



**Environmental  
Planning  
Commission**

**Agenda Number: 03  
Project Number: 1007017  
Case #: 16EPC-40016, 17  
June 9th, 2016**

**Supplemental Staff Report** to be read with the May 12<sup>th</sup>, 2016 staff report

<b>Agent</b>	Jim Medley
<b>Applicant</b>	Sunport Park Hospitality, LLC Yogash Kumar
<b>Request</b>	<b>Site Development Plan for Building Permit Zone Map Amendment</b>
<b>Legal Description</b>	Lot 2-A-2, Sunport Park
<b>Location</b>	Woodward between Transport and University
<b>Size</b>	2.03 acres
<b>Existing Zoning</b>	IP
<b>Proposed Zoning</b>	SU-1 for IP uses

**Staff Recommendation**

**APPROVAL** of 16 EPC 40017, Zone Map Amendment and 16 EPC 40016 Site Development Plan for Building permit based on the Findings beginning on Page #, and subject to the Conditions of Approval beginning on Page #.

**Staff Planner  
Maggie Gould, Planner**

**Summary of Analysis**

This case was deferred from the May 12 hearing to allow time for the applicant to revise and clarify the Site Development Plan for Building Permit and revise the R-270-1980 justification. This is a request for a zone map amendment from IP to SU-1 for IP uses to allow the development of a three story, 81 unit hotel. A restaurant will be developed later and the applicant is asking for delegation of approval of the restaurant. The applicant has justified the request under R-270-1980 as being more advantageous to the community as articulated in the comprehensive plan because it will provide economic development. There are no home owner's or neighborhood associations in the area. Property owners within 100 feet of the site were notified of the request. Staff has not received any public comment as of this writing. Staff recommends approval with conditions.



City Departments and other interested agencies reviewed this application from 04/04/2016 to 04/15/2016  
Agency comments used in the preparation of this report begin on Page 25.

**I. AREA CHARACTERISTICS AND ZONING HISTORY**

*Surrounding zoning, plan designations, and land uses:*

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</i>	<i>Land Use</i>
<i>Site</i>	IP	Developing Urban, Sunport Boulevard Design Overlay	Vacant
<i>North</i>	IP	Same	Commercial
<i>South</i>	IP	Same	Commercial
<i>East</i>	IP, SU-1 PRD, SU- 1 for Airport and Related Facilities	Same	Institutional
<i>West</i>	IP, SU-1 for IP Permissive Uses and Student Housing	Same	Vacant, Multi-Family Residential

**II. INTRODUCTION**

This case deferred from the May 12th, 2016 hearing to allow time to provide additional justification for the zone change and to revise and clarify the site plan.

The applicant has added notes and a diagram to the Site Development Plan for Building Permit to clarify the proposed and allowed setbacks and height.

Required Setbacks under the IP zone:	Proposed by the Applicant:
Front-yard setback of not less than 20 feet	Nine feet 10 inches
Side-yard setback of not less than ten feet	Five feet three inches on the east side
Rear-yard setback of not less than ten feet	
Landscape Buffer of 6 feet	Five feet

The diagram on page C.101 shows that the lot would need to be 187 feet wide in order to accommodate the proposed hotel building and stay within the required 45 degree angle, the subject site is 150 feet wide .

The signage details for the freestanding signs have been removed in accordance with the requirements of the 2008 Master Development Plan, which prohibits free standing signs.

The R-270-1980 justification has been amended to more clearly address the need for the zoning. The applicant states that the proposed project cannot be developed under the existing zoning because of the lot's narrow configuration and because the excavation needed to develop a taller building would make it very difficult to access the site from Woodward Road because this would put the site well below the grade of the road.

The site plan process required for the SU-1 zone ensures that the deviations on the site do not negatively impact the adjacent uses because the site plan clearly shows the proposed development and adjacent property owners were notified and given an opportunity to comment. The area around the subject site has developed primarily as a hotel corridor and the development of the hotel will add to that character in a way that other allowed uses in the IP zone may not.

The additional information is added to section D of R-270-1980 in the findings.

The applicant also added significant additional justification to the analysis of the following policies:

Land Use Goal: create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.”

***This request furthers the goal by providing additional employment opportunities and development that is complimentary to the existing development. The future restaurant will offer an amenity that is not found nearby and has been identified as need by the existing hotels. The proposed development will be accessible by auto or foot for nearby residents or hotel guests.***

Policy IIB.5d. The location, intensity, and design of new development shall respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern

***Policy IIB.5d is furthered. The proposed zoning and development will be similar in uses and style to what is already developed in the area. The project did not require a Traffic Impact Study and traffic generated from the site will not over burden the area. The site plan process helps to maintain the integrity of area by allowing input from residents and property owners. The variations to the height and setback requirements will not negatively impact the views to the mountains or the Bosque. The requested zoning will allow variations that are minor and will not be highly noticeable.***

Policy II.B5 i: Employment and service use shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

***The proposed zone and development will not negatively impact the residential areas to the north because the development is separated from the residential areas by additional***

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*commercial development and a City park. The traffic from the development will terminate prior to reaching the neighborhood. The proposed restaurant will add a needed amenity that will be accessible by bikes and pedestrians. The employment opportunities at the development will be readily available closer to the residential areas. The request further Policy II.B5 i.*

#### Economic Development Policies

Policy II.D.6 b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

*The applicant states that the future development will be managed by local residents and that other services will come from a wide variety of sources. Construction will offer on-site and off-site opportunities for jobs. The request allows the development of an outside firms by a local business person.*

Policy II.D.6 c: Opportunities for improvement in occupational skills and advancement shall be encouraged.

*The applicant states that the owner of the proposed hotel encourages promotion within and that there are constant educational opportunities within operation of hotel to encourage employee advancement. The hotel owners offer on-line training programs so that employees can learn new skills. Employees are cross trained so that they learn new skills Restaurant operators will be encouraged to operate in a like manner. The request furthers Policy II.D.6 c.*

These additions are reflected in the findings.

#### **Proposal**

The applicant proposes to amend the zoning on the site from IP to an SU-1 for IP uses zones to allow the development of a 3 story (47 feet in height), 81 unit hotel with swimming pool and fitness and a future restaurant.

The IP zone allows height up to 120 feet, but requires that the building fall within an angle plane measured from the property line. The site is very narrow and the angle planes will make future development on the site difficult. The applicant also requests amended setbacks to address the narrow lot.

The applicant will develop the hotel in phase 1 and the restaurant in a second phase. The applicant is asking that the approval of the restaurant be delegated to the DRB, provided it complies with the approved 2008 Master Development Plan standards.

#### **EPC Role**

The EPC is hearing this case because the EPC has the authority to hear all zone map amendments (zone change) and associated site development plans for building permit for SU-1 Special Use zoned sites, regardless of site size, in the City. The EPC is the final decision-making body unless the EPC decision is appealed [Ref: §14-16-2-22(A)(1) SU-1 Special Use Zone, and 14-16-4-1, Amendment Procedure]. If so, an appeal would go to the Land Use Hearing Officer

(LUHO) who then makes a recommendation to City Council [Ref: § 14-16-4-4-(A)(2) Appeal]. This is a quasi-judicial matter.

#### **IV. AGENCY & NEIGHBORHOOD CONCERNS**

##### ***Reviewing Agencies***

Staff did not receive any additional comments from reviewing agencies.

##### ***Neighborhood/Public***

Staff did not receive any comments during the deferral.

#### **V. CONCLUSION**

This is a request for a zone map amendment from IP to SU-1 for IP uses and an accompanying Site Development Plan for Building Permit to allow the development of a hotel and restaurant on the site.

The applicant cites polices in the Comprehensive Plan to demonstrate that the request is more advantageous to the community as articulated in the applicable plans and that the request clearly facilitates the goals and polices of the Comprehensive Plan. The request meets a need for increased economic development and is appropriate on the site due to the narrow lot size impeding the development of the allowed uses in the IP zone. The grade of the site limits the possibility for excavation because the site takes access from Woodward Road and could not use that access if the grade were greatly reduced. The Site Development Plan process ensures that the hotel use with added height and reduced setbacks is compatible with the existing development.

The intent of the IP zone is to allow higher intensity development; this may include light manufacturing, commercial food service, trucking and warehousing and hotel and motel use. The zone allows a height of up 120 feet based on compliance with a 45 degree angle plane measured from the property line. Because of the narrow lot, the applicant would be limited to a height that is unreasonable for the allowed uses. The proposed approximately 50 foot tall hotel building will be of a similar size, style and use to the surrounding development and the accompanying future restaurant will be an additional compatible use and building. The location of the building allowed by the zone and site plan may help avoid traffic conflicts with the adjacent site.

***FINDINGS - 16EPC-40017 –June 9, 2016 - Zone Map Amendment***

1. This request was deferred from the May 12, 2016 hearing to allow time for the applicant to clean up the Site Development Plan for Building Permit and to more fully address R-270-1980. The applicant submitted a revised Site Development for Building Permit and an updated R-270-1980 justification.
2. This is a request for a for Zone Map Amendment from IP to SU-1 for IP uses for Lot 2-A-2, Sunport Park located Woodward Road between University Boulevard and Transport Street containing approximately 2.03 acres.
3. The applicant proposes to amend the zoning on site to allow the development of a three story hotel. The IP zone allows the height, but requires that the height fall within a 45 degree angle from the property line. The subject site is narrow and the building cannot be developed under the existing requirements.
4. The EPC approved a Master Development Plan for the site in 2008 (08 EPC 40005). The design standards of this plan apply to the subject site. The Master Development Plan is not subject to section 14-16-3-11, (C), Site Development Plan and Subdivision Regulations because it is not a Site Development Plan for Building Permit or Subdivision.
5. The Albuquerque/Bernalillo County Comprehensive Plan, Sunport Design Overlay Zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is located within the Developing Urban Area of the Comprehensive Plan with a Goal to “create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

***This request furthers the goal by providing additional employment opportunities and development that is complimentary to the existing development. The future restaurant will offer an amenity that is not found nearby and has been identified as need by the existing hotels. The proposed development will be accessible by auto or foot for nearby residents or hotel guests.***

- A. Policy IIB.5d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

***Policy IIB.5d is furthered. The proposed zoning and development will be similar in uses and style to what is already developed in the area. The project did not require a Traffic Impact Study and traffic generated from the site will not over burden the area. The site plan process helps to maintain the integrity of area by allowing input from residents and property owners. The variations to the height and setback requirements will not negatively impact the views to the mountains or the Bosque. The requested zoning will allow variations that are minor and will not be highly noticeable.***

- B. Policy II.B5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

***Policy II.B5e is furthered by the request because subject site has access to a full range of urban services including roads, public services, electric and water infrastructure and transit. The subject site is not directly adjacent to single family residential development and will not negatively impact those areas, but is close enough to residential development that residents could access the employment and services offered at the site.***

- C. Policy II.B5 i: Employment and service use shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

***The proposed zone and development will not negatively impact the residential areas to the north because the development is separated from the residential areas by additional commercial development and a City park. The traffic from the development will terminate prior to reaching the neighborhood. The proposed restaurant will add a needed amenity that will be accessible by bikes and pedestrians. The employment opportunities at the development will be readily available closer to the residential areas. The request further Policy II.B5 i.***

- D. Policy II.B5 I: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

***The applicant cites this policy in support of the request. The proposed hotel building is similar in style to the surrounding areas and so may be appropriate to the Plan area. While staff believes that the construction will be of high quality, the design is not necessarily innovative. The request partially furthers Policy II.B5I.***

- E. Policy II.B5m: Urban and site design which maintains and enhances unique vistas improves the quality of the visual environment shall be encouraged.

