

NOTIFICATION &
NEIGHBORHOOD INFORMATION

ATTACHMENT A

**(EPC SUBMITTAL) – SOUTH 100 FEET OF LOT 8, ALVARADO GARDENS, UNIT 1
LOCATED ON RIO GRANDE BOULEVARD NW BETWEEN CANDELARIA ROAD NW AND
CAMPBELL ROAD NW zone map G-13 for Erin Ganaway, Consensus Planning, Inc.**

RIO GRANDE BLVD. N.A. "R"

Monica Gilboa

2300 Camino De Los Artesanos NW/87107 345-2396 (h)

Doyle Kimbrough

2327 Campbell Rd. NW/87107 249-0938 (c)

ALVARADO GARDENS N.A. "R"

***Carolyn R. Siegel**

2726 Candelaria Rd. NW/87107 344-6746 (h) 715-3318 (c)

Kristin Hogge

3031 Calle San Angel NW/87107 345-7888 (h) 228-8801 (c)

NORTH VALLEY COALITION

Kyle Silfer

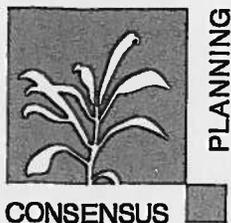
P.O. Box 70232/87197 918-0978 (c)

Doyle Kimbrough

2327 Campbell Rd. NW/87104 249-0938 (h)

***President of NA/HOA/Coalition**

Typical



October 26, 2015

Ms. Monica Gilboa
2300 Camino Del Los Artesanos NW
Albuquerque, NM 87107

Landscape Architecture
Urban Design
Planning Services

Mr. Doyle Kimbrough
2327 Campbell Rd. NW
Albuquerque, NM 87107

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801

Fax 842-5495

cp@consensusplanning.com

www.consensusplanning.com

Re: Zone Map Amendment, Site Plan for Subdivision, and Site Plan for Building Permit

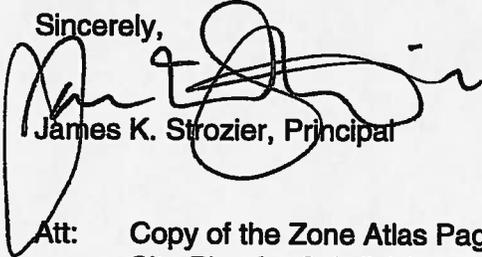
Dear Ms. Gilboa and Mr. Kimbrough:

The purpose of this letter is to inform you and the Rio Grande Boulevard Neighborhood Association that Consensus Planning has submitted a request for a Zone Map Amendment, Site Plan for Subdivision, and Site Plan for Building Permit on behalf of Garrett Lee Studio for property located at 3010 Rio Grande NW and legally described as S 100ft of Lot 8, Alvarado Gardens Subdivision. This request will be heard by the Environmental Planning Commission (EPC) on Thursday, December 10, 2015 at Plaza del Sol located at 600 Second Street NW. The hearing begins at 8:30 a.m.

The current zoning on the approximately 1.24 acre property is RA-2. The applicant's request is to change the existing zoning of the property to SU-1 for PRD to accommodate a residential development. A Site Plan for Subdivision and a Site Plan for Building Permit are submitted as part of this request.

Please do not hesitate to contact me at 764-9801 with any questions you may have regarding this request. We are happy to meet with you and your board at your earliest convenience.

Sincerely,


James K. Strozier, Principal

Att: Copy of the Zone Atlas Page G-13-Z
Site Plan for Subdivision
Site Plan for Building Permit

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA

7010 1870 0000 7476 9234

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	\$7.67	



Sent To **Monica Gilboa**
Street, Apt. No., or PO Box No. **2300 Camino Del Los Artesanos NW**
City, State, ZIP+4 **Albuquerque, NM 87107**

PS Form 3800, August 2005 See Reverse for Instructions

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Sent To **Doyle Kimbrough**
Street, Apt. No., or PO Box No. **2327 Campbell Rd. NW**
City, State, ZIP+4 **Albuquerque, NM 87107**

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Sent To **Kristin Hogge**
Street, Apt. No., or PO Box No. **3031 Calle San Angel NW**
City, State, ZIP+4 **Albuquerque, NM 87107**

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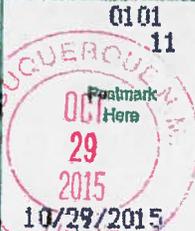
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Sent To **Carolyn R. Siegel**
Street, Apt. No., or PO Box No. **2726 Candelaria Rd. NW**
City, State, ZIP+4 **Albuquerque, NM. 87107**

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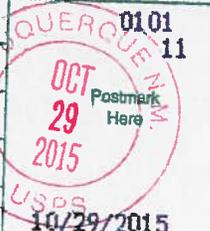
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Sent To **Kyle Silfer**
Street, Apt. No., or PO Box No. **P.O. Box. 70232**
City, State, ZIP+4 **Albuquerque, NM 87197**

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Sent To **Doyle Kimbrough**
Street, Apt. No., or PO Box No. **2327 Campbell Rd. NW**
City, State, ZIP+4 **Albuquerque, NM. 87107**

PS Form 3800, June 2002 See Reverse for Instructions

FACILITATED MEETING REPORT AMENDMENTS

Date Submitted: 12/2/2015
Original Submission: 11/26/15
Submitted By: David Gold
Facilitator: David Gold
Co-facilitator: Diane Grover
Project Number: 1003373
Meeting Date and Time: 11/24/2015

Outcome – Third Bullet

Reads “typical North Valley development”
Correction “North Valley development”

Section 4 – 2nd Bullet after 1st bullet

Addition: After the meeting the city planner pointed out that:

“the discussion about density seems to reference the R-1 density rather than the RA-2, the zoning for this property. Under the existing zoning the applicant could build about 5 units.”

Section 6 – bullet 2

Reads: 15-20’ of setback

Correction: subsequent email from developer says is it 15-22’.

Section 3 – bullet 6

Section 14 – bullet 4

Both refer to the # of units in Acequia Jardin

Reads: 12

Correction: 10

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

Project #: 1003373
Property Description/Address: South 100' of Lot 8 Alvarado Gardens

Date Submitted: November 26, 2015
Submitted By: David Gold

Meeting Date/Time: November 24, 2015, 6-8 PM
Meeting Location: Los Griegos Multigenerational Center
1231 Candelaria NW

Facilitator: David Gold
Co-facilitator: Diane Grover

Parties:

- **Applicant**
 - Garrett Smith
 - James Strozier
- **Neighborhood Associations/Interested Parties:**
 - Rio Grande Blvd NA (RGNA)
 - Alvarado Gardens (AGNA)
 - North Valley Coalition (NVC)

Meeting Summary:

The Applicant seeks to rezone a 1.34 acre property that is currently RA-2 zoning to a SU-1 zoning for a Planned Residential Development. The project would put 12 small footprint (1000 sq.') houses on the current lot.

The tone of the meeting was generally cordial. Attendees expressed a number of concerns. Some expressed support for aspects of the project. One spoke in favor of the project as a whole.

Outcome:

- **Areas of Agreement**
 - Attendees generally seemed to support the high quality LEED Platinum building and sustainability in general.
 - Attendees generally supported maintaining a garden and leaving the east portion of the property in a natural state.
 - There was a general sense of dislike of typical North Valley development and the loss of the North Valley lifestyle as a result.
 - Garbage collection points could be moved away from fences.
 - Issues about encroachment from a neighbor's property were resolved.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- Unresolved Issues & Concerns
 - o Concerns about the total number of units and the precedent this could set for the North Valley.
 - o Applicants viewed this project as a positive model for North Valley development. This was not shared by many of the Attendees.
 - o Location of parking area by south neighbor.
 - o Access to the Campbell ditch for recreation.

- Suggested Alternatives
 - o Put two less units on the property, specifically the west most duplex.

Meeting Specifics: Information About The Project

1) General

- The project is located on the east side of Rio Grande Blvd, south of Artesanos Ct. It is the south 100' of lot 8. It is on a 1.34 acre parcel.
- The Applicant is requesting a zoning change from RA-2 to SU-1 for PRD.
- The property currently has two buildings. These would be renovated.
- The applicant seeks to build a small community that consists of 12 1000 sq', single story, 2 bedroom, single bath units.
- Three of the buildings are duplexes. Six are standalone.
- Buildings will be 16' at the highest point.
- The eastern portion of the site will be dedicated open space. The intent is most will be used as a communal garden.
- There are 1 ½ covered parking places/unit.
- The expected price is \$200,000/unit. It is \$200/sq'. Comparable area attached units are \$154/sq'. Unattached are \$140/sq'.

2) Sustainability

- Small footprint homes encourage lower energy usage and have a lower carbon footprint.
- Buildings all meet LEED Platinum standards. This is the highest LEED standard.
- Community oriented design minimizes automobile trips as people tend to car-pool. The Applicant stated they believe this would result in a 25% reduction in traffic, based on their previous Acequia Jardin project.
- Residents can grow food in the shared ¼ acre garden area.
 - The Applicant checked with the MRGCD and the property can use the water in the nearby Campbell ditch for irrigation.
 - The property drains from the street to the Campbell ditch to the east. This will also provide water to the garden area.

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LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

3) Community

- The Applicant's goal is to create a small community of like-minded individuals.
- They seek to attract individuals who are concerned about sustainability and would appreciate the opportunity to share a common garden.
- The eastern units will face a courtyard. The design is intended to promote residents interacting with one another, and watching out for each other.
- Residents will sign a non-rental agreement. The intent is to minimize real estate speculation, and insure owners are community residents.
- The Applicant believes this will attract age 55+ residents who want to age together gracefully, and will provide an alternative to assisted living as some point in the future.
- The Applicant has created a nearby community called Acequia Jardin (AJ). This has 12 units that face a common courtyard. The Applicant referred to this project during their presentation as a success.

