



**Environmental  
Planning  
Commission**

**Agenda Number: 01  
Project Number: 2018-01361  
Hearing Date: September 13, 2018**

**Staff Report**

<b>Agent</b>	Tierra West, LLC
<b>Applicant</b>	Ben E Keith Company
<b>Request</b>	<b>Major Amendment to the MDP for the Atrisco Business Park</b>
<b>Legal Description</b>	Text Amendment to the Atrisco Business Park Master Development Plan including Lot 1A, Bulk of Plat of Lot 1-A, Unser Towne Crossing
<b>Location</b>	Bounded by I-40 and Fortuna Rd NW to the north, by Coors Blvd NW to the east, and accessed by Unser Blvd NW which runs north-south through the western portion.
<b>Size</b>	Approximately 700 acres
<b>Existing Zoning</b>	NR-BP
<b>Proposed Zoning</b>	N/A

**Staff Recommendation**

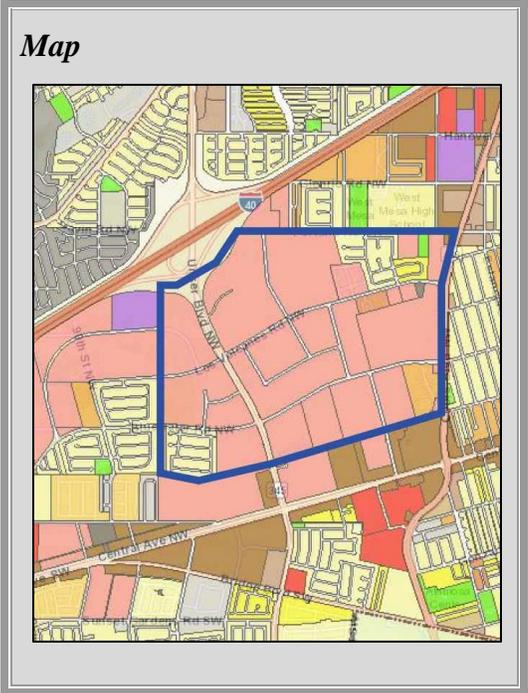
APPROVAL of  
Project # 2018-001361  
based on the Findings and  
subject to the Conditions of  
Approval in this report

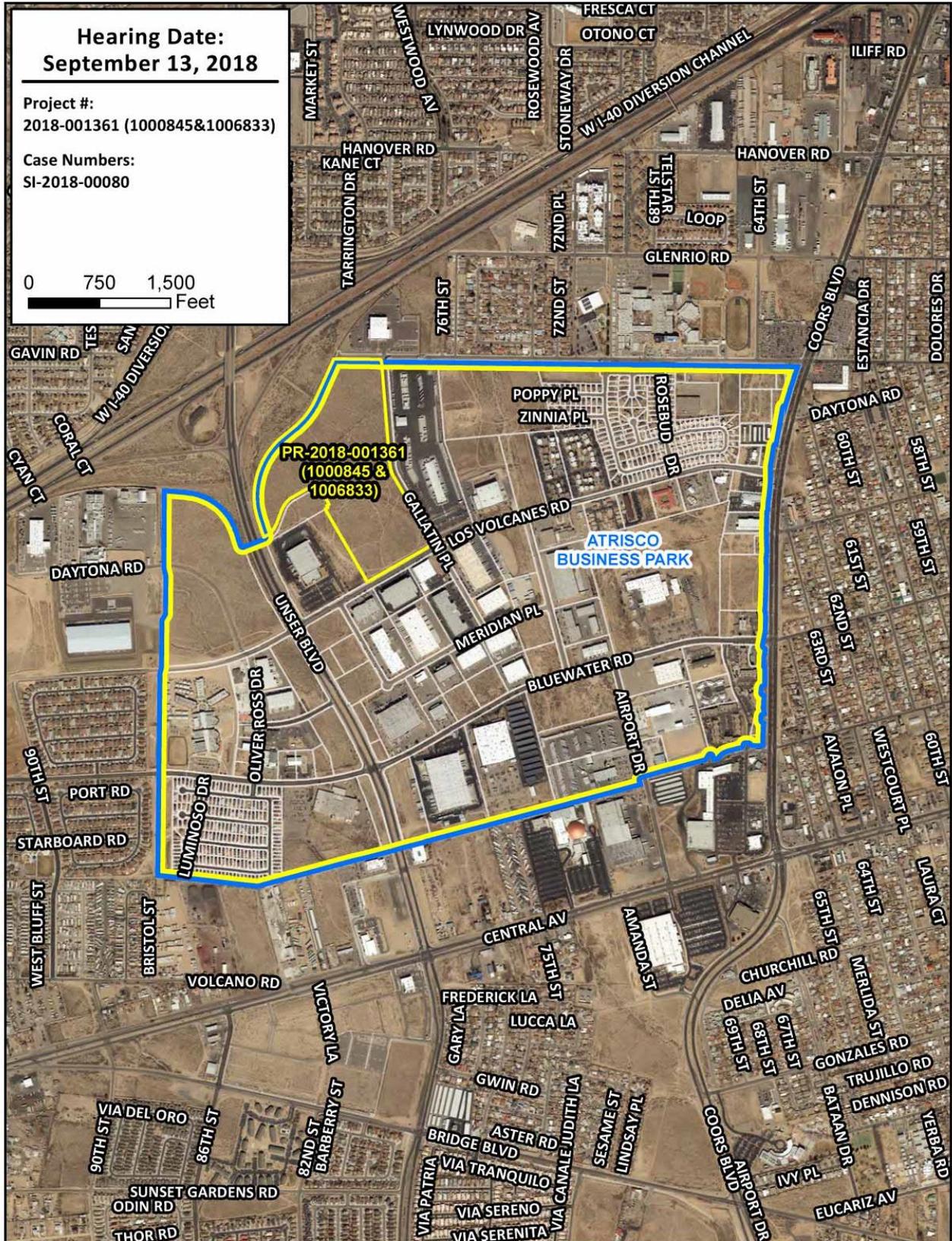
**Staff Planner  
Cheryl Somerfeldt**

**Summary of Analysis**

This is a request for a Text Amendment to the Atrisco Business Park Master Development Plan (MDP) located on the West Side of the City of Albuquerque, south of I-40, north of Central Avenue NW, to the west of Coors Boulevard NW, and on Unser Boulevard NW for sites within the Atrisco Business Park MDP boundaries. The applicant proposes to alter the standards for landscape, lighting, signage, architecture, and utilities for sites consisting of 40 acres and more. The purpose of the request is to develop the example 50.5 acre site with a light industrial facility as permitted in the existing NR-BP zone.

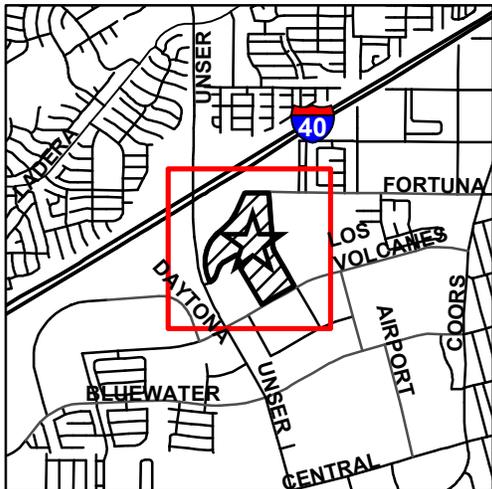
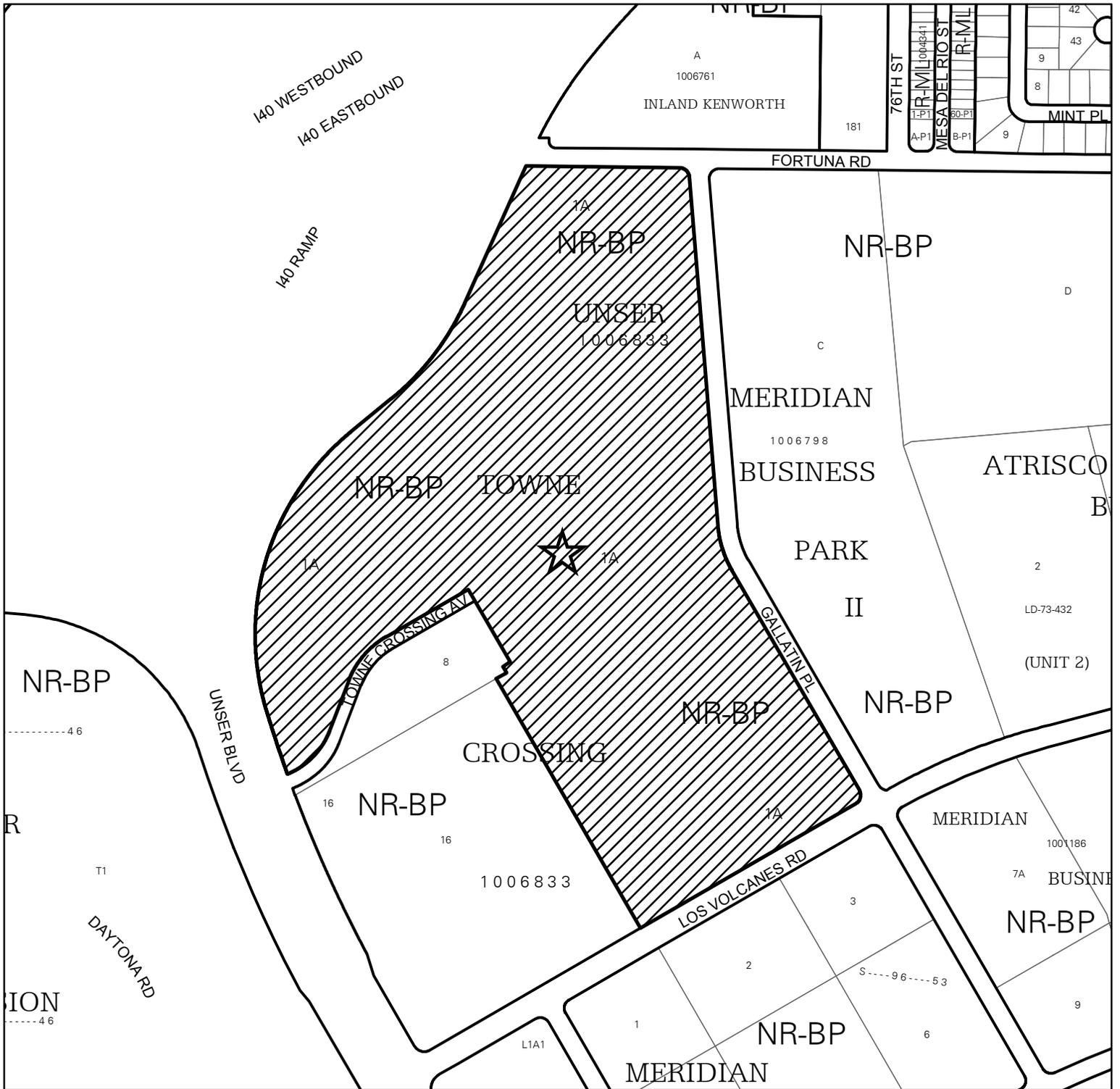
The applicant notified neighborhood associations and property owners as required. Staff has not received any comments in support or opposition to the request. Staff recommends approval with conditions.





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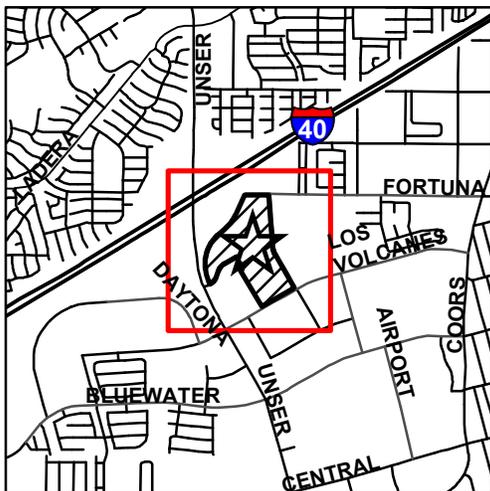
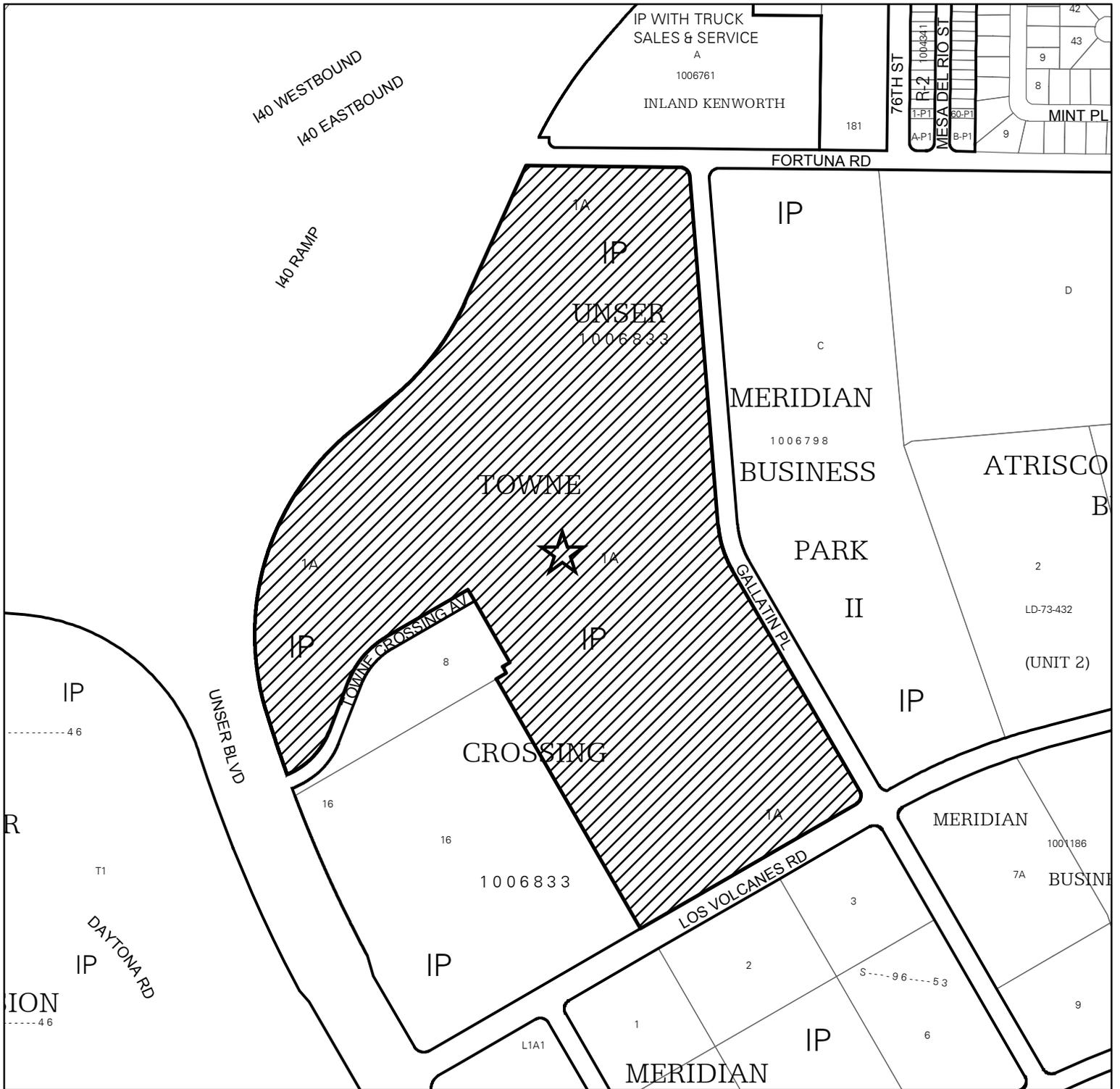
## IDO ZONING MAP

Note: Gray shading indicates County.



1 inch = 425 feet

**Hearing Date:**  
9/13/2018  
**Project Number:**  
PR-2018-001361 (1000845 & 1006833)  
**Case Numbers:**  
SI-2018-00080  
**Zone Map Page:**  
J-10



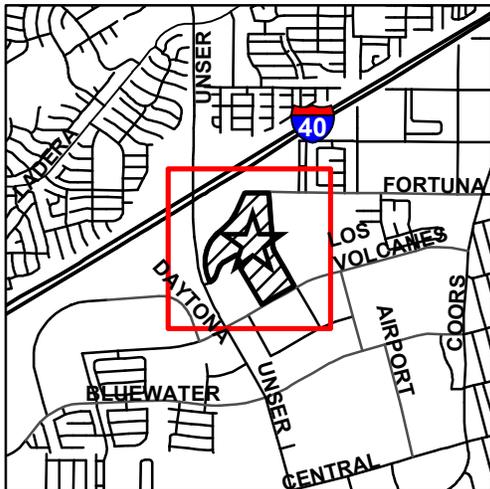
## OLD ZONING MAP

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## LAND USE MAP

Note: Gray shading indicates County.

### KEY to Land Use Abbreviations

- AGRI Agriculture
- COMM Commercial - Retail
- CMSV Commercial - Service
- DRNG Drainage
- MFG Manufacturing
- MULT Multi-Family or Group Home
- PARK Park, Recreation, or Open Space
- PRKG Parking
- PUBF Public Facility
- SF Single Family
- TRAN Transportation Facility
- VAC Vacant Land or Abandoned Buildings
- WH Warehousing & Storage



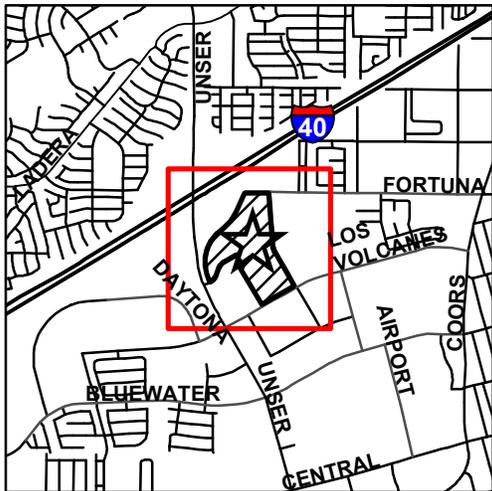
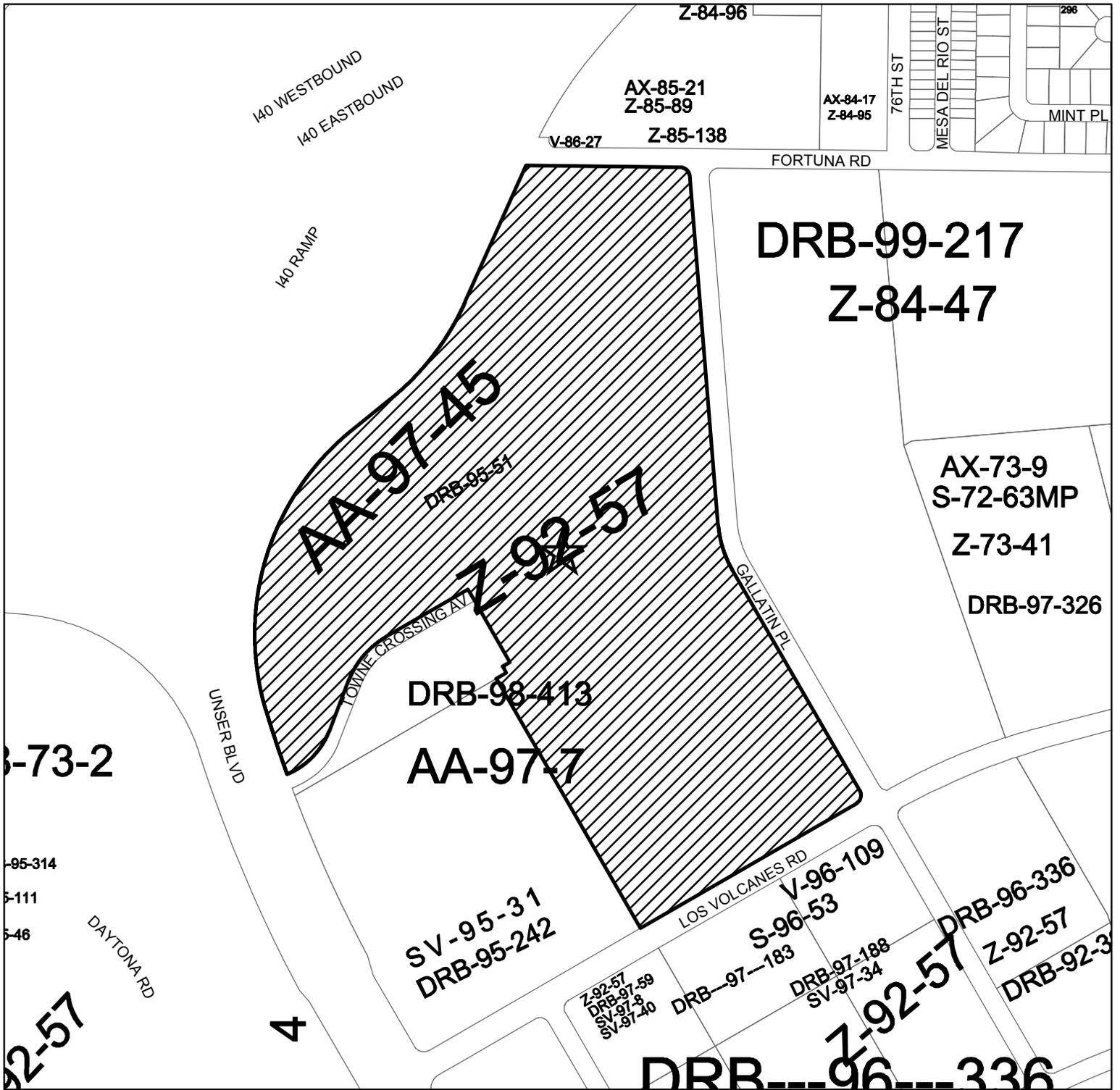
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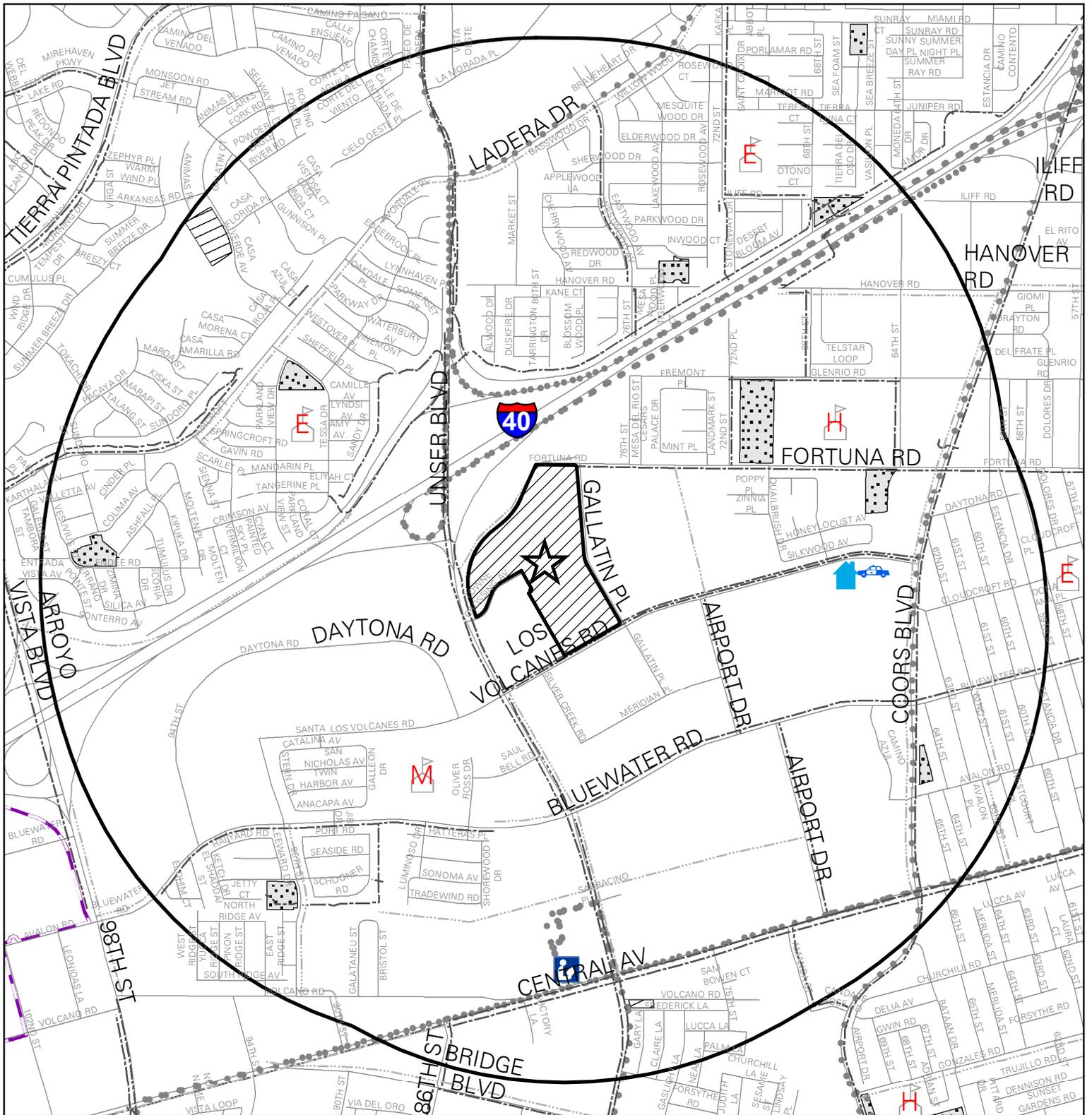
### HISTORY MAP

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## Public Facilities Map with One-Mile Buffer



- |                      |                         |                          |                             |
|----------------------|-------------------------|--------------------------|-----------------------------|
| Community Center     | Fire                    | Public Schools           | Landfill Buffer (1000-feet) |
| Multi-Service Center | Police                  | Proposed Bike Facilities | Landfill designated by EHD  |
| Senior Center        | Sheriff                 | ABQ Bike Facilities      | Developed County Park       |
| Library              | Solid Waste             | ABQ Ride Routes          | Undeveloped County Park     |
| Museum               | Albuquerque City Limits |                          | Developed City Park         |
|                      |                         |                          | Undeveloped City Park       |

Project Number: PR-2018-001361 (1000845 & 1006833) 0 0.5 1 Miles

**INTRODUCTION**

	<b>Zoning</b>	<b>Comprehensive Plan Area; Other Applicable Plans</b>	<b>Land Use</b>
<b>Site</b>	NR-BP	Area of Change Atrisco Business Park MDP	Vacant / Other
<b>North</b>	NR-BP	Area of Consistency Atrisco Business Park MDP	Commercial Retail
<b>South</b>	NR-BP	Area of Change Atrisco Business Park MDP	Wholesale / Warehousing
<b>East</b>	NR-BP	Area of Change Atrisco Business Park MDP	Wholesale / Warehousing
<b>West</b>	NR-BP	Area of Change Atrisco Business Park MDP	Industrial / Manufacturing, and Unser Blvd.

**Proposal**

This is a request for a Text Amendment to the Atrisco Business Park Master Development Plan (MDP) located on the West Side of the Rio Grande River just south of I-40, north of Central Avenue NW, on the west side of Coors Boulevard NW, and surrounding Unser Boulevard NW for sites within the Atrisco Business Park MDP boundaries consisting of 40 acres and more. The applicant proposes to alter the standards for landscape, lighting, signage, architecture, and utilities. The purpose of the request is to develop the example 50.5 acre site, intended to be developed as a large-scale industrial development, which is a permitted use in the subject NR-BP zone.