***The applicant states that the buildings have been sited to take advantage of the view to the Sandias. The hotel will have good views to the east and the west and the gap between the***

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*proposed hotel and the proposed restaurant will act as a view window. The additional height may obscure views for other sites. Policy II.B5m is partially furthered by the request.*

II.C.8 Developed Landscape

- A. The goal is to maintain and improve the natural and the developed landscapes 'quality.

***The goal is furthered because the landscape plan utilizes a variety of plant materials appropriate for the area. The street frontage along Woodward Road will be developed with street trees and landscaped areas the project that will enhance the pedestrian experience adjacent to the project.***

- B. Policy II.C.8 c: Incidental structures such as signs, guywires, poles, fireplugs, street furniture and overhead utility wires shall be designed for minimal visual intrusion and mobility impediment to pedestrians.

***The site plan shows that the walkways and areas adjacent to the building will be designed so that these items are not a hindrance. Policy II.C.8c is furthered.***

II.D.4 Transportation & Transit

- A. The Goal is to develop corridors, both streets and adjacent land uses that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

***The request furthers the goal by allowing the development of employment and services in an area where they are easily accessible. The site is near a multi-family development and .25 miles from a residential area; residents of these developments could walk or bike to the site for work or to access services.***

- B. Policy II.D.4 g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

***Policy II.D.4 g is furthered because the site plan shows pedestrian connections throughout the site and connections to the street that will allow guests to walk from the hotel to the restaurant and along Woodward Road to other destinations.***

II.D.6 Economic Development

- A. The Goal is to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.

***The goal is furthered because the proposed zoning and development will add economic development potential to the area.***

- B. Policy II.D.6 a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

***The proposed zoning and development will offer new employment opportunities in the area. The area surrounding the development has an income level less than most of the 87106 zip***

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*code and could be considered an area of need. The applicant states that there will be clerical, maintenance and management opportunities within the hotel. Policy II.D.6a is furthered by the request.*

- C. Policy II.D.6 b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.  
*The applicant states that the owner of the proposed hotel encourages promotion within and that there are constant educational opportunities within operation of hotel to encourage employee advancement. The hotel owners offer on-line training programs so that employees can learn new skills. Employees are cross trained so that they learn new skills Restaurant operators will be encouraged to operate in a like manner. The request furthers Policy II.D.6 c.*
- D. Policy II.D.6 c: Opportunities for improvement in occupational skills and advancement shall be encouraged.  
*The applicant states that the owner of the proposed hotel encourages promotion within and that there are constant educational opportunities within operation of hotel to encourage employee advancement. Restaurant operators will be encouraged to operate in a like manner. While staff has no way to completely verify this, the website for the Comfort Inn parent company does offer a variety of benefits for employees. The request furthers Policy II.D.6 c*
- E. Policy II.D.6 d: Tourism shall be promoted.  
*The development of a new hotel on the site will add to the accommodation options for travelers and tourists. The proposed restaurant will add a dining option for those travelers and for area residents. Policy II.D.6 d is furthered by the request.*
- F. Policy II.D.6 e: A sound fiscal position for local government shall be maintained.  
*The applicant cites this policy as a justification for the project because it will allow development that will add to the tax base for the Albuquerque area and enhance the surrounding properties. The proposed development will add to the Gross Receipts Tax received, but the policy seems to be directed at the local government budget process and may not be relevant to this request.*
- G. Policy II.D.6 f: The City and the County should remove obstacles to sound growth management and economic development throughout the community.  
*The applicant cites this policy in support of the request because the applicant is asking for delegation of future development on the site. The allowance for alternate height, setbacks and layout may constitute removal of an obstacle to economic development furthering policy II.D.6 f.*
- H. Policy II.D.6 g: Concentrations of employment in Activity Centers should be promoted in an effort to balance jobs with housing and population and reduce the need to travel.

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*The subject site is not within the Designated Sunport Airport Activity Center, located between University Boulevard and Girard, south of the Kirtland Neighborhood, but is just outside of the boundary. The surrounding area has been developed as a hospitality hub with a concentration of hotels and services such as long-term parking, the development will add to the employment opportunities in the area. The request is consistent with the intent of Policy II.D.6 g.*

7. The subject site is within the boundaries of the Sunport Design Overlay Zone.
  
8. The applicant has justified the zone change request pursuant to R-270-1980 as follows:
  - A. The proposed zone will be similar to the surrounding zones. The property can only be developed with a Site Development Plan; which will ensure that what is developed is compatible with the adjacent development.
  - B. The proposed zoning will be very similar to what is developed in the surrounding area and that the Site Plan process will address compatibility with surrounding development.
  - C. The applicant cites Land Use policies IIB.5d, II.B5e, II.B5i, the Developed Landscape goal and policy II.C.8c, the Transportation goal and policy II.D.4g, the Economic Development goal and policies Policy II.D.6a, Policy II.D.6b, Policy II.D.6c, Policy II.D.6d, Policy II.D.6f Policy II.D.6g in support of the request. Staff agrees that the request furthers these policies.

The applicant cites Policy II.D.6e, staff believes that this policy is directed at the City budget process and is not relevant to the request.
  - D. The applicant cites polices in the Comprehensive Plan to demonstrate that the request is more advantageous to the community as articulated in the applicable plans and that the request clearly facilitates the goals and polices of the Comprehensive Plan. The request meets a need for increased economic development and is appropriate on the site due to the narrow lot size impeding the development of the allowed uses in the IP zone. The grade of the site limits the possibility for excavation because the site takes access from Woodward Road and could not use that access if the grade were greatly reduced. The Site Development Plan process ensures that the hotel use with added height and reduced setbacks is compatible with the existing development.
  - E. The proposed zone will allow the permissive and conditional use of the IP zone, but the accompanying Site Development Plan for Building Permit will provide certainty regarding future development on the site.
  - F. The proposed zone will allow development that will be privately developed and will have access to existing urban infrastructure.

G. The applicant has not used economics as the justification for the request; the applicant has justified the request by citing the furtherance of applicable policies and goals in the Comprehensive Plan.

H. The proposed zone is appropriate on the site as demonstrated by the policy analysis.

I. The intent of this prohibition is to make sure that adjacent land uses are compatible. The proposed zoning is similar to what exists on the adjacent sites and will be compatible with those uses. The SU-1 zone is generally considered a justified spot zone because of the policy analysis required in order to approve the zone.

J. As stated in the spot zone discussion, the proposed zone will allow development that is similar or exactly the same as the development on the adjacent parcels.

9. There are no recognized Neighborhood Associations or Home Owners Associations in the area. Property owners within 100 feet of the site were notified. Staff has not received any comments as of this writing.

***RECOMMENDATION - 16EPC-40017 –June 9, 2016***

**APPROVAL of 16 EPC 40017, a request for Zone Map Amendment from IP to SU-1 for IP uses for Lot 2-A-2, Sunport Park, based on the preceding Findings and subject to the following Conditions of Approval.**

***CONDITIONS OF APPROVAL - 16EPC-40017 June 9th, 2016-ZONE MAP AMENDMENT)***

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

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***FINDINGS - 16EPC-40016–June 9, 2016 -Site Development Plan for Building Permit***

1. This request was deferred from the May 12, 2016 hearing to allow time for the applicant to clean up the Site Development Plan for Building Permit and to more fully address R-270-

1980. The applicant submitted a revised Site Development for Building Permit and an updated R-270-1980 justification.
2. This is a request for a Site Development Plan for Building Permit for Lot 2-A-2 located on Woodward Road between University Boulevard and Transport Street and containing approximately 2.03 acres.
  3. The request will allow the development of a three story (47 foot tall) hotel and a restaurant. The restaurant will be developed in a future phase.
  4. The applicant has coordinated with Environmental Health regarding the Landfill buffer and gas mitigation assessment report. Environmental Health is satisfied with the response at this point in the development process.
  5. The EPC approved a Master Development Plan for the site in 2008 (08 EPC 40005). The design standards of this plan apply to the subject site. The Master Development Plan is not subject to section 14-16-3-11, (C), Site Development Plan and Subdivision Regulations because it is not a Site Development Plan for Building Permit or Subdivision.
  6. The Albuquerque/Bernalillo County Comprehensive Plan, Sunport Design Overlay zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
10. The subject site is located within the Developing Urban Area of the Comprehensive Plan with a Goal to “create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.” Applicable policies include:

***This request furthers the goal by providing additional employment opportunities and development that is complimentary to the existing development. The future restaurant will offer an amenity that is not found nearby and has been identified as need by the existing hotels. The proposed development will be accessible by auto or foot for nearby residents or hotel guests.***

- A. Policy IIB.5d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

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*Policy IIB.5d is furthered. The proposed zoning and development will be similar in uses and style to what is already developed in the area. The project did not require a Traffic Impact Study and traffic generated from the site will not over burden the area. The site plan process helps to maintain the integrity of area by allowing input from residents and property owners. The variations to the height and setback requirements will not negatively impact the views to the mountains or the Bosque. The requested zoning will allow variations that are minor and will not be highly noticeable.*

- B. Policy II.B5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

*Policy II.B5e is furthered by the request because subject site has access to a full range of urban services including roads, public services, electric and water infrastructure and transit. The subject site is not directly adjacent to single family residential development and will not negatively impact those areas, but is close enough to residential development that residents could access the employment and services offered at the site.*

- C. Policy II.B5 i: Employment and service use shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

*The proposed zone and development will not negatively impact the residential areas to the north because the development is separated from the residential areas by additional commercial development and a City park. The traffic from the development will terminate prior to reaching the neighborhood. The proposed restaurant will add a needed amenity that will be accessible by bikes and pedestrians. The employment opportunities at the development will be readily available closer to the residential areas. The request furthers Policy II.B5 i.*

- D. Policy II.B5 I: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

*The applicant cites this policy in support of the request. The proposed hotel building is similar in style to the surrounding areas and so may be appropriate to the Plan area. While staff believes that the construction will be of high quality, the design is not necessarily innovative. The request partially furthers Policy II.B5I.*

- E. Policy II.B5m: Urban and site design which maintains and enhances unique vistas improves the quality of the visual environment shall be encouraged.

*The applicant states that the buildings have been sited to take advantage of the view to the Sandias. The hotel will have good views to the east and the west and the gap between the proposed hotel and the proposed restaurant will act as a view window. The additional height may obscure views for other sites. Policy II.B5m is partially furthered by the request.*

II.C.8 Developed Landscape

- A. The goal is to maintain and improve the natural and the developed landscapes 'quality.