Meeting Specifics: Attendee Discussion

4) Concerns About Density and North Valley Development

- Some Attendees felt there were too many units and asked that the developer use 8 or 10 units instead of 12. These concerns were mentioned multiple times during the meeting.
 - Several felt that the density was contrary to the North Valley lifestyle.
 - Several wanted to see the Valley stay the way it was.
 - Several wanted rural characteristics, like animals, and open areas.
- The Applicant stated that they felt this development was appropriate to the North Valley.
 - The Applicant pointed out that under the zoning code, they could build potentially 9-11 2000-3000 sq' units on 5000 sq' lots, right up to 5' setback. They could also build 2 stories.
 - Some Attendees agreed that this type of development in the general area was negative.
 - The Applicants felt that this type of development was ruining the Valley and their proposal was far more suitable.
 - The Applicant stated that they would not do the project if it was less than 12 units.
- One Attendee pointed out there were other possibilities besides the proposed development and giant houses. A single house could be built on the lot.
- One Attendee accused the Applicant of having only economic considerations.
 - This was counter to Resolution 207-1980 which says economic considerations are not a basis for a zoning change.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- The Applicant responded their principal reasons for doing the project were not economic, but instead they were trying to create a sustainable community, and create a more positive development model. They stated that they did have economic concerns as well.

5) Concerns About SU Zoning

- The Applicant was asked about Cluster Housing in the area which is limited to 2 acre parcels or greater.
 - The Applicant explained that they are not creating a Cluster Housing development because the property is less than 2 acres.
 - They are requesting SU-1 zoning, instead to create a Planned Residential Development because it is a custom zoning.
- One Attendee was concerned that with SU zoning the applicant could do whatever they wanted and they would lose all zoning.
 - The Applicant said they had to create a complete custom zoning that included road designs, parking, garbage, all of which needs to be approved.
 - They also have to show elevations, windows, doors, porches, roofs, materials, colors, light fixtures, and more.
- Another Attendee felt the SU zoning was good because it was like a contract between the applicant, neighbors and the city.

6) Concerns About the Street Scape

- Some Attendees felt the proposed design did not maintain the street scape properly.
 - They pointed out that the proposal locates a duplex in front of the existing house.
 - The adjacent neighbor's house is located a comparable distance to the existing house.
- The Applicant stated that there was still 15-20' of setback which would have some landscaping.
 - They stated they would be willing to adjust their plan to improve the street scape.
- One Attendee suggested they simply remove the duplex on near the street and leave the existing house. This would also deal with the density issue, leave 10 units instead of 12.
 - The Applicant did not agree with the proposed solution.

7) Concerns About Precedent

- Attendees were concerned about the precedent that this could set for the area, especially the density.
- One Attendee pointed out that they had accepted precedent for La Montanita although the plan was made smaller. They also accepted the AJ project, but had concern about each project.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- Attendees felt that once a precedent was set, it would be easier for developers to bring unwanted projects into the area, regardless of the code.
- The Applicant responded:
 - They understood and appreciated the concerns about precedent.
 - They felt that this actually set a good precedent because it required developers to present a complete site plan, before approval.
 - They also have to do a lot to get over the bar.
 - Valley residents are unhappy with the development that is allowed under the zoning code. This is an opportunity for a positive precedent.

8) Concerns About the Location of Garbage

- One Attendee was concerned that garbage would be located along an adjacent fence. This would tend to bother neighbors with odors.
- The Applicant said they would consider moving their two collection points away from the fence.
 - The Applicant noted that the people living in this development would likely recycle and use less garbage.
 - In their AJ development, they were allowed 8 garbage pails and 5 recycling bins. They typically use 2 pails and 3 recycling bins.

9) Good Fit for North Valley Lifestyle?

- One Attendee was concerned that potential elderly residents might complain about nearby animals. He cited an example where it was necessary to involve a lawyer as a new resident complained about a wandering peacock.
- An adjacent neighbor was concerned that their children who ride dirt bikes and their three horses might be incompatible with the residents in the Applicant's project.
- The Applicant stated these types of issues come up in any residential sale and they were prepared to deal with them. They plan on fully disclosing these issues to potential buyers.

10) Access to Ditch

- The Applicant plans to use their access to the Campbell ditch as a recreational amenity.
- Attendees pointed out that the west side of the ditch was not suited for walking. A bridge would be needed to access the east side, where there was a trail.
- The applicant said they would look into the possibility of putting in a bridge, or having residents walk around to the north, to get to the other side.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

11) Parking

- Attendees were concerned that the project would result in on-street parking. This was the case with AJ.
- The Applicant said for the AJ project they had 1.1 spaces/unit. This project has 1.5 spaces/unit so there should not be a problem.
- An adjacent neighbor has a pool area across the fence from the proposed location for the parking area. They have 10 children (some disabled) and are concerned that noise and fumes from cars will have a detrimental impact on their experience.
 - They are also concerned that someone driving to their space could have a seizure and pass through the fence if it is not strong enough.
- The Applicant said they would work with the neighbor to ease their concerns.

12) Traffic

- Attendees questioned the 25% reduction in traffic.
- The Applicant said this was based on the AJ project and the fact that the food coop is within ½ mile of the project, hence was in walking distance.

13) Emergency Access

- Attendees had questions about emergency access to the east units for fire and ambulance. The road ends in the parking area near the center of the project.
- The Applicant responded that walkways are ADA compliant.
- The Applicant also said they were cleared by the fire inspectors. They have a hydrant in the middle of the project, and the fire department has 300' hoses. These are ample to cover the east units.

14) Effect on Property Values

- One Attendee was concerned that there was an insufficient track record to determine whether this project would stay a high quality development.
- Other Attendees were concerned this could become a section 8 housing project.
- The Applicant responded that their experience with the AJ project was positive although it was only two years old.
- They also stated that since these could not be used as rentals, it was likely that it would stay a high quality project and be positive for the neighborhood. In their AJ project turnover was 2 out of 12 units, in two years.

15) Integration Into the Community

- Attendees were concerned that the community would be exclusive if gated.
 - Concern was raised for inaccessibility for distributing neighborhood flyers.
- The Applicant stated they would not have "Do Not Enter" signs on the outside and that it would not be a gated community.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

16) Property Encroachment

- The property originally had a third house that encroached on the south neighbor's property. It was torn down.
- The neighbor was concerned that the fence line did not accurately reflect the property boundary.
- The Applicant stated they would use the property boundary, not the fence line which reflected the encroachment. The property owner (who is not the Applicant) also agreed to this usage.

17) Positives About the Project

- Attendees had some positive things to say about the project.
- In general Attendees liked the sustainable aspects of the project including preserving the garden area and the natural terrain of the project.
- They seemed to prefer the smaller houses to potentially large two story houses that went up to the setbacks.
- One Attendee was very positive about the project.
 - She felt that considering what could be put there, this was a significant improvement. She wouldn't want to see as few as five giant houses.
 - She appreciated the sense of community the project would create and thought that it was good for the whole city.

Next Steps: None

Action Plan: None

Action Items: Jim Strozier will send PDF files of plans to everyone.

Application Hearing Details:

1. Hearing scheduled for December 10, 2015
2. Hearing Time:
 - a. The Commission will begin hearing applications at 8:30 a.m.
 - b. The actual time this application will be heard by the Commission will depend on the Applicant's position on the Commission's schedule
3. Hearing Process:
 - a. Comments from facilitated meetings will go into a report, which goes to the City Planner.
 - b. City Planner includes facilitator report in recommendations.
 - c. The Commission will make a decision and parties have 15 days to appeal the decision.
4. Resident Participation at Hearing:

**CITY OF ALBUQUERQUE
LAND USE FACILITATION PROGRAM
PROJECT MEETING REPORT**

Written comments must be received by December 1 and 9:30 to be included in the planners report, and may be sent to: Maggie Gould 505-924-3910
mgould@cabq.gov, 600 2nd St., 3rd floor, Albuquerque, NM, 87102

OR

Peter Nichols, Chair, EPC, c/o Planning Department, 600 2nd St., 3rd floor,
Albuquerque, NM, 87102

Names & Affiliations of Attendees:

Garrett Smith	Applicant
Delese Dellios	Real Estate Agent
Jim Strozier	Agent
Ken Balizer	Owner
Catherine	AGNA
Bruce Baumgarten	AGNA
Carolyn Siegel	AGNA
Denise Wheeler	RGBNA
Doyle Kimbrough	RGBNA
Jill Schneider	AGNA
Ronald and Crela Torres	
Steve Ewing	RGBNA
Yolanda Homann	

*Rio Grande Boulevard
Neighborhood Association, Inc.
PO Box 6463
Albuquerque, NM 87197-6463*

November 25, 2015

HAND DELIVERED

Mr. Peter Nicholls, Chair, EPC
c/o Planning Department
600 2nd St, NW, Third Floor
Albuquerque, NM 87102

Re: EPC #1003373

Dear Chairman Nicholls:

The Board of the Rio Grande Boulevard Neighborhood Association (RGBNA) has reviewed the application above comparing it to applicable plans and ordinances. In addition members of the RGBNA Board attended a facilitated meeting on November 24, 2015. After the facilitated meeting the RGBNA Board reaffirmed its November 17, 2015 decision to unanimously request denial of the application.

Our reasons for requesting denial follow:

1. The application is non-compliant with numerous sections of the North Valley Area Plan.
2. The application is in violation of the goals and regulations of the Rio Grande Boulevard Corridor Plan.
3. The application does not meet the conditions for a zone change contained in City of Albuquerque ordinance number 270-1980.
4. The application does not adhere to the requirements of the zoning code as it applies to Private Commons Developments located in property zoned RA-2.

With respect to each of the above points we have the following specific comments:

Non-compliance with North Valley Area Plan

Goal 2a on page 5 is "To preserve and enhance the environmental quality of the North Valley by maintaining the rural flavor of the North Valley".

Goal 2b on page 5 is "To preserve and enhance the environmental quality of the North Valley by "controlling growth and maintaining low density development."

