



**Environmental
Planning
Commission**

*Agenda Number: 10
Project Number: 1010550
Case #: 16EPC-40040
November 10, 2016*

Staff Report

Agent	The Design Collective, LLC
Applicant	Starbucks Coffee Co.
Request	Site Development Plan for Building Permit
Legal Description	Tract A-1-D, Los Pastores Shopping Center
Location	On Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE
Size	Approximately 1.2 acres
Existing Zoning	C-2 (SC)
Proposed Zoning	No change

Staff Recommendation
APPROVAL of Case # 16EPC-40040 based on the Findings beginning on Page # 10, and subject to the Conditions of Approval beginning on Page # 12.

Staff Planner
Vicente M. Quevedo, Planner

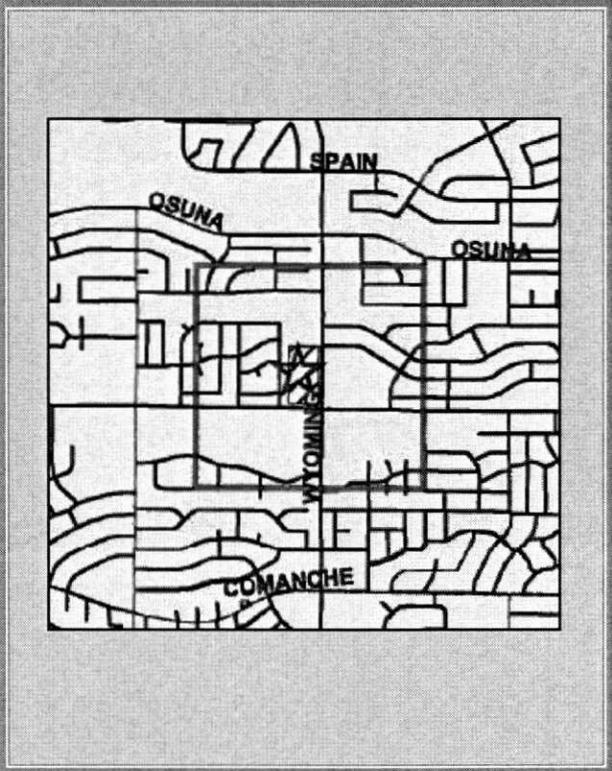
Summary of Analysis
 The request is for a site development plan for building permit for an approximately 1.2 acre site located on Wyoming Blvd. between Montgomery Blvd. and Osuna Rd. and located within the Los Pastores Shopping Center Site Development Plan for Subdivision.

The subject site is zoned C-2 (SC). The applicant is proposing to construct a new free standing drive thru restaurant on the subject site. The proposed development is subject to the EPC approved design standards contained within the Los Pastores Site Development Plan for Subdivision.

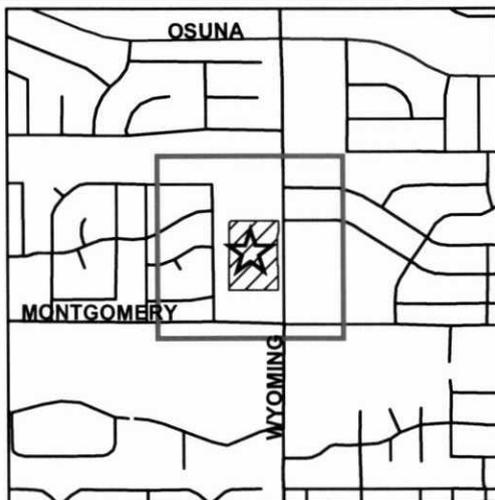
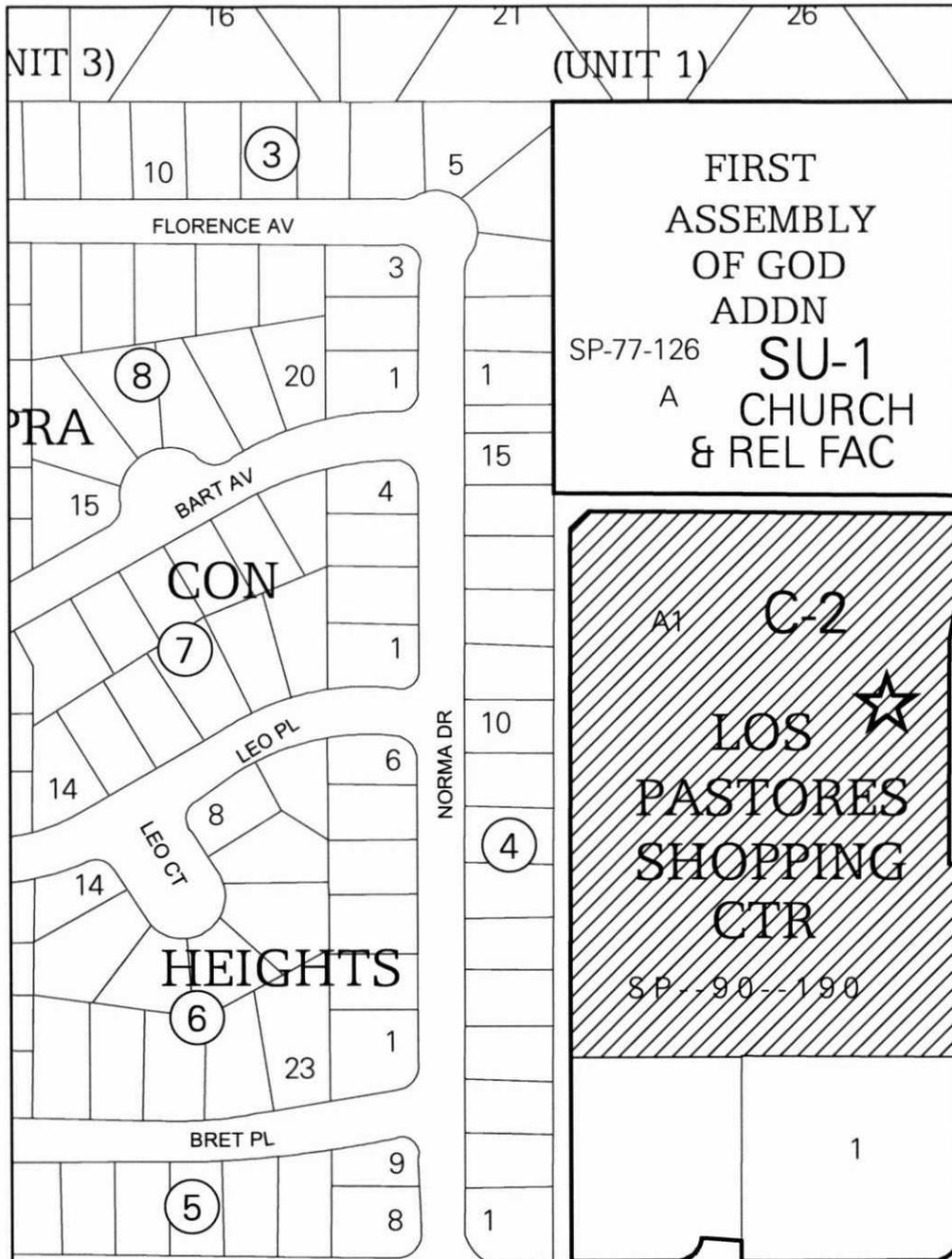
Planning Staff has reviewed the attached site development plan for conformance with applicable requirements of the Los Pastores Shopping Center Site Development Plan for Subdivision (LPSSPS) and the Zoning Code.

There is no known opposition to this request.

Staff is recommending approval of the requested action subject to the findings and conditions outlined in the staff report..



City Departments and other interested agencies reviewed this application from 08/01/16 to 08/17/16
 Agency comments used in the preparation of this report begin on Page # 15.



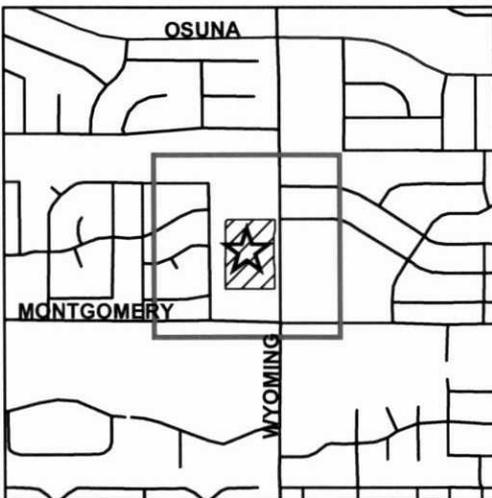
ZONING MAP

Note: Grey shading indicates County.



1 inch = 200 feet

Project Number: 1010550
 Hearing Date: 09/08/2016
 Zone Map Page: F-19
 Additional Case Numbers: 16EPC-40040



LAND USE MAP

Note: Grey shading indicates County.

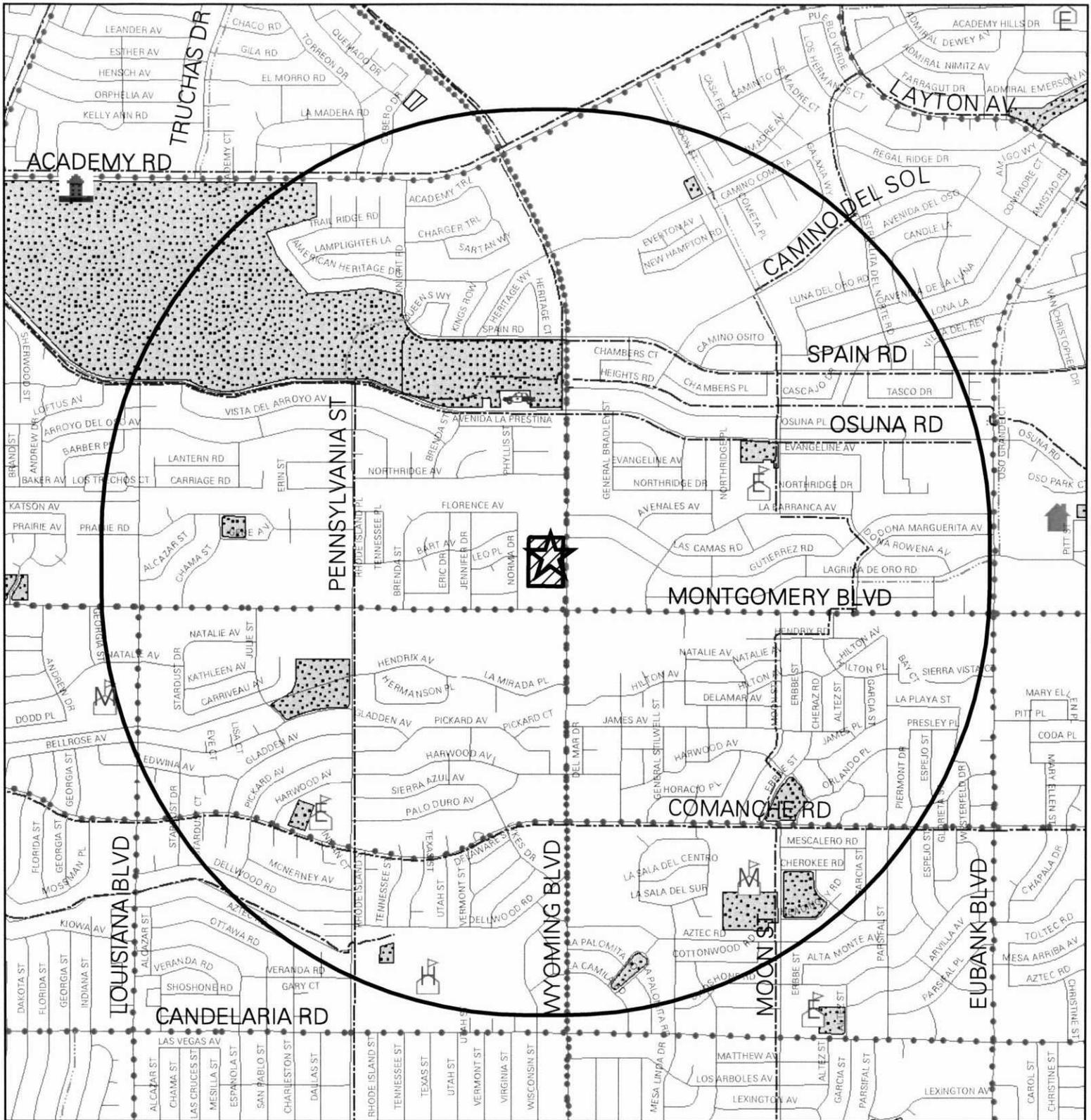
KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 200 feet

Project Number:
1010550
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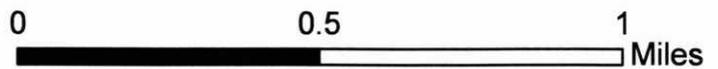


Public Facilities Map with One-Mile Buffer

- | | | | | | | | |
|--|----------------------|--|-------------------------|--|--------------------------|--|-----------------------------|
| | COMMUNITY CENTER | | FIRE | | APS Schools | | Landfill Buffer (1000 feet) |
| | MULTI-SERVICE CENTER | | POLICE | | ABQ Ride Routes | | Landfills designated by EHD |
| | SENIOR CENTER | | SHERIFF | | ABQ Bike Facilities | | Developed County Park |
| | LIBRARY | | SOLID WASTE | | Proposed Bike Facilities | | Undeveloped County Park |
| | MUSEUM | | Albuquerque City Limits | | Developed City Park | | Undeveloped City Park |



Project Number: 1010550



I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	C-2 (SC)	Established Urban	Retail / Commercial Service, Vacant
North	SU-1 for Church and Related Facilities	Established Urban	Public / Institutional
South	C-2 (SC)	Established Urban	Commercial Retail
East	C-2	Established Urban	Commercial Retail
West	R-1	Established Urban	Single Family Residential

II. INTRODUCTION

Proposal

This is a request for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Wyoming Blvd. between Montgomery Blvd. and Osuna Rd. and located within the Los Pastores Shopping Center Site Development Plan for Subdivision. The subject site is zoned C-2 (SC). The applicant is proposing to construct a new free standing drive thru restaurant on the subject site. The proposed development is subject to the EPC approved design standards contained within the Los Pastores Site Development Plan for Subdivision.

EPC Role

The request is considered a quasi-judicial matter. The Shopping Center (SC) Regulations Section §14-16-3-2(C) require the same approval process as an SU-1 zoned site. This request is being heard by the EPC because of the stated provision in the SC regulations as well as the design standards of the Los Pastores Shopping Center Site Development Plan for Subdivision..

History/Background

A subdivision plan for the Los Pastores Shopping Center area was originally approved in December 1962 and subdivided the shopping center site into three separate tracts (S-1214). The existing C-2 zoning was established for the Los Pastores Shopping Center area in November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions. The only portions of the approved development plan that have been constructed are an existing fast food restaurant building on the southwesterly portion of Tract A-1 and a bank building on the southeasterly portion of Tract A-1.

On January 14, 2015 the EPC approved an amendment to the Los Pastores Shopping Center Site Development Plan for Subdivision to subdivide the undeveloped portion of the shopping center site into five pads sites / tracts, establish necessary access and utility easements and establish design standards for the approximately 6.75 acre Los Pastores Shopping Center site. DRB signed off on the final Los Pastores Site Development Plan for Subdivision on June 1, 2016 (15EPC-40032).

Context

The shopping center area that contains the subject site is bound on the north by an adjacent unpaved public alley and an existing church, on the east by Wyoming Blvd., on the south by Montgomery Blvd. and on the west by an adjacent unpaved public alley and a residential subdivision.

Transportation System

The 2013 Interim Long Range Roadway System (ILRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The ILRRS designates Wyoming Blvd. & Montgomery Blvd. as Principal Arterials.

The ILRRS designates Gutierrez Rd. as a Local street.

Comprehensive Plan Corridor Designation

Montgomery Blvd. is designated a Major Transit Corridor with the goal to optimize public transit and move large numbers of people in a very timely and efficient manner.

Wyoming Blvd. is designated an Enhanced Transit Corridor with the goal to improve transit and pedestrian opportunities for residents, businesses and other users nearby.

Trails/Bikeways

The nearest existing bicycle lanes are located along Pennsylvania St. approximately .40 of a mile west of the subject site, and along Osuna Rd. approximately .30 of a mile north of the subject site. Bear Canyon Trail is located north of the subject site and north of Osuna Rd. approximately .36 of a mile from the subject site.

Transit

Route #31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd. Refer to Transit Agency comments for additional information.

Public Facilities/Community Services

There are four schools, a police station, and several developed City parks within a mile of the subject site. See the Public Facilities Map preceding this report for more details.

III. ANALYSIS - APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

Definitions (Zoning Code §14-16-1-5)

SHOPPING CENTER SITE. A premises containing five or more acres; zoned P, C-1, C-2, C-3, M-1, M-2, or a combination thereof; or a large retail facility; but excluding premises used and proposed to be used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing. Shopping center sites are subject to the shopping center regulations of the Zoning Code, § 14-16-3-2.

SITE DEVELOPMENT PLAN FOR SUBDIVISION. An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT. In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g. appropriate landscaping, building heights, and siting for solar access, provision for non-auto transportation, or energy conservational building construction), and proposed schedule for development.

Zoning

The existing zoning for the subject site is C-2 (SC). The C-2 zone provides suitable sites for offices, for most service and commercial activities, and for certain specified institutional uses. SC refers to Shopping Center regulations, which are found in Section 14-16-3-2 of the Zoning Code. The subject site must meet all of the Shopping Center regulation requirements as well as any additional requirements imposed by the EPC approved Los Pastores Site Development Plan for Subdivision (15EPC-40032).

Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in an area that the Albuquerque/Bernalillo County Comprehensive Plan has designated Established Urban. The Goal of Developing and Established Urban Areas is "to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing built environment." Applicable policies include:

Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action furthers Policy II.B.5.d. because it is appropriately located adjacent to and nearby a cluster of other C-2 zoned lots, the intensity of which will not negatively impact existing residential development in the area. Carrying capacities are also appropriate for the area.

Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers Policy II.B.5.e. because the subject site is contiguous to existing urban facilities and services. The integrity of existing neighborhoods will be ensured because the proposed Site Development Plan for Building Permit is required to adhere to the EPC approved design standards contained within the Los Pastores Shopping Center Site Development Plan for Subdivision.

Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers Policy II.B.5.i. because the applicant is proposing a new commercial retail use for the subject site. The subject site is located near adjacent to and nearby a cluster of other C-2 zoned lots which are configured to complement nearby residential areas. The proposed development plan in conjunction with the EPC approved design standards for the shopping center site will serve to minimize any potential adverse impacts on residential environments.

Policy II.B.5.j.: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.

The request furthers Policy II.B.5.j. because the new proposed commercial retail development will be located within an existing commercially zoned area, within a larger area-wide shopping center site at the intersection of Wyoming and Montgomery Blvd. which are designated minor arterial streets. Route #31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd.

Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The request furthers Policy II.B.5k because the subject site is adjacent to two minor arterials and has been designed to minimize any harmful effects of traffic on nearby established residential neighborhoods. Transportation Staff provided comments that will ensure that any harmful effects of traffic will be minimized. The TIS form indicates that a traffic study is not required.

IV. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Request

This is a request for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Wyoming Blvd. between Montgomery Blvd. and Osuna Rd. and located within the Los Pastores Shopping Center Site Development Plan for Subdivision. The subject site is zoned C-2 (SC). The applicant is proposing to construct a new free standing drive thru restaurant on the subject site. The proposed development is subject to the EPC approved design standards contained within the Los Pastores Site Development Plan for Subdivision.

Section 14-16-3-11 of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable requirements of the Los Pastores Shopping Center Site Development Plan for Subdivision (LPSSPS) and the Zoning Code.

Site Plan Layout / Configuration

The subject site is oriented length wise from east to west and is directly adjacent to Wyoming Blvd. The proposed 2,220 sf commercial retail building is located at the north east corner of the subject site. A proposed drive thru lane is located along the northern, southern and eastern sides of the building. Two 24' wide points of ingress and egress are proposed along the northern and western edges of the subject site. The applicant is proposing a total of 24 parking spaces on the subject site in the southwestern portion of the subject site. A refuse area for the commercial retail space is located at the southwest corner of the subject site and includes a 6' tall CMU block refuse enclosure. The maximum proposed building height is 20' and the maximum proposed floor area ratio for the subject site is .045.

Public Outdoor Space

The design standards contained within the LPSSPS state that a minimum of 200 sf of public space shall also be provided at each restaurant establishment for outdoor seating or gathering. The design standards also require these areas to be shaded through the use of seating with canvas umbrellas at tables, shade sails or canopies. The applicant has met the intent of the design standard goal of creating a pedestrian friendly environment by proposing an uncovered 572 sf outdoor patio space along the western edge of the proposed building (see Pedestrian and Bicycle Access section for additional pedestrian connection details). The patio will include umbrella covered seating and will be bordered by patio railing.

Vehicular Access, Circulation and Parking

Vehicles can access the subject site via two proposed 24' wide points of ingress and egress along the northern and western edges of the subject site. These access points are also connected to internal roads within the Los Pastores Shopping Center. Once on the subject site, vehicles can access the proposed parking spaces within the parking lot area, or may access the drive thru lane at the southeastern corner of the subject site. Upon exiting the drive thru lane, vehicles are directed to utilize an egress point along the northern edge of the subject site.

