



**Environmental  
Planning  
Commission**

**Agenda Number: 05  
Project Number: 1011435  
Case Number: 17EPC- 40058,59  
Hearing Date: December 14, 2017**

**Staff Report**

<b>Agent</b>	Scott Anderson
<b>Applicant</b>	KIDS Academy
<b>Request</b>	Site Plan for Subdivision, Site Development Plan for Building Permit
<b>Legal Description</b>	Lot A-1, Fineland Development
<b>Location</b>	Crown Rd. NE and Fineland Dr. NW,
<b>Size</b>	approximately 4.3 acres
<b>Existing Zoning</b>	SU-1 for C-1 uses
<b>Proposed Zoning</b>	No change

**Staff Recommendation**

**APPROVAL of Project # 1011435  
Case # 17EPC-40058,59  
based on the  
Findings and subject to the  
Conditions of Approval  
included within this report**

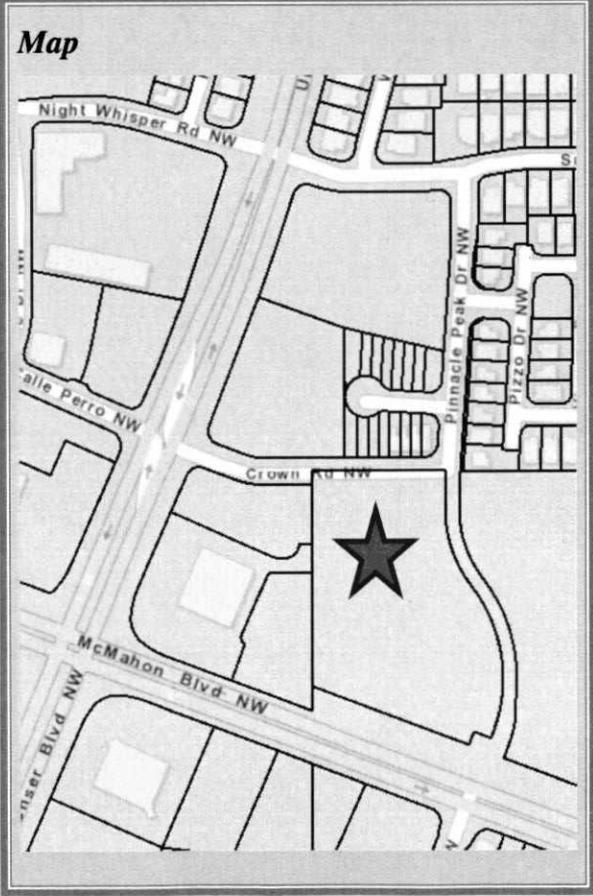
**Staff Planner  
Maggie Gould**

**Summary of Analysis**

This is a request for a Site Development Plan for Subdivision to separate the subject site from the rest of the site and Site Development Plan for Building Permit to allow the development of a 10,196 square foot daycare center building.

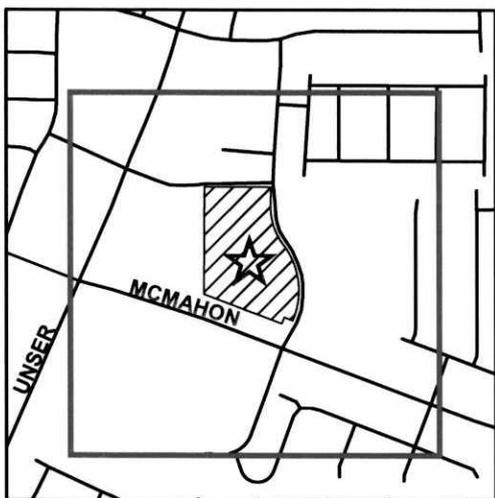
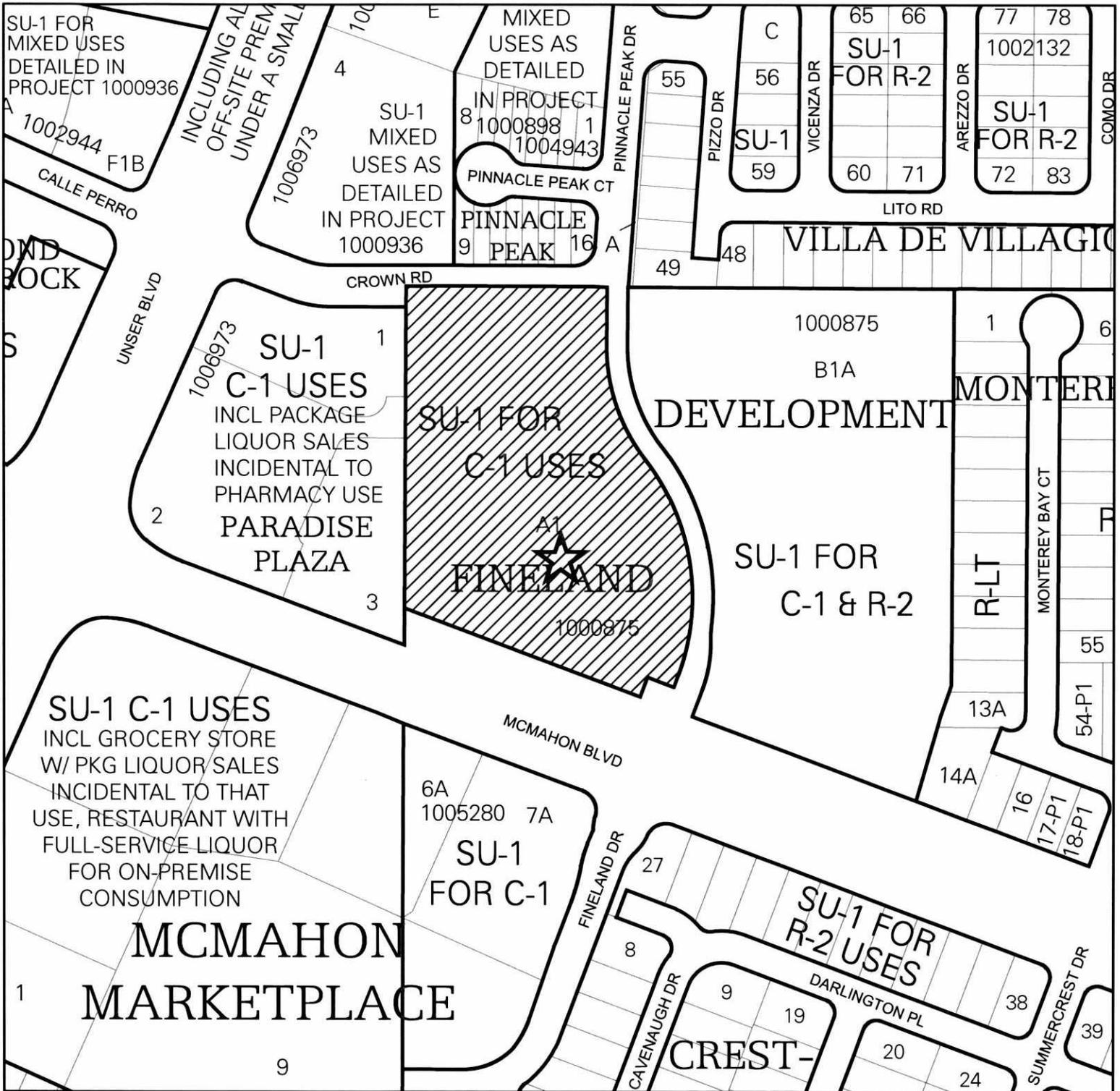
The Villa de Villagio and Tuscany Neighborhoods and the Westside Coalition of Neighborhoods were notified of the request along with property owners within 100 feet of the site.

A facilitated meeting occurred on November 20, 2017. Attendees supported the project.



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59  
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### ZONING MAP

Note: Grey shading indicates County.

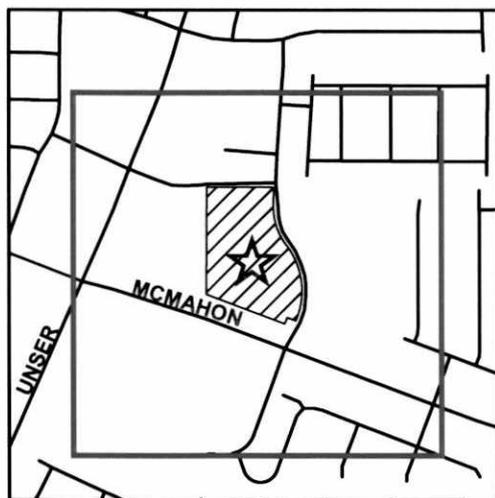
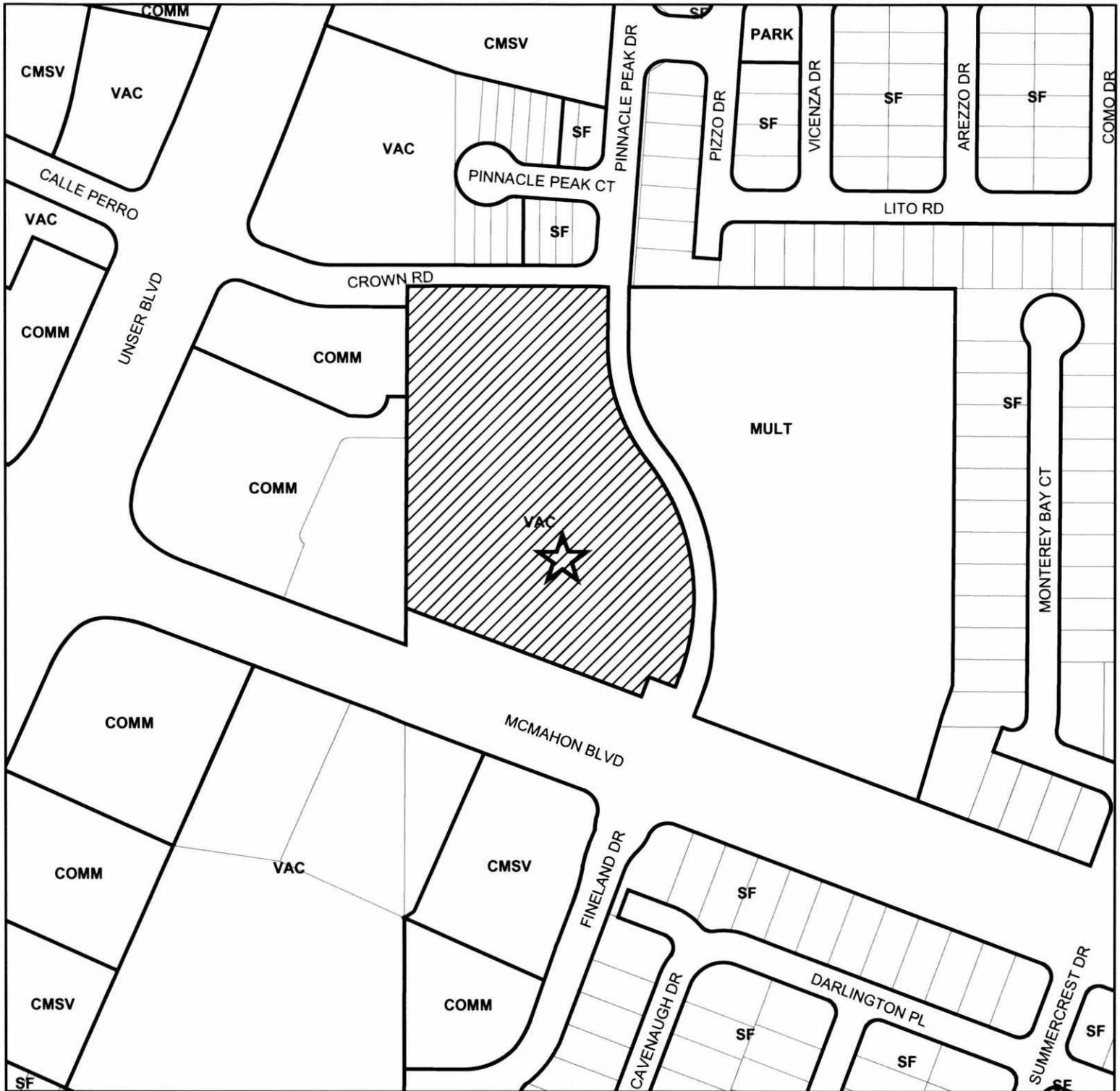


1 inch = 200 feet

Project Number:  
1011435

Hearing Date:  
12/14/2017

Zone Map Page: A-11  
Application Case Numbers:  
17EPC-40059



## LAND USE MAP

Note: Grey shading indicates County.

### KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage

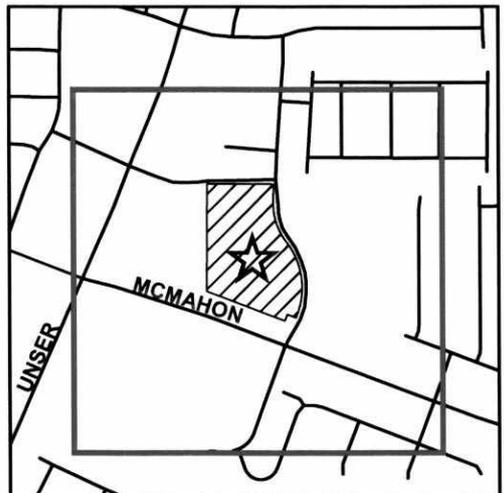
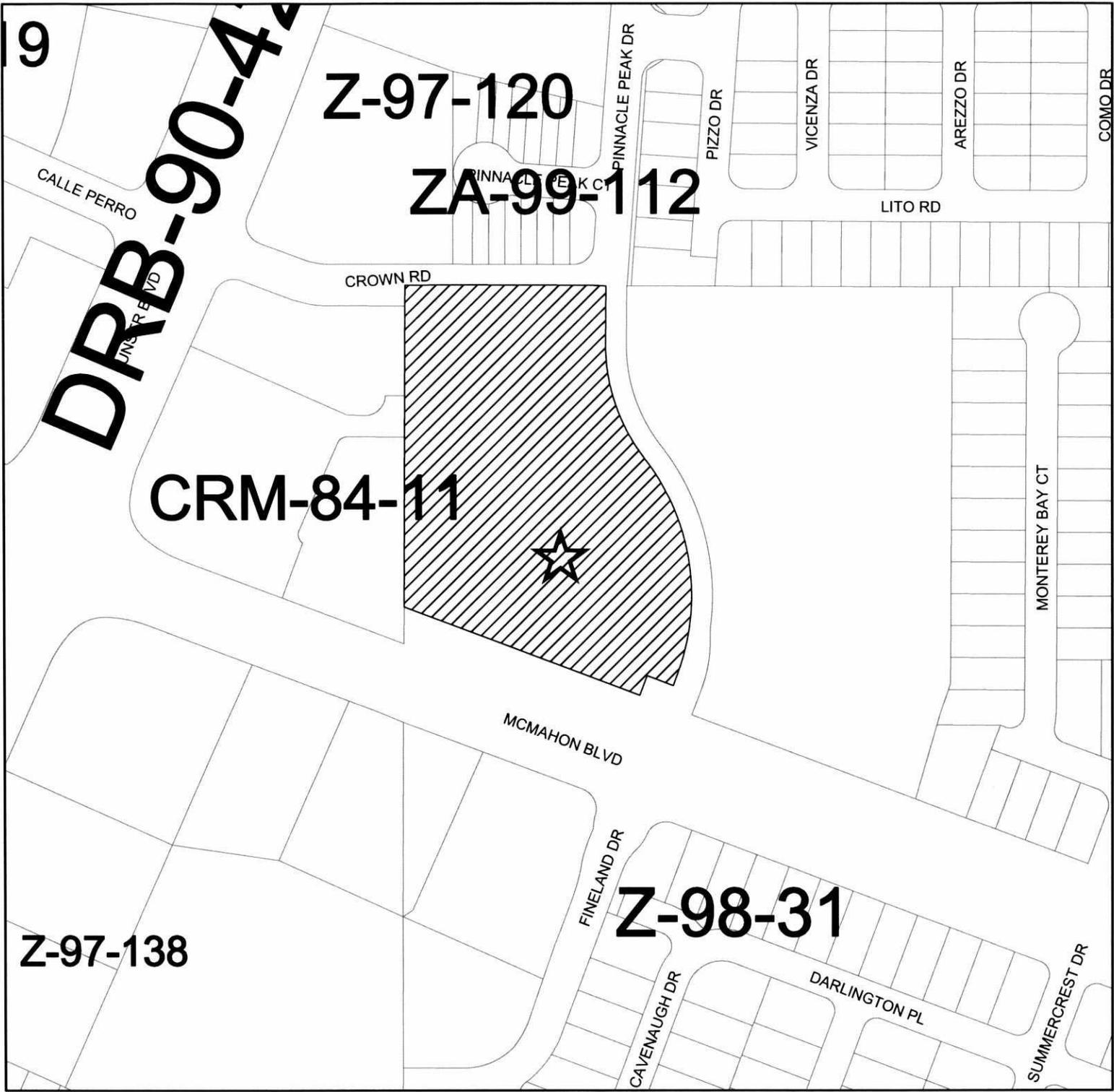


1 inch = 200 feet

**Project Number:**  
1011435

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12/14/2017

**Zone Map Page: A-11**  
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17EPC-40059



**HISTORY MAP**

Note: Grey shading indicates County.