The applicant notified neighborhood associations and property owners as required. Staff has not received any comments in support or opposition to the request. Staff recommends approval with conditions.

**EPC Role**

The EPC is hearing this case pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-4(Y), Amendments of Prior Approvals, which addresses applications for amendments to site development plans approved prior to the effective date of this IDO. This request does not qualify as a Minor Amendment, and therefore is pursuant to Section 14-16-6-4(Y)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended. In this case, the EPC approved the Atrisco Business Park MDP pursuant to the requirements of the IP zone prior to effectiveness of the IDO. Per IDO Section 14-6-4(P)(2), the decision-making body may impose conditions on the approval necessary to bring the application into compliance with the requirements of this IDO. This case is a quasi-judicial matter.

### ***History/Background***

In April of 1984, the EPC established a clarification of zoning for SU-1 for Industrial Park for all of the Atrisco Business Park (Z-84-47) and in April of 1987, a certification of zoning was issued for the SU-I Planned Industrial Park zoning for the area. In November of 1984, the EPC approved a Site Development Plan for apartments in the Atrisco Business Park area (Z-84-47-1).

The EPC voted to approve Site Development Plans for tracts within the Atrisco Business Park MDP boundaries in September of 1988 (Z-88-76), July of 1990 (Z-90-78), and May of 1991 (Z-88-76-1). The Atrisco Business Park MDP was approved by the EPC in October of 1992, amended in 1997 and 2012, and since then several sites have been developed. Of the remaining sites, only the example site is over 40 acres.

### ***Context***

The Atrisco Business Park is an existing 349.6-acre full service business park located in the southwest mesa area, with access to major arterial streets and to I-40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently more than half of the business park has been developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres. The example site is vacant. Staff does not find potential land-use conflicts with the request since the only remaining parcel with over 40 acres is the example site, and this site does not border any properties that are not part of the Atrisco Business Park.

### ***Transportation System***

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Unser Boulevard NW and Coors Boulevard NW as Regional Principal Arterials. The LRRS designates Central Avenue SW a Community Principle Arterial. The LRRS designates Los Volcanes Road NW, Gallatin Place NW, and Fortuna Road NW as Major Collectors.

### ***Comprehensive Plan Corridor Designation***

The Comprehensive Plan designates Coors Boulevard NW on the east side of the Atrisco Business Park MDP area, and Central Avenue NW to the south of the MDP area as Major Transit Corridors; however the site does not fall within their 660-foot buffer.

### ***Trails/Bikeways***

The Long Range Bikeway System (LRBS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies existing and proposed bicycle facilities and trails. The LRBS designates Unser Boulevard NW as having a paved Existing Multi-Use Trail, as being a Long Distance Facility, and on the 50-Mile Activity Loop. The LRBS designates Los Volcanes Road NW as having an Existing Bicycle Lane. The LRBS designates Fortuna Road NW as having an Existing Bicycle Lane that ends in a Proposed

Trail, which connects to Unser Boulevard NW. The LRBS does not designate Gallatin Place NW as having any bicycle facilities, however, it does have a wide right-of-way for its existing two-way traffic lanes.

***Transit***

Coors Boulevard NW, on the east side of the plan area, is a Major Transit Corridor. Fixed route 155 runs north and south on Coors Boulevard NW. There are multiple stop pairs on Coors Boulevard NW between Fortuna Road NW and the south boundary of the plan area. There is presently no transit service into or through the plan area.

***Public Facilities/Community Services***

Please refer to the Public Facilities Map in the packet for a complete listing of public facilities and community services located within one mile.

***ANALYSIS of APPLICABLE ORDINANCES, PLANS AND POLICIES***

***The City of Albuquerque Integrated Development Ordinance (IDO)***

The entire Atrisco Business Park MDP area is zoned NR-BP (Non-residential Business Park Zone District), which permits light manufacturing as proposed for the example site. The purpose of the NR-BP zone is to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts from surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, light industrial, office, distribution, showroom, processing, and institutional uses.

The NR-BP zone district requires a Master Development Plan (MDP) that furthers and implements applicable goals and policies of the ABC Comp Plan, as amended, and complies with all applicable requirements of the Development Process Manual (DPM). The Master Development Plan may specify development standards that apply to all the lots and structures on the site in order to implement a coordinated and cohesive design.

Coors Boulevard NW on the east side of the Atrisco Business Park MDP area is subject to the IDO's Coors Boulevard Character Protection Overlay (CPO-2). However, this will not influence the request.

Per IDO Section 14-16-6-6(F)(3), Review and Decision Criteria, an application for a Master Development Plan shall be approved if it meets all of the following criteria:

- (a) The Master Development Plan is consistent with the ABC Comp Plan, as amended (as analyzed below).
- (b) The Master Development Plan complies with all applicable provisions of the IDO, in particular those of the NR-BP zone district; the DPM; and other adopted City regulations.

- (c) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.
- (d) The Master Development Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

***Albuquerque / Bernalillo County Comprehensive Plan***

Policy Citations are Underlined, Applicant comments are in *Italics*; Staff Analysis is in Regular Text.

The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:

Plan Element 4 – Community Identity

Goal 4.1 Character

Policy 4.1.2: Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

*Under the proposed amendment, the boundaries of the Atrisco Business Park MDP would remain as they exist. The amendment would simply help encourage larger single users as opposed to just smaller multiple users to develop within the Park on parcels that their large footprint needs and would not diminish neighborhood (both for internally located as well as nearby single-family neighborhoods) values and social, cultural or recreational resources.*

***The request furthers Policy 4.1.2, Identity and Design, because it protects the cohesiveness of residential neighborhoods by keeping larger industrial facilities outside of residential areas and within business park areas. A cohesive identity and design within the industrial warehousing area is still standardized with the proposed amendments. In this way, appropriate scales are ensured for both the residential and industrial communities and the character and building design reflect the appropriate identity.***

Plan Element 5 – Land Use

Goal 5.2 Complete Communities

Policy 5.2.1 h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

***The request furthers Policy 5.2.1 h) because it encourages infill development with complementary uses that are compatible in form and scale to the existing immediately surrounding development in the Atrisco Business Park Master Development Plan area.***

Goal 5.3 Efficient Development Patterns

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

*The request furthers Goal 5.3 because the example site is in an area that has seen an increased amount of development, and has access to a full range of urban services including water and sewer, electrical service, paved roads and provision of emergency response services. The example site is middle of established existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible.*

***The request furthers Policy 5.3, Efficient Development Patterns, because it promotes development patterns that maximize the utility of existing infrastructure and public facilities and efficient use of land to support the public good. The Atrisco Business Park MDP area is located near I-40 where residential uses are less desirable; and between two Major Regional Arterials, Coors Boulevard NW and Unser Boulevard NW, which provides excellent access for large industrial and freight-hauling trucks. This promotes the efficient use of this existing roadways and the associated infrastructure. The plan area also has a mix of existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible to users and employees.***

Goal 5.4 Jobs Housing Balance

Policy 5.4.2: West Side Jobs: Foster employment opportunities on the West Side.

*The City's west side is deficient in jobs relative to housing. The proposed amendment to the Atrisco Business Park MDP would allow for larger single commercial developments that would provide an increased number of jobs on the west side. This increase in jobs would in turn spur job opportunities in ancillary developments needed to support the increased workforce in the West Side area. All this can take place with minimal infrastructure improvements required for what is basically infill development. These larger facilities are typically more stable and likely to not only be employing residents for many years but also providing a growth opportunity for , number of jobs as the facilities grow in size and expand their businesses.*

***The request furthers Policy 5.4 West Side Jobs because it fosters employment opportunities on the West Side. The Atrisco Business Park area is located on the West Side of the City of Albuquerque, and the proposed amendment intends to permit a larger range of architectural materials and signage to promote larger industrial and warehousing facilities. With this update, it will be more cost effective for a large industrial warehousing business to be established within the subject plan area, which will in turn create more employment opportunities.***

Goal 5.6 City Development Areas

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Center Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

*The request furthers Goal 5.6.2 because the request would allow for the development of larger facilities the existing Atrisco Business Park MDP area and provide for additional employment to the broader community.*

***The request furthers Policy 5.6.2, Areas of Change, because the subject area is located primarily in an Area of Change where change is encouraged. The request will promote the development of a large industrial warehousing business which will then create change in the area.***

Plan Element 7 – Urban Design

Goal 7.1 Streetscapes & Development Form

Policy 7.1: Streetscapes and Development Form: Design streetscapes and development form to create a range of environments and experiences for residents and visitors.

*The proposed amendment to the MDP would allow larger users in larger tracts to group streetscape amenities in clusters to provide for larger areas for residents, visitors and workers to congregate. This is especially important given the fact that larger developments would generate a greater workforce requirement. The development of the infill areas would provide the connection between existing developed parcels within the Plan area as well as to internal and adjacent residential subdivisions. Larger sites typically have greater frontage and other areas that allow a more efficient use of landscape areas as well as longer frontages. This balances out the buffering requirement of the smaller sites but still keeps the street trees and percentages proportionate.*

***The request furthers Policy 7.1, Streetscapes and Development, Form because the request will continue to create a range of environments and experiences for residents and visitors in the Atrisco Business Park MDP area by permitting design standards that allow for a large industrial/warehousing facility.***

Goal 7.3 – Sense of Place

Policy 7.3.2: Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places.

*Many of the sites that would fall under the amended Plan guidelines excess of 40 acres) are adjacent Unser Blvd and Interstate 40. The grades in these sites are well below the grades the Unser / I-40 interchange and development would not decrease views within the area. Existing pedestrian amenities in the areas of these larger parcels will help to continue to promote walkable communities.*

***The request furthers Policy 7.3.2, Community Character, because it will permit design strategies that will embrace and continue the business park character of the Atrisco Business Park MDP area. The amendments will also contribute to the safety of the area by encouraging the location of a very large facility near highways and existing access routes with generous right-of-way for the large turning radii of semi-trucks in the center of a business park rather than near residential development.***

Policy 7.3.4: Infill: Promote that enhances the built environment.

*The amendment to the Atrisco Business Park MDP would not increase the overall plan boundaries but would allow the same number of existing undeveloped tracts to be developed as parcels greater than 40 acres, which would not operate at a level of intensity disturbing to surrounding residents. These larger scale developments will appropriately located within existing Park, away single-family neighborhoods and will be consistent with the existing development context and neighborhood character and identity.*

***The request furthers Policy 7.3.4, Infill, because it promotes development on a large vacant parcel in an established business park area with access to existing infrastructure; and the Atrisco Business Park MDP Design Standards are intended to enhance the built environment.***

Goal 7.5 – Context Sensitive Site Design

Policy 7.5.2 Site Design: Incorporate local climate conditions into site design.

*The amendment to the Atrisco Business Park MDP is consistent with the Design Guidelines in building architecture, lighting, landscaping and signage in compliance with the 100, while allowing for development of parcels larger than 40 acres currently detailed the existing MDP. request allows for development of facilities that require larger overall sites. The amended Master Plan will encourage climate sensitive design of outdoor spaces without taxing Albuquerque's precious water resources, while still creating aesthetically pleasing atmospheres with landscaping that is appropriate for the region's arid climate.*

***The request furthers Policy 7.5, Site Design, because the request will permit large facilities to incorporate local climate conditions into the site design through pleasing outdoor spaces and appropriate landscaping.***

Plan Element 8 – Background & Analysis

Goal 8.1 – Placemaking

Policy 8. 1. Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents foster a robust, resilient and diverse economy.

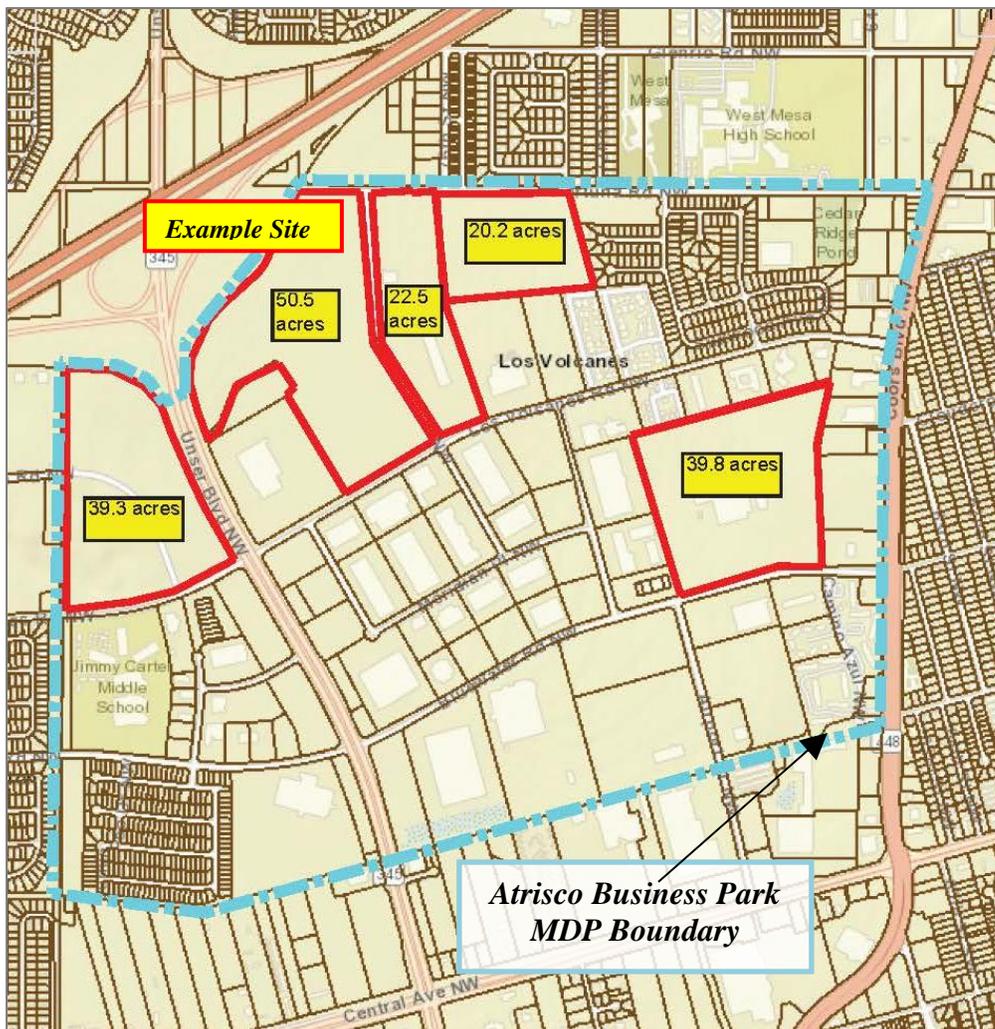
*The proposed amendment to the Atrisco Business Park MDP would allow for large scale users to develop within the Park thereby maximizing opportunities for economic*

development. This will help foster growth within the community. In addition spur other users on the West side to support the facility.

*The request furthers Policy 8.1, Resilient Economy, because it the proposed amendments will encourage economic development efforts that improve quality of life for new and existing residents toward a more robust and diverse economy by revising the design standards for Atrisco Business Park MDP to accommodate a large (over 40 acres) industrial warehousing facility.*

### AMENDMENTS TO THE ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN

The applicant originally proposed amendments for sites that are larger than 20 acres; however through analysis of the remaining properties, it was found that the MDP area consists of several previously developed and currently undeveloped properties that are approximately 20 acres, and the example site is the only vacant property over 40 acres. Therefore, it was suggested by staff and agreed by the applicant to revise the requested amendments to be for lots over 40 acres in size.



The proposed amendments to the Atrisco Business Park MDP provide design guidelines for tracts that are larger than 40 acres, whereas the current design standards apply to all sizes of properties within the MDP area. The guidelines for tracts equal to or smaller than 40 acres would be unchanged. The applicant proposes that the updated design guidelines for sites over 40 acres would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities. Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 40 acres. The example site is the only vacant site within the Atrisco Business Park MDP area that is over 40 acres (see diagram above). This would mean that the example site is the only vacant site subject to the updated regulations.

The applicant states that the proposed changes to the MDP allow for the location and development of larger facilities. The metal material provides flexibility of material to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The applicant is asking to modify the articulation of the buildings due to their size. Larger sites and footprints are typically set back further from the adjoining streets due height and fire requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs if multiple roadways and long stretches of roadway are involved.

The proposed page will be added to the existing Atrisco Business Park MDP pages and will be numbered as appropriate for further development after discussion with the Development Review Board. The proposed page holds much of the same language from the other pages of the plan and those sentences and phrases that are underlined are those that are changed from what would have been required.

Per IDO Section 14-19-2-5(B)(3)(c)2, the site-specific standards shall not conflict with or reduce other standards in this IDO. Per IDO section 14-16-2-5(B)(3)(d), where the MDP is silent, other IDO standards apply. As such, staff has reviewed the attached Master Development Plan amendment for conformance with applicable goals and policies in the Comprehensive Plan, the IDO, and all other applicable City planning documents.

Per IDO Section 14-16-6-6(F)(3), Review and Decision Criteria, and application for a MDP shall be approved if it meets all of the following criteria:

- (a) The MDP is consistent with the ABC Comp Plan, as amended.
- (b) The MDP complies with all applicable provisions of the IDO, in particular those of the NR-BP zone district; the DPM; and other adopted City regulations.
- (c) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

- (d) The MDP mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

Per IDO Section 14-16-6-4(O)(2), the relevant decision-making body in Table 6-1-1 (EPC for MDPs) may approve a requested Deviation that is within the limits listed in Table 6-4-2; other numerical standard permit a 10% deviation. The EPC may approve a 10% deviation through this application.

Per IDO Section 14-16-6-6(F)(2)(d), the EPC may grant a Variance to IDO standards pursuant to subsection 14-16-6-6(M), Variance – EPC. The applicant has not applied for a Variance through the EPC with this application, therefore, more than the standard deviation from IDO regulations cannot be approved at this time, and these items will be conditioned as such.

### ***Landscape Standards***

#### ***Landscape Coverage***

The ***current Atrisco Business Park MDP*** Landscape Standards requires **20%** of net site area devoted to landscape materials and/or naturalized areas with emphasis placed on street-side exposure.

The ***request*** is to revise the required landscape coverage be increased to **15%** of net site area devoted to landscape materials and/or naturalized areas with emphasis placed on street-side exposure.

The ***IDO***, Section 14-16-5-6(C)(2), requires **15%** of net site area devoted to landscape materials and/or naturalized areas with emphasis placed on street-side exposure.

***Staff supports the request.***

#### ***Turf***

The ***current Atrisco Business Park MDP*** Landscape Standards limits high water use turf to 20% of the net landscape area.

The ***request*** is to revise the high water-use turf permitted to be decreased to 10% of the landscape area.

The ***IDO***, Section 14-16-5-6(C)(4)(d), permits no more than 10% of required landscape areas to be turf requiring irrigation past the first 2 growing seasons.

***Staff supports the request.***

#### ***Street Trees***

The ***current Atrisco Business Park MDP*** Landscape Standards requires street trees to be provided at a rate of one per 25-feet of street frontage with no more than a 50-foot gap between groupings and one tree per every 40-feet of the remaining site perimeter.

The ***request*** is to reduce the number of street trees to be one per 27.5-linear feet with 150-linear feet between potential clusters.

The ***IDO*** Section 14-16-5-6(D)(1)(a) states that street trees are generally required along

street frontages every 25 feet on center.

*A Variance would be needed to be exempt from the IDO requirement for the number of street trees. The standard deviation of 10% would permit the spacing to be 27.5-feet, which staff supports. The IDO does not specify a permitted space between groupings. Staff recommends that no more than an 80-foot gap be permitted between street tree groupings. Maintaining the typical spacing of street trees would assist with the concealment of the requested alternate materials for architecture and other requests.*

*In order to make it easier to meet the regulated spacing, staff recommends smaller, drought tolerant trees be added to the tree plant palette design standards to include: Nettleaf Hackberry, Desert Willow, New Mexico Olive, Smoketree, Honey Mesquite, and Alligator Juniper Juniper Trees, which have been added.*

### **Perimeter Landscaping**

The *current Atrisco Business Park MDP* states that “In addition to the street trees, one tree is required for every forty linear feet (40LF) of the remaining site perimeter.”

The *request* is to state “In addition to the street trees one (1) tree is required for every one-hundred and fifty linear feet (150 LF) of the remaining site perimeter”

The *IDO* does not have a requirement for perimeter landscaping in general. The IDO does regulate Edge Buffer Landscaping (14-16-5-6 (E)), however this does not pertain to the request, because industrial uses are adjacent to industrial uses within an Area of Change.

The *IDO* (14-16-5-6 (F)) requires a landscape buffer to separate parking and circulation areas from front, side, and rear boundaries of premises. Parking lots facing a street shall be screened by either a masonry wall or a 3-4 foot landscape buffer with a continuous line of evergreen shrubbery. This will be required for the example site.

*Staff supports the request.*

### **Parking Lot Landscaping**

The *current Atrisco Business Park MDP* requires one tree for each 10 parking stalls (with no stall being more than 100-feet from the trunk of a tree) to be separately calculated from the requested street or perimeter trees.

The *request* is that areas internal to a complex that are not *easily* visible from adjacent City roadways be exempt from the above requirements for parking lot trees.

The *IDO*, Section 14-16-5-6(F)(2)(a), requires 10% of the parking lot area for lots less than 50 spaces and 15% for lots more than 50 spaces to be landscaped.

The *IDO*, Section 5-6(F)(1)(g), states that the landscape area may be reduced by up to 25% if the surface of the parking area is a permeable material.

*A Variance would be needed to be exempt from this requirement. A deviation of 10% would permit 9% of parking lot area for lots less than 50 spaces and 14% of parking lot area for lots more than 50 spaces, which will be conditioned.*

### ***Lighting and Security***

The **current Atrisco Business Park MDP** states that street lights may range from 30-40-feet above the roadway. The height of parking area lights may range from 20-30 feet. Area lighting should range from 10-15 feet.

The **request** is to add that auto/employee parking area lights range from 20 to 30 feet.

The **IDO** does not have a height limit for lights.

*Staff supports the request.*

### ***Signage***

The **current Atrisco Business Park MDP** states that 1 free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage. The **current Atrisco Business Park MDP** limits a single user sign to be 4x8 feet with a total of 32 square feet. The **current Atrisco Business Park MDP** states that no signage may be printed directly on the wall surfaces and no individual letters may be attached to the building.

The **request** is for 1 free-standing sign allowed for each 750 linear feet of street frontage of each premise which has at least 200 linear feet of street frontage. The street frontage on Gallatin Place NW is approximately 2100 linear feet. This would permit 2 free-standing signs. The street frontage on Los Volcanes is approximately 820 linear feet, which would permit 1 free-standing sign. The **request** is for freestanding signs not to exceed 100 square feet in area. The **request** is for signage that may be printed directly on the wall surface and individual letters may be attached to the building.

The **IDO** does not regulate signs in the subject NR-BP zone, which allows signs to be per the approved plan such as the subject Atrisco Business Park MDP. For reference, free-standing signs in mixed-use and other straight non-residential zones are limited to 1 sign per premises, which has at least 100 linear feet of street frontage; and size is limited to 100 square feet on Collectors and 200 square feet on Arterials. The subject site is located on the corner of Los Volcanes Road NW and Gallatin Place NW, which are both Collectors.

*Staff supports the request.*

### ***Architecture***

The **current Atrisco Business Park MDP** Architectural Objectives holds the phrases:

- Section C: Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. Metal skin is not considered a finished building material.

- Section B: building design and construction shall be attractive and high quality on all sides rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations.
- Section D 6: The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of façade.
- Section E 3: undesirable design elements are chain link fence and barbed wire.
- Section H: Dock doors for loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior.

The **request** is to add or revise with the phrases:

- with development design being in harmony with other buildings within the complex.
- Each material must be compatible with the natural surroundings and other buildings and structures within the complex. Pre-engineered metal buildings are allowed for accessory structures. Metal skin may be considered as a finished building material.
- Straight, simple wall lines and light colored wall materials are acceptable where required for energy efficient construction of cold storage facilities.
- emphasizes that only “Galvanized” chain link fence should be avoided.
- Loading docks that face adjacent fronting City streets should be avoided where possible. If unavoidable, dock doors for loading docks that face adjacent fronting City streets shall be located on the inside of buildings to keep clean uncluttered appearance from the exterior.

The **IDO** does not regulate building material outside of areas within Character Protection Overlays mapped areas, which does not apply to the example site.

***Staff supports the request.***

### ***Utilities***

The **current Atrisco Business Park MDP B** states “the use of pre-fabricated fiberglass enclosure is prohibited.

The **request** is to state “The use of pre-fabricated fiberglass enclosures may be used only in areas within a complex that are not easily visible from adjacent City roadways.”

The **IDO** does not regulate building material outside of areas within Character Protection Overlays mapped areas.

***Staff supports the request.***

### **AGENCY & NEIGHBORHOOD CONCERNS**

#### ***Reviewing Agencies/Pre-Hearing Discussion***

Please see Agency Comments at the end of this report.

#### ***Neighborhood/Public***

As required, the applicant notified the West Mesa Neighborhood Association, the Los Volcanes Neighborhood Association, the Avalon Neighborhood Association, the South

West Alliance of Neighborhoods (SWAN Coalition), and the Westside Coalition of Neighborhood Associations via certified mail. The applicant also notified property owners within the Atrisco Business Park MDP boundaries, within 330-feet outside of the boundaries, and within 1200-feet of the I-40 right-of-way. Neither a neighborhood nor facilitated meeting was requested or occurred and staff has not received any comments in support or opposition to the request.

### **CONCLUSION**

The request is for an amendment to the Atrisco Business Park MDP Plan for sites consisting of 40 acres or more. The applicant proposes to alter the standards for landscape, lighting, signage, architecture, and utilities. The purpose of the request is to develop the example 50.5 acre site, intended to be developed as a large-scale industrial development, which is a permitted use in the subject NR-BP zone.

Per IDO Section 14-19-2-5(B)(3)(c)2, the site-specific standards shall not conflict with or reduce other standards in this IDO. As such, staff reviewed the attached Master Development Plan amendment for conformance with applicable goals and policies in the Comprehensive Plan, the IDO, and all other applicable City planning documents. Staff found that the majority of the amended statements met IDO regulations, and any discrepancies are part of the Conditions of Approval for this request.

The applicant notified neighborhood associations and property owners as required. Staff has not received any comments in support or opposition to the request. Staff recommends approval with conditions.

**FINDINGS**

***Major Amendment to the Atrisco Business Park Master Development Plan  
Project # 2018-001361***

1. This is a request for a Major Amendment to the Master Development Plan for the Atrisco Business Park within the Atrisco Business Park Master Development Plan area including Lot 1A, Bulk Plat of Lot 1-A, Unser Towne Crossing. The Atrisco Business Park Master Development Plan area is bounded on the north by I-40 and Fortuna Rd NW, on the east by Coors Blvd NW, on the south by commercial properties, and accessed by Unser Blvd NW, running north-south through the western portion of the area, containing approximately 700 acres.
2. The purpose of the request is to alter the design standards for landscape, lighting, signage, architecture, and utilities for sites consisting over 40 acres within the Atrisco Business Park Master Development Plan boundaries.
3. The Atrisco Business Park Master Development Plan was approved by the EPC in October of 1992, amended in 1997, and 2012, and since then several sites within the plan area have been developed. Of the remaining sites, only the example 50.5 acre site is over 40 acres, and will therefore be subject to the amended standards.
4. The entire Atrisco Business Park Master Development Plan area is zoned NR-BP (Non-residential Business Park Zone District), which permits light manufacturing, the proposed use for the example 50.5 acre site.
5. The purpose of the NR-BP zone is to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts from surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, light industrial, office, distribution, showroom, processing, and institutional uses.
6. The NR-BP zone district requires a Master Development Plan (MDP) that furthers and implements applicable goals and policies of the ABC Comp Plan, and complies with all applicable requirements of the Development Process Manual (DPM). The Master Development Plan may specify development standards that apply to all the lots and structures on the site in order to implement a coordinated and cohesive design.
7. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. Per IDO Section 14-19-2-5(B)(3)(c)2, the site-specific standards shall not conflict with or reduce other standards in this IDO. Per IDO section 14-16-2-5(B)(3)(d), where the MDP is silent, other IDO standards apply. As such, staff has reviewed the attached Master Development Plan amendment for conformance with applicable goals and policies in the Comprehensive Plan, the IDO, and all other applicable City planning documents.