***The goal is furthered because the landscape plan utilizes a variety of plant materials appropriate for the area. The street frontage along Woodward Road will be developed with street trees and landscaped areas the project that will enhance the pedestrian experience adjacent to the project.***

- B. Policy II.C.8 c: Incidental structures such as signs, guywires, poles, fireplugs, street furniture and overhead utility wires shall be designed for minimal visual intrusion and mobility impediment to pedestrians.

***The site plan shows that the walkways and areas adjacent to the building will design so that these items are not a hindrance. Policy II.C.8c is furthered.***

II.D.4 Transportation & Transit

- A. The Goal is to develop corridors, both streets and adjacent land uses that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.

***The request furthers the goal by allowing the development of employment and services in an area where they are easily accessible. The site is near a multi-family development and .25 miles from a residential area; residents of these developments could walk or bike to the site for work or to access services.***

- B. Policy II.D.4 g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

***Policy II.D.4 g is furthered because the site plan shows pedestrian connections throughout the site and connections to the street that will allow guests to walk from the hotel to the restaurant and along Woodward Road to other destinations.***

II.D.6 Economic Development

- A. The Goal is to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.

***The goal is furthered because the proposed zoning and development will add economic development potential to the area.***

- B. Policy II.D.6 a: New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

***The proposed zoning and development will offer new employment opportunities in the area. The area surrounding the development has an income level less than most of the 87106 zip code and could be considered an area of need. Policy II.D.6a is furthered by the request.***

- C. Policy II.D.6 b: Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

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*The applicant states that the future development will be managed by local residents and that other services will come from a wide variety of sources. Construction will offer on-site and off-site opportunities for jobs. The request allows the development of an outside firms by a local business person.*

- D. Policy II.D.6 c: Opportunities for improvement in occupational skills and advancement shall be encouraged.

*The applicant states that the owner of the proposed hotel encourages promotion within and that there are constant educational opportunities within operation of hotel to encourage employee advancement. The hotel owners offer on-line training programs so that employees can learn new skills. Employees are cross trained so that they learn new skills Restaurant operators will be encouraged to operate in a like manner. The request furthers Policy II.D.6 c.*

- E. Policy II.D.6 d: Tourism shall be promoted.

*The development of a new hotel on the site will add to the accommodation options for travelers and tourists. The proposed restaurant will add a dining option for those travelers and for area residents. Policy II.D.6 d is furthered by the request.*

- F. Policy II.D.6 e: A sound fiscal position for local government shall be maintained.

*The applicant cites this policy as a justification for the project because it will allow development that will add to the tax base for the Albuquerque area and enhance the surrounding properties. The proposed development will add to the Gross Receipts Tax received, but the policy seems to be directed at the local government budget process and may not be relevant to this request.*

- G. Policy II.D.6 f: The City and the County should remove obstacles to sound growth management and economic development throughout the community.

*The applicant cites this policy in support of the request because the applicant is asking for delegation of future development on the site. The allowance for alternate height, setbacks and layout may constitute removal of an obstacle to economic development furthering policy II.D.6 f.*

- H. Policy II.D.6 g: Concentrations of employment in Activity Centers should be promoted in an effort to balance jobs with housing and population and reduce the need to travel.

*The subject site is not within the Designated Sunport Airport Activity Center, located between University Boulevard and Girard, south of the Kirtland Neighborhood, but is just outside of the boundary. The surrounding area has been developed as a hospitality hub with a concentration of hotels and services such as long-term parking, the development will add to*

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*the employment opportunities in the area. The request is consistent with the intent of Policy II.D.6 g.*

7. The subject site is within the boundaries of the Sunport Design Overlay Zone. The signage shown on the Site Development Plan for Building complies with the Sunport Design Overlay Zone.
8. The applicant is requesting delegation of SPBP for the proposed restaurant.
9. There are no recognized Neighborhood Associations or Home Owners Associations in the area. Property owners within 100 feet of the site were notified. Staff has not received any comments as of this writing.

**RECOMMENDATION - 16EPC-40016 June 9, 2016**

**APPROVAL of 16EPC-40016, a request for Site Development Plan for Building Permit), for Lot 2-A-2, Sunport Park, based on the preceding Findings and subject to the following Conditions of Approval.**

**CONDITIONS OF APPROVAL - (CASE NO.)(DATE)(Site Development Plan for Building Permit**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The landscaping plan shall be coordinated with PNM to verify that the proposed trees are appropriate for the site.

- 
4. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
- 

***Maggie Gould  
Planner***

***Notice of Decision cc list:***

Jim Medley	3100 Christine ST NE	ABQ, NM 87111
Sunport Park Hospitality , LLC	3304 W. Highway 66	Gallup , NM 87301

# JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com  
Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993  
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

May 27, 2016

Karen Hudson, Chair  
Environmental Planning Commission  
600 Second Street NW  
Albuquerque, NM 87102

Re: Zone Map Amendment and Site Development Plan for Building Permit for Comfort Suites Hotel

Dear Chairman Nicholls:

On behalf of Sunport Park Hospitality, LLC, Jim Medley Architect AIA is requesting a Zone Map Amendment and a Site Development Plan for Building Permit for the property comprised of approximately 2.03 acres. The site is located within the Established Urban Area of Comprehensive Plan and is surrounded by IP zoned properties.

The following is a description of the two-part request:

1. **Zone Map Amendment** – The existing zoning is IP and the proposed zoning is SU-1 for IP uses to allow the development of an 81 guestroom hotel and pad for use of a future restaurant. Current uses allow for hotel and restaurant development; however, there are setback restrictions that prevents the development of this building project.
2. **Site Development Plan for Building Permit** – The applicant is proposing to build an 81 guestroom hotel with a pad for future restaurant on a 2.03 acre property, which will be site plan controlled and address issues of landscaping, grading and drainage, site circulation, building placement, and architecture. The hotel is a 3-story building and there is a single story future restaurant. The site has all surface parking.

Prior to the submittal, the applicant contacted adjacent property owners effective to changes requested by this application. No objections were encountered.

## **ADJACENT ZONING AND LAND USES**

All surrounding properties are zoned IP. Directly across Woodward Road SE to the south of this property are 3 hotel projects that are all 4-story buildings and a vacant restaurant pad. All other adjacent properties are vacant.

## **PROJECT DESCRIPTION**

The proposed project is an 81 guestroom hotel with amenities commensurate with an upper mid-market hotel franchise and a pad for future restaurant. The project includes surface parking for hotel and restaurant uses. Bicycle parking is included for restaurant via outdoor bike racks. Motorcycle parking is provided at hotel and restaurant separately visible to hotel lobby and restaurant entrance.

This development is intended to create a hotel development that will enhance the surrounding environment. This project is appropriate for the area, and would be an excellent neighbor to the

surrounding neighborhood. It is conveniently located to serve nearby Albuquerque Airport's traveling public.

The hotel building is approximately **52,250** sq. ft. of heated area plus canopy cover and is three stories in one building to include inside swimming pool and fitness center. There will be a commercial laundry for hotel uses and other amenities for hotel use. The future restaurant will consist of a single story building with a maximum of 6,025 square feet. The future restaurant shall be of an architectural design to compliment the adjoining hotel and commensurate with the surround properties. The site is well landscaped and provides an attractive frontage along Woodward Road and surrounding lots.

Vehicular access is from Woodward Road with one access point. Construction will include a 6' public walk along Woodward and provide a connection to the neighborhood. All required parking is provided as per Albuquerque Zoning Ordinance § 14-16-3-1.

Future development of the restaurant pad site will comply with the design standards in the previously approved Site Development Plan for Subdivision and will be delegated to the Development Review Board for approval.

#### **POLICY ANALYSIS**

The following section justifies the Zone Change request. *Policy language is italicized; applicant's responses are in normal text.*

#### **Albuquerque/Bernalillo County Comprehensive Plan**

This property is within the Established Urban Area as designated by the Albuquerque/Bernalillo Comprehensive Plan. Applicable policies from the Comprehensive Plan are provided below:

#### **II.B.5. Established Urban Area**

*The Goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan and which offers variety and maximum choice in housing, transportation, work area, and life styles, while creating a visually pleasing built environment.*

**Applicant's Response:** The project is infill development in an area where other hotels exist and therefore the development of this hotel will perpetuate the tradition of identifiable, individual but integrate community and will improve the visual environment of the Established Urban area of the City. The hotel building will enhance the site and the context of the surrounding neighborhood. This project will enlarge the tax basis and employment opportunities in the area more so than other types of projects acceptable to the existing zoning for this particularly difficult configured site. Existing zoning permits buildings of far less quality and appearance than is proposed by this application. Due to the narrow and deep configuration of the lot, without the proposed variations to height requirements and setback deviations requested only projects of a lot less quality and size would be permitted on this property.

The proposed restaurant will provide a much needed amenity to the neighborhood. Student housing apartments, numerous hotels and health clinic exist within the Sunport Park area with no nearby restaurants to serve them. This restaurant will be an appreciated addition to existing affected members of the public in the area. The number one complaint of the nearby hotel occupants is the need for a nearby restaurant. This project provides space for a requested and needed amenity to the neighborhood. This restaurant will be easily accessible to existing hotel occupants, both by auto and

walking. Availability will be easily obtained by the Cottage apartment occupants to the west by bike or by foot.

***Policy d:** The location, intensity, and design of new development shall respect existing neighborhood values, natural environment conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.*

**Applicant's Response:** The development will be site plan controlled, a process that helps maintain the integrity and values of the existing neighborhood nearby by providing the opportunity for affected members of the public to participate and offer input relative to the proposed development of the property. The surrounding zoning is IP which would provide an appropriate zoning context for the proposed project with minor setback and height deviations. The design is commensurate with surrendering lots. The lot is configured to be a narrow and deep lot. Due to the narrow lot and topography (lot falls to the west across the narrow dimension) of proposed lot a variation to the east setback is required to construction this project. As shown on the site plan, a deviation to the required 45 degree setback shadow will be necessary for this project to proceed. This variation will not have a negative impact on adjoining lots. The dominant natural scenic views from this and all lots in the neighborhood are to the mountains to the east and the Bosque River Basin to the west which will be maintained and/or enhanced. Applicant also proposes a 5' landscape buffer to parking areas in lieu of 6'. These slight variations will be unnoticeable to a passerby and are necessary for this project to proceed.

The future restaurant pad will require a setback variation along the Woodward Road SE. We are requesting a deviation from existing 20' required setback to approximately 10' and a deviation from the 10' required side setback to 5' in order to provide a building site that would be desirable to a franchise provider. Applicant has provided parking based upon an assumption of one parking space per 200 sq. ft. of leasable area. When final building plans are processed using 1 space per every 4 seats in a restaurant or 1 space per seat in a full bar the parking required will probably be reduced; thereby, allowing for a smaller pad with slightly more setback. The future restaurant will provide the area with a much needed resource for social and recreational purposes for both residents near the development as well as nearby hotel guests.