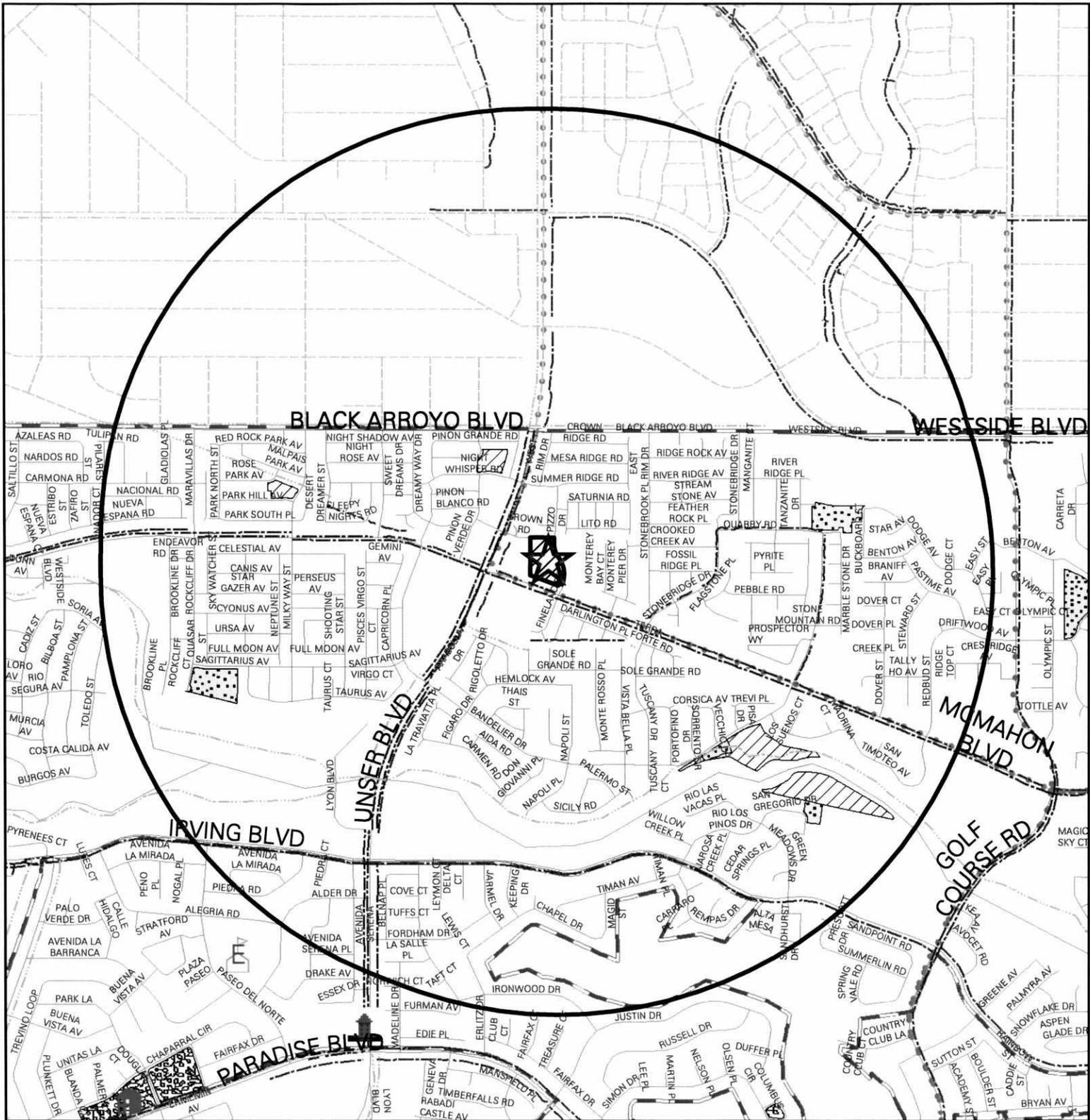
1 inch = 200 feet

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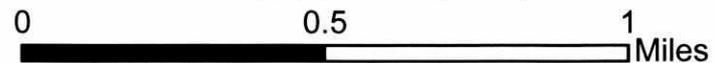


## Public Facilities Map with One-Mile Buffer



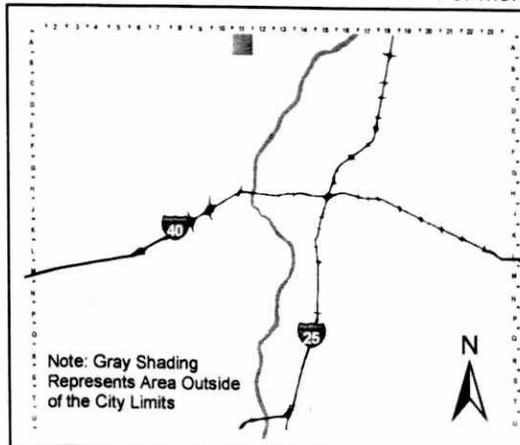
- |                      |                         |                          |                             |
|----------------------|-------------------------|--------------------------|-----------------------------|
| Community Center     | Fire                    | Public Schools           | Landfill Buffer (1000-feet) |
| Multi-Service Center | Police                  | Proposed Bike Facilities | Landfill designated by EHD  |
| Senior Center        | Sheriff                 | ABQ Bike Facilities      | Developed County Park       |
| Library              | Solid Waste             | ABQ Ride Routes          | Undeveloped County Park     |
| Museum               | Albuquerque City Limits |                          | Developed City Park         |
|                      |                         |                          | Undeveloped City Park       |

Project Number: 1011435





For more current information and details visit: [www.cabq.gov/gis](http://www.cabq.gov/gis)



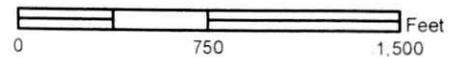
Address Map Page:

# A-11-Z

Map Amended through:  
3/17/2017



These addresses are for informational purposes only and are not intended for address verification.



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**I. INTRODUCTION**

**A. Surrounding zoning, plan designations, and land uses:**

	<b>Zoning</b>	<b>Comprehensive Plan Area; Applicable Rank II &amp; III Plans</b>	<b>Land Use</b>
<b>Site</b>	SU-1 for C-1 uses	Area of Change, WSSP	vacant
<b>North</b>	SU-1 for Mixed Uses in project 1000936	Same	Vacant/ residential
<b>South</b>	SU-1 for C-1 uses	Same	Commercial
<b>East</b>	SU-1 for C-1 and R-2	Same	Residential
<b>West</b>	SU-1 for C-1 uses including package liquor sales incidental to a pharmacy use	Same	Commercial

**B. Proposal**

This is a request for a Site Development Plan for Subdivision to separate the subject site from the rest of the site and Site Development Plan for Building Permit to allow the development of a 10,196 square foot daycare center building.

**C. EPC Role**

The Environmental Planning Commission (EPC) has the authority to hear and consider Site Development Plans associated with an SU-1 site within the City of Albuquerque pursuant to Zoning Code Sections 14-16-4-1 Amendment Procedure and 14-16-2-22 SU-1 Special Use Zone. The EPC is the final decision-making body unless the EPC decision is appealed. If appealed, the Land Use Hearing Officer (LUHO) would hear the appeal and make a recommendation to the City Council, which would make the final administrative decision pursuant to Zoning Code Section 14-16-4-4 Appeal. This is a quasi-judicial matter.

**D. History/Background**

The EPC approved a Zone Map Amendment for a 40 parcel including the subject site from R-1 to SU-1 for C-1, SU-1 for R-2 and R-LT. The subject site was zoned SU-1 for C-1. The EPC approved a Zone Map Amendment and Site Development Plan for Building Permit for the property direct to the east of the subject site to allow the development of a 154 unit multifamily development.

***E. Context***

The area developed with a mixed of single family and multi family development, commercial and service uses. There is a multi family development to the east of the site, single family residential to the north, a vacant commercial parcel to the south and commercial development to the west. The proposed day care center will add to the mix of the commercial and service uses in the area.

***F. Transportation System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Unser Boulevard and McMahan Boulevard as Principal arterials .

The LRRS designates Crown Road as a Major Local street.

***G. Comprehensive Plan Corridor Designation***

Unser Boulevard and McMahan Boulevard are Commuter Corridors, Unser has a Premium Transit Corridor overlay.

***H. Trails/Bikeways***

Unser Boulevard and McMahan Boulevard contain bike lanes and paved multi use trails.

***I. Transit***

Refer to Transit Agency comments

***J. Public Facilities/Community Services***

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile of the subject site.

***II. ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES***

***A. Albuquerque Comprehensive Zoning Code***

The subject site is currently zoned SU-1 for C-1. According to the Zoning Code, the SU-1 special use zone “provides suitable sites for uses that are special, and for which the appropriateness of the use to a specific location depends upon the character of the site design” (Zoning Code §14-16-2-22). A site development plan is required when developing in the SU-1 zoning. The applicant has provided a SPBP request to satisfy this requirement.

The C-1 (Neighborhood Commercial) zone provides suitable sites for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas (Zoning Code §14-16-2-19). In 2012, the City Council adopted an ordinance (Ord.

2012-004) allowing multi-family residential development within a C-1 Zone, subject to certain location and design requirements. The proposed use is allowed under the existing zone.

***B. Albuquerque / Bernalillo County Comprehensive Plan, Note, Bernalillo County has not adopted the 2017 Comprehensive Plan***

Policy Citations are in Regular Text; Staff Analysis is in ***Bold Italics***

The subject site is located in an Area of Change designated by the Comprehensive Plan. Applicable policies include:

Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side.

***The request furthers Policy 5.4.2 because it will allow the development of a new service use that will provide employment on the west side.***

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]

b) Encourage development that expands employment opportunities.

***The request furthers Policy 5.6.2 and 5.6.2.b) because it will allow the development of a new service use, in an Area of Change, that will provide employment on the west side.***

***C. The West Side Strategic Plan (Rank 2)***

The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). It is not within a designated Community or Neighborhood Center. The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. Relevant goals/policies include the following:

Policy 1.1: Thirteen distinct Communities, as shown on the Community Plan Map and described individually in this Plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in Community and Neighborhood Centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commissions shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low density residential development (typical 3-5 du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the Centers.

***The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. The proposed day care center adds an additional***

*neighborhood scale use that will serve the surrounding community. The request furthers policy 1.1.*

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/ bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings (p. 39).

*The proposed development has sidewalk access to Pinnacle Peak drive and Crown Road, these street connect to the sidewalk and bike and pedestrian trails along Unser Boulevard and McMahon Boulevard. The request furthers policy 1.5*

Policy 3.4 (Seven Bar Ranch): Several clusters of neighborhoods will develop within the Seven Bar Ranch Community. Each of these shall be served by a Neighborhood Center, so neighborhood commercial, public and quasi-public uses and other uses appropriate for such centers shall be encouraged. The lowest density single-family residential development shall not occur within these centers, but must have safe pedestrian and bicycle access to them.

*The McMahon/Unser Neighborhood Center contains non-residential uses and serves many surrounding subdivisions, such as the Tuscany and Skies West neighborhoods. The request proposes additional commercial uses in a shopping center along with pedestrian and bicycle access. The request furthers WSSP Policy 3.4.*

### **III. SITE DEVELOPMENT PLAN FOR SUBDIVISION**

The SPS shows the subject site and proposed new lot line. The site will take access from Fineland drive and will be served by an internal loop road.. The building setbacks will be feet in the front, 10 feet on the sides and 10 feet in the rear.

Maximum building height will be 26 feet. The applicant proposes an FAR of .186; staff suggests that this is very low and would recommend at .3 as an appropriate FAR.

The SPS contains the elements required by §14-16-1-5, ingress and egress, allowed height, setbacks and FAR or dwellings per acre

The future sidewalks will be 6 feet in width.

The SPS does not change the underlying zoning.

### **IV. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

#### **A. Request**

The applicnat proposes an approxamately 10,000 square foot building to house a day care center.

Section 14-16-3-11(B) of the Zoning Code states, “... Site Development Plans are expected to meet the requirements of adopted city policies and procedures.” As such, staff has reviewed the attached site development plan for conformance with applicable goals and policies in the Comprehensive Plan, the Comprehensive Zoning Code and all other applicable City planning documents.

***B. Site Plan Layout / Configuration***

The proposed building will be L shaped and located at the northwest corner of the site. The entrance faces southeast towards a patio space and connects to a 10 foot wide sidewalk that connects to the adjacent streets.

The applicant proposes a dumpster located to the east of the building, near the playground. Staff recommends that the applicant work with the Solid Waste Department to find a location further from the playground.

The building will be 20 feet in height and will be setback 30 feet from Crown Road and 90 feet from Pinnacle Peak drive. The C-1 zone allows buildings up to 20 feet in height and requires a front and corner set back of not less five feet.

***C. Public Outdoor Space***

The site plan shows a 400 square foot patio at the entrance to the building. There are two playground areas for the children at the day care center.

***D. Vehicular Access, Circulation and Parking***

The site takes access from Pinnacle Peak Drive via 24 foot wide drive aisle.

Parking is provided pursuant to the zoning code, §14-16-3-1, at two spaces plus one additional space for 500 feet of net leasable space for a total of 22 spaces.

***E. Pedestrian and Bicycle Access and Circulation, Transit Access***

A 5 space bike rack will be provided at the southwest corner of building, §14-13-3-1 requires 1 bike space for each 20 space for each 20 auto spaces, but at least two spaces. The proposed bike rack will meet this requirement.

***F. Walls/Fences***

The site plan shows a 6 foot high picket fence surrounding the playground areas and rear of the site. §14-16-3-19 does not limit height for walls and fences in non-residential zones, except with 5 feet of the public right of way. The fence will be 6 feet from the right of way and will comply with the requirements of the zoning code.

***G. Lighting and Security***

No lighting features are shown.

***H. Landscaping***

The applicant proposes a mix of low and medium water use plants that are generally successful in the area except for the Quaking Aspen and Colorado Spruce which will not be good choices for the Albuquerque climate and should be replaced.

The landscaping plan does not show square footage calculations; the applicant will update this prior to final DRB sign off and will provide additional plant material if needed to comply with the zoning Code Requirements. Street trees will be required along Crown Road.

***I. Grading, Drainage, Utility Plans***

The site is relatively flat with a change in slope of 3 feet from southeast to northwest. The applicant proposes a temporary pond to the south of the site. Storm water will be accommodated in this pond and in the existing street infrastructure.

***J. Architecture***

The proposed building will not be a specific architectural style, but will have articulation on all sides in the form of windows, doors and changes color, material and plane.

***K. Signage***

The C-1 zone allows signage to coverage up 25% of the façade for facades that are visible from an arterial street. The applicant proposes two 150 square foot signs on the east and south facades, these signs are within the allowed size.

***V. AGENCY & NEIGHBORHOOD CONCERNS***

***A. Reviewing Agencies/Pre-Hearing Discussion***

Describe significant comments or outstanding issues that affect the request, otherwise refer to the agency comments at the end of the staff report

***B. Neighborhood/Public***

The Villa de Villagio and Tuscany Neighborhoods and the Westside Coalition of Neighborhoods were notified of the request along with property owners within 100 feet of the site.

A facilitated meeting occurred on November 20, 2017. Attendees supported the project.

**VI. CONCLUSION**

This is a request for a Site Development Plan for Subdivision to separate the subject site from the rest of the site and Site Development Plan for Building Permit to allow the development of a 10,196 square foot daycare center building. Staff recommends approval with conditions.

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**FINDINGS, Site Development Plan for Subdivision**

**Project # 1011435, Case # 17EPC- 40058**

1. This is a request for a Site Development Plan for Subdivision for Tract-A-1 located on Finland Drive and containing approximately 4.3 acres.
2. The SPS shows the subject and proposed new lot line. The site will take access from Finland drive and will be served by an internal loop road.. The building setbacks will be feet in the front, 10 feet on the sides and 10 feet in the rear.
3. Maximum building height will be 26 feet. The future sidewalks will be 6 feet in width.
4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan Seven Bar Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

The subject site is located in an Area of Change designated by the Comprehensive Plan. Applicable policies include:

Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side.

***The request furthers Policy 5.4.2 because it will allow the development of a new service use that will provide employment on the west side.***

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]

b) Encourage development that expands employment opportunities.

***The request furthers Policy 5.6.2 and 5.6.2.b) because it will allow the development of a new service use, in an Area of Change, that will provide employment on the west side.***

5. The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). It is not within a designated Community or Neighborhood Center. The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. Relevant goals/policies include the following:

Policy 1.1: Thirteen distinct Communities, as shown on the Community Plan Map and described individually in this Plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in Community and Neighborhood Centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commissions shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low density residential development (typical 3-5 du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the Centers.

*The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. The proposed day care center adds an additional neighborhood scale use that will serve the surrounding community. The request furthers policy 1.1.*

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/ bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings (p. 39).

*The proposed development has sidewalk access to Pinnacle Peak drive and Crown Road, these street connect to the sidewalk and bike and pedestrian trails along Unser Boulevard and McMahon Boulevard. The request furthers policy 1.5*

Policy 3.4 (Seven Bar Ranch): Several clusters of neighborhoods will develop within the Seven Bar Ranch Community. Each of these shall be served by a Neighborhood Center, so neighborhood commercial, public and quasi-public uses and other uses appropriate for such centers shall be encouraged. The lowest density single-family residential development shall not occur within these centers, but must have safe pedestrian and bicycle access to them.

*The McMahon/Unser Neighborhood Center contains non-residential uses and serves many surrounding subdivisions, such as the Tuscany and Skies West neighborhoods. The request proposes additional commercial uses in a shopping center along with pedestrian and bicycle access. The request furthers WSSP Policy 3.4.*

6. The Villa de Villagio and Tuscany Neighborhoods and the Westside Coalition of Neighborhoods were notified of the request along with property owners within 100 feet of the site.

A facilitated meeting occurred on November 20, 2017. Attendees supported the project.

7. The applicant is requesting not delegation of SPBP

### **RECOMMENDATION**

***APPROVAL/ of 17EPC-40058, a request for Site Development Plan for Subdivision for Tract-A-1 located on Fineland Drive and containing approximately 4.3 acres., based on the preceding Findings and subject to the following Conditions of Approval.***

**CONDITIONS OF APPROVAL, Site Development Plan for Subdivision**

**Project # 1011435, Case # 17EPC- 40058**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant proposes an FAR of .186; staff suggests that this is very low and would recommend .3 as an appropriate FAR.
4. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

**FINDINGS, Site Development Plan for Building Permit**

**Project # 1011435, Case # 17 EPC40059**

1. This is a request for a Site Development Plan for Building Permit for a portion of Tract-A-1 located on and containing approximately 4.3 acres.
2. The request will allow the development of a 10, 196 square foot day care building.
3. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan Seven Bar Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

The subject site is located in an Area of Change designated by the Comprehensive Plan. Applicable policies include:

Policy 5.4.2 West Side Jobs: Foster employment opportunities on the West Side.

***The request furthers Policy 5.4.2 because it will allow the development of a new service use that will provide employment on the west side.***

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [A]

- b) Encourage development that expands employment opportunities.

*The request furthers Policy 5.6.2 and 5.6.2.b) because it will allow the development of a new service use, in an Area of Change, that will provide employment on the west side.*

4. The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). It is not within a designated Community or Neighborhood Center. The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. Relevant goals/policies include the following:

Policy 1.1: Thirteen distinct Communities, as shown on the Community Plan Map and described individually in this Plan, shall constitute the existing and future urban form of the West Side. Communities shall develop with areas of higher density (in Community and Neighborhood Centers), surrounded by areas of lower density. Bernalillo County and the City of Albuquerque Planning Commissions shall require that high density and non-residential development occur within Community and Neighborhood Centers. Low density residential development (typical 3-5 du/acre subdivisions, or large lot rural subdivisions) shall not be approved within the Centers.

*The subject site is within the Seven Bar Ranch Community of the West Side Strategic Plan (WSSP). The Westside Strategic Plan identifies the McMahon Blvd./Unser Blvd. area adjacent to the west and southwest of the subject site as a Neighborhood Center. The proposed day care center adds an additional neighborhood scale use that will serve the surrounding community. The request furthers policy 1.1.*

Policy 1.5: Community and Neighborhood Centers shall be required to provide pedestrian/ bicycle access to key activity areas. Parking lots shall be carefully designed to facilitate trail access and pedestrian access between buildings (p. 39).

*The proposed development has sidewalk access to Pinnacle Peak drive and Crown Road, these street connect to the sidewalk and bike and pedestrian trails along Unser Boulevard and McMahon Boulevard. The request furthers policy 1.5*

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*The McMahon/Unser Neighborhood Center contains non-residential uses and serves many surrounding subdivisions, such as the Tuscany and Skies West neighborhoods. The request proposes additional commercial uses in a shopping center along with pedestrian and bicycle access. The request furthers WSSP Policy 3.4.*

5. The Villa de Villagio and Tuscany Neighborhoods and the Westside Coalition of Neighborhoods were notified of the request along with property owners within 100 feet of the site.
6. A facilitated meeting occurred on November 20, 2017. Attendees supported the project.

