



**Environmental
Planning
Commission**

**Agenda Number: 01
Project Number: 1004167
Case #: 17EPC-40043
October 12, 2017**

Staff Report

Agent	Wooten Engineering
Applicant	Jim and Christen Schull
Request	Site Development Plan for Building Permit
Legal Description	Lot 7-A, Bosque Plaza
Location	on Coors Blvd. NW, between La Orilla Rd. NW and Bosque Plaza Lane NW
Size	Approximately 1 acre
Zoning	C-1 (SC)
Proposed Zoning	No change

Staff Recommendation

APPROVAL of Case 17EPC-40043, a Site Development Plan for Building Permit, based on the Findings beginning on page 16, and subject to the Conditions of Approval beginning on page 19.

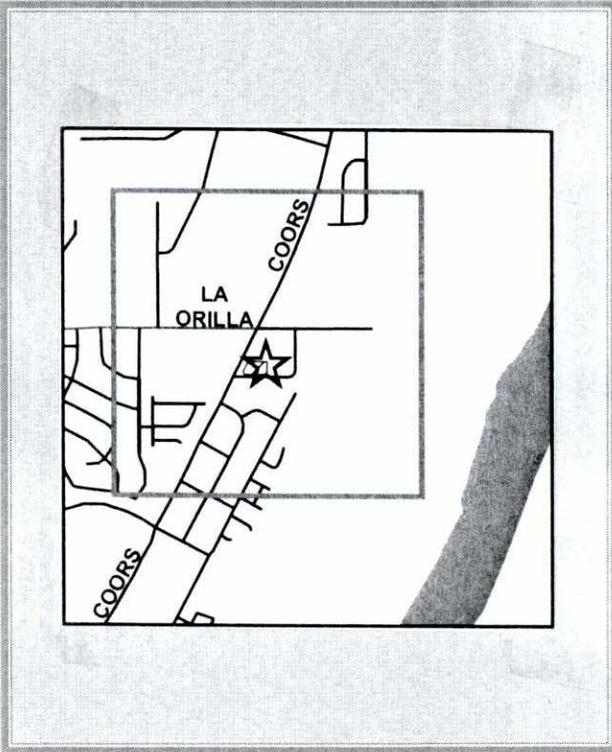
**Staff Planner
Catalina Lehner, Senior Planner**

Summary of Analysis

The request is for a site development plan for building permit for Lot 7-A of the Bosque Plaza Shopping Center, an approximately 1 acre site located between Bosque Plaza Lane and Coors Blvd. NW. The applicant proposes to develop an auto parts store, which is a permissive use in the C-1 zone.

The subject site is in an Area of Change. The West Side Strategic Plan and the Coors Corridor Sector Development Plan apply, as do the design regulations in the Bosque Plaza Site Development Plan for Subdivision. Staff finds that most of the design regulations are met, but variances from the ZHE are needed to the setback requirements if compliance cannot be achieved.

The Taylor Ranch NA (TRNA), the Westside Coalition, and property owners within 100 feet of the subject site were notified as required. A private meeting was held on October 5, 2017 with the TRNA, which expressed concern about compliance with the design regulations. Staff recommends approval subject to conditions.



City Departments and other interested agencies reviewed this application from 09/05/2017 to 09/21/2017
Agency comments used in the preparation of this report begin on page 22.

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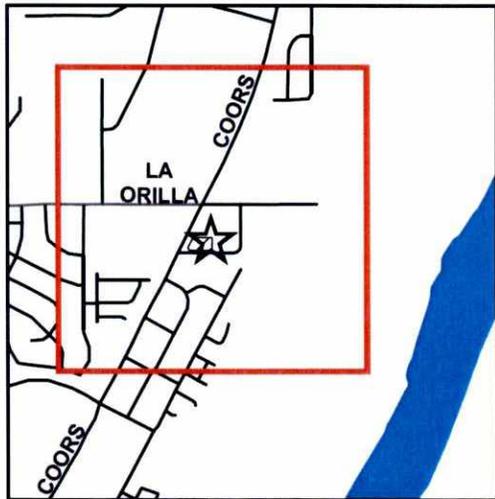
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LAND USE MAP

Note: Grey shading indicates County.

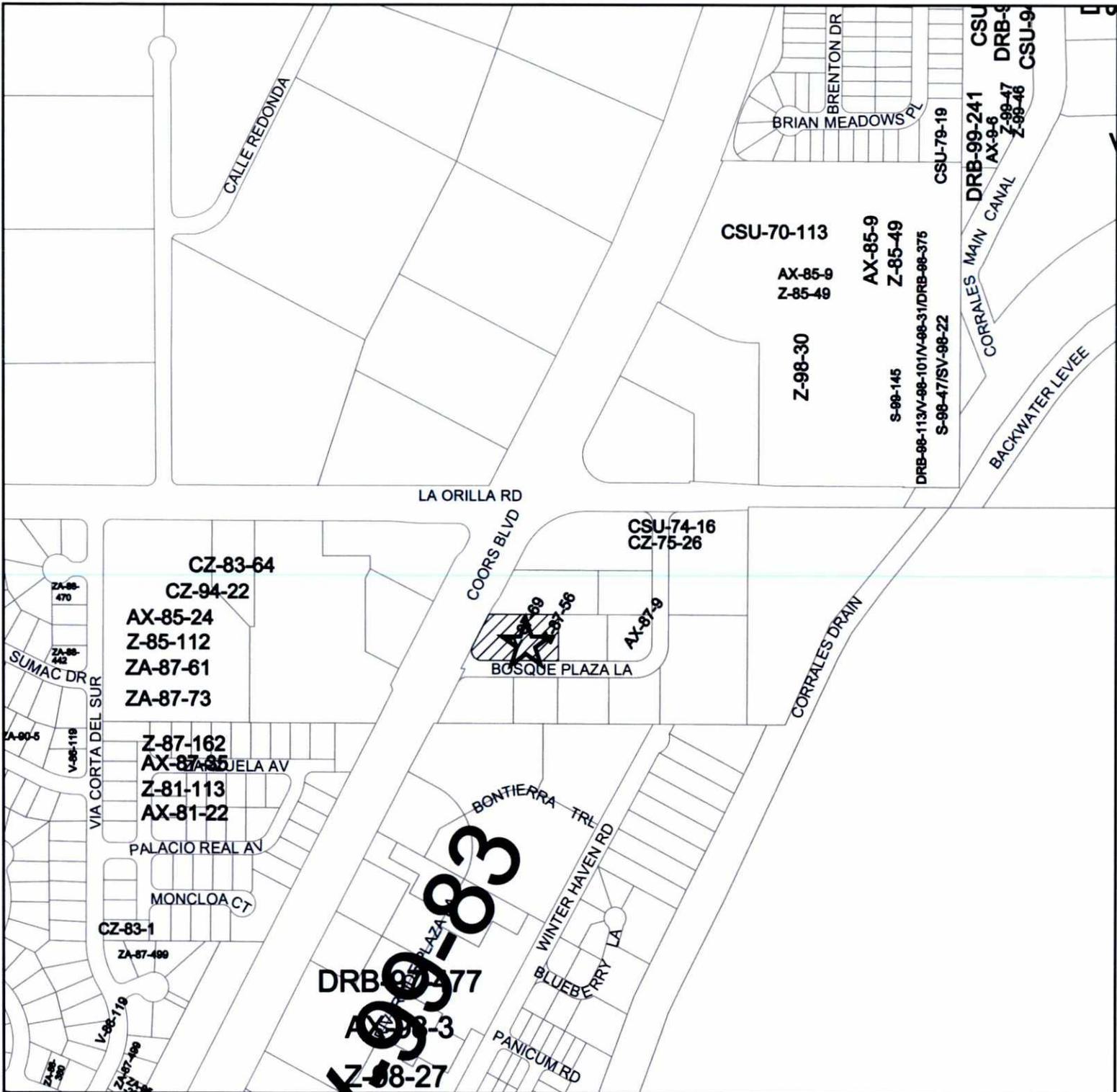
KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 417 feet

Project Number:
1004167
Hearing Date:
10/12/2017
Zone Map Page: E-12
Application Case Numbers:
17EPC-40043



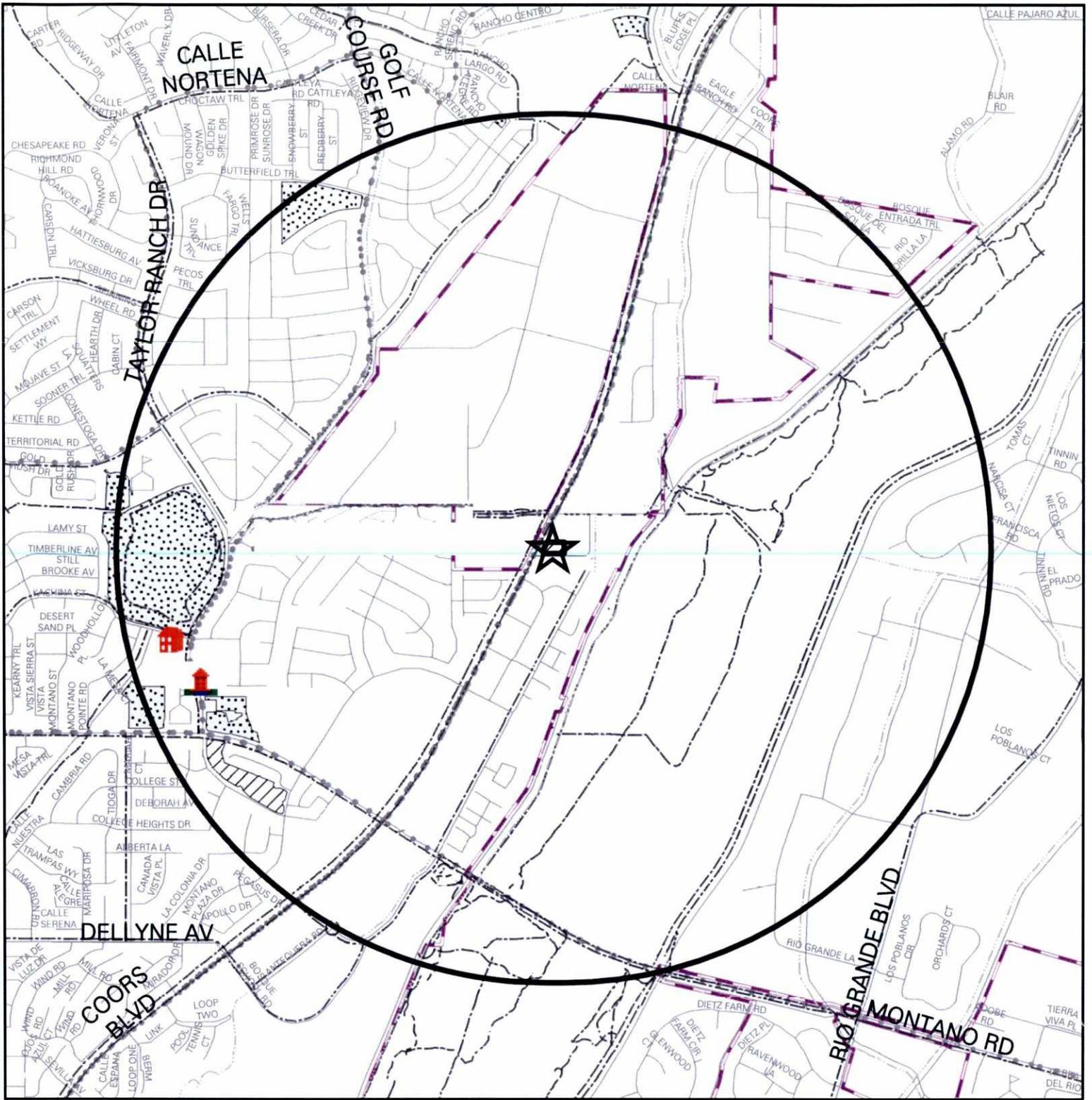
HISTORY MAP

Note: Grey shading indicates County.



1 inch = 417 feet

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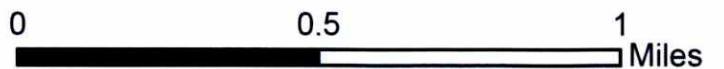


Public Facilities Map with One-Mile Buffer

- | | | | |
|---|---|--|---|
|  COMMUNITY CENTER |  FIRE |  Public Schools |  Landfill Buffer (1000 feet) |
|  MULTI-SERVICE CENTER |  POLICE |  Proposed Bike Facilities |  Landfills designated by EHD |
|  SENIOR CENTER |  SHERIFF |  ABQ Bike Facilities |  Undeveloped County Park |
|  LIBRARY |  SOLID WASTE |  ABQ Ride Routes |  Developed City Park |
|  MUSEUM |  Albuquerque City Limits | |  Undeveloped City Park |



Project Number: 1004167



I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	C-1 (SC)	Area of Change West Side Strategic Plan (WSSP) Coors Corridor Sector Development Plan (CCSDP)	Vacant
North	C-1 (SC)	Area of Change West Side Strategic Plan (WSSP) Coors Corridor Sector Development Plan (CCSDP)	Fast-food restaurant
South	C-1 (SC)	Area of Change West Side Strategic Plan (WSSP) Coors Corridor Sector Development Plan (CCSDP)	Fast-food restaurant, medical office
East	C-1 (SC)	Area of Change West Side Strategic Plan (WSSP) Coors Corridor Sector Development Plan (CCSDP)	Vacant
West	County A-1 (SU permit for C-1 uses)	Developing Urban West Side Strategic Plan (WSSP) Coors Corridor Sector Development Plan (CCSDP)	Coors Blvd., County land

II. INTRODUCTION

Request

The request is for a Site Development Plan for Building Permit for Lot 7-A, Bosque Plaza Subdivision, an approximately 1 acre, vacant site located at 6380 Coors Blvd. NW, at the northwest corner of the intersection of Coors Blvd. and Bosque Plaza Lane (the “subject site”).

The applicant proposes to develop a 7,000 square foot auto parts retail store. The proposed building will be single-story and sited near the lot’s northern property line. The subject site is part of the Bosque Plaza Site Development Plan for Subdivision, and must comply with the design standards therein. The design standards address parking, access, setbacks, landscaping, etc.

EPC Role

The Environmental Planning Commission (EPC) is hearing this case because the EPC has decision-making authority for site development plans in SC, Shopping Center designated zones, by the same approval process as SU-1 zones pursuant to Zoning Code Sections 14-16-3-2(C) of Shopping Center Regulations and 14-16-2-22(A)(1) of SU-1 Special Use Zones. The EPC is the final decision-making body unless the EPC decision is appealed. If appealed, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council, which would make the final administrative decision pursuant to Zoning Code Section 14-16-4-4-(A)(2) Appeal. This is a quasi-judicial matter.

History

Early history- The subject site is zoned C-1 (SC) for neighborhood commercial uses, as are the other vacant lots in the Bosque Plaza shopping center. In May 1987, the subject site was annexed as part of an approx. 11.92 acre annexation (AX-87-9) and C-1 zoning was established (Z-87-56). Prior to annexation, the entire site was zoned County C-1. In July 1987, the EPC approved a site development plan for subdivision and a site development plan for building permit for a home improvement center and nine other freestanding buildings. None were ever built.

Upon annexation, the approx. 11.92 acre site met the Zoning Code definition of a shopping center by being over 5 acres and zoned C-1. Though the SC designation was not added to the zoning map, an April 2001 letter from the Zoning Enforcement Manager provides an explanation (see attachment). The manager determined that, based upon the intent of the property owners and the EPC at the time of annexation and zoning establishment in 1987, the site was indeed a shopping center.

There was no planning activity associated with the subject site until 2004, when Lots 1-9 were replatted and named the Bosque Plaza shopping center. This action renumbered the lots, established new easements and created Bosque Plaza Lane NW to provide access.

In the absence of design standards, a Village Inn restaurant was constructed on Lot 10-A of Bosque Plaza. The EPC approved the Village Inn at its September 16, 2004 hearing (Project #1002397) and did not place conditions that would have made it harmonize architecturally with the Riverside Plaza shopping center to the south. Riverside Plaza had developed according to the design standards in its site development plan for subdivision, which has contributed to its popularity and support from the community.

A request for a Dairy Queen restaurant with a drive-up service window was approved at the October 2005 EPC hearing, but that time strict conditions were placed on the development so it would blend in architecturally with Riverside Plaza. Though the Dairy Queen conditions set a favorable precedent for future development, conditions are not a substitute for design standards.

The request for a site development plan for subdivision, with design standards, for the Bosque Plaza shopping center (Project #1004167, 05EPC-01225) first entered the EPC process in August 2005, when it became apparent that design standards for this shopping center site did not exist. The request was deferred several times until meaningful design standards could be developed. The EPC approved the site development plan for subdivision and design standards in July 2006 (see attachment).

In March 2006, a request for a site development plan for building permit on Lot 10-B entered the EPC process. This request, for a Panda Express restaurant, was not approved by the EPC until September 2006 (Project #1004647). The long timeframe was due to the fact that the design standards for the Bosque Plaza shopping Center (Project #1004167) were still in the developmental stages when the restaurant request was submitted.

More recent history- The applicant first applied for a conditional use to allow storage of household goods and office records as stated in Zoning Code Section 14-16-2-16(B)(21), the C-1 Neighborhood Commercial Zone Conditional Uses. A request for a conditional use to allow storage of household goods and office records was heard by the Zoning Hearing Examiner (ZHE) in February of 2016 and was approved in March of 2016 (15ZHE-80293). The approval was subsequently appealed and heard by the Board of Appeals (BOA) on April 26, 2016 (16BOA-20003). The BOA found that the ZHE had not addressed the criteria for the conditional use and reversed the decision of the ZHE, removing the conditional use approval.

The applicant appealed the BOA decision in May of 2016. The Land Use Hearing Officer (LUHO) heard the case in June of 2016 and recommended that the decision of the BOA stand because the proposed building did not fit with the neighborhood and therefore was injurious to the community.

In August of 2016 the City Council heard the appeal (AC-16-7) and voted to remand the case to the ZHE. The findings directed the applicant to seek an amendment to the existing Site Development Plan for Subdivision (SPS) and directed the ZHE to defer consideration of the conditional use until any relevant amendments to the SPS were heard by the EPC. The EPC approved the proposed amendments to the SPS at the January 12, 2017 hearing (16EPC-40071), and the Development Review Board signed off on the amended SPS on February 22, 2017.

Finally, the ZHE reheard the conditional use application and approved the use with conditions following a hearing on February 21, 2017 (17ZHE-80018). The conditions specified building height limits and other design considerations that are also covered by the design standards of the SPS.

Design Standards

The purpose of design standards, which are associated with a site development plan for subdivision, is to provide guidance for a development in order to ensure that it will further the intent of applicable City Plans and policies and contribute to making planning goals a reality. To achieve these purposes, a site development plan for subdivision serves as an overarching guide for creating a high-quality, cohesive development.

Context

The Bosque Plaza Shopping Center consists of 11 lots on 12 acres. The shopping center is partially developed. The developed tracts include restaurants and medical offices. The area to the south is developed as shopping centers, Riverside Plaza and Montañó Plaza. To the north is a large church and to the east are a church and the Rio Grande Bosque. The west side of Coors Boulevard contains existing housing and a new movie theater and restaurant that are located in Bernalillo County.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

https://www.mrcog-nm.gov/images/stories/pdf/transportation/2040_MTP/long-range-roadway-2040-map.pdf

The LRRS designates Coors Boulevard as a Principal Arterial.

The LRRS designates La Orilla as a Local street.

Bosque Plaza Lane is a private roadway that provides direct access to Coors Boulevard from the Bosque Plaza Subdivision.

Comprehensive Plan Corridor Designation

Coors Boulevard is a Major Transit Corridor.

Trails/Bikeways

There is an existing Bike Lane along Coors Boulevard, a Bike Route along Winterhaven Road, which dead ends at the site, and a paved multiple use trail along La Orilla Road.

Transit

Routes 96 and 155 share a pair of stops on Coors Blvd., about 450 feet on either side of the La Orilla Rd. intersection. Transit has no comments.

Public Facilities/Community Services

Please refer to the Public Facilities Map (see attachment).

II. ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

Definitions (§14-16-1-5)

Shopping Center Site. A premises containing five or more acres; zoned P, C-1, C-2, C-3, M-1, M-2 or a combination thereof; but excluding premises used and proposed to be used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing.

Site Development Plan for Building Permit: In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for non-auto transportation, or energy conservational building construction), and proposed schedule for development.

Site Development Plan for Subdivision: An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio.