Neither of these goals are met by placing 12 dwelling units, almost 10 dwelling units per acre, on a lot zoned for 4 or 5.

This property is located in the "Established Urban" area of the North Valley Area Plan which states: "This area is intended for gross densities up to 5 dwelling units per acre, and infill is encouraged" (see page 43 of the North Valley Area Plan). The proposed density of 10 dwelling units per acre does not comply with the NV Area Plan.

Although the North Valley Area plan recommends the use of cluster housing principles it also recommends a minimum of two acres for clustered housing (see 4.a on page 15 and 130). The zoning code also requires a 2 acre site for cluster housing on RA-2 property. **This is a 1.24 acre site and thus 25% less than the 2 acres recommended for clustered housing.**

Violations of goals and regulations of the Rio Grande Boulevard Corridor Plan

The subject property is in sub-area 3 of the Rio Grande Boulevard Corridor Plan, passed by the City Council in 1989. There are seven sub-areas (see the Table of Contents) and sub-area 3 is one of the two northern most sub-areas and subject to goals for the least dense residential development. Specific comments related to sub-area 3 include " **The existing low density residential zoning in Subareas 3 and 4 blends well with the adjacent predominately semi-rural neighborhoods. Offices, commercial development and higher density residential development would conflict with the semi-rural quality of the area while greatly increasing traffic flows on the boulevard.**"

The plan goals include the following: "Continue to control residential densities and land uses through existing zoning" (page 8, item B).

On page 40 of the plan there is Regulation 2.A which states "Rezoning for more intense uses should be granted only if the applicant can demonstrate that higher density will not change or adversely affect the nature of the subareas identified in this plan." The proposed development will both change and adversely affect the nature of sub-area 3.

Does not meet the conditions of 270-1980

The application does not meet the requirements of 270-1980:

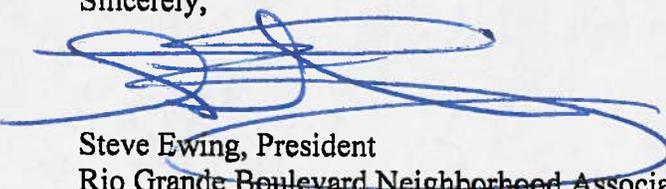
1. No error or mistake was made when the site was zoned RA-2.
2. Conditions at the site and adjacent properties have not changed.
3. Change from the current 2 dwelling units to 12 does not improve the neighborhood and violates the goals and regulations of the Rio Grande Boulevard Corridor Plan.

Non-adherence to requirements of the Zoning Code

1. Section 14-16-2-5 (A) 2 states that a minimum of 2 acres is required for a Private Commons Development in the RA-2 zone. The site is only 1.24 acres.
2. Section 14-16-1-4 states that if there is a conflict between ordinances, resolutions, or covenants then the one with greater restrictions should prevail. The Rio Grande Boulevard Corridor Plan, Resolution 6-89, has the greater restrictions and should prevail over the Comprehensive Plan and North Valley Area Plan cited by the applicant.

In summary the proposed development does not comply with the North Valley Area Plan, the Rio Grande Boulevard Corridor Plan, or the zone code. Most importantly, it does not meet the requirements of 270-1980 which guide decisions for zone changes. We respectfully request that the EPC deny the request to change the zoning from RA-2 to SU-1.

Sincerely,



Steve Ewing, President
Rio Grande Boulevard Neighborhood Association

cc: Stephanie Winklepleck, Office of Neighborhood Coordination

ALVARADO GARDENS NEIGHBORHOOD ASSOC.

November 28, 2015

Maggie Gould (mgould@cabq.gov)
Planning Dept, City of Albuquerque
800 Second Street NW
Albuquerque, NM 87102

(sent via email plus hand-delivered hard copy)

To: Maggie Gould

Copy to: Peter Nichols, Chairman, EPC

Re: EPC Project # 1003373 located at 3010 Rio Grande Blvd. Hearing Date- 12/10/15

The Alvarado Gardens Neighborhood Association (AGNA) is directly across the street from the subject property, and has been notified of the hearing for a Zone Change and has met to consider our position on the project.

Five of our Board members attended the facilitated meeting on Nov 24 and listened to comments on both sides of the matter. At a separate Board meeting Nov 28, a quorum of nine (9) Board members attended and voted to support the project with some conditions.

We believe that the project will be in compliance with Resolution R-270 1980 E; contingent on the EPC adoption of the following conditions noted below:

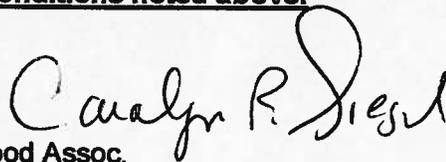
- 1.) Create more open space at the Boulevard (west) side of the project. This will provide a deeper setback at the street and will have the visual effect on the neighborhood and community of creating a sense of open land, thereby perpetuating the semi-rural feel of longer lots and the valley in general.
- 2.) Solid Waste collection should be adjusted so that the project's residents can share a dumpster (and recycling collection) or collect waste inside the property and not place individual refuse bins out along Rio Grande Blvd.
- 3.) Precedent: We understand there is concern among some residents that this project would set a precedent in the area. Our support for this project is conditional on our understanding that it not set a rigid precedent for future projects of a similar nature in our locale and that future proposed projects be reviewed on their individual merits.

In addition, some members of our Neighborhood Association expressed concern about traffic and density, but also note that the existing permissive (RA-2 zoning scale) of single family dwellings, placed on individual lots would potentially create a more intrusive or over-bearing presence and higher footprint ratio ((less open land) if pressed to maximum potential.

In many ways, the proposed project as more appropriate than current zoning, would maintain more of the sense of "open" land and character of the North Valley and supports diverse housing types within the neighborhood. We support the project with conditions noted above.

Thank you for considering our perspective.

Respectfully,



The Board of the Alvarado Gardens Neighborhood Assoc.

Board Members voting: Carolyn R. Siegel, Pres.; Yolanda Homann, Treas.; Jill Schneider-Taylor, Sec'y; Bruce Baumgartner; Crystal McAlerney; Don Michaelis; Veronica Reed; Talia Sledge; Katherine Chilton.

*** Contact info: Carolyn R Siegel, Pres.: crsiegel@swcp.com 344-6746 h, 715-3318 c
2726 Candelaria Rd. NW, Albuquerque, NM

Gould, Maggie S.

From: Judi Stallings <judistallings@live.com>
Sent: Saturday, November 28, 2015 9:12 AM
To: Gould, Maggie S.
Cc: Howard Stallings
Subject: Project Number 1003373

Maggie Gould
Staff Planner

Dear Ms. Gould,

I am writing to express my opposition to the proposed change of zoning at 3010 Rio Grande Boulevard from RA-2 to SU-1 for a twelve unit housing development. The proposed change in zoning is not compliant with the North Valley Area Plan, Rio Grande Boulevard Corridor Plan and the section of the Zoning Ordinance applicable to parcels zoned RA-2. My husband and I have lived in the valley for over 25 years. We enjoy the semi-rural neighborhood and the quiet laid-back nature of the area. Over the years we have seen more and more development replacing single family homes with multi purpose, multi family dwellings. The increase in population in the near north valley has brought with it increased traffic and the need for more services which changes the unique dynamic of the neighborhood. We live less than a block away from the proposed development and I would like my opposition to the project to be on record. Thank you.

Judi Stallings
2309 Camino de los Artesanos NW
505-341-0167

Sent from Windows Mail

Kevin Tolman
3009 Camilo Lane NW
Albuquerque, NM 87104
U.S.A.
505.842.5072

November 23, 2015

Mr. Peter Nicholls, Chair
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102

Re: The Acequia Tranquila Project

Dear Mr. Nicholls:

I have lived in the Los Duranes area for forty-one years and have owned my home in this neighborhood since 1987. I would like it to be made known how very pleased I am with the group of small homes that are proposed by Garrett Smith as Acequia Tranquila.

This is exactly the type of infill and development that many of us would like to see more of in the near North Valley. The city should be 100% behind this type of development for a variety of reasons, chiefly as a perfect addition to the very idea of community. I believe this development would create a link to the past in a way that at the same time looks to the future. There is an obvious need for beautiful, efficient, and not-so-grand homes to be built on smaller parcels of land throughout Albuquerque. The homes themselves are truly well designed and will integrate into the existing neighborhood via a most pleasing open and agricultural plot plan. In my mind, this is an ideal model for the type of future development our city should strive for. Also, I truly believe that not only will our quality of life be enhanced, but our property values increased.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Tolman". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kevin Tolman

**Mr. Peter Nicholls, Chair
Environmental Planning Commission
600 Second Street NW
Albuquerque, NM 87102**

Re: SUPPORT of Acequia Tranquila

The North Valley has the most charming, distinct, and desirable lot patterns in the city. They derive from agricultural land grants running in narrow strips oriented river to mountain (west to east). They were subdivided over the generations to allow for multi-generational living in a most pleasing density.

Acequia Tranquila builds upon this tradition, allowing multi-generational living in a density that is more akin to the historical nature of the Duranes, Old Town, and other treasured parts of old Albuquerque.

The homes are affordable, priced well below average new homes in the north valley.

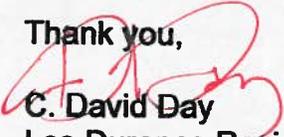
Acequia Tranquila is modeled on Acequia Jardin , a 10 unit infill development completed in 2013 adjacent to the COOP grocery center.

The development is located in proximity to public transportation, walking and bicycle paths, the Rio Grande Nature Center and Bosque park and commercial and retail venues close to many of the cities activities and facilities.

The design supports a neighborly community while still maintaining a sense of privacy within the walls of one's home.

This kind of infill should be encouraged and should be allowed by right !
Rio Grande Boulevard has been seriously degraded by the awful flag lots with oversized faux-tuscan suburban house developments, wide concrete curbed streets, and gated communities.