**RECOMMENDATION**

***APPROVAL of 17EPC-40058, a request for Site Development Plan for Subdivision/ for (legal description), based on the preceding Findings and subject to the following Conditions of Approval.***

***CONDITIONS OF APPROVAL, Site Development Plan for Building Permit***

***Project # 1011435, Case # 17EPC- 40059***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Provide street trees along Crown Road and show these on the SPBP prior to DRB submittal.
4. Replace Quaking Aspen and Blue Spruce with low water species that are appropriate for the Albuquerque climate.
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

---

***Maggie Gould***  
***Planner***

*Notice of Decision cc list:*

Scott Anderson

Kidz Academy

Affected Neighborhoods

**AGENCY COMMENTS**

**PLANNING DEPARTMENT**

**Zoning Enforcement**

No adverse comments.

**Office of Neighborhood Coordination**

**Long Range Planning**

No comment

**Metropolitan Redevelopment Agency**

**CITY ENGINEER**

**Transportation Development**

**Hydrology Development**

**EPC project # 1011435;** Will require a Grading and Drainage Plan addressing the below criteria, the

criteria stated in the Development Process Manual, and the design guidelines in Standard Specifications

when developing this property.

Hydrology Engineer: Reneé Brissette, PE

**GENERAL HYDROLOGY CRITERIA:**

- Beyond 10' of a structure, all landscape beds to be depressed below grade. Within 10', runoff shall be directed away from the structure.
- All new development projects shall manage the runoff from precipitation which occurs during the 90<sup>th</sup> Percentile Storm Events, referred to as the "first flush." The Site Plan/Drainage Plan must indicate all areas and mechanisms intended to capture the first flush. For volume calculations, the 90<sup>th</sup> Percentile storm event is 0.44 inches. For Land Treatment D the initial abstraction is 0.1", therefore the first flush volume should be based on  $0.44'' - 0.1'' = 0.34''$  and only consider the impervious areas.
  - State how the first flush will be retained and provide supporting calculations
  - State the area of Land Treatment D on the plan
- The applicant may request a pre-design meeting with the Hydrology Section; a Conceptual Grading and Drainage plan or site plan should be included. Contact either Dana Peterson (dpeterson@cabq.gov) or Reneé Brissette (rbrissette@cabq.gov) to set up a pre-design meeting.
  - The engineer should research the Master Drainage Plan and/or adjacent sites – essentially practice due diligence prior to meeting. Conceptual Grading and Drainage plans should reference the master drainage plan or other sources that indicate the intended drainage for that area. The applicant should provide excerpts from the supporting documents and/or grading plans.
  - Final Drainage Reports should have an appendix with all supporting documentation

- When determining allowable discharge from a site:
  - Downstream Capacity is the determining criteria for allowable discharge; historic discharge has no relevance.
  - If a Master Drainage Report planned an allowable discharge for a site, determine if the basis for that discharge is still valid or if conditions have since changed.
  - If discharging to the street, determine if the street has capacity. Also determine if the storm drain has capacity.
  - If discharging to the back of inlets, determine if doing so will still provide capacity for the discharge from the street.
  - All flows must enter a water quality pond/swale before leaving the site or entering the public storm sewer system.

***DEPARTMENT of MUNICIPAL DEVELOPMENT***

***Transportation Planning***

***Traffic Engineering Operations***

***WATER UTILITY AUTHORITY***

***Utility Services***

1. 17EPC-40058 Site Development Plan for Subdivision
  - a. No adverse comment pertaining to the proposed subdivision.
2. 17EPC-40059 Site Development Plan for Building Permit
  - Identification: UPC – 101106640436110117
    - a. A utility plan was not supplied with this submittal.
    - b. As a condition for approval please submit an Availability Statement request. Requests can be made at the link below:
      - i.  
[http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)
      - ii. Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.

**ENVIRONMENTAL HEALTH DEPARTMENT**

**PARKS AND RECREATION**

Planning and Design

Open Space Division

City Forester

**POLICE DEPARTMENT/Planning**

**SOLID WASTE MANAGEMENT DEPARTMENT**

Refuse Division

Complete/detailed site plan (Pg.A-100) must include all access roadways w/entrance/exit dimensions. Please remove 5' of West curb at South entrance, for safer back-up clearance for refuse truck. All new/proposed refuse enclosures must be built to COA minimum requirements. 4" sanitary drain noted on "Master Utility Plan", needs to be indicated on detailed spec. sheet (Pg.A-501)

**FIRE DEPARTMENT/Planning**

**TRANSIT DEPARTMENT**

Transit Corridor	No
Transit Route	155 from Northwest Transit Center along Coors to a turn around at Gun Club
Current Service/Stops	Nearest stop pair is intersection of Unser and McMahon
Comments	No

**BERNALILLO COUNTY**

**ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY**

**ALBUQUERQUE PUBLIC SCHOOLS**

APS Case Comments: This will have no adverse impacts to the APS district.

**MID-REGION COUNCIL OF GOVERNMENTS**

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

**PUBLIC SERVICE COMPANY OF NEW MEXICO**

1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
2. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within an easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM

facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project.

Contact:

Andrew Gurule

PNM Service Center

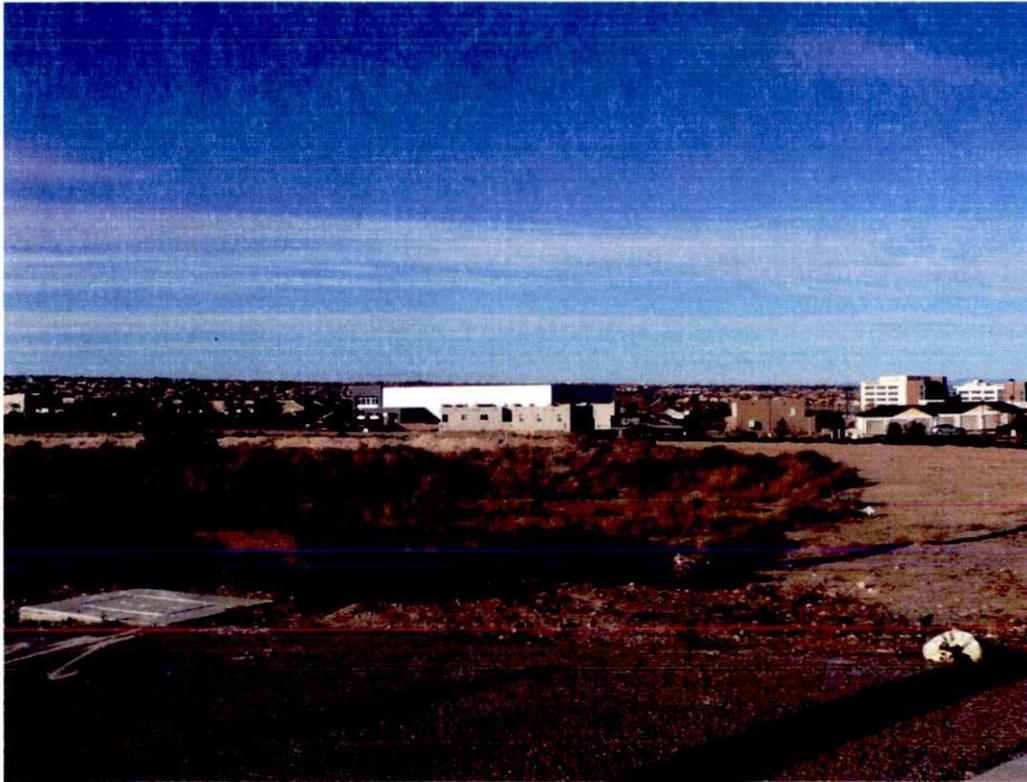
4201 Edith Boulevard NE

Albuquerque, NM 87107

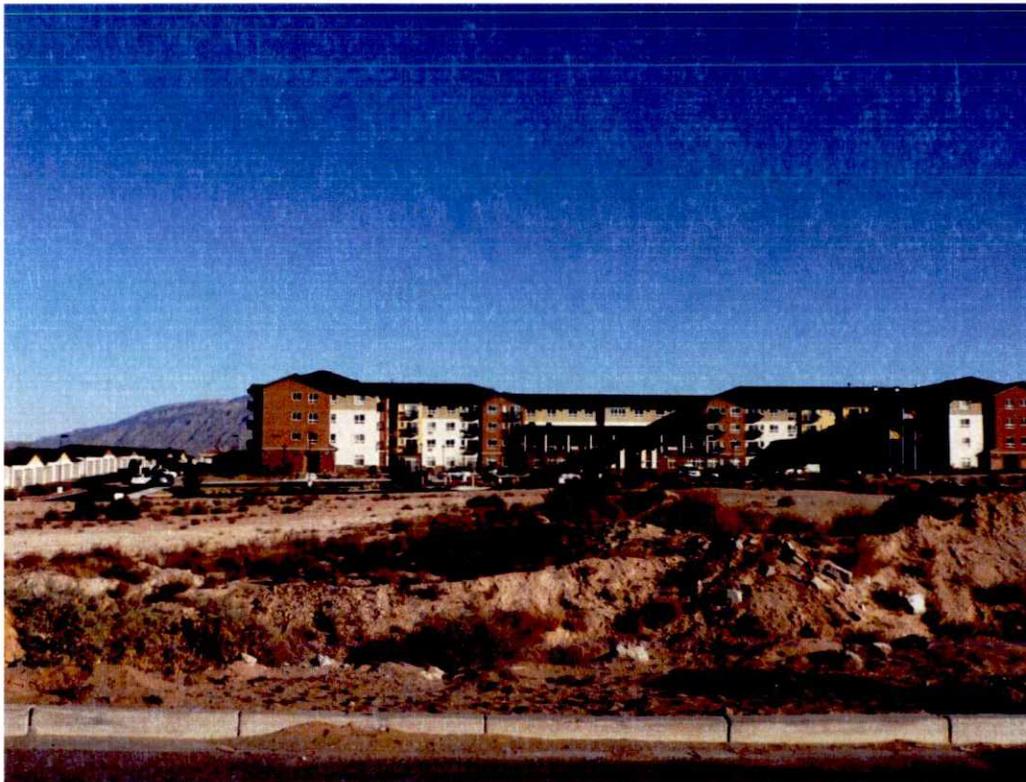
Phone: (505) 241-0589

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

View of the subject site looking x.



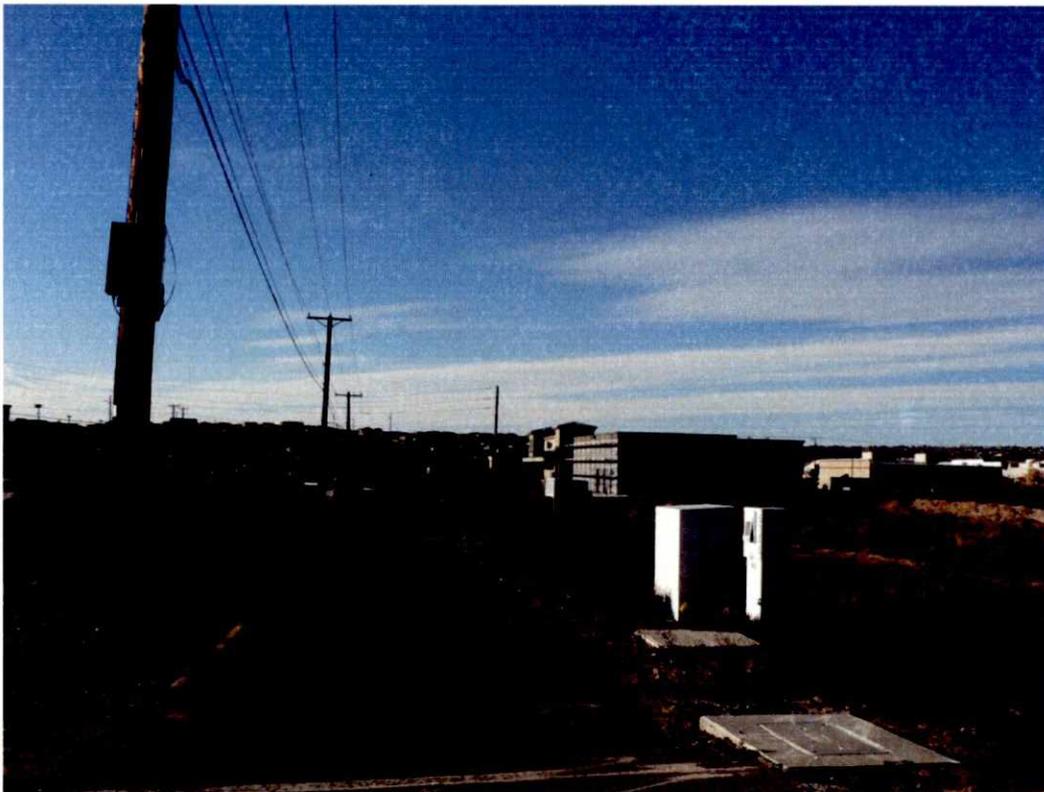
View of the  
subject site  
looking  
Northwest.



Looking east



View of the subject site looking southwest



View looking west along McMahon.

HISTORY

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: June 28, 1999

**OFFICIAL NOTIFICATION OF  
DECISION**

Dr. Jeffrey Fine  
401 West End Ave.  
New York, NY 10024

FILE: Z-98-31

LEGAL DESCRIPTION: SE 1/4 NE 1/4 of  
Section 2 T11N, R2E NMPM, located on  
McMahon Boulevard NW between Unser  
Boulevard and Bandelier Drive, containing  
approximately 40 acres. (A-11) Russell  
Brito, Staff Planner

On June 24, 1999 the Environmental Planning Commission voted to approve Z-98-31, a zone map amendment from R-1 to SU-1 for C-1 uses (Parcel A, 11.08 acres), SU-1 for R-2 uses (Parcel B, 15.15 acres), and R-LT (Parcel C, 13.77 acres) for the SE 1/4 NE 1/4 of Section 2 T11N, R2E NMPM based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for a zone map amendment from R-1 to SU-1 for C-1 (11.08 acres), SU-1 for R-2 Uses (15.15 acres), and R-LT (13.77 acres) for the SE 1/4, NE 1/4 of Section 2 T11N, R2E, NMPM. Parcels A, B, and C correspond to the boundaries shown on the map submitted by the applicant with the letter dated March 8, 1999.
2. The request furthers the Goals and policies of the *Comprehensive Plan* by allowing for a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, work areas, and life styles.
3. The request site is partially within the boundaries of the *West Side Strategic Plan* designated Village Center Core at McMahan and Unser Boulevards, which calls for a mix of uses including commercial. The present R-1 zoning is inappropriate for Village Centers.
4. The request meets the policies and requirements of *Resolution 270-1980*, the City's policies for zone map change applications including: there are changed community conditions in the area in the form of recent zone map amendments around the intersection of McMahon and Unser Boulevards; and the requested zoning is more advantageous to the community as per the intent of the *West Side Strategic Plan*.

**EPC OFFICIAL NOTICE OF DECISION**  
**JUNE 28, 1999**  
**Z-98-31**  
**PAGE 2**

5. Two proposed amendments to the *West Side Strategic Plan* would partially support the applicant's request if they are adopted in their present, speculative form. Until adopted by the City Council, though, these potentially supporting documents are hypothetical.
6. The applicant has agreed to amend the request as described in Finding #1.

**CONDITIONS:**

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal indicating how the site plan has been modified to meet each of the EPC conditions.
2. The subject site shall be replatted to create definite zone boundary lines based on the boundaries of Parcels A, B, and C shown on the map submitted by the applicant with the letter dated March 8, 1999.
3. An integrated site development plan for the SU-1 zoned parcels shall be submitted to the EPC for review and approval within six months of the approval date. Pedestrian connections among the different use of the parcels and to adjacent sites shall be part of the submittal.

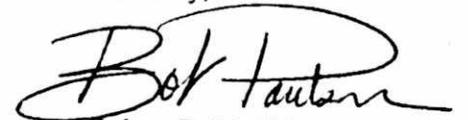
**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY JULY 9, 1999 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
JUNE 28, 1999  
Z-98-31  
PAGE 3

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS EPC IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

  
FOR Robert R. McCabe, AIA, APA  
Planning Director

RM/RB/nat

cc: Dr. Jeffrey Fine, 401 West End Ave., New York, NY 10024  
Community Sciences Corp., P.O. Box 1328, Corrales, NM 87048  
Don Cordova, Paradise Heights Neigh. Assoc., 10534 Steward NW, Albuquerque, NM 87114  
Lynn Southard-Vargas, Paradise Heights N.A., 4604 Benton NW, Albuquerque, NM 87114  
Lawrence Weaver, 5901 Paradise Blvd. NW, Albuquerque, NM 87114



MH  
City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: September 19, 2003

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1000875 \***  
03EPC-00503 Zone Map Amendment  
03EPC-00504 EPC Site Development Plan-  
Amendment to Subdivision

Fineland LLC  
10250 Collins Ave., Penthouse 1  
Bal Harbor, Fl. 33154

LEGAL DESCRIPTION: for all or a portion of Tract(s) E, **Fineland Development**, a zone map amendment from SU-1 for R-2 to SU-1 for C-1, located on MCMAHON BLVD. NW, between UNSER BLVD. NW and STONEBRIDGE DRIVE NW, containing approximately 3 acre(s). (A-11) Makita Hill, Staff Planner

On September 18, 2003 the Environmental Planning Commission voted to approve Project 1000875/03EPC 00503, a request for a zone map amendment from SU-1 for R-2 to SU-1 for C-1, for Parcel E, Fineland Development, located on McMahon Boulevard between Unser Boulevard and Stonebridge Drive, based on the following Findings:

### FINDINGS:

1. This is a request for a zone map amendment from SU-1 for R-2 to SU-1 for C-1 for Parcel E, Fineland Development, located on McMahon Boulevard between Unser Boulevard and Stonebridge Drive. The site contains approximately 2.73 acres and is currently vacant.
2. The request reflects policies in the West Side Strategic Plan (WSSP) in that the subject site is located adjacent to an area designated for Low Commercial use by Resolution R-249, Transportation and Land Use Policies for the Westside McMahon Corridor, and the Attachment A land use policy map in the WSSP. While the subject site is designated for Medium Density Residential development, the subject site abuts the southeast corner of McMahon and Unser (zoned SU-1 for C-2 Uses), the request for SU-1 for C-1 Uses zoning reflects the intent in the WSSP for a commercial development at the McMahon/Unser intersection.