Zoning

The subject site is zoned C-1 (SC). The C-1 zone (Zoning Code 14-16-2-16) provides suitable sites for office, service, institutional, and limited commercial uses to satisfy the day to day needs of residential areas.

The Shopping Center regulations (Zoning Code 14-16-3-2) require that shopping centers develop in accordance with an approved site development plan. However, unlike the SU-1 zone, the EPC does not have discretion over height and parking. Development of the site is generally governed by the underlying zoning, Zoning Code requirements, and any requirements of an approved Sector Development Plan or Site Development Plan.

Albuquerque / Bernalillo County Comprehensive Plan- Rank I

The subject site is located in an area that the 2017 Albuquerque/Bernalillo County Comprehensive Plan has designated an Area of Change. The few, applicable policies are listed below:

Chapter 5- Land Use

Goal 5.1- Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

Policy 5.1.2- Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The subject site is adjacent to a designated Major Transit Corridor, Coors Blvd. Major Transit Corridors are intended to be served by frequent transit and should be pedestrian-oriented near transit stops, but auto-oriented for much of the corridor. Coors Blvd. has frequent transit service and the proposed building would be accessible from it. The request furthers Goal 5.1- Centers & Corridors.

The request would result in development of a neighborhood commercial retail use that is not located in a designated Activity Center; the Coors/Montano Village Activity Center abuts Bosque Plaza to the South. The proposed development would be subject to regulations for the Coors Corridor and the Bosque Plaza shopping center, and therefore would be at an appropriate density and scale for an area outside of a designated activity center but already zoned for commercial uses. The request furthers Policy 5.1.2- Development Areas.

Goal 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The growth resulting from the request would be directed to a neighborhood commercial location adjacent to a Major Transit Corridor, where change is generally encouraged. Major

Transit Corridors are intended to be transit and pedestrian-oriented near transit stops, while auto-oriented along much of the corridor (p. 5-17). The proposed use would be auto-oriented but would be accessible by pedestrians from Coors Blvd and Bosque Plaza Lane. The request furthers Goal 5.6- City Development Areas and Policy 5.6.2- Areas of Change.

West Side Strategic Plan (WSSP)- Rank II

The West Side Strategic Plan (WSSP) was first adopted in 1997 and recently amended in 2002 to help promote development of Neighborhood and Community Activity Centers. The WSSP identifies 13 communities, each with a unique identity and comprised of smaller neighborhood clusters. The subject site is located in the Taylor Ranch community, which consists of the area within the following boundaries: the Volcanic Escarpment on the west, Paseo del Norte Blvd. on the north, the river on the east and the vicinity of Western Trail Road on the south.

Policy 1.1: Thirteen distinct communities, as shown on the Community Plan Map and described individually in this Plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in Community and Neighborhood Centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commissions shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low density residential development (typical 3-5 du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the Centers.

The activity center for the Taylor Ranch Community is located generally in the vicinity of the Coors Blvd./ Montañó Rd. intersection, though other centers will develop (WSSP, p. 55). The proposed retail use would not be located in a designated activity center, but is part of a the Bosque Plaza Shopping Center that developed at Coors Blvd./La Orilla Rd. due to the neighborhood commercial zoning. The request generally conforms to WSSP Policy 1.1.

Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City and efficient location for receiving City services.

All Bosque Plaza lots, including the subject site (Lot 7-A), are located within City boundaries in the Taylor Ranch Community, and are therefore an appropriate location for growth and an efficient location for receiving City services. The request furthers Policy 3.12.

Policy 3.18 (Taylor Ranch): Protection and preservation of the Bosque is critical. Development east of Coors Boulevard shall be sensitive to this community asset.

The proposed building would be located in the Bosque Plaza shopping center, at the southeast corner of Coors Blvd. and La Orilla Rd., and in the Bosque Transition Zone (see WSSP p. 202). The Bosque is a valued community asset; La Orilla Rd. provides one of the few remaining public access points. Development in Bosque Plaza shall be sensitive to the Bosque environment—buildings must blend in with natural surroundings and the use must not compromise Bosque protection. The request demonstrates sensitivity toward the Bosque environment by meeting the view preservation requirements in the CCP and complying with the Bosque Plaza design standards. The request furthers WSSP Policy 3.18.

Coors Corridor Plan (CCP)- Rank III

The subject site lies within the boundaries of the Coors Corridor Plan (CCP), a Rank III sector development plan adopted in 1984 and amended in 1989, 1995 and 2003. Efforts have been underway recently to update the CCP, but have not been finalized as of this writing.

The CCP contains overarching policies and specific design regulations for development in the Coors Corridor area, which extends northward from Central Avenue to NM 528 (Corrales Road). The CCP divides the Coors Corridor into four segments; the subject site is located in Segment 3 (Western Trail to Calabacillas Arroyo) and lies within a view preservation area (see p. 103). The following CCP policies and regulations apply:

Policy 4.a.3-New Development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (p. 86).

The CCP aims to create design harmony by applying regulations to ensure compatibility of new development with the natural landscape and the built environment. The proposed building is a Territorial Revival design. The colors are compatible with the nearby built environment and the nearby natural environment. The proposed building would not detract from the Bosque setting. The request furthers CCP Policy 4.a.3-New Development.

Policy 4.b.5- Off-Street Parking: Generally, off-street parking facilities should be located to the rear of sites. Street frontages should be devoted to building architecture and landscaping.

The proposed parking area is located at the front and sides of the building due to the siting of the building on the subject site and the setback requirements of the Bosque Plaza Site Plan for Subdivision. The street frontage along Coors Blvd. and Bosque Plaza Lane would be landscaped, and the front of the building would face Coors Blvd.. The request partially complies with Policy 4.b.5- Off-Street Parking.

Design regulation 1 (4.b.5.B.1): Landscaping “in” and “around” the paved area. A minimum of 20% of the parking lot area shall be landscaped. The landscaping shall consist primarily of shade trees and shrubs and shall be distributed throughout the parking lot. Generally, peripheral landscaping should not be less than 5 ft. in width.

The proposed landscaping around the parking lot area consists of shade trees, shrubs and grasses and fulfills the requirement. The landscape strips are greater than 10 feet along Bosque Plaza Lane and 35 feet along Coors Blvd. NW. The request complies with Design regulation 1.

Policy 4.b.7-Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized (p. 96).

Separate pedestrian connections from the sidewalk along Bosque Plaza Lane to the building, and from Coors Blvd. to the building, are proposed. Separate vehicular and pedestrian access are provided and driveways are not utilized as walkways. The request furthers Policy 4.b.7-Access.

Policy 4.b.9-Site Lighting: Site area lighting, including parking area lighting, should be carefully designed and located so as to minimize glare on any public right-of-way or any adjacent premises (p.98).

Three single-fixture light poles and wall-pack lighting are proposed. All have cut-off fixtures. The lighting has been carefully designed. The request complies with Policy 4.b.9-Site Lighting.

Policy 4.b.10-Architectural Design: Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

A. Architectural Design, Design Guideline 3: “Trade-Mark” type buildings are discouraged (p. 100).

B. Architectural Details, Design Guideline 2: The predominant building color should be compatible with other buildings along the corridor and should reinforce the visual character of the environment of the proposed buildings. Differentiation of color should relate to material and/or plane differentiation or some other specific architectural purpose. Preferred colors are those used in traditional Southwest architecture. Integral coloring of concrete, stucco, and similar materials is encouraged (p. 101).

The CCP design regulations and guidelines serve to ensure the compatibility of new development with the natural landscape and the built environment. The proposed building would contribute to enhancing visual environment of the Coors Corridor and is not a franchise design. The request complies with Design Guideline 3 of Policy 4.b.10-Architectural Design. The proposed colors would be compatible with the natural and built visual environment in the area. The request complies with Design Guideline 2 of Policy 4.b.10-Architectural Details.

Policy 4.c.1-View Preservation: Unique views within and beyond the Coors Corridor area in Segments 3 and 4 east of Coors Boulevard should be protected and enhanced in accordance with additional design guidelines for this portion of the corridor (p. 103).

B. View Preservation Design Regulation 1- View Plane Building Heights: ...in no event will the building height be permitted to penetrate above the view of the ridge line of the Sandia Mountains as seen from four feet above the east edge of the roadway. (Note: there is other language here, but it applies to multi-story buildings). (p. 109).

Because the subject site is located in Segment 3, the view preservation design regulations apply. The view sheet shows that the proposed one-story building (22.75 ft. tall) would not penetrate

the view plane. The request furthers Policy 4.c.1-View Preservation. Please refer to the analysis in Section III of this report.

Policy 4.d.1-Signage: Signs should complement the appearance and function of the roadway and the corridor while protecting the unique views beyond the corridor. (p. 112)

Located in Segment 3, the proposed signage complies with the Bosque Plaza design standards. Building-mounted signage is proposed on all elevations. No monument signs are proposed. The purpose of the CCP signage regulations (p. 112) is that signage be compatible with its surroundings and sensitive to the character of the area. The signage is required to not exceed 6% of the façade it is applied to (Bosque Plaza Design Regulations), but the style and colors would be franchise and therefore less sensitive to its context. The request generally furthers CCP Policy 4.d.1-Signage.

III. ANALYSIS- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT & THE DESIGN STANDARDS FOR THE BOSQUE PLAZA SHOPPING CENTER

The request is for a site development plan for building permit for a proposed auto parts retail store on Lot 7-A. The Bosque Plaza Design Standards (BPDS), in the governing site development plan for subdivision, apply and consist of the following sections:

A- Landscape	G-Site/Architectural Objectives
B- Setbacks	H- Utilities
C- Parking & Circulation	I- Code Compliance
D-Screening Walls & Fences	J-View Preservation
E- Lighting	K- Sidewalks/Bikeways
F- Signage	L- Pedestrian Plan

This analysis is combined so that one can understand what each component of the proposed site development plan for building permit is, and how it complies with the applicable design standards.

Site Plan Layout / Configuration

The proposed 7,200 sf building is oriented west-east on the northern side of the subject site. The vehicular entrance is on the southern side, near the middle of the site. The refuse enclosure, which will be stucco finished and gated, is at the building's SE corner. Parking is located on the western and southern sides of the building.

BPDS COMPLIANCE: As proposed, the request does not comply with two of the three standards in B-Setbacks. 54 feet is the maximum setback adjacent to Bosque Plaza Lane; an approximately 70 foot setback is proposed. Setbacks from internal lot lines are either 0 or 5 feet; 10 feet is proposed.

The applicant will need to seek a variance to each setback requirement (2 variances total) through the Zoning Hearing Examiner (ZHE) process. Alternatively, the applicant may revise the building location to comply with the BPDS.

Vehicular Access, Circulation & Parking

The vehicular entrance is from Bosque Plaza Lane. It would also be possible to access the subject site via a vehicular entrance to Lot 8-A; the subject site (Lot 7-A) has a cross-access easement with Lot 8-A.

Parking is located to the west and south of the proposed building. 32 spaces are required and 32 spaces are proposed. $7,200 \text{ sf of building} / 200 \text{ sf per space} = 36$ spaces required. Apply a 10% transit reduction of 4 spaces: $36 - 4 = 32$ spaces required. Two handicap spaces, one motorcycle space, and two bicycle spaces are required. All are provided near the building's entrance. The requirements are met.

TIS: A Traffic Impact Study (TIS) was not required.

BPDS COMPLIANCE: OK

Pedestrian and Bicycle Access and Circulation, Transit Access

A separate pedestrian/bicycle pathway from Bosque Plaza Lane links the sidewalk to the building. Another pathway is proposed between Lot 7-A and Lot 8-A, as shown on the Bosque Plaza Pedestrian Plan (see Sheet 2). Both are 6 feet wide and of textured, colored concrete. The bicycle rack is proposed near the building's entrance. The closest transit stop is on Coors Blvd., just north of La Orilla Rd. Stairs are proposed to link Coors Blvd. to the subject site.

BPDS COMPLIANCE: Two clearly demarcated pedestrian crossings of at least 6 ft. (Standards C-3, C-7, C-12), separate from the vehicular entrance (C-10, C-11), are proposed from Bosque Plaza Lane. One leads to the proposed building and the other is between Lot 7-A and Lot 8-A as shown on the Pedestrian Plan for Bosque Plaza.

Office and commercial buildings are required to have a 15 ft. sidewalk along the front elevation (C-4), which is provided. Pedestrian access to the building is required to be shaded (C-3). Shade can be achieved by providing a tree in the landscape island south of the walkway.

Walls/Fences

A retaining wall is proposed at the subject site's NW corner, facing Coors Blvd. It appears that the wall, of brown split-faced CMU, would vary in height. This needs to be clarified.

BPDS COMPLIANCE: Because the proposed retaining wall faces a public street right-of-way, the design regulations in Zoning Code 14-16-3-19, Height and Design Regulations for Walls, Fences, and Retaining Walls, apply. A face-on wall detail is needed. A wall feature from (C)(2)(a) and (b) will need to be provided.

Landscaping Plan

The proposed landscaping plan includes plant material on all sides of the subject site. Chinese Pistache is proposed in the buffer along Coors Blvd. and Afghan Pine along Bosque Plaza Lane. A variety of xeric shrubs are proposed in the Coors Blvd. buffer and in the landscape islands. The monument sign is no longer proposed and needs to be removed. Curb notches, for supplemental water harvesting, need to be shown. It would be helpful if the contour lines were faded back instead of the landscaping, for future sign-off by the DRB.

BPDS COMPLIANCE: The Bosque Plaza Design Standards have two plant palettes- one for the Coors Blvd. buffer and another for the rest of a site. The plants have been appropriately chosen and placed, but the variety of sumac needs to be switched out. Bosque Plaza requires 80% coverage with living, vegetative materials (not the minimum 75%). The landscaping beds north and east of the proposed building do not meet the requirement. The calculations regarding the 80% appear to be incorrect. To provide the required shade for the pedestrian crossing, a tree is needed where the monument sign was proposed.

Lighting & Security

Three parking lot light poles are proposed. All are 16 feet tall and fully shielded. The color of the light poles needs to be specified.

BPDS COMPLIANCE: OK

Outdoor Space

Zoning Code §14-16-3-18(C)(3) requires, for major façades greater than 100 ft. in length, that outdoor seating be incorporated adjacent to at least one of the façades. Because the eastern and western façades are 102 ft. long, a bench is required. The bench is located near the building's entrance, which faces Coors Blvd. NW.

BPDS COMPLIANCE: Standard C.5 requires that office and commercial buildings provide shaded patio space with outdoor seating. The bench provides outdoor seating, but will need to be shaded to comply with the standard.

Architecture & Design

The proposed 7,200 sf building is a Territorial Revival design. The proposed building would be finished in tan, have a faux brick coping on all sides and grey multi-paned windows. The building is finished in light-tan and medium tan stucco, with a wainscot that is slightly darker. Each elevation is articulated; the elevations that are not the main entrance have a decorative feature used on another building in the shopping center.

BPDS COMPLIANCE: The multi-paned windows need to be white, which typifies the Territorial Revival style consistent with other buildings in the shopping center.

Signage

Building-mounted signage, with the company name and standard colors, is proposed on all elevations. The design standards allow building-mounted signage or a monument sign, but not both.

BPDS COMPLIANCE: Building-mounted signage is not allowed to exceed 6% of the façade to which it is applied. Signage for the south and north elevations cannot exceed 131 sf. The proposed signage is 134 sf and has to be slightly reduced. Signage for the west and east elevations cannot exceed 92 sf. The proposed signage is 134 sf and has to be reduced. Dimensions need to be provided and calculations shown.

The project identification sign for the shopping center is shown on Lot 7-A near Coors Blvd. (see signage note, also on Sheet 1), consistent with the site plan for subdivision. However, the project sign is intended to be for tenants of the shopping center- not for the occupant of Lot 7-A as shown.

Grading & Drainage Plan

The subject site slopes downward slightly from west to east, from the finished floor of the building at approx. 5,002 ft. to approx. 5,000 ft. Water generally flows westward toward the Bosque. A pair of culverts exists and drains water from Coors Blvd. onto the site; new gutters would be installed. A channel system is proposed, which would collect most of the water and direct it toward the adjacent, existing concrete drainage channel along the subject site's eastern side.

View Preservation

The exhibit provided (see view sheet) addresses the CCP view preservation regulations as follows: The view plane is 4 feet above the elevation at the east edge of the east driving lane of Coors Blvd. The contour nearest this location is at 5,017.2 feet (see Grading and Drainage Plan), so the view plane is at 5,021.2 feet. The finished floor elevation of the proposed building is 5,005.8 feet. The proposed building is 22.75 ft. tall, so the total height would be 5028.55 feet. One third of building height is 7.58 feet, so that's the maximum height allowable. The proposed building comes in just below the maximum penetration of the view plane allowed, and is 7.35 feet above the view plane of 5021.2 feet. It's unnecessary to use hundredths (two decimal points), and is reasonable to conclude that the proposed building is right at the view plane maximum height but does not exceed it.

BPDS COMPLIANCE: The exhibit demonstrates compliance with the view preservation regulations of the CCP (CCP Policy 4.c.1-View Preservation) as described above. Therefore, Section J of the BPDS is complied with.

Utility Plan

Bosque Plaza is served by utilities, which run along Bosque Plaza Lane. The water line and the sanitary sewer line are proposed from the building's southern elevation. Both will connect to the existing utilities on Bosque Plaza Lane.

BPDS COMPLIANCE: Transformers and utility pads are required to be screened with walls and vegetation (H-3). These need to be indicated on the proposed site plan.

Conclusion of Analysis

Overall, the request mostly demonstrates compliance with the Bosque Plaza Design Standards (BPDS) with the exceptions explained above. This can be remedied through application of conditions of approval. Note that the variances, should the applicant decide to seek them, will have to be obtained through a separate process (the ZHE process).

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

Transportation Development Staff commented regarding ADA curb ramps and a sidewalk and drive easement for Lot 8-A, and also noted that coordination with NMDOT is needed regarding the off-premise sign. NMDOT Staff commented that Coors Blvd. is an NMDOT facility and request that the applicant meet with them regarding access because Coors Blvd. is accessed via Bosque Plaza Lane. The Water Utility Authority and PNM provided standard comments. Agency comments begin on p. 22 of this report.

Neighborhood/Public

The applicant notified the Taylor Ranch NA (TRNA), the Westside Coalition of NAs, and property owners within 100 feet of the subject site, as required. As of this writing, Staff received one phone call from a Westside Coalition representative and e-mail correspondence from a representative of the TRNA. Both expressed concern that the design regulations for Bosque Plaza were not being followed.

A facilitated meeting was not requested prior to the deadline of September 11, 2017. However, neighbors still had concerns and requested a private meeting with the applicant. This occurred on October 5, 2017. Neighbors want to ensure that the design regulations, including the view preservation regulations, are being adhered to. Provided that there is compliance, they do not oppose the request.

V. CONCLUSION

The request is for a Site Development Plan for Building Permit for Lot 7-A of Bosque Plaza, an approximately 1 acre, vacant site located at the northwest corner of the intersection of Coors Blvd. and Bosque Plaza Lane. The applicant proposes to develop a 7,000 square foot auto parts retail store. The subject site is part of the Bosque Plaza Site Development Plan for Subdivision and is subject to the design standards therein.

The subject site is in an Area of Change. The West Side Strategic Plan and the Coors Corridor Sector Development Plan apply. Staff finds that the request mostly furthers applicable Goals and policies. There is some non-compliance with the design standards, notably setbacks. Two variances to the setback regulations in the Bosque Plaza Site Development Plan for subdivision are needed to allow the proposed layout. Conditions of approval are proposed.

The Taylor Ranch NA (TRNA), the Westside Coalition of NAs, and property owners within 100 feet of the subject site were notified as required. Staff received one phone call from a Westside Coalition representative and e-mail correspondence from a representative of the TRNA. A private meeting with

the applicant occurred on October 5, 2017. Neighbors want to ensure that the design regulations are being followed. Provided that there is compliance, they do not oppose the request.

Staff recommends approval subject to conditions.

FINDINGS - 17EPC-40043-October 12, 2017-Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit for Lot 7-A, Bosque Plaza, located on Coors Blvd. NW, between La Orilla Rd. NW and Bosque Plaza Lane NW, containing approximately 1 acre. The applicant proposes to develop a 7,000 square foot auto parts retail store.
2. The subject site is zoned C-1 (SC), Neighborhood Commercial zone, with a shopping center (SC) designation. A retail auto parts store is a permissive use.
3. The subject site is included in the Bosque Plaza Site Development Plan for Subdivision (Project #1004176/05EPC-01237 and as amended), which contains design standards that apply to the request.
4. The Albuquerque/Bernalillo County Comprehensive Plan, the Westside Strategic Plan, the Coors Corridor Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following, applicable Goals and policies of the Comprehensive Plan:
 - A. Goal 5.1- Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.
Policy 5.1.2- Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The subject site is adjacent to a designated Major Transit Corridor, Coors Blvd. Major Transit Corridors are intended to be served by frequent transit and should be pedestrian-oriented near transit stops, but auto-oriented for much of the corridor. Coors Blvd. has frequent transit service and the proposed building would be accessible from it.