10. Per IDO Section 14-16-6-6(F)(3), Review and Decision Criteria, an application for a Master Development Plan shall be approved if it meets all of the following criteria:

- a) The Master Development Plan is consistent with the ABC Comp Plan, as amended (as analyzed below).
- b) The Master Development Plan complies with all applicable provisions of the IDO, in particular those of the NR-BP zone district; the DPM; and other adopted City regulations.
- c) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.
- d) The Master Development Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

11. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. Applicable policies include:

- a) The request furthers Policy 4.1.2, Identity and Design, because it protects the cohesiveness of residential neighborhoods by keeping larger industrial facilities outside of residential areas and within business park areas. A cohesive identity and design within the industrial warehousing area is still standardized with the proposed amendments. In this way, appropriate scales are ensured for both the residential and industrial communities and the character and building design reflect the appropriate identity.
- b) The request furthers Policy 5.2.1 h) because it encourages infill development with complementary uses that are compatible in form and scale to the existing immediately surrounding development in the Atrisco Business Park Master Development Plan area.
- c) The request furthers Policy 5.3, Efficient Development Patterns, because it promotes development patterns that maximize the utility of existing infrastructure and public facilities and efficient use of land to support the public good. The Atrisco Business Park MDP area is located near I-40 where residential uses are less desirable; and between two Major Regional Arterials, Coors Boulevard NW and Unser Boulevard NW, which provides excellent access for large industrial and freight-hauling trucks. This promotes the efficient use of this existing roadways and the associated infrastructure. The plan area also has a mix of existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible to users and employees.
- d) The request furthers Policy 5.4 West Side Jobs because it fosters employment opportunities on the West Side. The Atrisco Business Park area is located on the West Side of the City of Albuquerque, and the proposed amendment intends to permit a larger range of architectural materials and signage to promote larger industrial and warehousing facilities. With this update, it will be more cost effective for a large

- industrial warehousing business to be established within the subject plan area, which will in turn create more employment opportunities.
- e) The request furthers Policy 5.6.2, Areas of Change, because the subject area is located primarily in an Area of Change where change is encouraged. The request will promote the development of a large industrial warehousing business which will then create change in the area.
  - f) The request furthers Policy 7.1, Streetscapes and Development, Form because the request will continue to create a range of environments and experiences for residents and visitors in the Atrisco Business Park MDP area by permitting design standards that allow for a large industrial/warehousing facility.
  - g) The request furthers Policy 7.3.2, Community Character, because it will permit design strategies that will embrace and continue the business park character of the Atrisco Business Park MDP area. The amendments will also contribute to the safety of the area by encouraging the location of a very large facility near highways and existing access routes with generous right-of-way for the large turning radii of semi-trucks in the center of a business park rather than near residential development.
  - h) The request furthers Policy 7.3.4, Infill, because it promotes development on a large vacant parcel in an established business park area with access to existing infrastructure; and the Atrisco Business Park MDP Design Standards are intended to enhance the built environment.
  - i) The request furthers Policy 7.5, Site Design, because the request will permit large facilities to incorporate local climate conditions into the site design through pleasing outdoor spaces and appropriate landscaping.
  - j) The request furthers Policy 8.1, Resilient Economy, because it the proposed amendments will encourage economic development efforts that improve quality of life for new and existing residents toward a more robust and diverse economy by revising the design standards for Atrisco Business Park MDP to accommodate a large (over 40 acres) industrial warehousing facility.
12. The applicant notified the West Mesa Neighborhood Association, the Los Volcanes Neighborhood Association, the Avalon Neighborhood Association, the South West Alliance of Neighborhoods (SWAN Coalition), and the Westside Coalition of Neighborhood Associations via certified mail.
13. The applicant also notified property owners within the Atrisco Business Park MDP boundaries, within 330-feet outside of the boundaries, and within 1200-feet of the I-40 right-of-way.
14. Neither a neighborhood nor facilitated meeting was requested or occurred and staff has not received any comments in support or opposition to the request.

**RECOMMENDATION**

***APPROVAL of 2018-001361, a request for a Major Amendment to the Atrisco Business Park Master Development Plan for the Atrisco Business Park Master Development Plan area including Lot 1A, Bulk Plat of Lot 1-A, Unser Towne Crossing, based on the preceding Findings and subject to the following Conditions of Approval.***

**CONDITIONS OF APPROVAL**

***Major Amendment to the Atrisco Business Park Master Development Plan  
Project # 2018-001361***

1. The proposed Atrisco Business Park Master Development Plan amended page will be numbered and integrated into the Atrisco Business Park Master Development Plan in coordination with planning staff.
2. The applicant shall contact the staff planner to ensure that all conditions of approval are met and then submit an electronic version of the amended Atrisco Business Park Master Plan to planning staff.
3. The amendment regarding street trees that states “twenty seven and one half linear feet (27.5 LF)” shall add “which includes a 10% deviation from the IDO requirement as approved by the EPC.”
4. Street Tree spacing shall be revised to be no more than an 80-foot gap between street tree groupings.
5. Per IDO Section 14-16-6-6(F)(3)(b), Review and Decision Criteria, the Master Development Plan amendments must “comply with all applicable provisions of the IDO, in particular those of the NR-BP zone district; the DPM; and other adopted City regulations.” Therefore the following landscape regulations must be followed unless a Variance is acquired.

The IDO Section 14-16-5-6(F)(2)(a), requires 10% of the parking lot area for lots less than 50 spaces and 15% for lots more than 50 spaces to be landscaped.

The IDO Section 5-6(F)(1)(g), states that the landscape area may be reduced by up to 25% if the surface of the parking area is a permeable material.

The IDO Section (14-16-5-6 (F)) requires parking lots facing a street to be screened by either a masonry wall or a 3-4 foot landscape buffer with a continuous line of evergreen shrubbery.

This note shall be removed: “Areas internal to a complex that are not easily visible from adjacent City roadways shall be exempt from the above requirements for parking lot trees.”

***Cheryl Somerfeldt  
Planner***

***Notice of Decision cc list:***

List will be finalized subsequent to the EPC hearing on September 13, 2018.

**AGENCY COMMENTS**

**PLANNING DEPARTMENT**

**Zoning Enforcement**

No adverse comments.

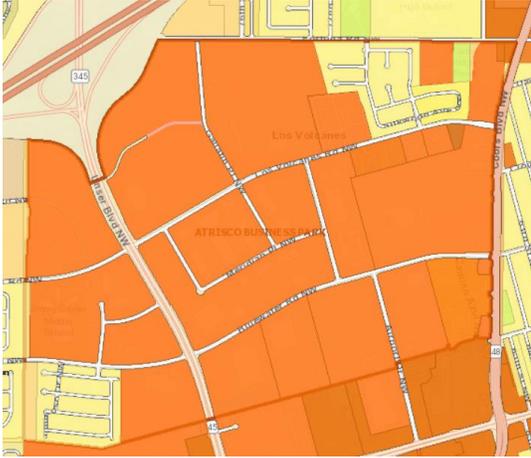
**Long Range Planning**

This request is to amend the Atrisco Business Park MDP. While the Plan may originally been adopted as a Site Development Plan, the IDO considers this Plan a MDP as of the effective date of the IDO on May 17.

The Atrisco Business Park was originally adopted for properties zoned IP under the Comprehensive Zoning Code. Since that time, properties within the Master Development have been rezoned to a variety of zones, but the majority of the area is still zoned NR-BP. Non-residential development in zones other than NR-BP will still be subject to the MDP unless the Plan were to be amended to take them out.



The MDP is mostly designated as Area of Change, with Areas of Consistency designated for the single-family and park uses within the boundary of the Plan.



The MDP is not within a Center area per the Comprehensive Plan. Unser Blvd. NW is designated as a commuter corridor, and Coors Blvd. is designated as a Major Transit Corridor. The IDO does not have any regulations relating to commuter corridors. While the IDO does have some development standards for Major Transit Corridors, they are not relevant to this context. (See Subsections 14-16-5-5(F)(2)(a)3 and 14-16-5-5(I)(1)(f)).

The policy analysis provided in the justification letter dated July 19, 2018 should strike policies from the old version of the Comprehensive Plan, since that plan is no longer in effect. Similarly, the policies shown from the West Side Strategic Plan should be struck, as this plan is no longer in effect. The two policies cited from the 2017 Comp Plan seem applicable. In addition, the applicant should address the following goals and relevant policies:

- Goal 4.1 Character, particularly Policies 4.1.1 Distinct Communities and 4.1.2 Identity and Design (both internally to the character of the business park as well as in light of nearby single-family neighborhoods), Policy 4.1.4 Neighborhoods (in light of nearby single-family neighborhoods),
- Policy 5.4.2 West Side Jobs,
- Policy 5.6.4 Appropriate Transitions (given the juxtaposition of Areas of Consistency and Areas of Change within the MDP boundary),
- Goal 7.1 Streetscapes & Development Form,
- Goal 7.2 Pedestrian-Accessible Design,
- Goal 7.3 Sense of Place (particularly Policies 7.3.2 Community Character, 7.3.3 Placemaking, 7.3.4 Infill, and 7.3.5 Development Quality),
- Goal 7.5 Context-sensitive Site Design, and
- Goal 8.1 Placemaking.

Long Range notes that the request is to change design standards that apply to 20+ acres sites, which seems reasonable. We trust that the EPC will analyze the requested design standards to determine whether they are reasonable and sufficient.

It would be helpful to have an exhibit showing which sites and how much of the Atrisco Business Park these new standards would apply to (even with the understanding that sites may be subdivided over time). This would also help show how close these 20+ acre sites are to single-family residential development within the Master Development Plan boundary. If any of these sites are adjacent or abutting single-family residential areas, Long Range would recommend requiring a higher level of design or articulation or building height transitions, particularly where an industrial facility will front single-family homes. Any development standards articulated in the Master Development Plan would prevail over any IDO standard that conflicts. Neighborhood Edges and Edge Buffers, for example, which would require such transitions, might be overridden by any standards specified in the Master Development Plan that are less restrictive. Where the Master Development Plan is silent, the IDO standards would apply.

***CITY ENGINEER***

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)
- Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
- Infrastructure and/or ROW dedications may be required at DRB.
- All work within the public ROW must be constructed under a COA Work Order.

***WATER UTILITY AUTHORITY***

- No adverse comments to the proposed Development Plan Amendment for Atrisco Business Park
- If new development is desired request an availability statement at the link below:
  - [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)
  - Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.

***NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)***

The NMDOT is requiring the owner complete the State Access Management Manuel's Site Threshold Assessment (STH) and schedule an appointment with Nancy Perea or Margaret Haynes to discuss this development's potential impacts to I-40 interchange with Unser Blvd and surrounding intersections to include Los Volcanes/User Blvd and Fortuna/NM 45.

***POLICE DEPARTMENT/Planning***

Regarding the above referenced EPC case, I respectfully submit the following comments:

- Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways, entrances, and staging and delivery areas.
- Ensure natural surveillance and clear lines of sight throughout the project. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the parking areas to the buildings and from the buildings the

- parking areas. Open stairwells, balcony railing, and offset picket screening materials can all enhance natural surveillance.
- Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.
  - Ensure adequate locking devices, including but not limited to, deadbolt, electronic keypad and keyless entry where appropriate.
  - Include eye-viewers on primary and secondary entrance doors in loading/dock areas, cash handling offices and asset protection offices.
  - Limit and clearly delineate access to the property; i.e. Commercial Deliveries, Employee Parking, Customer Parking.
  - Provide signage that clearly directs visitors to the appropriate parking and/or entrance(s), include a map if necessary.
  - Clearly delineate public, semi-public, semi-private, and private space throughout the project.
  - Consider technical and mechanical surveillance systems such as cameras and alarm systems.

If you have any questions regarding these CPTED recommendations, please call me at 768-2006. I am also available to do an on-site security survey after the project is complete.

**TRANSIT DEPARTMENT**

<b>Case Number</b>	<b>Brief Description of Request</b>	<b>Transit Corridor?*</b>	<b>Transit Route?</b>	<b>Current Service/Stops</b>	<b>Comments</b>
PR-2018-001361 (1000845 and 1006833) SI-2018-00080	Site Development Plan Amendment for Atrisco Business Park aka Unser Townes Crossing; 50.46 acres - does not affect existing land uses	Coors Boulevard Major Transit Corridor forms the east side of the plan area.	Fixed route 155 runs north and south on Coors. There is presently no transit service into or through the plan area.	Multiple stop pairs on Coors between Fortuna Road and the south boundary of the plan area.	No comment

**ALBUQUERQUE PUBLIC SCHOOLS**

This request will have no adverse impacts to the APS district.

**MID-REGION COUNCIL OF GOVERNMENTS**

MRMPO has no adverse comments.

**MIDDLE RIO GRANDE CONSERVANCY DISTRICT**

No comment.

**PUBLIC SERVICE COMPANY OF NEW MEXICO**

It is the applicant’s obligation to determine if existing utility easements or rights-of-way

are located on or adjacent to the property and to abide by any conditions or terms of those easements.

It is necessary for the developer to contact the PNM New Service Delivery Department to coordinate electric service regarding this project. Contact:

Andrew Gurule, PNM Service Center  
4201 Edith Boulevard NE , Albuquerque, NM 87107  
Phone: (505) 241-0589

The “Utility Equipment” illustration in the lower right corner of the sheet for Development Standards for Complexes Larger than 20 Acres should indicate required distances surrounding transformers per PNM policy:

Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.



View of the subject site looking northwest from Los Volcanes Road NW.



View of the subject site looking east from the adjacent property.



View of the subject site looking northwest from Gallatin Place NW.



View of the subject site looking south from Fortuna Road NW.

APPLICATION INFORMATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input checked="" type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: Ben E Keith Company		Phone:
Address: 601 E 7th Street		Email:
City: Forth Worth	State: Texas	Zip: 76102
Professional/Agent (if any): Tierra West, LLC - Ronald R. Bohannon		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: New Mexico	Zip: 87109
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

**BRIEF DESCRIPTION OF REQUEST**

Major Amendment to Master Development Plan

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: LT 1A Bulk of Plat of Lot 1-A	Block:	Unit:
Subdivision/Addition: Unser Towne Crossing	MRGCD Map No.:	UPC Code: 101005807714730501
Zone Atlas Page(s): J-10-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 50.4641

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: Unser Blvd. NW	Between: Los Volcanes Rd NW	and: Gallatin PL NW
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**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

1000845, 1006833

Signature:	Date: 7/20/2018
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees
-		
-		
-		

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P1: SITE PLAN – EPC**

*Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.*

*A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.*

**INFORMATION REQUIRED FOR ALL SITE PLAN – EPC AND VARIANCE – EPC APPLICATIONS**

- N/A Interpreter Needed for Hearing? \_\_\_ if yes, indicate language: \_\_\_\_\_
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement
- Signed Traffic Impact Study (TIS) Form
- N/A Completed Site Plan Checklist

**SITE PLAN – EPC**

**MASTER DEVELOPMENT PLAN**

**MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

**EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(H)(3) or 14-16-6-6(F)(3), as applicable
- N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
- Scaled Site Plan or Master Development Plan and related drawings (10 copies, 24" x 36" folded)  
*Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.*
- Site Plan or Master Development Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- N/A Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

**VARIANCE – EPC**

— In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(M)(3).

*Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.*

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 7/20/2018</p>
<p>Printed Name: Ronald R Bohannon</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Project Number: _____</p>	<p>Case Numbers _____</p>
<p>_____</p>	<p>_____</p>
<p>_____</p>	<p>_____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



June 1, 2018

Mr. Hugh Floyd, Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: BEN E KEITH - ALBUQUERQUE

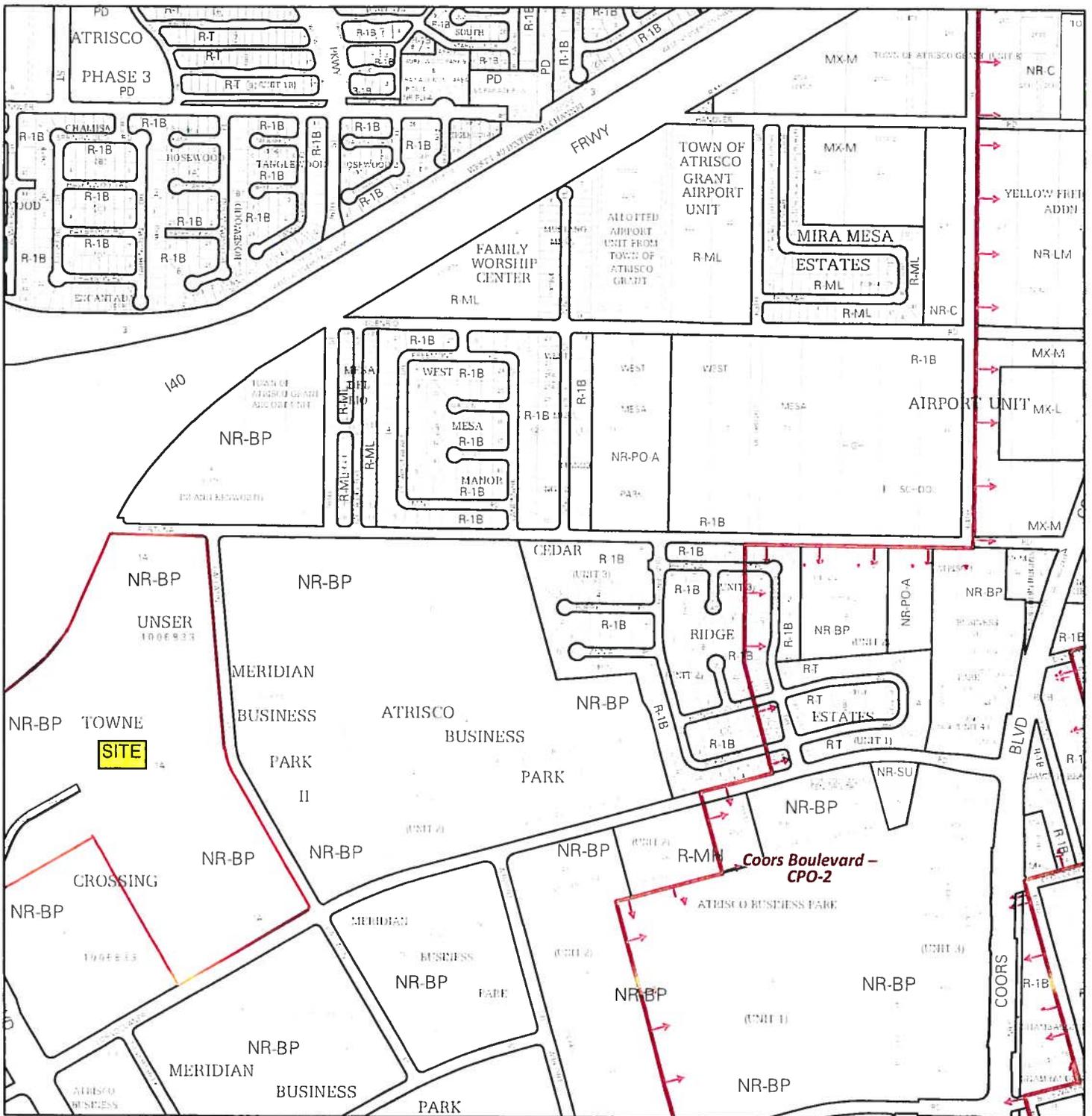
Dear Chairman Floyd:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of BEN E KEITH COMPANY, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

A handwritten signature in blue ink, appearing to be 'RM', is written over a light blue circular stamp.

Roy L. Markham  
Vice President of Operations and Transportation

Signed June 1, 2018

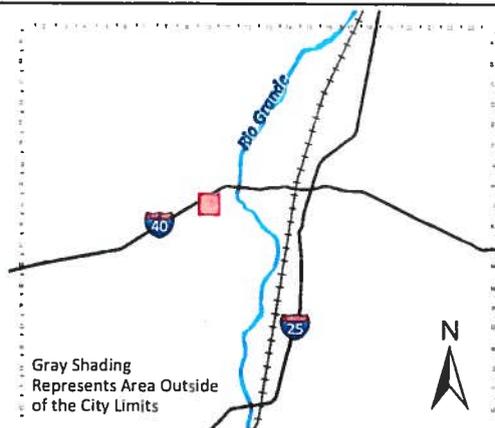


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**J-10-Z**

- Easement Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading Represents Area Outside of the City Limits
- 0 250 500 1,000 Feet

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West LLC DATE OF REQUEST: 6/12/18 ZONE ATLAS PAGE(S): J-09/J-10

CURRENT: \_\_\_\_\_ LEGAL DESCRIPTION: K-09/K-10

ZONING NR-BP LOT OR TRACT # \_\_\_\_\_ BLOCK # \_\_\_\_\_  
Atrisco Business Park

PARCEL SIZE (AC/SQ. FT.) 349.6 SUBDIVISION NAME Unser Towne Crossing

### REQUESTED CITY ACTION(S):

ANNEXATION [ ] SITE DEVELOPMENT PLAN:  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_ SUBDIVISION\* [ ] AMENDMENT [ ]  
SECTOR, AREA, FAC, COMP PLAN [ ] BUILDING PERMIT [ ] ACCESS PERMIT [ ]  
AMENDMENT (Map/Text) [X] BUILDING PURPOSES [ ] OTHER [X]

\*includes platting actions

### PROPOSED DEVELOPMENT:

### GENERAL DESCRIPTION OF

ACTION:  
NO CONSTRUCTION/DEVELOPMENT [X] # OF UNITS: \_\_\_\_\_  
NEW CONSTRUCTION [ ] BUILDING SIZE: \_\_\_\_\_ (sq. ft.)  
EXPANSION OF EXISTING DEVELOPMENT [ ]

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6-12-18

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes:

*If any development or construction is to occur in the future a TIS may be required at that time.*

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]  
TRAFFIC ENGINEER

DATE 6/15/18

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS

-FINALIZED    /   /   

-SUBMITTED    /   /   

TRAFFIC ENGINEER  
DATE

Ron B.  
Vince C.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-141 Date: 6-5-18 Time: 2:00 pm  
Address: SE corner of Unser Blvd. + I-40

AGENCY REPRESENTATIVES AT MEETING:

Planning: Catalina Lehner  
Code Enforcement: Vince Montañño  
Fire Marshall: Eric Gonzales  
Transportation: Mojgan Maadandar  
Other: \_\_\_\_\_

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed.  
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Amend the Atrisco Business Park Master Devel  
Plan to allow users 720 ac.

SITE INFORMATION:

Zone: NR-BP (Business Park) Size: 50.35 ac.  
Use: Distribution center Overlay Zone: none  
(warehouse, docks, office).  
Comp Plan: Area of Change  
Associated Plans: Atrisco Business Park master Devel Plan

MPOS / Sensitive Lands / MR Area / CPO: West Central MRA  
Parking / Landscaping / Street Trees: Atrisco Business Park - Design Standards  
Use Specific Standards: 14-16-4-3  
Dimensional Standards: 14-16-5-1

\*Neighborhood Organization/s: Westside Coalition, Avalon, Los Volcanes, etc

\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods/resources](http://www.cabq.gov/neighborhoods/resources).

PROCESS:

Review and Approval Body: EPC Is this PRT a requirement? yes  
Type of Action: Sps amend + spbp  
Notification: NAs (per ONC) + prop owners

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-141 Date: 6-5-18 Time: 2:00 pm

Address: SE corner of Unken Blvd. + J40

NOTES: \*second PRT for this Request\*

- propose to add new design standards to the Alvarado Business Park for a new category - sites > 20 feet.
- 2 part proposal - amend SPS and new SPBP
- please underline changes in this new category's design standards
- notification of property owners w/in 100' of master plan boundaries
- new submittal forms
- follow up PRT for spbp
- submit availability statement early
- vacation of roadway leading west
- archaeology form + TIS form required
- user is a food processing plant
- what about delegation? maybe ask for how would that work under the T170 - or would it even be needed.

NOTE TO FILE

RE: PRT- PA#18-141, 6-5-18, 2 pm

from: Catalina Lehner, Senior Planner

to: Vince Carrica, Tierra West

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Site Information:

The size of the subject site for the proposed amendment to the Atrisco Business Park Master Plan is approximately 350 acres.



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103

## Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

### Interoffice Memorandum

November 20, 2007

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**Subject:** Albuquerque Archaeological Ordinance—Compliance Documentation

**Project Number(s):**

**Case Number(s):**

**Agent:**

**Applicant:**

**Legal Description:** Tract S2-A1, Atrisco Business Park

**Acreage:** 59 acres

**Zone Atlas Page:** J-9 / J-10

**CERTIFICATE OF NO EFFECT:** Yes  No

**SUPPORTING DOCUMENTATION:**

**A Cultural Resources Survey of a 59-Acre Parcel Located at Unser Boulevard and Interstate 40 in Bernalillo County, New Mexico.** by Amador Minjares (TRC Solutions; Todd Howell P.I. November 2007). NMCRIS #108167.

**SITE VISIT:** Yes, on November 7 2007. Determination that the former West Mesa Airport should be recorded as a historic site.

**RECOMMENDATION(S):**

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area and 4B(3), information potential exhausted for LA 157883).***

**NOTE:** *Information potential for LA 157883 has been exhausted not only by in-field recordation but also from other oral history and documentary evidence.*

**SUBMITTED:**

Matthew Schmader, PhD  
Superintendent, Open Space Division  
Acting City Archaeologist



# TIERRA WEST, LLC

August 30, 2018

Mr. Bill McCoy, Vice Chair  
Environmental Planning Commission  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN  
AMENDMENT REQUEST**

Dear Mr. McCoy:

Tierra West, LLC on behalf of Ben E Keith Foods, requests approval of an amendment to the Atrisco Business Park Master Development Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the southwest mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently more than half of the park has been developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres.

The existing Atrisco Business Park Maser Development Plan provides for design guidelines for tracts within the plan area that are 20 acres in size or smaller. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 40 acres. The guidelines for tracts equal to or smaller than 40 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 40 acres.