OFFICIAL NOTICE OF DECISION  
SEPTEMBER 18, 2003  
PROJECT #1000875  
PAGE 2 OF 4

3. The request is consistent with Policy 1.3 of the WSSP which discourages the development of strip commercial areas and encourages new commercial development to occur in designated neighborhood and community centers (WSSP p. 38).
4. The request is consistent with policies in the Comprehensive Plan in that the proposed SU-1 for C-1 uses will not compromise existing residential areas (Policy d), utilizes vacant land (Policy e), and is proposed within or adjacent to an existing commercial center (Policy j). As the request reflects policies in the WSSP R-249 and Attachment A map for the Westside McMahan Corridor, the request is consistent with Policy c of the Comprehensive Plan regarding the role of Rank 2 plans in guiding development within their respective areas.
5. The request meet the requirements of R-270-1980 in that the request is consistent with policies in the WSSP and the Comprehensive Plan (Section 1.C.), changes in zoning for commercial use have occurred to the north of the subject site, and the request will be more advantageous to the community as articulated by policies in the WSSP and the Comprehensive Plan (Section 1.D.).
6. Due to the proximity of future single-family residential development to the east of the subject site as approved under a site development plan for subdivision by the EPC in August 2003 (Project 1002793 03EPC 01095), staff has concerns regarding the allowance of C-1 permissive and conditional uses on the subject site and the potential impacts of these uses on the future single-family residential area.

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On September 18, 2003 the Environmental Planning Commission voted to approve Project 1000875/03EPC 00504, a request for an amendment to an existing site development plan, for Parcel E, Fineland Development, located on McMahan Boulevard between Unser Boulevard and Stonebridge Drive, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for an amendment to an existing site development plan for subdivision for Parcel E, Fineland Development, located on McMahan Boulevard between Unser Boulevard and Stonebridge Drive. The site contains approximately 2.73 acres and is currently vacant.
2. The request is made in conjunction with a request for a zone map amendment for the subject site from SU-1 for R-2 to SU-1 for C-1.

3. The request reflects policies in the West Side Strategic Plan (WSSP) in that the subject site is located adjacent to an area designated for commercial use by Resolution R-249, Transportation and Land Use Policies for the Westside McMahan Corridor, and the Attachment A land use policy map in the WSSP. While the subject site is designated for Medium Density Residential development, the abutting proximity of the subject site to the southeast corner of McMahan and Unser (zoned SU-1 for C-2 Uses), the request for SU-1 for C-1 Uses zoning reflects the intent in the WSSP for a commercial development at the McMahan/Unser intersection.
4. The request is also consistent with Policy 1.3 of the WSSP which discourages the development of strip commercial areas and encourages new commercial development to occur in designated neighborhood and community centers (WSSP p. 38).
5. The request is consistent with policies in the Comprehensive Plan in that the proposed SU-1 for C-1 uses will not compromise existing residential areas (Policy d), and is proposed within or adjacent to an existing commercial center (Policy j). As the request reflects policies in the WSSP R-249 and Attachment A map for the Westside McMahan Corridor, the request is consistent with Policy c of the Comprehensive Plan regarding the role of Rank 2 plans in guiding development within their respective areas.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan for subdivision to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
  2. The building height for the subject site shall be limited to 26 feet to blend with future single-family residential development to occur on Parcel F to the east, zoned SU-1 for R-2.
  3. Statements in the Site/Building Lighting section of the Design Guidelines shall be revised to reflect the 16-foot light pole standard within 100 feet of a residential zone as stated in Section 14-16-3-9, Area Lighting Regulations, in the City Zoning Code.
  4. The applicant shall submit a site development plan for building permit for review to the Environmental Planning Commission.
-

OFFICIAL NOTICE OF DECISION  
SEPTEMBER 18, 2003  
PROJECT #1000875  
PAGE 4 OF 4

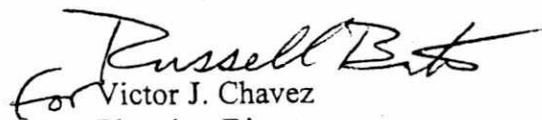
IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **OCTOBER 3, 2003** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
for Victor J. Chavez  
Planning Director

VJC/MH/ac

cc: Community Sciences Corp., P.O. Box 1328, Corrales, NM 87048  
Julia Wilson, Horizon Hills, 5705 Carmen Rd. NW, Albuquerque, NM 87114  
Jolinda Balmer, Horizon Hills, 10590 Vista Bella Pl. NW, Albuquerque, NM 87114

## ZONING

Please refer to the Zoning Code or referenced Area or Sector Development Plan for specifics.

APPLICATION INFORMATION



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Scott Anderson PHONE: 401 7575  
 ADDRESS: 7604 Rio Pecosso NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: anderson.scott@comcast.net  
 APPLICANT: Kidz Academy Preschool LLC PHONE: 681-7812  
 ADDRESS: 2643 Violeta Cr SE FAX: 1  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: Kidzacademystaff@gmail.com  
 Proprietary interest in site: Owner List all owners: Kieth Griego

DESCRIPTION OF REQUEST: site plan for building permit 10,214 +/- SF Preschool

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Fineland Development  
 Existing Zoning: SU-1 for C-1 Proposed zoning: SU-1 for C-1 MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): A-11 UPC Code: 101106640436110117

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
CRM-84-11

**CASE INFORMATION:**

Within city limits?  Yes. Within 1000FT of a landfill? \_\_\_\_\_  
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Crown Rd & Fineland Dr NW (sw corner)  
 Between: \_\_\_\_\_ and \_\_\_\_\_  
 Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team (PRT)  Review Date: \_\_\_\_\_

SIGNATURE Scott Anderson DATE 11/17  
 (Print Name) scott Anderson Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 11/2014

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>17EPC - 40058</u>	<u>SPS</u>	_____	<u>\$ 385.00</u>
<u>17EPC - 40059</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
_____	<u>ADP</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 50.00</u>
_____	_____	_____	<u>\$ _____</u>
Total			<u>\$ 895.00</u>

Hearing date December 14, 2017

[Signature]  
 Staff signature & Date 11-2-17

Project # 1011435

FORM P(1): SITE DEVELOPMENT PLAN REVIEW – E.P.C. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC16) Maximum Size: 24" x 36"**
  - IP MASTER DEVELOPMENT PLAN (EPC11)**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval**
  - Scaled Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**  
For IP master development plans, include general building and parking locations, and design requirements for buildings, landscaping, lighting, and signage.
  - Site plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - Sign Posting Agreement
  - Traffic Impact Study (TIS) form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC15) Maximum Size: 24" x 36"**
  - SITE DEVELOPMENT PLAN and/or WAIVER OF STANDARDS FOR WIRELESS TELECOM FACILITY (WTF) (EPC17)**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval**
  - Site Plan and related drawings (folded to fit into an 8.5" by 14" pocket) **20 copies.**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted.  
(Folded to fit into an 8.5" by 14" pocket.) **20 copies**
  - Site Plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision and/or Building Permit Checklist
  - Traffic Impact Study (TIS) form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- NOTE:** For wireless telecom facilities, requests for waivers of requirements, the following materials are required in addition to those listed above for application submittal:
- \_\_\_ Collocation evidence as described in Zoning Code §14-16-3-17(A)(6)
  - \_\_\_ Notarized statement declaring number of antennas accommodated. Refer to §14-16-3-17(A)(13)(d)(2)
  - \_\_\_ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(13)(e)
  - \_\_\_ Affidavit explaining factual basis of engineering requirements. Refer to §14-16-3-17(A)(13)(d)(3)
  - \_\_\_ Distance to nearest existing free standing tower and its owner's name if the proposed facility is also a free standing tower §14-16-3-17(A)(17)
  - \_\_\_ Registered engineer or architect's stamp on the Site Development Plans
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (EPC01) Maximum Size: 24" x 36"**
  - AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (EPC02)**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **20 copies**
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **20 copies**
  - \_\_\_ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **20 copies**
  - \_\_\_ Site plans and related drawings reduced to 8.5" x 11" format (**1 copy**)
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Traffic Impact Study (TIS) form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Scott C. Anderson  
Applicant name (print)  
[Signature] 11/1/17  
Applicant signature / date



Form revised **November 2010**

<input type="checkbox"/> Checklists complete	Application case numbers	<u>[Signature]</u>	11-2-17
<input type="checkbox"/> Fees collected	17 EPC - 40058		
<input type="checkbox"/> Case #s assigned	- 40059		
<input type="checkbox"/> Related #s listed	- - -	Project #: 1011435	Planner signature / date

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Scott Anderson DATE OF REQUEST: 11/1/17 ZONE ATLAS PAGE(S): A-11

**CURRENT:**

ZONING SU-1 For cl  
PARCEL SIZE (AC/SQ. FT.) 54,996 SF

**LEGAL DESCRIPTION:**

LOT OR TRACT # A1 BLOCK # \_\_\_\_\_  
SUBDIVISION NAME Fineland

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [ ]  
AMENDMENT (Map/Text) [ ]

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\*  AMENDMENT [ ]  
BUILDING PERMIT  ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION   
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 1  
BUILDING SIZE: 10,214 (sq. ft.)

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE  DATE 11/1/17

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]  
Notes:

**If a TIS is required:** a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

  
TRAFFIC ENGINEER

11-02-17  
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1  
-FINALIZED 1/1 TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

October 5, 2017

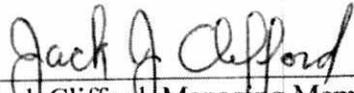
City of Albuquerque

To Whom It May Concern:

This letter authorizes Scott Anderson to act as an agent for Kidz Academy with regard to a site plan for building permit Amendment to Lot A1, Finland Development.

If you have any questions or need additional information, please feel free to contact me at 505-881-0900.

Sincerely,

A handwritten signature in cursive script that reads "Jack J. Clifford". The signature is written in black ink and is positioned above a horizontal line.

Jack Clifford, Managing Member  
McMahon Tenancy in Common.

October 5, 2017

City of Albuquerque

To Whom It May Concern:

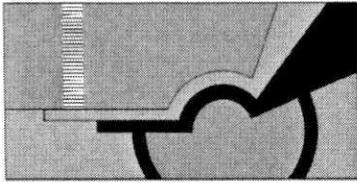
This letter authorizes Scott Anderson to act as an agent for Kidz Academy with regards to a site plan for building permit Amendment to Lot A1, Fineland Development Subdivision, and site plan for subdivision.

If you have any questions or need additional information, please feel free to contact me at 505 681-7812.

Sincerely,

A handwritten signature in black ink, appearing to be 'K Griego', written over a horizontal line.

Keith Griego, Managing Member  
Kidz Academy LLC



**SCOTT C. ANDERSON**  
**& associates** architects  
7604 rio penasco nw  
albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

November 1, 2017

Karen Hudson, Chair  
Environmental Planning Commission  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: Site Development Plan for Permit  
Site Development Plan for Subdivision  
Kidz Academy daycare center  
SW Corner of Fineland Drive NW and Crown Road NW  
Zone Atlas page A11

Dear Chairperson Hudson:

Scott Anderson agent for Kidz Academy requests approval of a Site Plan for Building Permit and a Site Development Plan for Subdivision for the above referenced site.

#### Site location and history

The project site is located at the Southwest corner of Fineland Drive NW and Crown Road NW and consists of approximately 78,978 SF (1.8131 AC). The site is bordered on the north by vacant land zoned SU-1 for mixed uses (townhouse) and SU-1 for mixed uses (commercial), on the east by Fineland Drive NW and a senior housing development, and to the south by McMahan Blvd NW.

#### Site Orientation and Pedestrian Circulation

The front of the building will face McMahan Blvd NW. New pedestrian accessibility in the form of a sidewalk running along the northern boundary (Crown Rd) and eastern boundary (Fineland Drive) connecting the existing sidewalk to Unser and to McMahan is proposed. Vehicular access to the site will be from two points off of Fineland Drive NW on the east.

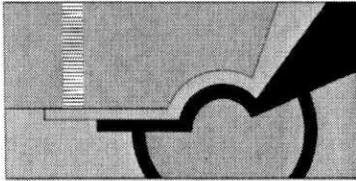
#### Traffic Impact and On-Site Parking

The proposed site plan meets the parking required for the proposed Kidz Academy daycare center. Handicap parking and motorcycle parking are provided in accordance with the Zone Code requirements.

#### Drainage and Landscaping

The site is currently undeveloped and bound by Unser Boulevard to the west, Pinnacle Peak Court to the east and Crown Road to the north. Topography slopes from northwest to southeast which convey drainage runoff to Pinnacle Peak Road. The site will be graded to accommodate the proposed structure and associated parking facilities with flows from parking areas being conveyed to the landscape areas. A private storm drain inlet in the eastern drive access will feed the first flush to a landscape basin. The discharge then flows to Pinnacle Peak Road in accordance with the Master Drainage Study for the Unser McMahan Area which allows free discharge into the storm drain system.

The landscape plan provides site landscaping that meets the landscape requirements of the City of Albuquerque and Unser / McMahan Village Center North design standards. Landscape buffers are designed to meet the requirements of the City Zoning Code.



**SCOTT C. ANDERSON**  
& associates architects

7604 rio penasco nw  
albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

Plantings shown on the plan will serve as a landscape buffer for the adjacent neighborhood from the increased intensity on the subject site. Plants shown on the plan are low to medium water use, thereby promoting water conservation while creating an attractively landscaped site.

#### Elevations and Signage

The proposed elevations for the Kidz Academy have a variety of gabled ends and wall heights, stucco, cultured stone, exposed wood and an exposed aluminum glazing system. The main entry to the building is highlighted with a cultured stone façade and gabled end. A blue metal roof over the whole facility works to further enhance the building's appearance.

#### Unser Boulevard Design Overlay Zone

The Unser Boulevard Design Overlay Zone is intended to provide specialized sign controls for the area surrounding Unser Boulevard between Interstate 40 and the Sandoval County Line. The Overlay Zone regulations apply to all non-residential zones allowing for off-premise signs. In the case where the underlying zone's sign restrictions differ from those of the Overlay Zone, the more restrictive shall apply.

The signage on the proposed Site Development Plan for Building Permit was crafted using the guidelines specified in the Unser Boulevard Design Overlay Zone. There is no off-premise signs proposed and the number of signs proposed does not exceed the number allowed, based on specifications in 2.b.1 and 2.b.2. Size and height criteria have also been adhered to and elevations of proposed signs are included with this submittal.

#### Summary

We are requesting approval of the proposed Site Development Plan for Building Permit and Site Plan for Subdivision to allow for the construction of Kidz Academy daycare center. The proposed project furthers numerous policies of applicable plans and also provides for an increase in services and employment opportunities for area residents. If you have any questions or need additional information regarding this project, please do not hesitate to contact me.

Respectfully,

Scott C. Anderson AIA  
Principal  
Scott Anderson & Associates Architects

NOTIFICATION &  
NEIGHBORHOOD INFORMATION

Notification Inquiry\_Crown Rd and Fineland Dr\_EPC

**From :** Vicente M. Quevedo <vquevedo@cabq.gov>

Wed, Nov 01, 2017 11:41 AM

**Subject :** Notification Inquiry\_Crown Rd and Fineland Dr\_EPC

4 attachments

**To :** 'andersonscottc@comcast.net' <andersonscottc@comcast.net>

Scott,

Good afternoon. See list of affected neighborhood associations and coalition of neighborhood associations below and attached related to your upcoming EPC submittal. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Phone	Email
Tuscany NA	Harry	Hendriksen	10592 Rio Del Sole Court NW	Albuquerque	NM	87114	5058794995	5058903481	hlhen@comcast.net
Tuscany NA	Janelle	Johnson	P.O. Box 6270	Albuquerque	NM	87197		5053440822	
Villa De Villagio HOA	Susie	Sollien	P.O. Box 93488	Albuquerque	NM	87199		5053422797	ssollien@cgres.com
Villa De Villagio HOA	James	Morrow	10848 Como Drive NW	Albuquerque	NM	87114	5203000220		jimfm50@gmail.com
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	10592 Rio Del Sole Court NW	Albuquerque	NM	87114	5058794995	5058903481	hlhen@comcast.net
Westside Coalition of Neighborhood Associations	Gerald	Worrall	1039 Pinatubo Place NW	Albuquerque	NM	87120	5059331919	5058390893	jfworrall@comcast.net

Respectfully,

**Vicente M. Quevedo, MCRP**

Neighborhood Liaison, Office of Neighborhood Coordination  
 City of Albuquerque – City Council  
 (505) 768-3332  
 cabq.gov/neighborhoods

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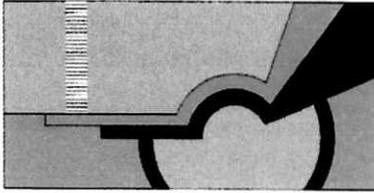
**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

**Sent:** Tuesday, October 31, 2017 3:00 PM

**To:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Notification Inquiry Sheet Submission

Notification Inquiry For:



**SCOTT C. ANDERSON**  
& associates architects

7604 rio penasco nw  
albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

November 1, 2017

RE: Site Development Plan for Permit  
Site Development Plan for Subdivision  
Zone Atlas page A11

To whom it may concern:

This letter is to inform you that application for Site Development Plan for Building Permit and a Site Development Plan for Subdivision will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about October 31, 2017. The City's review process will take a minimum of 30 days (from the postmarked date of this letter), and a hearing will be held on December 14, 2017 at 8:30AM in the lower level hearing room of 600 2<sup>nd</sup> St. NW. A copy of the Planning Department's EPC Information Sheet is enclosed to help you better understand this process.