The request would result in development of a neighborhood commercial retail use that is subject to regulations for the Coors Corridor and the Bosque Plaza shopping center, and therefore would be at an appropriate density and scale for an area outside of a designated activity center but already zoned for commercial uses.
 - B. Goal 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.
Policy 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The growth resulting from the request would be directed to a neighborhood commercial location adjacent to a Major Transit Corridor, where change is generally encouraged. Major Transit Corridors are intended to be transit and pedestrian-oriented near transit stops, while auto-oriented along much of the corridor (p. 5-17). The proposed use would be auto-oriented but would be accessible by pedestrians from Coors Blvd and Bosque Plaza Lane.

6. The request furthers the following, applicable policies of the WSSP:

- A. Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City and efficient location for receiving City services.

All Bosque Plaza lots, including the subject site (Lot 7-A), are located within City boundaries in the Taylor Ranch Community, and are therefore an appropriate location for growth and an efficient location for receiving City services.

- B. Policy 3.18 (Taylor Ranch): Protection and preservation of the Bosque is critical. Development east of Coors Boulevard shall be sensitive to this community asset.

The proposed building would be located in the Bosque Plaza shopping center, at the southeast corner of Coors Blvd. and La Orilla Rd., and in the Bosque Transition Zone (see WSSP p. 202). The Bosque is a valued community asset; La Orilla Rd. provides one of the few remaining public access points. Development in Bosque Plaza shall be sensitive to the Bosque environment—buildings must blend in with natural surroundings and the use must not compromise Bosque protection. The request demonstrates sensitivity toward the Bosque environment by meeting the view preservation requirements in the CCP and complying with the Bosque Plaza design standards.

7. The request furthers the following, applicable policies of the CCP:

- A. Policy 4.a.3-New Development: New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (p. 86).

The CCP aims to create design harmony by applying regulations to ensure compatibility of new development with the natural landscape and the built environment. The proposed building is a Territorial Revival design. The colors are compatible with the nearby built environment and the nearby natural environment. The proposed building would not detract from the Bosque setting.

- B. Policy 4.b.7-Access: Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized (p. 96).

Separate pedestrian connections from the sidewalk along Bosque Plaza Lane to the building, and from Coors Blvd. to the building, are proposed. Separate vehicular and pedestrian access are provided and driveways are not utilized as walkways.

-
8. The request complies with the following policies and associated design regulations of the CCP:
 - A. Design regulation 1 (4.b.5.B.1) regarding landscaping “in” and “around” the paved area.
 - B. Policy 4.b.10-Architectural Design and Architectural Design, Design Guideline 3 and Architectural Details, Design Guideline 2 regarding discouraging trade mark buildings and compatibility of buildings with the visual environment through colors and materials.
 9. The request complies with CCP Policy 4.c.1-View Preservation and View Preservation Design Regulation 1- View Plane Building Heights. The proposed one-story building (22.75 ft. tall) would not penetrate the view plane and would not adversely impact scenic resources. The view exhibit demonstrates that the proposed building comes in just below the maximum, allowable penetration of the view plane.
 10. The applicant will need to seek two variances from the Zoning Hearing Examiner (ZHE) to the following Bosque Plaza Design Regulations regarding setback: a) setback from an internal lot line is required to be 0 or 5 feet; 10 feet is proposed, and b) the maximum allowable setback from Bosque Plaza Lane is 54 feet; the proposed setback is approximately 74 feet.
 11. Conditions of approval are needed to remedy instances of non-compliance with the Zoning Code and the Bosque Plaza Design Regulations.
 12. The applicant notified the Taylor Ranch NA (TRNA), the Westside Coalition of NAs, and property owners within 100 feet of the subject site, as required. As of this writing, Staff received one phone call from a Westside Coalition representative and e-mail correspondence from a representative of the TRNA. Both expressed concern that the design regulations for Bosque Plaza were not being followed.
 13. A facilitated meeting was not requested prior to the deadline of September 11, 2017. However, neighbors still had concerns and requested a private meeting with the applicant. This occurred on October 5, 2017. Neighbors want to ensure that the design regulations, including the view preservation regulations, are being adhered to. Provided that there is compliance, they do not oppose the request.

RECOMMENDATION - 17EPC-40043-October 12, 2017

APPROVAL of 17EPC-40043, a request for Site Development Plan for Building Permit for Lot 7-A, Bosque Plaza, located on Coors Blvd. NW, between La Orilla Rd. NW and Bosque Plaza Lane NW, containing approximately 1 acre, zoned C-1 (SC), based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL –17EPC-40043-October 12th, 2017-Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. A note shall be added to state that the Site Development Plan shall comply with the Design Regulations of the Bosque Plaza Site Development Plan for Subdivision.
4. The applicant shall obtain a variance to each of the following Bosque Plaza Design Regulations regarding setback: A) setback from the internal lot line, and B) maximum allowable setback from Bosque Plaza Lane. Alternatively, the building location and site design shall be revised to comply with the setback standards of the Bosque Plaza Site Development Plan for Subdivision.
5. Walls:
 - A. A decorative feature from (C)(2)(a) and (C)(2)(b) shall be added to the proposed wall pursuant to Zoning Code 14-16-3-19, Height and Design Regulations for Walls, Fences, and Retaining Walls.
 - B. A face-on wall detail shall be provided.
6. Outdoor Seating:
 - A. A shaded patio space with outdoor seating shall be provided (Standard C-5).
 - B. Seating calculations shall be provided.
7. Landscaping- Trees:
 - A. A tree shall be added near the entrance on Bosque Plaza Lane to shade the pedestrian access point (Standard C-3).
 - B. One or two more deciduous trees shall be added to achieve the ratio of 75/25 deciduous to evergreen trees (Standard A-3).

8. Landscaping- General:

- A. Additional landscaping shall be added to the landscaping beds north and east of the building to meet the requirement for 80% coverage (Standard A-6).
- B. The parking area shall be landscaped with a minimum of 20% of its area (Standard A-16).
- C. The variety of sumac shall match that on the Bosque Plaza plant palette.
- D. Curb notches shall be shown on the landscaping plan and match those on the Grading and Drainage Plan.

9. Views Sheet:

- A. Add a bullet point stating the building's highest point from the finished floor.
- B. The length of the building shall be noted as 102 feet (see Sheet SP-1.1).

10. Signage:

- A. The Project Identification sign shall be for the Bosque Plaza shopping center (Standard F2-a and Sheet 1, signage note).
- B. Building-mounted signage shall not exceed 6% of the façade to which it is applied (Standard F3-a).
- C. Signage calculations and dimensions shall be shown.

11. Clarification:

- A. The color of the light poles shall be specified.
- B. Contour lines shall be faded back on the landscaping plan.

12. The following conditions from Transportation Development Staff shall be met:

- A. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- B. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
- C. ADA curb ramp located at Coors and Bosque Plaza should be updated with truncated domes.
- D. O'Rielly sign must be moved into the property. Coordinate with NMDOT if sign will remain in place.
- E. Please provide access easement for sidewalk and drive entrance on Lot 8-A.

13. Condition from the Albuquerque/Bernalillo County Water Utility Authority (ABCWUA):

An Availability Statement is required. Requests can be made at the link below:

http://www.abcwua.org/Availability_Statements.aspx

Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.

14. The following conditions from PNM shall be met:

- A. Existing PNM underground distribution lines are located along the southern, western and northern boundaries of the subject property. It is the applicant's obligation to abide by any conditions or terms of those easements.
- B. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:
Mike Moyer, PNM Service Center
4201 Edith Boulevard NE Albuquerque, NM 87107 Phone:(505)241- 3697
- C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

Catalina Lehner

**Catalina Lehner, AICP
Senior Planner**

Notice of Decision cc list:

Jim & Christen Shull, 8020 Rio Grande Blvd NW, ABQ, NM 87120
Wooten Engineering, 1005 21st St. SE, #13, Rio Rancho, NM 87124
Gerald Worrall, 1039 Pinatubo Pl. NW, ABQ, NM 87120
Harry Hendriksen, 10592 Rio Del Sole Ct NW, ABQ, NM 87114
Rene Horvath, 5515 Palomino Dr. NW, ABQ, NM 87105
Jolene Wolfley, 7216 Carson Tr. NW, ABQ, NM 87120

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

No adverse comments.

Office of Neighborhood Coordination

Long Range Planning

No comment.

Metropolitan Redevelopment Agency

CITY ENGINEER

Transportation Development

Transportation Development Conditions:

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. ADA curb ramp located at Coors and Bosque Plaza should be updated with truncated domes.
2. O'Rielly sign must be moved into the property. Coordinate with NMDOT if sign will remain in place.
3. Please provide access easement for sidewalk and drive entrance on Lot 8-A.

Hydrology Development

New Mexico Department of Transportation (NMDOT)

The site fronts onto Bosque Plaza Lane and Coors Blvd., which is a NMDOT facility. Refer to NMDOT comments for more information. The site also fronts onto an existing bicycle lane along northbound Coors Blvd., which currently extends from St Joseph's Drive north to the SIPI intersection, just south of Paseo Del Norte.

The NMDOT is requiring the owner complete the State Access Management Manual's Site Threshold Assessment (STH) or provide a Traffic Impact Study (TIS) Addendum to the originally approved TIS if already completed. Please schedule an appointment with Nancy Perea or Margaret Haynes to discuss this development's potential impacts on NM 45 Coors Blvd.

- The city road, Bosque Plaza Lane that accesses NM 45 (Coors Blvd) at MP

18.6 is currently NOT permitted. Per the State Access Management Manual (SAMM), the NMDOT is asking City of Albuquerque to obtain an access permit from the NMDOT. Please contact Israel Suazo at 798-6655 to coordinate the submittal of an access permit application for approval.

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations

WATER UTILITY AUTHORITY

Utility Services

1. 17EPC-40043 Site Development Plan for Building Permit
 - Identification: UPC – 101206240349610209
 - a. As a condition for approval an Availability Statement is required. Requests can be made at the link below:
 - i. http://www.abcwua.org/Availability_Statements.aspx
 - ii. Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
 - b. Please note that the water meter box installed with project 26-7134.81-05 indicates the installation of a 1-1/2” meter service.
 - i. The proposed utility plan indicates a 1” service. The standard detail for water services groups services sizes for ¾” and 1”, as well as 1 ½” and 2”. If a 1” service is desired a new connection to the street as well as abandonment of the existing service will be required.
 - c. The proposed Utility Plan indicates a new sanitary service connection.
 - i. Please note that there currently exists a sanitary sewer service stub to the property.
 - d. The proposed utility plan does not indicate utilization of the existing fire line.
 - i. Please note that as the site develops if the fire line is not required then the fire line will need to be abandoned to the distribution main in the street prior to sale of service.

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

All new/proposed refuse enclosures must be built to COA minimum requirements. Refuse enclosure gates must be able to open wide enough to allow minimum 12' clearance. No overhangs on bldg., on approach to enclosure.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

Case Number	Brief Description of Request	Transit Corridor?	Transit Route?	Current Service/Stops	Comments/Support/Requests
1004167 17EPC-40043	Site Plan for Building Permit for a new O'Reilly Auto Parts for 0.78 acres on Coors between Bosque Plaza and La Orilla NW	Coors Major Transit Corridor	Commuter Route 96 and Fixed Route 155 both run on Coors	Both routes share a stop pair about 400 feet either side of La Orilla Road	No Comment

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed. No comment.

ALBUQUERQUE PUBLIC SCHOOLS

This will have no adverse impacts to the APS district.

MID-REGION COUNCIL OF GOVERNMENTS

MRMPO has no adverse comments.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

- Existing PNM underground distribution lines are located along the southern, western and northern boundaries of the subject property. It is the applicant's obligation to abide by any conditions or terms of those easements.
- It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Mike Moyer, PNM Service Center
4201 Edith Boulevard NE Albuquerque, NM 87107 Phone:(505)241- 3697

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

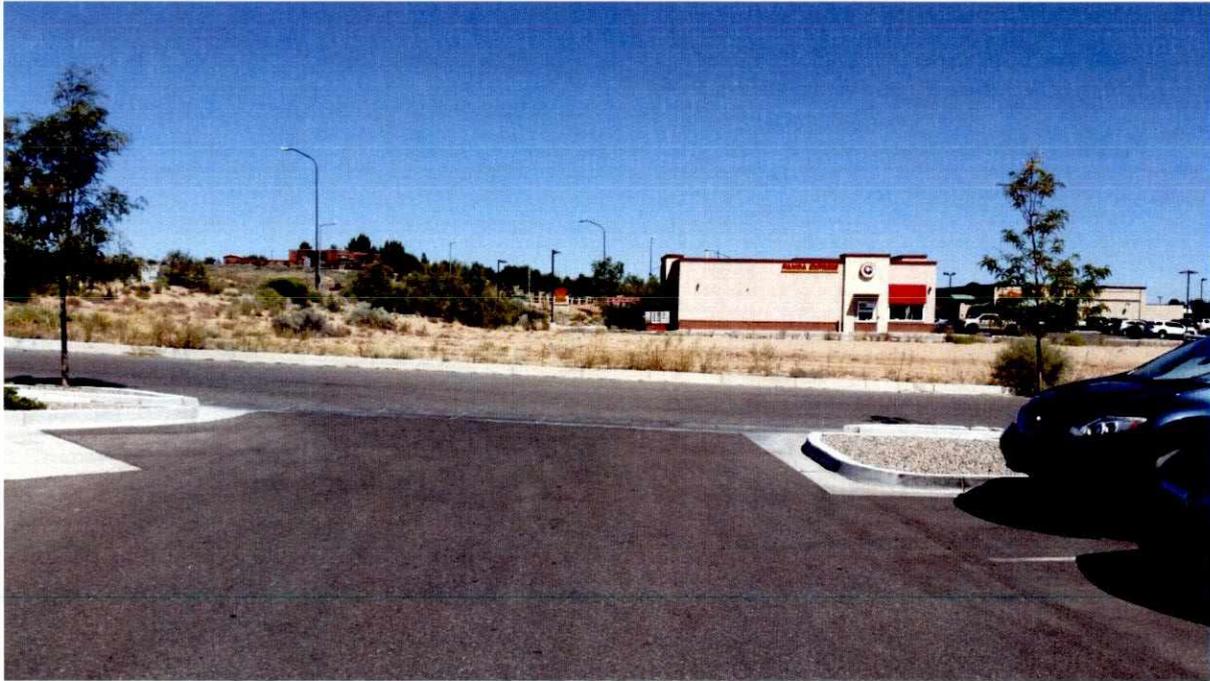


Figure 1: Looking north, at the subject site, across Bosque Plaza Lane.

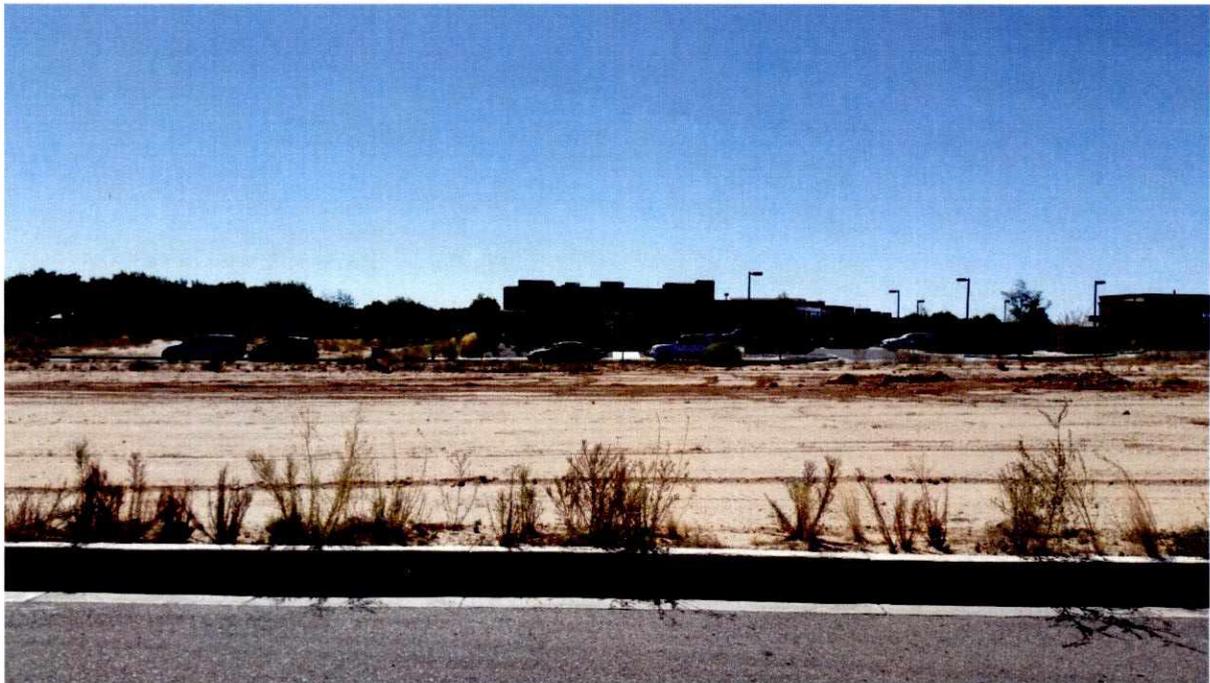


Figure 2: Looking south, at the subject site.

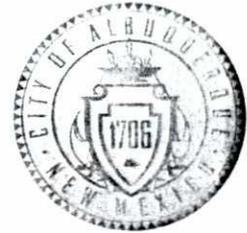


Figure 3: Looking east, at the subject site, from Coors Blvd. NW.



Figure 4: Looking west at the subject site.

HISTORY



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

May 13, 2016

Guardian Storage
Attn: Paul Hedges
9221 Eagle Ranch Rd NW
ABQ, NM 87114

Project# 1004167
16EPC-40011 Site Development Plan for Subdivision
Amendment

LEGAL DESCRIPTION:

The above action for all or a portion of Lots 1-4, 5A, 6A, 7A.8A, 9, 10A, 10B1, 10B2, Bosque Plaza Subdivision, zoned C-1 (SC), located on SE Corner of La Orilla and SW corner of Coors Blvd., containing approximately 11.5 acres. (E-12)

Staff Planner: Maggie Gould

PO Box 1293

On May 12, 2016 the Environmental Planning Commission (EPC) voted to DENY Project #1004167/16EPC-40011, a Site Development Plan for Subdivision Amendment, based on the following findings:

Albuquerque

FINDINGS:

New Mexico 87103

1. This request was deferred from the April 14, 2016 hearing pending the resolution of an appeal. The Board of Appeals voted to grant the appeal of the Zoning Hearing Examiner's approval of a conditional use for lot one to allow self-storage, thereby reversing the Zoning Hearing Examiner's decision from the February 2016 hearing.

www.cabq.gov

2. This is a request for an amendment to a site development plan for subdivision for located on Coors Boulevard between La Orilla road and Riverside Plaza Shopping Center containing approximately 11.5 acres.
3. Because of the proximity to the Bosque, a sensitive area as designated in the Coors Corridor plan and the WSSP, the EPC review of the future SDP of BP is appropriate.
4. The EPC review process allows for greater scrutiny, increased public input and greater potential innovation and design.

