



**Environmental
Planning
Commission**

**Agenda Number: 08
Project Number: 1007786
Case #: 15 EPC-40053, 54 and 59
November 12, 2015**

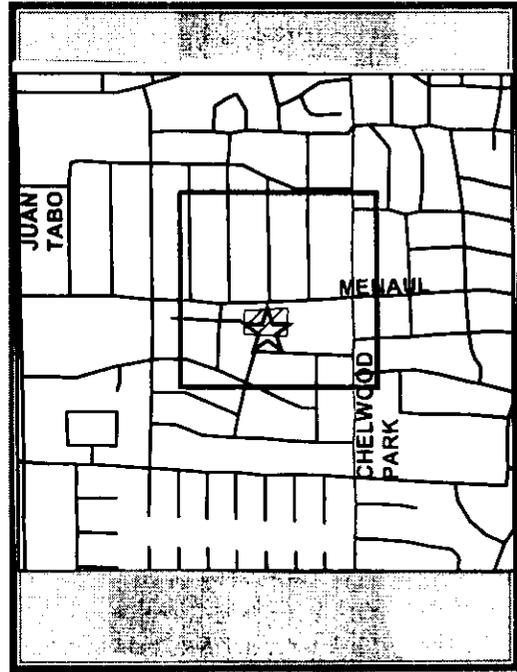
Staff Report

Agent	DAC Enterprises
Applicant	Joe Azar II, CCIM
Request	Zone Map Amendment (Zone Change) Site Development Plan for Subdivision Site Development Plan for Building Permit
Legal Description	Tract 2A Indian Ridge Subdivision
Location	Menaul Blvd. NE, between Deanna St and Chelwood Park NE
Size	1.73 acres
Existing Zoning	O-1
Proposed Zoning	SU-1 PRD, maximum 26 units

Staff Recommendation
APPROVAL/ of 15 EPC 40053, ZMA, based on the Findings beginning on Page 14 and subject to the Conditions of Approval beginning on Page 17.
APPROVAL/ of 15 EPC 40059, SPS based on the Findings beginning on Page 18, and subject to the Conditions of Approval beginning on Page 20.
APPROVAL/ of 15 EPC 40054, SPB, based on the Findings beginning on 21 , and subject to the Conditions of Approval beginning on Page 23.

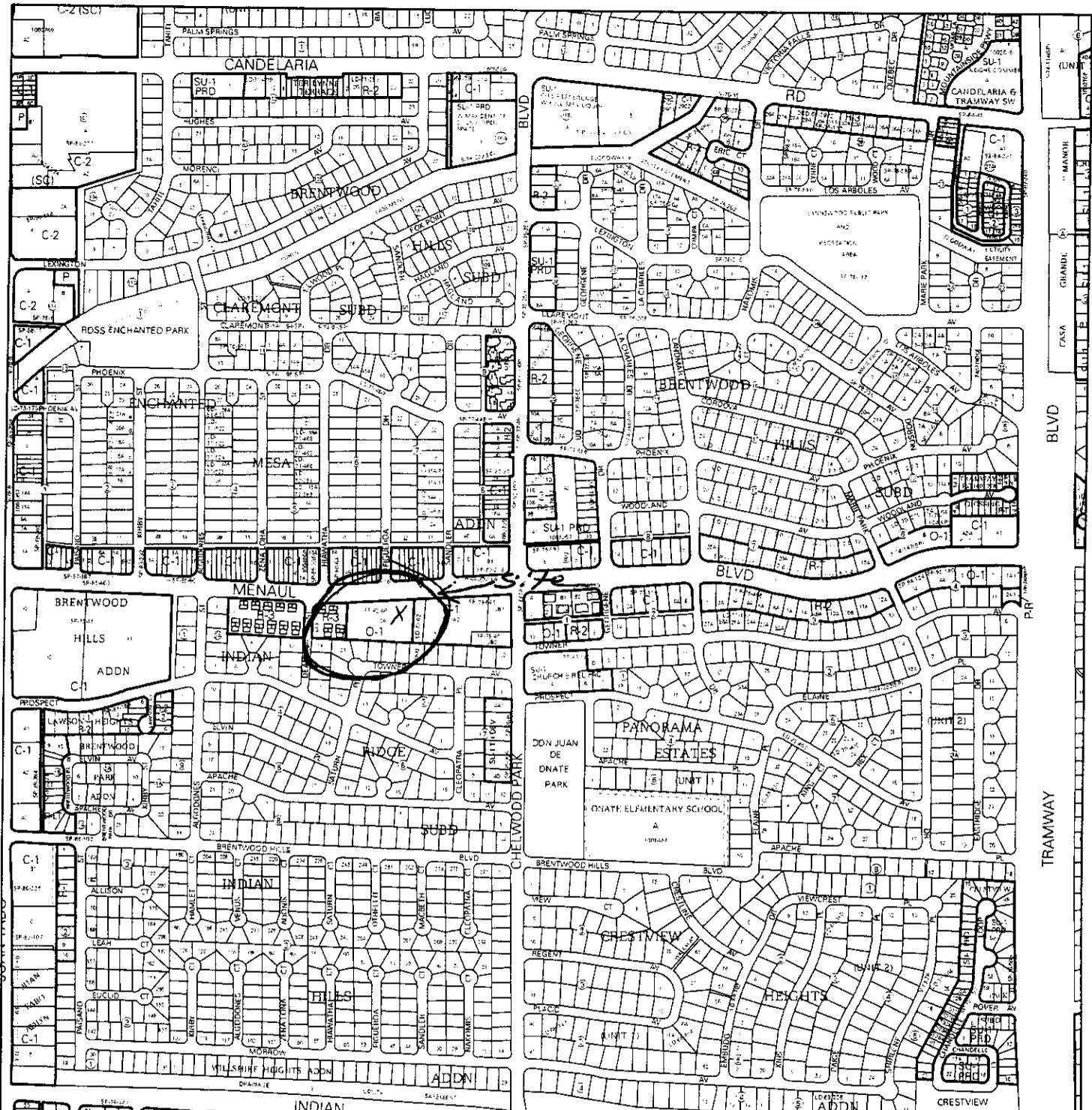
**Staff Planner
Maggie Gould, Planner**

Summary of Analysis
 This is a three part request for Zone Map Amendment, Site Development Plan for Subdivision and Site Development Plan for Building Permit for a 1.73 acre site on Menaul Boulevard NE. The applicant proposes to amend the O-1 zone to SU-1 for PRD to allow construction of 26 townhomes. The SU-1 PRD zone requires a Site Development Plan for Subdivision with design standards. The applicant has justified that change under R-270-1980 as being more advantageous to the community as articulated in the Comprehensive Plan. The applicant notified the District 8 Coalition of NAs and the Enchanted Park NA via registered mail and adjacent property owners via regular mail prior to submitting the request. A facilitated meeting was offered but no one responded to the offer; the city sent out mailed noticed the adjacent property owners offering the meeting. The city notified property owners within 100 feet of the subject site of the EPC hearing and this request. Staff recommends approval of all requests with conditions.



City Departments and other interested agencies reviewed this application from 10/05/15 to 10/16/15
 Agency comments used in the preparation of this report begin on Page 23.

100547 1007786



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 6/7/2013

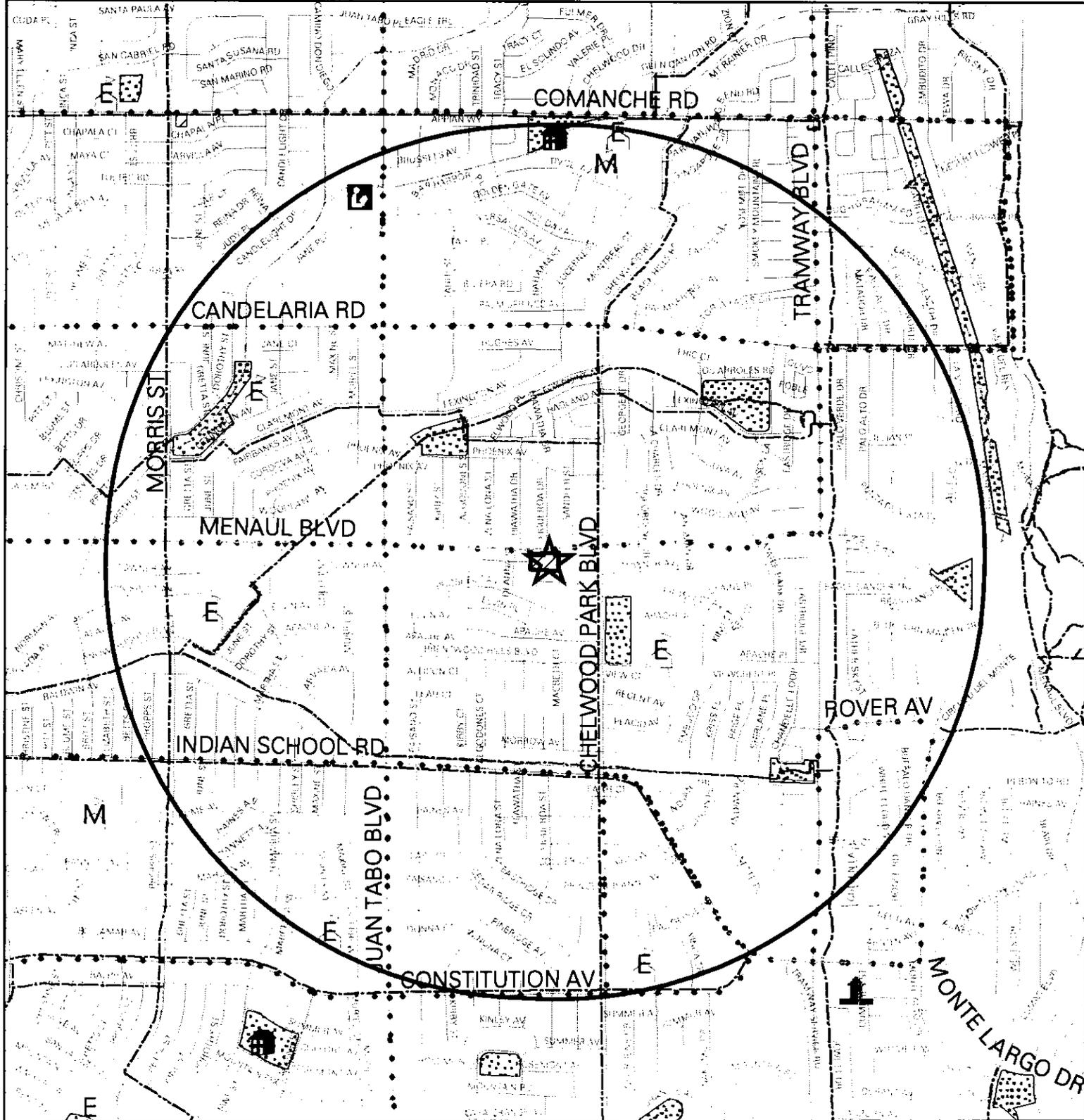
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-22-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

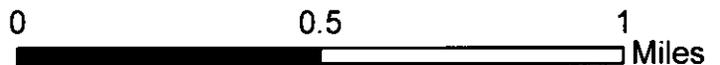


Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------------------|----------------------|-----------------------------|
| COMMUNITY CENTER | FIRE | APS Schools | Landfill Buffer (1000 feet) |
| MULTI-SERVICE CENTER | POLICE | ABQ Bike Facilities | Landfills designated by EHD |
| SENIOR CENTER | SHERIFF | Proposed Bike Routes | Developed County Park |
| LIBRARY | SOLID WASTE | ABQ Ride Routes | Undeveloped County Park |
| MUSEUM | Albuquerque City Limits | | Developed City Park |
| | | | Undeveloped City Park |



Project Number: 1007786





LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

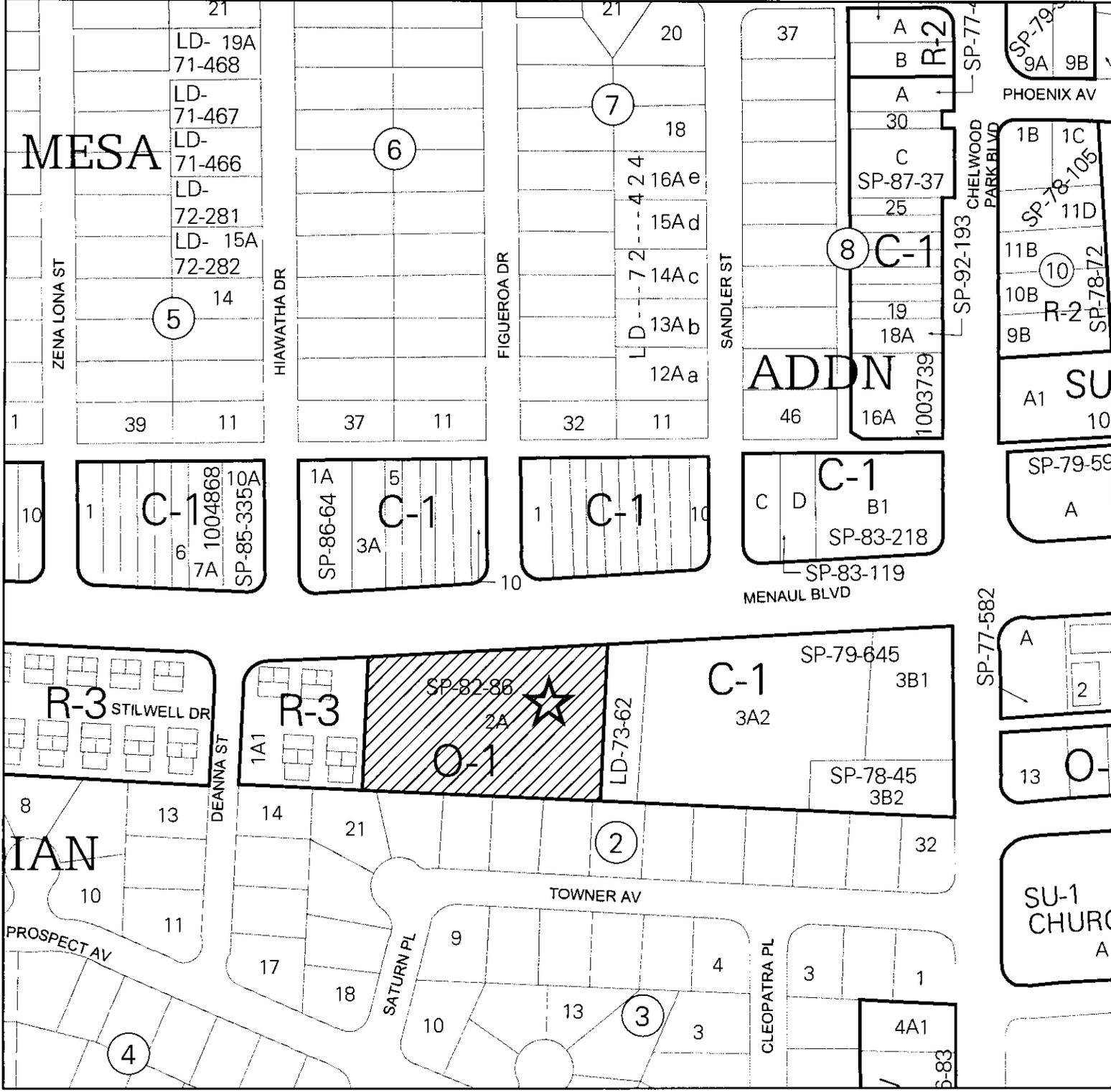
- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



1 inch = 200 feet

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15EPC 40053 & 40054





MESA

ADDN

ZONING MAP

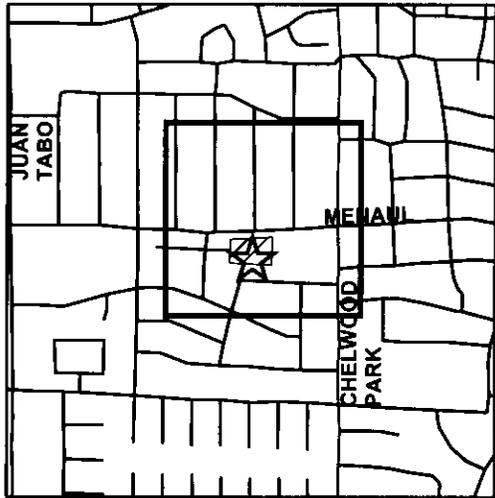
Note: Grey shading indicates County.



1 inch = 200 feet

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HISTORY MAP

Note: Grey shading indicates County.



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I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	O-1	Established Urban, No Area or Sector Plan	Vacant Commercial
<i>North</i>	C-1	SAME	Single Family Residential
<i>South</i>	R-1	SAME	Commercial
<i>East</i>	C-1	SAME	Multi-family Residential
<i>West</i>	R-3	SAME	

II. INTRODUCTION

Proposal

The applicant proposes to change the zoning from O-1 to SU-1 PRD and includes a Site Development Plan for Subdivision and Site Development for Building Permit to allow the development of 26 townhome units. The SU-1 PRD zone requires a Site Development Plan for Subdivision with specific design guidelines §14-16-2-22(B)(5).

The SU-1 zone (see Zoning Code §14-16-2-22) provides suitable sites for uses that are special, and for which the appropriateness of the use to a specific location depends upon the character of the site design. An associated site development plan is required pursuant to §14-16-2-22(A)(1). PRD is a special use listed under §14-16-2-22(B)(5). The intent of a PRD, which is site plan controlled, is to make the uses development more compatible with adjacent properties, than if it were developed using standard zoning.

EPC Role

The EPC is hearing this case because the EPC has the authority to hear all zone map amendment (zone change) cases, regardless of site size, in the City. The EPC is the final decision-making body unless the EPC decision is appealed [Ref: §14-16-2-22(A)(1) SU-1 Special Use Zone, and 14-16-4-1, Amendment Procedure]. If so, an appeal would go to the Land Use Hearing Officer

(LUHO) who then makes a recommendation to City Council [Ref: § 14-16-4-4-(A)(2) Appeal]. This is a quasi-judicial matter.

History/Background

The O-1 zone appears to be the original zoning for the property; staff did not find any record of previous zoning or development on the site.

In 2009 the property owner requested a conditional before the Zoning Hearing Examiner to allow the development of 42 apartment units on the site. The request was denied and was appealed; however the appeal was withdrawn before it was heard by the Board of Appeals .

Context

The site is currently vacant. Much of the area to the south is developed with single family homes; the lot to the west contains townhouses and the lot to the east contains commercial use. The site will take access from Menaul Boulevard and will not add traffic to the residential neighborhood to the south.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The Long Range Roadway System designates Menaul Boulevard as a Principal Arterial.

Comprehensive Plan Corridor Designation

Menaul Boulevard is designated as an Enhanced Transit Corridor.

Trails/Bikeways

There are no bikes routes or path directly adjacent to the site; there is a designated bike path along Chelwood Park, approximately 500 feet from the subject site.

Transit

Route #8, Menaul route, passes the site on Menaul.

There is an existing bus stop, located 34' west from the northwest corner of the property serving the Route #8 in eastbound direction and two additional west bound stops on the north side of Menaul Boulevard directly across from the subject site.

Public Facilities/Community Services

Refer to the Public Facilities Map in the packet.

III. ANALYSIS

APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

The site is currently zoned O-1; the O-1 zone provides suitable sites for office, service, institutional and limited dwelling uses.

The applicant proposes the SU-1 for PRD zone, this zone allows for residential development of houses, townhouses, apartments and associated accessory structures and home occupations as regulated by the R-1 zone. This zone also can allow O-1 and C-1 permissive uses for up to 25% of the gross floor area of a development if approved by the EPC §14-16-2-22(B)(5). In order to be approved by the EPC the SU-1 PRD zone must be determined to be compatible with the adjacent property.. The applicant is only asking for residential uses on the site.

The proposed development generally complies with the requirements of the RT zone; with the exception of lot size. The SU-1 PRD zone allows the proposed development to use the Site Development Plan for Subdivision to set out the development requirements.

The SU-1 PRD zone requires a Site Development Plan for Subdivision that includes design guidelines that include but are not limited to, height, setbacks and general development information.

The main difference between the two zones is that the O-1 zone allows a very limited range of residential uses and the SU-PRD allows the applicant tailor the uses on the site to allow a specific mix of residential and commercial use or solely residential use and this development must occur in accordance with and approved SPS, whereas the O-1 zone does not required the SPS.

Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in the area designated Established Urban by the Comprehensive Plan. The goal of the Established and Developing Urban Area is “to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas and life styles, while creating a visually pleasing built environment.” Applicable policies include:

Policy II.B.5.d: “The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern.”

The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use(the housing to the south).The allowed height will be similar to the existing development to the west and the same

as development to the east and will be lower than allowed possible maximum allowed height in the O-1 zone so will not have a negative impact on views. The request further Policy II.B.5.d.

Policy II.B.5.e.: “New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured.”

The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the character of the single family area to the south and may add additional patrons for businesses in the area. The request further Policy II.B.5.e.

Policy II.B.5.h.: “Higher density housing is most appropriate in the following situations:

- In designated Activity Centers.
- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
- In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.”

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

Policy II.D.4.c.: “In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.”

The subject site is located on an Enhanced Transit Corridor (Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.

Policy II.C.6.f. states: “The City and County should remove obstacles to sound growth management and economic development throughout the community.”

The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

Resolution 270-1980 (Policies for Zone Map Change Applications)

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Analysis of Applicant's Justification

Note: Policy is in regular text; Applicant's justification is in *italics*; staff's analysis is in ***bold italics***

- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

The proposed zoning will allow development of townhouses governed by a site plan with allowed uses that are consistent with the adopted plans and polices as demonstrated in sections C and D of this justification.

Staff agrees that proposed use, medium density housing, is not contrary to the health safety and general welfare of the City.

- B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

The proposed development will not compromise the stability of the land use and zoning in the area because it will be consistent with the goals and policies the applicable plans. The development will act as a transition. The EPC oversight of the development will ensure that buildings facing Menaul are attractive and that R-1 development to the south will be protected.

Staff agrees that the proposed uses are compatible with adjacent uses and will have not a destabilizing impact on the area. The additional residential development may help to support the existing business in the area.

- C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto, including privately developed area plans which have been adopted by the city.

Applicant (summarized): Applicant believes that the request clearly facilitates applicable policies of the Comprehensive Plan, as demonstrated in the response to each cited policy. Specifically, the applicant states that the change in zoning will allow

Refer to policy analysis section for more detail.

The applicant cites several comprehensive policies to support this request (Policy II.B.5.a, Policy II.B.5.d, Policy II.B.5.e., Policy II.B.5.h. , Policy II.B.5.p , Policy II.D.4.c, Policy II.C.8.c(actually II.D.8.c), Policy II.C.6.f. , Policy II.D.4.g,) Staff generally agrees that these policies are applicable, although Policy II.B.5.a is very vague and not usually cited by staff. Policy II.D.8.c is a Human Services policy and not relevant to this request. However staff agrees with the applicant's inclusion of data showing that office vacancies in the City of Albuquerque are fairly high. Policy II.D.4.g, regarding the provision of pedestrian opportunities is relevant in that the residents will have reasonable access through the development to the sidewalk and transit opportunities along Menaul Blvd.

The request clearly furthers these policies and facilitates the realization of the Comprehensive Plan.

- D. The applicant must demonstrate that the existing zoning is inappropriate because:
1. There was an error when the existing zone map pattern was created; or
 2. Changed neighborhood or community conditions justify the change; or
 3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

Applicant's Justification

- 1.) *Applicant makes no argument that there is an error regarding the existing map pattern.*
- 2.) *There are no significant changed neighborhood conditions to justify this request and applicant makes no such argument.*
- 3.) *This request facilitates the policies of the Comprehensive Plan regarding private development, a full range of allowed uses serving an older area, a location with access to public and private transportation, as well as the infill development of an existing, long vacant, lot. Also the proposed use will be governed by a site development plan approved by the EPC with input from adjoining neighbors and neighborhoods. For these reasons and the policies cited in Section C., this use will be more advantageous to the community as articulated by the Comprehensive Plan.*

Staff's Response (refer to policy analysis section for further detail)

Staff agrees that the request is consistent with the goals and policies of the Comprehensive Plan and the request will clearly facilitate these goals and goals and policies and therefore the request is more advantageous to the community as articulated in the Comprehensive Plan.

- E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

Applicant's Justification

The proposed zone will allow uses that are complimentary or compatible with the surrounding zone categories. The Site Development Plan provides an assurance that the development will not be harmful to the surrounding area.

Staff's Response

The proposed use, medium density housing is compatible with the surrounding development because it will be of a similar density and intensity and will be designed to fit into the architectural style of the area.

- F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:
1. Denied due to lack of capital funds; or
 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

Applicant's Justification

The proposed zone requires no capital expenditures on the part of the City. The site is within the City limits and has access to infrastructure including roads, water and sewer are established.

Staff agrees that the subject site has access to existing infrastructure and proposed zoning will not require additional unprogrammed capital expenditures from the City.

- G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

Applicant's Justification

The applicant is not asking for specific consideration of economic issues.

The applicant has provided justification in the form consistency with applicable goals and policies. While economics may be a factor in this case, it is not the determining factor.

- H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

Applicant's Justification

The location of the property on Menaul Boulevard is not used as justification for this request. The applicant believes that the justification for this request is supported by relevant policies of

the Comprehensive Plan that the location of the site on a major street is only a factor as it may apply to those policies.

Staff's Response

The location on a major transit corridor is relevant to this request because it is an area where the additional housing density is appropriate, but is not the sole justification for the request; the applicant has also provided justification in the form consistency with applicable goals and policies.

