



**Environmental
Planning
Commission**

**Agenda Number: 07
Project Number: 1005131
Case #: 16EPC-40024
June 9, 2016**

Staff Report

Agent	Bohannon Huston, Inc.
Applicant	City of Albuquerque
Request	Sector Development Plan Map Amendment (Zone Change)
Legal Description	Lots 1, 2, and 3, Block 28, Huning Highland Addition
Location	On High St. between Silver Ave. and Lead Ave.
Size	Approximately 0.5 acre
Existing Zoning	SU-2/SU-1 for Fire Station
Proposed Zoning	SU-2/NCR (Neighborhood Commercial/Residential)

Staff Recommendation

APPROVAL of 16EPC-40024 based on the Findings beginning on Page # 14.

**Staff Planner
Vicente M. Quevedo, Planner**

Summary of Analysis

This request is for a Sector Development Plan Map Amendment (Zone Change) to the Huning Highland Sector Development Plan for Lots 1, 2, and 3, Block 28, Huning Highland Addition for an approximately .5 acre City owned parcel located on High St. between Silver Ave. and Lead Ave.

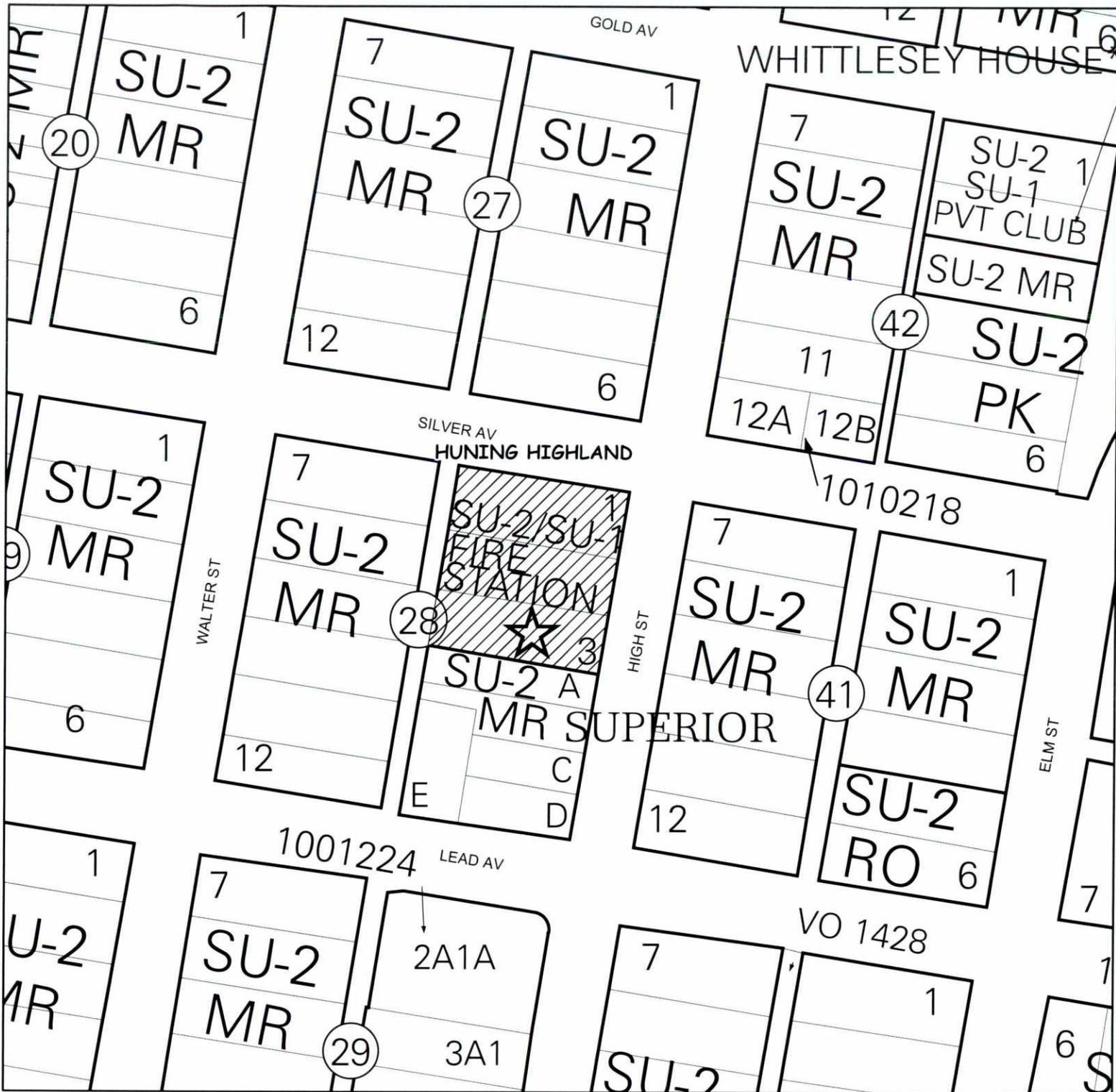
Staff finds that the request is adequately justified pursuant to R270-1980 and furthers a preponderance of applicable goals, policies and objectives of the Comprehensive Plan, Huning Highland Sector Development Plan and Huning Highland Historic Overlay Zone.

A facilitated meeting was recommended but not held following support from the Huning Highland Historic District Association. There is no known neighborhood opposition to this request.

Staff is recommending approval of the requested Sector Development Plan Map Amendment subject to the findings included in the Staff Report.



City Departments and other interested agencies reviewed this application from 05/02/2016 to 05/13/2016
Agency comments used in the preparation of this report begin on Page # 23.



ZONING MAP

Note: Grey shading indicates County.



1 inch = 116 feet

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06/09/2016

Zone Map Page: K-14
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LAND USE MAP

Note: Grey shading indicates County.

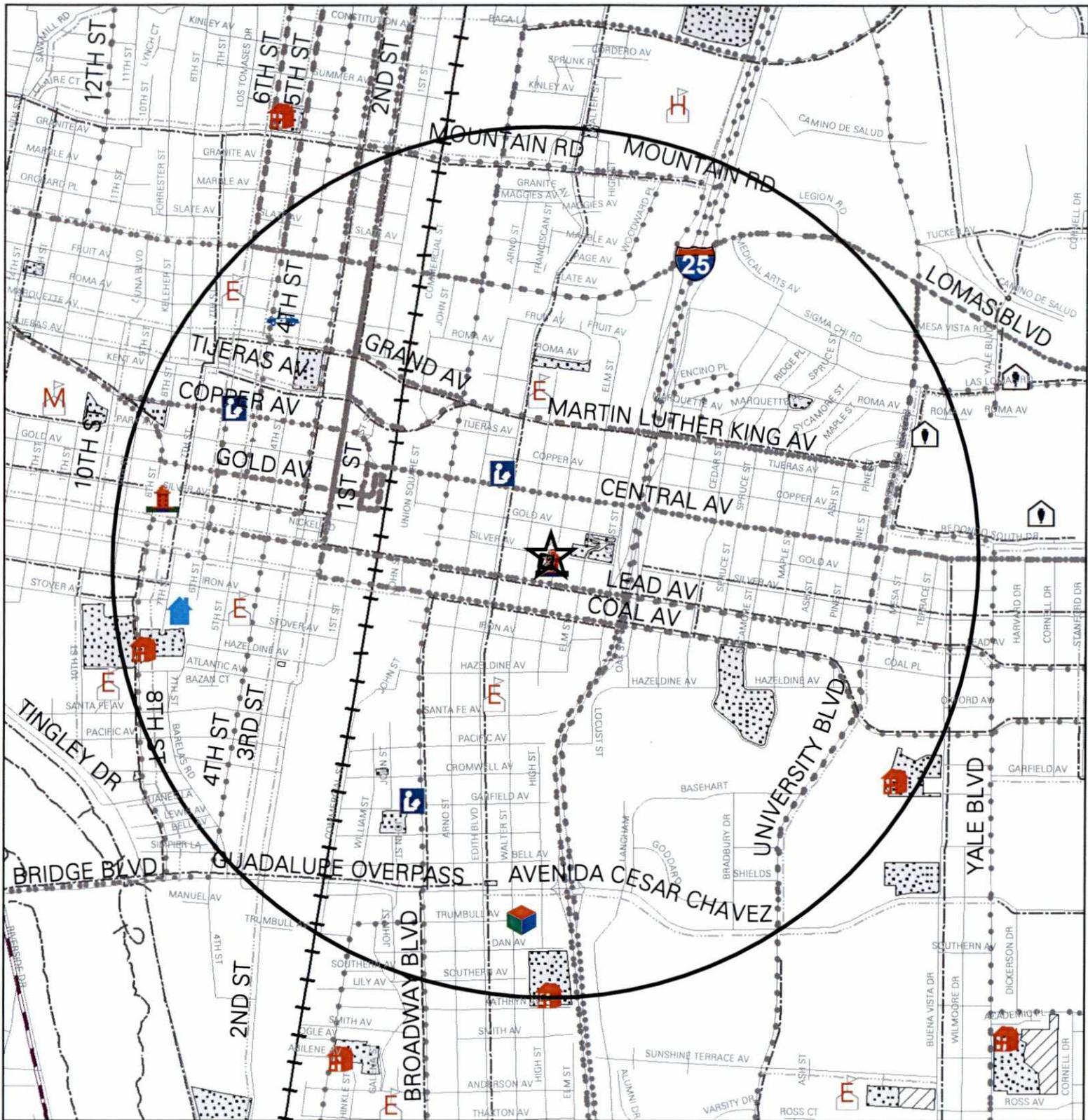
KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



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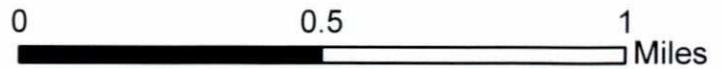


Public Facilities Map with One-Mile Buffer

- | | | | |
|---|---|--|---|
|  COMMUNITY CENTER |  FIRE |  APS Schools |  Landfill Buffer (1000 feet) |
|  MULTI-SERVICE CENTER |  POLICE |  ABQ Ride Routes |  Landfills designated by EHD |
|  SENIOR CENTER |  SHERIFF |  ABQ Bike Facilities |  Developed County Park |
|  LIBRARY |  SOLID WASTE |  Proposed Bike Facilities |  Undeveloped County Park |
|  MUSEUM |  Albuquerque City Limits | |  Developed City Park |
| | | |  Undeveloped City Park |



Project Number: 1005131



I. AREA CHARACTERISTICS AND ZONING HISTORY

Surrounding zoning, plan designations, and land uses:

	Zoning	Comprehensive Plan Area; Applicable Rank II & III Plans	Land Use
Site	SU-2/SU-1 for Fire Station	Central Urban, Huning Highland Sector Development Plan, Huning Highland Historic Overlay Zone	Public / Institutional, Fire Station
North	SU-2 for MR (Mixed Residential Zone)	Same	Single Family Residential
South	SU-2 for MR (Mixed Residential Zone)	Same	Single Family Residential
East	SU-2 for MR (Mixed Residential Zone)	Same	Public / Institutional, Church
West	SU-2 for MR (Mixed Residential Zone)	Same	Single Family Residential

II. INTRODUCTION

Proposal

This is a request for a Sector Development Plan Map Amendment (Zone Change) to the Huning Highland Sector Development Plan from SU-2/SU-1 for Fire Station to SU-2 for NCR (Neighborhood Commercial / Residential) for Lots 1, 2, and 3, Block 28, Huning Highland Addition, an approximately 0.5 acre site located on High St. between Silver Ave. and Lead Ave. The property currently contains an existing City of Albuquerque Fire Station (Fire Station #2) that is no longer in operation. The proposed use for the subject site is a temporary living home to provide accommodations for out of town families and friends of law enforcement personnel who are ill or injured and in need of extended medical treatment at local medical facilities.

EPC Role

The EPC is hearing this case because the EPC has the authority to hear all Zone Map and Sector Development Plan Amendments within the City of Albuquerque. The EPC is the final decision-making body unless the EPC decision is appealed [Ref: §14-16-4-1, Amendment Procedure]. If so, an appeal would go to the Land Use Hearing Officer (LUHO) who then makes a recommendation to City Council [Ref: § 14-16-4-4-(A)(2) Appeal]. This is a quasi-judicial matter.

History/Background

Platted in 1880, Huning Highland was the first of Albuquerque’s subdivisions to follow the arrival of the railroad. It rapidly became a popular residential area that continued through the

1930's. The existing Fire Station #2 on the subject site was built in 1925 and was in operation until 2012. The fire station's architectural style was updated to Territorial Revival and a second garage was added in 1955.

The subject site was zoned SU-2 MR (Mixed Residential) with the adoption of the 1977 Huning Highland Sector Development Plan (HHS DP). The goal of the Plan is the continued development of Huning Highlands into a viable residential and commercial area, building on its unique historic character and location. The Huning Highland Historic Overlay Zone (HHHOZ) was adopted in 2010 and included the subject site. The main purpose of the overlay zone is to provide guidance for improvements to historic properties.

On October 20, 2006 the EPC voted to approve a Sector Development Plan Zone Map Amendment for the subject site from SU-2 MR to SU-2/SU-1 for Fire Station (06EPC-01312). The R270-1980 justification was primarily based on the EPC finding that the subject site's SU-2 MR zoning designation was in error because the fire station had been in continual operation since 1925. On November 17, 2006 the EPC voted to approve a Site Development Plan for Building Permit (06EPC-01311) to add 4,262 sf to the existing fire station building in two phases of development to include a new apparatus bay for medical equipment as well as interior and exterior building improvements. On November 29, 2006 the Landmarks and Urban Conservation Commission (LUCC) approved a Certificate of Appropriateness for the EPC approved fire station alterations and additions.

