



Environmental Planning Commission

**Agenda Number: 05
Project Number: 1009154
Case #: 16EPC- 40061
November 10, 2016**

Staff Report

Agent	Vigil and Associates
Applicant	Jaime Galles
Request	Site Development Plan for Building Permit
Legal Description	Tract 1, Big I Commerce Center
Location	Southwest Corner of Candelaria Rd. and University Blvd.
Size	9.2 acres
Existing Zoning	M-1
Proposed Zoning	M-1

Staff Recommendation

APPROVAL of Case 16 EPC 40061 based on the Findings beginning on Page 9, and subject to the Conditions of Approval beginning on Page 11.

**Staff Planner
Maggie Gould, Planner**

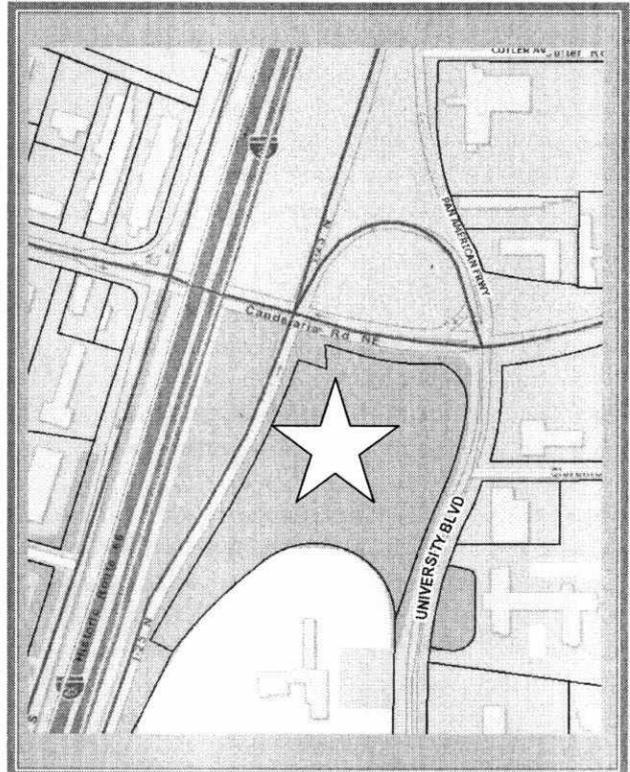
Summary of Analysis

This is a request for approval of a Site Development Plan for Building Permit to allow the development of car dealership including a 41,282 square foot building with showroom, service center and reception area on 9.2 acre lot located at the southeast corner of University Blvd. and Candelaria Rd.

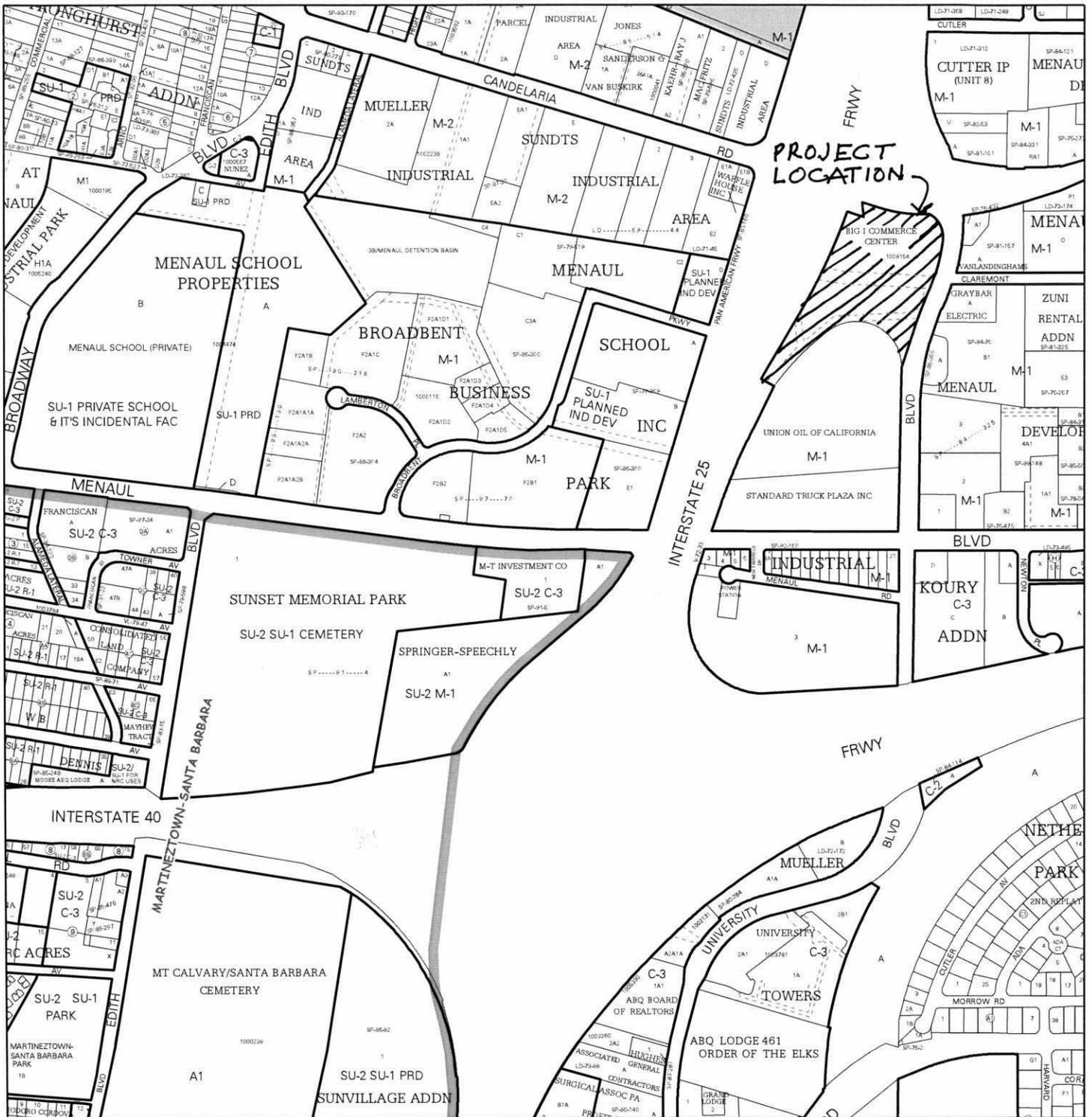
The EPC is the approval body for this request because the subject site qualifies as a shopping center because it is zoned M-1, over five acres and not used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing.

There are no recognized neighborhood associations or coalitions for the subject site. Property owners within 100 feet of the site were notified of the request.

A facilitated meeting was not recommended or requested. Staff has not received any public comment as of this writing. There is no known opposition; staff recommends approval



City Departments and other interested agencies reviewed this application from 10/03/2016 to 10/19/2016
Agency comments used in the preparation of this report begin on Page 12.



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-15-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

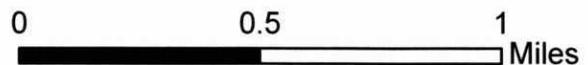


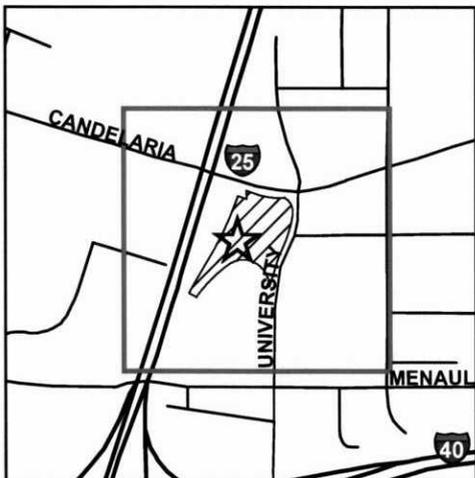
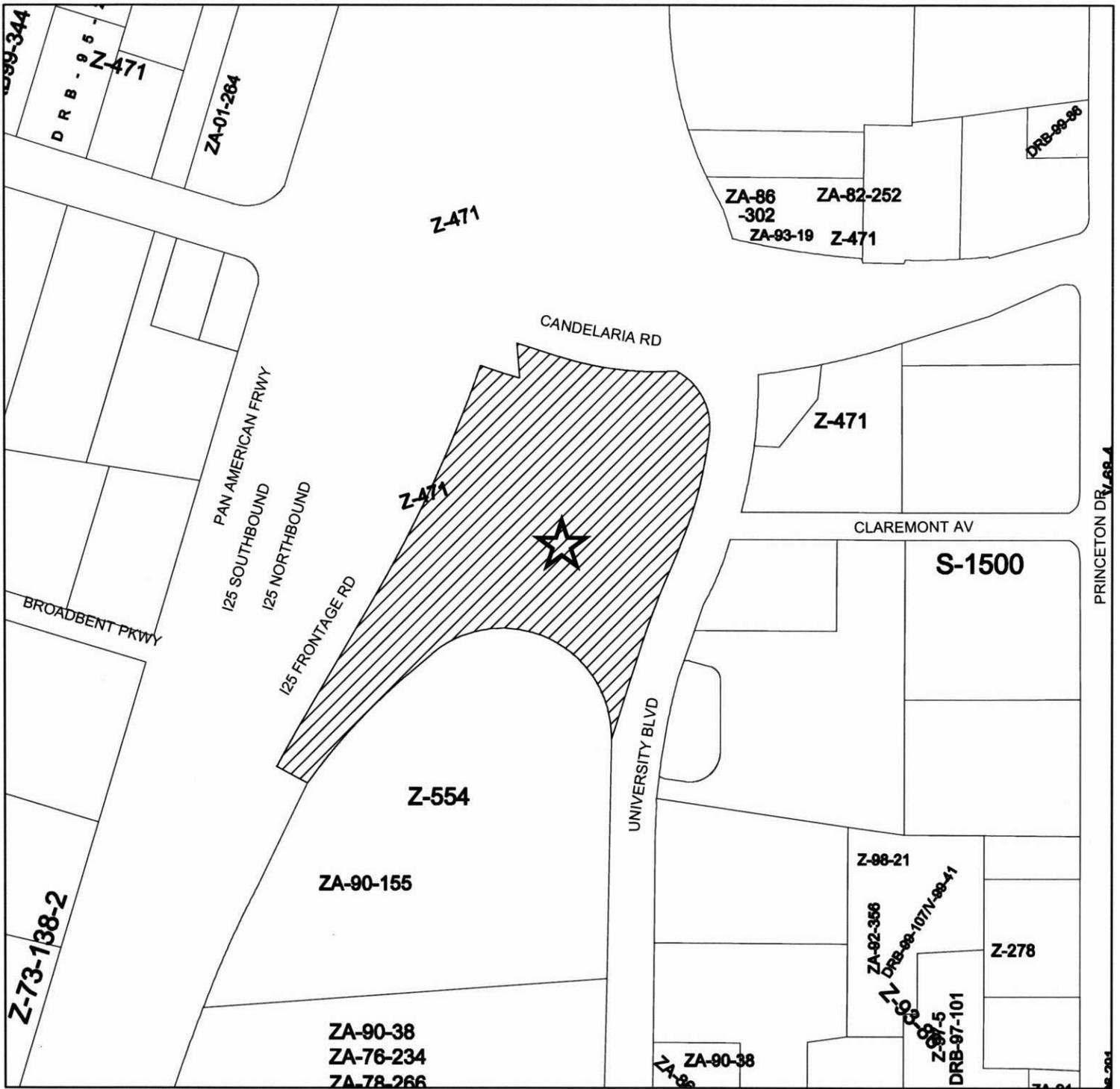
Public Facilities Map with One-Mile Buffer