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:
 1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

Applicant's Justification

Applicant believes that this request furthers part (2) because it will act as a transition between the high density R-3 development to the west and the C-1 to the east. The applicant does not believe that a request for either C-1 or R-3 is justified because both zones allow much high density than this request. In addition to transitioning between the eastern and western lots, this site transitions from C-1 to the north to the R-1 to the south. Although the O-1 may also transition, this use will be site plan regulated to assure adequate buffering, screening, parking and landscaping to protect the four adjoining R-1 lots. Moreover, the O-1 zone allows some uses, including churches, community residential programs, park and ride facilities, parking lots and multi-story buildings much higher than shown in this request that would not be compatible with the R-1 uses and would not be regulated except through standard Zoning Code regulations. As such, applicant believes that this request is provide s a more acceptable transition from Menaul Boulevard to the R-1 zoning on the south.

Staff's Response

The proposed zone will act as a transition from both the R-3 zoning to the west and the C-1 zoning to the east and the R-1 zoning to the south and the C-1 zoning to the east. Although the O-1 could also act as a transition; the proposed zone is site plan controlled and the only use allowed will be the 26 townhome units shown on the Site Development Plan. Density of this project will be greater than the R-1 zone, but less than the R-3 zone, making it a reasonable transition. The proposed zoning will allow development that is similar to and compatible with the existing zoning in the area and will be consistent with intent of the prohibition on spot zone which is to ensure that non compatible uses are not developed near one another. The

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- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called “strip zoning.” Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

Applicant's Justification

Applicant does not believe that this is a strip zone as envisioned in this resolution. Applicant does contend, however, that the arguments noted in Section I. above are applicable for this section as well, and that this map amendment will facilitate the realization of the Comprehensive Plan.

Staff's Response

Staff agrees that the request would not constitute a strip zone. The proposed uses are compatible with the surrounding uses. The intent of the prohibition on strip zones is to make sure that non-compatible uses are not mapped adjacent to one another. The allowed development could also function as transition and may serve to buffer the residential uses from the noise of Menaul Boulevard.

Other Analysis

The MRCOG Jobs Housing Balance data from the 2040 Socioeconomic forecast, the East side of Albuquerque has 1.44 jobs for each housing unit while the West side (west of the Rio Grande) has .46 jobs for each housing unit. Developing more housing on the east side of the river could help to address the jobs housing balance by allowing more to live on the east side closer to the jobs.

The applicant also states that office vacancy rates are high in Albuquerque; staff found that according to CBRE Albuquerque the office vacancy rate for Albuquerque was 22.2 percent for the third quarter of the year, and 22.5 percent for the second quarter of the year. This may indicate that there is a more limited market for office space in the area. The national average office vacancy rate was 13.5 percent according to CBRE National .

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Request

Section 14-16-3-11 of the Zoning Code states, “...Site Development Plans are expected to meet the requirements of adopted city policies and procedures.” As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan.

The applicant proposes a Site Development Plan for Subdivision in accordance with the SU-1 PRD Zone. § 14-16-2-22(A)(6).

Zoning Code §14-16-1-5 defines a Site Development plan for Subdivision as follows:

“An accurate plan at a scale of at least 1 inch to 100 feet which covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress, any internal circulation requirements and, for each lot, maximum building height, minimum building setback, and maximum total dwelling units and/or nonresidential uses' maximum floor area ratio.”

The proposed Site Development Plan for Subdivision complies with this definition. Pedestrian and vehicular access, internal circulation, building height and setbacks are satisfactorily addressed on sheet DRB-1. In addition to this basic requirement, the Site Development Plan for Subdivision contains the design standards that govern the development on the site and include colors, materials, screening, pedestrian amenities and other design and site layout standards in accordance with SU-1 PRD zone addressed on sheets DRB 8 and 9.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Request

A site development plan is required for a zone change to an SU-1 Zone pursuant to §14-16-2-22-(A)(1). Zoning Code §14-16-3-11 states, “... Site Development Plans are expected to meet the requirements of adopted city policies and procedures.”

The applicant proposes to develop 26 townhomes on the subject site. The SU-1 zone requires a Site Development Plan with the minimum standards of a Site Development Plan for Subdivision and then requires subsequent development to be in accordance with a Site Development for Building Permit. This Site Development Plan for Building Permit fulfills the Zoning Code Requirements of the .

The Zoning Code defines apartment and townhouse as follows:

APARTMENT. Structures containing two or more dwelling units each, including dwelling units which do not have a separate entrance leading directly to the outdoors at ground level.

TOWNHOUSE OR TOWN HOUSE. One of a group of two to eight attached dwelling units divided from each other by common walls, each having a separate entrance leading directly to the outdoors at ground level, and each having at least one-fourth of its heated and unheated floor area approximately at grade. A townhouse building is one type of an apartment.

The proposed development meets the definition of townhouse because each unit has a separate entrance leading directly to the outdoors.

The site will not be platted into individual lots because the property owner will retain ownership of the site and will not sell off the individual units.

Site Plan Layout / Configuration

The adjacent property to the west contains 14 townhomes on .75 acres, which is a density of approximately 18 dwelling units per acre. The subject site proposes 26 units on 1.73 acres, which is 15 dwellings units per acre. The site will consist of five groups of homes containing two to

eight units , five of the units will be contain three bedrooms the rest of the units will contain two bedrooms. The buildings range in height from 25’-9” on the 8 unit buildings “D” and “E”. The other building heights are shown on their respective elevations “A” – 22’-11”, “B” – 21’-2” and “C” – 23’-3”. The buildings are setback between 15 and 28 feet from the rear property, with a minimum of 15 feet. The minimum side setback is 5 feet, the proposed side setbacks range from almost 12 feet to 26 feet. The minimum front yard setback is 15 feet.

The buildings are oriented towards the interior of the site with yards on the north and south edges of the site.

Public Outdoor Space

The Public outdoor space consists of walkways, entryways and landscaped areas around the perimeter of the site. The open space required by the RT zone , which applicant references as a guide, would be 550 square feet per unit, 14,300 square feet . The applicant has provided a total 30,683 square feet of open space. All landscaping will be maintained by the property owner.

Vehicular Access, Circulation and Parking

The site takes access from Menaul Boulevard via 30 foot wide, two lane access road. Each individual unit has a garage and a driveway space, 2 spaces are provided for each unit with 20 extra spaces for additional vehicles, a total of 72 spaces.

Pedestrian and Bicycle Access and Circulation, Transit Access

The site will have four foot wide sidewalks fronting each set of buildings and a four foot wide sidewalk connecting to Menaul Boulevard. The # 8 Menaul bus serves the site with an eastbound bus stop located approximately 34 feet to the west of the site and two west bound stops on the north side of Menaul , directly across the street from the property.

Walls/Fences

The applicant proposes walls ranging from 6 feet to 8 feet in height around the perimeter of the rear yards. The proposed material will be split face CMU block.

Lighting and Security

Each unit will have a hooded photo sensitive light mounted on the housing units near the garage. There existing standard street lights along Menaul Boulevard.

Landscaping

The site will contain a mixture native and adapted low to medium water plants. The landscaping plan meets the zoning code requirement for live vegetative cover on at least 15% of the net lot area. All landscaping will be maintained by the property owner.

Grading, Drainage, Utility Plans

The site slopes from east to west with a change in grade of approximately 12 feet. Strom water will be accommodated through the existing storm drainage infrastructure along Menaul and

though a series of detention ponds along the north side of the site, which will contain the first flush as required by the drainage ordinance.

Architecture

The proposed buildings are articulated and contain changes in plane, building materials and colors. The finishes will be

The units have pitched roofs with a varied roofline. The front entrances are off set and accessed via steps. The units are proposed to be two stories, with windows on the second story, one dormer style window and one plain square window.

Signage

The Site Development Plan for Subdivision allows a 21 square foot entry sign; the applicant proposes a 21 square foot sign consisting of brushed steel letters on the split face block wall facing Menaul Boulevard.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

The applicant has provided a water availability statement from the ABCWUA and a statement from the City Engineer regarding the stepped entryways.

The applicant will continue to work with PNM to make sure that the trees choices are appropriate (see condition 3 for the Site Development Plan for Building Permit).

In order to comply with suggestion from the MRCOG regarding access to Stillwell Drive, the applicant would to have obtain an easement from the property owner to the west in order to access Stilwell Drive through the site to the west. There is an existing sidewalk along Menaul Blvd. that will provide access to Stillwell Drive if desired by the residents.

Neighborhood/Public

There is no recognized neighborhood association for the subject site. The applicant notified the Enchanted Park Neighborhood Association, across Menaul Boulevard from the site and the District 8 Coalition of Neighborhood Association via certified mail and adjacent property owners via regular mail.

A facilitated meeting was offered to the Enchanted Park Neighborhood Association and the adjacent property owners. The City Office of Neighborhood Coordination sent out letters to the adjacent property owners offering the facilitated meeting but did not receive any requests for such a meeting.

As of this writing, staff has not received any comments from the public.

V. CONCLUSION

This is three part request consisting of Zone Map Amendment from O-1 to SU- for PRD , accompanying Site Development Plan for Subdivision as required for the SU-1 PRD zone and a Site Development Plan for Building Permit to allow the development of 26 townhomes on a 1.73 acre site.

The applicant has justified this request pursuant to R-270-1980 as being more advantageous to the community as articulated in the Comprehensive Plan, because it will allow infill development on a long vacant lot with good access to transportation, also the site will governed by a Site Development Plan for Subdivision and Building Permit that will provide a public process for approval.

If approved by the EPC this development will be medium density housing on an Enhanced Transit Corridor and will offer a housing alternative on the east side of the river that may help to address the jobs to housing balance between the east and west sides of Albuquerque.

FINDINGS – 15 EPC-40053-November 12, 2015- Zone Map Amendment

1. This is a request for a Zone Map Amendment from O-1 to SU-1 PRD for Tract 2A Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres.
2. The applicant proposes to amend the zoning from O-1 to SU-1 PRD to allow the development of 26 townhomes units and associated infrastructure.
3. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The proposed use is compatible with the surrounding development.
5. A Site Development Plan for Building Permit (15 EPC-40054) is heard concurrently with the request.
6. A Site Development Plan for Subdivision (15 EPC-40059) is heard concurrently with this request.
7. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A. Policy II.B.5.d: “The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern.”
The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use(the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.
 - B. Policy II.B.5.e.: “New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured.”
The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the

character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.

- C. Policy II.B.5.h: “Higher density housing is most appropriate in the following situations:
- In designated Activity Centers.
 - In areas with excellent access to the major street network.
 - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
 - In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
 - In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.”

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

- D. Policy II.D.4.c: “In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.”

The subject site is located on an Enhanced Transit Corridor (Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.

- E. Policy II.C.6.f. states: “The City and County should remove obstacles to sound growth management and economic development throughout the community.”

The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

8. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:

A. The proposed zoning will allow development of townhouses governed by a site plan with allowed uses that are consistent with the adopted plans and polices as demonstrated in sections C and D of this justification. The proposed use, medium density housing, is not contrary to the health safety and general welfare of the City.

B. the proposed uses are compatible with adjacent uses and will have not a destabilizing impact on the area. The additional residential development may help to support the existing business in the area.

C. The applicant cites several comprehensive policies to support this request (Policy II.B.5.a, Policy II.B.5.d, Policy II.B.5.e., Policy II.B.5.h. , Policy II.B.5.p , Policy II.D.4.c, Policy II.C.8.c(actually II.D.8.c), Policy II.C.6.f. , Policy II.D.4.g.) Staff generally agrees that these policies are applicable, although Policy II.B.5.a is very vague and not usually cited by staff. Policy II.D.8.c is a Human Services policy and not relevant to this request. However staff agrees with the applicant's inclusion of data showing that office vacancies in the City of Albuquerque are fairly high. Policy II.D.4.g, regarding the provision of pedestrian opportunities is relevant in that the residents will have reasonable access through the development to the sidewalk and transit opportunities along Menaul Blvd.

D. The request is consistent with the goals and policies of the Comprehensive Plan and the request will clearly facilitate these goals and goals and policies and therefore the request is more advantageous to the community as articulated in the Comprehensive Plan.

E. The proposed use, medium density housing is compatible with the surrounding development because it will be of a similar density and intensity and will be designed to fit into the architectural style of the area.

F. the subject site has access to existing infrastructure and proposed zoning will not require additional unprogrammed capital expenditures from the City.

G. The applicant has provided justification in the form consistency with applicable goals and policies. While economics may be a factor in this case, it is not the determining factor.

H. The location on a major transit corridor is relevant to this request because it is an area where the additional housing density is appropriate, but is not the sole justification for the request; the applicant has also provided justification in the form consistency with applicable goals and policies.

I. The proposed zone will act as a transition from both the R-3 zoning to the west and the C-1 zoning to the east and the R-1 zoning to the south and the C-1 zoning. Although the O-1 could also act as a transition; the proposed zone is site plan controlled and the only use allowed will be the 26 townhome units. The proposed zoning will allow development that is similar to and compatible with the existing zoning in the area and will be consistent with intent of the prohibition on spot zone which is to ensure that non compatible uses are not developed near one another.

J. The request would not constitute a strip zone. The proposed uses are compatible with the surrounding uses. The intent of the prohibition on strip zones is to make sure that non-compatible uses are not mapped adjacent to one another. The allowed development could also function as transition and may serve to buffer the residential uses from the noise of Menaul Boulevard.

9. The proposed zoning will allow the development that may offer an alternative that may help to address the jobs to housing imbalance between the east and west sides of the City.

-
10. The data submitted by the applicant and additional research by staff show that that office market in Albuquerque has a high rate of vacancy.
 11. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.
 12. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.
 13. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.

RECOMMENDATION -15 EPC-40053, November 12, 2015

APPROVAL of 15 EPC 40053, a request for a Zone Map Amendment from O-1 to SU-1 PRD for Tract 2A of the Indian Ridge Subdivision, based on the preceding Findings and subject to the following Conditions of Approval (for SU-1 zoning only)

CONDITIONS OF APPROVAL 15 EPC-40053, November 12, 2015- ZONE MAP AMENDMENT-

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

FINDINGS - 15EPC-40059- November 12, 2015 Site Development Plan for Subdivision

1. This is a request for a Site Development Plan for Subdivision on Tract 2A of the Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres
2. A Zone Map Amendment (zone change) (15EPC- 40053) is heard concurrently with this request.
3. A Site Development Plan for Building Permit (15 EPC-40054) is heard concurrently with the request.
4. The applicant plans to retain the single lot for the site and not replat the site into individual lots.
5. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A. Policy II.B.5.d: “The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern.”
The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use(the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.
 - B. Policy II.B.5.e: “New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured.”

The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.

- C. Policy II.B.5.h: “Higher density housing is most appropriate in the following situations:
- In designated Activity Centers.
 - In areas with excellent access to the major street network.
 - In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
 - In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
 - In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.”

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

- D. Policy II.D.4.c: “In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.”

The subject site is located on an Enhanced Transit Corridor (Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.

- E. Policy II.C.6.f. states: “The City and County should remove obstacles to sound growth management and economic development throughout the community.”

The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

7. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.
8. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.

9. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.

RECOMMENDATION - 15 EPC-40059, November 12, 2015

APPROVAL of 15EPC-40059, a request for Site Development Plan for Subdivision, for Tract 2A of the Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres, based on the preceding Findings subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 15 EPC-40059, November 12, 2015-Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

FINDINGS - 15EPC-40054- November 12, 2015 Site Development Plan for Building Permit

1. This is a request for a Site Development Plan for Building Permit on Tract 2A of the Indian Ridge Subdivision , located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres
2. A Zone Map Amendment (zone change) (15EPC- 40053) is heard concurrently with this request.
3. A Site Development Plan for Subdivision (15 EPC-40059) is heard concurrently with this request.
4. The applicant plans to retain the single lot for the site and not replat the site into individual lots.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within the Established Urban Area of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - F. Policy II.B.5.d: “The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern.”
The subject site will be developed at a similar density and intensity as the site to the west and will contain uses that are allowed on and complimentary to the site to the east. The request will allow the development of residential uses adjacent to residential use(the housing to the south). The allowed height will be similar to the existing development to the west and the same as development to the east and will be lower than allowed possible allowed height in the O-1 zone so will not have a negative impact on views. The request furthers Policy II.B.5.d.
 - G. Policy II.B.5.e: “New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured.”
The subject site has access to a full range of urban services, including water, sewer, roads and electricity. The site takes access from Menaul Boulevard and will not disrupt the

character of the single family area to the south and may add additional patrons for nearby business. The request furthers Policy II.B.5.e.

H. Policy II.B.5.h. “Higher density housing is most appropriate in the following situations:

- In designated Activity Centers.
- In areas with excellent access to the major street network.
- In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.
- In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.
- In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.”

The subject site has direct access to a major street that can accommodate vehicles and is a designated Enhanced Transit Corridor. The area has a mixed density pattern in that there is multi-family, single family and commercial development adjacent to the site and the subject site has access to existing adequate infrastructure. The requests further Policy II.B.5.h.

I. Policy II.D.4.c. “In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.”

The subject site is located on an Enhanced Transit Corridor (Menaul Boulevard). The site takes access from Menaul Boulevard and does not route traffic through the existing single family residential area. Additionally, the density and use will be the same as the property to the west. The requests further Policy II.D.4.c.

J. Policy II.C.6.f. states: “The City and County should remove obstacles to sound growth management and economic development throughout the community.”

The new zoning will allow new housing in an appropriate location that has access to services and will be consistent with the growth management goals of the City because it will allow the development of medium density housing along a transit corridor on the east side of the river. The request furthers Policy II.C.6.f.

7. The applicant notified the adjacent property owners via regular mail and the District 8 Coalition of Neighborhoods and the Enchanted Park Neighborhood via registered mail prior to submitting the request.
8. A facilitated meeting was offered to the neighborhoods and the adjacent property owners; the adjacent property owners were offered the facilitated meeting via regular mail. The facilitator did not receive any request for a meeting.

9. The City notified property owners within 100 feet of the subject site via regular mail; as of this writing staff has not received any public comment.

RECOMMENDATION - 15 EPC-40054, November 12, 2015

APPROVAL of 15EPC-40054, a request for Site Development Plan for Building Permit, for Tract 2A of the Indian Ridge Subdivision, located on Menaul Boulevard between Deanna Street and Chelwood Park NE and containing approximately 1.73 acres, based on the preceding Findings subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 15 EPC-40054, November 12, 2015-Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall coordinate with PNM regarding the PNM comments; the landscaping plan can be altered to provide a shorter tree where needed accommodate PNM's concerns.
4. No unfinished CMU will be allowed for wall material, finished or split face block will be allowed as shown in the attached color samples.
5. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

***Maggie Gould
Planner***

Notice of Decision cc list:

DAC Enterprises	1521 Edith Blvd NE	ABQ, NM	87102
Joe Azar	8232 Louisiana NE	ABQ, NM	87113

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Office of Neighborhood Coordination

Enchanted Park NA (R)

District 8 Coalition of NA's

10/13/15 – Recommended for Facilitation by Staff Planner & Agent - siw

Long Range Planning

Metropolitan Redevelopment Agency

CITY ENGINEER

Transportation Development

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

Hydrology Development

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

Traffic Engineering Operations

WATER UTILITY AUTHORITY

Utility Services

1. Request an availability statement online at the following link:
http://www.abcwua.org/Availability_Statements.aspx
 - a. Please include fire flow requirements from fire marshal.

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

Parks and Recreation Department has reviewed and has no adverse comments for this request.

Open Space Division

OSD has reviewed and has no adverse comments.

City Forester

POLICE DEPARTMENT/Planning

EPC 1007786 – This project is in the Foothills Area Command.

- No Crime Prevention or CPTED comments concerning the proposed *Amendment to Zone Map* request at this time.
- The front doors of buildings A & C appear to be set-back from the front of garage doors. The set back reduces natural surveillance and can reduce visibility. Suggest eliminating the set-back to open the area.
- The rear of each unit has a sliding door proposed. Sliding doors can be an easier access point to commit residential burglary. Consider eliminating the sliding door and replace with a standard door configuration. If sliding doors continue to be part of the project, equip each door with secondary locking mechanisms.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Site Plan to Scale with Refuse Access.

FIRE DEPARTMENT/Planning

TRANSIT DEPARTMENT

Adjacent and nearby routes	Route #8, Menaul route, passes the site on Menaul.
Adjacent bus stops	There is an existing bus stop, located 34' west from the northwest corner of the property serving the Route #8 in eastbound direction.
Site plan requirements	Transit requests the applicant to install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the existing bus stop. Location of the bus shelter to be coordinated with ABQ Ride.
Large site TDM suggestions	None.
Other information	None

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

15EPC-40053 Reviewed. No comment.

15EPC-40054 Reviewed. No comment.

ALBUQUERQUE PUBLIC SCHOOLS

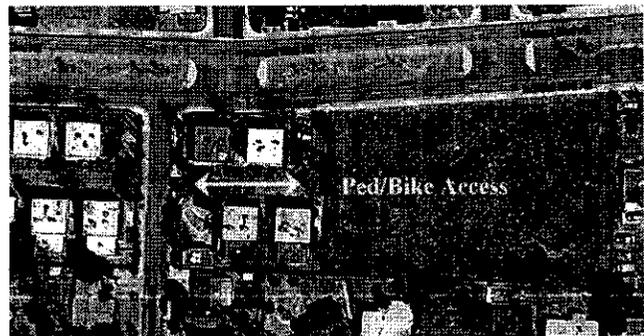
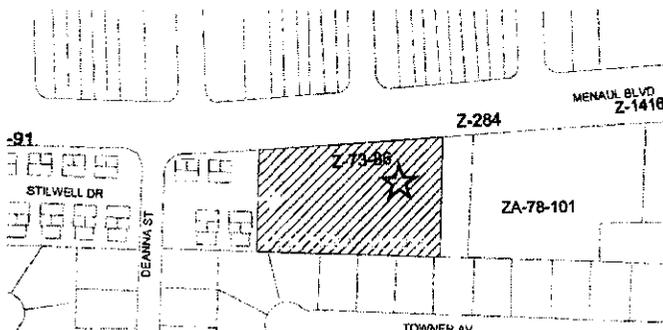
Indian Ridge, Lots 2A, is located on Menaul Blvd NE between Deanna St NE and Chelwood Park NE. The owner of the above property requests a Zone Change from O-1 to SU-1/PRD for the development of 26 townhomes. This will have impacts to Onate Elementary School, Jackson Middle School, and Eldorado High School. Currently, all three schools have excess capacity.

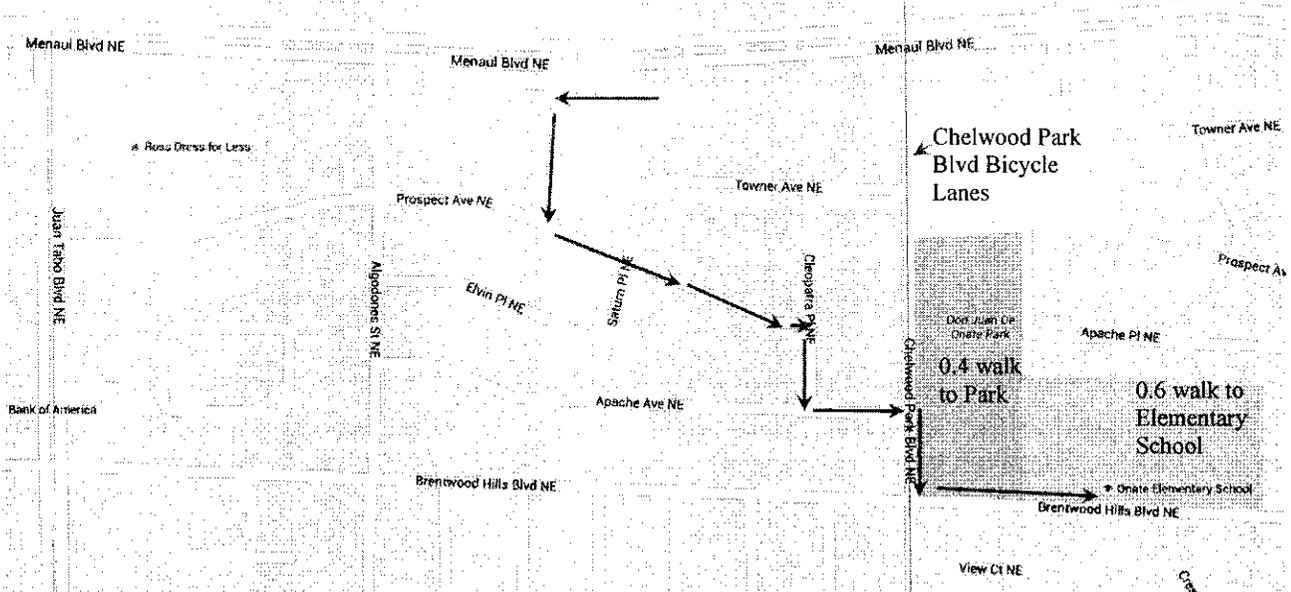
Loc No	School	2014-15 40th Day	Capacity	Space Available
227	Onate ES	209	339	130
420	Jackson MS	556	710	154
515	Eldorado HS	1863	1876	13

MID-REGION COUNCIL OF GOVERNMENTS

MRMPO strongly encourages the applicant to provide pedestrian and bicycle access to Stilwell Dr. from the site. This access will allow residents to reach the following without requiring them to travel on Menaul Blvd. Menaul currently does not have bicycle lanes.

- Existing nearby bikeway and trail network (Chelwood Park Blvd bicycle lanes);
- Don Juan de Onate Park (0.4 miles away); or the
- Onate Elementary School (0.6 miles away).





