Royal Mist <i>Muhlenbergia capillaris</i>	15x2 4 16 M
1	9 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1 49 49 M
2	4 - 6'	Red Yucca <i>Hesperaloe parviflora</i>	3x9 36 72 M
16	9 Gal	Honeycreeper <i>Lonicera sempervirens</i>	1x2 144 2304 M
1	9 Gal	Cherry Sage <i>Salvia Greggii</i>	2x3 9 99 M
9	9 Gal	Blue Mist <i>Coryopteris x clandonensis</i>	3x4 12 108 M
11	9 Gal	Daer Turpentine Bush <i>Ericameria laricifolia</i>	3x6 62 102 M
21	9 Gal	Tree Leaf Bush <i>Rhus trilobata</i>	6x1 49 1029 L
21	9 Gal	Chenille <i>Chrysothamnus nauseosus</i>	5x1 49 1029 L
13	2-3cf	Boulders	512.00
Landscape Gravel / Filter Fabric			
3/4" Crushed Grey			
Oversize Landscape Gravel / Filter Fabric			
2-4" Adobe Rose			

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain stress trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Bemisville Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach; approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 48" from trunk, pivoted in place. Netafim shall have emitters 12" o.c. with a flow of 4 gph. Sprinklers to receive 20' (8" GPM) Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytape with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

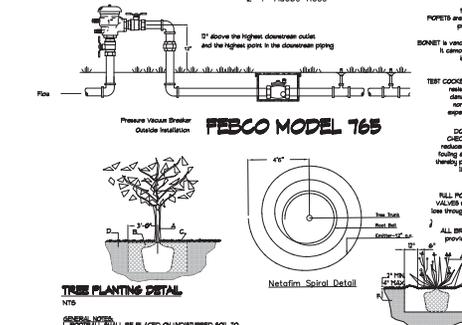
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	8376.4
TOTAL BUILDING AREA (sf)	7342
TOTAL LOT AREA (sf)	16422
LANDSCAPE REQUIREMENT (15%)	2463.3
TOTAL LANDSCAPE REQUIRED (15%)	14659
TOTAL ON-SITE LANDSCAPE PROVIDED	1993
TOTAL LIVE PLANT MATERIAL REQUIRED (80%)	11727.2
TOTAL LIVE PLANT MATERIAL PROVIDED	23162.00



TREE PLANTING DETAIL
NTS
PRESSURE VALVE SHALL BE PLACED ON UNCOMPRESSED SOIL TO PREVENT TREE FROM SETTLING.
1. TOP OF ROOTBALL IS INDICATED LEVEL. ALL BENCH MARKS AND DIMS THERE REPRESENTS THE LEVEL, AT WHICH THE TREE SHOULD BE INSTALLED. THIS LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
2. PRIOR TO BACKFILLING TREE, ALL LIVE ROOTS AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
3. PRIOR TO BACKFILLING ALL BENCH MARKS SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
4. PRIOR TO BACKFILLING ALL BENCH MARKS SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
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10. PRIOR TO BACKFILLING ALL BENCH MARKS SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

SHRUB PLANTING DETAIL
NTS
THE QUARTER QUARTER OF THE WATER RETENTION BARR SHALL BE THREE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. BARR.
B. BACKFILL WITH EXISTING SOIL.
C. EXISTING BENTY AROUND WATER RETENTION BARR.
D. 3" DEPTH OF GRAVEL. FILL.
E. 1" DEPTH OF GRAVEL.
F. UNCOMPRESSED SOIL.



The Hilltop
11111
Albuquerque, NM 87113
Carr, LLC, P.O. Box 2359
Albuquerque, NM 87103
Tel: (505) 243-1111
Fax: (505) 243-1111
derry@hilltoplandscape.com

Landscape Architect

October 2, 2011

Aria Architects

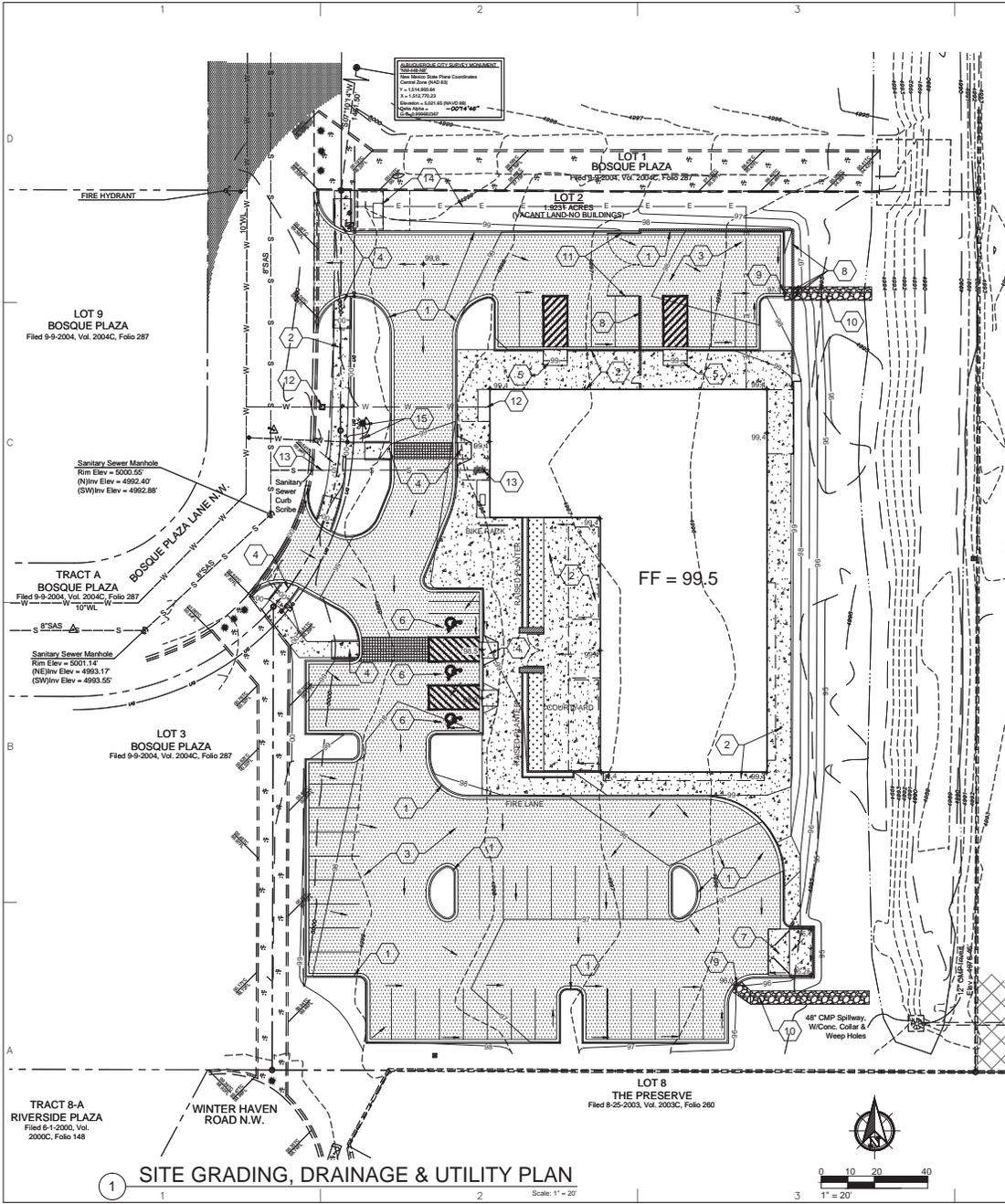
Legacy Home Health
Bosque Plaza
Albuquerque, NM

LANDSCAPE PLAN

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DESIGNED BY
REVISED BY
DATE
DRAWN BY
DATE

SHEET #
LS-101



DRAINAGE NARRATIVE

THIS SITE IS LOCATED AT LOT 2, BOSQUE PLAZA IN ALBUQUERQUE, BERNALILLO COUNTY. THE SITE IS PART OF AN APPROVED MASTER DRAINAGE PLAN TITLED "REVISED DRAINAGE REPORT FOR SOUTHWEST CORNER OF LA ORILLA AND CORRS, LOTS 1, 2, 3, 4, 5, 6A, 7A, 8 OF THE LANDS OF MARTIN L. TAYLOR" DATED AUGUST 5, 2004. THIS PROJECT DISTURBS APPROXIMATELY 1.6 ACRES. THE EXISTING SITE DRAINAGE IS DIRECTED TOWARDS AN EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT AND POND. PROPOSED GRADING FOR THIS SITE HONORS THE EXISTING DRAINAGE PATTERNS.