Even though the existing SU-2 / SU-1 for Fire Station zoning designation was approved by the EPC in 2006, and a Certificate of Zoning was issued by the Planning Department on January 30, 2008, the applicant failed to obtain a Site Development Plan for Building Permit with final sign-off by DRB. However, the proposed alterations and additions as outlined in the draft Site Development Plan for Building Permit were never implemented on the subject site.

Context

The subject site is located within the Central Urban Area of the Comprehensive Plan and currently contains a fire station building. The subject site is surrounded by single-family residential uses to the north, south and west. The St. George Greek Orthodox Church is located east of the subject site.

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Interstate 25 as a Freeway.

The LRRS designates Broadway Blvd. as a Regional Principal Arterial.

The LRRS designates Central Ave. as a Community Principal Arterial.

The LRRS designates High St., Silver Ave., & Lead Ave. as local streets.

Comprehensive Plan Corridor Designation

Interstate 25 is a designated Express Transit Corridor the intent of which is to create a network of roadways that would be dedicated to developing higher speeds with fewer interruptions to travel for the car and public transit vehicles.

Central Ave. is a designated Major Transit Corridor the intent of which is to optimize public transit and move large numbers of people in a very timely and efficient manner.

Broadway is a designated Enhanced Transit Corridor the intent of which is to create roadways designed or redesigned to improve transit and pedestrian opportunities for residents, businesses and other users nearby.

Trails/Bikeways

An existing bicycle route is located along Edith Blvd. approximately .12 miles west of the subject site. Buffered bicycle lanes are located along Lead Ave. and Coal Ave. to the south of the subject site.

Transit

Bus route 16 (Broadway, University, Gibson) runs north to south along Broadway Blvd. Bus routes 97 (Zuni), 217 (Downtown, Kirkland Air Force Base) and 250 (Downtown, Airport Express) run east to west along Lead Ave.

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

III. ANALYSIS

APPLICABLE ORDINANCES, PLANS AND POLICIES

Albuquerque Comprehensive Zoning Code

The existing zoning for the subject site is SU-2 / SU-1 for Fire Station to allow for the operation of a municipal fire station on the subject site. The fire station use ceased operations in 2012.

The proposed zoning for the subject site is SU-2 NCR (Neighborhood Commercial/Residential) which is a zoning designation from the Huning Highland Sector Development Plan (HHSDP). The proposed use of a temporary living home (apartments) is allowed under this zoning category because the SU-2 NCR zone of the HHSDP refers to the R-3 zone of the Zoning Code (Section 14-16-2-12(A)(1)) which allows all permissive uses of the R-2 zone which allows apartments (Section 14-16-2-11(A)(3)). However, the R-3 zone does impose a density restriction of 30 dwelling units or less per net acre. The SU-2 NCR zone also permits signs as regulated in the O-1 zone of the Zoning Code and allows a front and corner side yard setback of zero feet.

Albuquerque / Bernalillo County Comprehensive Plan

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in the area designated Central Urban by the Comprehensive Plan with a Goal to “promote the Central Urban Area as a focus for arts, cultural, and public facilities/activities while recognizing and enhancing the character of its residential neighborhoods and its importance as the historic center of the City”. The Central Urban Area is a portion of the Established Urban Area and as such is also subject to policies of section II.B.5. Applicable policies include:

Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources and resources of other social, cultural, recreational concern.

The request furthers Policy II.B.5.d. because the location, intensity and design of new development will respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources by adhering to the residential density limitations of the SU-2 NCR zone and meeting the requirements of the Huning Highland Historic Overlay Zone by proposing only interior improvements to the existing structure.

Policy II.B.5.l.: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

The request furthers Policy II.B.5.l. because the applicant has stated that the proposed use will be implemented through interior tenant improvements, and that the exterior of the building will not be modified. Therefore, the requirements of the Huning Highland Historic Overlay Zone will be met demonstrating that the existing quality of historic development will be preserved and will be appropriate to the Plan area.

Policy II.B.5.m.: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The request partially furthers Policy II.B.5.m. because while unique vistas will not be enhanced by the request, the quality of the visual environment will be maintained given the unique / historic Territorial Revival architecture of the existing fire station on the subject site that is proposed to be maintained with this request. The fire station’s architectural style complements other historical architectural styles such as Early Victorian, Revival Cottages and Bungalows.

Policy II.B.5.o.: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5.o. because the subject site is located within a historic neighborhood within the Central & Established Urban Area of the Comprehensive Plan and

will contribute to the interior redevelopment and rehabilitation of a historic building within the Huning Highland neighborhood.

Policy II.B.5.p.: Cost effective redevelopment techniques shall be developed and utilized.

The request furthers Policy II.B.5.p. because it will result in the adaptive re-use of a City owned building, rather than requiring the coordination of an acquisition and rehabilitation process to implement the proposed use. The adaptive re-use of a public building represents a cost effective redevelopment technique that fulfills the policy requirement.

II C.1. Air Quality

The goal is to improve air quality to safeguard public health and enhance the quality of life.

Policy II C.1.b.: Automobile travel's adverse effects on air quality shall be reduced through a balanced land use/transportation system that promotes the efficient placement of housing, employment, and services.

Policy II C.1.e.: Motor vehicle emissions and their adverse effects shall be minimized.

Policy II C.1.i.: Air quality considerations shall be integrated into zoning and land use decisions to prevent new air quality/land use conflicts.

The request furthers Policy II.C.1.b. II.C.1.e., and II.C.1.i. because the proposed residential use will contribute to a balanced land use / transportation system by being located approximately 400 feet from the subject site near the intersection of Elm St. and Lead Ave. Vehicle miles travelled by the users of the proposed project will be reduced because the residential use will be located in close proximity to the healthcare facilities that the temporary occupants will be visiting. Additionally, the close proximity to healthcare facilities will contribute to preventing new air quality / land use conflicts.

II C.5. Historic Resources

The goal is to protect, reuse, or enhance significant historic districts and buildings.

Policy II C.5.a.: Efforts to provide incentives for the protection of significant districts and buildings shall be continued and expanded.

The request furthers Policy II.C.5.a. because it will allow the applicant to develop a new use on the site through the adaptive re-use of a public building that complies with the Huning Highland Historic Overlay Zone will directly contribute to the protection of a historic building and preserve the intent of the Huning Highland Historic Overlay Zone.

II C.9. Community Identity and Urban Design

The Goal is to preserve and enhance the natural and built characteristics, social, cultural, and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods.

Policy II.C.9.b.: In each Community Area, strategic planning, neighborhood planning, development, and redevelopment shall be evaluated in light of its relationship to and effect upon the following: 1.) The natural environment, 2.) Built environment, 3.) Local History, 4.) Culture and traditions.

The request partially furthers Policy II.C.9.b. because the adaptive re-use of the existing historic building will contribute to enhancing the Built Environment and recognizing the importance of Local History by complying with the requirements of the Huning Highland Sector Development Plan and Huning Highland Historic Overlay Zone. The request does not specifically address items such as the Natural Environment or Culture and Traditions.

Policies not addressed by the applicant but applicable to this request:

Policy II.B.6.a.: New public, cultural, and arts facilities should be located in the Central Urban area and existing facilities preserved.

The request furthers Policy II.B.6.a. because the proposed zone change will enhance an existing City of Albuquerque / publicly owned site and the proposed use for the subject site will preserve an existing historic facility.

Policy II.B.6.b.: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural / recreation facilities.

The request partially furthers Policy II.B.6.b. because the requested zone change and proposed use will contribute to upgrading efforts for a vacant building in a historic neighborhood, however linkages between residential areas and cultural / recreation facilities will not be created with this request.

Huning Highlands Sector Development Plan

The Huning Highland Sector Plan was first adopted in 1977, and revised in 1987. The Plan generally encompasses properties between Martin Luther King Ave. to the north, Coal Ave. to the south, Locust St. to the east, and Broadway Blvd. to the west; specific boundaries are shown on Map 2 (Pg. 3) in the Plan (Note: Grand Ave. has been changed to Martin Luther King Ave. following the adoption of the 1987 version of the Huning Highland SDP). The goal of the Plan is the continued development of Huning Highlands into a viable residential and commercial area, building on its unique historic character and location. Relevant objectives include the following:

HHSDP Objective 1: To protect and enhance the unique residential character of the area:

The request furthers HHS DP Objective 1 because the adaptive re-use of a historic building will enhance the unique residential character of the area by repurposing a vacant building and protecting the existing Territorial Revival architectural style of the building.

HHS DP Objective 7: To encourage and support local employment and local business development:

The request furthers HHS DP Objective 7 because the applicant states that a local staff person will be employed on-site and out of town visitors may support local businesses during their stay in the Albuquerque Area.

HHS DP Objective 8: To encourage appropriate neighborhood-oriented use of vacant lands and buildings:

The request furthers HHS DP Objective 8 because the proposed use will contribute to appropriate neighborhood-scale use within a vacant building.

HHS DP Objective 9: To develop programs to reduce crime in the area in cooperation with City agencies:

The request partially furthers HHS DP Objective 9 because while the proposed activity on the subject site does not constitute a program, the request will contribute to reducing crime in the area by the adaptive re-use of a building that has been vacant for the past 4 years.

Huning Highlands Historic Overlay Zone (Development Guidelines)

The Huning Highland Historic Overlay Zone was first adopted in 2010. The Huning Highland Historic Overlay Zone generally encompasses properties between Martin Luther King Ave. to the north, a series of properties south of Iron Ave. to the south, Locust St. to the east, and Tijeras Ave., Union Square St. and a series of properties approximately one block west of Broadway Blvd. to the west,; specific boundaries are shown on page 31 in the Plan. The main purpose of the development guidelines is to provide guidance for improvements to historic properties and provide a framework for selecting the most "appropriate" treatment when planning an exterior project on a historic property. Relevant goals, policies and intent statements include the following:

Huning Highland Historic Overlay Zone, Intent Statement: Property owners are not required to rehabilitate their buildings, but when an owner proposes to make exterior improvements, these guidelines will apply.

The request complies with the Development Guidelines of the Huning Highland Historic Overlay Zone (HHHOZ) because the applicant is not proposing any exterior additions or improvements. Page 36 of the HHHOZ states "Property owners are not required to rehabilitate their buildings, but when an owner proposes to make exterior improvements, these guidelines will apply."

Resolution 270-1980 (Policies for Zone Map Change Applications)

This Resolution outlines policies and requirements for deciding zone map change applications pursuant to the Comprehensive City Zoning Code. There are several tests that must be met and the applicant must provide sound justification for the change. The burden is on the applicant to show why a change should be made, not on the City to show why the change should not be made.

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: there was an error when the existing zone map pattern was created; or changed neighborhood or community conditions justify the change; or a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan.

Analysis of Applicant's Justification

Note: Policy is in regular text; Applicant's justification is in *italics*; staff's analysis is in ***bold italics***

- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

The zone map amendment request is consistent with the health, safety, and morals of the City. Comprehensive Plan policies, referenced above, support this statement. Specifically, policies II.B.5.d., II.B.5.l., II.B.5.m., II.B.5.o., II.B.5.p., II.C.1.b., II.C.1.e, II.C.1.i., II.C.5.a., II.C.9.b. and the reasons noted therein provide specific definition of how the health, safety, morals, and general welfare of the City and its citizens are protected.

Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers a preponderance of applicable Goals and policies from the Comprehensive Plan and other applicable plans, which the applicant has done in the response to Section C.

- B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

The proposed zone change will result in a currently vacant structure being re-utilized in a manner consistent and complimentary to the neighborhood. Additionally, the exterior appearance of the building will remain as it is today and as the residents of the area have known it to exist for over 90 years.

The existing zoning for the subject site allows for a fire station use. The requested zoning for the subject site allows for permissive residential and community commercial uses on the subject site which will allow for the adaptive re-use of the vacant building on the subject site while maintaining compatibility with the surrounding residential uses thereby achieving stability of land use.

- C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments thereto, including privately developed area plans which have been adopted by the city.

Refer to the policy analysis section on pages 4 – 8 of the staff report.

- D. The applicant must demonstrate that the existing zoning is inappropriate because:
1. There was an error when the existing zone map pattern was created; or
 2. Changed neighborhood or community conditions justify the change; or
 3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The proposed zone change is appropriate to the area as changed neighborhood conditions have occurred. The subject site itself is one of the most notable changes; the previous user (City of Albuquerque Fire Department) has left the site and moved to a new structure south of the area.

The proposed zone change is more advantageous to the community as articulated by Comprehensive Plan Policies II.B.5.d., II.B.5.l., II.B.5.m., II.B.5.o., II.B.5p., II.C.1.b., II.C.1.e., II.C.1.i., II.C.5a., II.C.9.b. as discussed above.

The applicant cites changed neighborhood conditions in the form of the City of Albuquerque Fire Department vacating the subject site as well as East Downtown mixed use development projects and the renovation of a nearby hospital building to a hotel. Additionally, the applicant states that the requested zone is more advantageous to the community as articulated by the Comprehensive Plan policies in Section C of the R270-1980 justification and the adaptive re-use of the fire station providing a beneficial service while occupying a vacant building.

The applicant has justified changed community conditions by stating that the prior tenant (Fire Department) vacating the site as well as nearby zone changes and City initiated redevelopment projects constitute changed conditions and has justified the new use category as more advantageous to the community by citing appropriate Comprehensive Plan policies and HSDP objectives.

- E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

This request, if approved, would not be harmful to the adjacent property, neighborhood, or community. Factors which would typically be considered harmful to nearby neighborhoods include an increase in traffic, noise, light, and air pollution. The quantity of traffic generated by the proposed use is comparable to the previous Fire Station use given the number of Fire Department personnel compared to a maximum of 4 – 8 vehicles associated with the proposed use. Accordingly, the quantity of noise and air pollution will be equal to or less than the previous use.