- | | | | |
|----------------------|-------------------------|--------------------------|-----------------------------|
| COMMUNITY CENTER | FIRE | APS Schools | Landfill Buffer (1000 feet) |
| MULTI-SERVICE CENTER | POLICE | Proposed Bike Facilities | Landfills designated by EHD |
| SENIOR CENTER | SHERIFF | ABQ Bike Facilities | Developed County Park |
| LIBRARY | SOLID WASTE | ABQ Ride Routes | Undeveloped County Park |
| MUSEUM | Albuquerque City Limits | | Developed City Park |
| | | | Undeveloped City Park |

Project Number: 1009154





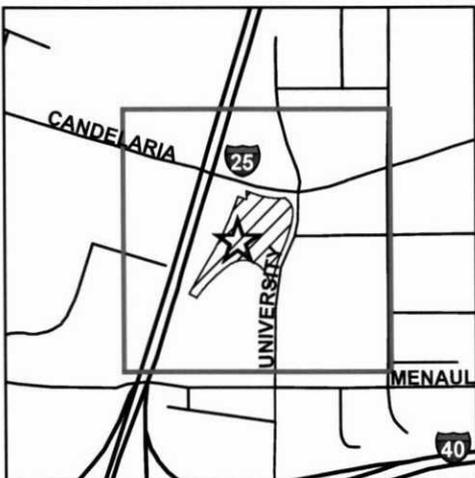
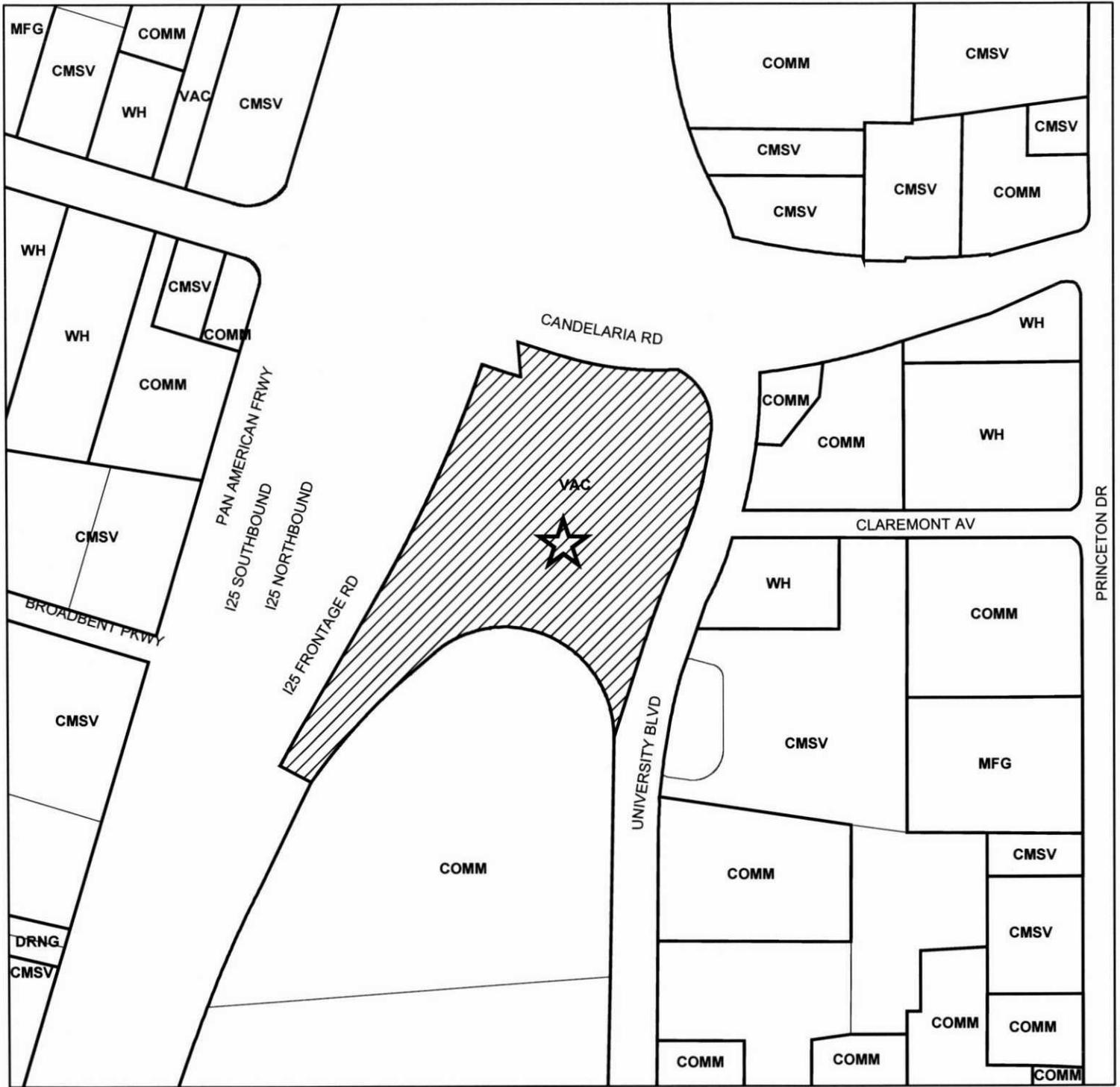
HISTORY MAP

Note: Grey shading indicates County.



1 inch = 300 feet

Project Number:
1009154
Hearing Date:
11/10/2016
Zone Map Page: H-15
Additional Case Numbers:
16EPC-40061



LANDUSE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 300 feet

Project Number:
1009154
Hearing Date:
11/10/2016
Zone Map Page: H-15
Additional Case Numbers:
16EPC-40061

I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	M-1	Established Urban	Vacant
North	M-1	Established Urban	Industrial /Wholesale /Manufacturing
South	M-1	Established Urban	Industrial /Wholesale /Manufacturing
East	M-1	Established Urban	Industrial /Wholesale /Manufacturing
West	SU-1 for Planned Industrial Development	Established Urban	Industrial /Wholesale /Manufacturing

II. INTRODUCTION

Proposal

This is a request for approval of a Site Development Plan for Building Permit to allow the development of car dealership including a 41,282 square foot building with showroom, service center and reception area on 9.2 acre lot located at the southeast corner of University Blvd. and Candelaria Rd. The subject site qualifies as a shopping center because it is zoned M-1, over five acres and not used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing.

EPC Role

Under §14-16-1-5, the subject site qualifies as a shopping center because it is zoned M-1, over five acres and not used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing. The EPC has the authority to approve Site Development Plans for Building Permit for Shopping Center sites. Unlike the process for SU-1 zone, the EPC has limited discretion over the site plan. The EPC is the final decision-making body unless the EPC decision is appealed. If so, an appeal would go to the Land Use Hearing Officer (LUHO) who then makes a recommendation to City Council [Ref: § 14-16-4-4-(A)(2) Appeal]. The case is a quasi-judicial matter.

History/Background

The DRB approved the plat that created the subject site 2013 (13DRB-70509). There are no other case numbers attached to the site.

Context

The surrounding area is developed with a mix of industrial and heavy commercial uses. The lot to the south contains a truck stop, across University Blvd. to the east, is an equipment rental yard, a stove and fireplace retailer and a hotel. There are several hotels, restaurants and services nearby.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates University Blvd. as a Minor Arterial.

The LRRS designates Candelaria Blvd. as a Principal Arterial.