The specifics of the project are as follows:

- The legal description is Parcel A-1, of the Fineland Development Subdivision.
- A 10,214 SF +/- daycare center is proposed.
- A subdivision of the existing tract is being requested.
- One additional street access points/ drive cuts are being requested.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at [striplett@cabq.gov](mailto:striplett@cabq.gov) or by phone at 505 768-4712 or 505 768-4660. A facilitated meeting request must be received by ADR by November 11, 2017

If you have any questions about this proposal, please feel free to call me at 505 401-7575.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact the Current Planning Division, at 942-3860. They can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Respectfully,

Scott C. Anderson AIA  
Principal  
Scott C. Anderson & Associates Architects

PADILLA JENNIFER N  
10845 PIZZO DR NW  
ALBUQUERQUE NM 87114

KOPPENHAVER RITA R &  
KOPPENHAVER NANCY K  
5616 LITO RD NW  
ALBUQUERQUE NM 87114

ROAD RUNNER REAL ESTATE LLC  
106 INDUSTRIAL PARK LP  
RIO RANCHO NM 87124

J & J REAL ESTATE LLC  
PO BOX 920798  
EL PASO TX 79902

J & J REAL ESTATE PARTNERSHIP  
PO BOX 920798  
EL PASO TX 79902

J & J REAL ESTATE PARTNERSHIP  
PO BOX 920798  
EL PASO TX 79902

CARRICO LUCY M  
9416 LONA LN NE  
ALBUQUERQUE NM 87111-1623

J & J REAL ESTATE LLC  
PO BOX 920798  
EL PASO TX 79902

AFFINITY AT ALBUQUERQUE LLC  
120 W CATALDO AVE SUITE 100  
SPOKANE WA 99201-3211

ENTRADA DEVELOPMENT LTD CO  
4101 INDIAN SCHOOL RD NE SUITE 400  
ALBUQUERQUE NM 87110

MORENO PHILLIP J  
5627 DARLINGTON PL NW  
ALBUQUERQUE NM 87114

FUMOSA ROBERT & COBURN-FUMOSA  
JAN TRUSTEES FUMOSA COBURN  
FUMOSA RVT  
5624 LITO RD NW  
ALBUQUERQUE NM 87114-5289

RAEL RONNIE & MAYRA  
10835 PIZZO DR NW  
ALBUQUERQUE NM 87114

CHAHAL GULJAR S & SURINDER  
5701 PINNACLE PEAK CT NW  
ALBUQUERQUE NM 87114

GARCIA STEVE BRUCE & RENEE  
MICHELLE  
10844 PIZZO DR NW  
ALBUQUERQUE NM 87114

ALVARADO LUCIO A  
139 65TH ST SW  
ALBUQUERQUE NM 87121

MCDONALD MATT TRUSTEE 10841  
PIZZO DR NW TRUST  
2500 PARKWAY AVE  
RIO RANCHO NM 87144

TITAN INVESTMENTS LLC  
PO BOX 10368  
ALBUQUERQUE NM 87184

MCWHORTER COURTNEY J  
10847 PIZZO DR NW  
ALBUQUERQUE NM 87114

TITAN INVESTMENTS LLC  
PO BOX 10368  
ALBUQUERQUE NM 87184

ROAD RUNNER REAL ESTATE LLC  
106 INDUSTRIAL PARK LP  
RIO RANCHO NM 87124

ZIA TRUST INC CUSTODIAN JASON A  
SHAFFER IRA  
6301 INDIAN SCHOOL RD NE SUITE 800  
ALBUQUERQUE NM 87110-8156

MARTINEZ SHANNON U  
10831 PIZZO DR NW  
ALBUQUERQUE NM 87114

SIERRA JOSEPH & CATHERINE  
5215 NEWBERRY WAY NW  
ALBUQUERQUE NM 87120

C3D LLC & VILIA FALCONE LLC &  
GRAYLAND CORPORATION & SPRING  
FRANK L & ETAL  
PO BOX 35640  
ALBUQUERQUE NM 87176-5640

ROAD RUNNER REAL ESTATE LLC  
PO BOX 65945  
ALBUQUERQUE NM 87193-5945

RAMIREZ WENDY  
5619 DARLINGTON PL NW  
ALBUQUERQUE NM 87114

J & J REAL ESTATE PARTNERSHIP  
PO BOX 920798  
EL PASO TX 79902

SINGH RASHPAL & KAUR NACHHATTAR  
C/O CONTRERAS CECILIO &  
CONTRERAS MARTIN JR  
5623 DARLINGTON PL NW  
ALBUQUERQUE NM 87114-1361

J & J REAL ESTATE LLC  
PO BOX 920798  
EL PASO TX 79902

RAEL ERIC & LAURIE  
353 TERRAINE AVE  
LONG BEACH CA 90814

REINA LUDMILA  
10839 PIZZO DR NW  
ALBUQUERQUE NM 87114-5293

TRUSCIO FELICIE  
10840 PIZZO DR NW  
ALBUQUERQUE NM 87114

CAPITAL ADVANTAGE LLC  
8220 SAN PEDRO NE SUITE 500  
ALBUQUERQUE NM 87113-2476

MAK REALTYMEDTECH HOLDINGS LLC  
C/O WALGREEN CO ATTN: TAX DEPT  
P O BOX 901  
DEERFIELD IL 60015-0901

STUART ANDERSON PROPERTIES LLC  
140 LAKESIDE AVE SUITE A  
SEATTLE WA 98122-6538

ALEXANDER SAMUELS REALTY GROUP  
LLC  
92 MARK DR  
HAWTHORN IL 60047

JMD-MCMAHON LLC  
2325 SAN PEDRO DR NE SUITE 2-A  
ALBUQUERQUE NM 87110-4121

JMD-MCMAHON LLC  
2325 SAN PEDRO DR NE SUITE 2-A  
ALBUQUERQUE NM 87110-4121

CVS PHARMACY INC  
1 CVS DR  
WOONSOCKET RI 02895

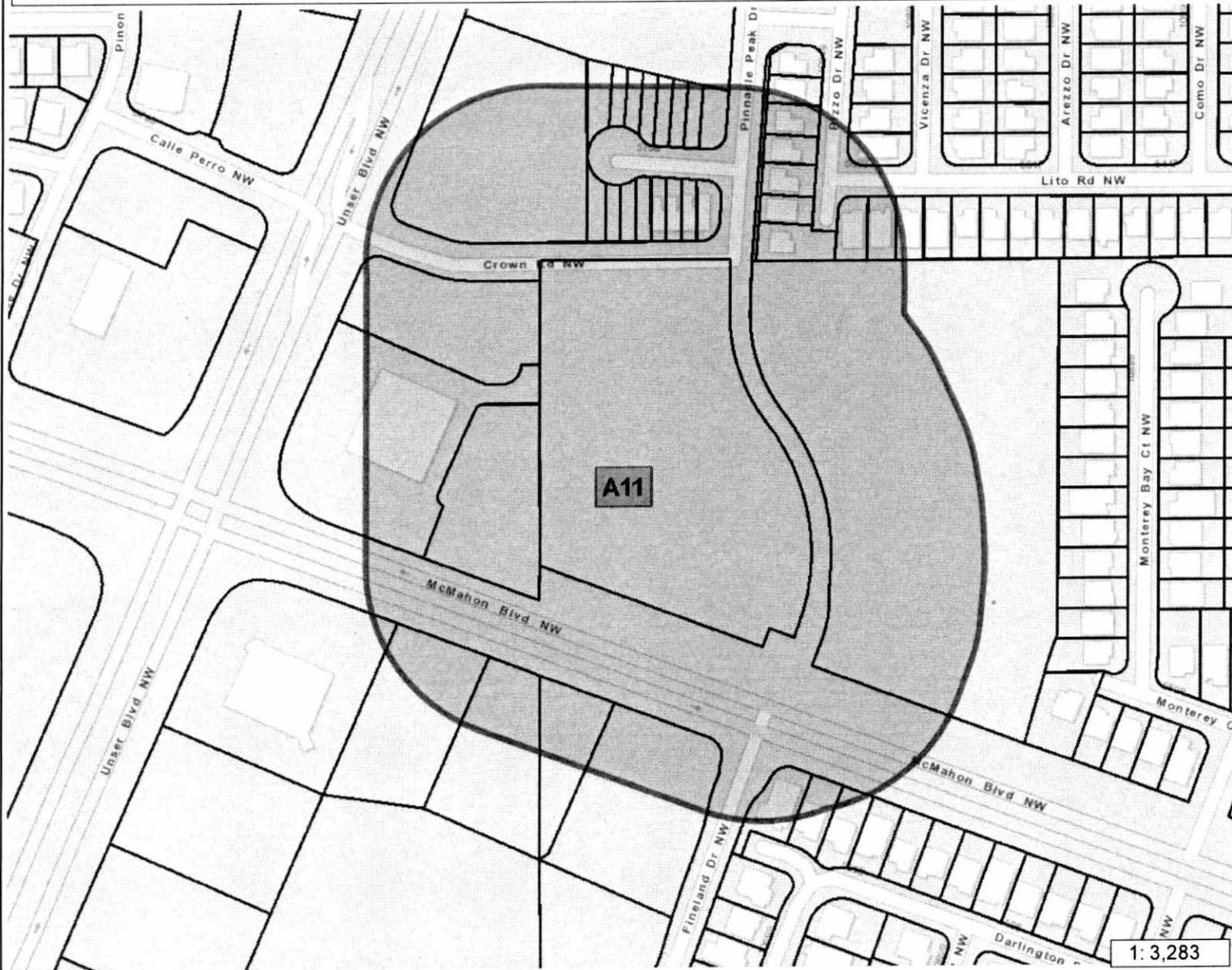
JMD MCMAHON LLC  
2325 SAN PEDRO NE SUITE 2A  
ALBUQUERQUE NM 87110

JMD MCMAHON LLC  
2325 SAN PEDRO NE SUITE 2A  
ALBUQUERQUE NM 87110

GUARDIAN STORAGE II LLC  
7501 HOLLY AVE NE  
ALBUQUERQUE NM 87113-1991



# A-11-Z



### Legend

- Bernalillo County Parcels
- Zone Grid
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

### Notes

Buffer: 265ft  
 ROW: McMahon Blvd. NE 165ft.

0.1 0 0.05 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 10/17/2017 © City of Albuquerque

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1: 3,283

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Total Postage and Fees \$3.84  
\$

0124  
17

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11/01/2017

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KOPPENHAVER RITA R / NANCY K  
Street and Apt. No., or PO Box No.  
5616 LITO DR NW  
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ALBUQUERQUE NM 87114

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/01/2017

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139 65th ST SW  
City, State, ZIP+4®  
ALBUQUERQUE NM 87121  
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Extra Services & Fees (check box, add fee as appropriate)		
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Postage	\$0.49	
Total Postage and Fees	\$3.84	11/01/2017

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MORENO PHILLIP J  
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City, State, ZIP+4®  
ALBUQUERQUE NM 87114  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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ALBUQUERQUE, NM 87114

Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/01/2017

Sent To  
RAMIREZ WENDY  
Street and Apt. No., or PO Box No.  
5619 DARLINGTON PL NW  
City, State, ZIP+4®  
ALBUQUERQUE NM 87114  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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ALBUQUERQUE, NM 87114

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
HARRY HENRIKSEN W  
Street and Apt. No., or PO Box No.  
10592 RIO DEL SOLE CT NW  
City, State, ZIP+4®  
ALBUQUERQUE NM 87114  
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7016 3010 0000 7939 0246

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ALBUQUERQUE, NM 87110

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
LIA TRUST INC CUSTODIAN JASON A SHAFER  
Street and Apt. No., or PO Box No.  
6301 INDIAN SCHOOL RD NE STE 800  
City, State, ZIP+4®  
ALBUQUERQUE NM 87110-9156  
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ALBUQUERQUE, NM 87110

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
ENTRADA DEVELOPMENT LTD CO  
Street and Apt. No., or PO Box No.  
4101 INDIAN SCHOOL RD NE STE 400  
City, State, ZIP+4®  
ALBUQUERQUE NM 87110  
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0960 3010 0000 7939 0390

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ALBUQUERQUE, NM 87114

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
JAMES MORRISON  
Street and Apt. No., or PO Box No.  
12949 COMO DRIVE NW  
City, State, ZIP+4®  
ALBUQUERQUE NM 87114  
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ALBUQUERQUE, NM 87199

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
SUSIE SOLLLEN  
Street and Apt. No., or PO Box No.  
PO BOX 93488  
City, State, ZIP+4®  
ALBUQUERQUE NM 87199  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 3010 0000 7939 0413

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ALBUQUERQUE, NM 87120

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$		11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
GERALD WORRAL  
Street and Apt. No., or PO Box No.  
1035 PINATUBO PLACE NW  
City, State, ZIP+4®  
ALBUQUERQUE NM 87120  
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**ALBUQUERQUE, NM 87114**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 Steve Garcia  
 Street and Apt. No., or PO Box No.  
 10844 Pizzo Dr NW  
 City, State, ZIP+4®  
 Albuquerque NM 87114

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**ALBUQUERQUE, NM 87114**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 McWhorter Courtney J  
 Street and Apt. No., or PO Box No.  
 10847 Pizzo Dr NW  
 City, State, ZIP+4®  
 Albuquerque NM 87114

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**ALBUQUERQUE, NM 87113**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 Guardian Storage  
 Street and Apt. No., or PO Box No.  
 7501 Holly Ave NE  
 City, State, ZIP+4®  
 Albuquerque NM 87113

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**ALBUQUERQUE, NM 87111**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 Lucy Carrico  
 Street and Apt. No., or PO Box No.  
 9416 Lona Ln NE  
 City, State, ZIP+4®  
 Albuquerque NM 87111

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**ALBUQUERQUE, NM 87114**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 Rashpal Singh c/o Martin Contr.  
 Street and Apt. No., or PO Box No.  
 5623 Darlington Pl NW  
 City, State, ZIP+4®  
 Albuquerque NM 87114

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**ALBUQUERQUE, NM 87114**

Certified Mail Fee	\$3.35	0124
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	17
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
 Robert Fumosa  
 Street and Apt. No., or PO Box No.  
 5624 L. to Rd NW  
 City, State, ZIP+4®  
 Albuquerque NM 87114

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**LAKE ZURICH, IL 60047**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 ALEXANDER SAMUELS REALTY GROUP LLC  
 Street and Apt. No., or PO Box No.  
 92 MARK DR  
 City, State, ZIP+4®  
 HAWTHORN IL 60047  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**DEERFIELD, IL 60015**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 MAK Realty Medtech  
 Street and Apt. No., or PO Box No.  
 P.O. Box 902  
 City, State, ZIP+4®  
 Deerfield IL 60015  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1000 0000 9393 4080

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**DEERFIELD, IL 60015**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 MARK REALTY MEDTECH HOLDINGS LLC  
 Street and Apt. No., or PO Box No.  
 PO BOX 901  
 City, State, ZIP+4®  
 DEERFIELD IL 60015-0901  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**RIO RANCHO, NM 87124**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 ROAD RUNNER REAL STATE LLC  
 Street and Apt. No., or PO Box No.  
 106 INDUSTRIAL PARK LP  
 City, State, ZIP+4®  
 RIO RANCHO NM 87124  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 3010 0000 7939 0086

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**RIO RANCHO, NM 87124**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 ROAD RUNNER REAL ESTATE LLC.  
 Street and Apt. No., or PO Box No.  
 106 INDUSTRIAL PARK LP  
 City, State, ZIP+4®  
 RIO RANCHO NM 87124  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**RIO RANCHO, NM 87144**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	

Sent To  
 Mc Donald Matt trustee  
 Street and Apt. No., or PO Box No.  
 Pizzog Dr NW Truss 2500 Parkway Ave  
 City, State, ZIP+4®  
 Rio Rancho NM 87144  
 PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1000 0000 9393 4101

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**ALBUQUERQUE, NM 87193**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
 ROAD RUNNER REAL ESTATE LLC  
 Street and Apt. No., or PO Box No.  
 PO BOX 65445  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87193-5945

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**ALBUQUERQUE, NM 87114**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
 MARTINEZ SHANNON U.  
 Street and Apt. No., or PO Box No.  
 10831 PIZZO DR NW  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87114

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**ALBUQUERQUE, NM 87110**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
 JMD-McMAHON LLE  
 Street and Apt. No., or PO Box No.  
 2325 SAN PEDRO DR NE STE 2-A  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87110

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**ALBUQUERQUE, NM 87114**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
 HARRY HENRIKSEN  
 Street and Apt. No., or PO Box No.  
 10592 RIO DEL SOLE CT NW  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87114

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Certified Mail Fee	\$3.35	0124
\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

Sent To  
 CHAHAL GULJAR & SURINDER  
 Street and Apt. No., or PO Box No.  
 5701 PINNACLE PEAK CT NW  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87114

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**ALBUQUERQUE, NM 87114**

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\$	\$0.00	17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
\$	\$3.84	11/01/2017
Total Postage and Fees	\$3.84	
\$		

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 PADILLA JENNIFER N  
 Street and Apt. No., or PO Box No.  
 10845 PIZZO DR NW  
 City, State, ZIP+4®  
 ALBUQUERQUE NM 87114

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**WOONSOCKET, RI 02895**

**OFFICIAL USE**

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\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**CVS PHARMACY INC.**  
 Street and Apt. No., or PO Box No.  
**1 CVS DR**  
 City, State, ZIP+4®  
**WOONSOCKET RI 02895**

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**EL PASO, TX 79902**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**J & J Regl Estate LLC**  
 Street and Apt. No., or PO Box No.  
**PO Box 920798**  
 City, State, ZIP+4®  
**EL PASO TX 79902**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**LONG BEACH, CA 90814**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**RAEL ERIC & LAURIE**  
 Street and Apt. No., or PO Box No.  
**353 TERRANE AVE**  
 City, State, ZIP+4®  
**LONG BEACH CA 90814**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**SPOKANE, WA 99201**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**AFFINITY AT ALBUQUERQUE LLC**  
 Street and Apt. No., or PO Box No.  
**120 W CATALDO AVE STE 100**  
 City, State, ZIP+4®  
**SPOKANE WA 99201**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**SPOKANE, WA 99201**

**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**AFFINITY AT ALBUQUERQUE LLC**  
 Street and Apt. No., or PO Box No.  
**120 W CATALDO AVE STE 100**  
 City, State, ZIP+4®  
**SPOKANE WA 99201-3211**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SEATTLE, WA 98122**

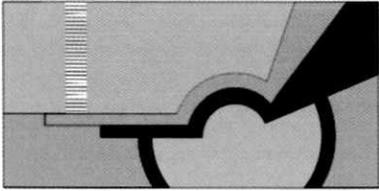
**OFFICIAL USE**

Certified Mail Fee	\$3.35	0124
\$		17
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	11/01/2017
Total Postage and Fees	\$3.84	

Sent To  
**STUART ANDERSON PROPERTIES LLC**  
 Street and Apt. No., or PO Box No.  
**140 LAKESIDE AVE STE A**  
 City, State, ZIP+4®  
**SEATTLE WA 98122-4538**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Typical



**SCOTT C. ANDERSON  
& associates architects**

7604 rio penasco nw  
albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

November 1, 2017

RE: Site Development Plan for Permit  
Site Development Plan for Subdivision  
Zone Atlas page A11

Gerald Worrall  
Westside Coalition of Neighborhood Associations  
1039 Pinatubo Place NW  
Albuquerque, NM 87120

This letter is to inform you that application for Site Development Plan for Building Permit and a Site Development Plan for Subdivision will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about October 31, 2017. The City's review process will take a minimum of 30 days (from the postmarked date of this letter), and a hearing will be held on December 14, 2017 at 8:30AM in the lower level hearing room of 600 2<sup>nd</sup> St. NW. A copy of the Planning Department's EPC Information Sheet is enclosed to help you better understand this process.

The specifics of the project are as follows:

- The legal description is Parcel A-1, of the Fineland Development Subdivision.
- A 10,214 SF +/- daycare center is proposed.
- A subdivision of the existing tract is being requested.
- One additional street access points/ drive cuts are being requested.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at [striplett@cabq.gov](mailto:striplett@cabq.gov) or by phone at 505 768-4712 or 505 768-4660. A facilitated meeting request must be received by ADR by November 11, 2017

If you have any questions about this proposal, please feel free to call me at 505 401-7575.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2<sup>nd</sup> Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact the Current Planning Division, at 942-3860. They can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Respectfully,

Scott C. Anderson AIA  
Principal  
Scott C. Anderson & Associates Architects

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM

### PROJECT MEETING REPORT

**Project #:** 1011435 17EPC40058/59  
**Property Description/Address:** SW Corner of Fineland Dr. NW and Crown Rd. NW  
**Date Submitted:** November 22, 2017  
**Submitted By:** David Gold  
**Meeting Date/Time:** November 20, 2017, 6:05-6:30 PM  
**Meeting Location:** NW Area Substation  
**Facilitator:** Philip Crump  
**Co-facilitator:** David Gold

#### **Parties:**

##### **Applicant**

- Kidz Academy

##### **Neighborhood Associations/Interested Parties:**

- Tuscany NA (TNA)
- West Side Coalition of NA's (WSCONA)

#### **Meeting Summary:**

The Applicant seeks approvals for a Site Development Plan and Site Development Plan for Subdivision. The project is a before and after school program for pre-k and older children.