This request furthers and is consistent with the following goals and policies of the Albuquerque/Bernalillo County Comprehensive Plan (adopted in March of 2017) as follows:

*Policy 4.1.1: Distinct Communities:* Encourage quality development that is consistent with the distinct character of communities. **The amendment to the Atrisco Business Park Master Development Plan is consistent with the original intent of the master plan and keeps the neighborhood values intact while allowing growth within the plan area that will be complimentary to the surrounding development. In checking the plan the tract would not adjoin any neighborhood communities further preserving those communities.**

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

*Policy 4.1.2: Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design. Under the proposed amendment, the boundaries of the Atrisco Business Park Master Plan would remain as they exist. The amendment would simply help encourage larger single users as opposed to just smaller multiple users to develop within the Park on parcels that their large footprint needs and would not diminish neighborhood (both for internally located as well as nearby single-family neighborhoods) values and social, cultural or recreational resources.*

*Policy 4.1.4: Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality. The City's west side is deficient in jobs relative to housing. The proposed amendment to the Atrisco Business Park Master Development Plan would allow for larger single commercial developments that would provide jobs on the west side. Larger developments within the Park boundaries would create work place opportunities that would decrease workforce commuter routes and stimulate additional growth for both residential and light commercial needs to support the employees. Short commutes, pride in area work facilities and increased services in the area are key to long term health and vitality of single-family residents of neighborhoods in and around the Plan boundaries.*

*Policy 5.4.2: West Side Jobs: Foster employment opportunities on the West Side. The City's west side is deficient in jobs relative to housing. The proposed amendment to the Atrisco Business Park Master Development Plan would allow for larger single commercial developments that would provide an increased number of jobs on the west side. This increase in jobs would in turn spur job opportunities in ancillary developments needed to support the increased workforce in the West Side area. All this can take place with minimal infrastructure improvements required for what is basically infill development. These larger facilities are typically more stable and likely to not only be employing residents for many years but also providing a growth opportunity for the number of jobs as the facilities grow in size and expand their businesses.*

*Policy 7.1: Streetscapes and Development Form: Design streetscapes and development form to create a range of environments and experiences for residents and visitors. The proposed amendment to the Master Plan would allow larger users in larger tracts to group streetscape amenities in clusters to provide for larger areas for residents, visitors and workers to congregate. This is especially important given the fact that larger developments would generate a greater workforce requirement. The development of the infill areas would provide the connection between existing developed parcels within the Plan area as well as to internal and adjacent residential subdivisions. Larger sites typically have greater frontage and other areas that allow a more efficient use of landscape areas as well as longer frontages. This balances out the buffering requirement of the smaller sites but still keeps the street trees and percentages proportionate.*

*Policy 7.2: Pedestrian – Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts. Pedestrian accessible design opportunities will not be diminished by the proposed Master Plan amendment. The larger sites to which the amendments will apply will still be encouraged to create pedestrian friendly atmospheres both adjacent to and within their developments.*

*Policy 7.3.2: Community Character: Encourage design strategies that recognize and embrace the character differences that give communities their distinct identities and make them safe and attractive places. **Many of the sites that would fall under the amended Plan guidelines (in excess of 40 acres) are adjacent to Unser Blvd and Interstate 40. The grades in these sites are well below the grades the Unser / I-40 interchange and development would not decrease views within the area. Existing pedestrian amenities in the areas of these larger parcels will help to continue to promote walkable communities.***

*Policy 7.3.3: Placemaking: Encourage efforts to establish and strengthen district identity within Centers, business districts and neighborhoods. **The Master Plan amendment will encourage infill or remaining undeveloped larger parcels that are permitted to employ innovative site and building designs that will remain compatible and in character with the current developments within the Plan area. These larger developments can be encouraged to invest in development of a site in phases, starting with a base facility that can grow over time as demand for their services and goods increases, rather than starting out in an area that will not meet their ultimate needs, which would force them to relocate to another site locally or in other communities.***

*Policy 7.3.4: Infill: Promote infill that enhances the built environment. **The amendment to the Atrisco Business Park Master Development Plan would not increase the overall plan boundaries but would allow the same number of existing undeveloped tracts to be developed as parcels greater than 40 acres, which would not operate at a level of intensity disturbing to surrounding residents. These larger scale developments will be appropriately located within the existing Park, away from single-family neighborhoods and will be consistent with the existing development context and neighborhood character and identity.***

*Policy 7.3.5: Development Quality: Encourage innovative and high quality design in all development. **The amendment to the Atrisco Business Park Master Development Plan includes building materials and design techniques that are essential for larger developments with larger building footprints to be energy efficient and viably economical. This will encourage innovation in design of facilities as well as encourage energy and water conservation. Energy efficiency is critical to larger facilities where heat gain and cooling helps reduce electrical demand on the facility. This in turn will promote businesses that will have a long term economic impact the local community and support sustainability in the Park.***

*Policy 7.5: Context-sensitive Site Design. **The amendment to the Atrisco Business Park Master Development Plan is consistent with the Design Guidelines in building architecture, lighting, landscaping and signage in compliance with the IDO, while allowing for development of parcels larger than 40 acres currently detailed in the existing master development plan. The request allows for the development of facilities that require larger overall sites. The amended Master Plan will encourage climate sensitive design of outdoor spaces without taxing Albuquerque's precious water resources, while still creating aesthetically pleasing atmospheres with landscaping that is appropriate for the region's arid climate.***

*Policy 8.1.2: Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient and diverse*

*economy.* **The proposed amendment to the Atrisco Business Park Master Development Plan would allow for large scale users to develop within the Park thereby maximizing opportunities for economic development. This will help foster growth within the community. In addition spur other users on the West side to support the facility.**

*Policy 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.* **The request furthers Goal 5.3 because the subject site is in an area that has seen an increased amount of development, and has access to a full range of urban services including water and sewer, electrical service, paved roads, and provision of emergency response services. The subject site is in the middle of established existing vehicular, transit, bicycle, and pedestrian infrastructure, which will make it accessible.**

*Policy 5.6.2 Areas of Change: Direct growth and more intense development to Center, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.* **The request furthers Goal 5.6.2 because the request would allow for the development of larger facilities in the existing Atrisco Business Park Master Development Plan area and provide for additional employment to the broader community.**

The proposed changes to the Master Plan allow for the location and development of larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The existing plan limits the types of materials that are normal to warehousing but not to manufacturing and more types of materials are allowed. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and footprints are typically set back further from the adjoining streets due to height and fire requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

Attached is the proposed additional section for the Master Plan. All of the areas that have changed from the underlying requirements have been highlighted to show the difference that is being requested with this application.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg

NOTIFICATION &  
NEIGHBORHOOD INFORMATION



## **Neighborhood Meeting Request to Applicable Associations**

For those types of applications where TABLE 6-1-1 of the Integrated Development Ordinance requires a meeting with a neighborhood, the applicant shall offer at least 1 meeting to all Recognized and Non-recognized Neighborhood Associations whose boundaries include or are adjacent to the subject project site before filing the application. In such cases, project applications will not be accepted until a neighborhood meeting has been held, or the requirements for a reasonable attempt have been met (see the Integrated Development Ordinance (IDO) Subsection 14-16-6-4 (C)(3)).

Each required Neighborhood Meeting Notice shall include (per IDO Subsection 14-16-6-(K)(6)):

1. The address of the property listed in the application;
2. The name of the property owner;
3. The name of the applicant;
4. Applicant mailing address;
5. Applicant telephone number and/or email address;
6. A short summary of the approval being requested;
7. Website where additional information about the project can be obtained, if applicable.

## **Neighborhood Meeting Notice Checklist**

The following information must be included for **each** application packet submitted to the City of Albuquerque Planning Department.

- A copy of ONC's "Neighborhood Meeting Notice Email" outlining any applicable associations;
- Proof that the meeting occurred, including:
  - A sign-in sheet of attendance; meeting location, date, and time; summary of discussion, including concerns raised, areas of agreement and disagreement, and next steps identified, if any.
  - Identification of any design accommodations that may have been made as a result of the meeting.
- If the concerns raised at the meeting have not been accommodated, the applicant must identify the site or project constraints that limit the ability to address those concerns.
- See Subsection 14-16-6-4(C) of the IDO for more details regarding Neighborhood Meetings via the following weblink: <https://abc-zone.com/>.

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Phone	Email
West Mesa NA	Frank	Gonzales	9024 Santa Catalina Avenue NW	Albuquerque	NM	87121		5056100570	frankgonzales334@gmail.com
West Mesa NA	Steven	Budenski	5732 La Anita Avenue NW	Albuquerque	NM	87105	5054891218		stevenbudenski@gmail.com
Los Volcanes NA	Doug	Cooper	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560		douglascooper@hotmail.com
Los Volcanes NA	Ted	Trujillo	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336	nedcarla@live.com
Avalon NA	Lucy	Anchondo	601 Stern Drive NW	Albuquerque	NM	87121		5058396601	avalon3a@yahoo.com
Avalon NA	Samantha	Pina	423 Elohim Court NW	Albuquerque	NM	87121	5053633455		avalon3a@yahoo.com
South West Alliance of Neighborhoods (SWAN Coalition)	Johnny	Pena	6525 Sunset Gardens SW	Albuquerque	NM	87121	5053213551	5058390372	johnnypena@comcast.net
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallejos	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058360668	igallejoswccd@gmail.com
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	10592 Rio del Sol NW	Albuquerque	NM	87114	5052214003	5058903481	hihen@comcast.net
Westside Coalition of Neighborhood Associations	Rene	Horvath	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114	land@trna.org





# TIERRA WEST, LLC

June 13, 2018

Ms. Rene Horvath  
Westside Coalition of Neighborhood Associations  
5515 Palomino Drive NW  
Albuquerque, NM 87120

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Ms. Horvath:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides for design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and footprints are typically set back further from the adjoining streets due to height and fire

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tierrawestllc.com

Ms. Rene Horvath  
June 13, 2018  
Page 2

requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

This notice is to allow you the opportunity to discuss ahead of the application. We intend to make application for the modification to the Master Plan upon meeting the requirements of the notice.

If you have any questions or wish to meet to discuss this amendment, please do not hesitate to contact me.

Sincerely,



RR Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Jerry Gallegos  
SWAN Coalition  
5921 Central Avenue NW  
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Gallegos :

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides for design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and footprints are typically set back further from the adjoining streets due to height and fire

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Mr. Jerry Gallegos  
June 13, 2018  
Page 2

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This notice is to allow you the opportunity to discuss ahead of the application. We intend to make application for the modification to the Master Plan upon meeting the requirements of the notice.

If you have any questions or wish to meet to discuss this amendment, please do not hesitate to contact me.

Sincerely,

  
For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Harry Hendriksen  
Westside Coalition of Neighborhood Associations  
10592 Rio del Sol NW  
Albuquerque, NM 87114

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Hendriksen:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres.

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Mr. Harry Hendriksen  
June 13, 2018  
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Sincerely,

  
For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Jerry Pena  
SWAN Coalition  
5921 Central Avenue NW  
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Pena:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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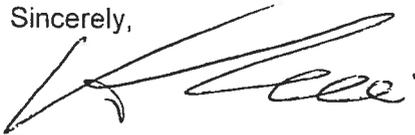
Mr. Jerry Pena  
June 13, 2018  
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Sincerely,



For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Johnny Pena  
SWAN Coalition  
6525 Sunset Gardens SW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Pena:

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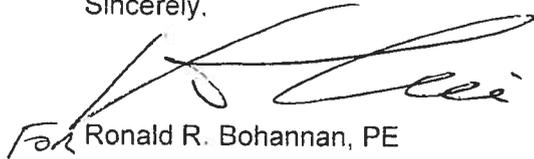
Mr. Johnny Pena  
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Sincerely,

  
For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Ms. Samantha Pina  
Avalon NA  
423 Elohim Court NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Ms. Pina:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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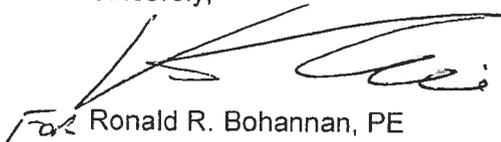
Ms. Samantha Pina  
June 13, 2018  
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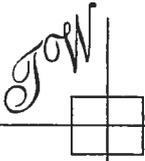
Sincerely,



For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Ms. Lucy Anchondo  
Avalon NA  
601 Stern Drive NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Ms. Anchondo:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Ms. Lucy Anchondo  
June 13, 2018  
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Sincerely,

  
For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Ted Trujillo  
Los Volcanes NA  
6601 Honeylocust Avenue NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Trujillo:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Ted Trujillo  
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For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Doug Cooper  
Los Volcanes NA  
6800 Silkwood Avenue NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Cooper:

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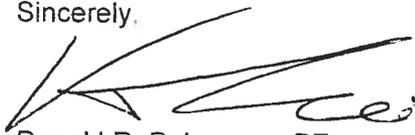
Mr. Doug Cooper  
June 13, 2018  
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Sincerely,

  
For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Steven Budenski  
West Mesa NA  
5732 La Anita Avenue NW  
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Budenski:

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Mr. Steven Budenski  
June 13, 2018  
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For Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

June 13, 2018

Mr. Frank Gonzales  
West Mesa NA  
9024 Santa Catalina Ave NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Gonzales:

Tierra West, LLC, requests approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides for design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and footprints are typically set back further from the adjoining streets due to height and fire

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

Mr. Frank Gonzales  
June 13, 2018  
Page 2

requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

This notice is to allow you the opportunity to discuss ahead of the application. We intend to make application for the modification to the Master Plan upon meeting the requirements of the notice.

If you have any questions or wish to meet to discuss this amendment, please do not hesitate to contact me.

Sincerely,



*For* Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg

7018 0360 0000 6484 1363  
7018 0360 0000 6484 1349  
7018 0360 0000 6484 1301

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**Rene Horvath**  
Westside Coalition of Neighborhood  
Associations  
5515 Palomino Drive NW  
Albuquerque, NM 87120

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**Steven Budenski**  
West Mesa NA  
5732 La Anita Avenue NW  
Albuquerque, NM 87105

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**Ted Trujillo**  
Los Volcanes NA  
6601 Honeylocust Avenue NW  
Albuquerque, NM 87121

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Sent To  
**Doug Cooper**  
Los Volcanes NA  
6800 Silkwood Avenue NW  
Albuquerque, NM 87121

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Sent To  
**Jerry Gallegos**  
South West Alliance of Neighborhood  
(SWAN Coalition)  
5921 Central Avenue NW  
Albuquerque, NM 87105

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Sent To  
**Frank Gonzales**  
West Mesa NA  
9024 Santa Catalina Avenue NW  
Albuquerque, NM 87121

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Here

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Sent To **Johnny Pena**  
 South West Alliance of Neighborhood  
 (SWAN Coalition)  
 6525 Sunset Gardens SW  
 Albuquerque, NM 87121

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Sent To **Lucy Anchondo**  
 Avalon NA  
 601 Stern Drive NW  
 Albuquerque, NM 87121

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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

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Postage	\$ 1.42
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Sent To **Harry Hendriksen**  
 Westside Coalition of Neighborhood  
 Associations  
 10592 Rio del Sol NW  
 Albuquerque, NM 87114

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Sent To **Samantha Pina**  
 Avalon NA  
 423 Elohim Court NW  
 Albuquerque, NM 87121

PS Form 3800, Apr



# TIERRA WEST, LLC

July 17, 2018

Mr. Bill McCoy III, Vice Chair  
Environmental Planning Commission  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **AMENDMENT TO ATRISCO BUSINESS PARK MASTER DEVELOPMENT PLAN  
GOOD FAITH ATTEMPT OF PUBLIC NOTICE**

Dear Mr. McCoy:

This letter is inform you that on June 16, 2018 a required public notice was sent by certified mail to the following Neighborhood Associations per the City of Albuquerque's Integrated Development Ordinance (IDO):

- West Mesa Neighborhood Association
- Los Volcanes Neighborhood Association
- Avalon Neighborhood Association
- South West Alliance of Neighborhoods (SWAN Coalition)
- Westside Coalition of Neighborhood Associations

The neighborhood associations were notified of a pending request to the City for an amendment to the Atrisco Business Park Master Development Plan. Per IDO section 14-16-6 6-4(K)(2)(e) the applicant shall be required to provide public notice 15 consecutive days before a monthly public meeting or hearing. Our good faith attempt to provide the information to the neighborhood associations was completed and within the requested timeframe. As of present day we have NOT received a response from any of the above listed Neighborhood Associations. Attached, please find evidence of the stamped certified mail receipt for your records and submission of the amendment to the Atrisco Business Park Master Development Plan.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s:

JN: 2018014  
RRB/vc/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com



# TIERRA WEST, LLC

July 20, 2018

Mr. Bill McCoy, Vice Chair  
Environmental Planning Commission  
P.O. Box 1293  
Albuquerque, NM 8103

**RE: CERTIFICATION LETTER FOR 100 FOOT BUFFER PROPERTY OWNERS  
AMENDMENT TO ATRISCO BUSINESS PARK MASTER PLAN**

Dear Mr. McCoy:

This letter serves to certify that the letters for the Amendment to the Atrisco Business Park Master Plan submittal are being mailed to the 751-one hundred foot buffer property owners per the City of Albuquerque's IDO requirement. Please find included with this submittal, a copy of the letter indicating the proposed project.

If you have any questions or need additional information regarding this matter, please don't hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2018014  
RRB/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com



# TIERRA WEST, LLC

July 16, 2018

**RE: ATRISCO BUSINESS PARK  
NOTICE OF MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

To whom it may concern,

Tierra West LLC is asking the City of Albuquerque for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and footprints are typically set back further from the adjoining streets due to height and fire requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

This letter is being sent to all property owners in and within 100 feet (excluding rights-of-way) of the Atrisco Business Park as notice that we are making application for the modification to the Master Plan.

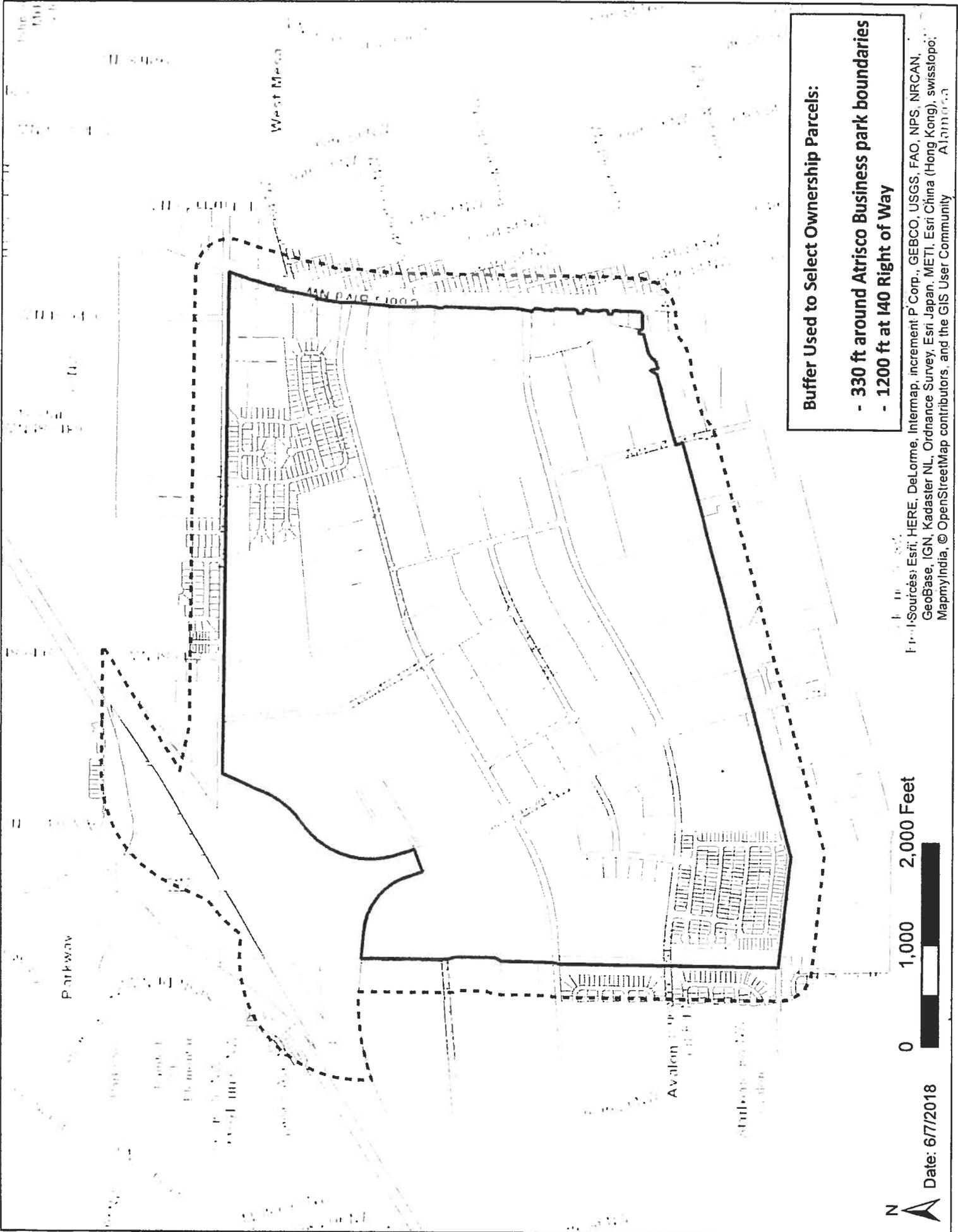
Sincerely,

Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg

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(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com



**Buffer Used to Select Ownership Parcels:**

- 330 ft around Atrisco Business park boundaries
- 1200 ft at 140 Right of Way



Date: 6/7/2018

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community - Alameda

4 AMIGOS HOLDINGS LLC  
2432 W BIRCHWOOD AVE  
MESA AZ 85202-1064

NEW PHASE LLC  
31 CHERRY LN  
ENGLEWOOD CO 80113

THOMPSON MARK TRUST ROTH 401  
PLAN  
7340 ENCHANTED SKY LN NE  
ALBUQUERQUE NM 87113-1324

5280 INVESTMENTS LLC  
7340 ENCHANTED SKY LN NE  
ALBUQUERQUE NM 87113-1324

BLUEWATER 2320 LLC  
7001 BLUEWATER RD NW  
ALBUQUERQUE NM 87121-9901

BARSTOW MATTHEW A & LAURA M  
716 72ND ST NW  
ALBUQUERQUE NM 87121-1302

LOPEZ GERALDINE  
9005 STARBOARD RD NW  
ALBUQUERQUE NM 87121

AWAD GHASSAN & FIDAA  
6908 POPPY PL NW  
ALBUQUERQUE NM 87121

UNSER AL TRUSTEE UNSER RVT C/O AI  
UNSER TRUSTEE  
7625 CENTRAL AVE NW  
ALBUQUERQUE NM 87121-2115

CALDERON JOEY & DURAN SANDRA A  
504 SPINNAKER DR NW  
ALBUQUERQUE NM 87121

DEHERRERA RICHARD E  
6805 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

BAYLON EMMA J  
500 SPINNAKER DR NW  
ALBUQUERQUE NM 87121

OTERO EDWARD G & CAROLE J  
5028 PHEASANT AVE NW  
ALBUQUERQUE NM 87120-1263

RAMIREZ FRANCISCO J & EDUWIGES  
8616 SONOMA AVE NW  
ALBUQUERQUE NM 87121

MARQUEZ ANASTACIO JR & RITA M  
C/O VAUGHN ADAM L & DENINE N  
MORELOS-VAUGHN  
6620 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121  
PERTNER SHAUN C & HERRERA RENEE  
7000 POPPY PL NW  
ALBUQUERQUE NM 87121-1328

ARAGON ANNA M  
9004 TWIN HARBOR AVE NW  
ALBUQUERQUE NM 87121

VALENZUELA JENNIFER M &  
NAPOLEON TAYTUM  
444 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

NAGGAN BARAK  
700 WASHINGTON ST NE APT B  
ALBUQUERQUE NM 87110-6291

CORRAL ANTONIA  
9022 PORT RD NW  
ALBUQUERQUE NM 87121-1967

BILLFISH TRUST  
6812 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

BACA MICHAEL A & THERESA L  
640 GALLEON DR NW  
ALBUQUERQUE NM 87121

ANAYA DAISY ANN & ANAYA JASMINE  
JESSICA  
710 CESARS PALACE DR NW  
ALBUQUERQUE NM 87105-1300

MARTINEZ PABLO C  
7101 POPPY PL NW  
ALBUQUERQUE NM 87121-1331

MOSS FRED D & LOIS B  
7115 POPPY PL NW  
ALBUQUERQUE NM 87121

FRESQUEZ JOSEPH P  
6708 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

GARCIA JOSE F SANDOVAL  
474 63RD ST NW  
ALBUQUERQUE NM 87105-1414

ROJAS FABIAN R & GOMEZ-SALAZAR  
MURIEL H  
709 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8864

MEDRANO FERINAND  
605 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

CHAVEZ STEVE R  
7315 STAGHORN DR NW  
ALBUQUERQUE NM 87120-3079

ZAMORA PETE H & YVONNE C  
8805 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

ITURRADLE VERONICA  
8635 SONOMA AVE NW  
ALBUQUERQUE NM 87121

WILLIAMS GLORIA E  
6519 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8867

CHERESPOSY ROBERT J  
8820 HATTERAS PL NW  
ALBUQUERQUE NM 87121

LUJAN JOSEPH M  
408 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

MERIDIAN REALTY LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197-6363

ARCHULETA FREDDY & JUDY  
6619 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

STATE HIGHWAY COMM  
PO BOX 1149  
SANTA FE NM 87504-1149

PATTON ROBERT E & JACQUELINE E  
9001 SAN NICHOLAS AVE NW  
ALBUQUERQUE NM 87121

CHAVEZ EDWIN  
6700 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

DON SHENG QUN & LI XIU MING  
8811 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

AGUILAR VIDAL & GRACIELA  
315 64TH ST NW  
ALBUQUERQUE NM 87106

G E RIO GRANDE DISTRIBUTION  
CENTER LLC  
123 W SAN FRANCISCO ST SUITE 200  
SANTA FE NM 87501-2111

BRICENO TONY R JR & NADINE MARIA  
1908 ROSEWOOD AVE NW  
ALBUQUERQUE NM 87120-3958

CONTRERAS ALFONSO J ETUX  
515 62ND ST NW  
ALBUQUERQUE NM 87105

DE SMET BRANDON S  
460 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

ORTIZ DAVID V  
2626 NORMENT RD SW  
ALBUQUERQUE NM 87105

BARRERAS MARY GRACE  
620 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

GORDON TRACY  
PO BOX 5254  
BERNALILLO NM 87004

DONG SHENG QUN & LI XIU MING  
2911 FLETCHER AVE APT #130  
LINCOLN NE 68504-1011

SENA JOHN & LILLIAN L  
7301 MINT PL NW  
ALBUQUERQUE NM 87121

GONZALES JUANITA GARCIA ETAL  
1219 ISLETA BLVD SW  
ALBUQUERQUE NM 87105

PADILLA AMANDA & PADILLA  
CRESCYNTHIA J  
8805 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

NGUYEN THAI & THAO NGUYEN  
2491 CLEAR SPRINGS CT  
SAN JOSE CA 95133

MJ HOSPITALITY LLC  
11900 GIACOMO AVE SE  
ALBUQUERQUE NM 87123

RETANA FLAVIO & CHRISTINA  
8908 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

SOLIS-SOTELO JAVIER & SOLIS IMELDA  
7104 POPPY PL NW  
ALBUQUERQUE NM 87121

MONTOYA MICHAEL MILTON  
112 SPINNAKER DR NW  
ALBUQUERQUE NM 87121

DIETMEIER KOLL PEGGY JO TRUSTEES  
JOSEPH W DIETMEIER & MARGARET E  
FAMILY TRUST  
8217 CENTRAL AVE NW  
ALBUQUERQUE NM 87105

LUCERO GERALD J  
9000 SANTA CATALINA AVE NW  
ALBUQUERQUE NM 87121

HERMOSILLO-MURILLO ALEJANDRO &  
AGUILAR-TORRES BEKY  
1609 SEVEN FALLS PL SW  
ALBUQUERQUE NM 87121-3554

ARMIJO LORRAINE A  
6609 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

MOYA PHILIP A & AMANDA A ROMEF  
6905 ZINNIA PL NW  
ALBUQUERQUE NM 87121

GONZALES LEO E & LINDA O TRUSTEES  
GONZALES RVT  
936 GOLDEN YARROW TRL  
BERNALILLO NM 87004-5769

HEETER DAVID & MORTLEY MARGIE  
8715 VOLCANO RD NW  
ALBUQUERQUE NM 87121-7615

CHAVEZ ROBERT E & CYNTHIA  
7316 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87121