Comprehensive Plan Corridor Designation

University Boulevard is designated as an Enhanced Transit Corridor.

Trails/Bikeways

Candelaria Road contains a bike lane from I-25 to Carlisle Blvd.

Transit

The route #7, Candelaria Commuter, stops about 630 feet east of the site (west bound) and about 1400 feet east of the site (east bound).

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

III. ANALYSIS

APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

The subject site is zoned M-1, a zone which provides sites for heavy commercial and light manufacturing uses.

The subject site is defined a shopping center (14-16-5-1, 14-16-3-2), this designation gives the EPC discretion to require additional landscaping if the EPC finds it necessary due to demonstrably unusual circumstances. The Shopping Center regulations place a size restriction on signage.

The proposed use is allowed under the existing zone, §14-16-2-20(A)(4). This section allows automotive sales rentals, service, repair, and storage, provided:

- (a) The area meets all of the specifications for a parking lot as defined in this Zoning Code.

(b) Major automotive repair is conducted within a completely enclosed building.

The site plan shows an enclosed repair area and a paved, landscaped parking lot, consistent with the requirements of the code.

Definitions

SHOPPING CENTER SITE. A premises containing five or more acres; zoned P, C-1, C-2, C-3, M-1, M-2, or a combination thereof; or a large retail facility; but excluding premises used and proposed to be used only for manufacturing, assembling, treating, repairing, rebuilding, wholesaling, and warehousing. Shopping center sites are subject to the shopping center regulations of the Zoning Code, § 14-16-3-2.

SITE DEVELOPMENT PLAN.

(1) An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies:

(a) For Subdivision. The site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio. (See also MASTER DEVELOPMENT PLAN.)

(b) For Building Permits. In addition to information required for Subdivision, exact structure locations, structure (including sign) elevations and dimensions, parking facilities, loading facilities, any energy conservation features of the plan (e.g., appropriate landscaping, building heights and siting for solar access, provision for non-auto transportation, or energy conservational building construction), and proposed schedule for development.

(3) Similar, related data may be required when relevant to the city's evaluation.

City of Albuquerque Zoning Code Page Rev. 10/2015

(4) For property with a SC Shopping Center or IP Industrial Park designation for a project of five acres or more, submission of a Certificate of No Effect or a Certificate of Approval pursuant to the Albuquerque Archaeological Ordinance is required.

Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in the area designated Established Urban by the Comprehensive Plan with a Goal to “create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

Land Use

Policy II.B.5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers policy II.B.5e because the subject site has access to a full range of existing urban infrastructure, including roads, water and sewer service, electricity and public safety. The subject site is not directly adjacent to an existing single family neighborhood; there are single family neighborhoods south of I-40, approximately .5 miles from the site and east of Carlisle Blvd. approximately 1.2 miles from the site.

Policy II.B 5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers policy II.B.5i because the request will allow the development of a new commercial use that will provide services and possible employment to area residents, but will not negatively impact those areas. The subject site is close enough to provide services, but separated enough from the residential areas so that any noise, traffic or lighting issues will not impact the neighborhoods. Additionally, the Site Development Plan for Building Permit shows light poles at 20 feet in height, low enough to prevent light pollution.

Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5o because the subject site is located in the Established Urban Area of the Comprehensive Plan; the request allows development on a vacant lot, in an older part of the City.

Economic Development

Policy II.D.6a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The request furthers Policy II.D.6a because the request will allow the development of a new commercial use that may offer new employment opportunities.

Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized. *The request furthers Policy II.D.6b because the owner is a local business person.*

Developed Landscape

Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The request furthers policy II.C.8d because the Site Development Plan for Building Permit shows a variety of low water and medium use plants throughout the site. The slope along I-25 will be planted with native seed. All of the planting areas will help to prevent erosion from water and wind and will keep down dust.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Request

The applicant proposes a new car sales lot including a 41, 282 square foot building to house two sales areas, parts and service area and a reception area. The parking lot around the site will provide for vehicle display and employees parking.

The subject site is defined as a Shopping Center, pursuant to §14-16-3-2, section (B) lists the Section 14-16-3-11 of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan.

Site Plan Layout / Configuration

The proposed car lot will be located adjacent to a travel center and across the street from a utility trailer sales lot; the use will be compatible with the surrounding development.

The building entrance faces Candelaria Blvd., with the showroom, service reception area and used car showroom at the front of the building and the parts and service areas toward the rear of the building.

Customer and employees parking areas are located on the north, south and east sides of the building; vehicles will be displayed between the street and the parking areas. The dumpster will be located on the south side of the building, near the service area. This location places the dumpster away from the main entrance.

The building will be 25 feet in height; this height is allowed by the M-1 zone 14-16-2-20(C), which allows building height up to 36 feet permissively.

The M-1 zone requires setbacks as provided in the O-1 zone, a front and a corner side yard setback of not less than five feet and a setback of 11 feet from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location. The proposed building will be set back 130 feet in the front, 180 feet on the east side, 290 in the rear and 35 feet on the west side. The proposed setbacks comply with the underlying zone.

Public Outdoor Space

An approximately 1,200 square foot patio is shown on the west side of the building, the entryway will have a 400 square foot entry area and there will be 800 square foot area around the bicycle rack.

Vehicular Access, Circulation and Parking

The site has full access from both Candelaria Blvd. via a 49 foot wide entry drive with two lanes and University Blvd via a 54 wide entry drive with two lanes.

Pedestrian and Bicycle Access and Circulation, Transit Access

A new 6 foot wide sidewalk will be constructed along University and Candelaria, pedestrian connections will be provided from the sidewalk to the main entrance of the building, as shown on the Site Development Plan for Building Permit.

A five space bike rack will be provided at the northwest corner of the building.

The site is .25 miles from a bus stop on Menaul Blvd. served by the route 8 Menaul regular bus and .15 miles from a bus stop on Candelaria Blvd. served route 7 Candelaria regular bus route.

Walls/Fences

There are no fences proposed on the site, a series of three tiered retaining walls are proposed along the west side of the site to address the slopes from the edge of I-25.

Lighting and Security

The applicant proposes standard 20 foot tall parking lots lights throughout the site. The lights are consistent with underlying zoning and § 14-16-3-9 Area Lighting Regulations.

Landscaping

The landscape plan shows a mixture of low and medium water uses plants and native seed mix that are generally successful in the area. The plan shows the required mixture of species (§14-16-3-10, General Landscaping Regulations) and meets the required square footage.

The sloped area adjacent to I-25 will be seeded with a native seed mix that will help to prevent erosion on the steep slopes.

Street trees are provided along University and Candelaria

Grading, Drainage, Utility Plans

The site slopes from north to south. Stormwater will be accommodated in a ponding area in the southwest corner of the site and in the existing storm drainage infrastructure in University Blvd and Candelaria Blvd.

Architecture

The building contains the changes in color, material and plane required by the zoning code (§14-16-3-18(C)(3)).

Signage

The site is subject to the requirements of §14-16-3-2, Shopping Center Regulations, §14-16-3-2(B)(4), allows one freestanding sign for each 300 feet of frontage on an arterial street and allows the sign to be up 150 square feet in size.

The sign height is regulated by the M-1 Zone, §14-16-2-20(A)(13), which references the C-2 zone and allows sign of up to 26 feet (§14-16-2-17(A)(10)(d)).

The applicant proposes four freestanding signs, two at 26 feet in height and 150 square feet in size and two smaller entryway signs.

Building mounted signs are allowed on up to 15% of the façade (§14-16-2-17(A)(10)(c)(2)), the applicant proposes four signs on the north façade of the building,

Service area sign	162 sqf
Certified Service sign	28 sqf
Chevrolet logo sign	70 sqf
Galles sign	12 sqf
Total	272

The building façade is approximately 6,525 square feet; a maximum of 987 square feet of signage would be allowed. The signage complies with the requirements of the zoning code.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

The refuse enclosure was moved to address the comments from Solid Waste

The parking spaces are clearly noted and striped to address the comments from Code Enforcement.

A sidewalk was added to connect the building to University Blvd. to address the Long Range and Transportation comments.

Detail sheets for the accessible spaces will be provided prior to DRB to address additional Transportation comments.

The applicant will continue to coordinate with PNM regarding the placement of Landscaping and Drainage. Staff has address tree height with a condition (3) regarding replacing a Honey Locust Tree with a shorter tree.

Neighborhood/Public

There are no recognized neighborhood associations or coalitions for the subject site. Property owners within 100 feet of the site were notified of the request.

A facilitated meeting was not recommended or requested.

Staff has not received any public comment as of this writing.

V. CONCLUSION

This is a request for approval of a Site Development Plan for Building Permit to allow the development of car dealership including a 41,282 square foot building with showroom, service

center and reception area on 9.2 acre lot located at the southeast corner of University Blvd. and Candelaria Rd.

The request is consistent with several policies in the Comprehensive Plan, especially those regarding economic development and land use.

There is no known opposition to this request and staff recommends approval.

FINDINGS – 16 EPC- 40061 -November 10- Site Development Plan for Building Permit

1. This is a request for a Site Development plan for Subdivision for Tract 1, Big I Commerce Center located at the Southwest Corner of University Boulevard and Candelaria Blvd. containing approximately 9.2.
2. The proposed development includes 41,282 square foot building with showroom, reception and service area and parking for employees, patrons and vehicle display.
3. The subject was platted in 2013 at the DRB (13DRB-70509).
4. The subject site is within the boundaries of the Established Urban Area of the Comprehensive Plan. There are no Area Plans or Sector Development Plans for the area.
5. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

Land Use

Policy II.B.5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers policy II.B.5e because the subject site has access to a full range of existing urban infrastructure, including roads, water and sewer service, electricity and public safety. The subject site is not directly adjacent to an existing single family neighborhood; there are single family neighborhoods south of I-40, approximately .5 miles from the site and east of Carlisle Blvd. approximately 1.2 miles from the site.

