



**Environmental
Planning
Commission**

**Agenda Number: 09
Project Number: 1010879
Case #: 16EPC- 4062, 63
November 10, 2016**

Staff Report

Agent	Consensus Planning
Applicant	Cedar Investors
Request	Sector Plan Amendment (Zone Change)
Legal Description	Lots 1-3, 7-9, and A-E , block 21 Brownwell and Lail's Addition and lots F-J of the Whitteds Replat
Location	Copper Ave, between Cedar St and Mulberry Street
Size	2.2 acres
Existing Zoning	SU-2 MD-1
Proposed Zoning	SU-2 SU-1 for MD-1

Staff Recommendation
APPROVAL/ of 16 EPC 40062, Sector Development Plan Amendment(zone change) based on the Findings beginning on Page 15, and subject to the Conditions of Approval beginning on Page 21.

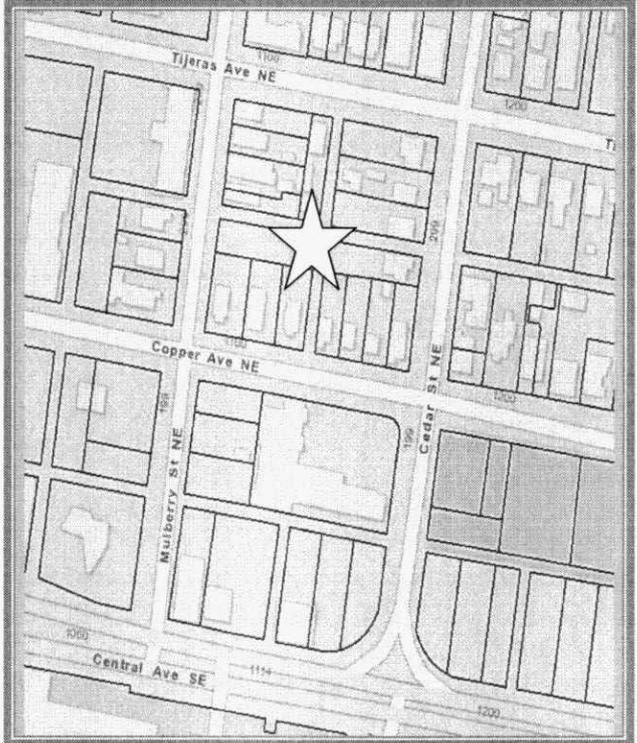
APPROVAL/ of 16 EPC 40063, Site Development Plan for Building Permit based on the Findings beginning on Page 22, and subject to the Conditions of Approval beginning on Page 27.

Staff Planner
Maggie Gould, Planner

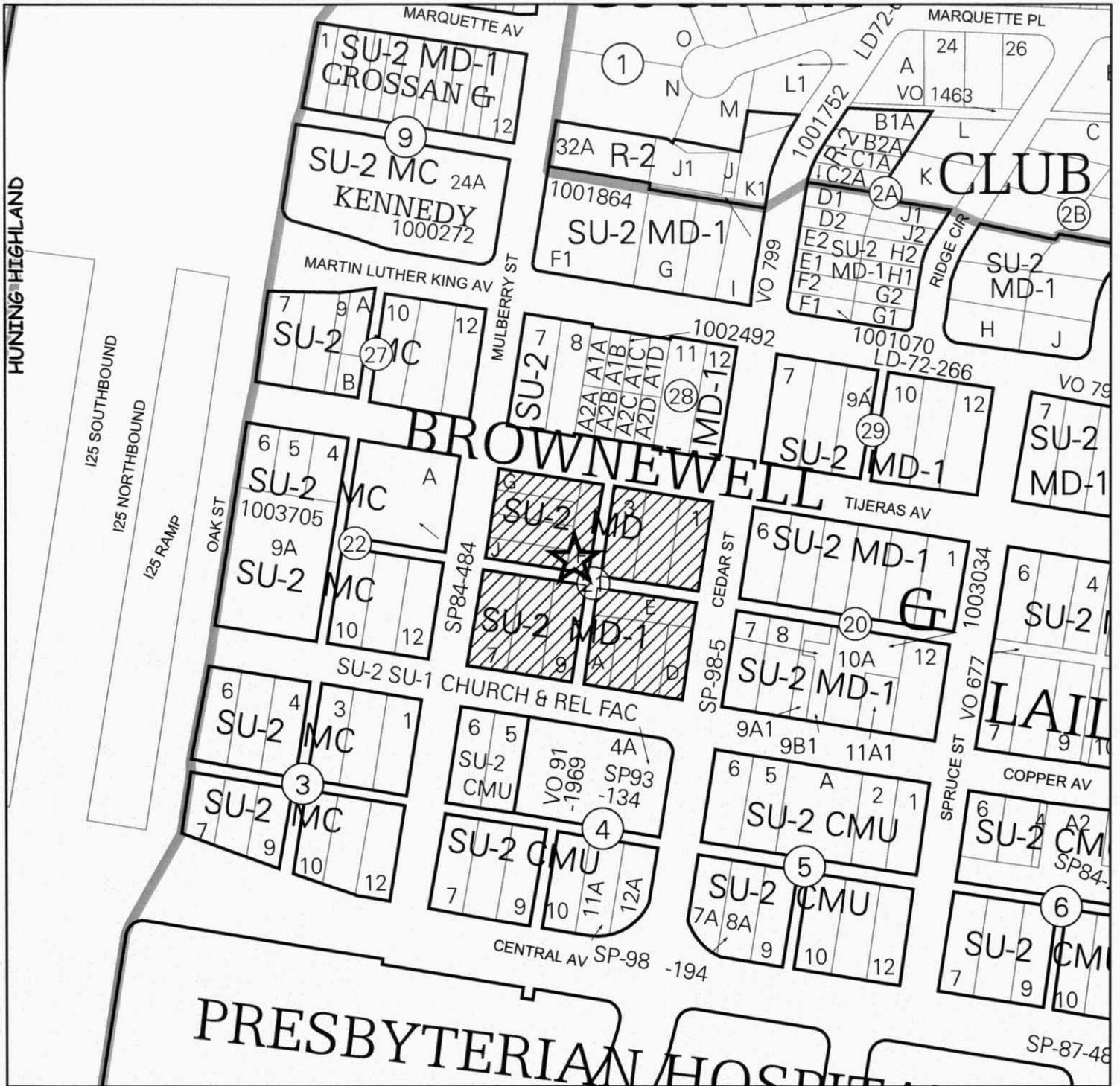
Summary of Analysis
 The applicant proposes to amend the zoning on this 2.2 acre parcel in order to develop a 74 unit apartment complex. A Site Development Plan for Building Permit accompanies the Sector Development Plan Amendment (Zone Change) as required by §14-16-2-22-(A)(1). Because the University Neighborhoods Sector Development Plan established the zoning on these lots, the zone change constitutes an amendment to that plan.

The Silver Hill, Spruce Park, Sycamore, University Heights and Victory Hills Neighborhood Associations and the District 6 Coalitions of Neighborhoods were notified by the applicant list and property owners within 100 feet of the site were notified.

A facilitated meeting was recommended, but was declined by the neighborhoods.
 Staff has not received any public comment as of this writing. Staff recommends approval.



City Departments and other interested agencies reviewed this application from 10/03/2016 to 10/19/2016
 Agency comments used in the preparation of this report begin on Page 28.



ZONING MAP

Note: Grey shading indicates County.



1 inch = 200 feet

Project Number:
1010879
Hearing Date:
11/10/2016
Zone Map Page: K-15
Additional Case Numbers:
16EPC-40062 & 40063



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 200 feet

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HISTORY MAP

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1 inch = 200 feet

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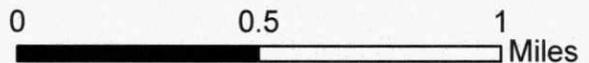


Public Facilities Map with One-Mile Buffer



- | | | | | | | | |
|--|----------------------|--|-------------------------|--|--------------------------|--|-----------------------------|
| | COMMUNITY CENTER | | FIRE | | APS Schools | | Landfill Buffer (1000 feet) |
| | MULTI-SERVICE CENTER | | POLICE | | Proposed Bike Facilities | | Landfills designated by EHD |
| | SENIOR CENTER | | SHERIFF | | ABQ Bike Facilities | | Developed County Park |
| | LIBRARY | | SOLID WASTE | | ABQ Ride Routes | | Undeveloped County Park |
| | MUSEUM | | Albuquerque City Limits | | Developed City Park | | Undeveloped City Park |

Project Number: 1010879



I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	SU-2 MD-1	Central Urban, University Neighborhoods SDP	Single Family/ Vacant
<i>North</i>	SU-2 MD-1	Same	Single family/ multifamily
<i>South</i>	SU-2 CMU, SU-2, SU-1 for Church and Related Facilities	Same	Public/ Institutional
<i>East</i>	SU-2 MD-1	Same	Single family/ multifamily
<i>West</i>	SU-2 MC	Same	Single family/ multifamily, commercial

II. INTRODUCTION

Proposal

The applicant proposes to amend the zoning on this 2.2 acre parcel in order to develop a 74 unit apartment complex, with 6 two story carriage house units fronting Tijeras Avenue and Cedar Street and a main building that will be three stories and will front on to Mulberry Street. A Site Development Plan for Building Permit accompanies the Sector Development Plan Amendment (Zone Change) as required by §14-16-2-22-(A)(1).

The applicant will replat the lots into one lot at the DRB if the request is approved.

Because the University Neighborhoods Sector Development Plan established the zoning on these lots, the zone change constitutes an amendment to that plan.

EPC Role

The EPC has the authority to hear and consider all zone map amendments and Site Development Plans associated with an SU-1 site within the City of Albuquerque [Ref: § 14-16-2-22(A)(1)]. The EPC is the final decision making body for these requests unless they are appealed. Appeals are heard and reviewed by the Land Use Hearing Office who sends a recommendation to City Council, the final decision authority for appeals. This is a quasi-judicial matter.

History/Background

The site was zoned MD-1 by the University Neighborhoods Sector Development Plan in 1986. The zoning was based on the recommendations in the Sycamore Redevelopment Plan, which called for mixed density residential development in the area around the subject site. The

applicant applied for and received a conditional use for up to 36 dwelling units per acre in August of 2016 (16 ZHE- 80162), However, the request was not advertised correctly by the city because it only referenced one lot out the entire block and notice was only sent to property owners with 100 feet of that lot. The applicant will need to return to the ZHE in order to secure the conditional use.

The two alleys that bisect the site were vacated in June of 2016 (EC-16-126). The vacation will become final when the site is replatted. There are no other project numbers associated with the site.

Context

The area is developed with a mixture of single family, multifamily, commercial, service and institutional uses. The proposed use is consistent and compatible with the surrounding zoning and development.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Central Avenue as a Principal Arterial.

The LRRS designates Martin Luther King Avenue as a Collector street.

The LRRS designates Copper Avenue, Cedar Street, Tijeras Avenue and Mulberry Street as Local streets.

Comprehensive Plan Corridor Designation

Central Avenue, approximately 600 feet from the subject site, is a designated Major Transit Corridor.

Trails/Bikeways

Martin Luther King, Jr. Blvd, approximately 600 feet from the subject site, contains a designated bike lane.

Transit

The subject site is approximately 600 feet from Central Avenue, there is an existing Rapid Ride stop between Mulberry and Cedar and a regular route 66 stop at Mulberry. An ART (Albuquerque Rapid Transit) stop will be built at Central Ave. and Cedar St.

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

III. ANALYSIS

APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

The subject site is currently zoned SU-2 MD -1, Mixed Density, pursuant to the University Neighborhoods Sector Development Plan. This zone allows uses in the R-T zone for all properties and R-3 uses on premises that comprise 20,000 square feet or an entire block.

The applicant proposes SU-2 SU-1 for MD-1, the addition of the SU-1 zone allows the applicant flexibility in the site design. The proposed SU-1 zone will not change the underlying residential uses on the site, but will allow site design that better with urban area in which the site located.

This zone provides suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons, and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.

The SU- 1 zone and accompanying Site Development Plan for Building Permit become the controlling documents for the site.

Definitions (if applicable)

SITE DEVELOPMENT PLAN.

(1) An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies:

(a) For Subdivision. The site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio. (See also MASTER DEVELOPMENT PLAN.)

(b) For Building Permits. In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for nonauto transportation, or energy conservational building construction), and proposed schedule for development.

(3) Similar, related data may be required when relevant to the city's evaluation.

(4) For property with a SC Shopping Center or IP Industrial Park designation for a project of five acres or more, submission of a Certificate of No Effect or a Certificate of Approval pursuant to the Albuquerque Archaeological Ordinance is required.

Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in the area designated Established Urban by the Comprehensive Plan with a Goal to "create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers

variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

Land Use

Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requests further Policy II.B.5.d. because the proposed use is the same as the allowed uses on many of the adjacent properties. The site design respects the existing neighborhood by improving a blighted site, having a design that steps down to meet the street, extensive landscaping that will improve the pedestrian experience on the street and screening the parking areas with a low wall.

Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to programmed urban facilities and services and where the integrity of existing neighborhood services can be ensured.

The requests further policy II.B.5.e because the site has access to a full range of existing urban infrastructure and will be designed to be compatible with the existing development.

Policy II.B.5.h.: Higher density housing is most appropriate in the following situations:

- i. In designated Activity Centers.
- ii. In areas with excellent access to the major street network.
- iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
- iv. In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
- v. In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The requests further Policy II.B.5.h because the subject site has excellent access to the existing street network and is in an area where a pattern of mixed density already exists (single family and multifamily). The proposed development will also function as a transition between the residential area to the north and more intense mixed use development allowed along Central Avenue.

Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The requests further Policy II.B.5o because the proposed zoning and allowed development will create a new housing option in an older established neighborhood. The site has a series of blighted structures that will be removed in order to develop the new apartment complex.

Central Urban Area*

*NOTE: The Central Urban Area is a portion of the Established Urban Area and as such is subject to policies of section II.B.5. as well as to those listed here. Development intensities in the Central Urban Area should generally be higher than in other portions of Established Urban.

Policy II.B.6b: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural/arts/recreation facilities.

The requests further Policy II.B.6b because the proposed development will improve the neighborhood by removing a blighted property and providing housing in close proximity to employment and services. The proposed development is also within walking distance of Central Avenue where there is access to transit and linkages to cultural, arts and recreation facilities.

Noise

Policy II.C.4a: Noise considerations shall be integrated into the planning process so that future noise/land use conflicts are prevented.

The requests further Policy II.C.4a because the proposed development will have the parking located behind the proposed carriage units or behind a four foot high wall, this will help to minimize noise. Additionally, the fitness and pool area is located in the center of the site and not directly adjacent to any existing residential development.

Developed Landscape

Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The requests further Policy II.C.8d because the landscaping plan shows the intense landscape buffer required by the University Neighborhoods Sector Development Plan. The five foot landscaping strip contains a mixture of low and medium water trees and plants that will improve the visual environment and help to control erosion by keeping the soil in place.

Transportation and Transit

Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The requests further Policy II.D.4c because the proposed zoning and allowed development will add 74 housing units in close proximity to a major transit corridor. The use is allowed by the underlying zoning. The applicant received approval from the ZHE for a conditional for

additional units. The conditional use criteria require that a proposed use is not injurious to the surrounding uses.

Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The requests further Policy II.D.4g because the Site Development Plan for Building Permit shows sidewalk connections from the building to the new sidewalks around the perimeter of the site. The site landscaping will improve the pedestrian experience. The site is within walking and biking distance of employment and services and transit.

Housing

Policy II.D.5b: Quality and innovation in new housing design and construction shall be promoted and quality of existing housing improved through concentrated renovation programs in deteriorating neighborhoods.

The requests further Policy II.D.5b because it replaces the existing blighted structures with new housing. The Site Development Plan for Building Permit shows a series buildings that relate to the street and vary in materials, colors and planes.

Policy II.D5d: Availability of a wide distribution of decent housing for all persons regardless of race, color, religion, sex, national origin, ancestry, or handicapped status shall be assured.

The requests further Policy II.D5d. The request allows the development of a new housing option in close proximity to employment and services. The development will have ground level accessible units and will be market rate and open to anyone.

University Neighborhoods Sector Development Plan- Rank III

The University Neighborhoods Sector Development Plan (UNSDP) was adopted by the City Council in July 1986 (Enactment No. 102-1986). This version of the Plan (referred to as the 1985 Plan) superseded the previous version, adopted in 1978, which was a start at addressing the area's issues. The boundaries of the UNSDP are Oak St. (which runs parallel to I-25) on the west, Marquette St. (and a small portion of Roma Ave.) and Central Ave. on the north, Girard Blvd. on the east, and St. Cyr and Hazeldine Aves. on the south (see Map 2 on p. 5). The Sycamore Metropolitan Redevelopment Area, contained within these boundaries, constitutes an eastern portion of the Plan area. Because there was a Sycamore Metropolitan Redevelopment Plan of 1982, a decision was made that the 1985 UNSDP sector plan update needed to focus on the remainder of the Plan area (p. 4).

The 1985 UNSDP further defines the area's issues (see p. 1) and addresses basic goals and major recommendations for the area. The Plan established zoning for some parcels in the area, hence the use of the SU-2 designation which indicates that a sector development plan is involved. Two design enhancement areas were identified and established: the Central Avenue Commercial Design Enhancement Area (p. 20) and the Silver Hill Residential Design Enhancement Area (p. 21). However, the subject site does not fall within either of these (see Map 4 between pages 20 and 21).

The plan has 6 basic goals, 5 are relevant to this request:

Goal 1: Improve the quality of life in the area.

Goal 2: Conserve and renew the unique qualities of this neighborhood.

The requests further goals 1 and 2 because the subject site currently contains several small houses that are in a state of disrepair. The request will redevelop the site with multifamily development that is well designed and pedestrian oriented.

Goal 3: Encourage infill residential construction in appropriate places.

The requests further goal 3 because the proposed project allowed by the proposed zoning will provide a residential infill development in an area with mixed density.

Goal 4: Encourage pedestrian orientation.

The requests further goal 4 because the smaller setbacks allow a more urban, pedestrian friendly design. The reduced parking also meets the intent of this goal by reducing interaction between vehicles and pedestrians. The site plan shows the required sidewalks around the development and connections from the proposed buildings to the sidewalks.

Goal 5: Improve conditions in business areas.

The requests further goal 5 because the proposed development will add residents to the neighborhood in a development that is close to existing businesses. The new development may provide new patrons for these businesses.

Sycamore Metropolitan Redevelopment Plan (Sycamore MRA Plan)

Basic Objectives:

1. To improve the existing "mixed use" characteristics of the area by encouraging compatible relationships between related uses and buffering incompatible uses.

The requests further Objective 1 because the proposed development will be compatible with the existing development by acting as a transition between the existing housing to the north and the more intense uses allowed along Central Avenue.

2. To improve pedestrian, transit and bicycle circulation by providing better internal connections to nearby urban centers.

The requests further Objective 2 because the development will improve the sidewalks around the site, add landscaping that improves the pedestrian experience along the street and provide housing in close proximity to transit and bike routes.

3. To prevent neighborhood decline by stimulating private reinvestment, while providing sufficient controls and guidance to ensure mutually beneficial relationships between existing and new development.

The requests further Objective 3 because they will allow the redevelopment of a blighted property by a private entity with a project that will be compatible with the existing development

because it will provide a design that steps back at the street level and provides improved sidewalk connections.

