



***Environmental
Planning
Commission***

***Agenda Number: 1
Project #: 2019-003030
Case: RZ-2019-00067
Hearing Date: December 12, 2019***

Staff Report

<i>Agent</i>	Shanna Schultz, City Council
<i>Applicant</i>	Albuquerque City Council
<i>Request</i>	Zoning Map Amendment to create new CPO for North 4th Street
<i>Legal Description</i>	
<i>Location</i>	Portions of 2 nd , 3 rd , and 4 th streets north of Mountain Rd to City Limits.
<i>Size</i>	
<i>Existing Zoning</i>	Various
<i>Proposed Zoning</i>	Character Protection Overlay

Staff Recommendation

RECOMENDATION OF APPROVAL of Project # 2019-003030 RZ-2019-00067, an alternative to creating a new CPO in the form of text amendments to the IDO detailed in the Findings on Page 20, be forwarded to the City Council.

***Staff Planner
Whitney Phelan***

Summary of Analysis

The request is for a recommendation to City Council regarding a zoning map amendment for a Character Protection Overlay Zone (CPO) for portions of 2nd, 3rd, and 4th streets, north of Mountain Rd to the Albuquerque city limits.

The subject site contains both Areas of Change and Areas of Consistency, as designated in the ABC Comp Plan. The site contains Main Street Corridor along 4th Street as well as an Activity Center.

The applicant has shown that the request generally agrees with the ABC Comp Plan, as amended, but a new CPO for this area would not further the goals of the Comprehensive Plan. Staff has proposed a recommendation of approval with an alternative to a new CPO, by adopting the proposed regulations as text amendments to the IDO.

There was a facilitated public meeting held by City Council Staff. There was 1 letter of support and 2 letters of public comment for this request.

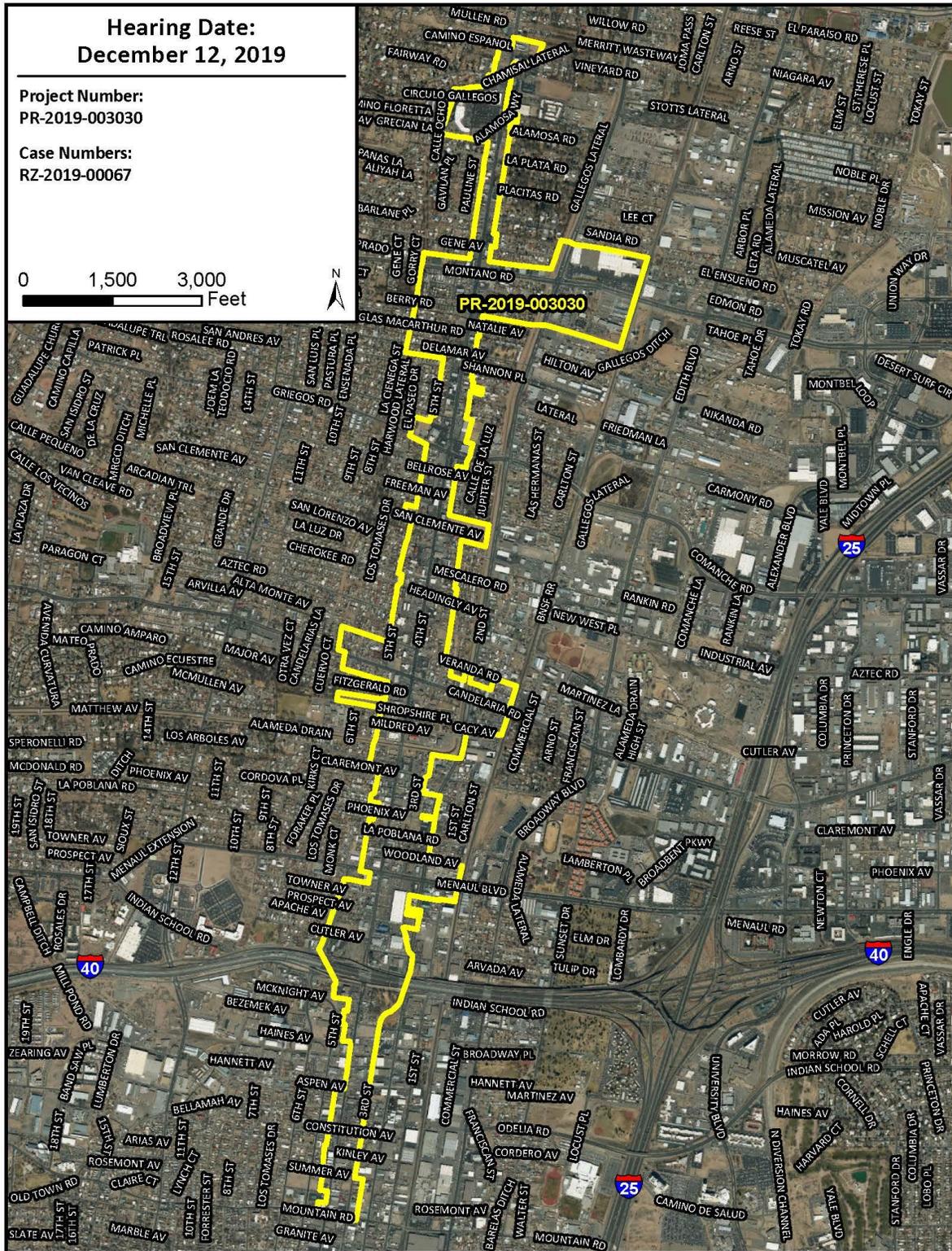


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I. Introduction

Request

The request is for a recommendation to City Council regarding a Zoning Map Amendment to establish a new CPO (Character Protection Overlay) Zone District to a determined area along North 4th St. The proposed Character Protection Overlay, North 4th Corridor CPO-9, would include regulations from City Council Resolution R-19-162 that were largely taken from the North 4th Corridor Plan.

The resolution also included required street cross-sections that new development would be required to comply with, however those regulations would need to be included into the Development Process Manual or DPM. Since the passage of R-19-162, the regulations in the proposed CPO-9, have been updated in response to public comment and to clarify the intent. Staff has performed a policy-based analysis of this request, but does not provide a recommendation to the Environmental Planning Commission.

EPC Role

The task of the Environmental Planning Commission (EPC) is to make a recommendation to the City Council regarding the proposed text amendments. The City Council is the City's Zoning Authority and will make the final decision. The EPC is a recommending body with review authority.

Context

North 4th Street is an area of mixed-use development that has built up over time. It is classified as a Main Street Corridor from Central Avenue to the south and north to the city limit with Los Ranchos with the exception of a three-quarter mile heavy commercial strip running from I-40 north to Claremont Avenue.

South of I-40, the corridor is largely residential to the west and light manufacturing to the east. North of I-40, while 4th Street is mixed use and largely commercial, the surrounding area east of 3rd St. and west of 5th St. is largely single family residential.

The North 4th Corridor is envisioned as a pedestrian corridor; however, historic development has resulted in an extended area of narrow, undersized sidewalks. Fourth Street is a four-lane corridor with a center turn lane. With the exception of the Griegos and Montano intersections, the traffic pedestrian interface is generally manageable. Several large expanses of car lots and building front parking detract from the pedestrian Main Street character desired for the area.

Existing building/street-front interface varies along the corridor.

History

In 2005, the City of Albuquerque began work on development of a Rank III Corridor Plan for Fourth Street in the area located between Mountain Road NW and Solar Road NW to provide a planning and regulatory framework to support revitalization. This

segment of the historic road extends 4 1/3 miles from the north edge of Downtown to Albuquerque's boundary with the Village of Los Ranchos at Solar Road and affects a wide area, including adjacent neighborhoods and portions of major streets such as Menaul Boulevard, Candelaria Road, Griegos Road, and Montano Road. This wider area is known by the community as the "North Fourth Street Corridor".

The North 4th St. Rank III Corridor Plan produced three regulatory mechanisms to guide future development:

- A form-based overlay zone to regulate new development
- A mechanism to give property owners options as to whether and when to adopt the Overlay Zone for their individual properties if they chose to opt in.
- Incentives for property owners to utilize the Overlay Zone including an expedited review process, the ability to mix uses and activities within buildings, and allowing higher intensity land development.

Enactment of the IDO in May 2018 removed sector plans from City ordinance and replaced some with CPOs. With the construction of a new mixed-use building along 4th St., the local community became concerned about the loss of guidelines and protections caused by the removal of the Rank III plan. As a result, on August 5, 2019, City Council adopted Resolution R-19-162, Interim Regulations for the North 4th Corridor.

The interim regulations for the North 4th Corridor address:

1. Sidewalk design to meet sidewalk and sidewalk buffer standards
2. Building Mass and Scale to
 - a. Limit building height to 55 ft.
 - b. Remove height bonuses
 - c. Require six ft. stepback for facades over 30 ft.
 - d. Minimum front setback of 10 ft., maximum 15 ft.
3. Building articulation to require the incorporation of at least three listed features over at least 30% of a façade length so that every 30 ft. shall have at least one.

These features include:

- a. Ground-floor clear, transparent display windows, with the lower edge of window sills no higher than 30 inches above the finished floor.
- b. Windows on upper floors.
- c. Primary pedestrian entrances.
- d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
- e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.

- f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.
- 4. Street facades over 50 linear feet should incorporate at least two of the following additional features:
 - a. Wall plane projections or recesses of at least 1 foot in depth occurring at least every 100 linear feet and extending at least 25 percent of the length of the façade.
 - b. A change in color, texture, or material occurring every 50 linear feet and extending at least 20 percent of the length of the façade.
 - c. An offset, reveal, pilaster, or projecting element, no less than 2 feet in width and projecting from the façade by at least 6 inches and repeating at minimum intervals of 30 feet.
 - d. Three-dimensional cornice or base treatments.
 - e. A projecting gable, hip feature, or change in parapet height for every 100 linear feet of the façade.
 - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.
- 5. Except in Urban Center areas, street-facing facades shall change a minimum of every 30 linear feet in height, setback, or material.

On October 2, 2019, a facilitated meeting (see attachment) was held with the affected neighbors, neighborhood associations and neighborhoods of the N. 4th St. Corridor and City Council representatives. The proposed Character Protection Overlay Zone is a direct outcome of this facilitated meeting and the concerns and desires of the affected community.

The following table shows the differences between standards in the current IDO MX-M, the previous Rank III NFTOD (Transit Oriented Dev.) & NFMXD (Mixed Use Dev.) zones, and the proposed CPO-9.

IDO Zoning Regulations vs. North 4th Street Corridor Plan

Standard	IDO MX-M (Mixed Use Medium)	NFTOD (Transit Oriented Dev.) & NFMXD (Mixed Use Dev.)	North 4th Corridor CPO-9
Uses	Uses are more restrictive, <i>except</i> outdoor storage is allowed with a conditional use permit approval. Liquor retail prohibited except with grocery store.	Only limited by a list of eight prohibited uses in 3.3.A of the Corridor Plan [1] Liquor retail prohibited except with grocery store.	No Change

Front Setback	0 ft. minimum 15 ft. maximum	0 ft. minimum 10 ft. maximum	10 ft. minimum 15 ft. maximum
Building Height	45 ft. or 65 ft. in UC-MS-PT areas (most of the corridor is MS/Main Street). No maximum > 100 ft. from lot lines. [2] Bonus for parking structure (12 additional feet of height). Bonus for workforce housing (12 additional feet of height).	66 ft. with 20 ft. setback; at the street edge maximum height is 52 ft. for <80% of the block face & 40 ft. for ≥20% of the block face.	55 ft. 1/3 of street frontage over 165 linear feet is limited to 45 ft. No height bonuses for Workforce Housing or Structured Parking. Building over 30 ft. must have 6 ft. stepback from front façade facing public street.
Neighborhood Edges	30 ft. within 100 ft. of R-A, R-1, R-MC, R-T.	26 ft. within 75 ft. of R-A or R-1.	No Change
Glazing	60% ground floor 30% second story and above	75% ground floor (NFTOD) 40-90% ground floor (NFMX)	Windows on upper floors shall have minimum 2" recess. 50% ground floor
Entryways	N/A	At least every 40 ft.	Part of building articulation
Articulation on streets	At least every 50 ft. change in height, setback, or material Shade elements for 50% of façade	At least every 40 ft. "façades of buildings...must be articulated"	At least every 50 ft. change in height, setback, cornice, or material
Building types and Frontages	N/A <i>[Apply only in the MX-FB zone]</i>	Yes	No Change
Parking prohibited in front of the building	Carried over from North 4 th SDP and applied citywide in UC-MS-PT	Yes	No Change
Shared parking and transit parking reduction factors	Carried over from North 4 th SDP and applied citywide	Yes	No Change
Parking lot trees	1 tree / 10 parking spaces No space > 100 ft. from tree	1 tree / 8 parking spaces No space > 50 ft. from tree	No Change
Landscape buffers, walls, and parking lot buffers	Carried over from North 4 th SDP and applied citywide	Yes	No Change
Accessory Buildings	N/A	N/A	If visible from the street, must be similar in color, material, rooflines, finishing details and accent features to the primary building.

Sign Regulations: Off-premises signs prohibited in the North 4 th Street Area.	Carried over from North 4 th SDP	Yes	No Change
Sign Regulations: Electronic wall signs prohibited in the North 4 th Street Area.	Carried over from North 4 th SDP	Yes	No Change

[1] Any use is allowed except liquor sales, adult amusement, toxic waste disposal, cement plant, truck terminal, outside storage as a primary use, auto dismantling, and rendering plant.

[2] Only 2 sites large enough to use this provision: the shopping center south of Menaul and the shopping center at Grecian Ave.

Sector Development Plan (SDP) Protections Made Citywide in the IDO

- **Landscaped Building Setback Areas** – setback area not used for pedestrian activity shall have a minimum landscape area of 50% applies in all DT-UC-MS-PT areas.
- **Front Edge Parking Lot Landscaping** – required landscape area and screen wall from North 4th Street SDP made generally applicable city-wide.
- **Side/Rear Edge Buffer Landscaping** – landscape buffering required between parking areas and residential lots made applicable citywide.
- **Sign Configurations** –standards from North 4th Street SDP made generally applicable city-wide. Note: Off-premise sign and Electronic Sign prohibitions in the North 4th Street Corridor were retained as a mapped area.

Transportation System

The Long-Range Roadway System (2040 LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), includes existing roadways and future recommended roadways.

The LRRS designates I-40 (cross street to the proposed zone) as an Interstate.

The LRRS designates Montano (cross street to the proposed zone) as a Regional Principal Arterial.

The LRRS designates Candelaria and Menaul (cross streets to the proposed zone) as Community Principal Arterials.

The LRRS designates 4th Street as a Minor Arterial.

The LRRS designates I-40 Frontage Road, and Griegos Rd, as Major Collector streets.

Comprehensive Plan Corridor Designation

N. 4th St. is designated as a **Main Street Corridor**.

Trails/Bikeways

The Long Range Bikeway System (LRBS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies existing and proposed trails.

The LRBS shows an Existing Multi-Use Trail, paved on Matthew Ave crossing 4th St.

The LRBS shows an Existing Bicycle Lane on Griegos Rd. and on Candelaria, east of 4th St.

The LRBS shows a Proposed Bicycle Lane on Candelaria west of 4th St and on Montano.

The LRBS shows a Proposed Route on Claremont Ave. crossing 4th St.

The LRBS shows a Pedestrian Longitudinal Project in 2040 MTP along 4th St.

Transit

Refer to Agency comments from the Transit Department.

Public Facilities/Community Services

Please refer to the Public Facilities Map (see attachment), which shows public facilities and community services located within one mile of the subject site.

Comprehensive Plan Corridor Designation

The proposed CPO-9 zone district includes Guadalupe Plaza (Activity Center) and the 4th St Main St Corridor.

Trails/Bikeways

The Long Range Bikeway System (LRBS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies existing and proposed trails.

Transit

Refer to Transit Agency comments

Public Facilities/Community Services

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

II. *Analysis of City Plans and Ordinances*

Charter of the City of Albuquerque

The Citizens of Albuquerque adopted the City Charter in 1972. Applicable articles include:

Article 1, Incorporation and Powers

“The municipal corporation now existing and known as the City of Albuquerque shall remain and continue to be a body corporate and may exercise all legislative powers and perform all functions not expressly denied by general law or charter. Unless otherwise provided in this Charter, the power of the city to legislate is permissive and not mandatory. If the city does not legislate, it may nevertheless act in the manner provided by law. *The purpose of this Charter is to provide for maximum local self-government. A liberal construction shall be given to the powers granted by this Charter.*” (emphasis added)

Article IX, Environmental Protection

“The Council (City Commission) in the interest of the public in general shall protect and preserve environmental features such as water, air and other natural endowments, ensure the proper use and development of land, and promote and maintain an aesthetic and humane urban environment. To affect these ends the Council shall take whatever action is necessary and shall enact ordinances and shall establish appropriate Commissions, Boards or Committees with jurisdiction, authority and staff sufficient to effectively administer city policy in this area.”

Integrated Development Ordinance (IDO)

Existing Post-IDO Zoning

Various

Proposed Zoning

CPO-9 Character Protection Overlay Zone District, North 4th Corridor.

Character Protection Overlay

This request would establish a new Character Protection Overlay zone.

IDO Subsection 14-16-3-4(A) Purpose

The purpose of the Character Protection Overlay (CPO) zone is to preserve areas with distinctive characteristics that are worthy of conservation but are not historical or may lack sufficient significance to qualify as Historic Protection Overlay (HPO) zones. These areas meet 1 or more of the following characteristics:

- 3-4(A)(1) Have recognized neighborhood identity and character.
- 3-4(A)(2) Have high architectural value.

- 3-4(A)(3) Have a relationship to HPO zones that make the area's conservation critical.
- 3-4(A)(4) Have a relationship with cultural landscapes identified in the Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended.

Definitions

Activity Center (AC): The area designated as an Activity Center in the ABC Comp Plan, as amended.

Development Process Manual (DPM): A compilation of City requirements related to design criteria, technical and engineering standards, and procedures for the processing of development proposals within the City's jurisdiction, particularly relating to public rights-of-way.

Main Street (MS): A Corridor designation from the Comprehensive Plan

Overlay Zone: Regulations that prevail over other IDO regulations to ensure protection for designated areas. Overlay zones include Airport Protection Overlay (APO), Character Protection Overlay (CPO), Historic Protection Overlay (HPO), and View Protection Overlay (VPO).

Albuquerque / Bernalillo County Comprehensive Plan (Rank 1)

Applicable goals and policies include:

Chapter 4: Community Identity

POLICY 4.1.2- Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Chapter 5: Land Use

GOAL 5.1- Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

POLICY 5.1.1- Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

- (a) Create walkable places that provide opportunities to live, work, learn, shop, and play.
- (c) Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

POLICY 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

POLICY 5.1.9- Main Streets: Promote Main Streets that are lively, highly walkable streets lined with neighborhood-oriented businesses.

- (a) Prioritize street and walkway improvements, such as street trees, landscaping, lighting, wayfinding, and wide sidewalks, to create safe and comfortable pedestrian environments.
- (b) Minimize negative impacts on nearby neighborhoods by providing transitions between Main Street development and abutting single-family residential areas.

GOAL 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

POLICY 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

- (a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents
- (d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.
- (e) Encourage higher density housing as an appropriate use in the following situations:
 - i. Within designated Centers and Corridors;
 - ii. In areas with good street connectivity and convenient access to transit;
 - iii. In areas where a mixed density pattern is already established by zoning or use, where it is compatible with existing area land uses, and where adequate infrastructure is or will be available.

GOAL 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

POLICY 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

GOAL 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

POLICY 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

POLICY 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas, outside of Centers and Corridors, parks, and Major Public Open Space.

- (b) Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

POLICY 5.6.4- Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

GOAL 5.7- Implementation Processes: Employ procedures and processes to effectively and equitably implement the Comp Plan.

POLICY 5.7.2- Regulatory Alignment: Update regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

- (a) Create pathways for economic growth and support the business ecosystem by providing clear development codes and processes.

POLICY 5.7.4- Streamlined Development: Encourage efficiencies in the development review process.

Chapter 7-Urban Design

POLICY 7.2.2- Walkable Places: Promote high-quality pedestrian-oriented neighborhoods and districts as the essential building blocks of a sustainable region.

POLICY 7.3.2 -Community Character: Encourage design strategies that recognize and embrace character differences that give communities their distinct identities and make them safe and attractive places.

Chapter 8- Economic Development

GOAL 8.1- Placemaking: Create places where businesses and talent will stay and thrive.

POLICY 8.1.1- Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

III. Zoning Map Amendment (Zone Change)

Pursuant to section 14-16-6-7(F)(3) of the Integrated Development Ordinance, Review and Decision Criteria, "An application for a Zoning Map Amendment shall be approved if it meets all of the following criteria".

The applicant must demonstrate that the existing zoning is inappropriate because of one of three findings: 1) there was an error when the existing zone district was applied to the property; or 2) there has been a significant change in neighborhood or community conditions affecting the site; or 3) a different zone district is more advantageous to the community as articulated by the Comprehensive Plan or other, applicable City plans.

Justification & Analysis

The applicant states that the proposed zoning map amendment (zone change) meets the IDO's zone change decision criteria [14-16-6-7(F)(3)] as elaborated in the justification letter. Citations are from the IDO.

Note: Applicant's Justification is in indented *italics*, Staff's Analysis indented regular text.

- A) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

ABC Comp Plan policies support this criterion for a new Character Protection Overlay Zone and furthers the following applicable Goals and Policies in the ABC Comprehensive Plan.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Spaces.

- b. Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.*

Policy 5.7.2 Regulatory Alignment: Update regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

Action 5.7.2.16 Work with property owners to identify mismatches between existing land uses, zoning, and the Comp Plan vision and recommend City-sponsored zone changes for the future.

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

- a. Design development to reflect the character of the surrounding area and protect and enhance views.*

Staff: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan Goals and policies (and other plans if applicable) and does not significantly conflict with them. The Goals and policies listed here as applicable are relevant to the request; note that relevancy does not automatically mean that the Goal or policy is furthered.

The required policy-based response demonstrates that the request would generally be consistent with a preponderance of applicable Goals and policies and not be in significant conflict with them.

The subject site is located within both Areas of Change and Areas of Consistency and contains a Main Street Corridor, North 4th, and an Activity Center. Portions of the site also contain Premium Transit corridors. Main Street corridors, as designated by the ABC Comp Plan are intended to be lively, highly walkable streets lined with local-serving business. Main Streets are intended to have 1 – 4 story buildings, usually placed

right up to the sidewalk. Fourth street historically has inadequate sidewalk widths, the current allowance for zero foot minimum setbacks in the MX-M zone allows for some development that imposes on the pedestrian environment. Although 4th Street is designated as a corridor, the intent of the Comprehensive Plan is to treat it as a linear center. The proposed zone change is generally consistent with applicable Goals and policies cited above. However, the applicant's justification does not expound on how applicable Comp Plan policies are furthered by this request.

- B) If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.
 2. There has been a significant change in neighborhood or community conditions affecting the site.
 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The CPO is primarily designated as an Area of Change, however, there are portions of the CPO that are designated as an Area of Consistency. This request would clearly reinforce the established character of the surrounding area and would result in development that is consistent with the character based on the ABC Comp Plan Goals and Policies cited above.

Staff: The applicant's response is sufficient. The changes in zoning regulations for the proposed CPO-9 boundary would add protections to serve appropriate transitions between the pedestrian environment and low-density residential zones to the more intense uses and zones along 4th St. The implementation of new development standards would be more advantageous to the community by moving closer to the policy intentions for Main Street Corridor areas as articulated in the ABC Comp Plan.

- C) If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria:
1. There was typographical or clerical error when the existing zone district was applied to the property.

2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request.
3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

The Goals and Policies cited above demonstrate that a different set of regulatory standards (i.e. the CPO) for the existing zone district is more advantageous to the Community as articulated by the ABC Comp Plan by implementing development patterns and densities desired by area residents and that better support could enhance the desired character for the area. Note that this CPO does not change any uses or zone districts within the boundary. Accordingly, subsections 1 and 2 above do not apply to the request.

Staff: The applicant's response is sufficient.

- D) The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

This CPO does not propose to change any allowable uses. This CPO relates to building massing and design standards, rather than changes to allowable uses.

Staff: The applicant's response is sufficient.

- E) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 of the following requirements:
 1. Have adequate capacity to serve the development made possible by the change of zone.
 2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year.
 3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement.
 4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City- approved Development Agreement between the City and the applicant.

The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems have adequate capacity to serve the development made possible by the change of zone. This Zone Map Amendment does not change any allowable uses or cause new development to happen, rather it changes design standards for any new development within the Overlay zone boundary. If approved, the requirements of this CPO will reference back to the

Development Process Manual where there will be roadway cross-sections incorporated to increase the quality of the public realm, including widened sidewalks.

Staff: The applicant's response is sufficient and shows that the City's existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the change of zone (Criterion 1) because the subject site is already currently a developed area of the City. The updates to sidewalk infrastructure would also add infrastructure to the area that helps to fulfill ABC Comp Plan intentions for Main Street corridors.

- F) The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

This criterion relates to purported justifications for increases in zoning intensities based on access to/location along a major public street. Although this CPO would primarily to the 4th Street corridor, this section is not applicable because the CPO relates to all properties within the corridor and only modifies building massing and design standards, rather than to change allowable uses.

Staff: The applicant's response is sufficient. This request is to change or modify regulations for building massing, design standards, and right-of-way requirements and would apply to all properties in the CPO.

- G) The applicant's justification is not based completely or predominantly on the cost of land or economic considerations.

Staff: The request is not based primarily on economic considerations, it is based on fulfilling the policy intentions for designated Centers and Corridors in the ABC Comp Plan, as amended.

- H) The zone change does not apply a zone district different from surrounding zone districts to one small area or one premises (i.e. create a "spot zone") or to a strip of land along a street (i.e. create a "strip zone") unless the change will clearly facilitate implementation of the ABC Comp Plan, as amended, and at least one of the following applies:

1. The area of the zone change is different from surrounding land because it can function as a transition between adjacent zone districts.
2. The site is not suitable for the uses allowed in any adjacent zone district due to topography, traffic, or special adverse land uses nearby.
3. The nature of structures already on the premises makes it unsuitable for the uses allowed in any adjacent zone district.

Staff: Establishing a new CPO would establish a "strip zone" that cannot be evaluated per the above criteria that address land use because the proposed CPO is design-oriented.

IV. Supplemental Analysis

The request is for a zoning map amendment (zone change) for the establishment of a new CPO (Character Protection Overlay Zone District) to be called CPO-9 North 4th St Corridor along portions of 2nd, 3rd, and 4th St between Mountain Rd NW and the Albuquerque city limits. The proposed CPO would add new zoning regulations to all new development along the 4th St corridor in regards to building massing, heights, and setbacks.

The Integrated Development Ordinance (IDO) implements Goals and Policies of the ABC Comprehensive Plan in regards to Centers and Corridors. The IDO specifically gives Main Street corridors taller buildings by right, opportunities for height bonuses in exchange for development that provides a public benefit, i.e. parking structures and workforce housing. The IDO also allows zero foot minimum front yard setbacks and has separate building façade requirements. The proposed CPO-9 contains areas designated in the Comprehensive plan as Main Street, an Activity Center and the majority of the subject site is designated as Area of Change. The proposed CPO would alter the applicability of citywide standards for building mass and scale, setbacks and building design on 4th Street.

When creating a new CPO, an analysis is needed of whether the new standards are addressing a unique character that warrants an individual overlay zone or whether the same conditions exist in other parts of the city that would warrant a citywide change. Other designated Main Street corridors include Bridge Blvd, Broadway Blvd, San Pedro, and Central Ave. The regulations proposed in CPO-9 could be applied to and benefit all areas designated as Main Street and implement the Comprehensive Plan's intent for Main Streets to scale development at 1 – 4 stories in height, eliminate density bonuses and preserve wide sidewalks by increasing the minimum front yard setback to 10 feet instead of zero where sidewalks are narrower than 10 feet.

Efficient Development Process

CPOs and other small area regulations add complexity to the administration of the plan review process. They modify the citywide rules in a one-off area-specific way that is sometimes confusing to determine how those rules supplement or replace other citywide rules. Regulations that are good for the entire City should be included in the IDO as citywide rules, and the use of Overlay Zone Districts and small area regulations should be limited unless they are specifically preserving or enhancing a distinct community character.

Citywide regulations, even ones that would apply only to Main Streets, are easier to enforce administratively than Overlay zones or small area regulations. If these changes would benefit all Main Street designated corridors, then the rules could be adopted to apply to and benefit all Main Streets citywide. Staff Analysis generally considers

Comprehensive Plan Intent, Goals and Policies surrounding efficient development process and streamlined development to ensure the City's ability to properly enforce regulations during the development process.

One of the challenges identified in this area is that when a property is not required to subdivide or go to the DRB, for example, approval of a building permit or Site Plan – Admin, there is no opportunity to require dedication of right-of-way to achieve the desired street section from the North 4th Street Corridor Plan in the updated DPM. There are several Technical Edits proposed in the IDO 2019 annual update to address this concern.

The 2019 IDO annual update proposes a recommended condition of approval to require a minimum setback of 10 feet if the sidewalk is less than 10 feet wide in UC-MS-PT areas that would otherwise allow a 0-foot setback in Table 5-1-2.

The 2019 IDO annual update proposes a recommended condition of approval that would require DRB review/decision for projects that would otherwise be eligible to be decided by staff as a Site Plan – Administrative if an Infrastructure Improvement Agreement is needed to comply with IDO or DPM standards. This change is intended to close a procedural gap in the process that would review and require sidewalks where they are needed in projects that would otherwise be reviewed/decided administratively.

Potential Unintended Consequences

If the building height bonuses were removed along Main Streets, then additional growth that may have been captured along Main Street corridors may be pushed into adjacent residential areas, thereby increasing overall density in the area, rather than in Centers and Corridors, as the Comp Plan intends. Major Transit Corridors, Urban Centers, and Premium Transit areas are the most appropriate locations to increase density to protect the lower-density of nearby neighborhoods.

The Comprehensive Plan sets up and the IDO requires a process for Community Planning Area Assessments, which are intended to be the vehicle to define unique character in more localized areas such as North 4th Street. The North 4th Street Corridor Plan was adopted after years of public engagement and negotiation around the appropriate character of 4th Street. With the adoption of the IDO, the development standards from the North 4th Street Corridor Plan were integrated into the citywide MX-M standards, which is the zone the majority of the North 4th Street was converted to under the IDO.

Area residents have indicated that these development forms that were approved according to the North 4th Street Corridor regulations are not consistent with their vision for the area and therefore neither are the regulations in the MX-M zone. This proposed CPO aims to establish regulations for a new desired character, but it does not include design elements that are specific to the North 4th Street Corridor or the desired future character of the area.

A proposal for a new CPO or adoption of small area regulations would benefit from a community discussion through a planning process. Adopting them may undercut the intent of the CPA process, which is slated to begin in June 2020. Staff believes that the CPA process would be the appropriate time to do more extensive public outreach to develop unique character and design standards for this area, if needed.

Recommended Approach

In general, the proposed regulations in CPO-9 could potentially further implement the intent of the Comprehensive Plan; however, staff recommends a different approach to implementing them that focuses on a citywide approach for Main Streets instead of creating a new CPO at this time. Staff is recommending that the proposed regulations for setbacks and removing building height bonuses be adopted in the IDO annual update for all Main Streets.

If the City wants to adopt massing requirements proposed in this CPO for 4th Street, those regulations could be adopted as a small area rule in IDO Section 5-11 Building Design. These small area rules would need to be adopted as a Zone Map Amendment through this same case.

V. Agency & Neighborhood Concerns

Reviewing Agencies

DMD-Engineering Division – No Comment

CABQ Code Enforcement – No Comment

Long Range Planning - recommends that the proposed regulations be adopted citywide for Main Street areas except for the proposed massing regulations, which could be adopted as small area regulations in Section 5-11 Building Design. These proposed CPO regulations may hinder the ability of development to fulfill the policies related to desired growth and development areas.

ABQ RIDE - ABQ RIDE has no objection to the basis of the North Fourth Street Character Preservation Overlay. However, we are concerned that the changes, if applied broadly as proposed in Condition of Approval #26, might chip away at the narrow edge of viability and affordability of mixed-use transit-oriented developments that we believe will help to revitalize or enhance the City's transit corridors and centers.

Mid-Region Metropolitan Planning Organization (MRMPO) - No adverse comments

Neighborhood/Public

The applicant conducted a facilitated meeting on October 2, 2019. The notes from this are included. This was attended by 51 people including representatives of the North Valley Coalition of Neighborhood Associations. Near North Valley NA and the Greater Albuquerque Housing Partnership.

Mailed notice was sent to all property owners with 100 feet of the proposed CPO boundary and email notice was sent to the required Neighborhood Association Representatives.

As of this writing, staff has received one letter of support and two letters with public comment. (see attached)

VI. Conclusion

The request is for a recommendation to City Council regarding a Zoning Map Amendment to establish a new CPO (Character Protection Overlay) Zone District to a determined area along North 4th St. The proposed Character Protection Overlay, North 4th Corridor CPO-9, would include regulations from City Council Resolution R-19-162 that were largely taken from the North 4th Corridor Plan.

The applicant conducted a facilitated meeting on October 2, 2019. The notes from this are included. This was attended by 51 people including representatives of the North Valley Coalition of Neighborhood Associations. Near North Valley NA and the Greater Albuquerque Housing Partnership.

Mailed notice was sent to all property owners with 100 feet of the proposed CPO boundary and email notice was sent to the required Neighborhood Association Representatives.

The resolution also included required street cross-sections that new development would be required to comply with, however those regulations would need to be included into the Development Process Manual or DPM. Since the passage of R-19-162, the regulations in the proposed CPO-9, have been updated in response to public comment and to clarify the intent.

Staff has performed a policy-based analysis of this request and has provided a recommendation the Environmental Planning Commission to recommend approval of an alternative to creating a new CPO in the form of text amendments to the IDO as detailed in the Findings.

Findings, Zoning Map Amendment (Zone Change)

Project #: 2019-003030, RZ: 2019-00067

1. This is a request for a Zoning Map Amendment- Council to establish a new Character Protection Overlay Zone District, CPO-9, North 4th Street Corridor. The site contains properties on 2nd, 3rd, and 4th Streets north of Mountain Rd. NW and the Albuquerque City Limits.
2. The proposal is based on legislation authored by Council Services Staff and is known as City Council Resolution R-19-162 and was largely taken from the North 4th Corridor Plan. The EPC's task is to make a recommendation to the City Council regarding the proposed Character Protection Overlay. The City Council is the City's Zoning Authority and will make the final decision.
3. The Environmental Planning Commission (EPC) is hearing this case as a recommending body to the City Council. Pursuant to Subsection 14-16-6-7(D)(1)(a) of the Integrated Development because the request is to create or amend the text of a Character Protection Overlay zone, which are processed as part of a Zoning Map Amendment- Council pursuant to Subsection 14-16-6-7(G).
4. The proposed CPO-9 zone district includes Guadalupe Plaza (Activity Center) and the 4th St Main St Corridor as designated by the ABC Comp Plan, as amended.
5. The Albuquerque City Charter, the Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers the following, applicable Comprehensive Plan Goals and policies in regards to Community Identity:

POLICY 4.1.2- Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

GOAL 5.1- Centers & Corridors: Grow as a community of strong Centers connected by a multi-modal network of Corridors.

POLICY 5.1.1- Desired Growth: Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

POLICY 5.1.6- Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

POLICY 5.1.9- Main Streets: Promote Main Streets that are lively, highly walkable streets lined with neighborhood-oriented businesses.

GOAL 5.2- Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

POLICY 5.2.1- Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

GOAL 5.3- Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

POLICY 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

GOAL 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

POLICY 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

POLICY 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas, outside of Centers and Corridors, parks, and Major Public Open Space.

POLICY 5.6.4- Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

GOAL 5.7- Implementation Processes: Employ procedures and processes to effectively and equitably implement the Comp Plan.

POLICY 5.7.2- Regulatory Alignment: Update regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

POLICY 5.7.4- Streamlined Development: Encourage efficiencies in the development review process.

POLICY 7.2.2- Walkable Places: Promote high-quality pedestrian-oriented neighborhoods and districts as the essential building blocks of a sustainable region.

POLICY 7.3.2 -Community Character: Encourage design strategies that recognize and embrace character differences that give communities their distinct identities and make them safe and attractive places.

GOAL 8.1- Placemaking: Create places where businesses and talent will stay and thrive.

POLICY 8.1.1- Diverse Places: Foster a range of interesting places and contexts with different development intensities, densities, uses, and building scale to encourage economic development opportunities.

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7. The applicant has adequately responded pursuant to the Integrated Development Ordinance (IDO) Section 6-7(F)(3)-Review and Decision Criteria for Zoning Map Amendments, as follows:
- A. Criterion A: Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan Goals and policies (and other plans if applicable) and does not significantly conflict with them. The required policy-based response demonstrates that the request would generally be consistent with a preponderance of applicable Goals and policies and not be in significant conflict with them. The subject site is located within both Areas of Change and Areas of Consistency and contains a Main Street Corridor, North 4th, and an Activity Center. Portions of the site also contain Premium Transit corridors. Main Street corridors, as designated by the ABC Comp Plan are intended to be lively, highly walkable streets lined with local-serving business. Main Streets are intended to have 1 – 4 story buildings, usually placed right up to the sidewalk. Fourth street historically has inadequate sidewalk widths, the current allowance for zero foot minimum setbacks in the MX-M zone allows for some development that imposes on the pedestrian environment. Although 4th Street is designated as a corridor, the intent of the Comprehensive Plan is to treat it as a linear center. The proposed zone change is generally consistent with applicable Goals and policies cited above. However, the applicant's justification does not expound on how applicable Comp Plan policies are furthered by this request.
 - B. Criterion B: The subject site is located wholly in an Area of Consistency. The changes in zoning regulations for the proposed CPO-9 boundary would add protections to serve appropriate transitions between the pedestrian environment and low-density residential zones to the more intense uses and zones along 4th St. The implementation of new development standards would be more advantageous to the community by moving closer to the policy intentions for Main Street Corridor areas as articulated in the ABC Comp Plan.
 - C. Criterion C: A different set of regulatory standards for the Main Street Corridor is more advantageous to the Community as articulated by the ABC Comp Plan by updating regulations could better implement the intention of the Comprehensive Plan.
 - D. Criterion D: The request does not propose regulation changes to any allowable uses and therefore would not create any additional harm to the community.
 - E. Criterion E: The City's existing infrastructure and public improvements will have adequate capacity to serve the development made possible by the change of zone (Criterion 1) because the subject site is already currently a developed area of the City. The updates to sidewalk infrastructure would also add infrastructure to the area that helps to fulfill ABC Comp Plan intentions for Main Street corridors.

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- F. Criterion F: This request is to change or modify regulations for building massing, design standards, and right-of-way requirements and would apply to all properties in the CPO.
- G. Criterion G: The request is not based primarily on economic considerations, it is based on fulfilling the policy intentions for designated Centers and Corridors in the ABC Comp Plan, as amended.
- H. Criterion H: Establishing a new CPO would establish a “strip zone” that cannot be evaluated per the above criteria that address land use because the proposed CPO is design-oriented.
8. The proposed CPO is inconsistent with the implementation of several Comp Plan policies. The IDO could be made more consistent with adopted policies and vision by adopting the following proposed regulations amending the IDO text through conditions of approval in the 2019 annual update.
- a. Revise Table 5-1-2 and 5-1-3 for building heights and height bonuses from “UC-MS-PT” to apply to “UC-PT and MT in Areas of Change.” [This would implement the regulations proposed as Subsection 3-9(E)(3)(a) & (c).]
 - b. Revise Table 5-1-2 and 5-1-3 for setbacks from “UC-MS-PT” to apply to “UC-PT-MS and MT in Areas of Change” and add a new note that says, “If the sidewalk abutting the front lot line is less than 10 feet wide, the minimum front setback in UC-MS-PT-MT areas is 10 ft.” [This would implement the regulations proposed as Subsection 3-9(E)(4).]
 - c. Revise Subsection 5-11(E)(2) for building design regulations proposed in this CPO so that they apply citywide to designated Main Street corridors. [This would implement the regulations proposed as Subsection 3-9(E)(5).]
9. The regulations proposed for massing along 4th Street seems related to desired character in this area. Those regulations could be adopted into the IDO as a zone map amendment for a small area without creating a CPO.
- a. Revise Subsection 5-11(E)(2)(b) for building massing regulations proposed in this CPO as a new small area regulation that applies within the North 4th Street area. Provide graphic illustrations of example façades and massing to communicate the regulations. [This would implement the regulations proposed as Subsection 3-9(E)(3)(b) & (d).]
10. The 2019 IDO annual update proposes recommended conditions of approval to amend building design regulations in Subsection 5-11(E)(2) to achieve the intent of the proposed CPO articulation standards proposed as Subsection 3-9(E)(5).