THIS PROPOSED DEVELOPMENT INVOLVES THE ADDITION OF A NEW BUILDING AND PAVED PARKING AREA. THE PROPOSED GRADING DIRECTS ALL RUNOFF TOWARDS THE EXISTING ONSITE 40' PUBLIC DRAINAGE EASEMENT/POND.

THIS SITE IS LOCATED ON THE NATIONAL FLOOD INSURANCE RATE MAP NO. 35001C0116 G, AND LIES WITHIN ZONE X, WITH NO PORTION OF THE SITE LOCATED WITHIN A 100 YEAR FLOOD PLAN.

SITE KEYED NOTES

1. NEW CURB & GUTTER. PER COA STANDARDS.
2. NEW CONCRETE SIDEWALK. PER COA STANDARDS.
3. NEW ASPHALT PAVEMENT. SEE DETAIL 1/C-501
4. NEW ACCESSIBLE RAMP. PER COA STANDARDS.
5. NEW ACCESS RAMPS FOR DELIVERIES. PER COA STANDARDS.
6. NEW ACCESSIBLE PARKING SPACE.
7. NEW REFUSE ENCLOSURE. SEE ARCH. SITE PLAN
8. NEW WALL WITH OPENINGS AT BOTTOM OF WALL FOR DRAINAGE.
9. 2' CURB CUT FOR DRAINAGE.
10. 5' RIPRAP SWALE FOR EROSION CONTROL.
11. NEW GATE/FENCE FOR SECURED PARKING. SEE ARCH. SITE PLAN.

UTILITY KEYED NOTES

12. NEW WATERLINE AND METER. INSTALL NEW WATER SERVICE LINE TO BUILDING AND CONNECT TO NEW METER INSTALLED INTO EXISTING METER BOX ENCLOSURE. PER COA STANDARDS.
13. NEW SAS LATERAL, CONNECTED TO EXISTING SEWER STUB OUT LOCATED BEHIND EXISTING CURB. INSTALL NEW DOUBLE CLEANOUT AT APPROX. 5' FROM EXTERIOR WALL OF NEW BUILDING.
14. NEW PAD MOUNTED TRANSFORMER AND ELECTRICAL SERVICE TO BUILDING PER PNM STANDARDS. SEE 3/C-501 FOR TRANSFORMER CLEARANCES.
15. NEW FIRE LINE AND FIRE HYDRANT. PER COA STANDARD DWG 2340



LOCATION MAP
SCALE: NONE
COA ZONE ATLAS: E-12-Z



FIRM MAP
SCALE: NONE

SITE LEGEND

- - - - -6510 - - - - EXISTING INDEX CONTOUR
- - - - -6509 - - - - EXISTING INTERIM CONTOUR
- - - - -10 - - - - NEW INDEX CONTOUR
- - - - -09 - - - - NEW INTERIM CONTOUR
- +22.8 - - - - NEW SPOT ELEVATION
- [Pattern] - - - - NEW CONCRETE SIDEWALK
- [Pattern] - - - - NEW ASPHALT PAVEMENT
- [Pattern] - - - - NEW BUILDING
- [Pattern] - - - - FINISH FLOOR ELEVATION
- [Pattern] - - - - EXISTING STORM DRAIN STRUCTURE
- [Pattern] - - - - EXISTING STORM DRAIN
- [Arrow] - - - - DIRECTION OF FLOW
- [Symbol] - - - - NEW SIGN

UTILITY LEGEND

- [Symbol] - - - - EXISTING SANITARY SEWER MANHOLE
- - - - - S - - - - EXISTING SANITARY SEWER LINE
- - - - - S - - - - NEW SANITARY SEWER LINE
- [Symbol] - - - - NEW SANITARY SEWER CLEANOUTS
- - - - - W - - - - EXISTING WATERLINE
- - - - - W - - - - NEW WATERLINE
- [Symbol] - - - - EXISTING FIRE HYDRANT
- [Symbol] - - - - EXISTING UG ELECTRIC LINE
- - - - - E - - - - NEW ELECTRIC LINE
- [Symbol] - - - - NEW FIRE HYDRANT

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(505) 506-2314

LEGACY
HOME HEALTH AND HOSPICE
LEGACY HOME HEALTH
LOT 2 BOSQUE PLAZA
ALBUQUERQUE, NM 87120

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Engineers • Planners • Construction Services
8102 Menaul Blvd. NE, Suite D
Albuquerque, NM 87110
Phone: 505.255.7902 Fax: 505.255.7902
Project No.: 17-062 www.abqeng.com

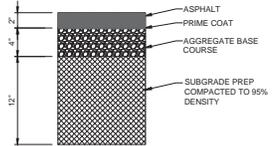
Professional Engineer Seal
Architect/Engineer
10/2/17

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO		1714.1
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE	10/2/2017	

SITE GRADING, DRAINAGE & UTILITY PLAN

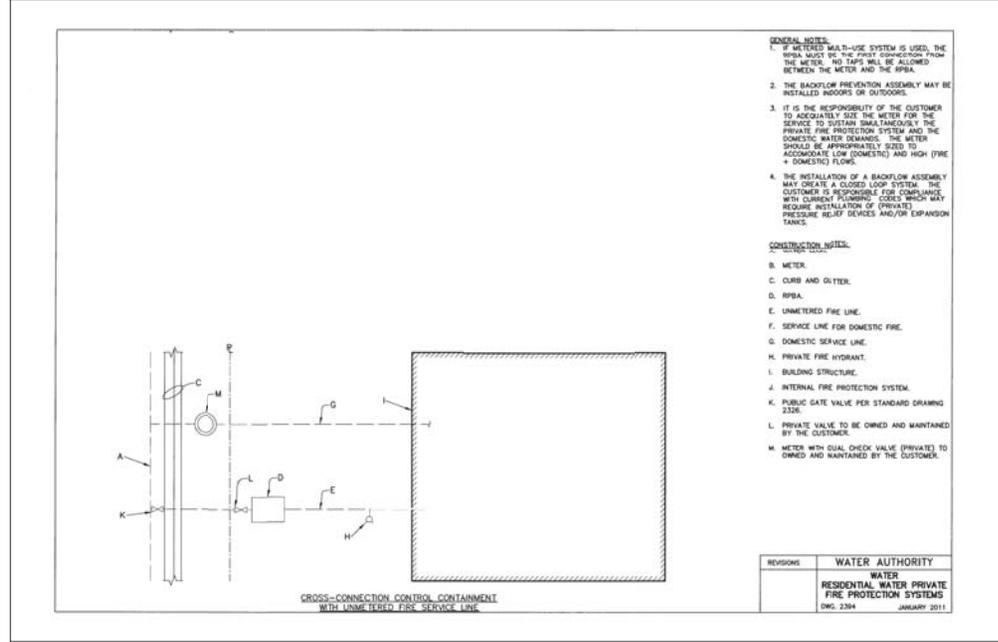
C-101

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DWG NAME: 17-062-CAD.DWG
PROJECT: 17-062