The residential and community commercial permissive uses allowed per the HSDP SU-2 NCR zone will not be harmful to adjacent property, the neighborhood or the community because the residential densities allowed in the SU-2 NCR zone is appropriate and compatible with the surrounding residential uses and excludes all conditional C-1 uses.

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- F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:
1. Denied due to lack of capital funds; or
 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

The zone map amendment, if approved, would not require the construction of any capital improvements. The site is located in an area of town that has sufficient infrastructure to serve the existing development.

The requested change of zone will not require any major un-programmed capital expenditures by the City of Albuquerque.

- G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The requested change of zone is not due to economic considerations but instead to provide a compatible and complimentary use for the property.

The cost of land or other economic considerations pertaining to the applicant are not the determining factor for the requested change of zone. The subject site is already owned by the City of Albuquerque and the determining factor for the zone change request is to rehabilitate a vacant building with an appropriate neighborhood scale use on the subject site.

- H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

This letter lists many reasons for justifying the Zone Map Amendment and describes why they are applicable to the Albuquerque Bernalillo County Comprehensive Plan. The site is not located on a collector major roadway.

The requested change of zone will allow certain residential and community commercial uses, however the change of zone is not being justified based on location on a major street because High Street is classified as a local street by the The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG).

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:
1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The proposed Zone Map amendment will result in a spot zone, similar to that which exists today. The discussion in Section A at the beginning of this letter outlines applicable goals of the Comprehensive Plan that will be realized with the approval of this Zone Map Amendment. Topping that list includes the discussions on historic preservation, respecting existing neighborhood values, community identity, and rehabilitation of older neighborhoods.

As discussed previously, the proposed use of the building is residential in nature. That use could be considered a transition and/or buffer from the Church use, its parking area, and the commercial uses south and east of the Church.

The requested change of zone will result in a justifiable spot zone because the applicant has demonstrated that the change will clearly facilitate realization of the Comprehensive Plan and HHSDP policies and objectives as outlined in Section C of this staff report on pages 4 – 8. The policy analysis indicates that the request furthers a preponderance of applicable policies and objectives (11 policies / objectives furthered / complied with, 4 policies partially furthered).

The applicant's claim that the subject site functions as a transition zone between the existing St. George Greek Orthodox Church east of the subject site and the single family residential to the west of the subject site cannot be substantiated because the southern portion of the block within which the subject site is located is zoned for single-family residential which would not be completely buffered by the uses on the subject site.

- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The subject zone map amendment will not result in a "strip zone".

The request would not result in a strip zone because the requested change of zone would not result in a different zone on a strip of land along a street.

IV. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies

Agencies reviewed this request from May 2, 2016 to May 13, 2016. Planning Staff did not receive any adverse agency comments related to the request. The full list of agency comments can be found on page 23 of the Staff Report.

Neighborhood/Public

The Downtown Neighborhood Association contact list of recognized neighborhood associations were notified of this request per the requirements of the Office of Neighborhood Coordination (ONC). The contact list consisted of the following: Broadway Central Corridors Partnership, Inc., Citizen's Information Committee of Martineztown, Downtown NA, Huning Highland Historic District Association, Martineztown Work Group, Raynold Addition NA, Santa Barbara-Martineztown Assoc., Silver Platinum Downtown NA, South Broadway NA, Silver Hill NA, Spruce Park NA, Sycamore NA, University Heights NA, Victory Hills NA. Property owners within 100 feet of the subject site were also notified of the request.

The ONC also recommended the requested action for facilitation, however when the assigned facilitator sent out a request for a facilitated meeting and only received one response from the Huning Highland Historic District Association stating that they were in support of the request and a facilitated meeting was not required. The facilitator subsequently issued a "No Meeting Report" dated May 27, 2016 confirming that no requests for a facilitated meeting were received from the Office of Neighborhood Coordination list of notified neighborhood associations (see attached).

V. CONCLUSION

This is a request for a Sector Development Plan Map Amendment (Zone Change) to the Huning Highland Sector Development Plan from SU-2/SU-1 for Fire Station to SU-2 for NCR (Neighborhood Commercial / Residential) for Lots 1, 2, and 3, Block 28, Huning Highland Addition, an approximately 0.5 acre site located on High St. between Silver Ave. and Lead Ave. The property currently contains an existing City of Albuquerque Fire Station (Fire Station #2) that is no longer in operation. The proposed use for the subject site is a temporary living home to provide accommodations for out of town families and friends of law enforcement personnel who are ill or injured and in need of extended medical treatment at local medical facilities.

The subject site is located within the Central Urban Area of the Comprehensive Plan, Huning Highland Sector Development Plan boundary, and Huning Highland Historic Overlay Zone and currently contains a fire station building. The subject site is surrounded by single-family residential uses to the north, south and west. The St. George Greek Orthodox Church is located east of the subject site.

The proposed zoning for the subject site is SU-2 NCR (Neighborhood Commercial/Residential) which is a zoning designation from the Huning Highland Sector Development Plan (HHSDP). The proposed use of a temporary living home (apartments) is allowed under this zoning category because the SU-2 NCR zone of the HHSDP refers to the R-3 zone of the Zoning Code (Section 14-16-2-12(A)(1)) which allows all permissive uses of the R-2 zone which allows apartments (Section 14-16-2-11(A)(3)). However, the R-3 zone does impose a density restriction of 30 dwelling units or less per net acre. The SU-2 NCR zone also permits signs as regulated in the O-1 zone of the Zoning Code and allows a front and corner side yard setback of zero feet.

Staff concludes that the applicant has adequately justified the Sector Development Plan Map Amendment request pursuant to the requirements of R270-1980. The request furthers a preponderance of Comprehensive Plan and other City adopted plan goals policies and objectives. The applicant has also demonstrated that the requested zoning constitutes a justifiable spot zone by clearly facilitating realization of applicable plan goals, policies and objectives.

A facilitated meeting was recommended by the Office of Neighborhood Coordination, however, a meeting was not held following support from the Huning Highland Historic District Association. There is no known opposition to this request.

Staff is recommending approval of the Sector Development Plan Map Amendment request subject to the findings in the staff report.

FINDINGS - 16EPC-40024 – June 9, 2016 Sector Development Plan Map Amendment

1. This is a request for a Sector Development Plan Map Amendment to the Huning Highland Sector Development Plan (HHSDP) for Lots 1, 2, and 3, Block 28, Huning Highland Addition located on High St. between Silver Ave. and Lead Ave. and containing approximately .5 acres.
2. This is a request for a Sector Development Plan Map Amendment to the HHSDP from SU-2/SU-1 for Fire Station to SU-2 for NCR (Neighborhood Commercial / Residential). The property currently contains an existing City of Albuquerque Fire Station (Fire Station #2) that is no longer in operation. The proposed use for the subject site is a temporary living home to provide accommodations for out of town families and friends of law enforcement personnel who are ill or injured and in need of extended medical treatment at local medical facilities.
3. The proposed use of a temporary living home (characterized as apartments per Code Enforcement Division) is allowed under the SU-2 for NCR zoning category because the SU-2 NCR zone of the HHSDP refers to the R-3 zone of the Zoning Code (Section 14-16-2-12(A)(1)) which allows all permissive uses of the R-2 zone which allows apartments (Section 14-16-2-11(A)(3)). However, the R-3 zone does impose a density restriction of 30 dwelling units or less per net acre.
4. On October 20, 2006 the EPC voted to approve a Sector Development Plan Zone Map Amendment for the subject site from SU-2 MR to SU-2/SU-1 for Fire Station (06EPC-01312). The R270-1980 justification was primarily based on the EPC finding that the subject site's SU-2 MR zoning designation was in error because the fire station had been in continual operation since 1925.
5. On November 17, 2006 the EPC voted to approve a Site Development Plan for Building Permit (06EPC-01311) to add 4,262 sf to the existing fire station building in two phases of development to include a new apparatus bay for medical equipment as well as interior and exterior building improvements. On November 29, 2006 the Landmarks and Urban Conservation Commission (LUCC) approved a Certificate of Appropriateness for the EPC approved fire station alterations and additions.
6. Even though the existing SU-2 / SU-1 for Fire Station zoning designation was approved by the EPC in 2006, and a Certificate of Zoning was issued by the Planning Department on January 30, 2008, the applicant failed to obtain a Site Development Plan for Building Permit with final sign-off by DRB. However, the proposed alterations and additions as outlined in

the draft Site Development Plan for Building Permit were never implemented on the subject site.

7. The Albuquerque/Bernalillo County Comprehensive Plan, Huning Highland Sector Development Plan, Huning Highland Historic Overlay Zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The subject site is within the Central Urban Area of the Comprehensive Plan. The Central Urban Area is a portion of the Established Urban Area and as such is also subject to policies of section II.B.5. The request furthers the following applicable goals and policies of the Comprehensive Plan:

- A. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources and resources of other social, cultural, recreational concern.

The request furthers Policy II.B.5.d. because the location, intensity and design of new development will respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources by adhering to the residential density limitations of the SU-2 NCR zone and meeting the requirements of the Huning Highland Historic Overlay Zone by proposing only interior improvements to the existing structure.

- B. Policy II.B.5.l.: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

The request furthers Policy II.B.5.l. because the applicant has stated that the proposed use will be implemented through interior tenant improvements, and that the exterior of the building will not be modified. Therefore, the requirements of the Huning Highland Historic Overlay Zone will be met demonstrating that the existing quality of historic development will be preserved and will be appropriate to the Plan area.

- C. Policy II.B.5.o.: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

The request furthers Policy II.B.5.o. because the subject site is located within a historic neighborhood within the Central & Established Urban Area of the Comprehensive Plan and will contribute to the interior redevelopment and rehabilitation of a historic building within the Huning Highland neighborhood.

- D. Policy II.B.5.p.: Cost effective redevelopment techniques shall be developed and utilized.

The request furthers Policy II.B.5.p. because it will result in the adaptive re-use of a City owned building, rather than requiring the coordination of an acquisition and rehabilitation process to implement the proposed use. The adaptive re-use of a public building represents a cost effective redevelopment technique that fulfills the policy requirement.

II C.1. Air Quality

The goal is to improve air quality to safeguard public health and enhance the quality of life.

- E. Policy II C.1.b.: Automobile travel's adverse effects on air quality shall be reduced through a balanced land use/transportation system that promotes the efficient placement of housing, employment, and services.
- F. Policy II C.1.e.: Motor vehicle emissions and their adverse effects shall be minimized.
- G. Policy II C.1.i.: Air quality considerations shall be integrated into zoning and land use decisions to prevent new air quality/land use conflicts.

The request furthers Policy II.C.1.b. II.C.1.e., and II.C.1.i. because the proposed residential use will contribute to a balanced land use / transportation system by being located approximately 400 feet from the subject site near the intersection of Elm St. and Lead Ave. Vehicle miles travelled by the users of the proposed project will reduced because the residential use will be located in close proximity to the healthcare facilities that the temporary occupants will be visiting. Additionally, the close proximity to healthcare facilities will contribute to preventing new air quality / land use conflicts.

II C.5. Historic Resources

The goal is to protect, reuse, or enhance significant historic districts and buildings.

- H. Policy II C.5.a.: Efforts to provide incentives for the protection of significant districts and buildings shall be continued and expanded.

The request furthers Policy II.C.5.a. because it will allow the applicant to develop a new use on the site through the adaptive re-use of a public building that complies with the Huning Highland Historic Overlay Zone will directly contribute to the protection of a historic building and preserve the intent of the Huning Highland Historic Overlay Zone.

Policies not addressed by the applicant but applicable to this request:

- I. Policy II.B.6.a.: New public, cultural, and arts facilities should be located in the Central Urban area and existing facilities preserved.

The request furthers Policy II.B.6.a. because the proposed zone change will enhance an existing City of Albuquerque / publicly owned site and the proposed use for the subject site will preserve an existing historic facility.

9. The request partially furthers the following applicable goals and policies of the Comprehensive Plan:

- A. Policy II.B.5.m.: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The request partially furthers Policy II.B.5.m. because while unique vistas will not be enhanced by the request, the quality of the visual environment will be maintained given the unique / historic Territorial Revival architecture of the existing fire station on the subject site that is proposed to be maintained with this request. The fire station's architectural style complements other historical architectural styles such as Early Victorian, Revival Cottages and Bungalows.

II C.9. Community Identity and Urban Design

The Goal is to preserve and enhance the natural and built characteristics, social, cultural, and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods.

- B. Policy II.C.9.b.: In each Community Area, strategic planning, neighborhood planning, development, and redevelopment shall be evaluated in light of its relationship to and effect upon the following: 1.) The natural environment, 2.) Built environment, 3.) Local History, 4.) Culture and traditions.

The request partially furthers Policy II.C.9.b. because the adaptive re-use of the existing historic building will contribute to enhancing the Built Environment and recognizing the importance of Local History by complying with the requirements of the Huning Highland Sector Development Plan and Huning Highland Historic Overlay Zone. The request does not specifically address items such as the Natural Environment or Culture and Traditions.

- C. Policy II.B.6.b.: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural / recreation facilities.

The request partially furthers Policy II.B.6.b. because the requested zone change and proposed use will contribute to upgrading efforts for a vacant building in a historic neighborhood, however linkages between residential areas and cultural / recreation facilities will not be created with this request.

Policies not addressed by the applicant but applicable to this request:

- D. Policy II.B.6.b.: Upgrading efforts in neighborhoods within the Central Urban Area should be continued and expanded and linkages created between residential areas and cultural / recreation facilities.

The request partially furthers Policy II.B.6.b. because the requested zone change and proposed use will contribute to upgrading efforts for a vacant building in a historic neighborhood, however linkages between residential areas and cultural / recreation facilities will not be created with this request.