MIDDLE RIO GRANDE CONSERVANCY DISTRICT

PUBLIC SERVICE COMPANY OF NEW MEXICO

Conditions for Approval for Project #1007786 Zone Change and Site Development Plan for Building Permit (Indian Ridge Patio Homes) 15EPC-40053 and 15EPC-40054

1. An existing overhead electric distribution line is located along the northern western boundary of the site along Menaul NE. It is the applicant's obligation to abide by any conditions or terms of those easements. Sheet DRB-1 should call out the location of the distribution line. Also, the notation of the "existing light pole" implies a street light. The label should be revised to "existing electric power pole." PNM requests a meeting with the applicant to discuss the proximity of the proposed wall in proximity to the existing electric distribution line.

2. Coordination with PNM will be necessary for this project regarding proposed tree species, tree height at maturity, tree placement and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric facilities along the south side of Menaul NE and the boundary of the site. At both corners on the northern boundary of the property, the Site Landscape Plan (Sheet DRB-5) indicates proposed tree species (Arizona Sycamores, maximum height identified on the Landscape Plan as 60 feet at maturity x 70' spread) is not a compatible height with the existing overhead electric distribution utilities at this location. A shorter tree selection at mature height is recommended at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility

maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.



Looking southeast from the northwest corner of the site
Looking north toward Menaul Blvd. from the south edge of the site





Looking southwest across the site from the northeast corner
Looking south at the site from Menaul Blvd.



HISTORY



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

JOSEPHINE JENSEN (GARLAN BRYAN, AGENT) request(s) a special exception to Section 14-16-2-15(B)(4): a CONDITIONAL USE to allow for 42 proposed apartment units that exceed the total 25% gross floor area requirement in an O-1 zone on all or a portion of Lot(s) 2A, Tract(s) 2A, INDIAN RIDGE zoned O-1, located at 11910 MENAUL BLVD NE (H-22)

Special Exception No:.....09ZHE-80148
Project No:.....Project# 1007786
Hearing Date:.....06-16-09
Closing of Public Record:.....06-16-09
Date of Decision:.....06-30-09

STATEMENT OF FACTS: The applicant, Josephine Jensen, requests a conditional use to allow for 42 proposed apartment units that exceed the total 25% gross floor area requirement in an O-1 zone to use 100% of the floor area requirement to develop 42 proposed apartment units.

It is presumed that the zoning category of O-1 was intended for O-1 uses with modest exception for residential use, not to exceed 25%. The applicants' proposed development of vacant land seems reasonable. However, to grant this request for 100% would essentially disregard the Zoning Ordinance and the will of the City Council which ratified the zone.

This request is opposed by adjacent commercial property owners as well as the Enchanted Park Neighborhood Association. I agree with the opponents.

Based on all of the testimony and a review of the entire file, it is determined that there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this request does not comply with Section 14.16.4.2.(C).1., for the granting of a conditional use upon a finding that the proposed use will cause injury to the neighborhood, adjacent property or the community, and will be damaged by surrounding structures. For reasons stated above, this request is denied.

DECISION: Denied.

If you wish to appeal this decision, you may do so by 5:00 p.m., on July 15, 2009 in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street,

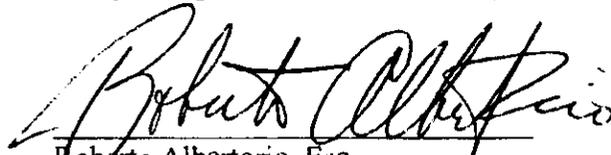
side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B)., of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.


Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File
Josephine Jensen, P.O. Box 05208, 87181
Robert Rayner, Garlan, Bryan Architect, 2402 San Mateo Blvd NE, #W-1, 87110
Jay Kinsman, 11920 Menaul Blvd, NE, 87112
Wayne Rowen, rowenplumbing@hotmail.com
Robert Trudo, EPNA, P.O. Box 11096, 87112-0096
Marcus Koch, 2403 San Mateo Blvd NE, #W-1, 87110
Tony Vallejos, 12306 Menaul NE, 87112
Camden & Jessica White, 12103 Towner Avenue NE, 87112
Bella & Jack McKenzie, 12105 Towner Avenue NE, 87112

CITY OF ALBUQUERQUE

Planning Department

Richard Dineen, Director

Development Review Division

100 2nd Street, N.W. - 3rd Floor

Albuquerque, N.M. 87102



CITY OF ALBUQUERQUE BOARD OF APPEALS NOTIFICATION OF DECISION

GARLAN BRYAN ARCHITECT, Agent
for **JOSEPHINE JENSEN** appeals the
Zoning Hearing Examiner's denial of a
special exception to Section 14-16-2-
15(B)(4): a **CONDITIONAL USE** to allow
for 42 proposed apartment units that exceed
the total 25% gross floor area requirement
in an O-1 zone on all or a portion of Lot(s)
2A, Tract(s) 2A, **INDIAN RIDGE** zoned
O-1, located at **11910 MENAUL BLVD
NE (H-22)**.

Appeal No:(09BOA-20007)
Special Exception No:(09ZHE-80148)
Project No:1007786
Hearing Date:(09/22/09)
Decision Date:(09/22/09)

In the matter of **09BOA-20007**, the Board of Appeals voted to accept a **withdrawal** per the Agent's request.

PO Box 1, 295

If you wish to appeal this decision, you must do so by **October 7th, 2009**, in the manner described below. A non-refundable filing fee will be calculated at the Planning Department's Land Development Coordination counter and is required at the time the Appeal is filed.

Albuquerque, NM

APPEAL TO THE CITY COUNCIL: Any person aggrieved with any determination of the Board of Appeals acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Board of Appeals decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for the filing of the Appeal.

NM 87103

www.ciabq.gov

The City Council may decline to hear the Appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies, and ordinances have not been properly followed, it shall hear the Appeal. Such an appeal, if heard, shall be opened within 60 days of the expiration of the appeal period.

Should you have any questions regarding this action, please call me at 924-3860.

Mick McMahan, Chair



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

JOSEPHINE JENSEN (GARLAN BRYAN, AGENT) request(s) a special exception to Section 14-16-2-15(B)(4): a CONDITIONAL USE to allow for 42 proposed apartment units that exceed the total 25% gross floor area requirement in an O-1 zone on all or a portion of Lot(s) 2A, Tract(s) 2A, INDIAN RIDGE zoned O-1, located at 11910 MENAUL BLVD NE (H-22)

Special Exception No:.....09ZHE-80148
Project No: Project# 1007786
Hearing Date: 06-16-09
Closing of Public Record: 06-16-09
Date of Decision: 06-30-09

STATEMENT OF FACTS: The applicant, Josephine Jensen, requests a conditional use to allow for 42 proposed apartment units that exceed the total 25% gross floor area requirement in an O-1 zone to use 100% of the floor area requirement to develop 42 proposed apartment units.

It is presumed that the zoning category of O-1 was intended for O-1 uses with modest exception for residential use, not to exceed 25%. The applicants' proposed development of vacant land seems reasonable. However, to grant this request for 100% would essentially disregard the Zoning Ordinance and the will of the City Council which ratified the zone.

This request is opposed by adjacent commercial property owners as well as the Enchanted Park Neighborhood Association. I agree with the opponents.

Based on all of the testimony and a review of the entire file, it is determined that there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this request does not comply with Section 14. 16. 4. 2. (C). 1., for the granting of a conditional use upon a finding that the proposed use will cause injury to the neighborhood, adjacent property or the community, and will be damaged by surrounding structures. For reasons stated above, this request is denied.

DECISION: Denied.

If you wish to appeal this decision, you may do so by 5:00 p.m., on July 15, 2009 in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street,

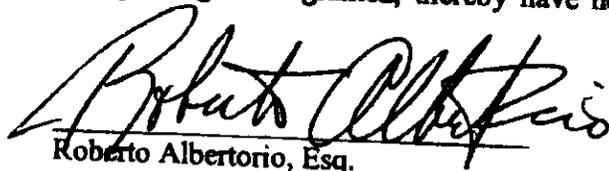
side of the lobby. Please present this letter of notification when filing an appeal. When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14.16.4.4.(B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.


Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File
Josephine Jensen, P.O. Box 05208, 87181
Robert Rayner, Garlan, Bryan Architect, 2402 San Mateo Blvd NE, #W-1, 87110
Jay Kinsman, 11920 Menaul Blvd, NE, 87112
Wayne Rowen, rowenplumbing@hotmail.com
Robert Trudo, EPNA, P.O. Box 11096, 87112-0096
Marcus Koch, 2403 San Mateo Blvd NE, #W-1, 87110
Tony Vallejos, 12306 Menaul NE, 87112
Camden & Jessica White, 12103 Towner Avenue NE, 87112
Bella & Jack McKenzie, 12105 Towner Avenue NE, 87112

ZONING

**Please refer to the Zoning Code for specifics of
The SU-1 PRD and the O-1 zones**

APPLICATION INFORMATION



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by DRB, EPC, LUCC, Planning Director or Staff
- ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 800 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional Agent (if any): DAC ENTERPRISES, INC PHONE: 505-280-9021
 ADDRESS: 1521 EDITH BLVD NE FAX: 505-297-4530
 CITY: ALBUQUERQUE STATE NM ZIP 87102-1611 E-MAIL: DAC INC 2001@aol.com

APPLICANT: JOE A ZARITTI CCIM PHONE: 505-980-1950
 ADDRESS: 8232 LOUISIANA BLVD NE, STE C FAX:
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: JOE@MCRNM.COM
 Proprietary interest in site: DEVELOPER/BUYER List all owners: JOSEPHINE JENSEN 505-275-1937

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 2A Block: Unit:
 Subdiv/Addn/TBKA: INDIAN RIDGE SUBDIVISION
 Existing Zoning: D-1 Proposed zoning: SU-1/PRD
 Zone Atlas page(s): H-22 UPC Code: 102205920520634222 MRGCD Map No

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_ etc.): 1005462 \$
1007786, 156 RC-40053, 15 SAC 40054

CASE INFORMATION:

Within city limits? Yes No Within 1000FT of a landfill? No Yes
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.73 ac
 LOCATION OF PROPERTY BY STREETS: On or Near: 11910 MENAUL BLVD NE
 Between: DEANNA ST NE and CHELVYWOOD PK NE

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team Date of review: 5/26/15

SIGNATURE Doug Crandall DATE 9/28/2015

(Print) DOUG CRANDALL, DAC ENTERPRISES, INC Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>15EPC</u>	<u>4U059</u>	<u>SPS</u>	<u>\$385.00</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$385.00</u>

Hearing date _____
 Planner signature / date [Signature] Project # 1007786

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

- | | | |
|--------------------------|-------------------------------------|---|
| S | Z | ZONING & PLANNING |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation |
| V | <input checked="" type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans) |
| P | <input type="checkbox"/> | Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations |
| D | <input type="checkbox"/> | Street Name Change (Local & Collector) |
| L | A | APPEAL / PROTEST of... |
| <input type="checkbox"/> | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ENTERPRISES INC. PHONE: 505-280-9021
 ADDRESS: 1521 EDITH BLVD NE STATE NM ZIP 87102-1611 E-MAIL: DACINC2001@AOL.COM FAX: 505-247-4530
 CITY: ALBUQUERQUE
 APPLICANT: JOE AZAR III CCM PHONE: 505-940-1950
 ADDRESS: 8232 LOUISIANA BLVD NE, Ste C FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: JOE@MCRNM.COM
 Proprietary interest in site: DEVELOPER List all owners: JOSEPHINE JENSEN 505-275-1937

DESCRIPTION OF REQUEST: ZONE MAP AMENDMENT-SU-1/PLANNED RESIDENTIAL DEVELOPMENT FOR 26 TOWNHOMES; AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 2A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: INDIAN RIDGE SUBDIVISION
 Existing Zoning: 0-1 Proposed zoning: SU-1/PRD-26 Townhomes RFGCD Map No. _____
 Zone Atlas page(s): 11-22 UPC Code: 102205920526634222

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1005162 & 1007786

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.73 AC

LOCATION OF PROPERTY BY STREETS: On or Near: 11910 MENAUL BLVD NE
 Between: DEANNA ST NE and CHELWOOD PK NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 5/26/15 (PA 15080)

SIGNATURE Doug Crandall DATE Sept 29, 2015

(Print Name) DOUG CRANDALL, DACENTERPRISES INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

KEPC . 40053
ISEPC . 40054

Action	S.F.	Fees
<u>A2M</u>	—	\$ <u>295.00</u>
<u>SBP</u>	—	\$ <u>385.00</u>
<u>ADU</u>	—	\$ <u>75.00</u>
<u>CMF</u>	—	\$ <u>50.00</u>
		\$ _____
		Total
		\$ <u>805.00</u>

Hearing date November 12, 2015

[Signature]
 Staff signature & Date 9-29-15

Project # 1007786

Revised: 11/2014

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION (EPC08)

- Application for zone map amendment including those submittal requirements (see below). *Annexation and establishment of zoning must be applied for simultaneously.*
- Petition for Annexation Form and necessary attachments
- Zone Atlas map with the entire property(ies) clearly outlined and indicated
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
- Letter describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
- Letter of authorization from the property owner if application is submitted by an agent
- Board of County Commissioners (BCC) Notice of Decision
- Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
- Sign Posting Agreement form
- Traffic Impact Study (TIS) form
- List any original and/or related file numbers on the cover application
EPC hearings are approximately 7 weeks after the filing deadline.

Your attendance is required.

SDP PHASE I - DRB CONCEPTUAL PLAN REVIEW (DRBPH1)

(Unadvertised)

SDP PHASE II - EPC FINAL REVIEW & APPROVAL (EPC14)

(Public Hearing)

SDP PHASE II - DRB FINAL SIGN-OFF (DRBPH2)

(Unadvertised)

- Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
- Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
- Zone Atlas map with the entire plan area clearly outlined and indicated
- Letter describing, explaining, and justifying the request
- Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for EPC public hearing only)
- Traffic Impact Study (TIS) form (for EPC public hearing only)
- Fee for EPC final approval only (see schedule)
- List any original and/or related file numbers on the cover application
Refer to the schedules for the dates, times and places of DRB and EPC hearings.

Your attendance is required.

AMENDMENT TO ZONE MAP - ESTABLISHMENT OF ZONING OR ZONE CHANGE (EPC05)

- Zone Atlas map with the entire property clearly outlined and indicated
- Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980.
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
- Sign Posting Agreement form
- Traffic Impact Study (TIS) form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
EPC hearings are approximately 7 weeks after the filing deadline.

Your attendance is required.

AMENDED TO SECTOR DEVELOPMENT MAP (EPC03)

AMENDMENT SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN (EPC04)

- Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
- Plan to be amended with materials to be changed noted and marked
- Zone Atlas map with the entire plan/amendment area clearly outlined
- Letter of authorization from the property owner if application is submitted by an agent (map change only)
- Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980 (Sector Plan map change only)
- Letter briefly describing, explaining, and justifying the request
- Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for sector plans only)
- Traffic Impact Study (TIS) form
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
EPC hearings are approximately 7 weeks after the filing deadline.

Your attendance is required.

AMENDMENT TO ZONING CODE DR SUBDIVISION REGULATORY TEXT (EPC07)

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
- Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
- Letter describing, explaining, and justifying the request
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
EPC hearings are approximately 7 weeks after the filing deadline.

Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL
DAC ENTERPRISES, INC. AGENT
Applicant name (print)
Doug Crandall SEP 29, 2015
Applicant signature & Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15EPC - 40053

Revised: June 2011
[Signature] 9-29-15
Staff signature & Date
Project # 1007786

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16)** Maximum Size: 24" x 36"
 - IP MASTER DEVELOPMENT PLAN (EPC11)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Sign Posting Agreement
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15)** Maximum Size: 24" x 36"
 - SITE DEVELOPMENT PLAN and/or WAIVER OF STANOAROS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.
(Folded to fit into an 8.5" by 14" pocket.) **20 copies**
 - Site Plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- NOTE:** For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:
- Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
 - Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
 - Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
 - Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
 - Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
 - Registered engineer or architect's stamp on the Site Development Plans
 - Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01)** Maximum Size: 24" x 36"
 - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
 - Site plans and related drawings reduced to 8.5" x 11" format (1 copy)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Traffic Impact Study (TIS) form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL
DAC ENTERPRISES, INC. AGENT
 Applicant name (print)
Doug Crandall Sept 25 2010
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 15EPC - 40054

Form revised November 2010

[Signature] 9-29-10
 Planner signature / date
 Project #: 1007786

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

<p><u>I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.</u></p> <p style="text-align: right; font-size: 1.2em;">  9/28/15 </p> <p style="text-align: center; font-size: 0.8em;">Applicant or Agent Signature / Date</p>

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'
[other scales, if approved by staff]			
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.

- 1. Location and typical dimensions, including handicapped spaces
- 2. Calculations: spaces required: 52 provided: 72

Handicapped spaces (included in required total) required: NA provided:
Motorcycle spaces (in addition to required total) required: NA provided:

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: provided:
- 2. Bikeways and other bicycle facilities, if applicable

- C. Public Transit

- 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions
- 6. Existing and proposed street widths, right-of-way widths and curve radii
- 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 8. Location of traffic signs and signals related to the functioning of the proposal
- 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

1. Scale - must be same as scale on sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
12. Verification of adequate sight distance
13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Building footprints
6. Location of Retaining walls

B. Grading Information

1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
3. Identify whether ponding is required
4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: DAC PLANNING & ZONING DATE OF REQUEST: 09/15/15 ZONE ATLAS PAGE(S): H-22

CURRENT:

ZONING O-1
PARCEL SIZE (AC/SQ. FT.) 1.73 AC

LEGAL DESCRIPTION:

LOT OR TRACT # TR 2-A BLOCK # _____
SUBDIVISION NAME INDIAN RIDGE SUBD

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From O-1 To S4-1/PRD
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:
SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 26
BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 9/18/15
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

9/18/15
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

September 3, 2015

Mr. Peter Nicholls, Chair
Environmental Planning Commission
City of Albuquerque
Albuquerque, NM

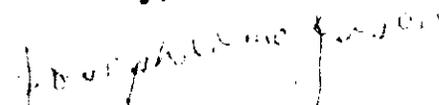
**Re: Zone Map Amendment - Lot 2A, Indian Ridge
Subdivision (H-22-Z)**

Dear Chairman Nicholls:

This letter certifies that the undersigned is the owner of the above referenced property and authorizes DAC Enterprises, Inc. to act on my behalf in seeking a zone map amendment and site development plan approval for the property.

If you have any questions, please feel free to contact me.

Sincerely,


Josephine Jensen
809 Galacia St. NE
Albuquerque, NM 87123
505 275-1937

September 1, 2015

Mr. Peter Nicholls, Chair
Environmental Planning Commission
City of Albuquerque
Albuquerque, NM

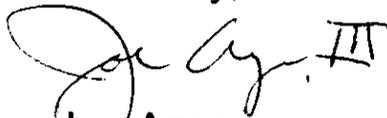
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If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Joe Azar, III". The signature is written in a cursive style with a large initial "J" and a distinct "III" at the end.

Joe Azar
980-1950

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

Doug C. Robb P.R.

PA# 15- 080

Date: 5-26-15

Time: 1:30pm

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: [] Kym Dicome [x] Other: Catalina Lehner
Transportation: [x] Gary Sandoval [] Other:
Code Enforcement: [x] Ben McIntosh [] Other:
Fire Marshall: [] Antonio Chinchilla [x] Other: Eric

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

[x] Zone Map Amendment [x] EPC Approval [] City Council Approval
[] Sector Dev. Plan Amendment [] EPC Approval [] City Council Approval
[] Site Dev. Plan for Subdivision [] EPC Approval [] DRB Approval [] Admin Approval
[x] Site Dev. Plan for Bldg. Permit [x] EPC Approval [] DRB Approval [] Admin Approval
[] Other

3. SUMMARY OF PRT DISCUSSION:

Current Zoning: O-1
Applicable Plans: Comp Plan - Estab. Urban Area, Menaul Blvd Enhanced Transit Corridor
Applicable Design Regulations:
Other Applicable Regulations:
Previously approved site plans/project #: 1005462-Sketch plat, 1007786 (2009) ZHE + BOA
Proposed Use/Zone: Conditional Use
Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other)
R270-1980 justification, epc process
Handouts Given: [] Zone Map Amendment Process [] R-270-1980 [] AA Process [] EPC Schedule [x] Fire overview

Further input needed: (Sketch Plat Review @ DRB, DRT, ZEO, ONC, pre-application facilitated meeting, other)

Additional Notes:

- subject site is ~1.8 acres and vacant
- fronts menaul Blvd NE
- applicant wants to develop townhomes
- site is zoned O-1
- 2009 - request for conditional use - granted, then withdrawn

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

Catalina Lehner 5-26-15
PRT CHAIR

[Signature] 5/26/15
APPLICANT OR AGENT

***Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.



- at BOA, so no appeal
- SU-1 for R-2 uses - possible category SU-1 for PRD (planned residential development)
- Fire - check hydrant spacing
 - every 300 feet
 - make sure you have depth for turn around
- zone change must be justified pursuant to R270-1980
- answer all sections
- site plan - may need 2 turn arounds (Fire)
- provide parking calculations
- be sure to meet requirements regarding buffering, landscape and setbacks
- height - 26' buildings
- preserve clear sight triangle
- maybe increase separation between apartments + single-family homes
- neighborhood notification required as part of EPC process
- market rate apartments
- similar to project near Fair Plaza
- may want to have a facilitated meeting to understand issues in advance.

September 22, 2015

Peter Nicholls, Chair
Environmental Planning Commission
City of Albuquerque
Albuquerque, New Mexico

Re: Zone Map Amendment and Site Development Plan for Subdivision - Lot 2A, Indian Ridge Subdivision (Zone Atlas Page H-22-Z)

Dear Chair and Commissioners:

This is a request for a zone map amendment and approval of a Site Development Plan for Subdivision. Applicant proposes SU-1/Planned Residential Development to erect 26 townhomes with 72 parking spaces on approximately 1.8 acres at the site referenced above, for a density of approximately 15 dwelling units per acre. The property, which consists of one parcel, is currently zoned O-1. DAC Enterprises, Inc. has been retained by the property owner, Ms. Josephine Jensen to act as her agent for this request.

The property directly across the street is zoned C-1, as is the abutting property on the east of this parcel. The western property line abuts R-3 zoning and there are four R-1 lots abutting the southern boundary of Lot 2A.

Summary of Request & Zone Change Justification

A site development plan is required by the *Comprehensive City Zoning Code (Zoning Code)* for an SU-1 zone in accordance with Section 14-16-2-22(A)6). A site development plan for building permit has been submitted in conjunction with this zone map amendment request.

The purpose of the SU-1 zone category, Section 14-16-2-22 of the *Zoning Code*, is to provide a suitable site for any use that may be special because of infrequent occurrence, effect on surrounding property, safety, hazard or other reasons and, for which the appropriateness of the use to a specific location depends on the character of the site design.

In 2009 the *Zoning Code* allowed an O-1 zone to be developed 100% residential as a conditional use. A previous applicant applied for and was

granted a conditional use to develop the lot for apartments. There were neighborhood concerns regarding density and the approval was appealed. The applicant withdrew the request prior to the Board of Appeals hearing.

The *Code* has since been amended to restrict dwelling units to no more 60% of the gross floor area on a lot as a conditional use. Dwelling units consisting of no more than 25% of the gross floor area on an O-1 zoned lot is still a permissive use.

Applicant is requesting 26 units, consisting of two and three bedroom townhouses. The property will have one entrance along Menaul Boulevard at Figueroa NE. This will allow full access to the site by taking advantage of the median intersection at this point.

There will be a landscaped strip and serpentine wall on Menaul. All interior landscaping and open space will exceed the requirement for multi-family uses. Four R-1 lots abut the property on the south side and those lots shall be buffered with additional screening for privacy.

Each townhouse will be two stories with single story features at the the vehicular lane facades, then step up to a two story facade. Three bedroom units will be located along the driveway entrance also present a single story facade.

Although there is no neighborhood association for this site, the adjacent neighborhood association, Enchanted Park, has been notified. In addition each of the R-1 lots on Towner NE have been individually notified.

This site is not located within the boundaries of any sector development plan. Justification for this approval is based upon Section D (3) of Resolution 270-1980 in that the *Albuquerque/Bernalillo County Comprehensive Plan (Comprehensive Plan)* is better served by the zone change.

Resolution 270-1980

- A. A proposed zone change must be found to be consistent with the health, safety, morals and general welfare of the City.**

The *Comprehensive Plan* adopts standards that are incorporated into the zoning regulations found in the *Zoning Code*. This zone map amendment will allow townhouses governed by a site development plan. As will be demonstrated in Sections C. & D. of this request, the allowed uses and proposed amendment will not conflict with adopted relevant plans and policies and will further appropriate land use goals and and policies of the City. As such, applicant believes that this proposed zone map amendment is consistent with the health, safety, morals and general welfare of the city of Albuquerque.

B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for change. Applicant will demonstrate that stability of land use will not be compromised by this request for SU-1/PRD, and this map amendment will be consistent with the adopted plans and policies of the *Comprehensive Plan*. Approval of this request will allow a quality townhouse development on a vacant lot. The development will transition the R-3 high density zoning on the east and the C-1 neighborhood commercial on the west. It will also transition to the R-1 zone to the south. There are only four R-1 lots that abut this property, all of the others abut either C-1 or R-3. This lower density townhouse development will provide for an attractive buffer along Menaul to the R-1 lots, as well as residential uses that will stabilize the neighborhood by providing certainty of use instead of a vacant lot or a possible large office development or other O-1 permissive use. In addition, the Environmental Planning Commission (EPC) has design authority to assure an attractive facade along Menaul Boulevard as well as to protect the four R-1 lots abutting to the south, which cannot be accomplished by the O-1 which is not site plan regulated.