***Policy e:** New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.*

**Applicant's Response:** The proposed project is infill development within the Established Urban area. The site is currently vacant land contiguous to existing urban facilities and services with access to the Major Street and transit network. As previously stated, the development will be site controlled which will help ensure the integrity of the neighborhood. Proposed development is of more quality and better architecturally than acceptable to the existing zoning. This development is similar to a number of other hotel projects in the immediate area. Warehouse and other industrial project would be permitted with existing zoning that would be inferior to proposed project.

***Policy i:** Employment and service use shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.*

**Applicant's Response:** The proposed project, as stated above, is infill development within the Established Urban area. This project is comparable to surrounding hotel projects and is farther away from existing Cottage apartments than other hotel projects. This development is of high quality and

will not produce excessive adverse effects of noise, lighting, pollution, and traffic on the residential environment to the west of this project. Proposed building site is several hundred feet from nearest residential area. Traffic for use of commercial vehicles on this site will terminate before reaching any residential areas. There are/or will be several hotels between proposed site and Cottage Apartments to the west of this site. There will be no adverse effects from noise, lighting, pollution and traffic on any residential environments. Due to lack of restaurants in the immediate area, the restaurant part of the proposed development will be an appreciated addition to the nearby public. This site will be easily accessible by pedestrian and biking public. Moreover, employment opportunities will be readily available closer to the residential areas. Addition of another hotel will not otherwise, adversely affect the neighborhood.

***Policy I:*** *Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.*

**Applicant's Response:** All four sides of hotel building have been equally detailed. The building and site plan have been designed to maximize views for all occupants while protecting the adjacent neighbors through setbacks and landscaping. Configuration of the site layout permits adjacent occupants the ability of "view" corridors throughout proposed project. The proposed future restaurant shall be designed in a "like" manner to the hotel building. It shall compliment the proposed hotel and all surrounding buildings. Proposed building site is several hundred feet from nearest residential area. Traffic for use of commercial vehicles on this site will terminate before reaching any residential areas. There are/or will be several hotels between proposed site and Cottage Apartments to the west of this site. There will be no adverse effects from noise, lighting, pollution and traffic on any residential environments.

***Policy m:*** *Urban and site design which maintains and enhances unique vistas improves the quality of the visual environment shall be encouraged.*

**Applicant's Response:** The project is infill development which will improve the visual environment by proposing a building that is well placed on the site with adequate setbacks on all four sides of the property. Unique vistas of the Sandia Mountains to the east and the Bosque River Basin views to the west will be maintained and/or enhanced.

#### **II.C.8 Developed Landscape**

*The goal is to maintain and improve the natural and the developed landscapes 'quality.*

**Applicant's Response:** The landscape plan utilizes a variety of plant materials appropriate for the area. The street frontage along Woodward Road provides an attractive street face to the project and serves to enhance the pedestrian experience adjacent to the project. The north and west portions of the property include a well landscaped buffer with appropriate plant materials.

***Policy a:*** *The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.*

**Applicant's Response:** The site slopes to the west and has been designed to take advantage of the views to the Sandia Mountains and the views to the Bosque River Basin. The natural and visual environment will be enhanced by proposed project.

***Policy c:*** *Incidental structures such as signs, guywires, poles, fireplugs, street furniture and overhead utility wires shall be designed for minimal visual intrusion and mobility impediment to pedestrians.*

**Applicant's Response:** The site is designed to promote and create a pleasant opportunity of increased pedestrian activity. There will be no signs on the site other than those on the face of the new buildings. Pedestrian traffic along Woodward Road SE will be encouraged to access adjacent properties.

#### **II.D.4 Transportation & Transit**

*The Goal is to develop corridors, both streets and adjacent land uses that provide a balanced circulation system through efficient placement of employment and services, and encouragement of bicycling, walking, and use of transit/paratransit as alternatives to automobile travel, while providing sufficient roadway capacity to meet mobility and access needs.*

**Applicant's Response:** The street frontage along Woodward Road will provide an attractive street face to the project and serves to enhance the pedestrian experience adjacent to the project. This project is an infill development which will have no adverse effect on existing info structure of the surrounding roadways and pedestrian accesses.

**Policy g:** *Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.*

**Applicant's Response:** This project will encourage pedestrian use as much as possible. The future restaurant project will also promote a pedestrian opportunity as hotel guests from nearby hotels and the residents from the Cottages will be within walking distance. Accessible access is provided from entrance of hotel to street sidewalk by way of designated crossings and sidewalks. Restaurant access is also on the designated accessible access. Adjacent building in the neighborhood are accessible by way of 6' wide public sidewalks along Woodward Road SE.

#### **II.D.6 Economic Development**

*The Goal is to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.*

**Applicant's Response:** This change of zoning will create a taxable property for gross receipts taxes, while under construction, as well as retail gross receipts taxes and hotel guest taxes during operation. There will be jobs created during construction and service jobs created after completion for many years of operation.

**Policy a:** *New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.*

#### *Possible Techniques*

- 1) *Provide incentives to prospective employers through use of municipal industrial revenue bonds, planning activities, utility extensions, and support of recruitment and training services.*
- 2) *Encourage expansion of export-based business to strengthen the economy.*
- 3) *Encourage prospective employers willing to hire local residents and able to diversify the employment base.*

**Applicant's Response:** Development of this project will be achieved with the variations asked for within the zone change. This project will provide opportunities for various types of employment. There will be skilled and non-skilled workers during the construction of the project. During operations of the hotel and restaurant there will be various job opportunities for a wide variety of occupational skills. There will be jobs provided for housekeeping in the hotel. There will also be clerical, maintenance, and management opportunities. The restaurant will provide job opportunities for the normal restaurant personnel as well as management positions.

**Policy b:** *Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.*

*Possible Techniques*

- 1) *Offer incentives to local employers to expand the existing employment base.*

**Applicant's Response:** Management of proposed hotel and restaurant will be accomplished by employing local resident personnel. All maintenance, clerical, and other required services will be solicited from a wide variety of acceptable sources. During construction of the proposed project, there will be opportunities for various on-site and off-site jobs. Hotels by definition, are built on site with off-site manufactured components incorporated into the construction. Suppliers are required; thereby, creating numerous jobs off-site and from out of the immediate area. Future restaurant will be built to compliment this on-site hotel as well as surrounding properties, with an opportunity for a franchise restaurant to be determined.

**Policy c:** Opportunities for improvement in occupational skills and advancement shall be encouraged.

*Possible Techniques*

- 1) *Support educational institutions offering adult education programs appropriate to the emerging employment base.*
- 2) *Encourage prospective employers to cooperate in offering training and recruitment programs.*
- 3) *Provide more efficient distribution of employment information on the unemployed.*

**Applicant's Response:** Owner of the proposed hotel encourage promotion within in order to encourage and foster further education and incentivize employees. There are constant educational opportunities within operation of hotel to encourage employee advancement. Hotel owners offer online training programs in order for employees to improve their skills. Many employees are cross trained in order they may learn new skills.. There is constant educational opportunities within operation of hotel to encourage employee advancement. Restaurant operators will be encouraged to operate in a lack manner.

**Policy d:** *Tourism shall be promoted.*

*Possible Techniques*

- 1) *Promote recreational, athletic, and cultural programs and events of a regional nature.*

- 2) *Develop and support convention related facilities.*
- 3) *Manage development and change to retain and enhance unique features which give this area its identity.*
- 4) *Promote tourism and educational use of the Open Space network and archaeological sites through construction of appropriate facilities, trails, interpretive centers, and picnic areas.*

**Applicant's Response:** By definition, a hotel is in the middle of Tourism promotion. Due to the proximity to the airport, this project will enhance the traveling public's enjoyment of New Mexico. By providing facilities that will accommodate the travelling public and enhance convention and public spaces, this proposed project will provide one more option for the general enjoyment of the Albuquerque area. The future restaurant will provide a much needed service to the adjacent area. There are numerous hotels in the area without the benefit of a restaurant. This project will also provide restaurant facilities that will be useful to the nearby University apartments and surrounded commercial properties.

**Policy e:** *A sound fiscal position for local government shall be maintained.*

*Possible Techniques*

- 1) *Prepare and annually review an integrated strategic plan for local government.*
- 2) *Relate planning and development priorities to achieving fiscal solvency.*

**Applicant's Response:** With this requested zone change and its proposed variations, this project will provide an attractive infill that will enhance the surrounding properties. With proper management and operation, this project will contribute to the tax base and employment security of the area.

**Policy f:** *The City and the County should remove obstacles to sound growth management and economic development throughout the community.*

*Possible Techniques*

- 1) *Prepare an area-wide economic development strategy.*
- 2) *Identify obstacles to private investment (obsolete platting, deteriorating building conditions, public perception, vacancies, obsolete land uses, and high crime areas) through surveys, economic base analysis, and market studies.*
- 3) *Target economic incentive programs to promote equitable economic development conditions throughout the community.*
- 4) *Develop strategies to correct problems of disinvestment.*

**Applicant's Response:** Applicant for this project is requesting that this zone change and site controlled variations be approved for a building permit. There are no additional infrastructure requirements required for the approval of this project; therefore, there will be no additional expenses to the City and the County, but will provide all of the benefits to the area as previously stated in this application letter.

**Policy g:** *Concentrations of employment in Activity Centers should be promoted in an effort to balance jobs with housing and population and reduce the need to travel.*

**Applicant's Response:** Employment shall be concentrated in an area that is predominately occupied by hotels and their supporting organizations near to the Albuquerque Sunport. Nearby housing areas support an economic area that will provide employees to the hotel and future restaurant.

## **RESPONSE TO THE CITY OF ALBUQUERQUE RESOLUTION 270-1980**

This zone change request is in compliance with Resolution 270-1980 as follows:

- A.** *A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.*

**Applicant's Response:** The proposed zone change from IP to SU-1 for IP uses will not jeopardize the health, safety morals, and general welfare of the City. The proposed zone is not different from the existing zone, which already allows hotels and restaurants. Development of the vacant lot will help to improve the community.

- B.** *Stability of land use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not the City to show why the change should not be made.*

**Applicant's Response:** This existing zone provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within industrial environments achieved through a Development Plan. The proposed change of zoning with the minor proposed variations will not destabilize the area, but rather help to stabilize the neighborhood. This project will enlarge the tax basis and employment opportunities in the area more so than other types of projects acceptable to the existing zoning for this particularly difficult configured site. The proposed zone change with proposed variations will allow this vacant land to be utilized by a project that is commensurate with the already developed properties nearby.

- C.** *A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto including privately developed area plans which have been adopted by the City.*

**Applicant's Response:** The proposed change is not in conflict with adopted elements of the Comprehensive Plan as discussed in the previous policy analysis. Due to site's proximity to Albuquerque Sunport the proposed change of zone with requested variations will allow the development of this particular site to closely resemble surrounding properties. This project will only add variation, for the general public, to the available hotels nearby. This project will also provide a needed amenity to the area. Future restaurant will be appreciated by various travelers and nearby apartment dwellers.