The design standards contained within the LPSSPS state that parking shall meet the requirements of Section 14-16-3-1 of the Zoning Code. This section of the Zoning Code requires 1 parking space per 4 seats provided at a restaurant, 1 handicap accessible parking space, 1 motorcycle parking space and 1 bicycle parking space. The applicant is proposing a total of 24 off-street parking spaces that includes 2 handicap accessible spaces, 2 motorcycle spaces and 2 bicycle racks that will provide parking for up to 4 bicycles which exceeds the minimum requirements of the Zoning Code / LPSSPS.

Pedestrian and Bicycle Access and Circulation, Transit Access

Pedestrians and bicyclists can access the subject site via a proposed 6' wide accessible pathway from the existing sidewalk along the eastern edge of the subject site heading west, which then connects to a proposed (painted) pedestrian path that heads south along the western building façade and terminates at the main front building entrance along the southern building façade. Bicycle parking spaces are located near the southwest corner of the proposed commercial retail building. The proposed sidewalks abutting the building range from 6' to 8' 3". Route #31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd.

The design standards contained within the LPSSPS state that all pedestrian connections within the within parking lots shall comply with Section 14-16-3-1(H) of the Zoning Code (Off-Street Parking Regulations), and therefore must include a minimum 6' wide pedestrian walkway, connect from street sidewalks to the principal customer entrance, and that pedestrian sidewalks must be no less than 6' to 8' where building facades abut parking areas. All proposed pedestrian and ADA areas will be clearly demarcated through the use of pavement marking (painting). The applicant has met or exceeded all of these requirements as outlined above and demonstrated on the proposed site development plan.

Lighting and Security

The applicant is proposing seven 20' tall free standing light poles, and four building mounted light fixtures on the subject site. The design standards contained within the LPSSPS states that the height of street lights shall not exceed 26', and the height of pedestrian lighting shall not exceed 12'. The proposed lighting for the subject site conforms to the requirements of the LPSSPS design standards. However, the applicant will need to include notations on the site development plan Sheet A-1002 stating that the proposed development shall conform to the requirements of Section 14-16-3-9 of the Zoning Code (Area Lighting Regulations) as well as the State of New Mexico Night Sky Protection Act.

Landscaping

The landscaping plan contains low to medium water usage tree and plant species; all species are appropriate for the area and a plant schedule is provided. All required notations regarding maintenance responsibilities, water conservation and irrigation system to be used are included on the landscape plan. Per Section 6-6-2-5 (Street Tree Policies) of the Code of Ordinances the applicant is required to provide a street tree plan for any building of over 200 sf and where the lot is adjacent to a major street. The City of Albuquerque Street Tree Ordinance requires the applicant to install street trees at a rate of one tree per 30 linear feet, and within 20 feet of back of curb. Per this ratio, the applicant is required to install 7 street trees for the subject site along Wyoming Blvd. and the applicant is proposing a total of 9 street trees. The applicant is also required to provide 4 parking lot trees and the applicant is proposing a total of 11 trees.

The total required landscape 15% of net lot area coverage for the site is 7,109 sf and the applicant is proposing 9,553 sf which exceeds the requirement. In addition, 75% of the net lot area must include live plant coverage which equates to 5,331 sf and the applicant is proposing 7,950 sf of live plant coverage which also exceeds the requirements. The calculations section of the landscaping plan does not currently list all of these totals, a condition of approval has been added to update this section of the landscaping plan on sheet L1.00 and L1.10.

The LPSSPS design standards state that all landscape plans must meet the requirements of Section 14-16-3-10 (Landscaping Regulations), requires that plant schedules be selected from a specific plant palette, and that the applicant include maintenance notes and references to City Ordinances. While the applicant has demonstrated that the landscape calculations meet the minimum requirements of the design standards, the applicant has not selected all trees, shrubs and accents from the required list contained within the LPSSPS design standards. Finally, the applicant will also need to add notations stating that landscape maintenance is the responsibility of the owner, as well as references to the City's Water Conservation and Pollen Ordinance.

Grading, Drainage, Utility Plans

Surface runoff from the entire LPSSPS area generally flow from the northeast corner of the toward an existing pond on the southwest portion of the undeveloped area. Offsite flows draining onto the subject site from the north surface flow over the southwestern parcel and drain through a curb cut into an existing pond. No offsite flows drain on the site from Wyoming Blvd.

The grading and drainage improvements for the subject site include the development of a first flush retention basin and pond at the southeast corner of the subject site. Drainage for the subject site will connect to the pond from the parking lot area via two rock outfall pads, and a pipe outlet is also proposed from the commercial building directly to the drainage pond. The applicant has also addressed the Hydrology Division's agency comments by showing that the trash enclosure area will connect directly to the proposed 6" Sanitary Sewer Line.

Architecture

The applicant is proposing a modern architectural style for the commercial retail building on the subject site and has included adequate articulation and massing features along each façade. The proposed building facades include a limestone painted finish with brick trim, solid metal

canopies and prefinished metal coping style canopies and glass doors and panels. Overall, the proposed buildings meet the intent of the design standards contained within the LPSSPS by including a variety of structural forms, color varied massing elements and a cohesive color palette throughout the building.

Signage

No new free standing signage is proposed for the subject site. Directional signage and a drive thru menu reader board are proposed on the subject site but do not count toward the permitted type and signage area allowed on the subject site. Building mounted signage is proposed along each façade and according to the LPSSPS design standards must comply with the requirements of the C-2 zoning governing the subject site which are more restrictive than the General Sign Regulations of the Zoning Code (Section 14-16-3-5).

The total façade to permissive building mounted signage area ratios are as follows:

Northern Façade:	Up to 260 sf permitted, 45 sf proposed
Southern Façade:	Up to 260 sf permitted, 24.12 proposed
Eastern Façade:	Up to 153 sf permitted, 26.32 proposed
Western Façade:	Up to 415 sf permitted, 26.32 proposed

Therefore, the proposed signage for the subject site meets the design standard signage requirements of LPSSPS.

V. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

Commenting agencies reviewed this application from August 1, 2016 to August 17, 2016. The most significant comments were submitted by the City Engineer. However the applicant has submitted an updated plan set that has addressed the majority of these comments. Any remaining items have been included as conditions of approval for the requested action.

Neighborhood/Public

The Loma Del Rey Neighborhood Association and District 7 Coalition of Neighborhood Associations as well as property owners within 100 ft of the subject were notified of this request. The project was recommended for facilitation on August 12, 2016. However, all parties stated that a facilitated meeting was not required for the proposed action.

Planning Staff received a letter of support for the project from the Loma Del Rey Neighborhood Association and has not received any letters opposing the request.

VI. CONCLUSION

This is a request for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Wyoming Blvd. between Montgomery Blvd. and Osuna Rd. and located within the Los Pastores Shopping Center site development plan for subdivision. The subject site is

zoned C-2 (SC). The applicant is proposing to construct a new free standing drive thru restaurant on the subject site. The proposed development is subject to the EPC approved design standards contained within the Los Pastores Site Development Plan for Subdivision.

The shopping center area that contains the subject site is bound on the north by an adjacent unpaved public alley and an existing church, on the east by Wyoming Blvd., on the south by Montgomery Blvd. and on the west by an adjacent unpaved public alley and a residential subdivision.

Planning Staff has reviewed the attached site development plan for conformance with applicable requirements of the Los Pastores Shopping Center Site Development Plan for Subdivision (LPSSPS) and the Zoning Code.

Following this review, Planning Staff has concluded that the requested Site Development Plan for Building Permit meets the requirements of the design standards contained within the EPC approved LPSSPS. Staff is recommending approval subject to the findings and conditions contained within the staff report.

FINDINGS - 16EPC-40040 – November 10, 2016 - Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit for Tract A-1-D, Los Pastores Shopping Center located on Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE and containing approximately 1.2 acres.
2. The subject site is zoned C-2 (SC). The applicant is proposing to construct a new free standing drive thru restaurant on the subject site. The proposed development is subject to the EPC approved design standards contained within the Los Pastores Site Development Plan for Subdivision.
3. A subdivision plan, containing the subject site, was originally approved in December 1962 and subdivided the subject site into three separate tracts (S-1214). The existing C-2 zoning was established for the subject site in November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions.
4. The EPC approved a Site Development Plan for Subdivision Amendment for the Los Pastores Shopping Center site on January 14, 2016 (15EPC-40032). The requested amendment subdivided the undeveloped portions of the subject site into 5 separate pad sites / tracts, and established design standards for the entire subdivision plan area.
5. The Albuquerque/Bernalillo County Comprehensive Plan, Los Pastores Shopping Center Site Development Plan for Subdivision and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers the following applicable Comprehensive Plan policies:
 - A. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action furthers Policy II.B.5.d. because it is appropriately located adjacent to and nearby a cluster of other C-2 zoned lots, the intensity of which will not negatively impact existing residential development in the area. Carrying capacities are also appropriate for the area.
 - B. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers Policy II.B.5.e. because the subject site is contiguous to existing urban facilities and services. The integrity of existing neighborhoods will be ensured

because the proposed Site Development Plan for Building Permit is required to adhere to the EPC approved design standards contained within the Los Pastores Shopping Center Site Development Plan for Subdivision.

- C. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers Policy II.B.5.i. because the applicant is proposing a new commercial retail use for the subject site. The subject site is located near adjacent to and nearby a cluster of other C-2 zoned lots which are configured to complement nearby residential areas. The proposed development plan in conjunction with the EPC approved design standards for the shopping center site will serve to minimize any potential adverse impacts on residential environments.

- D. Policy II.B.5.j.: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

- In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.

The request furthers Policy II.B.5.j. because the new proposed commercial retail development will be located within an existing commercially zoned area, within a larger area-wide shopping center site at the intersection of Wyoming and Montgomery Blvd. which are designated minor arterial streets. Route #31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd.

- E. Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The request furthers Policy II.B.5k because the subject site is adjacent to two minor arterials and has been designed to minimize any harmful effects of traffic on nearby established residential neighborhoods. Transportation Staff provided comments that will ensure that any harmful effects of traffic will be minimized. The TIS form indicates that a traffic study is not required.

7. The Loma Del Rey Neighborhood Association and District 7 Coalition of Neighborhood Associations as well as property owners within 100' of the subject were notified of this request.

8. The project was recommended for facilitation, but a meeting was not held because all interested parties declined the meeting.
9. Staff received a written letter of support from the Loma del Rey Neighborhood Association which has been made a part of the record for the case.

RECOMMENDATION – 16EPC-40040 – November 10, 2016

APPROVAL of 16EPC-40040, a request for Site Development Plan for Building Permit, for Tract A-1-D, Los Pastores Shopping Center, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL – 16EPC-40040 – November 10, 2016 - Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. A note shall be added to Sheet A-1002 stating that the proposed development shall conform to the requirements of Section 14-16-3-9 of the Zoning Code (Area Lighting Regulations) as well as the State of New Mexico Night Sky Protection Act (74-12-1 to 74-12-10 NMSA 1978).
4. A note shall be added to the Landscape Plan on Sheet L1.00 or L1.10 stating that landscape maintenance is the responsibility of the owner, as well as a note stating that the landscape plan shall conform to requirements of the City's Water Conservation and Pollen Ordinance.

5. Conditions of Approval from the City Engineer:

- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- b. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
- c. A 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- d. Show the existing and proposed infrastructure including sidewalk, and re-aligned drive at the southeast corner of the site.
- e. Show the overall site and location of development.

The following comments need to be addressed prior to DRB:

- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- b. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
- c. Clarify the extents of the current phase.
- d. Identify all existing access easements and rights of way width dimensions.
- e. Identify the right of way width, medians, curb cuts, and street widths on Wyoming Blvd.
- f. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- g. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- h. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- i. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.
- j. Please specify the City Standard Drawing Number when applicable.
- k. Please include a copy of your shared access agreement with the adjacent property owner.

6. Conditions of Approval from City Refuse Division:

- a. Rotate dumpster 45 degrees to the SE. To allow trash vehicle direct access to the enclosure. Show existing access to proposed enclosure from Wyoming along the South side of the property. Double enclosure is required to be 24' in width. See city spec's for minimum standards on solid waste enclosures.

7. Conditions of Approval from Public Service Company of New Mexico:

- a. Electric distribution lines are located along the western boundary of the subject site. In addition, there is an existing public utility easement on the north side of the property. It is the applicant's obligation to abide by any conditions or terms of those easements.
- b. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Mike Moyer
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107
Phone: (505) 241-3697

- c. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.



Vicente M. Quevedo
Planner

Notice of Decision cc list:

The Design Collective, 2303 West Commodore Wy. Suite 205, Seattle, WA 98199
Starbucks Coffee Co., 6380 Fiddlers Green Circle, Denver, CO 80111
Brian Eagan, 8416 Hilton Ave NE, Apt 4B, Albuquerque, NM 87111
William E. Burk, III, 9617 La Playa NE, Albuquerque, NM 87111
Janice Arnold-Jones, 7713 Sierra Azul NE, Albuquerque, NM 87110
Lynne Martin, 1531 Espejo NE, Albuquerque, NM 87112

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Reviewed, no adverse comments.

Office of Neighborhood Coordination

Loma Del Rey NA (R), District 7 Coalition of NA's

Proof provided in packet that Agent/Applicant did contact ONC for their Inquiry Letter on 7/15/16 – siw

Proof provided in packet that Agent/Applicant did send out certified mail to the NA's on 7/21/16 - dlc

8/12/16 – Recommended for Facilitation – dlc

Long Range Planning

16EPC-40040 Site Development Plan for Building Permit

A direct pedestrian connection is needed from the sidewalk along Wyoming Blvd. to the front door that minimizes pedestrian/vehicle conflict, at least 6 feet wide and of a material other than asphalt.

Metropolitan Redevelopment Agency

No comments received.

CITY ENGINEER

Transportation Development

Project # 1010550 Los Pastores Shopping Center

16EPC-40040 Site Development Plan for Building Permit

Transportation Development Conditions:

- f. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- g. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
- h. A 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

- i. Show the existing and proposed infrastructure including sidewalk, and re-aligned drive at the southeast corner of the site.
- j. Show the overall site and location of development.

The following comments need to be addressed prior to DRB:

- l. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
- m. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
- n. Clarify the extents of the current phase.
- o. Identify all existing access easements and rights of way width dimensions.
- p. Identify the right of way width, medians, curb cuts, and street widths on Wyoming Blvd.
- q. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- r. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- s. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- t. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.
- u. Please specify the City Standard Drawing Number when applicable.
- v. Please include a copy of your shared access agreement with the adjacent property owner.

Hydrology Development

- Utility/Drainage Plan needs to show trash enclosure area connected directly to the SAS.
- Make sure to make Hydrology Site Plan for Building Permit submittal to Hydrology prior to DRB.

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

No comments received.

WATER UTILITY AUTHORITY

Utility Services

ABCWUA Comment:

1. 16EPC-40040 Site Development Plan for Building Permit
 - a. Availability statement #151105 was issued on 1/14/16 for the larger development in which the proposed Starbucks is included. As stated in this statement, the fire requirements were not provided, therefore, this document is incomplete. A new availability statement request shall be made to include the fire marshal requirements.
 - b. The proposed utility plan appears to be incomplete and does not indicate connection points to proposed or existing water and or sanitary sewer infrastructure. The new request for availability statement will provide the conditions for service.

ENVIRONMENTAL HEALTH DEPARTMENT

No comments received.

PARKS AND RECREATION

Planning and Design

Reviewed, no adverse comments.

Open Space Division

No comments received.

City Forester

No comments received.

POLICE DEPARTMENT/Planning

No comments received.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Project# 1010550 – Rotate dumpster 45 degrees to the SE. To allow trash vehicle direct access to the enclosure. Show existing access to proposed enclosure from Wyoming along the South side of the property. Double enclosure is required to be 24' in width. See city spec's for minimum standards on solid waste enclosures.

FIRE DEPARTMENT/Planning

No comments received.

TRANSIT DEPARTMENT

No comments received.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

No comments received.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed, no adverse comments.

ALBUQUERQUE PUBLIC SCHOOLS

No comments received.

MID-REGION COUNCIL OF GOVERNMENTS

Project #1010550

MRMPO has no adverse comments.

For informational purposes, Montgomery Blvd NE and Wyoming Blvd NE are both functionally classified as an Existing Principal Arterials.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comments received.

PUBLIC SERVICE COMPANY OF NEW MEXICO

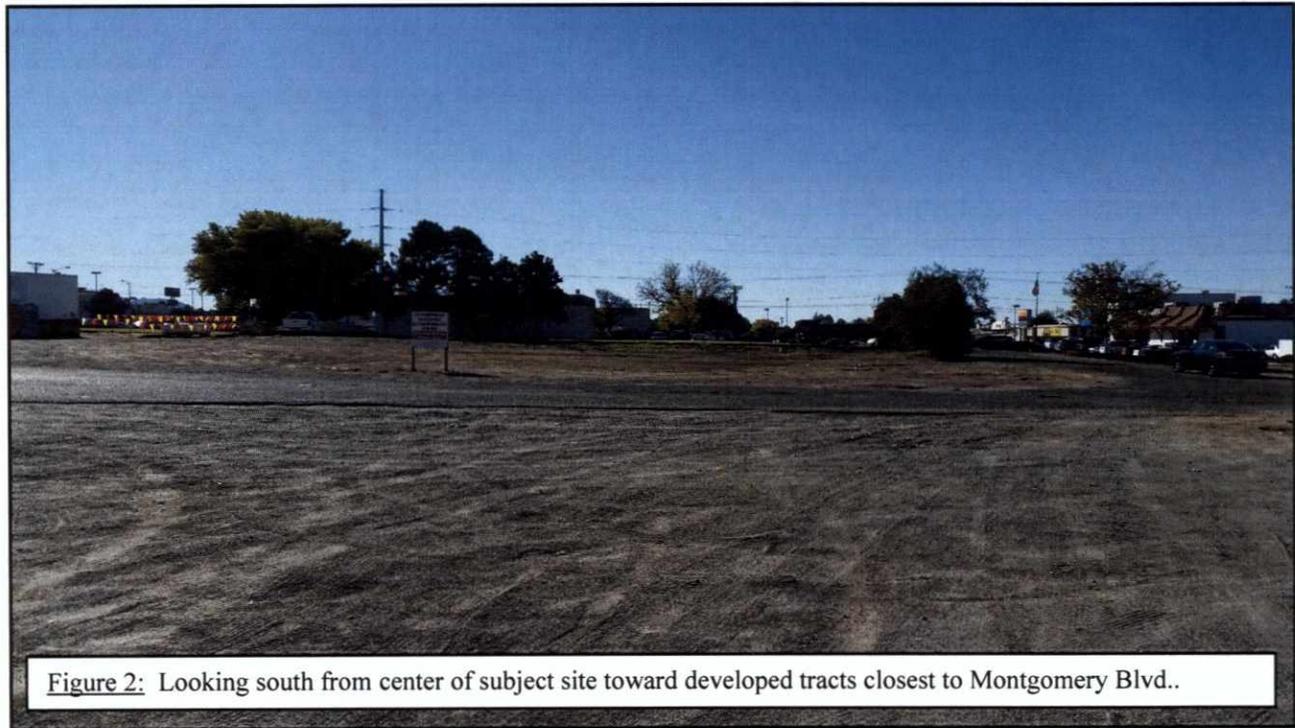
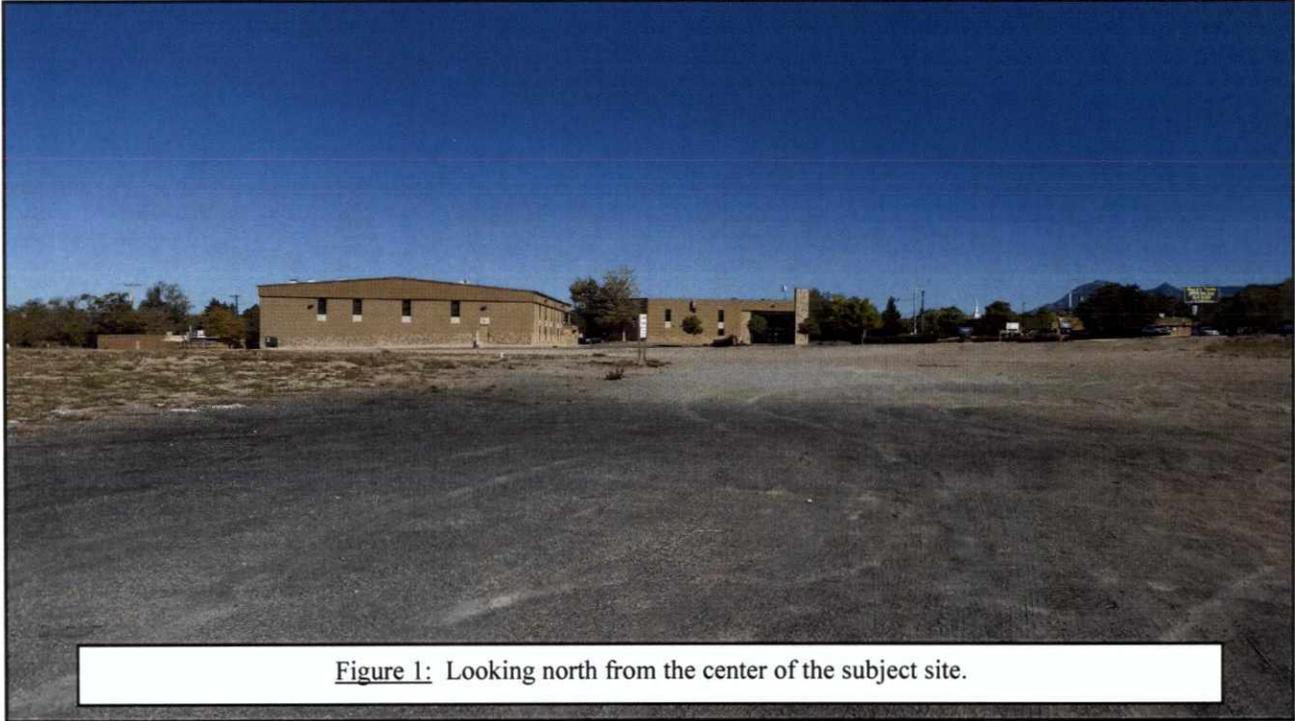
Conditions for Approval for Project #1010550 Site Development Plan for Building Permit (Starbucks on Montgomery NE between Pennsylvania and Wyoming NE/Los Pastores Shopping Center) 16EPC-40040

1. Electric distribution lines are located along the western boundary of the subject site. In addition, there is an existing public utility easement on the north side of the property. It is the applicant's obligation to abide by any conditions or terms of those easements.