11. The 2019 IDO annual update proposes a recommended condition of approval to require a minimum setback of 10 feet in UC-MS-PT areas that would otherwise allow a 0-foot setback in Table 5-1-2 if the sidewalk is less than 10 feet wide.
12. The 2019 IDO annual update proposes a recommended condition of approval that would require DRB review/decision for projects that would otherwise be eligible to be decided by staff as a Site Plan – Administrative if an Infrastructure Improvement Agreement is needed to comply with IDO or DPM standards. This change is intended to close a procedural gap in the process that would review and require sidewalks where they are needed in projects that would otherwise be reviewed/decided administratively.
13. The Development Process Manual Executive Committee revised the 2019 Draft Development Process Manual to incorporate recommended street cross-sections and designs from adopted Sector Development Plans that were rescinded by the IDO as the basis for future design for any street enhancement. The EPC recommends that the administration adopt the revised Development Process Manual so that these street cross-sections and designs would guide future City projects. [This would implement the regulations proposed as Subsection 3-9(E)(2).]
14. City Council staff held a facilitated public meeting in regards to this request. As of Staff writing, there were 3 letters from the public. One in support, and two public comments. (See attached).

Recommendation – RZ-2019-00067, December 12, 2019

RECOMMEND APPROVAL of Project #: 2019-003030, RZ-2019-00067, a request for Zoning Map Amendment- Council for an alternative to creating a new CPO in the form of text amendments to the IDO detailed in the preceding Findings.

A handwritten signature in black ink that reads "Whitney Phelan". The signature is written in a cursive, flowing style.

**Whitney Phelan
Staff Planner**

Notice of Decision cc list:

(List to be compiled after final decision)

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Long Range Planning

The Comprehensive Plan establishes and designates Main Street corridors that are more urban and walkable than other areas of Albuquerque. The Integrated Development Ordinance (IDO) implements this policy by allowing taller buildings by right, providing opportunities for building height bonuses in exchange for development that provides a public benefit, allowing zero-foot setbacks at the front property line, and requiring different building design standards for façades in these areas.

The proposed Character Protection Overlay (CPO) zone would modify citywide standards for building mass & scale, setbacks, and building design on 4th Street. Given that this area includes a Main Street, an Activity Center (Guadalupe Plaza), and Major Transit corridors, and that a majority of this area is an Area of Change, the proposed CPO seems to be out of alignment with the applicable goals and policies of the Comp Plan.

One of the considerations in creating a new CPO is whether the standards are addressing a unique character that warrants an individual overlay zone or whether the same conditions might exist elsewhere in the City and need the same regulatory intervention and benefit from the same regulatory approach to improve or protect the existing or desired condition. The other designated Main Street corridors include Broadway, San Pedro, Bridge, and Central. Citywide regulations, even those that apply only in certain areas such as Main Streets, are implemented and enforced more easily and consistently than overlay zones or regulations for small areas. In adopting new regulations, not only must the vision of the Comp Plan be furthered, the City's ability to enforce them should be a primary consideration. If the regulations proposed for 4th Street would actually benefit other Main Street areas, City Council should first consider whether to adopt these rules to apply in all Main Street areas.

The IDO sets out criteria for the creation of new CPOs in Section 3-4(A); the most applicable is the first criteria "Have recognized neighborhood identity and character." The proposed regulations are intended to create a different character than what currently exists and different from what was envisioned and allowed by the prior Corridor Plan. In light of this, Long Range recommends that the proposed regulations be adopted citywide for Main Street areas except for the proposed massing regulations, which could be adopted as small area regulations in Section 5-11 Building Design.

The proposed CPO reduces building heights and increases setbacks along the Corridor. The proposed changes are intended to provide a less jarring transition between the existing low-slung buildings on the corridor and the taller buildings that were first intended and allowed through the North 4th Street Corridor Plan. These proposed CPO regulations may hinder the ability of development to fulfill the policies related to desired growth and development areas. By imposing limitations on building height and removing any height bonuses, the Comp Plan's strategy of directing growth where it is most appropriate would be undermined, but perhaps in service of a different conception of what a Main Street area should be. One consequence of this change in strategy may be to increase development pressures on nearby existing residential neighborhoods by limiting the amount of growth that can be accommodated in the designated Corridor area.

If the City wants Main Street areas to have lower building heights than allowed by the IDO, it might make more sense to replace Main Street corridors with Major Transit corridors as the appropriate areas for receiving taller building heights and optional height bonuses for workforce housing and structured parking. Major Transit corridors are aligned with locations that the City plans to improve transit service, and as such, may have an even stronger connection to allowing taller buildings and workforce housing incentives. Long Range recommends considering whether the reduced building heights in this Main Street area should be applied to all Main Street areas as a citywide approach.

The increased setbacks recognize that the existing sidewalks on 4th Street and the constrained right-of-way pose challenges to the intended pedestrian-oriented regulations associated with Main Streets in the IDO. The proposed 10-foot setback would allow for additional pedestrian amenities and the required street trees to be provided in front of the building. However, new development is typically required to dedicate any additional right-of-way needed for the future road cross sections, so these elements could and should be accommodated in the public right-of-way, making this proposed change unnecessary if it is only meant to rectify existing conditions. If the same conditions exist in other Main Street areas, and the City wants to address those conditions with a consistent approach, then the proposed regulations should be added to Section 5-1 to apply to all mixed-use zones in Center and Corridor areas that allow a zero-foot setback where the sidewalk is less than 10 feet wide.

Related to this proposal is the updated Development Process Manual (DPM) that incorporates recommended street cross-sections and designs from adopted Sector Development Plans that were rescinded by the IDO as the basis for future design for any street enhancements in those areas.

In the IDO Annual Update Staff Report dated October 10, 2019, the Planning Department suggested applying the building design elements proposed for 4th Street citywide in appropriate Center and Corridor areas, thereby making some of the proposed standards unique to a new North 4th Street CPO unnecessary.

Similarly, Long Range recommends considering whether the proposed setbacks, limits on building height bonuses, or massing regulations should be applied all Main Street areas as a citywide approach.

If any of the proposed regulations only apply to 4th Street, and Council agrees that they are appropriate to enhance and protect 4th Street corridor, then it makes sense to adopt them either as small area regulations in the relevant IDO section or, if most or all of the proposed regulations are to be adopted, as a CPO zone.

Recommended Findings

1. The proposed CPO is inconsistent with the implementation of several Comp Plan policies. The IDO could be made more consistent with adopted policies and vision by adopting the following proposed regulations amending the IDO text through conditions of approval in the 2019 IDO annual update.
 - a. Revise Table 5-1-2 and 5-1-3 for building heights and height bonuses from “UC-MS-PT” to apply to “UC-PT and MT in Areas of Change.” [This would implement the regulations proposed as Subsection 3-9(E)(3)(a) & (c).]
 - b. Revise Table 5-1-2 and 5-1-3 for setbacks from “UC-MS-PT” to apply to “UC-PT-MS and MT in Areas of Change” and add a new note that says, “If the sidewalk abutting the front lot line is less than 10 feet wide, the minimum front setback in UC-MS-PT-MT areas is 10 ft.” [This would implement the regulations proposed as Subsection 3-9(E)(4).]
 - c. Revise Subsection 5-11(E)(2) for building design regulations proposed in this CPO so that they apply citywide to designated Main Street corridors. [This would implement the regulations proposed as Subsection 3-9(E)(5).]
2. The regulations proposed for massing along 4th Street seems related to desired character in this area. Those regulations could be adopted into the IDO as a zone map amendment for a small area without creating a CPO.
 - a. Revise Subsection 5-11(E)(2)(b) for building massing regulations proposed in this CPO as a new small area regulation that applies within the North 4th Street area. Provide graphic illustrations of example façades and massing to communicate the regulations. [This would implement the regulations proposed as Subsection 3-9(E)(3)(b) & (d).]
3. The 2019 IDO annual update proposes recommended conditions of approval to amend building design regulations in Subsection 5-11(E)(2) to achieve the intent of the proposed CPO articulation standards proposed as Subsection 3-9(E)(5).
4. The 2019 IDO annual update proposes a recommended condition of approval to require a minimum setback of 10 feet in UC-MS-PT areas that would otherwise allow a 0-foot setback in Table 5-1-2 if the sidewalk is less than 10 feet wide.

5. The 2019 IDO annual update proposes a recommended condition of approval that would require DRB review/decision for projects that would otherwise be eligible to be decided by staff as a Site Plan – Administrative if an Infrastructure Improvement Agreement is needed to comply with IDO or DPM standards. This change is intended to close a procedural gap in the process that would review and require sidewalks where they are needed in projects that would otherwise be reviewed/decided administratively.

6. The Development Process Manual Executive Committee revised the 2019 Draft Development Process Manual to incorporate recommended street cross-sections and designs from adopted Sector Development Plans that were rescinded by the IDO as the basis for future design for any street enhancement. The EPC recommends that the administration adopt the revised Development Process Manual so that these street cross-sections and designs would guide future City projects. [This would implement the regulations proposed as Subsection 3-9(E)(2).]

Zoning/Code Enforcement

Metropolitan Redevelopment

CITY ENGINEER

Transportation Development

Hydrology

New Mexico Department of Transportation (NMDOT)

DEPARTMENT OF MUNICIPAL DEVELOPMENT (DMD)

Transportation Planning

Traffic Engineering Operations

Street Maintenance

WATER UTILITY AUTHORITY

ENVIRONMENTAL HEALTH DEPARTMENT

PARKS AND RECREATION

Planning and Design

Open Space Division

City Forester

POLICE DEPARTMENT/PLANNING

SOLID WASTE MANAGEMENT DEPARTMENT

TRANSIT DEPARTMENT

ABQ Ride has the following comment on the North Fourth Character Protection Overlay (Project # 2019-003030): “ABQ RIDE has no objection to the basis of the North Fourth Street Character Preservation Overlay. However, we are concerned that the changes, if applied broadly as proposed in Condition of Approval #26, might chip away at the narrow edge of viability and affordability of mixed-use transit-oriented developments that we believe will help to revitalize or enhance the City’s transit corridors and centers.”

FIRE DEPARTMENT

COMMENTS FROM OTHER AGENCIES

ALBUQUERQUE PUBLIC SCHOOLS

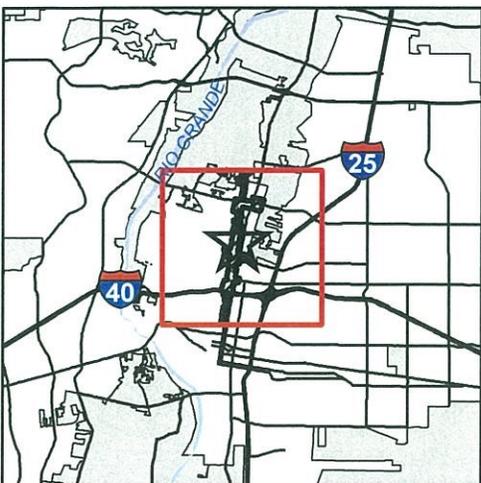
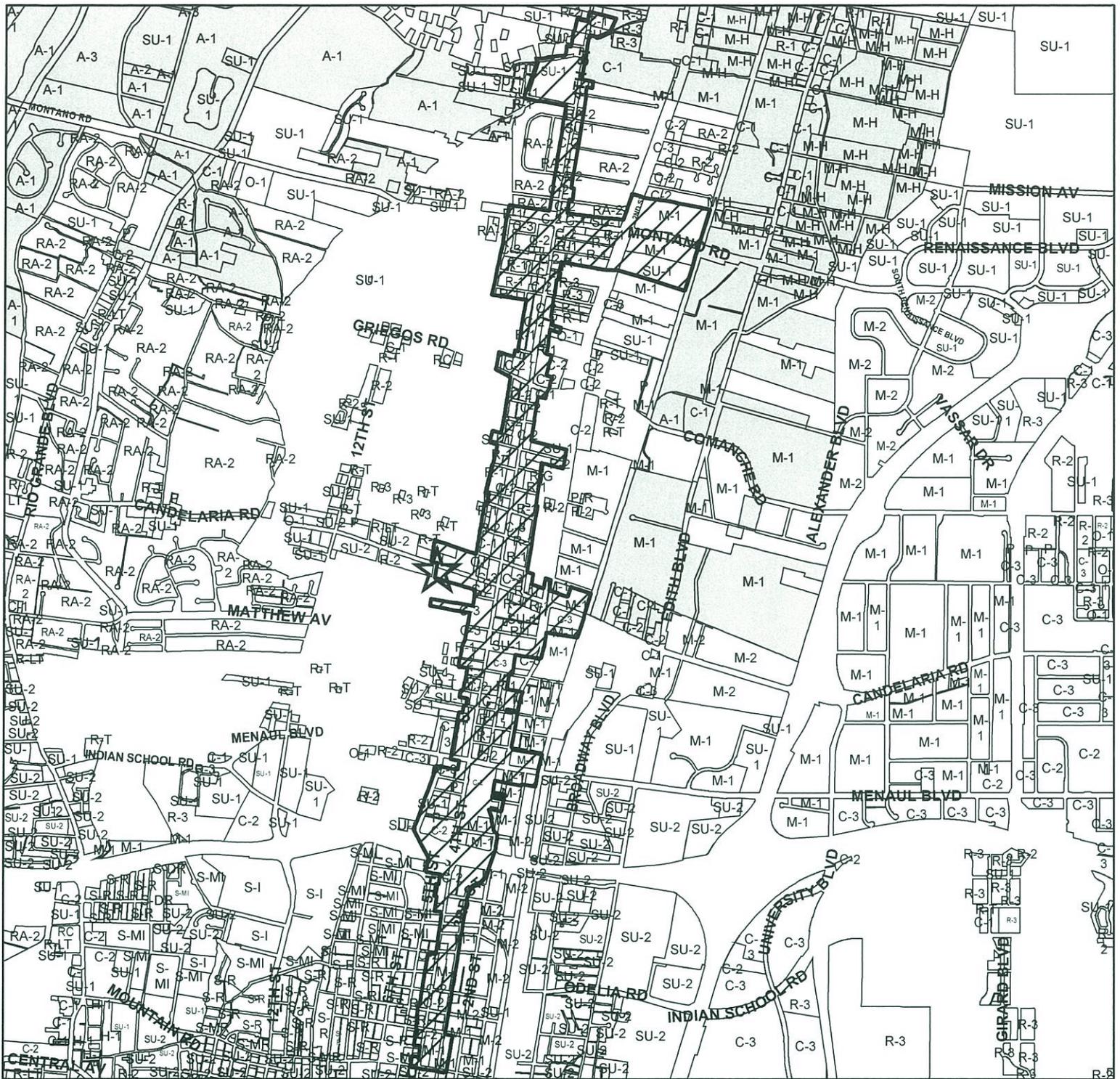
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL (AMAFCA)

MID-REGION METROPOLITAN PLANNING ORGANIZATION (MRMPO)

MRMPO has no adverse comments.

MID-REGION COUNCIL OF GOVERNMENTS (MRCOG)

MIDDLE RIO GRANDE CONSERVANCY DISTRICT



OLD ZONING MAP

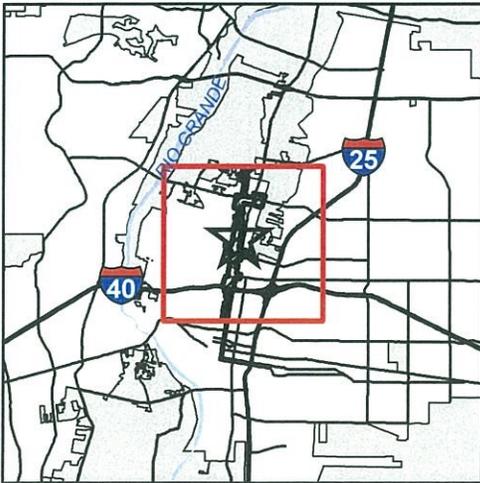
Note: Gray shading indicates County.



1 inch = 2,600 feet

Hearing Date:
12/12/2019
Project Number:
PR-2019-003030
Case Numbers:
RZ-2019-00067

Zone Map Page:
E14,15,F14,15,G14,H14,J14



LAND USE MAP

Note: Gray shading indicates County.

- | | |
|--------------------------------------|--------------------------------|
| Key to Land Use Abbreviations | APRT Airport |
| LDRES Low-density Residential | TRANS Transportation |
| MULT Multi-family | AGRI Agriculture |
| COMM Commercial Retail | PARK Parks and Open Space |
| CMSV Commercial Services | DRNG Drainage |
| OFC Office | VAC Vacant |
| IND Industrial | UTIL Utilities |
| INSMED Institutional / Medical | CMTY Community |
| ED Educational | KAFB Kirtland Air Force Base |

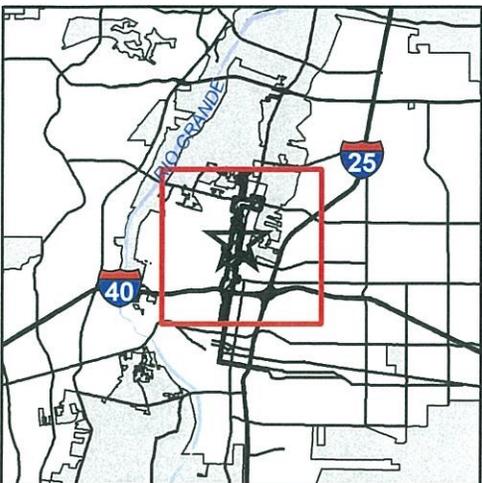


1 inch = 2,600 feet

Hearing Date:
12/12/2019

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Zone Map Page:
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HISTORY MAP

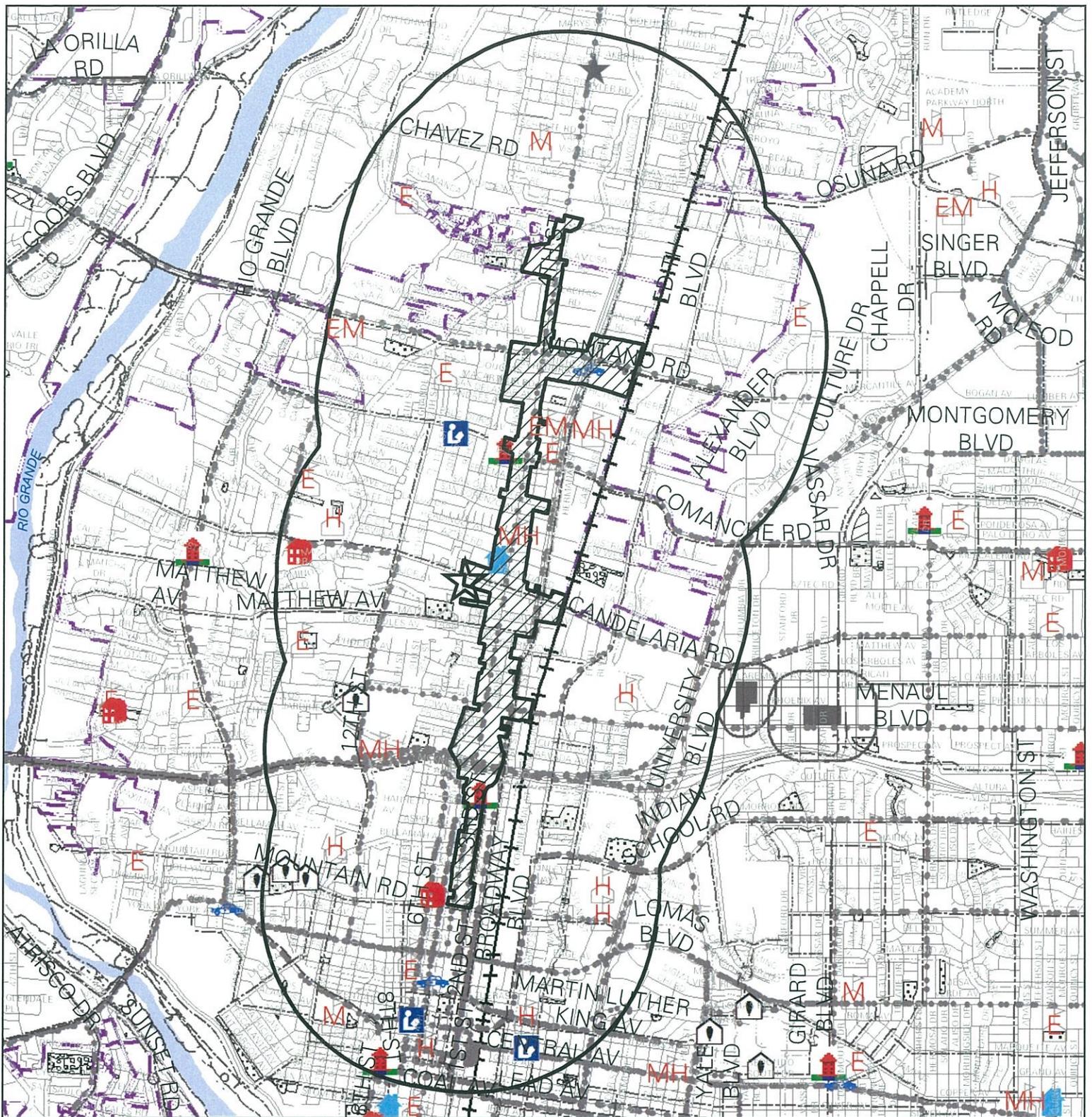
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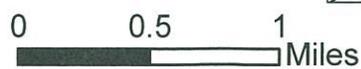
Zone Map Page:
E14,15,F14,15,G14,H14,J14



Public Facilities Map with One-Mile Buffer



- | | | | |
|----------------------|-------------------------|--------------------------|-----------------------------|
| Community Center | Fire | Public Schools | Landfill Buffer (1000-feet) |
| Multi-Service Center | Police | Proposed Bike Facilities | Landfill designated by EHD |
| Senior Center | Sheriff | ABQ Bike Facilities | Developed County Park |
| Library | Solid Waste | ABQ Ride Routes | Undeveloped County Park |
| Museum | Albuquerque City Limits | | Developed City Park |
| | | | Undeveloped City Park |



HISTORY

1 WHEREAS, the area represented by the Plan is a key element in the overall
2 economic and community revitalization efforts by the City of Albuquerque to
3 promote neighborhood stabilization; and

4 WHEREAS, the Environmental Planning Commission, in its advisory role
5 on all matters relating to Planning Zoning and Environmental Protection, held a
6 public hearing on February 12, 2009 with respect to adoption of the Plan and
7 voted (5-1) to recommend approval of the Plan to the City Council subject to
8 recommendations, Findings and Conditions of Approval; and

9 WHEREAS, the Plan uses a modified form-based approach and creates four
10 new overlay zone districts which regulate building form and articulation; and

11 WHEREAS, the new overlay zone districts are the following:

12 1. North Fourth Mixed Use (NFMXD) District: the NFMXD is designed
13 as a pedestrian scale, principally commercial development area that is integral
14 to a mixed use neighborhood. The NFMXD is located in two areas; parcels
15 generally on either side of 4th Street beginning at Phoenix Avenue NW to Natalie
16 Avenue NW consisting of primarily C-2 and C-3 zoned properties and the
17 second area north of Montano NW along Fourth Street to the City limits
18 consisting of a mix of C-2, C-1, O-1 and parcels categorized as Residential-
19 Agricultural.

20 2. North Fourth Transit Oriented Development (NFTOD) District: the
21 NFTOD is designed for the major transit areas of the corridor. The NFTOD is
22 located in two areas; generally parcels on either side of 4th Street from Mountain
23 Road to Phoenix Avenue NW. The East/West traffic intersections of I-40 and
24 Menaul NW are contained within the District. The second area is found
25 generally along 4th Street from Berry Road NW north past Montano Road and
26 east along Montano Road to the Railroad tracks consisting of a C-2, M-1, and M-
27 2.

28 3. North Fourth Infill Development (NFID) District(s): the NFID is
29 designed as a buffer and provides a standard to encourage the context
30 sensitive development of empty lots or the redevelopment of sites in
31 substantially built up areas. The Districts are found in three areas; the first is
32 generally on either side of Candelaria Road NW from 4th Street to 7th Street NW.
33 The second area is generally east of the Harwood Lateral from Delamar Avenue

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1 NW to Sanchez Road NW. The third area is west of the Gallegos Lateral
2 generally from Hendrix NW to Sanchez Road NW.

3 4. Los Alamos Addition Historic Area LAAHD District: The LAAHD is
4 designed to establish commercial and mixed-use land uses as well as building
5 forms that are compatible with the area of 4th Street adjacent to the Los Alamos
6 neighborhood. The uses allowed in this district are at a neighborhood scale and
7 will serve the residents and commercial property owners on the east side of 4th
8 Street between Gene and Alamosa Streets. The standards are intended to
9 create a safe pedestrian scale environment along 4th Street, orient buildings
10 toward the public right of way and maintain clear separation between
11 commercial and mixed uses and residential areas.

12 WHEREAS, the City's Environmental Planning Commission (EPC) held a
13 public hearing with respect to the adoption of the Plan. The EPC voted (5-1) to
14 recommend approval of the Plan to the City Council and thus sent the Plan with
15 recommendations, findings and conditions.

16 BE IT RESOLVED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF
17 ALBUQUERQUE:

18 SECTION 1. The City Council makes the following findings:

19 1. The North Fourth Street Corridor Plan Overlay Zone supports the
20 policies listed in the adopted Comprehensive Plan including policies listed
21 herein. Specifically, the Plan is in compliance with applicable land use goals
22 and policies for Established Urban Areas as follows:

23 A. Policy II.B.5.a. of the Comprehensive Plan states: "The
24 Developing Urban and Established Urban Areas as shown by the Plan map shall
25 allow a full range of urban land uses, resulting in an overall gross density up to
26 5 dwelling units per acre." The Corridor Plan implements the policy by providing
27 a variety of zones that allow for residential, commercial or mixed use, and
28 utilitarian building forms.

29 B. Policy II.B.5.d. of the Comprehensive Plan states: "The
30 location, intensity and design of new development shall respect existing
31 neighborhood values, natural environmental conditions and carrying capacities,
32 scenic resources, and resources of other social, cultural, recreational concern."

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1 The newly created zones in the Corridor Plan are tailored to promote economic
2 vitality and stable land uses while respecting the existing development

3 C. Policy II.B.5.e. of the Comprehensive Plan states: “New
4 growth shall be accommodated through development in areas where vacant
5 land is contiguous to existing or programmed urban facilities and services and
6 where the integrity of existing neighborhoods can be ensured.” The Corridor
7 Plan area is fully served with urban infrastructure, and new developments will
8 add to the efficiency of these services.

9 D. Policy II.B.5.h. of the Comprehensive Plan states:
10 “Higher density housing is most appropriate in designated Activity Centers, in
11 areas with excellent access to the major street network, in areas where a mixed
12 density pattern is already established, and in areas where a transition is needed
13 between single-family homes and much more intensive development.” The
14 NFTOD, NFMXD, and NFID districts allow for higher density housing, which is
15 appropriate to the corridor.

16 E. Policy II.B.7.a. of the Comprehensive Plan states:
17 “Existing and proposed Activity Centers are designated by a Comprehensive
18 Plan map where appropriate to help shape the built environment in a
19 sustainable development pattern, create mixed use concentrations of
20 interrelated activities that promote transit and pedestrian access both to and
21 within the Activity Center, and maximize cost-effectiveness of City services.”
22 Further, policy II.B.7.i. states: “Multi-unit housing is an appropriate use in
23 Neighborhood, Community and Major Activity Centers.” The NFTOD, NFMXD,
24 NFID and LAAHD districts allow for a mix of multi-family, residential and non-
25 residential uses.

26 F. Policy II.B.5.k. of the Comprehensive Plan states: “Land
27 adjacent to arterial streets shall be planned to minimize harmful effects of
28 traffic; livability and safety of established residential neighborhoods shall be
29 protected in transportation planning and operation.” In addition, policy II.B.5.l.
30 states: “Quality and innovation in design shall be encouraged in all new
31 development; design shall be encouraged which is appropriate to the Plan
32 area.” Design standards contained in the Corridor Plan will control uses and are
33 intended to promote a quality environment by the incorporation of design

1 elements for buildings and sites and the encouragement of a pedestrian
2 environment.

3 **SECTION 2. The City Council makes the following findings as to**
4 **compliance with R-270-1980 for zone changes with respect to each of the four**
5 **new overlay zones:**

6 **1. The North Fourth Street Corridor Plan proposes a new Overlay**
7 **Zone in four new zoning categories. The following Analysis of Resolution 270-**
8 **1980 (Policies for Zone Map Change Applications) shows that the proposed**
9 **zoning is justified.**

10 **A. A proposed zone change must be found to be**
11 **consistent with the health, safety morals and general welfare of the city. The**
12 **proposed Overlay Zone for the North Fourth Street Corridor is found to be**
13 **consistent with the health, safety and general welfare of the City: It gives**
14 **property owners flexibility in the types of uses and buildings they can place on**
15 **their properties. That flexibility creates a better chance that**
16 **development/redevelopment will occur in the near future and supports the**
17 **economic vitality of the area. Current economic conditions are likely to slow**
18 **investment in development and redevelopment of the North Fourth Street**
19 **Corridor. With the exception of projects currently underway, it is unlikely that**
20 **substantial new development will take place until credit markets are stable and**
21 **confidence returns to the commercial and residential real estate market.**

22 **B. Stability of land use and zoning is desirable; therefore,**
23 **the applicant must provide a sound justification for the change. The burden is**
24 **on the applicant to show why the change should be made, not on the City to**
25 **show why the change should not be made. While the economic and financial**
26 **health of the North Fourth Street Corridor varies along its 4 1/2 mile length,**
27 **there are several areas that are struggling to maintain viable commercial**
28 **activity. In this context, the Overlay Zone offers stability to the corridor by**
29 **expanding the range and mix of residential, mixed-use and transit-oriented uses**
30 **to support and take advantage of the expanding, multi-modal forms of**
31 **transportation along Fourth Street. Additionally, to respond specifically to the**
32 **timing and demands of the market, the development or redevelopment of**
33 **properties using the new Overlay Zone is at the discretion of property owners.**

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1 However, the Overlay Zone will regulate development through the building
2 permit process when the following conditions are present:

- 3 1. Construction of a replacement building after voluntary
4 demolition of existing buildings.
- 5 2. Construction of new buildings on a vacant parcel.
- 6 3. Commencement of a new use that is permissible under
7 the Overlay Zone but was not permissible on that parcel before the Plan's
8 adoption.
- 9 4. Change to new Conditional Use under existing zoning
10 that was not being employed on that parcel before the Plan's adoption. There is
11 broad community support to adopt and implement the Plan. This resulted from
12 strong representation on the merchants' and residents' negotiating teams as
13 well as robust communication during the mediated negotiations held from
14 September 11th, 2007 to December 10th, 2007. In addition leaders from both the
15 merchants' and residents' negotiating teams guided the consultants in rewriting
16 the June 2006 Corridor Plan over the subsequent six months. The Plan received
17 supportive and positive feedback during an Open House held on August 19,
18 2008 at the Los Griegos Community Center. The plan received further support
19 and positive feedback at a community meeting held on December 10, 2009.

20 C. A proposed change shall not be in significant conflict with
21 adopted elements of the Comprehensive Plan or other City master plans and
22 amendments thereto including privately developed area plans, which have been
23 adopted by the City. The North Fourth Street Corridor Plan furthers applicable
24 goals and policies of the Comprehensive Plan and promotes a better-served
25 community: It allows building placement closer to North Fourth Street and
26 promotes multi-modal transportation. The use of a form-based approach for
27 building types and establishment of specific design standards ensures quality
28 and innovation in design, ensures compatibility between residential and non-
29 residential uses, and provides a balanced circulation system with safe and
30 convenient pedestrian activity. The following citations show that corridor plan is
31 not in significant conflict with adopted elements of the Comprehensive Plan or
32 other City master plans and amendments. The Albuquerque/Bernalillo County
33 Comprehensive Plan and the Planned Growth Strategy guide the future

1 development of the Albuquerque Urban Area. The envisioned development and
2 redevelopment of the Plan and Overlay Zone are in compliance with the policies
3 in these planning documents. Applicable policies from the Comprehensive Plan
4 include: The Comprehensive Plan sets goals and strategies to implement
5 Activity Centers: “[Activity Centers]... expand and strengthen concentrations of
6 moderate and high-density mixed land use and social/economic activities which
7 reduce urban sprawl, auto travel needs, and service costs, and which enhance
8 the identity of Albuquerque and its communities. A technique for implementing
9 Activity Centers is to “review Zoning and ordinances for revisions necessary to
10 facilitate private development and redevelopment of mixed-use concentrations
11 of housing and employment that supports transit and pedestrian activity.” The
12 use of the form based Overlay Zone results in implementing the Comprehensive
13 Plan’s policy on Activity Centers. As stated in the Supplemental Staff Report,
14 the NFMXD and NFTOD districts in the Overlay Zone support the creation of
15 multi-use Activity Centers and will promote ongoing public/private cooperation
16 necessary for private market conditions that support the development and
17 functioning of Activity Centers. Further, policy B7j states: “The City will
18 structure capital expenditures and land use regulations in support of creating
19 multi-use Activity Centers, and will promote ongoing public/private cooperation
20 necessary for private market conditions that support the development and
21 functioning of Activity Centers.” The Planned Growth Strategy intends to
22 achieve the following objective, which is stated in Volume 2, page 4, of the
23 Preferred Alternatives: “Planned neighborhoods [that] have close proximity to
24 activity centers that contain businesses that serve basic needs...; be
25 pedestrian, bicycle, and transit friendly; be located close to employment
26 opportunities; include a mix of housing types and densities; and incorporate a
27 satisfying mix of housing types and densities; and incorporate a satisfying built
28 environment brought about through visually pleasing structures, landscaping,
29 and physical identity.” In the NFMXD and NFTOD districts, the Plan encourages
30 a mix of moderate and high-density housing along with commercial, office and
31 related uses. In Section IV, the Plan promotes pedestrian, bicycle and transit
32 friendly conditions. By utilizing a form based code, the NFMXD and the NFTOD
33 districts, together with the NFID and LAAHD districts, incorporate building

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1 forms that are visually pleasing and fit the context for redevelopment along the
2 corridor. The North Valley Area Plan (adopted by R-255, Enactment No. 60-1993)
3 guides planning and regulatory actions in the plan area, including corridor
4 plans. Two of the applicable policies from the area plan include the following:
5 Page 8-2f of the North Valley Area Plan states: "Undertake a planning process
6 for areas of Mid-North Valley East and Mid-North Valley West to address land
7 use conflicts, nonconforming uses, redevelopment of vacant land, affordable
8 housing, transportation, streetscape improvements, cultural sites and other
9 issues." Page 9-3c of the North Valley Area Plan states: "Promote commercial
10 development and redevelopment of existing commercially zoned properties."

11 D. The applicant must demonstrate that the existing zoning is
12 inappropriate because;

13 1. There was an error when the existing zone map pattern was
14 created, or

15 2. Changed neighborhood or community conditions justify the
16 change, or

17 3. A different use category is more advantageous to the
18 community, as articulated in the Comprehensive Plan or other City master plan,
19 even though (1) or (2) above do not apply. As per policy D (2): The proposed
20 Overlay Zone in the Plan is justified by "changed neighborhood or community
21 conditions" as described below for each of the new zones: Neighborhood and
22 community conditions along North Fourth Street are significantly different from
23 the conditions that existed when the City approved the existing zoning over fifty
24 years ago. The zoning that the City of Albuquerque put in place for North Fourth
25 Street during the 1960s reflected early development conditions and community
26 connections, particularly the patterns and conditions that existed in the late
27 1980s. Historically, North Fourth Street had served as a transportation route that
28 connected Albuquerque to Santa Fe and other towns. During the 1950s, the
29 agriculture and housing that bordered the street became interspersed with
30 commercial businesses, many of which catered to automobile traffic. The street
31 became an eclectic mix of businesses serving local, citywide, and regional
32 market demands. Later in the 1960s, market conditions changed significantly
33 when the freeway system drew much of the commercial development to malls

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1 sited in the Northeast Heights. The freeways also displaced the out-of-state
2 traffic from North Fourth. Many businesses, such as motels, gas stations, and
3 restaurants that had depended on travelers for their primary customer base, lost
4 a substantial share of their markets. With the rapid growth of the West Mesa
5 since the 1980s, much of Albuquerque's new development has shifted west of
6 the Rio Grande. As a result, development near and along North Fourth Street
7 has slowed, although drivers commuting to and from the West Side discovered
8 the corridor as a commuting route. Simultaneously, other commercial and retail
9 development has provided fierce competition for many small businesses. These
10 market changes over the past five decades have resulted in some businesses
11 along the corridor surviving, some making a transition and others going out of
12 business. This has resulted in underutilized property in many locations along
13 the Corridor with a mixed pattern of old, new, vacant and redeveloped
14 properties.

15 **North Fourth Transit Oriented Development (NFTOD) District:**

16 The NFTOD is designed for the major transit areas of the corridor. Two NFTOD
17 areas are designated within the corridor boundary. Generally, the first District
18 covers parcels on either side of Fourth Street beginning at Mountain Road NW
19 to Phoenix Avenue NW. East/West traffic intersections of I-40 and Menaul NW
20 are contained within the District. Community conditions in the first NFTOD
21 area, especially south of the freeway, are conducive for revitalization and
22 transit-oriented neighborhood scale commercial development. The streetscape
23 includes buildings from the 1940s and 1950s that create a continuous façade of
24 storefronts and provide community establishments. While the sidewalks are in
25 need of repair and must be ADA compliant, the scale of the street and the
26 buildings are appropriate for pedestrian amenities and activities. In the area
27 north of the freeway to Phoenix Ave, near Menaul, the street widens into four
28 lanes and accommodates large commercial activities, like the Menaul
29 Marketplace and other strip commercial development set back from the road.
30 Older buildings are interspersed and located close to the street. Conditions in
31 the area have changed sufficiently to allow new development to include higher
32 densities, including mixed uses and housing. Together with an enhanced
33 streetscape and pedestrian amenities, it is possible to create a vital living and

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1 working neighborhood. The NFTOD District encourages this type of
2 revitalization to occur. The second NFTOD area in the Montano and Fourth area
3 at Berry Road, extending along Montano Road to the Rail Road tracks, is
4 intended to support new development, especially related to development from a
5 planned transit station. Property in this area includes the intense commercial
6 activity at Montano and Fourth Street as well as auto related commercial uses
7 and fast food services south of Montano. These conditions set the stage for
8 increasing the intensity and mix of uses over time, as the area becomes more
9 transit oriented and accessible. The area around the railroad tracks is
10 dominated by large warehousing, repair and storage uses.

11 **North Fourth Mixed Use Development (NFMXD) District:**

12 The NFMXD is designed as a pedestrian scale, principally commercial
13 development area that is integral to a mixed-use neighborhood. Two NFMXD
14 areas are designated within the corridor boundary. Generally, the first area
15 covers parcels on either side of Fourth Street beginning at Phoenix Avenue NW
16 to Natalie Avenue NW. Conditions in the area from Phoenix to Natalie include
17 vacant lots, building set back from the street, auto-oriented repairs and
18 recycling businesses and large and small commercial activities. The area
19 contained vital economic activity but has transformed from small-scale historic
20 roadside auto uses of the 1950s and 1960s to large commercial and
21 construction related businesses. The properties were assembled over time,
22 from small lots to larger properties accommodating car sales and heavier
23 commercial uses. As some of the business died out, some of the land has
24 become underutilized and is prime for redevelopment. The second area begins
25 generally north of Montano NW along Fourth Street to the City Limits near
26 Camino Espanol NW. In the second NFMXD area the commercial property is
27 close to residential areas and the residents have expressed a desire to make the
28 area safer and more accessible for pedestrians as well as less congested with
29 traffic. Sidewalks are non-existent in some places and partially complete in
30 others, so vehicles cross the pedestrian way. In some places there is no curb or
31 landscaping to separate commercial from vehicular or residential uses.

32 **North Fourth Infill Development (NFID) District.**

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1 The NFID serves as a buffer and provides a standard to encourage the context-
2 sensitive development of empty lots or the redevelopment of sites in
3 substantially built up areas. The NFID District is found in four areas with the
4 corridor boundaries. The first is generally either side of Candelaria Road NW
5 from Fourth Street to 7th Street NW. The second area is generally east of the
6 Harwood Lateral from Delamar Avenue NW to Sanchez Road NW. The third area
7 is west of the Gallegos Lateral generally from Hendrix NW to Sanchez Road NW,
8 and the fourth area is generally along Pauline Street NW from Gene NW to
9 Guadalupe Trail NW. Areas that have been designated as potential for the North
10 Fourth Infill Development District have generally changed over time from
11 commercial or vacant land to properties that contain higher density residential
12 apartments or condominiums. Over time, the land has become more valuable
13 and amenable to multi-family development and creates the opportunity for a
14 transition from commercial or other mixed uses to neighborhood scale
15 development. In some of the areas, there are under-utilized properties or
16 segments of street frontage with lots that may accommodate future infill of
17 residential uses. The key in these areas is to provide a transition in density and
18 intensity of uses so that new infill development buffers the neighborhood from
19 more intense commercial development. Design and development in the NFID
20 areas is intended to be sensitive to the surrounding development and act as a
21 buffer between residential uses and other commercial and mixed use
22 development along the corridor. The places identified in the district either
23 currently function in this way or could in the future. As per policy D (3): The
24 proposed zoning in the North Fourth Street Corridor Plan is "more
25 advantageous to the community" as described below for each of the
26 Development Districts:

27 **NFMXD**

28 This district promotes a different approach to development. The prescribed
29 building forms accommodate a greater range of mixed uses than those allowed
30 under traditional commercial zoning. The mixed uses in the NFMXD Overlay
31 District give greater flexibility to the property owner and increase the likelihood
32 that redevelopment will occur. Further, the added flexibility will make it possible

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1 for property owners to fit the scale of the development to the community and
2 the adjacent properties.

3 **NFTOD**

4 This district promotes development that is pedestrian oriented, accommodates
5 an expanded range of uses, and enhances an intensifying urban destination.