The O-1 zone is designed to provide “sites suitable for office, institutional service and dwelling uses.” This is a request for dwelling units which are allowed permissively up to 25% of the gross floor area of the site. No permissive uses in the O-1 zone require site development plan approval.

The request for SU-1 zone will require site plan approval by the EPC to assure that the property is developed in a manner that accounts for the character of the neighborhood, traffic flow within the site, an attractive streetscape and protection of the four abutting R-1 zoned houses.

Based on the fact that the O-1 zone specifically allows dwelling units and that a site development plan for subdivision for 26 townhomes will be reviewed and discussed at a public hearing which allows input from the neighborhood and all abutting and adjacent property owners, applicant believes that this map amendment maintains stability of land use and zoning.

C. A proposed zone change shall not be in significant conflict with the adopted elements of the *Comprehensive Plan* or other City master plans and amendments. The site is located in the Established Urban Area of the *Comprehensive Plan*. The Goal of this area is “*to create a quality urban development which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles while creating a visually pleasing built environment.*” This request will allow a quality urban development of low density townhomes with a site plan for subdivision regulated by the EPC to ensure a visually pleasing environment. The surrounding properties allow high density (R-3) residential uses, single family homes (R-1) and C-1, neighborhood commercial uses. In fact, all properties on the north side of Menaul between Juan Tabo and Landman are zoned C-1, which generally allows all the office and institutional uses of the O-1 zone. This request will allow a lower density multi-family residential use that does not currently exist in this area. As such, the overarching goal of the Established and Developing Areas of the *Comprehensive Plan* does not conflict with this request and the requested use and the attendant site development plan will further the Goal regarding development within the Established Urban Area.

Policy II.B.5.a of the Developing and Established Urban Area of the *Comprehensive Plan* states: “*The Developing Urban and Established areas shall allow a full range of urban land uses, resulting in a gross density of up to five dwelling units per acre.*”

This request will add a market based townhouse development controlled by a site development plan. There is substantial neighborhood commercial zoning in the area that would allow office and institutional uses if there was a market for them. As of July 2015, according to *Albuquerque Business First*, there was a 22.5% vacancy for building designed as office space within the Albuquerque city limits. Also, according to *Business First*, the vacancy rate in

the last quarter of 2013 was 18.77%. Office vacancy has increased more than 18% since 2013. This infill development of an existing lot and will add to the full range of urban land uses by creating market value townhomes. As such, this request will further the goals of the *Comprehensive Plan* and not conflict with Policy a.

Policy II.B.5.d: *“The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural and recreational concern.”*

Approval of this zone map amendment will allow a townhouse development that is site plan controlled. This is an area served with mature infrastructure and the Menaul median has recently been completed. The landscaping for this use will provide for a pleasing streetscape that compliments the median. The parcel is served by a transit route and is located approximately 6 blocks from Juan Tabo Boulevard, a major north/south thoroughfare providing community related uses such as restaurants, retail, services and a public library. All parking be will on site and the entrance on Menaul is the only access to the site. There is no reasonable parking alternative in the area, thus assuring the abutting residential neighborhoods that there will be no increase in traffic or overflow parking in front of their homes. Because the use will be site plan controlled and adds a residential density that does not currently exist in this area, this request will facilitate the *Comprehensive Plan* does not conflict with Policy d.

Policy II.B.5.e.: *“New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services where the integrity of existing neighborhoods can be ensured.”*

This vacant parcel is served by all standard urban facilities and services, including bus route #8, a regularly scheduled route with local all day service and connection to Rapid Ride. The parcel has never been developed and this infill project will add quality, market based, low density multi-family housing.

The integrity of the existing neighborhood shall be assured through the site development plan process. As such, this request furthers the

goals of the *Comprehensive Plan* and does not conflict with Policy e.

Policy II.B.5.h: “*Higher density housing is most appropriate in the following situations:*

- *In designated Activity Centers.*
- *In areas with excellent access to the major street network.*
- *In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing land uses and where adequate infrastructure is or will be available.*
- *In areas now predominantly zoned single family, only where it comprises a complete block face and faces onto similar or higher density development, up to 10 dwelling units per acre.*
- *In areas where a transition is needed between single-family homes and much more intense development: densities will vary up to 30 dwelling units per net acre according to the intensity of development in adjacent areas.”*

The site is not located in a designated Activity Center. It does have excellent access to the major street network as it is located on a major transit route and situated between two major north south thoroughfares, Tramway Boulevard and Juan Tabo. There is already a mixed pattern of development in the area including C-1 to the north and east and R-3 to the west. The south is predominantly zoned R-1, though Menaul Boulevard between Juan Tabo and Tramway is zoned C-1, R-2, O-1 and R-3. The R-3 zone to the west is a much more intense zone, but this use does not directly transition from the R-3 to the R-1 zone.

Taken as a whole, this request will further several points of this policy of the *Comprehensive Plan* and will not conflict with policy h.

This is an infill project in an older neighborhood The lot that has never been developed and has no site improvements except a 6’ wide sidewalk. Although this is not a redevelopment, it does strengthen an older neighborhood by rehabilitating a vacant lot. Most of the area was developed under less strict zoning requirements and this request shall provide for a modern project regulated by current

standards for such amenities as landscaping, building design, lighting, open space and parking. It will also be subject to further design standards as determined by the EPC. Because the site will be governed by a site development plan if this request is approved, the request will facilitate the *Comprehensive Plan* and not conflict with Policy o.

The goal of Policy II.B.5.p is to assure that “[c]ost effective redevelopment techniques shall be developed and utilized.” Further, Technique 2 of this Policy “[*emphasizes*] private investment as a primary means to achieve redevelopment objectives.” This is a totally private investment funded entirely by the developer. As such, this zone map amendment furthers the *Comprehensive Plan* and does not conflict with Policy p.

Policy II.D.4.c: “*In order to add transit ridership where it will not destabilize adjacent neighborhoods, additional dwelling units are encouraged close to Major Transit and Enhanced Transit streets.*” Menaul Boulevard is an Enhanced Transit Corridor. It provides regularly scheduled local service and there is a bus stop approximately 60’ west of the proposed development. The adjacent single family neighborhoods are not located along Menaul Boulevard. Most development on Menaul in this general vicinity is zoned C-1 or R-3. This request is for substantially less density than the R-3 zoning and the residential nature of the development will allow those residents to take advantage of the neighborhood commercial uses. As such this request does not destabilize adjacent neighborhoods while adding additional dwelling units close to an Enhanced Transit street. Applicant believes that this request furthers the transportation goals of the *Comprehensive Plan* and does not conflict with Policy D.4.c.

Economic Development Policy II.C.6.f states: “*The City and County should remove obstacles to sound growth management and economic development throughout the community.*” This lot has been zoned O-1 since it was first mapped. It has never been developed, likely because the C-1 zoning which permeates the area allows most all of O-1 uses and also allows R-3 residential development as a permissive use. The only attempt to ever develop this lot was for multi-family uses. There is a strong case to be made that the current O-1 zoning does not provide a reasonable

opportunity for development and is an obstacle to sound growth management. As such, this request does not conflict with Policy C.6.f.

Policy II.C.8.c states: “*Development’s negative effects upon individuals and neighborhoods should be minimized.*” This request is for lower density townhouses regulated through a site development plan for subdivision approved by the EPC at a public hearing. The development complies with or exceeds current City standards for landscaping, parking and open space. The planning commission will review the design standards proposed and the commission has the authority to adopt site plan regulations that will assure compatibility with the adjoining properties as well as to provide a pleasing streetscape for the development. As such, applicant believes that this request furthers the goals of the *Comprehensive Plan* and does not conflict with policy C.8.c.

Policy II.D.4.g: “*Pedestrian opportunities shall be promoted into development to create safe and pleasant non-motorized travel conditions.*” The 6’ wide sidewalk on the south side of Menaul Boulevard leads to a bus stop directly west of the private drive of the Menaul Village condominiums, approximately 60’ from this request. This project has a 4’ wide sidewalk on each side of the driveway allowing unimpeded pedestrian access to Menaul. Internally, sidewalks connect each townhouse with its neighbor. The design also allows full pedestrian access to the refuse enclosures on each end of the development.

D. The applicant must demonstrate that the existing zoning is inappropriate because: 1) there was an error when the existing zone map patten was created, or 2) Changed neighborhood or community conditions justify the change or, 3) a different use category is more advantageous to the community, as articulated in the Comprehensive Plan and other City master plans, even though 1 and 2 above do not apply. This property is located in the Developing & Established Urban Area of the *Comprehensive Plan*. Based upon the three criteria, applicant offers the following:

1.) Applicant makes no argument that there is an error regarding the existing map pattern.

2.) There are no significant changed neighborhood conditions to justify this request and applicant makes no such argument.

3.) This request facilitates the policies of the *Comprehensive Plan* regarding private development, a full range of allowed uses serving an older area, a location with access to public and private transportation, as well as the infill development of an existing, long vacant, lot. Also the proposed use will be governed by a site development plan approved by the EPC with input from adjoining neighbors and neighborhoods. For these reasons and the policies cited in Section C., this use will be more advantageous to the community as articulated by the *Comprehensive Plan*.

E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to the adjacent property, the neighborhood or the community.

Although the SU-1/PRD may allow certain O-1 and C-1 permissive uses, the only use associated with this request is for 26 townhouses. Any change in use would require a new public hearing and a new site development plan. The use of this property for townhouses will be compatible or complimentary with surrounding zone categories and further safeguards are assured through the site development plan process and will not be harmful to the adjacent property, the neighborhood or the community.

F. A proposed zone change which, to be utilized through land development requires major and unplanned capital expenditure by the City may be; 1) denied due to lack of capital funds, or 2) granted with the implicit understanding that the City is not bound to provide the capital improvements on any special schedule. This proposed zone change is located within the city limits and all infrastructure including roads, water, and sewer are all established. As such, applicant neither requests, nor requires capital expenditures by the City to develop this vacant parcel.

G. The cost of land and other economic considerations pertaining to the applicant shall not be a determining factor for a change of zone.

Applicant asks for no specific consideration regarding any economic issue with this zone change request. The purpose of this request is to allow a desirable infill residential development.

H. Location on a collector or major street is not in itself sufficient justification of apartment, office or commercial zoning. The location of this property on Menaul Boulevard is not used as justification for this request. Applicant believes that the justification for this zone map amendment is supported by relevant policies of the *Comprehensive Plan* that the location of the site on a major street is only a factor as it may apply to those policies.

I. A zone change request which would give a zone different from surrounding zones to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when; (1) the change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area plan, or (2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for uses allowed in any adjacent zone due to topography, traffic for special adverse land uses nearby; or because the nature of structures already on the premises make the site unsuitable for the uses allowed in any adjacent zone." Applicant believes that this request furthers part (2) because it will act as a transition between the high density R-3 development to the west and the C-1 to the east.

Applicant does not believe that a request for either C-1 or R-3 is justified because both zones allow much high density than this request. In addition to transitioning between the eastern and western lots, this site transitions from C-1 to the north to the R-1 to the south. Although the O-1 may also transition, this use will be site plan regulated to assure adequate buffering, screening, parking and landscaping to protect the four adjoining R-1 lots. Moreover, the O-1 zone allows some uses, including churches, community residential programs, park and ride facilities, parking lots and multi-story buildings much higher than shown in this request, that would not be compatible with the R-1 uses and would not be regulated except through standard *Zoning Code* regulations. As such, applicant believes that this request is provide s a more acceptable transition from Menaul Boulevard to the R-1 zoning on the south.

Further, applicant is amending the entire site as SU-1/PRD with site plan controls, thus facilitating the realization of the *Comprehensive Plan* through the goals and policies enumerated and justified in Section C.

J. A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called “strip zoning.” Strip commercial zoning will only be approved where; (1) the change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area plan, and (2) the area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for uses allowed in any adjacent zone due to traffic or special adverse land uses nearby. Applicant does not believe that this is a strip zone as envisioned in this resolution. Applicant does contend, however, that the arguments noted in Section I. above are applicable for this section as well, and that this map amendment will facilitate the realization of the *Comprehensive Plan*.

Conclusions

Applicant believes that this request is well supported by several policies and techniques of the *Comprehensive Plan*. A positive consideration of this request is appreciated.

A positive consideration of this request is appreciated. I look forward to addressing the commission to answer any other questions that may arise.

Regards,

Doug Crandall

Doug Crandall
Principal, DAC Enterprises, Inc.

CenturyLink Webmail

rr0505@q.com

± Font Size -

RE: Proposed Townhouse Units

From : RONALD SARTAIN <ronsartain@msn.com>

Fri, Oct 02, 2015 02:16 PM

Subject : RE: Proposed Townhouse Units

To : rr0505@Q.com

Mr. Romero,

It was a pleasure to speak with you on the phone concerning the proposed construction of townhouses at 11910 Menaul, NE. I am in favor of the construction as proposed and I would be pleased to have a higher wall between the townhouses and the homes on the south side of said property. Thanks for your consideration. You have my support in your intended construction. I have lived in my home at the southwest corner of your intended construction, (2313 Satum Pl. NE) since August 1, 1971.

Sincerely,
Thomas

R. Sartain

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS W 910 MENAUL NE

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 1 HYDRANT

INSTANTANEOUS FLOW REQUIRED 1045 GPM

SQUARE FOOTAGE - LARGEST BUILDING _____

TYPE CONSTRUCTION _____

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 1 HYDRANT

DATE: 10-26-15

FIRE DEPARTMENT INSPECTOR: [Signature] 91064576 10-26-15

RECEIVED BY: [Signature] TELEPHONE: X 505-243-8211

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI. UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

TO: All FOLDER HOME ACTIONS SEND Up Unread vs Print
Respond Actions Junk E-mail Options Find

From: Biazar, Shahab [sbiazar@cabq.gov] Sent: Tue 9/22/2015 11:38 AM
To: Michel, Racquel M.; Roger Cinelli
Cc:
Subject: RE: 11,910 Menaul Blvd. N.E.

I concur.

Thanks

Sent from my Verizon 4G LTE Smartphone

— Roger Cinelli wrote —

092215

Mr. Biazar and Ms Michel,

Please find the preliminary D & G plan and Site Plan for a 26 unit townhouse development on 11,910 Menaul Blvd. NE. As per our discussion today, pedestrian walkway steps and steps at the unit entries will be provided; this is acceptable since the units are not handicap accessible.

As discussed, should any units be required to be accessible, the accessible route and driveways shall comply with all ADA requirements.

Thank you for confirming this information via email. Your response shall serve as the formal response from transportation development and hydrology

Please call if you have any questions,

Thank you,

Roger Cinelli
Roger Cinelli & Associates Inc.
2418 Manuel Torres Ln NW
Albuquerque, New Mexico 87107
Cell 505-243-8211
Fax 505-243-8196

APPROVAL FOR STEPS IN PEDESTRIAN WALKWAYS AT NON ACCESSIBLE UNITS – SHAHAB BIAZAR AND RACQUEL MICHEL

REAL ESTATE INC.

Albuquerque office vacancy rate sees slight improvement

Oct 21, 2015, 7:20am MDT



Stephanie Guzman
Reporter
Albuquerque Business First

Share ▾



Albuquerque's office vacancy rate declined slightly in the third quarter, the first... more

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Albuquerque's office market received some good news – the vacancy rate declined slightly in the third quarter, the first decline in vacancy rates since the last quarter of 2013.

The vacancy rate decreased from 22.5 percent in Q2 of this year to 22.2 percent in Q3. That's according to CBRE Albuquerque's latest quarterly report, written by senior research analyst Atsuko Poelman.

Gross leasing activity in the market matched the average for the last five years.

The amount of space vacated during the third quarter was 23 percent less than the five-year average, another good sign. While no large companies entered the market in the third quarter, nobody left either.

The report shows the four largest leasing activities in the third quarter were relocations in the local market. Companies that move continue to choose high-quality Class A office spaces. The report showed that Class A vacancy rate decreased from 18.4 percent in Q2 to 17.6 percent, and rents for those spaces climbed slightly.

"This relocation to quality is at the expense of the Class B and Class C buildings which experienced an increase in vacancy rates," the report said.

This trend will continue as more companies move to upgrade amenities for their employees. However, with relocations come downsizing to more efficient spaces, which will also continue to impact the market's overall vacancy rates.

sguzman@bizjournals.com | Commercial/residential real estate, retail, restaurants

SUGGESTED READING

DAVID ROYBAL

What about those high-end Nob Hill lofts?

ADDITIONAL STAFF INFORMATION

OFFICE MARKET OUTLOOK

Q1 2015

Accelerating success.

Despite Q1 Slowdown, Office Market Still on Pace for Strong 2015

Andrea Cross National Office Research Manager | USA

Key Takeaways

- U.S. economic and job growth slowed in Q1 2015 due to poor weather conditions, weakness in the energy industry, and reduced exports. However, we believe that, similar to 2014, growth will strengthen during the rest of 2015, sustaining the office market's recovery.
- The North American vacancy rate was essentially flat, at 12.9% in Q1 2015, as the Canadian vacancy rate was up by a modest 19 basis points (bps) to 8.5%, while the vacancy rate in the much larger U.S. market was unchanged at 13.2%.
- North American office absorption slowed to 10.2 million square feet (MSF) in Q1 2015, with 10.3 MSF of positive absorption in the U.S. and slightly negative absorption in Canada. However, the real story this quarter was the virtual halt in U.S. CBD absorption, while nearly 10 MSF of absorption registered in the suburban market, in which the recovery has been gaining traction after lagging the CBD market coming out of the recession.
- The amount of office space under construction ticked down slightly in Q1 2015, as construction activity decreased in the U.S. for only the second time during the recovery. The 16.0 MSF of space that came online in the U.S. during the quarter was the largest amount since late 2009.
- Construction activity remains highly concentrated in a small number of markets, primarily those that have been leading the national economic and office market recoveries. The top ten markets accounted for 66.2 MSF, or 58%, of the 113.8 MSF of office space under way in the U.S. and Canada in Q1 2015, more than double these markets' 27% share of existing office inventory.
- Investor demand for U.S. and Canadian office properties from both domestic and foreign buyers is expected to remain robust through 2015. Relatively strong, improving market fundamentals, coupled with attractive yields compared with other investments should drive transaction volume in both gateway cities as well as the resurging secondary and suburban markets.

Market Indicators

Relative to prior period	U.S. Q1 2015	U.S. Q2 2015*	CANADA Q1 2015	CANADA Q2 2015*
VACANCY	↔	↓	↑	↔
NET ABSORPTION	+	+	-	+
CONSTRUCTION	↓	↔	↓	↔
RENTAL RATE**	↑	↑	↑	↓

Note: Construction is the change in Under Construction.

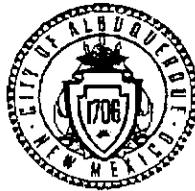
*Projected

**Rental rates for current quarter are for CBD. Rent forecast is for metrowide rents.

Summary Statistics, Q1 2015

North America Office Market	U.S.	CANADA	NORTH AMERICA
Vacancy Rate	13.2%	8.5%	12.9%
Change From Q4 2014 (Basis Points)	0.1%	0.2%	1.0%
Absorption (Million Square Feet)	10.3	0.0	10.2
New Construction (Million Square Feet)	16.0	1.0	17.0
Under Construction (Million Square Feet)	95.2	18.5	113.8
ASKING RENTS (USD/CAD) PER SQUARE FOOT PER YEAR			
Downtown Class A	\$46.77	\$50.65	
Change From Q4 2014	1.9%	1.8%	
Suburban Class A	\$27.58	\$32.29	
Change From Q4 2014	1.1%	-2.0%	

NOTIFICATION &
NEIGHBORHOOD INFORMATION



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

August 31, 2015

Robert E. Romero
 DAC Land Use Services
 1521 Edith Boulevard NE
 Phone: 505-242-3232/Fax: 505-247-4530

Dear Robert:

Thank you for your inquiry of August 31, 2015 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(EPC SUBMITTAL) – LOT 2A, INDIAN RIDGE SUBDIVISION AT 11910 MENAUL BOULEVARD NE AND DEANNA STREET NE AND CHELWOOD PARK BOULEVARD NE** zone map **H-22**.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this submittal and the contact names are as follows:

ENCHANTED PARK N.A. "R"

Gary Beyer, 11620 Morenci Ave. NE/87112 293-2056 (h)
 Ed Plunkett, 2408 Hiawatha Dr. NE/87112 292-5724 (h)

DISTRICT 8 COALITION OF N.A.'S

Don Couchman, 6441 Concordia NE/87111 821-2421 (h) 269-8335 (c)
 Janet Butts, 9200 Galaxia Way NE/87111 821-3698 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
 Neighborhood Liaison
 OFFICE OF NEIGHBORHOOD COORDINATION
 Planning Department

**LETTERS MUST BE SENT TO BOTH
 CONTACTS OF EACH
 NEIGHBORHOOD AND/OR
 HOMEOWNER ASSOCIATION.**

September 25, 2015

CERTIFIED MAIL
ENCHANTED PARK NEIGHBORHOOD ASSOCIATION
Gary Beyer
11620 Morenci Ave., NE
Albuquerque, NM 87112

**Re: ZONE MAP AMENDMENT & SITE DEVELOPMENT PLAN – Tract 2-A,
Indian Ridge Subdivision, 11910 Menaul Blvd NE**

Dear Mr. Beyer:

DAC Zoning and Land Use Services has been authorized by Ms. Josephine Jensen to represent a request for a zone map amendment for SU-1/Planned Residential Development to erect 26 townhomes, and site development plan for building permit approval on 1.73 acres at the site referenced above. The property which consists of one parcel, is currently zoned O-1.

This request will be filed by the October 1, 2015 deadline for a hearing before the Environmental Planning Commission, City of Albuquerque on November 12, 2015. Enclosed for your review is a copy of the proposed site development plan and a copy of Zone Map H-22 to help you identify the property.

We can meet with you and/or your association at your convenience to discuss the project in detail and answer any questions you may have. Please call me at 505-842-0484 at your convenience.

Sincerely,



Robert E. Romero
Associate

Cc: Ed Plunkett, 2408 Hiawatha Dr., NE, Albuquerque, NM 87112

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Total Postage & Fees	\$6.25

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Sent To **GARY BEYER** 09/25/2015
 Street, Apt. No., or PO Box No. **11620 MORENCLAVE NE**
 City, State, ZIP+4 **ALBUQ, NM 87112**

PS Form 3800, August 2006 See Reverse for Instructions

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Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.25

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Sent To **ED PLUNKETT** 09/25/2015
 Street, Apt. No., or PO Box No. **2408 HIAWATHA DR. NE**
 City, State, ZIP+4 **ALBUQ, NM 87112**

PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.25

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2015

Sent To **DON COUCHMAN** 09/25/2015
 Street, Apt. No., or PO Box No. **6441 CONCORDIA NE**
 City, State, ZIP+4 **ALBUQ, NM 87111**

PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.25

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Postmark Here
25
2015

Sent To **JANET BUTTS** 09/25/2015
 Street, Apt. No., or PO Box No. **9200 GALAXIA WAY NE**
 City, State, ZIP+4 **ALBUQ, NM 87111**

PS Form 3800, August 2006 See Reverse for Instructions

GONZALES VICTORIA K
2301 SATURN PL NE
ALBUQUERQUE NM 87112-3432

YELLOWHAIR JULIUS E & VALENCIA R
2305 SATURN PL NE
ALBUQUERQUE NM 87112

BRISCOE BARBARA JOYCE
2309 SATURN PL NE
ALBUQUERQUE NM 87112-3432

SARTAIN THOMAS R
2313 SATURN PL NE
ALBUQUERQUE NM 87112-3432

LOVE CHERYL A
12101 TOWNER AVE NE
ALBUQUERQUE NM 87112-3457

WHITE CAMDEN P & JESSICA A
12103 TOWNER AVE NE
ALBUQUERQUE NM 87112

MCKENZIE JOHN E ETUX
12105 TOWNER AVE NE
ALBUQUERQUE NM 87112-3457

AKINS JERRY D
12109 TOWNER AVE NE
ALBUQUERQUE NM 87112-3457

FRIEDLANDER MARIA C
12113 TOWNER AVE NE
ALBUQUERQUE NM 87112-3457

TORRES OBED
1015 DIAMOND BACK DR NE
ALBUQUERQUE NM 87113

TREZZA STEVEN M & SHERRIE C
12121 TOWNER NE
ALBUQUERQUE NM 87112

PURVIS JAMES W & ANDREEA C ANDREI
12201 TOWNER AVE NE
ALBUQUERQUE NM 87112-3455

FLYNN ROBERT B
12203 TOWNER AVE NE
ALBUQUERQUE NM 87112-3455

MONSKA CARL D & LINDA R
12205 TOWNER AVE NE
ALBUQUERQUE NM 87112-3455

HEDRICK SUSAN A & PETER K
12209 TOWNER AVE NE
ALBUQUERQUE NM 87112-3455

NOTE:

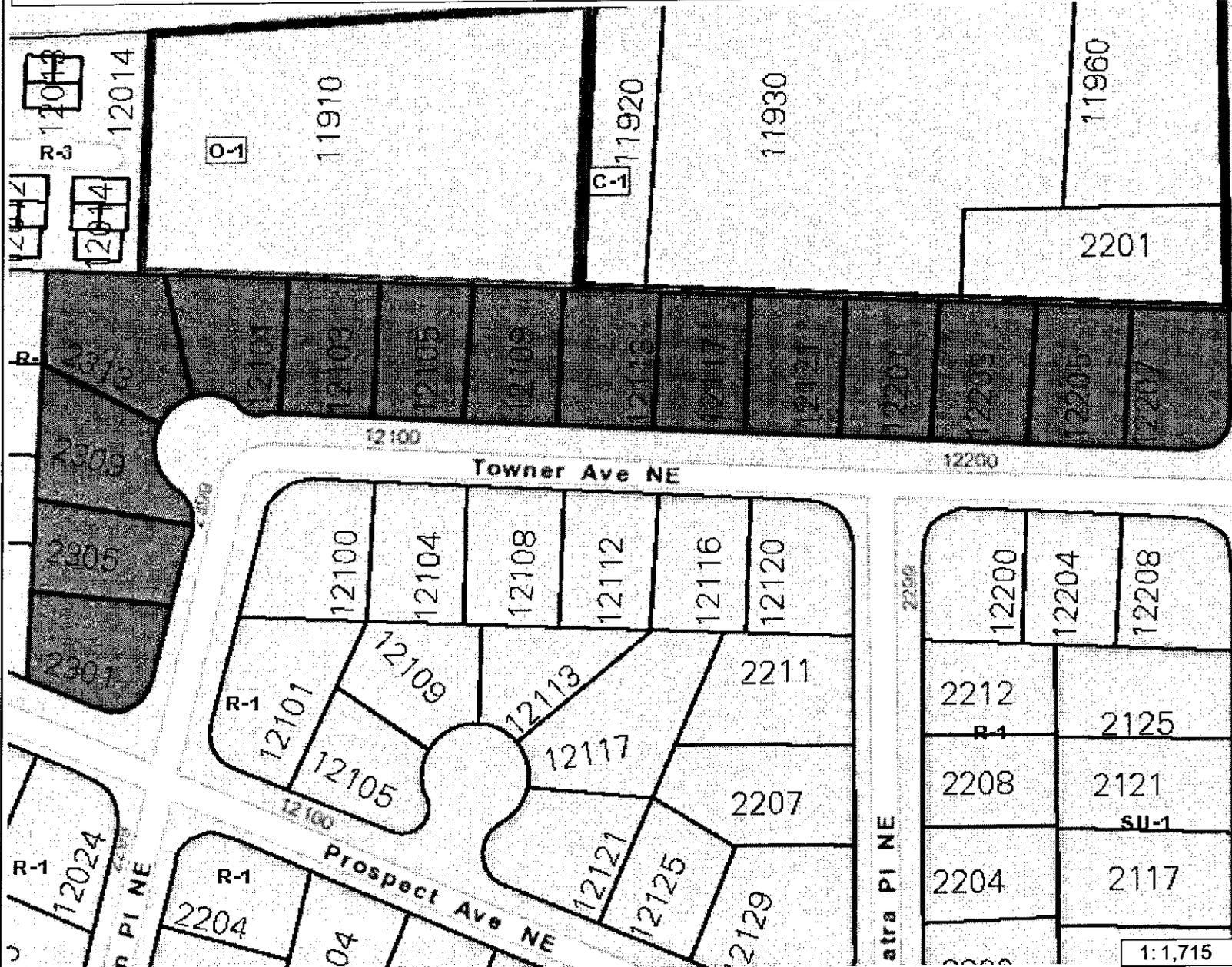
9/28/15

LETTERS SENT TO OWNERS OF LISTED PROPERTY.