2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Mike Moyer
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107
Phone: (505) 241-3697

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.



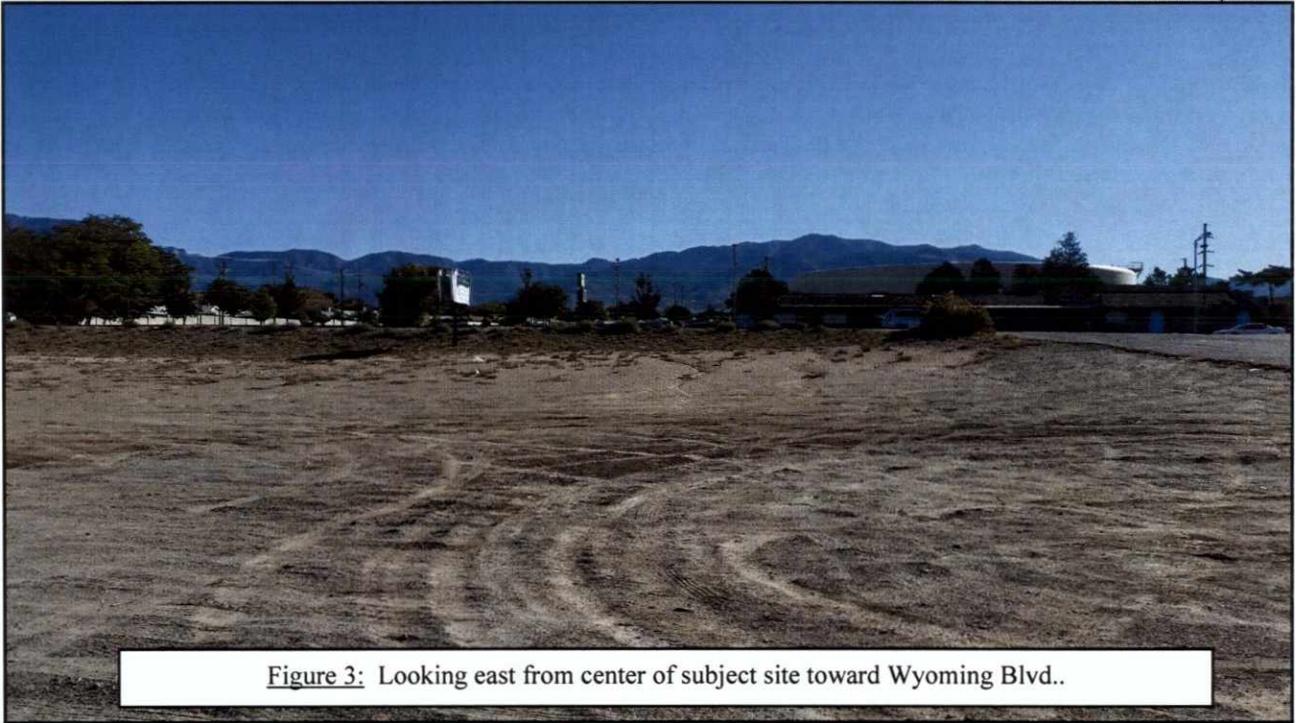


Figure 3: Looking east from center of subject site toward Wyoming Blvd..

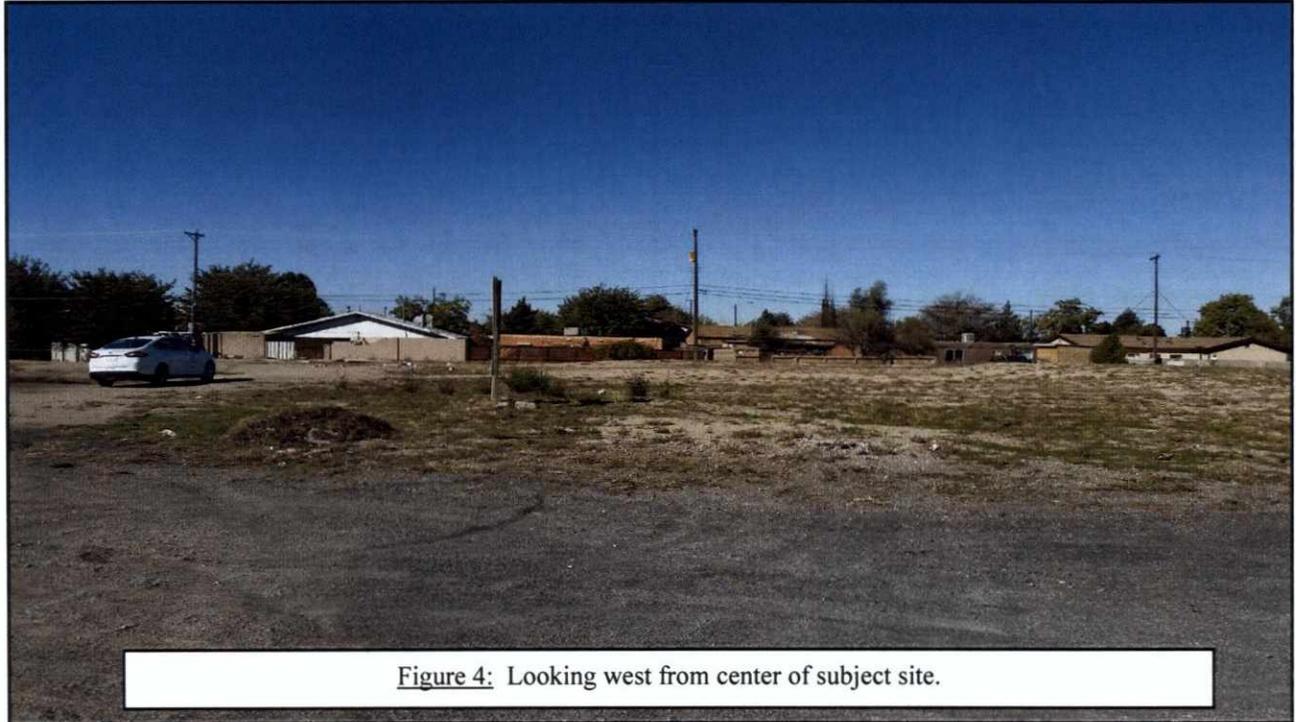


Figure 4: Looking west from center of subject site.

HISTORY

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

September 9, 2016

Starbucks Coffee Co
6380 Fiddlers Green Circle
Denver, CO 80111

Project# 1010550
16EPC-40040 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

The above action for all or a portion of Tract A-1, Redivision of Tract A (Now comprising Tracts A1 & A2), Los Pastores Shopping Center, excluding southwesterly portion & portion out to right-of-way, zoned C-2 (SC), located on Montgomery Blvd. NE, between Wyoming Blvd. NE, and Pennsylvania NE., containing approximately 1.2 acres. (F-19) Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque

NM 87103

On September 8, 2016 the Environmental Planning Commission (EPC) voted to DEFER Project #1010550/16EPC-40040, Site Development Plan for Building Permit, for 60 days to the November 10, 2016 EPC public hearing based on the following findings:

FINDINGS:

www.cabq.gov

1. This request is for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Montgomery Blvd. NE between Wyoming Blvd. NE and Pennsylvania St. NE, and is zoned C-2 (SC).
2. A written request for the deferral from the applicant has been included as part of the record for the case.
3. The applicant requests a 60-day deferral to the November 10, 2016 EPC Hearing to redesign and relocate a proposed point of ingress into the subject site, and address leasing terms related to the site.

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If

OFFICIAL NOTICE OF DECISION

Project #1010550

September 8, 2016

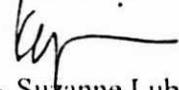
Page 2 of 2

such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan; within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/VQ

cc: Starbucks Coffee Co, 6380 Fiddlers Green Circle, Denver, CO 80111
Colin Bott, 2303 West Commodore Way Suite 205, Seattle WA 98199
Brian A. Eagan, Loma Del Rey NA, 8416 Hilton Ave NE 34B, ABQ, NM 87111
William E. Burk, III, Loma Del Rey NA, 9617 La Playa NE, ABQ, NM 87111
Janice Arnold-Jones, Dist. 7 Coalition of NA's, 7713 Sierra Azul NE, ABQ, NM 87110
Lynne Martin, Dist. 7 Coalition of NA's, 1531 Espejo NE, ABQ, NM 87112



**Environmental
Planning
Commission**

**Agenda Number: 03
Project Number: 1010550
Case #: 16EPC-40040
September 8, 2016**

Staff Report

Agent	The Design Collective (Colin Bott)
Applicant	Starbucks Coffee Co.
Request	Site Development Plan for Building Permit
Legal Description	Tract A-1, Redivision of Tract A (Now comprising Tracts A1 & A2), Los Pastores Shopping Center
Location	On Montgomery Blvd. NE between Wyoming Blvd. NE and Pennsylvania St. NE
Size	Approximately 1.2 acres
Existing Zoning	C-2 (SC)
Proposed Zoning	No change

Staff Recommendation

DEFERRAL of Case # 16EPC-40040 based on the findings below, at the request of the applicant for 60 days.

**Staff Planner
Vicente M. Quevedo, Planner**

Summary of Request

This request is for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Montgomery Blvd. NE between Wyoming Blvd. NE and Pennsylvania St. NE, and is zoned C-2 (SC). The applicant intends to construct a Starbucks Coffee on the subject site.

The subject site is located within the Established Urban Area of the Comprehensive Plan, and part of the Los Pastores Shopping Center Site Development Plan for Subdivision.

The applicant has requested a 60 day deferral to the November, 10 2016 EPC Public Hearing to redesign and relocate a proposed point of ingress into the subject site, and address leasing terms related to the site.

Findings

1. This request is for a Site Development Plan for Building Permit for an approximately 1.2 acre site located on Montgomery Blvd. NE between Wyoming Blvd. NE and Pennsylvania St. NE, and is zoned C-2 (SC).
2. A written request for the deferral from the applicant has been included as part of the record for the case.
3. The applicant requests a 60-day deferral to the November 10, 2016 EPC Hearing to redesign and relocate a proposed point of ingress into the subject site, and address leasing terms related to the site.

City Departments and other interested agencies reviewed this application from 08/01/16 to 08/12/16.

Quevedo, Vicente M.

From: Colin Bott <colinb@thed-c.com>
Sent: Tuesday, August 30, 2016 10:42 AM
To: Quevedo, Vicente M.
Subject: EPC# 1010550 date amendment request

Hello Vicente,

RE: 1010550 Starbucks Drive Thru

The Landlord has recently requested Site Plan changes, following our submittal for EPC. Also there are some lease issues being resolved with Starbucks and the Landlord. Because of this we would like to move our EPC date from September 8th to November 10th. This would be beneficial for all parties.

Thank you

colin BOTT a.r.b.

the design COLLECTIVE
2303 West Commodore Way | suite 205
Seattle WA, 98199

www.theD-C.com

206 282 2730 **p** | 206 282 2739 **f** | 206 755 7809 **m**

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

January 15, 2016

W & M Company
ATTN: Bill Gunther
8220 La Mirada Rd NE, Suite 300
ABQ, NM 87109

Project# 1010550
15EPC-40032 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A-1 Redivision of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way, zoned C-2, located on Wyoming Blvd. NE, between Montgomery Blvd. NE & Osuna Rd. NE, containing approximately 6.75 acres.
(F-19)

Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque
On January 14, 2016, the Environmental Planning Commission (EPC) voted to APPROVE Project #1010550/15EPC-40032, a Site Development Plan for Subdivision, based on the following findings and conditions:

New Mexico 87103

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision Amendment for Tract A-1, Re-division of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way located on Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE and containing approximately 6.75 acres.
www.cabq.gov
2. The subject site is zoned C-2 (SC). The proposed amendments will subdivide the undeveloped portions of the subject site into five separate pad sites and establish necessary access and utility easements. Updated design standards are also proposed that would apply to the entire 6.75 acre shopping center site. This is a quasi-judicial matter.
3. A subdivision plan was originally approved in December 1962 and subdivided the subject site into three separate tracts (S-1214). The existing C-2 zoning was established for the subject site in

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

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November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions.

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The Site Development Plan for Subdivision Amendment furthers the following relevant Comprehensive Plan policies:

- A. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action is appropriately located adjacent to and nearby a cluster of other C-2 zoned lots, the intensity of which will not negatively impact existing residential development in the area. Carrying capacities are also appropriate for the area. Therefore, the request furthers Policy II.B.5.d.

- B. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The portion of the site that is proposed to be subdivided into 5 new pad sites is vacant and is contiguous to existing urban facilities and services and the integrity of existing neighborhoods will be ensured. The request furthers Policy II.B.5.e.

- C. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The applicant envisions additional commercial uses for the subject site. The subject site is located near adjacent to and nearby a cluster of other C-2 zoned lots which are configured to complement nearby residential areas. The proposed design standards proposed by the applicant generally meet the requirements of the Zoning Code and will serve to minimize any potential adverse impacts on residential environments. Therefore, the request furthers Policy II.B.5.i.

- D. Policy II.B.5.j.: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.

New commercial development that results from the proposed subdivision action will be located within an existing commercially zoned area, within a larger area-wide shopping center site at the intersection of Wyoming and Montgomery Blvd. which are designated minor arterial streets. Route

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Project #1010550

January 14, 2016

Page 3 of 8

#31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd. Therefore, the request furthers Policy II.B.5.j.

- E. Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The subject site is adjacent to two minor arterials and will be designed to minimize any harmful effects of traffic on nearby established residential neighborhoods. Transportation Staff provided comments that, when addressed, would help minimize harmful effects of traffic. The TIS form indicates that a traffic study is not required. The request furthers Policy II.B.5k.

- F. Policy II.B.5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The proposed design standards would require quality building materials and articulation, and would result in "modern" style buildings that would generally create quality. The request furthers Policy II.B.5l-quality design/new development.

6. The applicant requests that future site development plans for building permit for each tract be delegated to DRB for review and final sign-off.
7. The EPC has complete discretion over whether DRB delegation will be approved.
8. Design standards must be clear and provide sufficient direction with regard to the design and pad site layout direction for future requests for Site Development Plans for Building Permit.
9. The proposed design guidelines do not warrant delegation to DRB as they do not provide sufficient design and pad site layout direction for future requests for Site Development Plans for Building Permit.
10. The Loma Del Rey Neighborhood Association and District 7 Coalition of Neighborhood Associations as well as property owners within 100' of the subject were notified of this request. A facilitated meeting was not recommended by the Office of Neighborhood Coordination.
11. Staff received written public comments from the property owner directly north of the subject site stating that they were not in agreement with the proposed request for a site development plan for subdivision amendment, future improvements to the existing 20' public alley that will be required by the Traffic Engineering Department, as well as the potential for alcohol sales to take place on the subject site.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

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12. At the November 12, 2015 public hearing, the EPC voted to continue the Site Development Plan for Subdivision Amendment request for 60 days to the January 14, 2016 public hearing to allow time for a facilitated meeting to occur and for Planning Staff to conduct additional research regarding a previously vacated alley on the subject site.
13. A facilitated meeting was held during the continuance period. The surrounding neighborhood associations generally support the proposal. While the Church proposed that the City require another shopping center access farther south, expressed concerns regarding overflow parking onto their lot from future shopping center users and raised the possibility of having a half-wall on their southwest boundary to discourage overflow parking on their site.
14. Facilitated meeting attendees agreed to meet again on January 6 at 2 PM to continue the discussion of the use of the alley and traffic routing options as well as review alternative site design layouts from the applicant to attempt to address the church's concerns.
15. Staff notes that the scheduling of this meeting will not allow enough time for a finalized facilitator meeting report to be issued for inclusion in the Supplemental Staff Report prior to the EPC case distribution on Thursday January 7, 2016.
16. The attorney representing Legacy Church (Steve Smothermon) presented a Notice of Decision for File # Z-77-165 / V-77-41 and claimed that the existing 20' public alley that bisects the subject site and the Church's property should have been vacated in 1977.
17. Additional staff research has confirmed that File # Z-77-165 / V-77-41 did result in the vacation and relocation of an existing alley on the subject site that met the following conditions
 - A. Submittal of a summary plat which combines the northerly portion with the balance of the parcel;
 - B. Relocation of the alley in accordance with the Traffic Engineering requirements.
18. A summary plat that combined the northerly portion with the balance of the parcel and relocated the alley approximately 100' north of its previous location in accordance with Traffic Engineering requirements was approved on May 10, 1978 (SP-78-297 / D8-127) and recorded with the Bernalillo County Clerk on May 22, 1978. The replat to vacate the alley dedicated the right-of-way for the subject alley.
19. The existing 20' public alley that bisects the subject site and the Church property to the north is located in accordance with the appropriate EPC N.O.D. for File # Z-77-165 / V-77-41 dated November 21, 1977.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 5 of 8

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

3. Conditions of Approval for Design Standards Section:
 - A. All references made within the site development plan for subdivision to applicable sections of the City of Albuquerque Comprehensive Zoning Code shall list/identify the full corresponding name of that section of the Zoning Code within the design standards section.

 - B. Section II. – Setbacks & Building Height Limitations shall be revised to state that building heights are regulated by Section 14-16-2-15(C)(1) – Office & Institution Zone which allows a maximum building height of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.

 - C. Section III. – Parking shall be revised to include a note stating that all off-street parking areas shall comply with all First Flush Drainage Ordinance requirements as well as a section outlining conformance with Designated Disabled Parking Space requirements.

 - D. Section IV.(a)(ii) – Pedestrian Connections & Amenities shall be revised to reference the correct 6.75 total site acreage. It currently reads that the site contains a total of 5 acres.

 - E. The title for Section VI. – Walls & Fences shall be revised to read "Walls, Fences & Screening", provide more detail regarding specific materials to be used for trash enclosures, and item l. be revised to cite the specific city Drainage Ordinance number.

 - F. Section VIII. – Architecture shall be revised to include information outlining the proposed FAR for the subject site as required by the Zoning Code.

 - G. Section X.(f) – Signage shall be revised to reflect the Zoning Code requirements of Section 14-16-3-2(B)(4) which states that only one free-standing sign for every 300 linear feet of frontage along an arterial is allowed.

 - H. The Conceptual Drainage Plan shall be revised to include drainage details for the southwesterly portion of Tract A-1 and the southeasterly portion of Tract A-1.

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 6 of 8

4. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
6. Conditions of Approval – Water Utility Authority, Utility Services:
 - An availability statement is required and can be made at the following link: http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire flow requirements from the fire marshal.
 - The Utility Plan indicates public sanitary sewer onsite. This will not be acceptable.
7. Conditions of Approval – City Engineer, Transportation Development:
 - Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 - Developer shall finalize and follow the requirements as per the approved Traffic Impact Study.
 - Additional right-of-way must be dedicated to widen the existing alley to provide two-way traffic along the west of the property and to provide for an adequate entrance from Wyoming Blvd.
 - The existing access (located on the SE corner of the property) to the Bank parcel needs to be modified to be perpendicular to the roadway.
8. Conditions of Approval – City Engineer, Hydrology Development:
 - EPC project # 1010550; A full G&D plan review meeting the following criteria and other criteria stated in the Development Process Manual Chapter 22 and the design guidelines given in Standard Specifications will be required before grading can commence.
9. Conditions for Approval for Project – Public Service Company of New Mexico:
 - As individual pad sites develop, coordination with PNM will be necessary regarding proposed tree species, the height at maturity and tree placement along the western boundary of the property in order to ensure sufficient safety clearances and to avoid interference between trees and the existing distribution facilities.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JANUARY 29, 2016**. The date of the EPC's decision is not included in the 15-day period for filing an

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 7 of 8

appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

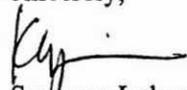
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/VQ

cc: Tierra West, LLC, 5571 Midway Park Pl. NE, ABQ, NM 87109
Brian A. Eagan, Loma Del Rey NA, 8416 Hilton Ave NE, Apt. 4B, ABQ, NM 87111

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

Page 8 of 8

William E. Burk, III, Loma Del Rey NA, 9617 La Playa NE, ABQ, NM 87111

Janice Arnold-Jones, Dist. 7 Coalition of NA's, 7713 Sierra Azul NE, ABQ, NM 87110

Lynne Martin, Dist. 7 Coalition of NA's, 1531 Espejo NE, ABQ, NM 87112

Richard Leverick, 5120 San Francisco NE, ABQ, NM 87109

ZONING

Refer to Section 14-16-2-17 of the Comprehensive Zoning Code for specifics regarding the C-2
Zone.