10. The request furthers the following objectives of the Huning Highlands Sector Development Plan:
- A. HHSDP Objective 1: To protect and enhance the unique residential character of the area:
The request furthers HHSDP Objective 1 because the adaptive re-use of a historic building will enhance the unique residential character of the area by repurposing a vacant building and protecting the existing Territorial Revival architectural style of the building.
- B. HHSDP Objective 7: To encourage and support local employment and local business development:
The request furthers HHSDP Objective 7 because the applicant states that a local staff person will be employed on-site and out of town visitors may support local businesses during their stay in the Albuquerque Area.
- C. HHSDP Objective 8: To encourage appropriate neighborhood-oriented use of vacant lands and buildings:
The request furthers HHSDP Objective 8 because the proposed use will contribute to appropriate neighborhood-scale use within a vacant building.
11. The request partially furthers the following objectives of the Huning Highland Sector Development Plan:
- A. HHSDP Objective 9: To develop programs to reduce crime in the area in cooperation with City agencies:
The request partially furthers HHSDP Objective 9 because while the proposed activity on the subject site does not constitute a program, the request will contribute to reducing crime in the area by the adaptive re-use of a building that has been vacant for the past 4 years.

12. The request complies with the following design guidelines of the Huning Highland Historic Overlay Zone:

- A. Huning Highland Historic Overlay Zone, Intent Statement: Property owners are not required to rehabilitate their buildings, but when an owner proposes to make exterior improvements, these guidelines will apply.

The request complies with the Development Guidelines of the Huning Highland Historic Overlay Zone (HHHOZ) because the applicant is not proposing any exterior additions or improvements. Page 36 of the HHHOZ states "Property owners are not required to rehabilitate their buildings, but when an owner proposes to make exterior improvements, these guidelines will apply".

13. The applicant has justified the zone change request pursuant to R-270-1980 as follows:

- A. Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers a preponderance of applicable Goals and policies from the Comprehensive Plan and other applicable plans, which the applicant has done in the response to Section C.
- B. The existing zoning for the subject site allows for a fire station use. The requested zoning for the subject site allows for permissive residential and community commercial uses on the subject site which will allow for the adaptive re-use of the vacant building on the subject site while maintaining compatibility with the surrounding residential uses thereby achieving stability of land use.
- C. Refer to Findings 6 - 10 above for policy analysis.
- D. The applicant cites changed neighborhood conditions in the form of the City of Albuquerque Fire Department vacating the subject site as well as East Downtown mixed use development projects and the renovation of a nearby hospital building to a hotel. Additionally, the applicant states that the requested zone is more advantageous to the community as articulated by the Comprehensive Plan policies in Section C of the R270-1980 justification and the adaptive re-use of the fire station providing a beneficial service while occupying a vacant building.

The applicant has justified changed community conditions by stating that the prior tenant (Fire Department) vacating the site as well as nearby zone changes and City initiated redevelopment projects constitute changed conditions and has justified the new use category as more advantageous to the community by citing appropriate Comprehensive Plan policies and HHSDP objectives.

- E. The residential and community commercial permissive uses allowed per the HHSDP SU-2 NCR zone will not be harmful to adjacent property, the neighborhood or the community because the residential densities allowed in the SU-2 NCR zone is appropriate and compatible with the surrounding residential uses and excludes all conditional C-1 uses.

-
- F. The requested change of zone will not require any major un-programmed capital expenditures by the City of Albuquerque.
- G. The cost of land or other economic considerations pertaining to the applicant are not the determining factor for the requested change of zone. The subject site is already owned by the City of Albuquerque and the determining factor for the zone change request is to rehabilitate a vacant building with an appropriate neighborhood scale use on the subject site.
- H. The requested change of zone will allow certain residential and community commercial uses, however the change of zone is not being justified based on location on a major street because High Street is classified as a local street by the The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG).
- I. The requested change of zone will result in a justifiable spot zone because the applicant has demonstrated that the change will clearly facilitate realization of the Comprehensive Plan and HHSDP policies and objectives as outlined in Section C of this staff report on pages 4 – 8. The policy analysis indicates that the request furthers a preponderance of applicable policies and objectives (11 policies / objectives furthered / complied with, 4 policies partially furthered).
- The applicant's claim that the subject site functions as a transition zone between the existing St. George Greek Orthodox Church east of the subject site and the single family residential to the west of the subject site cannot be substantiated because the southern portion of the block within which the subject site is located is zoned for single-family residential which would not be completely buffered by the uses on the subject site.
- J. The request would not result in a strip zone because the requested change of zone would not result in a different zone on a strip of land along a street.
14. The Downtown Neighborhood Association contact list of recognized neighborhood associations were notified of this request per the requirements of the Office of Neighborhood Coordination (ONC).
15. The ONC contact list consisted of the following: Broadway Central Corridors Partnership, Inc., Citizen's Information Committee of Martineztown, Downtown NA, Huning Highland Historic District Association, Martineztown Work Group, Raynold Addition NA, Santa Barbara-Martineztown Assoc., Silver Platinum Downtown NA, South Broadway NA, Silver Hill NA, Spruce Park NA, Sycamore NA, University Heights NA, Victory Hills NA. Property owners within 100 feet of the subject site were also notified of the request.
16. A facilitated meeting was recommended but not held because the Huning Highland Historic District Association expressed support for the requested action. A "No Meeting Report" was issued on May 27, 2016. There is no known neighborhood opposition to this request.

RECOMMENDATION - 16EPC-40024 – June 9, 2016

APPROVAL of 16EPC-40024, a request for Sector Development Plan Map Amendment from SU-2 / SU-1 for Fire Station to SU-2 NCR for Lots 1, 2, and 3, Block 28, Huning Highland Addition, based on the preceding Findings.



**Vicente M. Quevedo
Planner**

Notice of Decision cc list:

Doug Majewski
P.O. Box 302/87103

Rob Dickson
P.O. Box 302/87103

Kristi L. Houde
617 Edith Blvd. NE, Apt. #8/87102

Frank H. Martinez
501 Edith NE/87102

Reba Eagles, c/o Original Medicine Acupuncture
1500 Lomas Blvd. NW, Ste. B/87104

Robert Bello
1424 Roma Ave. NW/87104

Bonnie Anderson
522 Edith SE/87102

Ann L. Carson
416 Walter SE/87102

Loretta Naranjo Lopez
1127 Walter NE/87102

Christina Dauber
708 Don Tranquilino NE/87102

Bob Tilley
806 Lead Ave. SW/87102

Deborah Foster
1307 Gold SW/87102

Juan Lopez
800 Mountain Rd. NE/87102

Christina Chavez
517 Marble NE/87102

Ron Casias
100 Silver Ave. SW, #212/87102

Rebecca Perry-Piper
215 Lead Ave. SW, Apt. 1301/87102

Frances Armijo
915 William SE/87102

Gwen Colonel
900 John St. SE/87102

James Montalbano
1409 Silver Ave. SE/87106

Elizabeth Doak
1606 Silver SE/87106

Peter Feibelman
1401 Sigma Chi NE/87106

Valerie J. St. John
P.O. Box 14203/87191

Peter Schillke
1217 Coal Ave. SE/87106

Joe Gallegos
301 Harvard SE, #59/87106

Robert Stembridge
P.O. Box 40298/87196

Mardon Gardella
411 Maple St. NE/87106

Julie Kidder
120 Vassar SE/87106

Patty Willson
505 Dartmouth SE/87106

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

Project #1005131: No adverse comments; If the property were to be rezoned to SU-2/NCR the use of living quarters would be an allowed use under this category as R-3 Uses would be allowed (apartments).

Office of Neighborhood Coordination

Project# 1005131

16EPC-40024 Zone Map Amendment (Zone Change)

Downtown NA List consisting of the following: Broadway Central Corridors Partnership, Inc. (R), Citizen's Information Committee of Martineztown (R), Downtown NA (R), Huning Highland Historic District Assoc. (R), Martineztown Work Group, Raynold Addition NA (R), Santa Barbara-Martineztown Assoc. (R), Silver Platinum Downtown NA (R), South Broadway NA (R) Silver Hill NA (R), Spruce Park NA (R), Sycamore NA (R), University Heights NA (R), Victory Hills NA (R), No Coalitions

5/4/16 – Proof provided in packet that Agent/Applicant did contact ONC for their Inquiry Leter on 4/15/16 – siw

5/4/16 – Proof provided in packet that Agent/Applicant did send out certified mail to the NA's on 4/27/16 - siw

5/2/16 – Spoke with Agent and they would like a facilitated meeting arranged for this EPC Project - siw

5/9/16 – Assigned to Philip Crump - th

Long Range Planning

No comments received.

Metropolitan Redevelopment Agency

No comments received.

CITY ENGINEER

Project # 1005131

16EPC-40024 Sector Development Plan Map Amendment

Reviewed, no adverse comments.

Hydrology Development

No comments received.

DEPARTMENT of MUNICIPAL DEVELOPMENT

No comments received.

WATER UTILITY AUTHORITY

Utility Services

1. 16EPC-40024 Zone Map Amendment
 - a. Request an availability statement online at the following link:
http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire marshal requirements.
 - b. Property had an existing account.

ENVIRONMENTAL HEALTH DEPARTMENT

No comments received.

PARKS AND RECREATION

Planning and Design

Reviewed, no adverse comments.

Open Space Division

No comments received.

City Forester

No comments received.

POLICE DEPARTMENT/Planning

EPC 1005131 – Reviewed, no adverse comments.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Reviewed, no adverse comments.

FIRE DEPARTMENT/Planning

No comments received.

TRANSIT DEPARTMENT

No comments received.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

No comments received.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

P#1005131 Huning Highland Addition Map Amendment (K-14)
16EPC-40024 Reviewed. No adverse comments.

ALBUQUERQUE PUBLIC SCHOOLS

Reviewed, this will have no adverse impacts to the APS district.

MID-REGION COUNCIL OF GOVERNMENTS

No comments received.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comments received.

PUBLIC SERVICE COMPANY OF NEW MEXICO

Reviewed, no adverse comments.

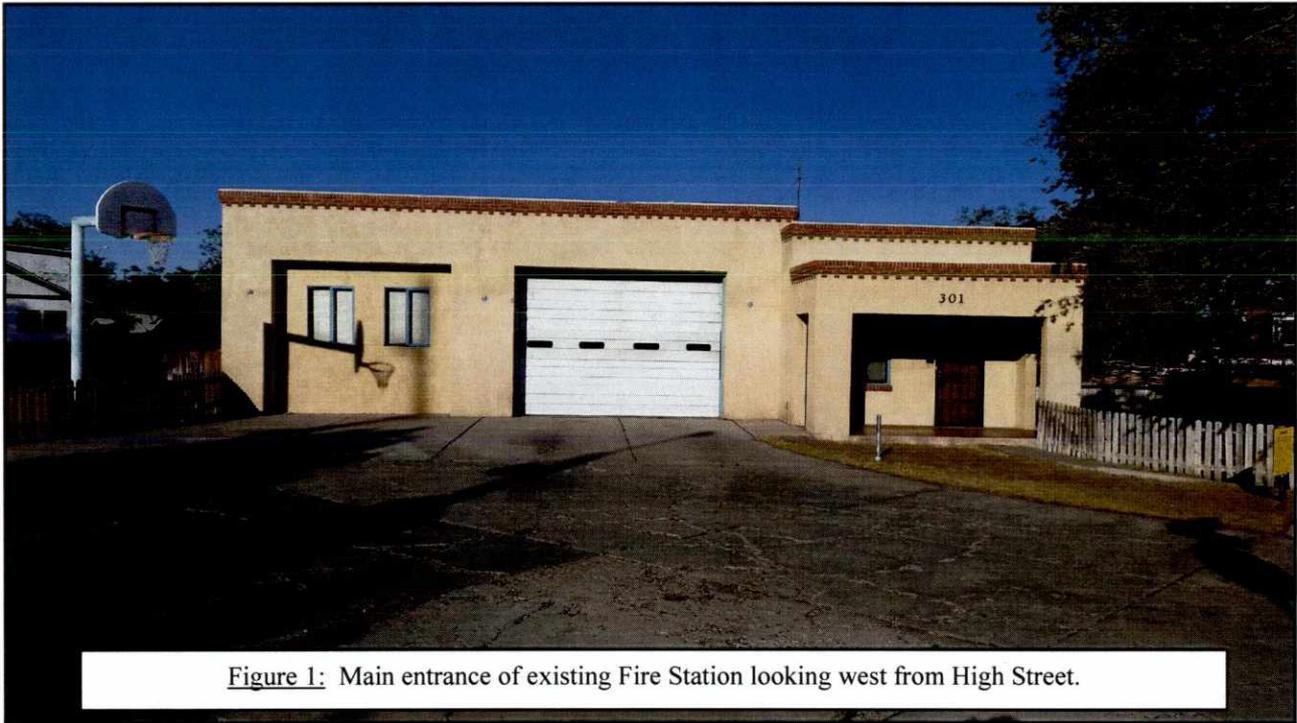


Figure 1: Main entrance of existing Fire Station looking west from High Street.