(SEE SAMPLE & MAP)



City of Albuquerque



Legend

- Bernalillo County Parcels
- City Parcels
- Zoning**
- <all other values>
- RESIDENTIAL
- COMMERCIAL
- OFFICE
- INDUSTRIAL / WHOLESALE / MA
- INSTITUTIONAL / GOVERNMENT
- UTILITIES / TRANSPORTATION
- OPEN SPACE / RECREATION / A
- RESIDENTIAL / AGRICULTURAL
- NOT CLASSIFIED
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes 9/28/15
 LETTERS ALSO
 SENT TO PROPERTIES
 SHADED.
 (see sample)

286 0 143 286 Feet

DAC Enterprises, Inc.
Zoning & Land Use Services

September 28, 2015

Victoria K. Gonzales
2301 Saturn PI NE
Albuquerque, NM 87112-3432

SAMPLE COPY

Re: ZONE MAP AMENDMENT & SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
ON TRACT 2-A, INDIAN RIDGE SUBDIVISION, 11910 MENAUL BLVD NE

Dear Ms. Gonzales:

DAC Zoning & Land Use Services has been authorized by Ms. Josephine Jensen, owner of the property referenced above to represent a request for a zone map amendment for SU-1/Planned Residential Development to erect 26 townhouses; and a site development plan for building permit. The developer for this proposed development is Mr. Joe Azar.

The 26 townhouse units will consist of two and three bedroom houses. The property will have one entrance along Menaul Boulevard. Each townhouse will have a garage and will have at least two parking spaces which will be contained within the development.

Each townhouse will be two stories with features to complement the existing neighborhood. All landscaping will exceed the requirement for a townhouse development. The four R-1 lots abutting the property to the south will be buffered with additional screening for privacy.

This request will be filed by the October 1, 2015 deadline for a hearing before the Environmental Planning Commission, City of Albuquerque on November 12, 2015. Enclosed for your review is a copy of the preliminary site plan and elevations. Also included is a copy of zone map H-22.

We can meet with you at your convenience to discuss the development and answer any questions you may have. Please call me at 505-842-0484.

Sincerely,

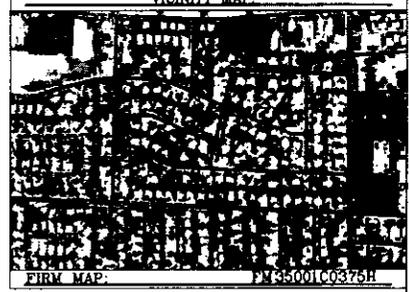
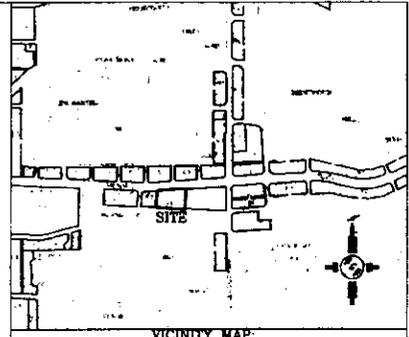
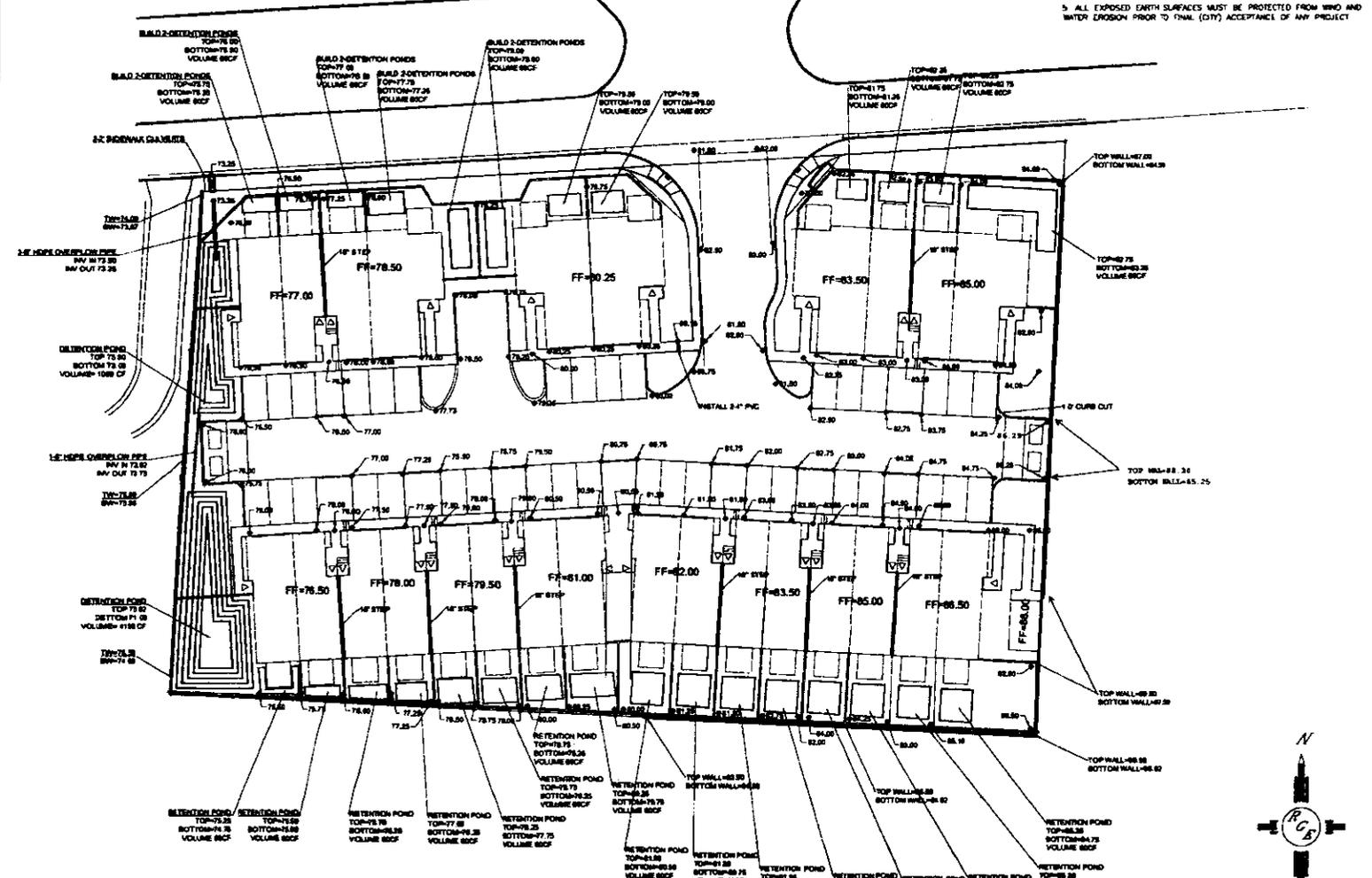


Robert E. Romero, Associate

DRAINAGE SUMMARY
 THIS SITE IS AN SWILL DEVELOPMENT WITHIN A FELTY DEVELOPED WATERSHED. THE SITE CURRENTLY DISCHARGES AS SEWER PLUM ACCROSS THE ADJACENT TRACT. THE SITE HAS NEAR UPRAMP FLOOR. THE DEVELOPED SITE DRAINAGE CONCEPT WILL PROVIDE A FLOW RATE SLIGHTLY GREATER THAN EXISTING. THE DISCHARGE RATE WILL BE REDUCED TO AN ALLOWED PEAK RATE UTILIZING DETENTION TANKS AND CONTROLLED OUTLET TO REBRILL VIA 3-4" OUTLET PIPES. SHALLOW CHUTE TRENCH WALLS ARE UTILIZED TO REDUCE THE PEAK AND TOTAL FLOW LEAVING THE SITE. THE FIRST PLUMB RECALIBRATION OF 1800 CUBIC FEET WILL BE RETAINED ON SITE.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMITS PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING ROADS/DRY-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



FIRM MAP: 218-5001C0375H

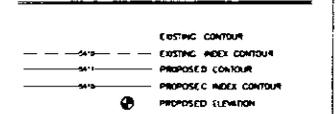
LEGAL DESCRIPTION:

TRACT 2-A BEAVER RIDGE SUBDIVISION

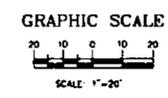
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FINISH ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, DAVID P. ACOSTA PLS 21087.
3. THE PROFESSIONAL ENGINEER HAS CONDUCTED VISUAL INSPECTION AND ANY FUTURE SLOPE OR TRENCHING MUST BE APPROVED.
4. Designated flood plain area cannot be disturbed during or after construction.

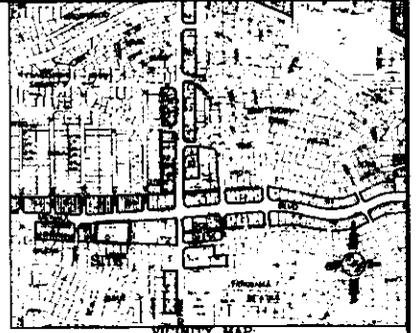
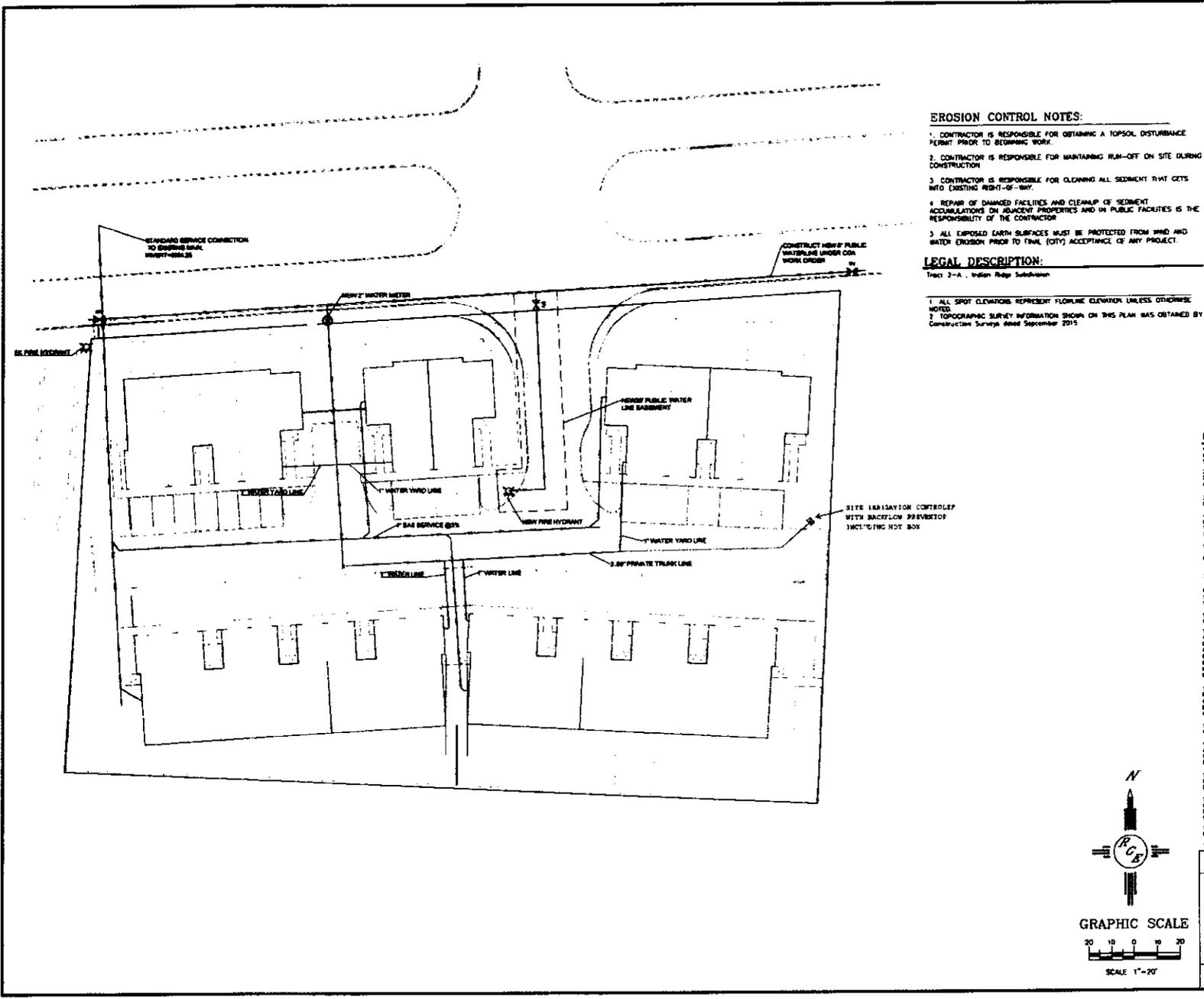
LEGEND



COORDINATE SYSTEM IS NEW MEXICO STATE PLANE CENTRAL ZONE NAD83/2011 AND ARE REFERENCED TO THE ALBUQUERQUE GEODETIC REFERENCE SYSTEM AS DETERMINED BY THE ALBUQUERQUE DISTRICT ENGINEERING DIVISION. THESE WALLS WERE PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES MAPLS 21087



	TRACT 2-A INDIAN RIDGE SUBDIVISION	DRAWN BY JDC
	DATE 09-27-2015	
GRADING AND DRAINAGE PLAN		SHEET #
		DBR-3
DATE: 09-27-2015 P.E. #14322		JOB #



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGAL DESCRIPTION:

1. ALL SPOT ELEVATIONS REPRESENT FLOPLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY Construction Survey dated September 2015.

LEGEND

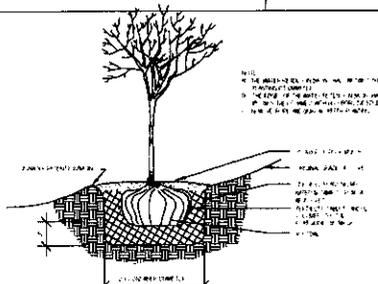
- 5' --- EXISTING CONTOUR
- 10' --- EXISTING INDEX CONTOUR
- 10' --- PROPOSED CONTOUR
- 10' --- PROPOSED INDEX CONTOUR
- 10' --- PROPOSED FLOPLINE
- 10' --- PROPOSED WATERLINE
- 10' --- PROPOSED SANITARY LINE
- 10' --- PROPOSED GAS LINE
- 10' --- PROPOSED UNDERGROUND ELECTRIC LINE

NOTICE TO CONTRACTORS

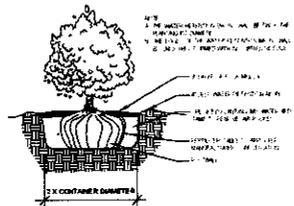
1. ALL EXCAVATION/UNDERGROUND WORK SHALL BE REQUIRED BEFORE BEGINNING ANY WORK UNLESS PUBLIC RIGHT OF WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED TO THE CITY OF INDIAN RIDGE FOR THIS PERMIT.
2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF INDIAN RIDGE EXISTING ENGINEERING SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE ONE CALL LINE LOCATING SERVICE, 360-1360, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINOR AMOUNT OF DELAY.
5. INSPECTOR CONVICTION SHALL BE ACCORDING TO TOWN OF INDIAN RIDGE STANDARDS.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.
7. WORK ON PUBLIC STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREA, INCLUDING PROTECTORS TO OWNERS/OWNERS OF SAID FACILITIES PER SECTION 14-2-3 INDIA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADEQUATE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM OR TO OWNERS/OWNERS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION SYSTEM, IN ORDER THAT OWNERS/OWNERS MAY BE NOTIFIED AND MAKE UNDERGROUND PROTECTORS PER SECTION 14-2-3 INDIA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST RECONSTRUCTION OF LOCATION EVERY 104 (14) HOURS BUT AFTER INITIAL EXCAVATION WORK.
11. CONTRACTOR SHALL MAINTAIN DIVERSION (14) INDICES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND DAMAGE BY THE OPERATIONS OF SAID FACILITIES. OFFICE SIGN OR POST AT ANY MECHANICAL EXCHANGING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED AS A WARNING NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SLOTTED PER EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL PROTECT ALL EXISTING AS A SERVICE AND VERIFY INTERFERENCE AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE SLOTTED SURFACE DURING AND FOLLOWING EXISTING PLANS ACTIVITIES FOR PROTECTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH HAS BEEN DAMAGED OR INTERFERED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL AND WORK OF RELIABLE SERVICE MAKE FURNISHMENT TO CHAPTER 14, ARTICLE 14 INDIA 1978, IN FURNISHMENT AS A UNLAWFUL LOCATION THE THE PURPOSE OF CONCERNING OR ARISING LIABILITY FOR LOCATION OF OR INTERFERENCE WITH THE PROVISIONS OF CHAPTER 14, ARTICLE 14 INDIA 1978.
16. ALL EXCAVATION, UNDERGROUND, AND EXISTING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH CITY OF INDIAN RIDGE, SUBPART 2.
17. ALL IMPACTED EXISTING SHALL BE REPLACED BY CONTRACTOR.



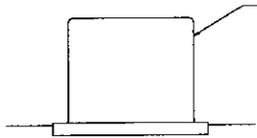
ENGINEER'S SEAL	TRACT 2-A INDIAN RIDGE SUBDIVISION	DRAWN BY JSG
	MASTER UTILITY PLAN	DATE 08-27-2015
		SHEET # 1 OF 1
8/26/15 DAVID SELLS P.E. #14322	Rio Grande Engineering INC. 1000 W. 10TH ST. SUITE 100 IRVING, TX 75039	JOB #



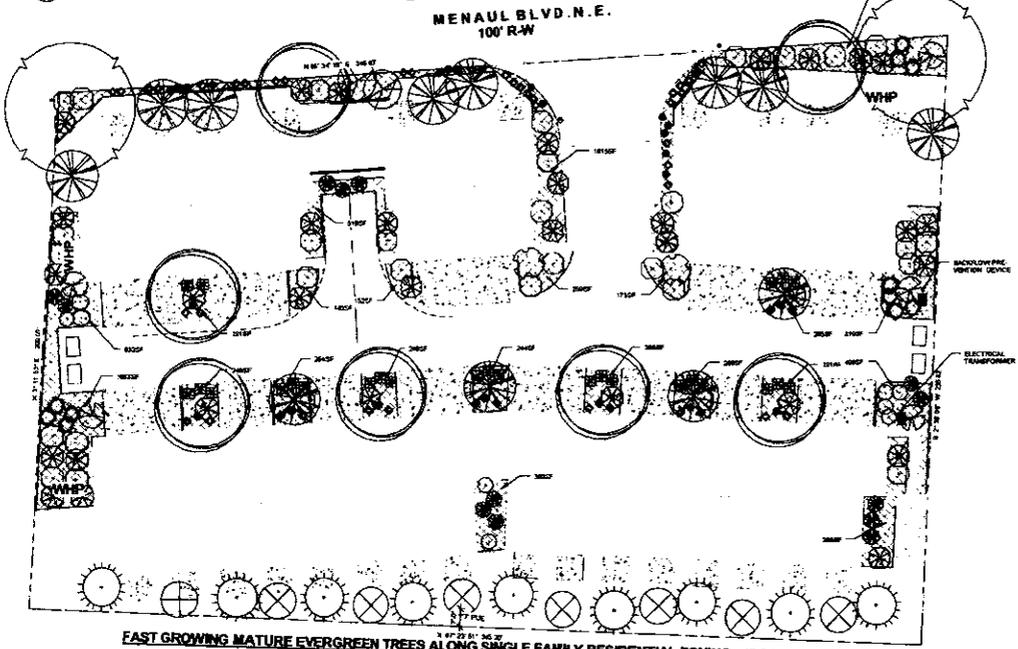
2 TREE PLANTING WELL
Scale: 1 1/2" = 1'-0"



3 SHRUB PLANTING DETAIL
Scale: 1 1/2" = 1'-0"



5 BACKFLOW PREVENTION DETAIL
Scale: 1" = 1'-0"



1 SITE LANDSCAPE PLAN
Scale: 1" = 20'-0"

PLANTING SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	COUNT	AREA
TREES					
	PURPLE LEAF PLUM (M)	<i>Prunus Cerasifera</i> , 2" cal.	30' tall x 20' spread	10	
	CLEVELAND FLOWERING PEAR (M)	<i>Prunus VanZandtii</i> , 2" cal.	37' tall x 25' spread	7	
	ARIZONA CYPRESS (M)	<i>Cupressus Arizonica</i> , 15" 4" cal.	80' tall x 15' spread	9	
	ARIZONA SYCAMORE (M)	<i>Platanus Wrightii</i> , 2" cal.	80' tall x 70' spread	2	
	NEW MEXICO OLIVE (M)	<i>Forsythesia Neomexicana</i> , 2" cal.	15' tall x 15' spread	2	
	LEYLAND CYPRESS (M)	<i>Cupressocyparis leylandii</i> , 4" cal.	25' tall x 15' spread	8	
				TOTAL TREES	38 + 26 COMPLIES
SHRUBS					
	GREY LEAF COTTONASTER (M)	<i>Cotoneaster Burbankii</i> , 1 Gal.	3' tall x 5' spread	11	275
	INDIAN HAWTHORN (M)	<i>Rapidoceps Indica</i> , 1 Gal.	3' tall x 4' spread	9	144
	SILVER QUEEN EUONYMUS (L)	<i>Euonymus japonicus</i> , 1 Gal.	12' tall x 6' spread	12	432
	SILVERBERRY (M)	<i>Elaeagnus Purpurea</i> , 1 Gal.	10' tall x 10' spread	5	500
	LIMWOOD GOLD FORTSYTHIA (M)	<i>Forsythia X Intermedia Lyfordii</i> , 1 Gal.	12' tall x 12' spread	2	288
	BLUE RUG JUNIPER (L)	<i>Juniperus Horizontalis</i> 'Wolow' 1 Gal.	1' tall x 8' spread	39	2112
	SEA GREEN JUNIPER (L)	<i>Juniperus Chinensis</i> 'Sea Green Juniper' 1 Gal.	4'-8" tall x 5'-8" spread	39	1452
	LAVENDER (L)	<i>Linum catharticum</i> 'Munstead Lavender' 1 Gal.	18" tall x 2' spread	29	116
	COREOPSIS (M)	<i>Coreopsis Lanceolata</i> 'Double Sunburst' 1 Gal.	18" tall x 2' spread	23	92
	SALVIA (L)	<i>Salvia Leucantha</i> 'Mexican Bush Sage' 1 Gal.	48" tall x 4' spread	26	416
				SHRUBS (GROSS)	5827 SF
				COVER TOTAL AREA	5827 SF
					5827 SF COMPLIES

LANDSCAPING CALCULATIONS & NOTES

LANDSCAPING CALCULATIONS:
 LOT 1 722' X 428' = 75,284 SF
 BUILDING FOOTPRINT AREA = 8,138 SF
 REQUIRED LANDSCAPING = 33,515 - 8,138 = 7784 SF
 LANDSCAPING PROVIDED = 10,158 SF COMPLIES
 REMAINING VEGETATIVE GROUND COVER = 75,284 - 8,138 - 33,515 = 33,631 SF
 VEGETATIVE GROUND COVER PROVIDED = 33,631 SF COMPLIES

WATER HARVESTING SHALL BE PROVIDED BY A DEEP IRRIGATION SYSTEM CONTROLLERS SHALL BE PROVIDED IN THE NUMBER AND SIZES REQUIRED BY ZONE SPECIFICATION AND LOCATION. CONTROLLERS SHALL BE INSTALLED ON OWNER'S HOUSE ELECTRICAL PANELS.