APPLICATION INFORMATION



Supplemental Form (SF)

SUBDIVISION <input type="checkbox"/> Major subdivision action <input type="checkbox"/> Minor subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)		S Z ZONING & PLANNING <input type="checkbox"/> Annexation <input type="checkbox"/> V <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans) <input type="checkbox"/> P <input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar <input type="checkbox"/> <input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
SITE DEVELOPMENT PLAN <input type="checkbox"/> for Subdivision <input checked="" type="checkbox"/> for Building Permit <input type="checkbox"/> Administrative Amendment (AA) <input type="checkbox"/> Administrative Approval (DRT, URT, etc.) <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)		<input type="checkbox"/> D <input type="checkbox"/> Street Name Change (Local & Collector) <input type="checkbox"/> L A APPEAL / PROTEST of... <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
STORM DRAINAGE (Form D) <input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): COLIN BOTT PHONE: 206.282.2730
 ADDRESS: 2303 WEST COMMODORE WAY SUITE 205 FAX: 206.282.2739
 CITY: SEATTLE STATE WA ZIP 98199 E-MAIL: colinb@thed-c.com
 APPLICANT: STARBUCKS COFFEE CO. PHONE: 720 387 0759
 ADDRESS: 6380 FIDDLERS GREEN CIRCLE FAX: _____
 CITY: DENVER STATE CO ZIP 80111 E-MAIL: SESCOBED@STARBUCKS.COM
 Proprietary interest in site: LEASE List all owners: STARBUCKS COFFEE CO/W/M.CO.

DESCRIPTION OF REQUEST: AGENCY SUBMITTING EPC DOCUMENTS ON BEHALF OF CLIENT: STARBUCKS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A-1-D (LOT 1) Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LOS PASTORES SHOPPING CNTR.
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No /
 Zone Atlas page(s): F-19-2 UPC Code: 101906149805240507

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
1010550 / 15BPC-40032

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.1386
 LOCATION OF PROPERTY BY STREETS: On or Near: MONTGOMERY BLVD / WYOMING BLVD
 Between: WYOMING BLVD and PENNSYLVANIA
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 01/05/2016

SIGNATURE COLIN BOTT DATE 7/26/16
 (Print Name) COLIN BOTT Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>116EPC-40040</u>	<u>SBP</u>	_____	<u>\$ 365.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 50.00</u>
_____	_____	_____	<u>\$ _____</u>
_____	_____	_____	<u>\$ _____</u>

Hearing date September 8, 2016 Total \$ 510.00

[Signature]
 Staff signature & Date

Project # 1010550

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **20 copies**
 - Site Plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
 - Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
 - Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
 - Registered engineer or architect's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
 - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

_____ Applicant name (print)

_____ Applicant signature / date



Form revised November 2010

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
10EPC _____

_____ 7-28-16
 _____ Planner signature / date
 Project #: 1010550

CITY OF ALBUQUERQUE



May 31, 2016

Terry O. Brown
PO Box 92051
Albuquerque, NM 87199-2051

Re: Montgomery / Wyoming Restaurants
4607-4661 Wyoming Blvd.
Traffic Impact Study
Engineer's Stamp dated 05-13-16 (F19-D013C)

Dear Mr. Brown,

The subject Traffic Impact Study received on May 17, 2016 has been reviewed and approved by the Transportation Development Section. All comments have been adequately addressed.

The final Traffic Impact Study shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

If you have any questions, please feel free to contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

via: email
C: Applicant, File

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: STARBUCKS COFFEE CO. / COLIN BUTT DATE OF REQUEST: 07/27/16 ZONE ATLAS PAGE(S): F-19-Z

CURRENT:

ZONING C-2
PARCEL SIZE (AC/SQ. FT.) 1.1386

LEGAL DESCRIPTION:

LOT OR TRACT # A-1-D BLOCK # _____
SUBDIVISION NAME LOS PASTORES SHOPPING CENTER

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [X] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER [X] EPC

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____
BUILDING SIZE: 2200 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Colin Butt DATE 7/27/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes:
Part of bigger development, TIS approved in May 2016.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature]
TRAFFIC ENGINEER

7/29/16
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

City of Albuquerque
Environmental Planning Commission
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

July 22nd 2016

Letter of Agent Authorization

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM. (proposed Los Pastores Shopping Center).

Legal Description:

TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE

Zone map:

F-19.

Proposed Project:

Starbucks Drive Thru restaurant.
Building Gross Area: 2,200 SF

I, representing Starbucks Coffee Co, declare that I am the owner for the proposed improvements on the aforementioned property and financially responsible party for all permit fees associated with this project, and I hereby authorize the following firms to act as my agent for this project. My agents are the applicant(s) on this project for contact purposes only and does not have financial interest in this project.

the design COLLECTIVE. (Architect).

2303 W. Commodore Way

Suite 205

Seattle WA. 98199

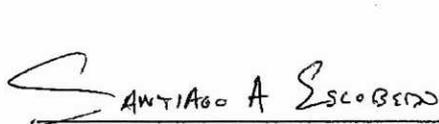
and

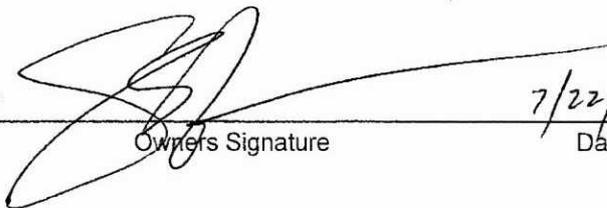
PCL Construction Services (General Contractor).

3650 131st Avenue SE

Suite 650

Bellevue WA. 98006


SANTIAGO A ESCOBEDO
Owners Printed Name


Owners Signature

7/22/16
Date



Starbucks Coffee Company
Denver Regional Office
6380 Fiddlers Green Circle, #450
Denver, CO 80111
P: (720) 387-0759

July 22, 2016

City of Albuquerque
Environmental Planning Commission
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

To Whom It May Concern

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM. (proposed Los Pastores Shopping Center).

Proposed Project:

Starbucks Drive Thru restaurant.
Building Gross Area: 2,200 SF
Parking provided for 27 vehicles and 2 Motorcycles. (includes 2 parking spaces for ADA).
Interior seating consisting of 40 seats.

Project Description:

Starbucks Coffee Company is proposing a new free standing drive thru restaurant in the new shopping center development at the location noted above. The new restaurant will contribute to an enhanced shopping environment, and bring valuable employment opportunities. The nearest Starbucks restaurant is located 2.2 miles away at Montgomery Blvd NE and Cairo Drive NE.

The restaurant will be located adjacent to Wyoming Blvd NE. presenting excellent convenience and visibility to vehicular traffic. The proposed design caters to vehicles, offering a drive thru service, and allowing vehicles to stack fully within the lot. Parking is provided for customers whom wish to park and enter the restaurant to enjoy personal services in a relaxed atmosphere.

Starbucks Coffee Company offers customers a third place environment between work and home. The design provides customers all the comforts of home and office combined. Customers can enjoy nice furniture, decor, WIFI services, beverage and a snack within a high quality designed restaurant. Starbucks is a place where people can gather to relax, to work, to meet other people and promote community relations. Starbucks Coffee Company has changed our approach to include locations primarily with Drive Thru so as to further provide a convenient option for our customers, in addition our traditional sit down cafe. We are starting to require Drive Thru on all new stores as it drives additional business and revenue, which increases tax sales dollars for local jurisdictions.

Through the years, the Starbucks brand continues to evolve. The form of the proposed building is designed around function, to create a unique work environment for employees, and for service to customers. We value our customers, bringing new stores to provide a rewarding coffee experience that will provide to the wants and needs of our patrons.

Respectfully

A handwritten signature in black ink, appearing to read "Santiago A Escobedo".

Santiago A Escobedo
Starbucks Coffee Co.

NOTIFICATION &
NEIGHBORHOOD INFORMATION



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

July 15, 2016

Colin Bott, a.r.b.
The Design Collective
2303 West Commodore Way, Suite 205
Seattle, WA 98199
Phone: 206-282-2730/Fax: 206-282-2739
E-mail: colinb@thed-c.com

Dear Colin:

Thank you for your inquiry of **July 15, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE** zone map **F-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this submittal and the contact names are as follows:

LOMA DEL REY N.A. "R"

Brian A. Eagan, 8416 Hilton Ave. NE, Apt. 4B/87111 232-9571 (h) 480-8894 (c)
William E. Burk, III, 9617 La Playa NE/87111 250-9979 (c)

DISTRICT 7 COALITION OF N.A.'S

Janice Arnold-Jones, 7713 Sierra Azul NE/87110 379-0902 (c)
Lynne Martin, 1531 Espejo NE/87112 294-0435 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (**PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from USPS showing date.**) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at swinklepleck@cabq.gov.

Sincerely,
Stephani Winklepleck
Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO
BOTH CONTACTS OF EACH
NA/HOA FOR THIS
PLANNING SUBMITTAL.**

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **07/15/16** Time Entered: **9:10 a.m.** Rep. Initials: **siw**

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature</p> <p><input checked="" type="checkbox"/> <i>Brian A. Eagan</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p>																	
<p>1. Article Addressed to:</p> <p><i>Loma Del Rey Neighborhood Association</i> BRIAN A. EAGAN, 8416 HILTON AVE NE APT. 4B ALBUQUERQUE, NM 87111</p>  <p>9590 9402 1622 6053 6329 92</p>	<p>B. Received by (Printed Name)</p> <p><i>Brian A. Eagan</i></p>	<p>C. Date of Delivery</p> <p><i>9-27-2016</i></p>																
<p>2. Article Number (Transfer from service label)</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If YES, enter delivery address below:</p>																	
<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>			<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®																	
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™																	
<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery																	
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise																	
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™																	
<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery																	
<input type="checkbox"/> Insured Mail																		
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)																		
<p>PS Form 3811, July 2015 PSN 7530-02-000-9053 Domestic Return Receipt</p>																		

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature</p> <p><input checked="" type="checkbox"/> <i>William E. Burk III</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p>																	
<p>1. Article Addressed to:</p> <p>WILLIAM E. BURK III 9617 LA PLATA NE ALBUQUERQUE, NM 87111</p>  <p>9590 9402 1622 6053 6329 78</p>	<p>B. Received by (Printed Name)</p>	<p>C. Date of Delivery</p>																
<p>2. Article Number (Transfer from service label)</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If YES, enter delivery address below:</p>																	
<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>			<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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<p>1. Article Addressed to:</p> <p>JANICE ARNOLD-JONE 7713 SIERRA AZUL NE ALBUQUERQUE, NM 87110</p>  <p>9590 9402 1622 6053 6329 85</p>	<p>B. Received by (Printed Name)</p>	<p>C. Date of Delivery</p> <p>10-3-16</p>																
	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No</p>																	
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<p>1. Article Addressed to:</p> <p>LYNNE MARTIN 1531 ESPEJO NE ALBUQUERQUE, NM 87112</p>  <p>9590 9402 1622 6053 6330 05</p>	<p>B. Received by (Printed Name)</p> <p>Lynne Martin</p>	<p>C. Date of Delivery</p> <p>9-26-16</p>																
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PS Form 3811, July 2015 PSN 7530-02-000-9053		Domestic Return Receipt																

the design
COLLECTIVE

Brian A. Eagan
8416 Hilton Ave. NE.
Apt. 4B
Albuquerque, NM 87111

21st July 2016

Dear Mr. Eagan (Loma Del Rey N.A. "R").

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM.
(proposed Los Pastores Shopping Center).

(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE zone map F-19.

Proposed Project:

Starbucks Drive Thru restaurant (support documents attached).
Building Gross Area: 2,200 SF
Parking provided for 27 vehicles and 2 Motorcycles. (incl. 2 parking spaces for ADA).
Interior seating consisting of 40 seats.

EPC project justification:

Starbucks Coffee Company is proposing a new free standing drive thru restaurant in the new shopping center development at the location noted above. The new restaurant will contribute to an enhanced shopping environment, and bring valuable employment opportunities. The next closest Starbucks restaurant is located 2.2 miles away at Montgomery Blvd NE and Cairo Drive NE.

The restaurant will be located adjacent to Wyoming Blvd NE. presenting excellent convenience and visibility to vehicular traffic. The proposed design caters to vehicles, offering a drive thru service, and allowing vehicles to stack fully within the lot. Parking is provided for customers whom wish to park and enter the restaurant to enjoy personal services in a relaxed atmosphere.

Starbucks Coffee Company offers customers a third place environment. A third place between work and home. The design provides customers all the comforts of home and office combined. Customers can enjoy nice furniture, decor, WIFI services, beverage and a snack within a high quality designed restaurant. Starbucks is a place where people can gather to relax, to work, to meet other people and promote community relations.

Starbucks through the years continues to evolve. The form of the proposed building is designed around function. A functional and efficient design to create a unique work environment for employees and for service to customers.

Respectfully,



Colin Bott, a.r.b.
colinb@thed-c.com

2303 W COMMODORE WA
SUITE #205
SEATTLE, WA 98199
p 206 282 2730
f 206 282 2739

the design
COLLECTIVE

Janice Arnold-Jone
7713 Sierra Azul NE
Albuquerque, NM 87110

21st July 2016

Dear Ms. Arnold-Jones (District 7 Coalition of N.A.'S).

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM.
(proposed Los Pastores Shopping Center).

(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE zone map F-19.

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colinb@thed-c.com

2303 W COMMODORE WA
SUITE #205
SEATTLE, WA 98199
p 206 282 2730
f 206 282 2739

the design
COLLECTIVE

Lynne Martin
1531 Espejo NE
Albuquerque, NM 87112

21st July 2016

Dear Lynne Martin (District 7 Coalition of N.A.'S).

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM.
(proposed Los Pastores Shopping Center).

(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE
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Colin Bott, a.r.b.
colinb@thed-c.com

2303 W COMMODORE WA
SUITE #205
SEATTLE, WA 98199
p 206 282 2730
f 206 282 2739

thedesign
COLLECTIVE

William E. Burk, III
9617 La Playa NE
Albuquerque, NM 87111

21st July 2016

Dear Mr. Burk (Loma Del Rey N.A. "R").

Regarding Site:

Lot 1: NW Corner Montgomery & Wyoming. Albuquerque NM.
(proposed Los Pastores Shopping Center).

(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A (NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER, LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE zone map F-19.

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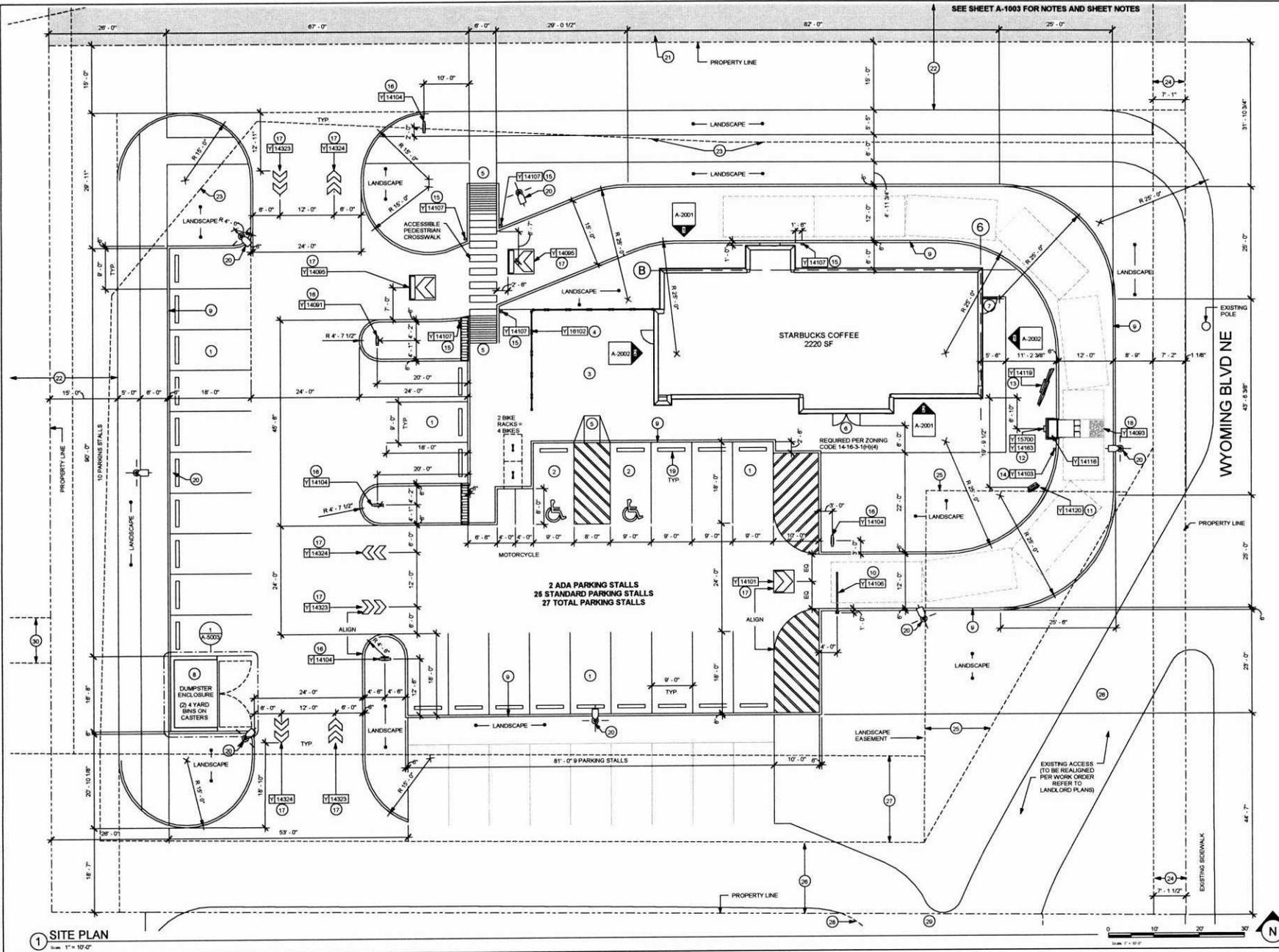
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colinb@thed-c.com

2303 W COMMODORE WA
SUITE #205
SEATTLE, WA 98199
p 206 282 2730
f 206 282 2739

7/21/2016 3:59:50 PM W:\1\Project Files\2016-DC-Projects\18017- Starbucks Montgomery Wyoming DT NM DD CD01_Drawings\6697-001 ALB_Mont_Wyom_NM_CD.nvt



STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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STARBUCKS TEMPLATE VERSION 0205-10-23

ARCHITECT OF RECORD
the design COLLECTIVE
architects • planners • engineers
2003 West Commodore Way, Suite 208
Boise, WA 83725
208.282.2750 p | 208.282.2750 f | www.designcollective.com

PROJECT NAME:
MONTGOMERY & WYOMING

PROJECT ADDRESS:
NW CORNER MONTGOMERY
BLVD NE & WYOMING BLVD NE
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: JULY 28, 2016
DESIGN MANAGER: LAURA KULIS
LEED AP:
PRODUCTION DESIGNER: IDC
CHECKED BY: LAURA KULIS
TDW: 18017

Revision Schedule

Rev	Date	By	Description

SHEET TITLE:
SITE PLAN EPC

SCALE: AS SHOWN

SHEET NUMBER:
A-1002

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

**(EPC SUBMITTAL) TRACT A-1 REDIVISION OF TRACT A
(NOW COMPRISING TRACTS A1 AND A2) LOS PASTORES SHOPPING CENTER,
LOCATED ON WYOMING BOULEVARD NE BETWEEN MONTGOMERY BOULEVARD NE**

Zone map F-19.