The tone of the meeting was very positive and the project was supported by attendees and representative associations.

#### **Outcome:**

- Areas of Agreement
  - Attendees, the Tuscany NH and WSCONA support the project.
- Unresolved Issues & Concerns
  - None
- Suggested Alternatives
  - None

#### **Meeting Specifics – Overview of Project**

##### **1) General**

- a) The Applicant seeks approvals for a Site Development Plan and Site Development Plan for Subdivision.
- b) The project is a before and after school program for pre-k and older children.
- c) The project is located at the SW Corner of Fineland Dr. NW and Crown Rd. NW.

##### **2) Operation**

- a) The site is ~55,000 sq ft.

# CITY OF ALBUQUERQUE

## LAND USE FACILITATION PROGRAM

### PROJECT MEETING REPORT

- b) The building will be 10,000 sq ft.
- c) Landscaping will be another 21,000 sq ft.
- d) There will be two playgrounds:
  - 1. A 2000 sq ft one on the west side for Pre-K.
  - 2. An 1800 sq ft one on the east side for older children.
- e) The access will be from Fineland on the east.
- f) The school will have up to 150 children.
- g) The school will have two 14 passenger buses to drop children off.
- h) Projected opening will be Fall of 2019.

#### **Meeting Specifics – Questions from Neighbors**

##### **3) Traffic Light**

- a) Attendees discussed the traffic light that will be active on McMahon and Fineland in early December.

##### **4) Proximity to Walgreen's**

- a) An attendee was concerned that the school was within 500' of alcohol sales at Walgreen's.
- b) The Applicant stated they thought the issue was only if alcohol sales wanted to move within 500' of a school, not the reverse.
- c) They do not view it as an issue.

##### **5) Intended Hours of Operation**

- a) The Applicant was asked about hours of operation.
- b) The current plan is 6:30AM-6PM, Monday-Friday. The Applicant is also considering later hours for nurse and others who work later shifts.

##### **6) Traffic Impact**

- a) The Applicant was asked about traffic congestion due to drop-offs/pickups.
- b) He replied that he owned another school in Oregon. Typically parents drop off children at different times, so it shouldn't be an issue. He expects no more than eight drop-offs/pickups at one time.

##### **7) Support for the Project**

- a) The attendees at the meeting supported the project.
- b) TNA and WSCONA also support the project.

**Next Steps:** None

**Action Plan:** None

**Action Items:** None

**Application Hearing Details:**

# CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

1. A hearing is scheduled for Thursday December 14, 2017 before the Environmental Planning Commission.
2. Hearing Time:
  - a. The Commission will begin hearing applications at 8:30 a.m.
  - b. The actual time this application will be heard by the Commission will depend on the Applicant's position on the Commission's schedule
3. Hearing Process:
  - a. Comments from facilitated meetings will go into a report, which goes to the City Planner.
  - b. City Planner includes facilitator report in recommendations.
  - c. The Commission will make a decision and parties have 15 days to appeal the decision.
4. Resident Participation at Hearing:

Written comments must be received by 9:00 am Monday December 4th to be included in the planner's report, and may be sent to:  
Maggie Gould [mgould@cabq.gov](mailto:mgould@cabq.gov)  
600 2<sup>nd</sup> St., 3<sup>rd</sup> floor, Albuquerque, NM, 87102  
OR  
Karen Hudson, Chair, EPC, c/o Planning Department, 600 2<sup>nd</sup> St., 3<sup>rd</sup> floor,  
Albuquerque, NM, 87102

## **Names & Affiliations of Attendees:**

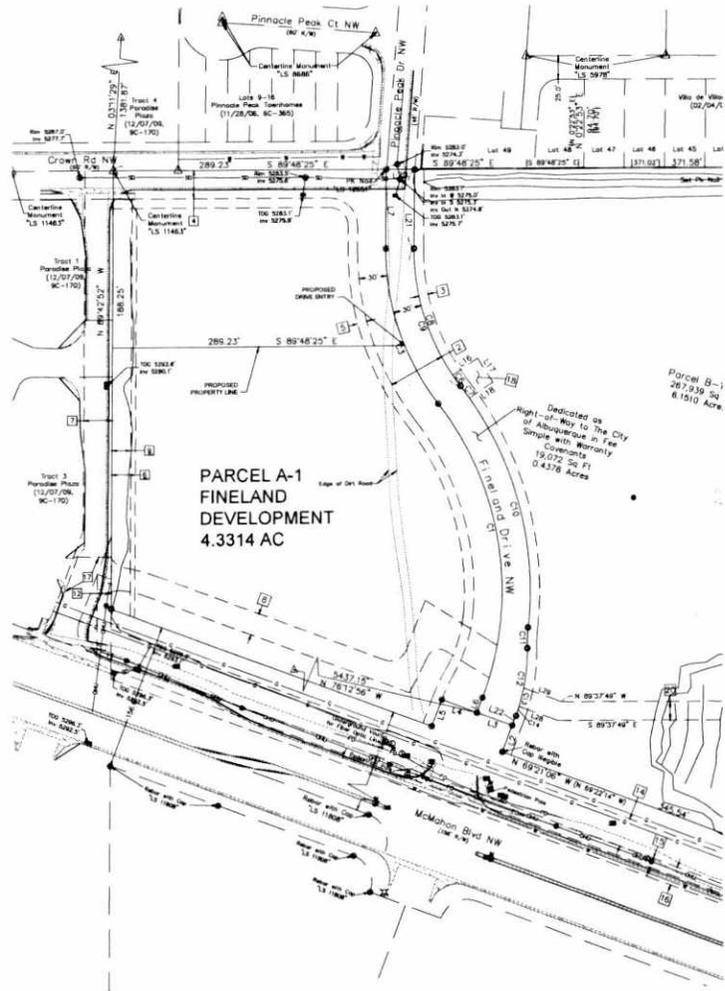
### **Neighbors**

Cheryl Hamel	Crestview NA
Angela Arviso	Tuscany NA
Anne Nelson	Tuscany NA
Harry & Frankie Hendriksen	Tuscany NA
Janelle Johnson	Tuscany NA
Janice Bauer	Tuscany NA
Mary Lou Lopez	Tuscany NA
Melissa Heacock	Tuscany NA
Ropbert Wayne	Tuscany NA
Ruben Hernandez	Tuscany NA
Sheila Pope	Tuscany NA
William Patterson	Tuscany NA

### **Applicant and Representatives**

Scott Anderson	Kidz Academy
Juan Quezada	Kidz Academy
Keith Griego	Kidz Academy

SITE PLAN REDUCTIONS



CURVE	LENGTH	CURVE TABLE			CHORD BEARING
		RADIUS	DELTA	CHORD	
C1	330.25 (330.25)	324.00	334.00	58.24.08	316.14 N. 08°32'32" W.
C3	177.54 (177.54)	266.85	266.85	38.03.09	174.38 N. 18°40'39" W.
C4	14.76 (14.76)	157.00	157.00	05.23.12	14.75 S. 03.00.00" W.
C5	36.58 (36.58)	20.00	20.00	104.47.38	31.69 S. 58.05.25" W.
C6	14.30	236.85	032.37	14.30	N. 30.02.45" W.
C7	15.74	354.00	02.32.52	15.74	N. 36.28.09" W.
C8	143.27	236.85	34.39.37	141.10	S. 16.07.11" E.
C9	157.58	236.85	38.07.09	154.89	S. 18.41.00" E.
C10	278.22	354.00	44.13.23	266.50	N. 12.37.53" W.
C11	22.07	160.00	07.54.18	22.06	S. 02.31.40" W.
C12	73.49	190.00	22.09.37	73.03	N. 09.39.20" E.
C13	20.12	190.00	06.04.08	20.12	N. 14.01.24" E.
C14	10.34	190.00	03.10.40	10.34	N. 19.08.48" E.

LINE	LENGTH	LINE TABLE		BEARING
		LINE	BEARING	
L1	47.54 (47.54)	S. 19.04.18"	W (S. 19.04.57" W)	
L2	29.84 (30.00)	N. 20.44.08"	E (N. 20.36.56" E)	
L3	40.00	N. 69.23.09"	W (N. 69.27.44" W)	
L4	39.93 (40.00)	N. 69.23.09"	W (N. 69.27.44" W)	
L5	28.90 (30.00)	S. 20.47.53"	W (S. 20.36.56" W)	
L6	17.02 (17.05)	N. 20.38.41"	E (N. 20.36.56" E)	
L7	83.80 (83.96)	N. 00.22.35"	E (N. 00.20.50" E)	
L8	37.67 (37.93)	S. 19.04.18"	W (S. 19.08.01" W)	
L9	52.49 (52.49)	S. 00.00.00"	W (S. 90.00.00" W)	
L10	15.84	S. 18.37.45"	W	
L11	22.08 (22.08)	S. 00.37.50"	W (S. 00.18.44" W)	
L12	7.92 (7.92)	N. 69.30.17"	W (N. 69.29.58" W)	
L13	9.87 (9.88)	S. 19.04.18"	W (S. 19.08.01" W)	
L14	110.40 (110.40)	S. 89.41.35"	E (S. 89.41.16" E)	
L15	91.89	N. 89.42.26"	W	
L16	31.58	N. 56.45.33"	E	
L17	30.00	S. 33.74.27"	E	
L18	30.00	S. 56.45.33"	E	
L19	127.88	S. 18.07.46"	W	
L20	30.00	N. 89.48.25"	W	
L21	93.90	S. 00.22.35"	E	
L22	11.08	N. 20.44.08"	E	
L23	22.81	S. 00.17.12"	W	
L24	10.37	N. 70.35.42"	W	
L25	11.83	N. 60.08.44"	W	
L26	42.70	N. 70.35.42"	W	
L27	45.53	N. 00.18.50"	E	
L28	44.14	N. 69.23.04"	W	
L29	42.70	S. 62.22.53"	E	
L30	51.14	S. 00.18.50"	E	
L31	27.34	S. 70.35.42"	W	
L32	11.83	S. 60.08.44"	E	
L33	19.34	S. 89.30.08"	E	

PROJECT NUMBER \_\_\_\_\_  
 APPLICATION NUMBER \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required ( ) Yes ( ) No. If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date _____
Water Utility Department	Date _____
Parks & Recreation Department	Date _____
City Engineer	Date _____
* Environmental Health	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____
* Environmental Health, if necessary	Date _____

- GENERAL NOTES
- REPLATTING TO SUBDIVIDE THE PROPERTY WILL BE REQUIRED.
  - THE PURPOSE OF THIS SITE PLAN FOR SUBDIVISION IS TO SUBDIVIDE PARCEL A-1 OF FINELAND DEVELOPMENT TO CREATE A NEW SITE FOR THE DEVELOPMENT OF A CHILDCARE FACILITY. THE EXISTING ZONING FOR THIS TRACT IS TO REMAIN THE SAME. THIS SITE PLAN FOR SUBDIVISION IS ACCOMPANIED BY A SITE PLAN FOR BUILDING PERMIT.
  - TRANSIT ACCESS WILL BE NEAR THE CENTERLINE OF THE PROPOSED PROPERTY LINE OFF OF FINELAND DRIVE NW.
  - PEDESTRIAN ACCESS WILL BE A 6 FT SIDEWALK FROM FINELAND DRIVE NW DIRECTLY TO THE WEST TO THE ENTRANCE OF THE NEW BUILDING. THERE WILL BE A SIDEWALK ADDED TO THE SOUTH SIDE OF CROWN ROAD NW.
  - INTERNAL CIRCULATION WILL BE THROUGH A LOOP ROAD AND 6 FT SIDEWALKS THROUGHOUT THE SITE.
  - MINIMUM BUILDING SETBACKS SHALL BE 20 FT FRONT, 10 FT SIDES, 10 FT REAR.
  - MAX BUILDING HEIGHT = 40 FT
  - FAR = 0.186
  - THE LANDSCAPE PLAN SHALL BE CONSISTENT WITH THE CITY'S WATER CONSERVATION ORDINANCE, COMPREHENSIVE ZONING CODE, AND LANDSCAPE PRINCIPALS OF DESIGN REGARDING PLACEMENT, WATER REQUIREMENTS, TUFF RESTRICTIONS AND COVERAGE. ALL LANDSCAPE AREAS AND AUTOMATIC IRRIGATION SYSTEMS WILL BE MAINTAINED IN GOOD WORKING ORDER BY THE OWNER.

- EASEMENT NOTES
- EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT (1/11/02, 02C-16) VACATED WITH THE FILING OF THIS PLAN
  - EXISTING 60' PUBLIC ROADWAY EASEMENT (1/11/02, 02C-16)
  - EXISTING 10' PNM EASEMENT (1/11/02, 02C-16)
  - EXISTING 10' P.U.E. (11/21/03, 03C-354)
  - EXISTING FINELAND ACCESS EASEMENT AREA (3/20/09, DOC NO. 2009029570)
  - EXISTING 25' PUBLIC SANITARY SEWER EASEMENT (9/9/03, 03C-276)
  - EXISTING PUBLIC NON-VEHICULAR PEDESTRIAN ACCESS EASEMENT & PUBLIC WATER EASEMENT (9/9/03, 03C-276)
  - EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (8/11/61, BK. D. 606, PG. 525, BK. 112, PG. 515 & BK. D. 346, PG. 356)
  - EXISTING 30' GAS LINE EASEMENT (3/7/61, BK. 0585, PG. 409)
  - EXISTING 10' PNM & M&T&T EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203) AMENDED (DOC. NO. 93-010906, 2/2/93, BK. BCR 93-3, PG. 3742-3743)
  - EXISTING 20' NMIJ EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203)
  - PUBLIC WATER METER EASEMENT GRANTED WITH THE FILING OF THIS PLAN
  - EXISTING 10' P.U.E. (9/9/03, 2003C-276)
  - PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAN
- ITEMS 4, 6, 7, 9, 12 & 13 HAVE BEEN INTENTIONALLY OMITTED

No	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 2001 W. 15th Street, Suite 100  
 ALBUQUERQUE, NM 87104

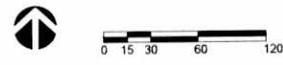
**KIDZ ACADEMY**  
 CROWN RD. NW  
 ALBUQUERQUE, NM 87114

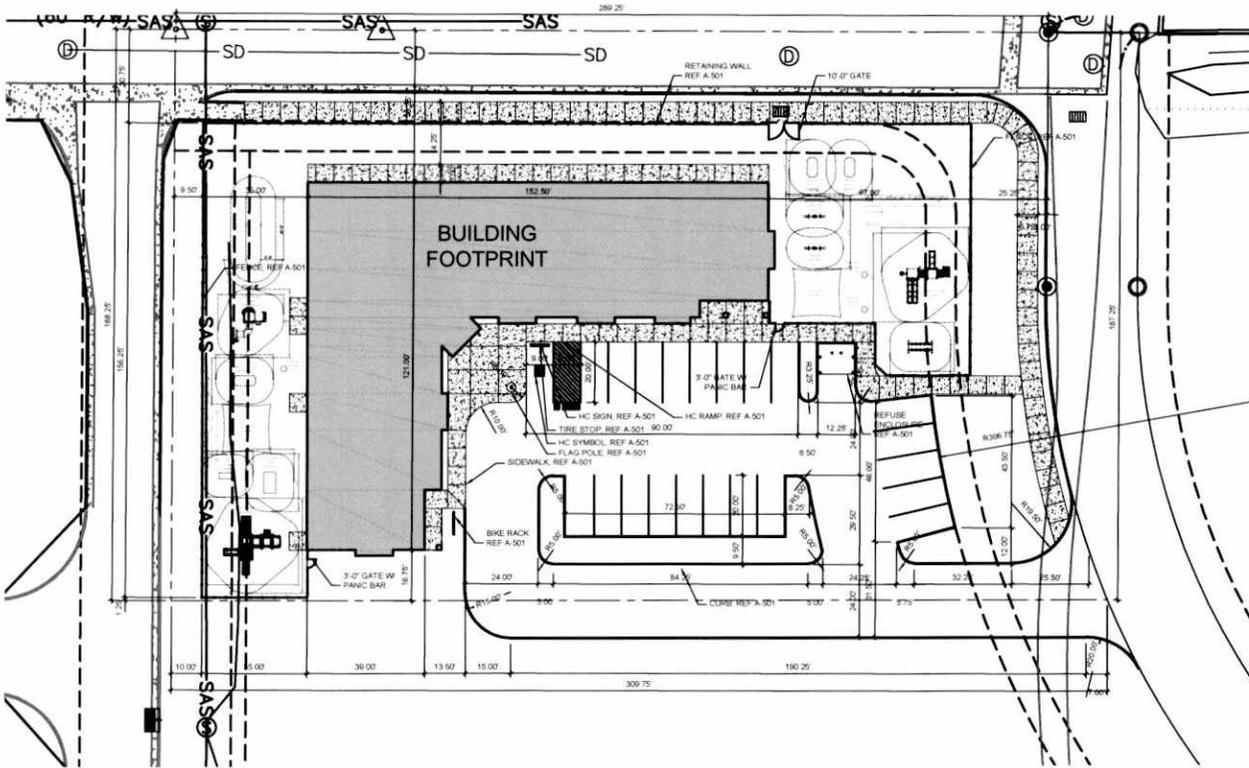
DRAWING TITLE  
**SITE PLAN FOR SUBDIVISION**

DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
REVIEWED	<b>AS-100</b>
DATE	10/21/17

**SITE PLAN FOR SUBDIVISION**

SCALE: 1" = 60'-0"





**SITE PLAN**

SCALE: 1" = 20'-0"



**GENERAL NOTES**

- CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4" OF TOPSOIL.
- THE CONTRACTOR SHALL CONFORM TO ALL TRIBAL, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL BERM OR INSTALLING SILT FENCES AND MATTING THE SOIL TO KEEP IT FROM BLOWING.
- WATERING AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED ESSENTIAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

**PARKING CALCULATION**

DAY CARE CENTER: TWO SPACES PLUS ONE ADDITIONAL SPACE FOR EACH 500 SQUARE FEET OF NET LEASABLE AREA.