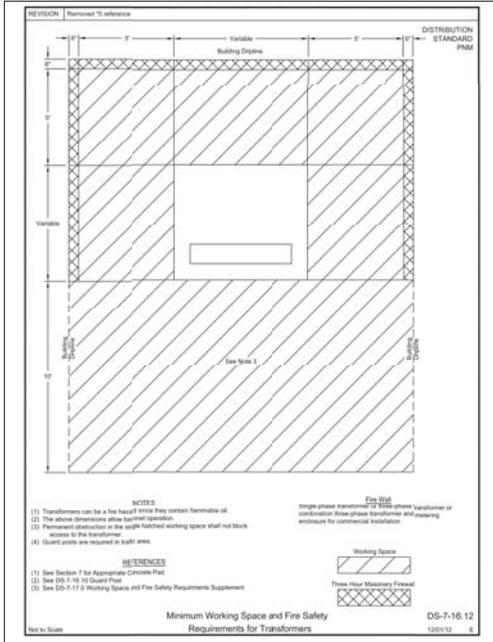
1 PAVEMENT SECTION

Scale: NTS



2 DOMESTIC WATER AND FIRE WATER DETAIL

Scale: NTS



3 PAD MOUNTED TRANSFORMER AND CLEARANCES

Scale: NTS

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LEGACY
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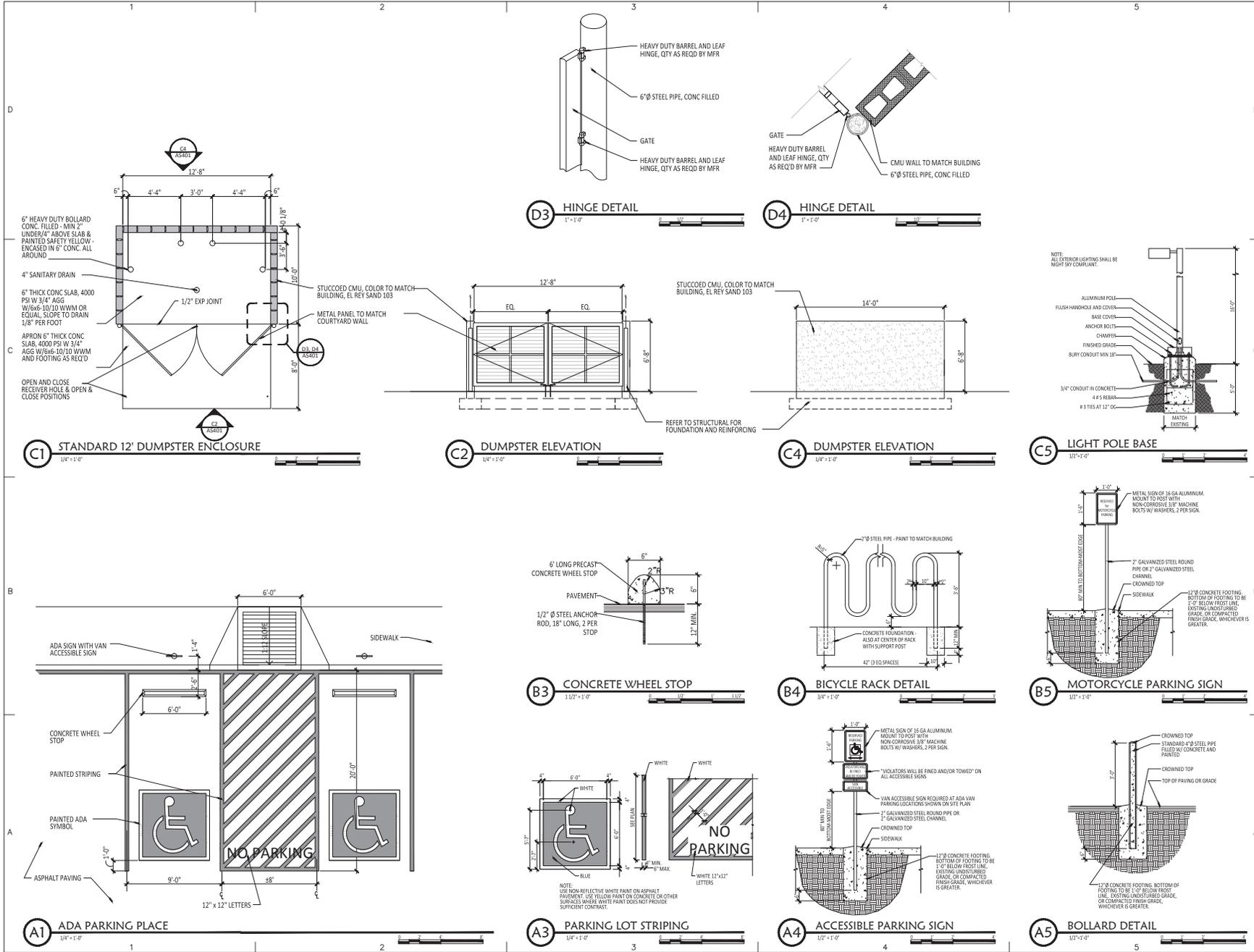
Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO		1714.1
CAD DWG FILE		
DRAWN BY		
CHECKED BY		
DATE		10/2/2017

MISCELLANEOUS
 DETAILS

C-501

LAST MODIFIED: Oct 02, 2017 - 10:33am BY USER: Craig
 FILE NAME: 17-082-01.dwg
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LEGACY
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 LOT 2 BOSQUE PLAZA
 ALBUQUERQUE, NM 87120

STATE OF NEW MEXICO
 DANIEL PUZAK
 NO. 8317
 10/02/2017
 REGISTERED ARCHITECT
 Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO	1714.1	
CAD DWG FILE	1714.1 Legacy Site	
DRAWN BY	DGP	
CHECKED BY	DGP	
DATE	10/02/2017	

SITE DETAILS
AS401



GENERAL NOTES

- 1. ALL TRIM AND BUILDING ACCESSORIES SHALL MATCH BUILDING COLORS.