PERSPECTIVE VIEW LOOKING NORTH EAST

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, Sept. 8, 2016 **1010550**
Zone Atlas Page: F-19-Z
Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: Montgomery Blvd between Wyoming & Pennsylvania

Applicant: Starbucks Coffee Co
6380 Fiddlers Green Circle
Denver, CO 80111

Agent: Colin Bott
2303 West Commodore Way Suite 205
Seattle, WA 98199

Special Instructions:

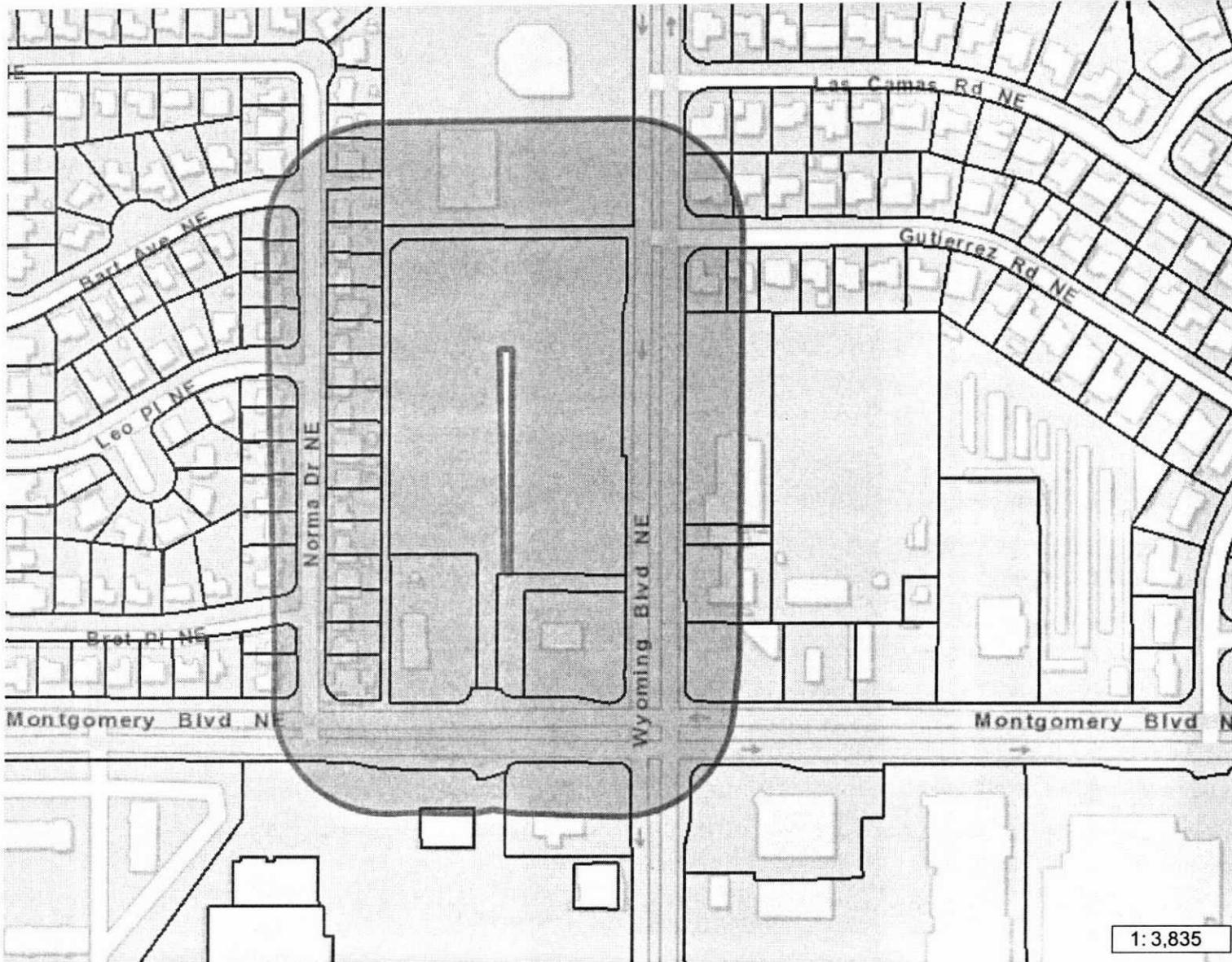
**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: 8-17-16

Signature:



1010550



Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes

204 Buffer including 100 feet ROW

1:3,835

0.1 0 0.04 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
8/2/2016 © City of Albuquerque

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THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES

M & M CO
8220 LA MIRADA RD NE 700
ALBUQUERQUE NM 87109

GORELICK DAVID C & SWANWICK ANNA
F
8404 GUTIERREZ RD NE
ALBUQUERQUE NM 87112

OSTERTAG BRENDA S & DANIEL R
OSTERTAG
4605 NORMA DR NE
ALBUQUERQUE NM 87109

SCHRODER SALLY A
4505 NORMA DR NE
ALBUQUERQUE NM 87109-1735

TOMMASO CHRISTIAN
8400 GUTIERREZ RD NE
ALBUQUERQUE NM 87111-2317

CORDOVA KENNETH P
8400 LAS CAMAS RD NE
ALBUQUERQUE NM 87111-2339

DURANGO PABLO E & JANE C
3944 SELMI GROVE
RICHMOND CA 94806-1864

CELLINI HENRY R
4521 NORMA DR NE
ALBUQUERQUE NM 87109-1757

ORTEGA MICHAEL & ROSEMARY
4716 NORMA DR NE
ALBUQUERQUE NM 87109

MEYERER LAURIE D & MEYERER JOHN R
4517 NORMA DR NE
ALBUQUERQUE NM 87109-1757

CONWELL WAYNE ROY CONWELL CARLA GAIL GRAY
4516 NORMA DR NE
ALBUQUERQUE NM 87109

FIELDS FRANK D
4612 NORMA DR NE
ALBUQUERQUE NM 87109-1738

MAESTAS MANUEL
1278 E PAR TEE LN
IDAHO FALLS ID 83401-4242

HARRIS ALFRED ETUX
4616 NORMA DR NE
ALBUQUERQUE NM 87109-1738

HICE ELMER D
5223 PURCELL DR NE
ALBUQUERQUE NM 87111-3760

ARGUELLO FRANK R JR & VICENTE
ARGUELLO
PO BOX 65595
ALBUQUERQUE NM 87193-5595

VALDEZ JUAN A SR
10001 WELLINGTON ST NE
ALBUQUERQUE NM 87111

CB&E LLC
905 YALE BLVD SE
ALBUQUERQUE NM 87106

WG ALBUQUERQUE NM MONTGOMERY LANDLORD LLC
%WALGREEN CO RE PROPERTY TAX DEPT
PO BOX 1159
DEERFIELD IL 60015

BEARD VICTOR C
4701 NORMA DR NE
ALBUQUERQUE NM 87109-1739

LEGACY CHURCH INC
7201 CENTRAL AVE NW
ALBUQUERQUE NM 87121

ARGUELLO VICENTE C
4513 NORMA DR NE
ALBUQUERQUE NM 87109

SOLANO GENIO STEVE
4608 NORMA DR NE
ALBUQUERQUE NM 87109

JARAMILLO ROBERT H
4500 NORMA DR NE
ALBUQUERQUE NM 87109

ARRINGTON ARMSTEAD
49 SAN FERNANDEZ
LOS LUNAS NM 87031

RAY ALISHA DAWN
4705 NORMA DR NE
ALBUQUERQUE NM 87109-1739

NEFF TISA
4620 NORMA DR NE
ALBUQUERQUE NM 87109-1738

NELLOS BROTHERS INC
2717 SHERIDAN ST NW
ALBUQUERQUE NM 87104

WESTERN REFINING RETAIL LLC
1250 W WASHINGTON ST SUITE 101
TEMPE AZ 85281

STYER SHARON L & THURMAN LAURA
4619 NORMA DR NE
ALBUQUERQUE NM 87109



LOPEZ FRANK G & PATRICIA D HOSTETTER-LOPEZ
4712 NORMA DR NE
ALBUQUERQUE NM 87109

BRADY KEVIN B TRUSTEE BOBBY J BRADY RVT
4708 NORMA DR NE
ALBUQUERQUE NM 87109-1740

RINKER DAVID J
4713 NORMA DR NE
ALBUQUERQUE NM 87109

CORONADO LEROY M & DIANA M
4512 NORMA DR NE
ALBUQUERQUE NM 87109

ROGERS DAVID LEON & DARLENE K
4600 NORMA DR NE
ALBUQUERQUE NM 87109-1738

MONTANO FRANK T ETUX
4615 NORMA DR NE
ALBUQUERQUE NM 87109-1747

ELDREDGE REGINA LESLIE
4609 NORMA DR NE
ALBUQUERQUE NM 87109

G & L INVESTMENTS CO INC
317 6TH ST NW
ALBUQUERQUE NM 87102

M & M CO
8220 LA MIRADA RD NE 700
ALBUQUERQUE NM 87109

STEADMAN RICHARD EARL ETUX
4504 NORMA DR NE
ALBUQUERQUE NM 87109

REPICHOWSKI BRANDON E & RACHEL E
8405 GUTIERREZ RD NE
ALBUQUERQUE NM 87111

VILLA ANTONIO G & CARMEN
4601 NORMA DR NE
ALBUQUERQUE NM 87109

MOYA JOHN
4700 NORMA DR NE
ALBUQUERQUE NM 87109-1740

CB&E LLC
905 YALE BLVD SE
ALBUQUERQUE NM 87106

MCDONALDS CORPORATION %
CONQUISTADORES INC
PO BOX 92500
ALBUQUERQUE NM 87199-2500

MATTEUCCI PAUL J ETUX ETAL C/O
THOMSON PROPERTY TAX SERVICES
PO BOX 2609
CARLSBAD CA 92018

MAUNEY MARC & ROGERSON MAUNEY
LYNNE TRUSTEES MAUNEY ROGERSON
RVLT & ETAL
2133 OAK BAY RD 304
PORT HADLOCK WA 98339-9778

W & M CO
317 6TH ST NW
ALBUQUERQUE NM 87102



Janice Arnold-Jones
District 7 Coalition of NA's
7713 Sierra Azul NE
ABQ, NM 87110

William E. Burk, III
Loma Del Rey NA
9617 La Playa NE
ABQ, NM 87111

Brian A. Eagan
Loma Del Rey
8416 Hilton Ave NE Apt. 4B
Albuquerque, NM 87111

Lynne Martin
District 7 Coalition of NA's
1531 Espejo NE
ABQ, NM 87112

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM NO MEETING REPORT

Project #: 1010550

Date Submitted: Oct. 3, 2016

Facilitator: Kathleen Oweegon

Case Planner: Vicente Quevado

Parties:

- Applicant: Starbucks Coffee Co.
- Agent: The Design Collective – Colin Bott
- District 7 Coalotion of Neighborhood Associations
- Loma Del Rey N.A.
- Legacy Church

Summary:

This project was referred for possible facilitated meeting in mid-August for the September EPC hearing. Shortly thereafter, it was deferred to the November EPC hearing so that the agent could modify the site plan to accommodate the concerns of the bank that neighbors the project site to the south regarding the location of the driveway.

On Sept. 23rd, Mr. Bott sent letters and images of the revised site plan map to the above-listed Coalotion and the Neighborhood Association. I also forward the site plan map to the pastors of the Legacy Church who are close neighbors to the project, and who had previously expressed concerns to the City Planner about aspects of this project.

During my follow-up with all three organizations, I was informed that no meeting is required in the absence of any known concerns about this project.

Mr. Bott offered to be available to neighbors for questions & comments in the event no facilitated meeting were scheduled. Mr. Bott can be reached at: (206) 282-2730 or colinb@thed-c.com.

At this time, no facilitated meeting will be scheduled about this phase of Project #1010550.

Quevedo, Vicente M.

From: Vos, Michael J.
Sent: Wednesday, August 10, 2016 3:02 PM
To: Quevedo, Vicente M.
Subject: FW: Support for EPC Submittal for Starbucks at Montgomery & Wyoming Blvd, Albuquerque, Loma Del Rey Neighborhood Association
Attachments: 20160721 EPC Starbucks Montgomery & Wyoming.pdf

Vicente,
Please see the positive email response to the proposed Starbucks from the Loma Del Rey Neighborhood Association below.

Thanks,
Michael

From: Colin Bott [<mailto:colinb@thed-c.com>]
Sent: Wednesday, August 10, 2016 9:36 AM
To: Vos, Michael J.
Subject: FW: Support for EPC Submittal for Starbucks at Montgomery & Wyoming Blvd, Albuquerque, Loma Del Rey Neighborhood Association

Hello Michael

I received a nice positive email below from the Neighborhood. Brian Eagan asked that I share this with the City.

Thank you
Colin

From: Brian Eagan [<mailto:eagan.brian@gmail.com>]
Sent: Wednesday, August 10, 2016 6:21 AM
To: Colin Bott
Subject: Support for EPC Submittal for Starbucks at Montgomery & Wyoming Blvd, Albuquerque, Loma Del Rey Neighborhood Association

Dear Colin Bott,

Thank you for sending a copy of the Environmental Planning Commission submission to the District 7 Coalition of neighborhood associations here in the city of Albuquerque, NM. I got a copy by email from the coalition president. See attached file. I also got a copy sent to Loma Del Rey Neighborhood Association by certified mail.

I have distributed the plans on online to 300 people in our neighborhood. And in person at a neighborhood meeting. The response to the proposal was very positive. We in Loma Del Rey Neighborhood Association want to welcome Starbucks Coffee company to the neighborhood. Please send a copy of this letter of support for the application to the city.

Please invite us to attend the ground breaking and grand opening celebrations for this project. We hope it is a great big success.

Sincerely,

Brian Eagan
President
Loma Del Rey Neighborhood Association
8416 Hilton Av NE Apt. 4b
Albuquerque, New Mexico 87111
Eagan.brian@gmail.com

----- Forwarded message -----

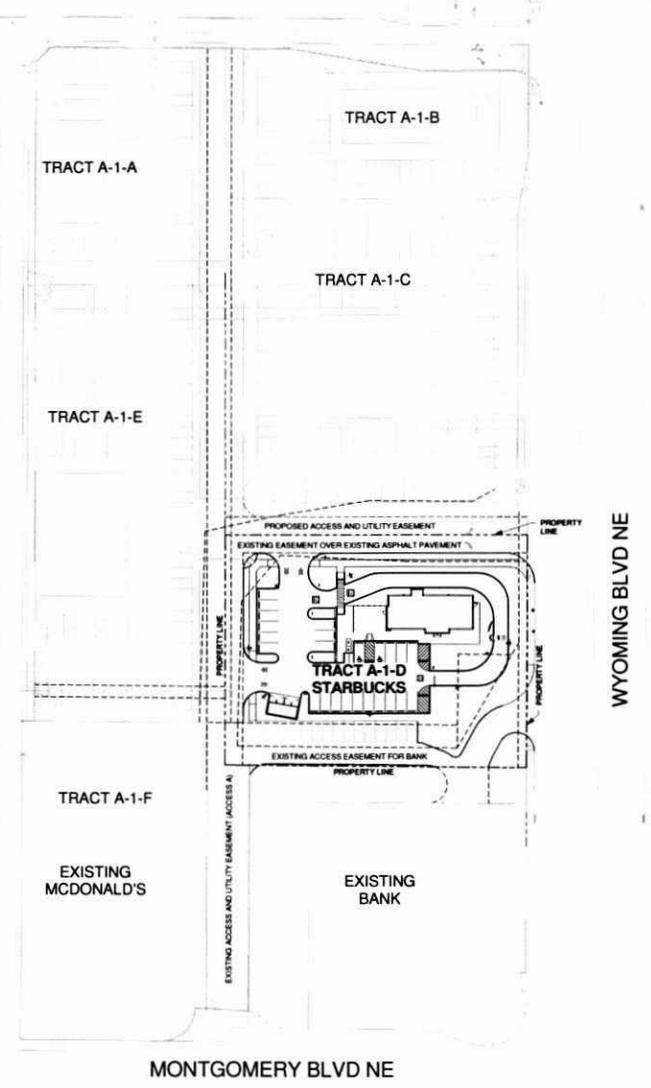
From: "Janice E. Arnold-Jones" <jeanoldjones@aol.com>
Date: Aug 9, 2016 8:54 PM
Subject: EPC Submittal for Starbucks at Montgomery & Wyoming
To: <jeanoldjones@aol.com>
Cc:

Package received from the Design Collective. FYI

Janice E. Arnold-Jones
7713 Sierra Azul NE
Albuquerque, NM 87110
[\(505\) 379-0902](tel:(505)379-0902) cell

SITE PLAN REDUCTIONS

10/25/2016 11:46:20 AM W:\1. Project Files\2016-DC-Projects\16017-Starbucks Montgomery Wyoming DT NM DD CD01_ALB_Mont_Wyom_NM_EPC.rvt



GENERAL OVERALL SITE NOTES

- A. OVERALL SITE SHOWN FOR REFERENCE ONLY. FOR AREAS SHOWN BEYOND PROPERTY LINES REFER TO LANDLORD DEVELOPMENT PLANS UNDER SEPARATE PERMIT.
- B. CURRENT PHASE INCLUDES WORK INSIDE TRACT A-1-D PROPERTY LINES WITH THE EXCEPTION OF LANDLORD PROVIDED CURB CUTS, RAMP, ACCESS AISLES AND SIDEWALKS NOTED ON SHEET A-1002.
- C. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
- D. WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.

GENERAL OVERALL PROJECT INFORMATION

TRACT A-1-D (LOT 1) 1.1388 ACRES
 ZONING: C-2
 ZONE ATLAS MAP: F-16-Z
 RETAIL SALES AND SERVICES
 A-2 OCCUPANCY
 V-8 (NON-SPRINKLERED) CONSTRUCTION
 2000 SF PROPOSED BUILDING GROSS SQUARE FOOTAGE

1 SITE PLAN - OVERALL
 Scale: 1" = 50'-0"



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 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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the design COLLECTIVE
 architects • planners • engineers
 200 West Connecticut Way, Suite 200
 Southfield, MI 48034
 248.262.2700 p | 248.262.2700 f | www.thedc.com

EPC / DRB SUBMITTAL

PROJECT NAME:
MONTGOMERY & WYOMING

PROJECT ADDRESS:
 4801 WYOMING BLVD NE
 ALBUQUERQUE, NM 87109
 BERNALILLO COUNTY

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: OCTOBER 26, 2016
DESIGN MANAGER: LAURA KULIS
LEED® AP:
PRODUCTION DESIGNER: IDC
CHECKED BY: LAURA KULIS
TDC#: 18017

Revision Schedule		
Rev	Date	Description

SHEET TITLE:
OVERALL SITE

SCALE AS SHOWN

SHEET NUMBER:
 SP-1

VICINITY MAP



LEGAL DESCRIPTION

LOT 1 OF TRACT A-1 REVISION OF TRACT A AND A-2 LOS FACTORES SHOPPING CENTER ETC. 300' FRONT AND PORT OUT TO RW CONT 5.77AC

PHASING
EXTENT OF CURRENT PHASE WITHIN PROPERTY LINES WITH THE EXCEPTION OF SIDEWALKS, CURB CUTS, ACCESS AND RAMPS TO BE PROVIDED BY LANDLORD

PARKING CALCULATION
CHAPTER 16
1 SPACE PER 4 SEATS - CHAPTER 16
74 SEATS / 4 = 18.5
19 PARKING SPACES REQUIRED
24 TOTAL PROVIDED
2 ADA SPACES PROVIDED
22 STANDARD PARKING SPACES PROVIDED
2 MOTORCYCLE SPACES PROVIDED

ARCHITECTURAL SITE PLAN NOTES

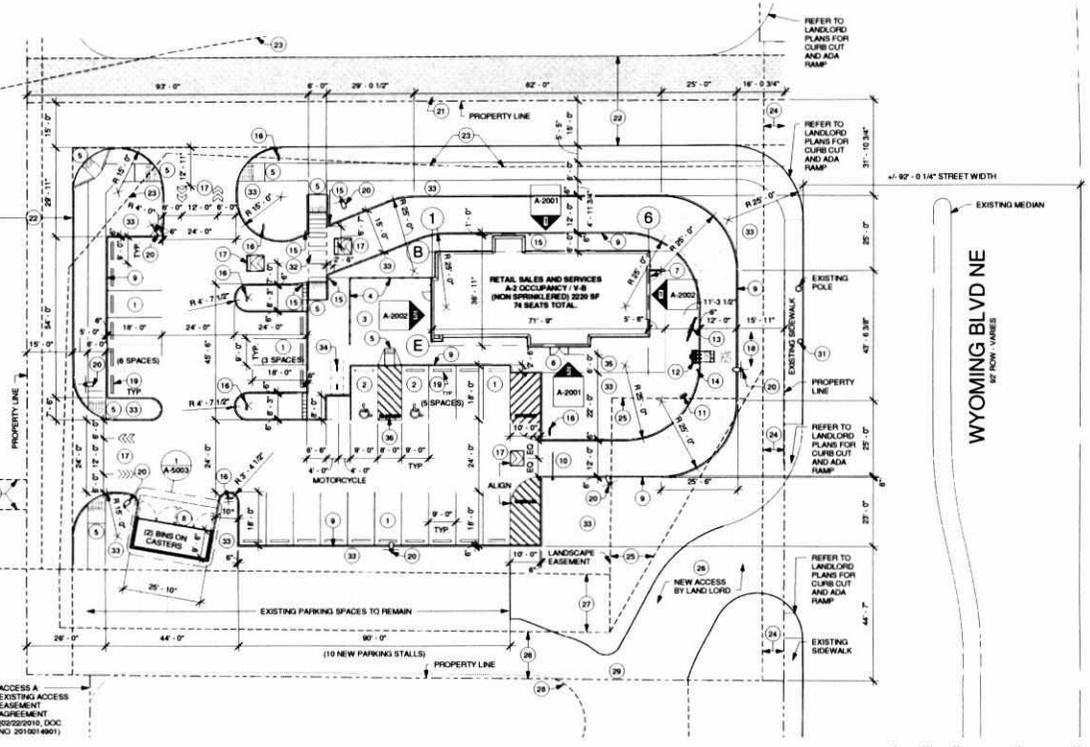
- A. REFER TO EXTERIOR ELEVATIONS ON SHEET A-2001 & A-2002 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND LEED REQUIREMENTS.
- C. DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL SPECIFICATIONS FOR ELECTRICAL REQUIREMENTS.
- D. PROVIDE 6" (16MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU WINDOW STANDING PAD REFER TO CIVIL DRAWINGS.
- E. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- F. REFER TO SIGNAGE SUBMITTAL BY SIGNAGE VENDOR FOR FURTHER SIGNAGE INFORMATION.