BUILDING AREA = 10,196 / 500 = 20 SPACES + 2 SPACES  
 PARKING PROVIDED = 22 SPACES  
 HC SPACES PROVIDED = 1  
 MOTORCYCLE SPACES REQUIRED = 1  
 MOTORCYCLE SPACES PROVIDED = 1  
 BIKE RACK PROVIDED

**SITE DATA TRACT A-1, FINELAND SUBDIVISION**

PROPOSED USAGE: DAY CARE CENTER

ZONING: SU-1 FOR MIXED USE (C-1 USES)

TOTAL SITE AREA = 54,996 SF

BUILDING = 10,213 SF

DRIVES = 14,218 SF

PARKING = 3,740 SF

LANDSCAPING = 21,196 SF

SIDEWALKS = 5,632 SF

PROJECT NUMBER \_\_\_\_\_  
 APPLICATION NUMBER \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

is and Infrastructure List required ( ) Yes ( ) No. If Yes, then a set of approved ORC plans with a work order is required for any construction within Public Right of Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineer, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Water Utility Department \_\_\_\_\_ Date \_\_\_\_\_

Parks & Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

\* Environmental Health \_\_\_\_\_ Date \_\_\_\_\_

Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

\* Environmental Health, if necessary \_\_\_\_\_

No	Revision Item	Date

**ROBERT C. ANDERSON & ASSOCIATES, INC.**  
 3014 W. UNIVERSITY BLVD. SUITE 100  
 ALBUQUERQUE, NM 87114  
 TEL: 505.263.1111 FAX: 505.263.1112

**KIDZ ACADEMY**  
 CROWN RD. NW  
 ALBUQUERQUE, NM 87114

**SITE PLAN**

**A-100**

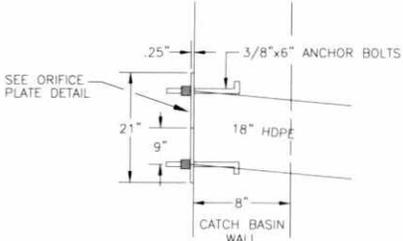
10/21/17

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

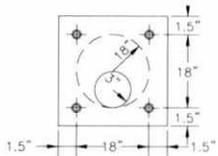
**DRAINAGE NARRATIVE**

THIS SITE IS LOCATED WITHIN DRAINAGE BASIN 0, WITHIN THE GOVERNING DRAINAGE PLAN (A11009). THIS SITE WILL RESTRICT THE FLOW BY THE USE OF A PARKING LOT DETENTION POND. THE OUTFALL IS RESTRICTED BY THE USE OF AN ORIFICE PLATE. THE FIRST FLUSH VOLUME WILL BE RETAINED ONSITE WITHIN THE LANDSCAPE ISLAND. FUTURE DEVELOPMENT SHALL DRAIN TO THE PROPOSED 18" STORM DRAIN AND WILL BE RESTRICTED TO 1.3 CFS PER ACRE.

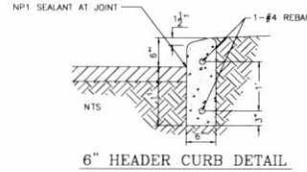
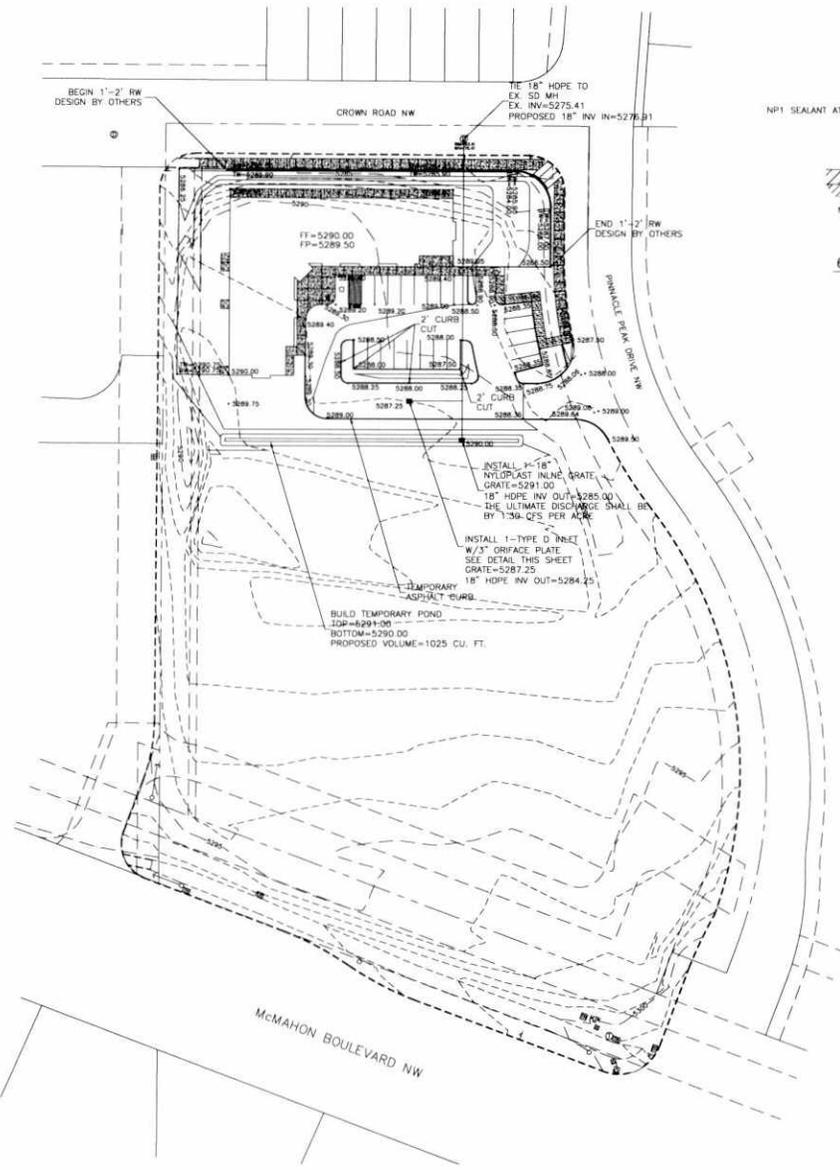


**DETAIL A**

TO BE INSTALLED @ THE OUTFLOW OF THE CATCH BASINS (SEE THIS PLAN FOR ORIFICE PLATE SIZES)



**TYP. ORIFICE PLATE DETAIL**  
N.T.S.



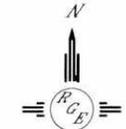
**LEGAL DESCRIPTION:**  
PARCEL A-1, FINLAND DEVELOPMENT

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
5. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9.

**LEGEND**

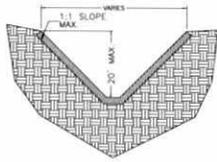
---	S414	EXISTING CONTOUR
---	S415	EXISTING INDEX CONTOUR
---	S416	PROPOSED CONTOUR
---	S415	PROPOSED INDEX CONTOUR
▲		SLOPE TIE
•	4248.25	EXISTING SPOT ELEVATION
×	4248.25	PROPOSED SPOT ELEVATION
---		BOUNDARY
---		CENTERLINE
---		RIGHT-OF-WAY
---		PROPOSED CURB
---		EXISTING CURB AND GUTTER
---		PROPOSED SIDEWALK
---		EXISTING SIDEWALK
---		PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS)
---		6" CONCRETE OVER 4" AGGREGATE BASE COURSE, WITH 12" SUBGRADE PREP
---		REMOVE AND REPLACE EX.SW PER COA STD DWG #2430



**GRAPHIC SCALE**  
40 20 0 20 40  
SCALE: 1"=40'

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL DAVID SOULE P.E. #14522	<b>KIDZ ACADEMY</b>  <b>GRADING AND DRAINAGE PLAN</b>  <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 205 ALBUQUERQUE, NM 87108 (505) 852-1088	DRAWN BY WCKJ DATE 9-25-17 JOB: LAMP # 20-17 SHEET # JOB # 21801
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**SUPPLEMENTAL TRENCH DETAIL**

NTS—PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS  
 NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.

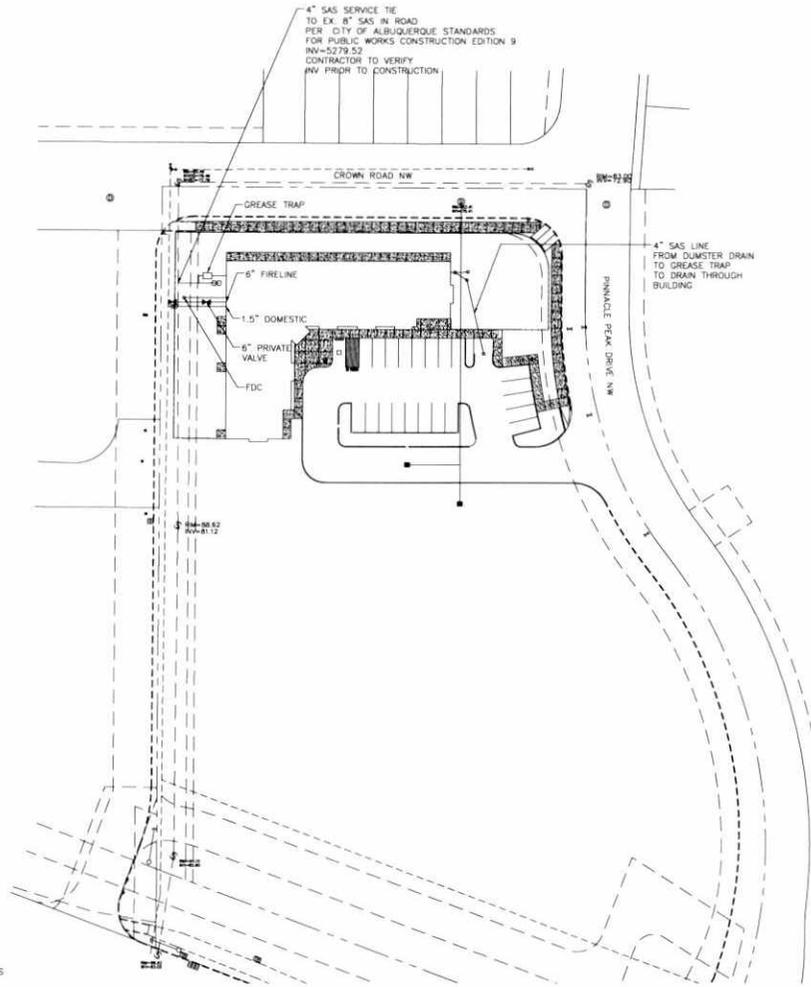
4" SAS SERVICE TIE TO EX 8" SAS IN ROAD PER CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9 INV=5279.52 CONTRACTOR TO VERIFY INV PRIOR TO CONSTRUCTION

4" SAS LINE FROM DUNSTER DRAIN TO GREASE TRAP TO DRAIN THROUGH BUILDING



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF CITY OF ALBUQUERQUE APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE B.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1866, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE FOR ALL WORK.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE TO UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISCLOSED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBSCURE MARKINGS MADE PURSUANT TO CHAPTER ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 14 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 720 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #6, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://abcwua.org/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures](http://abcwua.org/water_shut_off_and_turn_on_procedures)
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2369.
23. ALL C-900 DRTB UTILITY PIPE JOINTS SHALL BE FULLY RESTRAINED DUE TO POSSIBLE DEFLECTION FROM WASTE DEGENERATION.
24. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
25. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.
26. CONTRACTOR SHALL MAINTAIN 1' SEPARATION BETWEEN ELECTRICAL AND SAS CROSSINGS.



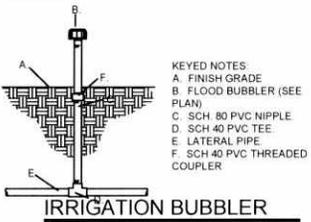
**LEGEND**

- EX 12" S --- EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX 8" SAS --- EXISTING SANITARY SEWER LINE
- ⊠ EXISTING VALVE W/BOX
- EX 8" W --- EXISTING WATER LINE
- ⊠ PROPOSED METER
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- ☆ STREET LIGHTS
- ██████████ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR)



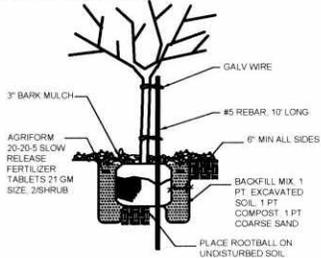
ENGINEER'S SEAL 	<b>KIDZ ACADEMY</b>	DRAWN BY: MCR/J
10/20/17	<b>MASTER UTILITY PLAN</b>	DATE: 9-25-17
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0999	PROJECT: 16087-0-00-11
		SHEET #
		JOB # 21801

NOTE:  
LATERAL LINE TESTING SHALL BE COMPLETED PRIOR TO INSTALLATION. LATERAL TESTING SHALL BE ACCOMPLISHED BY INSTALLING A PLUG IN THE OUTLET OF LATERAL LINE TEES AND ELLS.

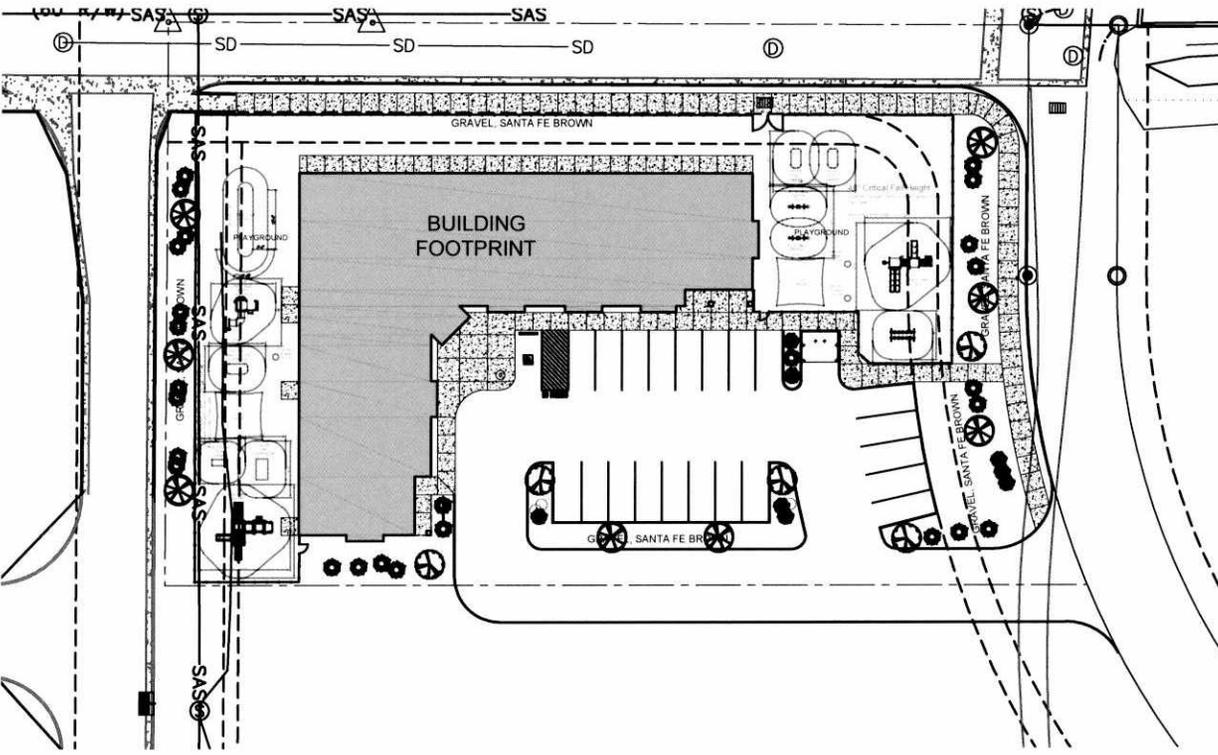
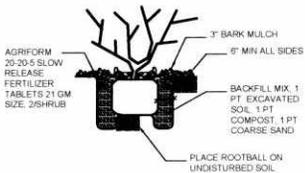


KEYED NOTES:  
A. FINISH GRADE  
B. FLOOD BUBBLER (SEE PLAN)  
C. SCH. 80 PVC NIPPLE  
D. SCH. 40 PVC TEE  
E. LATERAL PIPE  
F. SCH. 40 PVC THREADED COUPLER

NOTE: CUT & REMOVE WIRE FROM ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL. CAREFULLY TAMP IN BACKFILL. MIX TO INSURE ROOTBALL REMAINS INTACT.

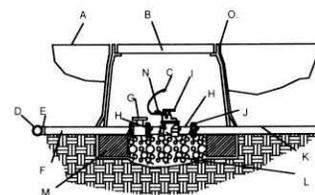


NOTE: CONTRACTOR SHALL GRADE SOIL ADJACENT TO TREES AND SHRUBS TO ENSURE EVEN AND ADEQUATE WATERING OF ALL PLANT MATERIAL.



**SITE PLAN**

SCALE: 1" = 20'-0"  
0 5 10 20 40



KEYED NOTES:  
A. FINISH GRADE  
B. BROOKS PRODUCTS, INC. 1730 PB-18 BODY (ABS) VALVE BOX W/1730 BOLT DOWN COVER (ABS) & TWO 8" EXTENSIONS  
C. DRY SPlice CONNECTOR OR EQUAL  
D. IRRIGATION MAINLINE  
E. IRRIGATION MAINLINE SERVICE TEE OR ELL  
F. SCHEDULE 80 PVC X 12" NIPPLE  
G. SPEARS TRUE UNION SCHEDULE 80 PVC BALL VALVE  
H. SCHEDULE 80 PVC CLOSE NIPPLE  
I. ELECTRIC VALVE (SEE PLAN)  
J. SPEARS SCHEDULE 80 PVC UNION  
K. LATERAL LINE  
L. 1 CUBIC FOOT 1" DIA. WASHED ROCK  
M. 8" X 8" X 16" SOLID CMU BLOCK  
N. 24" WIRE EXPANSION COIL  
O. 6mm BLACK POLYETHYLENE PLASTIC TAPE TO ALL INLET & OUTLET PIPE & INSTALL THE FULL DEPTH OF THE VALVE BOX BOTTOM.

NOTES:  
INSTALL AN 8" X 8" X 16" SOLID CMU BLOCK @ EA. CORNER OF THE VALVE BOX  
WASH ROCK SHALL BE INSTALLED FLUSH WITH BOTTOM OF PIPE & VALVE.

**GENERAL NOTES:**

- ALL PLANTING AREAS NOT COVERED IN TURF SHALL HAVE A GROUND TOPPING OF CRUSHED ROCK, REVER ROCK, OR OTHER SIMILAR MATERIAL WHICH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL. HOWEVER THESE MATERIALS SHALL NOT BE USED AS FOCAL LANDSCAPE.
- IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, FOLLN ORDINANCE AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
- PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
- SFBROWN GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.
- IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
- FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.
- INSTALL BACKFLOW PREVENTION @ IRRIGATION SYSTEM.