Policy II.B 5i: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers policy II.B.5i because the request will allow the development of a new commercial use that will provide services and possible employment to area residents, but will not negatively impact those areas. The subject site is close enough to provide services, but separated enough from the residential areas so that any noise, traffic or lighting issues will not impact the neighborhoods. Additionally, the Site Development Plan for Building Permit shows light poles at 20 feet in height, low enough to prevent light pollution.

Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5o because the subject site is located in the Established Urban Area of the Comprehensive Plan; the request allows development on a vacant lot, in an older part of the City.

Economic Development

Policy II.D.6a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The request furthers Policy II.D.6a because the request will allow the development of a new commercial use that may offer new employment opportunities.

Policy II.D.6b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized. *The request furthers Policy II.D.6b because the owner is a local business person.*

Developed Landscape

Policy II.C.8d: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The request furthers policy II.C.8d because the Site Development Plan for Building Permit shows a variety of low water and medium use plants throughout the site. The slope along I-25 will be planted with native seed. All of the planting areas will help to prevent erosion from water and wind and will keep down dust.

6. There are no recognized neighborhood associations or coalitions for the subject site. Property owners within 100 feet of the site were notified of the request. A facilitated meeting was not recommended or requested. Staff has not received any public comment as of this writing.

RECOMMENDATION – 16 EPC 40061, November 10, 2016

APPROVAL of 16EPC-40061, a request for Site Development Plan for Building Permit, for Tract 1, Big I Commerce Center located at the Southwest Corner of University Boulevard and Candelaria Blvd. containing approximately 9.2 acres, based on the preceding Findings (and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 16 EPC 40061, November 10, 2016 -Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall coordinate with PNM regarding landscaping and drainage placement. The Honey Locust tree in the PNM easement in the employee parking area shall be replaced with a shorter tree to address the PNM concerns regarding mature tree height.
4. Transportation conditions shall be addressed prior to DRB.
5. Material for the retaining walls shall be shown the site plan and retaining wall height shall be clarified prior to DRB sign off.
6. Monument signs shown at the two entryways shall comply with all applicable requirements and be shown with dimensions on the site plan.
7. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

***Maggie Gould
Planner***

Notice of Decision cc list:

Vigil and Associates

Jaime Galles

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Discussed with Code Enforcement staff,

New Vehicle display/storage must show stripped parking spaces

Office of Neighborhood Coordination

Long Range Planning

The pedestrian access from Candelaria is well-located. Please add direct pedestrian access from University Blvd. to the building with the same design. Trees are required along any pedestrian walkway.

Metropolitan Redevelopment Agency

CITY ENGINEER

Transportation Development

1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

1. Developer must build sidewalk along the frontage of the property.
2. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
4. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

Hydrology Development

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Traffic Engineering Operations

NMDOT

NMDOT comments will be late this month

WATER UTILITY AUTHORITY

Utility Services

16EPC-40061 Site Development Plan for Building Permit

- a. Property currently has an account for a 2" water meter.
- b. All onsite water and sanitary sewer shall be considered private.
- c. All private fire hydrants shall be safety Orange.
- d. An availability statement is required. The submittal shall include an approved Fire 1 Plan from the City fire marshal's office.
 - i. http://www.abcwua.org/Availability_Statements.aspx

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

No adverse comments.

Open Space Division

City Forester

POLICE DEPARTMENT/Planning

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division Proposed/future car wash, noted on Pg. #AS-101, will hinder refuse truck's access to enclosure. Re-Locate/Re-Position proposed refuse enclosure. All new/proposed refuse enclosures must be built to COA minimum requirements.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

Nearest stop pair is at Candelaria and Princeton. No Comments or requests from Transit

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed. No comment.

ALBUQUERQUE PUBLIC SCHOOLS

This will have no adverse impact to the APS district.

MID-REGION COUNCIL OF GOVERNMENTS

For informational purposes, Candelaria Rd NE is functionally classified as a Principal Arterial in the project area; University Blvd NE is a Minor Arterial; and I-25 Frontage Road NE is a Major Collector.

Candelaria Rd NE has a bicycle lane between I-25 and Carlisle Blvd NE.

Candelaria Rd NE and I-25 Frontage Rd NE have been identified as part of the regional Intelligent Transportation Systems (ITS) architecture.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

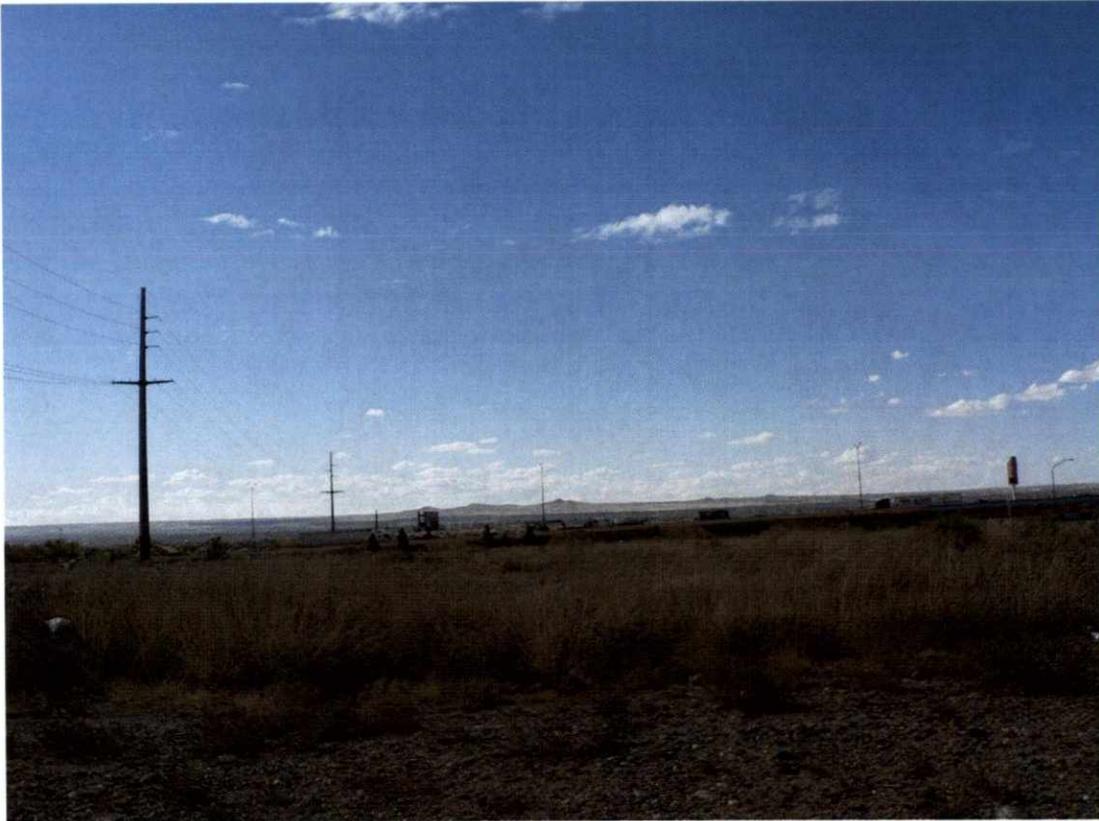
PUBLIC SERVICE COMPANY OF NEW MEXICO

1. An existing overhead electric transmission line and underbuild distribution line crosses the subject property east to west. It is the applicant's obligation to abide by any conditions or terms of those easements. PNM requests a meeting with the applicant to discuss electric line clearances, grading and drainage and landscape plans. PNM will require an encroachment agreement from the applicant to use any area in the PNM easement.
2. On Sheet LS-101, Galles Chevrolet Landscape Plan, the proposed tree selections are not a compatible height with the existing overhead electric transmission and distribution facilities that cross the subject property. Shorter tree selections at mature height are necessary at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure or in PNM easements.
3. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project and to coordinate proposed sign location and height, tree location and height, and lighting height in order to ensure sufficient safety clearances from existing overhead electric distribution facilities. Contact:
Mike Moyer
PNM Service Center

4201 Edith Boulevard NE
Albuquerque, NM 87107
Phone: (505) 241-3697

4. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

5. PNM requests a meeting with the grading and drainage engineer to determine impact to PNM easement bisecting the property.