SHEET NOTES

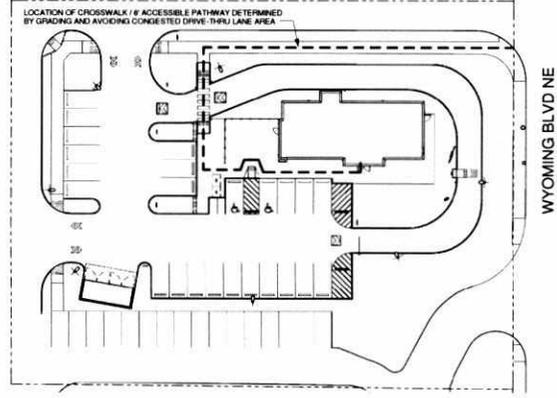
- 1. STANDARD PARKING STALLS (8' X 18')
- 2. ADA PARKING STALL WITH ADA LOGO AND LOADING AREA STRIPING
- 3. PATIO EXTERIOR SEATING AREA 132 SF
- 4. PATIO RAILING, INSTALL PER MFR INSTRUCTIONS ON CUT SHEETS
- 5. ADA CURB RAMP
- 6. PEDESTRIAN BUILDING ENTRY
- 7. BUILDING SERVICE ENTRY
- 8. REFUSE ENCLOSURE
- 9. 6" CONCRETE CURB, TYP
- 10. DRIVE THRU CLEARANCE BAR
- 11. DRIVE THRU PRE MENU BOARD
- 12. DRIVE THRU ORDER POINT & CANOPY
- 13. DRIVE THRU MENU BOARD
- 14. BOLLARD - NON ILLUMINATED
- 15. BOLLARD - ILLUMINATED
- 16. DRIVE THRU DIRECTIONAL SIGN
- 17. DRIVE THRU WAYFINDING STRIPING
- 18. REFER TO LANDSCAPE DRAWINGS FOR SCREENING AT OT ORDER POINT
- 19. WHEEL STOP
- 20. 20'-0" TALL POLE LIGHT
- 21. HATCH AREA INDICATES PRIVATE WATER AND FIRE LINE UTILITY EASEMENT ACROSS TRACT A-1-C FOR THE BENEFIT OF TRACT A-1-E TO BE MAINTAINED BY THE OWNER OF TRACT A-1-E
- 22. 30' PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D, A-1-E AND A-1-F TO BE MAINTAINED EQUALLY BY THE OWNER EACH TRACT AND PUBLIC UTILITY EASEMENT
- 23. EXISTING LEGAL DESCRIPTION "A" EASEMENT "OVER EXISTING ASPHALT PAVEMENT" (01/02/01), (01/05/0004)
- 24. EXISTING 7' UTILITY EASEMENT (01/16/1963, CS-140)
- 25. EXISTING LANDSCAPE EASEMENT (01/03/1961), (BK. 426, PG. 304-313)
- 26. EXISTING BANK SUPPLEMENTAL ACCESS EASEMENT (PRIVATE ACCESS EASEMENT), (BK. MISC. 826, PGS. 304-313)
- 27. LEGAL DESCRIPTION "E" LOCATED WITHIN TRACT LETTERED A-1 OF THE REVISION OF TRACT "A" LOS FACTORES SHOPPING CENTER (01/20/010, 01/05/0004)
- 28. STRIP PARCEL (PORTION OF TRACT 1 CORNER PARCEL) LOS PASTORES SHOPPING CENTER (01/16/1963, CS-140)
- 29. EXISTING LEGAL DESCRIPTION "D" EASEMENT LOCATED WITHIN STRIP PARCEL (01/02/010, 01/05/0004)
- 30. 10' PRIVATE UTILITY EASEMENT GRANTED BY THE BENEFIT OF TRACTS A-1-A, A-1-B, A-1-C, AND A-1-D TO BE MAINTAINED BY THE OWNER OF TRACT A-1-E
- 31. FIRE HYDRANT LOCATION PENDING FINAL UTILITY CONNECTION AND FIRE MARSHAL APPROVAL
- 32. CONCRETE ACCESSIBLE PEDESTRIAN CROSSWALK
- 33. LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS FOR FURTHER INFORMATION
- 34. 2 BIKE RACKS = 4 BIKE SPACES
- 35. REQUIRED PER ZONING CODE 14-16-3-10(b)(4)
- 36. ADA ACCESSIBLE ASILES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (06-1-4.18 NADA 1076)

GENERAL CITY NOTES

- 1. 2 SPACES MOTORCYCLE REQUIRED PER ZONING CODE 14-16-3-10(c)
- 2. 6'-0" CLEAR PEDESTRIAN PATH REQUIRED PER ZONING CODE 14-16-3-10(b)(4)
- 3. FIRE HYDRANT LOCATION TO BE DETERMINED. FIRE HYDRANT TO BE PLACED PER CITY OF ALBUQUERQUE FIRE CODE.



1 SITE PLAN
Scale: 1" = 20'-0"



2 PEDESTRIAN CONNECTION
Scale: 1" = 20'-0"



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ARCHITECT OF RECORD
the design COLLECTIVE

2003 West Corporation Way, Suite 200
200 West 17th St, 2nd Floor
200 West 17th St, 2nd Floor

EPC / DRB SUBMITTAL

PROJECT NAME:
MONTGOMERY & WYOMING

PROJECT ADDRESS:
**4801 WYOMING BLVD NE
ALBUQUERQUE, NM 87109
BERNALILLO COUNTY**

STORE #: 29571
PROJECT #: 66697-001
CONCEPT: MCS
ISSUE DATE: OCTOBER 26, 2016
DESIGN MANAGER: LAURA KULIS
LEED AP
PRODUCTION DESIGNER: JOC
CHECKED BY: LAURA KULIS
TODK: 16017

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE
SITE PLAN EPC/DRB

SCALE AS SHOWN
SHEET NUMBER
A-1002

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9/27/2016 11:22:39 AM W:\1. Project Files\2016-DC-Projects\16017-Starbucks Montgomery Wyoming DT NM DD CD01_Drawing\66697-001_ALB_Mont_Wyom_NM_EPIC.rvt

EXTERIOR SIGNAGE SCHEDULE - "B"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
13164	2	SIGN - DISK W/ ILLUMINATED FLUSH MOUNTED EVOLVED - 60N 152MM	VD		
14091	2	SIGN - DT DIRECTIONAL EXIT SIGN ILLUMINATED ARROW SERIES - 46N 1170MM	VD		
14099	4	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 46N 1200MM	VD		
14154	4	SIGN - DT DIRECTIONAL ILLUMINATED ARROW SERIES WITH LOGO - 46N 1175MM	VD		
14168	1	SIGN - DT CLEARANCE BAR ARROW SERIES FREE STANDING	VD		
11362	3	SIGN - INLINE ILLUMINATED FLUSH MOUNTED 14N 355MM	VD		

RESPONSIBILITY LEGEND

GC GENERAL CONTRACTOR
 LL LANDLORD
 SB STARBUCKS
 WH STARBUCKS WAREHOUSE (PK)
 VD STARBUCKS VENDOR DIRECT

SHEET NOTES

- E.F.S PAINT AS INDICATED. FINISH LYMSTONE.
- BRICK WANSOOT PER SCHEDULE.
- E.F.S. TRIMACCENT PAINT AS INDICATED.
- PREFINISHED METAL COPING.
BLACK METAL TO MATCH RAUF 7021 MATTE.
PER STARBUCKS MPH GUIDELINE.
- DOWNPOUTS / CANPIES & SUPPORTS.
POWDER COATED BLACK METAL TO MATCH RAUF 7021 MATTE.
PER STARBUCKS MPH GUIDELINES.
- STOREFRONT / GLAZING MILLWORKS.
POWDER COATED BLACK METAL TO MATCH RAUF 7021 MATTE.
PER STARBUCKS MPH GUIDELINES.
- PATIO RAILING. PER SCHEDULE. INSTALL PER MFR INSTRUCTIONS / CUT SHEETS.
- SPEAKER.
- PROVIDE 7 (75MM) HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING OR PER LOCAL JURISDICTIONAL CODE REQUIREMENTS.
- BLACK FUNCTIONAL LIGHTING WALL MOUNTED LIGHT PER ELECTRICAL DRAWINGS.

EXTERIOR ELEVATION NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL JURISDICTIONAL REQUIREMENTS AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



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 architects • planners • designers
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 Seattle, WA 98101
 (206) 282-2739 | (206) 282-2781 | www.tdc.com

EPC / DRB SUBMITTAL

PROJECT NAME:
 MONTGOMERY & WYOMING

PROJECT ADDRESS:
 4601 WYOMING BLVD NE
 ALBUQUERQUE, NM 87109
 BERNALILLO COUNTY

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: SEPTEMBER 27, 2016
DESIGN MANAGER: LAURA KULS
LEED AP:
PRODUCTION DESIGNER: IDC
CHECKED BY: LAURA KULS
TDC#: 18017

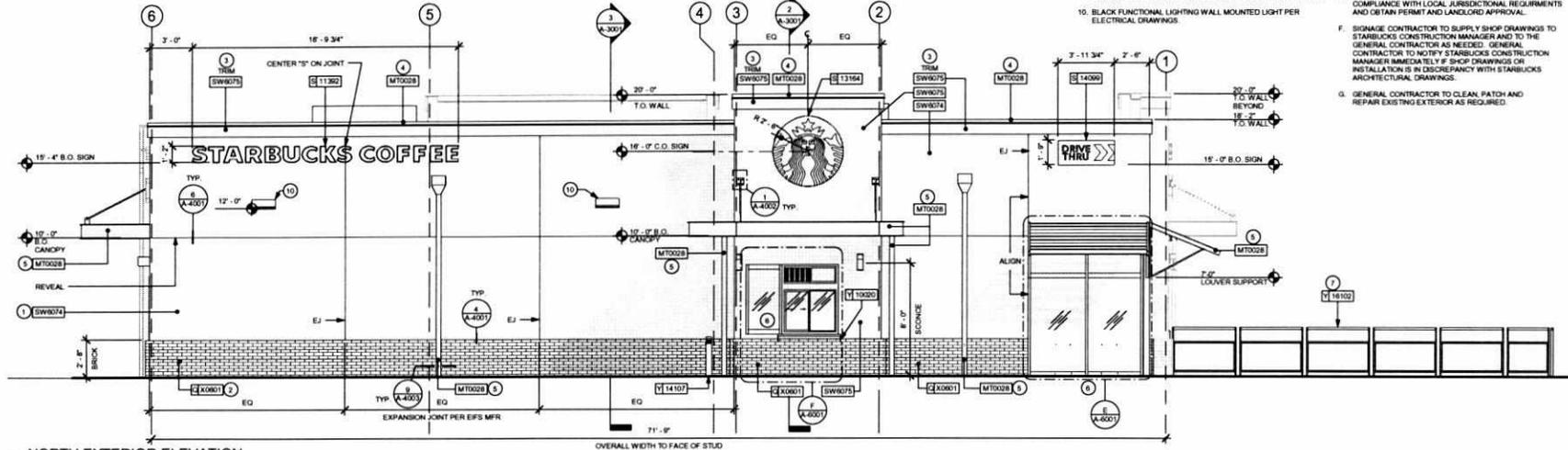
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
 EXTERIOR ELEVATIONS

SCALE: AS SHOWN

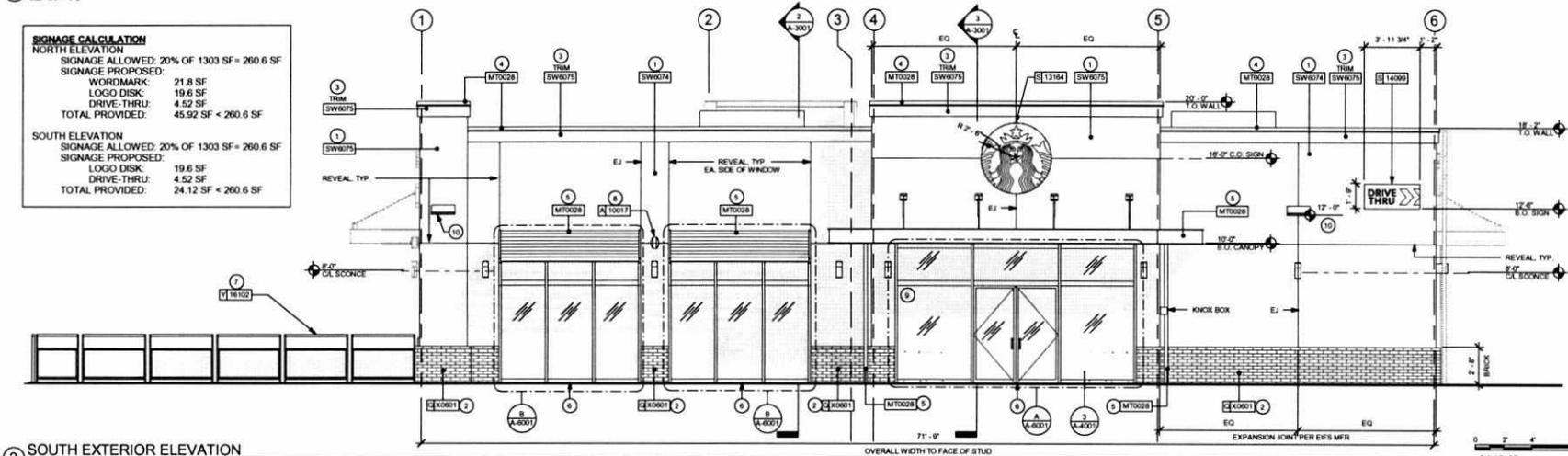
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A-2001



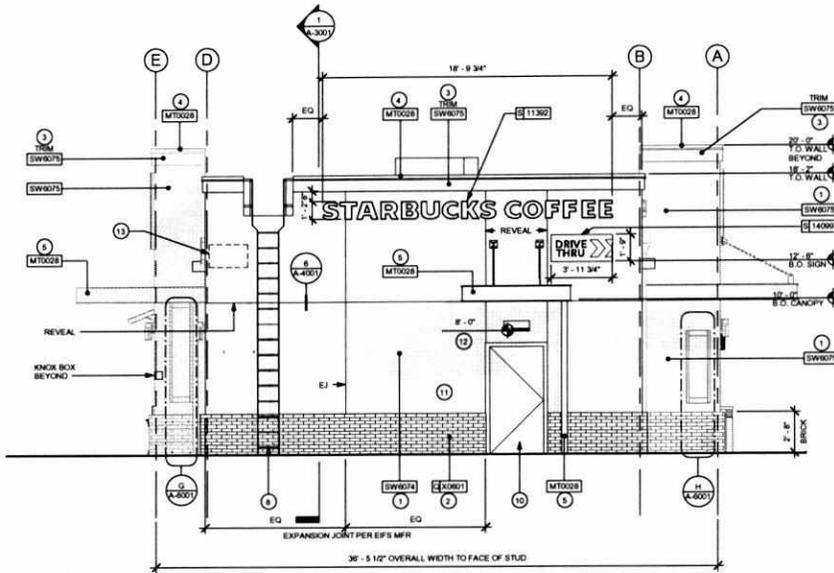
1 NORTH EXTERIOR ELEVATION
 Scale: 1/4" = 1'-0"

SIGNAGE CALCULATION	
NORTH ELEVATION	
SIGNAGE ALLOWED: 20% OF 1303 SF = 260.6 SF	
SIGNAGE PROPOSED:	
WORDMARK:	21.8 SF
LOGO DISK:	19.6 SF
DRIVE-THRU:	4.52 SF
TOTAL PROVIDED:	45.92 SF < 260.6 SF
SOUTH ELEVATION	
SIGNAGE ALLOWED: 20% OF 1303 SF = 260.6 SF	
SIGNAGE PROPOSED:	
LOGO DISK:	19.6 SF
DRIVE-THRU:	4.52 SF
TOTAL PROVIDED:	24.12 SF < 260.6 SF

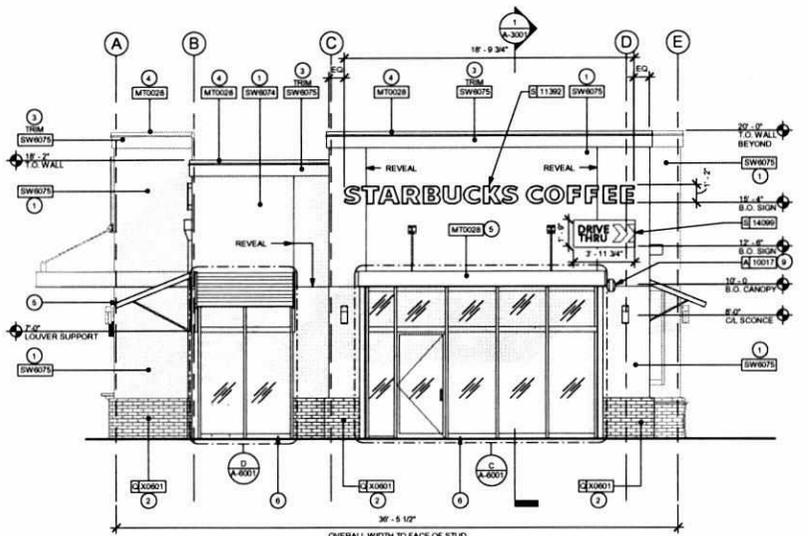


2 SOUTH EXTERIOR ELEVATION
 Scale: 1/4" = 1'-0"

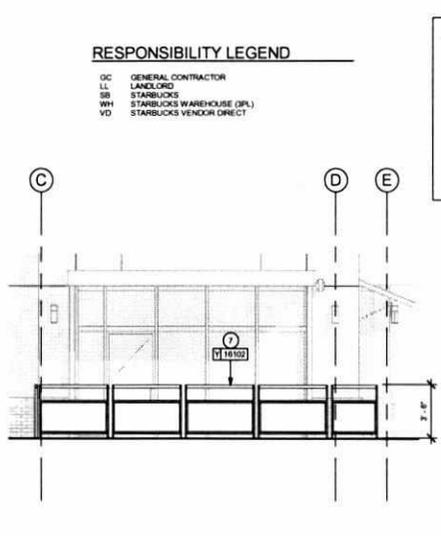
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1 EAST EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



3 PARTIAL WEST EXTERIOR ELEVATION - RAILINGS
Scale: 1/4" = 1'-0"

SHEET NOTES

- E.I.F.S. PAINT AS INDICATED. FINISH LYMSTONE.
- BRICK WANSICOT. PER SCHEDULE.
- E.I.F.S. TRIM/ACCENT. PAINT AS INDICATED.
- PREFINISHED METAL COPING. BLACK METAL TO MATCH RALF 7021 MATTE. PER STARBUCKS MFR GUIDELINES.
- DOWNPOUTS / CANOPIES & SUPPORTS. POWDER COATED BLACK METAL TO MATCH RALF 7021 MATTE. PER STARBUCKS MFR GUIDELINES.
- STOREFRONT / GLAZING MULLIONS. POWDER COATED BLACK METAL TO MATCH RALF 7021 MATTE. PER STARBUCKS MFR GUIDELINES.
- PATIO RAILING. PER SCHEDULE. INSTALL PER MFR INSTRUCTIONS / CUT SHEETS.
- ROOF ACCESS LADDER. BLACK METAL TO MATCH RALF 7021 MATTE. PER STARBUCKS MFR GUIDELINES.
- SPEAKER.
- POWDER COAT SERVICE DOOR / FRAME TO MATCH SW9074.
- FINISH ELECTRICAL PANELS/METERS TO MATCH BUILDING. (NOT SHOWN). REFER TO ELECTRICAL DRAWINGS.
- BLACK FUNCTIONAL LIGHTING WALL MOUNTED LIGHT PER ELECTRICAL DRAWINGS.
- AREA OF BUILDING ADDRESS NUMBERS PER ALBUQUERQUE FIRE CODE REQUIREMENTS. BLACK METAL LETTERS MOUNTED BETWEEN 10'-14" AFF. MINIMUM 10 INCH TALL LETTERS AND 2 INCH STROKE.