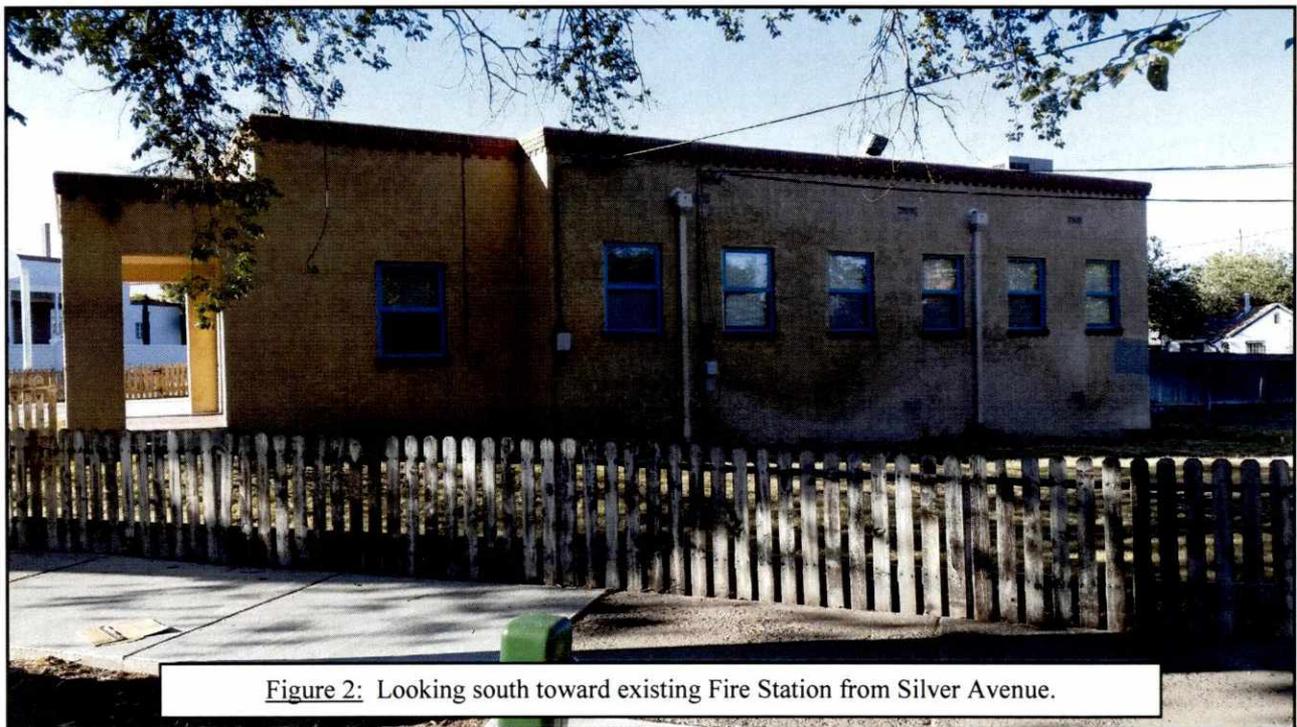


Figure 2: Looking south toward existing Fire Station from Silver Avenue.



R-270-1980

Policies for Zone Map Change Applications

The following policies for deciding zone map change applications pursuant to the Comprehensive City Zoning Code are hereby adopted:

(A) A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

(B) Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.

(C) A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments there, to, including privately developed area plans which have been adopted by the city.

(D) The applicant must demonstrate that the existing zoning is inappropriate because:

(1) There was an error when the existing zone map pattern was created; or

(2) Changed neighborhood or community conditions justify the change; or

(3) A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

(E) A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

(F) A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:

(1) Denied due to lack of capital funds; or

(2) Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

(G) The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

(H) Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

(I) A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:

(1) The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or

(2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

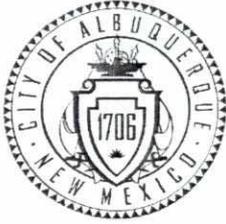
(J) A zone change request which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:

(1) The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and

(2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

(Res. 270-1980, approved 12-30-80)

HISTORY



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, DEVELOPMENT REVIEW DIVISION
P.O. BOX 1293, ALBUQUERQUE, NM 87103

January 30, 2008

City of Albuquerque
P.O. Box 1293
Albuq. NM 87103

AMENDED CERTIFICATE OF ZONING

FILE: 06EPC 01312 (Project 1005131)
DATE OF FINAL ACTION: November 16, 2006
LEGAL DESCRIPTION: for Parcels 1-3, Block 28, Huning
Highlands Addition, a zone map amendment from SU-2 MR
to SU-2/SU-1 for Fire Station, located on High St. SE,
between Silver SE and Lead SE, containing approximately
.49 acre. (K-14) Maryellen Hennessy, Staff Planner

THE POSSIBLE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE ABOVE CITED
PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM *SU-2/MR*
TO *SU-2/SU-1 for Fire Station*

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site and building plans need to be reviewed, approved and signed-off by the Environmental Planning Commission, the Development Review Board, the Design Review Committee and/or the Building and Safety Division, as applicable and as required by the site's zoning, before a building permit will be issued.

Sincerely,

C. Manone

For Richard Dineen
Planning Director

RD/ac

cc: Zoning Code Services Division
Neal Weinberg, AGIS Division



CERTIFICATE OF APPROPRIATENESS

City of Albuquerque, Planning Department
600 2nd Street NW, Albuquerque, NM 87102
(505) 924-3860

Date: November 29, 2006

Greer-Stafford Architects
Aileen O'Byrne, AIA
1717 Louisiana NE
Albuquerque, NM 87110

Project # 1005131
06-LUCC-01237
Decision of Certificate of
Appropriateness

City of Albuquerque requests approval of a Certificate of Appropriateness for alterations and addition to Fire Station #2 at **301 High Street SE** a contributing property in the Huning Highland Historic overlay Zone described Lots 1, 2 and 3 of the Huning's Highland Subdivision zoned SU-2/MR (K-15).

Dear Ms. O'Byrne:

This is to inform you that on Wednesday, November 8, 2006, the Landmarks and Urban Conservation Commission took the following action regarding this matter:
APPROVED.

FINDINGS:

1. This is a request for approval of a Certificate of Appropriateness for alterations to City of Albuquerque Fire Station #2, described as lots 1, 2 and 3 of Block 28 of the Huning's Highland Addition currently zoned SU-2/MR.
2. The subject site is located at 301 High Street SE, at the corner of Silver and High Streets. The subject site contains a building of approximately 2700 sq. ft. in the Territorial Revival style.
3. The subject property is a contributing building in the Huning Highland Historic Overlay Zone. A Certificate of Appropriateness is required for alterations under the Landmarks and Urban Conservation Ordinance §14-12.
4. This is the historic location of the Fire Station that has been in operation since 1925-26.
5. The original Fire Station constructed in 1925 was a cast cement block building in the southwest vernacular style with tiled awning. The existing building reflects alterations to the original building constructed ca. 1955.
6. The appearance of this building in the Territorial Revival style dates to approximately 1955. The Territorial Revival style is to be duplicated in the new additions.
7. The proposal is to expand the existing Fire Station to add a new apparatus bay and living quarters for staff. The proposal is to add 4262 sq. ft. to the existing 2700 sq. foot building in two separate phases.

8. The proposed alterations are consistent with the specific design guidelines for the Huning Highland
9. The LUC Ordinance (Article 12, R.O.A., 1994) specifies that an application for a Certificate of Appropriateness shall be approved if it complies with several specified criteria, including which reads as follows:

Criterion (B) (2) "The architectural character, historical value, or archaeological value of the structure or site itself or of any historic zone or urban conservation overlay zone in which it is located will not be significantly impaired or diminished."

Criterion (B) (4) The structure or site's distinguished original qualities or character will not be altered.
10. The application meets the criteria for approval of a certificate of Appropriateness.
11. This proposal furthers the *Comprehensive Plan* goals and policies for historic resources that include to "protect, reuse or enhance significant historic buildings and districts."

No Conditions



Maryellen Hennessy, Senior Planner
Landmarks and Urban Conservation

Any deviation from the information and/or conditions upon which this decision was made requires further Landmarks and Urban Conservation Commission review. Applicant is responsible for acquiring any and all additional City of Albuquerque department review and/or permits required for implementation of this project.

Applicant must bring three(3) copies of plans to Landmarks and Urban Conservation Commission Staff for stamp and signature before submitting them to Zoning Code Services and the Building & Safety Services for a permit.

Failure to obtain the necessary permits for implementation of this proposal within one (1) year voids this Certificate of Appropriateness. However, failure to implement this proposal for the purpose of abating a code violation within the specified time issued by a Code Enforcement agency shall render the property owner subject to the penalty provisions of all applicable codes.

cc: Rosanna Trujillo, City Zoning



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1005131**
06EPC-01311 EPC Site Development Plan-
Building Permit
06EPC-01312 Zone Map Amendment

City of Albuquerque
P.O. Box 1293
Albuq. NM 87103

LEGAL DESCRIPTION: for Parcels 1- 3, Block 28, **Huning Highlands Addition**, a zone map amendment from SU-2 MR to SU-2/SU-1 for Fire Station, located on HIGH ST. SE, between SILVER SE and LEAD SE, containing approximately .49 acre. (K-14) Maryellen Hennessy, Staff Planner

On November 16, 2006 the Environmental Planning Commission voted to approve Project 1005131/ 06EPC 01312 a Site Development Plan for Building Permit, for Lots 1, 2 and 3, Block 28 of Huning's Highland Addition based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Development Plan for Building Permit for Lots 1,2 and 3, Block 28 of Huning's Highland Addition of approximately 0.5 acres.
2. The subject site is located 301 High Street SE between Silver Avenue and Lead. The subject site contains an existing building, Albuquerque Fire Department Fire Station No. 2.
3. The existing building is 2700 sq. ft. The original Fire Station was built in 1925, and added to in 1955. It is in a modified Territorial Revival style, and the building is in good condition and currently in use as a Fire Station.
4. The proposal is to add 4262 sq. ft. in two phases to the existing building to provide a new apparatus bay and to upgrade living quarters for the personnel or as approved by the Traffic Engineer.

OFFICIAL NOTICE OF DECISION
NOVEMBER 16, 2006
PROJECT #1005131
PAGE 2 OF 4

5. The property is located in the Huning Highland Historic Overlay Zone and a Certificate of Appropriateness from the Landmarks and Urban Conservation Commission was approved on November 8, 2006.
6. The subject site was zoned SU2 /SU1 for Fire Station on October 19, 2006.
7. The request does not conflict with any goals or policies in the Albuquerque/ Bernalillo Comprehensive Plan or in the Huning Highland Sector Development Plan.
8. This subject site is already developed; therefore the site plan reflects both what is already built and proposed new construction.
9. The site plan includes ten parking spaces. The SU1 designation allows the EPC discretion to decide the required number of spaces. On-street parking also exists.
10. There is no known opposition to the request.

CONDITIONS:

1. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
2. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
3. Label existing parking and site drives.
4. Provide 2' dedication in alley adjacent to site to provide for a 20' wide alley (future) or as approved by the Traffic Engineer.
5. Drive aisles to be 24' wide or as approved by Traffic Engineer.
6. Site plan shall comply and be designed per DPM Standards.
7. Applicant shall re-plat the property to consolidate the individual lots.

8. A low pollen tree such as Golden Rain tree shall be substituted for the Arizona Ash.
9. Applicant shall provide rain barrels for water re-use.
10. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
11. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 1, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
NOVEMBER 16, 2006
PROJECT #1005131
PAGE 4 OF 4

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

CMarone

for

Richard Dineen
Planning Director

RD/MH/ac

cc: Arlene O'Byrne, Greer-Stafford, 1717 Louisiana NE, Suite 205, Albuquerque, NM 87110
Cathy Garcia, Barelans NA, P.O. Box 275, Albuquerque, NM 87103
Robert Vigil, Barelans NA, 919 Santa Fe SW, Albuquerque, NM 87102
John Perrine, Barelans NA, 912 Barelans SW, Albuquerque, NM 87102
Terry Keene, Broadway Central Corridors Partnership, Inc., 424 Central Ave. SE, Albuquerque, NM 87102
Rob Dickson, Broadway Central Corridors Partnership, Inc., 301 Central Ave. SE, #313, Albuquerque, NM 87102
Jess Martinez, Citizens Info. Comm. Of Martineztown, 501 Edith NE, Albuquerque, NM 87102
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Heather Reu, Raynolds Addition NA, 300 14th St. SW, Albuquerque, NM 87102
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Peter Schillke, Sycamore NA, 1217 Coal Ave. SE, Albuquerque, NM 87106
Mardon Gardella, Sycamore NA, 411 Maple St. NE, Albuquerque, NM 87106



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: October 20, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1005131***
06EPC-01311 EPC Site Development Plan-
Building Permit
06EPC-01312 Zone Map Amendment

City of Albuquerque
P.O. Box 1293
Albuq. NM 87103

LEGAL DESCRIPTION: for Parcels 1- 3, **Huning Highlands Addition**, a zone map amendment from SU-2 MR to SU-2/SU-1 for Fire Station, located on HIGH ST. SE, between SILVER SE and LEAD SE, containing approximately .49 acre. (K-14) Maryellen Hennessy, Staff Planner

On October 19, 2006 the Environmental Planning Commission voted to approve Project 1005131/ 06EPC 01311, a request for a Sector Development Plan Zone Map Amendment from SU-2/MR to SU-2/SU-1 for Fire Station for Lots 1,2 and 3, Block 28 of Huning's Highland Addition, based on the following Findings:

FINDINGS:

1. This is a request for approval of a Sector Development Plan Zone Map Amendment from SU-2/MR to SU-2/SU-1 for Fire Station for Albuquerque Fire Department's Fire Station No. 2, Located on Lots 1,2 and 3, Block 28 of Huning's Highland Addition consisting of approximately .5 ac.
2. The subject site is located at 301 High Street between Silver and Lead. The existing Fire Station building is proposed to be expanded.
3. The current SU-2/MR (Mixed Residential) zoning dates to the establishment of the Huning Highland Sector Development Plan in 1988.
4. The subject site is located within the Central Urban Area of the Albuquerque/Bernalillo Comprehensive Plan. It is also located within the Huning Highland Sector Development Plan. The request does not conflict with any goals or policies in the Comprehensive Plan or the Huning Highland Sector Development Plan.