OFFICIAL NOTICE OF DECISION

Project #1004167

May 12, 2016

Page 2 of 3

5. The Site Development Plan for Subdivision was originally approved in 2006 (05-EPC-01237). All development on the site is subject to the design standards in the approved Site Development Plan for Subdivision.
6. The Taylor Ranch Neighborhood Association, Alban Hills Neighborhood Association, Rio Oeste H.O.A, Westside Coalition of Neighborhoods were notified of the request. A facilitated meeting occurred on March 15th, 2016. Attendees expressed general concern about or opposition to building height and mass, the indoor storage use and delegation of future approvals. Staff received several e-mails opposing the storage uses and possible larger buildings on the site. Staff also received
7. Property owners within 100 feet were notified of the request. Staff received a comment from a property owner within the shopping center opposing the delegation of future approval. Staff received two letters of support from property owners.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MAY 27, 2016**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project

OFFICIAL NOTICE OF DECISION

Project #1004167

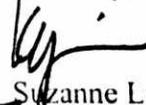
May 12, 2016

Page 3 of 3

proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/MG

cc: Guardian Storage, Attn: Paul Hedges, 9221 Eagle Ranch Rd NW, ABQ, NM 87114
Consensus Planning, James Strozier, 302 8th St NW, ABQ, NM 87102
Jolene Wolfley, Taylor Ranch NA, 7216 Carson Trl NW, ABQ, NM 87120
Rene Horvath, Taylor Ranch NA, 5515 Palomino Dr NW, ABQ, NM 87120
Patsy Nelson, Alban Hills NA, 3301 La Rabla NW, ABQ, NM 87120
Lynne Scott, Alban Hills NA, 6419 Camino Del Arbol NW, ABQ, NM 87120
Judy Ortiz-Aragon, Rio Oeste HOA, 4115 Palacio Real NW, ABQ, NM 87120
Sandra Tinlin, Rio Oeste HOA, 4105 Moncloa Ct NW, ABQ, NM 87120
Gerald C. Worrall, Westside Coalition of NA's, 1039 Pinatubo Pl NW, ABQ, NM 87120
Harry Hendriksen, Westside Coalition of NA's, 10592 Rio Del Sole Ct NW, ABQ, NM 87114-2701
Tim Flynn-O'Brien, 817 Gold Av. SW, ABQ, NM 87111
Terri Spiak, 7406 Santa Fe Trl NW, ABQ, NM 87120
Nita D. Day, LCDR II HOA, 6127 Deergass Cir. NW, ABQ, NM 87120
Pat Gallagher, 24 Link NW, ABQ, NM 87120



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 21, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004167**
05EPC -01225 Site Development Plan-
Subdivision

La Orilla Group LLC
5445 Edith NE, Suite F
Albuq., NM 87107

LEGAL DESCRIPTION: for all or a portion of
Lots 1-9, 10A & 10B, **Bosque Plaza**, zoned C-1
(SC), located on the west side of COORS BLVD.
NW, between SE CORNER of LA ORILLA and
COORS BLVD. NW, containing approximately
11.46 acres. (E-12) Catalina Lehner, Staff
Planner

On July 20, 2006 the Environmental Planning Commission voted to approve Project 1004167/05EPC 01225, a request for a Site Development Plan for Subdivision, for Lots 1-9, 10A and 10B of the Bosque Plaza Shopping Center, zoned C-1 (SC), based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision with design standards for Lots 1-9, 10A and 10B of the Bosque Plaza Shopping Center, an approximately 12 acre site. This request includes creation of Lot 10-C and a corresponding new lot line.
2. The 11 Bosque Plaza lots are zoned C-1 (SC), a designation received upon annexation in 1987. The C-1 (SC) zoning ensures that subsequent requests for development on individual lots will come before the Environmental Planning Commission (EPC).
3. This site plan for subdivision replaces the 1987 approval (Z-87-69).
4. First presented at the August 18, 2005 EPC hearing, this request has been in the (EPC) process for a year. It has taken this amount of time to develop meaningful design standards.
5. This request was heard and then deferred for 60 days at the April 20, 2006 EPC hearing. The applicant was asked to obtain cooperation of the owners of Lots 2 and 3 to make the Winterhaven Road connection possible.

6. The site plan for subdivision *further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5.e-Programmed facilities/neighborhood integrity. Urban services are already available.
 - B. Policy II.B.5.l-Design quality/innovation. Architectural style and colors are limited to ensure their appropriateness to the Plan area.

7. The site plan for subdivision *partially further*s the following Comprehensive Plan policies:
 - A. Policy II.B.5.d-Neighborhood values/natural environmental conditions. Architectural style and colors are limited, but the number of drive-thru uses is not.
 - B. Policy II.D.4.g-Transportation and transit. The site plan could do more to create safe and pleasant non-motorized travel conditions by limiting the number of drive-thru uses.
 - C. Policy II.B.5.i-Employment/service use location. Bosque Plaza is located in a mostly commercial area, but residential uses have developed nearby.
 - D. Policy II.B.5.j-Location of new commercial development. Bosque Plaza is not an area-wide shopping center, but could function as a neighborhood shopping center if it was better connected to the surrounding area.

8. The site plan for subdivision *partially further*s the following West Side Strategic Plan (WSSP) policies:
 - A. Policy 3.18-Development east of Coors/Bosque preservation. Architecture styles are limited and will blend with natural environmental conditions. Building elements, however, are unrestricted.
 - B. Policy 4.6-Design guidelines sections/policies. The site plan will ensure Bosque view preservation by complying with CCSDP regulations, but potentially distracting building elements are unrestricted.
 - C. Policy 4.10-Land use/vehicle alternatives. Separate vehicle and pedestrian entrances and pedestrian paths are included, but promoting single-occupancy vehicle alternatives is difficult without limiting the number of drive-thrus.

9. The site plan for subdivision *does not further* the intent of WSSP Policy 3.16-uses in Centers, and Policy 1.1-Community and Neighborhood Centers, though it *further*s Policy 3.12-contiguous location for growth.

10. Regarding the Coors Corridor Sector Development Plan (CCSDP), the site plan for subdivision *further*s the following policy: Policy 4.a.3-New development. Colors and architectural style are limited.

11. The site plan for subdivision *partially further*s the following CCSDP policies:
 - A. Policy 4.b.9.A.2-Site Lighting Regulation. It limits pole height but not exterior lighting.
 - B. Policy 4.d.1-Signage Regulation. It meets basic requirements but does not provide for limitations that would further the intent of preserving the surrounding environment.

- C. Policy 7-Access. Separate vehicle and pedestrian access is provided, but the pedestrian paths are proposed on drive aisles.
12. The submittal *complies* with the following CCSDP policies:
- A. Policy 4.b.2.A.1-Building Setback Regulation, because the 35 foot setback is required.
 - B. Policy 4.b.4.A.2-Site Landscaping Regulation, because refuse enclosures and utility boxes will be screened.
 - C. Policy 4.c.1-Views preservation, because the site plan specifies that buildings shall comply with CCSDP views preservation regulations.
 - D. Design Guideline 2 of Policy 4.b.10-Architectural Details, because building colors are limited, but any color can be used for building elements.
 - E. Design Guideline 3 of Policy 4.b.10-Architectural Details, because franchise architecture and corporate decorations are prohibited.
 - F. Policy 4.b.2.B.1-Height and Bulk Regulation, because height is per the underlying zone and CCSDP views regulations.
 - G. Policy 4.b.4.A.6-Site Landscaping Guideline, because it mentions refuse enclosures and fencing must be compatible with building architecture.
 - H. Policy 4.b.4.B.2-Site Landscaping Regulation, because crushed rock, river rock or similar materials can be top dressing but not groundcovers.
 - I. Policy 4.b.5.B.1-Off-Street Parking Regulation-Landscaping, because a minimum 20% of the parking areas shall be landscaped.
 - J. Policy 4.b.5.B.2-Off-Street Parking Regulation, because at least one tree is provided for every 10 parking spaces and every 15 linear parking spaces.
13. Limiting the number of drive-thru uses is appropriate in Bosque Plaza because drive-thru uses promote auto-oriented sites, discourage pedestrians and generate traffic that could compromise Bosque protection at La Orilla Road.
14. A connection at Winterhaven Road is not needed because the recently widened Montano bridge can accommodate two turning lanes from southbound Coors to eastbound Montano, and the access control median at the Montano/Winterhaven intersection minimizes turning movement delays.
15. Connecting the Riverside Plaza and Bosque Plaza shopping centers will serve local traffic, promote pedestrianism, maintain the residential nature of Winterhaven Road and create synergy between commercial uses.
16. This connection will be provided between Riverside Plaza Lots 7A and 8A and between Bosque Plaza Lots 4 and 5.
17. The neighborhoods are opposed to a connection at Winterhaven Road. They support uniform architecture, limiting the number of drive-thru uses and connecting Bosque Plaza to the Riverside Plaza shopping center.

17. A note in the file re: #16.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are thoroughly addressed. Evidence of this meeting shall be provided to the DRB at the time of application.
3. A vehicular (and pedestrian) connection shall be provided between Lot 4 and Lot 5 to internally link the Bosque Plaza and Riverside Plaza shopping centers.
4. References to a Winterhaven Road connection shall be removed from the site plan.
5. **CONDITIONS FROM THE CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**
Conditions of approval for the proposed Site Development Plan for Subdivision shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Site plan shall comply and be designed per DPM Standards.
 - e. Platting must be a concurrent DRB action.
 - f. Construction of the bicycle lane along Coors Boulevard adjacent to the subject property, as designated on Long Range Bikeways System map.
 - g. Construction of the fourth northbound travel lane on Coors Boulevard adjacent to the subject property consistent with the Coors Corridor Plan (see figure 6).

OFFICIAL NOTICE OF DECISION
JULY 20, 2006
PROJECT #1004167
PAGE 5 OF 6

6. Drive thru uses shall be limited as follows: 2 fastfood restaurants and 1 financial institution. No other drive thru uses shall be allowed.
7. There shall be no cell phone towers.
8. Building signage shall be limited to 6% of the building facades to which it is applied.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 4, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/CL/ac

OFFICIAL NOTICE OF DECISION

JULY 20, 2006

PROJECT #1004167

PAGE 6 OF 6

cc: Jim Strozier, Consensus Planning, 302 Eighth St. NW, Albuquerque, NM 87102
Rene Horvath, Taylor Ranch NA, 5515 Palomino Dr. NW, Albuquerque, NM 87120
Jolene Wolfley, Taylor Ranch NA, 6804 Staghorn NW, Albuquerque, NM 87120
Ken Brudos, Alban Hills NA, 6441 Via Corta del Sur NW, Albuquerque, NM 87120
Cindi Caruso Mapel, Alban Hills NA, 6507 Calle Redonda NW, Albuquerque, NM 87120
Janet Laros, Coors Trail NA, 2924 River Willow Tr. NW, Albuquerque, NM 87120
Jim Timmons, Coors Trail NA, 2715 Pueblo Grande NW, Albuquerque, NM 87120
Alan Schwartz, c/o Las Terrazas NA, PO Box 66862, Albuquerque, NM 87193
Sharon Sharrett, 6250 Winterhaven Rd. NW, Albuquerque, NM 87120
Sandra Carnes, 6408 Winterhaven Rd. NW, Albuquerque, NM 87120
Bill Kraemer, 200 Lomas NW, #1111, Albuquerque, NM 87103

ZONING

Please refer to §14-16-2-16 for the C-1 zone
and to §14-16-3-2 for the SC regulations

APPLICATION INFORMATION



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V	<input type="checkbox"/>	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/>	<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment (AA)			
<input type="checkbox"/> Administrative Approval (DRT, URT, etc.)			
<input type="checkbox"/> IP Master Development Plan	D	<input type="checkbox"/>	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
STORM DRAINAGE (Form D)	L A	A	APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Jeffrey T. Wooten, P.E.; Wooten Engineering PHONE: 505-980-3560
 ADDRESS: 1005 21st St SE, Suite 13 FAX: N/A
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: jeffwooten.pe@gmail.com
 APPLICANT: Jim W. Shull Jr & Christen Shull PHONE: 505-269-2952
 ADDRESS: 8020 Rio Grande Blvd NW FAX: N/A
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: jimshull@gmail.com
 Proprietary interest in site: Owner List all owners: Jim W. Shull Jr & Christen Shull

DESCRIPTION OF REQUEST: Site Plan for Building Permit for a new O'Reilly Auto Parts Store

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 7-A Block: N/A Unit: N/A
 Subdiv/Addn/TBKA: Bosque Plaza
 Existing Zoning: C-1 (SC) Proposed zoning: No Change MRGCD Map No N/A
 Zone Atlas page(s): E-12-Z UPC Code: 101206240349610209

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
1002397, 1004167

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: No Change Total site area (acres): 0.7768 Ac
 LOCATION OF PROPERTY BY STREETS: On or Near: Coors Blvd NW
 Between: Bosque Plaza NW and La Orilla NW
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 6/13/2017

SIGNATURE [Signature] DATE 8/31/17
 (Print Name) Jeffrey T. Wooten, P.E. Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>17 ERG - 40043</u>	<u>SBP</u>		<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 50.00</u>
<input type="checkbox"/> All case #s are assigned		<u>ADV</u>		<u>\$ 150.90</u>
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 585.90</u>

Hearing date Oct. 12, 2017

8-31-17

Project # 1004167

Staff signature & Date

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"
- IP MASTER DEVELOPMENT PLAN (EPC11)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**.
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
- Site plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- Sign Posting Agreement
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"

- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies**.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.
(Folded to fit into an 8.5" by 14" pocket.) **20 copies**
- Site Plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
- Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
- Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
- Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
- Registered engineer or architect's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
- Site plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JEFFREY T. WOOTEN, P.E.
Applicant name (print)
JTW
Applicant signature / date 8/31/17



Form revised November 2010

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
17 - **ERC** - 90043

[Signature]
Planner signature / date 8-31-17
Project #: 1004167



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

August 21, 2017

Ms. Karen Hudson, Chair
Environmental Planning Commission
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Lot 7-A, Bosque Plaza; Zone Atlas Page E-12-Z

Dear Chairwoman Hudson:

The purpose of this letter is to authorize Wooten Engineering to act as agent on behalf of Jim W Shull Jr and Christen Shull pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Jim W. Shull Jr.
Print Name
[Handwritten Signature]
Signature
Owner
Title
8/20/17
Date

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Wooten Engineering DATE OF REQUEST: 08/30/17 ZONE ATLAS PAGE(S): E-12-Z

CURRENT:

ZONING C-1 (SC)
 PARCEL SIZE (AC/SQ. FT.) 0.7768 Ac

LEGAL DESCRIPTION:

LOT OR TRACT # Lot 7-A BLOCK # _____
 SUBDIVISION NAME Bosque Plaza

REQUESTED CITY ACTION(S):

ANNEXATION []
 ZONE CHANGE []: From _____ To _____
 SECTOR, AREA, FAC, COMP PLAN []
 AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [X] AMENDMENT []
 BUILDING PERMIT [X] ACCESS PERMIT []
 BUILDING PURPOSES [] OTHER []

*Includes platting actions

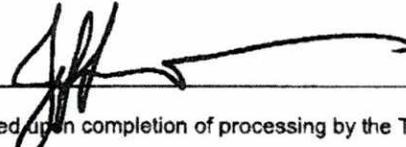
PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
 NEW CONSTRUCTION [X]
 EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 1
 BUILDING SIZE: 7,000 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE  DATE 8/30/17
 (To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
 2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
 Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

 08-30-17
 TRAFFIC ENGINEER DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / TRAFFIC ENGINEER _____ DATE _____
 -FINALIZED / /



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

August 30, 2017

Ms. Karen Hudson
Chair, Council District 8
Environmental Planning Commission
City of Albuquerque
600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102

RE: Request for Site Plan for Building Permit Approval; O'Reilly Auto Parts
6380 Coors Blvd NW; Tract 7-A, Bosque Plaza

Dear Ms. Hudson:

Wooten Engineering, on behalf of Jim W. Shull Jr and Christen Shull, hereby request approval of the subject Site Plan for Building Permit. The O'Reilly Auto Parts development is to be located on the existing Lot 7-A, Bosque Plaza per the enclosed plans. The site is currently zoned C-1 (SC). Per the Comprehensive City Zoning Code (14-16-2-16), the following use is allowed: *"Retail Sales of the following goods, plus incidental retailing of related goods and incidental service or repair: Auto Parts and Supply."* The proposed site plan is in compliance with the current approved Site Plan for Subdivision. We are not requesting a zone change.

SITE INFORMATION

The proposed development on Lot 7-A will consist of a new +/-7,000 square foot Auto Parts store along with the associated parking and landscaping. We are requesting a new monument sign along Bosque Plaza as is allowed for each property with the Bosque Plaza subdivision.

TRAFFIC

It is our understanding that a traffic study was approved as part of the original Site Plan for Subdivision application and that the traffic for full build out of the subdivision was accounted for. We have submitted the required TIS form to the City of Albuquerque Transportation Department and the response was that the proposed site does not meet the threshold for requiring a TIS. The signed copy is included with the application.

ARCHITECTURE

Per the included Building Elevations, the proposed building will be in compliance with the current approved Bosque Plaza Site Plan for Subdivision. The proposed building is 19'-4" in height.

VIEWS

We have included the required View Corridor exhibit which shows that the proposed building is in compliance with the requirement of the Coors Corridor Plan.

LANDSCAPING

Per the new Landscape Plan, the proposed landscaping for the O'Reilly Development is in conformance with the current approved Bosque Plaza Site Plan for Subdivision and the Comprehensive Zoning Code.

We hereby request approval of both the Site Plan for Building Permit. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Respectfully submitted,

WOOTEN ENGINEERING

A handwritten signature in black ink, appearing to read 'J. Wooten', with a long horizontal flourish extending to the right.

Jeffrey T. Wooten, P.E.
Owner

NEIGHBORHOOD INFORMATION

Jeffrey Wooten

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Friday, August 18, 2017 11:08 AM
To: 'jeffwooten.pe@gmail.com'; Office of Neighborhood Coordination
Subject: Notification Inquiry Sheet Submission
Attachments: INSTRUCTION SHEET FOR APPLICANTS.pdf; Notification Inquiry_Coors Blvd and La Orilla Rd NW_EPC.xls

Jeff,

Good afternoon. See attached list of affected neighborhood associations and instruction sheet regarding your upcoming submittal as requested. Thank you.

First Name	Last Name	Email	Address Line 1	City	State	Zip	Home Phone
Gerald	Worrall	jfworrall@comcast.net	1039 Pinatubo Place NW	Albuquerque	NM	87120	5058390893
Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sole Court NW	Albuquerque	NM	87114	5058903481
Rene	Horvath	land@trna.org	5515 Palomino Drive NW	Albuquerque	NM	87120	5058982114
Jolene	Wolfley	secretary@trna.org	7216 Carson Trail NW	Albuquerque	NM	87120	5058909414

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison, Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332
cabq.gov/neighborhoods

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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Wednesday, August 16, 2017 1:27 PM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Notification Inquiry Sheet Submission

Notification Inquiry For:

Environmental Planning Commission Submittal

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Contact Name

Jeffrey T. Wooten, P.E.

Company Name

Wooten Engineering

Address

1005 21st St SE, Suite 13

City

Rio Rancho

State

NM

ZIP

87124

Telephone Number

505-980-3560

Email Address

jeffwooten.pe@gmail.com

Anticipated Date of Public Hearing (if applicable):

10/12/2017

Describe the legal description of the subject site for this project:

Lot 7-A, Bosque Plaza

Located on/between (physical address, street name or other identifying mark):

Coors Blvd NW between Bosque Plaza Lane NW and La Orilla Rd NW

This site is located on the following zone atlas page:

E-12-Z

7017 1000 0000 9390 7008

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ALBUQUERQUE, NM 87120

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\$	\$0.00	06
Extra Services & Fees (check box, add fee if appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.49	
Total Postage and Fees	\$3.84	09/01/2017

Sent To MR. GERALD WORRAL
 Street and Apt. No., or PO Box No. 1037 PINATUBO PLACE NW
 City, State, ZIP+4® ALBUQUERQUE NM 87120
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1000 0000 9390 6995

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.49	
Total Postage and Fees	\$3.84	09/01/2017

Sent To RENE HORVATH
 Street and Apt. No., or PO Box No. 5515 PALOMINO DR NW
 City, State, ZIP+4® ALBUQUERQUE NM 87120
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$	\$0.00	06
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.49	
Total Postage and Fees	\$3.84	09/01/2017

Sent To Ms. JOLENE WOLFLEY
 Street and Apt. No., or PO Box No. 7216 CARSON TRAIL NW
 City, State, ZIP+4® ALBUQUERQUE NM 87120
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1000 0000 9390 7022

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\$	\$0.00	06
Extra Services & Fees (check box, add fee if appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$0.49	
Total Postage and Fees	\$3.84	09/01/2017

Sent To MR. HARRY HENDRIKSEN
 Street and Apt. No., or PO Box No. 10592 RIO DEL SOL CT NW
 City, State, ZIP+4® ALBUQUERQUE NM 87114
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

September 1, 2017

Mr. Harry Hendriksen
Westside Coalition of Neighborhood Associations
10592 Rio Del Sole Ct NW
Albuquerque, NM 87114

**RE: Site Development Plan for Building Permit
Lot 7-A, Bosque Plaza
6380 Coors Blvd NW, NEC of Coors Blvd NW and Bosque Plaza NW
Zone Atlas Page E-12-Z**

Dear Mr. Hendriksen:

Wooten Engineering previously sent you a letter and packet of information regarding the subject project. It has come to our attention that we left out some information regarding the opportunity for you to request a Facilitated Meeting to discuss this project should you so choose. Please see the below statement if you'd like to request this meeting.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at striplett@cabq.gov or by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by: September 11, 2017.