Thank you,


**C. David Day
Los Duranes Resident
1913 Gabaldon Ct. N.W.
Albuquerque, NM, 87104**

Dear Mr. Peter Nicholls,

I am a resident of the North Valley, I reside at 3615 Conrado Lane NW 87107. I am writing to you to express my support for a proposed new development in my neighborhood.

The proposed new development is **Acequia Tranquila**. This development of 12 smaller size homes (approx. 1000 sq feet) that will be affordable and priced well below the average new home in the North Valley.

This is really needed as my husband and I just moved to a new home in the North Valley as I love the Valley and I have been a resident of Albuquerque since 1975. The North Valley is a special place to live and the average person cannot afford to live in the Valley, as the price of homes is over \$400,000. We were fortunate to find a lot and build a home slightly 2,000 sf and have access to the Acequia, as well as, other walking and running trail in the North Valley.

Garrett Smith has designed Acequia Jarden, which is a lovely development next to the COOP grocery center.

As a designer and a resident of the North Valley, Garrett has incorporated the old agricultural elements of the North Valley when designing the New Proposed Development -**Acequia Tranquila**. The proposed new development -**Acequia Tranquila** will be 12 single story homes with both private and community outdoor spaces which will include over a quarter acre of community garden space, which will be watered by the north valley Acequia system.

This is a "green" development and it follows the City of Albuquerque Rio Grande Corridor plan for sensitive infill development of old agricultural properties.

This development will be a lovely addition to the Rio Grande Corridor and I am in full support for Acequia Tranquila.

Sincerely,
Mari-Pat Weber
3615 Conrado Lane NW
Albuquerque, NM 87107
mpweber@mplm.bz
480-550-0107 cell

1912 Tierra Vida Pl. NW
Albuquerque, N.M 87107

Mr. Peter Nicholls, Chairman
Environmental Planning Commission
Planning Department
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87102

Project No. 1003373

Dear Mr. Nicholls and Members of the Commission;

As the landowner of 3010 Rio Grande Blvd and resident of the neighborhood I am fully supportive of the project proposed by Garrett Smith for the site. The proposed project is not only consistent with the values of the North Valley as expressed in the North Valley Area Plan and the Rio Grande Corridor Plan but is a creative expression of much that we hold dear in the Valley.

The clustered homes provide opportunity for land for open space and agricultural uses. The community parking spaces minimizes land taken by roadways and encourages walking and connectedness. The small home footprints makes them affordable to buy and to operate while appealing to elders, boomers, downsizers and empty nesters. The site and home designs, front porches, common footpaths through the home clusters, common parking and common agricultural land is a formula for human interaction the building block of community. For people of any age but especially for elders community translates to safety and self-reliance (aging in place).

My congratulations to the design team for creating a very attractive project and producing something that adds to the sense of community and is also affordable. When completed we will relish walking the ditch path and peeking in on a highly integrated, energy efficient and communal refuge in our own neighborhood.

Sincerely,
Ken Balizer

Catherine Hogan
2720 Sheridan St. NW
Albuquerque, NM 87104
Alvarado Gardens Neighborhood Association - Elected Board Member

ON THE RECORD REQUEST

For Consideration by Environmental Planning Commission
At December 10th EPC Meeting

Regarding: Facilitated Meeting 11/24/15 Los Griegos Community Center between Rio Grande Neighborhood Association, Alvarado Gardens Neighborhood Association and the Proposed "Compound" Development: (proposed) Asequia Tranquillo (Project# 1003373). Because AGNA Board Members present at the facilitated meeting did not meet the number present were too few in number to make quorum for a "Board Generated Letter to Support/NOT Support" the proposed Compound Development (Project#1003373) AGNA President C. Siegel suggested we submit individual letters.

Dear Sir and Madam,

November, 25 2015

After careful consideration and review with neighbors who are permanent residents within AGNA, and surrounding neighborhoods I am obliged to withdraw any support for such a development at this time. To schedule a meeting at such short notice and during the busiest time of the year for travel and families is carless and irresponsible considering the magnitude of change such a project is proposing for a traditionally rural Rio Grande Corridor and Equestrian friendly gateway. A community is developed by working with the existing individuals. Drawing from their concerns and working within the frame work of the Master Development Plan should be a process leading to a final facilitated meeting of this nature. Had a community assessment been initiated prior to the planning and development the facilitated meeting, charts, maps, personal time invested, and valuable discussions could all have been used for a productive outcome and not the frustrated, anxiety induced ram-rod version this has become over the Thanksgiving and Christmas holiday season.

Individuals who have invested time, energy and expense in this area should receive serious consideration to enhance the existing quality of life and refrain from repeating the reselling, over parking, over built compound they built south of the Los Montanitas Co Op on Rio Grande and Mathew, Albuquerque, NM in the North West Corridor. Agreeing to any change in zoning from RA-1 to become Special Use-1 is another attempt to further damaged a very fragile North Valley life style and eco system. This facilitated meeting and final plan befits the expression, "Do not put the cart before the horse."

This stretch of Rio Grande is a traditional, and preexisting generational area of the North Valley. It's economic and educational structure is a rural mix of incomes, home styles, domesticated animals and individual life styles. Traditionally we all work together whether building a fence, a new barn, an addition to accommodate the growing family, or in passing in a manner which shows respect for our immediate and distant neighbors. A true rural community built from roots, from the time the Rio Grande's flooding was not controlled, when bridges and road ways didn't carve up the existing farming

and ranching communities. A gentler time when roundabout's belonged to the small streets of France and Italy and nod or tip of the hat was all that was needed to address the oncoming traffic. Stop signs and signal lights belonged to the city folk. For Rio Grande Boulevard was just that, a gateway to old town and means for community to gather.

As all matters are subject to change, this area of the North Valley community received enough blows to its concept of rural city living in just the past decade, where today the already existing acres are presently and have been carved up for ¼ acre to 1 acre lots, and not because they are being deeded to the children or relatives. Presently these acres (plus) are being devoured by Mega developments who are immune to investing themselves through years of blood, sweat and tears into the land and thus building on community. Thus, the preexisting communities suffer the dramatic loss of its heart and soul due close proximity building in the name of "community living."

Value of and for these parcels are what it offers to its neighbors. Value is developed through community and working together. Carving up the acres to accommodate 3-4 homes with families intended on sewing their roots is empowering to members of this community. Yet such development is portrayed as vile and wrong by those developers whose value is seen in dollar signs and where another \$400,000.00 is more important than roots and they choose to put 8-12 homes on an acre or less. These community developers like to call this mega building as "Green" "Clean," and a "smaller foot-print" than two or three permeant families.

The proposed green, clean, low foot print homes are barley apartment size and do not encourage longevity. The proposed development demands TWELVE not three homes to be built. There are no fences to visit across, there is no domestic animal area, there are not back yards to barbeque, hang your laundry to dry, or just enjoy the visual pleasantry. These developments do not promote personal investment and pride. These forms of redevelopment demand for the existing community wear "rose" colored lenses and ignore the reality of yet another mega developed acre. Six trees do not make an orchard. Gardening is a life style, a hobby, a love of land, not to be exploited by Platinum status in a huge footprint of Compound living where most of the land is occupied by buildings, cement, garbage containers and storage, parking structures, and personal yard debris.

The pitch regarding interested age groups (50 plus) for this type of compound living is absurd. Having walked the intended area, the proposed walking trail from the intended orchard along the east and west banks of the very narrow "irrigation ditch" is pie in the sky thinking. There is no room to walk along the West bank. Whether a person is limber, agile, handicapped, or elderly the advertised access to the ditch is not ADA compliant-nor can it be due to the property boundaries'.

Uneven paths are some of the most dangerous terrain for elderly, handicapped or youngsters to maneuver. Putting in a bridge, to cross over from the west developed area to the East side (semi private) trail would be the first in this area and would introduce mega concept-foot traffic to the quiet, meticulous landscapes of the private lives of the existing residents. While walking along the path proposed by members of the mega home compound development, I couldn't help but feel the serenity, the hard fought years of gardening. The years of painstaking planting, pruning and decorating the residents had invested to create such a peaceful, earth friendly and almost heavenly space which may have been envisioned as *value* in their acquisition of the surrounding parcels. The proposed development would not compliment such an endeavor by such invested residents by devalue their homes and their lives. And yet the developers tout their hearts are into a community concept of building. Looking from their perspective and even through rose colored lenses, as suggested, I do not see or feel the love in such a proposed "Green" development within this area of sleepy North Valley.

To add yet another over built acre is not a solution to community building. It is not adding to those who have invested in homes, land, families and occupations to become a productive member of this rare and vanishing rural life style within city limits. Adding twelve residential buildings for up to 24 vehicles, not including visitors; 24 garbage and recycling containers to be placed in front of short property boundary on what will go from a present four lane (plus middle turning lane) to a two lane street just 30 to forty yards south of the approved and very contentious Round About at Candelaria and Rio Grande is to add insult to injury. A traffic study with the present identified traffic volume will not accurately reflect the impact so many more homes and vehicles will add to the situation without the roundabout being built. Development in such a rural area requires time to finish what is a proposed solution to traffic flow without adding what could become a potential problem to the already proven traffic congestion of today.

In addition, the pollution scale for 12 units on 1 acre begs for assessments and a thorough examination of the results measuring: pedestrian impact, up to and maybe more the 24 additional vehicles entering and exiting the compound and: Where do they all park in the compound should they all be home at the same time? What is the carbon foot print, the lighting pollution in the day with shiny metal roofs and at night when outdoor and indoor lights are light? Do they use LED lights? How are the HOA Covenants enforced and by whom, and for how long? Why don't the developers think a security or access gate could ensure the stability of the intended HOA and its very common space? What are the predicted levels of Decibels of voices, HVAC heating cooling, engines, inside and outside residential noise, the domestic animal noise and pollution, opening and shutting windows, doors, and storage areas all within this acre? Will the Six proposed trees (the orchard) and garden survive the intended .20 acres to be used as a water catch in case of flooding? Where are these studies and their results?