ALL LANDSCAPING SHALL BE MAINTAINED AND IN PLACE IF NECESSARY BY THE OWNER.

LANDSCAPING AND SHRUBS SHALL NOT BE PLANTED WITH CLEAR SITE REQUIREMENTS. THEREFORE, GRASS, WALKS, TRACES AND BOUNDARY BETWEEN YARDS IF ANY SHALL BE MAINTAINED FROM THE OUTER PERIMETER WALL NOT BE ACCEPTABLE IN THIS AREA.

PROVIDE WATER-HARVESTING PANS AT ALL REAR YARDS AS PER ORDINANCE AND DRAINAGE PLAN. SEE PLAN 5.

THIS PROJECT SHALL COMPLY WITH THE "WRITE CODE" MANUAL THE 500 SERIES PART 5 ORDINANCE - ARTICLE 5-4-5.

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE - 14-4-3-5 GENERAL LANDSCAPE REGULATIONS.

HATCH LEGEND

- CONCRETE SIDEWALK, DRIVEWAY AND PAVEMENT SLABS
 - 4" DEPTH OF 3/4" SAND WITH DECORATIVE GRAVEL ON 4" SAND SUBGRADE
 - WHP WATER HARVESTING PANS FOR GROUND AND OVERLAND PLANT
- NOTE: GRAVEL AREAS @ LIGHT ENTRY COVERS ARE NOT INCLUDED IN PROPOSED LANDSCAPE AREAS.

Cinelli / Roger Cinelli & Assoc.
 2118 Menaul Tower Loop N.E.
 Albuquerque, New Mexico 87110
 505-333-0271

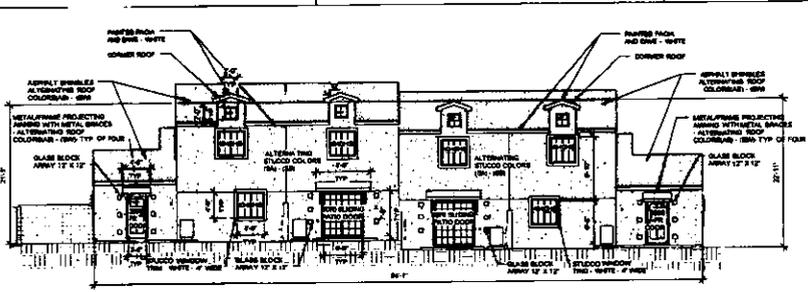
PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR
 11,910 MENAUL BLVD. N.E. ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SITE LANDSCAPE PLAN

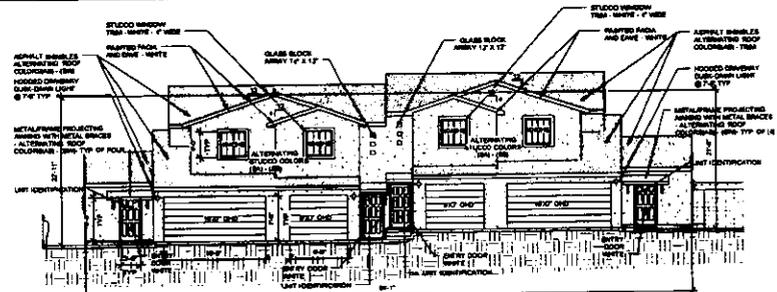
DATE: 08/11/2014 PROJECT NO: 21013
 DRAWING NO: DRB-5

9/28/15

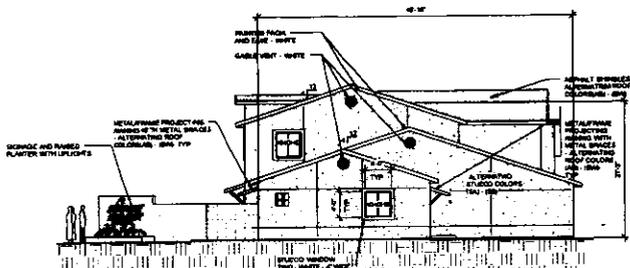




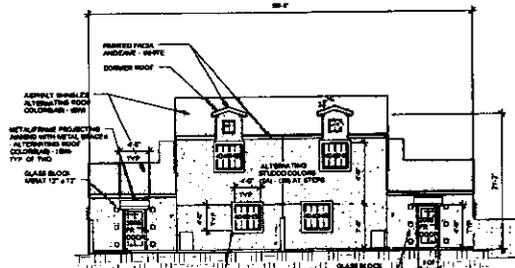
1 BUILDING "A" - NORTH ELEVATION
Scale 1/8" = 1'-0"



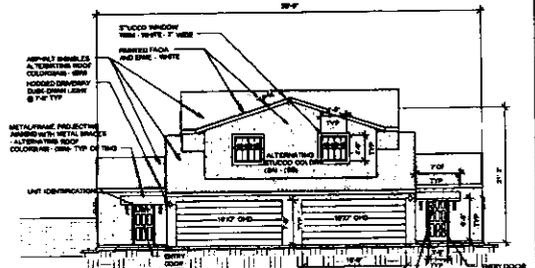
2 BUILDING "A" - SOUTH ELEVATION
Scale 1/8" = 1'-0"



3 BUILDING "A" - WEST ELEVATION (BUILDING "B" WEST ELEVATION SIMILAR)
Scale 1/8" = 1'-0"

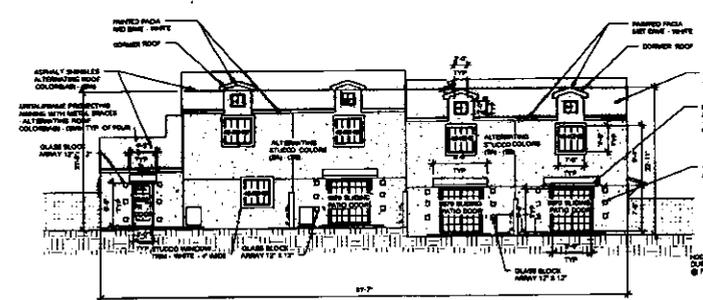


4 BUILDING "B" - NORTH ELEVATION
Scale 1/8" = 1'-0"

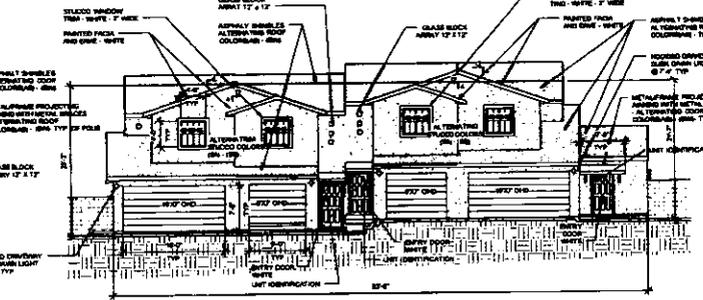


5 BUILDING "B" - SOUTH ELEVATION
Scale 1/8" = 1'-0"

EXTERIOR ELEVATIONS



6 BUILDING "C" - NORTH ELEVATION
Scale 1/8" = 1'-0"



7 BUILDING "C" - SOUTH ELEVATION
Scale 1/8" = 1'-0"



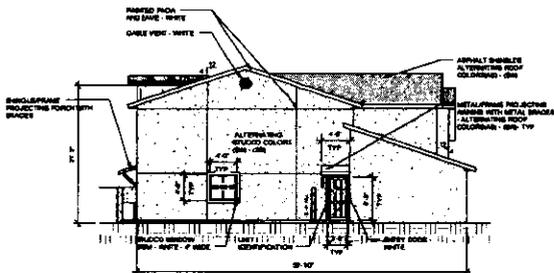
Cinelli / Roger Cinelli & Assoc.
2018 Grand View Lane NE
Albuquerque, New Mexico 87105
(505) 243-4011

PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR
11,910 MENAUL BLVD. N.E. ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: ELEVATIONS & DETAILS

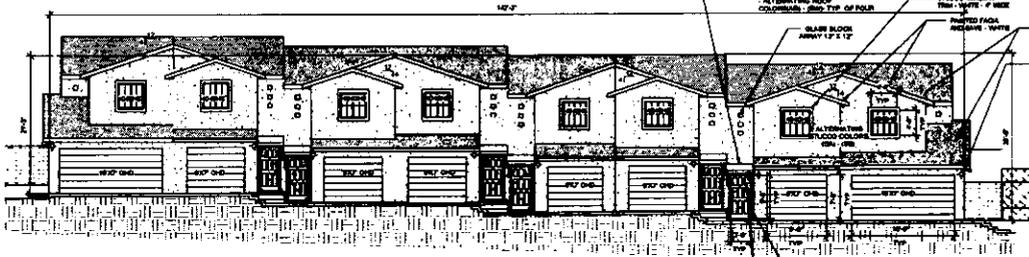
DATE: 08/23/2011 PROJECT NO: 11910
DRAWING NO: DRB-6

9/29/15



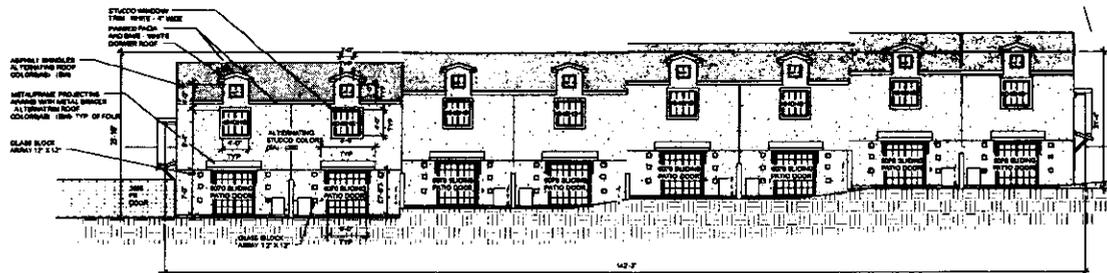
1 BUILDING "C" - WEST ELEVATION (BUILDING "D" & "E" EAST ELEVATION SIMILAR)

Scale 1/8" = 1'-0"



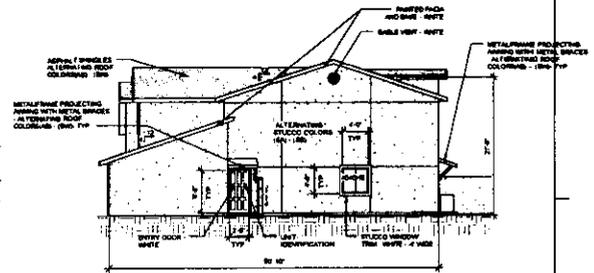
2 BUILDING "D" - NORTH ELEVATION (BUILDING "E" NORTH ELEVATION SIMILAR)

Scale 1/8" = 1'-0"



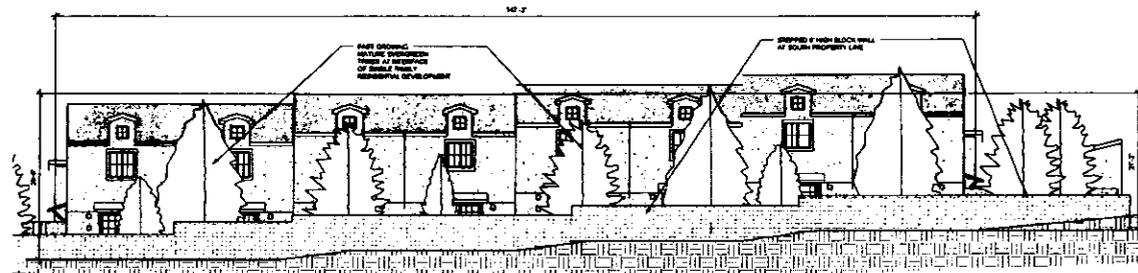
3 BUILDING "D" - SOUTH ELEVATION (BUILDING "E" SOUTH ELEVATION SIMILAR)

Scale 1/8" = 1'-0"



4 BUILDING "D" WEST ELEVATION (BUILDING "E" WEST ELEVATION SIMILAR)

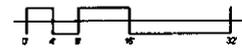
Scale 1/8" = 1'-0"



5 BUILDING "E" - SOUTH ELEVATION WITH MATURE TREES AND PROPERTY LINE FENCE (BUILDING "D" SOUTH ELEVATION WITH FENCE AND TREES SIMILAR)

Scale 1/8" = 1'-0"

EXTERIOR ELEVATIONS



		Roger Cinelli & Assoc. 3110 Menaul Drive, N.E. Albuquerque, New Mexico 87110 (505) 263-8711	
PROJECT TITLE INDIAN RIDGE PATIO HOMES FOR JOE AZAR 11,910 MENAUL BLVD, N.E. ALBUQUERQUE, NEW MEXICO			
DRAWING TITLE ELEVATIONS & DETAILS			
DATE SEPT. 2, 2016	PROJECT NO. 15017	DRAWING NO. DRB-7	

City Of Albuquerque Land Use Facilitation Program

NO MEETING REPORT

Project #: Project# 1007786 15EPC-40053/54

Submitted: 28 October 2015

Facilitator: Philip Crump

Case Planner: Maggie Gould

Parties: Joe Azar III (applicant), DAC Enterprises (agent); Enchanted Park NA, District 8 Coalition of NA's

Summary:

This is an application for Zone Map Amendment and Site Development Plan for Building Permit to allow 26 town homes at 11910 Menaul NE.

After emailing the parties a notice of the application with request for response regarding a facilitated meeting, and an additional mailing to neighbors by the ONC, there has been no request for a facilitated meeting to date.

Gould, Maggie S.

From: Doug Crandall <dacinc2001@aol.com>
Sent: Wednesday, October 28, 2015 11:11 AM
To: Gould, Maggie S.
Cc: Philip@pcmediate.com; joe@mcrnm.com; CenturyLink Customer; Winklepleck, Stephani I.
Subject: Re: No Meeting Report 1007786 15EPC-40053/54

Hello All,

I want to clarify Philip's statement about there being no request for a facilitated meeting by the applicant. We have always been willing to have such a meeting, as well as individually notifying each adjoining neighbor.

Thanks.

Doug

On Oct 28, 2015, at 9:15 AM, Gould, Maggie S. <MGould@cabq.gov> wrote:

Thank you ,
I will add that to the file.

Maggie Gould, MCRP
Planner
City of Albuquerque, Planning Department
600 Second St. NW
Albuquerque, NM 87102
505-924-3910
mgould@cabq.gov

From: Philip Crump [<mailto:phcrumpsf@gmail.com>]
Sent: Wednesday, October 28, 2015 9:47 AM
To: financialhelp@earthlink.net; plunkett5724@msn.com; dhc@zianet.com; Janet Butts; Doug Crandall; joe@mcrnm.com; rr0505@q.com
Cc: Gould, Maggie S.; Winklepleck, Stephani I.
Subject: No Meeting Report 1007786 15EPC-40053/54
Importance: High

Dear All:
Attached is the No Meeting Report for this project.
To date, there has been no request for a facilitated meeting from the applicant, the Neighborhood Associations or the neighbors.

Thank you very much.

Respectfully,
Philip

--
<image001.jpg> **PHILIP CRUMP, Mediator & Facilitator**
1301-B Luisa Street Santa Fe, NM 87505
Skype: phcrump philip@pcmediate.com
www.pcmediate.com (505) 989-8558

When I walked out of the gate, I knew that if I continued
to hate these people, I would still be in prison. --Nelson Mandela

Doug Crandall
dacinc2001@aol.com

SITE PLAN REDUCTIONS

BLOCK 4 ENHANCED HOUSING BLVD & NORTHERLY 1/2 OF VACATED MENAUL BLVD. C-1

BLOCK PERCHANTED HOUSING BLVD & NORTHERLY 1/2 OF VACATED MENAUL BLVD. C-1

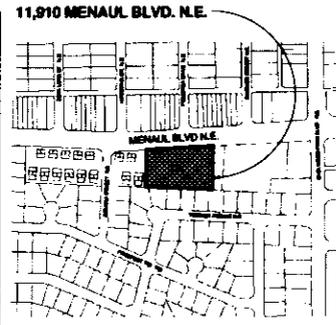
INDIAN RIDGE PATIO HOMES FOR JOE AZAR
11,910 MENAUL BOULEVARD NORTHEAST
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER:
 APPLICATION NUMBERS:

Is an Infrastructure List required? () Yes () No If Yes, then set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRS SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRS Chairperson, Planning Department	Date



VICINITY MAP - ZA MAP H-22
 1" = 500'

SITE PLAN LEGEND

NEW CONCRETE SIDEWALK, NEW CONCRETE SITE WORK	7" HIGH COLORED GALV. COURTYARD WALL
UNIT ENTRY LOCATION	7" HIGH COLORED GALV. DISCREETIVE STREET FURNITURE WALL - DETAIL CDR-2
GARAGE DOOR LOCATION	12" HIGH COLORED SPLIT FACE CMU STORAGE PLANTER
HOODED DRAIN TO DRAIN OUTSIDE WALL DELAYED LIGHTING - SEE SPECIFICATION SHEET CDR-3	WHP
SEWER/STORM OVERVIEW - DETAIL CDR-4 SEE CDR-4 & DRAINAGE PLAN	

NOTE:

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Scale: 1" = 30'-0"



SHEET LIST

Sheet Number	Sheet Name
CDR-1	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
CDR-2	SITE DEVELOPMENT PLAN INTRODUCTION & CODE SUMMARY
CDR-3	SITE ORANGE & GRADING PLAN
CDR-4	SITE UTILITY PLAN
CDR-5	SITE LANDSCAPE PLAN
CDR-6	ELEVATIONS & DETAILS
CDR-7	ELEVATIONS & DETAILS
CDR-8	SITE DEVELOPMENT PLAN FOR SUBDIVISION
CDR-9	SPR - DESIGN STDS - STORAGE SHED ELEVATIONS

Cinelli / Roger Chell & Assoc.
 ARCHITECTS
 3410 Summit Terrace Lane N.W.
 Albuquerque, New Mexico 87107
 (505) 940-8911

PROJECT TITLE: **INDIAN RIDGE PATIO HOMES FOR JOE AZAR**
11,910 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

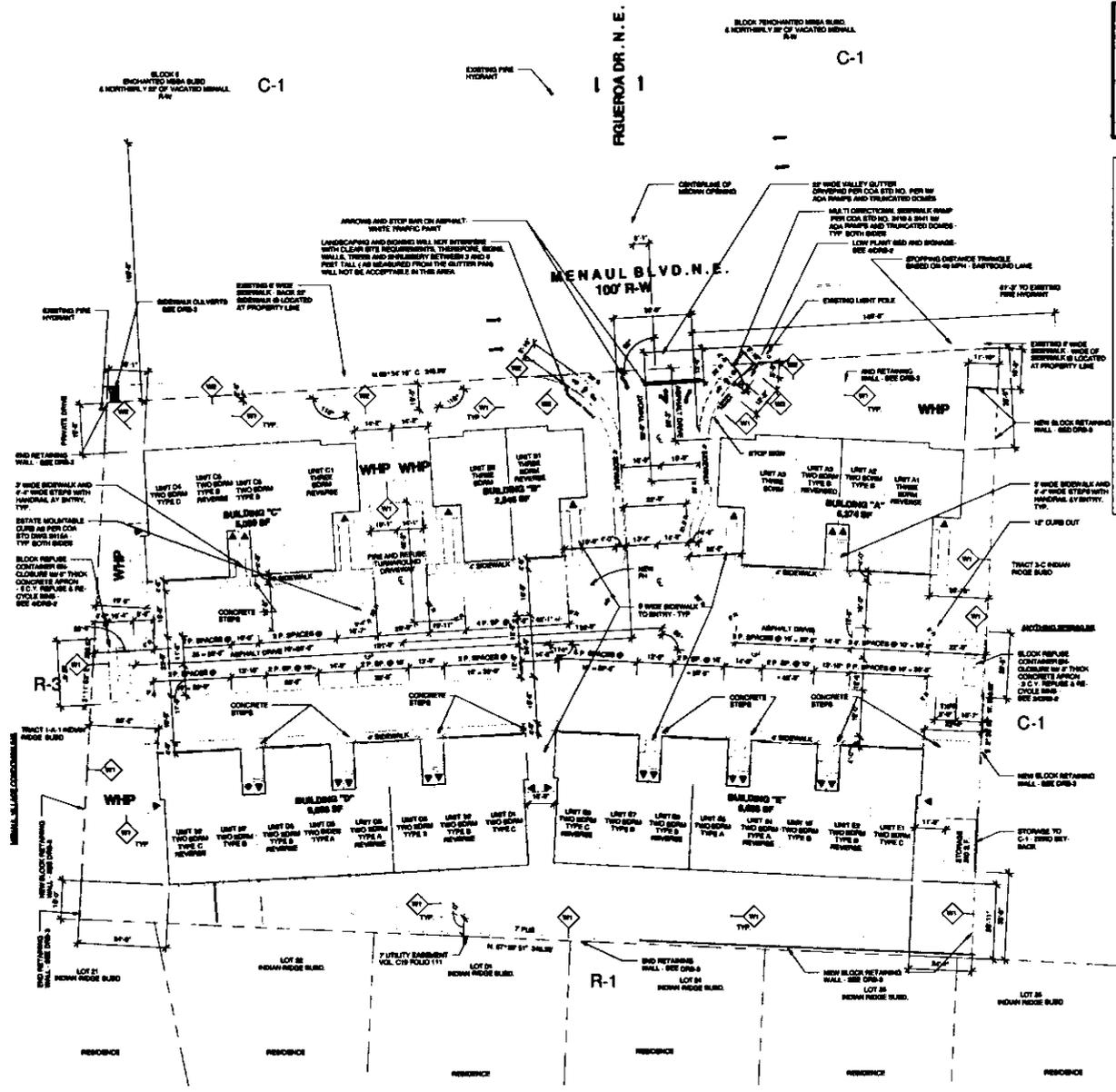
DRAWING TITLE: **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

DATE	PROJECT NO.
CITY BE. 8914	TRIP/1
DRAWING NO.	



DRB-1

1022118

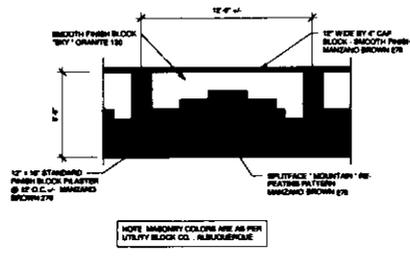




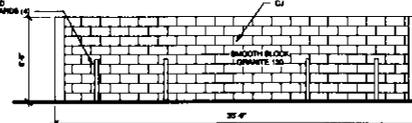
BUILDING AND FENCE COLORS

- ASPHALT SHIBLES: ALBUQUERQUE (80)
- SMOOTHWOOD (80)
- STUCCO COLORS: ALTERNATING BUILDINGS: STUCCO (80) & BRY BLOSSOM STUCCO (80) & NEW COTTONWOOD
- WOOD TRIM COLOR: WHITE (80)
- WALL WINDOW IN DIVIDERS COLOR: WHITE (80)
- ENTRY DOOR COLOR: WHITE (80)
- STUCCO TRIM AT WINDOWS: WHITE (80)

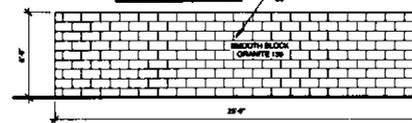
5 PERSPECTIVE - 10TH & CANDELARIA PROTOTYPE NOT TO SCALE



1 STREET FRONTAGE WALL Scale: 1/4" = 1'-0"



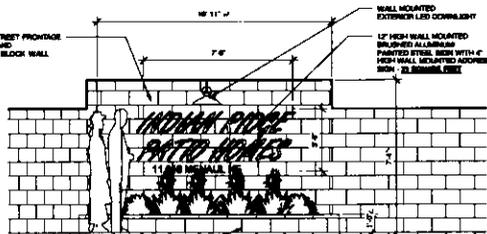
EAST ELEVATION



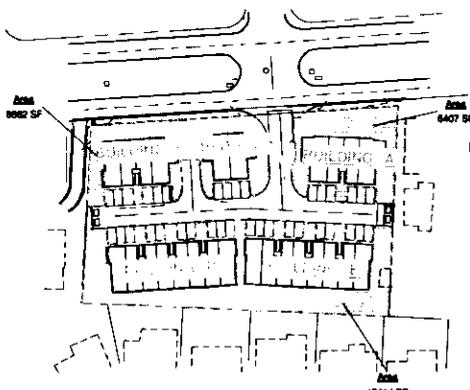
WEST ELEVATION

NORTH AND SOUTH ELEVATION

2 REFUSE ENCLOSURE - WEST END (EAST SIMILAR) Scale: 1/4" = 1'-0"



4 PROJECT SIGN ELEVATION Scale: 3/4" = 1'-0"



USABLE OPEN SPACE:
REQUIRED OPEN SPACE:
26 UNITS X 550 = 14,300 SF
UOS PROVIDED = 30,683 SF
COMPLIES

3 USABLE OPEN SPACE 11,910 MENAUL BLVD. N.E. Scale: 1/8" = 1'-0"

COOPER LIGHTING - LUMARK

RECOMMENDED LIGHTING:

- 1. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 2. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 3. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 4. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 5. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 6. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 7. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 8. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 9. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 10. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 11. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 12. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 13. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 14. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 15. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 16. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 17. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 18. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 19. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 20. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 21. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 22. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 23. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 24. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 25. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 26. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 27. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 28. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 29. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 30. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 31. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 32. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 33. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 34. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 35. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 36. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 37. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 38. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 39. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 40. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 41. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 42. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 43. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 44. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 45. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 46. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 47. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 48. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 49. 1' x 1' RECESSED SQUARE DOWNLIGHT
- 50. 1' x 1' RECESSED SQUARE DOWNLIGHT

DAWN TO DUSK HOODED LIGHT FIXTURE

INTRODUCTION

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL SHALL BE THE OWNER'S SUBMITTAL FOR ZONE CHANGE TO THE PROPERTY LOCATED ON THE SOUTH SIDE OF MENAUL N.E. BETWEEN DEANER STREET N.E. AND CHELWOOD PARK BLVD. N.E. (11,910 MENAUL BLVD. N.E.).