6 Inclusion of this transit-oriented development zone is integral to the
7 community's vision for North Fourth Street and furthers applicable goals and
8 policies of the Comprehensive Plan by leveraging transportation-related
9 services to promote and encourage redevelopment. The current use of transit
10 (and future increase) coupled with increased development of mix of uses
11 presents an opportunity to promote North Fourth Street as a commercial/transit
12 corridor. The district recognizes the transportation-oriented development near
13 the freeway and anticipates it in the vicinity of the future Railrunner Station. An
14 additional advantage to the community is that this district may attract new
15 businesses that depend on excellent transportation access.

16 **NFID**

17 The North Fourth Infill Development District provides a buffer between the
18 mixed-use development and the residential neighborhoods that border the
19 corridor and is important to realizing the community's vision for the corridor.

20 This district would allow only limited residential and certain commercial (flex
21 building) and utilitarian (civic or institutional building) building forms. Thus, this
22 district would increase the range of allowable land uses and is therefore
23 advantageous to the community.

24 **LAHD**

25 Los Alamos Addition Historic Area District is designed to establish commercial
26 and mixed-use land uses as well as building forms that are compatible with the
27 area of 4th Street adjacent to the Los Alamos neighborhood. The uses allowed
28 in this district are at a neighborhood scale and will serve the residents and
29 commercial property owners on the east side of 4th Street between Gene and
30 Alamosa Streets. The standards are intended to create a safe pedestrian scale
31 environment along 4th Street, orient buildings toward the public right of way and
32 maintain clear separation between commercial and mixed uses and residential
33 areas.

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1 E. A change of zone shall not be approved where some of the
2 permissive uses in the zone would be harmful to adjacent property, the
3 neighborhood or the community. The following paragraph is universally
4 applicable to areas covered by the Overlay Zone in the Plan. Thus, it is stated
5 once and applies to all new districts (NFTOD, NFMXD, NFID, and LAAHD): The
6 districts provide certainty regarding future development by regulating building
7 types and frontage types and excluding certain "noxious" uses. These
8 regulations will assure compatibility of adjacent uses and prevent harm to
9 adjacent properties. The districts have been carefully mapped and negotiated to
10 reasonably ensure that no harm to adjacent property will occur.

11 F. A proposed zone change which, to be utilized through land
12 development, requires major and un-programmed capital expenditures by the
13 City may be:

- 14 1. Denied due to lack of capital funds, or
- 15 2. Granted with the implicit understanding that the City is not
16 bound to provide the capital improvements on any special schedule. The
17 following paragraph is universally applicable to areas covered by the Overlay
18 Zone in the North Fourth Street Corridor Plan. Thus, it is stated once and
19 applies to all new districts (NFTOD, NFMXD, NFID and LAAHD): The corridor
20 plan will focus the city by planning capital authorization through priorities
21 including a capital improvements list for projects that are intended to enhance
22 the area. Consistent with the qualification in 2 above, these projects are public
23 investments to be made to increase the functionality of the area and to make
24 private investment in the area more desirable by private property owners. City
25 staff will request funding from the Capital Improvements Program, General
26 Obligation bonds as well as other state and federal revitalization programs.

27 G. The cost of land or other economic considerations pertaining to the
28 applicant shall not be the determining factor for a change of zone. The
29 following paragraph is universally applicable to areas covered by the Overlay
30 Zone in the North Fourth Street Corridor Plan. Thus, it is stated once and
31 applies to all new districts (NFTOD, NFMXD, NFID and LAAHD): The City is
32 interested in guiding the area's development and keeping the area an
33 economically viable part of the community. The area's commercial development

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1 serves the local community as well as acts as a regional market serving
2 downtown, the Northeast and Southeast Heights, and the developing West Side.
3 The proposed changes will help to stabilize the North Fourth Street corridor by
4 enabling a mix of both residential and commercial development.

5 H. Location on a collector or major street is not in itself sufficient
6 justification of apartment, office, or commercial zoning. The following
7 paragraph is universally applicable to areas covered by the Overlay Zone in the
8 North Fourth Street Corridor Plan. Thus, it is stated once and applies to all new
9 districts: NFTOD, NFMXD, NFID and LAAHD. The City has already designated
10 North Fourth Corridor a transit corridor. The current use of transit (and the
11 future increase of bus and rapid transit lines) coupled with increased
12 development of a mix of uses presents an opportunity to promote North Fourth
13 Street as a commercial/transit corridor. The modified form-based code
14 promotes construction of prescribed building forms and corresponding facades
15 accommodate an expanded range of mixed-uses than those allowed under
16 traditional commercial zoning.

17 I. A zone change request, which would give a zone different from
18 surrounding zoning to one small area, especially when only one premise is
19 involved, is generally called a "spot zone." Such a change of zone may be
20 approved only when;

21 1. The change will clearly facilitate realization of the
22 Comprehensive Plan and any applicable adopted sector development plan or
23 area development plan, or

24 2. The area of the proposed zone change is different from
25 surrounding land because it could function as a transition between adjacent
26 zones; because the site is not suitable for the uses allowed in any adjacent zone
27 due to topography, traffic, or special adverse land uses nearby; or

28 3. Because the nature of structures already on the premises
29 make the site unsuitable for the uses allowed in any adjacent zone. The

30 following paragraph is universally applicable to areas covered by the Overlay
31 Zone in the North Fourth Street Corridor Plan. Thus, it is stated once and
32 applies to all new districts (NFTOD, NFMXD, NFID and LAAHD): The Overlay
33 Zone is comprehensive in covering the entire corridor, and it treats all property

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1 owners equally in its application. The Overlay Zone precludes "spot zoning."
2 The Plan's Overlay Zone covers an area that is greater than 4 1/2 miles in length.
3 It provides a comprehensive approach for development and revitalization of the
4 area. The Plan expands categories of appropriate uses through new allowable
5 building forms as identified in each district, and the Overlay Zone implements
6 policies contained in the Comprehensive Plan, the North Valley Area Plan, and
7 the Planned Growth Strategy.

8 J. A zone change request which would give a zone different from
9 surrounding zoning to a strip of land along a street is generally called "strip
10 zoning." Strip commercial zoning will be approved only where:

11 1. The change will clearly facilitate realization of the
12 Comprehensive Plan and any adopted sector development plan or area
13 development plan, and

14 2. The area of the proposed zone change is different from
15 surrounding land because it could function as a transition between adjacent
16 zones or because the site is not suitable for the uses allowed in any adjacent
17 zone due to traffic or special adverse land uses nearby. The following

18 paragraph is universally applicable to areas covered by the Overlay Zone in the
19 North Fourth Street Corridor Plan. Thus, it is stated once and applies to all new
20 districts (NFTOD, NFMXD, NFID and LAAHD): The Overlay Zone is part of a
21 comprehensive planning effort for the entire corridor area, and as such treats all
22 property owners equally with respect to requirements of the Plan. As mentioned
23 in I. above, the implementation of the Overlay Zone and corresponding Districts
24 creates a contiguous area of appropriate uses through allowable building forms
25 as identified by the Development District. The Development Districts identified
26 in the Plan are appropriate due to their adjacent transportation facilities and
27 surrounding land uses - there will be no strip zoning.

28 SECTION 3. All development and redevelopment activities within the area
29 shall be guided and regulated by the provisions of the North Fourth Street
30 Corridor Plan, including the recommendation that an engineering study be
31 conducted prior to any major reconstruction of the street or streets affected by
32 the Plan.

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1 SECTION 4. The Zone Map, adopted by Article 14-16-4-9 ROA 1994 is
2 hereby amended to reflect the overlay zone districts in the map shown in
3 Attachment A hereto, and the North Fourth Street Rank III Corridor Plans (first
4 volume from Mountain Road to Douglas MacArthur NW and second volume from
5 Douglas MacArthur to Vineyard NW) attached hereto are approved and
6 incorporated herein.

7 SECTION 5. EFFECTIVE DATE AND PUBLICATION. This legislation shall
8 take effect five days after publication by title and general summary.

9 SECTION 6. SEVERABILITY CLAUSE. If any section, paragraph, sentence,
10 clause, word or phrase of this resolution is for any reason held to be invalid or
11 unenforceable by any court of competent jurisdiction, such decision shall not
12 affect the validity of the remaining provisions of this resolution. The Council
13 hereby declares that it would have passed this resolution and each section,
14 paragraph, sentence, clause, word or phrase thereof irrespective of any
15 provisions being declared unconstitutional or otherwise invalid.

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1 PASSED AND ADOPTED THIS 15th DAY OF March 2010
2 BY A VOTE OF: 7 FOR 1 AGAINST.

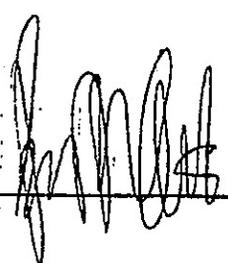
3
4 Against: Jones
5 Excused: Harris
6

7
8 
9 _____
10 Ken Sanchez, President
11 City Council

12
13 APPROVED THIS 9th DAY OF April, 2010
14

15
16
17 Bill No. R-09-12

18 
19 _____
20 Richard J. Berry, Mayor
21 City of Albuquerque

22
23
24
25 ATTEST: 
26
27 _____
28 City Clerk

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APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input checked="" type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Albuquerque City Council		Phone: 505-768-3302
Address: 1 Civic Plaza NW		Email: Syara@cabq.gov
City: Albuquerque	State: New Mexico	Zip: 87103
Professional/Agent (if any): Shanna Schultz		Phone: 505-768-3185
Address: 1 Civic Plaza NW		Email: Smschultz@cabq.gov
City: Albuquerque	State: New Mexico	Zip: 87102
Proprietary Interest in Site:	List all owners:	

BRIEF DESCRIPTION OF REQUEST

Zone Map Amendment to create a new Character Protection Overlay for portions of 2nd, 3rd, and 4th street, north of Mountain Rd. to the City limits.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Various - See Map	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 10/29/19
Printed Name: Stephanie Para	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
R2-2019-0006	ZMA-C				
Meeting/Hearing Date: January 9, 2019			Fee Total: 30		
Staff Signature:			Date: 10-30-19 Project # R2-2019-0030		

Form Z: Policy Decisions

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@caba.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL POLICY DECISIONS (Except where noted)

- Interpreter Needed for Hearing? no if yes, indicate language: _____
- 01 Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- 02 Letter of authorization from the property owner if application is submitted by an agent
- 03 Traffic Impact Study (TIS) form (not required for Amendment to IDO Text)
- 04 Zone Atlas map with the entire site/plan amendment area clearly outlined and labeled (not required for Amendment to IDO Text) NOTE: For Annexation of Land, the Zone Atlas must show that the site is contiguous to City limits.

ADOPTION OR AMENDMENT OF COMPREHENSIVE PLAN

ADOPTION OR AMENDMENT OF FACILITY PLAN

- Plan, or part of plan, to be amended with changes noted and marked
- Letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-7(A)(3) or 14-16-6-7(B)(3), as applicable
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

AMENDMENT TO IDO (TEXT)

- Section(s) of the Integrated Development Ordinance to be amended with changes noted and marked
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(D)(3) R-18-29
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first-class mailing

ZONING MAP AMENDMENT – EPC

ZONING MAP AMENDMENT – COUNCIL – Adoption of a new View Protection Overlay for North Fourth Street

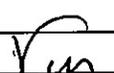
- 05 Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- 06 Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(F)(3) or Section 14-16-6-7(G)(3), as applicable
- 07 Required notices with content per IDO Section 14-16-6-4(K)(6)
 - 07a Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first-class mailing (to NAs)
 - 07b Proof of emailed notice to affected Neighborhood Association representatives
 - 07c Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first-class mailing (to property owners)
- 08 Sign Posting Agreement

ANNEXATION OF LAND

- Application for Zoning Map Amendment *Establishment of zoning must be applied for simultaneously with Annexation of Land.*
- Petition for Annexation Form and necessary attachments
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-7(E)(3)
- Board of County Commissioners (BCC) Notice of Decision

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:	Date: October 31, 2019
Printed Name: Shanna Schultz	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2019-003030	RZ-2019-00067
Staff Signature: 	
Date: 10-31-19	



CITY OF ALBUQUERQUE

City Council

P.O. Box 1293
Albuquerque, NM 87103
Tel: (505) 768-3100
Fax: (505) 768-3227
www.cabq.gov/council

President Klarissa J. Peña
District 3

Vice President Cynthia D. Borrego
District 5

Stephanie M. Yara
Council Director

Ken Sanchez
District 1

Isaac Benton
District 2

Brad Winter
District 4

Patrick Davis
District 6

Diane G. Gibson
District 7

Trudy E. Jones
District 8

Don Harris
District 9

October 29th, 2019

Dan Serrano, Chair
Environmental Planning Commission
c/o City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Chair Serrano,

Please let this letter serve as notice that Shanna Schultz, Council Senior Planner, is authorized to act as my agent with respect to an application for a Zone Map Amendment – Council for the creation of a new Character Protection Overlay Zone for the North 4th area.

Sincerely,

Stephanie M. Yara
Director of Council Services

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: City of Albuquerque DATE OF REQUEST: 9/25/19 ZONE ATLAS PAGE(S): multiple

CURRENT:

ZONING multiple
PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION:

LOT OR TRACT # _____ BLOCK # _____
SUBDIVISION NAME _____

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text)
Small Area Overlay Zone

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: N/A
BUILDING SIZE: N/A (sq. ft.)

North 4th CPD
Map + Text Amendment to IDO-Overlay Zone

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE KC Baul

DATE 9/25/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

09-25-2019
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRE.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____



CITY OF ALBUQUERQUE

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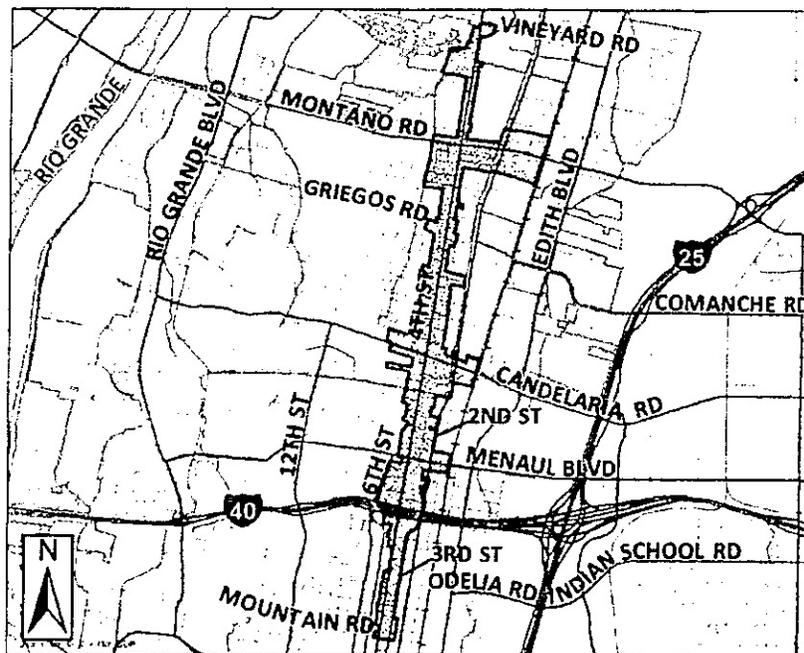
Don Harris
District 9

October 29th, 2019

Dan Serrano, Chair
Environmental Planning Commission
c/o City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Chair Serrano,

Council Services is pleased to submit an application for a Zone Map Amendment – Council to be reviewed and recommended by the Environmental Planning Commission. The application is for the creation of a new Character Protection Overlay (CPO) titled the “North 4th Corridor CPO”. The boundaries of this proposed CPO follow those of the previous North 4th Rank III Corridor Plan. Generally, the goal of the CPO is to establish regulations for the North 4th Corridor through a new Character Protection Overlay. This CPO takes regulations from Resolution R-19-162 and puts them into a permanent overlay for the area. These regulations are intended to be more aligned with the surrounding community’s desire for development along the corridor, mapped below:



The North 4th Corridor CPO intends to maintain the scale of development along the corridor. A comparison of the existing regulations and the proposed regulations is as follows. Please note that most of the corridor is within a Main Street designation, so UC-MS-PT bonuses are often granted:

Topic	Existing	Proposed
Building Height		
MX-M	<ul style="list-style-type: none"> • 45 feet or • 65 feet if within UC-MS-PT • 12- feet bonus for workforce housing • 12- feet bonus for podium parking 	<ul style="list-style-type: none"> • 55 feet maximum • No height bonuses permitted
MX-H	<ul style="list-style-type: none"> • 65 feet or • 75 feet if within UC-MS-PT • 24-foot bonus for structured parking • 12-foot bonus for workforce housing 	<ul style="list-style-type: none"> • 55 feet maximum • No height bonuses permitted
NR-C	<ul style="list-style-type: none"> • 35 feet or • 55 feet if within UC-MS-PT 	<ul style="list-style-type: none"> • 55 feet maximum
NR-BP NR-LM NR-GM	<ul style="list-style-type: none"> • 65 feet maximum 	<ul style="list-style-type: none"> • 55 feet maximum
Height Variety	No variety required today	<ul style="list-style-type: none"> • For any development encompassing more than 50% of any block, one third of the development will be limited to 45 feet
Stepback		
	<ul style="list-style-type: none"> • No stepback required 	<ul style="list-style-type: none"> • 6-foot stepback required after 30 feet of building height
Front Setbacks		
MX-T, MX-L, MX-M, MX-H	<ul style="list-style-type: none"> • Minimum: None • Maximum: 15 feet 	<ul style="list-style-type: none"> • Minimum: 10 feet • Maximum: 15 feet
NR-C	<ul style="list-style-type: none"> • Minimum: None • Maximum: 15 feet 	<ul style="list-style-type: none"> • Minimum: 10 feet • Maximum: 15 feet
NR-BP, NR-LM, NR-GM	<ul style="list-style-type: none"> • Minimum: N/A • Maximum: N/A 	<ul style="list-style-type: none"> • Minimum: 10 feet • Maximum: 15 feet
Building Design		
	<ul style="list-style-type: none"> • Building design is regulated per section 5-11 of the IDO. Generally, it requires a number of articulation elements every set number of feet of the building façade. See section in IDO for specific details. 	<ul style="list-style-type: none"> • Proposed regulations will increase the number of elements required and increase the rate at which they are required. See amendment for details.

Additionally, this CPO will have a reference to the Development Process Manual (DPM). It is expected that the roadway cross-sections from the North 4th Rank III Corridor Plan (now rescinded) will be amended into the DPM to become permanent standards for the corridor. The addition of this cross-reference will help ensure that applicants, interested parties, and plan reviewers are aware that there are special requirements for the public realm applicable to this area.

Justification for a Character Protection Overlay Zone under the Criteria in 6-7(G)(3)(a)

The review and decision criteria for a Zoning Map Amendment – Council include the approval criteria in Subsection 14-16-6-7(F)(3). This request meets those criteria as follows.

6-7(F)(3)(a) The proposed zone change is consistent with the health, safety, and general welfare of the City as shown by furthering (and not being in conflict with) a preponderance of applicable Goals and Policies in the ABC Comp Plan, as amended, and other applicable plans adopted by the City.

Response: ABC Comp Plan policies support this criterion for a new Character Protection Overlay Zone and furthers the following applicable Goals and Policies in the ABC Comprehensive Plan.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

b) Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

Policy 5.7.2 Regulatory Alignment: Update regulatory frameworks to support desired growth, high quality development, economic development, housing, a variety of transportation modes, and quality of life priorities.

Action 5.7.2.16 Work with property owners to identify mismatches between existing land uses, zoning, and the Comp Plan vision and recommend City-sponsored zone changes for the future.

Policy 7.3.2 Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

- a) Design development to reflect the character of the surrounding area and protect and enhance views.

6-7(F)(3)(b) If the proposed amendment is located wholly or partially in an Area of Consistency (as shown in the ABC Comp Plan, as amended), the applicant has demonstrated that the new zone would clearly reinforce or strengthen the established character of the surrounding Area of Consistency and would not permit development that is significantly different from that character. The applicant must also demonstrate that the existing zoning is inappropriate because it meets any of the following criteria: 1. There was typographical or clerical error when the existing zone district was applied to the property. 2. There has been a significant change in neighborhood or community conditions affecting the site. 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response: The CPO is primarily designated as an Area of Change, however, there are portions of the CPO that are designated as an Area of Consistency. This request would clearly reinforce the established character of the surrounding area and would result in development that is consistent with the character based on the ABC Comp Plan Goals and Policies cited above.

6-7(F)(3)(c) If the proposed amendment is located wholly in an Area of Change (as shown in the ABC Comp Plan, as amended) and the applicant has demonstrated that the existing zoning is inappropriate because it meets at least one of the following criteria: 1. There was typographical or clerical error when the existing zone district was applied to the property. 2. There has been a significant change in neighborhood or community conditions affecting the site that justifies this request. 3. A different zone district is more advantageous to the community as articulated by the ABC Comp Plan, as amended (including implementation of patterns of land use, development density and intensity, and connectivity), and other applicable adopted City plan(s).

Response: The Goals and Policies cited above demonstrate that a different set of regulatory standards (i.e. the CPO) for the existing zone district is more advantageous to the Community as articulated by the ABC Comp Plan by implementing development patterns and densities desired by area residents and that better support could enhance the desired character for the area. Note that this CPO does not change any uses or zone districts within the boundary. Accordingly, subsections 1 and 2 above do not apply to the request.

6-7(F)(3)(d) The zone change does not include permissive uses that would be harmful to adjacent property, the neighborhood, or the community, unless the Use-specific Standards in Section 16-16-4-3 associated with that use will adequately mitigate those harmful impacts.

Response: This CPO does not propose to change any allowable uses. This CPO relates to building massing and design standards, rather than changes to allowable uses.

6-7(F)(3)(e) The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems meet 1 the following requirements: 1. Have adequate capacity to serve the development made possible by the change of zone. 2. Will have adequate capacity based on improvements for which the City has already approved and budgeted capital funds during the next calendar year. 3. Will have adequate capacity when the applicant fulfills its obligations under the IDO, the DPM, and/or an Infrastructure Improvements Agreement. 4. Will have adequate capacity when the City and the applicant have fulfilled their respective obligations under a City-approved Development Agreement between the City and the applicant.

Response: The City's existing infrastructure and public improvements, including but not limited to its street, trail, and sidewalk systems have adequate capacity to serve the development made possible by the change of zone. This Zone Map Amendment does not change any allowable uses or cause new development to happen, rather, it changes design standards for any new development within the Overlay zone boundary. If approved, the requirements of this CPO will reference back to the Development Process Manual where there will be roadway cross-sections incorporated to increase the quality of the public realm, including widened sidewalks.

6-7(F)(3)(f) The applicant's justification for the requested zone change is not completely based on the property's location on a major street.

Response: This criteria relates to purported justifications for increases in zoning intensities based on access to/location along a major public street. Although this CPO would apply primarily to the 4th Street corridor, this section is not applicable because the CPO relates to all properties within the corridor and only modifies building massing and design standards, rather than to change allowable uses.

Public Outreach

City Council staff held a facilitated public meeting on October 2, 2019 to present the request. 51 people were in attendance and provided input throughout the meeting. Council Staff described the purpose and intent of the proposed CPO and then took public comment and questions. The public was generally supportive of making changes to the development requirements along the

Page 6

4th street corridor. They expressed concern over some development that has occurred in the last 5 years under the previous Sector Plan and are interested in higher standards for the area. Please see the Facilitated Meeting Report for the complete list of questions, concerns, and areas of agreement.

Conclusion

This CPO is intended to increase the quality of development through new design standards for the North 4th Street area. The requirements found within the CPO are not overly burdensome to a developer and may have a long-term positive impact on the aesthetics and economic development of the area. This CPO intends to build upon the years of work the community has put into trying to ensure desirable development occurs in the area. This request is in accordance with many Comprehensive Plan policies, particularly in the sections related to Community Identity and is adequately justified under review and decision criteria 14-16-6-7(F)(3) for a Zone Map Amendment – Council.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephanie M. Yara". The signature is fluid and cursive, with the first name being the most prominent.

Stephanie M. Yara
Director of Council Services

1 **SECTION 2. The City Planning Department is hereby directed to consider**
2 **amended regulations for the area bounded in Exhibit A, with particular**
3 **attention towards massing, scale, and articulation that is consistent with the**
4 **character of the area.**

5 **SECTION 3. This Resolution shall not apply to building permits that have**
6 **been applied for prior to adoption of this Resolution by the Council.**

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Exhibit A

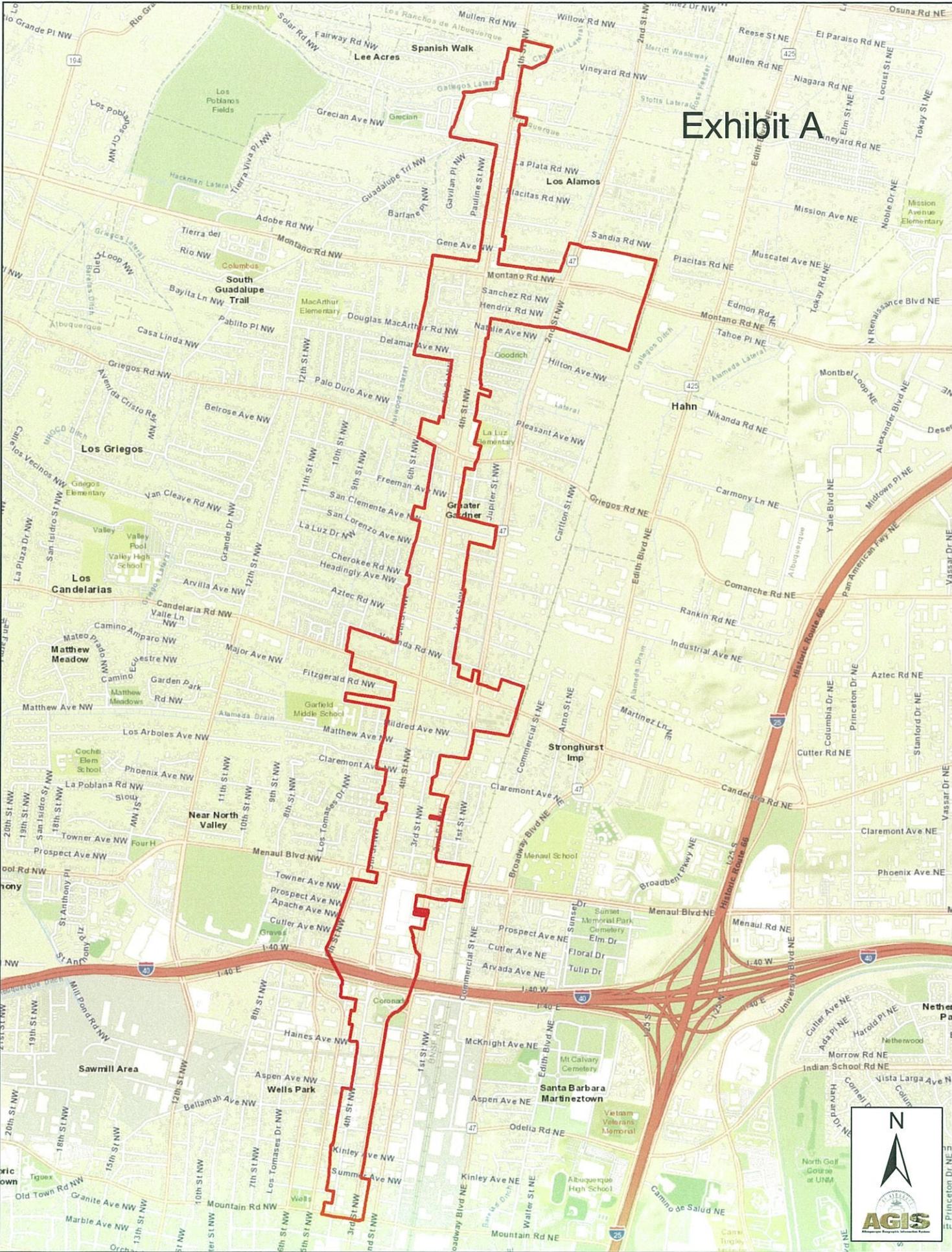


Exhibit B to R-19-162

The following street and sidewalk design requirements are applicable to all properties within Exhibit A (North 4th Rank III Corridor Plan Area).

Street & Sidewalk Design

1. New development shall ensure sufficient right-of-way is provided from the midpoint of the roadway to the property line of the subject site per the cross-sections in Appendix 1 to this exhibit.
2. New development shall comply with all sidewalk and sidewalk buffer requirements within the appendix.

Regulations provided below are applicable to all properties zoned MX-L or higher within Exhibit A (North 4th Rank III Corridor Plan Area). The following requirements supplement those that exist in the Integrated Development Ordinance. In the event of a conflict, these interim design requirements shall prevail.

Building Mass & Scale

1. The maximum building height for properties zoned MX-M is 55 feet. No height bonuses allowed by the IDO shall be granted.
2. Any portion of a building over 30 feet shall incorporate a minimum stepback of 6 feet from the front façade facing a public street.
3. Front setbacks shall be a minimum of 10 feet and a maximum of 15 feet.

Building Articulation

1. Building design for any parcels zoned MX-M shall comply with section 5-11(E)(2) of the IDO with the following revisions:
 - a. 5-11(E)(2)(a)(2) Each façade facing a public street shall incorporate at least 3 of the following features along at least 30 percent of the horizontal length of the façade. The features listed below shall be distributed along the façade so that each horizontal façade length of 30 linear feet contains at least 1 of the following features:
 - a. Ground-floor clear, transparent display windows, with the lower edge of window sills no higher than 30 inches above the finished floor.
 - b. Windows on upper floors.
 - c. Primary pedestrian entrances.
 - d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
 - e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.

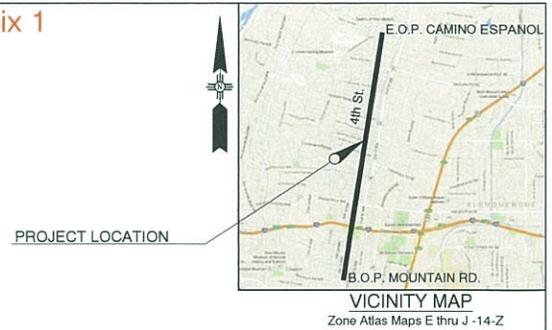
- f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.
- b. 5-11(E)(2)(a)(3) Each street-facing façade longer than 50 feet shall incorporate at least 2 of the following additional features:
 - a. Wall plane projections or recesses of at least 1 foot in depth, occurring at least every 100 linear feet and extending at least 25 percent of the length of the façade.
 - b. A change in color, texture, or material occurring every 50 linear feet and extending at least 20 percent of the length of the façade.
 - c. An offset, reveal, pilaster, or projecting element, no less than 2 feet in width and projecting from the façade by at least 6 inches and repeating at minimum intervals of 30 feet.
 - d. Three-dimensional cornice or base treatments.
 - e. A projecting gable, hip feature, or change in parapet height for every 100 linear feet of the façade.
 - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.
- c. 5-11(E)(2)(b)(3) Except in Urban Center areas, street-facing façades shall change a minimum of every 30 linear feet in height, setback, or material.

CITY OF ALBUQUERQUE 15% CONSTRUCTION PLANS

NORTH FOURTH STREET REDEVELOPMENT STUDY

MOUNTAIN RD. TO CAMINO ESPANOL
COA Project 5878.91

Appendix 1



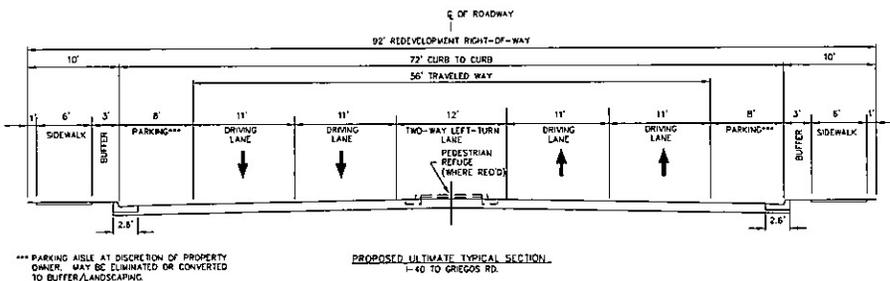
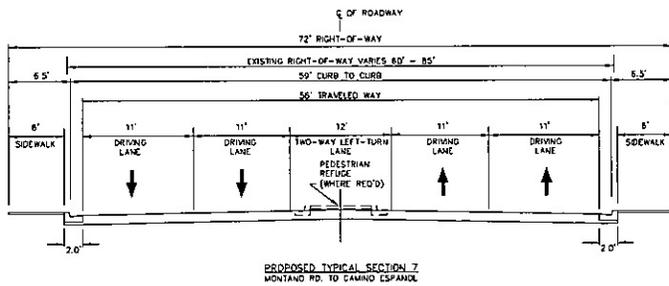
SHEET NO.	DESCRIPTION	GROUP
1	TITLE SHEET	GENERAL INFORMATION
2 TO 3	EXISTING TYPICAL SECTIONS	
4 TO 7	PROPOSED TYPICAL SECTIONS	TYPICAL SECTIONS
8	PLAN SHEET - B.O.P. TO STA. 7+00.00	ROADWAY PLANS
9	PLAN SHEET - STA. 7+00.00 TO STA. 17+00.00	
10	PLAN SHEET - STA. 17+00.00 TO STA. 27+00.00	
11	PLAN SHEET - STA. 27+00.00 TO STA. 37+00.00	
12	PLAN SHEET - STA. 37+00.00 TO STA. 47+00.00	
13	PLAN SHEET - STA. 47+00.00 TO STA. 57+00.00	
14	PLAN SHEET - STA. 57+00.00 TO STA. 67+00.00	
15	PLAN SHEET - STA. 67+00.00 TO STA. 77+00.00	
16	PLAN SHEET - STA. 77+00.00 TO STA. 87+00.00	
17	PLAN SHEET - STA. 87+00.00 TO STA. 97+00.00	
18	PLAN SHEET - STA. 97+00.00 TO STA. 107+00.00	
19	PLAN SHEET - STA. 107+00.00 TO STA. 117+00.00	
20	PLAN SHEET - STA. 117+00.00 TO STA. 127+00.00	
21	PLAN SHEET - STA. 127+00.00 TO STA. 137+00.00	
22	PLAN SHEET - STA. 137+00.00 TO STA. 147+00.00	
23	PLAN SHEET - STA. 147+00.00 TO STA. 157+00.00	
24	PLAN SHEET - STA. 157+00.00 TO STA. 167+00.00	
25	PLAN SHEET - STA. 167+00.00 TO STA. 177+00.00	
26	PLAN SHEET - STA. 177+00.00 TO STA. 187+00.00	
27	PLAN SHEET - STA. 187+00.00 TO STA. 197+00.00	
28	PLAN SHEET - STA. 197+00.00 TO E.O.P.	
TOTAL = 28		

**PRELIMINARY
NOT FOR CONSTRUCTION
SUBMITTED NOVEMBER 26, 2014**

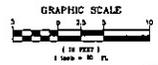


**PARSONS
BRINCKERHOFF**

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE *****			
DRC, Chairman						APPROVED FOR CONSTRUCTION			
Transportation									
ABCWIA									
Hydrology									
Plans									
Constr. Coord.									
Traffic Eng.						City Engineer Date			
Traffic									
AMAFCA									
PROJECT NO.		5878.91				SHEET 1 of 28			



*** PARKING ASILE AT DISCRETION OF PROPERTY OWNER. MAY BE ELIMINATED OR CONVERTED TO BUFFER/LANDSCAPING.



PARSONS BRINCKERHOFF

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
TRANSPORTATION DIVISION
NORTH FOURTH STREET REDEVELOPMENT STUDY
MOUNTAIN RD. TO CAMINO ESPANOL
PROPOSED TYPICAL SECTIONS

DESIGNED BY	DATE	CHECKED BY	DATE

City Project No. CDA 5878.91 Zone Map No. (Sheet 5 of 28)

AS-BUILT INFORMATION	
DATE	
BY	

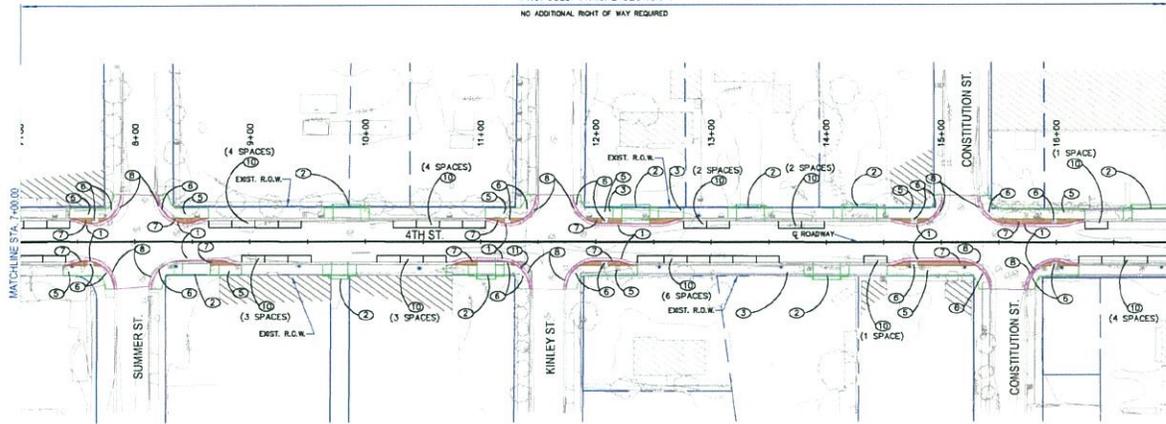
BENCH MARKS	

SURVEY INFORMATION	
NO.	
DATE	
BY	

ENGINEER'S SEAL	

PRELIMINARY
NOT FOR CONSTRUCTION

PROPOSED TYPICAL SECTION 1
NO ADDITIONAL RIGHT OF WAY REQUIRED



KEYED NOTES:

- ① NEW STANDARD CURB & GUTTER, SEE COA STD. DWG. 2415A.
- ② NEW ADA COMPLIANT DRIVEPAD, SEE DETAIL SHIT. 7
- ③ REMOVE EXISTING DRIVEPAD
- ④ NEW 8" WIDE CONCRETE SIDEWALK SEE COA STD. DWG. 2430
- ⑤ NEW ADA COMPLIANT CURB RAMP SEE COA STD. DWG. 2441
- ⑥ NEW LANDSCAPE AREA
- ⑦ SAWCUT EXISTING ASPHALT
- ⑧ NEW FULL DEPTH ASPHALT SEE COA STD. DWG. 2407
- ⑨ PARALLEL PARKING SPACE 8' WIDE X 20' LONG
- ⑩ RELOCATE EXISTING FPM POLE

LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK/DRIVEPAD
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED BUFFER



PARSONS BRINCKERHOFF

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT TRANSPORTATION DIVISION NORTH FOURTH STREET MOUNTAIN ROAD TO CAMINO ESPANOL 15% ROADWAY PLANS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
DESIGNED BY DOS	DATE 11/24/14
DRAWN BY DOS	DATE 11/24/14
CHECKED BY ZAI	DATE 11/25/14
NO. DATE	BY
REMARKS	DESIGN
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

AS-BUILT INFORMATION	
DATE	BY

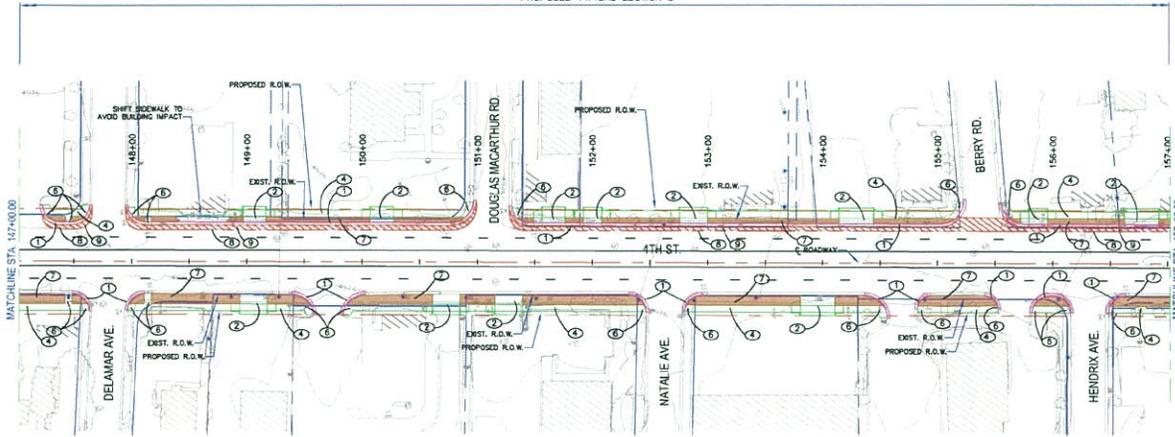
BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD BOOKS	DATE
NO.	