Policy One: Redevelopment with mid-rise apartments and townhouses shall be encouraged.

The requests further Policy One because will allow the redevelopment of a blighted site with two story carriage house units (townhouses) and a three story apartment building.

Policy Three: New development shall serve to preserve the neighborhood character and improve its quality.

The requests further Policy Three because they will allow the development of an urban, pedestrian friendly apartment complex that will improve the sidewalks and redevelop a blighted property.

Resolution 270-1980 (Policies for Zone Map Change Applications)

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Analysis of Applicant's Justification

Note: Policy is in regular text; Applicant's justification is in *italics*; staff's analysis is in ***bold italics***

- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

The proposed use and design are consistent with the health, safety, morals and general welfare of the City because the proposed zone does not change the underlying use, but allows flexibility in the design that will allow a more urban product that is appropriate for the area. The design will be consistent with the character of the area because it will have units that step down to two stories to blend in with the neighborhood.

The proposed zoning will be consistent with health, safety, morals and general welfare of the City because the underlying use will remain the same and the flexibility in design will allow an appropriate urban product that is consistent with the intent of the policies in the Comprehensive Plan, University Neighborhoods Sector Plan and the Sycamore Metropolitan Redevelopment Plan.

- B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

The proposed zone keeps the SU-2 prefix and the underlying residential use, but adds the SU-1 zone to allow flexibility in site design that will allow a design that is appropriate for an urban infill project. Because the underlying use does not change, the stability of land use is maintained.

The proposed zone will allow design flexibility that will allow a more urban product while maintaining the underlying residential use. The proposed zone will not destabilize the area.

- C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto, including privately developed area plans which have been adopted by the city.

Refer to policy analysis section C

- D. The applicant must demonstrate that the existing zoning is inappropriate because:
1. There was an error when the existing zone map pattern was created; or
 2. Changed neighborhood or community conditions justify the change; or
 3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

Staff's Response (refer to policy analysis for discussion of applicable policies)

The applicant states that the existing zoning is inappropriate because the proposed zone is more advantageous to the community as articulated in the applicable goals and policies of the applicable plans because it will allow flexibility in the site design. The design will have appropriate parking and setbacks for an urban area. The design allows the construction of an apartment complex that is consistent with intent of the comprehensive plan, sector and redevelopment plan to have urban development in the area.

The proposed zone allows the creation of a housing product that will serve the UNM /Nob Hill area and Presbyterian Hospital. The applicant points to high occupancy rates and the demand for apartments in the UNM/Nob Hill and Downtown areas to show a need for more apartment development in the area. The proposed apartment complex will offer a new housing option in proximity to employment and services and improved transit.

The applicant also cites changed conditions in the form of the blighted structures on the site. The demolition of these creates an opportunity for the type of redevelopment promoted in the Sycamore MRA plan.

Additionally, the applicant states that the SU-1 zone is appropriate on the site because the site has a significant grade change from northeast to southwest and the flexibility in design will better accommodate this change in grade, the proximity to transit (Central Avenue carries 40% of the city transit traffic and will have a new rapid transit), and proximity to jobs make the suburban parking requirements inappropriate. The added flexibility of the SU-1 zone

allows a development that meets the intent of the sector development plan and the MRA to have walkable, urban development.

- E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

The proposed zone will allow for site plan controlled multifamily residential development that will redevelop a blighted lot.

The proposed zoning will allow design flexibility without changing the underlying residential uses. The proposed zone will allow the development of a use that is allowed on adjacent parcels.

- F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:

1. Denied due to lack of capital funds; or
2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

The proposed zone will not require any unprogrammed capital expenditures by the city. The site is an infill location and will use the existing infrastructure.

The site has access to existing urban infrastructure and will be developed privately, without city funding.

- G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The cost of land is not the determining factor in this request.

The applicant has not cited the cost of land as part of the justification, but has cited the applicable plans and policies to show that the request is consistent with them.

- H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

The subject site is not located on a major street.

The subject is located on a local street and the apartment use is allowed under the existing zone. The applicant has justified the request by showing that it is consistent with goals and policies of the applicable plans.

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable

for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The SU-1 zone is considered a spot zone, but the change will allow the applicant to design a project that facilitates the realization of the Comprehensive Plan, Sector and MRA Plan. The zone does not change the underlying use, but permits a higher level of custom design.

The SU-1 zone is generally considered a justified spot zone because it clearly facilitates the realization of the applicable plans, in this case the proposed zone will allow flexibility in the design will allow the development of an apartment complex with appropriate urban setbacks and parking requirements that will meet the intent of the Comprehensive Plan, Sector Plan and MRA Plan to have urban redevelopment in the area.

- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The shape, use and location of the site does not qualify it as a strip zone since it encompasses an entire block. The site is proposed to be used for residential purposes and is adjacent to an existing SU-2 MD-1 zone.

The proposed zone would allow the same uses as on the adjacent SU-2 MD-1 zoned sites and would not be a strip of land that with different uses.

Other Analysis

- Traffic Impact Analysis was not required for this project because it did not meet the threshold for a Traffic Impact Analysis.
- The project adds housing on the east side of the river and will help to address the jobs to housing imbalance between the east and west sides of the river.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Request

The applicant proposes an apartment complex on a 2.2 acre site.

Section 14-16-3-11 of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan,

University Neighborhoods Sector Development Plan and the Sycamore Neighborhoods Redevelopment Plan.

Site Plan Layout / Configuration

The proposed development will contain five buildings, three two unit carriage house apartment at 2,000 square feet, one three story apartment building at 65,000 square feet with 68 units and one fitness building with a pool and spa at 2,155 square feet.

The entrance to the main building faces Mulberry Street.

Two carriage houses with two units each are proposed on Tijeras Ave. and one building Cedar St., also with two units. The carriage units are shown as approximately 22 feet for a maximum height.

The main building will be 38 feet at the highest.

The R-3 zone allows building of up to 26 feet at any location and additional for building that fall under the required angle planes. Under the SU-1 zone the EPC has discretion over height.

The parking is towards the center of the site and will be screen by a combination of low walls, landscaping and the carriage unit buildings.

A single trash enclosure is shown at the southeast corner of the site and double trash enclosure is shown at the northeast corner of the site.

Public Outdoor Space

The Site Plan for Building Permit shows a pool area with seating and a patio area outside of the proposed fitness center. Additional open space is provided in the form of private balconies and landscaped areas.

The R-3 zone requires 200 square feet of open space for each studio or one bedroom unit and 250 square feet of open space for each two bedroom unit.

The applicant proposes 6 studios, 42 one bedroom units and 26 two bedroom units for a total of 16,100 required square feet of open space. The applicant will provide 13,850 on the ground level and 4,605 in the form of private balcony space. The open space meets the R-3 requirement.

Vehicular Access, Circulation and Parking

The site takes access from Copper Ave via 30 foot wide drive and access from Mulberry Street via a 26 foot wide drive.

Off Street Parking Requirements, §14-16-3-1(24) require one space per bath, but not less than 1.5 spaces for units less 1,000 square feet and not less two spaces for units over 1,000 square feet.

The applicant is proposing:

48 one bedroom, one bathroom units less 1,000 square feet

9 two bedroom, two bath room units less than 1,000 square feet

17 two bedroom two bathroom units over 1,000 square feet

124 spaces would be required for the development. The applicant is proposing 94. The EPC has discretion over parking standards. The site is near transit and employment and services. The reduced parking allows for a more urban development.

Pedestrian and Bicycle Access and Circulation, Transit Access

New six wide sidewalks are proposed around the perimeter of the site. Sidewalk connections are shown from the proposed buildings to the street.

Walls/Fences

A six foot height retaining wall is shown along the east side of the site. A six foot wall tubular steel fence will surround the site. 14-16-3-19(2)(a), General Height and Design Regulations for Walls, Fences and Retaining Walls, allows the fencing.

Lighting and Security

Fifteen foot tall standard light poles are shown in the parking areas. These meet the requirement to have light poles not exceed 16 feet with 100 feet of residential zones site. Building mounted lights are shown throughout the site.

Landscaping

The University Neighborhoods Plan calls for intense landscaping along the perimeter of the site to screen the site. The plan shows a mixture of native and low to medium water species that are generally successful in the area. The landscaping exceeds the zoning code requirements by provided 32 % net lot coverage rather than 15% net lot coverage.

Grading, Drainage, Utility Plans

The site slopes from northwest to south with a change in grade of approximately 10 feet.

Storm water will be captured in landscaped water harvesting areas; remaining flows will be accommodated in the existing infrastructure in Copper Avenue and Mulberry Street.

Architecture

The proposed buildings meet the requirements of 14-16-3-18 to have changes in plane, material and color to break up the facades. The main building has balconies that further this requirement.

Signage

14-16-3-5(D)(7)(c) allows a building mounted sign up 40 feet in size for apartments over 24 units. The applicant proposes an approximately 20 square foot sign west elevation of building facing Mulberry Street. No other signage is shown.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

The applicant updated the site plan to address the comments from transportation.

The Metropolitan Redevelopment Agency states that the request will further the MRA Plan Commercial, Residential and Physical needs goals by bringing in more residents and making it more likely that improvement will occur in commercial services and a reduction in vacancies in the area. The area's proximity to the hospitals/large employers and educational institutions and the significant demand for housing meets the residential goal. The most significant point is the third point regarding preventing neighborhood decline by stimulating private reinvestment and ensuring mutually beneficial relationships between existing and new development.

The removal of a property that would attract illegal dumping on the site, weeds and litter meets the physical needs goal.

ASP notes that Monte Vista Elementary is over capacity and may need to revise its transfer policy if the proposed project generates many students.

Neighborhood/Public

The Silver Hill, Spruce Park, Sycamore, University Heights and Victory Hills Neighborhood Associations and the District 6 Coalitions of Neighborhoods were notified by the applicant.

A facilitated meeting was recommended, but was declined by the neighborhoods.

The City notified property owners within 100 feet of the site.

Staff received one phone call expressing concern about the precedent that the zone change might set, but staff has not received any written comment as of this writing.

V. CONCLUSION

This a request for a Sector Development Plan amendment (zone change) for 2.2 acre site located between Cedar Street, and Mulberry Street and Copper Avenue and Tijeras Avenue to the allow the development of a 74 unit apartment complex.

The applicant has justified the zone changes as being more advantageous to the community as articulated in the applicable plans because it allow the redevelopment of a blighted property with an appropriate urban in fill product and due to changed conditions in the form a blighted site.

FINDINGS – 16 EPC-40061, November 10, 2016 – Sector Development Plan Map Amendment (Zone Change)

1. This is a request for a Sector Development Plan Amendment (zone change) from SU-2 MD-1 to SU-2 SU-1 for MD-1 for Lots 1-3, 7-9, and A-E, block 21 Brownwell and Lail's Addition and lots F-J of the Whitteds Replat located on Copper Ave, between Cedar St and Mulberry Street and containing 2.2 acres.
2. The applicant proposes to amend the zoning to allow the development of a 74 unit apartment complex.
3. The applicant received a conditional use for up to 36 dwelling units per acre in August of 2016 (16 ZHE- 80162). However, the request was not advertised correctly by the city because it only referenced one lot out the entire block and notice was only sent to property owners with 100 feet of that lot. The applicant will need to return to the ZHE in order to secure the conditional use.
4. The two alleys that bisect the site were vacated in June of 2016 (EC-16-126). The site will be replatted at DRB to finalize this vacation.
5. The Albuquerque/Bernalillo County Comprehensive Plan, University Neighborhoods Sector Development Plan, Sycamore Redevelopment Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Central Urban Area, a portion of the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:

Land Use

- a. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The request furthers Policy II.B.5.d. because the proposed use is the same as the allowed uses on many of the adjacent properties. The site design respects the existing neighborhood by improving a blighted site, having a design that steps down to meet the street, extensive landscaping that will improve the pedestrian experience on the street and screening the parking areas with a low wall.

-
- b. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to programmed urban facilities and services and where the integrity of existing neighborhood services can be ensured.

The request furthers policy II.B.5.e because the site has access to a full range of existing urban infrastructure and will be designed to be compatible with the existing development.

- c. Policy II.B.5.h.: Higher density housing is most appropriate in the following situations:
- i. In designated Activity Centers.
 - ii. In areas with excellent access to the major street network.
 - iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
 - iv. In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
 - v. In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The request furthers Policy II.B.5.h because the subject site has excellent access to the existing street network and is in an area where a pattern of mixed density already exists (single family and multifamily). The proposed development will also function as a transition between the residential area to the north and more intense mixed use development allowed along Central Avenue.

- d. Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5o because the proposed zoning and allowed development will create a new housing option in an older established neighborhood. The site has a series of blighted structures that will be removed in order to development the new apartment complex.

Central Urban Area*

*NOTE: The Central Urban Area is a portion of the Established Urban Area and as such is subject to policies of section II.B.5. as well as to those listed here. Development intensities in the Central Urban Area should generally be higher than in other portions of Established Urban.

- a. Policy II.B.6b: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural/arts/recreation facilities.

The request furthers Policy II.B.6b because the proposed development will improve the neighborhood by removing a blighted property and providing housing in close proximity to employment and services. The proposed development is also within walking distance of Central Avenue where there is access to transit.

Noise

- a. Policy II.C.4a: Noise considerations shall be integrated into the planning process so that future noise/land use conflicts are prevented.

The request furthers Policy II.C.4a because the proposed development will have the parking located behind the proposed carriage units or behind a four foot high wall, this will help to minimize noise. Additionally, the fitness and pool area is located in the center of the site and not directly adjacent to any existing residential development.

Developed Landscape

- a. Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The request furthers Policy II.C.8d because the landscaping plan shows the intense landscape buffer required by the University Neighborhoods Sector Development Plan. The five foot landscaping strip contains a mixture of low and medium water trees and plants that will improve the visual environment and help to control erosion by keeping the soil in place.

Transportation and Transit

- a. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The request furthers Policy II.D.4c because the proposed zoning and allowed development will add 74 housing units in close proximity to a major transit corridor. The use is allowed by the underlying zoning. The applicant received approval from the ZHE for a conditional for additional units. The conditional use criteria require that a proposed use is not injurious to the surrounding uses.

- b. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The request furthers Policy II.D.4g because the Site Development Plan for Building Permit shows sidewalk connections from the building to the new sidewalks around the perimeter of the site. The site landscaping will improve the pedestrian experience. The site is within walking and biking distance of employment and services and transit.

Housing

- a. Policy II.D.5b: Quality and innovation in new housing design and construction shall be promoted and quality of existing housing improved through concentrated renovation programs in deteriorating neighborhoods.

The request furthers Policy II.D.5b because it replaces the existing blighted structures with new housing. The Site Development Plan for Building Permit shows a series of buildings that relate to the street and vary in materials, colors and planes.

- b. Policy II.D5d: Availability of a wide distribution of decent housing for all persons regardless of race, color, religion, sex, national origin, ancestry, or handicapped status shall be assured.

The request furthers Policy II.D5d The request allows the development of a new housing option in close proximity to employment and services. The development will have ground level accessible units and will be open to anyone.

7. The subject site is within the University Neighborhoods Sector Development Plan. The plan has 6 basic goals, 5 are relevant to this request:

- a. Goal 1: Improve the quality of life in the area.

- b. Goal 2: Conserve and renew the unique qualities of this neighborhood.

The request furthers goals 1 and 2 because the subject site currently contains several small houses that are in a state of disrepair. The request will redevelop the site with multifamily development that is well designed and pedestrian oriented.

- c. Goal 3: Encourage infill residential construction in appropriate places.

The request furthers goal 3 because the proposed project allowed by the proposed zoning will provide a residential infill development in an area with mixed density.

- d. Goal 4: Encourage pedestrian orientation.

The request furthers goal 4 because the smaller setbacks allow a more urban, pedestrian friendly design. The reduced parking also meets the intent of this goal by reducing interaction between vehicles and pedestrians. The site plan shows the required sidewalks around the development and connections from the proposed buildings to the sidewalks.

- e. Goal 5: Improve conditions in business areas.

The request furthers goal 5 because the proposed development will add residents to the neighborhood in a development that is close to existing businesses. The new development may provide new patrons for these businesses.

8. The subject site is within the boundaries of the Sycamore Redevelopment Plan. The applicable Basic Objectives and Policies are:

- a. To improve the existing "mixed use" characteristics of the area by encouraging compatible relationships between related uses and buffering incompatible uses.

The request furthers Objective 1 because the proposed development will be compatible with the existing development by acting as a transition between the existing housing to the north and the more intense uses allowed along Central Avenue.

- b. To improve pedestrian, transit and bicycle circulation by providing better internal connections to nearby urban centers.

The request furthers Objective 2 because the development will improve the sidewalks around the site, add landscaping that improves the pedestrian experience along the street and provide housing in close proximity to transit and bike routes.

- c. To prevent neighborhood decline by stimulating private reinvestment, while providing sufficient controls and guidance to ensure mutually beneficial relationships between existing and new development.

The request furthers Objective 3 because they will allow the redevelopment of a blighted property by a private entity with a project that will be compatible with the existing development because it will provide a design that steps back at the street level and provides improved sidewalk connections.

- d. Policy One: Redevelopment with mid-rise apartments and townhouses shall be encouraged.

The request furthers policy one because will allow the redevelopment of a blighted site with two story carriage house units (townhouses) and a three story apartment building.

- e. Policy Three: New development shall serve to preserve the neighborhood character and improve its quality.

The request furthers policy 3 because they will allow the development of an urban, pedestrian friendly apartment complex that will improve the sidewalks and redevelop a blighted property.

9. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:

A. The proposed zoning will be consistent with health, safety, morals and general welfare of the City because the underlying use will remain the same and the flexibility in design will allow an appropriate urban product that is consistent with the intent of the policies in the Comprehensive Plan, University Neighborhoods Sector Plan and the Sycamore Metropolitan Redevelopment Plan.

B. The proposed zone keeps the SU-2 prefix and the underlying residential use, but adds the SU-1 zone to allow flexibility in site design that will allow a design that is appropriate for an urban infill project. Because the underlying use does not change, the stability of land use is maintained.

C. See findings 6, 7 and 8

D. The existing zoning is inappropriate because the proposed zone is more advantageous to the community as articulated in the applicable goals and policies of the applicable plans because it will allow flexibility in the site design. The design will have appropriate parking and setbacks for an urban area. The design allows the construction of an apartment complex that is consistent with intent of the comprehensive plan, sector and redevelopment plan to have urban development in the area.

The proposed zone allows the creation of a housing product that will serve the UNM /Nob Hill area and Presbyterian Hospital. The applicant points to high occupancy rates for apartments in the UNM/Nob Hill and Downtown areas to show a need for more apartment development in the area. The proposed apartment complex will offer a new housing option in proximity to employment and services and improved transit.

There are changed conditions in the form of the blighted structures on the site. The demolition of these creates an opportunity for the type of redevelopment promoted in the Sycamore MRA plan.

Additionally, the SU-1 zone is appropriate on the site because the site has a significant grade change from northeast to southwest and the flexibility in design will better accommodate this change in grade, the proximity to transit (Central Avenue carries 40% of the city transit traffic and will have a new rapid transit), and proximity to jobs make the suburban parking requirements inappropriate. The added flexibility of the SU-1 zone allows a development that meets the intent of the sector development plan and the MRA to have walkable, urban development.