- D.** *The applicant must demonstrate that the existing zoning is inappropriate because:*

- 1. There was an error when the existing zone map pattern was created, or*
- 2. Changed neighborhood or community conditions justify the change, or*

3. *A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D1) or (D2) do not apply*

**Applicant's Response:** Under the existing zoning and permitted setback requirements it would not be possible to develop the hotel. Current community conditions justify the changes because this area has rapidly, for all intents and purposes, become the Albuquerque Airport hotel zone. Addition of this hotel in the area is advantageous because it would give Albuquerque travelers another option for their lodging needs and moreover will support the Albuquerque Comprehensive plan's desire to promote economic growth. This project will enlarge the tax basis and will increase employment opportunities. Changes to zoning will allow for the minor variations to IP zoning height restrictions and setback requirements as requested; thereby, permitting this project to proceed. If the developer were to excavate the land and lower the grade which would be limited by the grade of the street to the south the setback requirements by the IP Zone would still not be met. The hotel must have a minimum of three floors (a Franchisor requirement) and in order to fall within the 45 degree angle to meet the setbacks the developer would need a lot width of at least 187 feet and the applicant's lot is only 154 feet. If applicant is granted the zone change, allowing the requested setbacks, property can be developed keeping with the general characteristics of the surrounding area. This will enhance the community by allowing a project that is commensurate with surrounding properties. These proposed variations will allow a project that will blend into the neighborhood that otherwise would not be possible on this narrow and deep property.

- E. *A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.*

**Applicant's Response:** The proposed zone change will not change any permissive uses that would be harmful to adjacent property, the neighborhood, or the community. As mentioned previously, the zone change will allow minor height change along the east property line and minor parking lot landscaping buffer on the west side. The nature of this land use will not pose a threat to the adjacent property, the neighborhood, or the community.

- F. *A proposed zone change which, to be utilized through land development, requires major and un-programmed capital expenditure by the city may be:*

1. *Denied due to lack of capital funds: or*
2. *Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.*

**Applicant's Response:** The proposed zone change will not require any programmed capital expenditures by the City. Adequate infrastructures, including water, sewer, and stormwater facilities are available to serve this property.

- G. *The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor of a change of zone.*

**Applicant's Response:** The cost of land or other economic considerations are not the determining factor for this zone change request. The proposed use will positively contribute to the area through construction jobs, service jobs, gross receipts taxes and increased values now and in the future use of the property.

H. Location on a collector or major street is not in itself sufficient justification of apartment, office, or commercial zoning.

**Applicant's Response:** This application for zone change has nothing to do with collector or major street access. Requested zoning is the same use as permitted in existing IP zoning. This request will allow for minor variations to height requirement and setback requirements. This change of zoning will allow creation of a desirable, taxable property for gross receipts taxes, while under construction, as well as retail gross receipts taxes and hotel guest taxes during operation. There will be jobs created during construction and service jobs created after completion for many years of operation

I. *A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when;*

1. *The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan.*

**Applicant' Response:** Changes requested are minor variations to height and setback requirements to the existing IP zoning. These are changes that will not affect the overall appearance to this lot from any other lot developed as a hotel, which are permitted in the original IP zoning. Zone change from IP to Su-1 for IP uses is requested to accommodate variations to height and setback limitations along the eastern property line and minor setbacks required along Woodward Road SE frontage and around parking areas. Realizing this is a "spot zone" the general use and appearance of this project will not differ from surrounding existing properties. Rezoning to SU-1 for IP uses will facilitate the progression of this project in a manner that is only different from surrounding properties in minor ways. Slight deviations to height and setback requirement of IP zoning will be accommodated by approval of zone change with requested variations.

J. *A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where;*

1. *The change will clearly facilitate realization of the Comprehensive Plan and applicable adopted sector development plan or area development plan.*

**Applicant's Response:** This zone change does not ask for anything that changes the character of nearby surrounding properties. There are numerous hotels on immediate surrounding lots. This application only asked for minor height and setback variations that would make this project appreciably different from any of the surrounding hotels. As in the above response to "spot zoning" the requested variations to height and setback requirements would create a strip zone in a lack manor. This requested zone change with the minor variations to height and setback requirements will facilitate the realization of this project that does not vary in an appreciable difference to surrounding properties.

## CONCLUSION

In conclusion, the proposed hotel and restaurant project will provide an infill project that will compliment an existing sub-division. There will be no change to permissible uses, only slight

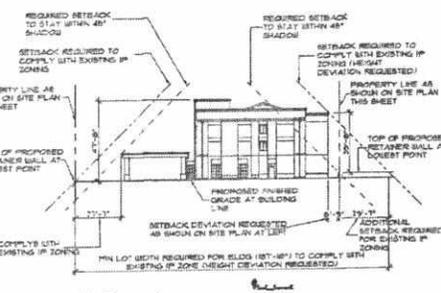
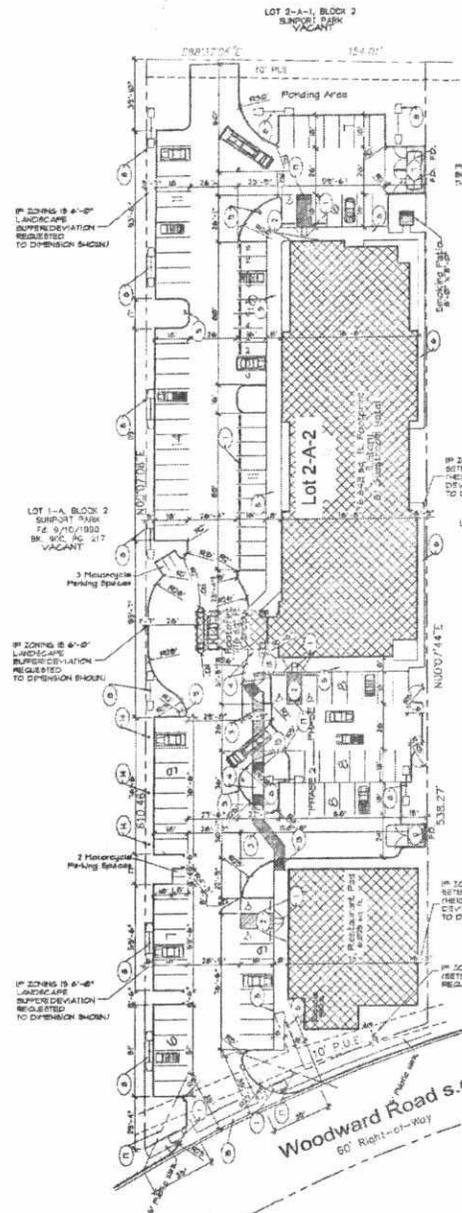
modifications to the height and setback requirements. This will be a more than beneficial project and an enhancement to the neighborhood and community.

We respectfully request that the Environmental Planning Commission approve the request for this Zone Map Amendment and Site Development Plan for Building Permit. Thank you for your consideration.

Sincerely yours,

A handwritten signature in black ink that reads "James T. Medley". The signature is written in a cursive style with a large, sweeping initial "J" and a distinct "T" in the middle name.

Jim Medley, Architect AIA



7 South Elevation  
C101 SCALE 1/8"=1'-0"

- GENERAL NOTES**
1. THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
  2. ALL BUILDINGS SHALL COMPLY WITH THE STANDARDS OF USE, HEIGHT, SETBACKS, AND REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
  3. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  4. THE MECHANICAL SYSTEMS HEATING AND COOLING AND BUILDING ENVELOPE SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  6. ALL SCREENING AND VEGETATION SURROUNDING ROOF-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW A MINIMUM CLEARANCE OF 10 FEET FROM THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REARING THREE SIDES FOR SAFE OPERATION.
  7. ALL UTILITIES SHALL BE LOCATED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  8. ALL SCREENING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  9. ALL SCREENING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  10. ALL SCREENING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  11. ALL SCREENING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	DELTA
C1	170.91	830.00	S66°14'28"W	170.91
				114°7'53"

**WRITTEN SUMMARY**  
The proposed project is a three-story hotel building with approximately 210 guest rooms. Each story is approximately 10 feet high. The total building area is 32,220 square feet. The proposed use of the building will be as a short-term stay hotel which is subject to the requirements of the zoning code. Height limitations and setbacks requirements are shown on these plans.

**DRAWING INDEX**

1. SITE PLAN - C101
2. SITE PLAN DETAILS - C201
3. BUILDING AND STRUCTURAL ELEVATIONS - A301
4. LANDSCAPE PLAN - L301
5. PRELIMINARY UTILITY PLAN - U301
6. CONCEPTUAL UTILITY PLAN - C103

**EASEMENT RECORDING INFORMATION**

PER PLAN RECORDING DATE: 08-12-2008  
BOOK: 2008  
PAGE: 382

**PROJECT DATA**

LEGAL DESCRIPTION: LOT 2-A-2, BLOCK 2, SUPPORT PARK, SUBDIVISION, ALBUQUERQUE, BERNALDO COUNTY, NEW MEXICO

EXISTING ZONING: P-1 (PER LOCAL ORDINANCES)

REQUESTED ZONING: M-1 (PER LOCAL ORDINANCES)

TRACT AREA: 2.03 ACRES, 89,436 S.F.

BUILDING FOOTPRINT: 17,814 S.F.

FUTURE RETAIL AREA: 8,405 S.F.

TOTAL BUILDING AREA: 26,229 S.F.

P.A.N.: 02

PERCENTAGE OF SITE SURFACE COVERED BY BUILDINGS = 20.8

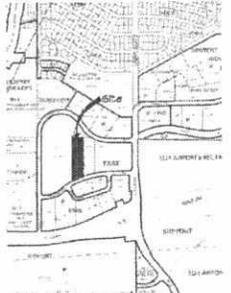
PROPOSED USE: HOTEL/RESTAURANT

**PARKING DATA**

81 OUTDOOR  
LESS 25% RESTAURANT / 200 (THIS WILL ALLOW 174 SPACES)  
TOTAL REQUIRED (1 PER UNIT) / 1 PER 200 SQ. FT. OF RESTAURANT

**REAL PARKING PROVIDED:**  
CONCEPT PARKING ALONG SIDE OF REAL SPACES  
COMPACT PARKING PROVIDED  
ADA PARKING PROVIDED  
ADA PARKING PROVIDED  
BIKE PARKING PROVIDED (RESTAURANT ONLY) 1 STALL / 20 PARKING SPACES  
MOTORCYCLE PARKING PROVIDED  
MOTORCYCLE PARKING PROVIDED

**STALLS:**  
81 STALLS  
25 STALLS  
174 STALLS  
25 STALLS  
25 STALLS  
25 STALLS  
8 STALLS  
2 STALLS  
2 STALLS  
2 STALLS  
2 STALLS



2 Vicinity Plan  
C101 SCALE 1/8"=1'-0"

PROJECT NUMBER: \_\_\_\_\_  
Application Number: \_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, Plan a set of approved DDC plans with a work order is required for any construction when Public Right-of-Way or for beneficiaries of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date	Environmental Health Department (conditional)	Date
ABCWA	Date	Solid Waste Management	Date
Parks and Recreation Department	Date	DRB Chairperson, Planning Department	Date
City Engineer	Date		

- Key Notes**
1. SLOPED ADA RAMP: City of Albuquerque Std. D.U. No. 249 (10) HANDED AT TRAFFIC AREA.
  2. HANDICAP SIGN ON POLE OR MOUNTED ON WALL 12" X 18".
  3. ADA ACCESSIBLE PEDESTRIAN PATHWAY 6" SIDE WITH PAINTED STRIPPING.
  4. ADA ACCESSIBLE PEDESTRIAN WALK 14'-0" WIDE CONCRETE/
  5. HANDICAP ACCESSIBLE WALKS WITH VARIERS - REFER TO DIMENSIONS.
  6. 4" WIDE CONCRETE SERVICE WALK.
  7. TRASH ENCLOSURE.
  8. LIGHT FIXTURE.
  9. HOSE FIRE HYDRANT.
  10. NOT USED.
  11. NOT USED.
  12. ADA Ramp with Accessible Pedestrian Pathway (Refer to Detail on Sheet C201)
  13. Concrete Valley Curb per City of Albuquerque Std. D.U. No. 249
  14. Paint "CONTRACT" on Each Compact Parking Space
  15. NO PARKING in Capital Letters 14" High x 2" Stroke Adjacent to Vehicle Rear Tire
  16. Clear Sight Triangle - Landscaping and Signage 07' Not Interfere 20' Clear Sight Triangles, Impedance with Trees and Obstructions between 5 and 8 Feet Tall 14' Measured From the Outer Edge 20' Not be Obstructive in This Area.