**PRELIMINARY
NOT FOR CONSTRUCTION**

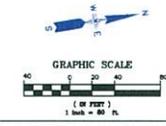
ENGINEER'S SEAL	DATE

PROPOSED TYPICAL SECTION 6



- KEYED NOTES:**
- ① NEW STANDARD CURB & GUTTER, SEE COA STD. DWG. 2415A.
 - ② NEW ADA COMPLIANT DRIVEPAD, SEE DETAIL SHD. 7
 - ③ REMOVE EXISTING DRIVEPAD
 - ④ NEW 6" WIDE CONCRETE SIDEWALK SEE COA STD. DWG. 2430
 - ⑤ NEW 8" WIDE CONCRETE SIDEWALK SEE COA STD. DWG. 2430
 - ⑥ NEW ADA COMPLIANT CURB RAMP SEE COA STD. DWG. 2441
 - ⑦ NEW LANDSCAPE AREA
 - ⑧ SANICUT EXISTING ASPHALT
 - ⑨ NEW FULL DEPTH ASPHALT SEE COA STD. DWG. 2407
 - ⑩ PARALLEL PARKING SPACE 6' WIDE X 20' LONG
 - ⑪ RELOCATE EXISTING PNM POLE

- LEGEND:**
- PROPOSED CURB & GUTTER
 - PROPOSED SIDEWALK/DRIVEPAD
 - PROPOSED ASPHALT
 - PROPOSED BUFFER



PARSONS BRINCKERHOFF

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 TRANSPORTATION DIVISION
 NORTH FOURTH STREET
 MOUNTAIN ROAD TO CAMINO ESPANOL
 15% ROADWAY PLANS

DESIGNED BY	DATE	BY	DATE
CHKD BY	DATE	DESIGN	DATE
CHECKED BY	DATE		DATE

City Project No. COA 5878.91 Zone Map No. Sheet 23 of 28

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-250 Date: 09.23.2019 Time: 2:30 pm

Address: N. 4th Corridor

AGENCY REPRESENTATIVES AT MEETING:

Planning: Chimp

Code Enforcement: Carl

Fire Marshall: _____

Transportation: Megan

Other: _____

**PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!
THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..**

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: N 4th Street - CPO

SITE INFORMATION:

Zone: _____ Size: _____

Use: _____ Overlay Zone: _____

Comp Plan Area Of: _____ Comp Plan Corridor: _____

Comp Plan Center: _____ MPOS or Sensitive Lands: _____

Parking: _____ MR Area: _____

Landscaping: _____ Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: _____

*Neighborhood Organization/s: _____

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS:

Type of Action: Zone Map Amendment Process - EPC - Council

Review and Approval Body: _____ Is this PRT a requirement? yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 19-260 Date: 09-03-2019 Time: 2:30 pm
Address: N. 4th Corridor

NOTES:

6.7.D.1.a ⇒ 6.7.G

(not just Amendment to IDO text) for new CPD
must be Zone Map Amendment Council 6.7.G

Notification Requirements apply per Table 6.1.1
1,000's of notices

STAFF INFORMATION

Long Range Comments for December 12, 2019 EPC Hearing

PR-2019-003030/RZ-2019-00067

Address: Portions of 2nd, 3rd, and 4th Street, North of Mountain Rd. to city limits (formerly North 4th Street Corridor Plan boundary)

IDO Zoning: Various

Request: Amendment to IDO Text/Zone Map

Request: Create a new Character Protection Overlay

The Comprehensive Plan establishes and designates Main Street corridors that are more urban and walkable than other areas of Albuquerque. The Integrated Development Ordinance (IDO) implements this policy by allowing taller buildings by right, providing opportunities for building height bonuses in exchange for development that provides a public benefit, allowing zero-foot setbacks at the front property line, and requiring different building design standards for façades in these areas.

The proposed Character Protection Overlay (CPO) zone would modify citywide standards for building mass & scale, setbacks, and building design on 4th Street. Given that this area includes a Main Street, an Activity Center (Guadalupe Plaza), and Major Transit corridors, and that a majority of this area is an Area of Change, the proposed CPO seems to be out of alignment with the applicable goals and policies of the Comp Plan.

One of the considerations in creating a new CPO is whether the standards are addressing a unique character that warrants an individual overlay zone or whether the same conditions might exist elsewhere in the City and need the same regulatory intervention and benefit from the same regulatory approach to improve or protect the existing or desired condition. The other designated Main Street corridors include Broadway, San Pedro, Bridge, and Central. Citywide regulations, even those that apply only in certain areas such as Main Streets, are implemented and enforced more easily and consistently than overlay zones or regulations for small areas. In adopting new regulations, not only must the vision of the Comp Plan be furthered, the City's ability to enforce them should be a primary consideration. If the regulations proposed for 4th Street would actually benefit other Main Street areas, City Council should first consider whether to adopt these rules to apply in all Main Street areas.

The IDO sets out criteria for the creation of new CPOs in Section 3-4(A); the most applicable is the first criteria "Have recognized neighborhood identity and character." The proposed regulations are intended to create a different character than what currently exists and different from what was envisioned and allowed by the prior Corridor Plan. In light of this, Long Range recommends that the proposed regulations be adopted citywide for Main Street areas except for the proposed massing regulations, which could be adopted as small area regulations in Section 5-11 Building Design.

The proposed CPO reduces building heights and increases setbacks along the Corridor. The proposed changes are intended to provide a less jarring transition between the existing low-slung buildings on the

corridor and the taller buildings that were first intended and allowed through the North 4th Street Corridor Plan. These proposed CPO regulations may hinder the ability of development to fulfill the policies related to desired growth and development areas. By imposing limitations on building height and removing any height bonuses, the Comp Plan's strategy of directing growth where it is most appropriate would be undermined, but perhaps in service of a different conception of what a Main Street area should be. One consequence of this change in strategy may be to increase development pressures on nearby existing residential neighborhoods by limiting the amount of growth that can be accommodated in the designated Corridor area.

If the City wants Main Street areas to have lower building heights than allowed by the IDO, it might make more sense to replace Main Street corridors with Major Transit corridors as the appropriate areas for receiving taller building heights and optional height bonuses for workforce housing and structured parking. Major Transit corridors are aligned with locations that the City plans to improve transit service, and as such, may have an even stronger connection to allowing taller buildings and workforce housing incentives. Long Range recommends considering whether the reduced building heights in this Main Street area should be applied to all Main Street areas as a citywide approach.

The increased setbacks recognize that the existing sidewalks on 4th Street and the constrained right-of-way pose challenges to the intended pedestrian-oriented regulations associated with Main Streets in the IDO. The proposed 10-foot setback would allow for additional pedestrian amenities and the required street trees to be provided in front of the building. However, new development is typically required to dedicate any additional right-of-way needed for the future road cross sections, so these elements could and should be accommodated in the public right-of-way, making this proposed change unnecessary if it is only meant to rectify existing conditions. If the same conditions exist in other Main Street areas, and the City wants to address those conditions with a consistent approach, then the proposed regulations should be added to Section 5-1 to apply to all mixed-use zones in Center and Corridor areas that allow a zero-foot setback where the sidewalk is less than 10 feet wide.

Related to this proposal is the updated Development Process Manual (DPM) that incorporates recommended street cross-sections and designs from adopted Sector Development Plans that were rescinded by the IDO as the basis for future design for any street enhancements in those areas.

In the IDO Annual Update Staff Report dated October 10, 2019, the Planning Department suggested applying the building design elements proposed for 4th Street citywide in appropriate Center and Corridor areas, thereby making some of the proposed standards unique to a new North 4th Street CPO unnecessary.

Similarly, Long Range recommends considering whether the proposed setbacks, limits on building height bonuses, or massing regulations should be applied all Main Street areas as a citywide approach.

If any of the proposed regulations only apply to 4th Street, and Council agrees that they are appropriate to enhance and protect 4th Street corridor, then it makes sense to adopt them either as small area regulations in the relevant IDO section or, if most or all of the proposed regulations are to be adopted, as a CPO zone.

Recommended Findings

1. The proposed CPO is inconsistent with the implementation of several Comp Plan policies. The IDO could be made more consistent with adopted policies and vision by adopting the following proposed regulations amending the IDO text through conditions of approval in the 2019 IDO annual update.
 - a. Revise Table 5-1-2 and 5-1-3 for building heights and height bonuses from “UC-MS-PT” to apply to “UC-PT and MT in Areas of Change.” [This would implement the regulations proposed as Subsection 3-9(E)(3)(a) & (c).]
 - b. Revise Table 5-1-2 and 5-1-3 for setbacks from “UC-MS-PT” to apply to “UC-PT-MS and MT in Areas of Change” and add a new note that says, “If the sidewalk abutting the front lot line is less than 10 feet wide, the minimum front setback in UC-MS-PT-MT areas is 10 ft.” [This would implement the regulations proposed as Subsection 3-9(E)(4).]
 - c. Revise Subsection 5-11(E)(2) for building design regulations proposed in this CPO so that they apply citywide to designated Main Street corridors. [This would implement the regulations proposed as Subsection 3-9(E)(5).]
2. The regulations proposed for massing along 4th Street seems related to desired character in this area. Those regulations could be adopted into the IDO as a zone map amendment for a small area without creating a CPO.
 - a. Revise Subsection 5-11(E)(2)(b) for building massing regulations proposed in this CPO as a new small area regulation that applies within the North 4th Street area. Provide graphic illustrations of example façades and massing to communicate the regulations. [This would implement the regulations proposed as Subsection 3-9(E)(3)(b) & (d).]
3. The 2019 IDO annual update proposes recommended conditions of approval to amend building design regulations in Subsection 5-11(E)(2) to achieve the intent of the proposed CPO articulation standards proposed as Subsection 3-9(E)(5).
4. The 2019 IDO annual update proposes a recommended condition of approval to require a minimum setback of 10 feet in UC-MS-PT areas that would otherwise allow a 0-foot setback in Table 5-1-2 if the sidewalk is less than 10 feet wide.
5. The 2019 IDO annual update proposes a recommended condition of approval that would require DRB review/decision for projects that would otherwise be eligible to be decided by staff as a Site Plan – Administrative if an Infrastructure Improvement Agreement is needed to comply with IDO or DPM standards. This change is intended to close a procedural gap in the process that would review and require sidewalks where they are needed in projects that would otherwise be reviewed/decided administratively.
6. The Development Process Manual Executive Committee revised the 2019 Draft Development Process Manual to incorporate recommended street cross-sections and designs from adopted Sector Development Plans that were rescinded by the IDO as the basis for future design for any street enhancement. The EPC recommends that the administration adopt the revised Development Process Manual so that these street cross-sections and designs would guide future City projects. [This would implement the regulations proposed as Subsection 3-9(E)(2).]

NOTIFICATION &
NEIGHBORHOOD INFORMATION

From: Schultz, Shanna M.
To: aubconieff@msn.com; bhaskins1@aol.com; sylvan.cs@gmail.com; wood_cpa@msn.com; chrisb901@comcast.net; thestovallgroup@gmail.com; don.dudley@dondudleydesign.com; jeremvewilcox@gmail.com; don.newman@mac.com; kjboutz@gmail.com; nearnorthvalleyna@gmail.com; jsabatini423@gmail.com; grumpveh46@comcast.net; christinebnvdz@aol.com; peggyngorton@yahoo.com; newmexmba@aol.com; jpseaborn@gmail.com; casand74@msn.com; aberdaber@comcast.net; bills@dpsdesign.org; cmexal@gmail.com; doreenmcknightm@gmail.com
Subject: Neighborhood Notification - Request to the Environmental Planning Commission for a Zone Map Amendment - Council
Date: Wednesday, October 30, 2019 10:34:00 AM
Attachments: [06a-North 4th Text EPC .pdf](#)
[North 4th Map.pdf](#)

Good morning Neighborhood Association Representative,

This message is to notify you that the Environmental Planning Commission (EPC) will be holding a hearing on **December 12th, 2019 at 8:30 a.m.** in the **Basement Hearing Room at Plaza del Sol (600 2nd Street NW)** to consider a new Character Protection Overlay for portions of 2nd, 3rd, and 4th street.

Generally, the goal of the CPO is to enhance articulation and design standards for development along and near 4th street while maintaining a sense of character for the area. This CPO is proposed to limit building heights in certain zones, implement a building setback requirement, add minimum setbacks, and increase building design standards. I have attached to this e-mail:

1. A map of the proposed boundary of the new CPO.
2. The proposed regulations for the CPO.

The hearing begins at **8:30 a.m.** and the EPC will likely be considering a number of items on their agenda in addition to this proposed CPO. Public comment will be taken on this item. The EPC is only a recommending body to the City Council on this action - after the EPC has made their recommendation, the request will be considered by the Council's Land Use, Planning, and Zoning Committee before being heard by the full City Council for final action.

Like many zoning actions, this process requires special procedures that limit the City Councilors abilities to speak directly to constituents about this proposal. Please direct any questions, comments, or inquiries to Council staff so that it can be made part of the official record and made available to the Councilors and the general public.

Send written comments for the record to the Environmental Planning Commission via:
Email: Chair Dan Serrano
c/o Planning Department
rbrito@cabq.gov

Regular mail: Chair Dan Serrano
c/o Planning Department
600 Second Street NW, Third Floor
Albuquerque NM 87102

For full consideration by Planning staff please send comments by **9 a.m. on Friday, December 2nd**. To be included in the packet for EPC consideration, send comments by 9

a.m. on Tuesday, December 10th.

Thank you,
Shann

Shanna Schultz, MPA, MCRP
Council Senior Planner
Albuquerque City Council
505.768.3185
smschultz@cabq.gov

From: [Shanna Schultz](mailto:Shanna.Schultz@cabq.gov)
 To: Public Notice Inquiry, North 4th CPO, EPC
 Subject: Monday, October 28, 2019 12:17:53 PM
 Date: North 4th CPO, EPC
 Attachments: Public Notice Inquiry, North 4th CPO, EPC.docx
 EPC2019.000
 EPC2019.000
 EPC2019.000

Shanna,

In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Neighborhood Associations - Main Contact	First Name	Last Name	Email	Second Email	Address Line 1	City	State	Zip	Home or Work Phone	Mobile Phone
Gavilan Addition NA	Conne	Romero	aubconne@msn.com		444 Gylvan Plaza NW	Albuquerque	NM	87107	5052357761	
Gavilan Addition NA	Bret	Haskins	bhaskins1@aol.com		5912 Padine Street NW	Albuquerque	NM	87107	5058773893	
Greater Gardner & Monkbridge NA	Chris	Sylvan	syvan.cs@gmail.com		226 Noble Avenue NW	Albuquerque	NM	87107		5059678767
Greater Gardner & Monkbridge NA	David	Wood	wood_cpa@msn.com		158 Pleasant Avenue NW	Albuquerque	NM	87107	6053444674	5052212626
Lee Acres NA	Christine	Burrows	chrnb901@comcast.net		801 Solar Road NW	Albuquerque	NM	87107		5056520660
Lee Acres NA	Anna	Stovall	twastavallgroup@gmail.com		832 Solar Road NW	Albuquerque	NM	87107		5052641748
Los Alamos Addition NA	Don	Oudley	don.oudley@donoudleydesign.com		302 Sandia Road NW	Albuquerque	NM	87107		5052806280
Los Alamos Addition NA	Jeremy	Wilcox	jeremywilcox@gmail.com		305 Sandia Road NW	Albuquerque	NM	87107		5056997898
Los Poblanos NA	Don	Newman	don.newman@mac.com		5723 Guadalupe Trail NW	Albuquerque	NM	87107	5053443900	
Los Poblanos NA	Karon	Boutz	kboutz@gmail.com		1007 Santa Road NW	Albuquerque	NM	87107	5053456002	
Near North Valley NA	Mark	Tully	nearnorthvalleyna@gmail.com	mark.tully@gmail.com	PO Box 6953	Albuquerque	NM	87107	5053857663	
Near North Valley NA	Joe	Sabatini	jsabatini423@gmail.com		3514 6th Street NW	Albuquerque	NM	87107	5053449212	5058507455
North Edith Commercial Corridor Association	Evelyn	Harris	grumpyeh46@comcast.net		10401 Edith Boulevard NE	Albuquerque	NM	87113		5053793693
North Edith Commercial Corridor Association	Christine	Benaidez	christinebndz@aol.com		10417 Edith Boulevard NE	Albuquerque	NM	87113	5056973340	
North Valley Coalition	Peggy	Norton	peggyorton@yahoo.com		P.O. Box 70232	Albuquerque	NM	87197	5053459567	5058509293
North Valley Coalition	Doyle	Kimbreugh	nawmexmba@aol.com		2327 Campbell Road NW	Albuquerque	NM	87104	5053441364	5052460938
Spanish Walk NonProfit Corporation	Jeri	Paul-Seaborn	jseaborn@gmail.com		610 Camino Espanol NW	Albuquerque	NM	87107	5053448170	5053214624
Spanish Walk NonProfit Corporation	Sandra	Nunn	catand74@msn.com		602 Camino Espanol NW	Albuquerque	NM	87107	5053410961	
Stromhurst Improvement Association Incorporated	Mark	Linea	aberdaber@comcast.net		3010 Amo Street NE	Albuquerque	NM	87107		5052500497
Stromhurst Improvement Association Incorporated	William	Sabatini	bills@dpdesign.org		2904 Amo Street NE	Albuquerque	NM	87107	5202052420	5202052420
Wells Park NA	Catherine	Mexal	cmexal@gmail.com		1404 Los Tomasas NW	Albuquerque	NM	87102		
Wells Park NA	Doreen	McKnight	doreenmcknightm@gmail.com		1426 7th Street NW	Albuquerque	NM	87102	5056152937	

IDO - Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO - Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirements-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO-100-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
 Neighborhood Liaison
 Office of Neighborhood Coordination
 City of Albuquerque - City Council
 (505) 768-3332

Website: www.cabq.gov/neighborhood



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From: webmaster@cabq.gov@mailgun.org [mailto:webmaster@cabq.gov@mailgun.org] On Behalf Of webmaster@cabq.gov
 Sent: Monday, October 28, 2019 9:48 AM
 To: Schultz, Shanna M. <mschultz@cabq.gov>
 Cc: Office of Neighborhood Coordination <onc@cabq.gov>
 Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For
 Environmental Planning Commission
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below
 Contact Name
 Shanna Schultz
 Telephone Number
 505-768-3185
 Email Address
 sms.schultz@cabq.gov
 Company Name
 City Council
 Company Address
 City
 State
 ZIP
 Legal description of the subject site for this project
 See Map - Bounded area on portions of 2nd, 3rd, and 4th streets between Mountain Rd and the City Limits
 Physical address of subject site:
 Subject site cross streets:
 Multiple - See Map
 Other subject site identifiers:
 This site is located on the following zone atlas page:
 See map



CITY OF ALBUQUERQUE

City Council

P.O. Box 1293
Albuquerque, NM 87103
Tel: (505) 768-3100
Fax: (505) 768-3227
www.cabq.gov/council

President Klarissa J. Peña
District 3

Vice President Cynthia D. Borrego
District 5

Stephanie M. Yara
Council Director

Ken Sanchez
District 1

Isaac Benton
District 2

Brad Winter
District 4

Patrick Davis
District 6

Diane G. Gibson
District 7

Trudy E. Jones
District 8

Don Harris
District 9

October 29th, 2019

Dear Property Owner,

This letter is to notify you that the Environmental Planning Commission (EPC) will be holding a hearing on **December 12th, 2019 at 8:30 a.m.** in the **Basement Hearing Room at Plaza del Sol (600 2nd Street NW)** to consider a new Character Protection Overlay for portions of 2nd, 3rd, and 4th street.

Generally, the goal of the CPO is to enhance articulation and design standards for development along and near 4th street while maintaining a sense of character for the area. This CPO is proposed to limit building heights in certain zones, implement a building setback requirement, add minimum setbacks, and increase building design standards. I have attached to this letter:

1. A map of the proposed boundary of the new CPO (on reverse side of this letter).
2. The proposed regulations for the CPO.

The hearing begins at **8:30 a.m.** and the EPC will likely be considering a number of items on their agenda in addition to this proposed CPO. Public comment will be taken on this item. The EPC is only a recommending body to the City Council on this action - after the EPC has made their recommendation, the request will be considered by the Council's Land Use, Planning, and Zoning Committee before being heard by the full City Council for final action.

Like many zoning actions, this process requires special procedures that limit the City Councilors abilities to speak directly to constituents about this proposal. Please direct any questions, comments, or inquiries to Council staff so that it can be made part of the official record and made available to the Councilors and the general public.

Send written comments for the record to the Environmental Planning Commission via:

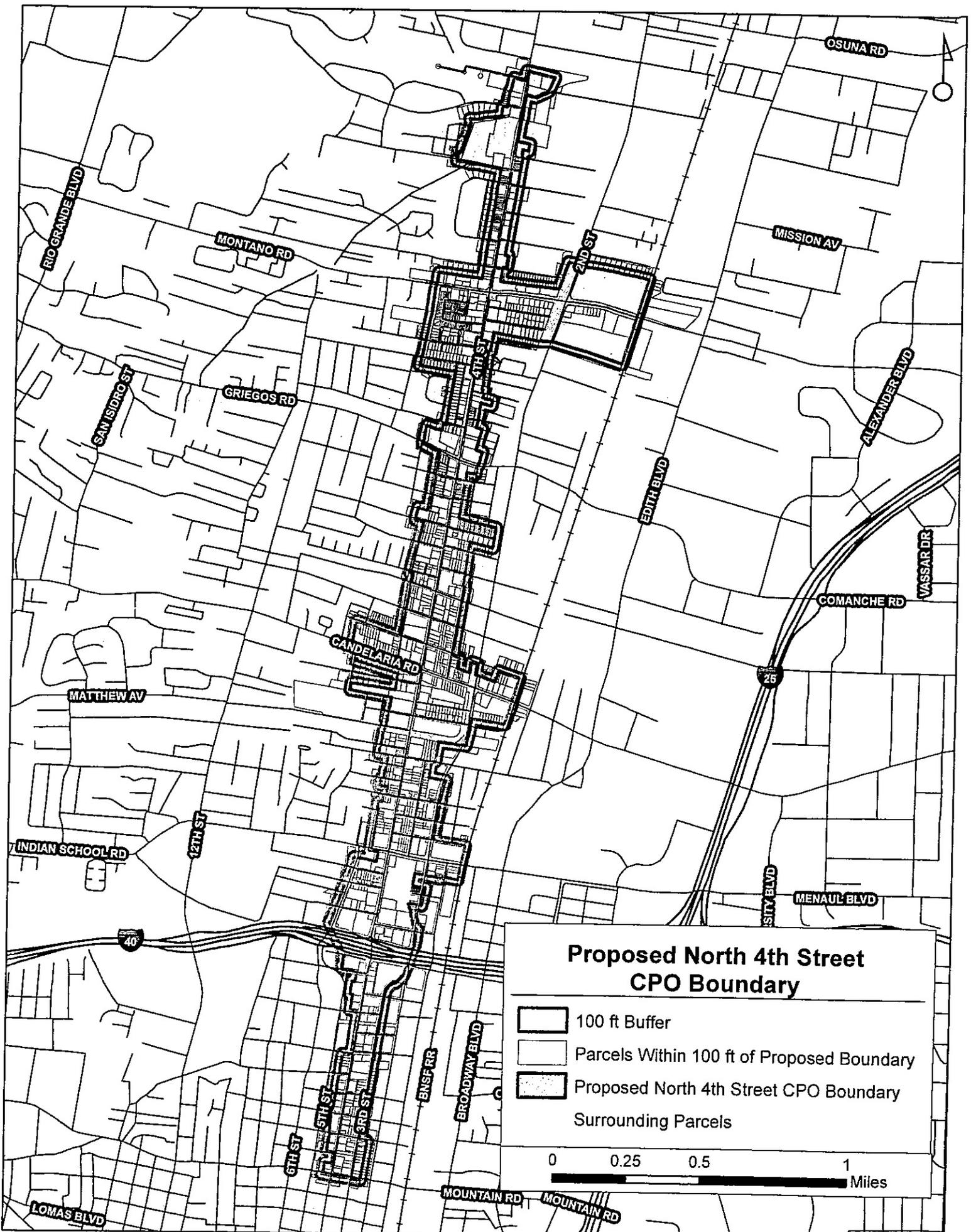
Email: Chair Dan Serrano
c/o Planning Department
rbrito@cabq.gov

Regular mail: Chair Dan Serrano
c/o Planning Department
600 Second Street NW, Third Floor
Albuquerque NM 87102

For full consideration by Planning staff please send comments by **9 a.m. on Friday, December 2nd**. To be included in the packet for EPC consideration, send comments by **9 a.m. on Tuesday, December 10th**.

Thank you,

Shanna Schultz, MPA, MCRP | Council Senior Planner
Albuquerque City Council
505.768.3185
smschultz@cabq.gov



Benton Miller

MAIL ROUTING SLIP

Department: Council Date: 10-30-19
Division: 110 Activity: # 170000

ALL MAIL MUST HAVE A RETURN ADDRESS W/ DEPARTMENT NAME

NUMBER OF PIECES*	CLASS/PRICE*
1306	First

Please sort mail according to size and flag all International mail. Keep all stamped mail and interoffice mail separate. Face all envelopes in the same direction. If the mail is to be sealed please overlap the flaps. If you have questions or need assistance in preparing mail please call the CITY MAIL ROOM AT 768-2647 *Mailroom use only

**CITY OF ALBUQUERQUE
CITY COUNCIL**

INTEROFFICE MEMORANDUM

TO: Russell Brito, Urban Design & Development, Division Manager
FROM: Shanna Schultz, Council Senior Planner
SUBJECT: Required Mailed Notice for EPC Application to Create a New
Character Protection Overlay Zone
DATE: October 30th, 2019

Russell Brito
Urban Design & Development, Division Manager
Planning Department
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Mr. Brito,

Please accept this letter as certification of Mailed Notice as required by the IDO.

I, Shanna Schultz, do hereby certify and attest that I personally delivered 1,306 letters to the City of Albuquerque's mail room for first class stamping and delivery to the U.S. Post Office on October 30th, 2019. The letters were address to applicable Neighborhood Association representatives and property owners for a Zone Map Amendment – Council per the procedures in the Integrated Development Ordinance as provided by the Office of Neighborhood Coordination and the AGIS Department.

Kind regards,

Shanna Schultz, MPA, MCRP
Council Senior Planner
Albuquerque City Council
P: 505.768.3161 E: smschultz@cabq.gov

Received by *Larry O Smith* Date 10-30-19
DFAS/Purchasing/Office Services (mail room)

REGENTS OF UNM C/O REAL ESTATE
DEPT
1 UNIVERSITY OF NEW MEXICO MSC06
3595

EPPIES MOTORCYCLE SERVICE LLC
10032 GUADALUPE TRL NW
ALBUQUERQUE NM 87107

CHIORDI TITO J ETAL
10103 LA SALLE PL NW
ALBUQUERQUE NM 87114

ROMERO RONALD & ALBERTILLA
102 ROEHL RD NW
ALBUQUERQUE NM 87107

COLLINS LYNN & FANTOZZI VICTOR P
10205 SAN GABRIEL RD NE
ALBUQUERQUE NM 87111

TORREZ PRESILIANO A
10301 CORONADO AVE NE
ALBUQUERQUE NM 87122-3001

G & R DEVELOPMENT LLC C/O
WALGREEN CO MS #1435
104 WILMOT RD
DEERFIELD IL 60015

SPECTER LIONEL & BARBARA G &
GREENFIELD JUDITH SPECTER & JONES J
WILBUR (ESTATE
10419 SANTA SUSANA RD NE

CASAS PHIL R & CATHERINE A
10513 OLYMPIC PL NW
ALBUQUERQUE NM 87114

PASTIAN HARRY G & MIRIAM H
10629 SIERRA OSCURA NE
ALBUQUERQUE NM 87111

TROPICANA INVESTMENTS LLC
10 LA POBLANA RD NW
ALBUQUERQUE NM 87107

MKHITARIAN HAKOP
1008 5TH ST NW
ALBUQUERQUE NM 87102

SMITHS FOODKING PROPERTIES INC
C/O NICKEL & CO LLC
1014 VINE ST FLOOR 7TH
CINCINNATI OH 45202-1141

VIGIL CHRISTOPHER
102 TODOS JUNTOS RD
CORRALES NM 87048-8410

GUEVARA EUCARIO R & CLORAIDA T
1021 SOLAR RD NW
ALBUQUERQUE NM 87107-5751

KOZLOWSKI CRISELDA C/O KOZLOWSKI
DONALD C
1033 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1135

SEDILLO FRANK A
10400 WILSHIRE AVE NE
ALBUQUERQUE NM 87122

KHIMJI HASSAN J TRUSTEE KHIMJI RVT
TRUST B
10500 PALOMAS AVE NE
ALBUQUERQUE NM 87122-2514

FRIEDRICHSEN LUISA OR APODACA
LUCILLE
106 HACIENDA RD NW
ALBUQUERQUE NM 87114

MBM ENTERPRISES LLC
107 CANDELARIA RD NW
ALBUQUERQUE NM 87107

DARK HORSE INVESTMENTS INC
10000 WILSHIRE AVE NE
ALBUQUERQUE NM 87122-3018

KALKA KRISTYNA
101 VERANDA RD NW SUITE A
ALBUQUERQUE NM 87107-2215

PEREA RUTH OR VIGIL DONALD
102 LOS RANCHOS RD NE
ALBUQUERQUE NM 87113-1218

CARBONE MARISSA J
10200 ARROYO BEND DR NW
ALBUQUERQUE NM 87114-5819

SANDOVAL RAPHAEL E & SYLVIA
103 GRIEGOS RD NW
ALBUQUERQUE NM 87107

FIRST CALIFORNIA INVESTMENTS
104 TIBURON BLVD SUITE 100
MILL VALLEY CA 94941

LOPEZ SCOTT & LEAH
10408 WOODQUAIL DR NW
ALBUQUERQUE NM 87114-1345

JACOBS MICHAEL & MERRY
10510 CITY LIGHTS DR NE
ALBUQUERQUE NM 87111-7537

DE PALMA DEREK & VITE CARA
10601 APACHE AVE NE
ALBUQUERQUE NM 87112-3023

TRINITY GROUP FOURTH STREET LLC
107 CORNELL DR SE
ALBUQUERQUE NM 87106-3508

CHAVEZ MARK EDWIN & MARY
CHRISTINA & MARCOS DOMINIC
107 PLACITAS RD NE
ALBUQUERQUE NM 87107-5032

SALAZAR DOUGLAS K & BARBARA E
10820 BARBARA ELLEN AVE NE
ALBUQUERQUE NM 87111-3916

RIVERA JOHN & ELLEN
1090 15TH ST SE
RIO RANCHO NM 87124-3657

DST ENTERPRISES INC
10909 SANTA MONICA DR NE
ALBUQUERQUE NM 87122

ESQUIRE ACQUISITIONS LLC
1100 4TH ST NW
ALBUQUERQUE NM 87102-1416

1116 4TH ST LLC
1101 3RD ST NW
ALBUQUERQUE NM 87102-1401

HERRERA RAFAEL
1109 VILLA RD SE
RIO RANCHO NM 87124-3577

DINELLI ROSEMARY
11104 WOODLAND AVE NE
ALBUQUERQUE NM 87112

1116 4TH ST LLC
1113 3RD ST NW
ALBUQUERQUE NM 87102-1401

ESQUIBEL IDA JEAN & ROYBAL CARLOS
A
112 CALLE DEL FUEGO NE
ALBUQUERQUE NM 87113-2331

KLISO ENTERPRISES LLC
10728 SHOOTING STAR NW
ALBUQUERQUE NM 87114-3787

LANGFORD KEITH W
109 BELLROSE AVE NW
ALBUQUERQUE NM 87107-4014

ARCHULETA GORDON & ROSEMARIE J
10900 GLENDALE AVE NE
ALBUQUERQUE NM 87122

ZAMORA FRANK & JANE & FELIX
DANIEL
10920 CANDELARIA RD NE
ALBUQUERQUE NM 87112-1729

PINO CHRIS .
1100 MARQUETTE PL NE
ALBUQUERQUE NM 87108-4703

CANO RAUL R & ELSA
1107 9TH ST SW
ALBUQUERQUE NM 87102

BERRY JAMES A
111 HOLLY LN
BRAXTON MS 39044-9428

STEINBERG SCOTT & ROBIN
11110 SAN BERNARDINO DR NE
ALBUQUERQUE NM 87122-2352

ST MARTINS HOSPITALITY
1115 3RD ST NW
ALBUQUERQUE NM 87102

HOPEWORKS
1120 2ND ST NW
ALBUQUERQUE NM 87102-2218

WEATHERBEE SHIRLEY
1075 CALLE DEL ORO
BOSQUE FARMS NM 87068-9792

GARCIA ERIK
109 VERANDA RD NW
ALBUQUERQUE NM 87107

WILSON JERRY D & DEBBIE K
10909 EAGLE ROCK AVE NE
ALBUQUERQUE NM 87122-4045

VAZQUEZ JOSE
10932 HABANERO WAY SE
ALBUQUERQUE NM 87123-4274

MCCOLLUM THOMAS E & GAY N &
MCCOLLUM JEFFREY P & JANE N
11000 BERMUDA DUNES NE
ALBUQUERQUE NM 87111-6555

TEN BROECK PROPERTIES LLC
1109 LA POBLANA RD NW
ALBUQUERQUE NM 87107

MARBLE DEVELOPMENT LLC
111 MARBLE AVE NW
ALBUQUERQUE NM 87102-2315

THIRD GEN PROPERTIES LLC
1112 3RD ST NW
ALBUQUERQUE NM 87102

1116 4TH ST LLC
1116 4TH ST NW
ALBUQUERQUE NM 87102-1413

ADOBE VILLAGE LLC
11205 DESERT CLASSIC LN NE
ALBUQUERQUE NM 87111-7502

1121 4TH STREET LLC
1121 4TH ST NW SUITE 1-A
ALBUQUERQUE NM 87102

MOODY DOUGLAS D TR & MOODY
JACQUELINE L TR MOODY RVT &
MOODY DOUGLAS D
11213 COUNTRY CLUB DR NE

SANCHEZ TIMOTHY J & LINDA A
113 110TH ST SW
ALBUQUERQUE NM 87121-7754

HEARN DONALD R & DENISE G
1131 LANES END NW
ALBUQUERQUE NM 87114-1979

HELTMAN HARRIET
1150 DON GASPAR AVE
SANTA FE NM 87505

SANCHEZ RICHARD L & IDA
116 AZTEC RD NW
ALBUQUERQUE NM 87105

G L A D INVESTMENT COMPANY
117 VERANDA NW
ALBUQUERQUE NM 87107

BLAIR THERESA & ROGER C
120 SANDIA RD NW
ALBUQUERQUE NM 87107

SOTO HELEN L & LUIS I SOTO & NANCY
L HOGAN
1206 3RD ST NW
ALBUQUERQUE NM 87102-1404

JACS LLC
1208 LEXINGTON RD
CLOVIS NM 88101-4412

NM LEGAL RESOURCE CENTER INC
1121 4TH ST NW SUITE 1D
ALBUQUERQUE NM 87102-1466

GABALDON ORLANDO A
11224 CANYONLANDS RD SE
ALBUQUERQUE NM 87123-5775

ARCHULETA CLARA
113 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1431

AC&R INC HEATING COOLING &
PLUMBING INC
11408 KIELICH AVE NE
ALBUQUERQUE NM 87111-5964

GUADALUPE STATION LLC C/O MARVIN
F POER & COMPANY
11501 NORTHLAKE DR
CINCINNATI OH 45249-1669

LIN SHAO FEN SUN
11624 GRAND AVE NE
ALBUQUERQUE NM 87123-1321

COZZONE LISA K BALONIS
11900 PALM SPRINGS AVE NE
ALBUQUERQUE NM 87111-5329

KB PHOTO NM LLC
1200 LOBO CANYON RD
GRANTS NM 87020-2176

DI GIULIO ROBERT
1208 3RD ST NW
ALBUQUERQUE NM 87102

YOUNG PHILLIP ALLEN
1209 SUNSET RD SW
ALBUQUERQUE NM 87105-3725

POWELL KENNETH J & LORI
11212 SANTA MONICA DR NE
ALBUQUERQUE NM 87122

PERRY GEORGE M III & LEEANNE F
1124 E 19TH ST
TULSA OK 74120-7417

ASSOC RETARDED CITIZENS ALBUQ
11300 LOMAS BLVD NE
ALBUQUERQUE NM 87112-5512

GUEST COURTNEY E
115 CACY AVE NW
ALBUQUERQUE NM 87107

LANGDON LAWRENCE L & HELEN JEAN
U CO-TRUSTEES LANGDON RVL T
11513 BAR HARBOR PL NE
ALBUQUERQUE NM 87111
MR TRIM INC
117 CACY AVE NW
ALBUQUERQUE NM 87107-1424

CIRCLE K STORES INC C/O ATTN LOU
VALDES
1199 S BELTLINE RD SUITE 160
COPPELL TX 75019-4666

ROMERO SAMUEL T & ANGIE Q
TRUSTEES ROMERO TRUST
1205 STOVER AVE SW
ALBUQUERQUE NM 87102-3768

HSU SAMUEL BUU & LING YEN FAMILY
TRUST
1208 HIDEAWAY LN SE
ALBUQUERQUE NM 87123-4339

WEBB BRIAN D
121 ROEHL NW
ALBUQUERQUE NM 87107

<p>TYNDALL MARK A & LARA J 1211 12TH ST NW ALBUQUERQUE NM 87104-2113</p>	<p>GILLMORE DONALD W 1218 3RD ST NW ALBUQUERQUE NM 87107</p>	<p>ORTIZ FRANK M 1221 3RD ST NW ALBUQUERQUE NM 87102-1403</p>
<p>GUTIERREZ DIANE TRUSTEE GUTIERREZ RVT 1222 BARELAS RD SW ALBUQUERQUE NM 87102-4040</p>	<p>CHENVON INVESTMENTS LLC 1222 SYRACUSE LN MANTECA CA 95336-2989</p>	<p>KUEHI RYAN 1231 GALLEGOS LN SANTA FE NM 87505-3234</p>
<p>STAFFORD BETTY JO TRUSTEE STAFFORT RVT 124 NARA VISA RD NW ALBUQUERQUE NM 87107</p>	<p>ROMERO JOE R 12412 CONEJO RD NE ALBUQUERQUE NM 87123-1520</p>	<p>SADIES REAL ESTATE LLC 125 NARA VISA RD NW ALBUQUERQUE NM 87107</p>
<p>WESTERN REFINING RETAIL LLC 1250 W WASHINGTON ST SUITE 101 TEMPE AZ 85281</p>	<p>RASTEGARI INC C/O MEINEKE DISCOUNT MUFFLERS 12616 MORROW AVE NE ALBUQUERQUE NM 87112-4735</p>	<p>TAFOYA FAMILY TRIPLE R LTD PTNS 12701 ELYSE PL SE ALBUQUERQUE NM 87123</p>
<p>JACS LLC 128 MARIPOSA DR CLOVIS NM 88101</p>	<p>YOUR HOUSE HEROES LLC 12805 MENAUL BLVD NE ALBUQUERQUE NM 87112-2547</p>	<p>SANDOVAL FIDENCIO C & VIOLA E 12990 W 6TH PL GOLDEN CO 80401-4624</p>
<p>BENITEZ-SALINAS ANA R & RAFAEL E BENITEZ 13 1ST ST NE RIO RANCHO NM 87124</p>	<p>GUTIERREZ MARY EMMA 13001 ARROYO DE VISTA NE ALBUQUERQUE NM 87111-2907</p>	<p>MICH GREGG & KERRI 1301 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107-1013</p>
<p>2 T'S LLC 1307 CRESCENT DR NW ALBUQUERQUE NM 87105-1151</p>	<p>HARGROVE MARTHA LOUISE 1310 5TH ST NW ALBUQUERQUE NM 87102-1332</p>	<p>WEBB WAREHOUSE LLC 13104 CANYON EDGE TRL NE ALBUQUERQUE NM 87111</p>
<p>VIGIL MARTIN J 1315 2ND ST NW ALBUQUERQUE NM 87107</p>	<p>GUTIERREZ ARMANDO & DORA A GARCIA 1315 CAMINO ECUESTRE NW ALBUQUERQUE NM 87107-2612</p>	<p>RAINBO BAKING CO C/O RYAN LLC LB 73 13155 NOEL RD SUITE 100 DALLAS TX 75240-5090</p>
<p>LOBO PROPERTIES LLC 1321 2ND ST NW ALBUQUERQUE NM 87102-1440</p>	<p>SMITH GARY WILLIAM & DOLORES C 1333 ASPEN AVE NW ALBUQUERQUE NM 87104-2211</p>	<p>WRIGHT LAWRENCE J JR ETUX 134 SANDIA RD NW ALBUQUERQUE NM 87107-5037</p>
<p>US BANK TRUST TRUSTEE LSF11 MASTER PARTICIPATION TRUST 13801 WIRELESS WAY OKLAHOMA CITY OK 73134-2500</p>	<p>ORTIZ TERESA NIEPO 1383 FIREWEED DR NE RIO RANCHO NM 87144-6257</p>	<p>ROMERO MICHAEL R 140 SANDIA NW ALBUQUERQUE NM 87107</p>