To address the concerns of the community is a beginning not means to the end for the proposed development for 12 additional homes, by changing the zoning from rural to special use and allowing mega building in a line instead of a colvesac. To ignore the traditions and livelihoods of the existing community is to ignore the Master Plan for this special and historical section of the Rio Grande Corridor. Let's not split hairs on this intended project. There are many concerns that the Facilitators David and Maggie noted during the meeting. The community needs to be heard and listened to for once in this vanishing rural area. Green building can be a plus for community living in these rapid changing times. But sometimes change must come in small steps, heartfelt and without disregard. For once proposed compounds should let us allow for a traditional rural approach in addressing the concerns of all parties involved. Please paus, and exchange a tip of the hat during these fast paced and ever-changing times.

Respectfully,

/s/ Catherine T. Hogan, MSW

Catherine T. Hogan, MSW
2720 Sheridan ST. NW
Albuquerque, NM 87104
(505) 850-7166

Gould, Maggie S.

From: SALLIE <scervera@comcast.net>
Sent: Friday, November 27, 2015 4:48 PM
To: Gould, Maggie S.
Subject: Fwd: . And because of the countless concerns expressed both during the facilitated meeting, and after the meeting by many long- time residents and members who could not be present at the spur of a moment during the busiest travel week of the year. h...
Attachments: Asequia Tranquilla proposed compound South Candilaria east side Rio Grande.docx

I Sallie Andrade Cervera Agree with this attachment. contact info: 5054106500. on the board of Alvarado Gardens.

----- Forwarded Message -----

From: CATHERINE T HOGAN <cathysandy@msn.com>

To: scervera@comcast.net

Sent: Fri, 27 Nov 2015 22:31:01 -0000 (UTC)

Subject: . And because of the countless concerns expressed both during the facilitated meeting, and after the meeting by many long- time residents and members who could not be present at the spur of a moment during the busiest travel week of the year. have yet

hope this helps keep them out.

To: Maggie Gould,

Comments for Consideration by Environmental Planning Commission regarding the Proposed "Compound" Development: (Project# 1003373) at the December 10, 2015 public hearing.

I would like to object to this proposed zoning change and to the 12 household "Compound" development. Per R-270-1980: Policies for Zone Map Change Applications:

- A) The proposed zone change is inconsistent with the health, safety, morals and general welfare of the North Valley Area Plan and the Rio Grande Boulevard Corridor Plan for Subarea 3 - Indian School to Griegos Road. The property is below grade and the applicants have discussed pumping waste water instead of bringing the property to grade to facilitate normal sewer design. The area is not only heavily used by pedestrians and bicyclist, but is also informally used as an equestrian corridor and safety will be compromised by this heavily saturated development. The proposal is not in alignment with the historic, residential and landscape characteristics of the North Valley river corridor.
- B) Stability of land use and zoning is especially desirable for the North Valley Area and the Rio Grande Corridor Plans. The project fails to provide a sound justification for the change.
- C) The proposed zoning change is in significant conflict with adopted elements of the North Valley Area and the Rio Grande Boulevard Corridor Plan.
- D)
 1. There is no error in the existing zone maps
 2. The North Valley and Rio Grande Corridor neighborhoods and community has not suffered a significant change.
 3. A different use category than outlined in the North Valley and the Rio Grande Boulevard Corridor Plans is not advantageous to the North Valley community, adjacent neighbors nor to motorized and non-motorized traffic.
- E) A change of zone will be harmful to adjacent property, the neighborhood and the community; as addressed in the North Valley Area Plan and the Rio Grande Boulevard Corridor Plan. Adjacent land owners will have communal parking areas and trash receptacle areas along their property boundaries, as well as increased noise, traffic and light pollution.
- F) A proposed zone change should require expenditures for a Traffic Impact Study per the North Valley and the Rio Grande Corridor Plans and should be done so taking into account the Candelaria and Rio Grande round-about planned construction.
- G) Economic benefit to the applicant "...shall not be the determining factor for a change of zone." The "Compound" project should not be a factor based on the owners/developers economic situation. The land and its current zoning are viable for development using the existing zoning.
- H) Location on a collector or major street is not in itself sufficient justification for apartment, office or commercial zoning. While the applicant is not calling the development apartments, the dwellings are of comparable size to apartment living, with apartment living type parking design, and includes duplexes (In North America, a duplex house is a dwelling having apartments with separate entrances for two

households. This includes two-story houses having a complete apartment on each floor and also side-by-side apartments on a single lot that share a common wall).

I) This zone change request will give a zone different from surrounding zoning to one small area, and it will not

1. Clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan (see North Valley Area and Rio Grande Boulevard Corridor Plans).

2. The area of the proposed zone change is different from surrounding land, but it will not function as a transition between adjacent zones; the site is suitable for the semi-rural uses allowed in adjacent zones and has no topographic, traffic, or special adverse land uses nearby; also the nature of structures already on the premises are suitable for the uses allowed in any adjacent zone.

J) A zone change which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Again, it will not clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan and it will not function as a transition between adjacent zones nor is it unsuitable for uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The Rio Grande Boulevard Corridor Plan – Subarea 3 irrigation ditches, low density residential land uses and informal residential landscaping are some of the North Valley's cherished characteristics. The few sites with high walls and parking lots adjacent to boulevard right-of-way interrupt the continuous green band of front yard landscaping. Equestrians using ditch banks as an informal trail network have difficulty crossing Rio Grande Boulevard. The proposed "Compound" will not improve access to walking trails or ditches, in fact it will impede such access by a high influx of traffic coming from twelve new households on 1.24 acres with a single access point on Rio Grande Boulevard. This project will only impede the smooth movement of traffic on Rio Grande Boulevard.

The Plan concepts are to provide improved pedestrian and equestrian access, landscaping on publicly lands and design requirements to enhance and conserve existing character on properties adjacent to the public right-of-way that will tie this suburban and semi-rural residential area functionally and visually to adjacent North Valley neighborhoods.

Transportation policies are concerned primarily with improving non-motorized transportation. Adding a "Compound" will be detrimental to safety of non-motorized transportation.

Motorized transportation will also become more congested, especially in light of the turn-about to be installed at Candelaria and Rio Grande Blvd. A traffic study taking into account the turn-about is essential for consideration of the "Compound" Project.

Low density residential zoning blends with the adjacent predominantly semi-rural neighborhoods, and higher density residential development of this "Compound" would conflict with the semi-rural quality of the area while also greatly increasing traffic flows on the boulevard.

The Plan indicates that heritage and sense of place in the community should be considered. The "Compound" adds to losing the elements that make it a scenic roadway and the historic, residential, and landscape characteristics of the corridors river valley location. This high density "Compound" with 12 small households, no individual property boundaries, apartment style parking, refuse and recycling areas, does not promote pride in ownership and undermines the historic right-of-way and gateway to the cultural amenities of this city.

The Rio Grande Boulevard still has the potential to become a street that highlights valley history, reflects the rural character of it surrounding neighborhoods and capture the vitality of its focal point, Old Town. The Plan provides for mechanisms for reintroducing adjacent neighborhood character in and adjacent to the public right-of-way while providing for vehicular, pedestrian, bicycle and equestrian transportation needs and recreational trail crossings.

Rezoning for this "Compound" will change and adversely affect the unique nature and identity of the subarea in both the North Valley Area and the Rio Grande Boulevard Corridor Plans. The plan encourages retention and expansion of the areas rural character and features. The "Compound" would remove the semi-urban zoning and flies in the face of the goals of the existing Plans.

I live very close to this proposed project. It is directly across from my only access roads (Campbell, Oro Vista and Candelaria onto Rio Grande) to exit my property to work, shop and enjoy our city. This high density "Compound" does not fit into the Rio Grande Boulevard Corridor Plans nor the North Valley Area plans, especially in light of their request for a zoning change. I hope the City Council would also see how this "Compound" re-zoning would not benefit the North Valley and should be considered instead for an area such as the Nob Hill Area on Central Ave. or some other better suited location.

Thank you for your consideration on this matter.

Sincerely,

/s/ Sandra Raun

Sandra Raun
2720 Sheridan St. NW
Albuquerque, NM 87104
(505) 850- 7165

Gould, Maggie S.

From: Susan Wasson <susansaysbook@comcast.net>
Sent: Tuesday, December 01, 2015 12:02 AM
To: Gould, Maggie S.
Subject: Fwd: Project #1003373 Rio Grande Blvd NW

Subject: Project #1003373 Rio Grande Blvd NW

Dear Ms. Gould,

NO to proposed project at 3010 Rio Grande Blvd. NW.

Rio Grande traffic is already horrid and this project, close to the intersection of RGB and Candelaria NW will make it more of a nightmare.

We suggest you come look at that area between Candelaria and Matthew between 7:00 a.m to 8:30 a.m. Watch the traffic going North on RGB to Candelaria, much of which is Valley High School traffic, and coming South from Village of Los Ranchos, RR, and Corrales. The drivers are all jockeying for position to turn onto Candelaria and there have been many accidents. AND, the traffic issues are not limited to only that time of day.

All of our neighbors on Campbell Rd NW agree - trying to pull out onto RGB from a side street or driveway is dangerous, scary, and very difficult. Putting a higher density project into that section of RGB will only make it more so.

Please do not approve this project. We all have enough trouble getting out on to RGB without the City adding minimum 12, and possibly 24, more cars in that short section of RGB so close to the major intersection at Candelaria.

Thank you.

Sincerely,

Don and Susan Wasson.
2336 Campbell Rd. NW, 87104.

Raphael and Jeannette Sanchez
2328 Campbell Rd. NW

Brenda Dunivan.
2308 Campbell Rd. NW 87104.
Mary and Raymond Zouhar.
2312 Campbell Rd. NW 87104
Marilyn and William Lindell.
2316 Campbell Rd. NW.
Gerald Sexson
2320 Campbell Rd. NW.