Looking west across the site
Looking northeast





Looking south at the slope toward I-25
Looking southeast



ZONING

Please refer to the Zoning Code for specifics of
The M-1 zone and the Shopping Center Regulations

APPLICATION INFORMATION



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, Includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment (AA)			
<input type="checkbox"/> Administrative Approval (DRT, URT, etc.)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
STORM DRAINAGE (Form D)	L A		APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Vigil and Associates Arch Group PHONE: 890-5030
 ADDRESS: 4477 Irving NW FAX: _____
 CITY: ABQ STATE NM ZIP 87114 E-MAIL: Charles@va-architects.
 APPLICANT: Jaime Galles PHONE: 8141123
 ADDRESS: 1001 Lomas NE FAX: _____
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: _____
 Proprietary Interest in site: Owner List all owners: _____
 DESCRIPTION OF REQUEST: EPC Site Plan Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Big I Commerce Center
 Existing Zoning: M-1 Proposed zoning: M-1 MRGCD Map No. _____
 Zone Atlas page(s): H-15-Z UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z-, V-, S-, etc.):
1009154

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 9.2
 LOCATION OF PROPERTY BY STREETS: On or Near: Candelaria / University NE
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Charles Carlson DATE 9/29/16
 (Print Name) Charles Carlson V & A Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>116 EPC .400011</u>	<u>SDP</u>	_____	<u>\$385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$50.00</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Nov. 10, 2016</u>			Total <u>\$510.00</u>

9-29-16 1009154

Revised: 11/2014

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"
 - IP MASTER DEVELOPMENT PLAN (EPC11)
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) 20 copies.
 - For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"
- SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
- Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) 20 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 20 copies
- Site Plans and related drawings reduced to 8.5" x 11" format (1 copy)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision and/or Building Permit Checklist
- Traffic Impact Study (TIS) form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

NOTE: For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:

- Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
 - Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
 - Letter of Intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
 - Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
 - Registered engineer or architect's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 20 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 20 copies
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 20 copies
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Charles Carlson V&A
 Applicant name (print)
 Charles Carlson 9/29/16
 Applicant signature / date



Form revised November 2010

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 16 - DRB - 340061

Planner signature / date
 [Signature] 9-29-16
 Project #: 1009154

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: VIGIL & ASSOCIATES DATE OF REQUEST: 9/28/16 ZONE ATLAS PAGE(S): H-15-2

CURRENT:

ZONING M-1
PARCEL SIZE (AC/SQ. FT.) 9.2 ACRES

LEGAL DESCRIPTION:

LOT OR TRACT # 1 BLOCK # _____
SUBDIVISION NAME BIG I COMMERCIAL CENTER

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: N/A
BUILDING SIZE: 40,000 (sq. ft.)
Galle Chevrolet

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Cheryl Carlson DATE 9/29/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

Car sales & service area does not meet TIS threshold per ITE Trip Gen Manual.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

9/29/16
DATE

Required **TIS must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Administrative Officer

Robert J. Perry, Chief

September 29, 2016

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): 1009154
Case Number(s): 16EPC-40061
Agent: Vigil and Associates
Applicant: Galles Chevrolet
Legal Description: Tract 1, Big I Commerce Center
Zoning: M-1
Acreage: 9.2 acres
Zone Atlas Page: H-15

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

**SUPPORTING DOCUMENTATION:
SITE VISIT: n/a**

RECOMMENDATION(S): [check as applicable]
CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)— extensive previous land disturbance) .

MFSchmader
Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

September 28, 2016

Vigil and Associates are authorized to act as agents on behalf of Galles Chevrolet.

A handwritten signature in black ink, appearing to read 'J Galles', with a long horizontal stroke extending to the right.

Jamie Galles
Chief Operating Officer
Galles Chevrolet

Site Development Plan for Building Permit – Project Summary

Galles Chevrolet

The project site is located at the Southwest corner of Candelaria Road NE and University Boulevard NE. The project is the relocation of Galles Chevrolet from its current location at Lomas Boulevard NE and University Boulevard NE. The site is bounded by I-25 on the West, I-25 Right-of-Way to the North, Industrial / Manufacturing zoned land to the East and a truck stop to the South.

Improvements consist of a new building to house a new car showroom with related offices and support facilities, a pre-owned car sales facility, a parts department, and a service department as well as site development to support the new facility. Site improvements consist of vehicular access points, public sidewalks, internal drives, parking, internal walkways, vehicle inventory storage, landscaping, and drainage infrastructure.

There are two vehicular access points; one on Candelaria Rd. NE and one on University Blvd. NE. Public sidewalks are provided on both Candelaria and University. Internal drives, parking, and vehicle storage will be asphalt paving. Parking will be provided for customers and employees and will be in excess of the zoning ordinance requirements. Designated disabled parking and parking for motorcycles and bicycles are also provided.

The Main entry to the building will face north to Candelaria and will be framed by a GM proscribed Blue metal paneled element. The showroom space behind the entry will be contained by a glass curtain wall topped with contrasting silver metal panels. The remainder of the building will be a light colored stucco.

The project complies with the requirements of its M-1 zoning designation and is specifically listed as a permissive use. It will be a quality development compatible with surrounding uses.

NOTIFICATION &
NEIGHBORHOOD INFORMATION



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

September 22, 2016

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **September 22, 2016:**

Contact Name: JIM GRAF

Company or Agency: VIGIL & ASSOCIATES ARCHITECTS
4477 IRVING NW, STE. A/87114
PHONE: 505-890-5030/FAX: 505-890-5031
E-MAIL: JIM@VA-ARCHITECTS.COM

contacted the Office of Neighborhood Coordination requesting the contact names **ALL Neighborhood and/or Homeowners Associations** who would be affected under the provisions of O-92 by your proposed project at **(EPC SUBMITTAL) TRACT 1, BIG I COMMERCE CENTER LOCATED ON SW CORNER OF CANDELARIA ROAD NE AND UNIVERSITY BOULEVARD NE** zone map H-15.

Our records indicate that as of September 22, 2016, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3914 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina L. Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

Planningnona/hoaform(02/18/13)

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Hearing Date: Thursday, Nov. 10, 2016 **1009154**

Zone Atlas Page: H-15

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: Candelaria/ University NE

Applicant: **Jaime Galles**
 1601 Lomas NE
 Albuquerque, NM 87102

Agent: **Vigil & Associates Arch Group**
 4477 Irving NW
 Albuquerque, NM 87114

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

Date Mailed: 10/19/16

Signature: 

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PARTNERSHIP
1050 SINGING WOOD DR
ARCADIA CA 91006

VANLANDINGHAM ARTHUR J & MILDRED L
TRUSTEES VANLANDINGHAM RVT
13100 CANYON EDGE TRL NE
ALBUQUERQUE NM 87111

LYLE PROPERTIES LLC C/O MOUNTAIN WEST
SALES INC
2718 UNIVERSITY NE
ALBUQUERQUE NM 87107

THREE ALBUQUERQUE HOTELS LIMITED
PARTNERSHIP
1050 SINGING WOOD DR
ARCADIA CA 91006

V M PROPERTIES LLC
5821 S COLORADO BLVD
LITTLETON CO 80121

TA OPERATING CORPORATION C/O TAX
DEPARTMENT
24601 CENTER RIDGE RD
WESTLAKE OH 44145-5634

GFI LLC ATTN: CORI GALLES
1601 LOMAS BLVD NE
ALBUQUERQUE NM 87102

Jaime Galles
1601 Lomas NE
Albuquerque, NM 87102

Vigil & Associates Arch Group
4477 Irving NW
Albuquerque, NM 87114

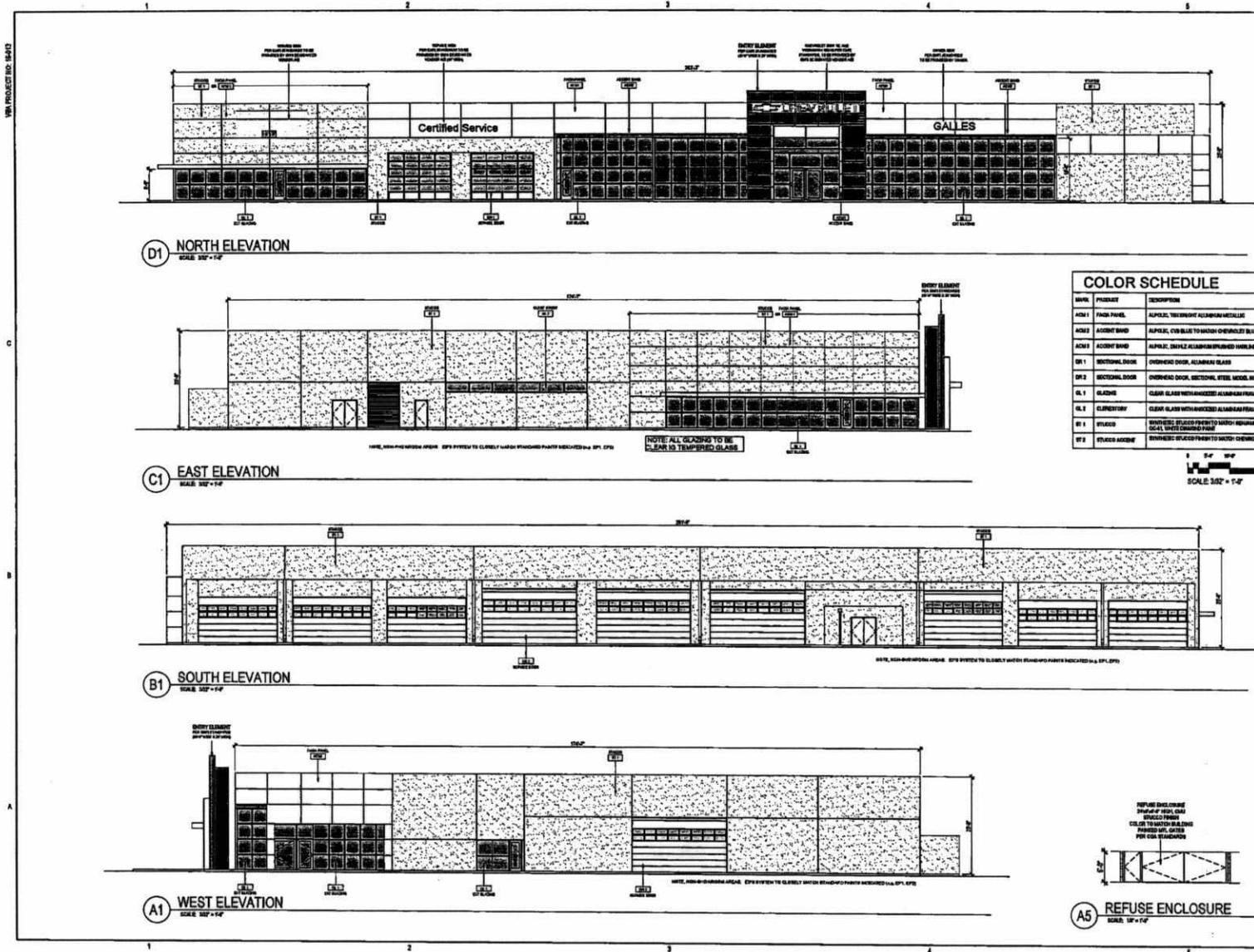
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SITE PLAN REDUCTIONS