THE SUBJECT PROPERTY CONSISTS OF ONE (1) PARCEL THAT IS ZONED R-1 (1) ZONE ACROSS THE PARCEL HAS NO EXISTING IMPROVEMENTS EXCEPT FOR A 4' WIDE CONCRETE SIDEWALK ALONG MENAUL. WE RESPECTFULLY ASK A CHANGE OF ZONE TO UNPLANNED RESIDENTIAL DEVELOPMENT.

THE PROPERTY IS UNDER CONTRACT BY MR. JOE AZAR OF AZAR PROPERTIES, L.L.C. MR. AZAR PLANS TO RENT THE UNITS AS THE SEASONABLE RENTALS. AN AUTHORIZATION LETTER FROM THE PROPERTY OWNER IS PART OF THE SUBMITTAL PACKAGE.

THE PROPOSAL FOR THE PROPERTY CONSISTS OF A TWENTY-ONE (21) UNIT TOWNHOUSE DEVELOPMENT. THE SQUARE TO A 14' DWELLING UNITS PER ACRE. THE SUBJECT PROPERTY IS ADJACENT TO THE IMPROVED PARK HIGHWAY'S INTERSECTION CORNER. OUR HAS BEEN APPROVED BY THE SUBMITTAL.

THE NEIGHBORING ZONING LINES ADJACENT TO THIS ZONE CHANGE PROJECT. RESIDENTIAL ZONING AND LINES PRECEDIMATE TO THE SOUTH AND WEST OF THE SUBJECT PROPERTY. THE QUANTITATIVE SHOULD FAMILY (A) RESIDENTIAL NEIGHBORHOOD IS BOUNDED ON THE EAST BY CHELWOOD PARK BLVD. AND ON THE WEST BY DEANER STREET. AND ON THE NORTH BY THE SUBJECT PROPERTY'S BOUNDARY. THE NEIGHBORHOOD ZONE THAT ADJUTS THE SUBJECT PROPERTY'S WEST BOUNDARY CONSISTS OF FOUR (4) TWO-STORY HOUSING UNITS IN A HIGH DENSITY (A) DEVELOPMENT. THE DEVELOPMENT WAS SITED IN 1979. THE MENAUL VILLAGE PRIVATE CONDOMINIUM COMMUNITY IS ACCROSSED AN STEWELL PLACE STREET N.E. WHICH CONTAINS THROUGH THE DEVELOPMENT THEN TURNING NORTH ON A PRIVATE DRIVE THAT INTERSECTS WITH MENAUL. THE SUBJECT PROPERTY LIES DIRECTLY EAST OF THE PRIVATE DRIVE. AN EXISTING BRICK RETAINING WALL WITH A FOUR (4) FOOT HIGH GRANITE FACE FENCE IS LOCATED ON THE INTERMEDIATE PROPERTY LINE.

COMMERCIAL LINES COMPRISE THE PROPERTY TO THE NORTH ACROSS MENAUL BOULEVARD. ADDITIONAL COMMERCIAL LINES ADJUTS THE EASTERN BOUNDARY OF THE SUBJECT PROPERTY. THESE INCLUDE AREA AL ZONED C-1. THE NEIGHBORHOOD COMMERCIAL (C-1) ZONE PERMITS R-3 NEIGHBORHOOD RESIDENTIAL UNITS. THE ZONING IS COMPATIBLE WITH THE REQUEST.

MENAUL BOULEVARD AT THE SUBJECT PROPERTY FRONTAGE IS DESIGNATED AS A 40' TYPICAL MAJOR STREET. THE 40' FOOT WIDE (100') RIGHT OF WAY CONSISTS OF FOUR (4) LANES WHICH ARE DIVIDED WITH A PAVED MEDIAN. THE MEDIAN IS DEMARSHED BY WELL MAINTAINED LANDSCAPING. THE MEDIAN INTERSECTIONS OCCURE AT PARKER DRIVE N.E. THE PROJECT FRONTAGE RADIUS RETURN DRIVWAY IS CLOSELY ALIGNED WITH THE PAVED DRIVE INTERSECTIONS TO FACILITATE LEFT TURN ACCESS FOR WESTBOUND TRAFFIC. A PUBLIC BUS TURNST STOP ON THE SOUTH SIDE OF MENAUL IS SITUATED SIXTY FEET (60') WEST OF THE DEVELOPMENT.

A LANDSCAPED STRIP AND DECORATIVE SPLIT FACE WALL AT THE MENAUL FRONTAGE DEMARSHES THE DEVELOPMENT FROM THE STREET. LANDSCAPING SHALL COMPLY WITH MULTI-FAMILY RESIDENTIAL UNITS. PROPOSED LANDSCAPING SHALL PROVIDE ADEQUATE SCREENING FOR SINGLE-FAMILY DEVELOPMENTS. UNIT GARAGE DRIVWAYS WILL BE SEPARATED BY LANDSCAPE AREAS WITH TREES. TREES SHALL REACH A 20' TO 25' SPREAD AT MATURETY.

ALL VEHICULAR ACCESS IS PROVIDED VIA THE MAIN DRIVEWAY ENTRANCE THROUGH EAST WEST PRIVATE LANES. THESE VEHICULAR ACCESS LANES TERMINATE AT THE EAST AND WEST SIDE REAL NEIGHBORHOOD CLUSTER ENCLOSURES AND LOCATED OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO BEDROOM TYPE 'A' & 'C' UNITS. FOUR PARKING SPACES ARE PROVIDED FOR AT THE THREE BEDROOM UNIT AND THE TWO BEDROOM TWO-CAP GARAGE TYPE 'C' UNIT. TWO IN THE DRIVEWAY AND TWO IN THE GARAGE.

ALL PROPOSED TOWNHOUSE ARE TWO-STORY WITH SINGLE STORY FRONTAGES. ALL VEHICULAR LAKE FRONTAGE ARE SINGLE-STORY. TWENTY-ONE (21) TOWNHOUSE UNITS. ADDITIONALLY, THE THREE BEDROOM TOWNHOUSE, LOCATED ALONG DRIVEWAY ENTRANCE PRESENT A SINGLE STORY ELEVATION. THIS A UNIQUE ORIGINAL BUILDING ELEVATION TRANSITION IS ACHIEVED FROM THE PASSENGER VIEW.

THE PHOTOGRAPHICAL TOWNHOUSE UNIT PHOTO IS ATTACHED. THE TENTH AND CANDELARIA DE PROJECT PROVIDES AN ADEQUATE PHOTOGRAPHIC RENDERING FOR REFERENCE.

DESIGN CRITERIA

UNIT TYPE	FLOOR AREA (EA. UNIT)	LOWER LEVEL HEATED	UPPER LEVEL HEATED	TOTAL HEATED	UNITS	TOTAL HEATED	UNITS	TOTAL HEATED
TWO BEDROOM 2 1/2 BATH TYPE 'C' UNITS	517	517	517	1,034	26	26,884	26	26,884
FLOOR AREA (EA. UNIT)	517	517	517	1,034	26	26,884	26	26,884
LOWER LEVEL HEATED	517	517	517	1,034	26	26,884	26	26,884
UPPER LEVEL HEATED	517	517	517	1,034	26	26,884	26	26,884
TOTAL HEATED	517	517	517	1,034	26	26,884	26	26,884
TOTAL AREA	1,034	1,034	1,034	3,102	26	80,652	26	80,652
TWO BEDROOM 2 1/2 BATH TYPE 'C' UNITS	517	517	517	1,034	26	26,884	26	26,884
FLOOR AREA (EA. UNIT)	517	517	517	1,034	26	26,884	26	26,884
LOWER LEVEL HEATED	517	517	517	1,034	26	26,884	26	26,884
UPPER LEVEL HEATED	517	517	517	1,034	26	26,884	26	26,884
TOTAL HEATED	517	517	517	1,034	26	26,884	26	26,884
TOTAL AREA	1,034	1,034	1,034	3,102	26	80,652	26	80,652
THREE BEDROOM 3 BATH UNITS	882	882	882	1,764	1	1,764	1	1,764
FLOOR AREA (EA. UNIT)	882	882	882	1,764	1	1,764	1	1,764
LOWER LEVEL HEATED	882	882	882	1,764	1	1,764	1	1,764
UPPER LEVEL HEATED	882	882	882	1,764	1	1,764	1	1,764
TOTAL HEATED	882	882	882	1,764	1	1,764	1	1,764
TOTAL AREA	1,764	1,764	1,764	3,528	1	3,528	1	3,528
TOTAL PROJECT AREA = 84,877 SQUARE FEET								

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
3618 Menaul / Torres Lara Rd. N.
Albuquerque, New Mexico 87107
(505) 243-8711

PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR
11,910 MENAUL BLVD. N.E. ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SITE DEVELOPMENT PLAN INTRODUCTION & CODE SUMMARY

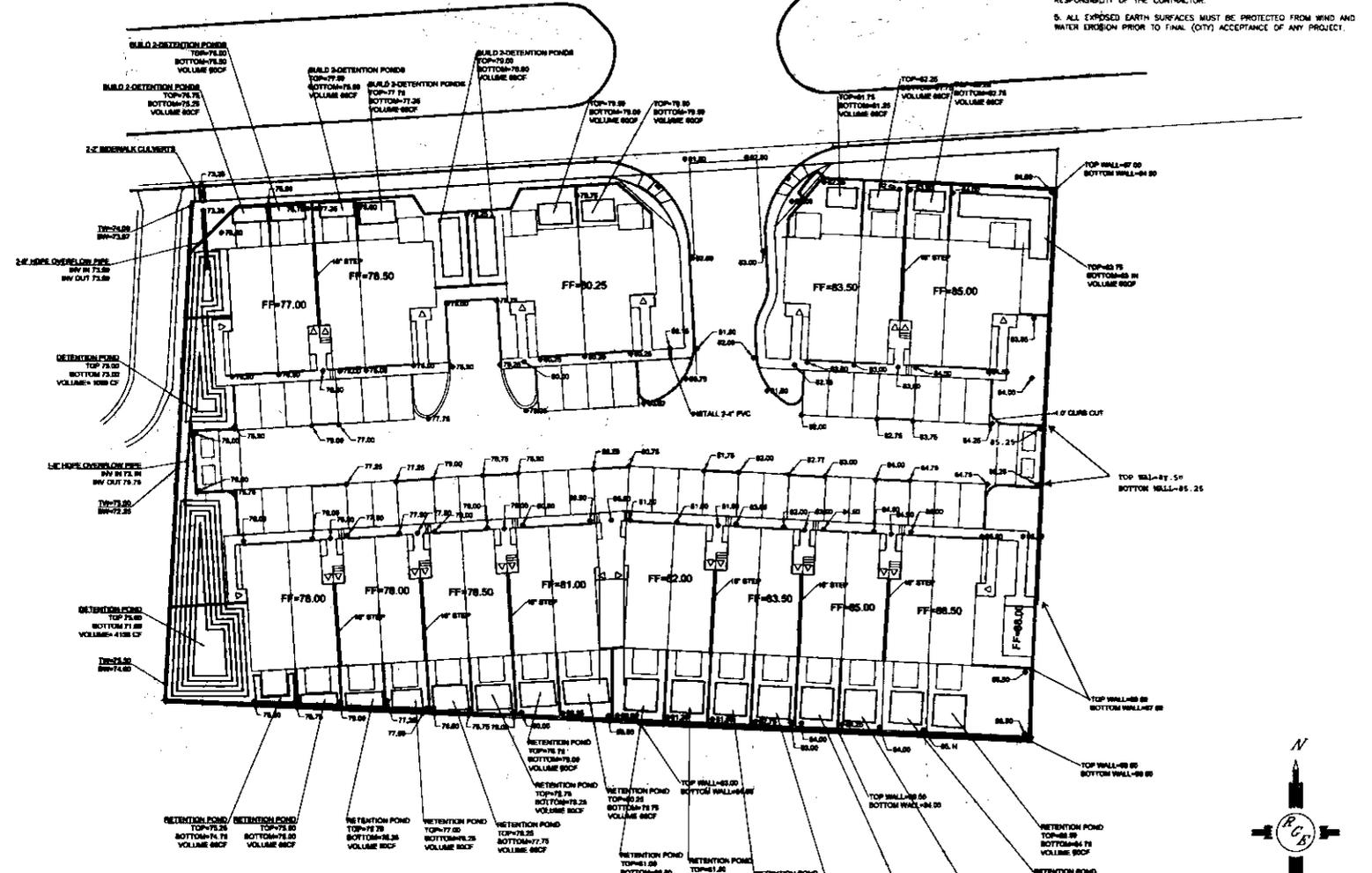
DATE: 05.09.15 PROJECT NO: 1025/15
DRAWING NO: DRB-2



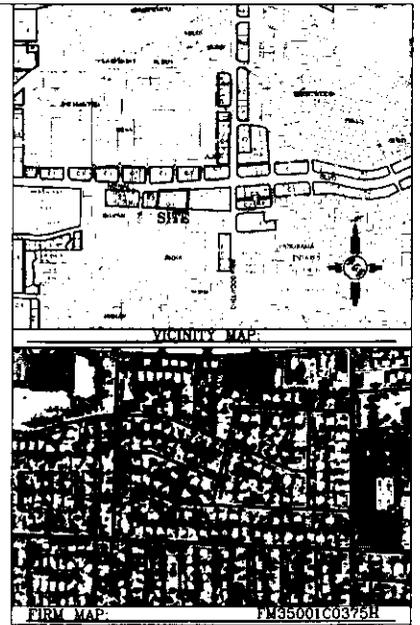
DRAINAGE NARRATIVE

THIS SITE IS AN INFILL DEVELOPMENT WITHIN A FULLY DEVELOPED WETLAND. THE SITE CURRENTLY DISCHARGES AS STREET FLOW ALONG THE ADJACENT TRACT. THE SITE HAS NEAR UPLAND FLOODS. THE DEVELOPED SITE DRAINAGE CONCEPT WILL PROVIDE A FLOOD RATE SLIGHTLY GREATER THAN EXISTING. THE DISCHARGE RATE WILL BE REDUCED TO AN ALLOWED PEAK RATE UTILIZING DETENTION PONDS AND CONTROLLED OUTLET TO NEIGHBOR VIA 2-1" OUTLET PIPES. SHALLOW OVERTOP FLOODS WILL BE UTILIZED TO REDUCE THE PEAK AND TOTAL FLOW LEAVING THE SITE. THE FIRST FLOOD REQUIREMENT OF 1871 CUBIC FEET WILL BE RETAINED ON SITE.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE RECORD PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING ROAD-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



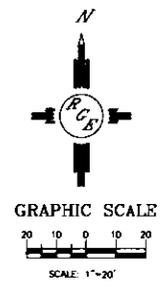
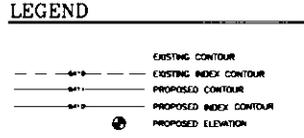
COORDINATES SYSTEM IS NEW MEXICO STATE PLANE CENTRAL ZONE MATHIAS/DAVID 1988 AND ARE REFERENCED TO THE NAD 83/2011 GEODETIC REFERENCE SYSTEM AS SET FORTH BY GPS OBSERVATIONS OBTAINED USING THE NAD 83/2011 REAL TIME CORRECTION (ANTENNA) DISTANCES ARE GROUND. THESE VALUES WERE PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES MAPLE 21882



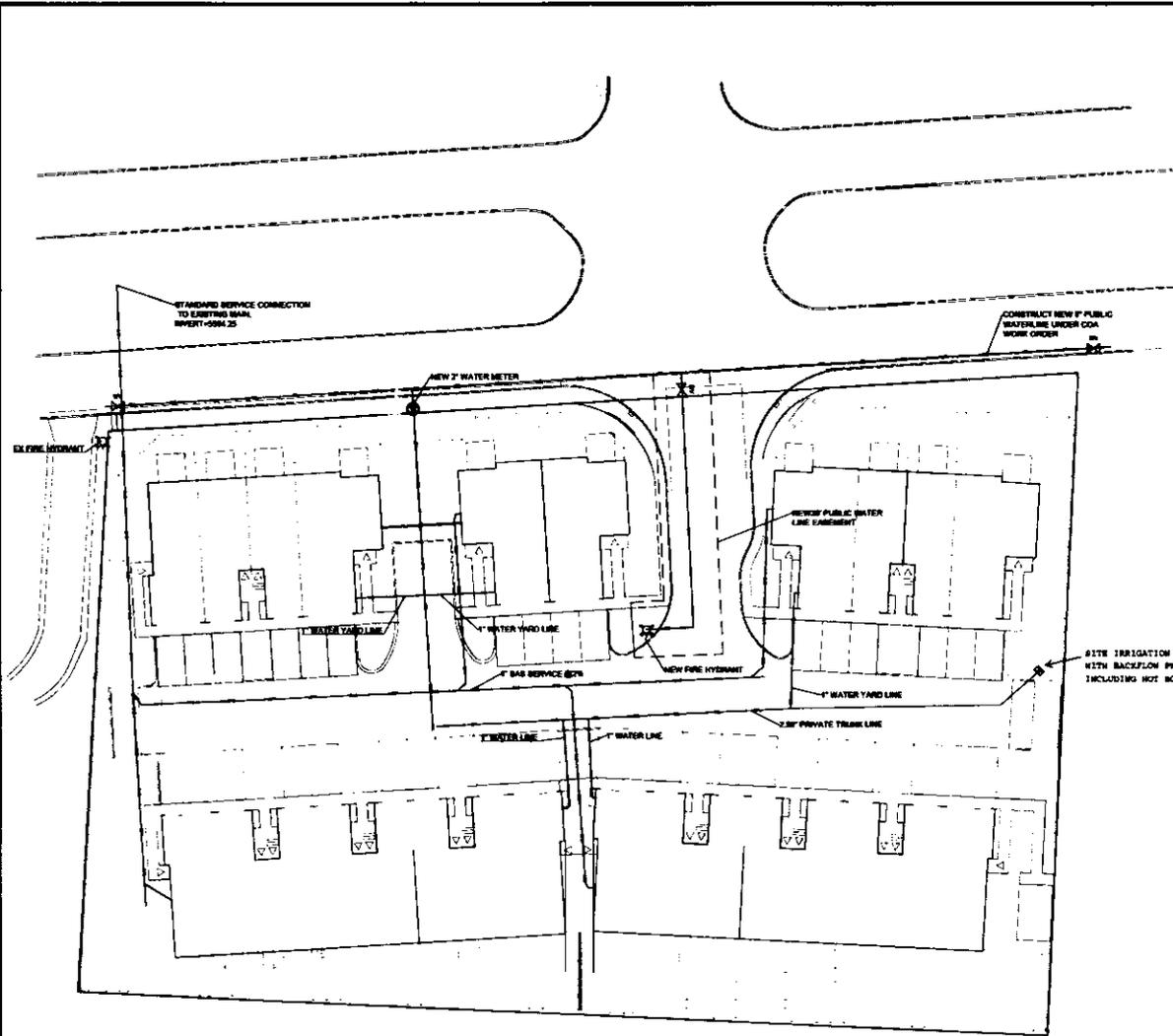
LEGAL DESCRIPTION
TRACT 2-A INDIAN RIDGE SUBDIVISION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, DAVIS P. ACOSTA, PLS 21882.
3. No particular walls or fences will be constructed and any future walls or fences must be approved.
4. Designated flood plain area cannot be disturbed during or after construction.



ENGINEER'S SEAL 1/28/25 DRAWN SCALE FC 214322	TRACT 2-A INDIAN RIDGE SUBDIVISION GRAZING AND DRAINAGE PLAN	DRAWN BY JJC DATE 09-27-2015
	 Rio Grande Engineering 1000 CENTRAL AVENUE SE ALBUQUERQUE, NM 87102-3000 (505) 263-4500	SHEET # 100-3 JOB #



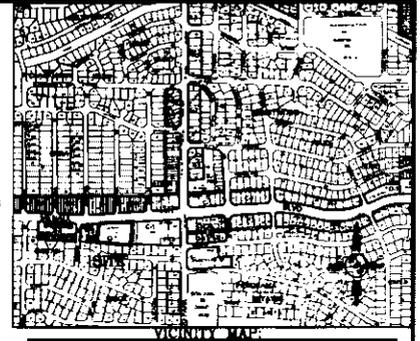
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGAL DESCRIPTION:

Tract 2-A, Indian Ridge Subdivision

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY Contractor Surveys dated September 2013.



LEGEND

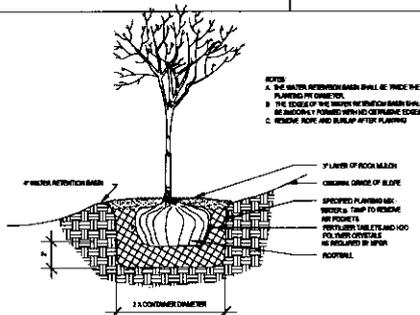
- 9-11 --- EXISTING CONTOUR
- 9-10 --- EXISTING INDEX CONTOUR
- 9-11 --- PROPOSED CONTOUR
- 9-10 --- PROPOSED INDEX CONTOUR
- 9-10 --- PROPOSED FLOWLINE
- 9-10 --- PROPOSED WATCHLINE
- 9-10 --- PROPOSED SANITARY LINE
- 9-10 --- PROPOSED GAS LINE
- 9-10 --- PROPOSED UNDERGROUND ELECTRIC LINE

NOTICE TO CONTRACTORS

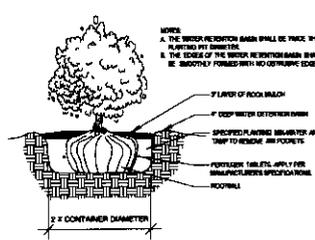
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT OF WAY. ALL APPLICABLE CODES FOR THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE NOTED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE UTILITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT AN ONE CALL LINE LOCATING SERVICE, 360-1-800, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXAMINE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONDUITS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
5. BACKFILL CONTRACTOR SHALL BE ACCORDING TO TYPICAL OF BIRMINGHAM STANDARD.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.
7. WORK ON UTILITY STRUCTURES SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL OBTAIN LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREA, INCLUDING PROCEEDS TO OPERATIONAL RECORDS OF THIS FACILITY FOR SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE IMPEDIMENT OF DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADEQUATE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION SYSTEM. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY FOR SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REDUCE EXCAVATION AT LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REDUCE.
11. CONTRACTOR SHALL MAINTAIN EIGHTY (80) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY BORED AND HONED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED AS A BARRIER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING SUCH PILING ACTIVITIES FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATORS OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOADED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT WORK ON OR REMOVE STRUCTURE UNLESS PURSUANT TO CHAPTER 82-ARTICLE 14 NMSA 1978 OR OTHERWISE APPROVED BY A LICENSED LICENSEE FOR THE PURPOSE OF CONTAINING OR REDUCING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 14, NMSA 1978.
16. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.640 SUPPORT P.
17. ALL IMPACTED STRIPS SHALL BE REPLACED BY CONTRACTOR.