Should you have any questions or require additional information, please feel free to contact me at 505-980-3560.

Respectfully submitted,

WOOTEN ENGINEERING

Jeffrey T. Wooten, P.E.
Owner

Enclosure(s)

Cc: Kym Dicome, Planning Department



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

September 1, 2017

Rene Horvath
Taylor Ranch Neighborhood Association
5515 Palomino Dr NW
Albuquerque, NM 87120

**RE: Site Development Plan for Building Permit
Lot 7-A, Bosque Plaza
6380 Coors Blvd NW, NEC of Coors Blvd NW and Bosque Plaza NW
Zone Atlas Page E-12-Z**

Dear Rene,

Wooten Engineering previously sent you a letter and packet of information regarding the subject project. It has come to our attention that we left out some information regarding the opportunity for you to request a Facilitated Meeting to discuss this project should you so choose. Please see the below statement if you'd like to request this meeting.

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Should you have any questions or require additional information, please feel free to contact me at 505-980-3560.

Respectfully submitted,

WOOTEN ENGINEERING

Jeffrey T. Wooten, P.E.
Owner

Enclosure(s)

Cc: Kym Dicome, Planning Department



Wooten Engineering

1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

September 1, 2017

Ms. Jolene Wolfley
Taylor Ranch Neighborhood Association
7216 Carson Trail NW
Albuquerque, NM 87120

**RE: Site Development Plan for Building Permit
Lot 7-A, Bosque Plaza
6380 Coors Blvd NW, NEC of Coors Blvd NW and Bosque Plaza NW
Zone Atlas Page E-12-Z**

Dear Ms. Wolfley:

Wooten Engineering previously sent you a letter and packet of information regarding the subject project. It has come to our attention that we left out some information regarding the opportunity for you to request a Facilitated Meeting to discuss this project should you so choose. Please see the below statement if you'd like to request this meeting.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at stripnett@cabq.gov or by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by: September 11, 2017.

Should you have any questions or require additional information, please feel free to contact me at 505-980-3560.

Respectfully submitted,

WOOTEN ENGINEERING

Jeffrey T. Wooten, P.E.
Owner

Enclosure(s)

Cc: Kym Dicome, Planning Department



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, NM 87124
505-980-3560
jeffwooten.pe@gmail.com

September 1, 2017

Mr. Gerald Worrall
Westside Coalition of Neighborhood Associations
1039 Pinatubo Place NW
Albuquerque, NM 87120

**RE: Site Development Plan for Building Permit
Lot 7-A, Bosque Plaza
6380 Coors Blvd NW, NEC of Coors Blvd NW and Bosque Plaza NW
Zone Atlas Page E-12-Z**

Dear Mr. Worrall:

Wooten Engineering previously sent you a letter and packet of information regarding the subject project. It has come to our attention that we left out some information regarding the opportunity for you to request a Facilitated Meeting to discuss this project should you so choose. Please see the below statement if you'd like to request this meeting.

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Should you have any questions or require additional information, please feel free to contact me at 505-980-3560.

Respectfully submitted,

WOOTEN ENGINEERING

Jeffrey T. Wooten, P.E.
Owner

Enclosure(s)

Cc: Kym Dicome, Planning Department

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, Oct. 12, 2017 **1004167**

Zone Atlas Page: E-12

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: On or near Coors Blvd. NW between Bosque Plaza
NW and La Orilla NW

Applicant: Jim W. Shull Jr. & Christen Shull
8020 Rio Grande Blvd. NW
ABQ, NM 87120

Agent: Jeffrey T. Wooten, P.E.; Wooten Engineering
1005 21st St. SE, Suite 13
ABQ, NM 87124

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

- ✓ **PLN Generated buffer map & address labels**
Applicant Generated buffer map & address labels
- ✓ **PLN Certified mail outs**
- Applicant Certified mail outs**

Date Mailed: 09/20/17

Signature: 

SHULL JIM W JR & CHRISTEN
8020 RIO GRANDE BLVD NW
LOS RANCHOS NM 87114-1217

VILLAGE @ LA ORILLA LLC
2424 COLONEL CT DR
RICHMOND TX 77406

WAMAC LLC C/O ABRA ATTN: TAX
3038 SIDCO DR
NASHVILLE TN 37204-4506

DEL CARMEN ENTERPRISES LLC
7009 PROSPECT AVE NE
ALBUQUERQUE NM 87110

CWD ENTERPRISES LLC
13015 DESERT MOON PL NE
ALBUQUERQUE NM 87111

MARCH ACM LLC
6236 WHITEMAN DR NW
ALBUQUERQUE NM 87120

LA ORILLA GROUP LLC
6509 DAWN VIEW DR NE
ALBUQUERQUE NM 87111

CFT NEW MEXICO DEVELOPMENTS LLC
1683 WALNUT GROVE AVE
ROSEMEAD CA 91770

BOSQUE PLAZA REALTY PARTNERS LLC
1224 CAMINO DE CRUZ BLANCA
SANTA FE NM 87505-0380

TWD ORTHO LLC
3710 BOSQUE PLAZA LN NW
ALBUQUERQUE NM 87120-2730

1004167

7017 0530 0000 3356 7926

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CFT NEW MEXICO DEVELOPMENTS LLC
1683 WALNUT GROVE AVE
ROSEMEAD CA 91770

Street &

City, St.

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Total

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BOSQUE PLAZA REALTY PARTNERS LLC
1224 CAMINO DE CRUZ BLANCA
SANTA FE NM 87505-0380

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Sent To

WAMAC LLC C/O ABRA ATTN: TAX
3038 SIDCO DR
NASHVILLE TN 37204-4506

Street

City, St.

PS Form

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1004167

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Total

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Street

City,

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MARCH ACM LLC
6236 WHITEMAN DR NW
ALBUQUERQUE NM 87120

7017 0530 0000 3356 7865

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Sent To	
Street	SHULL JIM W JR & CHRISTEN
City, State	8020 RIO GRANDE BLVD NW LOS RANCHOS NM 87114-1217

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Sent To	
Street	DEL CARMEN ENTERPRISES LLC
City, State	7009 PROSPECT AVE NE ALBUQUERQUE NM 87110

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Sent To	
Street	LA ORILLA GROUP LLC
City, State	6509 DAWN VIEW DR NE ALBUQUERQUE NM 87111

Instructions

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

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Sent To	
Street	TWD ORTHO LLC
City, State	3710 BOSQUE PLAZA LN NW ALBUQUERQUE NM 87120-2730

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Total Postage and Fees	\$

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Sent To	
Street	VILLAGE @ LA ORILLA LLC
City, State	2424 COLONEL CT DR RICHMOND TX 77406

Instructions

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
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Sent To	
Street	CWD ENTERPRISES LLC
City, State	13015 DESERT MOON PL NE ALBUQUERQUE NM 87111

Instructions

SITE DEVELOPMENT PLAN REDUCTIONS

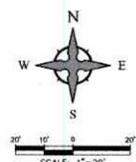


VICINITY MAP - Zone Map E-12-Z
 Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres

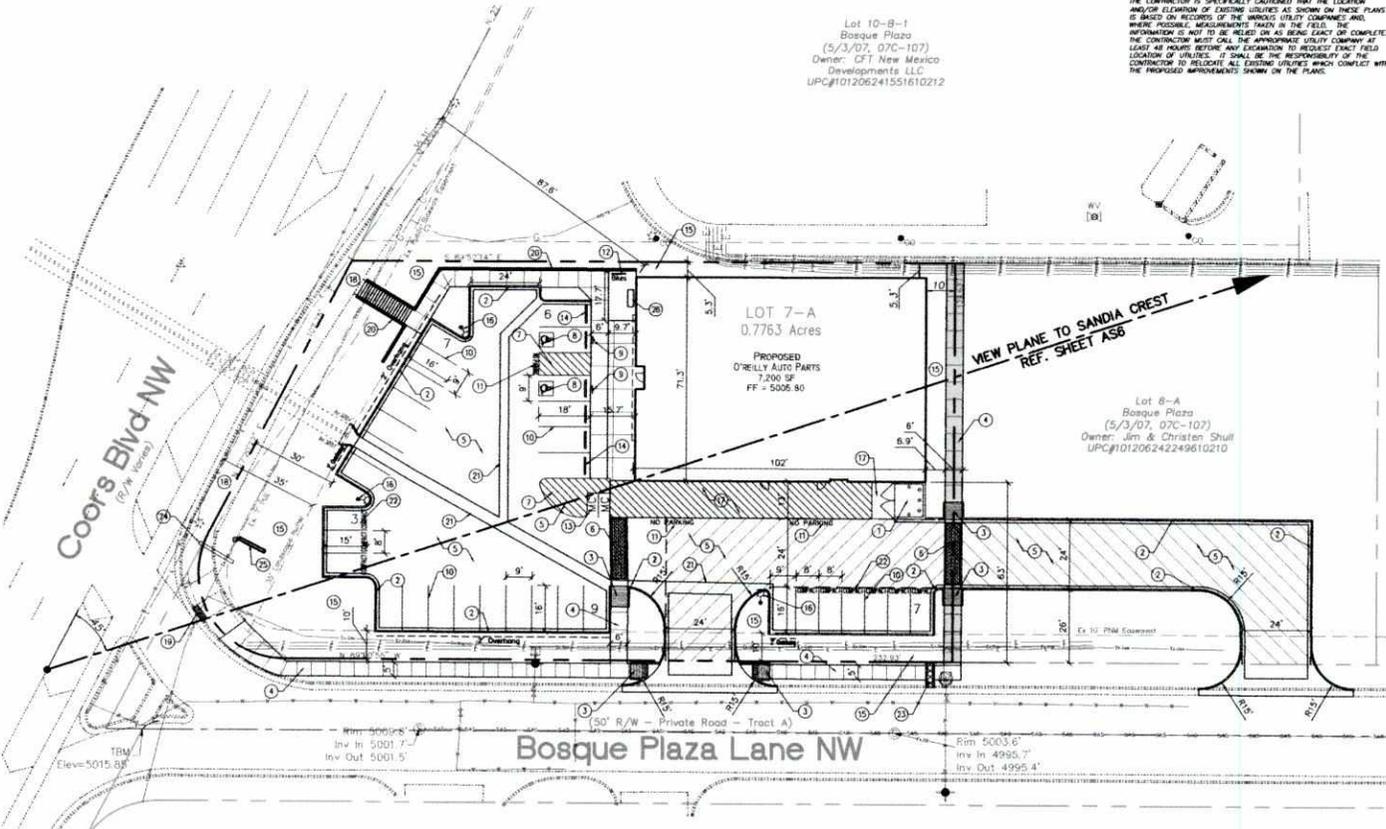
PARKING CALCULATIONS			
BUILDING AREA:		BUILDING AREA (SQUARE FEET)	
RETAIL (AUTO PARTS)		7,200 SF	
PARKING REQUIREMENTS:			
RETAIL (AUTO PARTS)	RATIO	REQUIRED	PROVIDED
	1/250 SF	28 spaces	32 spaces
BIKE BOKE REVISION (BKE)	1.4 spaces		
TOTAL		29 spaces	32 spaces
HANDICAP PARKING			
	REQUIRED	PROVIDED	
MOTORCYCLE PARKING	2 spaces	2 spaces	
BIKE PARKING	2 spaces	2 spaces	

GENERAL NOTES (REQUIRED INFORMATION)

Site: 0.7763 Acres (33,817 SF)
 Zoning: C-1 (SC)
 Proposed Use: Retail (Auto Parts Store)
 Building Height: Proposed 21'-4"
 Building Setback: Per C-1 Zone and Coors Corridor Plan Actual:
 Coors: 87.6'
 North: 5.3'
 East: 10'
 South (Bosque Plaza): 63'
 Landscape Setback: 35' Required along Coors
 10' Required along Bosque Plaza
 Building Area: 7,200 SF
 Lot Area 33,817 SF
 Proposed FAR = 0.21
 Maximum Allowed FAR = 0.30



CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE APPROPRIATE UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO VERIFY EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



KEYED NOTES

- PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS.
 - INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 24156.
 - INSTALL PARALLEL CURB RAMP PER ADOPT STD DWG 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED FOR PRIVATE RAMP. MATCH ADJACENT SIDEWALK WIDTH.
 - INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
 - ASPHALT PAVEMENT.
 - INSTALL 6" WIDE COLORED / TEXTURED CONCRETE PEDESTRIAN CROSSING. CONCRETE PAVEMENT SHALL BE 6" THICK 3,500 PSI MINIMUM. REF. DETAIL, SHEET SP1.2.
 - INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
 - PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
 - INSTALL H/C SIGNAGE PER DETAIL, SHEET C1.2. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-302.4C, NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
 - INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
 - PAINT WORDS "NO PARKING" WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
 - INSTALL BIKE RACK PER DETAIL, SHEET SP1.2. TWO (2) SPACES MINIMUM.
 - MOTORCYCLE PARKING: 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNS PER DETAIL, SHEET SP1.2.
 - INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET SP1.2.
 - LANDSCAPED AREA. REF. LANDSCAPE PLAN.
 - LIGHT POLE PER DETAIL, SHEET SP1.2.
 - 6" 3,500 PSI CONCRETE PAVEMENT. STANDARD BROOM FINISH.
 - EXISTING 10" WIDE ASPHALT BIKE PATH.
 - INSTALL CAST-IN-PLACE REPEALABLE DETECTABLE WARNING SURFACE (DWS) ONTO EXISTING RAMP PER ADOPT STD DWG 608-001, SHEET 8.
 - PROPOSED RETAINING WALL. REF. DETAIL, SHEET SP1.2.
 - VALLEY GUTTER PER DETAIL ON GRADING PLAN. VARIES 3" TO 4" WIDE. REF. GRADING PLAN.
 - INSTALL 2 COATS OF PAINT FOR COMPACT PARKING SPACES. LETTERS "COMPACT MIN 6" TALL. COLOR: WHITE.
 - INSTALL 24" WIDE SIDEWALK CURB/VERT PER COA STD DWG 2236.
 - REMOVE EXISTING BILLBOARD IN ITS' ENTIRETY.
 - INSTALL NEW PROJECT IDENTIFICATION SIGN PER THE APPROVED SITE PLAN FOR SUBDIVISION AND PER DETAIL ON SHEET SP1.2.
 - INSTALL EYEBOLT SERIES 6" BENCH FROM BENCH WITH BACK (PERFORATED IN GROUND MOUNT) PER DETAIL ON SHEET 431.2. MODEL NUMBER 308-6001. COLOR: POWDER COATED BEIGE.
- NOTE: ALL SITE LIGHTING SHALL COMPLY WITH THE COMPREHENSIVE ZONING ORDINANCE, THE NEW MEXICO NIGHT SKY ORDINANCE, AND THE APPROVED BOSQUE PLAZA SITE PLAN FOR SUBDIVISION.

PROPOSED EASEMENT LEGEND

- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 7-A TO BE MAINTAINED BY THE OWNER OF LOT 8-A.
- PROPOSED ACCESS EASEMENT FOR THE BENEFIT OF LOT 8-A TO BE MAINTAINED BY THE OWNER OF LOT 7-A.
- PROPOSED SIDEWALK EASEMENT FOR THE BENEFIT OF LOT 7-A AND LOT 8-A TO BE JOINTLY MAINTAINED BY THE OWNERS OF EACH LOT.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision on said plan is an Infrastructure List required? () YES () NO. If yes, then a set of approved IIR plans with a work order is required for any construction within Public Right-of-Way or the construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

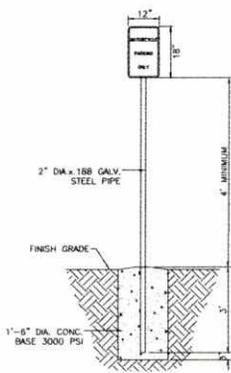
* Environmental Health, if necessary

Wooten Engineering
 1005 21st St SE, Suite 113
 Rio Rancho, N.M. 87124
 Phone: (505) 980-3560

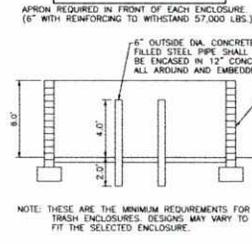
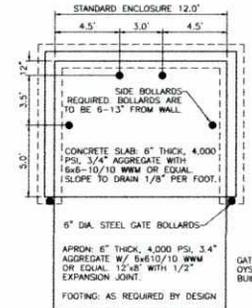
O'Reilly Auto Parts
 6380 Coors Blvd. NW
 Albuquerque, New Mexico 87120

Not For Construction

Project Number: 2011004
 Drawn By: JCS
 Checked: JCS
 Issue Date: September 20, 2017
Site Plan for Building Permit



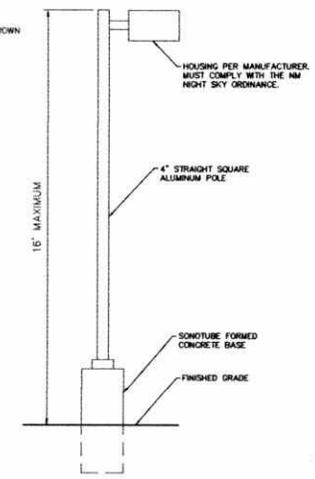
Motorcycle Parking Sign
MIS



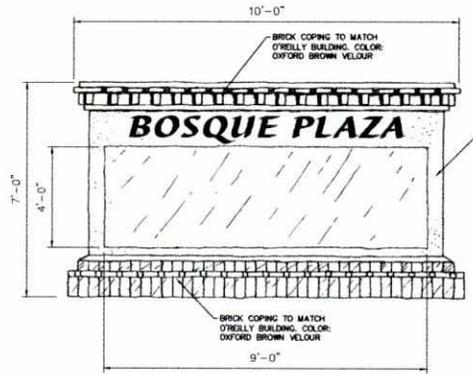
Dumpster Enclosure Detail
MIS



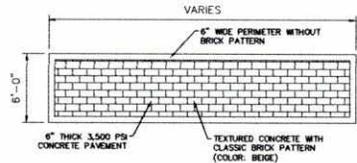
Bench Detail
MIS



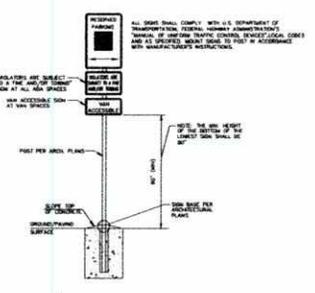
Light Pole Detail
MIS



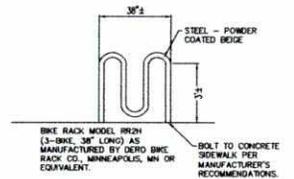
Project Sign Detail
MIS



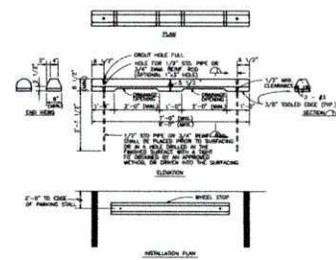
Textured Pavement Detail
MIS



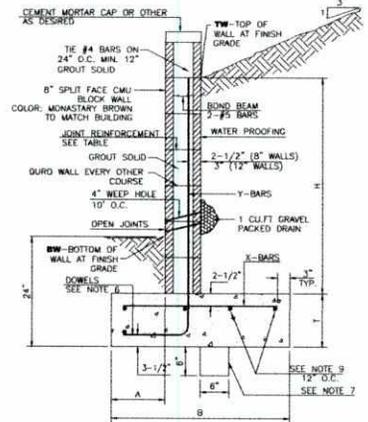
H/C Sign Detail
MIS



Bike Rack Detail
MIS



Precast Concrete Wheel Stop
MIS



Retaining Wall Detail
MIS

8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @ 32" O.C.	#4 @ 24" O.C.
2'-8"	8"	2'-0"	9"	#4 @ 32" O.C.	#4 @ 18" O.C.
3'-4"	8"	2'-4"	9"	#4 @ 32" O.C.	#4 @ 24" O.C.
4'-0"	10"	2'-8"	9"	#4 @ 32" O.C.	#4 @ 24" O.C.
4'-8"	12"	3'-4"	10"	#5 @ 32" O.C.	#4 @ 18" O.C.
5'-4"	14"	3'-10"	10"	#5 @ 16" O.C.	#4 @ 18" O.C.
6'-0"	16"	4'-8"	12"	#5 @ 8" O.C.	#4 @ 12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#5 @ 16" O.C.	#4 @ 24" O.C.
6'-0"	15"	4'-2"	12"	#4 @ 16" O.C.	#4 @ 18" O.C.
6'-8"	16"	4'-8"	12"	#5 @ 16" O.C.	#5 @ 18" O.C.
7'-4"	18"	4'-10"	12"	#5 @ 16" O.C.	#5 @ 18" O.C.
8'-0"	20"	5'-4"	12"	#7 @ 16" O.C.	#5 @ 12" O.C.
8'-8"	20"	5'-8"	12"	#7 @ 16" O.C.	#5 @ 12" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE 4.20%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DWR-G-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