CENTRAL PAINT & BODY LLC
1400 4TH ST NW
ALBUQUERQUE NM 87102-1419

RIO GRANDE CREDIT UNION
1401 SAN PEDRO NE
ALBUQUERQUE NM 87110

JOSEPH DOLORES I & KAHLIL K
14126 STRAWFLOWERS DR
FRISCO TX 75035

VERTACNIK ROBIN J
1415 ROMA AVE NW
ALBUQUERQUE NM 87104

FEDERAL NATIONAL MORTGAGE
ASSOCIATION
14221 DALLAS PKWY SUITE 1000
DALLAS TX 75254-2946

ANDRADE KATHLEEN R
146 SYCAMORE DR
SAN GABRIEL CA 91775-2846

J&M PROPERTIES LP DBA JMFP
PROPERTIES LIMITED PARTNERSHIP
15001 S FIGUEROA ST
GARDENA CA 90248-1721

VAZQUEZ JOSE C/O MAGALLANES
ROGELIO
1511 1/2 TIO CARLOS ST SW
ALBUQUERQUE NM 87105-4026

NEW MEXICO BEEF JERKY PROPERTY
LLC
1527 4TH ST NW
ALBUQUERQUE NM 87102-1420

419 MOUNTAIN LLC
16 NOZHONI CT
SANDIA PARK NM 87047

ALAMAR LLC
1401 3RD ST NW
ALBUQUERQUE NM 87102

5804 PAULINE RD NW LLC
1403 CAMINO HERMOSA
CORRALES NM 87048-8624

DOMINGUEZ ERNEST
1413 YOSEMITE DR
LOS ANGELES CA 90041-2808

NARVAIZ ROBERT JOSEPH
1417 E STEAMBOAT BEND DR
TEMPE AZ 85283-2177

GONZALES MICHAEL A
1426 4TH ST SW
ALBUQUERQUE NM 87102-4317

MUSKET CORPORATION C/O RYAN LLC
BANK OF AMERICA CENTER
15 W 6TH ST SUITE 2400
TULSA OK 74119-5417

ANAYA FRED S & SANDRA L
1501 3RD ST NW
ALBUQUERQUE NM 87102

ST JOSEPH COMMUNITY HEALTH
1516 5TH ST NW
ALBUQUERQUE NM 87102

SMITHS FOOD & DRUG CENTERS INC
ATTN: DIR REAL ESTATE LEGAL
SERVICES
1550 S REDWOOD RD

BANK OF AMERICA C/O CARRINGTON
MORTGAGE SERVICES LLC
1600 S DOUGLASS RD SUITE 200-A
ANAHEIM CA 92806-5951

SANCHEZ MARIO A
1401 GRIEGOS RD NW
ALBUQUERQUE NM 87107

CATHOLIC CHARISMATIC CENTER INC
1412 5TH ST NW
ALBUQUERQUE NM 87102-1334

KKMM LLC
1415 CAMINO AMPARO NW
ALBUQUERQUE NM 87107-2607

ARAGON LOUIE J
1417 TOBACCO RD SW
ALBUQUERQUE NM 87105

MCMAHON DONNA
146 SANDIA RD NW
ALBUQUERQUE NM 87107-5037

MCELROY PROPERTIES NEW MEXICO
LLC
1500 HAMILTON RD
BOSSIER CITY LA 71111
SANDOVAL DANIEL D
1505 GSCHWIND PL SW
ALBUQUERQUE NM 87121-8238

BARBERO DAVID A & JOANN
152 SANDIA RD NW
ALBUQUERQUE NM 87107

MUNOZ JOSE RAMON CORDOVA &
ARMENTA MIRTA ELDA CARAVEO
157 PUEBLO SOLANO RD NW
ALBUQUERQUE NM 87107-6729

GUADALUPE VILLAGE HOMEOWNERS
1600 W BROADWAY RD SUITE 200
TEMPE AZ 85282-1136

THIRD STREET WAREHOUSES LLC 1605 SAN PATRICIO SW ALBUQUERQUE NM 87104-1047	KILLEBREW KENNETH O & FULLER JULIE R 161 RAILCAR RD CORRALES NM 87048-7909	TANIGAKI EMA 1612 5TH ST NW ALBUQUERQUE NM 87102-1302
KLEIN RANDI LEE 1615 VAN CLEAVE RD NW ALBUQUERQUE NM 87107-3441	MARTINEZ FLORENTINO JR 1625 GONZALES RD SW ALBUQUERQUE NM 87105-2711	PRASEK EDWARD J & KRISTEN L 1632 NORTHLAND AVE LAKEWOOD OH 44107
PAGE JOE B & LINDA S TRUSTEES PAGE FAMILY RVT 1643 TIERRA DEL RIO NW ALBUQUERQUE NM 87107	WILSON MINTRA & RICK & WILSON SIVAN 1647 W ANAHEIM ST HARBOR CITY CA 90710-3213	KAPLAN 4TH STREET LLC 17 HOGAN CT SANDIA PARK NM 87047-9477
SOLANO ISIDRO 170 ALAMOS RD CORRALES NM 87048	BLACK HARRISON E JR & ELIZABETH A 1701 WHITE CLOUD NE ALBUQUERQUE NM 87112	SEYMOUR D R & DONETTE J TRUSTEES SEYMOUR LVT 1709 ALLEGHENY RD NE RIO RANCHO NM 87144-5504
OTERO GILBERT 1712 54TH ST NW ALBUQUERQUE NM 87105	BASSETT THOMAS C 1714 ESCALANTE AVE SW ALBUQUERQUE NM 87104-1011	AG PROPERTIES LLC C/O DAN GARCIA 1736 A CENTRAL AVE SW ALBUQUERQUE NM 87104-1151
STEVENS WILLIAM J SR & PRISCILLA E TRUSTEES STEVENS FAMILY TRUST 1736 DIETZ LP NW ALBUQUERQUE NM 87107	WATKINS PROPERTIES LLC 174 SANDIA RD NW ALBUQUERQUE NM 87107-5037	CAIN BRIANA 17402 N 56TH PL SCOTTSDALE AZ 85254
HONG LIN J TRUST HONG MARITAL TR & HONG LIN J SOLE TRUSTEE HONG EXEMPTION TRUST 1795 FULTON RD	SANCHEZ ARTURO JR & LORENA 1801 CORTE ELICIA ST SW ALBUQUERQUE NM 87105-6009	LOWES FAMILY PARTNERSHIP 1804 S HALL AVE LITTLEFIELD TX 79339-5439
FARRIS THOMAS H 1848 CENTRAL AVE ALAMEDA CA 94501-2621	GRANICKIN LLC C/O KIN PROPERTIES INC 185 NW SPANISH RIVER BLVD SUITE 100	GARCIA GUY & TRIPLETT JULIE 1856 DOTY ST SW ALBUQUERQUE NM 87105-6022
HAYNES MICHAEL EUGENE II & CYNTHIA LILLIAN HAYNES 1882 GOLDENFLARE LP NE RIO RANCHO NM 87144-5799	SAN RIO VENTURES LLC 1917 7TH ST NW ALBUQUERQUE NM 87102	MARQUEZ OMAR 1919 WALTER SE ALBUQUERQUE NM 87102
PLANT CARRY & LYDIA V 1932 CANDELARIA RD NW ALBUQUERQUE NM 87107-1230	SCHLENKER ANDREA A 1960 CAMINO CANCUN SW LOS LUNAS NM 87031-8883	GONZALES PEGGY J 1988 CHEROKEE RD NW APT B ALBUQUERQUE NM 87107-2847

2300 4TH ST NW LLC
20 BANTA PL SUITE 100
HACKENSACK NJ 07601-5611

AUTSY LLC BOX #347
2001 E LOHMAN AVE SUITE 110
LAS CRUCES NM 88001-3197

BARRERAS RAYMOND D & DOLORES
201 LA MEDIA RD SW
ALBUQUERQUE NM 87105-2721

LANDAVAZO MAURICE
2010 6TH ST NW
ALBUQUERQUE NM 87102

MILLS MELANIE & STREETER CLAUDIA
SUE
202 SHROPSHIRE AVE NW
ALBUQUERQUE NM 87107-2309

RAMIREZ MANUEL F & ELAINE
203 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5258

BACA RASHIA
204 SHROPSHIRE AVE NW
ALBUQUERQUE NM 87107-2309

RIVAS JOSE L & ROSARIO
206 B SANCHEZ RD NW
ALBUQUERQUE NM 87107-5241

CORDOVA PHILLIP M
207 SAN LORENZO NW
ALBUQUERQUE NM 87107

CARDENAS CLORINDA
208 SHROPSHIRE PL NW
ALBUQUERQUE NM 87107

ARIAS ANTHONY & BROOKE
200 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5241

ENTERPRISE INVESTMENTS LLC
2001 JUNE ST NE
ALBUQUERQUE NM 87112-3239

OTERO ANTONIO
201 NATALIE AVE NW
ALBUQUERQUE NM 87107

ARGYRES CHRISTINA P
2011 LOS POBLANOS PL NW
ALBUQUERQUE NM 87107

SANCHEZ ALBERT R
202 VERANDA RD NW
ALBUQUERQUE NM 87107-2334

GARCIA ERIC J
203 VERANDA RD NW
ALBUQUERQUE NM 87107-2333

2040 ENTERPRISES LLC
2040 4TH ST NW
ALBUQUERQUE NM 87102-1430

BALL MARION L
206 SANCHEZ RD NW
ALBUQUERQUE NM 87107

BACA MARIA
208 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1332

MATA RAFAEL BARRAZA & RIO DE
BARRAZA APOLINAR & BARRAZA
OCTAVIO
208 VERANDA RD NW

GUTIERREZ ANDY L & VERONICA O
2000 8TH ST NW
ALBUQUERQUE NM 87102

CARLETON MARIE E
201 CALLE DEL FUEGO NE
ALBUQUERQUE NM 87113-2311

JARAMILLO DONALD F & DEBBIE A
201 SHROPSHIRE AVE NW
ALBUQUERQUE NM 87107

RUIZ-JIMENEZ CESAR RAUL & KRISTEN
ANN
202 MONTANO RD NW
ALBUQUERQUE NM 87107

ZEON ASSOCIATES LLC
2024 5TH ST NW
ALBUQUERQUE NM 87102

FREEWAY LIQUORS INC
2034 2ND ST NW
ALBUQUERQUE NM 87102

LEGER ANNETTE & KATONA STEVE
205 NATALIE AVE NW
ALBUQUERQUE NM 87107-5236

RUIZ MARIA A
206 VERANDA RD NW
ALBUQUERQUE NM 87107

QUINTANA DESIREE MARIE
208 SANCHEZ RD NW
ALBUQUERQUE NM 87107

PADILLA RANDY & PEGGY
209 HENDRIX RD NW
ALBUQUERQUE NM 87107

FRANK BARBARA BLOCK 209 NATALIE AVE NW ALBUQUERQUE NM 87107-5236	MAESE BENJAMIN & MELBA MAESE 209 SANCHEZ RD NW ALBUQUERQUE NM 87107-5258	488 SOUTHWEST LLC 210 MONTANO RD NW ALBUQUERQUE NM 87107-5220
RIMBERT PETER L & THERESA 210 SANCHEZ RD NW ALBUQUERQUE NM 87105	LOVATO KAILA M 210 VERANDA RD NW ALBUQUERQUE NM 87107-2334	AB TRAILERS LLC 2100 2ND ST NW ALBUQUERQUE NM 87102-1045
BODO MACHKENZIE J & BOWLES JUSTIN E 211 HENDRIX RD NW ALBUQUERQUE NM 87107-5215	RAEL JOSE R 211 SANCHEZ RD NW ALBUQUERQUE NM 87107-5258	VALDEZ GREGORY R & JEANNIE A 2112 68TH ST NW ALBUQUERQUE NM 87120-6052
G & G DEVELOPMENT LLC & GARCIA JOSHUA R & KRISHNA R GORADIA 212 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-2344	NORRIS ANGELA 2120 WOODHAVEN LN SPARKS NV 89434-0746	BLAIR DARRELL JAMES 2126 MATTHEW AVE NW ALBUQUERQUE NM 87104
MARCHAL GILLES ROBERT 2128 MANCHESTER PL NW ALBUQUERQUE NM 87107	HERRERA PETER & SHAUNA P 213 NATALIE AVE NW ALBUQUERQUE NM 87107-5236	BARRERAS RAYMOND J & TRUDIE S 213 SANCHEZ RD NW ALBUQUERQUE NM 87107-5258
GARCIA JUAN C 2135 RAVEN LN SW ALBUQUERQUE NM 87105	ANDRADE JOSE J & ANITA H 214 CANDELARIA RD NW ALBUQUERQUE NM 87107-2302	KNIGHT ROBERT ERIC & KNIGHT ELIZABETH J S 214 HENDRIX RD NW ALBUQUERQUE NM 87107-5203
PEREZ JUAN 215 HEADINGLY AVE NW ALBUQUERQUE NM 87107	MORRIS JIMMY C 215 HENDRIX RD NW ALBUQUERQUE NM 87109-5215	BURRIS JAMES R 215 HWY 165 PLACITAS NM 87043
ABRAMS JOE GREG & ABRAMS CRISTYA MARIE & ABRAMS NICHOLAS GREGORY & ABRAMS MIKAYLA 215 PHOENIX NW	NAJERA ISIDRO 215 SAN LORENZO AVE NW ALBUQUERQUE NM 87107	ALVARADO LUIS A 215 SANCHEZ RD NW ALBUQUERQUE NM 87107
PADILLA FLORENTINO & GERTRUDE 216 HENDRIX RD NW ALBUQUERQUE NM 87107	GARCIA GILBERT O & BERTHA MARIE 217 HENDRIX RD NW ALBUQUERQUE NM 87107-5215	SERRANO MADONNA 217 SAN LORENZO AVE NW ALBUQUERQUE NM 87107-2329
GARCIA MICHELLE M 217 SANCHEZ RD NW ALBUQUERQUE NM 87107	GOMEZ NATIVIDAD M & JUANITA B 218 CANDELARIA RD NW ALBUQUERQUE NM 87107	MONTOYA GILBERT A & ANGIE C 218 HENDRIX RD NW ALBUQUERQUE NM 87107-5127

BACA JUANITA
218 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2330

HATTON RICHARD E & CARLA E
2200 DIETZ FARM RD NW
ALBUQUERQUE NM 87107-3116

ALTERNATIVE HOUSE INC
2206 4TH ST NW
ALBUQUERQUE NM 87102

GONZALES PATRICIO ANTONIO
222 SANCHEZ RD NW
ALBUQUERQUE NM 87107

ARANDA AUGUSTINE & ISABEL
223 AZTEC RD NW
ALBUQUERQUE NM 87107-2337

GALLARDO MARIA R & GALLARDO
VICKY
223 VERANDA RD NW
ALBUQUERQUE NM 87107

BACA JULIANNA L
225 NATALIE AVE NW
ALBUQUERQUE NM 87107-5236

PEREZ JUAN & MARIA S
226 CANDELARIA RD NW
ALBUQUERQUE NM 87107

WILSON PAM
226 SHROPSHIRE PL NW
ALBUQUERQUE NM 87107-2309

ZAMARRON LUIS & FIDELINA
227 VERANDA RD NW
ALBUQUERQUE NM 87107

CARAVEO ENRIQUE
219 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5258

THIRD STREET EQUITIES LLC
2200 DIETZ PL NW
ALBUQUERQUE NM 87107

FRIS CHKN A DELAWARE LLC C/O RYAN
LLC
221 N KANSAS ST SUITE 2101
EL PASO TX 79901-1440

BENEFIELD JAMIE A & ANNETTE M
RODDEN
2225 4TH ST NW
ALBUQUERQUE NM 87102

ATENCIO YOLANDA K
223 HEADINGLY AVE NW
ALBUQUERQUE NM 87107-2321

PESHLAKAI CONSUELO J
225 AZTEC RD NW
ALBUQUERQUE NM 87107-2337

BAROS LARRY DAVID & DIANA
225 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5258

TRUJILLO DONALD & TRUJILLO JANE
226 HENDRIX RD NW
ALBUQUERQUE NM 87107

LOVATO PHILLIP N JR & AMBER N
227 MESCALERO RD NW
ALBUQUERQUE NM 87107-2325

MONTOYA FRANK & BERNADETTE
229 CAMINO CUATRO SW
ALBUQUERQUE NM 87105-7581

HERRERA ERNEST JR
220 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107

LEVINE INVESTMENTS LIMITED
PARTNERSHIP
2201 E CAMELBACK RD SUITE 650
PHOENIX AZ 85016-3457

ANTILLON ERLINDA Z
221 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2329

SAN LORENZO NORTH LLC
223 1/2 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2329

SANCHEZ MILDRED
223 HENDRIX RD NW
ALBUQUERQUE NM 87107-5215

MORALES ANTHONY R & ANTONETTE
M
225 MILDRED AVE NW
ALBUQUERQUE NM 87107-2305

MEDINA EDUARDO & PERLA G
RAMIREZ
225 VERANDA RD NW
ALBUQUERQUE NM 87107

DEVARGAS TOBY V JR
226 SANCHEZ RD NW
ALBUQUERQUE NM 87107

BAROS LAWRENCE D & DIANA Y
227 SANCHEZ RD NW
ALBUQUERQUE NM 87107

CRAWFORD-REMELY MATTEA
229 MESCALERO RD NW
ALBUQUERQUE NM 87107-2325

GARCIA JUAN B 229 NATALIE AVE NW ALBUQUERQUE NM 87107-5236	WHITE ROCKY L 229 SHANGRI LA DR NW ALBUQUERQUE NM 87107	LOFLAND COMPANY C/O INDUSTRIAL COMPLEX PROP GROUP 2300 1ST ST NW ALBUQUERQUE NM 87102
MY FAIR LADY LLC 231 ADAMS ST NE ALBUQUERQUE NM 87108-1203	DEVARGAS TOBY & DOROTHY 231 HENDRIX RD NW ALBUQUERQUE NM 87107-5215	CONGLETON ROBERT CLAY JR & CONGLETON ROBERT CRAIG 2315 PARKLINE DR BOSQUE FARMS NM 87068-9396
DOMINGUEZ DAVID A & ROSE H 2316 DIETZ PL NW ALBUQUERQUE NM 87107-3016	WOODARDS NICOLE A 232 CANDELARIA RD NW ALBUQUERQUE NM 87107-2302	SANCHEZ RAMON C 232 HENDRIX RD NW ALBUQUERQUE NM 87107-5216
CHAVEZ RUDY & LOUISE 2320 2ND ST NW ALBUQUERQUE NM 87102	4501 4TH STREET LLC 2325 SAN PEDRO DR NE SUITE 2A ALBUQUERQUE NM 87110-4121	430 REAL ESTATE GROUP LLC 2325 SAN PEDRO NE SUITE 2-A ALBUQUERQUE NM 87110
FULTON ROSE MARGARET 233 AZTEC RD NW ALBUQUERQUE NM 87107-2337	SANCHEZ STEVEN F 233 HENDRIX RD NW ALBUQUERQUE NM 87107-5215	DURAN ROBERT & MARY LOU 233 NATALIE AVE NW ALBUQUERQUE NM 87107-5236
MIERA ALBERT & MARY LOU 233 SHANGRILA CT NW ALBUQUERQUE NM 87107-3920	PACHECO JACOBO J & ANGELA 2335 ARROYO FALLS ST NW ALBUQUERQUE NM 87120	ROGERS ALLEN & CATHERINE I 236 SHROPSHIRE PL NW ALBUQUERQUE NM 87107
VILLAS LAWRENCE 236 VINEYARD RD NW ALBUQUERQUE NM 87107	VALTIERRA VICTOR 237 NATALIE AVE NW ALBUQUERQUE NM 87107-5236	FIRST BAPTIST CHURCH OF ALBUQUERQUE C/O THE ROCK 2400 2ND ST NW ALBUQUERQUE NM 87125-1075
GALINDO ARMANDO RODRIGUEZ & CECILIA CELIS 2401 6TH ST NW ALBUQUERQUE NM 87102-1070	BJMA LLC 2401 SAN PEDRO DR NE ALBUQUERQUE NM 87110-4101	BRYSON JON D 241 NATALIE AVE NW ALBUQUERQUE NM 87107-5236
COE STEVE L & LISA 2411 4TH ST NW ALBUQUERQUE NM 87102-1056	CL & F FARM LLC 2414 LILAC DR NW ALBUQUERQUE NM 87104	GURULE FRED 2417 DIETZ FARM RD NW ALBUQUERQUE NM 87107
RAMIREZ DANIEL & JUANA 2417 EDUARDO RD SW ALBUQUERQUE NM 87121	HERNANDEZ SALVADOR & ELEUTERIA & ETAL 2419 1ST ST NW ALBUQUERQUE NM 87102-1061	GRADO JOSE & MARISELA & LUJAN MARIA G & ROMERO RAY & FLORES PERFECTO A 2421 1ST ST NW

JENG YANG & TUYET THI TSAY
2443 CAMINO CATALONIA SE
RIO RANCHO NM 87124-8830

SOTO TEOFILO & MARGIE
250 GENE AVE NW
ALBUQUERQUE NM 87107-5317

NEVILLE BARBARA A
251 GENE AVE NW
ALBUQUERQUE NM 87107

GOATCHER FAMILY LTD CO
2511 MONROE ST NE
ALBUQUERQUE NM 87110-4060

STEEGE DONNA M
252 GENE AVE NW
ALBUQUERQUE NM 87107-5317

PEREZ COLLISION LLC
2520 2ND ST NW
ALBUQUERQUE NM 87102-4504

ROMERO JUAQUIN E & SOTO ALADINA
253 GENE AVE NW
ALBUQUERQUE NM 87107-5316

GRANTS STEEL SASH DOOR &
HARDWARE INC
2530 1ST ST NW
ALBUQUERQUE NM 87102

DIXON JILL L
254 GENE AVE NW
VILLAGE OF LOS RANCHOS NM 87107-
5317

MANZANARES ANN THERESE
256 GENE AVE NW
ALBUQUERQUE NM 87107

MASON ANDREA R
260 GENE AVE NW
ALBUQUERQUE NM 87107-5317

MORENO DANNY O
262 GENE AVE NW
ALBUQUERQUE NM 87107

REUST WILLIAM P C/O JONES ROBERT C
2625 5TH ST NW
ALBUQUERQUE NM 87107-1325

STOUT EDWARD J & MARIE A
264 GENE AVE NW
ALBUQUERQUE NM 87107-5317

TOWNSEND JUDITH M
2644 CAMPBELL RD NW
ALBUQUERQUE NM 87104

MILLER DAVID
267 YELLOWFIELD WAY
ERIE CO 80516

CHANDLER LAURIE
268 GENE AVE NW
ALBUQUERQUE NM 87107-5317

PARRA CONSEPCION & PARRA
MARGARITA
270 GENE AVE NW
ALBUQUERQUE NM 87107-5317

PATEL ARVIND N & PATEL DEVAYANI A
& PATEL RAJAN A
2700 4TH ST NW
ALBUQUERQUE NM 87107

CHAVEZ SONYA M
2700 VISTA GRANDE DR NW UNIT #30
ALBUQUERQUE NM 87120-1039

BENAVIDEZ KAYLA
2702 1ST ST NW
ALBUQUERQUE NM 87107

GONZALES ANA MARIA
2702 PLAZUELA SERENA
SANTA FE NM 87505-5274

CABRERA MATILDE
2705 5TH ST NW
ALBUQUERQUE NM 87107-1327

CONTRERAS RONALD A
2711 3RD ST NW
ALBUQUERQUE NM 87107

GONZALES ANDRES J & MARY ANN
2711 4TH ST NW
ALBUQUERQUE NM 87107

CASAUS CHRIS S & JULIANA FLORES-
CASAUS
2711 5TH ST NW
ALBUQUERQUE NM 87107-1327

KUTVIRT DANIEL M & KUTVIRT SUSAN
G
2711 CANDELARIA RD NW
ALBUQUERQUE NM 87107-2912

BERNS LLC C/O ACCUMATCH
2711 LBJ FWY SUITE 1065
DALLAS TX 75234

SOTO AURELIA
2712 5TH ST NW
ALBUQUERQUE NM 87107-1328

EASLEY MICHAEL SHAWN
2713 2ND ST NW
ALBUQUERQUE NM 87107

MARTINEZ RAMON C 2714 2ND ST NW ALBUQUERQUE NM 87107-1412	DE VARGAS TANYA 2715 3RD ST NW ALBUQUERQUE NM 87107-1304	LOPEZ JOSE & AMANDA 2721 5TH ST NW ALBUQUERQUE NM 87107-1327
RODRIGUEZ MARIA GRACIELA & EDMUNDO FEDERICO 2724 5TH ST NW ALBUQUERQUE NM 87107	ESTRADA OSCAR J & DUARTE OLAYA MUNOZ 2733 FOOTHILL DR SW ALBUQUERQUE NM 87105-4963	RIOS BARBARA G TRUSTEE OF ESTEBAN M R TRUST 2737 CARDENAS DR NE ALBUQUERQUE NM 87112
FISHER MARTIN DALE 2800 HUNTERS CT SW ALBUQUERQUE NM 87105	CHAVEZ RALPH P & CHAVEZ IDA E 2813 CARDENAS DR NE ALBUQUERQUE NM 87110-3205	RASCON ARIEL CANO & CANO EDUARDO 2816 SOCORRO ST NW ALBUQUERQUE NM 87104-2646
WIEGERS JOHN 2817 MORNINGSIDE DR NE ALBUQUERQUE NM 87110-2941	MAESTAS BENNIE A & REINA MARIA A TRUSTEES TRUST AGREEMENT 2825 MOYA RD NW ALBUQUERQUE NM 87104-2816	ESLIN PHILIP GREY & REBECCA BARNES 290 SANDIA RD NW ALBUQUERQUE NM 87107-5335
ORTIZ DAVID 2900 2ND ST NW ALBUQUERQUE NM 87107	LUCERO AVENANCIO (BEN) & ELEANOR C 2902 LA CAMILA RD NE ALBUQUERQUE NM 87111-4510	PACHECO JOEY & AMALIA 2904 ALAMOGORDO DR NW ALBUQUERQUE NM 87120
VALDEZ RICHARD & REYES MARTHA 2905 4TH ST NW ALBUQUERQUE NM 87107-1315	CERVANTES ROSA ISELA 2909 3RD ST NW ALBUQUERQUE NM 87107	JUARROS BENJAMIN & ALICE M 2910 3RD ST NW ALBUQUERQUE NM 87107
JUARROS RITA A 2916 3RD ST NW ALBUQUERQUE NM 87107	HATTON RICHARD E 2919 4TH ST NW ALBUQUERQUE NM 87107	JARD LTD LIABILITY CO 2921 2ND ST NW ALBUQUERQUE NM 87107
TABET LINDA & TABET NITA & LORI T BREIDENBACH 2926 2ND ST NW ALBUQUERQUE NM 87107-1416	LEHMAN WILLIAM C & BRIANNA E 296 ALAMOSA RD NW ALBUQUERQUE NM 87107	PROPERTY 2339 LLC 296 LA PLATA RD NW ALBUQUERQUE NM 87107-5323
UHER DARRELL LEE JR TRUSTEE RVT 3 DANCING HORSE LN CORRALES NM 87048	HOLZRICHTER MICHAEL & WEI CHENG 3 SANDIA HEIGHTS DR NE ALBUQUERQUE NM 87122-2009	ROMERO ALBERT A & NANCY 3 WOODLAND AVE NW ALBUQUERQUE NM 87107-1437
PERMACS PROPERTIES LLC 300 ARVADA AVE NW ALBUQUERQUE NM 87102	GRANILLO MANUEL & BERTHA 300 CANDELARIA RD NW ALBUQUERQUE NM 87107-2304	MAGENNIS ERIN & OR RAY KYLE 300 GENE AVE NW ALBUQUERQUE NM 87107-5319

WILLIAMS KEVIN B & ROBERTA A
300 HENDRIX AVE NW
ALBUQUERQUE NM 87107

MAY LISA M
3001 DIAMANTES NW
ALBUQUERQUE NM 87120-1535

BARRERAS ROBERT T
301 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1333

NAVARRO GUILLERMINA TORRES
301 MILDRED AVE NW
ALBUQUERQUE NM 87107-2306

ARAGON RICHARD & YOLANDA
301 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2331

CHAVEZ JOSEPHINE
3014 3RD ST NW
ALBUQUERQUE NM 87107-1309

DAVEN PATRICIA A
302 GENE AVE NW
ALBUQUERQUE NM 87107-5319

JIMENEZ RAFAEL R & MARY JEAN
3020 3RD ST NW
ALBUQUERQUE NM 87102

PAJARITO ASSOCIATES LLC
303 CENTRAL AVE NE UNIT 300
ALBUQUERQUE NM 87102-3800

FELIX GREGORIO & ERMA
304 MESCALERO RD NW
ALBUQUERQUE NM 87107-2328

LEBLANC DIANE M
3000 VATAPA RD NE
RIO RANCHO NM 87124-5772

SANCHEZ ROSALBA
3002 3RD ST NW
ALBUQUERQUE NM 87108

CASS KEITH A & CASS S SALAZAR
TRUSTEES CASS LVT
301 MENAUL BLVD NE
ALBUQUERQUE NM 87107-1527

JENKINS JUDITH A
301 NATALIE AVE NW
ALBUQUERQUE NM 87107-5238

GARCIA KIM C
301 SANCHEZ RD NW
ALBUQUERQUE NM 87107

KEHOE MATTHEW
3014 4TH ST NW
ALBUQUERQUE NM 87107-1318

GONZALES JOE G & LYDIA S
302 SAN ANDRES AVE NW
ALBUQUERQUE NM 87107-3925

STANFILL TERRY L SR & WANDA F
3023 COMMERCIAL ST NE
ALBUQUERQUE NM 87107-1508

REHANI LAITH & RANA
303 WYTHE RD
EGG HARBOR TOWNSHIP NJ 08234

SANCHEZ JOSE HUMBERTO &
MANUELA E
304 SAN ANDRES AVE NW
ALBUQUERQUE NM 87107-3925

BLANDO ALFREDO C
3001 4TH ST NW
ALBUQUERQUE NM 87107-1317

KEHOE MATTHEW
3007 3RD ST NW
ALBUQUERQUE NM 87107-1308

MARTINEZ MARTIN A & SISNEROS-
MARTINEZ MARY
301 MESCALERO RD NW
ALBUQUERQUE NM 87107-2327
ORTIZ ROBERT E & RENATE
301 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1343

GUEVARA SR JOSE L ETUX
3012 3RD ST NW
ALBUQUERQUE NM 87107

IBARRA JOSE L
302 ESPANOLA ST NE
ALBUQUERQUE NM 87107-2150

PEREZ ROSE A
302 SHROPSHIRE PL NW
ALBUQUERQUE NM 87107-2311

GARCIA STEVE ANTHONY
303 ARVADA AVE NW
ALBUQUERQUE NM 87102

JENKINS AURELIA A
304 GENE AVE NW
ALBUQUERQUE NM 87107-5319

SAYERS DAVID C
304 SHROPSHIRE AVE NW
ALBUQUERQUE NM 87107-2311

VICENTE LEON LAWRENCE 304 VERANDA RD NW ALBUQUERQUE NM 87107	SOMMER ROBERT C 3049 ASCOT DR SAN RAMON CA 84587	THURGOOD SCOT L & JEANNINE TRUSTEES THURGOOD RVT 305 ENCHANTED VALLEY RD NW LOS RANCHOS DE ALBUQUERQUE NM
FLORES KATRINA Y 305 MILDRED AVE NW ALBUQUERQUE NM 87107-2306	ROMERO MARY ANN 305 NATALIE AVE NW ALBUQUERQUE NM 87107	BARRAZA GUADALUPE 305 PHOENIX AVE NW ALBUQUERQUE NM 87107-1343
VALDEZ ARCHIE F 305 SANCHEZ RD NW ALBUQUERQUE NM 87107	GARCIA RICHARDO M & GUILLERMINA 306 CANDELARIA RD NW ALBUQUERQUE NM 87107-2304	BURGETT MARK & DELLA 306 GENE AVE NW ALBUQUERQUE NM 87107-5319
MAES ALBERT A & MARGARITA MARY 306 HEADINGLY AVE NW ALBUQUERQUE NM 87107-2324	MALDONADO MARIA 306 LA POBLANA RD NW ALBUQUERQUE NM 87107-1334	PALLEY BRANT C 306 SAN LORENZO AVE NW ALBUQUERQUE NM 87107
VALDEZ GILBERT U 306 SANCHEZ NW ALBUQUERQUE NM 87107	MARES JOLENA D 306 VERANDA RD NW ALBUQUERQUE NM 87120	SIAS DONALD S & BARBARA C CO- TRUSTEES SIAS RVT 307 SAN LORENZO AVE NW ALBUQUERQUE NM 87107
MANRIQUEZ KATHY 307 VERANDA RD NW ALBUQUERQUE NM 87107	DAWSON STEWART A & LYN A 308 GENE AVE NW ALBUQUERQUE NM 87107	MARJON SOLEDAD BIAGI 308 LA PLATA RD NW ALBUQUERQUE NM 87107-5325
DEVARGAS ABEL JR & OLIVIA 308 LA POBLANA RD NW ALBUQUERQUE NM 87107-1334	GALLEGOS MARTIN M & WALSH AUDREY J 308 WOODLAND AVE NW ALBUQUERQUE NM 87107	OVERMIER ALAN C 309 14TH ST SW ALBUQUERQUE NM 87102
PADILLA EDUARDO A & PADILLA EDUARDO L 309 ALAMOSA RD NW ALBUQUERQUE NM 87107-5312	ARCHIBEQUE ROBERT D & ORLANDO R ARCHIBEQUE 309 MILDRED AVE NW ALBUQUERQUE NM 87107-2306	AGUILAR MANUEL P & GERALDINE M 309 WOODLAND AVE NW ALBUQUERQUE NM 87107-1345
LOGAN LARRY L & SONYA 31 MILL RD NW ALBUQUERQUE NM 87120	ARNELL DELBERT & ROSAURA 31 TENNIS CT NW ALBUQUERQUE NM 87120-1825	SILVA SAMMY J & PATRICIA A 310 ALAMOSA RD NW ALBUQUERQUE NM 87107-5313
RAMIREZ ROSE 310 AZTEC RD NW ALBUQUERQUE NM 87107-2338	NAVAREZ MARTIN 310 CONSTITUTION AVE NW ALBUQUERQUE NM 87102-0000	PACHECO HILARIO & NERI PERES GLORIA E 310 HEADINGLY AVE NW ALBUQUERQUE NM 87107-2324

CALVERT SEAN & FRANCES
310 LA PLATA RD NW
ALBUQUERQUE NM 87107

TRILLO SUSAN T
310 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2332

GALLEGOS GINGER LEE TRUSTEE TRUST
B DECEDENTS TRUST UNDER GALLEGOS
RVT
3101 OLD PECOS TRL #404

COREY JEFFERY B
311 PLACITAS RD NW
ALBUQUERQUE NM 87107

GONZALEZ EVERARDO L & MARGARET
312 HENDRIX RD NW
ALBUQUERQUE NM 87107-5218

WOODMANSEE ALLENE J C/O ROBERT
G WOODMANSEE
31280 BROKEN TALON TRL
OAK CREEK CO 80467-8507
VIGIL JACOBO M & STITH SARAH S
313 NATALIE AVE NW
ALBUQUERQUE NM 87107-5238

LUNA KENNY F & DOROTHY C
313 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-2331

MAVROLEON GIUSSEPPE
314 HENDRIX RD NW
ALBUQUERQUE NM 87107

WHITE MARCUS E
315 DELAMAR AVE NW
ALBUQUERQUE NM 87107

NGUYEN DUNG H & NGUYEN NGA THI
& NGUYEN BICH THI
310 LA POBLANA RD NW
ALBUQUERQUE NM 87107

MURDOCH RICHARD S
310 SANDIA RD NW
ALBUQUERQUE NM 87107

CAWLEY BILLY WAYNE
311 BELLROSE AVE NW
ALBUQUERQUE NM 87107

MOLINA MARIA DEL REFUGIO
311 WOODLAND AVE NW
ALBUQUERQUE NM 87107

CERNA OLGA
312 SAN LORENZO NW
ALBUQUERQUE NM 87107

PORTILLO MAURICIO & CARAVEO
ARMINDA
313 GENE AVE NW
ALBUQUERQUE NM 87107-5318
ARAGON EDUARDO & ROSEMARY A
313 PLACITAS RD NW
ALBUQUERQUE NM 87107-5332

LUNA KENNETH & DOROTHY
313 SAN LORENZO NW
ALBUQUERQUE NM 87107

MOWRER COURTNEY ANN
314 NATALIE AVE NW
ALBUQUERQUE NM 87107

POON ELYSIA & CHAVARRIA ANTONIO
315 GENE AVE NW
ALBUQUERQUE NM 87107

SIMMS KENNETH W & CHARLENE A
310 PLACITAS RD NW
ALBUQUERQUE NM 87107-5333

MASADA LTD CO
3100 COORS BLVD NW
ALBUQUERQUE NM 87120-1226

STOREY J LYNNE C/O FRAUENGLASS
MARK
311 LA PLATA RD NW
ALBUQUERQUE NM 87107-5324

PEREZ ELIZABETH & MANUEL E
312 AZTEC RD NW
ALBUQUERQUE NM 87107

HUTCHINSON DAVID C & DOROTHEE
312 SHANGRI LA CT NW
ALBUQUERQUE NM 87107-3917

CARAVEO ARMINDA
313 GENE ST NW
ALBUQUERQUE NM 87107

LUNA KENNY F
313 SAN LORENZO AVE NE
ALBUQUERQUE NM 87107

ENRIQUEZ ERNEST
314 HEADINGLY AVE NW
ALBUQUERQUE NM 87107

NEWMAN ROSE
314 SHANGRI LA CT NW
ALBUQUERQUE NM 87107

GONZALES ALBERT D & GILL BERENICE
M
315 HEADINGLY AVE NW
ALBUQUERQUE NM 87107-2323

ARCHIBEQUE ROBERT D 315 MILDRED AVE NW ALBUQUERQUE NM 87107	GARCIA ALBERT JR & BERNADETTE 315 SAN ANDRES AVE NW ALBUQUERQUE NM 87107	FUENTES NOEL JEAN 315 SAN LORENZO AVE NW ALBUQUERQUE NM 87107-2331
BISHOP DIANNE L W 315 SANDIA RD NW ALBUQUERQUE NM 87107	MARTINEZ ANTHONY E & ANDREA K 316 NATALIE AVE NW ALBUQUERQUE NM 87107-5239	IAN & IRENE LLC 3167 SAN MATEO BLVD NE #187 ALBUQUERQUE NM 87110-1921
APODACA MARK 317 DELAMAR AVE NW ALBUQUERQUE NM 87107	VACUERA ERNESTINE 319 MESCALERO RD NW ALBUQUERQUE NM 87107-2327	ESTRADA KENNETH & RACHEL P 319 SHANGRI LA CT NW ALBUQUERQUE NM 87107-3919
CASADOS ALFRED L 32 CRIPPLE CREEK RD SE ALBUQUERQUE NM 87123-9651	DURKIN PATRICK D & LISA 32 PORSCHE PL LOS LUNAS NM 87031	CUATRO APARTMENTS LIMITED PARTNERSHIP LLLP 320 GOLD AVE SW SUITE 918 ALBUQUERQUE NM 87102
LOVELESS RICHARD & JUDITH 320 MESCALERO RD NW ALBUQUERQUE NM 87107	REDITUS ALBI LLC 3204 LOMA VISTA PL NE ALBUQUERQUE NM 87106-1924	BLAKES LOTABURGER LLC 3205 RICHMOND DR NE ALBUQUERQUE NM 87107-1922
LEGER ERNEST H & GLORIA I CO- TRUSTEES 3207 MANCHESTER CT NW ALBUQUERQUE NM 87107-3016	HERNANDEZ SERGIO & RAMIREZ LUIS F 321 AZTEC RD NW ALBUQUERQUE NM 87107-2338	JARAMILLO TONY ETUX 321 MESCALERO RD NW ALBUQUERQUE NM 87107-2327
KEEFE MICHAEL JOSEPH 321 SANDIA RD NW ALBUQUERQUE NM 87107-5336	PIETRZAK JEAN M 321 SHANNON PL NW ALBUQUERQUE NM 87107-3923	MCELYEA GEORGIA P 3212 JUNE ST NE ALBUQUERQUE NM 87111-5027
HASKEW JAMES W 3223 MOORHEAD DR JOPLIN MO 64804-8359	MAURINO HENRY L & LAURA B 3239 CALLE DE DEBORAH NW ALBUQUERQUE NM 87104-3001	WHITE L ANDRA 325 SHANNON PL NW ALBUQUERQUE NM 87107
FOURTH STREET & MENAUL INC C/O CLEAN MACHINE CAR WASH LLC 3260 N HAYDEN RD SUITE 204 SCOTTSDALE AZ 85251-6651	LOPEZ ALEX PAUL & LOPEZ MARIE & TALBOT ROBERT C III 3265 W ARROWLEAF CT CASTLE ROCK CO 80109-9499	ANAYA RAUL J 3277 DURANES RD NW ALBUQUERQUE NM 87104-2757
GRIEGO FRED I & CHRISTINE MILLIGAN 328 SHANNON PL NW ALBUQUERQUE NM 87107-3924	HERNDON MARIA B TRUSTEE HERNDON TRUST 329 SHANNON PL NW ALBUQUERQUE NM 87107-3923	HARTLOT HOLDINGS LLC 330 LOUISIANA BLVD NE ALBUQUERQUE NM 87108-2062