Joyce Kaser
2332 Campbell Rd. NW
Marilyn Gutierrez
2340 Campbell Rd. NW, 87104
Theresa Edwards
2324 Campbell Rd. NW 87104

Sent from my iPad

December 1, 2015

Peter Nicholls, Chairman
Environmental Planning Commission
c/o City of Albuquerque Planning Department
600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102

Re: EPC #1003373

Dear Chairman Nicholls:

I have reviewed the proposal and attended the facilitated meeting regarding to the above proposal. I am writing to voice my opposition.

It is non-complaint with the Rio Grande Boulevard Corridor Plan, the North Valley Area Plan, and does not meet the requirements of Enactment 270-1980.

With regard to the Rio Grande Boulevard Corridor Plan it proposes a 15-25 foot setback opposed to the 30 foot set back for RA-2 property fronting on the boulevard. Additionally, Sub-areas 3 and 4 state that "...higher density residential development would conflict with the semi-rural quality of the area while greatly increasing traffic flows on the boulevard." Placing 12 housing units, with roadway and 18 parking spaces is clearly high density. It will change the land use, from residential agriculture to high density housing, it will increase traffic and noise.

With regard to Enactment 270-1980 it does not meet the requirements for a zone change. Section G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining

factor for a change of zone. During the facilitated meeting the property owner and applicant clearly stated financial gain was one of the main purposes for the project. The applicant stated that if he could not have 12 units on the property he would not go forward with it, that it would not be feasible for he or his investors. He stated that the units would cost at least \$200,000 apiece a total of \$2,400,000. Section D 1 the applicant does not demonstrate that there was an error in the existing zone map pattern, 2 that a changed neighborhood or community conditions justify the change, or 3 a different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other City master plan, even though (1) and (2) above do not apply. With regard to number 2 the applicant does not provide proof of a public need for the change in question and that the public will be best served by changing the classification for the particular piece of property.

With regard to the North Valley plan, this project does not meet the requirement for cluster housing on RA-2 property. It is less than 2 acres. Additionally, allowing this project will set a precedent for future high density projects in the North Valley. We have lost so much open land for people, for nature that we are coming in danger losing the rural nature of the valley. Some areas are already lost, we can not as a city afford to lose any more.

I request that the request for a zone change from RA-2 to SU-I be denied.

Sincerely,

Denise R. Wheeler

3565 Rio Grande Blvd. NW

Albuquerque, NM 87107

November 30, 2015

David Gold
Facilitator/Mediator

RE: Changes to your document of Nov. 26, 2015 regarding project # 1003373

I have read through the document submitted to those attending the Land Use Facilitation Program Project Meeting Report. I was present for the entire meeting. I have some corrections that I request be submitted along with your report regarding the meeting held on November 24, 2015 for project # 1003373.

The copy I received starts at page 11 and ends with page 18. Where are pages 1-10 and are there any pages after 19?

I will go through your document addressing the issues that have come to my attention.

1. Under Meeting Summary you write 12 small footprint... the use of small is a subjective description on your part and should be stricken. An accurate description would be the actual size.
2. In the second paragraph you write "some expressed support for aspects". You fail to mention that some spoke against it. This should be included in the same sentence. The last sentence should also be deleted as you do not include those of us who spoke against it.
3. Under Outcome the third bullet you write refers to "dislike of typical North Valley development"... No one spoke of typical north valley development. The dislike was directed at recent developments that have ¼ acre homes on ¼ acre lots. There were examples of some on the newer developments and some of us said there were other developments going up and to only show the large homes with walls next to them and the boulevard was disrespectful. Your statement is not reflective of what was said.
4. Under Suggested Alternatives you leave out that people said it should be restricted to the current zoning, that it should only be four houses and that it was to many houses. Your limited description of suggested alternatives is misleading and does not accurately represent what was said.
5. Under 1) General ninth bullet you state the figures supplied by the applicant for cost per square foot. You do not state that those are from the applicant and not necessarily an accurate representation of actual costs.
6. Under Sustainability you do not state that these are arguments by the applicant and that the first three are suppositions. Homes with smaller footprints do not by definition have a lower carbon footprint. The second bullet, since they are not yet built they have not meet any standards. The third bullet is a supposition that people will not drive, and supposes, they will car pool. There is no proof that any of this will happen. To say it can has

- a similar lack of validity. The way you have worded bullets one through three is biased and needs to be acknowledged as such.
7. Under Community in the last bullet point you state that Acequia Jardin has 12 units. That is not correct there are ten. Please correct. You restate this number for AJ in other bullets please correct.
 8. Under Concerns About Density and North Valley Development. You fail to mention that some attendees asked for four (4) units only. In the second bullet you state "North Valley lifestyle." I personally do not recall anyone using that phrase. What I do recall is that people said the density was contrary to the North Valley Area Plan. The project is non compliant with the North Valley Area Plan. This needs to be accurately reflected in your notes.
 9. In the third bullet you say "...to see the Valley stay the way it was". We said we wish to see the valley stay the way it is.
 10. In bullet number 6 you state that "The applicant pointed out that the zoning code they could build 9-11 2000-3000sq' units on 5000sq'lots, right up to a 5' setback. They could also build 2 stories. While the applicant did say this they are incorrect. The RA2 zoning does not allow more than one housing unit on ¼ acre. Given the road required to access the homes this would allow only 4 homes to be built. They made a false assertion. They were called on it and you did not record that in your document.
 11. In bullets 11-13 you state, "One attendee accused the applicant of having only economic considerations." One attendee clearly asked that the record reflect that both the property owner and the applicant clearly stated that financial profit was a bases of their decision for this project and that under enactment 270-1980 financial gain cannot be the basis of a zone change. The applicant responded that economic gain was not the primary reason for the development. The applicant went on to say that he would not do the project if he could not build twelve units (12) as is would not be economically feasible to him or his investors.
 12. Under concerns About the Street Scape in the 4th bullet you state "The applicant stated there was still 15-20' of setback..." The applicant stated 15-25' of set back. At least one attendee questioned how there could be a 15-25' setback with a duplex in front of the existing house that there was not enough space for all three.
 13. Under Precedent you did not record that a change in zone runs with the land and not with the people.
 14. Under Positives about the project in bullet three you say "They seemed... " This again is you making an assumption. We were not polled, we did not raise hands, we did not agree to anything at this meeting. Your statement is not accurate.
 15. You give credence and three bullet points to one person's point of view. You do not give equal credence to those opposed to the project. These appears to demonstrate your bias.

At the meeting you said that those of us attending would have ample time to state what we had to say. Instead when we began to do that you said we could only state

a bullet point and then you said we could only say one word and you promised, " I swear to you we will have time to go over your concerns." We did not have that time and it is reflected in your report. Your report is focused on the applicant and does not fairly represent those in attendance.

Cordially,

Denise R. Wheeler
3565 Rio Grande Blvd. NW
Albuquerque, NM 87107

MICHAELIS

2708 Alejandro Lane NW · Albuquerque, New Mexico 87104 · pamelamichaelis@mac.com

November 18, 2015

Mr Peter Nicholls, Chair
Environmental Planning Commission
600 Second St NW
Albuquerque, NM 87102

Dear Mr Nicholls,

We have been informed of the planning of a development called Acequia Tranquila that is proposed to be located in our neighborhood (Rio Grande Blvd/Campbell Road).

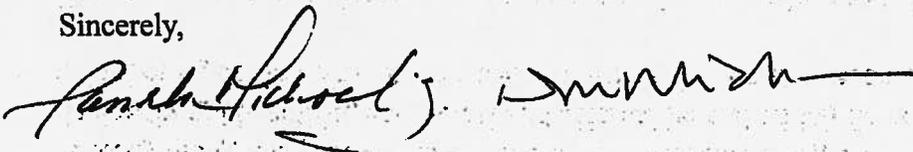
Being extremely interested in Albuquerque housing "in-fill" that is creative, beautiful, ecological, safe, and affordable we are very interested in this project. Knowing the work of the architect/developer Garrett Smith, we are confident that these homes will be all of those things — and therefore we are enthusiastically in favor of the project.

Already along this part of Rio Grande there are homes being built that are, frankly, decidedly not beautiful, ecological and affordable; and which do not pay attention to the neighboring community nor to careful stewardship of water resources.

The architecture and placement of the Acequia Tranquila homes will create a welcoming sense of community with a plaza and porches. The plans for inclusion of outdoor areas and a community garden watered by the acequia system further enhance the beauty and calm of the entire surrounding neighborhoods.

This, in our minds, is precisely the kind of creative thinking that will help Albuquerque become a greener, safer and more energy-efficient city. This project sets a remarkably good example for other builders and developers — it can work and be a positive economic force for everyone.

Sincerely,



Pamela and Don Michaelis

Gould, Maggie S.

From: janderson240@comcast.net
Sent: Monday, November 30, 2015 12:15 PM
To: Gould, Maggie S.
Cc: riograndeblvd@gmail.com
Subject: RE: project number 1003373

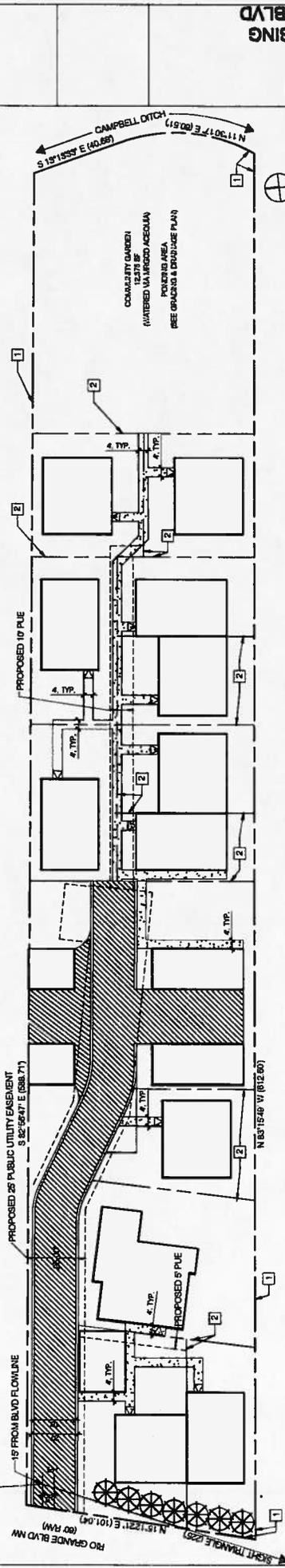
We live in the area that will be affected by this project. I see this property several times a week. I am concerned that this project is based on a lot that does not properly adjust for the conservancy ditch that cuts across the property. The submitted maps do NOT show the proper easements. Last year a property developer in this same general area tried to close off the ditch access we all require to irrigate our properties and maintain the ditches. These ditch banks are heavily used by the conservancy district and the public and may not be fenced off, however, property lines in this oldest part of Albuquerque aren't always well defined and developers don't always honor the "old ways".