Wooten Engineering
1005 21st St. SE, Suite 113
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

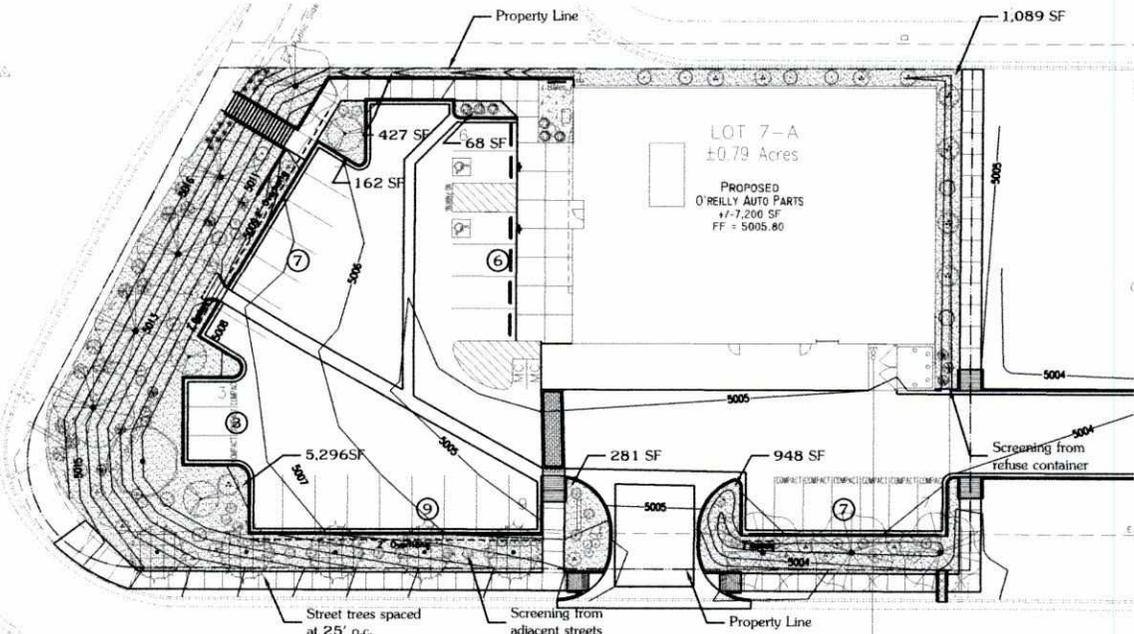
WE

O'Reilly Auto Parts
6380 Coors Blvd. NW
Albuquerque, New Mexico 87120

Not For Construction

Project Number: 2017024
Drawn By: JCC
Checked: JCC
Issue Date: September 20, 2017
Site Details

Coors Blvd NW



Bosque Plaza Lane NW

LANDSCAPE PLAN

SCALE: 1" = 16'-0"

Bosque Plaza LANDSCAPE DATA

GROSS LOT AREA	33,817 SF
LESS BUILDING(S)	7,200 SF
NET LOT AREA	26,617 SF
REQUIRED LANDSCAPE	3,993 SF
15% OF NET LOT AREA	
PROVIDED LANDSCAPE	8,271 SF
PERCENT OF NET LOT AREA	31 %
HIGH WATER USE TURF	NONE PROPOSED
REQUIRED STREET TREES	13
PROVIDED AT 25' O.C. SPACING STREET TREES HAVE 60/40 MIX DECID/EVERGREEN	13
REQUIRED PARKING LOT TREES	3
PROVIDED AT 1 PER 10 SPACES (12 SPACES/10)	4
PARKING LOT TREES HAVE 25% EVERGREEN	
REQUIRED LANDSCAPE COVERAGE	
PARKING LOT TREES HAVE 25% EVERGREEN	
75% LIVE VEGETATIVE MATERIAL (3,993 SF x 80%)	3,195 SF MIN.
PROVIDED LANDSCAPE COVERAGE	3,198 SF (80%)

NOTE

- MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1, PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 80% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH MINIMUM OVER FILTER FABRIC

- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.
- TREES ALONG STREET TO BE LOCATED SO AS NOT TO BLOCK SIGNAGE.

IRRIGATION NOTE

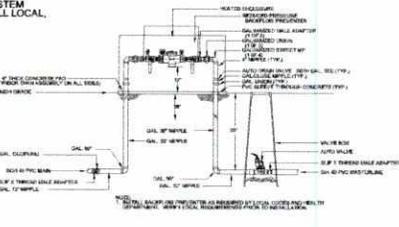
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

MATERIALS LEGEND

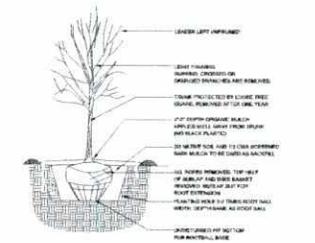
- 7/8" WALL IN BROWN GRAVEL (over filter fabric)
- Gray Crushertines (over filter fabric)

GENERAL NOTES

- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER'S REP. A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
- EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
- EACH PHOTO SHALL HAVE THE PLANT NAME, SIZING AND SPECIFICATIONS LABELED ON THE PHOTO.
- ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
- NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
- CONTRACTOR TO PROVIDE SITE IRRIGATION FOR LANDSCAPE. IRRIGATION FOR AREAS TO BE DRIP IRRIGATION. IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED PER ALL LOCAL, STATE AND FEDERAL CODES.



1 RP BACKFLOW/MASTER VALVE DETAIL



2 TREE PLANTING DETAIL

PLANT SCHEDULE O'REILLY

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
8	Platanus orientalis / Chinese Plane	2" B&B	Medium	45 - 260	60 X 60	
1	Quercus laevis / Escarpment Live Oak	2" B&B	Medium	40 - 40	50 X 50	
3	Viburnum acerifolium / Choke Tree	2 1/2" Cal	Medium	35 - 105	20 X 20	
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
5	Pinus strobus / Alpine Pine	2" B&B	Medium	35 - 175	40 X 18	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
2	Rudbeckia hirta / Black-eyed Susan	3 gal	Medium	20 - 40	4 X 4	
4	Caryopteris inodora / Dark Knight / Blue Star Spirea	1 gal	Low	15 - 90	3 X 3	
12	Panicum arrabida / Russian Sage	3 gal	Medium	20 - 40	3 X 3	
4	Rhus glabra / Glossy Leafed Sumac	3 gal	Low	30 - 120	4 X 4	
18	Salisma glabra / Autumn Sage Cherry	1 gal	Low	15 - 270	2 X 3	
DECIDUOUS ACCENTS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
12	Hesperis matronalis / Red Yucca	3 gal	Low	20 - 320	3 X 4	
5	Nolina microcarpa / Beauxvois	3 gal	Low	30 - 150	3 X 6	
4	Yucca torreyi / Beauxvois Yucca	3 gal	Low	30 - 120	4 X 5	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
8	Baccharis flexilis / Manzanita	3 gal	Low	20 - 40	3 X 3	
12	Ericaceae leucocoma / Toyon	3 gal	Low	35 - 225	3 X 4	
6	Salvia rosmarinifolia / Chamisa	3 gal	Low	30 - 150	3 X 3	
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	ALLOWANCE	HEIGHT X WIDTH
19	Muhlenbergia capillaris / Red Top / Mule	3 gal	Low	12 - 225	2 X 2	
12	Neovitis trichostachya / Threegrain	3 gal	Low	15 - 180	2 X 2	

REFERENCE NOTES SCHEDULE O'REILLY

SYMBOL	DESCRIPTION	QTY	DETAIL
1/2"	Manzanita	3	
1/2"	Wall in Brown 7/8"-1" Gravel	8,271 sq. ft.	
1/2"	Gray Crushertines	172 sq. ft.	

growing better
Up Heads
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P.O. Box 10587
 Albuquerque, NM 87184
 505.898.9815
 505.898.2105 (fax)
 design@hulc.com

STATE OF NEW MEXICO
 JOHN G. O'REILLY
 LANDSCAPE ARCHITECT
 No. 11111
 Date: 9/25/2017
 Revisions:
 ▲
 ▲
 ▲
 Drawn by: E.C.G.
 Reviewed by: Hulk

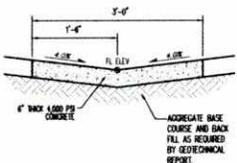
O'Reilly Auto Parts
 6380 Coors Blvd NW
 Albuquerque, New Mexico

NORTH
 Scale: 1" = 16'-0"
 8 0 16 32

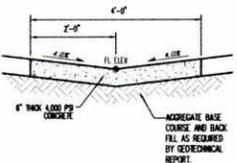
Sheet Title:
Landscape Plan

Sheet Number:

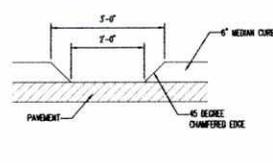
LS-01



3' Wide Valley Gutter Detail
M/S



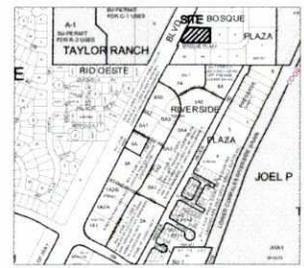
4' Wide Valley Gutter Detail
M/S



Curb Opening Detail
M/S

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "TECHNICAL SPECIFICATIONS" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL CONSTRUCTION SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT'S (FIRST PRIORITY) SPECIFICATIONS AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IF IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL EROSION FROM THE SITE DRIFT ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHALL BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SET FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BROADEN SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BROADEN SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAID ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT, MEDIAN, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWIFT DOCUMENT (IF NECESSARY) AND SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

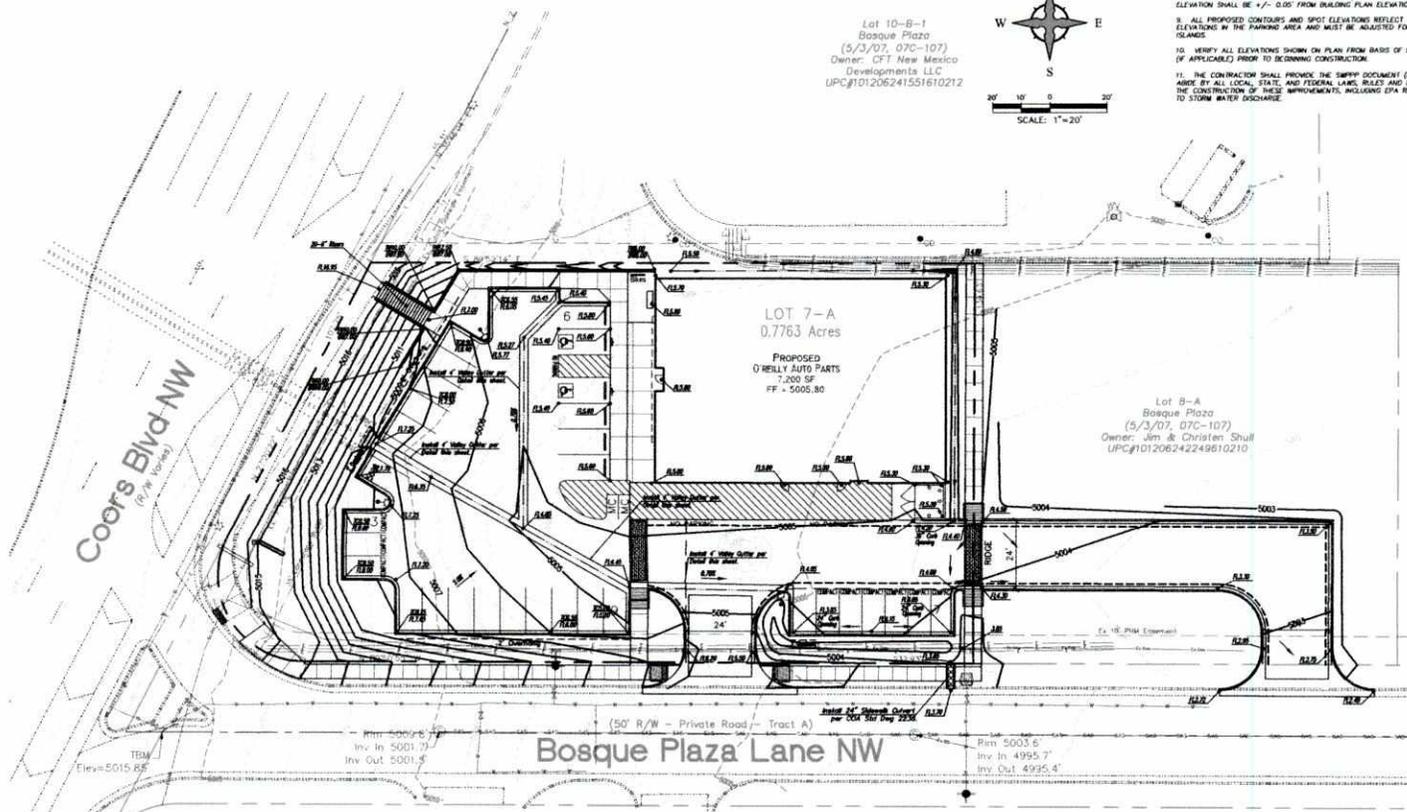
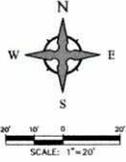


VIGNY MAP - Zone Map E-12-Z
Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres



FFM MAP 3500C0806G
Per FFM Map 3500C0818G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

Lot 10-B-1
Bosque Plaza
(5/3/07, 07C-107)
Owner: CFT New Mexico
Developments, LLC
UPC#101206241551610212



DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the development of Lot 7-A, Bosque Plaza. The site is located at 6380 Coors Blvd NW (NEC of Coors Blvd NW and Bosque Plaza Ln NW) in Albuquerque, NM. The site contains approximately 0.7763 acres. The proposed development consists of a new O'Reilly Auto Parts store with the associated parking lot and landscaping. Terra West LLC prepared the latest approved Drainage Report for this subdivision titled "Southeast Corner of La Oros and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, and 8 of the Lands of Martin L. Taylor." The file number for this report is 0272006.

EXISTING HYDROLOGIC CONDITIONS
Per the above Drainage Report by Terra West LLC, the site was previously mass graded to allow for future development and generally slopes from west to east then surface drains south into Bosque Plaza Lane. The drainage systems for the subdivision allow free discharge of fully developed conditions.

During a recent site visit, we located a pair of 36" culverts that drain east across Coors Blvd and onto the site. To our knowledge, the AMDOT does not have an easement on the subject property for the pipes or for the drainage being conveyed across the site. According to the recently approved La Oros Estates Drainage Report by Terra West LLC, there is approximately 3.15 cfs that discharges from these pipes and into the subject site. This flow currently traverses the site and surface discharges into Bosque Plaza Lane.

PROPOSED HYDROLOGIC CONDITIONS
The site will continue to surface drain from west to east and surface discharge into Bosque Plaza Lane via a sidewalk culvert. As discussed above, the Bosque Plaza drainage systems were designed to accommodate the fully developed conditions of this tract.

As much as possible, the site will install a couple of stormwater quality ponds as required by the current drainage ordinance.

CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet all requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of the conceptual grading plan for the Site Plan for Building Permit.

LEGEND

- FLOW ARROW
- 27.8' PROPOSED TOP OF GRADE/PAVT ELEVATIONS
- FL27.8' PROPOSED FLOW LINE/GUTTER ELEVATIONS
- FL27.8' PROPOSED TOP OF CURB ELEVATIONS
- 2527.8' PROPOSED TOP OF SIDEWALK ELEVATION
- TWBL1.40 FINISHED GRADE AT TOP OF WALL
- SBBL1.40 FINISHED GRADE AT BOTTOM OF WALL
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- EXISTING STORM DRAIN

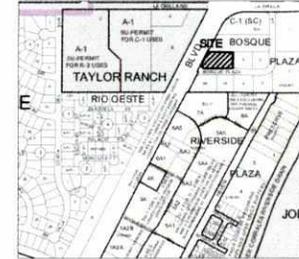
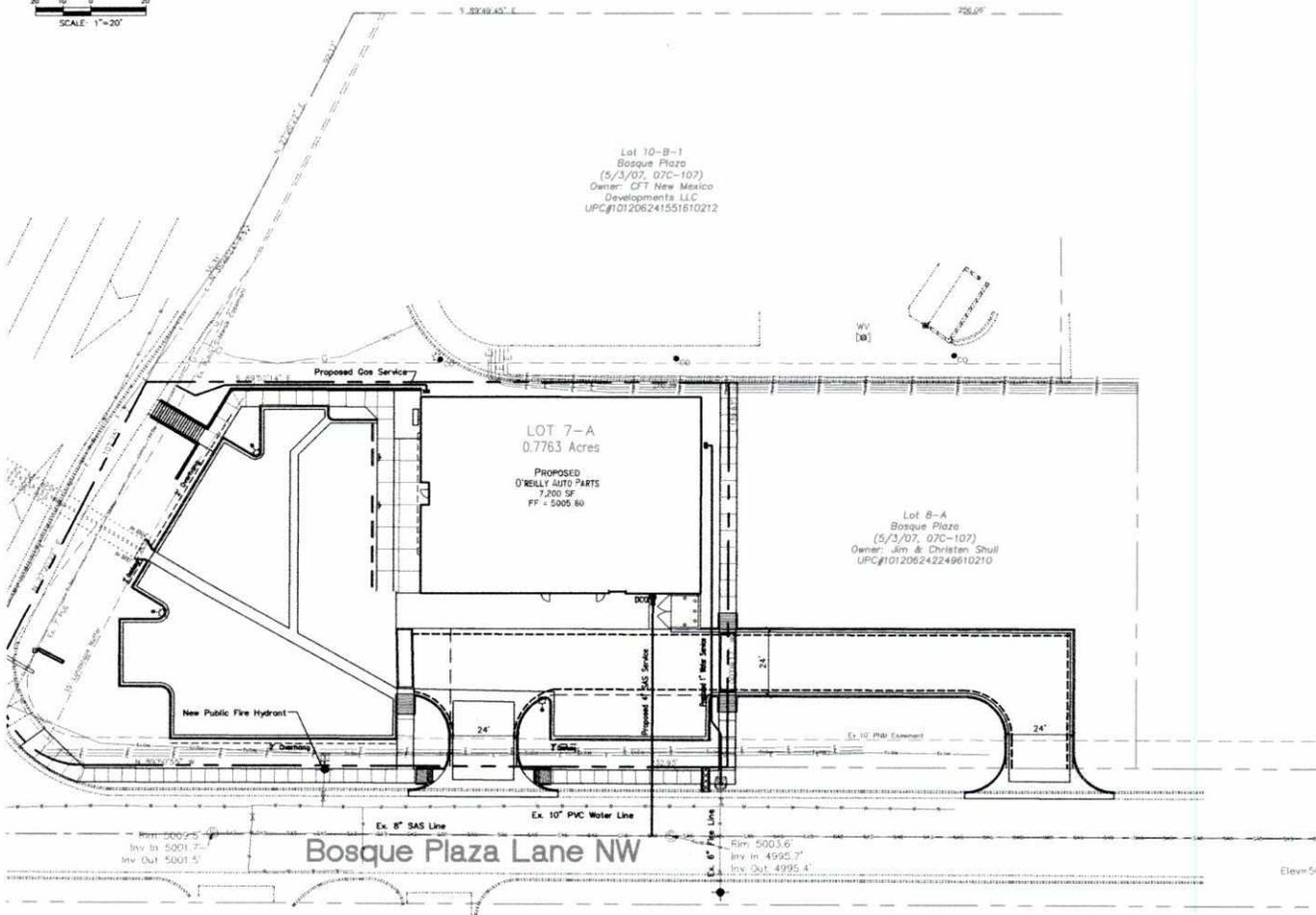
CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Wooten Engineering
1005 21st St SE, Suite 113
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

O'Reilly Auto Parts
6380 Coors Blvd. NW
Albuquerque, New Mexico 87120

Not For Construction

Project Number	2011004
Drawn By	RS
Checked	RS
Issue Date	September 20, 2017
Conceptual Grading Plan	