COLOR SCHEDULE

NAME	PRODUCT	DESCRIPTION
AW1	FACE PANEL	ALPAC, T8 BRIGHT ALUMINUM METALLIC
AW2	ACCENT BAND	ALPAC, T8 BLUE TO MATCH CHEVROLET BLUE
AW3	ACCENT BAND	ALPAC, T8 BLUE TO MATCH CHEVROLET BLUE
AW4	ACCENT BAND	ALPAC, T8 BLUE TO MATCH CHEVROLET BLUE
DR1	SECTIONAL DOOR	CHEVROLET DARK, SECTIONAL STEEL MODEL NO. 418
DR2	SECTIONAL DOOR	CHEVROLET DARK, SECTIONAL STEEL MODEL NO. 418
GL1	GLAZING	CLEAR GLASS WITH ANODIZED ALUMINUM FINISH
GL2	GLAZING	CLEAR GLASS WITH ANODIZED ALUMINUM FINISH
GL3	GLAZING	REFLECTIVE GLASS WITH ANODIZED ALUMINUM FINISH
GL4	GLAZING	REFLECTIVE GLASS WITH ANODIZED ALUMINUM FINISH
ST1	STUCCO ACCENT	BROWN STUCCO FINISH TO MATCH CHEVROLET BLUE
ST2	STUCCO ACCENT	BROWN STUCCO FINISH TO MATCH CHEVROLET BLUE

SCALE: 1/8" = 1'-0"

VIGIL & ASSOCIATES
 ARCHITECTS
 10000 1st AVENUE, SUITE 100
 ALBUQUERQUE, NM 87110
 WWW.VIGIL-ARCHITECTS.COM

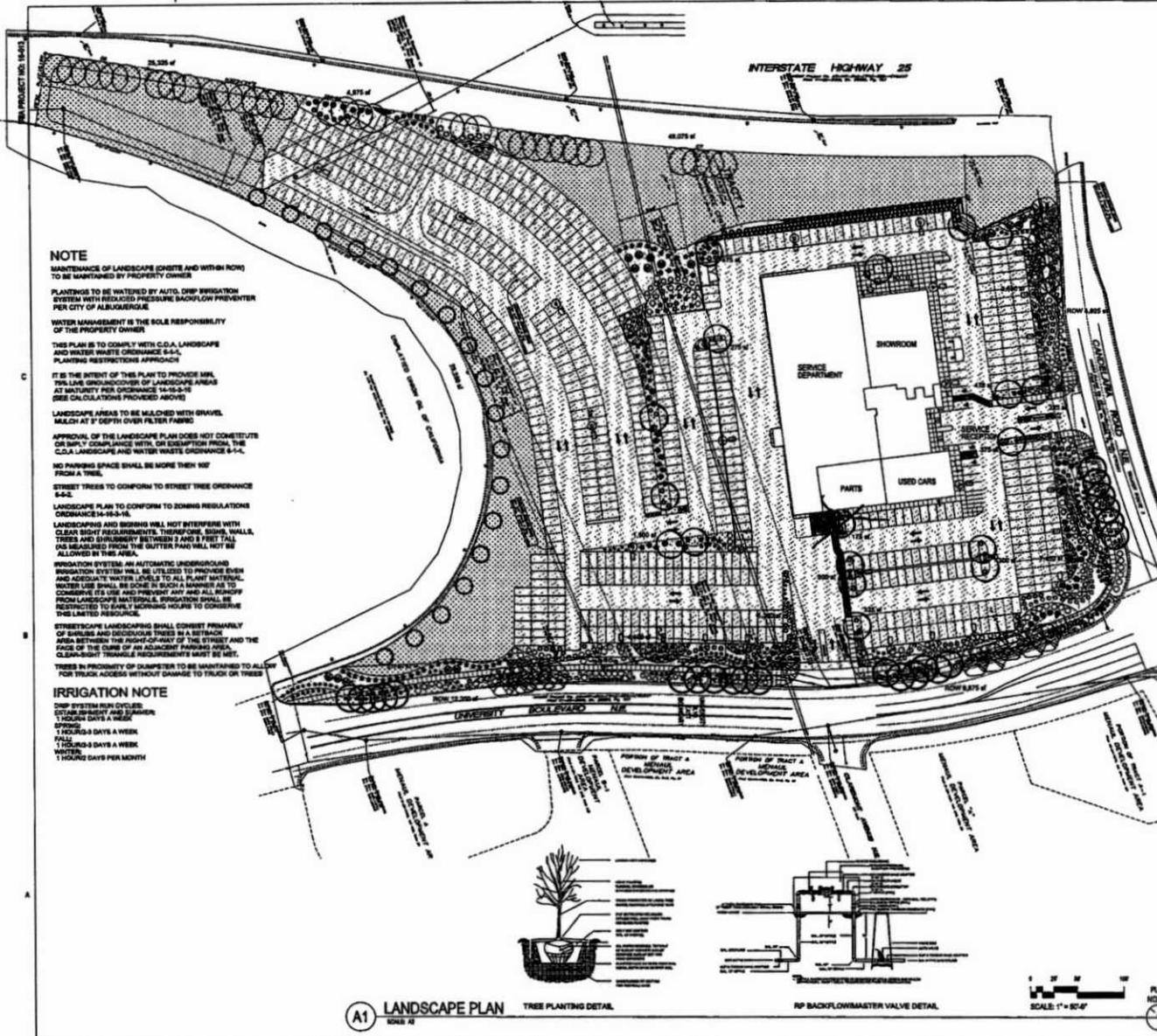
EPC APPROVAL SUBMITTAL

ELEVATIONS

**GALLE CHEVROLET
 ALBUQUERQUE, NEW MEXICO**
 JAYNES CORPORATION

A-201
 project no. 18-013

REVISED OCTOBER 11, 2018
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT NO.: 18-013
 SHEET NO.: [blank]
 REVISED OCTOBER 11, 2018



NOTE
 MAINTENANCE OF LANDSCAPE (SHRUBS AND WITH-IN ROW) TO BE MAINTAINED BY PROPERTY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 8-4-1, PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. TOL. LINE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-15-0-16 (SEE CALCULATIONS PROVIDED ABOVE)
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVLS. MULCH AT 2" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 8-4-1.
 NO PARKING SPACE SHALL BE MORE THAN 10' FROM A TREE.
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE 8-4-2
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-0-16
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SCREENING BETWEEN 2 AND 3 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.
 IRRIGATION SYSTEMS AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.
 STREETSCAPE LANDSCAPING SHALL CONSENT PRIMARILY OF BUSHES AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.
 TREES IN PROXIMITY OF QUADPETER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES
IRRIGATION NOTE
 DRIP SYSTEM CYCLES:
 SPRING 1 HOUR-DAYS A WEEK
 FALL 1 HOUR-DAYS A WEEK
 WATER 1 HOUR-DAYS PER MONTH

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Height Feet	Mature Height Feet	Lightness Requirements	Water Needs	DBP
23		<i>Cercis canadensis</i> Redbud	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
13		<i>Acer rubrum</i> Red Maple	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
17		<i>Citrus aurantium</i> Florida Citrus	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
16		<i>Citrus aurantium</i> Citrus Plum	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
16		<i>Citrus aurantium</i> Citrus Plum	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
16		<i>Citrus aurantium</i> Citrus Plum	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal
18		<i>Citrus aurantium</i> Citrus Plum	2'-8"	40'-0"	SH-1150 of	Medium	4-2 gal

Shrub/Grass

13		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
12		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
13		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
14		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
15		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
16		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
17		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
18		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
19		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
20		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
21		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
22		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
23		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
24		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
25		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
26		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
27		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
28		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
29		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
30		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
31		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
32		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
33		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
34		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
35		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
36		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
37		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
38		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal
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100		<i>Coreopsis lanceolata</i> Blue Star	1'-0"	4'-0"	25-40000 of	Medium	3-2 gal

Plant Details

14		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
15		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
16		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
17		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
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30		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
31		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
32		<i>Hibiscus</i> Hibiscus	5'-0"	8'-0"	25-40000 of	Low	3-1 gal
33							

SHEET NO. 18-013

FIRST FLUSH REQUIREMENTS

- A. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD, (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHER) A CURRENT CITY-APPROVED ESC PERMIT MUST BE PROVIDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROAD GRADING, GRAZING, PAVING, BUILDING, OR NEW CROPPED PERMIT. CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- B. STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF FIRST FLUSH (DEFINED AS THE 95th PERCENTILE STORM EVENT OR 0.25" (0.44" LESS 0.17" FOR INITIAL ABSTRACTION) OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).
- THE ESTIMATED PONDING VOLUME REQUIRED IS 0.24' x TYPE 'V' AREA IS 24.73' x 0.2 AS + 793' x 4.582' = 8.858 CF.
- THERE WILL BE FIRST FLUSH RETENTION AREAS AS NOTED ON THE PLAN WITH THE MAJORITY OF THE SITE DISCHARGING TO THE SOUTH POOL.
- THE FIRST FLUSH BASH VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OVERLAYS SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.