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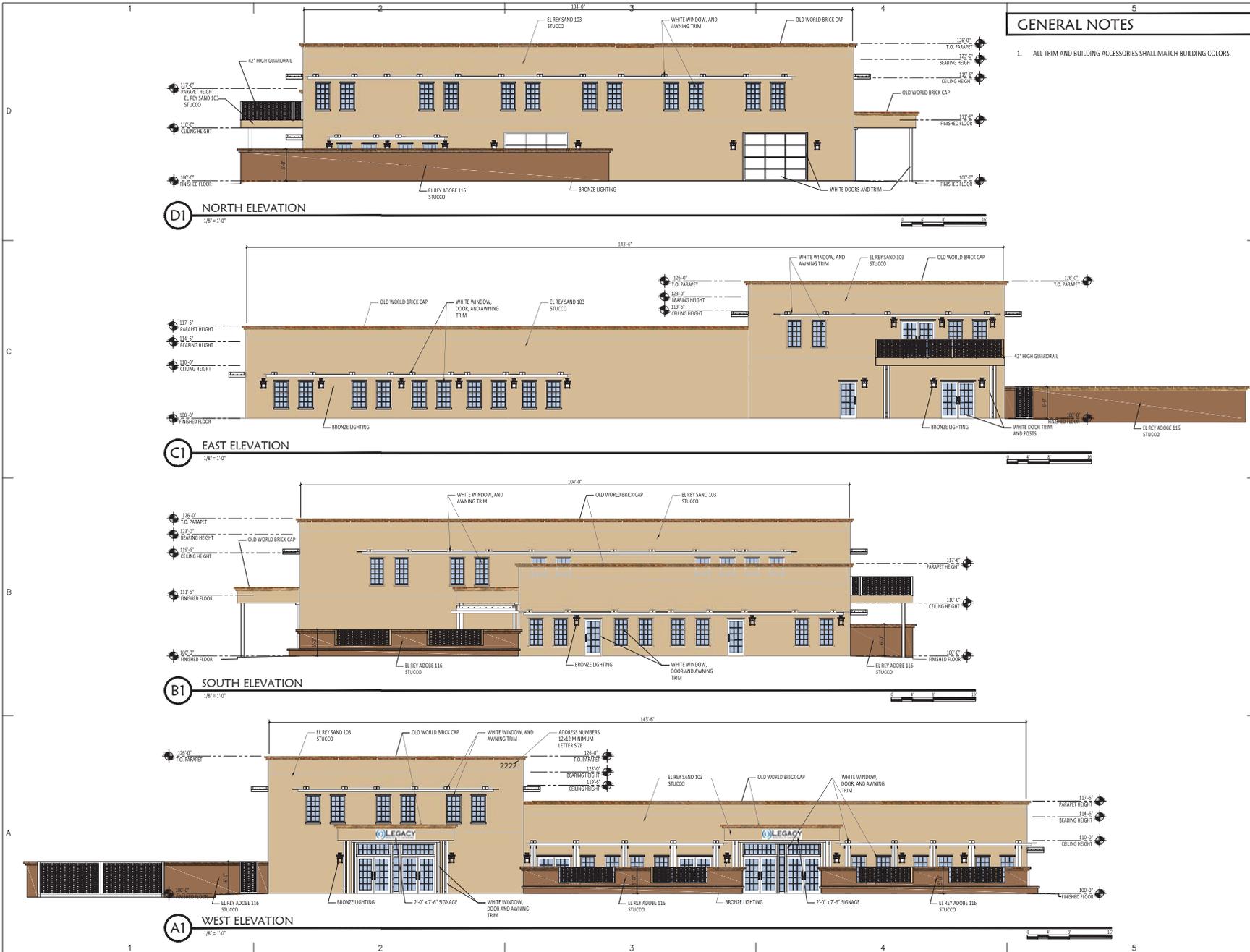
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LEGACY HOME HEALTH
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STATE OF NEW MEXICO
DANIEL PUZAK
NO. 8317
10/02/2017
REGISTERED ARCHITECT
Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
		DRB/EPC
		ISSUE
		PROJECT NO 1714.1
		CAD DWG FILE DGP
		DRAWN BY DGP
		CHECKED BY
		DATE 10/02/2017

EXTERIOR ELEVATIONS

A201



GENERAL NOTES

1. ALL TRIM AND BUILDING ACCESSORIES SHALL MATCH BUILDING COLORS.

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REVISIONS		
		DRB/EPC
		PROJECT NO 1714.1
		CAD DWG FILE DGW
		DRAWN BY DGP
		CHECKED BY
		DATE 10/02/2017

EXTERIOR ELEVATIONS WITH COURTYARD WALLS



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LEGACY HOME HEALTH
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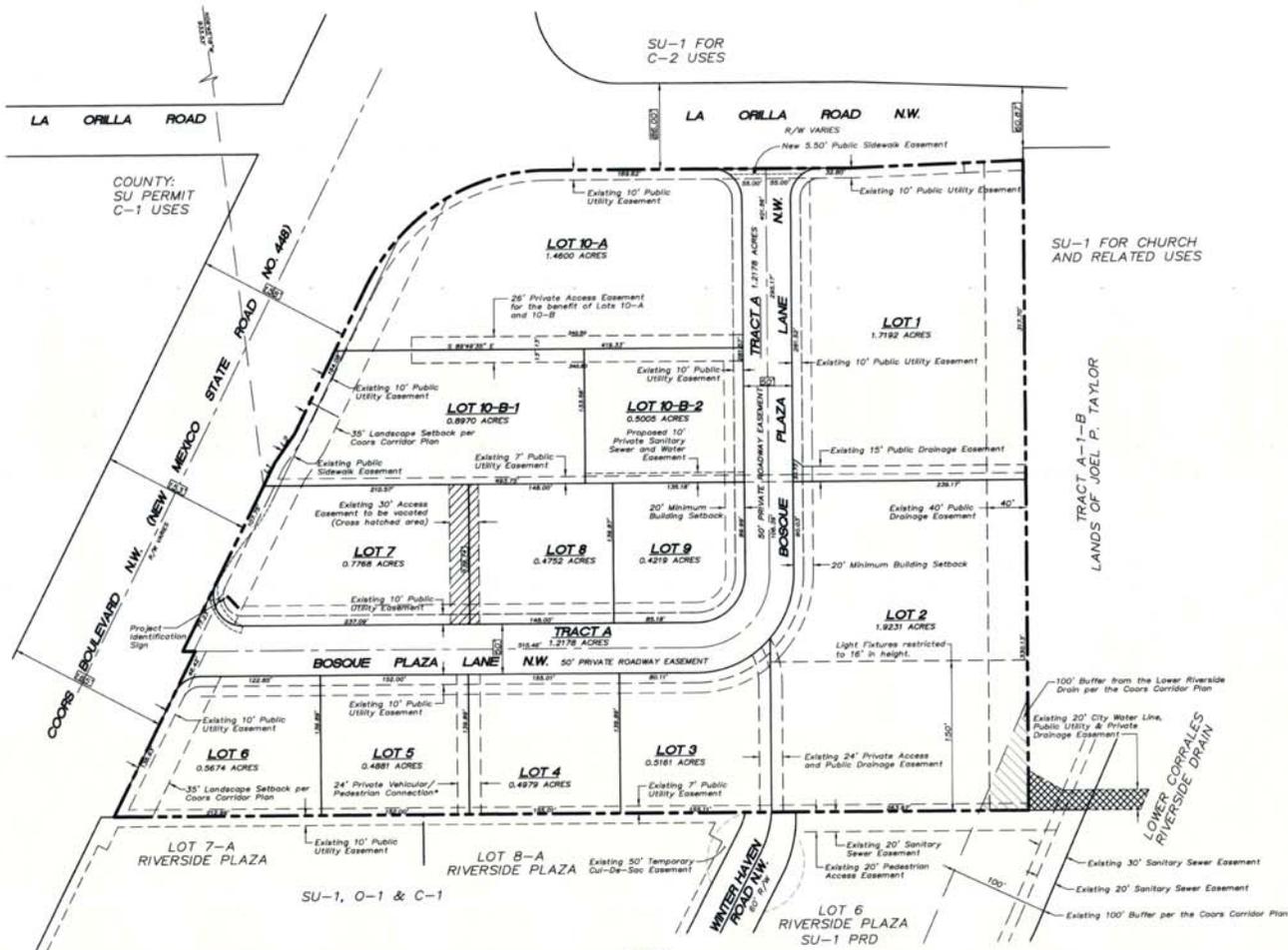


Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		DRB/EPC
PROJECT NO		1714.1
CAD DWG FILE		1714.1 Legacy Site
DRAWN BY		DGP
CHECKED BY		DGP
DATE		10/02/2017

3D RENDERINGS

AS701



REQUIRED INFORMATION - SITE PLAN FOR SUBDIVISION:

Site: 11.46 acres zoned C-1 (SC) and contains 11 existing lots and Tract A for Bosque Plaza Lane, an existing private road.

Proposed Use: Retail - Neighborhood Commercial consistent with the C-1 (SC) regulations.

- Only two fast food drive-up service windows are permitted and shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code.
- One additional drive-thru facility shall be permitted for a financial institution.
- No outdoor storage is permitted.
- Wireless telecommunication facilities shall not be permitted.
- In accordance with the C-1 zone, this plan recognizes that indoor storage is a conditional use, but shall be restricted to Lot 1 only, (shall meet the C-1 Conditional Use requirements and subject to approval by the Zone Hearing Examiner).

Pedestrian and Vehicular Ingress and Egress: The Bosque Plaza Design Standards and Pedestrian Plan contain information regarding pedestrian and vehicular ingress and egress to the site.