CHILDERS RAYMOND  
6716 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

VALDEZ CESAR & CONCEPCION M  
431 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

HERNANDEZ RONY W RIVERA &  
MARRUFO ELIZABETH ORTIZ  
8620 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GARCIA TOMMY C & TINA E  
609 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

VALLIANT GEORGE A & TUCKER AMBER  
LYNN  
BOX 15141642  
SIOUX FALLS SD 57186

ALBERNAS-ROJAS YUNELKY & ADRIAN  
GUERRA BARRERA  
3112 52ND TERRA SW  
NAPLES FL 34116-0000

ZETINA ROBERTO & SILVIA ZETINA  
8715 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GONZALES PEDRO  
1012 WILLIAM ST SE  
ALBUQUERQUE NM 87102

MALDONADO AMY J  
6324 HOWE DR SW  
ALBUQUERQUE NM 87105-6723

HERNANDEZ LUZ ANGELICA HUAPE  
8705 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7239

BELLO BELKIS  
6303 BLUEWATER RD NW  
ALBUQUERQUE NM 87105-1918

BLAKES LOTABURGER LLC  
3205 RICHMOND DR NE  
ALBUQUERQUE NM 87107-1922

HALLGREN PROPERTIES INC  
5909 63RD ST  
LUBBOCK TX 79424-2711

SONNTAG ENTERPRISED INC  
1003 TOMAS CT SW  
ALBUQUERQUE NM 87121

MARTINEZ JESUS & MARY R  
441 63RD ST NW  
ALBUQUERQUE NM 87105

VERIZON WIRELESS LLC C/O NETWORK  
REAL ESTATE  
180 WASHINGTON VALLEY RD  
BEDMINSTER NJ 07921

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103

GDCLV LLC ATTN: GERALD LUCERO  
7301 LOS VOLCANES RD NW  
ALBUQUERQUE NM 87121-8452

GALLEGOS SALVADOR & GLORIA  
605 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

MARQUEZ VERONICA & VICTOR D  
9005 SEASIDE RD NW  
ALBUQUERQUE NM 87121

LIEBHARD WILLIAM I & LANDAVAZO-  
LIEBHARD JUDY  
504 CORAL CT NW  
ALBUQUERQUE NM 87120-2222

HANCOCK LAUREN G  
PO BOX 66719  
ALBUQUERQUE NM 87193-6719

CHAVEZ IRENE  
8920 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7242

PACHECO GABRIEL M  
8908 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7242

ZUNI INVESTORS LLC  
1717 LOUISIANA BLVD NE SUITE 111  
ALBUQUERQUE NM 87110

WESTERN ALBUQ LAND HOLDINGS LLC  
% GARRETT DEV CORP/JEFF GARRETT  
PO BOX 56790  
ALBUQUERQUE NM 87187

RSC PROPERTIES LLC  
1717 LOUISIANA BLVD NE SUITE 111  
ALBUQUERQUE NM 87110

ROMERO ROBERT E & DOLORES  
6524 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

LEGACY CHURCH INC  
7201 CENTRAL AVE NW  
ALBUQUERQUE NM 87121-2007

GALLEGOS DANIEL GILBERT  
8104 CRIMSON AVE NW  
ALBUQUERQUE NM 87120-2072

ARMIJO THEODORE & MARY H  
7008 ZINNIA PL NW  
ALBUQUERQUE NM 87121

WORLIKAR VIRSEN R & MANGALA V  
8020 ELIJAH CT NW  
ALBUQUERQUE NM 87120

BOGGS DAVID  
644 GALLEON DR NW  
ALBUQUERQUE NM 87121

NGUYEN LINH T & HEATHER H TRAN  
8815 SONOMA AVE NW  
ALBUQUERQUE NM 87121

VALDEZ ANTHONY J & SHARON  
427 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

BLEA FELIPE J & MARY R  
7300 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87105

MARTINEZ LEROY M & EDNA MAE  
7305 MINT NW  
ALBUQUERQUE NM 87105

SHACKSTER HOLDINGS LLC  
PO BOX 67904  
ALBUQUERQUE NM 87193-7904

MENDOZA LILIANA A  
1751 BELLAMAH AVE NW APT 2210  
ALBUQUERQUE NM 87104-2228

GARCIA RAY E & CATHERINE G  
6600 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8861

VARELA GINA MAY  
8801 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7014

ARMIJO LORRAINE A  
6615 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8865

GONZALES RICHARD M & SYLVIA  
ESCARSEGA  
616 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

GARCIA JOSEPH E  
6801 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

ROMERO ADAM D & KELLY J  
8919 HATTERAS PL NW  
ALBUQUERQUE NM 87121

SEWARD JOAN  
8819 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7021

SWIRE PACIFIC HOLDINGS INC DBA  
SWIRE COCA COLA USA  
12634 S 265 W  
DRAPER UT 84020-7930

YAZZIE LEVI N & DANNY RAELENE J  
4235 LOUISIANA BLVD NE APT 113  
ALBUQUERQUE NM 87109-1835

TOLEDO GILBERT & YVONNE  
470 63RD ST NW  
ALBUQUERQUE NM 87105

HANSON BONITA J & GRIFFIN JOHN B  
6509 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8867

DURAN LARRY  
7828 GRAYSON RD NW  
ALBUQUERQUE NM 87120-5551

M & B INVESTMENTS LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197-6363

CLIFFORD WEST LLC  
PO BOX 35640  
ALBUQUERQUE NM 87176

BARELA ALEX L & PRISCILLA  
347 GALATANEAU ST NW  
ALBUQUERQUE NM 87121-7699

FIRST HORIZON HOME LOANS  
4000 HORIZON WAY  
IRVING TX 75063

ARVISO COLEEN & JASON K  
415 LUMINOSO DR NW  
ALBUQUERQUE NM 87121-7012

SILVA MATTHEW J  
8809 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

EWING HARRY E & VENUS J  
608 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121-9567

CAMACHO NOAH & MARGI  
8623 HATTERAS PL NW  
ALBUQUERQUE NM 87121

CHAVEZ JOE F  
632 GALLEON DR NW  
ALBUQUERQUE NM 87121

FERNANDEZ MICHAEL J & DOROTHY A  
7816 GRAYSON RD NW  
ALBUQUERQUE NM 87120-5551

EGGERS CYNTHIA TRUSTEE EGGERS  
RVT  
2928 PAYNE RD SW  
ALBUQUERQUE NM 87121

ESCOBEDO MELISSA  
6605 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

LI XIU MING & DONG SHENG QUN  
8811 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

CASTANEDA RAUL A & NAYDENE Y  
508 SPINNAKER DR NW  
ALBUQUERQUE NM 87121

MARTINEZ KRISTY N  
432 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

VANDEVER WILBERT & CORA  
8920 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

KLEIN MARIA E  
7712 BLOSSOM WOOD PL NW  
ALBUQUERQUE NM 87120

PINO KELLEN J  
732 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121

VALDEZ SHARON  
2637 CARDENAS DR NE  
ALBUQUERQUE NM 87110-3201

HARRIS WYNN A  
1802 INDIAN SCHOOL RD NW APT 140  
ALBUQUERQUE NM 87104-2344

ROSE MARITESS  
7101 ZINNIA PL NW  
ALBUQUERQUE NM 87121-9562

WILLIAMS JOSEPH L & ANGELA W  
616 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

FELMLEE BRIAN VIRGIL & MAESTAS-  
FELMLEE VERONICA & PRIETO  
TOSCANO IVAN A  
2309 WATERSHED DR NW  
ALBUQUERQUE NM 87120-3257

FLORES LEANNE  
8720 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

SMITH DONNA RAE  
2250 MONROE ST NE APT 148  
SANTA CLARA CA 95050-3357

GIESE RYAN  
8835 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

SEDILLO CARLOS & LOUISA M  
624 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

LOPEZ MANUEL  
7014 TRAPPER CREEK RD NE  
RIO RANCHO NM 87144-5659

MUIR ALAN M  
815 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121

ESQUIBEL ERIC  
9024 SCHOONER RD NW  
ALBUQUERQUE NM 87121

RODRIGUEZ ISRAEL & CARMAN M &  
AFOYA MARGARET A  
836 DOVETAIL DR  
GOURA HILLS CA 91301-1404

YANES LONNIE S  
6220 CENTRAL AVE SW  
ALBUQUERQUE NM 87105

G & A LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197

SABROE JOSEPH  
1303 BERRY HILL ST  
GRANTS NM 87020

ROMERO JOSHUA  
8705 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

FRISON MICHAEL DWAYNE  
519 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

DURAN GERARD P  
8808 HATTERAS PL NW  
ALBUQUERQUE NM 87121

LUCERO RODOLFO & EDNA M  
7300 MINT PL NW  
ALBUQUERQUE NM 87121-1324

DORE DANIEL L  
7832 GRAYSON RD NW  
ALBUQUERQUE NM 87120-5551

MORA LAURIE & LARRY  
6815 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

VU HUYENTRANG  
8916 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GREVEY HELEN A & MARIANNE GREVE  
FISHER & AVS LLC  
2015 WYOMING BLVD NE  
ALBUQUERQUE NM 87112

HODNETT RONALD D & HODNETT-NIX  
DONNA J  
6808 DEERBOURNE RD NW  
ALBUQUERQUE NM 87114

LOZANO JOSE J  
7813 RANCHWOOD DR NW  
ALBUQUERQUE NM 87120-4029

OCANA VICENTE M & TERESA J  
604 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

ALSUP TRAVIS & TRACY  
1212 PERCHA CREEK WAY  
LAS CRUCES NM 88011-4012

DOWLER CYNTHIA A  
6719 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

EJM DEVELOPMENT CO ATTN: ROBIN  
SCHYMAN  
9061 SANTA MONICA BLVD  
LOS ANGELES CA 90069-5520

COORS INVESTMENT LLC  
8400 HELEN HARDIN ST NE  
ALBUQUERQUE NM 87122

CHRISTOPHER ELLIOT & VIOLETA  
9001 PORT RD NW  
ALBUQUERQUE NM 87121

GUTIERREZ LAWRENCE R & MARY G  
MADRID  
7108 ZINNIA PL NW  
ALBUQUERQUE NM 87121

DURAN GENE F  
6808 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-9574

DAVENPORT ARTHUR F  
PO BOX 93641  
ALBUQUERQUE NM 87199

TRUJILLO MARY A  
508 CORAL CT NW  
ALBUQUERQUE NM 87120

RAUB WADE Y  
8701 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

GRIEGO DANIEL G & CASANDRA J  
8720 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7238

FRAZIER KEELY D  
8616 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

QUAM JONES & QUAM DURAN  
DEVONA  
8820 SONOMA AVE NW  
ALBUQUERQUE NM 87121

GUTIERREZ MAX M & MARY ANN  
426 63RD ST NW  
ALBUQUERQUE NM 87105

PEREZ GINA A  
307 64TH ST NW  
ALBUQUERQUE NM 87105-1909

MADRID SAMUEL L & MARGARET M  
155 62ND ST NW  
ALBUQUERQUE NM 87105

MEJIA JOSE JR & STEADMAN JADEN  
7001 POPPY PL NW  
ALBUQUERQUE NM 87121-1329

MONTOYA OMAR GONZALEZ &  
GONZALEZ ROBERTO JR  
8701 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7231

VILLEGAS VANESSA M  
8628 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

VELASCO RHODANTE C C/O CASTILLO  
ERNIE  
717 72ND ST NW  
ALBUQUERQUE NM 87121-1301

EAGLE INVESTORS INC  
4505 ATHERTON WAY NW  
ALBUQUERQUE NM 87120

BLUEWATER GROUP LLC &  
BLUEWATER 2320 LLC  
7001 BLUEWATER RD NW  
ALBUQUERQUE NM 87121-9901

NIETO GLORIA C  
565 61ST ST NW  
ALBUQUERQUE NM 87105

BARROS MARINA M  
8816 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7232

GUTIERREZ DANIELLE  
723 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121

CITY OF ALBUQUERQUE REAL ESTATE  
OFFICE  
PO BOX 1293  
ALBUQUERQUE NM 87103

MESA ALEXANDER BARREIRO &  
GONZALEZ MAITE ALCIERNA  
6909 ZINNIA PL NW  
ALBUQUERQUE NM 87121-9560

ALMARAZ JOSEPH E SR  
6809 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

CASTILLO OMAR CASTILLO & RAMOS  
ESTEFANIA MARTINEZ  
8705 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7016

LOPEZ HECTOR M & ESCAMILLA PAULA  
6415 AVALON RD NW  
ALBUQUERQUE NM 87105-1912

CASTILLO MARIO A  
6600 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8871

PADILLA ERNESTO J & MARIE A  
575 VIA PATRIA SW  
ALBUQUERQUE NM 87121

BENAVIDEZ CHRISTINA A  
7824 GRAYSON RD NW  
ALBUQUERQUE NM 87120

GURULE ANNE M & LOUIS  
8631 SONOMA AVE NW  
ALBUQUERQUE NM 87121

CASTILLO GERARDO & ROSALIA  
457 63RD ST NW  
ALBUQUERQUE NM 87105-1413

HARDY MARILYN J  
2924 SAN PABLO ST NE  
ALBUQUERQUE NM 87110-2717

G BRUNACINI & SON DEVELOPMENT  
LLC  
P O BOX 6363  
ALBUQUERQUE NM 87197-6363

PACHECO JOHN S & SEFERINA  
6225 PALMA PL NW  
ALBUQUERQUE NM 87120

VIDAL DE MARTINEZ BEATRIZ  
6701 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8869

GUTIERREZ ROBERT S & GARCIA LEROY  
P  
1109 ZARAGOZA ST SW  
ALBUQUERQUE NM 87121

FERGUSON PAUL  
8911 HATTERAS PL NW  
ALBUQUERQUE NM 87121

MAYS GREGORY L & ELISABETH M  
6704 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

ORTIZ-DURAN MARIANITA  
8715 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

CHAVEZ CHANEL M  
8820 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

GARCIA LEONARD R & AMY S  
8900 HATTERAS PL NW  
ALBUQUERQUE NM 87121

NGUYEN HUY MIKE & LIEN BICH  
NGUYEN TRUSTEES NGUYEN FAMILY  
.VT  
1073 DARYLVIEW CT  
SAN JOSE CA 95138

DEFELIPPO RALPH & ALLISON  
8627 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

JARAMILLO ADAM C  
9009 SANTA CATALINA AVE NW  
ALBUQUERQUE NM 87121

WOMBLE CHRISTOPHER & BRIANNA  
8101 CRIMSON AVE NW  
ALBUQUERQUE NM 87120-2073

ARCHULETA JASON & VICTORIA  
7308 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87121-1325

FISCHER CHRIS  
417 63RD ST NW  
ALBUQUERQUE NM 87105

J2C LLC & FREDMAN GERALD S MD PC  
MONEY PURCHASE PLAN & TRUST &  
ETAL  
PO BOX 35640  
ALBUQUERQUE NM 87176-5640

TRUJILLO ERNEST A & ELIZABETH A  
705 CESARS PALACE DR NW  
ALBUQUERQUE NM 87105

TRUJILLO RONALD  
8605 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7237

GARCIA ROBERT M & EVELYN R  
612 ROSEBUD NW  
ALBUQUERQUE NM 87121

ISIDRO GRIEGO  
6815 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

SPAHN CHRISTINA A  
616 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

BARSTOW RICHARD E & JULIE ANN  
709 72ND ST NW  
ALBUQUERQUE NM 87105

BD DEVELOPMENT II LLC  
PO BOX 6992  
ALBUQUERQUE NM 87192

ESTRADA CARLOS  
412 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

UNSER AL TRUSTEE UNSER RVT  
7601 CENTRAL AVE NW  
ALBUQUERQUE NM 87120

WINDCHIME RETIREMENT GROUP LTD  
CO  
5353 WYOMING BLVD NE SUITE A  
ALBUQUERQUE NM 87109-3132

DRAKE JOSEPH B & PRISCILLA  
6516 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8862

CASTILLO GERARDO R & ROSALIA  
457 63RD ST NW  
ALBUQUERQUE NM 87105-1413

ESPINOZA JUDITH A  
7100 POPPY PL NW  
ALBUQUERQUE NM 87121

CORDOVA EDWARD & TINA  
6708 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

ENCHANTMENT HOMES OF NM LLC  
PO BOX 67305  
ALBUQUERQUE NM 87193

BENAVIDEZ GEORGE DOMINGO &  
MARIE ROSE C/O MARTINEZ CHERYL A  
& ETAL  
346 BRISTOL ST NW  
ALBUQUERQUE NM 87121-7696

ALCANTAR GORDON ROBERT  
1439 1/2 BELROSE AVE NW  
ALBUQUERQUE NM 87107-3407

KOENIG LA-TRESSA DAWN  
6812 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

BOEHLAND SUZANNE  
8716 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

VP TIERRA POINTE LLC  
850 NEW BURTON RD SUITE 201  
DOVER DE 19901-5451

MARTINEZ VERNON C  
6620 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

BOARD OF EDUCATION  
PO BOX 25704  
ALBUQUERQUE NM 87125-0704

GALLEGOS ANGELICA D  
PO BOX 27322  
ALBUQUERQUE NM 87125

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

CLOWN MARIO G  
731 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121-1345

PADILLA MANUEL MICHAEL  
7308 MINT PL NW  
ALBUQUERQUE NM 87121

BACA PAMELA M & MARK E  
704 72ND ST NW  
ALBUQUERQUE NM 87121

SAAVEDRA TONY & NORMA J  
8615 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

ROCHA MARIA R & HENRY  
404 SPINNAKER DR NW  
ALBUQUERQUE NM 87121-1934

YAZZIE MICHAEL  
458 63RD ST NW  
ALBUQUERQUE NM 87105

LUCERO KARLA L & RAY & KATHERINE  
LUCERO  
8716 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

POLLACK ARMANDO A  
8805 SONOMA AVE NW  
ALBUQUERQUE NM 87121

LOPEZ ARISTEO  
7405 MINT PL NW  
ALBUQUERQUE NM 87105

ZAMORA STEVE T & ANNA EULALIA  
6505 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

OTOOLE LEE ANN & SANDY C MCADAM  
6800 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87120

PILON MATTHEW E & DARLENE M  
623 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

BENAVIDES JULIAN  
6504 SILKWOOD NW  
ALBUQUERQUE NM 87121-8862

MERCADO ABLE I & SONIA M  
435 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

HARRIS ALVIN A  
7112 POPPY PL NW  
ALBUQUERQUE NM 87121

RITTER JOHN W & DIANE C CO-  
TRUSTEES RITTER RVT  
6508 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8862

DIAZ RAYMOND N  
701 72ND ST NW  
ALBUQUERQUE NM 87121

CORLEW CHARLES V  
8708 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7007

LOPEZ LUIS A & JUAREZ MARIA  
GUZMAN  
9001 SANTA CATALINA AVE NW  
ALBUQUERQUE NM 87121-8998

CHAVEZ ELIGIO U & MATHEWS ELOISA  
M  
9005 SANTA CATALINA AVE NW  
ALBUQUERQUE NM 87121

WOOD RUSSELL R & MANDY M  
9023 PORT RD NW  
ALBUQUERQUE NM 87121

WHEELER DAVE  
7005 POPPY PL NW  
ALBUQUERQUE NM 87121

RUE MCCULLOUGH DEBORAH L  
8615 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

WELLS FARGO BANK NA X2504-017  
CUSTOMER SERVICE  
1 HOME CAMPUS  
DES MOINES IA 50328-0001

DONG SHENG QUN & LI XIU MING  
8708 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7238

RUDD WILLIAM BRADLEY & DENISE E  
628 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

RODRIGUEZ PAUL & MICHELLE  
1704 VIA AMIGOS  
SAN LORENZO CA 94580

LIPARI TONY & HELEN  
364 64TH ST NW  
ALBUQUERQUE NM 87105-1910

VILLEGAS SANDI  
363 64TH ST NW  
ALBUQUERQUE NM 87105

GUTIERREZ DEANNA  
5701 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8864

BELLINO ELIZABETH ANN  
624 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

HEETER DAVID L & DEBORAH A  
9701 GOLF COURSE RD NW  
ALBUQUERQUE NM 87114

SS COORS NEW MEXICO LLC  
P.O BOX 44375  
PHOENIX AZ 85064

JARAMILLO TOM B  
2020 S PLAZA ST NW  
ALBUQUERQUE NM 87104-1400

GARCIA MELISSA L & ANDRES T  
509 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

HERRERA ROSELYN  
8639 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

BOUCHER NICHOLAS G & JENNIFER T  
1700 MARKET ST NW APT 2004  
ALBUQUERQUE NM 87120

NYDES PROPERTIES LTC CO  
PO BOX 4247  
SANTA FE NM 87502

PARENT BARBARA PAGE OR CHARLES F  
501 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121-9568

WOODS DONALD RAY & MARGARET K  
6503 HONEY LOCUST AVE NW  
ALBUQUERQUE NM 87121

CARRION RICHARD & ROSINA A  
7313 MINT PL NW  
ALBUQUERQUE NM 87121

CHACON SIMONITA M  
7009 ZINNIA PL NW  
ALBUQUERQUE NM 87121

PRESBYTERIAN HEALTHCARE SERVICES  
REAL ESTATE OFFICE  
PO BOX 26666  
ALBUQUERQUE NM 87125-6666

CHAVEZ LISA R  
509 62ND ST NW  
ALBUQUERQUE NM 87105

RIOS SAMUEL ZAMBRANO &  
ARMENDARIZ JESSICA P CORDOVA  
636 ROSEBUD DR NW  
ALBUQUERQUE NM 87121-8873

MENDOZA GOMEZ REBECCA JUDITH  
627 STERN DR NW  
ALBUQUERQUE NM 87121-8864

PIJ PROPERTIES LLC  
9400 HOLLY AVE NE BLDG 4  
ALBUQUERQUE NM 87122-2948

RAMIREZ ADAM JOSEPH & ALMA C  
6616 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8871

8909 SAWGRASS PLACE NW LLC  
20403 N LAKE PLEASANT RD SUITE 117-  
406  
PEORIA AZ 85382-9702

ORTIZ-THOMPSON LISA M  
8719 SONOMA AVE NW  
ALBUQUERQUE NM 87121

GARCIA JOSE T & VERONICA  
6719 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

SANCHEZ SHAUN L & PAMELA M  
6704 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

VIGIL EUGENE & VIGIL BARBARA M  
9000 SCHOONER RD NW  
ALBUQUERQUE NM 87121

GONZALES MONICA & SANDOVAL  
CHARLIE S  
352 64TH ST NW  
ALBUQUERQUE NM 87105-1910

GOMEZ MELISSA Y  
8640 SONOMA AVE NW  
ALBUQUERQUE NM 87121

LOPEZ MORRIS A & MARY A  
620 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

SANCHEZ CHRISTINA M  
7416 MINT PL NW  
ALBUQUERQUE NM 87121-1315

MORALES JAMES & CABRAL MARIA  
RUELAS  
8623 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7229

VU ANDY D  
8901 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GALLATIN DEVELOPMENT LLC &  
CLIFFORD ABQ C/O BURKE &  
ASSOCIATES LLC  
1336 E 32ND ST SUITE 217  
MUSKOGEE OK 74135-4442

LUCERO ROBERT M  
9004 SANTA CATALINA AVE NW  
ALBUQUERQUE NM 87121

NELSON LARRY & DOLORES  
929 COORS BLVD SW  
ALBUQUERQUE NM 87121

TRAN YUNG  
425 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

SECRETARY OF VA ATTN: LOAN  
GUARANTY SERVICE  
3401 W END AVE SUITE 760W  
NASHVILLE TN 37203-1042

PFINGSTEN MARGARET  
561 61ST ST NW  
ALBUQUERQUE NM 87105

CHAVEZ TIMOTHY M & DOREEN V  
6708 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

ARCHULETA ANNETTE O  
333 64TH ST NW  
ALBUQUERQUE NM 87105-1909

HOBBS JACOB A & SHAUNA ELIZABETH  
9008 SCHOONER RD NW  
ALBUQUERQUE NM 87121

FELKER DANIEL P  
8620 SAWGRASS PL NW  
ALBUQUERQUE NM 87120

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

DEJONG LON & SHARON  
8716 HATTERAS PL NW  
ALBUQUERQUE NM 87121

CHAVEZ ROBERT  
8609 HATTERAS PL NW  
ALBUQUERQUE NM 87121

429 63RD STREET NW LLC  
1806 CONITA REAL AVE SW  
ALBUQUERQUE NM 87105

CASTILLO RALPH M 1999 TRUST  
PO BOX 800895  
DALLAS TX 75380

DEBLASSIE STEVEN M & GINA M  
8310 CALLE PICAFLOR NW  
ALBUQUERQUE NM 87120-3104

ANDRADE VERONICA & MIGUEL A  
245 SUNNYSLOPE ST SW  
ALBUQUERQUE NM 87105-1407

MCD AID ANNA M  
8719 HATTERAS PL NW  
ALBUQUERQUE NM 87121

MCATEE JAMES E & LAURI A  
9000 ANACAPA AVE NW  
ALBUQUERQUE NM 87121

RIO GRANDE ENGINEERING  
9171 GLENDALE AVE NE  
ALBUQUERQUE NM 87122-3805

PARRA CARMELITA  
372 64TH ST NW  
ALBUQUERQUE NM 87105-1910

TRUJILLO TED P & DARLA J  
6601 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

BRENNAN NATASHA M & CHRIS J  
9019 PORT RD NW  
ALBUQUERQUE NM 87121

MORELOS ROBERT L & MORELOS  
JOSEPH ANTHONY TRUSTEES MORELOS  
LVT  
6523 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8867

MOORE MICHAEL D  
6604 SILKWOOD NW  
ALBUQUERQUE NM 87121

RAMIREZ FRANK T  
419 LUMINOSO DR NW  
ALBUQUERQUE NM 87121-7012

DORADO JOEL D & MIRIAM P  
6904 POPPY PL NW  
ALBUQUERQUE NM 87121-1327

DURON ELDA M CANALES  
6705 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8864

ORDAZ MICHAEL M  
8816 HATTERAS PL NW  
ALBUQUERQUE NM 87121

ROMERO PATRICIA J  
632 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

A MAME LLC  
1310 WELLESLEY NE  
ALBUQUERQUE NM 87107

JIMENEZ ANGELA A R  
7820 GRAYSON RD NW  
ALBUQUERQUE NM 87120

SANCHEZ NAOMI  
8801 TRADEWIND DR NW  
ALBUQUERQUE NM 87121

GONZALES ANNA M  
7409 MINT PL NW  
ALBUQUERQUE NM 87121-1316

MYGRANT MICHAEL R & CATHERINE L  
TRUSTEES MYGRANT LVT  
3271 ARDEN RD  
HAYWARD CA 94545-3901

GARCIA BEATRICE  
7624 WINTER NE  
ALBUQUERQUE NM 87110

RUYBAL ANGEL  
609 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

BACA ERNEST  
713 72ND ST NW  
ALBUQUERQUE NM 87121-1301

DIAZ YESENIA R  
9000 TWIN HARBOR AVE NW  
ALBUQUERQUE NM 87121

ORTIZ MELVIN R TR ORTIZ FAMILY  
TRUST % SANCHEZ-RIBOTA JOSE M &  
LEDESMA ELIZ  
348 BRISTOL ST NW  
ALBUQUERQUE NM 87121

MARTINEZ TOMAS F & VANESSA R  
8819 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

RUBIO CHRISTOPHER M & LISA O  
6705 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8869

WEATHERSPOON BRANDON I  
8719 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7008

LAUTS RICHARD TR LAUTS FAMILY  
TRUST  
8701 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7239

JIMENEZ THADDEUS LEE & CARSIA  
JANE  
9004 SEASIDE RD NW  
ALBUQUERQUE NM 87121

MALDONADO ANDREA A  
8827 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

SAEGHI ALI & VANDIDAD RASOULI  
7105 ZINNIA PL NW  
ALBUQUERQUE NM 87121

SOLANO JUAN & PEARL MADRID  
6527 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