TRUJILLO ADRIENNE N
3307 CONDOR LN NW
ALBUQUERQUE NM 87107-1330

SEDILLO JEFFRIES ERIC
3312 CALLE DE DANIEL NW
ALBUQUERQUE NM 87104-3023

VAN DEVENTER CHELSEA NICOLE
332 FONTANA PL NE
ALBUQUERQUE NM 87108-1167

DAVIGNON JODI L & TORREZ AMY LL
335 VINEYARD RD NW
LOS RANCHOS NM 87107-5805

KLEIN DEENA
3404 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2442

GUTIERREZ JOHN
34328 N 5TH AVE
PHOENIX AZ 85085-7099

ELLA REZA G
3500 4TH ST NW
ALBUQUERQUE NM 87107-2426

BACA AMADO G & MARY L
3506 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

COLEMAN JAMES E JR
3512 11TH ST NW
ALBUQUERQUE NM 87107

BACA SALVADOR A
3514 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

SILVERADO STUCCO SYSTEMS
3308 CALLE VIGO NW
ALBUQUERQUE NM 87104-1823

CASADOS GILBERT R
3315 CONDER LN NW
ALBUQUERQUE NM 87107-1330

MCALLISTER SUSAN A & WILLIAMS
DAVID T
3333 PURDUE PL NE
ALBUQUERQUE NM 87106-1328

PADILLA BARBARA S & JOE FRANK
339 TYLER RD NW
ALBUQUERQUE NM 87107

HERNANDEZ DANIEL J & SOUTHARD
KATE M
3405 AVENIDA CHARADA NW
ALBUQUERQUE NM 87107-2601

ROMERO BILLY & PATSY
346 APPLEWOOD RD
CORRALES NM 87048

ORTIZ MARCOS & CELSA M
3502 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

PARKER MARNIE ANNE
3510 6TH ST NW
ALBUQUERQUE NM 87107

LOIACONO MELISSA
3513 NORTHFIELD CT NW
ALBUQUERQUE NM 87107

STRUCTURAL SERVICES
3520 4TH ST NW
ALBUQUERQUE NM 87107

SMITH ANNETTE G
3311 CONDER LN NW
ALBUQUERQUE NM 87107-1330

GUADAGNOLI MARK D
3316 TERRY POINT DR
FORT COLLINS CO 80524

OLAGUE ROBERTO & MARCELA
3348 DEL RIO RD SW
ALBUQUERQUE NM 87105-6038

ARMENTA PAULINE
3402 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2442

LITTLETON ANGELA W
3408 NORTHFIELD CT NW
ALBUQUERQUE NM 87107

GALLEGOS RAY L & MARCELLA J
348 VINEYARD RD NW
LOS RANCHOS NM 87107

YURCIC TRUST FRANCES Y DUNCAN
TRUSTEE

3505 CAMINO APLAUSO NW
ALBUQUERQUE NM 87107-2611

CORONA MARGARET
3510 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

SABATINI JOSEPH D & MARY B
TRUSTEES SABATINI RVT
3514 6TH ST NW
ALBUQUERQUE NM 87107-2419

LUBRICAR PROPERTIES III LLC
3520 CALLE CUERVO NW
ALBUQUERQUE NM 87114-9220

BACA GENE & MONA V 3530 7TH ST NW ALBUQUERQUE NM 87107-2421	REGIS ALAN F & FRANCINE A 3535 GIRARD BLVD NE ALBUQUERQUE NM 87107	PACHECO ARTHUR & LORRAINE 3559 LUKE CIR NW ALBUQUERQUE NM 87107-3014
SWAYDEN CHARLES A & CHRISTINE 36 CEDAR HILL PL NE ALBUQUERQUE NM 87122-1907	ATENCIO JOHN A & SONYA M 3601 7TH ST NW ALBUQUERQUE NM 87107	GARCIA LEROY & MAGDALENE M 3610 2ND ST NW ALBUQUERQUE NM 87107
MALATKER AGASTYA & ULIBARRI SONIA 3615 7TH ST NW ALBUQUERQUE NM 87107-2422	FARADAY 100 LLC 3636 4TH AVE SUITE 300 SAN DIEGO CA 92103-4294	TRAFTON CLINTON M & DEBORAH D TRUSTEES TRAFTON FAMILY TRUST 3639 MIDWAY DR SUITE B #338 SAN DIEGO CA 92110-5254
WINTERSTEEN GEORGIA LOUISE 3707 3RD ST NW ALBUQUERQUE NM 87107	ALBERT ARTHUR L & TILLIE M 3709 5TH ST NW ALBUQUERQUE NM 87107	ALEXANDER PATRICK H & MARY L 3716 CAMINO SACRAMENTO NE ALBUQUERQUE NM 87111-3912
JARAMILLO JOSEPH I & CINDY M 3719 3RD ST NW ALBUQUERQUE NM 87107-2312	GARCIA JOSE G & ANGELICA 3720 4TH ST NW ALBUQUERQUE NM 87107	ALVIDREZ TIRSO E 3724 3RD ST NW ALBUQUERQUE NM 87107
LOPEZ BENJAMIN & PRISCILLA T 3727 3RD ST NW ALBUQUERQUE NM 87107	CORDOVA CARLOS S 3728 3RD ST NW ALBUQUERQUE NM 87107-2313	HODELL TED 3729 11TH ST NW ALBUQUERQUE NM 87107
VARGAS UBALDO & ELENA & VARGAS MANUEL 3732 4TH ST NW ALBUQUERQUE NM 87107-2507	CHAN LILY BIK TRUSTEE CHAN TRUST 376 IMPERIAL WAY APT 108 DALY CITY CA 94015-2531	LOPEZ JOSIE 3800 2ND ST NW ALBUQUERQUE NM 87107-3306
SANCHEZ SEFERINA 3800 ALTA MONTE PL NW ALBUQUERQUE NM 87107-2525	COMMERCIAL PRODUCTS INC 3800 RIO GRANDE BLVD NW ALBUQUERQUE NM 87107	ORNELAS RUBY O 3803 3RD ST NW ALBUQUERQUE NM 87107
CAMPBELL ELIZABETH A 3805 5TH ST NW ALBUQUERQUE NM 87107	NOLAND MARY C 3805 TRES PINOS LN NW ALBUQUERQUE NM 87107	JARAMILLO GEORGE & MARIA 3807 3RD ST NW ALBUQUERQUE NM 87107
CHAVEZ SALVADOR 3808 3RD ST NW ALBUQUERQUE NM 87107	MORA LARRY 3808 ALTA MONTE PL NW ALBUQUERQUE NM 87107	VAZQUEZ JOSE 3809 5TH ST NW ALBUQUERQUE NM 87107-2515

SANCHEZ EDWARD H
3810 3RD ST NW
ALBUQUERQUE NM 87107

PENA GANDARA VIRGINIA
3814 ANDERSON AVE SE
ALBUQUERQUE NM 87108

FRUIT BASKET OF ALBUQUERQUE INC
3821 12TH ST NW
ALBUQUERQUE NM 87107

SAMHO LLC
3826 4TH ST NW
ALBUQUERQUE NM 87107

BUNGAY PROPERTIES LLC C/O
TROUBLED MINDS HOLDINGS LLC
3905 SIMMS AVE SE
ALBUQUERQUE NM 87106

WELSH JEFFRI
3907 3RD ST NW
ALBUQUERQUE NM 87107-2316

PARRA CARLOS & DALILA
3919 5TH ST NW
ALBUQUERQUE NM 87107-2516

RAMOS RAFAEL & RAMONA L
3920 5TH ST NW
ALBUQUERQUE NM 87107

CORDOVA DEBORAH
3923 3RD ST NW
ALBUQUERQUE NM 87107-2316

CURTIS KENNETH III & SHELLEY
3924 3RD ST NW
ALBUQUERQUE NM 87107-2317

FLORES FELICIANO
3925 3RD ST NW
ALBUQUERQUE NM 87107

GARCIA MARCOS
4 TUKI CT
LOS LUNAS NM 87031-8269

HIETPAS-CARVER JEANNE
400 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1248

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORPORATION TRUSTEE ETAL
4000 ST JOSEPH PL NW
ALBUQUERQUE NM 87120-1714

ARCHDIOCESE OF SANTA FE REAL
ESTATE CORP
4000 ST JOSEPHS PL NW
ALBUQUERQUE NM 87120-1714

COSS-VEGA SIGIFREDO
4008 ZORRO DR SE
ALBUQUERQUE NM 87105

SALAZAR KEN & YVONNE
4010 3RD ST NW
ALBUQUERQUE NM 87107-2340

NIETO ERNEST E
4012 3RD ST NW
ALBUQUERQUE NM 87107

LOS PUENTES EDUCATION
FOUNDATION
4012 4TH ST NW
ALBUQUERQUE NM 87107

TRUJILLO CARL M
4013 3RD ST NW
ALBUQUERQUE NM 87107

LOPEZ OLGA & JAVIER
402 PHOENIX AVE NW
ALBUQUERQUE NM 87107

TEXICO CONFERENCE ASSOCIATION OF
SEVENTH DAY ADVENTISTS
402 SAN CLEMENTE AVE NW
ALBUQUERQUE NM 87107-3629

VALDEZ FRANK E & BERTHA L
404 HUDSON AVE NW
ALBUQUERQUE NM 87107-1219

ROPEL MARK L
407 BELLROSE AVE NW
ALBUQUERQUE NM 87107

BLAIR F CELESTINA
407 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1247

RODARTE DOROTHY
407 PROSPECT AVE NW
ALBUQUERQUE NM 87102-1020

CABRERA MARIA D
408 HUDSON AVE NW
ALBUQUERQUE NM 87107

PONCE JOSE A & MARGARET A
408 PHOENIX AVE NW
ALBUQUERQUE NM 87107

TEETER JAMES DAVID
408 PROSPECT AVE NW APT B
ALBUQUERQUE NM 87102

PLY GROUP ABQ LLC
4080 GLENCOE AVE UNIT 309
MARINA DEL REY CA 90292-7507

JOHNSON ROBERT LEE 409 FREEMAN AVE NW ALBUQUERQUE NM 87107-3759	DELGADO EVANGELINE G 409 HUDSON AVE NW ALBUQUERQUE NM 87107	CASIAS DELLA E 409 PHOENIX AVE NW ALBUQUERQUE NM 87107
GONZALES LAURO LEROY & OLIVIA 410 HUDSON AVE NW ALBUQUERQUE NM 87107-1219	NEW MEXICO PLASTER & SUPPLY INC 4100 4TH ST NW ALBUQUERQUE NM 87107-3508	MORAGA EUGENE & AGNES 4100 SILVERY MINNOW PL NW ALBUQUERQUE NM 87120-4743
ORTIZ CARMEL R & CORINA E 4101 5TH ST NW ALBUQUERQUE NM 87107-3509	ACER HOME SOLUTIONS LLC 4102 5TH ST NW ALBUQUERQUE NM 87107-3509	RAEL MARIA GLORIA & MARTINEZ CLARA V 4104 AVON ST NW ALBUQUERQUE NM 87107
GARCIA ANTONIO 4105 5TH ST NW ALBUQUERQUE NM 87107	CHAVEZ AGNES & MONTOYA RUSSELL 4106 5TH ST NW ALBUQUERQUE NM 87107	SANTILLANES ANTHONY J 4108 AVON ST NW ALBUQUERQUE NM 87107-3511
MOORE AHMAD L & LOVELESS STEFANIE M 4109 5TH ST NW ALBUQUERQUE NM 87107-3509	NEW MEXICO ORGANIZING & SUPPORT CTR INC 411 BELLAMAH AVE NW ALBUQUERQUE NM 87102	GALLION TERESA E 411 BELLROSE AVE NW ALBUQUERQUE NM 87107-3725
GONZALES JANIE FAY 411 HUDSON AVE NW ALBUQUERQUE NM 87107-1216	MYRIAD HOSPITALITY LLC DBA COMFORT INN & SUITES 411 MCKNIGHT AVE NW ALBUQUERQUE NM 87102-1361	HUMMELL TYSON R 411 PHOENIX AVE NW ALBUQUERQUE NM 87107-1247
LANDRY PATRICK S 4111 AVON ST NW ALBUQUERQUE NM 87107-3511	ABEYTA IVAN CARLOS & GARCIA JOSHUA MICHEAL 4112 AVON ST NW ALBUQUERQUE NM 87107-3511	DUARTE OLAYA MUNOZ 4113 4TH ST NW ALBUQUERQUE NM 87107
CHACON TOMAS S 4115 5TH ST NW ALBUQUERQUE NM 87107-3509	CRAIG JOEL & JULIETTE 412 GRIEGOS RD NW ALBUQUERQUE NM 87107	ARMIJO WILLIAM F 412 PHOENIX AVE NW ALBUQUERQUE NM 87107
ORTIZ PATRICK J & BONITA L 412 SOLAR RD NW ALBUQUERQUE NM 87107-5740	GARCIA GEORGE H 4121 5TH ST NW ALBUQUERQUE NM 87107	APODACA RICHARD L & ESTHER M 4125 5TH ST NW ALBUQUERQUE NM 87107
MONTANO CHRISTINE M 413 CORDOVA AVE NW ALBUQUERQUE NM 87107-1215	GALLION TRYCE R 413 DELAMAR AVE NW ALBUQUERQUE NM 87107-5113	TORRES ARTURO A JR 413 GENE AVE NW ALBUQUERQUE NM 87107-5320

MCDONALD BARBARA A
413 HUDSON AVE NW
ALBUQUERQUE NM 87107-1216

CAMARGO MANUEL R & MARY J
414 GRIEGOS RD NW
ALBUQUERQUE NM 87107-3737

BECERRA NICOLAS & GUILLERMINA
415 LOS ARBOLES AVE NW
ALBUQUERQUE NM 87107-5332

HEALEY JOHN
416 ASPEN AVE NW
ALBUQUERQUE NM 87102

SELVAGE TERRY & MARSHA
416 LOS ARBOLES AVE NW
ALBUQUERQUE NM 87107

JACKSON PATRICK L & BONNIE L
416 SOLAR RD NW
ALBUQUERQUE NM 87107

SCHOUMAN JENNIFER L
417 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1247

LOERA PORFIRIO H & LETICIA
418 TOWNER NW
ALBUQUERQUE NM 87102

PHILLIPS BRITTANIE E
419 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1247

APODACA JO ANNA MARIE
420 CHEROKEE RD NW
ALBUQUERQUE NM 87107-3513

HERNANDEZ LAURA E
4131 5TH ST NW
ALBUQUERQUE NM 87107

SCOTT PAMELA R & ERNEST L
414 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1248

SMITHPETER TRACY A
415 PHOENIX AVE NW
ALBUQUERQUE NM 87107

STEWART FRANCINE R
416 BERRY RD NW
ALBUQUERQUE NM 87107

WILEY CATHERINE ANN
416 PALO DURO AVE NW
ALBUQUERQUE NM 87107-3829

CONWELL JAMES O JR & ALICE C
417 BLEDSOE RD NW
ALBUQUERQUE NM 87107

SANCHEZ PHILLIP M
417 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107

CORDOVA EDWARD T & PATRICIA A
419 CHEROKEE RD NW
ALBUQUERQUE NM 87107-3512

BENAVIDEZ MARY JANE
419 PROSPECT AVE NW
ALBUQUERQUE NM 87102-1020

HAFNER JESSICA MARIE
420 CORDOVA AVE NW
ALBUQUERQUE NM 87107-1273

ARAGON ROBERT L
414 GAVILAN DR NW
ALBUQUERQUE NM 87107

DIXON ERIC E & MICHELLE R
415 HUDSON AVE NW
ALBUQUERQUE NM 87107

LUCERO DAVID A & HILDA F
415 SAN LORENZO AVE NW
ALBUQUERQUE NM 87123

JARAMILLO CARLOS
416 GAVILAN PL NW
ALBUQUERQUE NM 87107

LUCERO CARL L
416 PHOENIX AVE NW
ALBUQUERQUE NM 87107-1248

MONTOYA STEVEN M
417 GENE AVE NW
ALBUQUERQUE NM 87107-5320

ROMERO GINA
418 CORDOVA AVE NW
ALBUQUERQUE NM 87107-1273

ROYBAL TILLY SEDILLO
419 LOS ARBOLES AVE NW
ALBUQUERQUE NM 87107

DOUVILLE KEVIN J
420 BERRY RD NW
ALBUQUERQUE NM 87107-5211

DEATON KAREN J
420 GRACELAND DR SE
ALBUQUERQUE NM 87108

STARK JODY M 420 PHOENIX AVE NW ALBUQUERQUE NM 87107	HARWOOD METHODIST CHURCH 420 SAN LORENZO NW ALBUQUERQUE NM 87107	ORTEGA PAULINE C 421 CORDOVA AVE NW ALBUQUERQUE NM 87107-1215
SAUNDERS CLARENCE M & LINDA L 421 DELAMAR AVE NW ALBUQUERQUE NM 87107-5113	CORDERO ERNEST 421 HEADINGLY AVE NW ALBUQUERQUE NM 87107-3518	ARREOLA EMMANUEL & OLIVAS- ARREOLA MAYRA A 421 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107-1228
HERSCHLER WILLIAM R & JULIE L 421 PHOENIX AVE NW ALBUQUERQUE NM 87107	MAESTAS ANDREW 421 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-3628	CORDOVA ROBERT W 421 SAN LORENZO AVE NW ALBUQUERQUE NM 87107
PEREA FRANCES L & PEREA JAKE A 422 CHEROKEE RD NW ALBUQUERQUE NM 87107-3513	STEVENS WILLIAM J & STEVENS PRISCILLA E 4227 4TH ST NW ALBUQUERQUE NM 87107	AMERICAN LEGION POST 100 424 CANDELARIA RD NW ALBUQUERQUE NM 87107-2402
MCCASH AARON & CONSUELO L 424 CORDOVA AVE NW ALBUQUERQUE NM 87107-1273	ALVARADO MANUEL & RAMONA 425 1/2 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107	CORDOVA ISABEL R & CRISTOBAL 425 HEADINGLY AVE NW ALBUQUERQUE NM 87107-3518
GONZALES CRISTAL 425 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107	HIGGINS DAVID J & REBECCA C 425 SAN LORENZO AVE NW ALBUQUERQUE NM 87107-3640	MARTINEZ MARCELLA J 426 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107
JARAMILLO E ANTHONY & CHRISTINE M 427 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107-5100	TYE PATRICK A & LINDA K 428 GENE AVE NW ALBUQUERQUE NM 87107-5321	CHAVEZ LORETTA A 429 PROSPECT AVE NW ALBUQUERQUE NM 87102
JANECKY STEVEN K & JULIA J KEE- JANECKY 430 GENE AVE NW ALBUQUERQUE NM 87107-5321	LARA-GUEVARA LUPE 430 TOWNER AVE NW ALBUQUERQUE NM 87102-1019	RED EARTH PROPERTIES INC 4313 CORRALES RD #6 CORRALES NM 87048-8663
WEBB JUDY L 432 CORDOVA AVE NW ALBUQUERQUE NM 87107	MARIANETTI PAUL A & PATRICIA A TRUSTEE MARIANETTI RVT 4333 PAN AMERICAN FWY NE SUITE A ALBUQUERQUE NM 87107-6833	LEYBA ANNABELL 434 MILDRED AVE NW ALBUQUERQUE NM 87107-2439
LOPEZ MARIA M 434 PROSPECT AVE NW ALBUQUERQUE NM 87102-1021	CALDERON WILLIAM B 435 CORDOVA AVE NW ALBUQUERQUE NM 87107-1215	BEVAN DEBRA L 436 CORDOVA AVE NW ALBUQUERQUE NM 87107

CRUZ ELIGIO RUBEL & ALICE A & CRUZ
ROY R

437 CORDOVA AVE NW
ALBUQUERQUE NM 87107-1215

CISNEROS MIGUEL A & VAZQUEZ-
BARRON ROSA MARIA & CISNEROS
CLAUDIA E

4400 ARROWHEAD AVE NW

MONTANO PROPERTIES II LLC

4401 LOMAS BLVD NE
ALBUQUERQUE NM 87110

J W BREWER TIRE COMPANY INC C/O
TIRE DISTRIBUTION SYS INC

441 DONELSON PIKE SUITE 310
NASHVILLE TN 37214-3568

VIDRO MICHAEL J & FELICIA J
4440 3RD ST NW
ALBUQUERQUE NM 87107-3927

LAWSON BEATRICE
4444 JUPITER ST NW
ALBUQUERQUE NM 87107-3941

SAX-ROMNEY CYNTHY A
4448 3RD ST NW
ALBUQUERQUE NM 87107-3927

PATCHELL MARGARET P
4457 3RD ST NW
ALBUQUERQUE NM 87107

GARCIA DAVID L
4500 CARLTON RD NW
ALBUQUERQUE NM 87107

RADILLO SHARON T
4501 5TH ST NW
ALBUQUERQUE NM 87107

ORTIZ OLIVER J
438 CORDOVA AVE NW
ALBUQUERQUE NM 87107-1274

VAZQUEZ DAVID RICARDO
4400 BRIDGEPORT RD NW
ALBUQUERQUE NM 87120-0000

LICINI HEATHER R & WOODARD
NATHAN M
4402 6TH ST NW
ALBUQUERQUE NM 87107

ANTHEM OIL LLC
4421 IRVING BLVD NW SUITE A
ALBUQUERQUE NM 87114

BUCKLEY FERN L & LISA B MARTINEZ &
ALBERT G MARTINEZ
4441 3RD ST NW
ALBUQUERQUE NM 87107

VIGIL LISA
4445 3RD ST NW
ALBUQUERQUE NM 87107

HANRETTA THERESA C
4449 JUPITER ST NW
ALBUQUERQUE NM 87107

DAWSON BRIAN D & JESSICA R
446 GENE AVE NW
ALBUQUERQUE NM 87107-5321

RM 2821 LLC
4500 SUNDT RD NE
RIO RANCHO NM 87124-7021

JORGENSEN CONSULTING LLC
4501 BOGAN AVE NE SUITE A-1
ALBUQUERQUE NM 87109-2225

SCHRAUDENBACH MAVIS H & MAH
ROBERT LAWRENCE LVG TRUST C/O
SHARON KARPINSKI
439 GAVILAN PL NW

SCHUMACHER R ELLEN
4401 5TH ST NW
ALBUQUERQUE NM 87107

VANETSKY SCOTT
4405 5TH ST NW
ALBUQUERQUE NM 87107-3720

LOVATO THOMAS & RAMONA
4423 5TH ST NW
ALBUQUERQUE NM 87107-3720

STELL WENDY L
4441 JUPITER ST NW
ALBUQUERQUE NM 87107-3940

LOWEY KATHARINE
4445 JUPITER ST NW
ALBUQUERQUE NM 87107-3940

WYLER VIOLA C
4453 3RD ST NW
ALBUQUERQUE NM 87107-3926

NICASIO PETER & LUCILLE C
447 ESTANCIA DR NW
ALBUQUERQUE NM 87105

WAINWRIGHT HILARY R
4501 3RD ST NW
ALBUQUERQUE NM 87107-3928

CORDOVA MATHEW BRENT
4506 FOURTH ST NW
ALBUQUERQUE NM 87107-3935

GUTIERREZ SALVADOR & SAENZ DE GUTIERREZ MARIANA VERONICA 4508 4TH ST NW ALBUQUERQUE NM 87107-3935	SANDOVAL ROBERT & SERRRANO EVA M 4508 5TH ST NW ALBUQUERQUE NM 87107	BLAIR JANET R 4509 3RD ST NW ALBUQUERQUE NM 87107
EMERALD BUILDING DEVELOPMENT CO LLC 4509 ALAMEDA BLVD NE SUITE B ALBUQUERQUE NM 87113-1705	SENA EDWARD A & NATALIE M 4511 5TH ST NW ALBUQUERQUE NM 87107-3721	OLIVAS MARTHA 4514 5TH ST NW ALBUQUERQUE NM 87107
STEPHENS MICHELLE M 4517 3RD ST NW ALBUQUERQUE NM 87107-3928	UNITZ SOUND 4518 4TH ST NW ALBUQUERQUE NM 87107	TORRES OBED & MATILDE 4520 4TH ST NW ALBUQUERQUE NM 87107
CORDOVA MATHEW BRENT 4522 4TH ST NW ALBUQUERQUE NM 87107-3935	STEVENS GRACE M TRUSTEE STEVENS LVT 4523 5TH ST NW ALBUQUERQUE NM 87107	MONTOYA LEAH 454 GENE AVE NW ALBUQUERQUE NM 87107-5321
POLITO ROBERT A & PATRICIA J 456 GAVILAN PL NW ALBUQUERQUE NM 87107-5315	SNIDER JERRY LEE & AVONA 458 GAVILAN PL NW ALBUQUERQUE NM 87107-5315	ZELLET I 4590 TIERRA DEL ORO SW ALBUQUERQUE NM 87105-5559
MARKS NATHAN M 460 GAVILAN PL NW ALBUQUERQUE NM 87107-5315	RECTOR JACK F & PHYLLIS C RECTOR ESTATE RVLT 460 GENE AVE NW ALBUQUERQUE NM 87107-5321	SHULTZ DELBERT L 4601 5TH ST NW ALBUQUERQUE NM 87107
BARELA BARBARA J 4602 3RD ST NW ALBUQUERQUE NM 87107	TRUMAN MARK 4604 3RD ST NW ALBUQUERQUE NM 87107-3931	TAFOYA FRANCES F 4604 5TH ST NW ALBUQUERQUE NM 87107
ESPINOZA MARIO A 4605 3RD ST NW ALBUQUERQUE NM 87107	WOODCOCK MATTHEW JOHN 4605 5TH ST NW ALBUQUERQUE NM 87107	WALKIW IRENE J 4608 3RD ST NW ALBUQUERQUE NM 87107
MONTGOMERY BEN W & ALEXIS A & MONTGOMERY TONI D 4609 5TH ST NW ALBUQUERQUE NM 87107	ULIBARRI JOSE A ETUX 4610 5TH ST NW ALBUQUERQUE NM 87107-3724	BRISTER JAMES H 4615 5TH ST NW ALBUQUERQUE NM 87107-3723
ZAMORA ELIZABETH M RVLT 4615 MI CORDELIA DR NW ALBUQUERQUE NM 87120-1849	O LEARY KYLE G & CLAUDIA 462 GAVILAN PL NW ALBUQUERQUE NM 87107-5315	MC SORLEY KAREN H 4620 5TH ST NW ALBUQUERQUE NM 87107

TEUPELL CHARLOTTE E & TEUPELL
ALICIA R

4620 QUAKER HEIGHTS PL NW
ALBUQUERQUE NM 87120

OTERO DENNIS
4704 BROOKWOOD ST NE
ALBUQUERQUE NM 87109-2806

ROMERO JOSEPH P II
4803 TEODOCIO RD NW
ALBUQUERQUE NM 87107

DIAZ ROWLAND A
4900 LENNOX BLVD
INGLEWOOD CA 90304

RC ACCOUNTING INC
4902 HAWKINS ST NE
ALBUQUERQUE NM 87109-4344

FLOREZ RUBEN B & EMMA L
4914 5TH ST NW
ALBUQUERQUE NM 87107

CHAVEZ CANDELARIA E
4926 5TH ST NW
ALBUQUERQUE NM 87107

MCLAUGHLIN MOLLY
500 AZTEC RD NW
ALBUQUERQUE NM 87107-2526

SANCHEZ ANDREW E ETUX
500 PALO DURO AVE NW
ALBUQUERQUE NM 87107-3831

PEERLESS TYRE CO
5000 KINGSTON ST
DENVER CO 80239-2522

ZAMARRON JOSELUIS
4624 3RD ST NW
ALBUQUERQUE NM 87107

LARDNER GRACELAND LLC
4741 PAN AMERICAN WEST FWY NE
ALBUQUERQUE NM 87109

CRUZ JOE ETUX
4804 BAJA CT NE
ALBUQUERQUE NM 87111-2711

ARCHULETA DAVID GARY & SANDRA L
4900 SHELLY ROSE RD NW
ALBUQUERQUE NM 87114-5751

ARCHIBEQUE ANTHONY M & KATHY R
4908 5TH ST NW
ALBUQUERQUE NM 87107

ZAMORA MARY LOU
4916 5TH ST NW
ALBUQUERQUE NM 87107

GRIEGO GERALD E
4928 5TH ST NW
ALBUQUERQUE NM 87107-3802

WATERS LON J
500 CIRCULO FLORETTA NW
ALBUQUERQUE NM 87102-5714

MONTOYA JOSEPHINE
500 SANCHEZ NW
ALBUQUERQUE NM 87107

FEARFIELD SYLVIA R
501 BELLROSE AVE NW
ALBUQUERQUE NM 87107-3757

BUTLER FRANK F C/O TAPIA CHRIS &
DANIELLE

4686 LOS POBLANOS CIR NW
ALBUQUERQUE NM 87107-5557

LUCERO AVENANCIO & ELEANOR C
4801 HARDWARE DR NE
ALBUQUERQUE NM 87109

DUNN-EDWARDS CORPORATION
4885 E 52ND PL
LOS ANGELES CA 90040

JARAMILLO RAUL A
4902 5TH ST NW
ALBUQUERQUE NM 87107

WILLIAMS DEBRA L & WILLIAMS
FORREST E
4908 NORTHERN TRL NW
ALBUQUERQUE NM 87120

LUCERO DAVID & HILDA
4918 FOURTH ST NW
ALBUQUERQUE NM 87107

APODACA PAUL S & TANUZ-APODACA
ROSEMARY A
50 IDA CT
CORRALES NM 87048

MERRELL NORMA FAYE TRUSTEE
MERRELL RVT
500 CIRCULO GALLEGOS NW
ALBUQUERQUE NM 87107-5715

VILLANUEVA ANTHONY & FLORENCE
500 VERANDA RD NW
ALBUQUERQUE NM 87107-2541

THRASHER KATHERINE E
501 BERRY RD NW
ALBUQUERQUE NM 87107

BAWDEN REBECCA 501 CIRCULO FLORETTA NW ALBUQUERQUE NM 87107-5714	SHIRM JOSEPH & MARTINEZ PRISCILLA 501 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107-5136	GONZALES ANSELMO FELIX & PETRA 501 HEADINGLY AVE NW ALBUQUERQUE NM 87107
SURA JOSE LEYVA & MARIA 501 LA POBLANA RD NW ALBUQUERQUE NM 87107-1335	ROMERO MARTIN C 501 SAN ANDRES AVE NW ALBUQUERQUE NM 87107-3854	SPEIGNER SEAN 501 SAN LORENZO AVE NW ALBUQUERQUE NM 87107-3642
DURAN BENNY & ALICIA FAMILY TRUST 501 VERANDA RD NW ALBUQUERQUE NM 87107-2540	MONTOYA RAY L & MARIE T 501 VILLA VERDE DR SE RIO RANCHO NM 87124-1241	ABLE LLC 5010 4TH ST NW ALBUQUERQUE NM 87107
MOUNTAIN MAHOGANY COMMUNITY SCHOOL 5014 4TH ST NW ALBUQUERQUE NM 87107	JIMENEZ SEAN & OLIVIA A 5014 5TH ST NW ALBUQUERQUE NM 87107	MAHONEY SHEILA F 5015 5TH ST NW ALBUQUERQUE NM 87107
KELLY PAUL M 502 AZTEC RD NW ALBUQUERQUE NM 87107	ALVAREZ MOISES & MILDRED R 502 DELAMAR AVE NW ALBUQUERQUE NM 87107	RUNDELL ROBERT D 502 GORRY CT NW ALBUQUERQUE NM 87107-5412
BARAGIOLA ERIN MARIE 502 PONDEROSA AVE NW ALBUQUERQUE NM 87107-3851	KUSTER NATHANIEL M & ZEGOBIA- KUSTER NORMA R 502 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-3631	CAMACHO CHRISTINA R 5020 5TH ST NW ALBUQUERQUE NM 87107-3804
MCKENNA CHAD & ASHLEY 5023 5TH ST NW ALBUQUERQUE NM 87107-3803	RUNNING STARS LLC 5024 4TH ST NW ALBUQUERQUE NM 87107-3954	MITCHELL KATHRYN C & GONZALES ANTHONY 5024 5TH ST NW ALBUQUERQUE NM 87107-3804
MARTIN PAUL J & MADRID ANALISA G 5028 LA CIENEGA ST NW ALBUQUERQUE NM 87107-3826	PAGE JOE B & LINDA S 5029 4TH ST NW ALBUQUERQUE NM 87107	PALS LAURIE J 503 AZTEC RD NW ALBUQUERQUE NM 87107
GALLEGOS TONY RICHARD & EMMA 503 DELAMAR AVE NW ALBUQUERQUE NM 87107-5115	REYES AURELIANO & ESTELA 503 HEADINGLY AVE NW ALBUQUERQUE NM 87107-3520	ZAMORA JESUS R 503 PALO DURO AVE NW ALBUQUERQUE NM 87107
SANCHEZ CORINA R & HERNANDEZ- BACA GABRIEL A 503 PONDEROSA AVE NW ALBUQUERQUE NM 87107-3850	ENCINIAS CONRADA O & GABALDON ANNA MARIE 503 VERANDA RD NW ALBUQUERQUE NM 87107-2540	SANCHEZ ISAAC M & JANELL L CALLAHAN 5030 5TH ST NW ALBUQUERQUE NM 87107

PEREZ JOSE A
5030 LA CIENEGA ST NW
ALBUQUERQUE NM 87107

PICHARDO JAMES D & MARIA C
ORTEGA
504 FITZGERALD RD NW
ALBUQUERQUE NM 87107

JAYNES RYAN
504 SAN CLEMENTE AVE NW
ALBUQUERQUE NM 87107-3631

CHAVEZ FRANK A & DULEMIA
505 CANDELARIA RD NW
ALBUQUERQUE NM 87107-2403

LUCERO RAYMOND & DIANE H
505 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1335

LUGO SATURNINA
506 APACHE AVE NW
ALBUQUERQUE NM 87102

BACA PRISCILLA
506 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107-3643

PAPROCKI DEBRA A
508 BERRY RD NW
ALBUQUERQUE NM 87107-5214

MARTINEZ DON J & JOANN S
508 CLAREMONT AVE NW
ALBUQUERQUE NM 87107

DELEON ROBERT
508 FITZGERALD ST NW
ALBUQUERQUE NM 87107

MENDOZA JOSE R
5031 EL PASEO DR NW
ALBUQUERQUE NM 87107-3813

BROOKS SHERRY L & RICHARD V
504 GORRY CT NW
ALBUQUERQUE NM 87107

BEYOND ELECTRIC LLC
504 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5263

DORR JEREMY M
505 CIRCULO FLORETTA NW
ALBUQUERQUE NM 87107-5714

PATTISON KENNETH E
505 SAN LORENZO AVE NW
ALBUQUERQUE NM 87107

MARTINEZ GERALDINE & MENDOZA
CATHY & MENDOZA FRANCES
506 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5116

SERNA REBECCA D
507 HEADINGLY AVE NW
ALBUQUERQUE NM 87107-3520

HAYES MARLENE J
508 CIRCULO FLORETTA NW
ALBUQUERQUE NM 87107-5714

MARTINEZ PHILLIP J & CONNIE
508 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5116

ARMIJO ANGIE & ARMIJO JOE A &
ARMIJO ROBERT L & ARMIJO LORRAINE
508 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1336

GUTIERREZ ANTHONY P
504 DOUGLAS MACARTHUR RD NW
ALBUQUERQUE NM 87107-5137

SALAZAR LOUIE & RITA
504 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1336

RAEL FRANCIS D & DIANA E S
505 AZTEC RD NW
ALBUQUERQUE NM 87107

VALLEJOS EARLINO A ETUX
505 DOUGLAS MCARTHUR RD NW
ALBUQUERQUE NM 87107

BOWEN BECKY
505 VERANDA RD NW
ALBUQUERQUE NM 87107-2540

GUTIERREZ FRANK JR & VIOLA
506 PALO DURO AVE NW
ALBUQUERQUE NM 87107-3831

DERR WILLIAM M
507 MONTANO RD NW
ALBUQUERQUE NM 87107

LINTHICUM BARBARA A
508 CIRCULO GALLEGOS NW
ALBUQUERQUE NM 87107-5715

SPENCER GARY R & ROSE A
508 DOUGLAS MACARTHUR RD NW
ALBUQUERQUE NM 87107

JARAMILLO CORCINIO C
508 PALO DURO AVE NW
ALBUQUERQUE NM 87107-3831

SANCHEZ BENITO & RITA 509 CAMINO DE LA SIERRA NE ALBUQUERQUE NM 87123-2404	CASIAS CONSUELO 509 CIRCULO FLORETTA NW ALBUQUERQUE NM 87107-5714	MEEK JAMES E & FRANCES C CO TRUSTEES MEEK RVT 509 DOUGLAS MCARTHUR RD NW ALBUQUERQUE NM 87107-5136
HOWARD THERESA A 509 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107	WHITING HENRY JR 509 PALO DURO AVE NW ALBUQUERQUE NM 87107-3830	WATKINS KENNETH & MICHELE S 509 PALOMAS DR NE ALBUQUERQUE NM 87108
BRENNAN LISA 509 SAN LORENZO AVE NW ALBUQUERQUE NM 87107-3642	GALLEGOS MARY & TIMOTHY 509 VERANDA ST NW ALBUQUERQUE NM 87107	LEPPKE INVESTMENTS 510 CAMINO ESPANOL NW ALBUQUERQUE NM 87107-5815
ALLISON BRUCE 510 DELAMAR AVE NW ALBUQUERQUE NM 87107-5116	VASQUEZ PAULINO & L S RIVERA 510 GRIEGOS RD NW ALBUQUERQUE NM 87107	GALLEGOS ISABEL M 510 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-3631
MILLER MICHAEL J 510 SAN LORENZO AVE NW ALBUQUERQUE NM 87107	MONTOYA AMBROS D & ERICA N 510 SOLAR RD NW ALBUQUERQUE NM 87107-5742	LUCERO DARLENE C 5102 5TH ST NW ALBUQUERQUE NM 87107
NEWMAN ROSALVA P & LASCANO- PEREZ MARIA ISABEL 5108 5TH ST NW ALBUQUERQUE NM 87105	FENNEMA ROBERTA WILLIAMS & DONALD ROBERT FENNEMA 511 SAN ANDRES AVE NW ALBUQUERQUE NM 87107-3854	MONTANO ELIA G & JEAN M MONTANO & ALEXANDRIA CISNEROS 5112 5TH ST NW ALBUQUERQUE NM 87107
GALLEGOS MARIA C 5116 5TH ST NW ALBUQUERQUE NM 87107-3806	LUICK MARTHA 512 BERRY RD NW ALBUQUERQUE NM 87107	MOYA MICHAEL E & MOYA RUBEN P & ESTER 512 CIRCULO FLORETTA NW ALBUQUERQUE NM 87107-5714
MONTOYA ESTHER J 512 CIRCULO GALLEGOS NW ALBUQUERQUE NM 87107-5715	TRUJILLO TOMMY M 512 DELAMAR AVE NW ALBUQUERQUE NM 87107-5116	LUCERO FANNIE N 512 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107
GALLEGOS JOLENE 512 FITZGERALD RD NW ALBUQUERQUE NM 87107	MARTINEZ PATRICIA G & JESUS J 512 GRECIAN AVE NW ALBUQUERQUE NM 87107	SANCHEZ ANTONIO & PUNNARAI 512 INDIAN SCHOOL RD NW ALBUQUERQUE NM 87102-1325
MCFARLANE JOAN M & MCFARLANE DAVID J 512 LOS ARBOLES AVE NW ALBUQUERQUE NM 87107	BAGGERLY DAVID M & YVETTE J 512 SANCHEZ RD NW ALBUQUERQUE NM 87107-5245	EVERGUARD PROPERTIES LLC 512 VERANDA RD NW ALBUQUERQUE NM 87107

WHEELER CATHERINE
5120 4TH ST NW
ALBUQUERQUE NM 87107

GOMEZ RONALD B & DEBORAH E
513 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5115