Access: The primary access to the Bosque Plaza shopping center is from Coors Boulevard, which is identified as a Major Arterial on MRCOG's Roadway Functional Classification Map and La Orilla Road. Bosque Plaza Lane (a private roadway) provides direct access from all Bosque Plaza lots to Coors Boulevard. Access to Water Haven Road is restricted to pedestrian access only.

Roadways: Bosque Plaza Lane is an existing 50 foot private easement that provides access to all lots within the shopping center. Cross-access agreements exist within Bosque Plaza and are filed in the Bosque Plaza Declaration of Easements, Covenants and restrictions (see note 1).

Pedestrian access: Access shall be accommodated through the development of City standard sidewalks on all abutting roadways and per the Bosque Plaza Pedestrian Plan found on Sheet 3.

Maximum Building Height: Maximum building height shall be pursuant to the City C-1 Zone (26-feet) and shall comply with the Coors Corridor Sector Development plan (CCSDP) view preservation requirements for Segment 3.

Minimum Building Setback: Building setback minimums shall be pursuant to the City C-1 Zone, this Site Plan for Subdivision, and the Coors Corridor Plan. A 35-foot landscape buffer is required adjacent to Coors Boulevard.

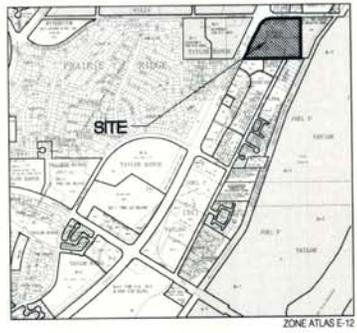
Maximum Floor Area Ratio: Retail - 30, Office - 40, Indoor Storage - 10

Landscape Plan: Landscaping shall be consistent with the City Zoning Code, Water Conservation Ordinance, and Fellen Ordinance. A 10' foot landscape buffer is required adjacent to the residential area to the south and east of the subject site known as the "Preserve". Street Trees are required on Coors Boulevard and La Orilla in accordance with the Street Tree Ordinance. Maintenance of the landscaping and irrigation system shall be the responsibility of each individual Lot Owner. Gravel is allowed to be used, but will not be used as a primary ground cover, only to bridge gaps between plants and as an accent in the landscaping beds. Landscape areas over 36 square feet in size shall be covered with living vegetative material over at least 80% of the required landscape area. High water use turf is prohibited. All planting areas will be maintained in a living, attractive, and weed free condition. Underground irrigation systems are required and shall consist of a fully automated sprinkler/irrigation system to irrigate trees, shrubs, and groundcover planting areas.

Lighting: Lighting shall be fully shielded and consistent with the Coors Corridor Plan lighting regulations. The height of pole-mounted lights will not exceed 20-feet from the grade of the parking lot. Lights within 150 feet of the adjacent residential area shall be limited to 16 feet in height and provide additional shielding on the residential side of the fixture.

Signage: One project identification sign will be permitted for the shopping center, which will be located on Lot 7, and building mounted signage shall be limited to 6% of the building facade to which it is applied and subject to the restrictions (Sheet 2).

SITE VICINITY



PROJECT NUMBER: 1004167
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/12/2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	<i>[Signature]</i>	2/22/17	Date
Water Utility Department	<i>[Signature]</i>	02-22-17	Date
Parks and Recreation Department	<i>[Signature]</i>	02/22/17	Date
City Engineer	<i>[Signature]</i>	2-22-17	Date
Solid Waste Management	<i>[Signature]</i>	2-22-17	Date
DRB Chairperson, Planning Department	<i>[Signature]</i>	2-22-17	Date

NOTE
Said Lots 1 through 10A, B and C and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book 481, Page 5448.

*Coordination with Lots 7A and B in the Riverside Plaza will be required to accommodate the vehicular/pedestrian connection between lots 4 and 3 and Saniterra Trail. Final adjustments shall be determined in conjunction with the Site Development Plans for Building Permit.

Indoor Storage, Lot 1 only, FAR Maximum up to 1.0 only if Coors Corridor Plan View Regulations for massing and height are in compliance large truck access/turning movements are incorporated, and in accordance with an approved grading and drainage plan to ensure that the drainage is fully functional and aesthetically pleasing.

Replaces original approval: 2-87-69, July 21, 1987
PROJECT NUMBER: 1004167
Application Number: ~~1004167~~ 06080-01547

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated July 20, 2008, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

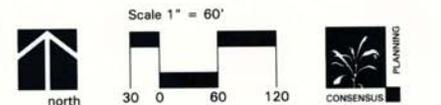
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

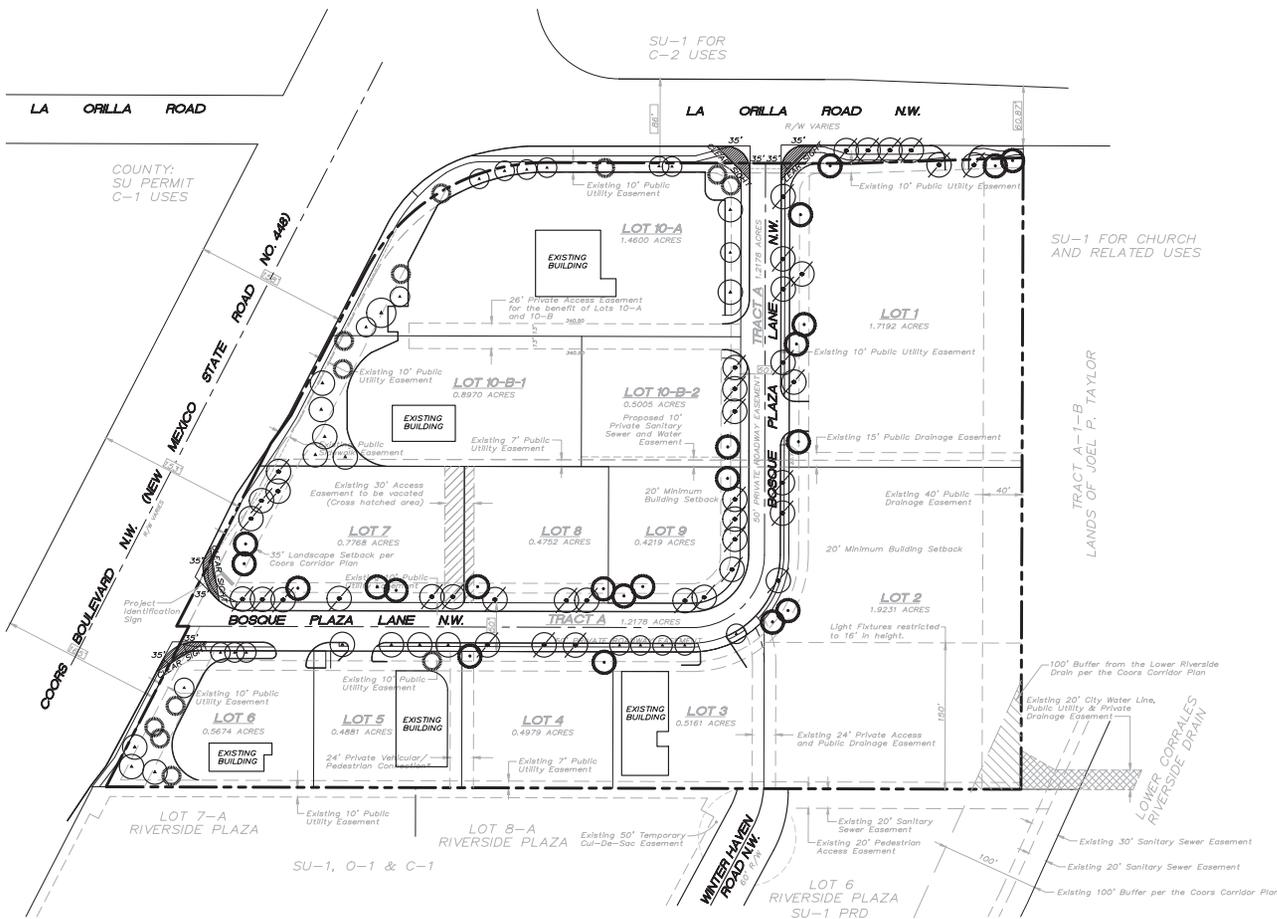
Traffic Engineering, Transportation Division	<i>[Signature]</i>	02-22-17	Date
Water Utility Department	<i>[Signature]</i>	10/4/06	Date
Parks and Recreation Department	<i>[Signature]</i>	10/4/06	Date
City Engineer	<i>[Signature]</i>	10/4/06	Date
Solid Waste Management	<i>[Signature]</i>	10/4/06	Date
DRB Chairperson, Planning Department	<i>[Signature]</i>	10/4/06	Date