NEW MEXICO REAL ESTATE LIMITED  
PARTNERSHIP  
PO BOX 8000-351  
V2S 6H1

RICKETSON VIRGINIA  
7413 MINT PL NW  
ALBUQUERQUE NM 87105

ORTIZ DAVID V  
507 62ND ST NW  
ALBUQUERQUE NM 87105-1411

SANDOVAL LUISA E A  
8815 HATTERAS PL NW  
ALBUQUERQUE NM 87121

FAVELA-LEGARDA ALVARO  
629 HONEYLOCUST PL NE  
ALBUQUERQUE NM 87121-9570

TRULL CRAIG O & DOLORES L  
6518 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

SANDOVAL PHILLIP I  
712 72ND ST NW  
ALBUQUERQUE NM 87120

MOBILE DEVELOPMENT  
PO BOX 36371  
ALBUQUERQUE NM 87176

MANRIQUEZ SALVADOR  
6323 BLUEWATER RD NW  
ALBUQUERQUE NM 87105-1918

NUANES BEAU  
8904 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7234

SANCHEZ MARY BEA  
6501 AVALON RD NW  
ALBUQUERQUE NM 87105-1960

ARELLANO JOSE LUIS  
321 64TH ST NW  
ALBUQUERQUE NM 87105

FRANQUILLO PARTNERS LLC  
PO BOX 250  
LOS ALAMOS NM 87544

SAROMINES REGINA S & EDWIN C  
8631 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7010

ROMERO RICHARD E  
9000 SAN NICHOLAS AVE NW  
ALBUQUERQUE NM 87121

SANDOVAL RICARDO P & MARTINEZ  
MARIA V  
8816 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7020

HUGS HOLDINGS LLC C/O O'REILLY  
AUTO PARTS  
PO BOX 9167  
SPRINGFIELD MO 65801-9167

SILVA RENATO MARTINEZ & MOLINA  
ERENDIRA  
8102 CRIMSON AVE NW  
ALBUQUERQUE NM 87120-2072

GUERRA PETER  
8704 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

MTGLO INVESTORS LP C/O SHELLPOINT  
MORTGAGE SERVICING  
55 BEATTIE PL SUITE 500  
GREENVILLE SC 29601-5116

AGUILAR ALMA C & LOPEZ DAVID  
PO BOX 137  
DONA ANA NM 88032-0137

GARCIA M MAX  
6619 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87114-8868

MCBRIDE VINCENT G  
6909 POPPY PL NW  
ALBUQUERQUE NM 87121

GAMBOA SILVIA  
325 WAYNE RD NW APT 4  
ALBUQUERQUE NM 87114-1071

MARTINEZ APRIL M & RIOS MANUEL D  
620 GALLEON DR NW  
ALBUQUERQUE NM 87121-2073

AHEPA 501- II INC  
6700 LOS VOLCANES RD NW  
ALBUQUERQUE NM 87121-8479

PRESCOTT PATRICK M & LINDA S  
7304 MINT PL NW  
ALBUQUERQUE NM 87105

TRUJILLO BRANDON J  
7108 POPPY PL NW  
ALBUQUERQUE NM 87121-1330

MONTOYA CHARLES R & PAMELA S  
609 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87120

NIETO VALENTIN G & JENNIFER T  
8628 HATTERAS PL NW  
ALBUQUERQUE NM 87121

465COORSALBQ LLC  
PO BOX 219  
SAN BRUNO CA 94066-0219

HOOPER RHETT  
8823 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

CARDENAS JOEL C  
8808 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

MONTOYA EVANGELINE  
8811 HATTERAS PL NW  
ALBUQUERQUE NM 87121

IRON MOUNTAIN RECORDS MGMT INC  
1 FEDERAL ST FLOOR 7  
BOSTON MA 02110-2003

SENA TRINIDAD & DOLORES  
433 63RD ST NW  
ALBUQUERQUE NM 87105-1413

GARCIA LORENZO F & ANGEL ANYA  
8832 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7020

GURULE PAUL & VICKIE CARRION  
468 63RD ST NW  
ALBUQUERQUE NM 87105

ZAMARRIPA JAVIER & MARTHA  
9008 SEASIDE RD NW  
ALBUQUERQUE NM 87121

BRITO MELODY A  
420 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

PANLILIO IRENE E  
452 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

BUSTILOS JORGE MARTINEZ  
620 ROSEBUD DR NW  
ALBUQUERQUE NM 87121-8873

CLARK MONIQUE L  
118 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

GALLARDO GUS & SUSIE  
709 CAESARS PALACE DR NW  
ALBUQUERQUE NM 87121

CHARLEY WINFRED V  
1002 CALLE SERRANO  
ESPANOLA NM 87532-2736

ROMERO JACOB J  
7312 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87121-1325

CHAMPERY REAL ESTATE 2015 LLC  
2320 POTOSI ST SUITE 130  
LAS VEGAS NV 89146-0312

GRAYLAND CORPORATION & J2C LLC  
CLIFFORD JACK J & LEE RVT & ETAL  
PO BOX 35640  
ALBUQUERQUE NM 87176-5640

ALVARADO DEVELOPMENT LLC  
924 W COLFAX AVE SUITE 302  
DENVER CO 80204-2629

STROUSE WILLIAM T & GENEVIEVE M  
9001 STARBOARD RD NW  
ALBUQUERQUE NM 87121

MAJEC LIMITED PARTNERSHIP A NM  
PARTNERSHIP  
PO BOX 3168  
CORRALES NM 87048-3168

SANDOVAL AARON P & VALERIE A  
8624 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

SECRIST ADRIAN GENE  
705 72ND ST NW  
ALBUQUERQUE NM 87121

RIO GRANDE CREDIT UNION  
1401 SAN PEDRO NE  
ALBUQUERQUE NM 87110

MAESTAS GEORGE L & LILLIAN M  
7320 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87121-1325

WADE DENEEN  
728 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121

TAFOYA VALERIE  
7100 ZINNIA PL NW  
ALBUQUERQUE NM 87121-9563

VELARDE VICTOR L & AMANDA J LYON  
5504 ARABIAN DR NW  
ALBUQUERQUE NM 87120

NORTHCUTT JACKY & NORTHCUTT  
EPPY  
601 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

MADRID LUIS RAUL & MARIA  
636 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

ELLINGTON MARK JAMES  
7004 ZINNIA PL NW  
ALBUQUERQUE NM 87121

SALAS FELIPE JR  
343 64TH ST NW  
ALBUQUERQUE NM 87105-1909

ORTEGA ROSEMARY F  
6704 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

ROMERO JESSIE & JANIE  
5808 PRAIRIE NIGHT LN NW  
ALBUQUERQUE NM 87120

VIGIL JOE & YVONNE  
428 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

CAMPOS RICHARD F & VANGIE E  
6623 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8868

MONTOYA HENRY A & SALLY A  
560 61ST ST NW  
ALBUQUERQUE NM 87105

OCONNELL JEREMIAH J & JOVONNE T  
9020 SCHOONER RD NW  
ALBUQUERQUE NM 87121-1948

SOTELO ENRIQUE & MARTHA O C/O  
ZAMORA-BORUNDA ENRIQUE ALONSO  
& ETAL  
9018 PORT RD NW  
ALBUQUERQUE NM 87121-1967

RAMIREZ EMELINA S & REYNALDO L  
8523 VISTA ESTRELLA LN SW  
ALBUQUERQUE NM 87121-8946

MCCABE TODD LEROY & MORGAN  
MCCABE SHANNON  
6731 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

MGC MORTGAGE INC  
6904 ZINNIA PL NW  
ALBUQUERQUE NM 87121

CASTILLO JOAQUIN R & NORA G  
564 GALLEON DR NW  
ALBUQUERQUE NM 87121

TOWER JENNIFER  
8809 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

RICHARDSON BOBBY E TRUSTEE  
RICHARDSON RVT  
700 72ND ST NW  
ALBUQUERQUE NM 87121

PACHECO TERIN A & MELANIE  
8623 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

CRISTO RUTH I  
6500 SILKWOOD AVE NW  
ALBUQUERQUE NM 87120

TAYLOR MILTON D & SUSAN  
640 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

TRUJILLO ROMAINE R & DERIK J  
GARCIA  
8819 HATTERAS PL NW  
ALBUQUERQUE NM 87121

CHAVEZ KATHERINE E  
628 GALLEON DR NW  
ALBUQUERQUE NM 87121

LUCERO FRANCISCO & GABRIELLE L  
401 LUMINOSO DR NW  
ALBUQUERQUE NM 87121-7012

BALL ALICIA  
648 QUAIL BRUSH DR NW  
ALBUQUERQUE NM 87121

SOSA KASSONDRA J  
7109 POPPY PL NW  
ALBUQUERQUE NM 87121

CHACON EFRAIN N  
6816 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

JOHNSON BRAIN A  
436 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

RUSSELL BEN F  
625 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

CHAVEZ GABRIEL D JR  
6512 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8862

GOMEZ LUIS H & VIVIANA  
8720 SONOMA AVE NW  
ALBUQUERQUE NM 87121

BROWN MICHELE  
8709 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7008

TRUJILLO ANDREW P  
8619 HATTERAS PL NW  
ALBUQUERQUE NM 87121

NUZZO RAMONA LEE & NUZZO  
DONALD F JR  
601 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

GALVAN JORGE A & PATRICIA GRIEGO  
8800 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7017

REYES HECTOR S & MENDEZ DE REYES  
GERARDINA  
500 CORAL CT NW  
ALBUQUERQUE NM 87120-2222

ARMENDARIZ SEGUNDO III &  
CHRISTINA D  
8300 MESA TOP RD NW  
ALBUQUERQUE NM 87120

SUNDANCE HOMEOWNERS  
ASSOCIATION INC C/O HOAMCO  
PO BOX 67590  
ALBUQUERQUE NM 87193-7590

BROWN CHARLES & ROBERTA  
656 GALLEON DR NW  
ALBUQUERQUE NM 87121

WENKER JEFFREY C & MARGARET I  
628 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

NARANJO MARLENE V  
424 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

OONA HEIDI M  
8809 HATTERAS PL NW  
ALBUQUERQUE NM 87121

JOHN GARY & BLEA PAMELA  
7304 THUNDERBIRD CT NW  
ALBUQUERQUE NM 87121

GAIER ANTHONY LEWIS & TERESA  
JEANNE  
7716 BLOSSOM WOOD PL NW  
ALBUQUERQUE NM 87120

REGIONS BEYOND INC C/O THE  
POTTER'S HOUSE  
P O BOX 7486  
ALBUQUERQUE NM 87194-7486

QUANZ ROBERT M  
143 RENAISSANCE LP SE  
RIO RANCHO NM 87124-7642

YORK JENNIFER O  
440 SHORWOOD DR NW  
ALBUQUERQUE NM 87121

CURB INC N M CORPORATION  
5160 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109

MILLER VALERIE  
422 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121-7227

MAESTAS ANDREW C  
421 SAN CLEMENTE AVE NW  
ALBUQUERQUE NM 87107-3628

SECRETARY OF VETERANS AFFAIRS  
ATTN: VA REGIONAL LOAN CENTER  
3401 W END AVE SUITE 760W  
NASHVILLE TN 37203-6860

CABRAL BRIAN  
8628 SONOMA AVE NW  
ALBUQUERQUE NM 87121

COURVAN LLC  
PO BOX 12268  
ZEPHYR COVE NV 89448

CANDELARIA ROBERT & YVETTE  
604 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121-9567

ESCARCEGA GUADALUPE Y  
9004 SCHOONER RD NW  
ALBUQUERQUE NM 87121

APODACA LEONARD & MICHELLE  
8636 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7009

THOMAS CHARLES P  
504 KINGSBURY CIR NE  
LOS LUNAS NM 87031-8777

AMERACE CORPORATION  
6625 BLUEWATER RD NW  
ALBUQUERQUE NM 87105

IBARBO VANESSA  
652 GALLEON DR NW  
ALBUQUERQUE NM 87121

SANCHEZ ROBERT C  
5350 SAN MATEO BLVD NE  
ALBUQUERQUE NM 87109

MARTINEZ ROBERT B & ROBERTA L  
6616 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8861

NGUYEN NHAN & NGOC M VI  
8916 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

OTTH ALFRED W  
26355 SPRING CREEK CIR  
EL TORO CA 92630-6531

MOBILE DEVELOPMENT INC C/O  
MATA-SOLIS FERNANDO & MATA  
MARIA L  
338 BRISTOL ST NW  
ALBUQUERQUE NM 87121-7696

PARRA STEVEN  
349 64TH ST NW  
ALBUQUERQUE NM 87105

CHAVEZ DAVID R  
8828 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7020

TORRES KAREN L  
416 SPINNAKER DR NW  
ALBUQUERQUE NM 87121

CHAVEZ MADAYI  
630 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

GARCIA TONY L  
1300 TARRINGTON DR NW  
ALBUQUERQUE NM 87120

CORDOVA PATSY  
8820 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

ANTHEM OIL LLC  
4421 IRVING BLVD NW SUITE A  
ALBUQUERQUE NM 87114

MARTINEZ MARTIN  
PO BOX 433  
ROSWELL NM 88202-0433

ARCHULETA MICHAEL N & LEONETTE S  
615 ROSEBUD DR NW  
ALBUQUERQUE NM 87121-8874

HOAK JOSEFINA G  
704 LANDMARK ST NW  
ALBUQUERQUE NM 87121

SANCHEZ ANDREA L  
2406 BROADWAY BLVD NE  
ALBUQUERQUE NM 87102-1139

YON JAMES J & MARY LOUISE  
'08 LANDMARK ST NW  
ALBUQUERQUE NM 87121-1321

MCDUGALL JENNER  
605 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

HIGHT JAMES F  
8624 HATTERAS PL NW  
ALBUQUERQUE NM 87121

HOWARD DAVID M & SUZANNE  
8804 HATTERAS PL NW  
ALBUQUERQUE NM 87121

STAMP JASON E & MARGARET A  
619 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

7301 BLUEWATER PARTNERS LLC  
PO BOX 90367  
ALBUQUERQUE NM 87199-0367

MARTINEZ CARLOS & DORA E  
8815 SAWGRASS PL NW  
ALBUQUERQUE NM 87120

ENCINIAS CLARA  
8601 HATTERAS PL NW  
ALBUQUERQUE NM 87121

YANKEE FANS LLC C/O MAYME  
BRUNACINI  
4310 WELLESLEY DR NE  
ALBUQUERQUE NM 87107-4824

SANCHEZ ISABEL & SANCHEZ HECTOR  
9005 PORT RD NW  
ALBUQUERQUE NM 87121

MARIN GILBERT  
6901 POPPY PL NW  
ALBUQUERQUE NM 87121

MARTINEZ RENEE D  
8915 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7249

AKRATOS LLC  
5951 JEFFERSON ST NE SUITE A  
ALBUQUERQUE NM 87109-3450

VP TIERRA POINTE LLC  
6801 LOS VOLCANES RD NW  
ALBUQUERQUE NM 87121-8402

VALLEJOS WILLIE & JOSIE A  
6511 SILKWOOD NW  
ALBUQUERQUE NM 87121

FLORES DALET & BRUCE-FLORES  
MICHELLE  
644 QUAIL BRUSH DR NW  
ALBUQUERQUE NM 87121

DOMINIQUE LORI A  
9000 STARBOARD RD NW  
ALBUQUERQUE NM 87121

TRAN NGOC HONG & NGUYEN HUONG  
8716 SONOMA AVE NW  
ALBUQUERQUE NM 87121

CRANKY FRANKY COORS CAR WASH  
INC  
500 COORS BLVD NW  
ALBUQUERQUE NM 87121

ESPARZA LAURA E  
608 GALLEON DR NW  
ALBUQUERQUE NM 87121

VIGIL GLORIA  
7408 MINT PL NW  
ALBUQUERQUE NM 87121-1315

MARTEL GIOVANNI J  
8640 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

ZAPIEN JAMIE F  
8836 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

PEREZ GEORGE & DE JESUS PEREZ  
MARIA  
9006 STARBOARD RD NW  
ALBUQUERQUE NM 87121-1935

BROWN GEORGE R & DONNA MARCIA  
660 GALLEON DR NW  
ALBUQUERQUE NM 87121

LOGAN DONALD L  
616 GALLEON DR NW  
ALBUQUERQUE NM 87121

TAPIA STEVEN A & LEE A TAPIA  
8619 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

BENAVIDEZ JOSEPH & BENAVIDEZ  
ALISHA  
52 RAYBURN RD  
BELMONT MA 02478-1139

RODARTE JULIO O  
600 GALLEON DR NW  
ALBUQUERQUE NM 87121

MILLER TONY H  
8842 GUADALUPE TRL NW  
LOS RANCHOS NM 87114-1314

SANDOVAL RONALD T & TOMASITA S  
VAEZ-SANDOVAL  
1000 ZINNIA PL NW  
ALBUQUERQUE NM 87121

COLE BEJAY & DELORA  
7532 STAUNTON PL NW  
ALBUQUERQUE NM 87120

MADRID VINCENT  
8624 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7013

CASTILLO ROSARIO  
724 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121

BRUNACINI DEVELOPMENT LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197

CHAVEZ ECLE ETUX C/O DOLORES  
GARCIA  
4439 HILLCREST AVE NW  
ALBUQUERQUE NM 87120-5318

LOPEZ HECTOR A  
356 64TH ST NW  
ALBUQUERQUE NM 87105

TOBAR JUAN S  
8632 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7013

MCKINNEY MICHAEL  
6712 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

POHL COSME & MYRNA TRUSTEES  
POHL LVT  
6715 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8869

ARAGON SARA I  
332 GALATANEAU ST NW  
ALBUQUERQUE NM 87121

DIMAS MONICA  
6905 ZINNIA PL NW  
ALBUQUERQUE NM 87121

LECHUGA MARIA FAUSTINA LOPEZ OR  
LOPEZ ATILANO A  
8615 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7018

ONTIBEROS JOSE & KELLY  
215 LYNBROOK ST  
HENDERSON NV 89012

VALDEZ DAVID ORLANDO  
6520 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8872

SALAZAR TONY & JEANETTE  
7109 ZINNIA PL NW  
ALBUQUERQUE NM 87121

MONTOYA CRUZ & SIERRA SILVIA  
4613 DON PEDRO PADILLA RD SW  
ALBUQUERQUE NM 87121-6266

VER PLOEGH JAMES H & MARY L  
7312 MINT PL NW  
ALBUQUERQUE NM 87105

RASCON ARMANDO SR & ELLEN  
7309 MINT PL NW  
ALBUQUERQUE NM 87105

CHAVEZ VIRGINIA  
9009 PORT RD NW  
ALBUQUERQUE NM 87121-1933

CASTRO SILVIA  
8709 SONOMA AVE NW  
ALBUQUERQUE NM 87121

VILLANUEVA ANABEL  
367 64TH ST NW  
ALBUQUERQUE NM 87105-1909

PAUL ISMAN B  
8800 HATTERAS PL NW  
ALBUQUERQUE NM 87120

GUTIERREZ DANIEL JOSEPH TRUSTEE  
GUTIERREZ RVLT  
832 TRUMAN ST NE  
ALBUQUERQUE NM 87110

MILLER CHARLES ANTHONY & ROBBIE  
JANELL  
6501 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

ALMANZA FRANCISCO A & IDALIA Y  
GONZALES  
8804 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

MUTH ELIZABETH E  
7509 LA VENITA AVE NW  
ALBUQUERQUE NM 87120

CASAUS CHRISTOPHER S & FLORES-  
CASAUS JULIANA  
6108 LITTLE JOE PL NW  
ALBUQUERQUE NM 87120-3768

NGUYEN LYNDA  
8628 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7009

MALLORY KEITH J & SANDRA L  
2717 SAN MATEO BLVD NE  
ALBUQUERQUE NM 87110-3143

SUTTON CHRISTOPHER J  
3708 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

ANDAZOLA CESAR & MYRNA LIRA  
633 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

STATE HIGHWAY DEPT OF NM  
PO BOX 1641  
SANTA FE NM 87501

SALAZAR MIGUEL & MARTINEZ-  
SALAZAR CECILIA  
6709 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

MONTOYA VICTORIA M  
8923 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

ROBLES JUAN & ANDREA  
6712 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

WILLIAMS KENNETH D  
705 WALNUT HOLLOW DR  
MANSFIELD TX 76063

LOPEZ BRENDA A  
6727 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

NEW MEXICO STATE HIGHWAY DEPT  
PO BOX 1149  
SANTA FE NM 87501

COOK JACK R & VICKI L  
8715 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

GARCIA JULIAN J & OLYMPIA  
564 61ST ST NW  
ALBUQUERQUE NM 87105

ARMSTRONG TOM & LISA  
7001 ZINNIA PL NW  
ALBUQUERQUE NM 87121

GRADY WEST LLC  
PO BOX 30801  
ALBUQUERQUE NM 87190

GUERRERO ABRAHAM  
6905 POPPY PL NW  
ALBUQUERQUE NM 87121

ADDY MICHAEL D & BRENDA G  
3315 LISA RD SW  
ALBUQUERQUE NM 87105

PEREZ GREGORY & TINA  
8801 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7241

ELLIOTT BAY HEALTHCARE REALTY LLC  
C/O ELLIOTT BAY CAPITAL TRUST LLC  
617 EASTLAKE AVE SUITE 305  
SEATTLE WA 98109

ALL-RIGHT CONSTRUCTION INC  
PO BOX 67904  
ALBUQUERQUE NM 87193

ORTEGA FERNANDO & NOHEMI D  
8804 SONOMA AVE NW  
ALBUQUERQUE NM 87121

GRADO CYNTHIA A  
6608 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8861

ULIBARRI GERALDINE  
9009 STARBOARD RD NW  
ALBUQUERQUE NM 87121

SALAZAR FERNANDO & GUZMAN  
ALEJANDRA  
6605 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8868

LYKE JAMES CLABORN & HOOD LELIA  
LORRAINE  
10809 CHICOBUSH DR NW  
ALBUQUERQUE NM 87114

MCKNIGHT MARIANNE G & SELDEN W  
JR  
27585 BERDUN  
MISSION VIEJO CA 92691

GALLARDO MANUEL B & ANNETTE B  
7009 POPPY PL NW  
ALBUQUERQUE NM 87121

LAMAR MONIKA  
720 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121-1344

CHAVEZ YANET  
8620 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7013

TORRES ORLANDO C & DIANA M  
616 FREEMAN AVE NW  
ALBUQUERQUE NM 87107-3733

TORRES GERALD P & ROSALIE M  
7719 BLOSSOMWOOD PL NW  
ALBUQUERQUE NM 87120

TRAPNELL RUSSELL  
8401 JOSEPH SHARP ST NE  
ALBUQUERQUE NM 87122

VASON TALIA L  
105 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

KANG ERIC  
2410 CLEMENT ST  
SAN FRANCISCO CA 94121

DURAN ROBERT & MARIA CARMEN  
6615 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8868

GARCIA RICHARD R & LUCILLE  
1439 TIERRA VERDE PL SW  
ALBUQUERQUE NM 87121

SWIFT TRANSPORTATION CO INC  
PO BOX 29243  
PHOENIX AZ 85038-9243

MARTINEZ CHRISTOPHER J &  
MARTINEZ CARLOS G & LINDA A  
9009 SEASIDE RD NW  
ALBUQUERQUE NM 87121

URBINA SAUL  
6604 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121

TELLES MELANIE  
8900 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

LEH DEAN T  
719 MESA DEL RIO ST NW  
ALBUQUERQUE NM 87121-1345

FOX KEVIN S  
8700 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

MORA VICTOR  
515 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

JARAMILLO BERNICE E  
6315 BLUEWATER RD NW  
ALBUQUERQUE NM 87105-1918

DAVIS SHERRY J & DAVIS LARRY T II  
632 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

ANAYA JOSEPH J & MARY E  
461 63RD ST NW  
ALBUQUERQUE NM 87105

PEROVICH HELEN M TRUSTEE  
PEROVICH TRUST  
PO BOX 348  
EL PRADO NM 87529

JONES GINA I CORVETTO  
12047 SE 214TH ST  
KENT WA 98031-2285

TOVAR ANTONIO A & MARIA D  
708 72ND ST NW  
ALBUQUERQUE NM 87105

TRUJILLO RALPH JR  
360 64TH ST NW  
ALBUQUERQUE NM 87105

HERNANDEZ JONATHON M  
8709 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7231

ORTIZ ORLANDO G & F LORRAINE  
645 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

RITTER MARY  
6507 SILKWOOD NW  
ALBUQUERQUE NM 87121

MISQUEZ NICOLE M  
456 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121-7227

YADAV KANAK & YADAV PRATAP  
4614 CENTRAL AVE SW  
ALBUQUERQUE NM 87105

SEDILLO TOMMY P & LOVEY Y  
9015 PORT RD NW  
ALBUQUERQUE NM 87121-1933

DEUTSCHE BANK NATL TRUST CO  
TRUSTEE FOR VENDEE MORTGAGE  
155 VAN GORDON ST  
DENVER CO 80225

DARK HORSE INVESTMENTS INC  
353 64TH ST NW  
ALBUQUERQUE NM 87105-1909

SUN ZHANLIANG  
8616 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7236

ANDERSON JEANNE M & WOOD JOHN  
W  
6515 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8867

NARRO MARTIN E & SANDRA K  
608 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

PARRA FERNANDO & HOLGUIN  
FATIMA CARRASCO  
648 GALLEON DR NW  
ALBUQUERQUE NM 87121-2073

HERNANDEZ-GARCIA JUAN CARLOS  
3623 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7018

FOCUS MANAGEMENT GROUP LLC  
PO BOX 16386  
ALBUQUERQUE NM 87190

CRES - BOKF NA ATTN PROPERTY TAX  
ADMINISTRATOR  
1 WILLIAMS CENTER FLOOR 11  
TULSA OK 74192-0140

JOGLAS LUIS A & MASSIE MICHELLE  
6411 AVALON RD NW  
ALBUQUERQUE NM 87105-1912

ESCOVEDO LOUISA B C/O SAAVEDRA  
PATRICK  
601 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121-9566

MONROY CARLOS A  
5936 HUBBELL CIR SW  
ALBUQUERQUE NM 87105-6604

LEYBA JOSEPH P  
6809 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

MCCULLOUGH JOHN & KIMBERLY D  
8815 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

VALENTIN-PEREZ JULIAN  
414 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121-7227

ESPINOSA PAUL G & MARY I  
9001 TWIN HARBOR AVE NW  
ALBUQUERQUE NM 87121

VARELA CINDY M & RANDY J  
PO BOX 131  
PECOS NM 87552

MARTINEZ JOHN & ELIZABETH E  
437 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

CHAVEZ DAVID R  
5108 ALPHA AVE NW  
ALBUQUERQUE NM 87120

GRAJEDA BRIANNA LEE  
8912 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GARDINER EUGENIA A  
8720 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

ROMERO MATTHEW J  
8624 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

BECERRA VICTORIA  
624 GALLEON DR NW  
ALBUQUERQUE NM 87121

ROMERO DANIEL & VIRGINIA  
404 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

STATE HIGHWAY DEPT OF NM  
PO BOX 1641  
SANTA FE NM 87501

PERALES ERIC  
7800 GRAYSON RD NW  
ALBUQUERQUE NM 87120

SARATE JAMES T & MARY SYLVIA  
700 LANDMARK ST NW  
ALBUQUERQUE NM 87121-1321

NGUYEN JERRY & MARIA  
2635 MEEKER AVE  
EL MONTE CA 91732

PALERMO LYNN M  
8705 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7008

GRADO IRMA L  
7005 ZINNIA PL NW  
ALBUQUERQUE NM 87121

DIAMOND SHAMROCK #1212 C/O AD  
VALOREM TAX DEPARTMENT  
PO BOX 690110  
SAN ANTONIO TX 78269-0110

JONAS JANET L  
615 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

CARRASCO JONATHAN O  
448 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121-7227