GONZALES PATRICIA ANN
513 VERANDA NW
ALBUQUERQUE NM 87107

DURAN PHILLIP B
514 SAN CLEMENTE AVE NW
ALBUQUERQUE NM 87107-3631

MARTINEZ STELLA D
516 BERRY RD NW
ALBUQUERQUE NM 87107-5214

VARGAS KELLI ANN
516 GRECIAN AVE NW
ALBUQUERQUE NM 87107

GONZALES JULIA A & PHILIP C
517 BRYN MAWR DR SE
ALBUQUERQUE NM 87106-2301

ARMIJO GILBERT A
518 SAN CLEMENTE AVE NW
ALBUQUERQUE NM 87107-3631

PUENTES RAFAELA
519 TOWNER AVE NW
ALBUQUERQUE NM 87102

ROWE BEVERLY S
5201 ROMA AVE NE APT 419
ALBUQUERQUE NM 87107-1334

RUBI DIEGO GEORGE
5120 5TH ST NW
ALBUQUERQUE NM 87107-3806

APODACA LOUIS A DBA LOUIS A
APODACA INS AGENCY & KATHLEEN E
513 DOUGLAS MACARTHUR RD NW
ALBUQUERQUE NM 87107-5136

BACA DORENE B
514 FITZGERALD RD NW
ALBUQUERQUE NM 87107

MCCORMICK ESTHER B
515 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5115

SCHIPPERS JAMES J & JANET
516 DOUGLAS MACARTHUR RD NW
ALBUQUERQUE NM 87107-5137

MOLLER INGE
516 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5245

MAESTAS DOLORES C
517 DOUGLAS MACARTHUR RD NW
ALBUQUERQUE NM 87107

BLEA DEBBIE L
519 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5115

GILBERT PEGGY
520 BERRY RD NW
ALBUQUERQUE NM 87107-5214

MORTENSEN GREG & CATHERINE L
5202 CONCORDIA ST
FAIRFAX VA 22032-3408

BECERRIL BURCIAGA JORGE GABRIEL &
BURCIAGA CARRASCO GABRIELA
5127 WILLOW CREEK DR NW
ALBUQUERQUE NM 87114-3816

SALAZAR JENNIFER J
513 MC KNIGHT AVE NW
ALBUQUERQUE NM 87102-1326

SMITH ALICE A
514 LOS ARBOLES AVE NW
ALBUQUERQUE NM 87107-1231

BACA STEVEN L
515 SAN ANDRES AVE NW
ALBUQUERQUE NM 87107

KONZEN RUTH M
516 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2432

STEWART TAYLOR & IAN
516 SOLAR RD NW
ALBUQUERQUE NM 87107-5742

URQUIDEZ EVA F & URQUIDEZ BLAS JR
517 SAN CLEMENTE AVE NW
ALBUQUERQUE NM 87107-3630

MARTINEZ MARIA J
519 SAN ANDRES AVE NW
ALBUQUERQUE NM 87107-3854

TORRES RALPH C & MARY A
520 PALO DURO AVE NW
ALBUQUERQUE NM 87107-3831

DRELLS INC DBA MR POQDREL'S BBQ
HOUSE
5209 4TH ST NW
ALBUQUERQUE NM 87107

WYMAN ELIZABETH A & WYMAN BROOKE 521 BERRY RD NW ALBUQUERQUE NM 87107	PLAGGE LYNN K TRUSTEE PLAGGE LVT 521 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-3630	HERNANDEZ JORGE & IMELDA 521 VERANDA RD NW ALBUQUERQUE NM 87107
SCOTT MARY EDIE 522 SAN CLEMENTE AVE NW ALBUQUERQUE NM 87107-3631	STULL JON D 5227 CEDRO WAY SW LOS LUNAS NM 87031	BRUNO SAMUEL 5235 EDITH BLVD NE ALBUQUERQUE NM 87107
WILSON AMBER R 524 BERRY RD NW ALBUQUERQUE NM 87107	HALVERSON TERRANCE LEE & DIANNE 524 CANDELARIA RD NW ALBUQUERQUE NM 87107	ADAIR FREDERICK C TRUSTEE ADAIR FAMILY TRUST 524 FITZGERALD RD NW ALBUQUERQUE NM 87107-2483
INDRITZ TOVA 524 GRIEGOS RD NW ALBUQUERQUE NM 87107-3739	FAITHFUL LAND LLC 524 MONTANO RD NW ALBUQUERQUE NM 87107-5225	ALPERIN LESLIE 524 PALO DURO AVE NW ALBUQUERQUE NM 87107-3831
STOUT REGINA M & GLEN L 524 SANCHEZ RD NW ALBUQUERQUE NM 87107-5245	DELKER LINDA A 525 BERRY RD NW ALBUQUERQUE NM 87107-5213	JENKINS PATRICIA GIL 527 SAN ANDRES AVE NW ALBUQUERQUE NM 87107-3854
OROZCO BRITTANY A & OROZCO CHRISTINA M & DOMINIC D 528 BERRY RD NW ALBUQUERQUE NM 87107-5214	WOODS ANTHONY 528 CANDELARIA RD NW ALBUQUERQUE NM 87107-2404	SUMROW JOHN B 528 SANCHEZ RD NW ALBUQUERQUE NM 87107
GALLEGOS JOEL A 529 BERRY RD NW ALBUQUERQUE NM 87107	ESPINOZA EDDIE A & RITA PADILLA 530 FITZGERALD RD NW ALBUQUERQUE NM 87107-2432	CITY CHURCH OF ALBUQUERQUE INC 5300 2ND ST NW ALBUQUERQUE NM 87107-4056
FIRSTENBURG GREGORY S & DEBORAH T 5301 EDUARDO AVE NW ALBUQUERQUE NM 87120	CORDOVA MATTHEW D 5305 6TH CT NW ALBUQUERQUE NM 87107-5108	RUSSELL STEPHEN C & SANCHEZ RENEE N 5306 6TH CT NW ALBUQUERQUE NM 87107-5108
MEYERS NICHOLAS A & MEYERS ROBERT J & SMITH JANE ELLEN 5306 7TH CT NW ALBUQUERQUE NM 87107-5109	TORRACO MARY C 5308 6TH CT NW ALBUQUERQUE NM 87107	PELIGRO LLC 5309 4TH ST NW ALBUQUERQUE NM 87107-5205
PADILLA JR MARTIN 5309 6TH CT NW ALBUQUERQUE NM 87107-5108	FOLLOWING DADS WISHES LLC 5309 LEHR PL NW ALBUQUERQUE NM 87114-4641	ROMERO DANNY SR & ELENA 531 VERANDA NW ALBUQUERQUE NM 87107

ROMERO DANIEL & ELENA T
531 VERANDA RD NW
ALBUQUERQUE NM 87107-2540

GUTIERREZ ESTHER & ANTHONY P
5315 5TH CT NW
ALBUQUERQUE NM 87107

J SQUARED 4TH STREET LLC
5319 MENAUL BLVD NE
ALBUQUERQUE NM 87110-3113

SEVILLA ALFONSO & LOPEZ RACHEL
ANN
5322 7TH CT NW
ALBUQUERQUE NM 87107-5109

VILLANUEVA GARY & DONNA M
534 VERANDA NW
ALBUQUERQUE NM 87107

PHILLIPS REBECCA
537 VERANDA RD NW
ALBUQUERQUE NM 87107-2540

YAGER BRUCE E
540 SANCHEZ RD NW
ALBUQUERQUE NM 87107-5245

SANCHEZ TED L
5401 5TH ST NW
ALBUQUERQUE NM 87107-5201

COMBA CHARLENE
5405 5TH ST NW
ALBUQUERQUE NM 87107-5201

BRAY MATTHEW A
541 BERRY RD NW
ALBUQUERQUE NM 87107

MAESTAS NETTIE F
5312 5TH ST NW
ALBUQUERQUE NM 87107

ECKMAN JOAN E AND/OR ERICKSON
DONNA F
5315 6TH CT NW
ALBUQUERQUE NM 87107-5108

MIRANDA CRYSTAL T
532 SANCHEZ RD NW
ALBUQUERQUE NM 87107

ALVARADO JOHN & ELVIRA
5328 HAMMILL RD
EL MONTE CA 91732

BROWNING MICHELLE
536 BERRY RD NW
ALBUQUERQUE NM 87107-5214

ORTIZ TIMOTHY A
5380 SOBRANTE AVE
SOBRANTE CA 94803-1434

MARTINEZ LE ROY DANIEL
540 VERANDA RD NW
ALBUQUERQUE NM 87107-2541

ULIBARRI MARCIA C
5401 6TH ST NW
ALBUQUERQUE NM 87107

BELYEA MARY
5405 6TH ST NW
ALBUQUERQUE NM 87107

CONNELLY RICHARD M & EVA B
541 VERANDA RD NW
ALBUQUERQUE NM 87107-2540

SANCHEZ DONALD E & SANDRA C
5313 5TH CT NW
ALBUQUERQUE NM 87107

MCCONNELL ADRIENNE E
5316 7TH CT NW
ALBUQUERQUE NM 87107

VANDERGRIFF JESSE D JR & CHERYL A
5321 6TH CT NW
ALBUQUERQUE NM 87107-5108

BONDU VIRGINIE
533 BERRY RD NW
ALBUQUERQUE NM 87107

VILLAS CONNIE C
537 BERRY RD NW
ALBUQUERQUE NM 87107

POPE-SCHUCH ELOISE N & POPE-HEIN
STACIE
539 VERANDA RD NW
ALBUQUERQUE NM 87107

GUTIERREZ FRED D ETUX
5400 9TH ST NW
ALBUQUERQUE NM 87107

PAVLAKOVICH NICK JR & ERNESTINE
5401 LAS TRAMPAS WAY NW
ALBUQUERQUE NM 87120-2339

DOLTER MICHAEL D & CATHIE A
5409 5TH ST NW
ALBUQUERQUE NM 87107

ARAGON CLIM LLOYD
5411 4TH ST NW
ALBUQUERQUE NM 87107-5207

JARAMILLO NICOLE 5415 6TH ST NW ALBUQUERQUE NM 87107	CHAVEZ ADOLPH 5419 5TH ST NW ALBUQUERQUE NM 87107-5201	LOBATO PAUL 5419 6TH ST NW ALBUQUERQUE NM 87107-5248
GUZMAN MICHAEL F 542 VERANDA RD NW ALBUQUERQUE NM 87107-2541	WILLIAMS SAM A & PATRICIA G WILLIAMS 5426 6TH ST NW ALBUQUERQUE NM 87107	BONADEA JEANNE 5427 5TH ST NW ALBUQUERQUE NM 87107-5201
CHAVEZ RICARDO J 5427 6TH ST NW ALBUQUERQUE NM 87107-5248	RAMIREZ FRANCISCO 543 VERANDA RD NW ALBUQUERQUE NM 87107-5023	HILL LINDA L 5431 5TH ST NW ALBUQUERQUE NM 87107
SALAZ ROBERTO P 5431 6TH ST NW ALBUQUERQUE NM 87107	MURROW SARAH A 5434 6TH ST NW ALBUQUERQUE NM 87107	ZMROCZEK SUSAN D 5435 6TH ST NW ALBUQUERQUE NM 87105
PIKE WILLIAM F JR & PIKE ORION R 5438 6TH ST NW ALBUQUERQUE NM 87107-5249	LLOYD JOAN P TRTE LLOYD RVT & LAURETTE ALEXANDER & WHEATON BRADISH BYERS JR 5439 6TH ST NW	LOPEZ-HARRIS JOAN 544 VERANDA NW ALBUQUERQUE NM 87107
HARRIS THOMAS B 5442 6TH ST NW ALBUQUERQUE NM 87107	GIBBS CHARLES E JR 545 BERRY RD NW ALBUQUERQUE NM 87107-5213	MONTOYA MICHAEL A 5451 6TH ST NW ALBUQUERQUE NM 87107-2015
ZAMORA BETTY J 5463 6TH ST NW ALBUQUERQUE NM 87107	PAWLEY JANET 548 BERRY RD NW ALBUQUERQUE NM 87107	WELCH JODY L 549 SANCHEZ RD NW ALBUQUERQUE NM 87107-5259
VAZQUEZ JOSE 5500 BRIDGEPORT RD NW ALBUQUERQUE NM 87120-3224	BAUMGARDNER SUSAN F 552 BERRY RD NW 132 ALBUQUERQUE NM 87107-5214	SEMANICK TAMERA K 553 SANCHEZ RD NW ALBUQUERQUE NM 87107
SAYLOR RICHARD B & SUSAN J & BUNGAY PROPERTIES LLC 5565 EAKES RD NW ALBUQUERQUE NM 87107	PILCHER AMANDA R & PILCHER RANDALL 557 SANCHEZ RD NW ALBUQUERQUE NM 87107	LOPEZ DIONICO J & LOPEZA ATANACIO J 559 BERRY RD NW ALBUQUERQUE NM 87107-5213
LANE SUSAN 560 BERRY RD NW ALBUQUERQUE NM 87107-5214	FEDERAL NATIONAL MORTGAGE ASSOCIATION C/O GRANITE PARK VII 5600 GRANITE PKWY PLANO TX 75024-4126	GRAND RIVER LLC 5604 MARIOLA PL NE ALBUQUERQUE NM 87111-8330

FRAIRE CRUZ & PADILLA JERRY
5624 LIZARD LN SW
ALBUQUERQUE NM 87121-6988

KRZYKOWSKI TYLER DANIEL
568 BERRY RD NW
ALBUQUERQUE NM 87107-5214

HAWKINS FAMILY PARTNERS LP
5716 W HIGHWAY 290 SUITE 200
AUSTIN TX 78735-8721

EMOK LLC C/O 5810 4TH ST LLC
5810 4TH ST NW
ALBUQUERQUE NM 87107-5343

SANCHEZ GILBERT L ETUX
5820 4TH ST NW
ALBUQUERQUE NM 87107

MEEK RONALD L
5836 PAULINE AVE NW
ALBUQUERQUE NM 87107

HASKINS BRET & ELLIOTT JACQUELINE
5912 PAULINE AVE NW
ALBUQUERQUE NM 87107

GARCIA DAVID & BARBARA
5932 PAULINE AVE NW
ALBUQUERQUE NM 87107-5329

SAIZ JERRY
6 GADDIS RD
SANDIA PARK NM 87047-9347

MOORE ALLISON
600 SOLAR RD NW
ALBUQUERQUE NM 87107

BOURDIER LAURA G
564 BERRY RD NW
ALBUQUERQUE NM 87107

BRANSON THOMAS L
5701 TIOGA NW
ALBUQUERQUE NM 87120

JARAMILLO LEROY C & KRISTOPHER B
JARAMILLO
5720 ALTA VISTA CT SW
ALBUQUERQUE NM 87105-3362

MEJIA MANUEL JESUS & DEANZA
MARIE
5812 PAULINE AVE NW
ALBUQUERQUE NM 87107

SPITZ BARBARA F & TERRENCE C
5820 PAULINE AVE NW
ALBUQUERQUE NM 87107-5327

HOOPER TIMOTHY E & KATHLEEN M
5904 PAULINE AVE NW
ALBUQUERQUE NM 87107

RUIZ FRANCISCO J E
5923 4TH ST NW
ALBUQUERQUE NM 87107-5305

VIGIL JACOB M & STITH SARAH S
5934 PAULINE AVE NW
ALBUQUERQUE NM 87107

MC COMAS JACK D & HELEN M
TRUSTEES MCCOMAS RVT
600 ALCALDE PL SW UNIT 10
ALBUQUERQUE NM 87104-1066

PEREZ-PEREZ HUMBERTO F
6000 MONTANO PL NW APT 4C
ALBUQUERQUE NM 87120-2471

JEM PROPERTIES LLC
5645 4TH ST NW
ALBUQUERQUE NM 87107

BAGGERLY JO ANN & JAMES M
5713 CHIMAYO DR NW
ALBUQUERQUE NM 87120-2131

LUCERO DAVID & HILDA
5801 EDITH BLVD NE SPACE 1
ALBUQUERQUE NM 87107-5077

ROGERS PATRICK J
5819 PADRE ROBERTO RD NW
LOS RANCHOS NM 87107-7114

GUTIERREZ RONNIE A
5828 PAULINE AVE NW
ALBUQUERQUE NM 87107-5327

MONTOYA CHARLES C
5911 4TH ST NW
ALBUQUERQUE NM 87107

LUCERO CARLO A & PAULINE RVT
5924 GUADALUPE TRL NW
ALBUQUERQUE NM 87107

YADAV LLC
5939 4TH ST NW
ALBUQUERQUE NM 87107

CASTELLANO DANIEL R & MARIA I
600 MONTOYA ST NW
ALBUQUERQUE NM 87104

PROPERTY 2339 LLC
601 CANDELARIA RD NW
ALBUQUERQUE NM 87107-2405

PACHECO ANALISA M 601 GRECIAN LN NW ALBUQUERQUE NM 87107-5728	KEY DONALD W & SR & CANYON LINDA JO 601 GRIEGOS RD NW ALBUQUERQUE NM 87107-3740	ST MICHAEL & ALL ANGELS EPISCOPAL CHURCH 601 MONTANO RD NW ALBUQUERQUE NM 87107
ALARID CHRISTIAN A 6013 CALLE OCHO NW ALBUQUERQUE NM 87107-5710	FACIO ANGELICA 6017 CALLE OCHO NW ALBUQUERQUE NM 87107-5710	NLA LLC 6017 NASCI DR NE ALBUQUERQUE NM 87111
ROJAS-HERNANDEZ HILDA 602 DELAMAR AVE NW ALBUQUERQUE NM 87107	KENNEDY JOHN W & GEORGIANA M TRUSTEES KENNEDY RVL T 602 MONTANO RD NW ALBUQUERQUE NM 87107-5227	NEWSOM ELIZABETH 6021 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338
VERGARA ROGER L 6025 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338	MANN NEIL B & SANDRA K 6029 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338	KEITH DANIEL H & CHERYL A 603 DELAMAR AVE NW ALBUQUERQUE NM 87107
WASHBURN DAVID D JR & JEANNE CAMERON 603 GRIEGOS RD NW ALBUQUERQUE NM 87107	DURGIN JENNIFER R 6033 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338	MARVICK BRUCE & LISA D FRAY 6037 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338
MIERA JOSE I 604 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107	MARTINEZ VENESSA L 6041 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338	OLONA DIANA C 6045 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338
REINEKE LINDA M & SID A LUCERO 6049 ALAMOSA WAY NW ALBUQUERQUE NM 87107-5338	MORTELLARO DONNA E TRUSTEE MORTELLARO RVT 605 FITZGERALD RD NW ALBUQUERQUE NM 87107-2433	ALBUQUERQUE PRE-SCHOOL COOP 606 CANDELARIA RD NW ALBUQUERQUE NM 87107-2406
MONTOYA RUTH 607 DELAMAR AVE NW ALBUQUERQUE NM 87107-5117	HERANDEZ ARTURO 608 DELAMAR AVE NW ALBUQUERQUE NM 87107-5118	HERNANDEZ ARTURO 608 DELMAR AVE NW ALBUQUERQUE NM 87107-5118
GALLEGOS NETTIE R TRUSTEE GALLEGOS TRUST 608 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107-5138	STARLING KIM KATHLEEN & EISELE DAVID ARTHUR 6085 SPRING GLADE RD LOVELAND CO 80538	CALDWELL VERONICA 609 CUTLER AVE NW ALBUQUERQUE NM 87107
HILL JEFFREY D 610 DELAMAR AVE NW ALBUQUERQUE NM 87107-5118	VIGIL JAMES D 610 DOUGLAS MACARTHUR RD NW ALBUQUERQUE NM 87107	MONTOYA JERRY T & TRACY 610 GUADALUPE CT NW ALBUQUERQUE NM 87114-2312

HASSAN INVESTMENTS LLC
6100 4TH ST 281
ALBUQUERQUE NM 87107-5309

JOHNSON FRANK G & GORDON ZELDA L
611 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5117

RFT 717 CANDELARIA LLC
612 CHARLES PL NW
ALBUQUERQUE NM 87107-6223

MONTOYA JOSE A TRUSTEE MONTOYA
RVL T
614 1/2 CUTLER AVE NW
ALBUQUERQUE NM 87102

HUGHSON ELIZABETH A
615 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2433

ROMERO LEANDREA R & LUCERO
ROBERT J
617 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5117

ABUDAYYEH DR KAMAL B OKLA &
HILDA
6200 MONTANO PLAZA DR NW APT
1724

CHAVEZ YVETTE A
6201 SABRE CT NW
ALBUQUERQUE NM 87107-5739

CHAVEZ ROBERT & FLORA V
621 5TH ST SW
ALBUQUERQUE NM 87102

CLARK DAVID & CAROLYN
6216 SABRE CT NW
ALBUQUERQUE NM 87107-5739

HASSAN INVESMENTS LLC
6100 4TH ST NW 281
ALBUQUERQUE NM 87107-5309

CANO BERNIE F & MARIA E
6110 GUADALUPE TR NW
ALBUQUERQUE NM 87107

MORENO DANNY O
613 CUTLER AVE NW
ALBUQUERQUE NM 87102

BEGNAUD ANDRE D & LAURIE A
614 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2434

CRW PROPERTIES IV LLC
615 S DUPONT HWY
DOVER DE 19901-4517

MONTESSORI OF THE RIO GRANDE INC
618 FAIRWAY RD NW
ALBUQUERQUE NM 87107-5717

CHAVEZ ORLANDO SR
6201 NABOR RD NW
LOS RANCHOS NM 87107

SHINES PINON LLC
6208 GHOST FLOWER TRL NE
ALBUQUERQUE NM 87112-8349

ORITZ BRIAN & ERICA D
6212 CASA BLANCA DR NW
ALBUQUERQUE NM 87120

PLUNKETT ROBERT M & RUMLEY
DENISE R
622 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2434

GREY GILLEY & VILLANUEVA LYNETTE
OLSON
6100 4TH ST NW SUITE A234
ALBUQUERQUE NM 87107-5309

CANO BERNIE F & MARIA E
6110 GUADALUPE TRL NW
ALBUQUERQUE NM 87107

PDH LLC
6131 4TH ST NW
ALBUQUERQUE NM 87107

MOYE BRYAN R & MARGUERITE
6149 W 74TH ST
LOS ANGELES CA 90045-1605

DOW-DOSS LORRI A
616 DELAMAR AVE NW
ALBUQUERQUE NM 87107

PROPERTY 296 LLC
619 CANDELARIA RD NW
ALBUQUERQUE NM 87107-2405

MARTINEZ FLORA OR GRIEGO CINDY
6201 PONDEROSA AVE NE
ALBUQUERQUE NM 87110-1335

GARCIA ANGEL Y
6208 NORTHLAND AVE NE
ALBUQUERQUE NM 87109

CIDDIO WAYNE W & DEBORAH A
6212 SABRE CT NW
ALBUQUERQUE NM 87107-5739

DUNAGAN KATHERYNE
6220 SABRE CT NW
ALBUQUERQUE NM 87107-5739

NAPOLITANO LUIGI 6225 4TH ST NW ALBUQUERQUE NM 87107	WRINKLE MARIAN PENNIMAN 6231 COLUMBIA ST HASLETT MI 48840-8225	ST MARTIN SHERI & MICHAEL ARCHULETA 625 FITZGERALD RD NW ALBUQUERQUE NM 87107-2433
EARL RICHARD V 628 FITZGERALD RD NW ALBUQUERQUE NM 87107-2434	CLARK RALPH B JR & ELSIE M 6281 BEAVER CT NE RIO RANCHO NM 87144-1553	US WEST COMMUNICATIONS INC 6300 S SYRACUSE WAY ENGLEWOOD CO 80111-6720
ROMERO BONNIE K TRUSTEE ROMERO RVT 6304 CRABTREE CT NW ALBUQUERQUE NM 87120	MORALES CARMEN ANN THERESA 631 CII DEL PAJARITO NW LOS RANCHOS DE ALBUQUERQUE NM 87114	COPPERHEAD ENTERPRISES LLC 631 N STEPHANIE ST #388 HENDERSON NV 89014-2633
GRADI ARTHUR & GRADI ANITA & GRADI LAWRENCE ENRICO 6338 4TH ST NW ALBUQUERQUE NM 87107-5802	LERNER DAVID A & RICKER SUSAN L 635 ISLETA BLVD SW ALBUQUERQUE NM 87105	BARELA PHILLIP D 6401 SUMAC DR NW ALBUQUERQUE NM 87120-2527
MYERS KENNETH & TERRI 6425 GUADALUPE PL NW LOS RANCHOS DE ALBUQUERQUE NM 87107	GIL VIRGILIO SERGIO SR TRUSTEE VIRJAIRAI RVLT 6506 CALLE REDONDA NW ALBUQUERQUE NM 87120-2728	RUIZ MARCELLO G 6525 4TH ST NW ALBUQUERQUE NM 87107
SMITH WYNETTE 6528 4TH ST NW ALBUQUERQUE NM 87107	SPITZER AUTOMOTIVE & INDSTR PRODUCTS CO A TEXAS CORP 6601 N WASHINGTON ST DENVER CO 80229-7014	GINDER DOMINIC IDAHO 6613 LAS CASITAS CT NW ALBUQUERQUE NM 87107
HAJI SHIRAZ & YASMIN 6619 SUERTE PL NE ALBUQUERQUE NM 87113-1971	ALLEN GARY & SANDOVAL ANTHONY & BARBARA TRS RVT & VAN DRIESSCHE YVON & JANET 67 BANBRIDGE PL	RITTIMAN ROAD LLC 67 MOUNTAIN BLVD SUITE 201 WARREN NJ 07059-5319
HADDOW FAMILY LLC 670 RANCHITOS RD CORRALES NM 87048	JOHNSON MARK K & JOHNSON MICHAEL A 6708 AVENIDA LA COSTA NE ALBUQUERQUE NM 87109-4032	DIERSCHKE MARY CATHERINE SUCCESSOR TRUSTEE FRANCIS B COREY RVT 6709 LEAMEADOW DR
ROWE DAN ATTN ROWE 6711 ACADEMY RD NE SUITE B ALBUQUERQUE NM 87109-3364	JSP PROPERTIES LLC 6712 VENTANA HILLS RD NW ALBUQUERQUE NM 87114-2433	LANDGRAF JOSEPH 675 E ANGIE CIR MIDVALE UT 84047-1337
EMERALD DOWNTOWN LLC 6801 JEFFERSON ST NE SUITE 300 ALBUQUERQUE NM 87109-4379	BLANTON JOSEPH L & DENA M 6821 GUADALUPE TRL NW LOS RANCHOS NM 87107	CORDOVA MAX R & CRUTCHLEY FRANCISCA 6896 COUNTY OAKS HIGHLAND CA 92346

NORDHAUS RICHARD S & MARY
700 FITZGERALD RD NW
ALBUQUERQUE NM 87109

BRUNSON ASHFORD J & CANDICE
706 DETAMAR AVE NW
ALBUQUERQUE NM 87107

MARTINEZ DORA E & BELTRAN-
MORENO JUAN
709 DELAMAR AVE NW
ALBUQUERQUE NM 87107-5119

STAFFORD BRIAN
712 SOLAR RD NW
ALBUQUERQUE NM 87107

BROUSSARD ALVIN L JR
717 CANDELARIA RD NW APT 1
ALBUQUERQUE NM 87107

PADILLA V P
717 CANDELARIA RD NW APT F
ALBUQUERQUE NM 87107-2470

TRUJILLO ROLAND & TRACI
7200 WINANS DR NE
ALBUQUERQUE NM 87109

GUERIN CONNIE
7209 TOULON DR NE
ALBUQUERQUE NM 87122

LUCERO PAUL R
731 LA POBLANA RD NW
ALBUQUERQUE NM 87107-1226

GIBSON BRUCE A
7404 SKY COURT CIR NE
ALBUQUERQUE NM 87110

VALLES MOISES C/O RODRIGUEZ
HIRAM & SALCIDO ANAHI M
7004 CASA ELENA DR NE
ALBUQUERQUE NM 87113-1143

CEBALLOS-HIRNING ROSEMARY
707 PROSPECT AVE NW
ALBUQUERQUE NM 87102-1026

HONTAS MICHAEL A
710 CANDELARIA RD NW
ALBUQUERQUE NM 87107

BENNETT YVONNE D
714 TOWNER AVE NW
ALBUQUERQUE NM 87102-1037

TRUMPOLD DEBORAH M
717 CANDELARIA RD NW APT A
ALBUQUERQUE NM 87107-2470

LOCKWOOD STEPHEN R
717 CANDELARIA RD NW APT K
ALBUQUERQUE NM 87107

BOWERS ROBERT H & BOWERS ROBERT
7201 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87107

ENGELHARDT STEVEN C & JEANIE
7217 SYR CT NE
RIO RANCHO NM 87144

PATZ LOGAN W
7312 APPOMATTOX PL NE
ALBUQUERQUE NM 87109-5015

WEBB DANNI L
7415 GUADALUPE TRL NW
ALBUQUERQUE NM 87107

A & D LLC
703 OSUNA RD NE SUITE 6
ALBUQUERQUE NM 87113-1392

CHAVEZ ARMANDO & ERALIA
TRUSTEES CHAVEZ LVT
708 DOLORES DR NW
ALBUQUERQUE NM 87105-1356

NEAL SUSAN M & THURMOND
STEPHEN A
7104 GUADALUPE TRL NW
ALBUQUERQUE NM 87107

SOL RIO CO-OPERATIVE ASSOC
717 CANDELARIA RD NW
ALBUQUERQUE NM 87107

MAESE JUSTIN V
717 CANDELARIA RD NW APT D
ALBUQUERQUE NM 87107-2470

WATSON STEFAN
720 MOUNTAIN RD NW
ALBUQUERQUE NM 87102

GURULE BESSIE
7205 DODGE TRL NW
ALBUQUERQUE NM 87120-2961

ENGLISH MICHAEL
728 LAFAYETTE DR NE
ALBUQUERQUE NM 87106-2039

MCILHANEY STEPHEN C
7401 ARROYO DEL OSO AVE NE
ALBUQUERQUE NM 87109-2926

BACA MICHEAL A & VIRGINIA L
7417 FREMONT PL NW
ALBUQUERQUE NM 87121-1319

DELAND LTD CO 7427 BLUE MOON LN NE ALBUQUERQUE NM 87113	J & K RE HOLDINGS LLC 7427 SEFTON RD SW ALBUQUERQUE NM 87105-7232	SPENCE WILLIAM (BILL) & SYLVIA 743 CHAVEZ RD NW ALBUQUERQUE NM 87107
B&B MERRITT REAL ESTATE LLC 750 N 17TH ST LAS CRUCES NM 88005-4153	GUTIERREZ CECILIA H & OLDFIELD CENIA M 7500 EDITH BLVD NE ALBUQUERQUE NM 87113-1204	BACA ROBERT J 7509 DESERT EAGLE RD NE ALBUQUERQUE NM 87113-2287
QUESTON CONSTRUCTION INC 7518 2ND ST NW ALBUQUERQUE NM 87107	MAES MARGARITO FRED & ROMERO STELLA & MAES RICHARD & MAES FRANK & ETAL 7613 SHARPS RD NE	HANSON ORLOE D 7619 CALLE PARAISO NE ALBUQUERQUE NM 87113-1272
SMITH GLENN R & STEPHANIE LANDRY 7628 RIO GRANDE BLVD LOS RANCHOS NM 87107	MELLOY BROTHERS MOTOR CO 7707 LOMAS BLVD NE ALBUQUERQUE NM 87110	REZA HENRY J & MARY FRANCES 7722 CUTLER AVE NE ALBUQUERQUE NM 87110-4709
LE QUANG DAO & LE DONNA DOAN- THUY DO TRUSTEES LE LVT 799 PACHECO DR MILPITAS CA 95035-4507	VIGIL BERTHA BALDERRAMA & TAPIA LUCY E 800 12TH ST NW ALBUQUERQUE NM 87102-1828	4455 3RD ST LLC 8000 JACS LN NE ALBUQUERQUE NM 87113-2548
JUAREZ LUIS & JUAREZ JACINDA K 8006 MORROW AVE NE ALBUQUERQUE NM 87110-4834	2910 LLC 8016 OSO ABRAZO DR NE ALBUQUERQUE NM 87122-1362	CISNEROS JONATHAN D 808 LOS POBLANOS RANCH LN NW ALBUQUERQUE NM 87107
MEDINA CESAR 808 PROSPECT AVE NW ALBUQUERQUE NM 87102	MID REGION COUNCIL OF GOVERNMENTS 809 COPPER AVE NW ALBUQUERQUE NM 87102	CUDEK JOHN A & MARY K GNERICH 809 MARCELLA ST NE ALBUQUERQUE NM 87123-1240
GRIEGO JAMES 8100 4TH ST NW ALBUQUERQUE NM 87107	ASHBY JEANETTE M 8105 PICKARD AVE NE ALBUQUERQUE NM 87110-1568	WHEELER-PAIZ CHERYL LYNN 8116 CREEKWOOD AVE NW ALBUQUERQUE NM 87120
FENZL VOLKER A & HELGA M 821 FORRESTER AVE NW ALBUQUERQUE NM 87102-1903	3D PROPERTIES LLC 8224 COLFAX AVE NE ALBUQUERQUE NM 87109	PINO CHRIS 8300 CARMEL AVE NE SUITE 201 ALBUQUERQUE NM 87122-3147
SAMHO LLC 838 VIDEL RD SW ALBUQUERQUE NM 87105	ANAYA EDWARD 840 DELAMAR AVE NW ALBUQUERQUE NM 87107-5122	DOWNTOWN LIQUOR & FOODMART LLC 8400 HELEN HARDIN ST NE ALBUQUERQUE NM 87122-2833

MANICKI KENNETH C & DELORES
TRUSTEES MANICKI LVT

8423 RIO VERDE PL NW
ALBUQUERQUE NM 87120

NGUYEN QUAN M & LE HANH T
8500 CENTRAL AVE SE
ALBUQUERQUE NM 87108

STARUSTKA MICHAEL H
8704 SUNCREST AVE SW
ALBUQUERQUE NM 87121

DRESKIN MICHAEL
8928 ASHTON LP NE
ALBUQUERQUE NM 87122-2960

LLAVES INVESTMENT LLC
9016 BERRYESSA RD NE
ALBUQUERQUE NM 87122

PENNINGTON SHERRY
9101 LONA LN NE
ALBUQUERQUE NM 87111-1616

BROWN DONALD L
912 WESTERN MEADOWS CT NW
ALBUQUERQUE NM 87114

SELVA STAN
914 QUINCY ST NE
ALBUQUERQUE NM 87110-6330

CANDELARIA RICHARD & SOLEDAD R
919 ARNO ST NE
ALBUQUERQUE NM 87102

ALVARADO DEVELOPMENT LLC
924 W COLFAX AVE SUITE 302
DENVER CO 80204-2629

GOMEZ ISMAEL T & MARY A
844 GUADALUPE CIR NW
ALBUQUERQUE NM 87114-1710

SLICE PIE LLC
8525 JEFFERSON ST NE
ALBUQUERQUE NM 87109-1603

LUCERO FRITZ & MARY & RIVERA SALLY
& MUNOZ DANIEL & SALIDO DANIEL
ETAL
8716 GUTIERREZ RD NE

GALLEGOS FELIBERTO & LUCILLE O
TRUSTEE GALLEGOS RVT
90 COROVAL RD
CORRALES NM 87048-9303

PEREA CHRISTOPHER D TRUSTEE PEREA
RVT
9025 4TH ST NW
ALBUQUERQUE NM 87114-1650

HINDI MONEER & HINDI AZEEZ
9108 BELLEHAVEN CT NE
ALBUQUERQUE NM 87112

ZAMORA MICHAEL A & LORA A
9131 AUTUMN ROSE DR NE
ALBUQUERQUE NM 87113

LUJAN WALTER R & VIOLA M
917 CHAMISAL RD NW
ALBUQUERQUE NM 87107-6409

WOOD VELMA LEE
9209 BENGE PL NW
ALBUQUERQUE NM 87114-1637

STRIBLING LUKE T
925 8TH ST NW
ALBUQUERQUE NM 87102

CHAVEZ GILBERT T & CHAVEZ ELFIDO R
846 CHAVEZ RD NW
ALBUQUERQUE NM 87107

INDIAN HILLS WATERWORKS INC
8616 MENAUL BLVD NE SUITE C
ALBUQUERQUE NM 87112

FLORES ANDREW P & OLIVIA
8748 SPRINGHILL DR NW
ALBUQUERQUE NM 87114

BEZEMEK GORMAN SHARON LOUISE
9005 HANNETT AVE NE
ALBUQUERQUE NM 87112

SMITH-EMSLIE WYNETTE
905 GREEN VALLEY RD NW
LOS RANCHOS NM 87107-6319

HAVENS TODD A & NUBIA B
9119 CORONA AVE NE
ALBUQUERQUE NM 87122

GONZALES DAVID XAVIER PEDRO &
REBECCA MARIE TRUSTEES GONZALES
RVT
914 MONTANO RD NW

MOORE JEAN C & JOSEPH X FUKA
917 JUANITA LN NW
ALBUQUERQUE NM 87107

MILANI WILLIAM J
924 1/2 11TH ST NW
ALBUQUERQUE NM 87102

SCOTT NORMA JEAN
9304 4TH ST NW
ALBUQUERQUE NM 87114

JPT GROUP INC 9347 ADMIRAL LOWELL PL NE ALBUQUERQUE NM 87111-1264	WILKIE MARILYN STABLEIN & GARY G 9405 NE HANCOCK DR PORTLAND OR 97220	CARLSON LEAVITT JOYCE CO-TRUSTEE LEAVITT FT 944 GREEN VALLEY RD NW ALBUQUERQUE NM 87107-6315
BARBERE MICHAEL & BARBERE GALE SUTTON ETAL 9444 RIO GRANDE BLVD NW ALBUQUERQUE NM 87114	HORN THOMAS E TRUSTEE HORN 2003 RVT 950 ROCKDALE DR SAN FRANCISCO CA 94127-1725	M & D PROPERTY GROUP INC 9605 SOMMER PL OAKDALE CA 95361
1000 LIGHTS LLC 963 NICKLAUS DR NEWPORT NEWS VA 23602-8898	HISE CHARLES & JEANNE M (ESTATES OF) C/O ROBERT C HISE 9637 MORROW AVE NE ALBUQUERQUE NM 87112-2951	JOHNSON EDWIN F & LORRAINE K TR JOHNSON LVT & LORRAINE K JOHNSON TR EXEMP TR 9651 SANTA ROSA RD
IDM PROPERTIES LLC 9721 OAKLAND AVE NE ALBUQUERQUE NM 87122-3888	WALL JUSTIN 9880 MENAUL BLVD NE H-13 ALBUQUERQUE NM 87112-2332	WHISTLE DEVELOPMENT LLC 9905 CAMERON ST NW ALBUQUERQUE NM 87114-5836
PUBLIC SERVICE CO OF NM ALVARADO SQUARE ALBUQUERQUE NM 87158	PUBLIC SERVICE COMPANY OF NEW MEXICO CORPORATE HEADQUARTERS MS 1025 ALBUQUERQUE NM 87158	WHATABURGER OF NEW MEXICO C/O K E ANDREWS & COMPANY P O BOX 13752 PHILADELPHIA PA 19101-3752
M & E SALES LLC P O BOX 25321 ALBUQUERQUE NM 87125	MENDOZA JESSE P O BOX 40753 ALBUQUERQUE NM 87196	FOSSE AMBER P O BOX 4737 ALBUQUERQUE NM 87196
MENAUUL PROPERTY LLC P O BOX 50620 IDAHO FALLS ID 83405-0620	CLAGHORN TINA H C/O JULIE SMALL CONSERVATOR P O BOX 65041 ALBUQUERQUE NM 87193-5041	TEN BROECK PROPERTIES LLC P O BOX 6632 ALBUQUERQUE NM 87197-6632
GARRETT BRANDIE P O BOX 6886 ALBUQUERQUE NM 87197-6886	PROPERTY 2104 LLC P O BOX 70263 ALBUQUERQUE NM 87197	LEAPING LAB PROPERTIES LLC P O BOX 9043 ALBUQUERQUE NM 87119-9043
BARTON INVESTMENT LLC C/O OREILLY AUTO STORES #2700 RYAN LLC P O BOX 9167 SPRINGFIELD MO 65801-9167	CHAMPINE DANIEL J & AMANDA P O BOX 94104 ALBUQUERQUE NM 87199-4104	RYDER TRUCK RENTAL INC PO BOX 025719 MIAMI FL 33122-5719
RIO GRANDE PORTLAND CEMENT CORP PO BOX 100 TIJERAS NM 87059-0100	GALLEGOS THOMAS A & DIANA B PO BOX 10066 ALBUQUERQUE NM 87184-0066	FARR JOSEPH R & PATRICIA A PO BOX 10090 ALBUQUERQUE NM 87184-0090