E. The proposed zoning will allow design flexibility without changing the underlying residential uses. The proposed zone will allow the development of a use that is allowed on adjacent parcels. The proposed zone will not be harmful to the adjacent property, neighborhood or community.

F. The request will not result major and unprogrammed capital expenditures by the city: the site has access to existing urban infrastructure and will be developed privately, without city funding.

G. The applicant has not cited the cost of land as part of the justification, but has cited the applicable plans and policies to show that the request is consistent with them.

H. The subject is located on a local street and the apartment use is allowed under the existing zone. The applicant has justified the request by showing that it is consistent with goals and policies of the applicable plans.

I. The SU-1 zone is generally considered a justified spot zone because it clearly facilitates the realization of the applicable plans, in this case the proposed zone will allow flexibility in the design will allow the development of an apartment complex with appropriate urban setbacks and parking requirements that will meet the intent of the Comprehensive Plan, Sector Plan and MRA Plan to have urban redevelopment in the area

- J. The proposed zone would allow the same uses as on the adjacent SU-2 MD-1 zoned sites and would not be a strip of land that with a different zone.
10. ZHE approval is required for the conditional use.
 11. A Site Development Plan for Building Permit is heard concurrently with this request as required by §14-16-2-22(A)(1).
 12. Because the zone was imposed by the University Neighborhoods Sector Development Plan, this request constitutes a map amendment to that plan.
 13. The Metropolitan Redevelopment Agency states that the request will further the MRA Plan Commercial, Residential and Physical needs goals by bringing in more residents and making it more likely that improvement will occur in commercial services and a reduction in vacancies in the area. The area's proximity to the hospitals/large employers and educational institutions and the significant demand for housing meets the residential goal. The most significantly prevent neighborhood decline by stimulating private reinvestment and ensuring mutually beneficial relationships between existing and new development.
 14. The Silver Hill, Spruce Park, Sycamore, University Heights and Victory Hills Neighborhood Associations and the District 6 Coalitions of Neighborhoods were notified by the applicant. A facilitated meeting was recommended, but was declined. The City notified property owners within 100 feet of the site. Staff received one phone call expressing concern about the precedent that the zone change might set, but staff has not received any written comment as of this writing.

RECOMMENDATION - (16EPC-40062) November 10, 2016

APPROVAL 16 EPC 40062, a request for Sector Development Plan Map Amendment from SU-2 MD-1 to SU-2, SU-1 MD-1 for Lots 1-3, 7-9, and A-E , block 21 Brownell and Lail's Addition and lots F-J of the Whitteds Replat located on Copper Ave, between Cedar St and Mulberry Street and containing 2.2 acres., based on the preceding Findings and subject to the following Conditions of Approval .

CONDITIONS OF APPROVAL – 16 EPC 40062, November 10, 2016 SECTOR DEVELOPMENT PLAN MAP AMENDMENT (Zone Change)

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

FINDINGS – 16 EPC-40063 -November 10, 2016 -Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit for 1-3, 7-9, and A-E , block 21 Brownwell and Lail's Addition and lots F-J of the Whitteds Replat located on Copper Ave, between Cedar St and Mulberry Street and containing 2.2 acres.
2. The applicant proposes to develop a 74 unit apartment complex consisting of 6 two story carriage house units in 3 2,000 square foot buildings, a main three story 65,025 square foot building with 68 studio, one bedroom and two bedroom apartments and a pool and 2,155 square foot fitness building.
3. The applicant received a conditional use for up to 36 dwelling units per acre in August of 2016 (16 ZHE- 80162). The two alleys that bisect the site were vacated in June of 2016 (EC-16-126). There are no other project numbers associated with the site
4. The Albuquerque/Bernalillo County Comprehensive Plan, University Neighborhoods Sector Development Plan, Sycamore Redevelopment Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes
5. The subject site is within the Central Urban Area, a portion of the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:

Land Use

- a. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The request furthers Policy II.B.5.d. because the proposed use is the same as the allowed uses on many of the adjacent properties. The site design respects the existing neighborhood by improving a blighted site, having a design that steps down to meet the street, extensive landscaping that will improve the pedestrian experience on the street and screening the parking areas with a low wall.

- b. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to programmed urban facilities and services and where the integrity of existing neighborhood services can be ensured.

The request furthers policy II.B.5.e because the site has access to a full range of existing urban infrastructure and will be designed to be compatible with the existing development.

- c. Policy II.B.5.h.: Higher density housing is most appropriate in the following situations:
- i. In designated Activity Centers.
 - ii. In areas with excellent access to the major street network.
 - iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses and where adequate infrastructure is or will be available.
 - iv. In areas now predominantly zoned single-family only where it comprises a complete block face and faces onto similar or higher density development; up to 10 dwelling units per net acre.
 - v. In areas where a transition is needed between single-family homes and much more intensive development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.

The request furthers Policy II.B.5.h because the subject site has excellent access to the existing street network and is in an area where a pattern of mixed density already exists (single family and multifamily). The proposed development will also function as a transition between the residential area to the north and more intense mixed use development allowed along Central Avenue.

- d. Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5o because the proposed zoning and allowed development will create a new housing option in an older established neighborhood. The site has a series of blighted structures that will be removed in order to development the new apartment complex.

Central Urban Area*

*NOTE: The Central Urban Area is a portion of the Established Urban Area and as such is subject to policies of section II.B.5. as well as to those listed here. Development intensities in the Central Urban Area should generally be higher than in other portions of Established Urban.

- a. Policy II.B.6b: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural/arts/recreation facilities.

The request furthers Policy II.B.6b because the proposed development will improve the neighborhood by removing a blighted property and providing housing in close proximity to employment and services. The proposed development is also within walking distance of Central Avenue where there is access to transit.

Noise

- a. Policy II.C.4a: Noise considerations shall be integrated into the planning process so that future noise/land use conflicts are prevented.

The request furthers Policy II.C.4a because the proposed development will have the parking located behind the proposed carriage units or behind a four foot high wall, this will help to minimize noise. Additionally, the fitness and pool area is located in the center of the site and not directly adjacent to any existing residential development.

Developed Landscape

- a. Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The request furthers Policy II.C.8d because the landscaping plan shows the intense landscape buffer required by the University Neighborhoods Sector Development Plan. The five foot landscaping strip contains a mixture of low and medium water trees and plants that will improve the visual environment and help to control erosion by keeping the soil in place.

Transportation and Transit

- a. Policy II.D.4c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

The request furthers Policy II.D.4c because the proposed zoning and allowed development will add 74 housing units in close proximity to a major transit corridor. The use is allowed by the underlying zoning. The applicant received approval from the ZHE for a conditional for additional units. The conditional use criteria require that a proposed use is not injurious to the surrounding uses.

- b. Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The request furthers Policy II.D.4g because the Site Development Plan for Building Permit shows sidewalk connections from the building to the new sidewalks around the perimeter of the site. The site landscaping will improve the pedestrian experience. The site is within walking and biking distance of employment and services and transit.

Housing

- a. Policy II.D.5b: Quality and innovation in new housing design and construction shall be promoted and quality of existing housing improved through concentrated renovation programs in deteriorating neighborhoods.

The request furthers Policy II.D.5b because it replaces the existing blighted structures with new housing. The Site Development Plan for Building Permit shows a series buildings that relate to the street and vary in materials, colors and planes.

- b. Policy II.D5d: Availability of a wide distribution of decent housing for all persons regardless of race, color, religion, sex, national origin, ancestry, or handicapped status shall be assured.

The request furthers Policy II.D5d The request allows the development of a new housing option in close proximity to employment and services. The development will have ground level accessible units and will be open to anyone.

6. The subject site is within the University Neighborhoods Sector Development Plan The plan has 6 basic goals, 5 are relevant to this request:

- a. Goal 1: Improve the quality of life in the area.
b. Goal 2: Conserve and renew the unique qualities of this neighborhood.

The request furthers goals 1 and 2 because the subject site currently contains several small houses that are in a state of disrepair. The request will redevelop the site with multifamily development that is well designed and pedestrian oriented.

- c. Goal 3: Encourage infill residential construction in appropriate places.

The request furthers goal 3 because the proposed project allowed by the proposed zoning will provide a residential infill development in an area with mixed density.

- d. Goal 4: Encourage pedestrian orientation.

The request furthers goal 4 because the smaller setbacks allow a more urban, pedestrian friendly design. The reduced parking also meets the intent of this goal by reducing interaction between vehicles and pedestrians. The site plan shows the required sidewalks around the development and connections from the proposed buildings to the sidewalks.

- e. Goal 5: Improve conditions in business areas.

The request furthers goal 5 because the proposed development will add residents to the neighborhood in a development that is close to existing businesses. The new development may provide new patrons for these businesses.

7. The subject site is within the boundaries of the Sycamore Redevelopment Plan. The applicable Basic Objectives and Policies are:

- a. To improve the existing "mixed use" characteristics of the area by encouraging compatible relationships between related uses and buffering incompatible uses.

The request furthers Objective 1 because the proposed development will be compatible with the existing development by acting as a transition between the existing housing to the north and the more intense uses allowed along Central Avenue.

- b. To improve pedestrian, transit and bicycle circulation by providing better internal connections to nearby urban centers.

The request furthers Objective 2 because the development will improve the sidewalks around the site, add landscaping that improves the pedestrian experience along the street and provide housing in close proximity to transit and bike routes.

- c. To prevent neighborhood decline by stimulating private reinvestment, while providing sufficient controls and guidance to ensure mutually beneficial relationships between existing and new development.

The request furthers Objective 3 because they will allow the redevelopment of a blighted property by a private entity with a project that will be compatible with the existing development because it will provide a design that steps back at the street level and provides improved sidewalk connections.

- d. Policy One: Redevelopment with mid-rise apartments and townhouses shall be encouraged.

The request furthers policy one because will allow the redevelopment of a blighted site with two story carriage house units (townhouses) and a three story apartment building.

- e. Policy Three: New development shall serve to preserve the neighborhood character and improve its quality.

The request furthers policy 3 because they will allow the development of an urban, pedestrian friendly apartment complex that will improve the sidewalks and redevelop a blighted property.

8. A Sector Development Plan Map Amendment (zone change) is heard concurrently with this request.
9. The Silver Hill, Spruce Park, Sycamore, University Heights and Victory Hills Neighborhood Associations and the District 6 Coalitions of Neighborhoods were notified by the applicant. A facilitated meeting was recommended, but was declined. The City notified property owners within 100 feet of the site. Staff received one phone call expressing concern about the precedent that the zone change might set, but staff has not received any written comment as of this writing.

RECOMMENDATION - 16 EPC 40063 November 10th, 2016-

APPROVAL of 16EPC-40063, a request for Site Development Plan for Building Permit), for 1-3, 7-9, and A-E , block 21 Brownwell and Lail's Addition and lots F-J of the Whitteds Replat located on Copper Ave, between Cedar St and Mulberry Street and containing 2.2 acres, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – 16 EPC 40063 November 10th, 2016- Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall address any outstanding transportation conditions prior to DRB.
4. ZHE approval is required for the conditional use.
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

Maggie Gould
Planner

MG

Notice of Decision cc list:
Consensus Planning
Cedar Investor

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Office of Neighborhood Coordination

Long Range Planning

The proposed development is very appropriate on this site near the Central Avenue Corridor, which has premium transit, and is in close proximity to a future ART station.

Metropolitan Redevelopment Agency

In reviewing the application submitted by Titan Presbyterian we would like to make a few comments. Metropolitan Redevelopment (MR) supports the 3 points provided in the EPC submittal. The most significant point is the third point regarding preventing neighborhood decline by stimulating private reinvestment and ensuring mutually beneficial relationships between existing and new development.

Information from Sycamore Metropolitan Redevelopment Plan:

We would also like to include other points in the plan that take into consideration: Commercial needs, Residential needs and Physical improvements.

Commercial needs, include a decline in neighborhood serving services and by bringing in more residents you are more likely to see an improvement in commercial services and a reduction in vacancies in the area.

Residential needs, include the area's proximity to both the hospitals/large employers and educational institutions and the significant demand for housing.

Physical needs, include the removal of a property that would attract illegal dumping on the site, weeds and litter.

CITY ENGINEER

Transportation Development

16EPC-40062 Sector Development Plan Map Amendment

- No objection to the request.

16EPC-40063 Site Development Plan for Building Permit

- All work within the public ROW must be constructed under a COA Work Order.
1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. List radii for all curves shown; for passenger vehicles, the minimum end island radius for passenger vehicles is 15 ft. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
2. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
4. TCL Comment 4: Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. TCL Comment 5: Identify the right of way width and street widths.

Hydrology Development

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations

NMDOT

NMDOT comments will be late this month

WATER UTILITY AUTHORITY

Utility Services

16EPC-40062 Sector Development Plan Map Amendment

a. No adverse comments.

16EPC-40063 Site Development Plan for Building Permit

b. Serviceability statement #150801R was issued on 02/08/16 for a larger development in which the proposed site is included. As stated in this statement, conceptual fire requirements were used for analysis, therefore, this document is incomplete. A new availability statement request shall be made to include the fire marshal requirements.

c. All onsite water and sanitary sewer shall be considered private.

d. Large water meter will require a 35'x35' easement. If to be located in the public right-of-way, then only easement will be needed to provide the remaining portion of the 35'x'35' area.

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

No adverse comments on either application.

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

The amount of proposed refuse service is inadequate for facility's square footage, recommend double refuse enclosures. All new/proposed refuse enclosures must be built to COA minimum requirements. Do not plant anything next to refuse enclosures that will create an overhang.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

Both Rapid Rides and Route 66 stop on Central at Presbyterian Hospital Cedar Avenue, no comments or requested conditions

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed. No comment.

ALBUQUERQUE PUBLIC SCHOOLS

- a. EPC Description: (1) 16EPC-40062 Sector Development Plan Map Amendment; (2) 16EPC-40063 Site Development Plan for Building Permit
- b. Site Information: Lots 1-3, 7-9, A-E, F-J, Block 21, Brownnewell and Lails Highland Addition, zoned SU-2 MD-1 to SU-2/SU-1 for MD-1, located on Copper Ave., between Cedar St. and Mulberry St., containing approximately 2.2 acres.
- c. Property Address: Copper Ave between Cedar St. and Mulberry St.
- d. Request Description: The owner of the above property requests approval for (1) University Neighborhood Sector Plan Map Amendment from SU02 for DR (Diverse Residential) to SU-2/SU-1 for DR (Diverse Residential) within the; (2) Site Development Plan for Building Permit. These two requests if approved will initiate the first phase of a 5-block mixed-use development across from Presbyterian Hospital that will consist of multi-family residential, a hotel, retail and restaurants.

The proposed development consists of 74 studio, one bedroom, and two bedroom units.

a. APS Comments: The request for development of 74 residential units in this area will have impacts to the Monte Vista Elementary School, Jefferson Middle School, and Albuquerque High School. Currently, Monte Vista Elementary School is exceeding capacity. Jefferson Middle School and Albuquerque High School have excess capacity to accommodate growth.

- Residential Units: 74
- Est. Elementary School Students: 19
- Est. Middle School Students: 8
- Est. High School Students: 8
- Est. Total # of Students from Project: 35

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

School Capacity

Loc No	School	2016-17 40th Day	Capacity	Space Available
312	Monte Vista	494	447	<u>-47</u>
425	Jefferson MS	850	1039	189
590	Albuquerque HS	1803	1900	97

- Monte Vista Elementary is located in an established area of the City. It has a high rate of transfer student enrollment. In the future, if overcrowding is realized from the subject development, APS will modify its student transfer policy to Monte Vista to accommodate residential students.
- To address future overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools:
 1. Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
 2. Improve facility efficiency (short term solution)
 - a. Schedule Changes
 - i. Double sessions
 - ii. Multi-track year-round
 - b. Other
 - i. Float teachers (flex schedule)
 3. Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
 4. Combination of above strategies
- **All planned additions to existing educational facilities are contingent upon taxpayer approval.**

MID-REGION COUNCIL OF GOVERNMENTS

MRMPO has no adverse comments.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

1. Numerous existing overhead distribution facilities are located on the subject property. It is the applicant's obligation to abide by any conditions or terms of those easements. PNM requests a meeting with the applicant to discuss easements issues

2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project and to coordinate proposed sign location and height, tree location and height, and lighting height in order to ensure sufficient safety clearances from existing overhead electric distribution facilities as well as, based on the site plan, apparent relocation work before the EPC hearing. Contact:

Mike Moyer

PNM Service Center

4201 Edith Boulevard NE

Albuquerque, NM 87107

Phone: (505) 241-3697

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.



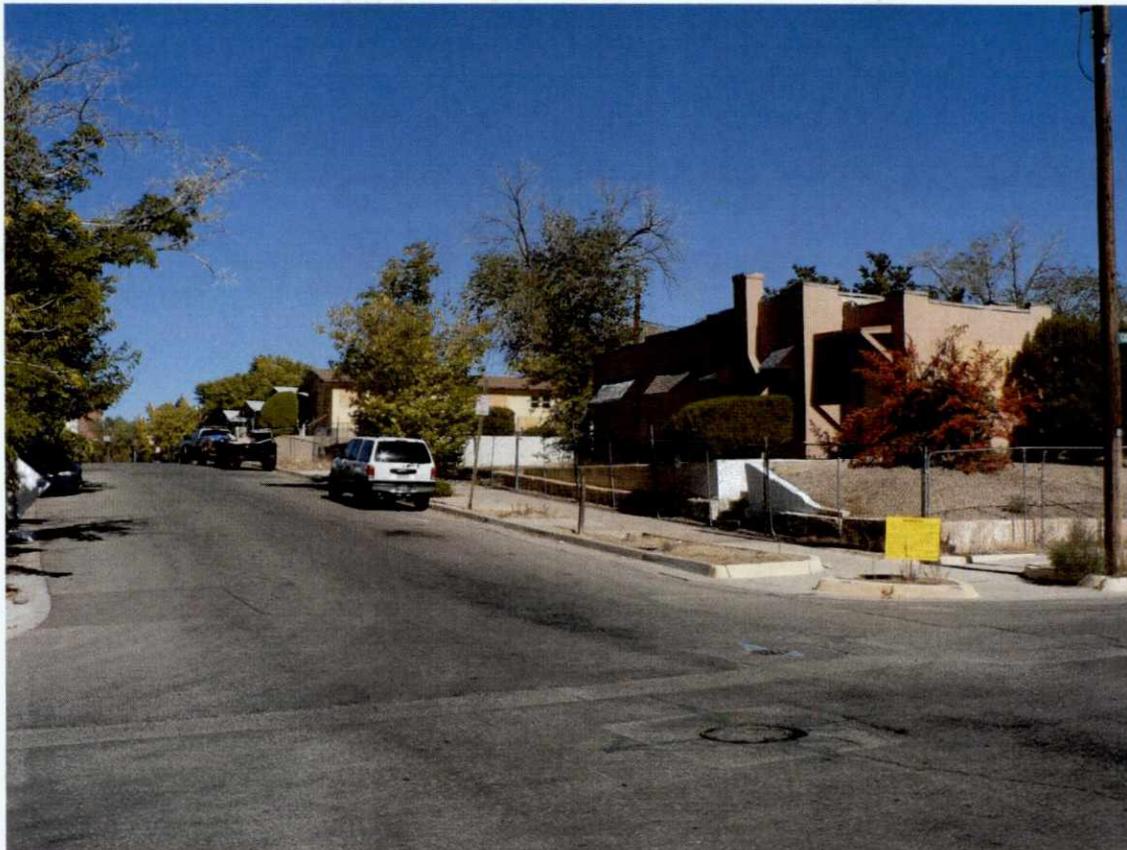
Looking at the corner of Tijeras Ave and Mulberry St
Looking the corner of Copper Ave and Cedar St





Looking at the corner of Tijeras Ave and Cedar St

Looking at the corner of Copper Ave and Mulberry St





HISTORY



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

CEDAR INVESTORS, LLC (CONSENSUS PLANNING, AGENT) requests a special exception to Section 14-16-2-23(A) / Pg 74-75 University Neighborhoods SDP and 14-16-2-12(B)(2) : a CONDITIONAL USE to allow up to 36 dwelling units per acre in a SU-2 MD1 zone for a proposed new lot for all or a portion of Lot 7, Block 21, Brownwell & Lails Highland Addn zoned SU-2 MD1, located on 200 MULBERRY ST NE (K-15)

Special Exception No:..... **16ZHE-80162**
Project No:..... **Project# 1010879**
Hearing Date:..... 07-19-16
Closing of Public Record:..... 07-19-16
Date of Decision: 08-03-16

On the 19th day of July, 2016, CONSENSUS PLANNING (“Agent”) acting as agent on behalf of the property owner CEDAR INVESTORS, LLC (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow up to 36 dwelling units per acre in a SU-2 MD1 zone (“Application”) upon the real property located at 200 MULBERRY ST NE (“Subject Property”). Below are the ZHE’s findings of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow up to 36 dwelling units per acre in a SU-2 MD1 zone.
2. The City of Albuquerque Code of Ordinances Section 14-16-4-2(C)(1) (Special Exceptions – Conditional Use) reads: *“A conditional use shall be approved if and only if, in the circumstances of the particular case and under conditions imposed, the use proposed:*
 - (a) *Will not be injurious to the adjacent property, the neighborhood, or the community;*
 - (b) *Will not be significantly damaged by surrounding structures or activities.*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-4-2(C).
4. The ZHE finds that in the proposed use will not be injurious to the adjacent property, the neighborhood, or the community as required by Section 14-16-4-2(C)(1)(a).
5. Specifically, the proposed density will be harmonious with the subject property. It will not detrimentally impact neighborhood character or security. The increased density will not unreasonably increase intensity of use, noise or traffic.
6. To the contrary, the proposed project will address current blighted conditions with appropriate redevelopment.
7. The proposed project is in conformance with the University Neighborhoods Sector Development Plan for the MD-1 category, 20,000+ square foot projects on a full block. (Plan, pg. 74).