EXTERIOR ELEVATION NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
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- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL JURISDICTIONAL REQUIREMENTS AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS REQUIRED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

EXTERIOR SIGNAGE SCHEDULE - "B"

DESIGN ID	COUNT	DESCRIPTION	RESP.	BLB	COMMENTS
13164	2	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 400x1525MM	VD		
14001	2	SIGN - DT DIRECTIONAL EXIT SIGN ILLUMINATED ARROW SERIES - 460x1170MM	VD		
14000	4	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - 861 - 460x1220MM	VD		
14104	4	SIGN - DT DIRECTIONAL ILLUMINATED ARROW SERIES WITH LOGO - 460x1170MM	VD		
14106	1	SIGN - DT CLEARANCE BAR ARROW SERIES (FREE STANDING)	VD		
11302	3	SIGN - BULB ILLUMINATED FLUSH MOUNTED 140x350MM	VD		

RESPONSIBILITY LEGEND

- GC GENERAL CONTRACTOR
- LL LANDLORD
- SB STARBUCKS
- WH STARBUCKS WAREHOUSE (DPL)
- VD STARBUCKS VENDOR DIRECT

SIGNAGE CALCULATION

EAST ELEVATION
SIGNAGE ALLOWED: 30% OF 510 SF = 153 SF
SIGNAGE PROPOSED:
WORDMARK: 21.8 SF
DRIVE THRU: 4.52 SF
TOTAL PROVIDED: 26.32 SF < 153 SF

WEST ELEVATION
SIGNAGE ALLOWED: 20% OF 415 SF = 83 SF
SIGNAGE PROPOSED:
WORDMARK: 21.8 SF
DRIVE-THRU: 4.52 SF
TOTAL PROVIDED: 26.32 SF < 83 SF



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EPC / DRB SUBMITTAL

PROJECT NAME:
MONTGOMERY & WYOMING

PROJECT ADDRESS:
4601 WYOMING BLVD NE
ALBUQUERQUE, NM 87109
BERNALILLO COUNTY

STORE #: 20571
PROJECT #: 66967-001
CASEWORK CONCEPT: MCS
ISSUE DATE: SEPTEMBER 27, 2016
DESIGN MANAGER: LAURA KULIS
LEED AP:
PRODUCTION DESIGNER: IDC
CHECKED BY: LAURA KULIS
DATE: 10/17

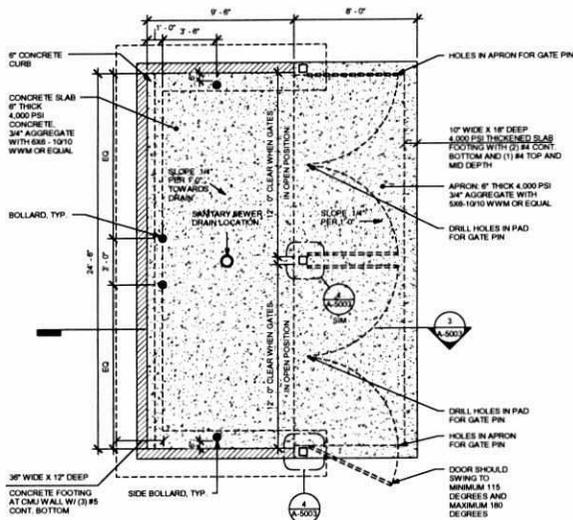
Revision Schedule

Rev.	Date	By	Description

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EXTERIOR ELEVATIONS

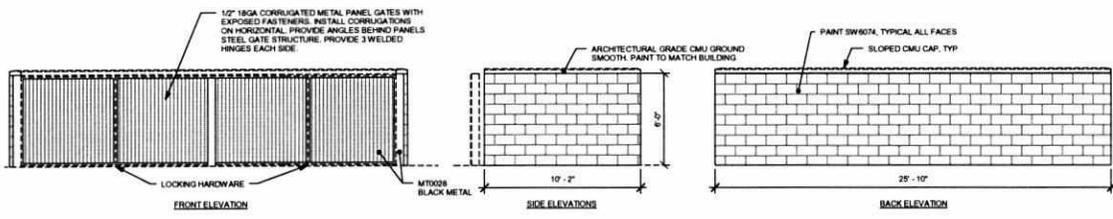
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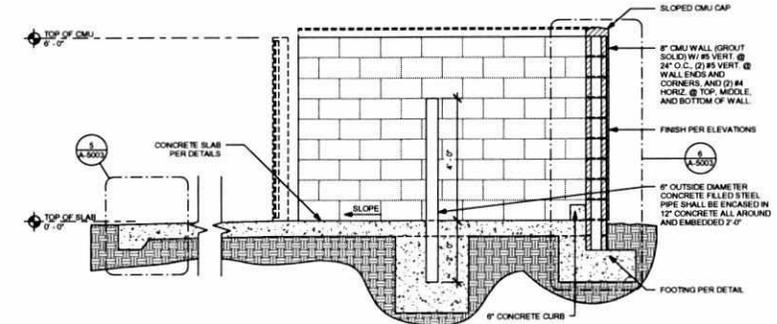


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Scale: 1/8" = 1'-0"

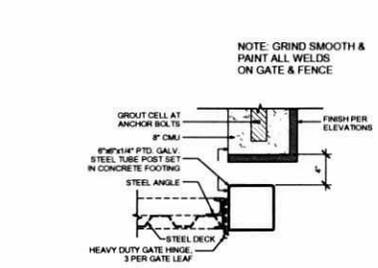
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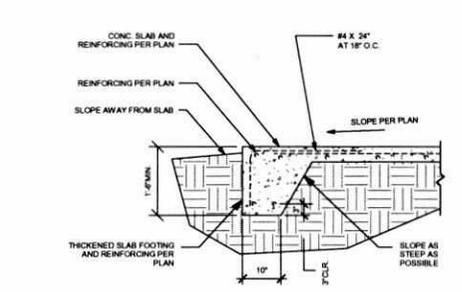
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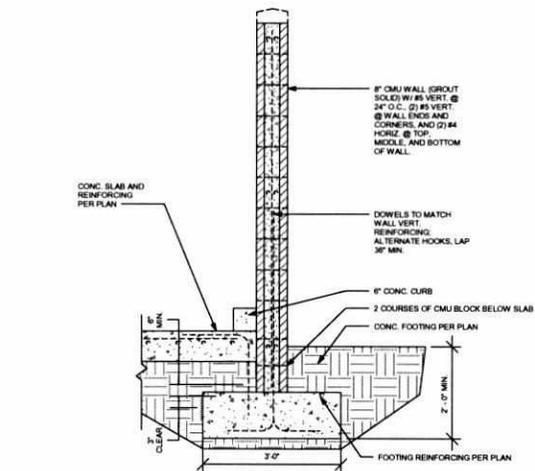
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4 REFUSE ENCLOSURE - BASEPLATE PLAN
Scale: 1/2" = 1'-0"



5 THICKENED SLAB EDGE FOOTING
Scale: 3/4" = 1'-0"



6 REFUSE ENCLOSURE - SECTION
Scale: 3/4" = 1'-0"



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PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: SEPTEMBER 27, 2016
DESIGN MANAGER: LAURA KULS
LEED AP:
PRODUCTION DESIGNER: IDC
CHECKED BY: LAURA KULS
TDC#: 15017

Revision Schedule

Rev	Date	By	Description

SHEET TITLE:
REFUSE ENCLOSURE DETAILS
SCALE: AS SHOWN

SHEET NUMBER:
A-5003



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PROJECT NAME:
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 ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

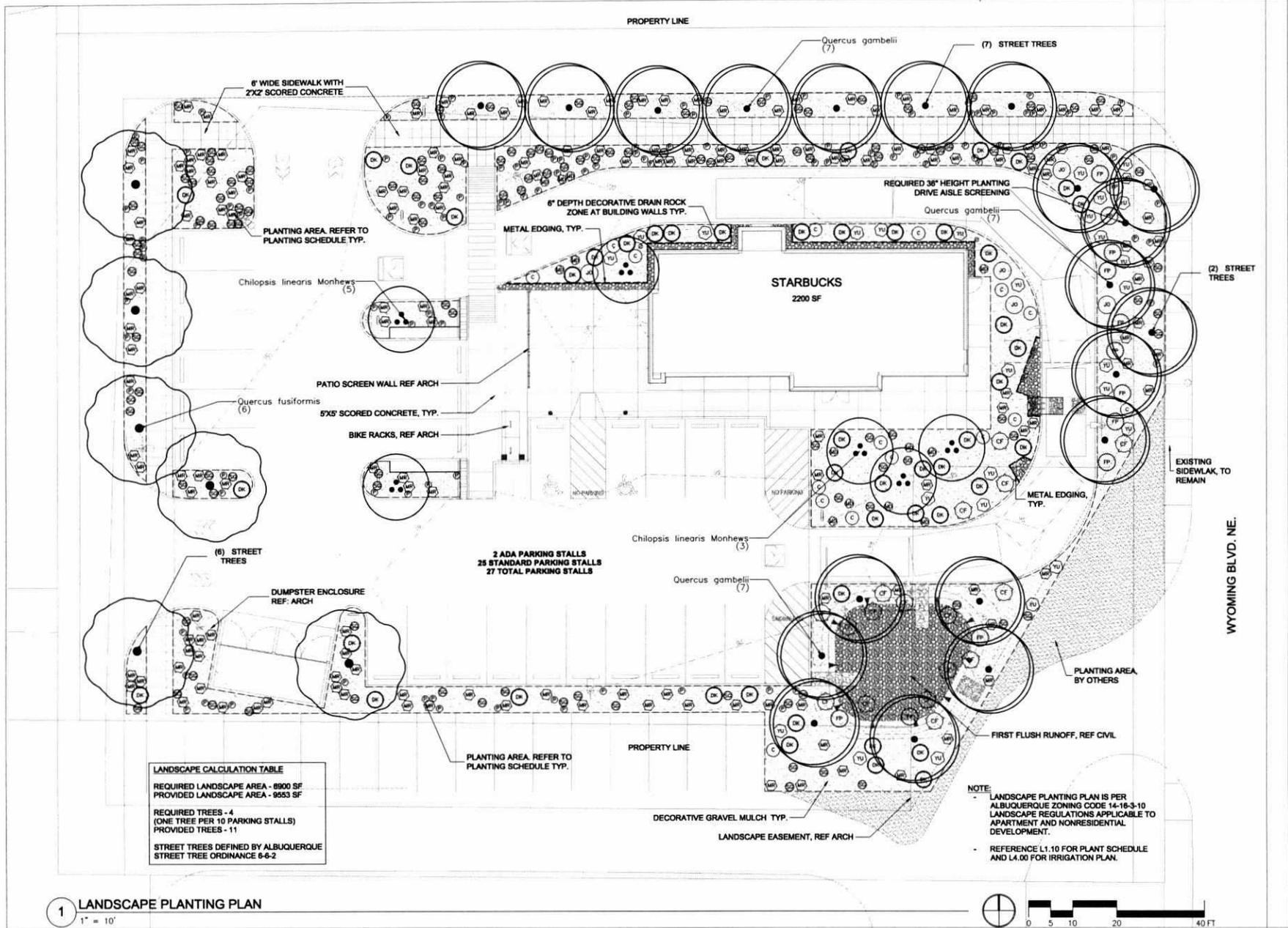
STORE #: 29571
PROJECT #: 86697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: JULY 28, 2016
DESIGN MANAGER: LAURA KLJAS
LEEDS® #:
PRODUCTION DESIGNER: MTR
CHECKED BY: JK

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
 LANDSCAPE MATERIALS AND PLANTING PLAN

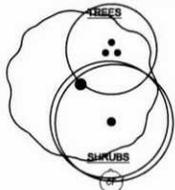
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SHEET NUMBER:
 L1.00



1 LANDSCAPE PLANTING PLAN
 1" = 10'

PLANT SCHEDULE



TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
	CM	Chilopsis linearis Monheew	Desert Willow	36"box	Mull, 3 stems 6'-10' Ht.	6
	QF	Quercus fusiformis	Texas Live Oak	36"box		6
	QG	Quercus gambellii	Gambel Oak	36"box		20
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
	CF	Carex flacca	Blue Sedge	5 gal		17
	FP	Fallugia paradoxa	Apache Plume	5 gal		13
	JO	Juniperus virginiana 'Grey Owl'	Eastern Redcedar	5 gal		5
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
	C	Callirhoe involucrata	Purple Popppymallow	1 gal		16
	P	Penstemon mexicali 'Red Rocks'	Penstemon	1 gal		108
	SG	Salvia greggii	Autumn Sage	1 gal		125
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
	MD	Muhlenbergia dubie	Pine Muhly	1 gal		13
	MR	Muhlenbergia reverchonii	Seep Muhly	1 gal		167
SUCCULENTS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
	DK	Delosperma x 'Ketaldis'	Mesa Verde Ice Plant	1 gal		49
	YU	Yucca baccata	Banana Yucca	5 gal		27

PLANTING NOTES:

1. ALL PLANTING AREAS TO RECEIVE 12" IMPORT TOPSOIL. TOPSOIL TO BE INCORPORATED INTO PREPARED SUBGRADE. SUBGRADE TO BE DECOMPACTED TO 12" MINIMUM BELOW FINISH GRADE.
2. PER ALBUQUERQUE ZONING CODE (AZC) 16-16-3-10 D. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN. INSTALLATION SHALL BE COMPLETED WITHING 60 DAYS OF THE RELATED BUILDING OCCUPANCY
3. REFERENCE 5.10 FOR PLANTING DETAILS
5. ALL PLANTING IS IN COMPLIANCE WITH ALBUQUERQUE GENERAL LANDSCAPING REGULATIONS 14-16-3-10
6. RESPONSIBILITY FOR LANDSCAPE MAINTENANCE WILL BE MAINTAINED BY SBLX.

NOTE:

- LANDSCAPE PLANTING PLAN IS PER ALBUQUERQUE ZONING CODE 14-16-3-10 LANDSCAPE REGULATIONS APPLICABLE TO APARTMENT AND NONRESIDENTIAL DEVELOPMENT.
- REFERENCE L1.10 FOR PLANT SCHEDULE AND L4.00 FOR IRRIGATION PLAN.

LANDSCAPE CALCULATION TABLE

REQUIRED LANDSCAPE AREA - 6900 SF
 PROVIDED LANDSCAPE AREA - 9553 SF

REQUIRED TREES - 4
 (ONE TREE PER 10 PARKING STALLS)
 PROVIDED TREES - 11

STREET TREES DEFINED BY ALBUQUERQUE
 STREET TREE ORDINANCE 6-6-2



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 BERNALILLO COUNTY

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: JULY 28, 2018
DESIGN MANAGER: LAURA KILB
LEED® AP:
PRODUCTION DESIGNER: MTS
CHECKED BY: JK

Rev	Date	By	Description

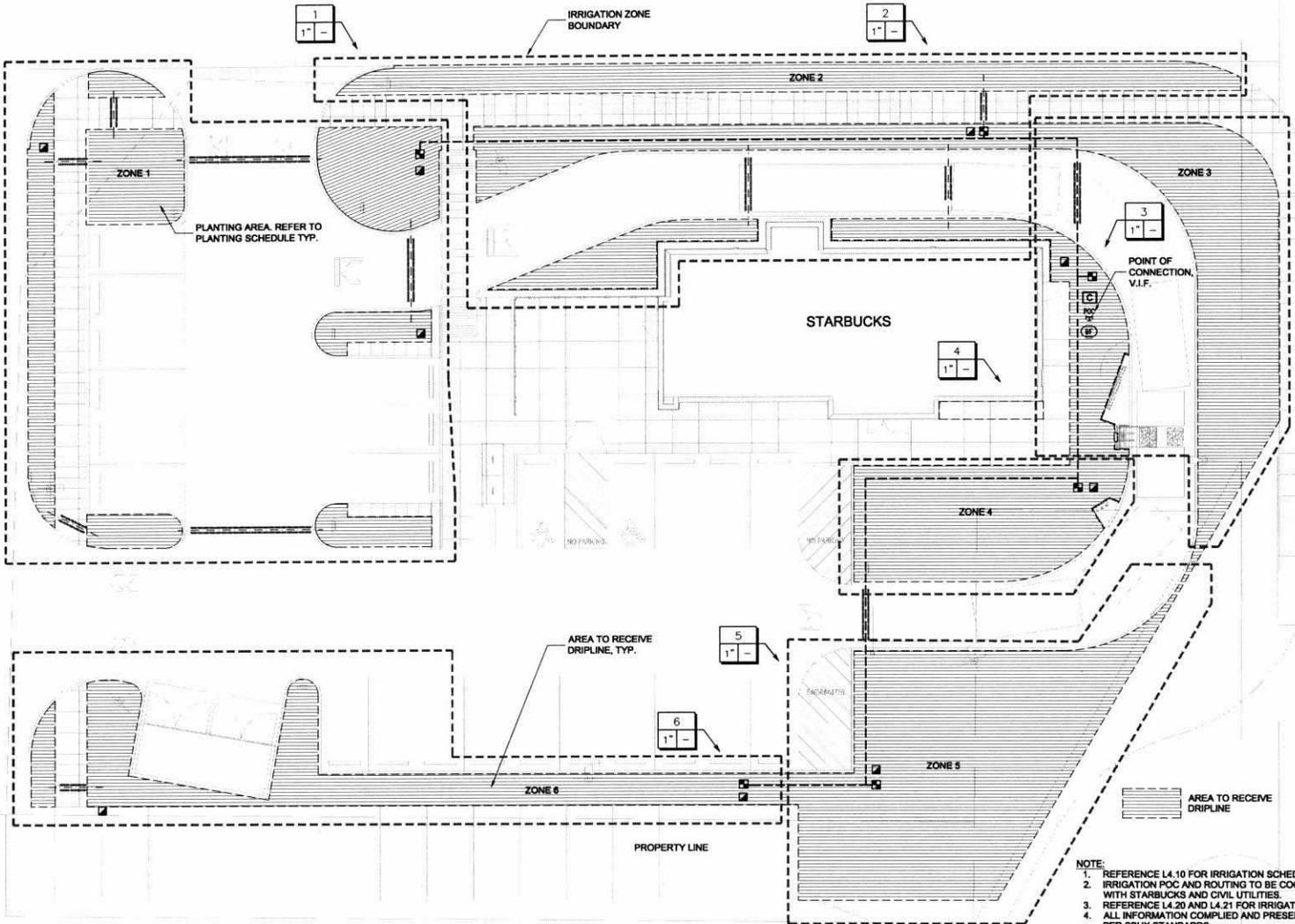
SHEET TITLE:
 PLANTING SCHEDULE

SCALE: AS SHOWN

SHEET NUMBER:

L1.10

PROPERTY LINE



PLANTING AREA. REFER TO PLANTING SCHEDULE TYP.

AREA TO RECEIVE DRIPLINE, TYP.

AREA TO RECEIVE DRIPLINE

- NOTE:
1. REFERENCE L4.10 FOR IRRIGATION SCHEDULE
 2. IRRIGATION POC AND ROUTING TO BE COORDINATED WITH STARBUCKS AND CIVIL UTILITIES.
 3. REFERENCE L4.20 AND L4.21 FOR IRRIGATION DETAILS.
 4. ALL INFORMATION COMPILED AND PRESENTED TO BE PER SBUX STANDARDS.
 5. ALL IRRIGATION TO BE IN COMPLIANCE WITH ALBUQUERQUE WATER CONSERVATION ORDINANCE 6-1-1



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PROJECT NAME:
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 BERNALILLO COUNTY

STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: JULY 28, 2016
DESIGN MANAGER: LAURA KULIS
LEED® AP:
PRODUCTION DESIGNER: MTB
CHECKED BY: JK

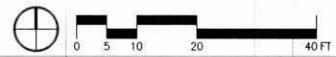
Revision Schedule			
Rev	Date	By	Description

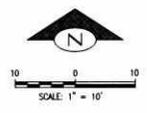
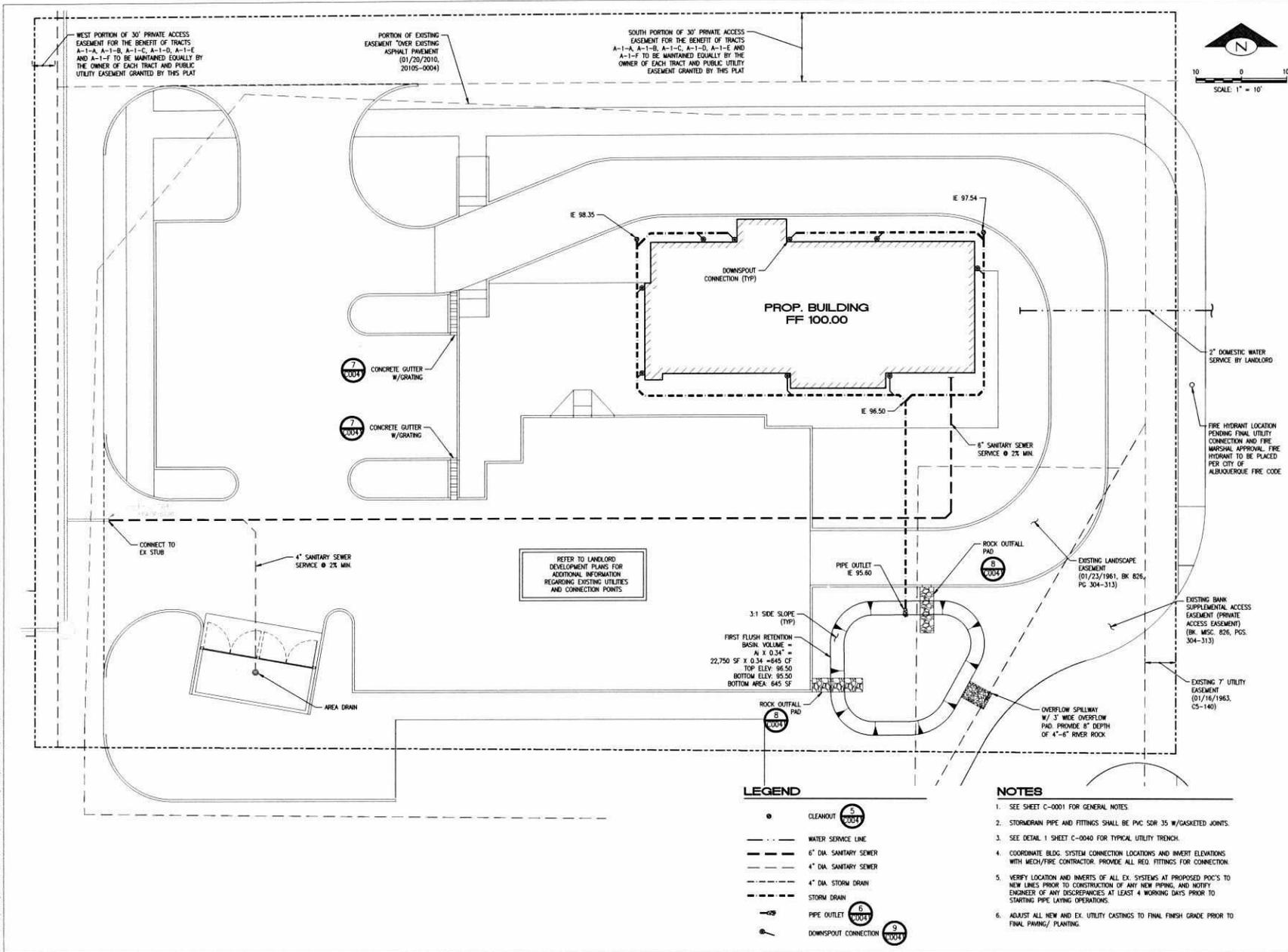
SHEET TITLE:
 LANDSCAPE IRRIGATION PLAN

SCALE AS SHOWN
SHEET NUMBER

L4.00

1 LANDSCAPE IRRIGATION PLAN
 1" = 10'





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STARBUCKS TEMPLATE VERSION: 0015-10-23

siteWIS design PLC
 A CIVIL ENGINEERING COMPANY
 219 First Avenue S., Suite 403
 Seattle, WA 98101
 206.402.4648