ROMERO CALVIN J & EVA A  
5520 ARABIAN DR NW  
ALBUQUERQUE NM 87120

PARKER JASON S  
6609 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8868

BEVILACQUA BERTHA OLGA &  
CHRISTOPHER  
615 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

OVATO CLIFFORD J  
19 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

JENSEN-FISHER JESSICA L  
8828 SONOMA AVE NW  
ALBUQUERQUE NM 87121

DOMINGUEZ JAVIER G & DOMINGUEZ  
LEOPOLDO  
8636 SONOMA AVE NW  
ALBUQUERQUE NM 87121

CLICK DAUNE D & CLICK LORIE  
7401 MINT PL NW  
ALBUQUERQUE NM 87121

JARAMILLO REX K  
600 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87120-9567

BACA MAX & BACA TIMOTHY  
2609 20TH ST NW  
ALBUQUERQUE NM 87104

OKOYE FABIAN I & LAETITIA N  
8704 HATTERAS PL NW  
ALBUQUERQUE NM 87121

MILLER GALEN V  
652 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

SMOCK SEAN  
8831 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

MATHIS KENNETH A & BIRDIE M  
TRUSTEES MATHIS LVT  
627 ROSEBUD DR NW  
ALBUQUERQUE NM 87121-8874

ANAYA JAMES J & LORRAINE B  
519 62ND ST NW  
ALBUQUERQUE NM 87105

DIAZ PHILIP C  
8808 SONOMA AVE NW  
ALBUQUERQUE NM 87121

CHAVEZ CAROLYN M  
6701 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

CASIAS JOAQUIN  
8701 SONOMA AVE NW  
ALBUQUERQUE NM 87121-7016

MONTOYA REGINA  
553 61ST ST NW  
ALBUQUERQUE NM 87105-1407

TAFOYA REBECCA  
8800 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

SINCLAIR PHILLIP & DANIELLE L  
9004 ANACAPA AVE NW  
ALBUQUERQUE NM 87121-2067

GALLEGOS YVONNE V  
541 61ST ST NW  
ALBUQUERQUE NM 87105

COLE ROBERT B & NADINE  
634 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

BACA VALERIEANN C  
8804 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

CALVARY CHAPEL SOUTHWEST  
PO BOX 12852  
ALBUQUERQUE NM 87195

BELL GROUP INC (THE)  
7500 BLUEWATER RD NW  
ALBUQUERQUE NM 87121-1962

METZGAR OLIVIA  
421 63RD ST NW  
ALBUQUERQUE NM 87105-1413

PSC PROPERTIES LLC C/O MICHAEL  
LADUE  
80458 CHAMPIONS WAY  
LA QUINTA CA 92253-8629

LADHA NAHEED M  
7600 CENTRAL AVE SE  
ALBUQUERQUE NM 87108

LOPEZ HERMAN III & LOPEZ MELISSA B  
8708 SONOMA AVE NW  
ALBUQUERQUE NM 87121

LOPEZ LORI JEAN  
8635 TRADEWIND RD NW  
ALBUQUERQUE NM 87121

UCMC V LLC  
410 S ORCHARD ST SUITE 176  
BOISE ID 83704-1293

RIVERA LUIS G & ALMA G  
6801 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

HERNANDEZ VINCENT  
8901 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

SRIEGO JOHN P  
3909 HATTERAS PL NW  
ALBUQUERQUE NM 87121-7249

FOIANI ANTHONY  
6720 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

DOMINGUEZ DENISA M  
6709 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

MAESTAS BRIAN L  
6804 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-9574

SANDOVAL BENJAMIN A W & JAYE M  
6516 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8872

ROMERO JESSIE & JANIE  
5808 PRAIRIE NIGHT LN NW  
ALBUQUERQUE NM 87120

MADRID MAYRA  
432 LUMINOSO DR NW  
ALBUQUERQUE NM 87121

GIANT INDUSTRIES INC ATTN: TAX  
DEPT  
1250 W WASHINGTON ST SUITE 101  
TEMPE AZ 85281-1794

MARTINEZ GONZALES EPIFANIO  
9001 ANACAPA AVE NW  
ALBUQUERQUE NM 87121

GALLIARD JEANETTE  
712 LANDMARK ST NW  
ALBUQUERQUE NM 87121

LOVATO JONATHAN  
8808 SAWGRASS PL NW  
ALBUQUERQUE NM 87121-7232

SANCHEZ JENNY B  
6512 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8872

ELLENBERGER RUSSELL J  
9005 ANACAPA AVE NE  
ALBUQUERQUE NM 87121-2068

MADRID LAWRENCE  
8620 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7009

MAZER BOYD K ETUX  
8730 1/2 RIO GRANDE BLVD NW  
ALBUQUERQUE NM 87114

MORENO CARLOS & YUVIA  
8619 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

MCCONAGHY LORI  
426 SHOREWOOD DR NW  
ALBUQUERQUE NM 87121

MEO CRAIG B & VICKI D  
8615 HATTERAS PL NW  
ALBUQUERQUE NM 87121

CALDERON EMILIA  
325 64TH ST NW  
ALBUQUERQUE NM 87105-1909

HOICE PATRICIA A  
523 QUAILBRUSH DR NW  
ALBUQUERQUE NM 87121

JIMENEZ AURELIA  
2518 VALENCIA NE  
ALBUQUERQUE NM 87110

WILSON EDDIE H & LENORA M  
423 LUMINOSO DR NW  
ALBUQUERQUE NM 87121-7012

MARTINEZ DAVID R & NANCY J  
9012 SCHOONER RD NW  
ALBUQUERQUE NM 87121

GUTIERREZ CLARENCE & MARY B  
549 61ST ST NW  
ALBUQUERQUE NM 87105-1407

ROYBAL ROBERT J & GLORIA D  
8923 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GARCIA LOYOLA  
6705 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

HERNANDEZ MORAIMA  
619 HONEYLOCUST CT NW  
ALBUQUERQUE NM 87121

HERNANDEZ GLORIA  
6601 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

QUINTANA JOE D & GLORIA J % PEREZ  
ARMANDO ACUNA & PEREZ DIANA  
LEDEZMA  
333 BRISTOL ST NW  
ALBUQUERQUE NM 87121-7695

CHAVEZ ECLE ETUX C/O DOLORES  
GARCIA  
4439 HILLCREST AVE NW  
ALBUQUERQUE NM 87120-5318

LUJAN MANUEL R & TANYA M  
3709 HATTERAS PL NW  
ALBUQUERQUE NM 87121

GALVAN DELIA C  
8904 HATTERAS PL NW  
ALBUQUERQUE NM 87121

NORRIS DARLENE L & JIMMY  
8616 TRADEWIND RD NW  
ALBUQUERQUE NM 87121-7009

CUEVAS SIMON MARTINEZ  
9001 SEASIDE RD NW  
ALBUQUERQUE NM 87121-1938

TELLO ANITA E  
623 ROSEBUD DR NW  
ALBUQUERQUE NM 87121

KORBER JOHN A TR ANNA KORBER  
TESSIER TRUST & KORBER JOHN A II &  
ETAL  
PO BOX 14116  
ALBUQUERQUE NM 87191-4116

CRESPIN LUIS & MARIA A  
501 CORAL CT NW  
ALBUQUERQUE NM 87120-2272

CRANK FRANKY COORS CAR WASH INC  
800 EL ALHAMBRA CIR NW  
LOS RANCHOS DE ALBUQUERQUE NM  
87107

BRISENO ANGELO J  
8631 SAWGRASS PL NW  
ALBUQUERQUE NM 87121

FELLOWSHIP BAPTIST CHURCH DBA  
FELLOWSHIP MISSIONARY CHURCH  
8550 SAUL BELL RD NW  
ALBUQUERQUE NM 87121

GOMEZ JANET  
6520 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

BAIRD PERRY & OLGUIN RICHARD &  
PHILLIPS JIM TR WEST CONG OF  
JEHOVAH WITNESSES  
8600 LOS VOLCANES RD NW  
ALBUQUERQUE NM 87121

OROZCO LUCY  
9014 PORT RD NW  
ALBUQUERQUE NM 87121

MARTINEZ AMILIA R & PADILLA  
MICHAEL  
9005 SAN NICHOLAS AVE NW  
ALBUQUERQUE NM 87121-8880

BERNALILLO COUNTY % COUNTY  
MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102

MONTOYA ANGEL C & DAVID L  
6900 ZINNIA PL NW  
ALBUQUERQUE NM 87121-9565

COOK HEATHER M  
8627 SONOMA AVE NW  
ALBUQUERQUE NM 87121

COORS INVESTMENT LLC  
8400 HELEN HARDIN ST NE  
ALBUQUERQUE NM 87122

PRIEN TRISHA  
622 HONEYLOCUST PL NW  
ALBUQUERQUE NM 87121

MORALES ANTONIO & FUENTES DE  
MATA OLGALERIA  
323 BRISTOL ST NW  
ALBUQUERQUE NM 87121-7695

LABATT NEW MEXICO LLC  
PO BOX 27730  
ALBUQUERQUE NM 87125-7730

SUNWEST TRUST CUSTODIAN FOR  
DAVIS JIM W IRA & DAVIS JIM W  
6325 ISLETA BLVD SW  
ALBUQUERQUE NM 87105-6871

DURAN NANETTE M  
8905 HATTERAS PL NW  
ALBUQUERQUE NM 87121

CORTEZ JOSHUA Y & ALISA A  
217 65TH ST NW  
ALBUQUERQUE NM 87105

BACA JENNY M  
6805 PHOTINIA PL NW  
ALBUQUERQUE NM 87121

ELLIOT PATRICK W & ELLIOTT DALE R  
6523 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-8866

CHAVEZ TANA R C/O PADILLA  
JONATHAN C & MARTA L  
6808 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121-9569

CARAVEO YADIRA  
7008 POPPY PL NW  
ALBUQUERQUE NM 87121-1328

MORA ANTHONY L & DORA  
PO BOX 72273  
ALBUQUERQUE NM 87195

RIOS-ALICEA ROBERTO C  
6716 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

ARMIJO MARLENE R  
3819 SONOMA AVE NW  
ALBUQUERQUE NM 87120

I-40 GATEWAY WEST LLC  
PO BOX 28216  
SCOTTSDALE AZ 85255

AGUA AZUL HOUSING INC NM NON-  
PROFIT CORP C/O CION HOUSING  
MANAGEMENT  
P O BOX 19035  
ALBUQUERQUE NM 87119-0035

GIBSON SHAUN R  
6608 HONEYLOCUST AVE NW  
ALBUQUERQUE NM 87121-8871

KB HOME NEW MEXICO INC  
7807 E PEAKVIEW AVE SUITE 300  
CENTENNIAL CO 80111-6849

PRO-BUILDER REAL ESTATE HOLDINGS  
LLC C/O THOMSON REUTERS  
PO BOX 460069  
HOUSTON TX 77056-8069

VERTZ JEFFREY  
1546 S BUSH ST  
FRESNO CA 93727-5910

SAIZ JOSEPH P & ODALYS  
8181 CENTRAL AVE NW  
ALBUQUERQUE NM 87121

2500 BATES  
4080 MALLARD DR  
CONCORD CA 94520-1245

REGENTS OF UNM C/O REAL ESTATE  
DEPT  
1 UNIVERSITY OF NM NE MSC06 3595  
ALBUQUERQUE NM 87131-0001

BATTAGLIA JOHN J TRUSTEE  
BATTAGLIA RVT & BATTAGLIA  
KATHLEEN A TR BATTALIA RVT  
5202 VALLE VISTA DR NW  
ALBUQUERQUE NM 87120

SANCHEZ MABEL & JACKIE SANCHEZ  
5208 VALENTINO ST NW  
ALBUQUERQUE NM 87120

COORS ALBUQUERQUE F PARTNERS  
LLC C/O FFC NEW MEXICO  
8100 E 22ND ST NO SUITE 100  
WICHITA KS 67226-2388

VKC DELIGHTS INC  
322 JULIE RIVERS RD  
SUGAR LAND TX 77478-3179

RIO GRANDE PRESBYTERIAN CHURCH  
PO BOX 66498  
ALBUQUERQUE NM 87193-6498

VEGA RAUDEL & LEONORILDA  
5414 PUNTA ALTA AVE NW  
ALBUQUERQUE NM 87105

AMAFCA  
2600 PROSPECT AVE NE  
ALBUQUERQUE NM 87107-1836

HASSAIN MOHAMMAD I  
12822 TARRAGON WAY  
RIVERSIDE CA 92503-7081

SANTILLANES RAYMOND D & EVELYN A  
TRUTEES RVT  
5150 EDITH BLVD NE  
ALBUQUERQUE NM 87107-4122

TKACIK ANTONIA & HERNANDEZ JOSIE  
TRUSTEES GUEVARA RVT  
4612 GOODRICH AVE NE  
ALBUQUERQUE NM 87110-1138

COORS CTR DSG LLC & COORS CTR SG  
LLC & COORS CTR MB LLC & ETAL C/O  
DSG TRUST  
1155 KELLY JOHNSON BLVD SUITE 302  
COLORADO SPRINGS CO 80920-3932

BOETTGER SHIRLEY  
6804 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

BUSS LISA L  
6712 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

STEWART MICHAEL J & LISA G  
1633 CHURCH ST SUITE 500  
NASHVILLE TN 37203-2948

BRUCKNER TRUCK SALES INC  
9471 I-40 EAST  
AMARILLO TX 79118

PEREA KATHLEEN A  
6800 SILKWOOD AVE NW  
ALBUQUERQUE NM 87121

COHEN BEN D TRUSTEE & CASPI  
SAMUEL T TRUSTEE CASPI RVT  
1059 KISKA ST NW  
ALBUQUERQUE NM 87120

INLAND PROPERTIES INC  
2482 DOUGLAS RD  
V5C 6C9 CANADA

LORENTZEN JOHN  
2909 YALE BLVD SE  
ALBUQUERQUE NM 87106

BEN E KEITH COMPANY  
601 E 7TH ST  
FORT WORTH TX 76102

OLD DOMINION FREIGHT LINE INC  
500 OLD DOMINION WAY  
THOMASVILLE NC 27360

EXTRA SPACE PROPERTIES TWENTY  
EIGHT LLC C/O PARADIGM TAX GROUP  
34405 W 12 MILE RD SUITE 215  
FARMINGTON HILLS MI 48331-3391

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

730 COORS LLC  
1136 TURNER DR NE  
ALBUQUERQUE NM 87123-1916

# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

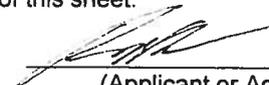
### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_.

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 \_\_\_\_\_, 7/19/18  
(Applicant or Agent) (Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)



City of Albuquerque  
Office of Neighborhood Coordination  
One Civic Plaza  
P.O. Box 1293  
Albuquerque, NM 87103

## **Public Notice to Applicable Associations**

Prior to filing an application with the Planning Department, all applicants requesting approvals through the Environmental Planning Commission (EPC), Development Review Board (DRB), Landmarks Commission (LC), City Staff approval of a Wireless Telecommunication Facility (WTF), Site Plan, Sign Permit, or Wall/Fence Permit are required to notify any applicable neighborhood and/or homeowner associations via email, first class mail, or certified mail as specified in Table 6-1-1 of the Integrated Development Ordinance (IDO) (<https://www.abc-zone.com/>).

Each required Public Notice shall include the following per IDO Subsection 14-16-6-(K)(6):

1. The address of the property listed in the application;
2. The name of the property owner and/or applicant;
3. Applicant mailing address;
4. Applicant telephone number and/or email address;
5. A short summary of the approval being requested;
6. Whether a public hearing will be required. If so, the date, time, and place of the public hearing;
7. Website where additional information about the project can be obtained, if applicable.
8. Facilitated Meetings – All notification letters must include the following text:

*Applicable Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Planning Department by email at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or by phone at (505) 924-3955.*

## **Public Notice Checklist**

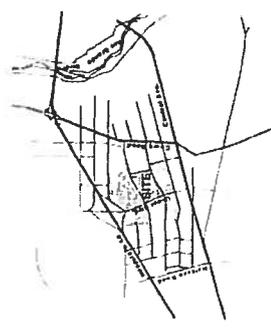
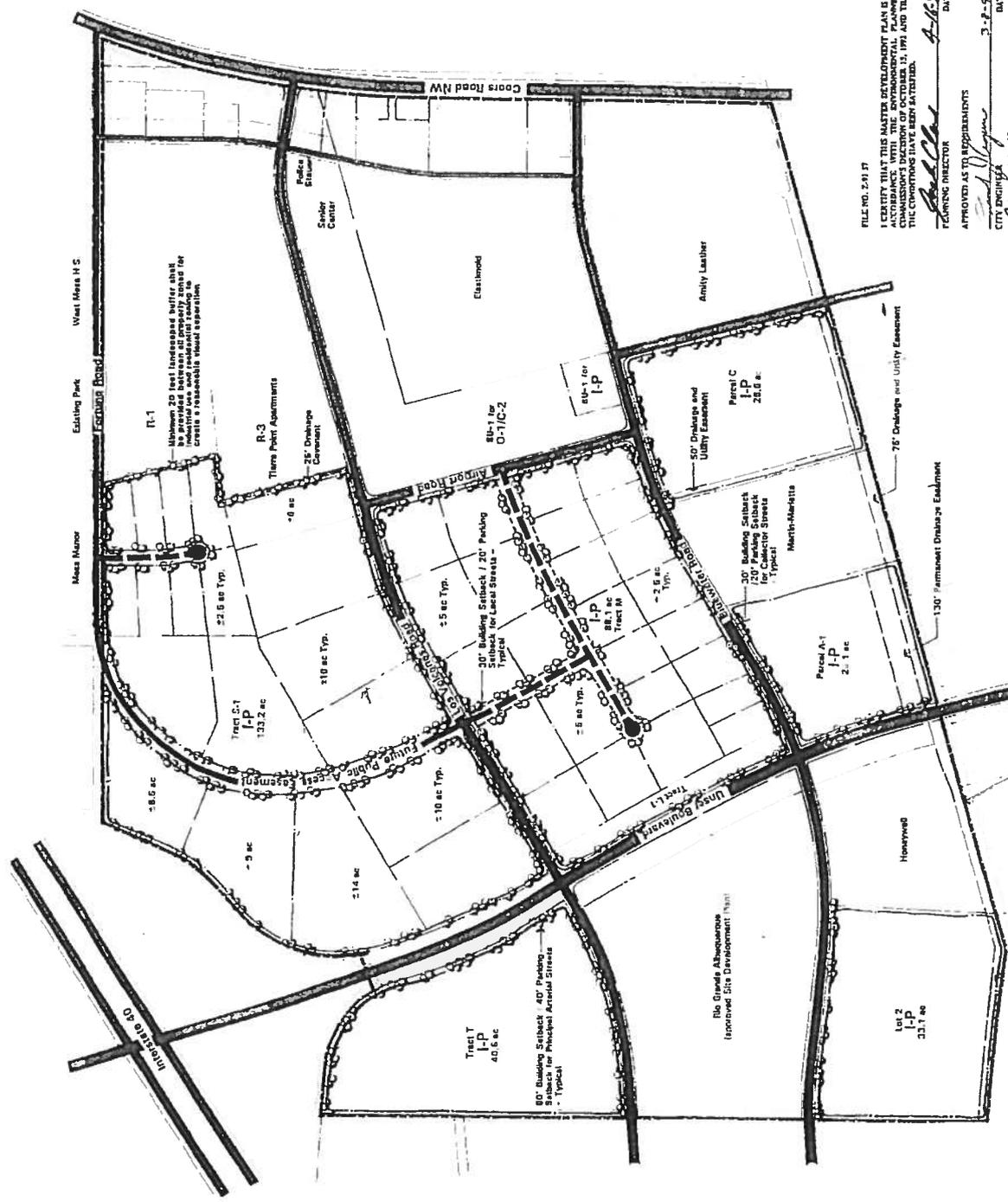
For all decisions requiring Mailed or Electronic Mail notice per Table 6-1-1 in the IDO the following information must be included for each application submitted to the Planning Department.

1. ONC's "Public Notice Inquiry Email" outlining any applicable Neighborhood and/or Homeowner Associations.
2. Copies of Letters and/or Emails sent to any applicable Neighborhood and/or Homeowner Associations.
3. Copies of certified receipts, if required, mailed to any applicable Neighborhood and/or Homeowner Associations.

Any questions, please feel free to contact our office at (505) 768-3334 or [ONC@cabq.gov](mailto:ONC@cabq.gov).

Thank you for your cooperation on this matter.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
West Mesa NA	Steven	Budenski	stevenbudenski@gmail.com	5732 La Anita Avenue NW	Albuquerque	NM	87105	5054891218	
West Mesa NA	Frank	Gonzales	frankgonzales334@gmail.com	9024 Santa Catalina Avenue NW	Albuquerque	NM	87121		5056100570
Los Volcanes NA	Doug	Cooper	douglascooper@hotmail.com	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560	
Los Volcanes NA	Ted	Trujillo	tedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW	Albuquerque	NM	87121	5053633455	
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW	Albuquerque	NM	87121		5058396601
South West Alliance of Neighborhoods (SWAN Coalition)	Johnny	Pena	johnnypena@comcast.net	6525 Sunset Gardens SW	Albuquerque	NM	87121	5053213551	5058390372
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058360668
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hhhen@comcast.net	10592 Rio del Sol NW	Albuquerque	NM	87114	5052214003	5058903481
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard10@juno.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114



**SITE VICINITY**

**LAND USE**

**NET ACRES**

**I-P 349.6**

Note: Traffic and quality analyses (August 1992) are approved subject to the following requirements:

1. Traffic and quality analyses shall be prepared after five years of operation of the project.

2. If the traffic and quality analyses are significantly different than the analyses prepared for the project, the project shall be subject to a new traffic and quality analysis.

3. If the traffic and quality analyses are significantly different than the analyses prepared for the project, the project shall be subject to a new traffic and quality analysis.

Note: Lot 2, 3, and 4 are reserved for future development. Parcel boundaries and lot numbers are for illustrative purposes only. Parcel boundaries and lot numbers are for illustrative purposes only. Parcel boundaries and lot numbers are for illustrative purposes only.

Note: All parcels are located on the site plan within the site of the Atrisco Business Park.

# ILLUSTRATIVE MASTER DEVELOPMENT PLAN

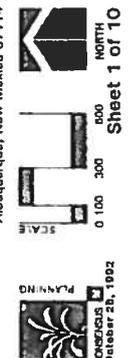
## ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
9309 Avenida de la Luna NE  
Albuquerque, New Mexico 87111

Consensus Planning, Inc.  
610 Gold SW, Suite 215  
Albuquerque, New Mexico 87102

Eastwing & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114



FILE NO. 2-81-97

I CERTIFY THAT THIS MASTER DEVELOPMENT PLAN IS IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING COMMISSION'S DECISION OF OCTOBER 13, 1991 AND THAT THE CITY ENGINEER HAS HERETOFORE APPROVED.

APPROVED AS TO REPRESENTATIVES

CITY ENGINEER: *[Signature]* DATE: 3-2-93

WATER UTILITIES: *[Signature]* DATE: 11-18-92

PLANNING DIRECTOR: *[Signature]* DATE: 4-16-93

PLANNING DIRECTOR: *[Signature]* DATE: 11-18-92

PLANNING DIRECTOR: *[Signature]* DATE: 11-18-92

60' Reserved for Drainage Facilities

Attrisco Business Park Boundary

Division boundaries (Sheets 2-8) shall apply to all projects within Attrisco Business Park.

Scale of Map

Scale: 1" = 100'

Scale: 1" = 200'

Scale: 1" = 400'

Scale: 1" = 800'

Scale: 1" = 1600'

Scale of Map

Scale: 1" = 100'

Scale: 1" = 200'

Scale: 1" = 400'

Scale: 1" = 800'

Scale: 1" = 1600'

Scale of Map

Scale: 1" = 100'

Scale: 1" = 200'

Scale: 1" = 400'

Scale: 1" = 800'

Scale: 1" = 1600'

Scale of Map

Scale: 1" = 100'

Scale: 1" = 200'

Scale: 1" = 400'

Scale: 1" = 800'

Scale: 1" = 1600'



# TIERRA WEST, LLC

July 18, 2018

Rene Horvath  
Westside Coalition NA  
5515 Palomino Drive NW  
Albuquerque, NM 87120

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Horvath,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 i-800-245-3102  
tierrawestllc.com

Rene Horvath  
July 18, 2018  
Page 2

footprints are typically set back further from the adjoining streets due to height and fire requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg

# TIERRA WEST, LLC

July 18, 2018

Mr. Steven Budenski  
West Mesa NA  
5732 La Anita Avenue NW  
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Budenski,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Steven Budenski  
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Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Doug Cooper  
Los Volcanes NA  
6800 Silkwood Avenue NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Cooper,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Doug Cooper  
July 18, 2018  
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Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Frank Gonzales  
West Mesa NA  
9024 Santa Catalina Avenue NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Gonzales,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Frank Gonzales  
July 18, 2018  
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Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Jerry Gallegos  
SWAN Coalition  
5921 Central Avenue NW  
Albuquerque, NM 87105

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Gallegos,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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July 18, 2018  
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Ronald R. Bohannon, PE

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Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Johnny Pena  
SWAN Coalition  
6525 Sunset Gardens SW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Pena,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Johnny Pena  
July 18, 2018  
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Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Ms. Lucy Anchondo  
Avalon NA  
601 Stern Drive NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Ms. Anchondo,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

The Atrisco Business Park is an existing 349.6-acre full service business park located in the Southwest Mesa area, with excellent access to major arterial streets and to Interstate 40. The Park is bounded on the east by Coors Boulevard, on the south by commercial property, on the north by Interstate 40 and Fortuna Road and on the west by commercial property. Currently, more than half of the park is developed. The majority of the properties within the plan area consist of tracts that are equal to or less than 20 acres in size. The remaining individual tracts are less than 60 acres but greater than 20 acres

The existing Atrisco Business Park Master Development Plan provides design guidelines for tracts within the plan area that are 20 acres in size or smaller. Tracts that are greater than 20 acres provide an opportunity for manufacturing facilities that are larger than what is normal in the Metro area and can range from 150,000 square feet to facilities ranging to 400,000 square feet. These facilities are typically manufacturing or processing plants that have large footprints and require larger tracts of land. These larger footprints typically have specific building needs that make them unique and need to have their own design guidelines within the existing Master Plan. The proposed amendment to the Master Development Plan provides certain design guidelines for the tracts that are larger than 20 acres. The guidelines for tracts equal to or smaller than 20 acres would be unchanged. The additional guidelines for the development of the larger tracts would be better suited for attracting larger users and employment generators that could not quite fit within the current plan standards due to the sheer size of the facilities.

Approval of the proposed amendment to the Atrisco Business Park Maser Development Plan will not negate the current plan policies and design guidelines for sites within the plan area that are equal to or smaller than 20 acres.