8. The ZHE finds that in the proposed use will not be significantly damaged by surrounding structures or activities as required by Section 14-16-4-2(C)(1)(b).
9. The ZHE finds that the proper "Notice of Hearing" signage was posted for the required time period as required by Section 14-16-4-2(B)(4).
10. The ZHE finds that the Applicant has authority to pursue this Application.

DECISION:

APPROVAL WITH CONDITIONS of a conditional use to allow up to 36 dwelling units per acre in a SU-2 MD1 zone.

CONDITIONS OF APPROVAL:

1. Immediately, and pending redevelopment, Applicant shall take all reasonable steps to secure the premises to ensure they are not accessible to unauthorized individuals.
2. All requirements of the Sycamore Metropolitan Redevelopment Plan and the City of Albuquerque Comprehensive Zoning Code shall be met as a condition of this approval.

If you wish to appeal this decision, you must do so by August 18, 2016, in the manner described below. A non-refundable filing fee will be calculated at the Planning Department's Land Development Coordination counter and is required at the time the Appeal is filed.

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However,

the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Christopher L. Graeser, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File
jrogers@titandevlopment.com
cp@consensusplanning.com
dragonzen1@comcast.net
mg411@q.com



ZONING

Please refer to the Zoning Code for specifics of
The SU-1 zone and SU-2 MD-1 zone in the University Neighborhoods SDP

APPLICATION INFORMATION



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- V** Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P** Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D** Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): CONSENSUS PLANNING PHONE: 505-764-9801
 ADDRESS: 302 8th St NW FAX: ---
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: cp@consensusplanning.com
 APPLICANT: CEGAR INVESTORS, LLC PHONE: 505-998-0163
 ADDRESS: 6300 RIVERROSE PLAZA LN NW #200 FAX: ---
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: jrogers@titanddevelopment.com
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: SECTOR PLAN MAP AMENDMENT AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1-3, 7-9, A-E | F-J Block: 21 Unit: ---
 Subdiv/Addn/TBKA: BENNEWELL AND LALLI HIGHLAND ADDITION | WHITEOS REPLAT
 Existing Zoning: SU-2 MD-1 Proposed zoning: SU-2/SU-1 FOR MD-1 MRGCD Map No. ---
 Zone Atlas page(s): K-15 UPC Code: SEE ATTACHED

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z-, V-, S-, etc.): 1010879 1010803

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 17 No. of proposed lots: 1 Total site area (acres): approx - 2.2
 LOCATION OF PROPERTY BY STREETS: On or Near: COPPER AVE.
 Between: CEGAR ST and MULGERRY ST.
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: _____

SIGNATURE [Signature] DATE Sept 29, 2016
 (Print Name) James K. Strazier, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>116EPC - 400062</u>	<u>ASDM</u>	---	\$
<input type="checkbox"/> All fees have been collected	<u>116EPC - 400063</u>	<u>SISP</u>	---	\$ <u>385.00</u>
<input type="checkbox"/> All case #s are assigned	---	<u>ADY</u>	---	\$ <u>75.00</u>
<input type="checkbox"/> AGIS copy has been sent	---	<u>CNF</u>	---	\$ <u>50.00</u>
<input type="checkbox"/> Case history #s are listed	---	---	---	\$
<input type="checkbox"/> Site is within 1000ft of a landfill	---	---	---	\$
<input type="checkbox"/> F.H.D.P. density bonus	---	---	---	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>November 10, 2016</u>	---	---	\$ <u>860.00</u>

[Signature] 9-29-16 Staff signature & Date Project # 1010879

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION (EPC08)

- Application for zone map amendment including those submittal requirements (see below).
Annexation and establishment of zoning must be applied for simultaneously.
 - Petition for Annexation Form and necessary attachments
 - Zone Atlas map with the entire property(ies) clearly outlined and indicated
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
 - Letter describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
 - Letter of authorization from the property owner if application is submitted by an agent
 - Board of County Commissioners (BCC) Notice of Decision
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

- SDP PHASE I – DRB CONCEPTUAL PLAN REVIEW (DRBPH1)** (Unadvertised)
 - SDP PHASE II - EPC FINAL REVIEW & APPROVAL (EPC14)** (Public Hearing)
 - SDP PHASE II - DRB FINAL SIGN-OFF (DRBPH2)** (Unadvertised)
 - Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
 - Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
 - Zone Atlas map with the entire plan area clearly outlined and indicated
 - Letter describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for EPC public hearing only)
 - Traffic Impact Study (TIS) form (for EPC public hearing only)
 - Fee for EPC final approval only (see schedule)
 - List any original and/or related file numbers on the cover application
- Refer to the schedules for the dates, times and places of DRB and EPC hearings.* Your attendance is required.

AMENDMENT TO ZONE MAP - ESTABLISHMENT OF ZONING OR ZONE CHANGE (EPC05)

- Zone Atlas map with the entire property clearly outlined and indicated
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980.
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

AMENDED TO SECTOR DEVELOPMENT MAP (EPC03)

- AMENDMENT SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN (EPC04)**
 - Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
 - Plan to be amended with materials to be changed noted and marked
 - Zone Atlas map with the entire plan/amendment area clearly outlined
 - Letter of authorization from the property owner if application is submitted by an agent (map change only)
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980 (Sector Plan map change only)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for sector plans only)
 - Traffic Impact Study (TIS) form
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATORY TEXT (EPC07)

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
 - Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
 - Letter describing, explaining, and justifying the request
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Storz, AICP
Applicant name (print)
[Signature] 9/29/2016
Applicant signature & Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
1105PC - 4006Z

Revised: June 2011
[Signature] 9-29-10
Staff signature & Date
Project # 1010879

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**
 - N/A 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **20 copies**
 - Site Plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

 - Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
 - Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
 - Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
 - Registered engineer or architect's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
 - Site plans and related drawings reduced to 8.5" x 11" format **(1 copy)**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozic AICP
 Applicant name (print)
[Signature] 9/29/2016
 Applicant signature / date



Form revised November 2010

<input type="checkbox"/> Checklists complete	Application case numbers	
<input type="checkbox"/> Fees collected	116EPC - 40005	9-29-16
<input type="checkbox"/> Case #s assigned		Planner signature / date
<input type="checkbox"/> Related #s listed		Project #: 1010897

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: CEEDAR INVESTORS, LLC DATE OF REQUEST: 9/13/16 ZONE ATLAS PAGE(S): K-15

CURRENT:

ZONING SU-2 for MD-1
PARCEL SIZE (AC/SQ. FT.) 2.17

LEGAL DESCRIPTION:

LOT OR TRACT # 1-3, 7-9, A-E, F-3 BLOCK # 21
SUBDIVISION NAME BROWNELL AND LAIL HIGHLAND ADDITION
WITHIN RECAT

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From SU-2 MD-1 To BU-2/SU-1
SECTOR, AREA, FAC, COMP PLAN [] MD-1
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 74
BUILDING SIZE: 71,040 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Sol Perdomo DATE 9/13/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony Sol
TRAFFIC ENGINEER

9-13-16
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / TRAFFIC ENGINEER _____ DATE _____
-FINALIZED / /

CEDAR INVESTORS, LLC

May 24, 2016

City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

To whom it may concern,

The purpose of this letter is to authorize Consensus Planning, Inc., Bohannon Huston, Inc., and Dekker/Perich/Sabatini to act as agents for Cedar Investors, LLC for all EPC, DRB, and ZHE cases related to the development of the properties legally described as:

- **North Block:** Lots 1-3, 7-9, and A-E, Block 21 of the Brownwell and Lails Highland Addition Subdivision and Lots F-J, Block 21 of the Whitteds Replat
- **West Block:** Lots 1-12, Block 3 of the Brownwell and Lails Highland Addition Subdivision
- **Mid-West Block:** Lots 4a, 5-10, 11a, 12a, Block 4 of the Brownwell and Lails Highland Addition Subdivision
- **Mid-East Block:** Lots 1, 2, A, 5, 6, 7a, 8a, 9-12, Block 5 of the Brownwell and Lails Highland Addition Subdivision
- **East Block:** Lots A1, A2, 4-12, Block 6 of the Brownwell and Lails Highland Addition Subdivision

Sincerely,



Kurt Browning
Cedar Investors, LLC
c/o Titan Development



PLANNING

CONSENSUS

October 28, 2016

Ms. Karen Hudson, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Re: Titan Presbyterian North Block –Sector Plan Map Amendment and Site Plan for Building Permit

Landscape Architecture
Urban Design
Planning Services

Dear Chairman Hudson,

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

This is a request for a Sector Plan Map Amendment and Site Plan for Building Permit for the block located between Copper and Tijeras Avenues, and Mulberry and Cedar Streets (See map below). The property is legally described as Lots 1-3, and 7-9, Block 21 of the Brownwell and Lails Highland Addition Subdivision and Lots A-J, Block 21 of the Whitteds Replat. The site is within the University Neighborhoods Sector Development Plan and is zoned SU-2 for MD-1, which corresponds to the R-T and R-3 zones. The site is located within the Central Urban Area of the Comprehensive Plan, and is a portion of the Established Urban Area. The site is also located within the Sycamore Metropolitan Redevelopment Area, which designates the area as a place for redevelopment and investment.

Site

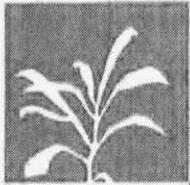


EXISTING AND PROPOSED CONDITIONS

Approval of this Sector Plan Map Amendment and Site Plan for Building Permit request will allow for the development of a quality, urban multi-family community that will serve the strong housing demand generated from nearby job centers, such as Presbyterian, the new Innovation District, Downtown, and UNM. The site is located one block north of Central Avenue and Presbyterian Hospital. The site currently consists of 20 *vacant* structures that are in the process of being razed. The site is 2.17 acres and slopes downward from the northeast corner to the

PRINCIPALS

James K. Stocier, AICP
Christopher J. Green, PLA
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Finer, PLA, ASLA



CONSENSUS

PLANNING

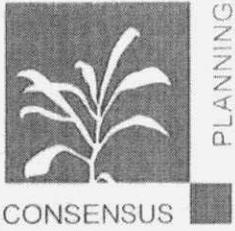
southwest corner. The proposed multi-family community will replace a blighted, rundown property that has been an eyesore and a detriment to the neighborhood for many years. Neighbors have indicated that many homeless people use the former alleyways as a cut through the neighborhood.

The site has been recently approved for two land entitlements. On August 3rd, 2016, the Zoning Hearing Examiner approved a conditional use permit to allow up to 36 dwelling units per acre on the site (See Project# 1010879). 36 DU's per Acre is conditionally allowed in the R-3 zone, which ties to the Diverse Residential zone. On June 20th, 2016, the City Council approved a Vacation of Public Right-of-Way for the alleys within the subject Site, which was necessary to proceed with the proposed development (See EC-16-126).

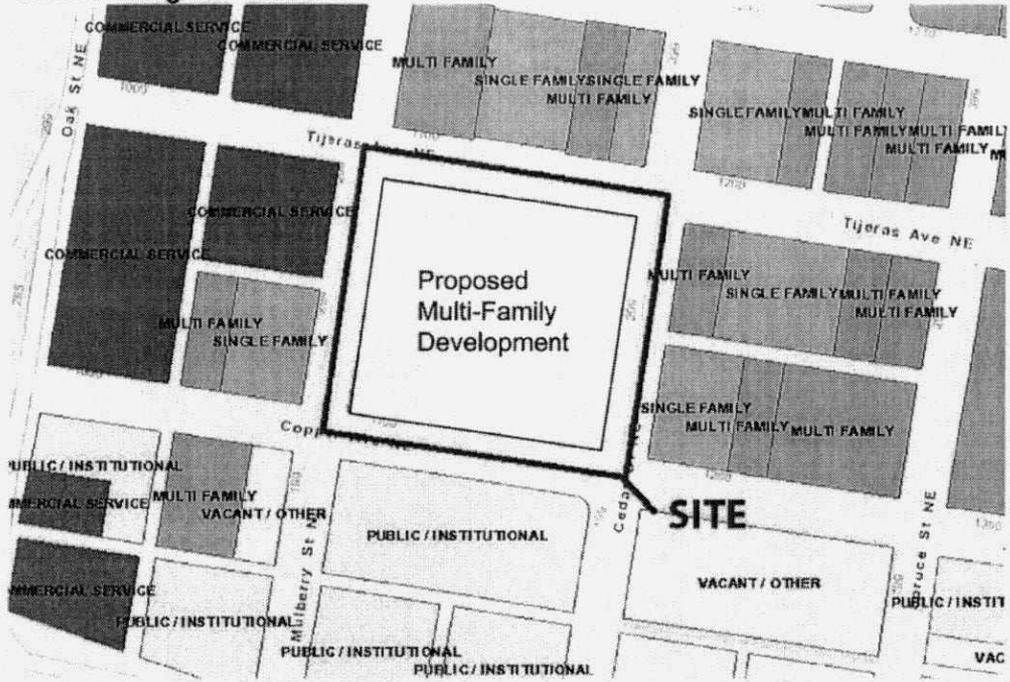
The site is one block north of the proposed Albuquerque Rapid Transit (A.R.T.) that will have a stop near Cedar Street and Central Avenue. This nearby A.R.T. station will allow for easy access to public transportation from this residential development.

The development of this block is the first phase of a 5-block development across from Presbyterian Hospital that will be made up of two multi-family communities, a hotel, and multiple retail and restaurant establishments. The urban, mixed-use development will feature street trees, pedestrian connections from Central Avenue to the neighborhood, landscape screening, on-street parking, and plazas. This development is being developed simultaneously with the Albuquerque Rapid Transit project and the project team has worked closely with the A.R.T. project team throughout the processes.

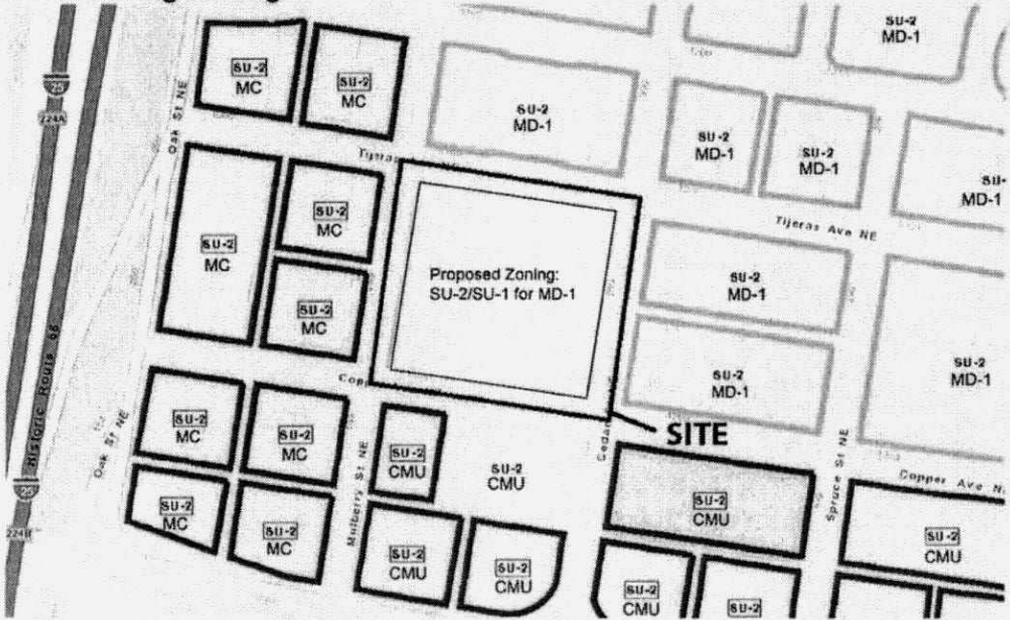
<u>Surrounding Zoning and Land Use</u>		
North	SU-2 MD-1	Single-Family, Multi-Family Residential
South	SU-2 CMU	Vacant, Vacant buildings to be redeveloped with Hotel & Retail/Restaurant
East	SU-2 MD-1	Single-Family, Multi-Family Residential
West	SU-2 MC	Office, Single-Family and Multi-Family Residential



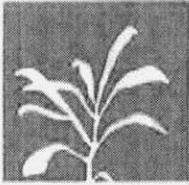
Surrounding Land Use



Surrounding Zoning



The nearby neighborhood associations have been involved in the planning process since the inception. The project team has met with the Silver Hill, Spruce Park, Sycamore, and Huning Highland neighborhood associations on multiple occasions and they have seen our plans in detail. They have provided feedback on multiple occasions for the site plan, elevations, pedestrian connections, and landscaping. The proposed development has been positively received.