5. The request is supports Policy II.B.5.d, m and o and Policy II.B.6.a and b of the Comprehensive because the requested zoning supports the expansion of an existing municipal facility that provides for the health, safety and welfare of the community. It supports the rehabilitation and redevelopment of the City's older neighborhoods.
6. The request is justified per Resolution 270 1980 because an error was made in the creation of the zone map. The property has been in continuous use for Fire Station since 1925 and at the time of the adoption of the Huning Highland Sector Development Plan.
7. The Huning Highland Neighborhood Association and other neighborhood associations with a one-mile radius were notified of this request and a facilitated meeting was offered. All declined to have a facilitated meeting. City Planning has received no comment from neighborhood and adjacent property owners.

On October 19, 2006 the Environmental Planning Commission voted to defer Project 1005131/ 06EPC-01311 EPC Site Development Plan-Building Permit to the Environmental Planning Commission Public Hearing on November 16, 2006.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 3, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
OCTOBER 19, 2006
PROJECT #1005131
PAGE 3 OF 3

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

for 
Richard Dineen
Planning Director

RD/MH/ac

cc: Arlene O'Byrne, Greer-Stafford, 1717 Louisiana NE, Suite 205, Albuquerque, NM 87110
Cathy Garcia, Barelás NA, P.O. Box 275, Albuquerque, NM 87103
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ZONING

Refer to page 35 of the Huning Highland Sector Development Plan for specifics regarding the SU-2 NCR zone. Refer to Section 14-16-2-12 of the Comprehensive Zoning Code for specifics regarding the R-3 (Residential Zone).

APPLICATION INFORMATION



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- V** Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P** Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D** Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. / Paul Wymer PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson Street, Courtyard 1 FAX: (505) 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: pwymr@bhinc.com
 APPLICANT: City of Albuquerque (Fire Dept. / OMD) John Mackenzie PHONE: (505) 268-3965
 ADDRESS: P.O. Box 1293 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87103 E-MAIL: jmackenzie@cabq.gov
 Proprietary interest in site: Owner List all owners: City of Albuquerque

DESCRIPTION OF REQUEST: Zone Map Amendment: SU-2/SU-1 for Fire Station to SU-2/NCR

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1, 2 and 3 Block: 28 Unit: _____
 Subdiv/Addn/TBKA: Huning Highland Addition
 Existing Zoning: SU2/SU-1 for Fire Station Proposed zoning: SU2 NCR MRGCD Map No _____
 Zone Atlas page(s): K-14-Z UPC Code: 101405747828810708

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z-, V-, S-, etc.): _____
1005131, 06EPC-01311, 06EPC-0312

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 3 No. of proposed lots: 3 Total site area (acres): .4752
 LOCATION OF PROPERTY BY STREETS: On or Near: 301 High Street
 Between: Silver Avenue and Lead Avenue
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE DATE 4/28/16
 (Print Name) Paul W. Wymer Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate)

Application case numbers

16EPC - 40024

Action
AZM
ADR
CME

S.F.

Fees

 Total
\$ 0

Hearing date June 9 2016

Staff signature & Date

Project # 1005131

Revised: 11/2014

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION (EPC08)

- Application for zone map amendment including those submittal requirements (see below).
Annexation and establishment of zoning must be applied for simultaneously.
 - Petition for Annexation Form and necessary attachments
 - Zone Atlas map with the entire property(ies) clearly outlined and indicated
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
 - Letter describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
 - Letter of authorization from the property owner if application is submitted by an agent
 - Board of County Commissioners (BCC) Notice of Decision
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

- SDP PHASE I – DRB CONCEPTUAL PLAN REVIEW (DRBPH1)** (Unadvertised)
- SDP PHASE II - EPC FINAL REVIEW & APPROVAL (EPC14)** (Public Hearing)
- SDP PHASE II - DRB FINAL SIGN-OFF (DRBPH2)** (Unadvertised)

- Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
 - Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
 - Zone Atlas map with the entire plan area clearly outlined and indicated
 - Letter describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for EPC public hearing only)
 - Traffic Impact Study (TIS) form (for EPC public hearing only)
 - Fee for EPC final approval only (see schedule)
 - List any original and/or related file numbers on the cover application
- Refer to the schedules for the dates, times and places of DRB and EPC hearings.* Your attendance is required.

AMENDMENT TO ZONE MAP - ESTABLISHMENT OF ZONING OR ZONE CHANGE (EPC05)

- Zone Atlas map with the entire property clearly outlined and indicated
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980.
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

- AMENDED TO SECTOR DEVELOPMENT MAP (EPC03)**
- AMENDMENT SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN (EPC04)**

- Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
 - Plan to be amended with materials to be changed noted and marked
 - Zone Atlas map with the entire plan/amendment area clearly outlined
 - Letter of authorization from the property owner if application is submitted by an agent (map change only)
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980 (Sector Plan map change only)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for sector plans only)
 - Traffic Impact Study (TIS) form
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATORY TEXT (EPC07)

- Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
 - Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
 - Letter describing, explaining, and justifying the request
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PAUL M. WYMER
Applicant name (print)
[Signature]
Applicant signature & Date
4/20/14



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
16EDC - 40024

Revised: June 2011
[Signature]
Staff signature & Date
4-28-14
Project # 1005131



Albuquerque Fire Department

David Downey, Fire Chief

April 15, 2016,

Re: Zone Map Amendment Request: Fire Station 2 located at 301 High Street, S.E., Lots 1 and 2, Block 28, Huning Highland Addition

To: Whom it may concern,

This letter authorizes representatives of Bohannon-Huston, Inc. to act as agent for the City of Albuquerque Fire Department (property owner) on matters associated with the subject Zone Map Amendment Request. The site is located at the southwest corner of High Street and Silver Avenue in Albuquerque, New Mexico.

Regards,

Gil Santistevan
Assistant Chief, Albuquerque Fire Department

Notary: Becky Drew Marotta
Becky Marotta



May 26, 2016

Karen Hudson
Chair
Environmental Planning Commission
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Zone Map Amendment Request: Lots 1, 2, and 3, Block 28 Huning Highland Addition
(Zone Atlas Page K-14-Z)

Dear Chairman Hudson,

The purpose of this letter is to provide a description of, and justification for a Zone Map Amendment for the subject property which is located at 301 High Street, S.W., at the southwest corner of High Street and Silver Ave. The property currently is developed with a City of Albuquerque Fire Station (Fire Station 2) that is no longer operating in its original capacity. Fire Station 2 has been replaced with a new structure located near Gibson east of Interstate 25. The property is currently zoned SU-2/SU-1 for Fire Station and is a part of the Huning Highland Sector Development Plan area and the Huning Highland Historic District. The proposed zoning is SU-2 NCR. This zoning designation is as defined in the Huning Highland Sector Development Plan and corresponds to the C-1 Neighborhood Commercial Zone. The proposed use of the building will be for a boarding house for "Random Acts of Kindness," which provides accommodations for families and friends of law enforcement personnel who are ill or injured and in need of extended medical treatment at local medical facilities here while away from their own residence. Random Acts of Kindness representatives anticipate a maximum of 4 families and one staff person occupying the structure at any one time. This is comparable to the number of Fire Department staff who inhabited the structure in the past.

Preliminary discussions have occurred with City Planning Department management staff, representatives of the Fire Marshal's office, Department of Municipal Development personnel, and the Metropolitan Redevelopment Agency staff. A description of the purpose of the request was detailed during those discussions and direction on proceeding with the request was defined. The result is this submittal request with supplemental exhibits and attachments. A summarization of issues discussed (either at the meetings or as a follow up to them) included:

1. The Fire Station was originally built in 1925 and was in continual use as such until it was replaced with a new station in 2012.
2. A Sector Development Plan and Zone Map Amendment request was submitted to the Environmental Planning Commission (E.P.C.) in September of 2006. This main purpose of the request was to acknowledge the existing use of the property as a Fire Station. The request was approved at the October 19, 2006 E.P.C. hearing.

3. A Site Development Plan for Building permit was submitted to the E.P.C. subsequent to the Amendment requests discussed above. The main purpose of this request was to allow for an addition to the Fire Station while also acknowledging the existing building and site configurations. This request was approved by the E.P.C. at the November 16, 2006 hearing. The addition was never constructed and the City records show no final sign off of the Site Development Plans by the Development Review Board (D.R.B.).
4. The proposed use of the structure will not alter the exterior of the building or site. Accordingly, the exhibits included with this request represent current conditions and are included for informational purposes only.
5. The result of the preliminary meetings was to proceed with the Zone Map Amendment request, acknowledging the previous actions, providing existing conditions exhibits, and justifying the request as required by Resolution 270-1980. Following is this justification:

I. The following Ordinances, Plans, and Policies are applicable to this request:

A. Albuquerque Bernalillo County Comprehensive Plan Section II, Goals and Policies:

Land Use, Section II. B:

The site is located in the Established Urban area of town as designated by the Comprehensive Plan. The goal of development within the Established Urban Area is to create a quality urban environment, which offers variety and maximum choice in housing, transportation, work areas, and life styles while creating a visually pleasing built environment. The existing Fire Station structure is located in a long established and historic neighborhood, Huning Highlands. The architectural style of the structure is Territorial. The architectural style of other buildings in the area varies but includes territorial, craftsman, art deco, pueblo, traditional and a mix of many styles. As such, and given the age of the building and its historic presence in the community, it clearly can be defined as visually pleasing. Incorporating a residential type of use to the vacant building will add to the choice of housing in the neighborhood.

(1) Policy II. B.5d: The location, intensity, and design of new development shall respect existing neighborhood value.

The subject property has been a part of the neighborhood since 1925. It has been a prominent feature of it and might be considered a landmark to the residents. The proposed use will not change the exterior appearance of the structure. Traffic generation to the building will be comparable, if not less than when it was operated as a Fire Station. Therefore, the intensity of use will remain respective of the neighborhood. And while there was undoubtedly a sense of protection that the operating Fire Station's presence had, replacing that use with one that is small-scale and residential in nature such as a boarding house will be an asset to the area, especially when considering the possible problems associated with abandoned buildings.

(2) Policy II. B. 5l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the Plan area.

The existing building and its historic architectural character will not be modified as a result of this Zone Map Amendment request. And while technically not "new development," the use of the building will be new to the area. The historic character of the building is very much appropriate to the area.

(3) Policy II.B.5m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The existing building is visually appealing and an asset to the community. In many ways, its historic appearance in and of itself enhances the visual environment of the neighborhood. In addition, the building's unique orientation on the property is an attractive juxtaposition to the more linear and typical residential street design. No change to the exterior appearance of the structure or the site layout is proposed so this unique structure will remain for neighbors, passersby, and temporary users to enjoy. An added benefit to the proposed user occupying the building will be the regular upkeep/maintenance of it, insuring the structure remains the same positive asset to the community. As stated elsewhere in this letter, these efforts have already begun as the new user, even before being approved to take occupancy, has organized a cleanup of the grounds, which started to show signs of decline with the vacation of the Fire Department four years ago.

(4) Policy II.B.5o: Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area shall be continued and strengthened.

As discussed above, the subject property is located in the Established Urban Area of the City. The building is currently vacant with no intent to be re-utilized as a Fire Station (a replacement station was constructed and is currently in use at a nearby site). As such, creating a complementary use for the historic building in an established neighborhood is a significant benefit to the area. The proposed use as a boarding house will strengthen the neighborhood by providing an occupant to a vacant building that is similar in use to the nearby residential structures.

(5) Policy II.B.5p: Cost effective redevelopment techniques shall be developed and utilized.

The proposed use of the existing vacant structure creates a beneficial re-use of a City owned building at little or no cost to the citizens of the community. The new user has already begun maintenance efforts associated with the building and as an occupant, will

continue to ensure the building is maintained for its temporary occupants. This relationship is a win-win for the community and the neighborhood while also providing a valuable service to those in a difficult situation.

Environmental Protection, Section IIC

The goal is to improve air quality to safeguard public health and enhance the quality of life.

The following policies are applicable to this request for the stated reasons:

- (6) Policy II. C. 1b: Automobile travel's adverse effects on air quality shall be reduced through a balanced land use/transportation system that promotes the efficient placement of housing, employment, and services.**
- (7) Policy II. C. 1e: Motor vehicle emissions and their adverse effects shall be minimized.**
- (8) Policy II. C. 1i: Air quality considerations shall be integrated into zoning and land use decisions to prevent new air quality/land use conflicts.**

These policies will be enhanced with the approval of this request. The location of the existing building is in close proximity to the healthcare facilities (primarily hospitals) that the temporary occupants will be visiting. Many of these individuals will arrive from across town or from other communities. Providing a housing option closer to their destination will result in a significant reduction in vehicle travel miles and therefore, an improvement to the air quality in the area. Additionally, occupation of the building by public service employees and their families will also focus extra eyes on the neighborhood by those who are trained to protect and serve members of the community.

Historic Resources

The goal is to protect, reuse, or enhance significant historic districts and buildings.

- (9) Policy II.C.5a: Efforts to provide incentives for the protection of significant districts and buildings shall be continued and expanded.**

Providing a re-use opportunity for this historic and vacant structure will result in the building being better maintained by the new user and protect it from the potential negative impacts often associated with vacant structures.

Community Identity and Urban Design

The Goal is to preserve and enhance the natural and built characteristics, social, cultural, and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods.

- (10) Policy II.C.9b: In each Community Area, strategic planning, neighborhood planning, development, and redevelopment shall be evaluated in light of its relationship to and effect upon the following...**
- a. Local History**
 - i. Architectural styles and traditions**
 - ii. Current and historic significance to Albuquerque**

The existing Fire Station is one of the unique buildings in the Huning Highlands historic District. Re-using the structure will protect it from deterioration and allow it to continue to be an identity asset to the community.