EPC/DRB SUBMITTAL

PROJECT NAME:
MONTGOMERY & WYOMING

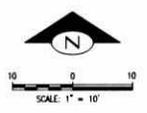
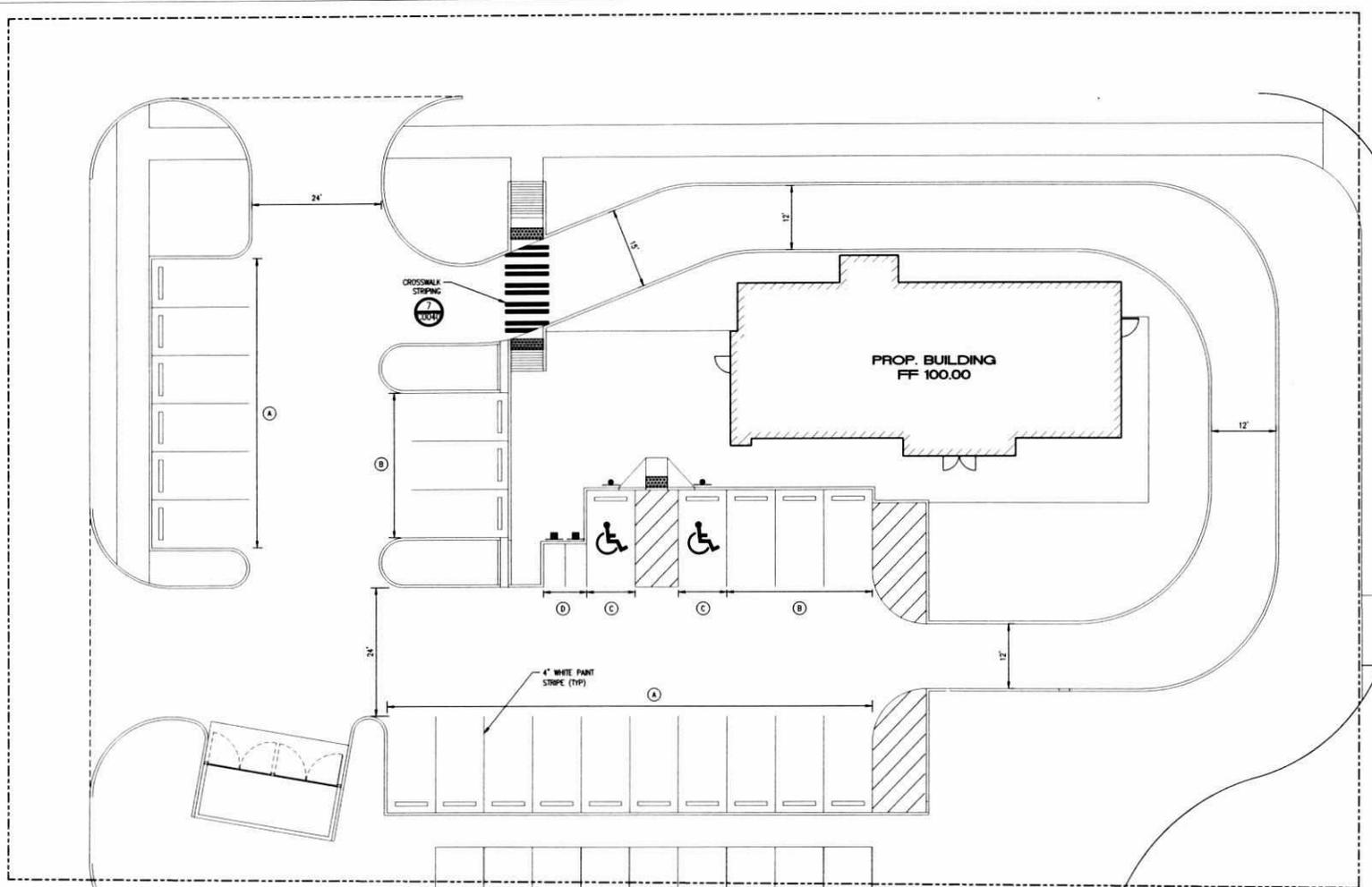
PROJECT ADDRESS:
 NW CORNER MONTGOMERY BLVD
 NE & WYOMING BLVD NE
 ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

STORE #: 29571
 PROJECT #: 66697-001
 CASEWORK CONCEPT: MCS
 ISSUE DATE: SEPTEMBER 28, 2016
 DESIGN MANAGER: LAURA KULIS
 LEED: AP
 PRODUCTION DESIGNER: IDC
 CHECKED BY:

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
DRAINAGE AND UTILITY PLAN
 SCALE AS SHOWN
 SHEET NUMBER:
C-0010

10/21/2016 Project: Starbucks Coffee Store at 2401 Utah Avenue South, Seattle, WA 98134
 10/21/2016 Project: Starbucks Coffee Store at 2401 Utah Avenue South, Seattle, WA 98134



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PROJECT ADDRESS:
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 NE & WYOMING BLVD NE
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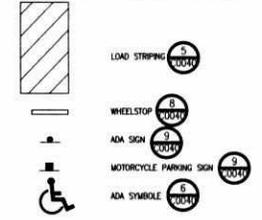
STORE #: 29571
PROJECT #: 66697-001
CASEWORK CONCEPT: MCS
ISSUE DATE: SEPTEMBER 26, 2016
DESIGN MANAGER: LAURA KULIS
LEED® AP
PRODUCTION DESIGNER: ICC
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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
 SIGNING AND STRIPING PLAN
SCALE: AS SHOWN

SHEET NUMBER:
 C-0030

LEGEND

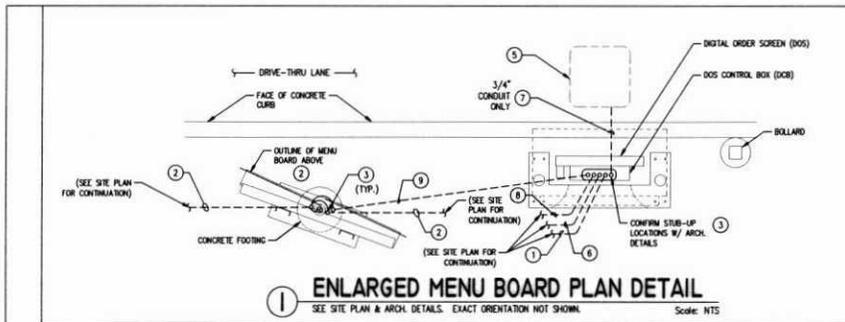


NOTES

- SEE SHEET C-001 FOR GENERAL NOTES.
- SEE ARCH SITE PLAN FOR ADDITIONAL PAVEMENT MARKINGS AND SIGNAGE.

STALL KEY

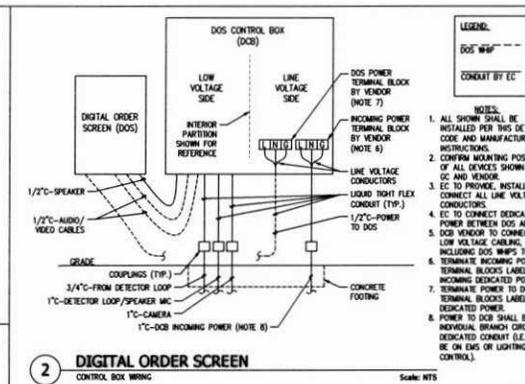
- (A) 9' W X 18'
- (B) 9' W X 18' D W/WHEELSTOP
- (C) 9' W X 18' D (ADA) W/ADA SIGN AND WHEELSTOP
- (D) 4' W X 9' D W/MOTORCYCLE SIGN



1 ENLARGED MENU BOARD PLAN DETAIL

SEE SITE PLAN & ARCH. DETAILS. EXACT ORIENTATION NOT SHOWN.

Scale: NTS



2 DIGITAL ORDER SCREEN CONTROL BOX WIRING

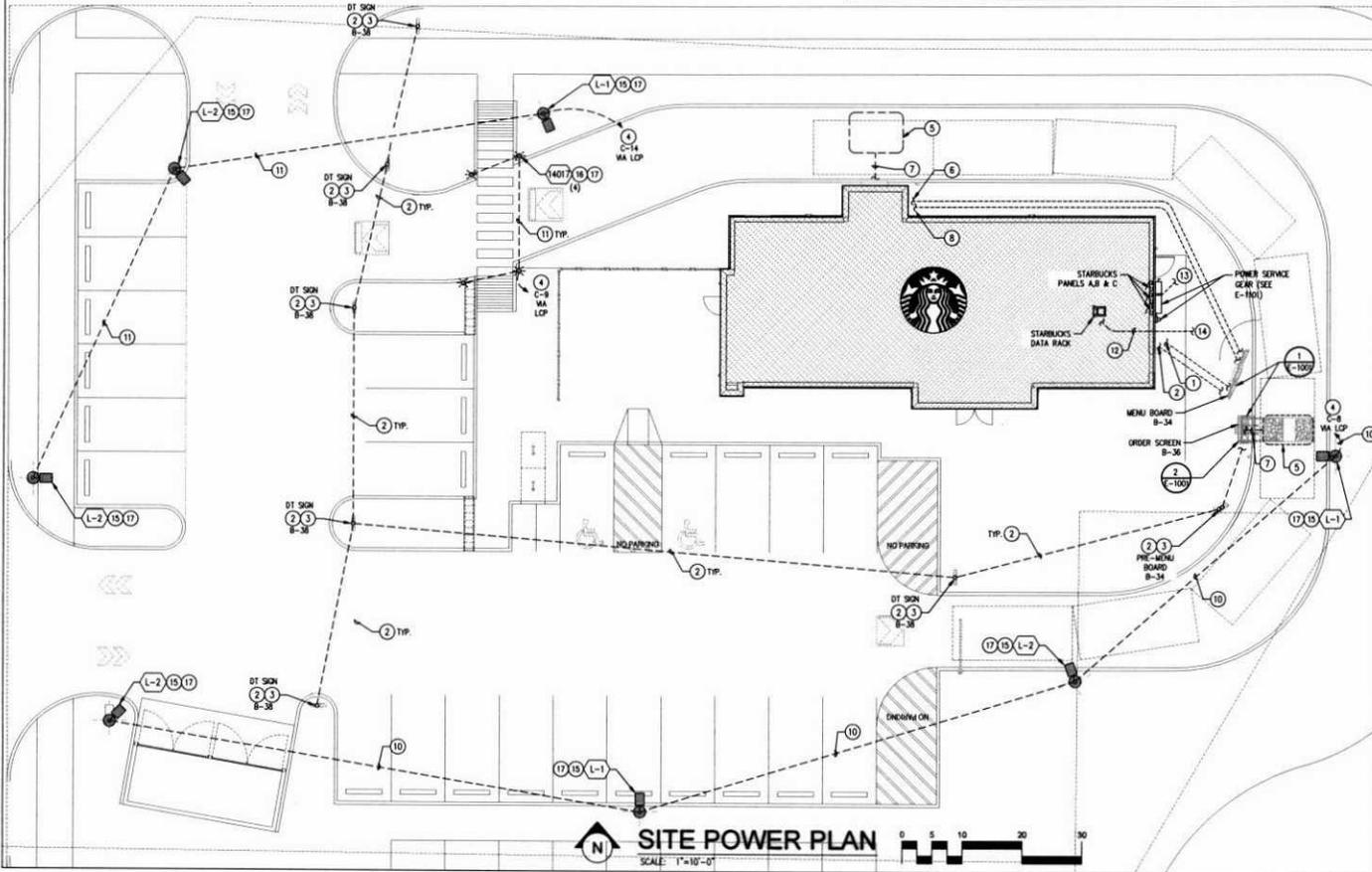
Scale: NTS

SITE PLAN GENERAL NOTES

- A. PROVIDE A COMPLETE & OPERATING SYSTEM. ALL ITEMS ARE NOT NECESSARILY SHOWN.
- B. PROVIDE CORE DRILLS, CONCRETE CUTTING, UNDERGROUND BORING AND PATCHING TO ROUTE RACEWAY(S) UNDER FLOOR SLAB INTO WALLS AND BELOW EXISTING CONCRETE PAVING. COORDINATE WITH STARBUCKS AND GENERAL CONTRACTOR TO DETERMINE SPECIFIC APPROVED METHODS AND EXACT LOCATIONS.
- C. CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO START OF WORK TO REVEAL THE FULL SCOPE OF WORK.
- D. A LOCATING SERVICE SHALL BE USED TO LOCATE ALL EXISTING UNDERGROUND PIPES AND CONDUITS PRIOR TO TRENCHING.
- E. REVIEW ALL CIVIL DRAWINGS AND COORDINATE TRENCHING ROUTES PRIOR TO TRENCHING.
- F. SEE ARCHITECTURAL SHEETS FOR FURTHER SIGNAGE INFORMATION AND EXACT LOCATIONS.
- G. FURNISH AND INSTALL PULL STRINGS IN ALL CONDUITS. ALL CONDUIT STUB-UPS SHALL BE TYPE RMC CONDUIT WITH BUSHINGS. OTHER PORTIONS OF UNDERGROUND CONDUIT MAY BE PVC IF ALLOWED BY AHI AND IF APPROPRIATE FOR LOCAL CONDITIONS. ALL CONDUITS ABOVE GRADE SHALL BE EMT UNLESS OTHERWISE NOTED.
- H. CONTRACTOR SHALL PROTECT CONDUIT OPENING AND LABEL ALL CONDUITS SO VENDORS WILL KNOW WHICH CONDUITS TO USE.
- I. FURNISH & INSTALL APPROPRIATE HAND HOLES WHERE NEEDED AND PER CODE TO INSTALL CABLE / WIRE.
- J. INCREASE SIZE OF CONDUCTORS INDICATED IF NEEDED TO ACCOUNT FOR VOLTAGE DROP.

SITE PLAN KEY NOTES

1. DOS CONTROL BOX (DOB) SPEAKER POST POWER: FBI 120V POWER FROM STARBUCKS POWER PANEL. 1" UNDERGROUND CONDUIT WITH 2 #10 & 1 #10 GJ CONDUCTORS.
2. DT SIGNAGE, PRE-MENU BOARD AND MENU BOARD: PROVIDE 120V POWER FROM STARBUCKS PANEL(S) VIA STARBUCKS TIMECLOCK CONTROLS. CIRCUIT TO BE MIN. 100CU WIRE AND GROUND IN UNDERGROUND 3/4".
3. CONDUIT STUBBED UP THROUGH FOUNDATION.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROLS PER STARBUCKS STANDARDS AND PER CODE.
5. DETECTOR LOOP CENTERED ON DOB (AND DT WINDOW) 2" BELOW TOP OF ROADWAY. COORD. WITH GENERAL SO THAT PAVEMENT DOES NOT NEED TO BE CUT.
6. DOB AUDIO: FURNISH & INSTALL 1" UNDERGROUND CONDUIT TO STARBUCKS SITE POS WINDOW AND STUB-UP IN WALL.
7. DETECTOR LOOP: STUB 3/4" UNDERGROUND CONDUIT FOR DETECTOR LOOP.
8. DOB AUDIO / VIDEO / DETECTOR LOOP: ROUTE 1" CONDUIT UNDERGROUND TO STARBUCKS SITE POS AND STUB-UP IN WALL.
9. EXTEND 120V POWER FROM MENU BOARD CIRCUIT TO DOB.
10. 3/4" UNDERGROUND CONDUIT WITH 2#10 & 1#10G.
11. 3/4" UNDERGROUND CONDUIT WITH 2#10 & 1#10G.
12. UNDERGROUND PHONE SERVICE CONDUIT STUBBED UP AT DATA RACK. SIZE PER UTILITY COMPANY, BUT NO LESS THAN 2".
13. CONNECT TO CONDUIT(S) PROVIDED BY LL FROM UTILITY TRANSFORMER (FIELD VERIFY).
14. CONNECT TO CONDUIT/HANDHOLE PROVIDED BY LANDLORD (FIELD VERIFY).
15. AREA POLE LIGHT WITH FOUNDATION. SEE ARCHITECTURAL SHEETS FOR FOUNDATION DETAIL.
16. BOLLARD LIGHT. SEE ARCHITECTURAL SHEETS FOR FOUNDATION DETAIL.
17. SEE E-6001 LIGHTING SCHEDULE FOR SPECIFICATION.



SITE POWER PLAN

SCALE: 1"=10'-0"



STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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STARBUCKS TEMPLATE VERSION: 0214.10.20



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PROJECT NAME: **MONTGOMERY & WYOMING**
PROJECT ADDRESS: **NW Corner Montgomery Blvd. NE & Wyoming Blvd NE Albuquerque, NM**

STORE #: 29571
PROJECT #: 66697-001

ISSUE DATE: 06/20/16
DESIGN MANAGER: Laura Kule
DESIGNER: Yumi Roth
DRAWN BY: Oliver Smith
CHECKED BY: Chris Ranach

Rev	Date	By	Description

SHEET TITLE: **ELECTRICAL SITE PLAN**

SCALE: AS SHOWN

SHEET NUMBER: **E-1001**



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7200
Customer Number
128702
Quote Number
Starbucks - Albuquerque, NM, Montgomery & Wyoming 128702_R3
File Name

House
Salesperson
Ryan Lybeck
Drawn By

**
Checked By

April 23, 2016

Date

June 23, 2016 R1 RL

July 22, 2016 R2 RL

September 26, 2016 R3 RL

Revisions

- [] Approved
- [] Approved With Changes Noted

Customer Signature _____

Date _____

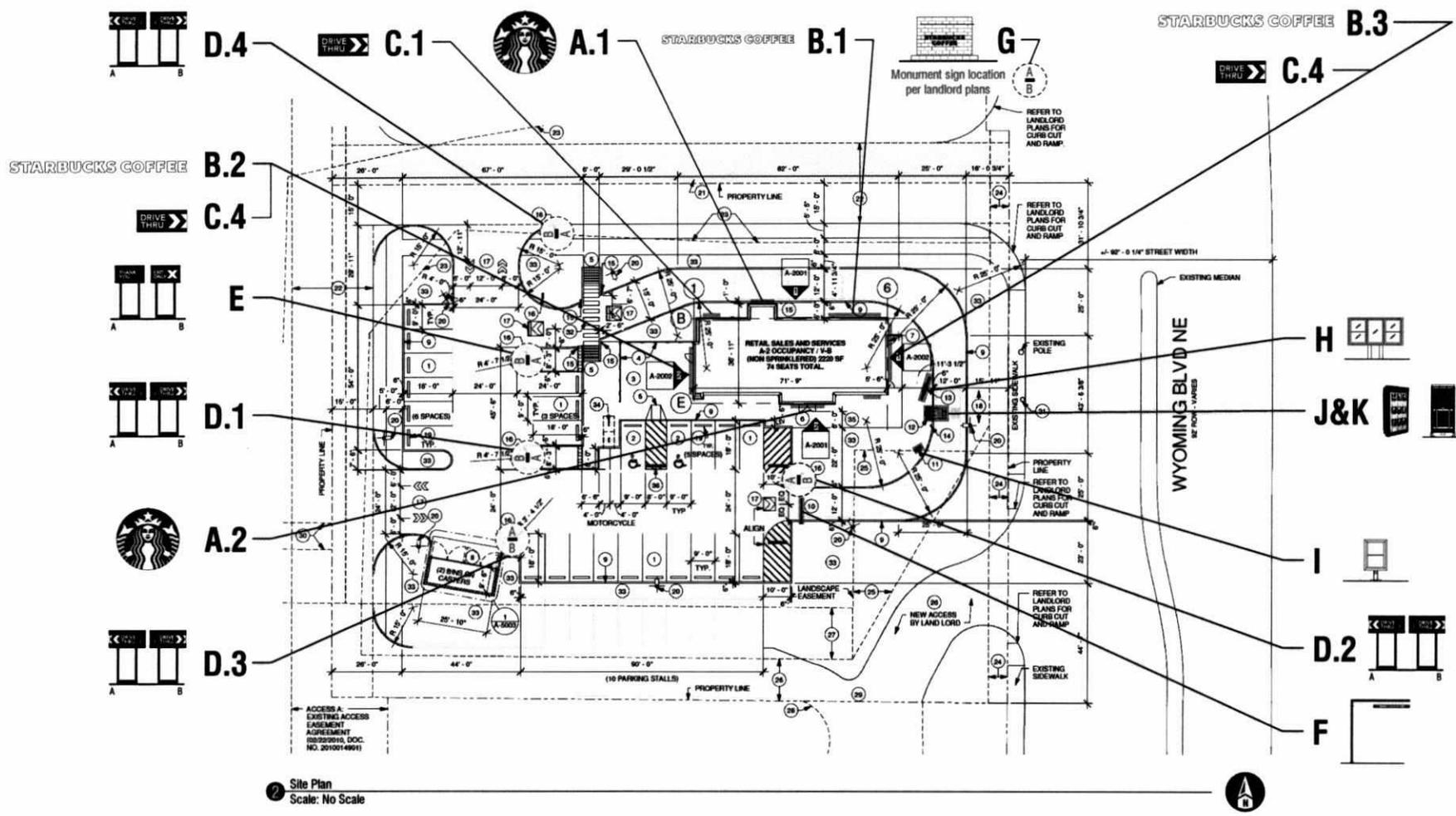
Landlord Signature _____

Date _____



**Montgomery & Wyoming
Albuquerque, NM**

This drawing is intended to provide a reasonable representation of the final manufactured article. Fasteners and seams in materials may not be represented exactly as they will be fabricated. Colors on prints may not accurately depict specific colors.



Site Plan
Scale: No Scale