CONSENSUS

PLANNING

PROPOSED DEVELOPMENT

The proposed development will upgrade the property and have a positive impact on the neighborhood and surrounding community. The proposed development will consist of 74 studio, one bedroom, and two bedroom units, a recreation/leasing center, pool, and fitness center. Six of the 74 units will be located in 3 carriage units that will front and have direct access to Tijeras Avenue and Cedar Street. The remaining units, and the recreation/leasing office, will be located in a 3-story L-shaped building near the southwest corner of the site, that will feature architectural design and color that is consistent with the surrounding neighborhood. Several units in this building will have direct access on Mulberry Avenue. Parking will be located under the carriage units and around the interior of the site, and will be screened by a solid wall when vehicles are visible from the adjacent Right-of-Way. A 5-foot landscaping strip will further buffer the parking from the Right-of-Way and adjacent neighbors. Additionally, more intense landscaping will buffer non-R-3 uses to the south and west from the proposed development. The primary access points to and from the property will be from Copper Avenue and Mulberry Street. Guest parking will be located on the south side of the property near the Copper Avenue access point, while resident parking will be accessed via security gates. The development also includes improvements to the surrounding block to protect the on-street parking from traffic, improve pedestrian connections, and enhance landscaping.

REQUEST

We are asking for approval of two requests. First, a Sector Plan Map Amendment from SU-2 for MD-1 (Mixed-Density) to SU-2/SU-1 for MD-1 (Mixed Density) within the University Neighborhoods Sector Plan Map, and second, a Site Plan for Building Permit. This request will allow for the development of a quality, urban multi-family community that will act as an important infill project.

The criteria for the SU-1 zone (14-16-2-22) states that it provides suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons and which the appropriateness of the specific location is partly or entirely dependent on the character of the site design. The proposed site design is appropriate at this specific location for the following reasons: (1) The subject site has significant grade change from the northeast to southwest and therefore requires special setbacks and building locations to accommodate this grade. (2) The site is located one block north of Central Avenue, an urban corridor that carries 40% of public transit within the City and will be home to the new Albuquerque Rapid Transit (A.R.T.), and is within walking distance of major job centers such as Presbyterian Hospital and the University of New Mexico. The proximity of strong public transit and major job centers minimizes the needs for the extensive and suburban parking requirements of the zoning code. The R-3 parking standards are inappropriate for this reason. (3) The site is located within the University Neighborhoods Sector Development Plan and Sycamore Metropolitan Redevelopment Plan. These plans speak extensively to the urban nature of the community and promoting walkability. The subject site furthers these plan goals through infill development that complements the street and offers a more desirable pedestrian realm. For these reasons, we are requesting special setback and parking requirements.



JUSTIFICATION

- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

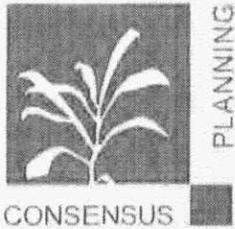
Applicant's Response: *The proposed zone change is consistent with the health, safety, morals, and general welfare of the city. The requested zone map amendment only addresses site design and does not change the use for the property, which is multi-family residential as allowed in the MD-1 zone. The zone change to SU-1 will allow for greater site plan control of the proposed development. The multi-family development will have the discretion to adjust certain site regulations to fit into a more urban context that is consistent with the surrounding community. Currently, many of the R-3 site regulations are not consistent with the urban context of the area, such as the more suburban and stringent parking standards.*

The Albuquerque Rapid Transit has proposed a stop near the intersection of Cedar Street and Central Avenue, just one block from the subject site. Residents will have direct transit to several job centers and entertainment and recreation options along Central Avenue, including UNM, Downtown, Nob Hill, EDo, Old Town, Sandia Foothills, and the Rio Grande River. This will directly promote the health and general welfare of residents. Access into the proposed development will be via a security gate, that will ensure safety for residents and guests to the community.

Three carriage units will front onto Tijeras Avenue and Cedar Street and will create a better urban environment by minimizing the front yard setback and having access from the units directly onto the street. The carriage units will act as a buffer between the neighborhood and the 3-story building. Parking will be screened under these units in enclosed garages that will shield vehicles from the street. These design elements increase the general welfare of the community and ensure a design consistent with the greater neighborhood. Carriage units will hide the three story building from street level view and give the appearance of a smaller, two story buildings.

- B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

Applicant's Response: *The proposed zone change will keep the SU-2 and Diverse Residential zoning designations, but will add the SU-1 designation. The surrounding area is zoned SU-2 and is governed by the University Neighborhoods Sector Development Plan. The adjacent blocks to the north and east are zoned SU-2 MD-1 and are made up of both single-family and multi-family developments. The proposed development is an appropriate transition from the moderately dense block to the north and the future hotel and retail/restaurant establishments to the south. At 34 DU's per acre (See Project# 1010879), the proposed development will be consistent with the MD-1 zoning and area's higher density residential development. The zone map amendment to add the SU-1 prefix enables*



the site design to include consistent setbacks on all sides of the block and have the parking respond to the urban/infill location. The use permitted with the MD-1 zone does not change, ensuring stability of the neighborhood.

- C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto, including privately developed area plans which have been adopted by the city.

ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN

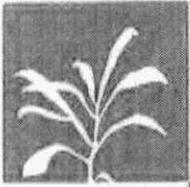
II-B-5 Developing and Established Urban Area

The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment. (Note: The Central Urban Area is a portion of the Established Urban Area.)

Policy d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, and recreational concern.

Applicant's Response: *Since the underlying zoning and use is not effected by the zone map amendment, the intensity of the land use is unchanged. This ensured that the project respects the neighborhood values and carrying capacity. The location of the proposed development is integral to the design and will offer quality housing to employees of nearby job centers, such as Presbyterian, UNM, the new Innovation District, and Downtown.*

The architectural style and site design will respect the existing neighborhood values of the Sycamore Neighborhood Association and values of visitors to the area. This will be accomplished in multiple ways: (1) Parking will be screened from view of the street by way of carriage units, grade change, a lowscreen wall, or landscaping, (2) building articulation and glazing to avoid large expanses of blank, featureless walls, (3) pedestrian orientation with direct street access, street trees, on-street parking, and other traffic calming techniques, and (4) carriage units that will hide the main three story building and create the appearance of one story buildings. The location allows future residents to walk to future services along Central Avenue, including multiple restaurant and retail options. The Albuquerque Rapid Transit (A.R.T.), 66 bus line, and 12 commuter route will have stops within one block of the site. Dr. Martin Luther King Avenue features a bike lane that is currently being upgraded to become more bicycle friendly. The area is quickly becoming a non-automobile focused, urban corridor.



Policy e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of the existing neighborhoods can be ensured.

Applicant's Response: *The site currently has 20 dilapidated homes that are being demolished, which will result in a vacant block. The alleys were vacated previously by the City Council. The site is located within the boundaries of the established Sycamore Neighborhood Association and is an urban site completely surrounded by existing development. Residential development borders the east, north, and west areas of the site, while office and vacant buildings border the south and west edges. The vacant area to the south is currently planned to be developed with a hotel, restaurant and retail services.*

The proposed development will keep with the character of the Sycamore Neighborhood and will be infill development in an area that was formerly a detriment to the surrounding neighborhood. The site is also within a designated Metropolitan Redevelopment Area. To ensure the integrity of the existing neighborhood, the three carriage units will front and have access to Cedar Street and Tijeras Avenue to maintain the neighborhood feel and pedestrian focus for the area. The request maintains the integrity of the neighborhood by providing quality housing.

The Albuquerque Rapid Transit will offer service along Central Avenue with a stop one block south of the proposed development. Residents will have several transit options between the A.R.T., 66 bus route along Central, and 12 bus route along Dr. Martin Luther King Avenue.

Policy h: Higher density housing is most appropriate in the following situations:

- In areas with excellent access to the major street network.

Applicant's Response: *On August 3rd, 2016, the Zoning Hearing Examiner approved a Conditional Use to allow for a density of up to 36 DU's per acre. He found that the "proposed density will be harmonious with the subject property", "it will not detrimentally impact neighborhood character or security", and "the increased density will not unreasonably increase intensity of use, noise, or traffic" (See Project# 1010879 Notice of Decision). The site is located one block away from Central Avenue and two blocks to the east of Interstate 25, which are two of the most heavily travelled roadways in the state.*

Policy i: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

Applicant's Response: *The proposed development will be designed with the characteristics of the existing neighborhood. Building articulation, balconies, overhangs, railings, and glazing will eliminate large expanses of blank walls to give the building character. Parking will be shielded from view by way of grade, landscaping, a perimeter wall, or the carriage units. Regulations in the University Neighborhoods Sector Development Plan –*



Mixed Density zone require intense landscaping, a five-foot landscape strip, and four-foot perimeter wall on the site to hide parking areas and promote a quality landscape design.

Policy o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

Applicant's Response: *The proposed development is replacing 20 blighted single-family residential structures that previously attracted nuisances such as crime and homelessness. The proposed development will offer a quality multi-family community that will consist of 74 efficiency, one, and two bedroom units. These units will provide housing for employees of local job centers such as Presbyterian, UNM, the new Innovation District, and Downtown.*

II-B-6 Central Urban Area

The Goal is to promote the Central Urban Area as a focus for arts, cultural, and public facilities/activities while recognizing and enhancing the character of its residential neighborhoods and its importance as the historic center of the City.

Policy b: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural/arts/recreation facilities.

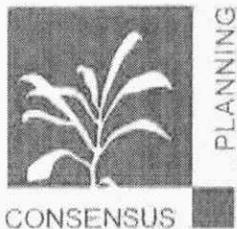
Applicant's Response: *The proposed development will replace 20 blighted single-family residential structures that are in the process of being razed. The proposed development will offer a quality multi-family community for employees in the area. The Albuquerque Rapid Transit will be located one block away from the site with a stop at Cedar Avenue. The A.R.T. will connect residents to entertainment centers such as Nob Hill, Downtown, EDO, the new district on 1st and Central, and Old Town, and recreation opportunities in the foothills and at the Rio Grande.*

II-C-4 Noise

The Goal is to protect the public health and welfare and enhance the quality of life by reducing noise and by preventing new land use/noise conflicts.

Policy a: Noise considerations shall be integrated into the planning process so that future noise/land use conflicts are prevented.

Applicant's Response: *The proposed multi-family community will have 74 total units; 6 units are contained in carriage units that will be accessed from the street level, while the remaining units are accessed inside of the three story building. Parking will be located behind the carriage units or behind a four-foot landscaping wall, per regulations in the Sector Development Plan. The pool and courtyard area, where most noise conflicts would come from, is located in the center of the site and not directly adjacent to any existing residences. Minimizing noise has been a part of the planning process as proven through these design features.*



II-C-8 Developed Landscape

The Goal is to maintain and improve the natural and the developed landscapes' quality.

Policy d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

Applicant's Response: *Regulations in the University Neighborhoods Sector Development Plan – Diverse Residential zone require intense landscaping where non-R-3 uses abut R-3 uses, a five-foot landscape strip, and six-foot perimeter wall to promote a quality landscape design and a pleasing visual environment. Medium to low water use trees, shrubs, and grasses will be used throughout the project that is in keeping with the arid New Mexico climate. The site naturally has a large grade, generally from north to south, and ponding will catch and retain water to help water nearby landscaping where applicable.*

II-D-4 Transportation and Transit

Policy c: In order to add to transit ridership, and where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.

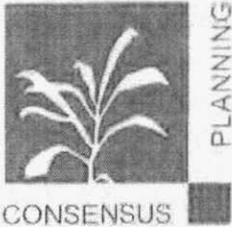
Applicant's Response: *On August 3rd, 2016, the Zoning Hearing Examiner approved a conditional use permit to allow up to 36 dwelling units per acre on the site (See Project# 1010879). 36 DU's per Acre is conditionally allowed in the R-3 zone, which ties to the Diverse Residential zone. The proposed development is planned to have 34 DU's per acre. A denser development is justified on this site due to its proximity to the Albuquerque Rapid Transit stop, and 66 and 12 bus lines.*

Policy g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

Applicant's Response: *The proposed site is part of a larger development that will contain a network of pedestrian connections, plazas, and traffic calming techniques, such as street trees, on-street parking, and wide sidewalks, that will accommodate the pedestrian and cyclist. Specifically, a pedestrian connection will connect Copper to Central Avenue near the proposed entrance into the development across from Spruce Avenue. The Albuquerque Rapid Transit stop at Central Avenue and Cedar Street will promote walkability and bikability throughout the proposed development. To the north of the site, Dr. Martin Luther King Jr. Avenue has bike lanes that connects riders from the University of New Mexico to Downtown. The Avenue has recently been repaved and restriped to include a buffered bike lane from Downtown to Interstate 25.*

II-D-5 Housing

The Goal is to increase the supply of affordable housing; conserve and improve the quality of housing; ameliorate the problems of homelessness, overcrowding, and displacement of low income residents; and assure against discrimination in the provision of housing.



Policy b: Quality and innovation in new housing design and construction shall be promoted and quality of existing housing improved through concentrated renovation programs in deteriorating neighborhoods.

Applicant's Response: *The proposed multi-family community will replace 20 blighted single-family residential structures that are in the process of being razed. Building articulation, balconies, overhangs, railings, and glazing will eliminate large expanses of blank walls to give the building character. Three carriage units will allow for a variety of housing options and create a unique urban and pedestrian orientation along Tijeras Avenue and Cedar Street. Alliance Residential and ORB Architects have worked on several high quality multi-family projects in Albuquerque, including many of the Broadstone communities. The proposed development will not provide any affordable housing, but quality market rate units that will promote urban living conditions for employees of nearby job centers.*

Policy d: Availability of a wide distribution of decent housing for all persons regardless of race, color, religion, sex, national origin, ancestry, or handicapped status shall be assured.

Applicant's Response: *The proposed development will not be discriminatory to anyone and will generally cater to workers at nearby job centers at UNM, Presbyterian, the new Innovation District, and Downtown. The development will comply with ADA requirements and will offer ground floor units.*

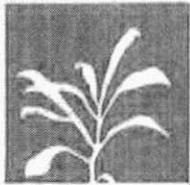
UNIVERSITY NEIGHBORHOODS SECTOR DEVELOPMENT PLAN

Basic Goals which have shaped the plan and underlie the specific recommendations are to:

- Improve the quality of life in the area.
- Conserve and renew the unique qualities of this neighborhood.
- Encourage infill residential construction in appropriate places.
- Encourage pedestrian orientation.
- Improve conditions in business areas.
- Foster positive social and physical interrelations between businesses, institutions and residents.

Applicant's Response: *The requested Site Plan for Building Permit and zone change approval furthers the Basic Goals of the University Neighborhoods Sector Development Plan. The project will provide infill residential construction that will improve the quality of life in the area by replacing old, blighted residential structures with a quality, multi-family community. By way of a greater urban design that encourages pedestrian orientation, the development will keep with the unique qualities of the neighborhood. The development will feature three carriage units that will complement the street by offering direct access into the six apartments (two apartments per carriage unit) from street level. These units are designed to encourage pedestrian orientation that enhances the walkable environment of this urban neighborhood.*

The site is completely surrounded by existing development and is a part of a larger project aimed at redeveloping an important corridor along Central



Avenue and provide services for visitors and employees at Presbyterian Hospital and UNM. The larger project will improve business conditions in the area by providing a large hotel, retail and restaurants, and two multi-family communities. Residents of the subject proposed multi-family community will have excellent access to the Albuquerque Rapid Transit stop which will connect them to employment, entertainment, and recreation centers.

SYCAMORE METROPOLITAN REDEVELOPMENT PLAN

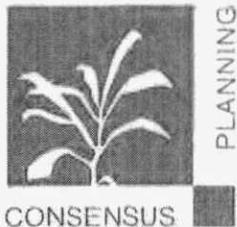
The basic objectives of this Plan area as follows:

- To improve the existing "mixed-use" characteristics of the area by encouraging compatible relationships between related uses and buffering incompatible uses.
- To improve pedestrian, transit and bicycle circulation by providing better internal connections within the neighborhood and improving connections to nearby urban centers.
- To prevent neighborhood decline by stimulating private reinvestment, while providing sufficient controls and guidance to ensure mutually beneficial relationships between existing and new development.

Applicant's Response: *The requested Site Plan for Building Permit and zone change approval further the objectives of the Sycamore Metropolitan Redevelopment Plan. The proposed development will provide much needed multi-family housing in this urban neighborhood and will be compatible with future planned uses along Central Avenue. The larger area will have pedestrian connections from Copper Avenue to Central Avenue that will connect residents to retail and restaurant establishments and transit options along Central Avenue. The bike lane along Dr. Martin Luther King Boulevard is currently being upgraded to better serve the cyclist.*

The proposed development is funded by private investment and will replace 20 blighted structures that were causing neighborhood decline in the Sycamore Neighborhood. The project team has worked directly with the interested neighborhood associations to answer their questions and concerns about the development. The proposed development will ensure a mutually beneficial relationship between the existing neighborhood and the proposed development. The site will act as a proper transition between the moderately dense neighborhood and future commercial development along Central Avenue. At 34 DU's per acre, the proposed development will create the appropriate transition from the Sycamore Neighborhood to more active uses such as the hotel, restaurant, and retail establishments planned along Central Avenue.

Carriage units, which complement the street, will promote greater urban design that keeps with the unique qualities of the neighborhood. The ability to customize the site plan with the SU-1 will help encourage the site's pedestrian orientation to preserve the walkable environment of this urban neighborhood.



Policy One: Redevelopment with mid-rise apartments and townhouses shall be encouraged.

Applicant's Response: *The proposed multi-family community will replace old single-family homes that were a detriment and eyesore to the community. The proposed mid-rise apartments will fit into the urban context of the area. The site was approved for a density of 36 DU's per acre (See Project# 1010879). A higher density is justified based on the site's location near transit and major job centers at UNM, Presbyterian, Downtown, and the new Innovation District.*

Policy Three: New development shall serve to preserve the neighborhood character and to improve its quality.

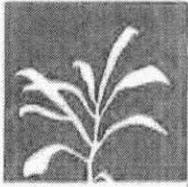
Applicant's Response: *The proposed development will replace rundown single-family homes that were an eyesore to the community. The previous development attracted nuisances, such as crime and wanderers, and is in the process of being razed. The proposed development will offer quality housing for employees of nearby job centers. The proposed development will preserve the neighborhood character through urban design, while improving the quality of the neighborhood with modern, multi-family housing. This urban design will consist of carriage units that will provide direct access onto the street, street trees along all adjacent rights-of-ways, and close access to public transportation and major arterials.*

- D. The applicant must demonstrate that the existing zoning is inappropriate because:
1. There was an error when the existing zone map pattern was created; or
 2. Changed neighborhood or community conditions justify the change; or
 3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

Applicant's Response: *The existing zoning is inappropriate due to:*

1. *Changed Neighborhood Conditions – The existing homes on the property were run down and blighted. They had become a negative impact on the neighborhood. The applicant is in the process of demolishing these blighted structures which will result in a complete, vacant block positioned for redevelopment as promoted in the Metropolitan Redevelopment Area Plan. It should be noted that due to this changed condition, the opportunity to design an appropriate infill development project that respects and responds to the neighborhood are best met through the design flexibility allowed with the SU-1 designation.*

2. *The proposed zone change to add the SU-1 prefix and resulting design flexibility furthers a number of City goals and policies as enumerated in Section C above demonstrating that it is more advantageous to the community. The ability to implement appropriate setbacks and urban parking standards are integral to the design, which is at the very core of the projects ability to fit in to the neighborhood context and values. While the underlying use is not changing, the addition of the SU-1 zone is what*



ensures that the project's design furthers these goals and policies to a higher and more comprehensive level. As demonstrated by the Sector Plan, the MRA Plan, and the underlying MD-1 zone; there is a need for new, infill, multi-family development in the area and on this property specifically. This need will be met more appropriately with the addition of the SU-1 prefix and the design flexibility proposed by the accompanying site development plan.