B. Huning Highland Sector Development Plan:

The following objectives of the Huning Highland Sector Development Plan will be achieved by approval of the subject Zone Map Amendment request:

- **To protect and enhance the unique residential character of the area:** Re-utilizing this building for a residential purpose while retaining its historic character will achieve this objective.
- **To encourage appropriate neighborhood-oriented use of vacant lands and buildings:** Re-utilizing this vacant Fire Station for a boarding house is a very appropriate use for this property and its location within the neighborhood.
- **To encourage and support local employment and local business development:** Providing a new housing choice for out of area/out of town visitors will result in the local support of area businesses as these visitors will shop and dine during their stay.
- **To develop programs to reduce crime in the area in cooperation with City agencies:** While the proposed use is not technically a "program," utilizing the vacant building will remove the temptation of some to enter the structure and potentially cause harm to it. Occupying the building will therefore, reduce the potential of added crime to the area.

C. Huning Highland Historic Zone Guidelines:

The proposed user of the structure has no current plans to modify the exterior of the building. As such, the structure will retain its current architectural appearance. This intent is consistent with the guidelines detailed in the Huning Highlands Historic Preservation Handbook.

II. Justification for the Zone Map Amendment Resolution 270-1980:

A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the City.

The zone map amendment request is consistent with the health, safety, and morals of the City. Comprehensive Plan policies, referenced in section 1 above, support this statement. Specifically, policies II B 5d, II B 5l, II.B.5m, II.B.5o, II.B.5p, II C 1b, II.C.1.e, II.C.1i, II.C.5a, II.C.5b and the reasons noted therein provide specific definition of how the health, safety, morals, and general welfare of the City and its citizens are protected. Re-utilizing an historic structure for a residential type of use in an established neighborhood will be an asset to the community. Providing a valuable service to families and friends of individuals in need of health care is without question, a very positive, ethical, and moral endeavor that most would agree is simply the right thing to do.

B. Stability of Land Use and zoning is desirable; therefore, the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the City to show why the change should not be made.

As discussed elsewhere in this letter, the proposed zone change will result in a currently vacant structure being re-utilized in a manner consistent and complimentary to the neighborhood. Additionally, the exterior appearance of the building will remain as it is today and as the residents of the area have known it to exist for over 90 years. Stability of land use will consequently, be achieved. The current zoning of the property allows for the use of the building as a Fire Station only. This structure will never be utilized as a Fire Station again and as such, will remain vacant until a change occurs. No change of use will undoubtedly result in a de-stabilization of the property. Other benefits will include those discussed in the paragraph above.

C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other City Master Plans and amendments thereto, including privately developed area plans which have been adopted by the City.

Section A above discusses the requests conformance to the applicable Comprehensive Plan and Huning Highland Sector Development Plan policies.

D. The applicant must demonstrate that the existing zoning is inappropriate because:

- (1) There was an error when the existing zoning map pattern was created;
or
- (2) Changed neighborhood or community conditions justify the changes;
or
- (3) A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City Master Plan, even though 4a. and 4b. do not apply.

The proposed zone change is appropriate to the area as **changed neighborhood conditions** have occurred. The subject site itself is one of the most notable changes; the previous user (City of Albuquerque Fire Department) has left the site and moved to a new structure south of the area. In 2006, the properties zoning was changed to acknowledge its use as a Fire Station. Other changes in the area include:

1. South of the property at Coal and High Street is an abandoned building that appears to have been used for a commercial business at some point in the past and perhaps as recently as 2009. This apparently abandoned building is a changed condition to the area.
2. North and west of the property along Central Avenue, significant change has occurred in the form of the East Downtown development improvements including the old Albuquerque High School mixed use projects.
3. Approximately 2 blocks north and east of the site, the Hotel Parq Central represents another changed condition. This former hospital was renovated and its use changed to a hotel in 2010.

The proposed zone change is **more advantageous to the community** as articulated by Comprehensive Plan Policies II B 5d, II B 5l, II.B.5m, II.B.5o, II.B.5p, II C 1b, II.C.1.e, II.C.1i, II.C.5a, II.C.5b as discussed in section 1, at the top of this document. Other advantages to this zone map amendment are discussed above and include:

- Re-utilizing an existing vacant building with a use compatible with the neighborhood is more advantageous to the community. Occupying a vacant building will also ensure maintain the structure.
- Retaining the current zoning on the property only allows for its use as a Fire Station. This use will never occur on the site again. Changing the zone is therefore more advantageous to the community in that it will allow the building to be re-utilized and not fall into dis-repair or be vandalized.
- The Architectural character of the building will be retained, adding further benefits to the community and neighborhood.
- The proximity of the property to healthcare facilities will reduce the number of vehicle miles driven by friends and relatives of individuals undergoing medical treatment. This in turn will reduce the quantity of pollutants introduced into the environment and the number of vehicles driven on the local roadway network.

A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

This request, if approved, would not be harmful to the adjacent property, neighborhood, or community. Factors which would typically be considered harmful to nearby neighborhoods include an increase in traffic, noise, light, and air pollution. The quantity of traffic generated by the proposed use is comparable to the previous Fire Station use given the number of Fire Department personnel compared to a maximum of 4 – 8

vehicles associated with the proposed use. Accordingly, the quantity of noise and air pollution will be equal to or less than the previous use.

E. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the City may be:

- (1) Denied due to lack of capital funds; or**
- (2) Granted with the implicit understanding that the City is not bound to provide the capital improvements on any special schedule.**

The zone map amendment, if approved, would not require the construction of any capital improvements. The site is located in an area of town that has sufficient infrastructure to serve the existing development.

F. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for the change of zone.

The requested change of zone is not due to economic considerations but instead to provide a compatible and complimentary use for the property.

G. Location on a collector or major street is not, in and of itself justification for apartment, office, or commercial zoning.

This letter lists many reasons for justifying the Zone Map Amendment and describes why they are applicable to the Albuquerque Bernalillo County Comprehensive Plan. The site is not located on a collector major roadway.

H. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such change of zone may be approved only when:

- (1) The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or,**
- (2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.**

The proposed Zone Map amendment will result in a spot zone, similar to that which exists today. The discussion in Section A at the beginning of this letter outlines applicable goals of the Comprehensive Plan that will be realized with the approval of this Zone Map Amendment. Topping that list includes the discussions on historic preservation, respecting existing neighborhood values, community identity, and rehabilitation of older neighborhoods.

Karen Hudson
Environmental Planning Commission
May 26, 2016
Page 9

The site's current zoning is different than that of the surrounding properties and as such, could be defined as a spot zone. The use across High Street east of the property is a Church and while situated on property zoned SU2 MR, is not a residential structure. Abutting the Church on the east and fronting Elm Street is a parking lot which serves the Church and is again, not a residential use. Across Elm Street at Lead Avenue is a commercially zoned property. As discussed in numerous other paragraphs in this letter, the proposed use of the building is residential in nature. That use could be considered a transition and/or buffer from the Church use, its parking area, and the commercial uses south and east of the Church.

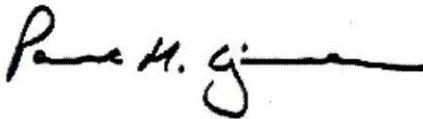
A zone change request, which would give a zone different from surrounding zoning, to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:

- (1) The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; and**
- (2) The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.**

The subject zone map amendment will not result in a "strip zone."

Please review the information contained herein, and let me know if you need additional information to consider this request. Please schedule the request to be heard at the June 9th EPC hearing.

Sincerely,



Paul M. Wymer, AIA, AICP
Project Manager
Community Development & Planning

PWM/jcm
Enclosures

NOTIFICATION &
NEIGHBORHOOD INFORMATION



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW is where you obtain neighborhood and homeowner association information for your planning submittal.

You can submit your *Developer Inquiry Sheet* in the following ways: 1) In person at the address listed above; 2) Fax it to (505) 924-3913; or 3) E-mail it with the zone map to BOTH: Stephani Winklepleck at swinklepleck@cabq.gov and Dalaina Carmona at dcarmona@cabq.gov.

ONC will need the following information BEFORE any neighborhood or homeowner association information is released you. If you have questions, please feel free to contact our office at (505) 924-3914.

Zone map and this Developer Inquiry Sheet MUST be provided with request

Please mark zone map to indicate where the property is located

Developer Inquiry is for the following (mark the one that applies):

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- AA Submittal City Project Submittal ZHE Submittal (need address/zone map # only)

Contact Name: PAUL WYMER

Company Name: BOHANNAN HUSTON, INC.

Address/Zip: 7500 JEFFERSON ST., ALBUQUERQUE, NM, 87109

Phone: 823-1000 Fax: 798-7988 E-mail: PWYMER@BHINC.COM

Legal Description Information

Describe the legal description of the subject site for this project below:
(i.e., Lot A, Block A, of the XYZ Subdivision)

LOTS 1 AND 2, BLOCK 28, HUNINGS HIGHLANDS ADDITION

Located On 301 HIGH ST. S.E.
street name (ex. - 123 Main St. NW) or other identifying landmark

Between SILVER and
street name or other identifying landmark

LEAD
street name or other identifying landmark

The site is located on the following zone atlas page (K-142).



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

April 15, 2016

Paul Wymer
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 505-823-1000/Fax: 505-798-7988
E-mail: msatches@bhinc.com

Dear Paul:

Thank you for your inquiry of **April 15, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(EPC SUBMITTAL FOR CITY PROJECT) LOTS 1 AND 2, BLOCK 28, HUNINGS HIGHLANDS ADDITION, LOCATED AT 301 HIGH STREET SE, BETWEEN SILVER AVENUE SE AND LEAD AVENUE SE** zone map **K-14**.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL - please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's - siw.

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (**PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from U.S.P.S. showing date.**) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS PLANNING DEPARTMENT SUBMITTAL

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **04/15/16** Time Entered: **10:30 a.m.** ONC Rep. Initials: **siw**

ATTACHMENT A

(EPC SUBMITTAL FOR CITY PROJECT) LOTS 1 AND 2, BLOCK 28, HUNINGS HIGHLANDS ADDITION, LOCATED AT 301 HIGH STREET SE, BETWEEN SILVER AVENUE SE AND LEAD AVENUE SE zone map K-14 for Paul Wymer, Bohannon Huston, Inc.

BROADWAY CENTRAL CORRIDORS PARTNERSHIP, INC. (R)
Doug Majewski ✓ Rob Dickson ✓
P.O. Box 302/87103 P.O. Box 302/87103 515-5066 (c)

CITIZENS INFORMATION COMMITTEE OF MARTINEZTOWN (R)
Kristi L. Houde ✓ Frank H. Martinez ✓
617 Edith Blvd. NE, Apt. #8/87102 250-6704 (h) 501 Edith NE/87102 243-5267 (h)

DOWNTOWN NEIGHBORHOODS ASSOCIATION (R)
Reba Eagles, c/o Original Medicine Acupuncture ✓ Robert Bello ✓
1500 Lomas Blvd. NW, Ste. B/87104 604-3434 (c) 1424 Roma Ave. NW/87104 872-0998 (h)

HUNING HIGHLAND HISTORIC DISTRICT ASSOCIATION (R)
Bonnie Anderson ✓ Ann L. Carson ✓
522 Edith SE/87102 242-8848 (h) 416 Walter SE/87102 242-1143 (h)

MARTINEZTOWN WORK GROUP
Loretta Naranjo Lopez ✓ Christina Dauber ✓
1127 Walter NE/87102 270-7716 (c) 708 Don Tranquilino NE/87102 243-1718 (h)

RAYNOLDS ADDITION NEIGHBORHOOD ASSOCIATION (R)
Bob Tilley ✓ Deborah Foster ✓
806 Lead Ave. SW/87102 263-9848 (h) 1307 Gold SW/87102 243-4865 (h)

SANTA BARBARA-MARTINEZTOWN ASSOCIATION (R)
Juan Lopez ✓ Christina Chavez ✓
800 Mountain Rd. NE/87102 459-1068 (c) 517 Marble NE/87102 459-4521 (c)

SILVER PLATINUM DOWNTOWN NEIGHBORHOOD ASSOCIATION (R)
Ron Casias ✓ Rebecca Perry-Piper ✓
100 Silver Ave. SW, #212/87102 319-0958 (c) 215 Lead Ave. SW, Apt. 1301/87102 274-9587 (w)

SOUTH BROADWAY NEIGHBORHOOD ASSOCIATION (R)
Frances Armijo ✓ Gwen Colonel ✓
915 William SE/87102 247-8798 (h) 900 John St. SE/87102 513-257-9414 (c)

SILVER HILL N.A. "R"
James Montalbano ✓ Elizabeth Doak ✓
1409 Silver Ave. SE/87106 243-0827 (h) 1606 Silver SE/87106 242-8192 (h)

SPRUCE PARK N.A. INC. "R"
*Peter Feibelman ✓ Valerie J. St. John ✓
1401 Sigma Chi NE/87106 242-1946 (h) P.O. Box 14203/87191 275-3931 (c)

SYCAMORE N.A. "R"
Peter Schillke ✓ Mardon Gardella ✓
1217 Coal Ave. SE/87106 243-8368 (h) 411 Maple St. NE/87106 843-6154 (h)

UNIVERSITY HEIGHTS N.A. "R"
Joe Gallegos ✓ Julie Kidder ✓
301 Harvard SE, #59/87106 450-6096 (c) 120 Vassar SE/87106 269-3967 (c)

VICTORY HILLS N.A. "R"
Robert Stembridge Patty Willson
P.O. Box 40298/87196 459-6893 (c) 505 Dartmouth SE/87106 266-8944 (h & w)

No Coalitions to notify - siw

Typical

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

April 28, 2016

Doug Majewski
P.O. Box 302
Albuquerque, NM 87103

Re: Zone Map Amendment: Lots 1, 2 and 3, Block 28, Huning Highland Addition (Fire Station #2 at 301 High Street)

Dear Doug:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Broadway Central Corridors Partnership, Inc.

This letter is to advise you that Bohannon Huston, Inc., acting as agent for the City of Albuquerque, is requesting the subject request associated with the existing vacated City owned Fire Station. Specifically, this request is to amend the site's zoning from its current "SU-2/SU-1 for Fire Station" to "SU-2 for NCR uses" as described in the Huning Highland Sector Development Plan. These changes will require review and approval by the City of Albuquerque Environmental Planning Commission (EPC).