**SITE PLAN FOR SUBDIVISION
BOSQUE PLAZA**

Prepared for:
La Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102





GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL LANDSCAPE WILL COMPLY WITH THE BOSQUE PLAZA SITE PLAN FOR SUBMISSION LANDSCAPE DESIGN STANDARDS.

LANDSCAPING SHALL BE CONSISTENT WITH THE CITY ZONING CODE, WATER CONSERVATION ORDINANCE, AND POLLUTION ORDINANCE. STREET TREES ARE REQUIRED ON LA ORILLA IN ACCORDANCE WITH THE STREET TREE ORDINANCE. STREET TREES ARE REQUIRED ON BUILDING PERMIT PLANS PER THE CITY ZONING CODE. MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER. GRAVEL IS ALLOWED TO BE USED, BUT WILL NOT BE USED AS A PRIMARY GROUND COVER, ONLY TO BRIDGE GAPS BETWEEN PLANTS AND AS AN ACCENT IN THE LANDSCAPING BEDS. LANDSCAPE AREAS OVER 36 SQUARE FEET IN SIZE SHALL BE COVERED WITH LIVING VEGETATIVE MATERIAL, OVER AT LEAST 80% OF THE REQUIRED LANDSCAPE AREA. HIGH-WATER USE TURF IS PROHIBITED. ALL PLANTING AREAS WILL BE MAINTAINED IN A LUSH, ATTRACTIVE, AND NEED-FREE CONDITION. UNDERGROUND IRRIGATION SYSTEMS ARE REQUIRED AND SHALL CONSIST OF A FULLY AUTOMATED SPRINKLER/DRIP IRRIGATION SYSTEM TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ACHIEVED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL, ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP IN PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W. SHALL BE THE RESPONSIBILITY OF EACH PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS. THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMAL MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVERWATERING IS REDUCED.

P2M COORDINATION
COORDINATION WITH P2M'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SPECIES LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WALL
SCREENING WALL IS DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING
SEE INDIVIDUAL BUILDING PERMIT GRADING AND DRAINAGE PLANS FOR DETAILS ON STRATEGY TO CAPTURE THE FIRST .44 OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE
SEE INDIVIDUAL BUILDING PERMIT PLANS FOR PROVIDED LANDSCAPE AREA COVERAGE.

LANDSCAPE LIVE VEGETATIVE COVERAGE
THE BOSQUE PLAZA DESIGN STANDARDS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 80% OF THE REQUIRED LANDSCAPE AREA. THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES
SEE INDIVIDUAL BUILDING PERMIT PLANS FOR PROVIDED PARKING LOT TREES.

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THAT ONE TREE IS REQUIRED FOR EACH 50' OF PUBLIC OR MAIN ACCESS ROADWAY FRONTAGE LESS DRIVEWAYS.

FRONTAGE	TREES REQUIRED	TREES PROVIDED
LOT 1 FRONTAGE IS 484'	9	19
LOT 2 FRONTAGE IS 132'	2	5
LOT 3 (EXISTING) FRONTAGE IS 132'	2	5
LOT 4 FRONTAGE IS 124'	2	5
LOT 5 (EXISTING) FRONTAGE IS 127'	2	5
LOT 6 (EXISTING) FRONTAGE IS 162'	3	11
LOT 7 FRONTAGE IS 370'	7	15
LOT 8 FRONTAGE IS 118'	2	5
LOT 9 FRONTAGE IS 222'	4	9
LOT 10-A (EXISTING) FRONTAGE IS 109'	2	7
LOT 10-B-2 FRONTAGE IS 120'	2	4

- NOTES**
- PROPOSED STREET TREE LAYOUT IS SCHEMATIC. TREE LOCATIONS WILL BE FINALIZED WITH LOCATION OF FUTURE DRIVEWAYS AND DETAILED LANDSCAPE PLANS FOR INDIVIDUAL LOTS.
 - THIS LANDSCAPE PLAN ONLY APPLIES TO LOTS 1, 2, 7, 9, AND 10-B-2.

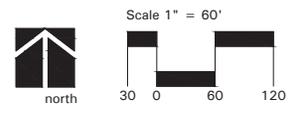
PLANT LEGEND

SYMBOL	DESCRIPTION COMMON NAME (BOTANICAL NAME) (WATER USE)
EXISTING TREES	
○	EXISTING DECIDUOUS TREE
●	EXISTING EVERGREEN TREE
PROPOSED TREES	
○	PROPOSED DECIDUOUS TREE DESERT WILLOW (ILICOPSIS LINEARIS (L.) NEW MEXICO OLIVE (FORESTIERA NEOMEXICANA (L.) TRYWOOD ASH (FRAXINUS DRYCARRA MAXWOOD (M.) CHINESE FRENCHBERRY (BETULA CHINENSIS (M.) CHINA PACHA (CORYLUS CATALPA (M.) GOLDENRAN TREE (KOELRUTIA PANICULATA (M.) CHASTE TREE (MEX AGAVE-SCAULUS (M)
●	PROPOSED EVERGREEN TREE BOSNIAN PINE (PINUS LEUCODERMIS (M.) ESCARPMENT LIME OAK (QUERCUS FUSIFORMIS (M.) AFGHAN PINE (PINUS ELDORICA (M)

LANDSCAPE PLAN BOSQUE PLAZA

Prepared for:
La Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



December 1, 2016

Sheet 1b of 3

BOSQUE PLAZA DESIGN STANDARDS

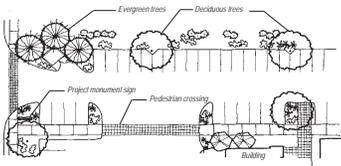
The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the goals and objectives to create a high quality commercial development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinances and applicable Plans, including the Coors Corridor Sector Development Plan. These standards shall apply to all properties within the Bosque Plaza Shopping Center.

A. LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within Bosque Plaza. To achieve a unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies (Water Conservation and Plant Ordinance). The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas and within the required 35 foot landscape setback adjacent to Coors Boulevard.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and Bosque Plaza Lane.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6' x 6' concrete, brick (side by side), or 18" x 4" steel construction.
- Landscape areas over 36 square feet in size shall be covered with living, vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited.
- One tree is required for each twenty-five linear feet of public or main access roadway. The required trees shall be informally clustered with not more than a 35-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- Off-street parking areas shall have one tree for every 10 parking spaces, and shall be distributed such that at least one tree is planted for every 15 linear parking spaces.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper or be 10 to 12 feet in height, and shrubs and groundcovers shall be in one gallon container or larger.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- All planting areas shall have a top dressing of crushed rock, river rock, or similar materials, which extends completely under the plant material. Bark shall only be utilized as mulch, not as a permanent form of ground-cover.
- Live plant materials shall be used extensively in all landscaped areas. Gravel, colored rock, bark, and similar materials are not acceptable as groundcover.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material.
- Xeriscape principles of design shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- Planter boxes and shade tree planting areas shall have a minimum size of 6x6' (36 square feet).
- Parking lots shall be landscaped with a minimum of 20% of the parking lots area. Parking lot landscaping shall be defined as planting areas within the parking lot and within six feet of the perimeter of the parking lot.
- The Coors Corridor Plan, Policies 4b, 3 and 4 require site landscaping and front landscaping on the street yard. Policy 4 specifically requires a limited palette of landscape materials. The following is the plant palette for the shopping center divided by location:

Coors Boulevard frontagebuffer:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Desert Willow	Chilopsis linearis	Low	Low
New Mexico Olive	Fraxinella neomexicana	Low	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low
Shrubs:			
Chamaecyparis	Chrysothamnus nauseosus	Low	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low	Low
Dwarf Coyotebush	Baccharis 'Starr Thompson'	Low	Low
Dwarf Turpentine Bush	Eriogonum fasciculatum	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Threadgrass	Nassella tenuissima	Low	Low

Common Name	Botanical Name	Water Use	Pollen
Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low

Parking lots and Sites:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Bosnian Pine	Pinus leucodermis	Med	Low
Goldenrain Tree	Koeleria paniculata	Med	Med
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Escarpment Live Oak	Quercus toadiformis	Med	Moderate
Chaste Tree	Vitex agnus-castus	Med	Low
Algalan Pine	Pinus edulis	Med	Low
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low
Shrubs:			
Blue Mist Spirea	Caryopteris x clandonensis	Low-Med	Low
Cherry Sage	Salvia greggii	Low-Med	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low-Med	Low
Dwarf Coyotebush	Baccharis 'Starr Thompson'	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Bear Grass	Nothola macrocarpa	Low	Low
Regal Mist Mahly Grass	Muhlenbergia capillaris	Med	Low
Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low

B. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Bosque Plaza.

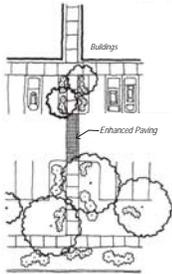
In order to comply with the Coors Corridor Sector Development Plan and create a pedestrian friendly environment along Bosque Plaza Lane, buildings shall be located on each site according to the following setback dimensions:

- 35 feet minimum from the Coors Boulevard R.O.W. per the Coors Corridor Sector Development Plan
- 20 feet minimum and 54' maximum adjacent to Bosque Plaza Lane.
- 0 or 5 feet minimum from internal lot lines in order to encourage continuous building facades

C. PARKING AND CIRCULATION

To create an aesthetically pleasing center, parking areas and pedestrian connections shall be designed as follows:

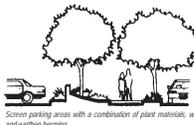
- The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office and commercial buildings, pedestrian crossings shall be a minimum width of 6 feet. They shall be clearly demarcated with textured, colored concrete (with the exception of any existing crosswalks on Lot 10-A) and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Shaded pedestrian access shall be provided, including a clear 6 foot wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 6 feet square (or equivalent).
- For office and commercial buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shades shall be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 six square feet square (or equivalent). Sidewalks shall be provided adjacent to and along the full length of the buildings in compliance with Section 14-16-3-1(G)(4) of the Zoning Code.
- For office and commercial buildings shaded patio space with outdoor seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Restaurants shall have outdoor patio seating and dining.
- Convenient and direct connections shall be provided from each building to the internal circulation system and adjacent roadways, sidewalks, and between adjacent buildings/lots.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- Motorcycle parking shall be provided at a minimum of 1 space per 25 vehicle spaces.
- Vehicular and pedestrian conflicts shall be minimized.
- Separate vehicle and pedestrian access shall be provided to individual lots.
- All crosswalks and internal (within the lots) crosswalks shall be enhanced and textured paving, which shall be defined as textured, colored concrete.



D. SCREENING WALLS AND FENCES

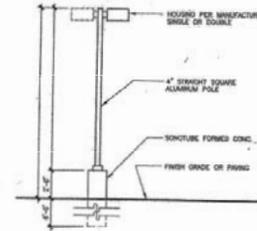
All walls shall be designed to comply with the Wall Regulations contained in the Comprehensive City Zoning Code. The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. When the site orientation causes service functions to face Coors Boulevard, the service area shall be screened with a four-foot fence.

The following are standards to ensure effective screening of negative elements:

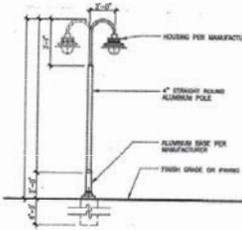
- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 3 feet. Screening is not required where the parking area is 3 feet below street grade.
 
- All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates.
- Outdoor storage areas are prohibited.
- Chain link, barbed wire, and concertina wire are not allowed in Bosque Plaza.
- Security fences (for example, at back loading areas) cannot exceed four feet in height if the area is not incorporate into the building's architectural design. If the area appears to be an extension of the building (similar materials and color), the height is limited to 15'.
- Walls and fencing must be compatible with building architecture in terms of materials, colors, etc.
- Non finished, flat-face CMU walls are permitted.

E. LIGHTING STANDARDS

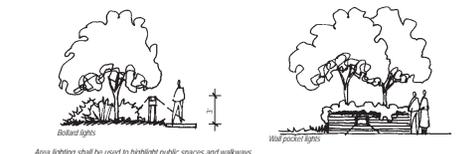
- General**
 - All lighting placement, safety, and illumination standards shall comply with the state and local regulations, provisions of the State of New Mexico's Night Sky Ordinance, and the Coors Corridor Plan.
 - All light fixtures shall be fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no light fixture shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
 - Exterior elevations of any building fronting a street are encouraged to be lighted to enhance the identity of the building and to illuminate street addresses.
 - High-pressure sodium lighting is prohibited.
 - No lighting permitted from free-standing or building-mounted fixtures or signs.
 - Light poles within 25 feet of Bosque Plaza Lane shall be the same as internal street lights used in Rivercity Plaza.
- Height**
 - 16 feet for all walkways and entry plazas.
 - 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.



Sample of Parking Lot Light



Sample of Internal Street Light



Signs at Bosque Plaza are limited to wall signs and free-standing monument signs. The following are general guidelines for signage design and placement:

- General**
 - All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
 - All elements of a sign shall be maintained in a visually appealing manner.
 - No sign shall overhang into the public right-of-way or extend above the building roof line.
 - Lots adjacent to the internal roadway shall have either one free-standing business monument sign or one building mounted sign facing the roadway.
- Free-Standing Signs**
 - Bosque Plaza is allowed one Project Entry sign at the access point on Coors Boulevard (NE corner of Bosque Plaza Lane and Coors Boulevard). The height of the free-standing Project Entry sign shall not exceed 9 feet. The size of the sign face shall not exceed 75 square feet, with a total of 10 items of information.
 - Free-standing signs shall not require any external bracing, angle-iron supports, guy wires or similar devices.
 - Monument sign design shall integrate with building architecture.
 - Monument signs are also permitted for properties along Bosque Plaza Lane and shall not exceed 3 feet in height and 15 square feet in sign face area.



Sample Project Entry Sign

- Building-Mounted Signs**
 - Individual building-mounted signs shall have an area not to exceed 6% of the facade to which it is applied.
 - The height of a building-mounted sign shall not exceed the height of the wall to which it is attached.
 - No signage permitted on east sides for buildings on Lots 1, 2, and 3 and south sides for buildings on Lots 2, 3, 4, 5, and 6.
- Prohibited Signs**
 - No off-premise signs are allowed.
 - No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
 - Signs that are portable, fixed on a movable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or movable vehicles, or easily movable in any manner are prohibited.
 - Signs located on rocks, trees, or other natural features are prohibited.
 - Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and lime/temperature signs are prohibited.