**PLANTING LEGEND**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZESPEC
<b>TREES</b>				
(Symbol)	0	POPULUS TREMILOIDES	QUAKING ASPEN	8"-10"
(Symbol)	5	FRAXINUS VELUTINA	ARIZONA ASH	8"-10"
(Symbol)	7	PIRUS CALLERYANA	BRADFORD FLOWERING PEAR	8"-8"
(Symbol)	0	PRUNUS AMERICANUS	FLOWERING PLUM	8"-8"
(Symbol)	0	PICEA PUNGENS	COLORADO SPRUCE	8"-8"
<b>SHRUBS</b>				
(Symbol)	0	CHRYSOTHAMUS NAUSEOSUS	CHAMISA	5 GAL
(Symbol)	3	FALLUGA PARADOXA	APACHE PLUME	1-2 GAL
(Symbol)	8	PEROVSKIA ARTIMISIOIDES	RUSSIAN SAGE	1-2 GAL
(Symbol)	0	ROSA REGUSA	RED LEAF ROSE	1-2 GAL
(Symbol)	26	CYSTIUS PURGANS	SPANISH BROOM	5 GAL
<b>WILDFLOWERS</b>				
(Symbol)	0	PLAINS COREOPSIS		1 GAL
(Symbol)	0	CALIFORNIA POPPY		1 GAL
(Symbol)	0	FIREWHEEL		2" POT
(Symbol)	0	SCARLET BUGLER		1 GAL
(Symbol)	0	ROCKY MNT. PENSTEMON		1 GAL
(Symbol)	4 LBS/1000 SQ. FT.	BUCKLOW DACTYLODES	BUFFALO GRASS	

No	Revision	Item	Date

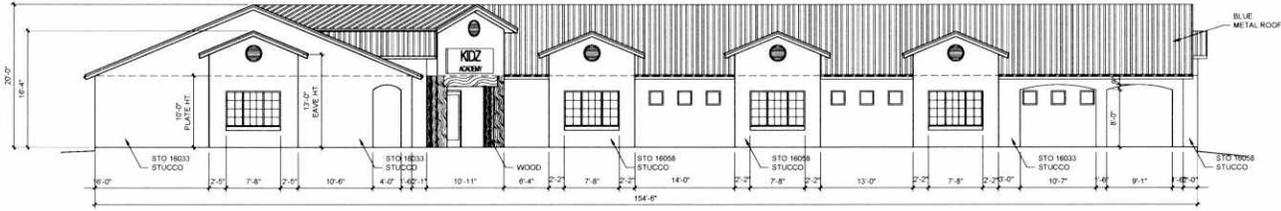
**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
1200 11TH AVENUE NW  
ALBUQUERQUE, NM 87102  
TEL: 505.263.1111  
WWW.SCA-ARCHITECTS.COM

**KIDZ ACADEMY**  
CROWN RD. NW  
ALBUQUERQUE, NM 87114

**LANDSCAPE PLAN**

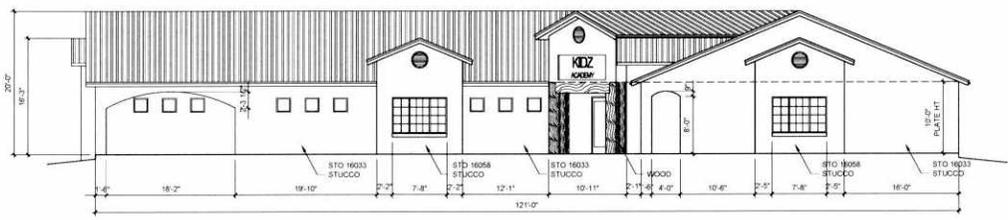
DATE: 10/21/17

**L-101**



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



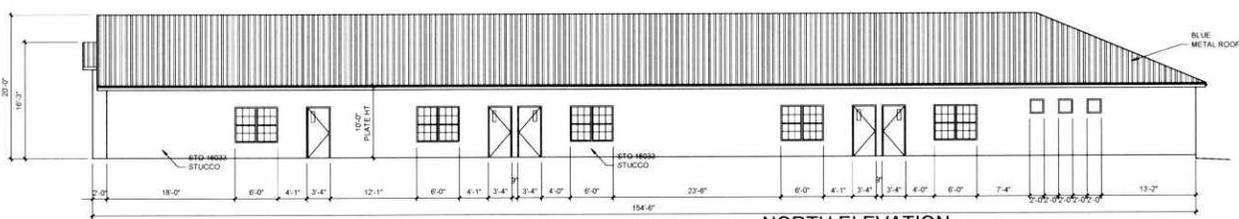
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



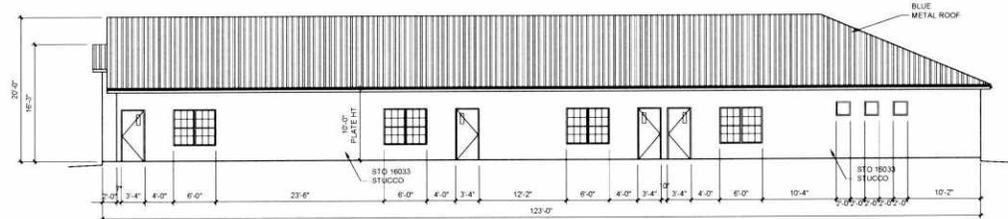
**ENTRY ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

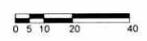


**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. SUBMIT MANUFACTURER'S STANDARD COLOR CHART TO OWNER FOR THE SELECTION OF THE STUCCO COLOR.
2. STUCCO UNDERLAYMENT MINIMUM GRADE 0 BUILDING PAPER (2 LAYERS) COMPLYING WITH FEDERAL SPECIFICATIONS LUB 790A. WEATHERLAP EDGES 4 INCHES MIN. ATTACH WITH LARGE HEAD PLASTIC WASHER HEAD SCREWS OR 1 INCH CROWN STAPLES.
3. INSTALL EXPANDED METAL LATH THAT MEETS ASTM C847-93. FURRING AND SELF-FURRING REQUIREMENTS AS SET FORTH FOR WIRE-FABRIC LATH. MINIMUM WEIGHT IS 2.5 LB/100.
4. INSTALL "ULTRAKOTE" STUCCO CONDITIONER. READY MIXED CLEAR PENETRATING SEALER WITH NO FILLERS OVER METAL LATH.
5. INSTALL 3/4" "ULTRAKOTE" CEMENTIOUS BASE COAT CONCENTRATE.
6. INSTALL "ULTRAPRIME" ACRYLIC READY MIXED MOISTURE RESISTANT PRIMER AND SEALER THAT EQUAL THE SUCTION OF THE BASE COAT AND FINISH. PROVIDING A SUITABLE SURFACE FOR THE APPLICATION OF ULTRAKOTE COATINGS.
7. EXTERIOR FINISH COAT TO BE FACTORY MIXED "STRETCHCOAT" ELASTOMERIC COATING. FINISH TEXTURE AND THICKNESS TO MATCH OWNER APPROVED SAMPLE.



No	Revision Item	Date

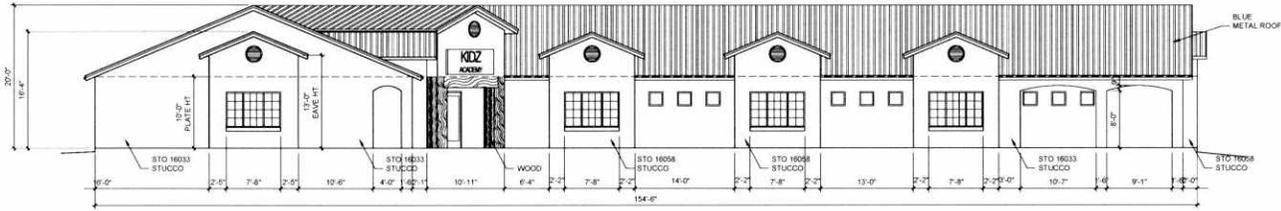


**KIDZ ACADEMY**  
CROWN RD, NW  
ALBUQUERQUE, NM 87114

DRAWING TITLE: **BUILDING ELEVATIONS**

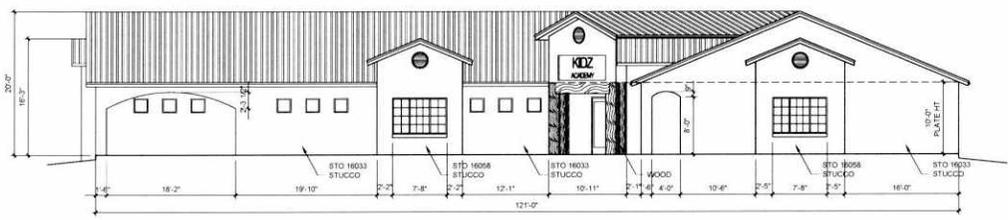
DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
	<b>A-201</b>
REVISIONS	
DATE	10/21/17





**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



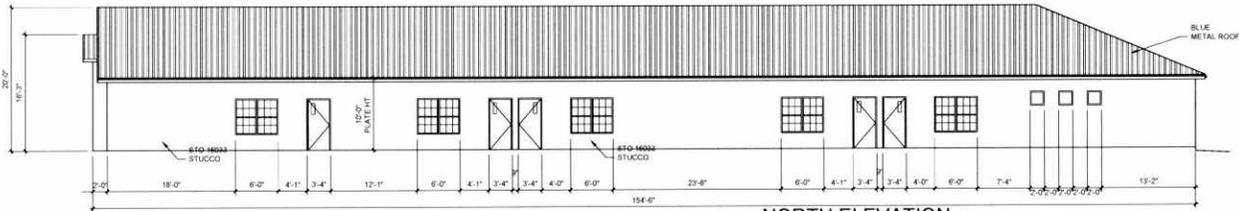
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



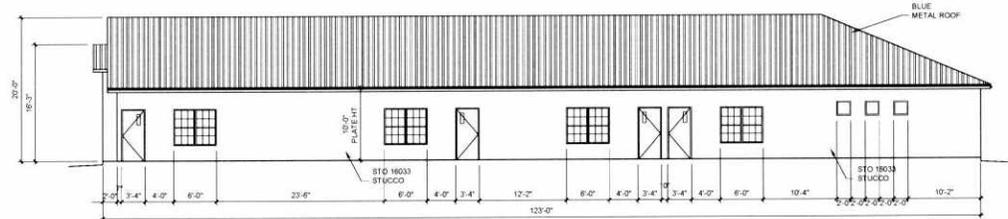
**ENTRY ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

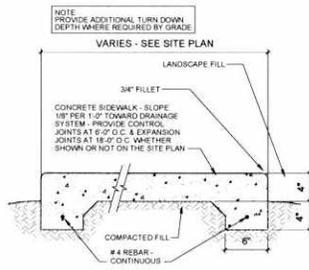
- GENERAL NOTES**
1. SUBMIT MANUFACTURER'S STANDARD COLOR CHART TO OWNER FOR THE SELECTION OF THE STUCCO COLOR.
  2. STUCCO UNDERLAYMENT MINIMUM GRADE D BUILDING PAPER (2 LAYERS) COMPLYING WITH FEDERAL SPECIFICATIONS JUB 790A. WEATHERLAP EDGES 4 INCHES MIN. ATTACH WITH LARGE HEAD PLASTIC WASHER HEAD SCREWS OR 1 INCH CROWN STAPLES.
  3. INSTALL EXPANDED METAL LATH THAT MEETS ASTM C847-93 FURRING AND SELF-FURRING REQUIREMENTS AS SET FORTH FOR WIRE-FABRIC LATH. MINIMUM WEIGHT IS 2.5 LB/YD<sup>2</sup>.
  4. INSTALL "ULTRAKOTE" STUCCO CONDITIONER READY MIXED CLEAR PENETRATING SEALER WITH NO FILLERS OVER METAL LATH.
  5. INSTALL 3/4" "ULTRAKOTE" CEMENTIOUS BASE COAT CONCENTRATE.
  6. INSTALL "ULTRAPRIME" ACRYLIC READY MIXED MOISTURE RESISTANT PRIMER AND SEALER THAT EQUALS THE SUCTION OF THE BASE COAT AND FINISH. PROVIDING A SUITABLE SURFACE FOR THE APPLICATION OF ULTRAKOTE COATINGS.
  7. EXTERIOR FINISH COAT TO BE FACTORY MIXED "STRETCHCOAT" ELASTOMERIC COATING. FINISH TEXTURE AND THICKNESS TO MATCH OWNER APPROVED SAMPLE.



No.	Revision Item	Date

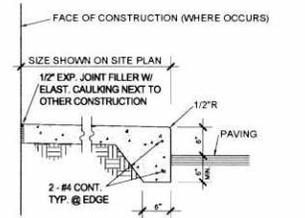
  

 <b>SCOTT C. ANDERSON &amp; ASSOCIATES</b> architects <small>2000 UNIVERSITY BLVD. N.W. SUITE 100          ALBUQUERQUE, NM 87104          (505) 263-1173</small>	
<b>KIDZ ACADEMY</b> CROWN RD. NW ALBUQUERQUE, NM 87114	
DRAWING TITLE: <b>BUILDING ELEVATIONS</b>	
DESIGNED: _____ DRAWN: _____ CHECKED: _____ APPROVED: _____ DATE: 10/21/17	PROJECT NO: _____ SCALE: _____ DRAWING NO: <b>A-201</b>



**D1 SIDEWALK DETAIL**

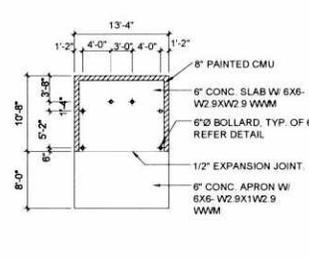
SCALE: 1 1/2" = 1'-0"



**D2 STOOP DETAIL**

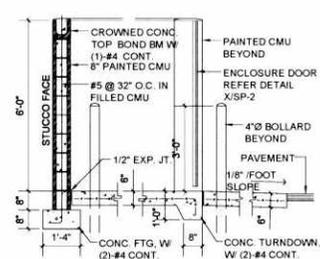
SCALE: 1" = 1'-0"

Xref 2-027-3 roller gate dwg



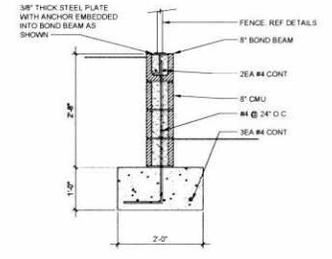
**D3 REFUSE ENCLOSURE**

SCALE: 1/8" = 1'-0"



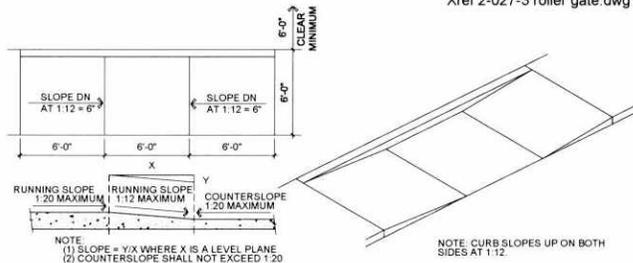
**D4 REFUSE DETAIL**

SCALE: 1/2" = 1'-0"



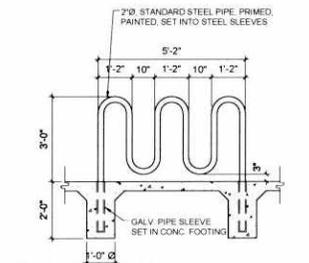
**D5 REFUSE DETAIL**

SCALE: 3/4" = 1'-0"



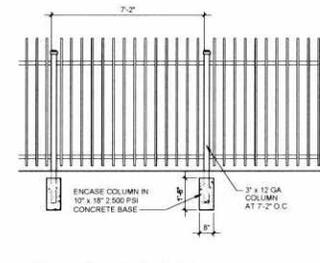
**C1 HC RAMP**

SCALE: 1/4" = 1'-0"



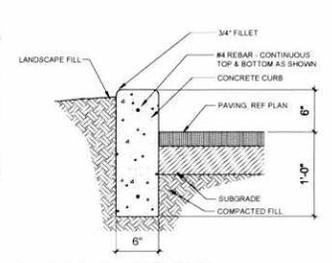
**C3 BIKE RACK**

SCALE: 1/2" = 1'-0"



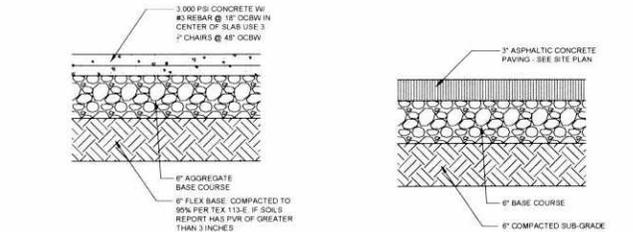
**C4 FENCE DETAIL**

SCALE: 3/8" = 1'-0"



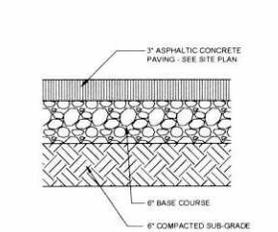
**C5 STAND UP CURB**

SCALE: 1 1/2" = 1'-0"



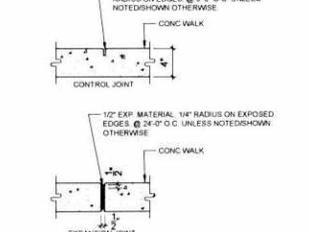
**B1 CONC. PAVING SECTION**

SCALE: NTS



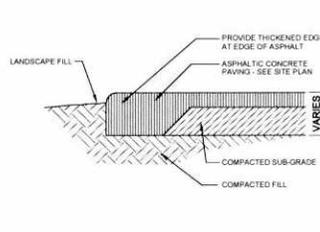
**B2 ASPHALT SECTION**

SCALE: NTS



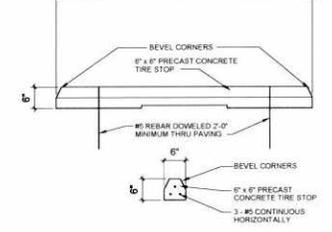
**B3 CONCRETE JOINTS**

SCALE: NTS



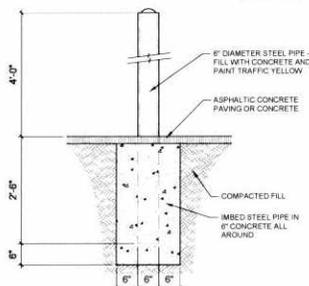
**B4 EDGE OF ASPHALT**

SCALE: 1 1/2" = 1'-0"



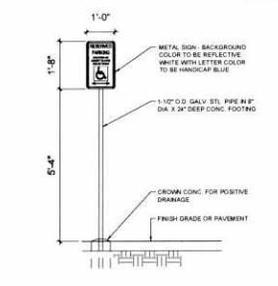
**B5 PARKING BUMPER**

SCALE: 3/4" = 1'-0"



**A1 PIPE BOLLARD**

SCALE: 3/4" = 1'-0"



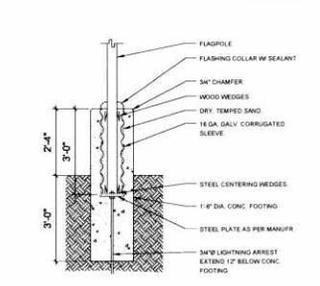
**A2 HC SIGN**

SCALE: 1/2" = 1'-0"



**A3 HC PAVEMENT MARKING**

SCALE: 1" = 1'-0"



**A4 FLAG POLE**

SCALE: 1/2" = 1'-0"

No	Revision	Item	Date
<b>KIDZ ACADEMY</b> CROWN RD, NW ALBUQUERQUE, NM 87114			
<b>DETAILS</b>			
DESIGNED	PROJECT NO.	SCALE	<b>A-501</b>
DRAWN	DRAWING NO.	DATE	
CHECKED			
REVISIONS			
DATE	10/21/17		