CALCULATIONS: 3142 GALLES CHEVROLET / September 16, 2014

Based on Drainage Design Criteria for City of Albuquerque
 Section 22.3, DPM, Vol. 2, dated Jan. 1995

ON-SITE CALCULATIONS: 180-YEAR, 6-HOUR STORM

AREA OF SITE: 401,501.232 SF = 9.2

HISTORIC FLOWS:

Treatment SI %	Area	%
0	0	0%
401.501232	401.501232	100%
341276.047	341276.047	87%
29675.0641	29675.0641	7%
401,501.232	401,501.232	100%

DEVELOPED FLOWS:

Treatment SI %	Area	%	Excess Precip.
0	0	0%	0.00
401.501232	401.501232	100%	1.08
60225	60225	15%	1.46
20126	20126	5%	2.64
401,501.232	401,501.232	100%	

On-Site Weighted Storm Precipitation (100-Year, 6-Hour Storm)
 Weighted S = $\frac{E_1 A_1 + E_2 A_2 + E_3 A_3}{A_1 + A_2 + A_3}$

Historic S = 1.48 In. Developed S = 2.31 In.

On-Site Volume of Runoff: V₆₀ = 7' A / 12

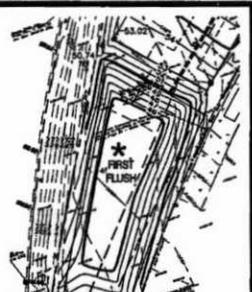
Historic V = 49532 CF. Developed V₆₀ = 77889 CF

On-Site Peak Discharge Rate: Q_p = Q_{uA1} + Q_{uA2} + Q_{uA3} = Q_{uA} = Q_{uA} / 4.56

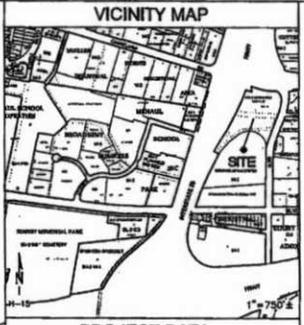
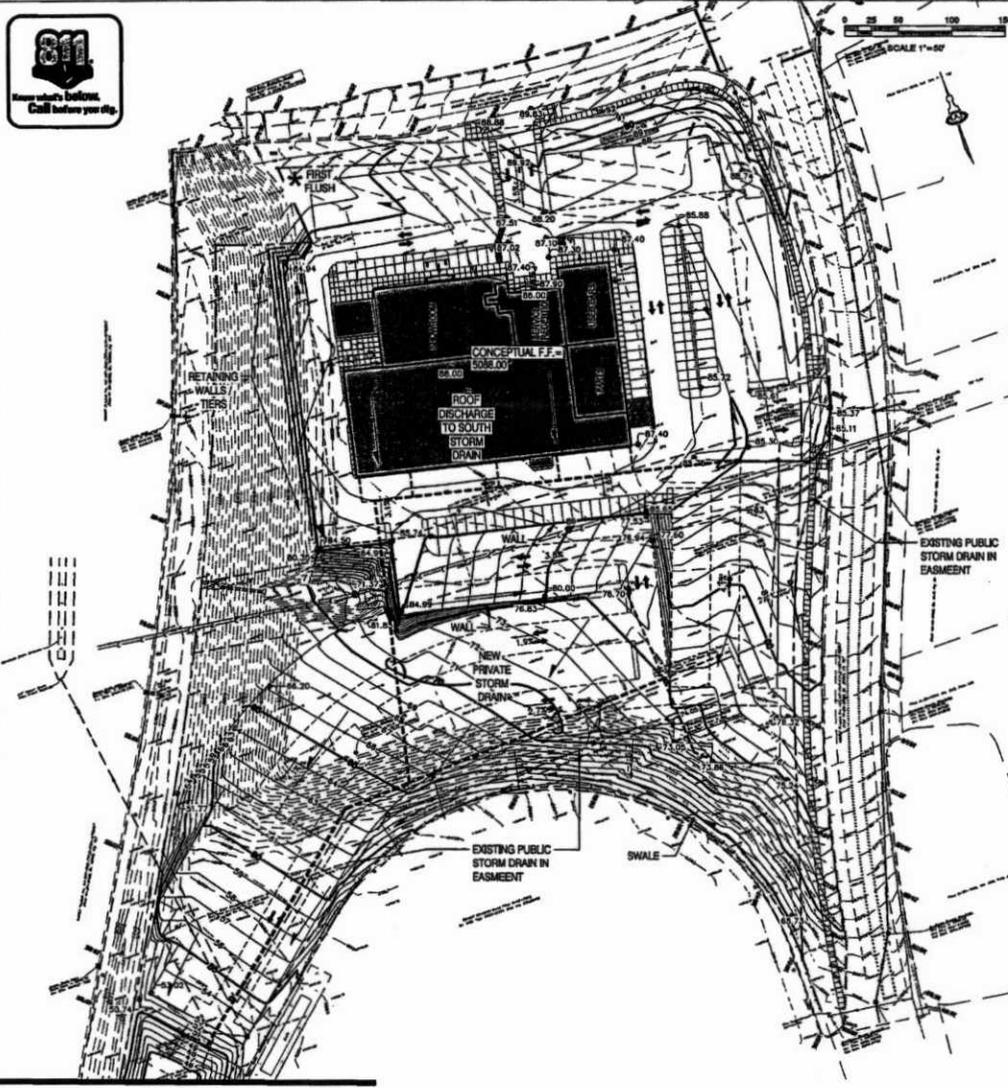
For Precipitation 7 to 4

Historic C = 34.3 CFS. Developed C_p = 44.1 CFS

POND CONTINUED FROM LEFT



POND CONTINUED AT LEFT



PROJECT DATA

PROPERTY: THE SITE IS AN GRADED BUT UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. 'MONEY MAP #1-18'. THE SITE IS BOUND TO THE EAST BY UNIVERSITY BLVD. NE, TO THE WEST BY THE I-25 FRONTAGE ROAD, TO THE NORTH BY Candelaria Rd. NE and TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 42,000 SF CAR DEALERSHIP WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, DISPLAY PARKING AND LANDSCAPING.

LEGAL: TRACT 1, B10 COMMERCE CENTER, ALBUQUERQUE, NM

SITE AREA: 8.2172 ACRES

BENCHMARK: VERTICAL DATUM IS BASED ON THE NATIONAL GEODETIC SURVEY CONTROL, MONUMENT 'Candelaria' HAVING A PUBLISHED ELEVATION OF 5096.846' (NAVD83).

OFF-SITE: NO OFF-SITE SURFACE DRAINAGE AFFECTS THIS PROPERTY. A PUBLIC STORM DRAIN CROSSES THE SOUTH PORTION OF THE PROPERTY WITHIN A PUBLIC EASEMENT.

FLOOD HAZARD: IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 33020C0332 G, EFFECTIVE DATE 8-28-2008 AND MAP NO. 33501C0331 R, EFFECTIVE DATE 8-18-2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.

ENGINEER: FRED C. ARFMAN: MAP# 7322
 ISAACSON & ARFMAN, P.A.
 128 MONROE N.E., ALBUQUERQUE, NM 87108
 505-268-8828

SURVEYOR: RUSSELL P. HOGG: MAP# NO. 8750
 SURV-189, INC.
 8384 VALLEY VIEW DRIVE, N.W., ALBUQUERQUE, NM 87114
 505-897-3366

DRAINAGE CONCEPT

PERMANENT STORMWATER RETENTION PONDS WILL BE SIZED TO RETAIN THE FIRST FLUSH.

ALL STORMWATER FROM IMPERVIOUS AREAS WILL BE DIRECTED TO FIRST FLUSH RETENTION PONDS AS NOTED ON PLAN. ONCE THESE POND WITH THE REQUIRED VOLUME, THE PROPERTY WILL FREE DISCHARGE TO THE I-25 FLOOD. AFTER THE EXISTING STORM DRAIN SYSTEM, EROSION PROTECTION WILL BE PROVIDED AT FOR ALL CONCENTRATED DISCHARGE. ISAACSON & ARFMAN WILL COORDINATE WITH INDOT REGARDING STORM DRAINAGE.