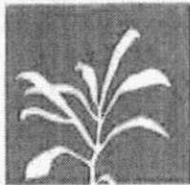
The site is located one block away from the new Albuquerque Rapid Transit, with a stop located at the corner of Cedar Street and Central Avenue. The 66 bus route will operate concurrently with the Albuquerque Rapid Transit and currently has a stop within one block from the proposed development. The 12 bus route, a commuter route, has a stop on Dr. Martin Luther King Boulevard near the site. Future residents will have multiple transit options to connect them to various job centers and entertainment areas around the City.

The project team has met with the nearby neighborhood associations on multiple occasions to share the ideas and plans for the site. The project has seen positive reception from the neighborhoods and they believe it will revitalize the community and benefit the area.

The proposed zone change will allow for a development that will create quality housing for employees of Presbyterian, UNM, Downtown, and other important job centers around the City. The area is in need of multi-family options. This is proven by recent Nob Hill, University, and Downtown multi-family developments that are seeing strong leasing rates. Nearby multi-family developments such as Platinum and the Imperial Building were 100% leased prior to the grand opening, proving that the area is in strong need of multi-family housing options. The proposed zone change will allow for a development that will help meet this need. Residents of Albuquerque want to live in urban areas that are in proximity to services and public transit.

- E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

Applicant's Response: *The proposed zone change will only allow for site plan controlled development and therefore uses not on the site plan will not be allowed without an EPC approved amendment. The proposed development will be a multi-family community and by nature of this use will not be harmful to the adjacent property, neighborhood, or community. In fact, the development will beautify the area by replacing blighted and rundown single family houses and providing quality housing for employees of large nearby job centers.*



- F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:
1. Denied due to lack of capital funds; or
 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

Applicant's Response: *The proposed zone change will not incur any unprogrammed capital expenditures by the city. In fact, as an infill location it will maximize the use of existing infrastructure.*

- G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

Applicant's Response: *The cost of land and other economic considerations pertaining to the application are not the determining factor for the zone change request.*

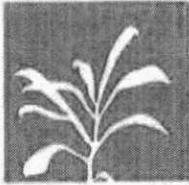
- H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

Applicant's Response: *The site is not directly located along a collector or major street.*

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:
1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

Applicant's Response: *The SU-1 zoning designation is considered a spot zone, but the change will allow the applicant to design the project to facilitate realization of the Comprehensive Plan, Sector Development Plan, and MRA Plan. This spot zone does not change the underlying use, but does permit a higher level of custom design as it relates to setbacks and parking.*

- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan;
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones



PLANNING

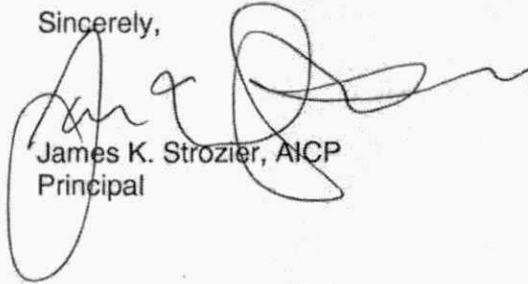
CONSENSUS

or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Applicant's Response: *The shape, use, and location of the site does not qualify it as a strip zone since it encompasses an entire City block. The site is proposed to be used for residential purposes and is adjacent to an existing SU-2 MD-1 zone.*

Based upon the facts presented, we respectfully request your review and approval of this Sector Plan Map Amendment and Site Development Plan for Building Permit.

Sincerely,



James K. Strozler, AICP
Principal

NOTIFICATION &
NEIGHBORHOOD INFORMATION



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

September 13, 2016

Sal Perdomo
Consensus Planning
302 8th Street NW
Phone: 505-764-9801 Fax:
E-mail: perdomo@consensusplaning.com

Dear Sal:

Thank you for your inquiry of **September 13, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(EPC SUBMITTAL) LOTS 1-3, 7-9, A-E, BLOCK 21 OF THE BROWNEWELL AND LANIS HIGHLAND ADDITION SUBDIVISION LOTS F-J, BLOCK 21 OF THE WHITFEDS REPLAT LOCATED ON COPPER AVENUE SE BETWEEN CEDAR STREET SE AND MULBERRY STREET SE zone map K-15.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

SILVER HILL N.A. (SHL) "R"

***James Montalbano**, 1404 Silver Ave. SE/87106 243-0827 (h)
Elizabeth Doak, 1606 Silver SE/87106 242-8192 (h)

SPRUCE PARK N.A. INC. (SPK) "R"

***Peter Feibelman**, 1401 Sigma Chi NE/87106 242-1946 (h)
Alan Paxton, 1603 Roma Ave. NE/87106 244-0980 (h)

SYCAMORE N.A. (SYM) "R"

Peter Schillke, 1217 Coal Ave. SE/87106 243-8368 (h)
Mardon Gardella, 411 Maple St. NE/87106

UNIVERSITY HEIGHTS N.A. (UHT) "R"

***Joe Gallegos**, 301 Harvard SE, #59/87106 450-6096 (c)
Julie Kidder, 120 Vassar SE/87106 269-3967 (c)

VICTORY HILLS N.A. (VHL) "R"

***Robert Stembridge**, P.O. Box 40298/87196 459-6893 (c)
Patty Willson, 505 Dartmouth SE/87106 266-8944 (h & w)

DISTRICT 6 COALITION OF N.A.'S

***Nancy Bearce**, 600 San Pablo St. NE/87108 254-7841 (h)
Gina Dennis, 1816 Buena Vista Dr. NE, Apt. 2/87106 503-4848 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (***PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from USPS showing date.***) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at dlcarmona@cabq.gov.

Sincerely,

Dalaina L. Carmona

Dalaina L. Carmona

Senior Administrative Assistant

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO
BOTH CONTACTS OF EACH
NA/HOA FOR THIS
PLANNING SUBMITTAL.**

typical



September 29, 2016

James Montalbano
Silver Hill Neighborhood Association
1404 Silver Ave. SE
Albuquerque, NM 87106

Elizabeth Doak
Silver Hill Neighborhood Association
1606 Silver Ave. SE
Albuquerque, NM 87106

Dear Mr. Montalbano,

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to inform you and the Silver Hill Neighborhood Association that we have submitted a request to the Environmental Planning Association (EPC) for a Sector Plan Map Amendment and Site Plan for Building Permit. The request is for a 2.17 acre site that is legally described as Lots 1-3, 7-9, and A-E, Block 21 of the Brownwell and Lails Highland Addition Subdivision and Lots F-J, Block 21 of the Whitteds Replat. The site is located within the University Neighborhoods Sector Development Plan.

The Sector Plan Map portion of the request is to rezone the property from SU-2 for MD-1 to SU-2/SU-1 for MD-1. The rezone will allow for greater site plan control of the site by the EPC. This request does not change the underlying MD-1 zone. The Site Plan for Building Permit portion of the request is for a quality, urban multi-family community that will consist of studio, one- and two-bedroom, and carriage units.

The city has approved two previous requests related to this project. On August 3rd, 2016, the Zoning Hearing Examiner approved a conditional use permit to allow up to 36 dwelling units per acre on the site. On June 20th, 2016, the City Council approved a Vacation of Public Right-of-Way for the alleys within the subject Site, which was necessary to proceed with the proposed development.

The EPC hearing will be located in the basement of the Plaza del Sol Building at 600 North 2nd Street at 8:30am on November 10th. We have included the Zone Atlas Page and Site Plan for Building Permit for your review. If you have any questions or would like to schedule a meeting, please contact me at (505) 764-9801.

Sincerely,

James K. Strozier, AICP
Principal

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA

Attached: Zone Atlas Page K-15
Site Plan for Building Permit (11x17)

7016 1370 0000 5695 3154

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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

Sent To Peter Feibelmen
 Street and Apt. No., or PO Box No. 1401 Sigma Cir NE
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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

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 Street and Apt. No., or PO Box No. 1217 Coal Ave SE
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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

Sent To Gina Dennis
 Street and Apt. No., or PO Box No. 1816 Buena Vista Dr. NE Apt 2
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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

Sent To Elizabeth Douke
 Street and Apt. No., or PO Box No. 1606 Silver Ave SE
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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

Sent To Alan Paxton
 Street and Apt. No., or PO Box No. 1603 Roma Ave NE
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Postage	\$1.57	
Total Postage and Fees	\$7.57	09/29/2016

Sent To James Montalano
 Street and Apt. No., or PO Box No. 1404 Silver Ave SE
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Postage	\$1.57
Total Postage and Fees	\$7.57



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Postage	\$1.57
Total Postage and Fees	\$7.57



Sent To Julie Kidder
 Street and Apt. No., or PO Box No. 120 Vassar SE
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Postage	\$1.57
Total Postage and Fees	\$7.57



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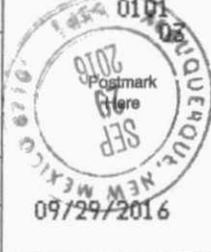
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Postage	\$1.57
Total Postage and Fees	\$7.57



Sent To Robert Stembriky
 Street and Apt. No., or PO Box No. P.O. Box 40298
 City, State, ZIP+4® ABQ NM 87196

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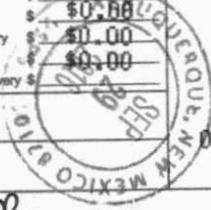
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Postage	\$1.57
Total Postage and Fees	\$7.57



Sent To Nancy Beene
 Street and Apt. No., or PO Box No. 600 San Pablo St NE
 City, State, ZIP+4® ABQ NM 87108

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$1.57
Total Postage and Fees	\$7.57



Sent To Mardon Dordella
 Street and Apt. No., or PO Box No. 411 Maple St NE
 City, State, ZIP+4® ABQ NM 87106

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**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, Nov. 10, 2016 **1010879**

Zone Atlas Page: **K-15**

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: Copper Ave. between Cedar ST. and Mulberry St.

Applicant: Cedar Investors, LLC
6300 Riverside Plaza Ln. NW #200
Albuquerque, NM 87120

Agent: Consensus Planning
302 8th St. NW
Albuquerque, NM 87120

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

Date Mailed: 10/19/16

Signature:

Maggie G.

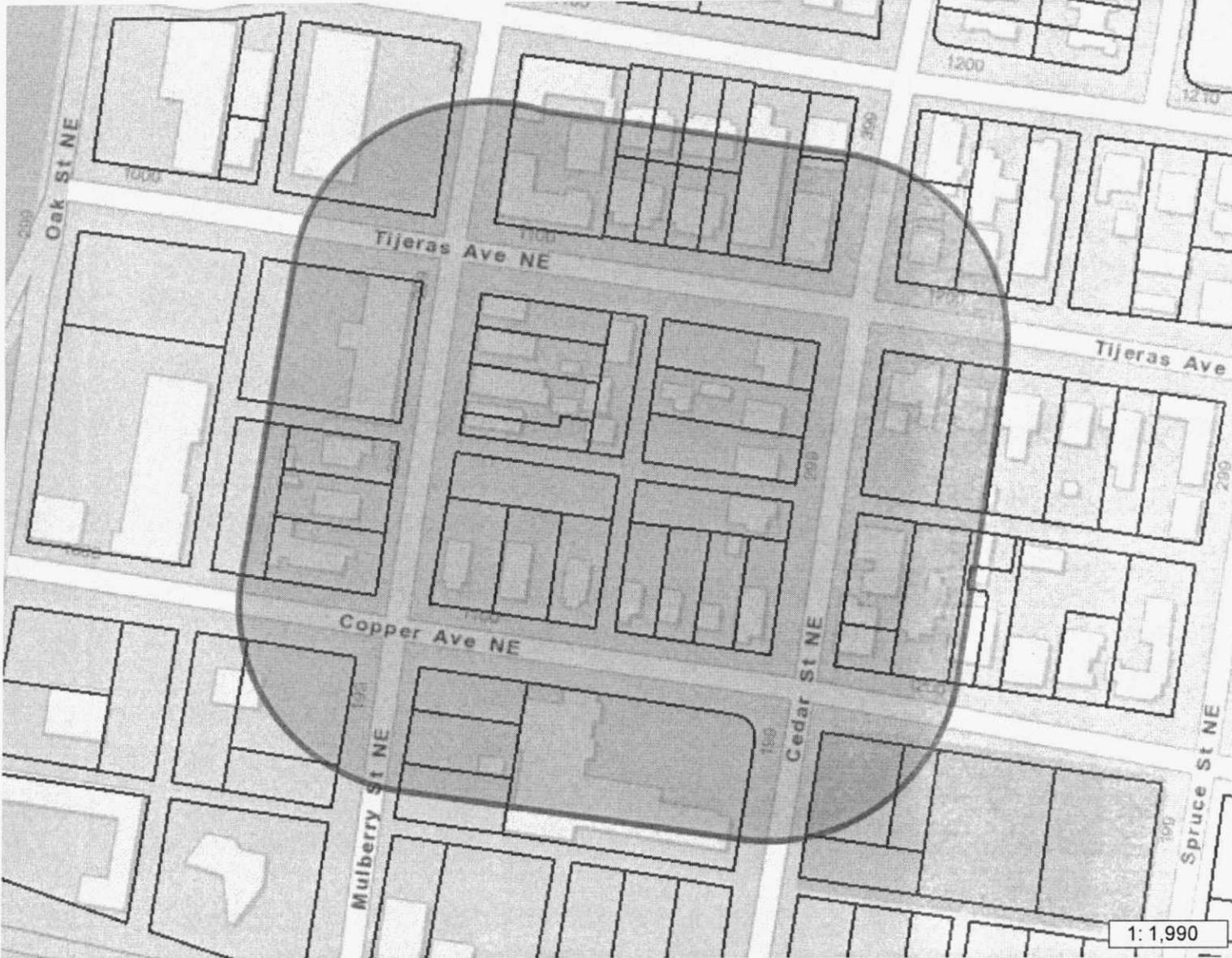


1010879



Legend

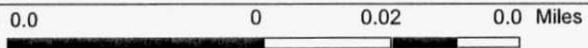
- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map



1: 1,990

Notes

Buffer: Tijeras 175ft (75ft+100ft)



WGS_1984_Web_Mercator_Auxiliary_Sphere
10/14/2016 © City of Albuquerque

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PARKS NANCY J
PO BOX 973
LITTLETON CO 80160-0973

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

TRUE DAVID D & HUFBAUER SARAH BETH
TRUSTEES TRUE HUFBAUER FAM TR
PO BOX K
ALBUQUERQUE NM 87103

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

GUTIERREZ GABRIELLA
1218 1/2 TIJERAS AVE NE
ALBUQUERQUE NM 87106

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CORDOVA ROBERT J
6191 DEERGRASS CIR NW
ALBUQUERQUE NM 87120

PRESBYTERIAN HEALTH PLAN INC
PO BOX 26666
ALBUQUERQUE NM 87125-6666

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

OAK STREET MEDICAL CENTER INC
200 OAK ST NE
ALBUQUERQUE NM 87106

ANDERSON BRUCE L & LANELL E TRUSTEE
ANDERSON TRUST
7936 SARTAN WAY NE
ALBUQUERQUE NM 87109

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

KALAR BRENT
1207 COPPER AVE NE
ALBUQUERQUE NM 87106

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

DRJ MANAGEMENT LLC
PO BOX 92994
ALBUQUERQUE NM 87199-2994

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

BACA ALEXANDER G & ROSALIA PILAR BACA &
MARY DOLORES BACA & JOHN P BACA
1202 TIJERAS AVE NE
ALBUQUERQUE NM 87106-4708

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

MAHAN R STERLING
301 CEDAR ST NE
ALBUQUERQUE NM 87106

ALFARO ANTHONY JOHN R ETUX
210 CEDAR ST NE
ALBUQUERQUE NM 87106-4708

MULBERRY CORP
303 MULBERRY ST NE D
ALBUQUERQUE NM 87106-4739

THEISEN HENRY L & CHRISTENSEN KRISTEN M
1209 COPPER AVE NE
ALBUQUERQUE NM 87106

CEDAR INVESTORS LLC % ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

COOPER FAMILY LLC
633 CEDAR ST NE
ALBUQUERQUE NM 87106-4522

LUCAS-KAMAT SUSAN A & NIKHIL M
1109 TIJERAS AVE NE
ALBUQUERQUE NM 87106

MAHAN RALPH STERLING
301 CEDAR ST NE
ALBUQUERQUE NM 87106

ROYBAL-RAY PROPERTIES LLC
1020 TIJERAS AVE NE 22
ALBUQUERQUE NM 87106

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC % ARGUS DEVELOPMENT
COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

MAZEL EDWARD A & SARAH
6631 SALT CEDAR TRL NW
ALBUQUERQUE NM 87120

BRUEGGEMANN SHERRI S
3119 FLORIDA ST NE
ALBUQUERQUE NM 87110

HANEY THOMAS P & MARCIA C
3605 CAMINO DE LA SIERRA NE
ALBUQUERQUE NM 87111

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

SOUTHARD KATE M
PO BOX 93367
ALBUQUERQUE NM 87199-3367

HEALTH PLUS OF N MEX INC ATTN REAL ESTATE
DEPT
PO BOX 26666
ALBUQUERQUE NM 87125-6666

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

CEDAR INVESTORS LLC C/O ARGUS
DEVELOPMENT COMPANY
6300 RIVERSIDE PLAZA LN NW SUITE 200
ALBUQUERQUE NM 87120

PARKS NANCY L
PO BOX 973
LITTLETON CO 80160-0973

SERKES KEVIN
105 PEAR TREE LN
LOUDON TN 37774

VIGLIANO RICHARD R
1205 COPPER AVE NE
ALBUQUERQUE NM 87106

COOPER JOYCE
633 CEDAR ST NE
ALBUQUERQUE NM 87106

310 MULBERRY LLC
PO BOX K
ALBUQUERQUE NM 87103

DRJ MANAGEMENT LLC
PO BOX 92994
ALBUQUERQUE NM 87199

COOPER FAMILY LLC
633 CEDAR ST NE
ALBUQUERQUE NM 87106-4522

Cedar Investors, LLC
6300 Riverside Plaza Ln. NW #200
Albuquerque, NM 87120

Consensus Planning
302 8th St. NW
Albuquerque, NM 87120

Silver Hill N.A. (SHL) "R"
James Montalbano
1404 Silver Ave. SE
Albuquerque, NM 87106

Silver Hill N.A. (SHL) "R"
Elizabeth Doak
1606 Silver SE
Albuquerque, NM 87106

Spruce Park N.A. Inc. (SPK) "R"
Peter Feibelman
1401 Sigma Chi NE
Albuquerque, NM 87106



pruce Park N.A. Inc. (SPK) "R"
Jan Paxton
603 Roma Ave. NE
Albuquerque, NM 87106

Sycamore N.A. (SYM) "R"
Peter Schillke
1217 Coal Ave. SE
Albuquerque, NM 87106

Sycamore N.A. (SYM) "R"
Mardon Gardella
411 Maple St. NE
Albuquerque, NM 87106

University Heights N.A. (UHT) "R"
De Gallegos
101 Harvard SE #59
Albuquerque, NM 87106

University Heights N.A. (UHT) "R"
Julie Kidder
120 Vassar SE
Albuquerque, NM 87106

Victory Hills N.A. (VHL) "R"
Robert Stembridge
P.O. Box 10298
Albuquerque, NM 87196

Victory Hills N.A. (VHL) "R"
Cathy Willson
105 Dartmouth SE
Albuquerque, NM 87106

District 6 Coalition of N.A.'S
Nancy Bearce
600 San Pablo St. NE
Albuquerque, NM 87108

District 6 Coalition of N.A.'S
Gina Dennis
1816 Buena Vista Dr. NE Apt. 2
Albuquerque, NM 87106

SITE PLAN REDUCTIONS

FILE: \p09\098 Job Files\18-212-Titan_Norwood CAD Files\preliminary\A1.10 Site Plan.dwg USER: jss DATE: Dec 25 2016 TIME: 09:44 am

LIGHTING LEGEND

- LED POLE LIGHT, +15' T.O.F. TYPE AS SHOWN ON PLAN.
- LED POST TOP LIGHT, +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT, TYPE 'CP'.
- ⊕ LED WALL MINI WALL PACK, +10' B.O.F. TYPE 'WP'.
- † LED WALL SCONCE, DECORATIVE, +4' B.O.F. TYPE 'WS'.

LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- ⊕ NO. OF PARKING SPACES
- ⊖ NO. OF COVERED SPACES
- ⊕ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- ⊖ DENOTES TRANSFORMER LOCATION
- ⊕ DENOTES WATER METER LOCATION
- FIRE HYDRANT

DEVELOPMENT DATA

NET SITE AREA:
2.1793 ACRES (94,800 S.F.)

ZONING AND LAND USE:
CURRENT: SU-2 FOR MD-1 (R-3)
PROPOSED: SU-2/SU-1 FOR MD-1 (UNIVERSITY NEIGHBORHOODS SECTOR DEVELOPMENT PLAN)
LAND USE: MULTI-FAMILY RESIDENTIAL

BUILDING HEIGHT:

SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
ALLOWED: 28 FEET	60'	45'	60'
PROPOSED:	38'	34'	28'

DENSITY: (PER CONDITIONAL USE APPROVAL 8/3/2016 1624E-80182)
ALLOWED: 38 DU/ACRE
PROPOSED: 34 DU/ACRE



VICINITY MAP
NOT TO SCALE

KEYNOTES

1. 5'x15' PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/AL/20.
2. 12'x16' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/AL/20.
3. ACCESSIBLE GARAGE SPACE.
4. ACCESSIBLE DRIVEWAY CROSSING PAINTED MARKING.
5. INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DETAIL 08 & 08/AL/20.
6. SINGLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDING, SEE DETAIL 37/AL/20.
7. ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 38/AL/20.
8. RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 38/AL/20.
9. PROCESSION ENTRY GATE, SEE DETAIL 38/AL/20.
10. POOL GATE, SEE DETAIL 24/AL/21.
11. CMU FORMER WALL, SEE DETAIL 16/AL/21.
12. WINDROOF FROM POOL FENCE, SEE DETAIL 16/AL/21.
13. CMU POOL FENCE, SEE DETAIL 16/AL/21.
14. 4" SIDEWALK CORRECTING TO PUBLIC WALK, GRAY CONCRETE COLOR.
15. 4" SIDEWALK TYPICAL ON SITE, GRAY CONCRETE COLOR.
16. 4" SIDEWALK TYPICAL AT PARKING AREA, GRAY CONCRETE COLOR, SEE DETAIL 08/AL/20.
17. 4" SIDEWALK AT STAIR APPROACH/GRAY CONCRETE COLOR, TYPICAL.
18. BICYCLE PARKING RACK FOR 4 BICYCLES, SEE DETAIL 30/AL/21.
19. CMU RETAINING WALL W/ 2' FENCE ABOVE, SEE DETAIL 27/AL/21.
20. 4" CMU WALL W/ 2' FENCE ABOVE, SEE DETAIL 27/AL/21.
21. 36"X36" VISIBILITY TRIANGLE AT STREET CORNER.
22. 15'x15' SIGN VISIBILITY TRIANGLE AT DRIVEWAY ENTRY.
23. DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDING, SEE DETAIL 13/AL/20.
24. PAINTED PAVING AT MAIN ENTRY AUTO COURT.
25. FLUSH CURB WITH PAVING AT MAIN ENTRY AUTO COURT, PROVIDE POTS AND SNIFF STOP FOR VEHICULAR WAYFINDING.

GENERAL NOTES

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE BELIEVED ON A NORTH ORDER.
2. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS; THEREFORE, SIGN, WALLS, TREES, AND SHRUBBERY BETWEEN J AND B FEET TALL (AS MEASURED FROM THE OUTER FIN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE.
3. PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDES FOR STD ONE PAVED, DATA, SLOPE AND ANY OTHER THAT MAY APPLY. ALL UNPAVED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.

PROJECT NUMBER:
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

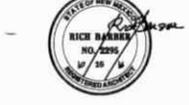
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

BROADSTONE HIGHLANDS
NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO

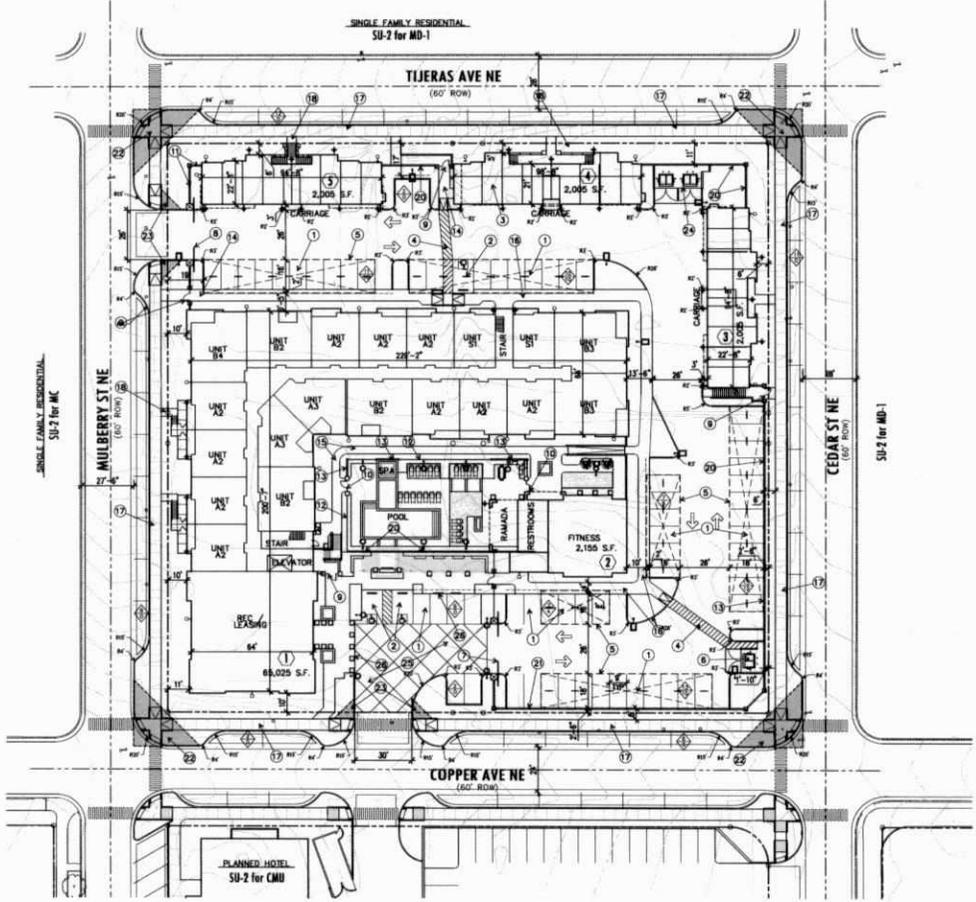
Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



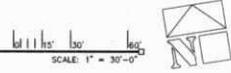
TITAN DEVELOPMENT
ALLIANCE RESIDENTIAL COMPANY

DATE: OCTOBER 25, 2016 ORB # 14-210

A1.10
SITE PLAN
PRELIMINARY



PRELIMINARY SITE PLAN



UNIT MIX

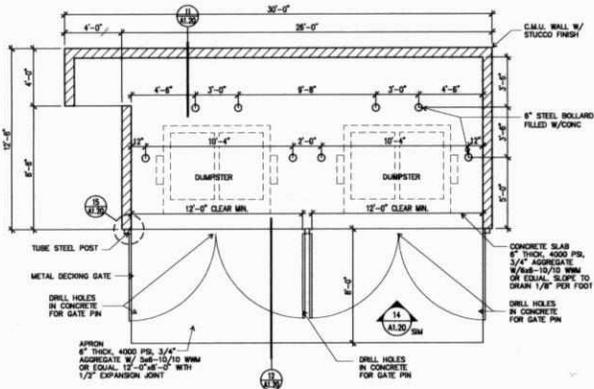
UNIT TYPE	ST	A1	A2	A3	B1	B2	B3	B4	UNITS/BLDG	NO. TOTAL UNITS
UNITS	815	792	880	771	1,008	988	1,008	1,014		
PAT/BAL	37	78	57	64	63	53	86	114		
BUILDING 1	6	34	6	2	9	10	3	62	1	68
BUILDING 2	2								2	2
BUILDING 3	4								2	2
TOTAL	6	2	34	6	4	9	10	3	2	4

MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED

STAGE	SF REQ. (1/2" MIN. OF TOTAL SF PER DU (474) REQUIRED)	TOTAL SF PROVIDED
STAGE 1	300	1,300
1 BEDROOM	300	42
2 BEDROOM	250	28
PROVIDED GROUND LEVEL OPEN SPACE		13,850
PROVIDED BALCONY PRIVATE OPEN SPACE		4,800
TOTAL (SUM OF 2,355 SF)	74	18,100

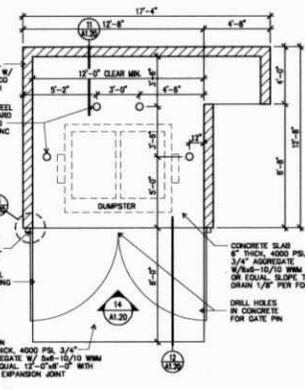
PARKING SPACE REQUIREMENTS

UNIT TYPE	PARKING RATIO REQUIRED	PARKING SPACES
UNIT S1, A1, A2, A3 < 1,000 SF	48 - 1 BR / 1 BATH	1 / 1
UNIT S2 < 1,000 SF	9 - 2 BR / 2 BATH	1.5 / 2
UNIT B1, B3, B4 > 1,000 SF	17 - 2 BR / 2 BATH	1.5 / 2
Total Parking Spaces Required		108
Carport Parking Provided		19
Garage Parking Provided		23
Total Parking Provided		94
Accessible Parking Required		10
Open Accessible Parking Provided		2
Carport Accessible Parking Provided		1
Garage Accessible Parking Provided		1
Total Accessible Parking Provided		4
Bicycle Parking Required		37
(1 SPACE FOR EVERY 2 DWELLING UNITS)		23
BICYCLE RACK		14
Total Bicycle Parking Provided		37



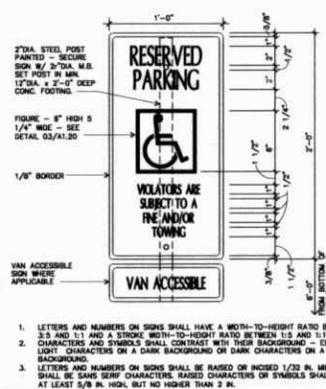
13 DOUBLE TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



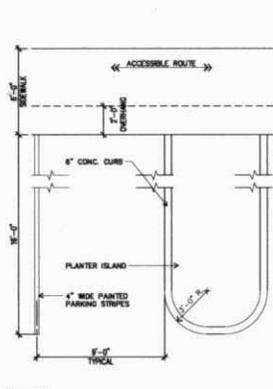
07 SINGLE TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



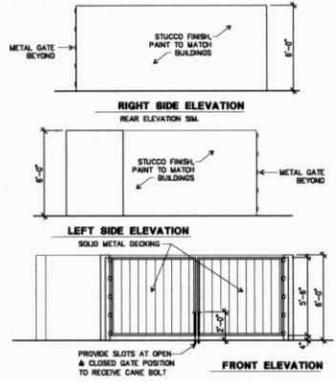
04 ACCESSIBLE PARKING SIGN

NOT TO SCALE



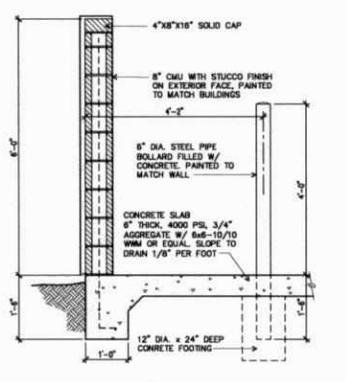
01 TYPICAL PARKING STALL WITH ISLAND

SCALE: 1/4" = 1'-0"



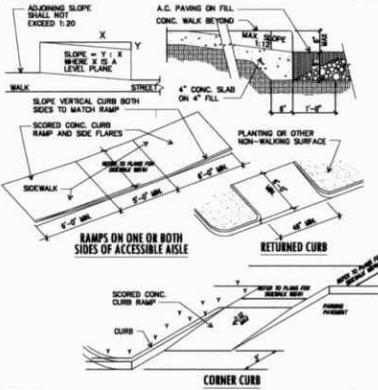
14 REFUSE ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"



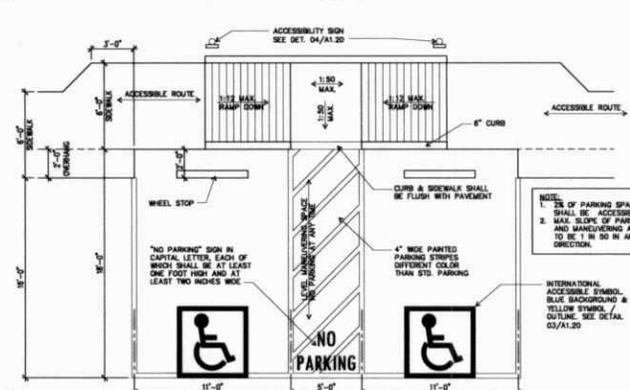
11 TRASH ENCLOSURE WALL

SCALE: 3/4" = 1'-0"



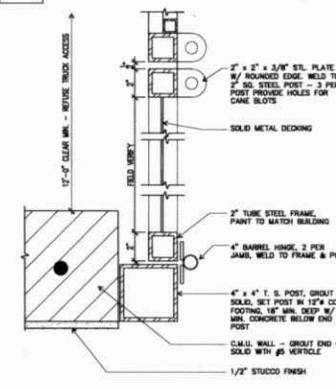
08 TYPICAL ON-SITE ACCESSIBLE RAMP

NOT TO SCALE



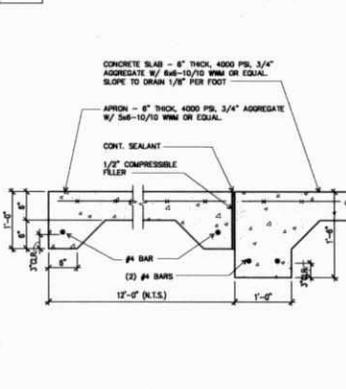
05 TYPICAL ACCESSIBLE PARKING STALL

SCALE: 1/4" = 1'-0"



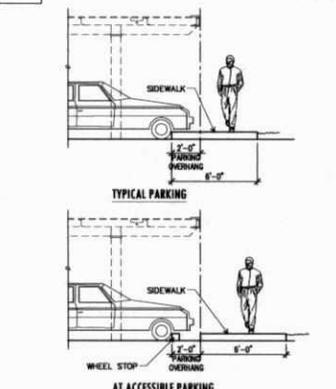
15 TRASH ENCLOSURE GATE

SCALE: 3\"/>



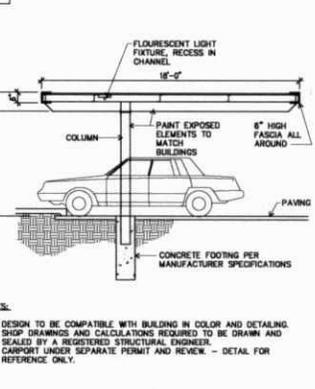
12 REFUSE ENCLOSURE SLAB JOINT

SCALE: 1\"/>



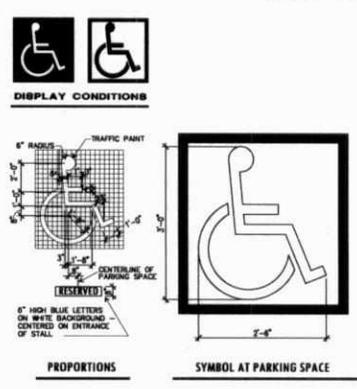
09 SIDEWALK AT PARKING

SCALE: 1/4" = 1'-0"



06 CARPORT DETAIL

SCALE: 1/4" = 1'-0"



03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

NOT TO SCALE

- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 0.5 AND 1.1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1.15 AND 1.16.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INOURED 1/32 IN. MIN. AND SHALL BE SANE SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN.

- NOTE:
- 3% OF PARKING SPACES SHALL BE ACCESSIBLE.
 - MAX. SLOPE OF PARKING AND WALKING AREA TO BE 1 IN 50 IN ANY DIRECTION.