(This particular section of this particular ditch appear to have been affected by some "good ole boy" deals in the past -- judging exclusively by the unusual ditch contours in this section. I'd sure like to know more about the history here.)

--- Jerry Anderson

Bernalillo County Volunteer Coordinator, New Mexico CoCoRaHS
"Every Drop Counts"

SITE PLAN REDUCTIONS



GENERAL LANDSCAPE NOTES:
 LANDSCAPE RESPONSIBILITY OF MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 COMPLIANCE WITH WATER CONSERVATION ORDINANCE
 THE RESIDENTIAL PLANT PALETTE WILL BE PREDOMINANTLY COMPOSED OF PLANTS WITH LOW TO MEDIUM WATER REQUIREMENTS. THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE DESIRED LEVEL OF VISUAL INTEREST AND SEASONAL INTEREST. THE DESIRED OF THE IRRIGATION SYSTEM TO ACHIEVE WATER EFFICIENCY AND WATER BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.
 COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS
 FOR THE SITE TO BE COMPOSED OF STABLE FAMILY RESIDENTIAL. COMPLIANCE IS NOT APPLICABLE FOR THE STANDARDS OF 814-19-2-10. GENERAL LANDSCAPE REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE.
 LANDSCAPE DESIGN
 THERE IS NO DISTURBED VEGETATION ON SITE TO BE PRESERVED. ALL PLANTING AREAS SHALL BE TOP DRESSED WITH BULDOZER BRUSH 7/16\"/>

LEGEND

SYMBOL	DESCRIPTION	SIZE	INSTALLER USE	WATER USE
(Tree symbol)	TREES			
(Circle with cross)	PERICAMPUS LERIFOLIS	24-30 L		MOD
(Square with diagonal lines)	MOUNTAIN MAHOOGANY	6 FT. HIL, 10 FT. X 10 SPL		
(Square with horizontal lines)	GRAVEL DRIVEWAY			
(Square with vertical lines)	CRUSHED PINES PATH			
(Square with dots)	CONCRETE PATH			

GENERAL LANDSCAPE NOTES:
 LANDSCAPE DESIGN SHALL BE SUBJECT TO THE WATER CONSERVATION LANDSCAPING AND WATER WASTEWATER TREATMENT REGULATIONS. ALL PLANTING SHALL BE SUBJECT TO ALL APPLICABLE REGULATIONS. ALL PLANTING SHALL BE SUBJECT TO ALL APPLICABLE REGULATIONS. ALL PLANTING SHALL BE SUBJECT TO ALL APPLICABLE REGULATIONS.
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SIGNATURE BLOCK

As the undersigned Architect, I hereby certify that the drawings of the above described project were prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of New Mexico. I further certify that the drawings were prepared in accordance with the provisions of the Uniform Building Code and the provisions of the Uniform Code of Building Regulations. I am not providing any services which require a separate license or certification under any other law, statute, ordinance, rule, regulation or code of the State of New Mexico. I am not providing any services which require a separate license or certification under any other law, statute, ordinance, rule, regulation or code of the State of New Mexico.

DATE DEVELOPMENT PLAN REVISION APPROVAL:

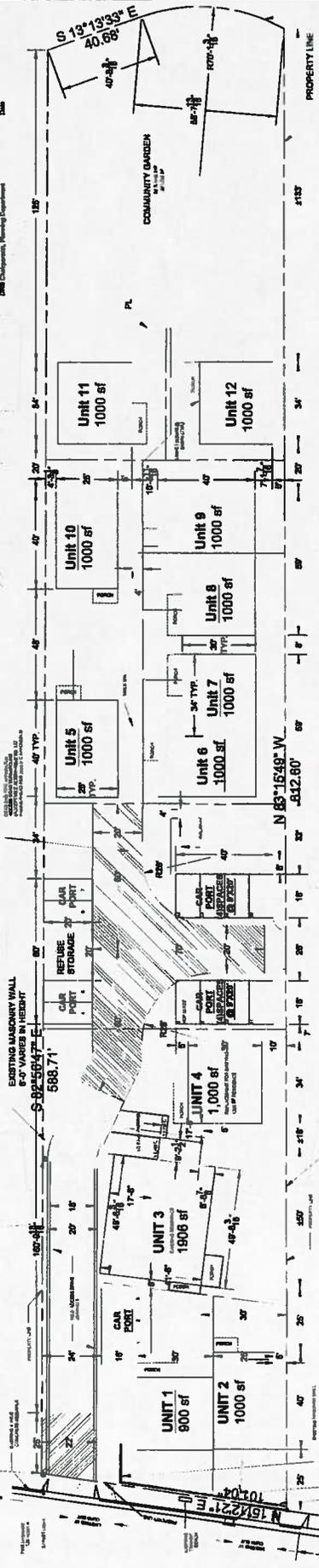
Name	Date
Thomas Engineering, Thomas Dabbs	
ARCHITECT	
City Engineer	
State Health Department (Sanitation)	
State Water Management	
State Fire Marshal	
State Department of Transportation	



A5 BUILDING LIGHTING
LOCATED @ UNIT ENTRIES

A4 PATH LIGHTING
18" HIGH

A3 VIEW FROM RIO GRANDE BOULEVARD NW



A1 Site Development Plan for Building Permit
1" = 20'

RESOURCES	EXISTING RESOURCES	NEW RESOURCES	TOTAL
RESOURCES	1000 SF	1000 SF	2000 SF
EXISTING RESOURCES	1000 SF	1000 SF	2000 SF
NEW RESOURCES	1000 SF	1000 SF	2000 SF
TOTAL	2000 SF	2000 SF	4000 SF

EXISTING EASEMENTS:
NONE
NEW EASEMENTS:
SEE SITE UTILITY PLAN

PROPOSED	EXISTING	NEW	TOTAL
PROPOSED	EXISTING	NEW	TOTAL
1	1	1	3
2	2	2	4
3	3	3	6
4	4	4	8
5	5	5	10
6	6	6	12
7	7	7	14
8	8	8	16
9	9	9	18
10	10	10	20
11	11	11	22
12	12	12	24
13	13	13	26
14	14	14	28
15	15	15	30
16	16	16	32
17	17	17	34
18	18	18	36
19	19	19	38
20	20	20	40

PROPERTY DESCRIPTIONS
LEGAL THE INTERESTS (ONE HALF)
UNIT ONE OF RIO GRANDE HOUSING
UNIT TWO OF RIO GRANDE HOUSING
UNIT THREE OF RIO GRANDE HOUSING
UNIT FOUR OF RIO GRANDE HOUSING
UNIT FIVE OF RIO GRANDE HOUSING
UNIT SIX OF RIO GRANDE HOUSING
UNIT SEVEN OF RIO GRANDE HOUSING
UNIT EIGHT OF RIO GRANDE HOUSING
UNIT NINE OF RIO GRANDE HOUSING
UNIT TEN OF RIO GRANDE HOUSING
UNIT ELEVEN OF RIO GRANDE HOUSING
UNIT TWELVE OF RIO GRANDE HOUSING

PROPOSED
EXISTING
NEW
TOTAL

ONE HUNDRED SPACES PROVIDED
SPACES WILL BE STORED @ INDIVIDUAL UNITS

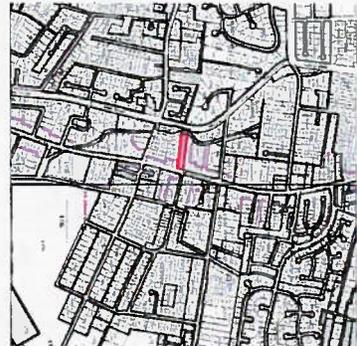
LEGEND

PROPERTY LINES
PARKING SPACES

ASPHALT

GRAVEL DRIVEWAY

- DRAWING INDEX
- SITE PLAN FOR BUILDING PERMIT
 - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 - PAVING PLAN
 - LANDSCAPE PLAN
 - CONCEPTUAL LANDSCAPE PLAN
 - CONCEPTUAL LANDSCAPE PLAN
 - CONCEPTUAL UTILITY PLAN



A2 Vicinity Map
NTS

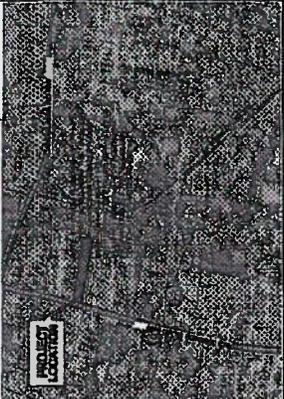


CONCEPTUAL GRADING AND DRAINAGE PLAN
 3010 RIO GRANDE BLVD

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



PROJECT LOCATION
 SIDDICROSSIN HWY TO DOWLE
 ZONE AT LAG G-19-2 HWY TO DOWLE



PROJECT LOCATION

LEGEND

ITEM	EXISTING	PROPOSED
UTILITY POLES	—	—
PROPERTY LINE	—	—
SPOT ELEVATION	X 78.0	○ 84.0
CONCRETE ON EXISTING	—	—
BLOCKWALL	—	—
CHAIN LINK FENCE	—	—
EXISTING DRIVE	—	—
CONCRETE ON FLOW	—	—
CONCRETE DRIVE	—	—
POLES	—	—
CONCRETE	—	—
GRAVEL DRIVE	—	—

CONCEPTUAL GRADING AND DRAINAGE PLAN

This plan is prepared in support of a Site Plan for Subdivision and Site Plan for Building Permit.