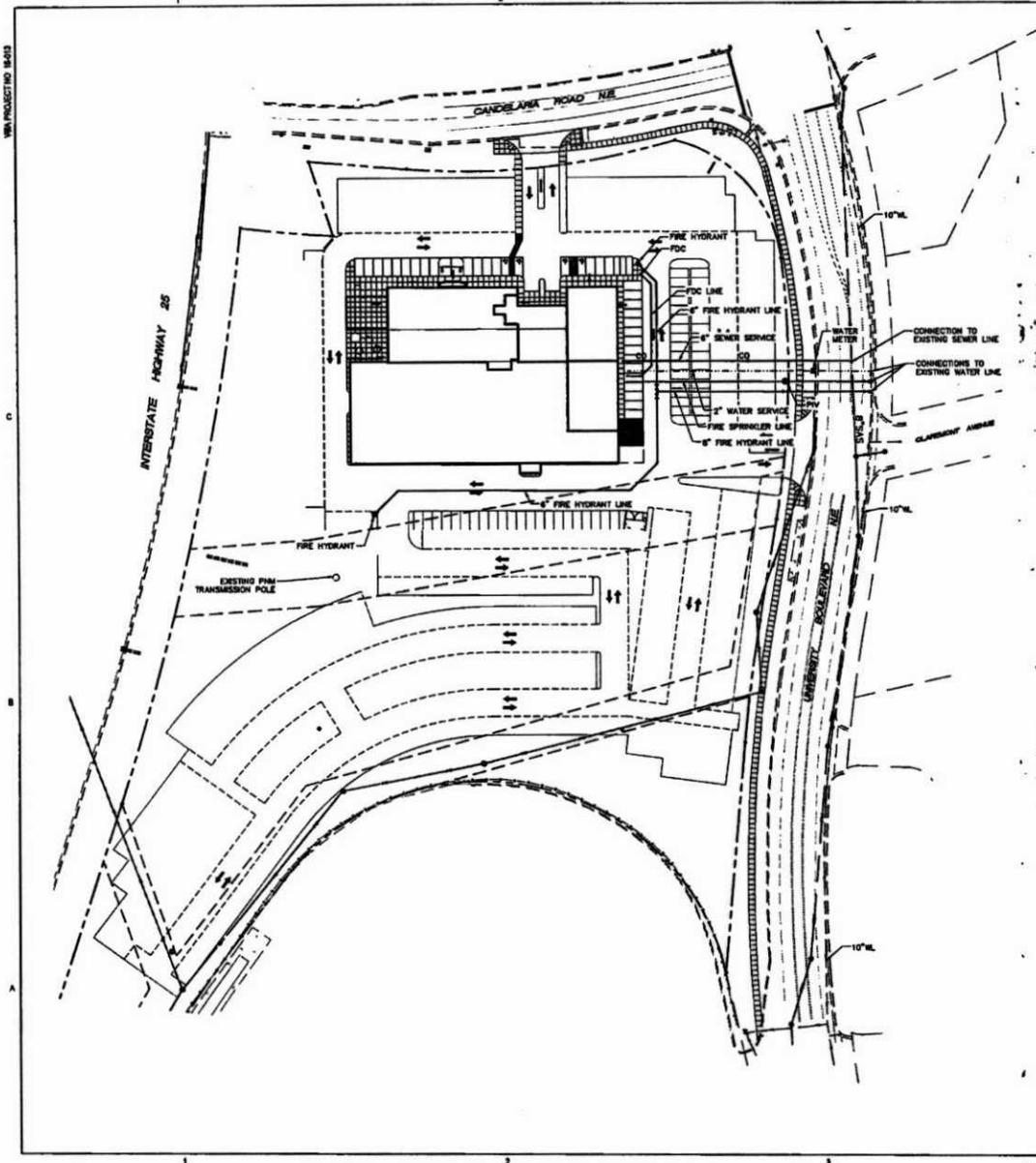
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 P.O. BOX 268-8828 www.isaif.com
 2142 05-10-00027504.000 09/16/2014



EPC APPROVAL SUBMITTAL

**GALLES CHEVROLET
 ALBUQUERQUE, NEW MEXICO
 JAYNES CORPORATION**

DATE: SEPTEMBER 16, 2014
DRAWN BY: YIGIL
CHECKED BY: YIGIL
DATE: 09/16/14
PROJECT NO. 18-013
CONCEPTUAL GRADING & DRAINAGE PLAN
CG-101



FIRE PROTECTION

ONSITE FIRE PROTECTION REQUIRES 2 FIRE HYDRANTS PER THE EXISTING DPM FIRE FLOW REQUIREMENTS.

FIRE PROTECTION LINES ARE PRIVATE AND WILL PROVIDE 2 FIRE HYDRANTS AND A FIRE SUPPRESSION LINE (SPRINKLERS).

FDC WILL BE EXTERNAL AND WITHIN 100' DISTANCE TO A FIRE HYDRANT.

ALL ONSITE FIRE HYDRANTS ARE PRIVATE.

WATER

BUILDING WILL BE SERVED BY A 2" WATER SERVICE.

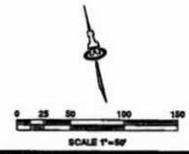
ALL BACKFLOW PREVENTERS ARE INTERNAL.

SANITARY SEWER

ALL ONSITE SANITARY SEWER LINES ARE PRIVATE AND WILL BE CONSTRUCTED PER THE LATEST EDITION OF THE U.P.C.

LEGEND

- GATE VALVE
- POST INDICATOR VALVE (PIV)
- FIRE DEPT. CONNECTION (FDC)
- FIRE HYDRANT
- WATER METER
- 2" WATER SERVICE LINE
- PRIVATE FIRE SPRINKLER / HYDRANT LINES
- 6" PRIVATE SEWER SERVICE LINE
- SINGLE DIRECTIONAL CLEAN-OUT



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Avenue Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-248-6473 www.isaif.com
 2142 9th St. NW - Suite 1000 - NW, DC, DC



EPC
 APPROVAL
 SUBMITTAL

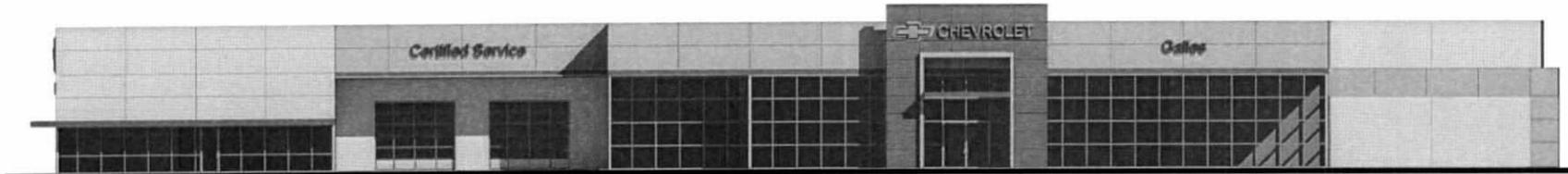
**GALLES CHEVOLET
 ALBUQUERQUE, NEW MEXICO**
 JAYNES CORPORATION

Approved	SEPTEMBER 20, 2010
Drawn by	VJA
Checked by	RFV

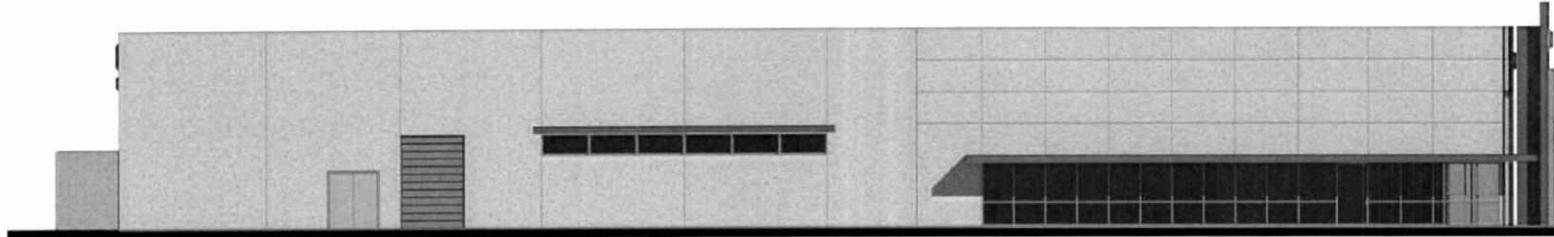
CONCEPTUAL
 UTILITY PLAN

CU-101

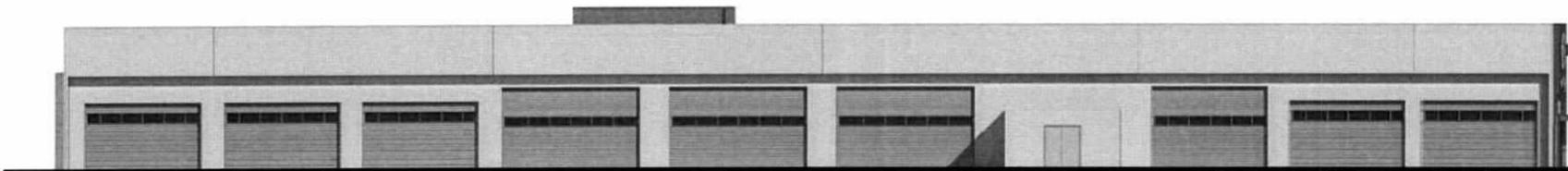
Project no. 10-013



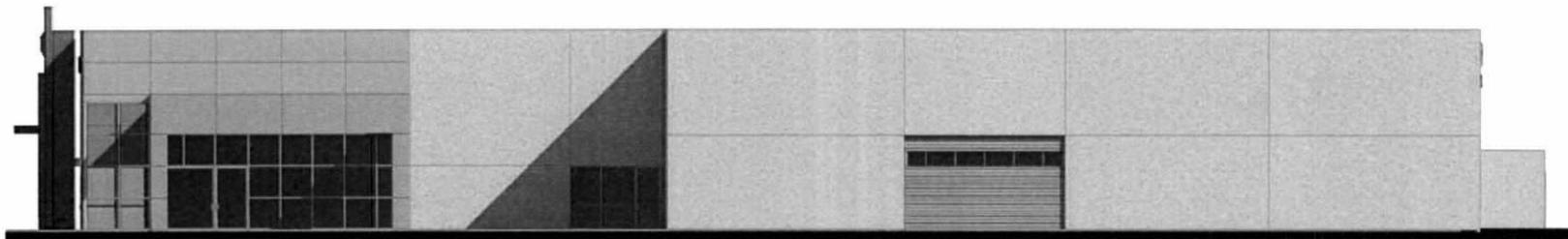
North Elevation



East Elevation



South Elevation



West Elevation

Galles Chevrolet
September 28, 2016



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.

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