DESIGN STANDARDS BOSQUE PLAZA

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G. SITE / ARCHITECTURAL OBJECTIVES

1. Site

The creation of an active pedestrian environment at Bosque Plaza is dependent upon creative site and architectural design. Individual sites within Bosque Plaza shall be linked together and to the surrounding neighborhoods. The relationship between the buildings and the street shall be key to providing a pedestrian oriented development.

- a. Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout shall minimize the need for pedestrians to cross parking aisles and landscaped islands.
- b. Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- c. Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- d. All pedestrian paths shall be designed to be accessible to the handicapped (See *Americans with Disabilities Act* criteria for barrier free design).
- e. Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6 foot clear and lined with shade trees in 6' x 6' (36 square feet) planters, spaced 25 feet on center.
- f. Only two drive-up service windows for fast food restaurants shall be permitted within Bosque Plaza. Drive-up service windows for fast-food restaurants shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code. When determining the appropriateness of a drive up service window, the following criteria shall be examined:
 - 1. No drive up service window shall face Coors Boulevard.
 - 2. The drive up service window and stacking lane shall be screened from public view and shall be integrated with the architecture of the building it serves.
 - 3. A pedestrian crossing across the stacking lane shall be demarcated and shall be clearly visible and highlighted with enhanced paving.
 - 4. No drive up service window shall be placed within 150' of any residential zoning district.
- g. One additional drive-thru facility shall be permitted for a financial institution.
- h. No cell phone towers shall be permitted.

2. General Building Elements

- a. Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other applicable codes.
- b. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures.
- c. The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- d. Windows and doors shall relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes.
- e. The top of all rooftop equipment shall be below the top of parapet.

3. Architectural Style, Materials, and Colors

The architectural objective is to create a site that is visually integrated through the use of architectural styles and similarities of scale, proportion, massing, and color.

- a. All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- b. Architectural styles are limited to Territorial and Territorial Revival only as described below:

- 1. **Territorial Design:** flat-roofed, often with brick coping edging the parapet, earth-toned, usually one story, can be at least two rooms deep often with a central hallway, multi-paned windows. Details include classic pedimented lintels over windows and doors, main entries with sidelights, sometimes shutters, and portales with squared, often chamfered, posts and no corbels. The Territorial architectural style began to develop after the opening of the Santa Fe Trail and roughly coincides with the historical period when New Mexico was a US territory.



Sample of Territorial Design

- 2. **Territorial Revival:** based on the fusion of New Mexican buildings with American trim developed when New Mexico became a territory, always flat-roofed with brick coping along the parapet, light-colored walls, and multi-paned windows. Details include classical wood trim (or metal, concrete, or other low maintenance material that is designed to have the appearance of wood), including shutters, awnings, pedimented lintels and squared porch posts, with sidelights and top lights at main entry.

- 3. **Territorial Style Elements** for larger buildings (Only applicable to Lot 1): It is understood that the height and massing of a larger building, necessitates a custom approach to the architectural design. All provisions of these Design Standards shall also apply to the proposed "larger building" on Lot 1. Key additional elements for Lot 1 shall include:
 - Real brick coping along the top of the parapet;
 - Real brick walkscoping is required on all four elevations; Primary color shall be light brown;
 - Building entry highlighted with a shade canopy/portale (w/tilt);
 - Multi-paned windows, trimmed in white, shall be provided on first and second stories of building corners and middle of west elevation (as shown below);
 - Night lighting shall be muted during non-business hours;
 - Retail shall be provided at street level (minimum 1,500 sq. retail shall be independent of the storage business);
 - Architectural features, including portales at corners and at the middle of the west and north elevations of, shall be provided (as shown below);
 - Pedestrian oriented signage shall be provided at the SW corner of the building (as shown below); and
 - An outdoor patio shall be provided and pedestrian benches at the portales along western and northern elevations.



Prototype Indoor Storage Facility (Lot 1 - NE Perspective)



Prototype Indoor Storage Facility (Lot 1 - SW Perspective)

- c. Shade structures (awnings, trellis, canopies) are permissible as an accent detail, provided that they are architecturally compatible to the building to which they are applied, shall be limited to colors that match the brick trim on buildings; and shall be made of materials that have a cloth-like appearance.
- d. Stucco shall be used as the primary surface treatment.
- e. The primary building colors shall be limited to warm medium browns (Ei Rey Stucco, Adobe 116 or equivalent) and beiges (Ei Rey Stucco, Sand 103 or equivalent). The middle range of reflectance is intended to avoid very light and very dark colors.
- f. No generic franchise building elevations are permitted.
- g. Architectural features or elements of a building shall be subject to the Coors Corridor Sector Development Plan View Preservation regulations (See Section J).
- h. Walkscoping shall be made of brick, stained concrete, real stone, cultured stone, or stucco. Colors shall be limited to red-brown, light brown or medium brown.

4. Prohibited Building Elements

- a. No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- b. No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be fabric integrated with building architecture, color scheme, and signage.
- c. No flags or other corporate decorations are permitted.
- d. Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.

H. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of Bosque Plaza:

- 1. All new electric distribution lines shall be placed underground.
- 2. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- 3. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

I. CODE COMPLIANCE

This Site Development Plan for Subdivision will comply with all requirements of the City and the Coors Corridor Sector Development Plan.

J. VIEW PRESERVATION

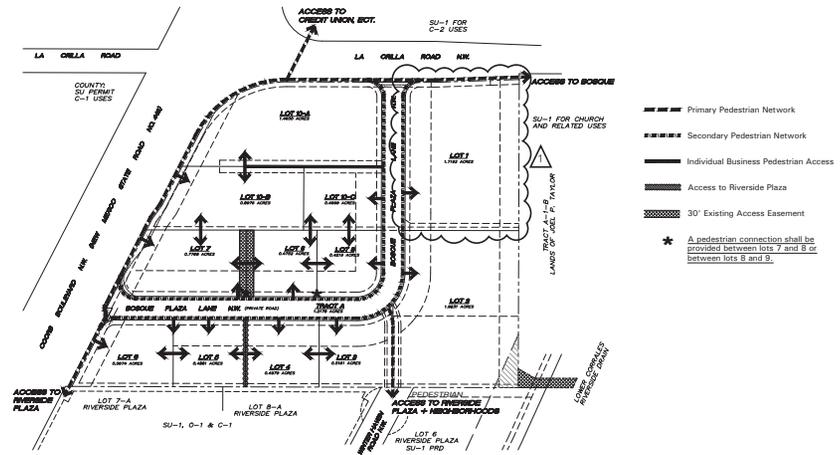
All buildings within the Bosque Plaza shopping center shall comply with the Coors Corridor Sector Development Plan (View Preservation for Corridor Segments 3 and 4). The procedures to ensure view preservation shall be followed as outlined within the Coors Corridor Sector Development Plan.

- 1. Bosque and mountain views shall be maintained from the site in accordance with the Coors Corridor Sector Development Plan view preservation regulations and shall generally be available from semi-public locations such as patios, outdoor seating areas and intersections. The design of these features shall ensure that views are preserved and even enhanced.

K. SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of Bosque Plaza, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. Pedestrian connections shall be provided to physically connect the parcels adjacent to Coors Boulevard.

- 1. Sidewalks shall be provided along the interior private drive at a minimum of 6 feet in width and shaded by trees planted 25 feet on center.
- 2. Access to the Bosque trail system shall be from La Orilla.
- 3. A sidewalk shall be provided along Coors Boulevard, which will connect to Bosque Plaza at several points. The Coors Corridor Plan encourages both pedestrian and bikeway facilities and it is the intent to provide these facilities. The following Pedestrian Plan illustrates the connectivity and pedestrian oriented environment that Bosque Plaza will provide:
- 4. To mitigate instance of pedestrian/vehicle conflict, a pedestrian trail shall be provided from Bosque Plaza Lane into each lot.



PEDESTRIAN PLAN
BOSQUE PLAZA

DESIGN STANDARDS
BOSQUE PLAZA

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September 6, 2006
Amended 1/12/2017

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