EXISTING CONDITIONS

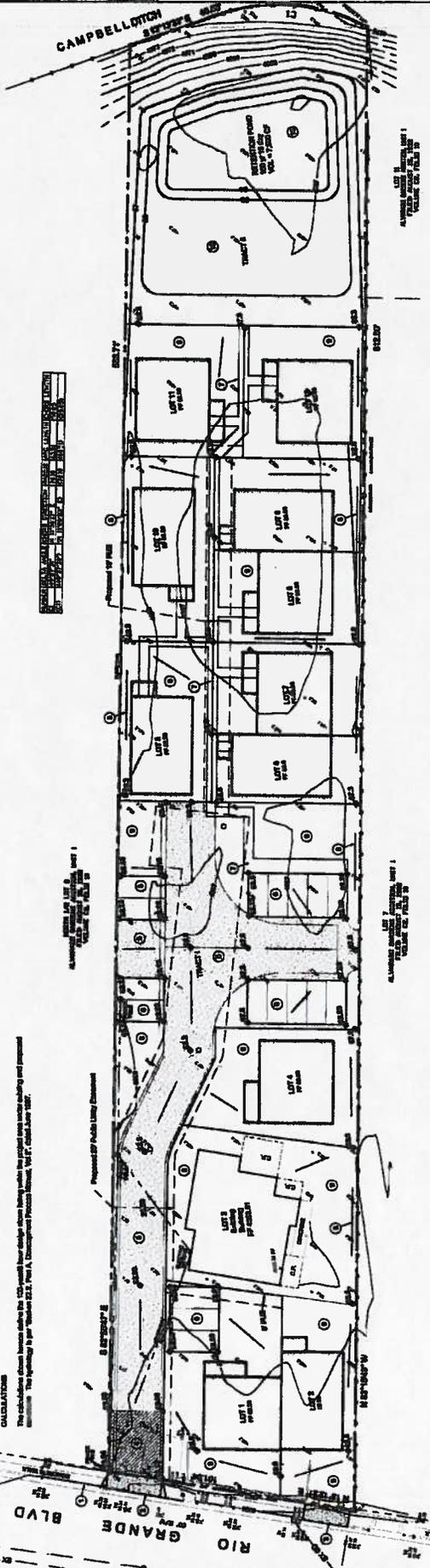
The project is located on a 10.0-acre parcel bounded by Rio Grande Blvd to the north, Campbelloch St to the east, and the existing driveway to the south. The site is currently vacant. The existing ground surface is shown with spot elevations. The existing utility poles are shown with spot elevations. The existing concrete on the site is shown with spot elevations. The existing chain link fence is shown with spot elevations. The existing drive is shown with spot elevations. The existing concrete on the flow is shown with spot elevations. The existing concrete drive is shown with spot elevations. The existing poles are shown with spot elevations. The existing concrete is shown with spot elevations. The existing gravel drive is shown with spot elevations.

PROPOSED CONDITIONS

The proposed conditions include the construction of a 10.0-acre parcel bounded by Rio Grande Blvd to the north, Campbelloch St to the east, and the existing driveway to the south. The site is currently vacant. The proposed ground surface is shown with spot elevations. The proposed utility poles are shown with spot elevations. The proposed concrete on the site is shown with spot elevations. The proposed chain link fence is shown with spot elevations. The proposed drive is shown with spot elevations. The proposed concrete on the flow is shown with spot elevations. The proposed concrete drive is shown with spot elevations. The proposed poles are shown with spot elevations. The proposed concrete is shown with spot elevations. The proposed gravel drive is shown with spot elevations.

NOTES

1. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

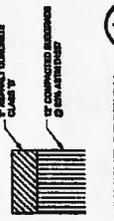


PROJECT DATA

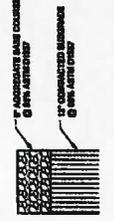
PROPERTY ADDRESS: 3010 RIO GRANDE BLVD
 CITY: DES MOINES, IA 50319
 COUNTY: POLK COUNTY, IA
 PROJECT NO.: 2024-001

KEYED NOTES

1. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
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6. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
7. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
8. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
9. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
10. CONSTRUCT 10.0' WIDE ASPHALT DRIVEWAY ALONG WEST SIDE OF LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

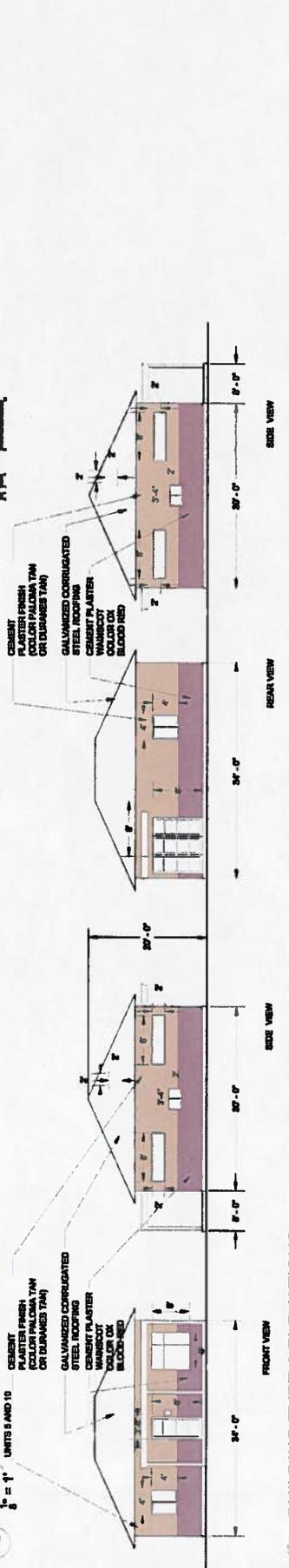
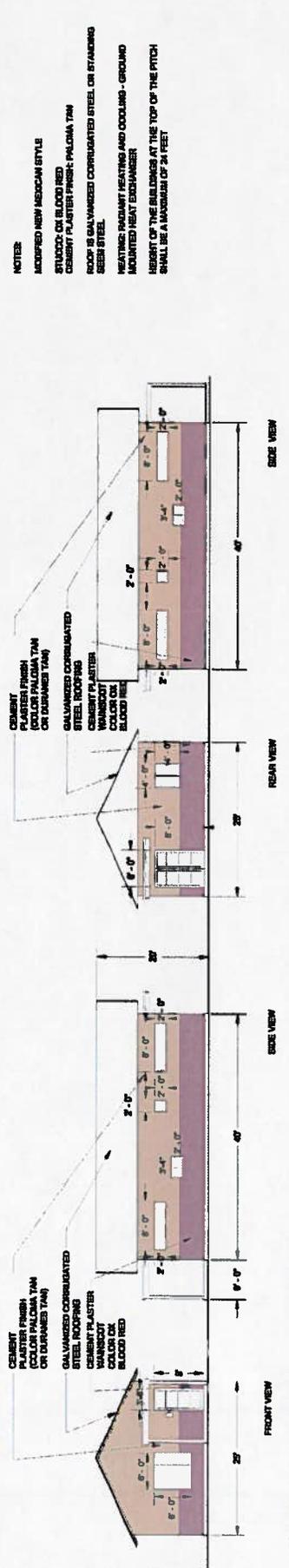
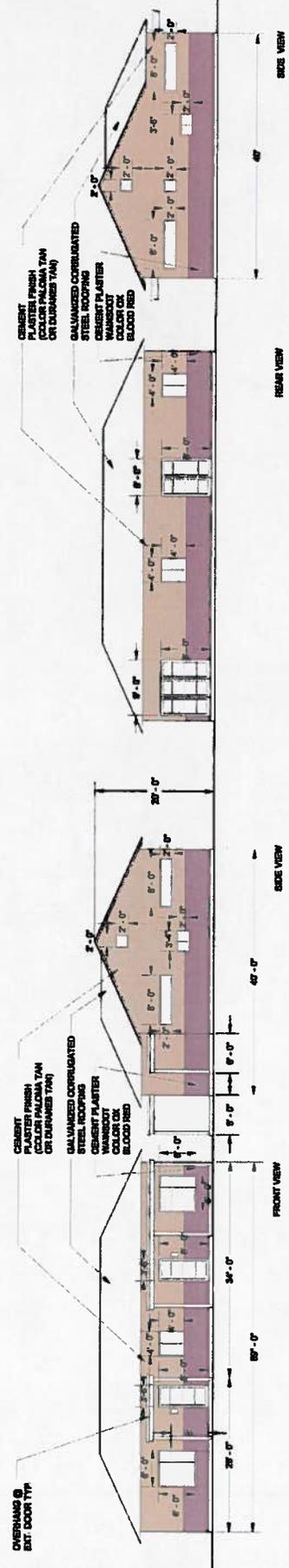


ASPHALT PAVEMENT SECTION



GRAVEL PAVEMENT SECTION

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



NOTE:
MODIFIED NEW MEXICAN STYLE
STUCCO OR BLOOD RED
CEMENT PLASTER FINISH PALOMA TAN
ROOF IS GALVANIZED CORRUGATED STEEL OR STANDING SEAM STEEL
HEATING RADIANT HEATING AND COOLING - GROUND MOUNTED HEAT EXCHANGER
HEIGHT OF THE BUILDINGS AT THE TOP OF THE PITCH SHALL BE A MAXIMUM OF 24 FEET