**KEITH MEDLEY, Architect AIA**  
1100 Christine N.E. Albuquerque, NM 87111  
Phone: (505) 255-2014 Fax: (505) 251-5533

PROJECT NO. \_\_\_\_\_  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
FOR: \_\_\_\_\_

1100 Christine N. Medley  
**CHOICE HOTELS**  
L.L. MEDLEY, INC.  
Support Park Hospitality, LLC  
Culpeper, VA 22620

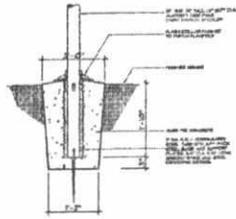


DATE:	
REVISION / DRAWING:	
BY:	
FOR:	

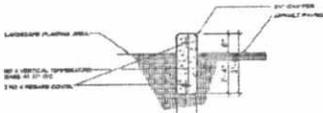
PROJECT DEVELOPER:  
**SITE PLAN FOR BUILDING PERMIT**

SCALE: \_\_\_\_\_

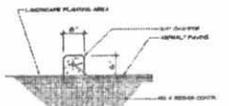
**C 101**



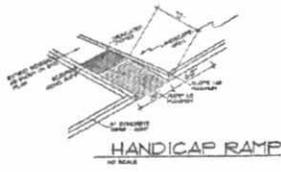
**FLAG POLE DETAIL**  
SCALE 1/4" = 1'-0"



**STAND-UP CURB DETAIL**  
SCALE 1/4" = 1'-0"



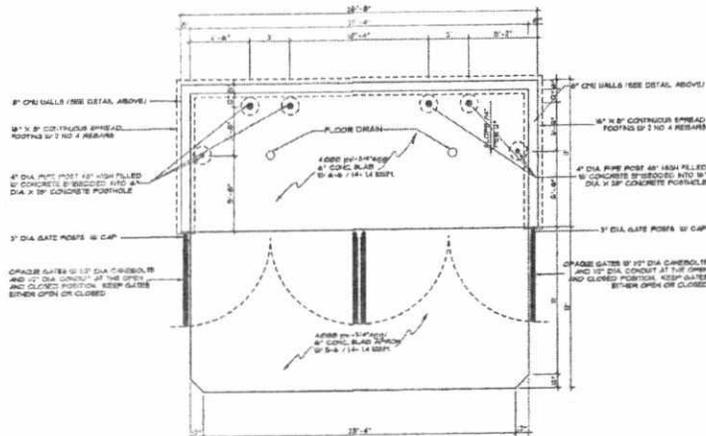
**Alternate Stand-up Curb Detail**  
SCALE 1/4" = 1'-0"



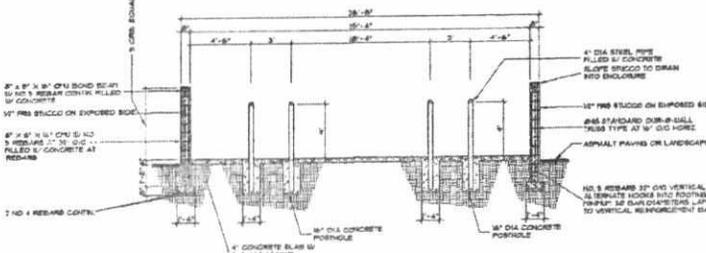
**HANDICAP RAMP**  
NO SCALE



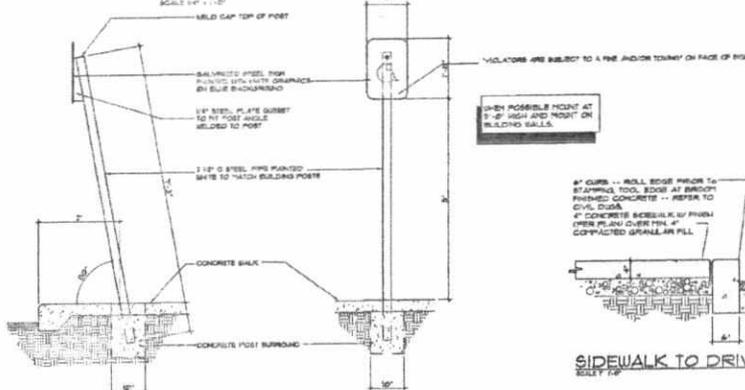
**Handicap Ramp**  
NO SCALE



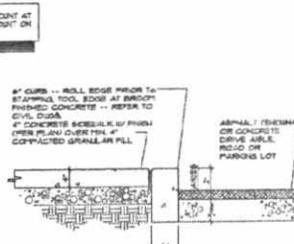
**REFUSE ENCLOSURE PLAN**  
SCALE 1/4" = 1'-0"



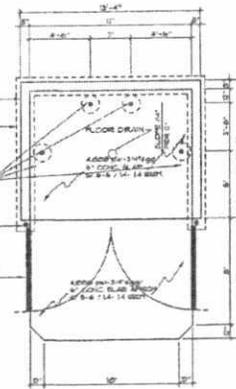
**REFUSE ENCLOSURE SECTION**  
SCALE 1/4" = 1'-0"



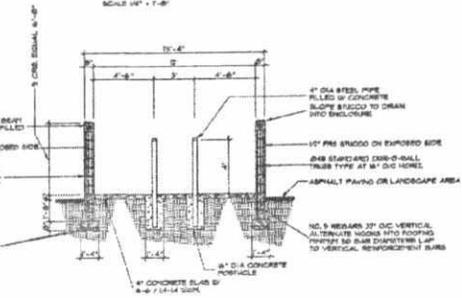
**HANDICAP PARKING SIGN**  
SCALE 1/4" = 1'-0"



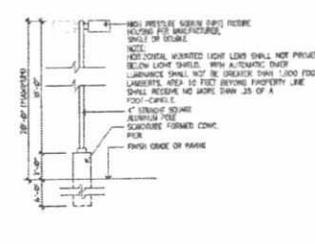
**SIDEWALK TO DRIVE AISLE**  
SCALE 1/4" = 1'-0"



**REFUSE ENCLOSURE PLAN**  
SCALE 1/4" = 1'-0"



**REFUSE ENCLOSURE SECTION**  
SCALE 1/4" = 1'-0"



**POLE LIGHT FIXTURE DETAIL**  
SCALE 1/4" = 1'-0"



**JIM WEDLEY, Architect AIA**  
1300 Downing N.E. Albuquerque, NM 87111  
Phone (505) 247-2514 Fax (505) 234-3383

PROJECT NO.	
DATE	1/1/00
BY	JW
CHECKED BY	
DATE	

PROJECT: 1825 CHESTERSTOWN BLVD. **CHOICE HOTELS** L.L.B. & T. D.D. LLC  
Stoughton Park Hospitality, LLC  
Cullip, Natick, MA

NO.	DATE	REVISION / DRAWN
1		
2		
3		

**SITE ELEMENT DETAILS**

**C201**

KEYNOTED - EXTERIOR ELEVATIONS - SCHEME B

Keynote Number	Description
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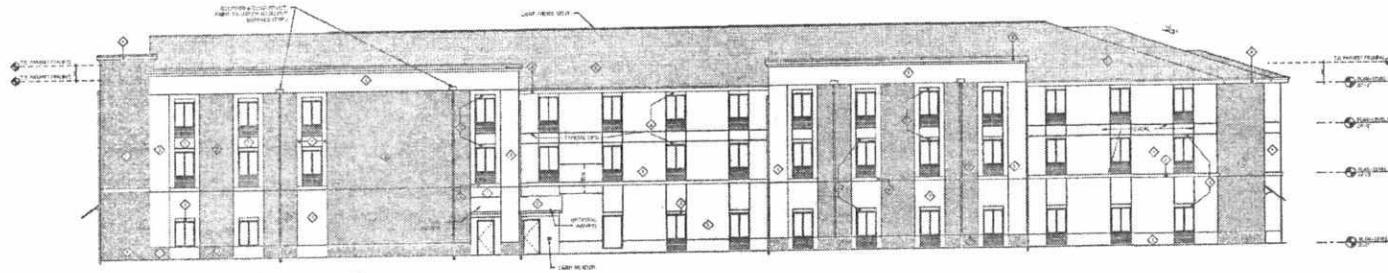
- 1 EIFS, NOIR - SHERMAN WILLIAMS, SW6127
- 2 EIFS, RESTRAINED GOLD - SHERMAN WILLIAMS, SW6129
- 3 EIFS, MANNERED GOLD - SHERMAN WILLIAMS, SW6130
- 4 EIFS, NAVAJO WHITE - SHERMAN WILLIAMS, SW6126
- 5 STONE: ASPEN 2006 COUNTRY LEDGESTONE - CULTURED STONE
- 6 OPTIONAL AWNING: UREAN BRONZE - TO MATCH SHERMAN WILLIAMS, SW7048
- 7 ENTRY DO: DARK BRONZE ANODIZED
- 8 ALUMINUM ANODIZED BRONZE TO MATCH WINDOW SYSTEM - BY MANUFACTURER
- 9 ASPHALT SHINGLES, DOVE GRAY - CERTAINTED CP



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**STIM MEDLEY, Architect AIA**  
 3142 Corporate Dr. #200  
 Atlantic City, NJ 08406  
 Phone: (609) 398-1344 Fax: (609) 398-0535