VICINITY MAP - Zone Map E-12-2
 Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

GENERAL NOTES

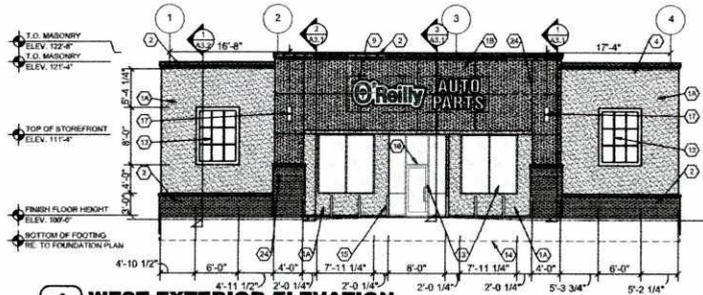
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: BENCHING, BACKFILL, SUPPORT, CLEANOUT PANS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND SETTING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REPAIRED AND CORRECTED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURBS AND GUTTER, AND/OR SIGNMA, AS APPLICABLE.
5. ROUGH GRADING OF SITE (10:1) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
7. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARDS.
8. FIRE LINES (IF REQUIRED) SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PENALTIES AND OTHER SPECIAL ASSIGNMENTS.
10. CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

Wooten Engineering
 1005 21st St SE, Suite 13
 Rio Rancho, N.M. 87124
 Phone: (505) 980-3560

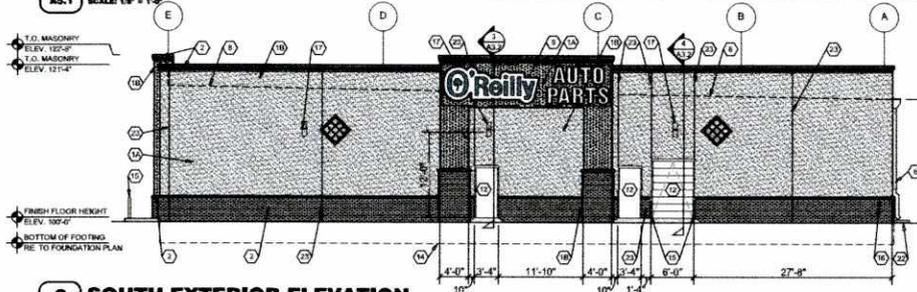
O'Reilly Auto Parts
 6380 Coors Blvd. NW
 Albuquerque, New Mexico 87120

Not For Construction

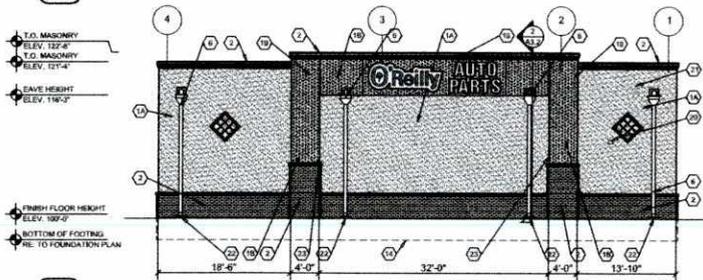
Project Number	2017004
Drawn By	RL
Checked	RL
Issue Date	September 20, 2017
Conceptual Utility Plan	



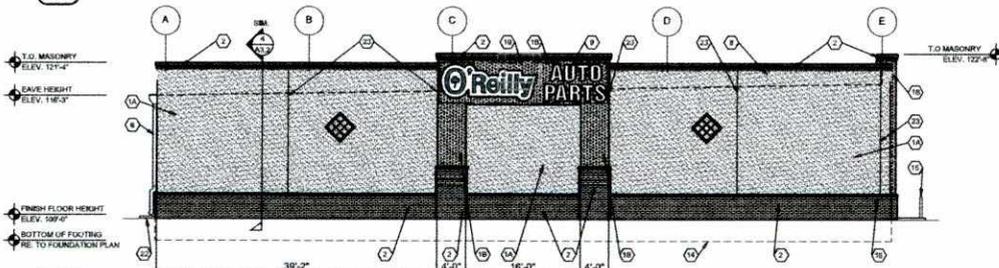
1 WEST EXTERIOR ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



4 NORTH EXTERIOR ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



1,061 SF X .26 = 266 SF ALLOWED
SKINAGE: 134.3 SF



2,246 SF X .26 = 584 SF ALLOWED
SKINAGE: 134.3 SF



1,061 SF X .26 = 266 SF ALLOWED
SKINAGE: 134.3 SF



2,246 SF X .26 = 584 SF ALLOWED
SKINAGE: 134.3 SF

EXTERIOR FINISH SCHEDULE

STUCCO
KEY NOTE NO. 1A:
MFG: DRYVIT SPECIFIED, EQUAL BY STO OR BASF (NO SUBSTITUTES)
FINISH: OULUCLATION PLUS MG
TEXTURE: SANDPBLE
COLOR: DRYVIT 568 (LYSTER SHELL)

KEY NOTE NO. 1B:
MFG: DRYVIT SPECIFIED, EQUAL BY STO OR BASF (NO SUBSTITUTES)
FINISH: OULUCLATION PLUS MG
TEXTURE: SANDPBLE
COLOR: DRYVIT 781 (MONASTERY BROWN)

UNIT MASONRY
KEY NOTE NO. 3:
TYPE: CLAY MASONRY UNIT
MFG: ACME BRICK
SIZE: 2 1/4" X 3 5/8" X 7 5/8" (MODULAR)
COURSING: RUNNING BOND
COLOR: PRILE COLOR BLEND 600 (DIXON) BROWN VELOUR
MORTAR COLOR: NATURAL GRAY

FLASHING AND SHEET METAL
KEY NOTE NO. 2:
TYPE: STANDING SEAM ROOFING SYSTEM
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
COLOR: GALVALUME

KEY NOTE NO. 4:
TYPE: CAP FLASHING AT MASONRY
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

KEY NOTE NO. 5:
TYPE: CAP FLASHING AT EXTERIOR INSULATION FINISH SYSTEM (EIFS)
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: FACTORY PRIMED AND FIELD PAINT
COLOR: SHERWIN WILLIAMS "POSITIVE RED SW670" (SHER-CVIL) GLOSS
WITH SHERWIN WILLIAMS THREE COMPONENT (8607105 / 8607106 / 8607108) CLEAR URETHANE

KEY NOTE NO. 6:
TYPE: GUTTER AND DOWNSPOUTS
MFG: (REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS)
FINISH: PREFINISHED
COLOR: EQUAL TO BUTLER BUILDING "COOL BIRCH WHITE"

DOORS AND WINDOWS
KEY NOTE NO. 12:
TYPE: STEEL DOORS AND FRAMES (DOORS NO. 2, 3, AND 7)
MFG: (OWNER FURNISHED / CONTRACTOR INSTALLED)
FINISH: FACTORY PRIMED AND FIELD PAINT
COLOR: SHERWIN WILLIAMS "LATIC" SINGLES (SEMI-GLOSS)

KEY NOTE NO. 13:
TYPE: REFER TO WINDOW SCHEDULE
MFG: EPOC, KAWNEER, OR OLD CASTLE (VISTA WALL) (NO SUBSTITUTES)
COLOR: EPOC "N", KAWNEER "DARK GY", VISTA WALL "INTERSTATE GREEN"

PAINTING
KEY NOTE NO. 15:
TYPE: STEEL BOLLARDS (REFER TO CIVIL DRAWINGS)
FINISH: FIELD FRAME AND PAINT
COLOR: SHERWIN WILLIAMS "LANT CLUB" 59646A (SEMI-GLOSS)

GENERAL NOTES

- 1 REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- 2 REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 3 REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- 4 REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- 5 REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 6 REFER TO SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.

KEY NOTES

- 1A EXTERIOR CEMENT PLASTER WALL COVERING (STUCCO).
- 1B EXTERIOR CEMENT PLASTER WALL COVERING (STUCCO).
- 2 EXTERIOR CEMENT PLASTER WALL COVERING (STUCCO).
- 3 CLAY MASONRY UNIT EXTERIOR WALL CONSTRUCTION. REFER TO PLANS, SECTIONS, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- 4 PRE-ENGINEERED METAL BUILDING SHEET METAL ROOFING SYSTEM.
- 5 PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT MASONRY).
- 6 PRE-ENGINEERED METAL BUILDING SHEET METAL FLASHING (AT EIFS).
- 7 PRE-ENGINEERED METAL BUILDING SHEET METAL SCUPPER AND DOWNSPOUT SYSTEM.
- 8 (NOT USED).
- 9 LINE OF ROOF BEYOND WITH 1/4" 12' SLOPE MINIMUM.
- 10 SURFACE MOUNTED SIGN OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL COORDINATE REQUIREMENTS WITH OWNER. REFER TO SHEET 602.1.
- 11 BUILDING ADDRESS NUMBERS IN 6" HIGH HELVETICA WHITE VINYL. ADHERED TO EXTERIOR FACE OF GLAZING.
- 12 (NOT USED).
- 13 EXTERIOR DOOR AND FRAME SYSTEM. REFER TO FLOOR PLAN AND DOOR SCHEDULE FOR TYPES.
- 14 EXTERIOR WINDOW SYSTEM. REFER TO FLOOR PLAN AND WINDOW SCHEDULE FOR TYPES.
- 15 APPROXIMATE LINE OF FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- 16 STEEL BOLLARDS. REFER TO CIVIL AND STRUCTURAL DRAWINGS.
- 17 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 18 (NOT USED).
- 19 MECHANICAL ROOF TOP UNIT. REFER TO MECHANICAL DRAWINGS.
- 20 MECHANICAL WALL PENETRATIONS. REFER TO MECHANICAL DRAWINGS. PROVIDE FRAMING, FLASHING, AND SEALANT AS REQUIRED.
- 21 PLUMBING ROOF VENT. REFER TO PLUMBING DRAWINGS AND DETAIL 106.1.
- 22 CONCRETE SPLASH BLOCK INSTALL AT EACH DOWNSPOUT.
- 23 MASONRY CONTROL JOINT. PROVIDE SEALANT (OVER 1/2" DIAMETER FOAM BACKER ROD. COLOR TO MATCH ADJACENT MASONRY).
- 24 INSULATION JOINT. REFER TO DETAIL 603.2.



PRELIMINARY
NOT FOR
CONSTRUCTION
OR PERMIT

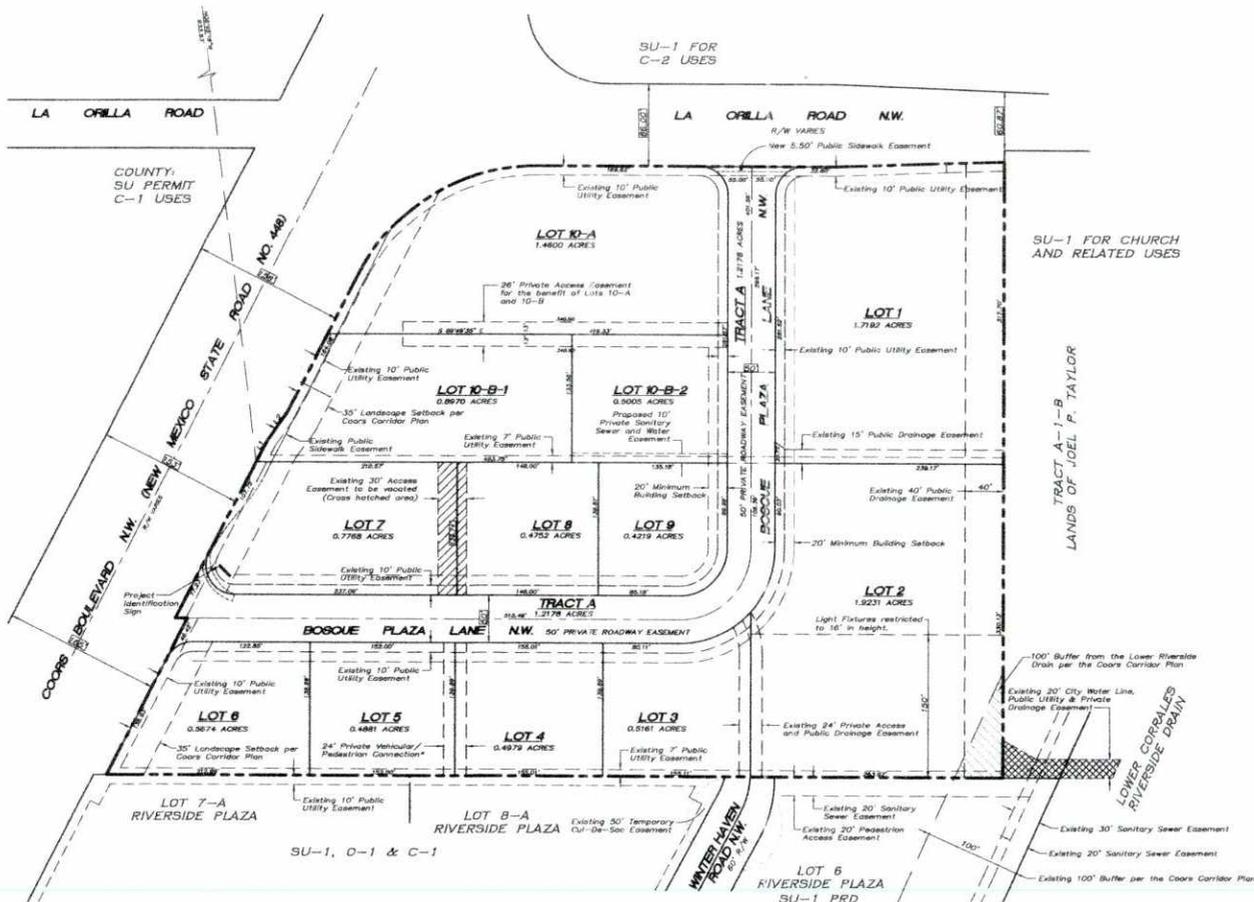
DESIGNED BY
ADAMS & BROTHER
REGISTERED PROFESSIONAL ENGINEER
STATE OF MISSOURI
NO. 000000000
315 N. AND AVENUE
OZARK, MO 65750
P (417) 583-8899
F (417) 583-9002



Torgerson DESIGN PARTNERS
NEW O'REILLY AUTO PARTS STORE
6380 COORS BLVD, NW
ALBUQUERQUE, NM 87120
EXTERIOR ELEVATIONS

O'Reilly AUTO PARTS
CORPORATE OFFICE
250 SOUTH P.A. MISSOURI 65002
(417) 882-2874 TELEPHONE

DATE: XX XX
DWG: XX/XX/XXXX
PROJECT NUMBER: 17165 AB2
SHEET NUMBER: **A5.1**



REQUIRED INFORMATION - SITE PLAN FOR SUBDIVISION:

Site: 11.46 acres zoned C-1 (SC) and contains 11 existing lots and Tract A for Bosque Plaza Lane, an existing private road.

- Proposed Use:** Retail - Neighborhood Commercial consistent with the C-1 (SC) regulations.
- Only two fast food drive-up service windows are permitted and shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code.
 - One additional drive-thru facility shall be permitted for a financial institution.
 - No outdoor storage is permitted.
 - Wireless telecommunication facilities shall not be permitted.

Pedestrian and Vehicular Ingress and Egress: The Bosque Plaza Design Standards and Pedestrian Plan contain information regarding pedestrian and vehicular ingress and egress to the site.

Access: The primary access to the Bosque Plaza shopping center is from Coors Boulevard, which is identified as a Major Arterial on MRCOG's Roadway Functional Classification Map and La Orilla Road. There is no direct vehicular access to Coors Boulevard other than Bosque Plaza Lane and La Orilla Road.

Roadways: Bosque Plaza Lane is an existing 50 foot private easement that provides access to all lots within the shopping center. Cross-access agreements exist within Bosque Plaza and are filed in the Bosque Plaza Declaration of Easements, Covenants and Restrictions (see note Sheet 1).

Pedestrian access: Access shall be accommodated through the development of City standard sidewalks on all abutting roadways and per the Bosque Plaza Pedestrian Plan found on Sheet 3.

Maximum Building Height: Maximum building height shall be pursuant to the City C-1 Zone and shall comply with the Coors Corridor Sector Development Plan (COSCSP) view preservation requirements for Segment 3.

Minimum Building Setback: Building setback minimums shall be pursuant to the City C-1 Zone and the Coors Corridor Plan. A 35-foot landscape buffer is required adjacent to Coors Boulevard.

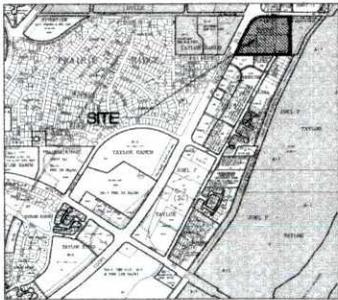
Maximum Floor Area Ratio: Retail - 30, Office - 40

Landscape Plan: Landscaping shall be consistent with the City Zoning Code, Water Conservation Ordinance, and Pollen Ordinance. A 10 foot landscape buffer is required adjacent to the residential area to the south and east of the subject site (known as the "Pressure"). Street Trees are required on Coors Boulevard and La Orilla in accordance with the Street Tree Ordinance. Maintenance of the landscaping and irrigation system shall be the responsibility of each individual Lot Owner. Grass is allowed to be used, but will not be used as a primary ground cover, only to bridge gaps between plants and as an accent in the landscaping beds. Landscape areas over 36 square feet in size shall be covered with living vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited. All planting areas will be maintained in a living, attractive, and weed-free condition. Underground irrigation systems are required and shall consist of a fully automated sprinkler/irrigation system to irrigate trees, shrubs, and groundcover planting areas.

Lighting: Lighting shall be fully shielded and consistent with the Coors Corridor Plan lighting regulations. The height of pole-mounted lights will not exceed 20 feet from the grade of the parking lot. Lights within 150 feet of the adjacent residential area shall be limited to 16 feet in height and provide additional shielding on the residential side of the feature.

Signage: One project identification sign will be permitted for the shopping center, which will be located on Lot 7, and building mounted signage shall be limited to 6% of the building facade to which it is applied and subject to the restrictions (Sheet 2).

SITE VICINITY



NOTE

Sold Lots 1 through 10A, B and C and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book 181, Page 5448.

*Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the vehicular/pedestrian connection between lots 4 and 5 and Bosque Plaza. Final adjustments shall be determined in conjunction with the Site Development Plans for Building Permits.

Replaces original approval: 2-87-89, July 21, 1987
PROJECT NUMBER: 1004167
Application Number: 06086-01547

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated July 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

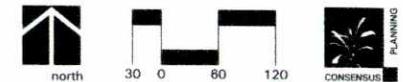
with required Transportation Division
 [Signature] 10/4/06 Date
 Water Utility Department
 Christina Sandoval 10/4/06 Date
 Parks and Recreation Department
 Bradley A. Ringler 10/4/06 Date
 City Engineer
 N/A
 Solid Waste Management
 [Signature] 10/4/06 Date
 f-DRB Chairperson Planning Department

**SITE PLAN FOR SUBDIVISION
BOSQUE PLAZA**

Prepared for:
Lo Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102

Scale 1" = 60'



October 03, 2006

Sheet 1 of 3

BOSQUE PLAZA DESIGN STANDARDS

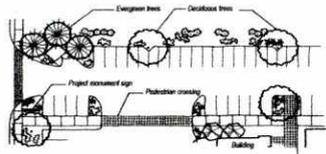
The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the goals and objectives to create a high quality commercial development. These standards address the issues of landscaping, setbacks, pedestrian crossings, screening, lighting, signage, and architecture that will create the visual image desired. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinances and applicable Plans, including the Coors Corridor Sector Development Plan. These standards shall apply to all properties within the Bosque Plaza Shopping Center.

A. LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within Bosque Plaza to achieve a unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies (Water Conservation and Plant Ordinances). The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas and within the required 35 foot landscape setback adjacent to Coors Boulevard.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and Bosque Plaza Lane.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-level exposure.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (pave by side), or 10" x 4" steel composition.
- Landscape areas over 26 square feet in size shall be covered with living, vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited.
- One tree is required for each twenty-five linear feet of public or main access roadway. The required trees shall be informally clustered with not more than a 35-foot gap between groupings and shall have a 50/40 mix of deciduous to evergreen trees.
- Off-street parking areas shall have one tree for every 10 parking spaces, and shall be distributed such that at least one tree is planted for every 15 linear parking spaces.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper or be 10 to 12 feet in height, and shrubs and groundcovers shall be a one gallon container or larger.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- All planting areas shall have a top-dressing of crushed rock, river rock, or similar materials, which extends completely under the plant material. Bark shall only be utilized as mulch, not as a permanent form of ground-cover.
- Low plant materials shall be used extensively in all landscaped areas. Gravel, colored rock, bark, and similar materials are not acceptable as groundcover.
- All plant material, including trees, shrubs, groundcovers, turf, wetlands, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material.
- Xeriscape principles of design shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- Planter boxes and shade tree planting areas shall have a minimum size of 6'x6' (26 square feet).
- Parking lots shall be landscaped with a minimum of 20% of the parking lot area. Parking lot landscaping shall be defined as planting areas within the parking lot and within six feet of the perimeter of the parking lot.
- The Coors Corridor Plan, Policies 4b, 3 and 4 require site landscaping and front landscaping on the street yard. Policy 4 specifically requires a limited palette of landscape materials. The following is the plant palette for the shopping center divided by location:

Coors Boulevard frontagebuffer:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Desert Willow	Chilopsis linearis	Low	Low
New Mexico Olive	Fraxinus pennsylvanica	Low	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Chinese Pistache	Pistacia chinensis	Med	Low
Chilipee	Chilopsis x catalpa	Med	Low
Shrubs:			
Chamae	Chrysothamnus nauseosus	Low	Low
Curl Leaf Mountain	Muhlenbergia carolinensis	Low	Low
Desert Cypripedium	Baccharis glabra 'Thompson'	Low	Low
Desert Yucca	Yucca elata	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atrorubra	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Thymegrass	Nassella tenuissima	Low	Low

Common Name	Botanical Name	Water Use	Pollen
Desert Accents:			
Beane's Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Hoopvine	Lonicera sempervirens	Med	Low

Parking lots and Sites:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Ironwood Pine	Pinus laevis	Med	Low
Callison Pine	Kroenkeia parviflora	Med	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Engelmann Live Oak	Quercus engelmannii	Med	Moderate
Chilipee Tree	Wittmannia indica	Med	Low
Alphian Pine	Pinus edulis	Med	Low
Chusquea Yellow	Chusquea nitens	Med	Low
Chilipee	Chilopsis x catalpa	Med	Low
Shrubs:			
Blue Mist Sycamore	Corylopsis x chionodora	Low-Med	Low
Cherry Gage	Guttaria greggii	Low-Med	Low
Curl Leaf Mountain	Muhlenbergia carolinensis	Low	Low
Desert Cypripedium	Baccharis glabra 'Thompson'	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atrorubra	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Beard Grass	Nassella tenuissima	Low	Low
Royal Malt Milkly Grass	Muhlenbergia capillaris	Med	Low
Desert Accents:			
Beane's Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Hoopvine	Lonicera sempervirens	Med	Low

- Outdoor storage areas are prohibited.
- Chain link, barbed wire, and concrete walls are not allowed in Bosque Plaza.
- Security fences (for example, at back loading areas) cannot exceed four feet in height if the area is not incorporated into the building's architectural design. If the area appears to be an extension of the building (similar materials and color), the height is limited to 15'.
- Walls and fencing must be compatible with building architecture in terms of materials, colors, etc.
- Unfinished, 8-ft-face CMU walls are permitted.

B. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements (per to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Bosque Plaza.

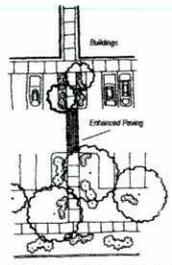
In order to comply with the Coors Corridor Sector Development Plan and create a pedestrian friendly environment along Bosque Plaza Lane, buildings shall be located on each site according to the following setback dimensions:

- 35 feet minimum from the Coors Boulevard R.O.W. per the Coors Corridor Sector Development Plan
- 10 feet minimum and 5' maximum adjacent to Bosque Plaza Lane.
- 0 or 5 feet minimum from internal lot lines in order to encourage continuous building facades

C. PARKING AND CIRCULATION

To create an aesthetically pleasing center, parking areas and pedestrian connections shall be designed as follows:

- The maximum allowed parking shall be equal to the required parking plus 10% unless approved by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office and commercial buildings, pedestrian crossings shall be a minimum width of 6 feet. They shall be clearly marked with textured, colored concrete (with the exception of any existing crosswalks on Lot 10-A) and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Shaded pedestrian access shall be provided, including a clear 6 foot wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 6 feet square (or equivalent).
- For office and commercial buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade shall be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 6 feet square (or equivalent). Sidewalks shall be provided adjacent to and along the full length of the buildings in compliance with Section 14-10-3-1(C)(4) of the Zoning Code.
- For office and commercial buildings shaded public spaces with outdoor seating shall be provided. The paths shall have adequate shading provided by trees and/or shade structures that integrate with building architecture.
- Restaurants shall have outdoor patio seating and dining.
- Convenient and direct connections shall be provided from each building to the internal circulation system and to adjacent roadways, sidewalks, and between adjacent buildings.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- Motorcycle parking shall be provided at a minimum of 1 space per 25 vehicle spaces.
- Vehicle and pedestrian conflicts shall be minimized.
- Separate vehicle and pedestrian access shall be provided to individual lots.
- All crosswalks and internal (within the lots) crosswalks shall be enhanced and textured paving, which shall be defined as textured, colored concrete.



Pedestrian linkages shall be highlighted with enhanced paving and/or signage.

D. SCREENING WALLS AND FENCES

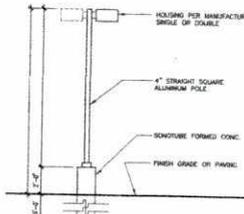
All walls shall be designed to comply with the Wall Regulations contained in the Comprehensive City Zoning Code. The effective use of screening devices for parking lots, building areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. When the site orientation causes service functions to face Coors Boulevard, the service area shall be screened with a four foot fence.

The following are standards to ensure effective screening of negative elements:

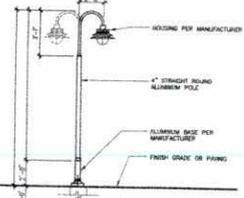
- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and weather burning. Such screening shall have a minimum height of 3 feet. Screening is not required where the parking area is 3 feet below street grade.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates.
- Outdoor storage areas are prohibited.
- Chain link, barbed wire, and concrete walls are not allowed in Bosque Plaza.
- Security fences (for example, at back loading areas) cannot exceed four feet in height if the area is not incorporated into the building's architectural design. If the area appears to be an extension of the building (similar materials and color), the height is limited to 15'.
- Walls and fencing must be compatible with building architecture in terms of materials, colors, etc.
- Unfinished, 8-ft-face CMU walls are permitted.

E. LIGHTING STANDARDS

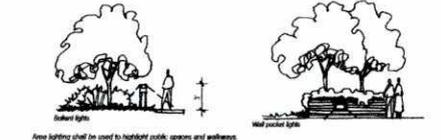
- General**
 - All lighting placement, safety, and illumination standards shall comply with the state and local regulations, provisions of the State of New Mexico's Night Sky Ordinance, and the Coors Corridor Plan.
 - All light fixtures shall be fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no light or light spillage occurs beyond the property line and no site lighting light source shall be visible from the site perimeter.
 - Exterior elevations of any building lighting a street are encouraged to be lighted to enhance the identity of the building and to illuminate street addresses.
 - High-pressure sodium lighting is prohibited.
 - No uplighting permitted from free-standing or building-mounted fixtures or signs.
 - Light poles within 25 feet of Bosque Plaza Lane shall be the same as internal street lights, used in Riverside Plaza.
- Height**
 - 16 feet for all walkways and entry points.
 - 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.



Sample of Parking Lot Light



Sample of Internal Street Light



Tree lighting shall be used to highlight public spaces and walkways.

F. SIGNAGE STANDARDS

The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Bosque Plaza and are pursuant to the Coors Corridor Plan. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

Signs at Bosque Plaza are limited to wall signs and free-standing monument signs. The following are general guidelines for signage design and placement:

- General**
 - All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
 - All elements of a sign shall be maintained in a visually appealing manner.
 - No sign shall overhang into the public right-of-way or extend above the building roof line.
 - Lots adjacent to the internal roadway shall have other one free-standing business monument sign or one building mounted sign facing the roadway.
- Free-Standing Signs**
 - Bosque Plaza is allowed one Project Entry signs at the access point on Coors Boulevard (NE corner of Bosque Plaza Lane and Coors Boulevard). The height of the free-standing Project Entry sign shall not exceed 9 feet. The size of the sign face shall not exceed 75 square feet, with a total of 10 items of information.
- Building-Mounted Signs**
 - Individual building mounted signs shall have an area not to exceed 6% of the facade to which it is applied.
 - The height of a building-mounted sign shall not exceed the height of the wall to which it is attached.
 - No signage permitted on east sides for buildings on Lots 1, 2, and 3 and south sides for buildings on Lots 2, 3, 4, 5, and 6.
- Prohibited Signs**
 - No off-premise signs are allowed.
 - No signage to allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including search-lights used for promotional events).
 - Signs that are portable, fixed on a movable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are prohibited.
 - Signs located on rocks, trees, or other natural features are prohibited.
 - Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and temperature signs are prohibited.



Sample Project Entry Sign

DESIGN STANDARDS BOSQUE PLAZA

Prepared for:
LC Orlita Group, LLC
5445 Edlith Boulevard NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

G. SITE / ARCHITECTURAL OBJECTIVES

1. Site

The creation of an active pedestrian environment at Bosque Plaza is dependent upon creative site and architectural design. Individual sites within Bosque Plaza shall be linked together and to the surrounding neighborhoods. The relationship between the buildings and the street shall be key to providing a pedestrian oriented development.

- a. Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout shall minimize the need for pedestrians to cross parking areas and landscaped islands.
- b. Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- c. Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- d. All pedestrian paths shall be designed to be accessible to the handicapped (See *Americans with Disabilities Act* criteria for barrier free design).
- e. Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicle conflicts. All pedestrian ways and paths shall be at least 8 foot clear and lined with shade trees 6' x 6" DB (diameter) planted, spaced 25 feet on center.
- f. Only two drive-up service windows for fast food restaurants shall be permitted within Bosque Plaza. Drive-up service windows for fast food restaurants shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code. When determining the appropriateness of a drive up service window, the following criteria shall be examined:
 - 1. No drive up service window shall face Coors Boulevard.
 - 2. The drive up service window and stacking lane shall be screened from public view and shall be integrated with the architecture of the building it serves.
 - 3. A pedestrian crossing across the stacking lane shall be demarcated and shall be clearly visible and highlighted with enhanced paving.
 - 4. No drive up service window shall be placed within 150' of any residential zoning district.
- g. One additional drive-thru facility shall be permitted for a financial institution.
- h. No cell phone towers shall be permitted.

2. General Building Elements

- a. Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other applicable codes.
- b. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures.
- c. The staggering of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- d. Windows and doors shall relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes.
- e. The top of all rooftop equipment shall be below the top of parapet.

3. Architectural Style, Materials, and Colors

The architectural objective is to create a site that is visually integrated through the use of architectural styles and similarities of scale, proportion, massing, and color.

- a. All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- b. Architectural styles are limited to Territorial and Territorial Revival only as described below:
 - 1. Territorial Design: flat-roofed, often with brick coping edging the parapet, earth-toned, usually one story; can be at least two stories deep; often with a central hallway; multi-paned windows. Details include classic pedimented lintels over windows and doors, main entries with arched, sometimes shutters, and portales with squared, often chamfered, posts and no corbels. The territorial architectural style began to develop after the opening of the Santa Fe Trail and roughly coincides with the territorial period when New Mexico was a US territory.



Sample of Territorial Design

- 2. Territorial Revival: based on the fusion of New Mexican buildings with American trim developed when New Mexico became a territory; always flat-roofed with brick coping along the parapet, light-colored walls, and multi-paned windows. Details include classical wood trim for moldings, concrete, or other low maintenance material that is designed to have the appearance of wood, including shutters, awnings, pedimented lintels and squared porch posts, with sidelights and top lights at main entry.
- c. Shade structures (awnings, trellis, canopies) are permissible as an accent detail, provided that they are architecturally compatible to the building to which they are applied, shall be limited to colors that match the brick trim on buildings, and shall be made of materials that have a brick-like appearance.
- d. Stucco shall be used as the primary surface treatment.
- e. The primary building colors shall be limited to warm medium browns (E) Ray Stucco, Adobe 110 or equivalent) and beige (E) Ray Stucco, Sand 103 or equivalent). The middle range of reflectance is intended to avoid very light and very dark colors.
- f. No generic franchise building elevations are permitted.
- g. Architectural features or elements of a building shall be subject to the Coors Corridor Sector Development Plan View Preservation regulations (See Section J).
- h. Watercoating shall be made of brick, stained concrete, real stone, cultured stone, or stucco. Colors shall be limited to red-brown, light brown or medium brown.

4. Prohibited Building Elements

- a. No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- b. No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be fabric integrated with building architecture, color scheme, and signage.
- c. No flags or other corporate decorations are permitted.
- d. Highly reflective surfaces (other than windows), exposed, untreated precision black walls, and materials with high maintenance requirements are undesirable and shall be avoided.

H. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of Bosque Plaza:

- 1. All new electric distribution lines shall be placed underground.
- 2. When an above-ground backfire prevention device is required, the treated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- 3. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

L. CODE COMPLIANCE

This Site Development Plan for Subdivision will comply with all requirements of the City and the Coors Corridor Sector Development Plan.

J. VIEW PRESERVATION

All buildings within the Bosque Plaza shopping center shall comply with the Coors Corridor Sector Development Plan (View Preservation for Corridor Segments 3 and 4). The procedures to ensure view preservation shall be followed as outlined within the Coors Corridor Sector Development Plan.

- 1. Bosque and mountain views shall be maintained from the site in accordance with the Coors Corridor Sector Development Plan view preservation regulations and shall generally be available from semi-public locations such as patios, outdoor seating areas and intersections. The design of these features shall ensure that views are preserved and even enhanced.

K. SIDEWALKS / BIKEWAYS

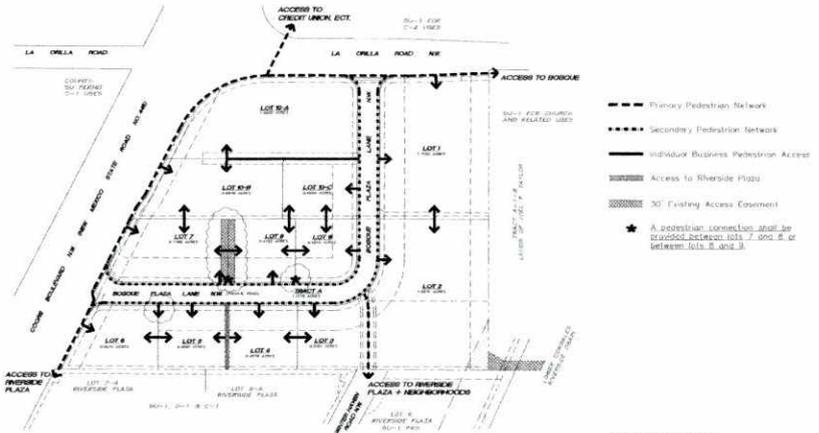
To encourage and enhance the pedestrian nature of Bosque Plaza, sidewalks and/or bikeways are required in certain areas as an integral element of the development. Pedestrian connections shall be provided to physically connect the parcels adjacent to Coors Boulevard.

- 1. Sidewalks shall be provided along the interior private drive at a minimum of 6 foot in width and shaded by trees planted 25 feet on center.
- 2. Access to the Bosque Trail system shall be from La Orella.
- 3. A sidewalk shall be provided along Coors Boulevard, which will connect to Bosque Plaza at several points. The Coors Corridor Plan encourages both pedestrian and bikeway facilities and it is the intent to provide these facilities. The following Pedestrian Plan illustrates the connectivity and pedestrian oriented environment that Bosque Plaza will provide.
- 4. To mitigate instances of pedestrian/vehicle conflict, a pedestrian trail shall be provided from Bosque Plaza Lane into each lot.
- 5. Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the pedestrian connection between lots 4 and 5 and Bunkers Trail.
- 6. A pedestrian access similar to that on Lot 6 shall be provided to Coors Boulevard from Lot 10-B, which is approximately the mid-point of Bosque Plaza frontage along Coors Boulevard.

L. PEDESTRIAN PLAN

To encourage and enhance the pedestrian nature of Bosque Plaza, the adjacent Pedestrian Plan is added to demonstrate the pedestrian connections to and from the site and the connections within the site that will provide for pedestrian movement.

- 1. The Primary Pedestrian Network is illustrated along Coors Boulevard and La Orella Road. This provides for access along Coors Boulevard and La Orella Road, toward the Bosque. This Primary Pedestrian Network also provides necessary connections to individual properties along Coors Boulevard, in addition to Bosque Plaza Lane.
- 2. Bosque Plaza Lane provides a Secondary Pedestrian Network on both sides of the street and to individual lots along the roadway. As indicated on the Plan, ten pedestrian connections are provided from Bosque Plaza Lane to individual lots.
- 3. Individual Business Pedestrian Access is also indicated on the Plan. The Plan also provides for connections between each of the lots and to adjacent properties.
- 4. Future pedestrian access is indicated on the Plan between Lots 4 and 5 from these lots and Bosque Plaza Lane to Riverside Plaza to the south.
- 5. Future pedestrian (and vehicular access) is also indicated on the Plan from Waterhaven Road to Bosque Plaza Lane. In addition to this connection being provided for vehicular access, it is also available for pedestrians.
- 6. To comply with the Coors Corridor Sector Development Plan, pedestrian access for individual businesses shall not be via drive aisles and shall be provided separately from vehicular access.



PEDESTRIAN PLAN
BOSQUE PLAZA

DESIGN STANDARDS
BOSQUE PLAZA

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September 6, 2006

Sheet 3 of 3

BOSQUE PLAZA
 (BEING A REPLAT OF LOTS 1, 2, 3, 4, 5, 6A, 7A, 8 AND 9,
 LANDS OF MARTIN L. TAYLOR)
 WITHIN
 SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2004

ALBUQUERQUE CITY SURVEY MONUMENT
 NM-448-N6
 New Mexico State Plane Coordinates
 Central Zone (NAD27)
 Y = 1,514,038.11
 X = 372,524.25
 Elevation = 5,018.922 (NGVD29)
 Delta Alpha = -0074.44"
 G-C=0.9997854

ALBUQUERQUE CITY SURVEY MONUMENT
 HUGGLES
 New Mexico State Plane Coordinates
 Central Zone (NAD27)
 Y = 1,514,316.32
 X = 371,688.58
 Elevation = 5,049.93 (NGVD29)
 Delta Alpha = -0074.50"
 G-C=0.9997728



NEW LOTS AND EASEMENTS TO BE CREATED



Scale 1" = 60'

- CORNER LEGEND**
- SET 5/8" REBAR OR CONCRETE NAIL WITH CAP OR BRASS DISK MARKED "HUGG LS 9750"
 - FOUND PROPERTY CORNER AS INDICATED
 - △ SET 3 1/2" ALUMINUM CENTERLINE MONUMENT

NOTE
 All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections. All centerline monumentation will be set using the standard three and one half inch (3 1/2") aluminum monument stamped "City of Albuquerque Centerline Monument - Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
 Marksmen will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	210.00'	230.31'	128.28'	218.84'	N08°45'19" E	62°50'12"
C2	30.00'	47.13'	30.01'	42.43'	N44°49'55" W	80°30'42"
C3	30.00'	28.54'	20.00'	29.71'	N45°38'45" E	90°32'00"
C4	30.00'	51.35'	48.12'	51.21'	S31°15'01" E	117°10'28"
C5	75.00'	112.61'	75.00'	106.07'	N45°38'45" E	80°32'00"
C6	15.00'	32.92'	18.30'	31.27'	S68°58'59" W	62°49'32"
C7	100.00'	84.81'	45.14'	82.22'	N65°32'02" E	48°35'22"
C8	100.00'	28.27'	37.80'	29.71'	N20°52'02" E	41°24'30"
C9	30.00'	47.12'	29.90'	42.42'	S45°10'55" W	88°39'00"
C10	75.00'	36.72'	18.24'	36.36'	N13°21'53" W	28°03'16"
C11	100.00'	12.47'	6.22'	12.47'	N45°08'45" E	7°08'50"

LINE TABLE

LINE	BEARING	LENGTH
L1	218.84'	12.77'
L2	N27°00'40" E	28.08'
L3	N35°45'55" E	35.31'
L4	N88°05'58" E	65.98'

NOTE
 Said Lots 1 through 10 and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book A-81, Page 5418.

SHEET 4 OF 4

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 Consulting Surveyors
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