NOTES:

- REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION. TYPICAL THESE DRAWINGS ARE ARCHITECTURAL ONLY.
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

BROADSTONE HIGHLANDS
 NWC CEDAR ST AND COPPER AVE
 ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
 Architecture, Inc.
 WorldHQ@ORBArch.com



TITAN
 DEVELOPMENT

ALLIANCE
 RESIDENTIAL COMPANY

DATE: OCTOBER 25, 2016 ORB # 14-210

A1.20

SITE DETAILS
 01 - 15

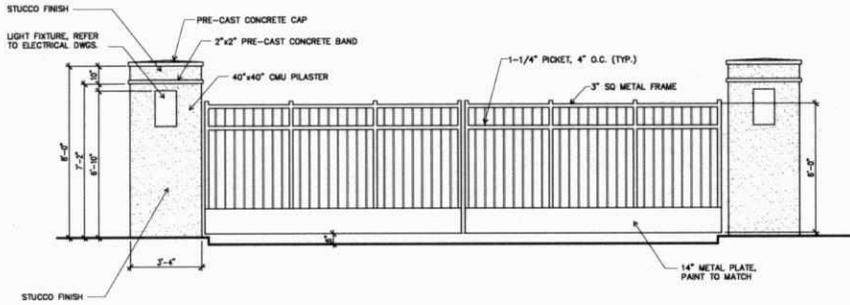
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NOTES:
1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION. TYPICAL THESE DRAWINGS ARE ARCHITECTURAL ONLY.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

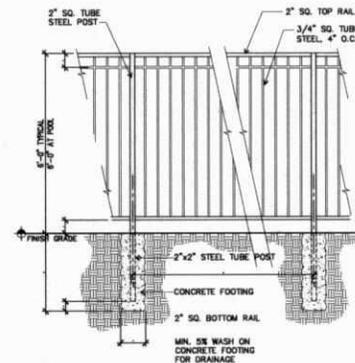
DATE: OCTOBER 25, 2016 ORB # 16-210

A1.21

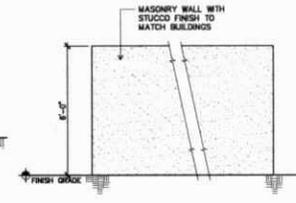
SITE DETAILS
16 - 30



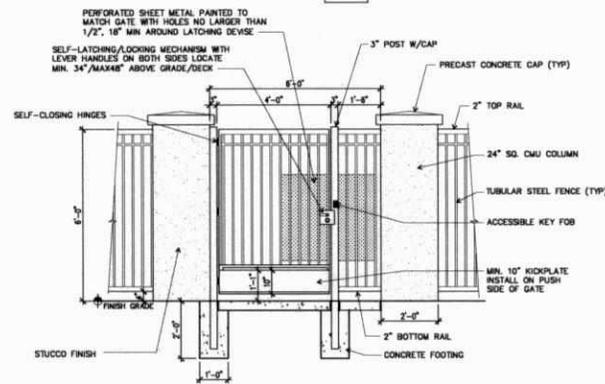
28 VEHICULAR ENTRY GATE
SCALE: 3/8" = 1'-0"



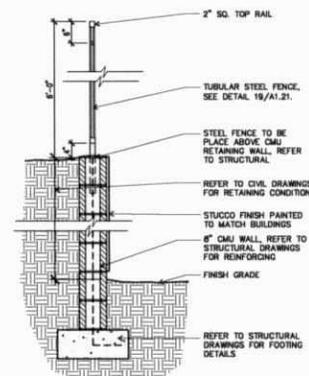
19 TUBULAR STEEL FENCE
SCALE: 1/2" = 1'-0"



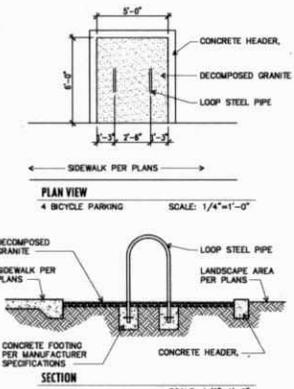
16 PERIMETER MASONRY WALL
SCALE: 3/8" = 1'-0"



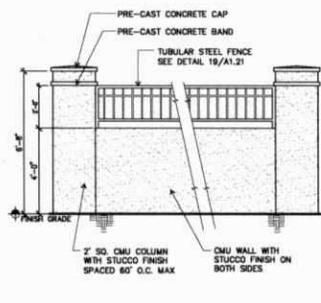
23 PEDESTRIAN ENTRY GATE
SCALE: 1/2" = 1'-0"



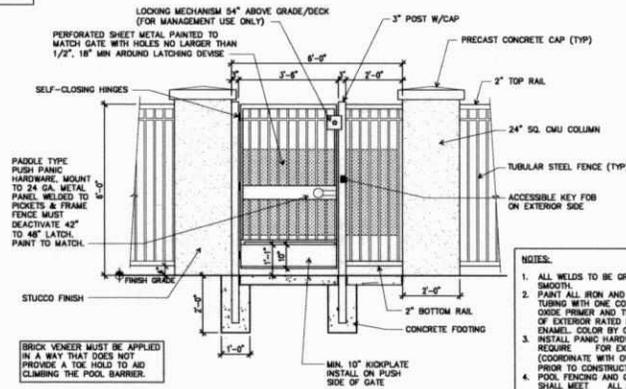
17 SOLID PERIMETER WALL W/ FENCE
SCALE: 3/4" = 1'-0"



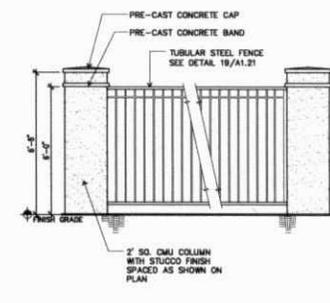
30 BICYCLE PARKING
SCALE AS NOTED



27 PILASTER AT CMU/TUBULAR COMBO FENCE
SCALE: 3/8" = 1'-0"



24 PEDESTRIAN ENTRY GATE AT POOL FENCE
SCALE: 1/2" = 1'-0"

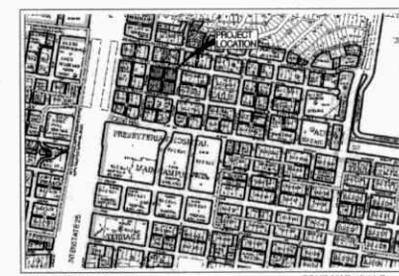
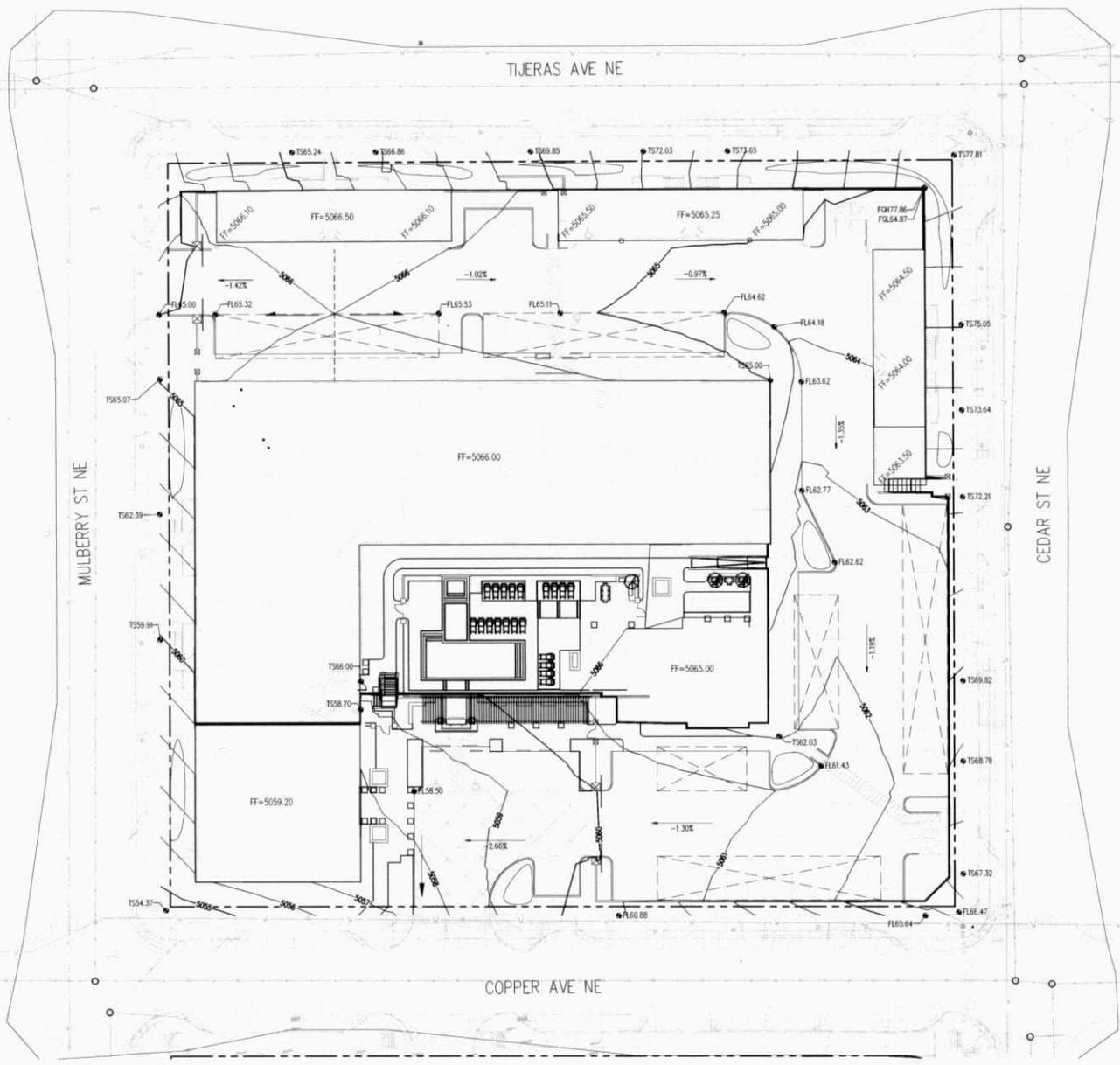


18 PILASTER AT PERIMETER TUBULAR STEEL FENCE
SCALE: 3/8" = 1'-0"

NOTES:
1. ALL WELDS TO BE GROUND SMOOTH.
2. PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.
3. INSTALL PANELED HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).
4. POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.

BRICK VENEER MUST BE APPLIED IN A WAY THAT DOES NOT PROVIDE A TOE HOLD TO AID CLIMBING THE POOL BARRIER.

FILE: I:\Data\ORB Job Files\New\Hillside\LOAD Files\New\Hillside\A1.21 Site Details.dwg USER: jps DATE: Oct 22 2016 TIME: 09:45 AM



VICINITY MAP ZONE MAP: K-14-Z



FEMA FIRM MAP #: 35001C0334G

DRAINAGE NARRATIVE

THIS SITE IS LOCATED AT THE NORTHEAST CORNER OF MULBERRY ST NE AND COPPER AVE NE. IT IS CURRENTLY DEVELOPED AND SLOPES GENERALLY FROM NORTHEAST TO SOUTHWEST. FINISHED FLOOR ELEVATIONS HAVE BEEN SET TO GENERALLY ADHERE TO EXISTING ELEVATIONS AND PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDINGS. THE SITE IS NOT LOCATED IN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM #35001C0334G).

OUR SITE WILL REMAIN DEVELOPED, ALLOWING FLOODS OF THE PROPOSED FLOW TO REMAIN GENERALLY UNCHANGED FROM THE CURRENT DEVELOPED FLOW. THE FLOW WILL SHEET FLOW INTO MULBERRY ST NE AND COPPER AVE NE. THE FLOW WILL THEN BE CAPTURED BY OFFSITE INFRASTRUCTURE IN COPPER AVE NE RESPECTIVELY LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED WHERE APPLICABLE TO CAPTURE DRAINAGE IN AN ATTEMPT TO MEET THE FIRST FLOOR REQUIREMENTS.



GRADING LEGEND

—	PROPERTY LINE	—	PROPOSED CURB & GUTTER
- - -	PROJECT LIMITS OF GRADING	—	DIRECTION OF FLOW
—	EXISTING INDEX CONTOUR	- - -	WATER BLOCK/GRADE BREAK
- - -	EXISTING INTERMEDIATE CONTOUR	—	PROPOSED STORM DRAIN LINE
●	EXISTING GROUND SPOT ELEVATION	⊙	PROPOSED STORM DRAIN MANHOLE
- - -	PROPOSED INDEX CONTOUR	—	PROPOSED STORM DRAIN INLET
- - -	PROPOSED INTERMEDIATE CONTOUR	—	PROPOSED RETAINING WALL
- - -	PROPOSED FLOW LINE	—	EXISTMENT
●	PROPOSED FINISHED GRADE SPOT ELEVATION	—	PROPOSED WATER HARVESTING AREAS (FIRST FLOOR REQUIREMENT)
—	TO-TOP OF CURB FLOW LINE		
—	TO-TOP OF SIDEWALK		
—	TO-TOP OF GRADE		
—	FIN-FINISH GROUND HIGH		
—	FIN-FINISH GROUND LOW		

BROADSTONE HIGHLAND
NWC CEDAR ST AND COPPER AVE ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB Architecture, LLC

WorldHQ@ORBArch.com

PRELIMINARY NOT FOR CONSTRUCTION

TITAN DEVELOPMENT

ALLIANCE RESIDENTIAL COMPANY

Bohannon & Huston
www.bhinc.com 505.877.5332

Contractor must verify all dimensions of project before proceeding with this work. An not measure these things and specifications which the engineer designs and specifications are responsible of errors and shall obtain the property of the architect whether the project for which this is made is approved or not. These drawings are for informational purposes only and shall not be used for any other project or for any other purpose without the prior written permission of the architect.

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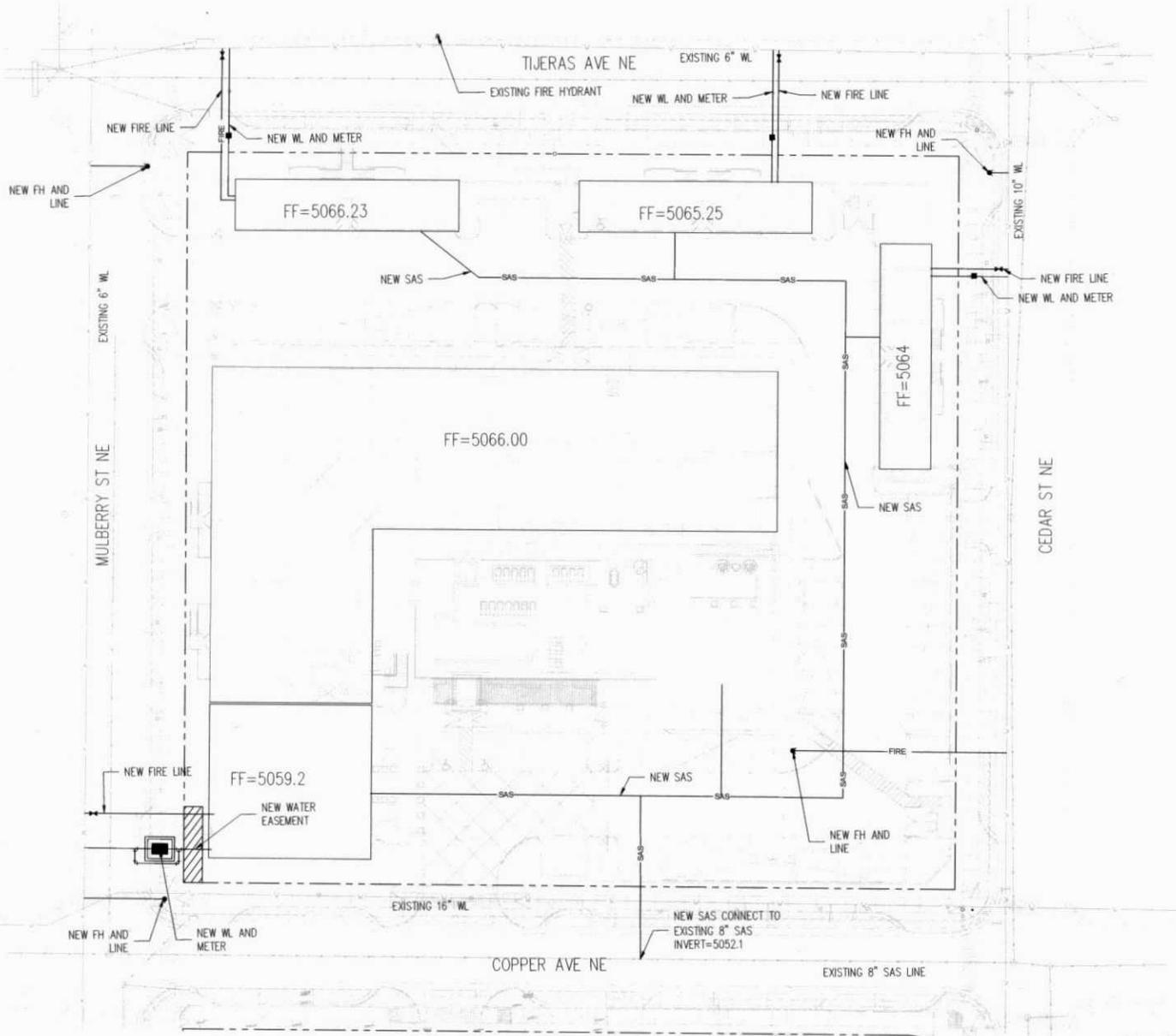
REVISIONS

△	
△	
△	
△	
△	

DATE: SEPTEMBER 21, 2016 ORB # 16-210

C1.00

GRADING PLAN PRELIMINARY



LEGEND

	EXISTING WATER LINE
	EXISTING SANITARY AND SEWER
	NEW WATER LINE
	NEW FIRE LINE
	NEW SANITARY SEWER
	FIRE HYDRANT
	WATER METER
	WATER VALVE
	WATER EASEMENT

**BROADSTONE
HIGHLAND**
NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com

PRELIMINARY
NOT FOR
CONSTRUCTION

TITAN
DEVELOPMENT
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Bohannon & Huston
www.bhinc.com 800.877.5332

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REVISIONS

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DATE: SEPTEMBER 27, 2016 ORB # 16-210

C2.00
UTILITY PLAN
PRELIMINARY

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Wed, 28-Sep-2016 - 4:38 pm. Plotted by: MBL/KJ/DVS

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT RED
- (B) STUCCO FINISH MEDIUM BROWN
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) RAILING DARK GRAY
- (F) STUCCO FINISH DARK GRAY



**BROADSTONE
HIGHLANDS**

NWC CEDAR ST AND COPPER AVE
ALBUQUERQUE, NEW MEXICO



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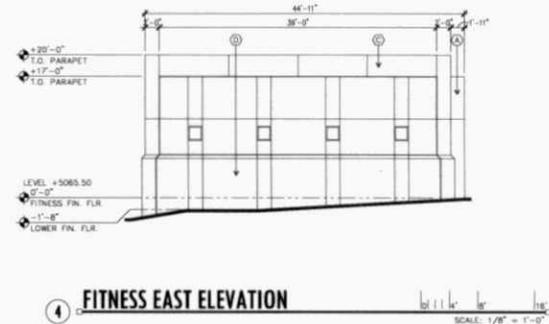
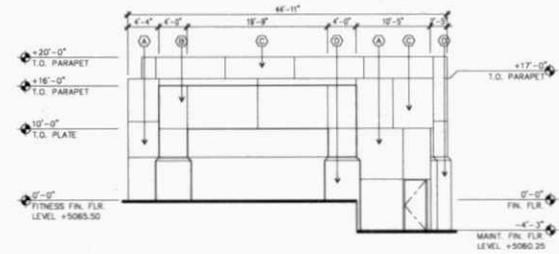
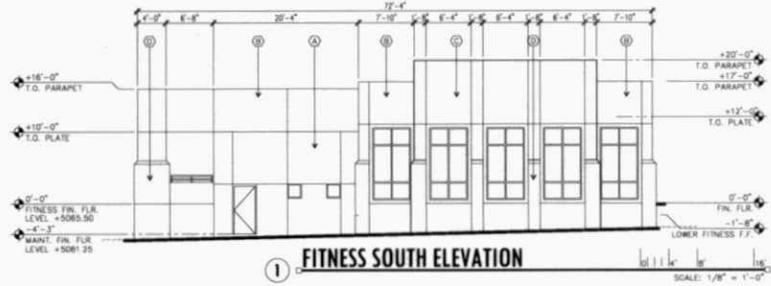
DATE: SEPTEMBER 30, 2014 ORB # 16-210

A3.40

EXTERIOR ELEVATIONS

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT RED
- (B) STUCCO FINISH MEDIUM BROWN
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) RAILING DARK GRAY
- (F) STUCCO FINISH DARK GRAY



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DATE: SEPTEMBER 26, 2016 ORB # 14-210

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FITNESS BUILDING
ELEVATIONS