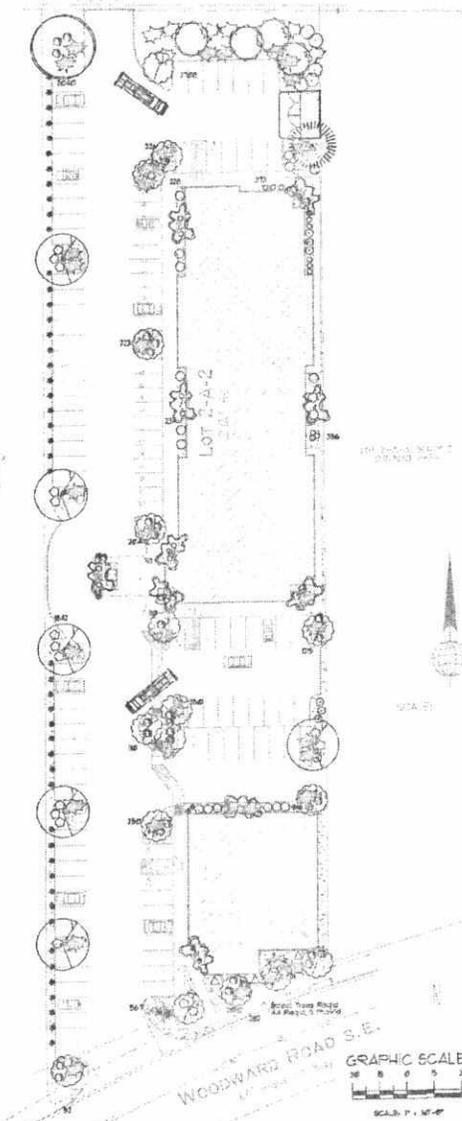
PROJECT NO.	DATE
NO. 1000	10/10/11
PROJECT NO.	NO. 42
DATE	DATE

PROJECT: **NEW JERSEY STATE CHOICE HOTELS**  
 1000 N. 10TH ST. ATLANTIC CITY, NJ 08406  
 ARCHITECT: **Support Park Hospitality, LLC**  
 1000 N. 10TH ST. ATLANTIC CITY, NJ 08406

#	REVISION / TASK	DATE

DATE: 10/10/11  
**PRELIMINARY EXTERIOR ELEVATIONS**

Sheet: **A 301**



**LANDSCAPE LEGEND**

SYM	SIZE	CANONICAL/SCALE	W/OUT
<b>Trees</b>			
1	2'-6"	Ash Fraxinus sp.	4000
2	7'-6"	James Live Oak Quercus bicolor	11
3	8'-8"	Admiral Pine Pinus strobus	11
4	4'-8"	Pink Yucca Yucca rostrata	11
5	5'-6"	Olivera Redbud Cercis canadensis	11
<b>Shrubs &amp; Groundcovers</b>			
6	3'-6"	Crape Myrtle Lagerflorica indica	14 1400
7	3'-6"	Crema Bellini Chrysanthemum	400 1600
8	3'-6"	Nala Rosemary Rosmarinus officinalis	25 950
9	3'-6"	Nashua Rosemary Rosmarinus officinalis	25 950
10	3'-6"	Blue Yucca Yucca rostrata	14 1400
11	3'-6"	Blue Yucca Yucca rostrata	14 1400
12	3'-6"	Blue Yucca Yucca rostrata	14 1400
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97	3'-6"	Blue Yucca Yucca rostrata	14 1400
98	3'-6"	Blue Yucca Yucca rostrata	14 1400
99	3'-6"	Blue Yucca Yucca rostrata	14 1400
100	3'-6"	Blue Yucca Yucca rostrata	14 1400

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner.  
 The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from other applicable provisions of the State Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping shall be in conformance with the County of Bernalillo Zoning Code. In general, water conservative, environmentally sound landscape principles shall be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with trees to receive 1 gallon per inch (GPI) length with 3 loops at a final radius of 48" from tree trunk, primed in place. Native shall have emitters 1" o.d. with a flow of 1/2 gph. Shrubs to receive 12" GPI. Drip Emitters, Drip and Bubble systems to be tied to 1/2" polyethylene with floor caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at present, the end will be coordinated in the field. Irrigation will be operated by automatic controller.

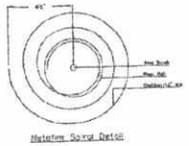
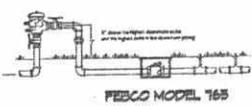
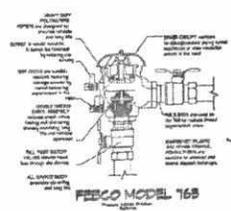
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (A1)	2600
TOTAL BUILDING AREA	2714
LANDSCAPE REQUIREMENT	X .8
TOTAL LANDSCAPE REQUIRED (A1)	1936
TOTAL LANDSCAPE PROVIDED	1940
LIVE LANDSCAPE PROVIDED	1940
LIVE LANDSCAPE PROVIDED	1940



**TREE PLANTING DETAIL**  
 1. Tree to be planted in hole.  
 2. Hole to be 2" larger than tree.  
 3. Hole to be 2" larger than tree.  
 4. Hole to be 2" larger than tree.  
 5. Hole to be 2" larger than tree.  
 6. Hole to be 2" larger than tree.  
 7. Hole to be 2" larger than tree.  
 8. Hole to be 2" larger than tree.  
 9. Hole to be 2" larger than tree.  
 10. Hole to be 2" larger than tree.



The Village  
 1000 Main St. N.E.  
 Corral, N.M. 87701  
 Phone: 505-261-1111  
 Fax: 505-261-1111  
 www.villageofalbuquerque.com

Landscape Architect



March 28, 2016

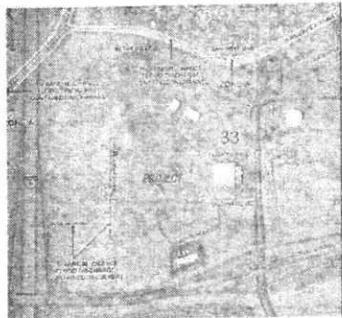
Comfort Suites  
 Woodward Road NE  
 Albuquerque, NM  
 LANDSCAPE PLAN

This plan is prepared in accordance with the provisions of the New Mexico Landscape Architecture Act and the rules of the Board of Landscape Architecture. The user of this plan is to be held responsible for any errors or omissions. The user shall indemnify and hold the architect harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the architect in connection with this project.



DESIGN BY  
 PROJECT NO.  
 SHEET NO.

SHEET  
 LS-101



FIRM MAP PANEL 35001C0342 G

### GRADING & DRAINAGE PLAN

THE LIGHT INDUSTRIAL ZONED PROJECT IS LOCATED IN THE DEVELOPED SUPPORT PARK SUBDIVISION (CORPUS) AREA APPROX 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE DESIGN HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 88-15, AND THE CITY DRAINAGE ORDINANCE. THE PLAN IS PROVIDED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS INCLUDING SURFACE UTILITIES/STREETS;
- PROPOSED IMPROVEMENTS, WITH INTERMEDIATE HOTEL - RESTAURANT SITE DEVELOPMENT, NEW UPRISE ELEVATIONS, PERMEABLE SOFT PAVEMENT AND RESTORATION;
- CONTRAST BETWEEN EXISTING AND PROPOSED ELEVATIONS;
- QUANTIFICATION AND ANALYSIS OF UPRISE Q10 - Q10 FLOODS (IF APPLICABLE) PLUS THE DEVELOPED FLOODS GENERATED BY THE IMPROVEMENTS INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO DEMONSTRATE OUTFALL FOR DOWN-TOWN DRAINAGE RUNOFF AND EXISTING, AND ESSENTIALLY ALLOWING HISTORIC FLOODS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. FURTHER, THE SITE IS REQUIRED TO BE DEVELOPED PROPERTY. WARDEN RD ON THE SOUTH IS AN IMPROVED ASPHALT MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 75 TO 100 FEET.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY Q10 - Q10 DRAINAGE FLOODS. FREE DISCHARGE OF DEVELOPED FLOW IS NOT ADJUSTABLE SINCE THE SITE LIES WITHIN ONE UTILITY MAINLINE FOR THE SUPPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE PROPERTY BOUNDARY. THE NORTH BASIN SHALL DRAIN TO THE DRAINAGE POND WITH CONTROLLED OUTFALL SIZES FOR RESIDUE - THE SOUTH BASIN SHALL DRAIN TO THE DRAINAGE POND WITHIN THE DEVELOPED LANDSCAPE AREAS.

### CALCULATIONS

#### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISION JANUARY 1981 PER CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO  
DISCHARGE RATE:  $Q = 0.034 \times A \times AREA$  (Peak Discharge Rates For Small Watersheds)  
VOLUMETRIC DISCHARGE:  $VOLUME = 0.0001 \times AREA$   
 $R_{100} = 2.33$  inches, Zone 2  
 $R_{10} = 1.0$  inches  
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/30-MINUTE [1 = 40 YEAR RAINFALL]

#### EXISTING CONDITIONS

TOTAL AREA = 2.03 ACRES, WHERE EXCESS PRECIP. @ 0.75 IN. (0.75)  
PEAK DISCHARGE Q100 = 4.58 CFS (1.9) WHERE LAST PEAK DISCHARGE @ 2.89 CFS (AC. 0.28)  
INLET FLOW: VOLUME 100 = 3662 OF (101.1)

#### DEVELOPED CONDITIONS

AREA	LAND TREATMENT	$R_{100}$	$R_{10}$
UNDEVELOPED	AS	1.000 (0.33)	0.50 (0.13)
LANDSCAPING	AS (0.75)	2.20 (0.33)	0.70 (0.20)
GRAVEL & COMPACTED SOIL	0.1 AS (0.050)	3.74 (1.17)	1.10 (0.30)
ROOF - PAVEMENT	AS (0.75)	4.70 (1.44)	2.10 (0.54)

THEFORE:  $R_{weighted} = 1.13$  IN. (0.52) @ VOLUME 100 = 2808 CFS  
 $R_{10} = 0.4$  CFS VOLUME 10 = 3775 OF

RECOMMEND: MINIMAL INCREASE, THEREFORE ENSURE THAT HIGH VELOCITY FLOWS ARE NOT ALLOWED AT THE BOUNDARY, AND NO CONCENTRATION OF FLOWS OCCURS IMMEDIATELY UPSTREAM OF THE INCREASE OF RUN-OFF DUE TO THE INTENSIVE DEVELOPMENT.