The proposed use of the building will be for a "Random Acts of Kindness" facility that provides temporary housing for family and friends of people undergoing medical care. Preliminary discussions between Random Acts of Kindness representatives and residents in the area have already occurred. It is anticipated that a facilitated meeting will also be held to provide additional information to interested neighborhood groups. Since you are a part of a recognized neighborhood association in the area, you will also be notified of the time and date of that meeting.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Paul M. Wymer, A.I.A./A.I.C.P.
Senior Project Manager
Community Development & Planning

PMW/jcm

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲

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Sent To *Peter Feibelman*
 Street, Apt. No., or PO Box No. *1401 Sigma Chi NE*
 City, State, ZIP+4 *Albuquerque NM 87106*

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Sent To *Elizabeth Doak*
 Street, Apt. No., or PO Box No. *1606 Silver SE*
 City, State, ZIP+4 *Albuquerque NM 87106*

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Sent To *Frances Armijo*
 Street, Apt. No., or PO Box No. *915 William SE*
 City, State, ZIP+4 *Albuquerque NM 87102*

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Sent To *James Montalvano*
 Street, Apt. No., or PO Box No. *1409 Silver Ave. SE*
 City, State, ZIP+4 *Albuquerque NM 87106*

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 Street, Apt. No., or PO Box No. *900 John St. SE*
 City, State, ZIP+4 *Albuquerque NM 87102*

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Sent To *Peter Schillke*
 Street, Apt. No., or PO Box No. *1217 Coal Ave SE*
 City, State, ZIP+4 *Albuquerque NM 87106*

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APR 27 2016
ALBUQUERQUE, NM 87109

Sent To *Rebecca Perry-Piper*
 Street, Apt. No.; or PO Box No. *215 Lead Ave SW #1301*
 City, State, ZIP+4 *Albuquerque NM 87102*
 PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$		

PERFECTLY LEGAL
APR 27 2016
ALBUQUERQUE, NM 87109

Sent To *Loretta Naranjo Lopez*
 Street, Apt. No.; or PO Box No. *1127 Walter NE*
 City, State, ZIP+4 *Albuquerque NM 87102*
 PS Form 3800, August 2006 See Reverse for Instructions

7010 1870 0000 2738 8796

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Restricted Delivery Fee (Endorsement Required)			
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Sent To *Christina Chavez*
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Sent To *Ron Casias*
 Street, Apt. No.; or PO Box No. *100 Silver Ave SW #212*
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Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$		

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Sent To *Juan Lopez*
 Street, Apt. No.; or PO Box No. *800 Mountain Rd. NE*
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Return Receipt Fee (Endorsement Required)			
Restricted Delivery Fee (Endorsement Required)			
Total Postage & Fees	\$		

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Sent To *Valerie J. St. John*
 Street, Apt. No.; or PO Box No. *P.O. Box 14203*
 City, State, ZIP+4 *Albuquerque NM 87191*
 PS Form 3800, August 2006 See Reverse for Instructions

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Sent To *Reba Eagles to Drug Medicine*
 Street, Apt. No.; or PO Box No. *1500 Lomas Blvd NW. #B*
 City, State, ZIP+4 *Albuquerque NM 87104*

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Sent To *Doug Majewski*
 Street, Apt. No.; or PO Box No. *P.O. Box 302*
 City, State, ZIP+4 *Albuquerque NM 87103*

7010 1870 0000 2738 8772

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Sent To *Deborah Foster*
 Street, Apt. No.; or PO Box No. *1307 Gold SW*
 City, State, ZIP+4 *Albuquerque NM 87102*

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Sent To *Patty Wilson*
 Street, Apt. No.; or PO Box No. *505 Dartmouth SE*
 City, State, ZIP+4 *Albuquerque NM 87106*

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Total Postage & Fees	\$

Sent To *Christina Dauber*
 Street, Apt. No.; or PO Box No. *708 Don Tranquilino NE*
 City, State, ZIP+4 *Albuquerque NM 87102*

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Sent To *Bob Titley*
 Street, Apt. No.; or PO Box No. *806 Lead Avenue SW*
 City, State, ZIP+4 *Albuquerque NM 87102*

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Restricted Delivery Fee (Endorsement Required)			
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Sent To Bonnie Anderson
 Street, Apt. No., or PO Box No. 522 Edith SE
 City, State, ZIP+4 Albuquerque NM 87102

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Sent To Ann L. Carson
 Street, Apt. No., or PO Box No. 416 Walter SE
 City, State, ZIP+4 Albuquerque NM 87102

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Sent To Frank H. Martinez
 Street, Apt. No., or PO Box No. 501 Edith NE
 City, State, ZIP+4 Albuquerque NM 87102

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Sent To Robert Dello
 Street, Apt. No., or PO Box No. 1424 Roma Ave. NW
 City, State, ZIP+4 Albuquerque NM 87104

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Restricted Delivery Fee (Endorsement Required)			
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Sent To Rob Dickson
 Street, Apt. No., or PO Box No. P.O. Box 302
 City, State, ZIP+4 Albuquerque, NM 87103

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Sent To Kristi L. Houde
 Street, Apt. No., or PO Box No. 617 Edith Blvd. NE Apt #8
 City, State, ZIP+4 Albuquerque, NM 87102

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Sent To Joe Gallegos
 Street, Apt. No., or PO Box No. 301 Harvard SE #57
 City, State, ZIP+4 Albuquerque NM 87106

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Mardon Gardella
 Street, Apt. No., or PO Box No. 411 Maple St. NE
 City, State, ZIP+4 Albuquerque NM 87106

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Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Robert Stenbridge
 Street, Apt. No., or PO Box No. P.O. Box 40298
 City, State, ZIP+4 Albuquerque NM 87196

7010 1870 0000 2738 8727

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Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Julie Kidder
 Street, Apt. No., or PO Box No. 120 Vassar SE
 City, State, ZIP+4 Albuquerque NM 87106

7010 1870 0000 2738 8710

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: Thursday, June 9, 2016

1005131

Zone Atlas Page: K-14-Z

Notification Radius: Neighborhood Associations
100ft plus r.o.w

Cross Reference and Location: 301 High Street between Silver Ave & Lead Ave.

Applicant: City of Albuquerque
Fire Dept. / OMD
PO BOX 1293
Albuquerque, NM 87103

Agent: Bohannan Huston, Inc.
7500 Jefferson Street, Courtyard 1
Albuquerque, NM 87109

Special Instructions:

**Notice must be mailed from the
City 15 days prior to the meeting.**

Date Mailed:

5/17/16

Signature:

beg



301 High Street between Silver and Lead



Legend

- Bernalillo County Parcels
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

distance 155.75

1005131

0.0 0 0.02 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
5/5/2016 © City of Albuquerque

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THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES

PROJECT 1005131

Owner	Company	Owner Address	Owner Address 2
BLOMBERG CHARLES E & JERRY D		602 ARNO ST SE	ALBUQUERQUE NM 87102-3904
CANDELARIA JOSIE		302 WALTER ST SE	ALBUQUERQUE NM 87102-3558
CANDELARIA MARY ANNABEL AKA VALDEZ MARY ANNABEL		224 WALTER ST SE	ALBUQUERQUE NM 87102
CHAPPELL SUSAN G		318 WALTER ST SE	ALBUQUERQUE NM 87102
COLLINSON MARIE T		715 SILVER AVE SE	ALBUQUERQUE NM 87102
COOK DAVID E		218 HIGH ST SE	ALBUQUERQUE NM 87102
CURTAS HUGH A & MANDEVILLE JULIA M		301 AMHURST AVE NE	ALBUQUERQUE NM 87110
DICKENS REBECCA A & KRISTOPHER S SHEPARD		316 WALTER ST SE	ALBUQUERQUE NM 87102-3558
DORRIS RALPH STEWART JR		313 HIGH ST SE	ALBUQUERQUE NM 87102
GALLEGOS ALBERT & TRUJILLO VERONICA		223 HIGH ST SE	ALBUQUERQUE NM 87102-3628
GARDEA DORA LEE		58 FIRESTATION	LOS LUNAS NM 87031
HERZOG PAUL & AMANDA		218 WALTER ST SE	ALBUQUERQUE NM 87102
HINOJOS MANUEL G III & GALLEGOS ANDREA A		223 HIGH ST SE	ALBUQUERQUE NM 87102
KARAFONDA MARY KATHRYN		308 HORTON LN NW	ALBUQUERQUE NM 87114-1053
PINO CHRIS		1100 MARQUETTE PL NE	ALBUQUERQUE NM 87106
QUICK HILL ENTERPRISES LLC		1245 N VINE ST 1	LOS ANGELES CA 90038
ST GEORGE GREEK ORTHODOX		308 HIGH ST SE	ALBUQUERQUE NM 87106
STURGE AMY & BEN		301 WALTER ST SE	ALBUQUERQUE NM 87102
TERRA FIRMA INVESTMENTS LLC		1500 COAL AVE SE	ALBUQUERQUE NM 87106-4424
Paul Wymer	Bohannan Huston, Inc.	7500 Jefferson Street Courtyard 1	Albuquerque, NM 87 109
John McKenzie	COA - Fire Department	PO BOX 1293 4th FL	Albuquerque, NM 87 103
Doug Majewski	Broadway Central Corridors Partnership	PO BOX 302	Albuquerque, NM 87 103
Rob Dickson	Broadway Central Corridors Partnership	PO BOX 302	Albuquerque, NM 87 103
Kristi L. Houde	Citizens Information Committee of Martineztown	614 Edith Blvd. NE #8	Albuquerque, NM 87 102
Frank H. Martinez	Citizens Information Committee of Martineztown	501 Edith NE	Albuquerque, NM 87 102
Reba Eagles c/o Original Medicine Acupuncture	Downtown Neighborhoods Assoc.	1500 Lomas Blvd NW Ste. B	Albuquerque, NM 87 104
Robert Bello	Downtown Neighborhoods Assoc.	1424 Roma Ave NW	Albuquerque, NM 87 104
Bonnie Anderson	Huning Highland Historic District Assoc.	522 Edith SE	Albuquerque, NM 87 102
Ann L. Carson	Huning Highland Historic District Assoc.	416 Walter SE	Albuquerque, NM 87 102
Loretta Naranjo Lopez	Martineztown Work Group	1127 Walter NE	Albuquerque, NM 87 102
Christina Dauber	Martineztown Work Group	708 Don Tranquilino NE	Albuquerque, NM 87 102
Bob Tilley	Raynolds Addition N.A.	806 Led Ave. SW	Albuquerque, NM 87102
Deborah Foster	Raynolds Addition N.A.	1307 Gold SW	Albuquerque, NM 87 102
Juan Lopez	Santa Barbara-Martineztown Assoc.	800 Mountain Rd NE	Albuquerque, NM 87 102
Christina Chavez	Santa Barbara-Martineztown Assoc.	517 Marble NE	Albuquerque, NM 87102
Ron Casias	Silver Platinum Downtown N.A.	100 Silver Ave SW #212	Albuquerque, NM 87 102
Rebecca Perry-Piper	Silver Platinum Downtown N.A.	215 Lead Ave SW Apt. 1301	Albuquerque, NM 87 102
Frances Armijo	South Broadway N.A	915 William SE	Albuquerque, NM 87 102
Gwen Colonel	South Broadway N.A	900 John Street SE	Albuquerque, NM 87 102
James Montalbano	Silver Hill N.A.	1409 Silver Avenue SE	Albuquerque, NM 87 106
Elizabeth Doak	Silver Hill N.A.	1606 Silver SE	Albuquerque, NM 87 106
Peter Feibelman	Spruce Park N.A. INC	1401 Sigma Chi NE	Albuquerque, NM 87 106
Valerie J. St. John	Spruce Park N.A. INC	PO BOX 14203	Albuquerque, NM 87 191
Peter Schillke	Sycamore N.A.	1217 Coal Ave SE	Albuquerque, NM 87 106
Mardon Gardella	Sycamore N.A.	411 Maple Street NE	Albuquerque, NM 87 106
Joe Gallegos	University Heights N.A.	301 Harvard SE #59	Albuquerque, NM 87 106
Julie Kidder	University Heights N.A.	120 Vassar SE	Albuquerque, NM 87 106
Robert Stenbridge	Victory Hills N.A.	PO BOX 40298	Albuquerque, NM 87 196
Patty Willson	Victory Hills N.A.	505 Dartmouth SE	Albuquerque, NM 87 106

City Of Albuquerque Land Use Facilitation Program

NO MEETING REPORT

Project #: Project#1005131 - 16EPC-40024 Huning Highland Fire Station

Submitted: 27 May 2016

Facilitator: Philip Crump

Case Planner: Vicente Quevedo

Parties: City of Albuquerque Fire Department (applicant), Bohannon Huston (agent); Broadway Central Corridors Partnership, Inc.; Citizen's Information Committee of Martineztown; Downtown NA; Huning Highland Historic District Association; Martineztown Work Group; Raynolds Addition NA; Santa Barbara-Martineztown Association; Silver Platinum Downtown NA; Silver Hill NA; South Broadway NA; Spruce Park NA, Inc.; Sycamore NA; University Heights NA; Victory Hills NA

Summary:

The application is for a zone change to SU-2 for NCR (corresponding to C-1 but without alcohol sales--see text at the end of this note). The purpose is to allow remodel of the Huning Highland Fire Station at the SW corner of Silver and High Street.

After emailing the parties a notice of the application with request for response regarding a facilitated meeting, there has been but one response.

The President of the Huning Highland Historic District Association (the group most directly concerned with this project) responded quickly, saying, "HHHDA is behind this proposed use of the old fire house. We see no need for a facilitated meeting."

There were no requests for a facilitated meeting.