NM BANK & TRUST
PO BOX 1048
ALBUQUERQUE NM 87103

ARMIJO JOE L
PO BOX 1091
BERNALILLO NM 87004-1091

4504 FOURTH STREET LLC
PO BOX 10910
ALBUQUERQUE NM 87184-0910

DEL SOL PROPERTIES LLC
PO BOX 1160
CORRALES NM 87048

JD & A WEST TRUST
PO BOX 1161
PINE AZ 85544-1161

TRUJILLO VALENTIN E
PO BOX 123
DOWNEY CA 90241-0123

MALDONADO STEVEN & PORTILLO
MALDONADO HELEN MALDONADO
FAMILY TRUST
PO BOX 126

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

CHAVEZ MARY H
PO BOX 13747
ALBUQUERQUE NM 87192-3747

ARCHULETA STEVE & STELLA
PO BOX 14275
ALBUQUERQUE NM 87191

RIVERA PROPERTY MGNT LLC
PO BOX 15039
ALBUQUERQUE NM 87174-0039

1120 THIRD STREET LLC
PO BOX 1535
BERNALILLO NM 87004-1535

LARSON KARL & SISSON SCOTT M
PO BOX 1718
PERALTA NM 87042-1718

CHAPARRAL MATERIALS INC C/O
ROGER L PROBASCO MANAGER
PO BOX 1719
BERNALILLO NM 87004

FRANCHISE REALTY CORP PTS INC DBA
MCDONALDS (30-0003)
PO BOX 182571
COLUMBUS OH 43218-2571

VALDEZ FRANK J & WALLACE GALE R
PO BOX 19183
IRVINE CA 92623-9183

DUTTON ROBERT F
PO BOX 2044
LOS LUNAS NM 87031

TADAY STEPHEN T & THERESA A
TRUSTEES TADAY LVT
PO BOX 2064
CORRALES NM 87048

RUNNING PROEPRTIES LLC C/O JOHN
STRONG
PO BOX 211

GARCIA ISMAEL A & RUTH M CO-
TRUSTEES GARCIA RVT
PO BOX 218

AUTO SHACK INC DEPT 4040
PO BOX 2198
MEMPHIS TN 38101-2198

FAIRBURY IL 61739-0211
CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

CHIMAYO NM 87522-0218
WELLS PARK DEVELOPMENT LLC
PO BOX 23977
PLEASANT HILL CA 94523-3977

KNIGHTON LINDA B & DALE W
PO BOX 25087
ALBUQUERQUE NM 87125-0087

ALBUQUERQUE MONTHLY MEETING
RELIGIOUS SOCIETY INC
PO BOX 25462
ALBUQUERQUE NM 87125-5462

PELIGRO LLC
PO BOX 25662
ALBUQUERQUE NM 87125

BOARD OF EDUCATION
PO BOX 25704
ALBUQUERQUE NM 87125-0704

WELLS FARGO BANK NM NATL ASSOC
C/O DELOITTE TAX LLP
PO BOX 2609
CARLSBAD CA 92018-2609

APODACA LEONARD K & SAMIA D
PO BOX 26785
ALBUQUERQUE NM 87125-6785

SNELL CHARLES E & PATRICIA P
TRUSTEES LVT
PO BOX 26801
ALBUQUERQUE NM 87125-6801

LORWAY LLC PO BOX 27249 ALBUQUERQUE NM 87125	ST MARTINS HOPEWORKS PO BOX 27258 ALBUQUERQUE NM 87125-7258	LOVATO PHILIP & CORRINE C/O PHILIP & SONS MECHANIC PO BOX 27287 ALBUQUERQUE NM 87125 STEELBRIDGE MINISTRIES PO BOX 331 ALBUQUERQUE NM 87103-0331
BARELA SANDRA M PO BOX 27438 ALBUQUERQUE NM 87125-7438	U-HAUL REAL ESTATE COMPANY PO BOX 29046 PHOENIX AZ 85038	CRUZ SANDRA L PO BOX 37203 ALBUQUERQUE NM 87176-7203
STOWE COLIN M PO BOX 35158 ALBUQUERQUE NM 87176-5158	MIRA CONSTRUCTION CO INC PO BOX 36977 ALBUQUERQUE NM 87176-6977	RAELS INSURANCE & INVESTMENT SERVICE INC PO BOX 44306 ALBUQUERQUE NM 87174
TINLEY MICHAEL PO BOX 4040 ALBUQUERQUE NM 87196-4040	FAHEY PAUL & KIMBERLEY PO BOX 4087 ALBUQUERQUE NM 87196-4087	WILSON REX P PO BOX 57060 ALBUQUERQUE NM 87187
LAMBERT KURT P PO BOX 512 CEDAR CREST NM 87008	ROUNTREE CHARLES PO BOX 521 PINEHILL NM 87357	SANDERS GWENN ETAL TRUSTEES ALB NORTH CONG JEHOVAHS WITNESSES PO BOX 6063 ALBUQUERQUE NM 87197-6063
MIDDLE RIO GRANDE CONSERVANCY PO BOX 581 ALBUQUERQUE NM 87107	MONTOYA BARBARA PO BOX 6012 ALBUQUERQUE NM 87197	GUTIERREZ LUCIA M (ESTATE OF) PO BOX 6144 ALBUQUERQUE NM 87197-6144
ANDERSON GLASS CO INC C/O KENNETH ANDERSON PO BOX 6083 ALBUQUERQUE NM 87197-6083	WOOD GARY W PO BOX 6121 ALBUQUERQUE NM 87197-6121	ENCINIAS ROSEMARY PO BOX 631 TOME NM 87060
DURAN GILBERT M & OR DURAN IRENE L PO BOX 6183 ALBUQUERQUE NM 87197-6183	ALBUQUERQUE BIBLE CHAPEL PO BOX 6294 ALBUQUERQUE NM 87107	C DE BACA PHILIP E TR C DE BACA TRUST PO BOX 6436 ALBUQUERQUE NM 87197-6436
CHANSOR ROANLD L TRUSTEE CHANSOR TRUST PO BOX 6323 ALBUQUERQUE NM 87197	C & L PROPERTIES LLC PO BOX 6407 ALBUQUERQUE NM 87197	GARRITY ENTERPRISES LLC PO BOX 6494 ALBUQUERQUE NM 87197-6494
COOPER GRIFFIN WATER SERVS INC PO BOX 6438 ALBUQUERQUE NM 87197-6438	EPNM INC PO BOX 6465 ALBUQUERQUE NM 87197-6465	

REDFERN BIFFEL MAJORS
PO BOX 65
JOSHUA TREE CA 92252-0065

RUIZ BEN
PO BOX 66960
ALBUQUERQUE NM 87193-6960

VASQUEZ MARTHA M C/O DELGADILLO
OMAR
PO BOX 6942
ALBUQUERQUE NM 87197-6942

KRUMSICK HERBERT L TR KRUMSICK
RVT & ETAL C/O T JOHNSON
MANAGEMENT LC
PO BOX 7326

LUTHY PHYLLIS H & JOHN FREDERICK
LUTHY TRUSTEES FREDERICK LUTHY
IRRV T
PO BOX 7650

NEW MEXICO EDUCATORS FEDERAL
CREDIT UNION INC
PO BOX 8530
ALBUQUERQUE NM 87198-8530

DEAN RONALD R & ILENE K
PO BOX 91315
ALBUQUERQUE NM 87199-1315

ESQUIVEL-CHAVEZ BEV & CHAVEZ
LAWRENCE S
PO BOX 93901
ALBUQUERQUE NM 87199-3901

Gavilan Addition NA - Bret Haskins
5912 Pauline Street NW
Albuquerque NM 87107

Lee Acres NA - Christine Burrows
901 Solar Road NW
Albuquerque NM 87107

DANIEL LESLIE J
PO BOX 6562
ALBUQUERQUE NM 87197-6562

BETHANY SPANISH BAPTIST CHURCH
PO BOX 6857
ALBUQUERQUE NM 87107

PROPERTY 2104 LLC
PO BOX 70263
ALBUQUERQUE NM 87194

ALVARADO HERIBERTO
PO BOX 7361
ALBUQUERQUE NM 87194

FOWLER KEVIN W & JANICE M
PO BOX 785
PLACITAS NM 87043

RESCINO RONALD DECEDENTS TRUST
PO BOX 91028
ALBUQUERQUE NM 87199-1028

HORNE THOMAS B & SUSAN S
TRUSTEES HORNE LVT C/O OREILLY
AUTO PARTS
PO BOX 9167

SOUTHWEST FEDERAL CREDIT UNION
PO BOX 95410
ALBUQUERQUE NM 87199

Greater Gardner & Monkbridge NA -
Chris Sylvan
226 Natalie Avenue NW
Albuquerque NM 87107

Lee Acres NA - Anna Stovall
832 Solar Road NW
Albuquerque NM 87107

MCDOWELL TRUDELLE
PO BOX 66086
ALBUQUERQUE NM 87193-6086

GARCIA STEVEN A & CATHLEEN A
PO BOX 6864
ALBUQUERQUE NM 87197

ECKHARDT ERIC E & ECKHARDT
WILLIAM E
PO BOX 70585
ALBUQUERQUE NM 87197-0585

BACA BILLY W & JEANETTE M
PO BOX 7489
ALBUQUERQUE NM 87194

TADAY STEPHEN T JR & THERESA A
PO BOX 8423
ALBUQUERQUE NM 87198-8423

CREAMLAND DAIRIES ASSOCIATED TAX
APPRAISERS
PO BOX 91119
AUSTIN TX 78709

HARVEL C DEAN & DORIS E & HARVEL
CRAIG E
PO BOX 93281
ALBUQUERQUE NM 87199

Gavilan Addition NA - Connie Romero
444 Gavilan Place NW
Albuquerque NM 87107

Greater Gardner & Monkbridge NA -
David Wood
158 Pleasant Avenue NW
Albuquerque NM 87107

Los Alamos Addition NA - Don Dudley
302 Sandia Road NW
Albuquerque NM 87107

Los Alamos Addition NA - Jeremy Wilcox
305 Sandia Road NW
Albuquerque NM 87107

Near North Valley NA - Marit Tully
PO Box 6953
Albuquerque NM 87197

North Edith Commercial Corridor Association - Christine Benavidez
10417 Edith Boulevard NE
Albuquerque NM 87113

Spanish Walk NonProfit Corporation - Jerri Paul-Seaborn
610 Camino Espanol NW
Albuquerque NM 87107

Stronghurst Improvement Association Incorporated - William Sabatini
2904 Arno Street NE
Albuquerque NM 87107

Los Poblanos NA - Don Newman
5723 Guadalupe Trail NW
Albuquerque NM 87107

Near North Valley NA - Joe Sabatini
3514 6th Street NW
Albuquerque NM 87107

North Valley Coalition - Peggy Norton
P.O. Box 70232
Albuquerque NM 87197

Spanish Walk NonProfit Corporation - Sandra Nunn
602 Camino Espanol NW
Albuquerque NM 87107

Wells Park NA - Catherine Mexal
1404 Los Tomases NW
Albuquerque NM 87102

Los Poblanos NA - Karon Boutz
1007 Sandia Road NW
Albuquerque NM 87107

North Edith Commercial Corridor Association - Evelyn Harris
10401 Edith Boulevard NE
Albuquerque NM 87113

North Valley Coalition - Doyle Kimbrough
2327 Campbell Road NW
Albuquerque NM 87104

Stronghurst Improvement Association Incorporated - Mark Lines
3010 Arno Street NE
Albuquerque NM 87107

Wells Park NA - Doreen McKnight
1426 7th Street NW
Albuquerque NM 87102

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from December 25, 2019 to January 9, 2020

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

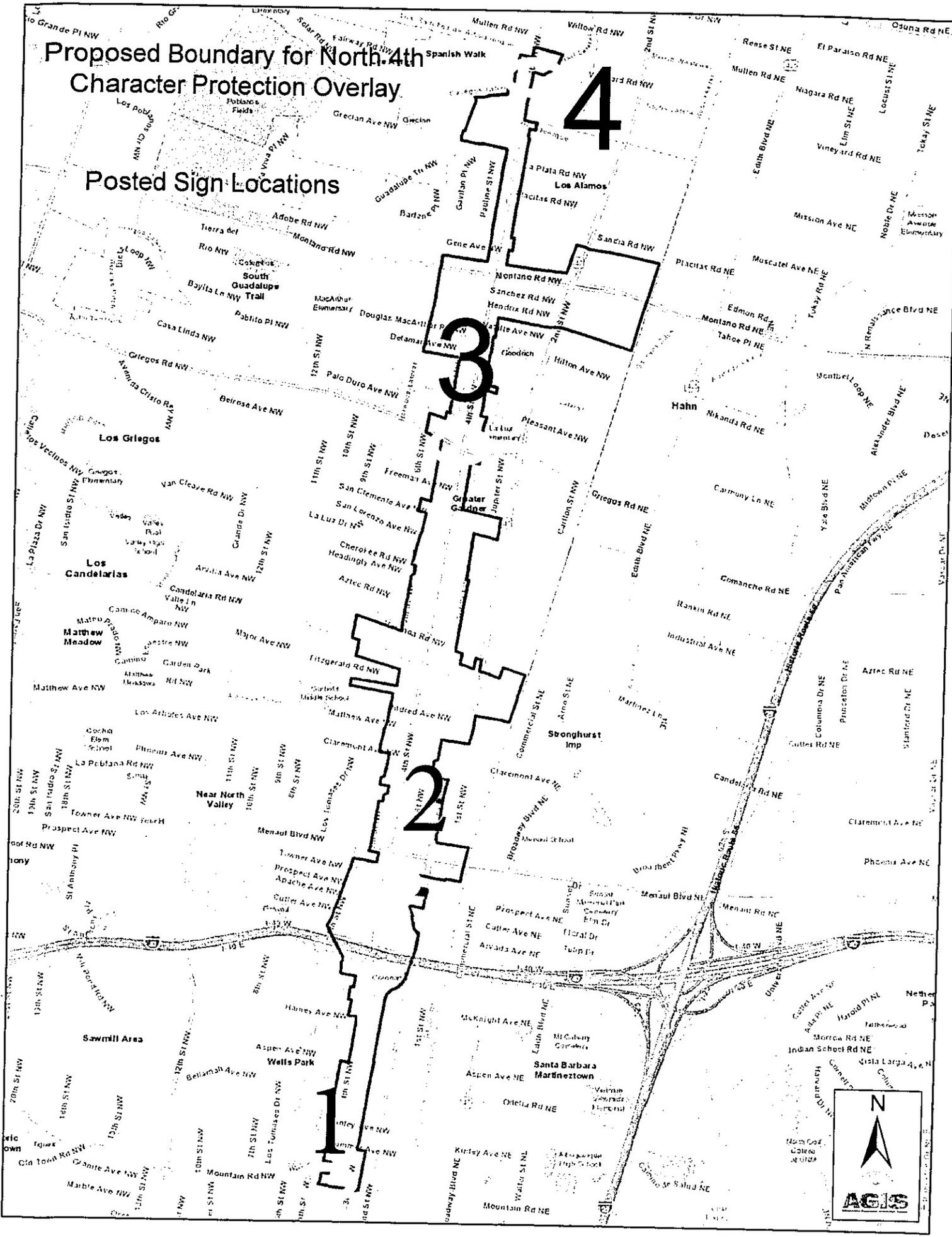
(Applicant or Agent) (Date)

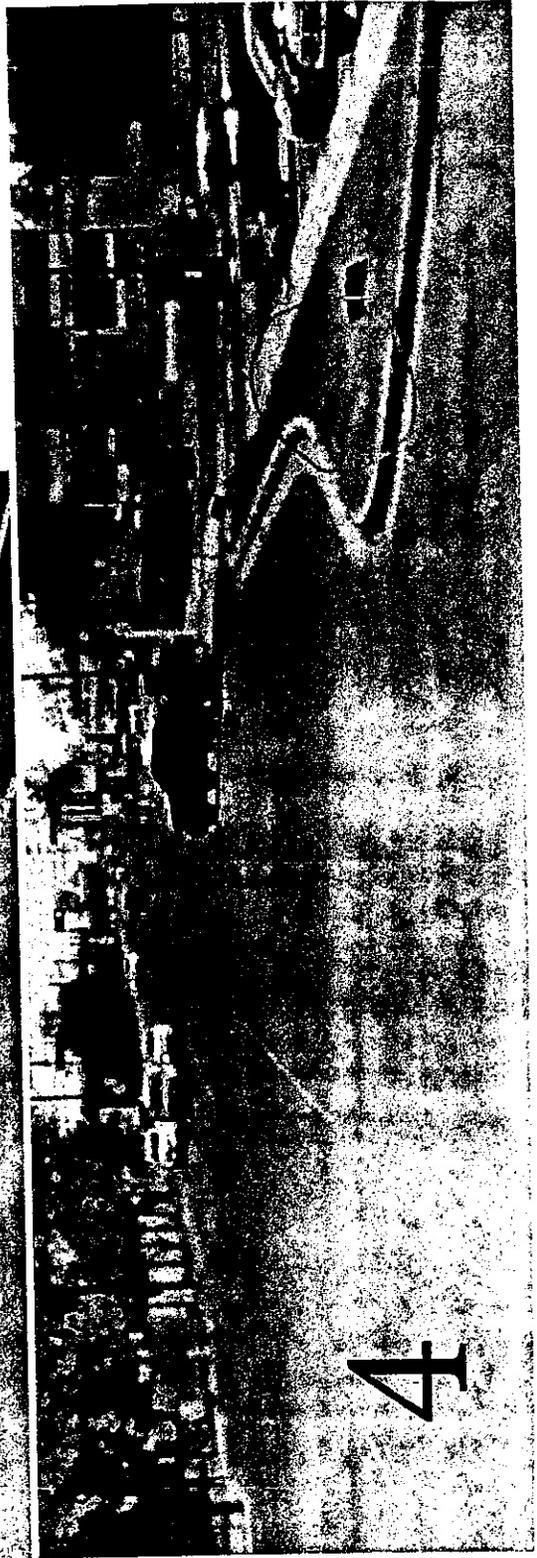
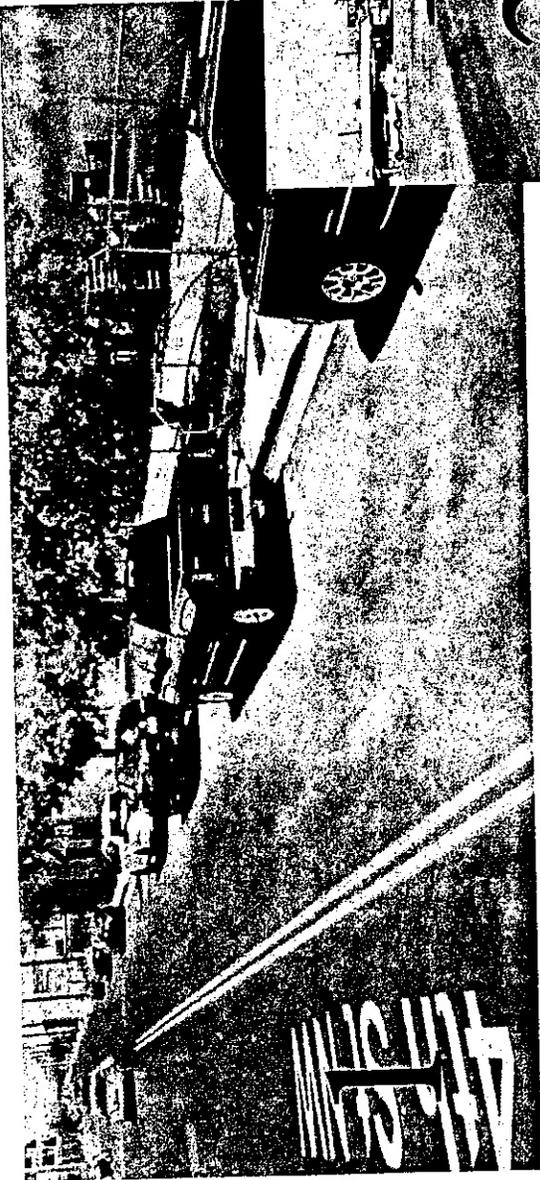
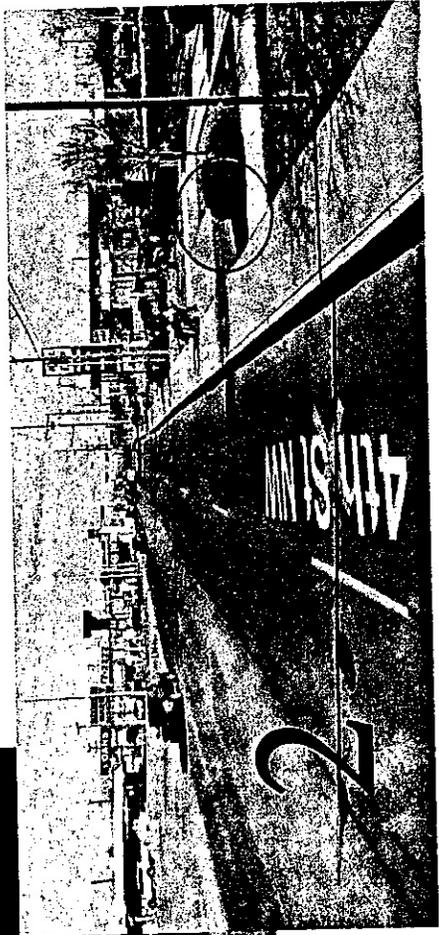
I issued 4 signs for this application, 10-30-19, [Signature]
(Date) (Staff Member)

PROJECT NUMBER: PR-2019-003028

Proposed Boundary for North 4th Character Protection Overlay

Posted Sign Locations





FACILITATED MEETING REPORT

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

Project: North 4th Character Protection Overlay (CPO) Pre-Application Meeting.

Project Description: "... the City Council will be submitting an application for a Zone Map Amendment to be reviewed and recommended by the Environmental Planning Commission. The application is for the creation of a new Character Protection Overlay (CPO) titled the "North 4th CPO." Generally, the goal of the CPO is to enhance articulation and design standards for development along and near 4th street while maintaining a sense of character for the area.."¹

Date Submitted: October 7, 2019

Submitted By: Philip Crump

Meeting Date/Time: October 2, 2019; 6:00 PM – 7:50 PM

Meeting Location: Los Griegos Health and Social Services Center
1231 Candelaria NW, ABQ NM 87107

Facilitator: Philip Crump

Co-facilitator: Jocelyn M. Torres

Parties:

- **Applicant:** CABQ City Council – Shanna Schultz, Planner & Petra Morris, Council Planning Manager
- **Affected Neighbors, Neighborhood Associations and Neighborhoods:** North Fourth Corridor - Attendee Names and Affiliations are provided at the end of this Report.

Meeting Summary:

"The purpose of this proposed amendment is to establish regulations for the North 4th Corridor through a new Character Protection Overlay. This CPO takes regulations from Resolution R-19-162 and puts them into a permanent overlay for the area. These regulations are intended to be more aligned with the surrounding community's desire for development along the corridor. The resolution also included required street cross-sections that new development would be required to comply with, however those cross-sections are more appropriately placed in the Development Process Manual rather than the IDO."²

This meeting is pre-application to provide the neighbors and neighborhood associations the opportunity to learn about the request and share questions or concerns. The proposed CPO Map is attached as Exhibit B. The Council's Proposed North Fourth Boundary Map and Overview Meeting Flyer are attached as Exhibits C and D.

Outcomes:

1. **Areas of Agreement: The City will review open space, landscaping and building size requirements. The City will also look at CPO parking requirements and diversity of structures. Some elements of prior efforts have remained and are positive.**

¹ Excerpt taken from City Council Planner's IDO Pre-Application Neighborhood Meeting Notification, attached as Exhibit D. *See also* Facilitator's Meeting Notice, attached as Exhibit E.

² Excerpt taken from Councilor Benton's IDO North 4th CPO Update of July 24, 2019, attached as Exhibit A.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

2. **Unresolved Issues & Concerns:** The City will follow the Application Process, to include potential CPO revisions based upon Community Input and the EPA/City Council Hearing Process.
3. **Other Key Points:** Several prior years of the Community's diligent efforts have brought about many positive improvements in the North Fourth Corridor. Neighbors, Neighborhoods and NA's are again willing to work together regarding the proposed CPO.
4. **Next Steps:** Follow the City's CPO Application and Hearing Process. EPC Hearing is scheduled for December 12, 2019.

Meeting Specifics:

1. **Overview of Proposed Project: Shanna Schultz.**
 - a. Shanna Schultz provided and described various handouts.
 - a. The focus of the CPO includes 2nd, 3rd & 4th Streets.
 - b. Existing Conditions under MX-T Zoning are not affected and will stay the same
 - b. The CPO provides for increased design standards
 - a. MX-M Zoning provides for a maximum building height of 55 feet.
 - b. Setbacks are 10-15 feet.
 - c. The CPO provides for MX-M maximum building height of 45 to 65 feet in an Urban Center- Main Street Premium Transit Zone (UC-MS-PT).³
 - d. The CPO allows for two 12 foot height bonuses in a UC-MS-PT.
 - e. The Maximum height of a 65 foot building in a UC-MS-PT could therefore reach 89 feet.
 - f. The CPO provides for more articulation of building design in Zones MX-M or higher.
 - c. All red text in the proposed CPO [Pages 1, 2 in Exhibits] is temporarily in place. These standards will remain in place for either 12 months or less if the CPO is implemented if before the 12 month period. The EPC must approve the proposed CPO. There is time to make changes as the adoption process continues.
 - a. The EPC application will be submitted by the end of the month.
 - b. The EPC Hearing is scheduled for December 12, 2019.
 - c. The EPC either does or does not recommend the Application to the Council and may also recommend modifications.
 - d. The Council's Land Use, Planning and Zoning (LUPZ) Subcommittee will then hear the Application.
 - e. The City Council makes the final decision.
 - d. The City seeks community feedback and concerns.
 - a. The City will make necessary changes resulting from this meeting and the Application process.

³ See Exhibit D.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

Participant Questions (Q), Comments (C) and Answers (A) - The North Valley Coalition and other Attendees voiced several questions during the meeting.

2. CPO's Purpose and Process.

- a. Q. What is the character we are trying to protect with the CPO and how does it protect?
 - a. A. There is decreased building height with the CPO, decreased condensation, along with minimum setbacks. The CPO gives more space to the corridor than we have today.
- b. Q. Is this the first meeting regarding this CPO concept?
 - a. A. We had prior meetings regarding this CPO concept. This is the first community meeting.
- c. Q. Have you modeled these results in 3-D?
 - a. A. No
 - b. Q. Why don't you go back and create pictures showing what the setbacks are and modeling the design? You owe it to the public
 - c. A. I understand.
- d. Q. Are we talking about new construction or old buildings?
 - a. A. New construction.
- e. Q. Several people met before over a long period of time. Is this CPO based on the prior plan?
 - a. A. The IDO rescinded prior plans. Proposed map boundaries and some building heights and setbacks came from prior efforts.
- f. Q. The building North of St. Therese Church came under the previous plan.
 - a. A. Yes.
 - b. C. That building height with underground parking is 66 feet. The CPO maximum is 55 feet.
 - c. A. No response.
- g. Q. The CPO applies to what construction?
 - a. A. New.
- h. Q. Would the existing 14-5-5 be amended for special maximum area? There are setbacks in that ordinance.
 - a. A. The IDO requirements must be followed.

4. Building Density and Planning Vision.

- a. Q. Density is a problem. How much input can the public have? How many businesses are present?
 - a. A. When the CPO proposes 55 maximum building height, you don't get bonuses.
- b. Q. Regarding the MRI Meeting last week, does there need to be further process regarding the CPO? Should it be less specific and more vision oriented regarding the 4th Street character?
 - a. A. No response.
- c. C. I helped write the prior development plan. The 4th Street character was a suburban strip mall in the 60's. The City was losing businesses. There was a five (5) year process on how to revitalize the area. People wanted density. Let's fix what we can. I support Councilor Benton's CPO effort.

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

- a. A. No response.
- d. C. Density can be worked out. Beautification would help acceptance of the CPO.
 - a. A. The City can add landscaping to public not private property.
- e. C. I am disappointed regarding large apartment buildings on 4th. One is near La Mesquite. The huge building near St. Therese is terrible. The 4th Street Corridor meetings happened for over 20 years. Now we need trees, open space and better bus service.
 - a. A. I am asking the facilitators to add a Meeting Note regarding Open Space Requirements and Landscaping [*See Outcomes Item Number 1, Page 1 above*].
 - b. Q. We could require open space and landscaping in the CPO. Is there something that addresses the size of the building?
 - i. A. There might be a way to look at the size of buildings. Some elements of prior efforts have remained and are positive. [*See Outcomes Item Number 1, Page 1*].

5. Planning Vision, Funding, Traffic and Safety.

- a. C. Fourth Street is a complex Corridor. This highlights earlier comments. For the public to agree on the CPO we have to see it. Simulations would be the most helpful. We had no money then but we have it now. We need landscaping and improvements.
 - a. A. No response
- b. C. North 4th could qualify for development dollars. Share with Gabriel Herrera.
 - a. A. No response
- c. Q. Has there been a traffic analysis?
 - a. A. Attendees estimate that there are 18 to 20 thousand vehicles per day. Shanna stated that the City will look into this.
- d. C. Some Auto Parts stores are not complying with the current 4th Street Plan. The IDO was imposed instead of changing the sector plan. Building mass and scale are the issues. Big blocks are the issue. We need 3D simulation. We'll seek money to do that.
 - a. A. No response.
- e. C. T-Mobile is very dangerous. The City needs to do something for safety purposes. Possibly knock down their wall.
 - a. A. No response.
- f. Q. What does the City's Planning Department think about the CPO, since they passed the IDO?
 - a. A. Shanna said she is not sure. Petra Morris stated that the CPO fits within the IDO requirements.
- g. Q. What do the purple and pink colors on the handout signify? [*See Exhibit C*].
 - a. A. Handout clarification was provided by Shanna.
- h. Q. How would the St. Therese project be different under the CPO guidelines?
 - a. A. That building would be 11 feet shorter. It would be 55 feet, not 66 feet. It would set back at least ten (10) feet. There would be more openness along the sidewalk. After you go up to a certain height, you have to take the roof back a few feet in order to achieve articulation.
- i. Q. What is the interplay regarding the CPO and existing structures? Designation is just one of several pieces, right?

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

- a. A. Yes. In the Downtown, Mainstreet, ART Corridor, if measured from the centerline of the road, a 600 foot buffer allows for extra entitlements. Residential buildings don't have necessary zoning for this designation.
- j. Q. The St. Therese building has underground parking. What about visitor parking?
 - a. A. The CPO will not adjust existing parking requirements. The City will look at CPO parking requirements. [See Outcomes Item Number 1, Page 1 above].
- k. Q. What about new developments, such as Aztec & 3rd Street?
 - a. A. The City needs to look into it.
- l. Q. What are the CPO requirements regarding the same type of buildings on a block?
 - a. A. The City will look into requiring diversity of structures. The IDO has solar and shade protections for low density residential zones.
- m. Q. What about abandoned buildings?
 - a. A. Developments need to follow existing regulations in red. The City needs to move from temporary to permanent regulations.

6. Additional Items.

- a. There is a Water Authority Meeting Tuesday 10/8/19 from 6:00-8:00 pm, here at 1231 Candelaria NW.
- b. The Meeting Summary Report does become part of the public record.
- c. Any additional comments may be directed to Shanna Schultz: smschultz@cabq.gov.

MEETING CONCLUDED.

Attendees:

<u>NAME</u>	<u>AFFILIATION</u>		
Cruz Tercero	Business owner	Gary Kitts	Property Owner
Petra Morris	City Council Planner	Louis & Kathleen	
Shanna Schultz	City Council Planner	Apodaca	Property Owners
Debbie O'Malley	County Commission	Miriam Hicks	Property Owner
David Poole	GAHP	Sandra Barela	Property Owner
Marti Luick	Montaño Village	Joe Cruz	Property Owner
Debra Paprocki	Montaño Village	Stephen Miller	Property Owner
Peggy Gilbert	Montaño Village/NVC	William Derr	Property Owner
Marit Tully	NNVNA	David Wood	Property Owner
Marit Tully	NNVNA	Gilbert & Helen	Property Owner
Wynona Sexson	NNVNA	Barbara Chávez	resident
Joe Sabatini	NNVNA/P.O.	Edward & Patricia	
Camille Varos	NVC	Cordova	residents
Pat & Jess Martinez	NVC	Tracy Jordan	resident
Peggy Norton	NVC	Bill Sabatini	Stronghurst
Aaron Haddow	Property Owner	Carlos Garcia	
Bill Haddow	Property Owner	Chris Kenny	
Billy Stevens	Property Owner	Debbie & Donald Jaramillo	
Cheng Wei	Property Owner	Jennifer Parker	
Don Hernandez	Property Owner	LeRoy Lehr	
		Nancy Traylor	

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM

MEETING SUMMARY REPORT

Katie McCorkell
Norma Scott
Anne Marie Sekula
Robert DiGiulio
Sofia Hines
Brian Montano
Quan Nguyen
Melinda Sanchez

Eric & Elizabeth Knight
Sherry Pennington
Joe & Alice Guevara
Mark Chavez

NVC = North Valley Coalition of NAs
NNVNA = Near North Valley NA
GAHP = Greater Albq Housing Partnership

FACILITATED MEETING REPORT AMENDMENT

North 4th Street Character Protection Overlay

Date Submitted: 29 October 2019
Original Submission: 7 October 2019
Submitted By: Philip Crump
Facilitator: Philip Crump
Co-facilitator: Jocelyn Torres
Project Name: North 4th Street Character Protection Overlay Pre-application
Meeting Date and Time: 2 October 2019; 6:00-7:50 pm

[Changes or additions indicated with *italics*.]

Meeting Specifics:

2. f. Q. The building ~~North~~ *South* of St. Therese Church came under the previous plan.
- a. A. Yes.
 - b. C. That building height with underground parking is 66 feet. The CPO maximum is 55 feet.
 - c. A. No response.

FACILITATED MEETING REPORT AMENDMENT II

North 4th Street Character Protection Overlay

Date Submitted: 30 October 2019
Original Submission: 7 October 2019
Submitted By: Philip Crump
Facilitator: Philip Crump
Co-facilitator: Jocelyn Torres
Project Name: North 4th Street Character Protection Overlay Pre-application
Meeting Date and Time: 2 October 2019; 6:00-7:50 pm

[Deletions indicated with ~~strikeouts~~; Changes or additions indicated with *italics*.]

Outcomes:

2. Unresolved Issues & Concerns: The City will follow the Application Process, to include potential CPO revisions based upon Community Input and the ~~EPA/City Council~~ *EPC/City Council* Hearing Process.

Meeting Specifics:

~~1.b.c The CPO provides~~ *Without the CPO*, the code allows for MX-M maximum building height of 45 to 65 feet in an Urban Center- Main Street Premium Transit Zone (UC-MS-PT).¹

~~1.b.d. The CPO~~ *Without the CPO*, the code would allow for two 12 foot height bonuses in a UC-MS-PT.

~~1.b.e. Without the CPO~~, the code would allow The Maximum height of a 65 foot building in a UC-MS-PT could therefore reach 89 feet.

~~1.d.a. The City will make necessary changes resulting from this meeting and the Application process. The City will consider amendments to the CPO resulting from comments made at this meeting and comments made through the Application process.~~

2. CPO's Purpose and Process.

~~2.a.a~~ A. There is decreased building height with the CPO, decreased ~~condensation~~ *density*, along with minimum setbacks. The CPO gives more space to the corridor than we have today.

~~2. f. Q.~~ The building ~~North~~ *South* of St. Therese Church came under the previous plan.

a. A. Yes.

b. C. That building height with underground parking is 66 feet. The CPO maximum is 55 feet.

c. A. No response.

¹ See Exhibit D.

2.h.a. A. ~~The IDO requirements must be followed.~~ *If adopted, this CPO would supersede general IDO requirements.*

4. Building Density and Planning Vision.

4.b.q. Q. Regarding the ~~MRI~~ *MRA* Meeting last week,

5. Planning Vision, Funding, Traffic and Safety.

5.b. C. North 4th could qualify for development dollars. Share with Gabriel ~~Herrera~~ *Rivera*.

5.c. Q. Has there been a traffic analysis?

a. A. Attendees estimate that there are 18 to 20 thousand vehicles per day. Shanna stated that ~~the City will look into this.~~ *The City can conduct traffic studies on roadways, however that's not part of what this CPO can do. I'll reach out to Councilor Benton's office about your request for a traffic study on 4th and Montañó. [Paraphrase]*

IDO Annual Update Amendment – North 4th Corridor CPO-9
October 29th, 2019

Purpose: The purpose of this proposed amendment is to establish regulations for the North 4th Corridor through a new Character Protection Overlay. This CPO takes regulations from Resolution R-19-162 and puts them into a permanent overlay for the area. These regulations are intended to be more aligned with the surrounding community's desire for development along the corridor. The resolution also included required street cross-sections that new development would be required to comply with, however those cross-sections are more appropriately placed in the Development Process Manual rather than the IDO. Since the passage of R-19-162, the regulations in this proposed CPO have been updated in response to public comment and to clarify the intent.

Action:

1. Create a new CPO-9 titled "North 4th Corridor" and renumber subsequent CPO's. Change all references of small mapped areas titled "North 4th" to "CPO – 9 North 4th Corridor"

3-9(E)(1) Applicability

The CPO-9 standards apply in the following mapped area. *[Insert small area map for North 4th]*

3-9(E)(2) Roadway Cross-Sections

Development within this mapped area shall comply with all requirements in the DPM related to transportation design standards.

3-9(E)(3) Building Mass & Scale

- a) The maximum building height for properties zoned MX-M or higher is 55 feet.
- b) If more than 165 feet of frontage along 4th Street is being developed or redeveloped, one third of the new development is limited to 45 feet.
- c) No height bonuses allowed by Table 5-1-2 for Workforce Housing or Structured Parking shall be allowed.
- d) Any portion of a building over 30 feet shall incorporate a minimum stepback of 6 feet from the front façade facing a public street.

3-9(E)(4) Setback Standards

- a. Front, minimum: 10 feet.
- b. Front, maximum: 15 feet.

3-9(E)(5) Building Design

Building design for any parcels zoned MX-M or higher shall comply with the design requirements of 5-11(E) with the exception of 5-11(E)(2), which shall be replaced with the following for the purposes of this CPO:

1. In new residential and mixed-use development, windows on the upper floors

shall be recessed not less than two inches.

2. Each façade facing a public street shall incorporate at least 3 of the following features along at least 30 percent of the horizontal length of the façade. The features listed below shall be distributed along the façade so that each horizontal façade length of 30 linear feet contains at least 1 of the following features:
 - a. Ground-floor clear, transparent display windows and/or doors, with the lower edge of window sills no higher than 30 inches above the finished floor. The ground floor clear, transparent display windows and/or doors shall comprise a minimum of 50 percent of the ground floor façade, except where a building faces a street on 2 or more sides, the primary façade shall contain a minimum of 50 percent of its surfaces in windows and/or doors, and the remaining street-facing façades shall contain a minimum of 30 percent of their surfaces in windows and/or doors with no minimum window sill height required.
 - b. Windows on upper floors.
 - c. Primary pedestrian entrances.
 - d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
 - e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.
 - f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.
3. Each street-facing façade longer than 50 feet shall incorporate at least 2 of the following additional features:
 - a. Wall plane projections or recesses of at least 1 foot in depth, occurring at least every 50 linear feet and extending at least 25 percent of the length of the façade.
 - b. A change in texture, or material occurring every 25 linear feet and extending at least 20 percent of the length of the façade.
 - c. An offset, reveal, pilaster, or projecting element, no less than 2 feet in width and projecting from the façade by at least 6 inches and repeating at minimum intervals of 25 feet.
 - d. Three-dimensional cornice or base features that are different in material from the primary façade and projecting no less than 3 inches. A base feature shall be no shorter than 18 inches and a cornice feature shall be no shorter than 12 inches.
 - e. A projecting gable, hip feature, or change in parapet height for every 50 linear feet of the façade.
 - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.
4. All accessory buildings visible from a public street shall be similar in color, material, distinctive rooflines, finishing details, and accent features to the primary building.

NEIGHBORHOOD COMMENTS

NORTH VALLEY COALITION, INC.

Individuals, Neighborhood Associations, Businesses & Community Groups Working Together

December 1, 2019

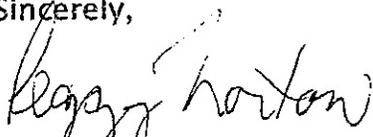
Chair Dan Serrano
c/o Planning Department
rbrito@cabq.gov

Character Protection Overlay for North 4th Corridor/zone map amendment

The North Valley Coalition has received numerous complaints regarding several new development projects along North 4th Street. Although these projects were completed under the North 4th Corridor Plan, people took a closer look at what was allowed under the Integrated Development Ordinance. We had a meeting with our City Councilor, Council Services, City Planning, Administration and the proposal was made to consider developing a Character Protection Overlay for this area. We appreciate the efforts put into moving this idea forward by Councilor Benton, Shanna Schultz, Petra Morris. A public meeting was facilitated by Mr. Philip Crump. This meeting was surprisingly well attended - many people continue to be interested in this area and want it to succeed and have a certain uniqueness. Many of the people had been involved in developing the North 4th Corridor Plan and were disappointed with the results. They, and others, are hoping for better results this time around.

We therefore support this Character Protection Overlay. It should provide for some interesting architectural designs, open space and landscaping, making it as pedestrian/bicycle friendly as can be done within the constraints. It will be interesting to read and hear any public comments that are made, and will consider them in any future hearings where public input can be made.

Sincerely,



Peggy Norton
President

Phelan, Whitney A.

From: Brito, Russell D.
Sent: Wednesday, November 13, 2019 11:01 AM
To: Phelan, Whitney A.
Cc: Renz-Whitmore, Mikaela J.
Subject: FW: Comments on North 4th Street Character Protection Overlay in the IDO Annual Update Amendment
Attachments: IDOUpdateNorth4thCorridor (002)-RDSuggestions.pdf

Whitney,

For the file for December's EPC agenda item.

Thanks,

- Russell

From: Rosemary Dudley [mailto:rdudley@sites-sw.com]
Sent: Wednesday, November 13, 2019 10:54 AM
To: Brito, Russell D.
Subject: Comments on North 4th Street Character Protection Overlay in the IDO Annual Update Amendment

Dear Dan Serrano and Commissioners

Thank you for the opportunity to provide comments on the Character Protection Overlay for North 4th Corridor CPO-9. Having worked with City staff and the community on the Brown Property recently, I have the following suggestions for language revisions. Please see the attached pdf for exact comment locations or the list below:

- Page 1, Action 1, 3-9(E)(3)c: Specify "one third of the new development is limited to 45 feet **in height.**"
- Page 1, Action 1, 3-9(E)(4)b: Recommend there be exceptions to this setback requirement for plazas or public open space. For example you could add, "A minimum of X percent of the facade must meet the setback standard. The remaining Y percent must be used for plazas, landscaping, or public open space." The plazas could be used for outdoor dining so don't need to be public.
- Page 2, Action 1, 3-9(E)(5)2d-f: Recommend including a minimum length otherwise the result could be one little awning/shelf/planter over a door or window every 30 feet.
- Page 2, Action 1, 3-9(E)(5)3d: Add a missing "." after "3 inches"



ROSIE DUDLEY, AICP
Senior Planner

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113 La Poblana Rd NW
Albuquerque, NMex 87107
December 2, 2019

Environmental Planning Commission
Chair Dan Serrano
C/O Planning Department
600 Second St NW, Third Floor
Albuquerque, NMex 87102

Dear Chair Dan Serrano:

I am writing to you in regard to the letter I received on October 29, 2019 concerning redevelopment on some part of 2nd Street. I live on La Poblana off 2nd Street.

I attended a meeting on September 24th where Gabriel Rivera of the Metropolitan Redevelopment Agency was there and he assured me that my property would not be included in the proposal because I explained to him that my home here at 113 La Poblana Rd NW has been renovated. I have done alot of work to my home. It is not run down.

I would appreciate your consideration in this matter as it is important to me.

Sincerely,

Clara Archuleta