#### DEVELOPED CONDITIONS - HOTEL - RESTAURANT

AREA	LAND TREATMENT	$R_{100}$	$R_{10}$
UNDEVELOPED	AS	1.000 (0.33)	0.50 (0.13)
LANDSCAPING	0.1 AS (0.050)	2.20 (0.33)	0.70 (0.20)
GRAVEL & COMPACTED SOIL	0.1 AS (0.050)	3.74 (1.17)	1.10 (0.30)
ROOF - PAVEMENT	AS	4.70 (1.44)	2.10 (0.54)

THEFORE:  $R_{weighted} = 1.84$  IN. (0.52) @ VOLUME 100 = 14204 CFS  
 $R_{10} = 2.76$  CFS VOLUME 10 = 3775 OF

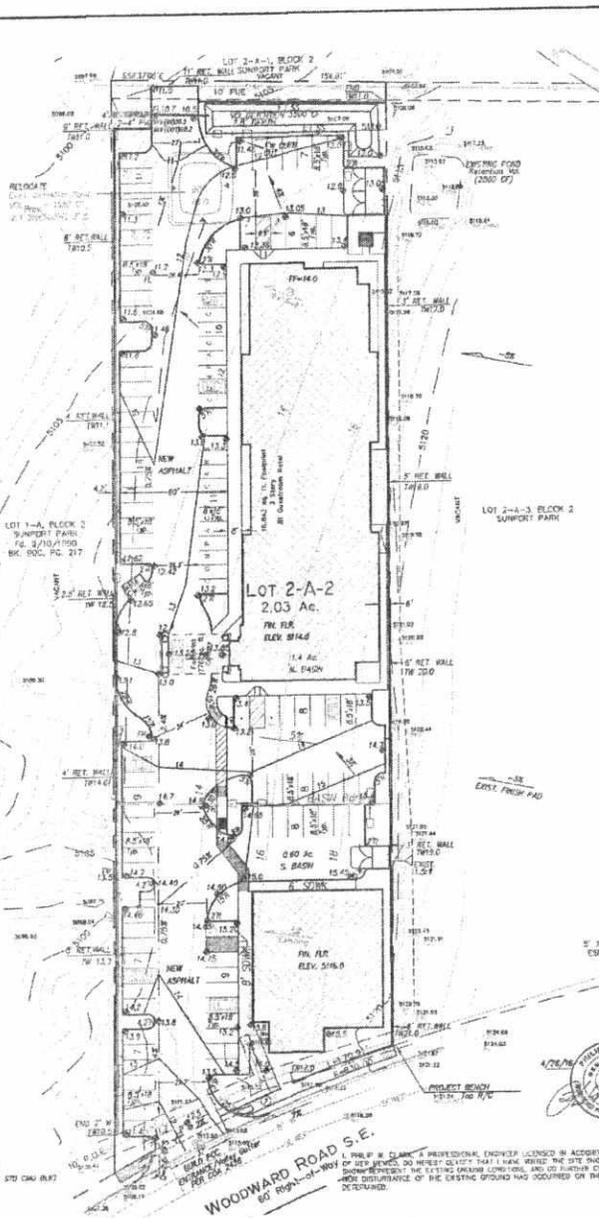
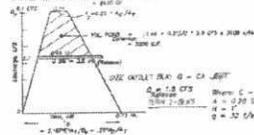
THEFORE:  $R_{weighted} = 8.1$  CFS, VOL. 100 = 2850 OF  
S. BASIN (FREE DISCHARGE) = 2.8 CFS, VOL. 100 = 4225 OF

NEW CALC. WHERE:  $C = 0.7$   
 $Q = 0.034 \times A \times AREA$   
 $R_{100} = 6.5$  @  $Q = 5.0$  CFS

FIRST FLOOD: 100-YEAR Q100 = 6.24 CFS @ 1.5' ASSESS  
= 2008 OF (100% EXCESS PRECIP.)  
ROUTE S. BASIN 70% EXCESS PRECIP.  
LANDSCAPE AREAS

#### DEVELOPED LAND USE

DESIGN FLOOD PROVISION A 100-YEAR Q100  
FLOOD FLOOD PROVISION = 2008 OF (100% EXCESS PRECIP.)



### VICINITY MAP NOTES

- ALL WORK WITHIN THE FIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THIRD EDITION 8/12 UPGRADES.
- AN EXCAVATION/UNDERMINING PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY S.D.W.M. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SETTLEMENT OR SLT OCCURS DURING THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1002, NATIVE SEED MIX USING NAT. MIXED, FOR EAST SIDE APPLICATION, DISTRICT BLUE GRASS DOMINANT MIX PER ANNUAL 41.2.
- MAINTAIN SITE GRASSING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1.
- BUILD 6" PCC SIDEWALK PER CDA STD. DTD. 34.03.

### LEGEND

- EXIST. SPOT ELEVATION: 10.0
- EXIST. CONTOUR: 10.0
- NEW SPOT ELEVATION: @ 15.0 (ADD 5.00 FOR 100)
- NEW CONTOUR: 12
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- NEW P.C.C. CONCRETE
- FLOORME
- WATER BLOCK
- REPAIR STONE: 75% 1/4" 4" Avg. Dia.

Scale: 1" = 30'

### PROJECT DATA

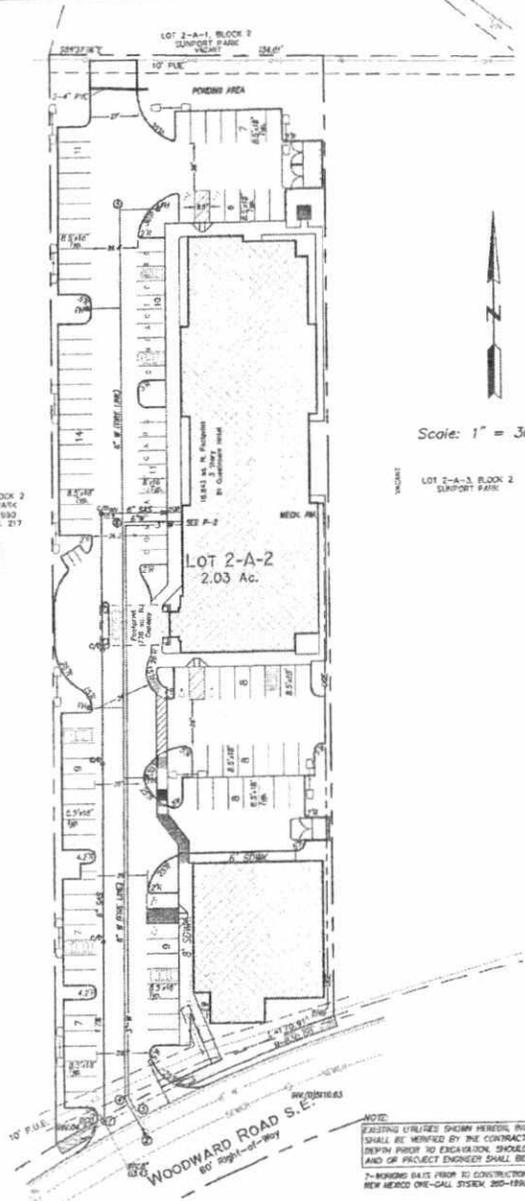
UPC# 1-015-085-103-30410  
LEGAL DESCRIPTION:  
LOT 2-A-2, SUPPORT PARK  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
PROJECT BOUNDARY:  
TOP OF FENCE/WALL AT THE PROJECT OUTLET CORNER HAS ELEVATION = 528.34 AS TIED FROM ANMCA SEC 2-1/4" DIAMETER ALUM DISK SET IN CONCRETE, 500-11-2, HAS HARD EX. 20' DIA. LOCKED  
TOPOGRAPHIC DESIGN SURVEY  
PROCESSED BY ALMA PRO SURVEYING, LLC. 5/28 APRIL 2014, AND SUPERSEDED MAR. 2016.

**Clark Consulting Engineers**  
19 Thom Road  
Edgewood, New Mexico 87015  
Tel: (505) 281-2444 Fax: (505) 281-4040  
DATE: 10/19/2014  
PROJECT: SUPPORT PARK HOSPITALITY / RUMAR  
Grading & Drainage Plan  
REVISIONS: 1.0  
C 102

### LEGEND

- EXIST. LIGHT POLE
- EXIST. POWER POLE
- CH— EXIST. OVERHEAD UTILITY LINE
- ANCH— ANCHOR
- EX— EXISTING SEWER MANHOLE
- WM— WATER METER (EXIST.)
- WV— WATER VALVE (EXIST.)
- F— EXIST. FIRE HYDRANT
- W— EXIST. WATER LINE
- S— EXIST. SANITARY SEWER
- TC OR BC PL— TOP OF CURB FLOWLINE
- EX— EXIST. CURB & GUTTER
- NEW P.C.C. HEADER CURB
- NEW P.C.C. CONCRETE
- W— NEW WATER LINE
- S— NEW SANITARY SEWER
- NEW SINGLE WATER SERVICE
- NEW GATE VALVE
- W— WATER SERVICE
- S— SANITARY SEWER SERVICE
- NEW 2-WAY SEWER CLEAN OUT
- ○— NEW LIGHT POLE

LOT 1-A, BLOCK 2  
SUNPORT PARK  
PL. 07/3/1990  
BL. 306, PG. 217



Scale: 1" = 30'

### NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION W/ 9 UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.G.M.
3. ALL R.C.W. WATER LINE CONNECTIONS AND METER INSTALLATION SHALL BE MADE BY ARCONIA / CITY PERSONNEL. CONTRACTOR SHALL COORDINATE WITH PRO. 704-62, 867-8500 & CUSTOMER SERVICES, 299-3300.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN SERVICE OF ALL EXISTING UTILITIES.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/ACCUMULATED OR SLT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. GAS LINE AND METER, SIZE AND LOCATION TO BE DETERMINED BY AM GAS COMPANY.

### KEYED NOTES

- ① 6" SEWER SERVICE CONNECTION TO EXISTING SEWER SERVICE STREET PER COA STD. DIMS. 2125
- ② 6" FIRE WATER LINE CONNECTION PER COA PERSONNEL. SET NOTE 3. MAKE HIGH-PRESSURE CONNECTION NOTING 6" DIA. SEE PER STD. DIMS. 3301. 1/2" GATE VALVE PER STD. DIMS. REPLACE PAYMENT PER COA DIMS. 3301
- ③ 2-1/2" WATER METER/VALVE AND SERVICE LINE PER COA STD. DIMS. 3301
- ④ INSTALL 22-1/4" DIA. 8" P.C.C. CURB
- ⑤ 4" DRY FIRE HYDRANT PER COA DIMS. 2340. WITH 6" GATE VALVE/BOX, TYPICAL & 4-1/2" DIA. 1/2" RESTRAIN EXPOSED LEG.
- ⑥ INSTALL 6" x 8" TR. C840 P.C.C. PPE.

### UTILITY CONTACTS:

- ARCONIA / CITY CUSTOMER SERVICES, 299-3300
- PUBLIC SERV. CO. OF NM, P. 164, 241-4424  
Personnel@psco.com
- CENTURY LINK, A CH20X, 767-7442  
Ashli.Chaccan@centurylink.com
- New Mexico Gas Company, J. Estroba, 867-3617  
JEstroba@nmGCC.com
- CCE/CAST CABLE, Digital Cable  
Bobby Moran, 273-3644  
BMA\_morales@cable.comcast.com



NOTE:  
EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES, SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER/ AND OR PROJECT ENGINEER SHALL BE IMMEDIATELY ADVISED.  
7-MORNING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM, 866-6892, FOR LOCATION OF EXISTING UTILITIES.

		15 West Street Edgewood, New Mexico 87015	
		Tel: (505) 381-2444	Fax: (505) 381-2444
DATE:	REVISION:	LOT 2-A-E, BLOCK 2, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO SUNPORT PARK HOSPITALITY / MUMAM	SHEET NO.
<b>SITE UTILITY PLAN</b>		DRAWN BY: PNC	CHECKED BY: PNC
DESIGNED BY: PNC	DATE: 04/15/2010	PROJECT NO.: 10023	SHEET NO.: 103