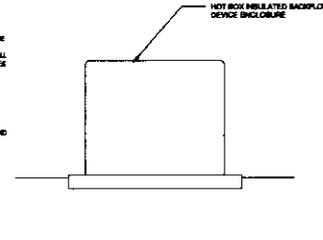
	ENGINEER'S SEAL TRACT 2-A INDIAN RIDGE SUBDIVISION	DRAWN BY JLC DATE 09-27-2013
	MASTER UTILITY PLAN	DRB-4
		SHEET # 1 OF 1
DAVID SOULE P.E. #14522		JOB #



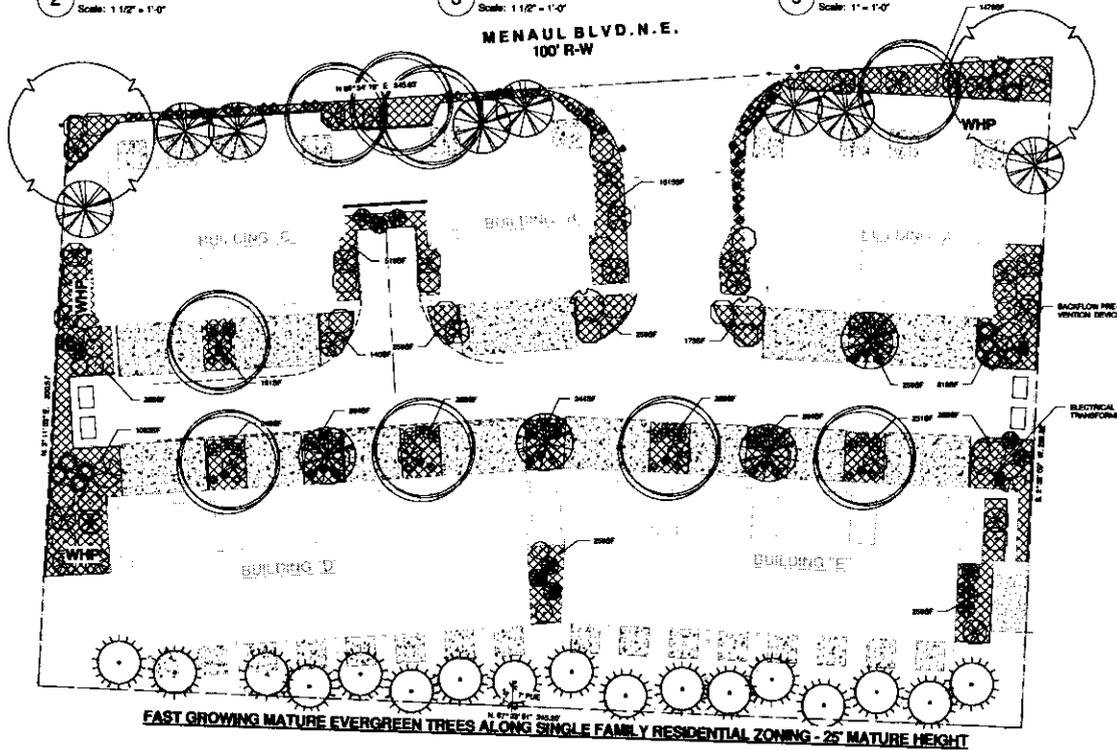
2 TREE PLANTING WELL
Scale: 1 1/2" = 1'-0"



3 SHRUB PLANTING DETAIL
Scale: 1 1/2" = 1'-0"



4 BACKFLOW PREVENTION DETAIL
Scale: 1" = 1'-0"



5 SITE LANDSCAPE PLAN
Scale: 1" = 20'-0"

PLANTING SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	COUNT	AREA
TREES					
	PURPLE LEAF PLUM (M)	Prunus Carolinensis, 2" cal.	20' tall x 20' spread	12	
	CLEVELAND FLOWERING PEAR(M)	Pyrus Vanillina, 2" cal.	20' tall x 20' spread	9	
	ARIZONA SYCAMORE (M)	Platanus Wrightii, 2" cal.	80' tall x 70' spread	2	
	LEYLANDI CYPRESS (M)	Cupressocyparis leylandii, 2" cal.	25' tall x 15' spread	17	
				TOTAL TREES	40 > 26 COMPLEX
SHRUBS					
	GREY LEAF COTONEASTER (M)	Cotoneaster Buxifolia, 1 Gal.	3' tall x 5' spread	11	275
	INDIAN HAWTHORN (M)	Raphiolepis Indica, 1 Gal.	3' tall x 4' spread	9	144
	SILVER QUEEN EUONYMUS (L)	Euonymus japonicus 1 Gal.	12' tall x 6' spread	12	432
	SILVERBERRY (M)	Elaeagnus pungens 1 Gal.	10' tall x 10' spread	5	500
	LYNWOOD GOLD FORSYTHIA (M)	Forsythia X Inermis 'Lynbrook Gold' 1 Gal.	12' tall x 12' spread	2	288
	BLUE RUG JUNIPER (L)	Juniperus Horizontalis 'Wilton' 1 Gal.	1' tall x 8' spread	39	2112
	SEA GREEN JUNIPER (L)	Juniperus Chinensis 'Sea Green Juniper' 1 Gal.	4'-6" tall x 6'-6" spread	39	1452
	LAVENDER (L)	Lavandula Angustifolia 'Munstead' 1 Gal.	18" tall x 2' spread	29	116
	COREOPSIS (M)	Coreopsis Lanceolata 'Double Sunrise' 1 Gal.	18" tall x 2' spread	23	92
	SALVIA (L)	Salvia Leucantha 'Mexican Bush Sage' 1 Gal.	48" tall x 4' spread	26	416
				SHRUB GROUND COVER TOTAL AREAS	5827 SF
				5827 > 5772 COMPLEX	

LANDSCAPING CALCULATIONS & NOTES

LANDSCAPING CALCULATIONS:
 LOT: 1.1724 X 100' = 117.24 SF
 BUILDING: 35,500 SF
 NET LOT AREA: 81,744 SF
 REQUIRED LANDSCAPING: 81,744 X 10% = 7,982 SF
 LANDSCAPING PROVIDED: 10,188 SF COMPLEX
 REQUIRED MIN. VEGETATIVE GROUND COVER: 79.3% 7,982 SF > 5,772 SF
 VEGETATIVE GROUND COVER PROVIDED: 8827 SF COMPLEX

PLANT WATERING SHALL BE PROVIDED BY A Drip Irrigation System. CONTROLLERS SHALL BE PROVIDED IN THE NUMBER AND SPACING REQUIRED BY ZONE SPECIFICATION AND LOCATION. CONTROLLERS SHALL BE INSTALLED ON OWNERS HOUSE ELECTRICAL PANELS.

ALL LANDSCAPING SHALL BE MAINTAINED AND REPLACED, IF NECESSARY, BY THE OWNER.

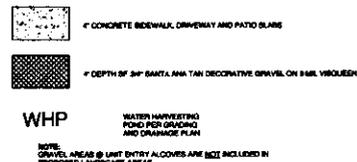
LANDSCAPING AND SOILING WILL NOT ATTEMPTED WITH CLEAN SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SUN SHINY BETWEEN 2 AND 3 FEET TALL (AS MEASURED FROM THE GUTTER FANS) WILL NOT BE ACCEPTABLE IN THIS AREA.

PROVIDE WATERING MAINTENANCE FORCES AT ALL NEAR WATER AS PER OPENING AND DRAINAGE PLAN - SEE DPG-3

THE PROJECT SHALL COMPLY WITH THE "SMALLER CONSTRUCTION AND WATER WASTE CHARGE" - ARTICLE 9-4-1.

THE PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE - 14-14-0-10 GENERAL LANDSCAPE REGULATIONS

HATCH LEGEND

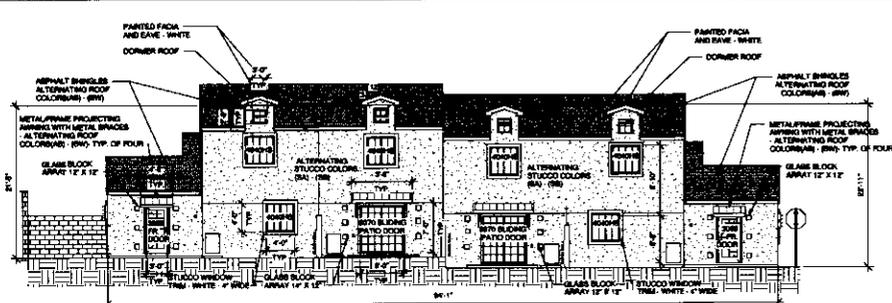


Cinelli / Roger Cinelli & Assoc.
 2419 Marquette T Street, Suite 100
 Albuquerque, New Mexico 87107
 (505) 343-8211

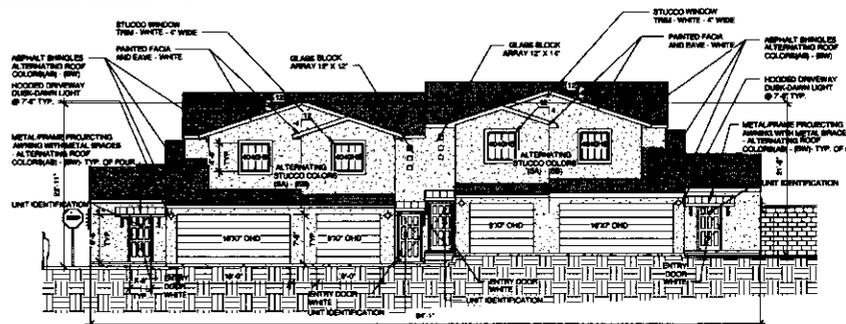
PROJECT TITLE: **INDIANO RIDGE PATIO HOMES FOR JOE AZAR**
 11910 MENAUL BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: **SITE LANDSCAPE PLAN**

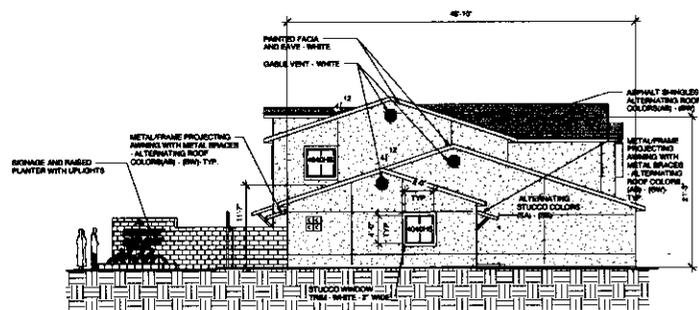
DATE: OCT. 28, 2015
 PROJECT NO. 179977
 DRAWING NO. **DRB-5**
 10/29/15



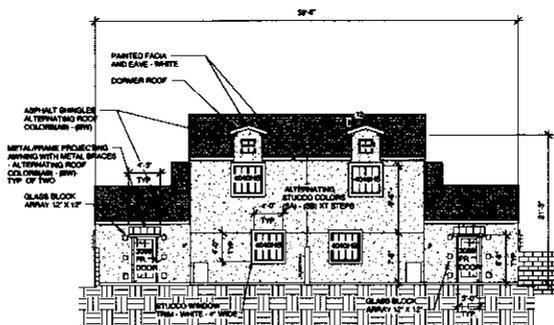
1 BUILDING "A" - NORTH ELEVATION
Scale: 1/8" = 1'-0"



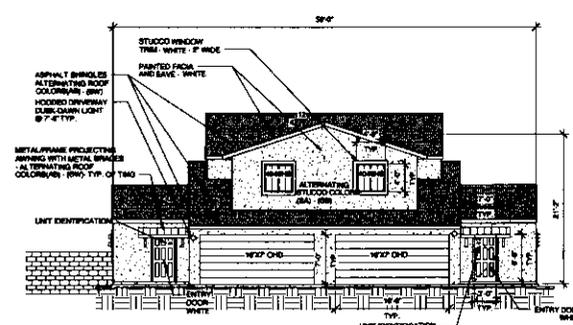
2 BUILDING "A" - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



3 BUILDING "A" - WEST ELEVATION (BUILDING "B" WEST ELEVATION SIMILAR)
Scale: 1/8" = 1'-0" BUILDING "A", "B" AND "C" EAST ELEVATION (REVERSED)

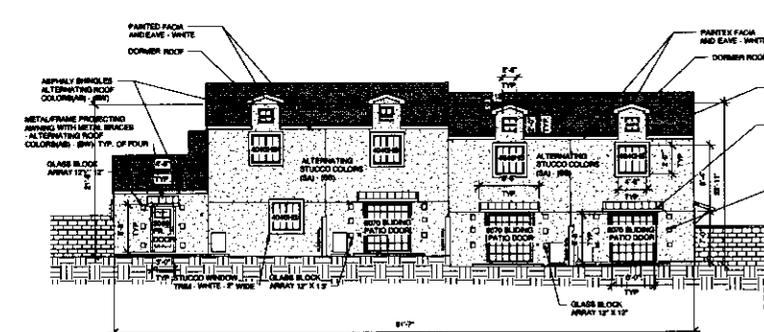


4 BUILDING "B" - NORTH ELEVATION
Scale: 1/8" = 1'-0"

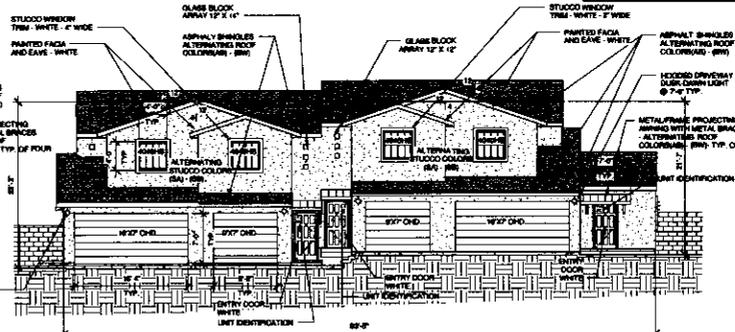


5 BUILDING "B" - SOUTH ELEVATION
Scale: 1/8" = 1'-0"

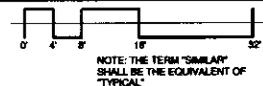
EXTERIOR ELEVATIONS



6 BUILDING "C" - NORTH ELEVATION
Scale: 1/8" = 1'-0"



7 BUILDING "C" - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2416 Reservoir Terrace Lane N.W.
Albuquerque, New Mexico 87117
(505) 243-4211

PROJECT TITLE: **INDIAN RIDGE PATIO HOMES FOR JOE AZAR**
11,910 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

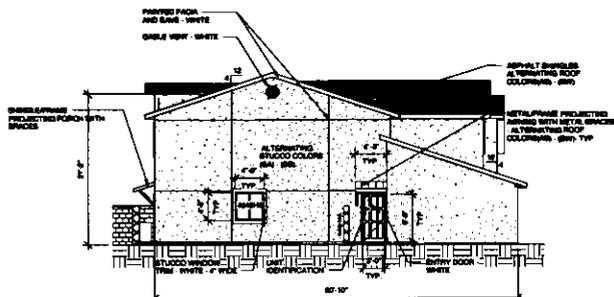
DRAWING TITLE: **ELEVATIONS & DETAILS**

DATE: OCT 23, 2015 PROJECT NO: 120927
DRAWING NO: DRB-6

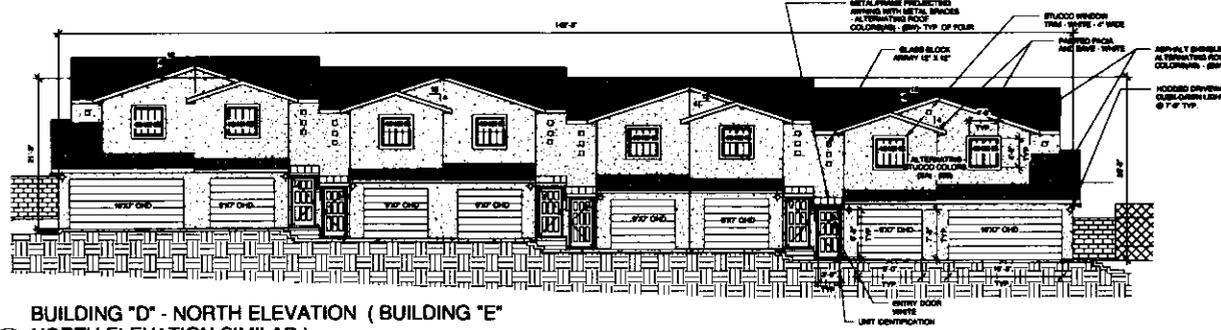


DRB-6

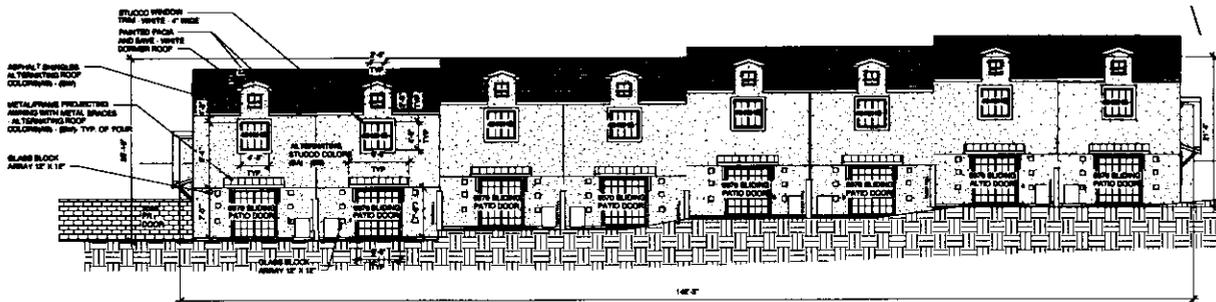
10/23/15



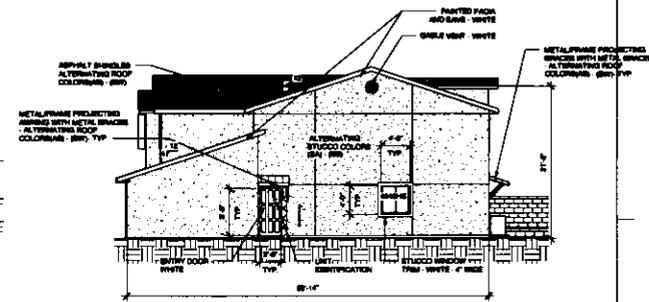
1 BUILDING "C" - WEST ELEVATION (BUILDING "D" & "E" EAST ELEVATION SIMILAR)
Scale: 1/8" = 1'-0"



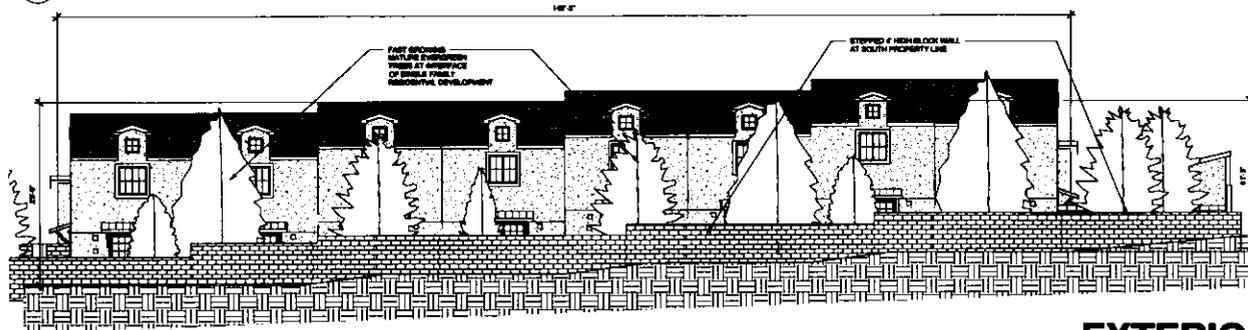
2 BUILDING "D" - NORTH ELEVATION (BUILDING "E" NORTH ELEVATION SIMILAR)
Scale: 1/8" = 1'-0"



3 BUILDING "D" - SOUTH ELEVATION (BUILDING "E" SOUTH ELEVATION SIMILAR)
Scale: 1/8" = 1'-0"



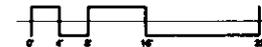
4 BUILDING "D" WEST ELEVATION (BUILDING "E" WEST ELEVATION SIMILAR)
Scale: 1/8" = 1'-0"



5 BUILDING "E" - SOUTH ELEVATION WITH MATURE TREES AND PROPERTY LINE FENCE (BUILDING "D" SOUTH ELEVATION WITH FENCE AND TREES SIMILAR)
Scale: 1/8" = 1'-0"

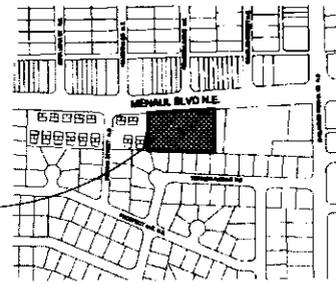
NOTE: THE TERM "SIMILAR" SHALL BE THE EQUIVALENT OF "TYPICAL"

EXTERIOR ELEVATIONS



Cinelli / Roger Chell & Assoc. ARCHITECTS 2618 Menaul Terry Lane N.W. Albuquerque, New Mexico 87107 505-945-9111		
PROJECT TITLE: INDIAN RIDGE PATIO HOMES FOR JOE AZAR 11,910 MENAUL BLVD. N.E. ALBUQUERQUE, NEW MEXICO		
DRAWING TITLE: ELEVATIONS & DETAILS		
SEAL 	DATE OCT. 18, 2011	PROJECT NO. 11007
DRAWING NO. DRB-7		1022915

**INDIAN RIDGE PATIO HOMES
FOR JOE AZAR
11,910 MENAUL BOULEVARD
NORTHEAST
ALBUQUERQUE, NEW MEXICO**



VICINITY MAP - ZA MAP H-22
1" = 500'

PROJECT NUMBER:
APPLICATION NUMBERS:

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SITE DEVELOPMENT PLAN FOR SUBDIVISION
Scale: 1" = 20'-0"
0 20 50 100'

SITE PLAN LEGEND

NEW CONCRETE SIDEWALK, NEW CONCRETE SITE WORK	2" HIGH COLORED 3/4" DIA. COURTYARD WALL
UNIT ENTRY LOCATION	7 1/2" HIGH IF COLORED 3/4" DIA. EXTERIOR STREET FRONTAGE WALL SEE DETAIL 108B-2
GARAGE DOOR LOCATION	12" HIGH IF COLORED 3/4" DIA. GUY WIRE WALL SEE DETAIL 108B-1
HOODED DASH TO WORK EXTERIOR WALL RELATED LIGHTING SEE SPECIFICATION SHEET DRB-4	WHP
SEWERLY DRAINAGE, PWS POND, SEE DRAWING 9 DRAINAGE PLAN	

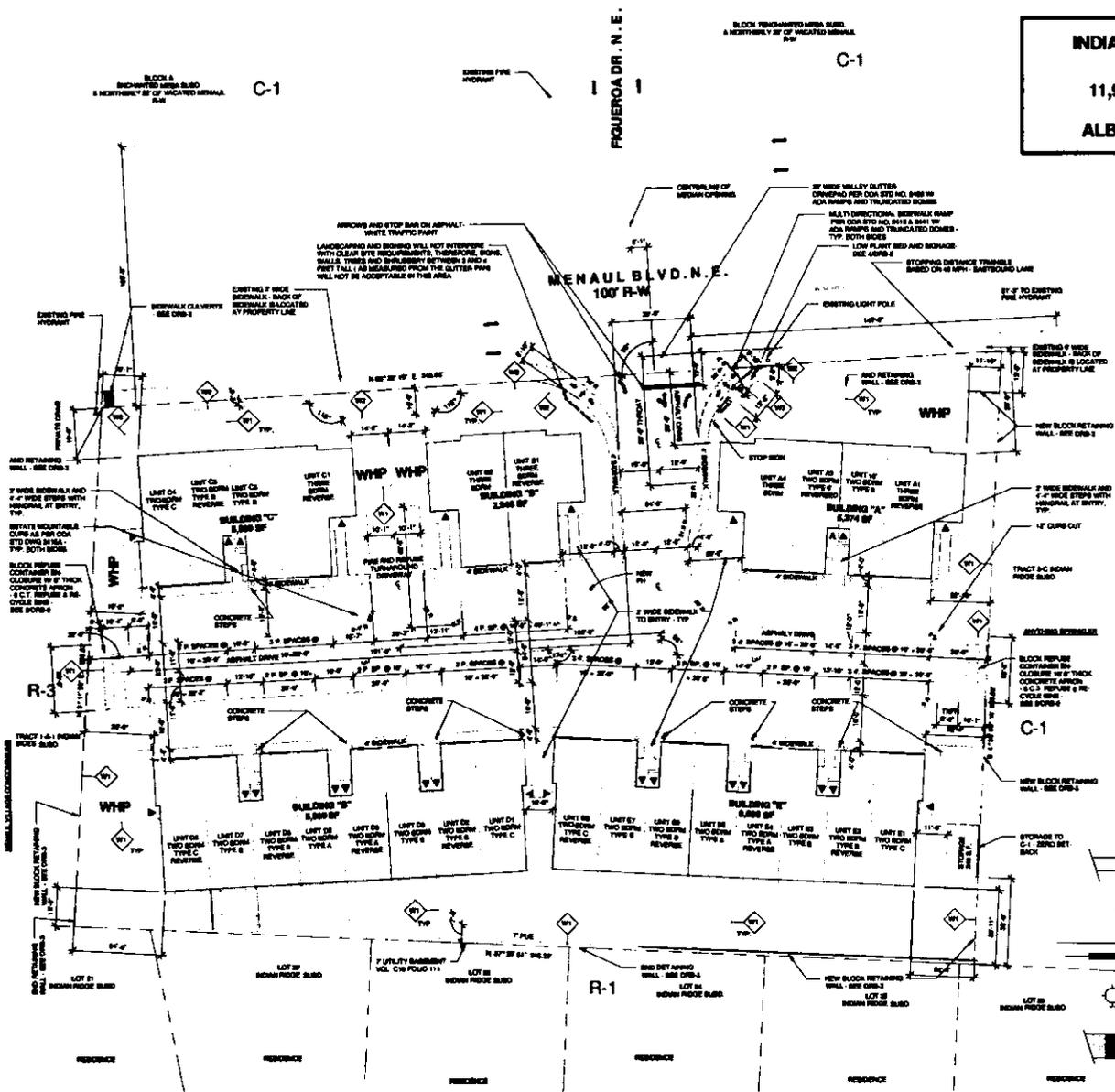
Cinelli / Roper Cinelli & Assoc.
ARCHITECTS
2415 Seward Tower Lane N.W.
Albuquerque, New Mexico 87107
800-393-0211

PROJECT TITLE:
INDIAN RIDGE PATIO HOMES FOR JOE AZAR
11,910 MENAUL BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
SITE DEVELOPMENT PLAN FOR SUBDIVISION

DATE: OCT. 28, 2004 PROJECT NO: Newer
DRAWING NO: **DRB-8**

10/29/15



BLOCK A
INDIAN RIDGE PATIO HOMES
A NORTHERLY 1/2 OF SCALED MENAUL
R-1

BLOCK B (UNIMPROVED AREA) N.E.
A NORTHERLY 1/2 OF SCALED MENAUL
R-1

FOQUEROA DR. N. E.

MENAUL BLVD. N. E.
100' R-1

11,910 MENAUL BOULEVARD N.E.

R-3

C-1

R-1

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