The changes to the Master Plan follow the nature of the larger facilities. The material allowed provides for flexibility of material type to reach larger spans and special cooling needs that are typical in processing plants and manufacturing plants. The plan limits the types of materials that are normal to warehousing but not to manufacturing. Also, due to the size of the buildings, we are asking to modify the articulation of the buildings. Larger sites and

5571 Midway Park Pl. NE  
(505) 858-3100  
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1-800-245-3102  
tierrawestllc.com

Ms. Lucy Anchondo  
July 18, 2018  
Page 2

footprints are typically set back further from the adjoining streets due to height and fire requirements. As such the articulation that is set up for warehousing is usually achieved with massing. Signage and landscaping are also being addressed due to the length of the buildings, keeping the same height of the signs but allowing multiple signs due to the multiple roadways that the sites normally front. The landscaping is proposed to be in proportion to the amount of land being developed.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Ms. Samantha Pina  
Avalon NA  
423 Elohim Court NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Ms. Pina,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Ms. Samantha Pina  
July 18, 2018  
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Sincerely,



Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Ted Trujillo  
Los Volcanes NA  
6601 Honeylocust Avenue NW  
Albuquerque, NM 87121

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Trujillo,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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Mr. Ted Trujillo  
July 18, 2018  
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Ronald R. Bohannon, PE

cc: Daniel Frigge, ESI  
Jerome Olander, ESI

JN: 2018014  
RRB/vc/jg



# TIERRA WEST, LLC

July 18, 2018

Mr. Harry Hendriksen  
Westside Coalition NA  
10592 Rio del Sol NW  
Albuquerque, NM 87114

**RE: ATRISCO BUSINESS PARK  
MASTER DEVELOPMENT PLAN AMENDMENT REQUEST**

Dear Mr. Hendriksen,

Tierra West LLC is submitting a request to the City of Albuquerque Environmental Planning Commission (EPC) for approval of an amendment to the Atrisco Business Park Master Development Plan. The purpose of the amendment is to propose development guidelines for projects greater than 20 acres be amended into the Master Plan.

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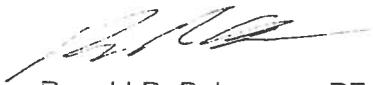
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Mr. Harry Hendriksen  
July 18, 2018  
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Jerome Olander, ESI

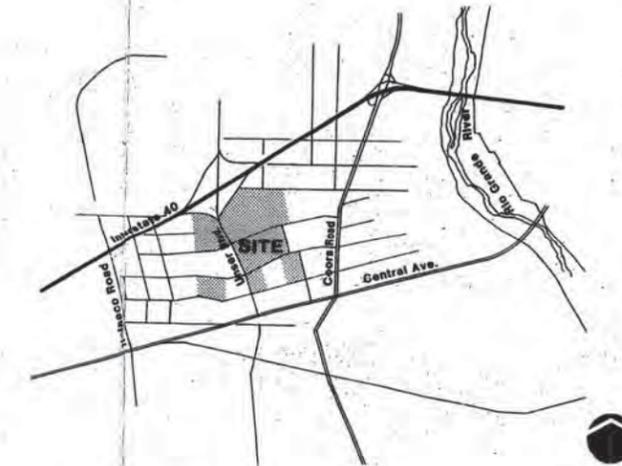
JN: 2018014  
RRB/vc/jg

SITE PLAN REDUCTIONS



# ATRISCO BUSINESS PARK

## MASTER DEVELOPMENT PLAN FOR IP USES



Vicinity Map

### Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
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- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

<b>ADMINISTRATIVE AMENDMENT</b>	
FILE # 12-10164	PROJECT # 1003483
<i>re: buffering &amp; spacing adj. to residential</i>	
<i>U. Morrow</i>	1/16/13
APPROVED BY	DATE

### EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.

December 20, 2012 - Administrative Amendment to clarify and revise language regarding the required landscaped buffer adjacent to residential zoning, defining locations where chain link fencing is allowed, and defining locations where security fencing is allowed.

3. A minimum 20 foot landscape buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading or trash receptacles may be located adjacent to the residential zoning. The landscape buffer shall be consistent with the requirement as stated on Sheet 3, Landscape Standards, Bullet #12. A solid 6 foot high opaque wall or fence shall be required along any property line abutting and separating a residential zone from an industrial zone (chain link fence with slats shall not constitute acceptable screening).

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).

### Project Team Directory

Prepared For:

Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102  
(505) 765-2036

Prepared By:

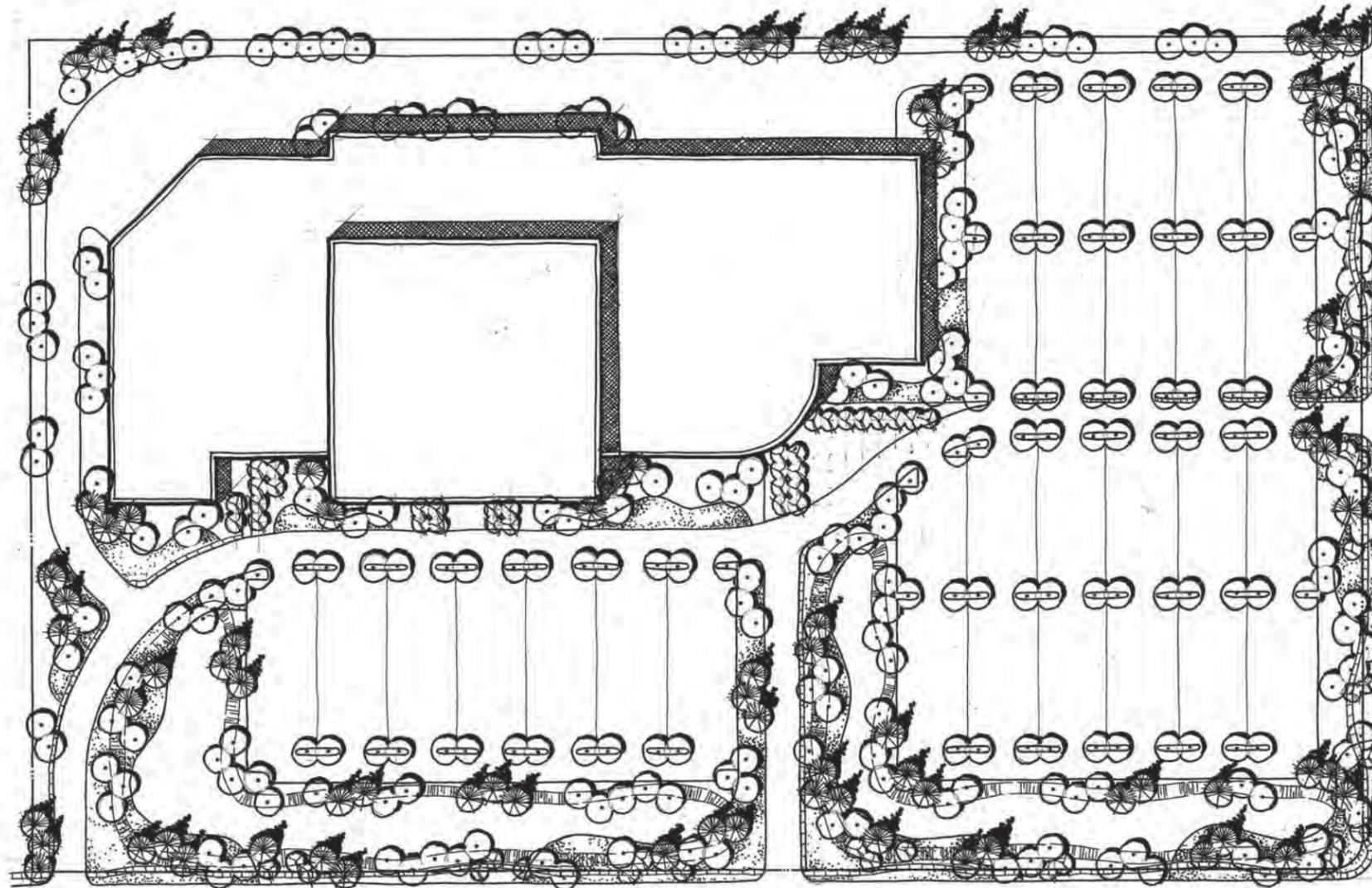
Development/Real Estate Consultant  
Garrett Group, Inc.  
9309 Avenida de la Luna NE  
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Civil Engineer  
Easterling & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114  
(505) 898-8021

<b>ADMINISTRATIVE AMENDMENT</b>	
File # 04-00823	Project # 1003483
<i>Development Standards Adjustment</i>	
<i>Bob Paul</i>	6/1/04
APPROVED BY	DATE

October 28, 1992



### TYPICAL 20 ACRE SITE

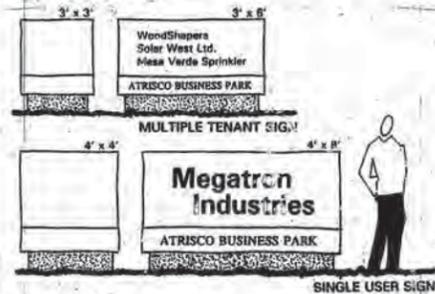
#### SITE DATA

Net Site Area: 911,250 s.f. (20.9 ac)  
 Building Area: 273,375 s.f. (.3 FAR)  
 Parking Spaces Required: 840 (20 hdp)  
 Parking Spaces Provided: 903 (20 hdp)  
 Landscape Area Required: 182,250 s.f.  
 Landscape Area Provided: 255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channelled letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



#### Building Identification Signs

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

## DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
 9309 Avenida de la Luna NE  
 Albuquerque, New Mexico 87111

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 610 Gold SW, Suite 216  
 Albuquerque, New Mexico 87102

Easterling & Associates, Inc.  
 10131 Coors Road NW, Suite H-7  
 Albuquerque, New Mexico 87114



#### SCREENING / WALLS AND FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

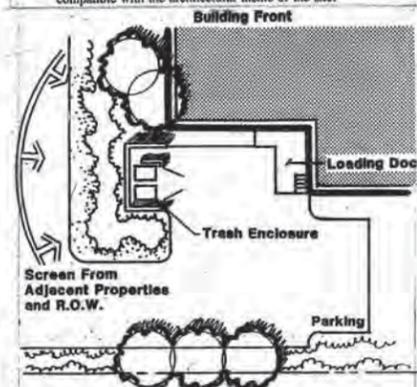
The following are standards to ensure effective screening of negative elements:

Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

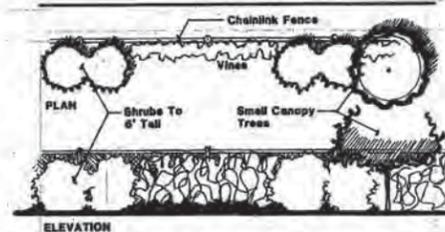
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.



No refuse collection areas shall be allowed between any street and building front.

When security fencing is required along a public right-of-way, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. Chain link fencing is not permitted adjacent to a public right-of-way. Chain link fencing is permitted along the rear and side property lines between industrial zoned properties and is also permitted within the interior portion of the property provided it is set back a minimum of 20 feet from a property line abutting a residential zone.

The use of barbed or concertina wire is not permitted on the top of fences or walls except as required for security purposes. Barbed or concertina wire may not be used within 20 feet of a property line abutting a residential zone.



#### LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.

A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

#### SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

# ATRISCO BUSINESS PARK

## MASTER DEVELOPMENT PLAN FOR IP USES

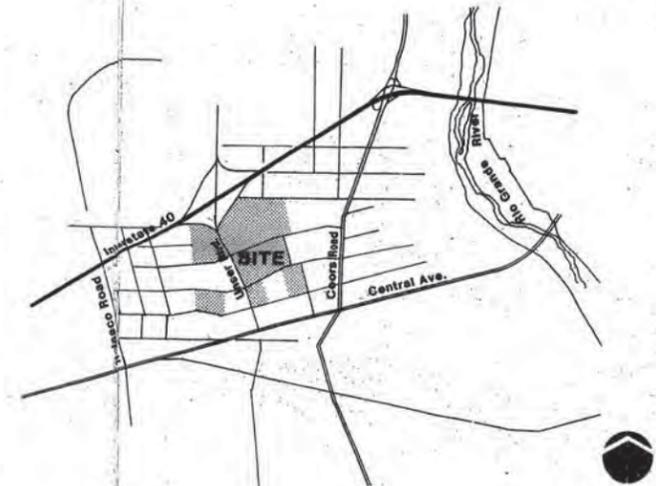
### EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

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Special Assets Department  
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Albuquerque, New Mexico 87102  
(505) 765-2036

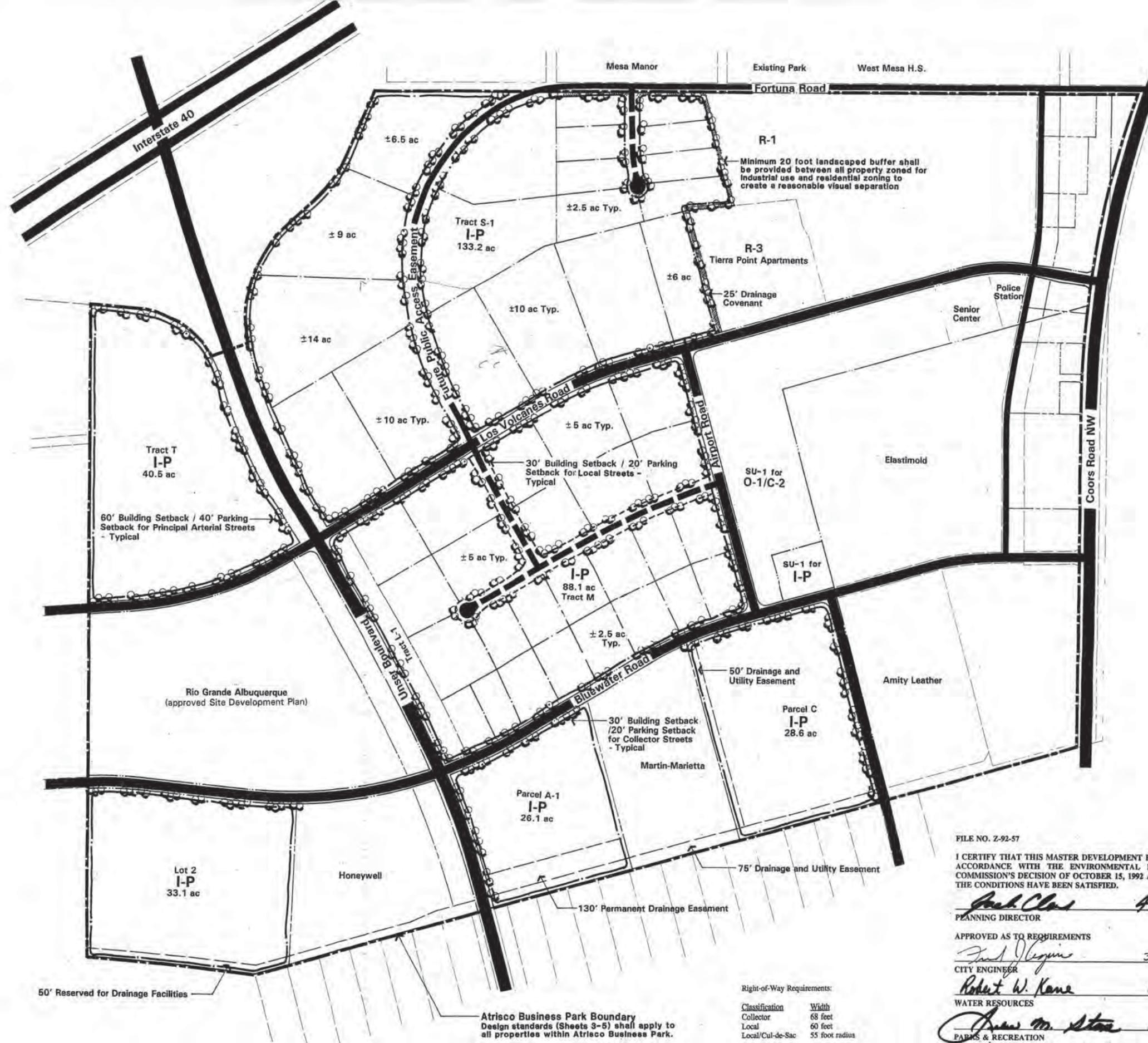
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Albuquerque, New Mexico 87114  
(505) 898-8021





**SITE VICINITY**

LAND USE	NET ACRES
I-P	349.6

Note: Traffic and air quality analyses (August 1992) are approved subject to the following requirements:

- Reanalysis of TIS and air quality impacts after five years
- Evaluation of individual projects that exceed the maximum FAR of .3, or if the lot size and/or land use are significantly different than that analyzed.

Review of the Master Development Plan may be required in conjunction with the re-analysis. Additional conditions or infrastructure requirements may be a result of this analysis.

Note: Lot lines and interior roadways are for illustrative purposes only. Parcel boundaries and interior roadway alignments will be established in conjunction with future platting actions.

Note: All parcels and tracts indicated on this plan are within Unit 2 of the Atrisco Business Park Subdivision.

ILLUSTRATIVE MASTER DEVELOPMENT PLAN  
**ATRISCO BUSINESS PARK**

Prepared For: Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
 9309 Avenida de la Luna NE  
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 610 Gold SW, Suite 216  
 Albuquerque, New Mexico 87102

Easterling & Associates, Inc.  
 10131 Coors Road NW, Suite H-7  
 Albuquerque, New Mexico 87114

FILE NO. Z-92-57

I CERTIFY THAT THIS MASTER DEVELOPMENT PLAN IS IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING COMMISSION'S DECISION OF OCTOBER 15, 1992 AND THAT THE CONDITIONS HAVE BEEN SATISFIED.

*Frank Claus* 4-16-93  
 PLANNING DIRECTOR DATE

APPROVED AS TO REQUIREMENTS

*Frank Higgins* 3-8-93  
 CITY ENGINEER DATE

*Robert W. Kane* 11-10-92  
 WATER RESOURCES DATE

*James M. Stone* 4/10/93  
 PARKS & RECREATION DATE

*Richard H. ...* 11-23-92  
 TRAFFIC DATE

Right-of-Way Requirements:

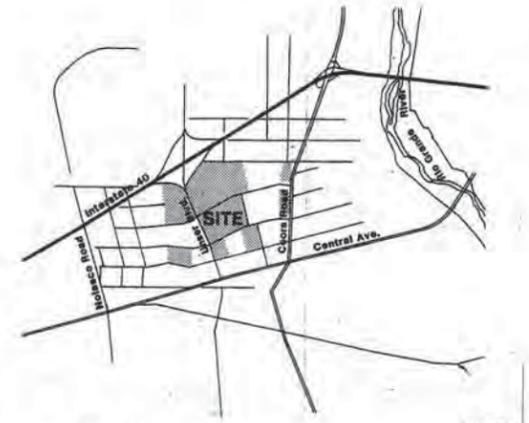
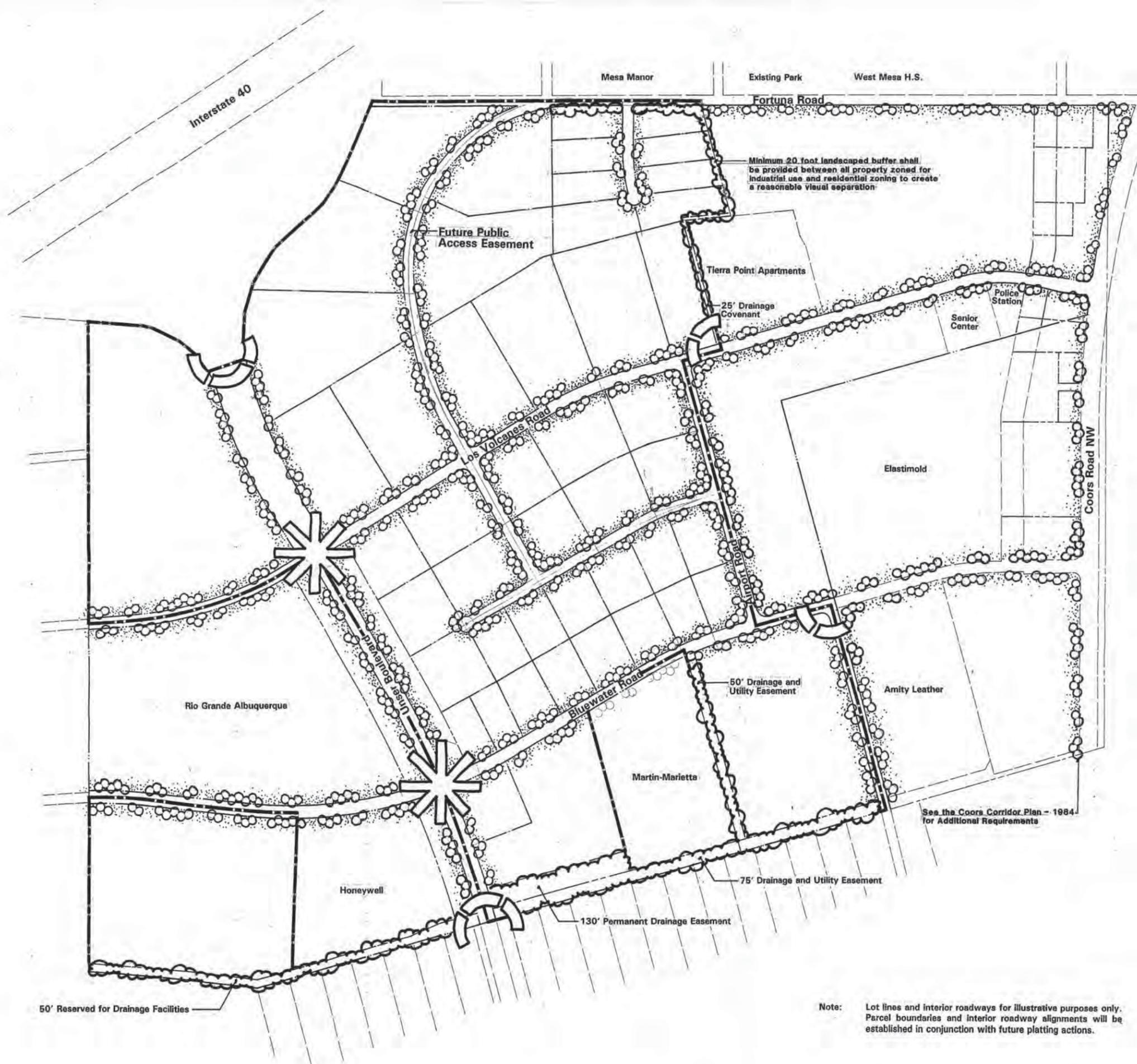
Classification	Width
Collector	68 feet
Local	60 feet
Local/Cul-de-Sac	55 foot radius

Atrisco Business Park Boundary  
 Design standards (Sheets 3-5) shall apply to all properties within Atrisco Business Park.

CONSensus PLANNING  
 October 28, 1992

SCALE: 0 100 300 600 NORTH

Sheet 1 of 10



**SITE VICINITY**

**LEGEND**

-  PROJECT ENTRY
-  MAJOR INTERSECTION
-  STREETScape
-  OPEN SPACE

**LANDSCAPE DEVELOPMENT PLAN**

# ATRISCO BUSINESS PARK

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Special Assets Department  
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Albuquerque, New Mexico 87102

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Albuquerque, New Mexico 87114



## DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide a framework to ensure a high quality character and visual appearance. These standards address the issues of landscape, setbacks, screening, lighting, signage, and drainage that will create the visual image for Atrisco Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code, and other pertinent City ordinances, including but not limited to, the Water Conservation Landscaping and Water Waste Ordinance, and Street Tree Ordinance. These standards apply to all properties within the Atrisco Business Park.

### LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Atrisco Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials is extremely important as landscape elements are a strong unifying element for a project of this size. Site landscape concepts should be sensitive to water use, and create landscapes which meet environmental, aesthetic, and maintenance concerns.

### LANDSCAPE STANDARDS

The following are minimum standards for the development of specific site landscape plans:

A minimum of twenty percent (20%) of the net site area shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

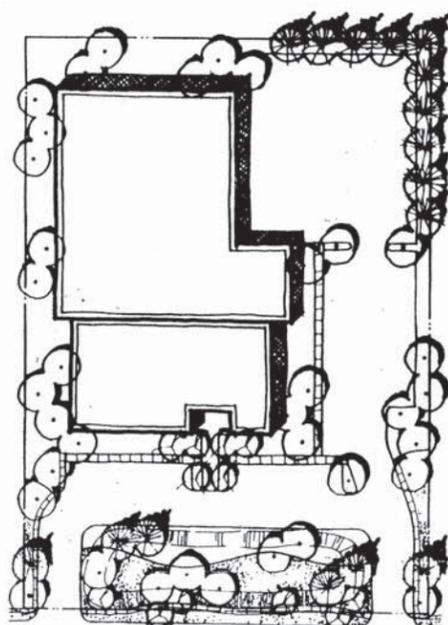
Seventy-five percent (75%) of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.

High water use turf is limited to a maximum of twenty percent (20%) of the landscape area. However, low water use turf grasses such as Buffalo grass and Blue Grama, are encouraged. Turf areas should be located at the most prominent visual points, such as vehicular and pedestrian entries to the site and buildings.

All landscape areas not covered with turf shall have a top dressing of crushed rock, river rock, bark mulch, or similar material which extends completely under the plant material. Colors allowed shall be of the earth tone ranges, including pale shades of red. The use of red or black lava rock is not permitted. Areas seeded with native shrubs, grasses and/or wildflowers shall be top dressed with straw, and crimped.

Appropriate headers shall be used to separate any provided turf areas from shrub or groundcover planting areas. Headers may be 6" x 6" concrete, brick, or 1/8" x 4" steel.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight these areas.



Street trees shall be provided as follows: One (1) tree is required for each twenty-five linear feet (25 LF) of street frontage, including any driveways. A street tree is defined as being located within twenty feet (20') of the back of curb of the adjacent street. The required street trees should be informally clustered with no more than a fifty foot gap between groupings, and shall have a 70/30 mix of deciduous to evergreen trees.

In addition to the street trees, one (1) tree is required for every forty linear feet (40 LF) of the remaining site perimeter. Included in this area are the rear and side yard setbacks.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one (1) tree for each ten (10) parking stalls with no stall being more than one hundred feet (100') from the trunk of a tree. A parking lot tree is defined as being within the interior of, or within ten feet (10') of the outside curb or perimeter of the parking lot. Parking lot trees are to be separately calculated from the required street or perimeter trees.

Seventy-five percent (75%) of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet (25').

A landscape strip of no less than ten feet (10') shall be maintained between a parking area and the street right-of-way.

As a minimum, a twenty foot (20') landscaped buffer is required between industrial and residential uses. The buffer shall consist primarily of evergreen trees which must be at least ten feet (10') tall when planted and be capable of reaching a mature height of twenty-five feet (25'). The trees shall be spaced at a maximum of thirty feet (30') on center.

Minimum plant sizes at time of installation shall be as follows: large canopy shade trees shall have a 2" caliper, or be 10 to 12 feet in height; accent trees shall have a 1-1 1/2" caliper, or be 8 to 10 feet in height; shrubs and groundcovers shall be a one gallon container; and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.

An underground irrigation system shall be provided which is controlled by an automatic controller having multiple programming capabilities. Temporary irrigation systems shall be allowed for establishment of erosion control and revegetation plants. Temporary systems shall be removed at time of vegetation establishment.

### 1. PLANT PALETTE

#### Street Trees

Fraxinus spp.	Ash varieties
Gleditsia triacanthos spp.	Honeylocust varieties
Platanus acerifolia	London Plane Tree
Pinus nigra	Austrian Pine
Pyrus spp.	Flowering Pear varieties

#### General Use Trees, Shrubs & Groundcovers

Refer to the Albuquerque Plant List provided as a supplement to the Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Locally acquired or low pollen producing plants are required per City ordinance.

## TYPICAL 2.5 ACRE SITE

### SITE DATA

Net Site Area:	112,000 s.f. (2.5 ac)
Building Area:	33,600 s.f. (3 FAR)
Parking Spaces Required:	33 (12 hdcp)
Parking Spaces Provided:	42 (12 hdcp)
Landscape Area Required:	22,400 s.f.
Landscape Area Provided:	34,780 s.f.

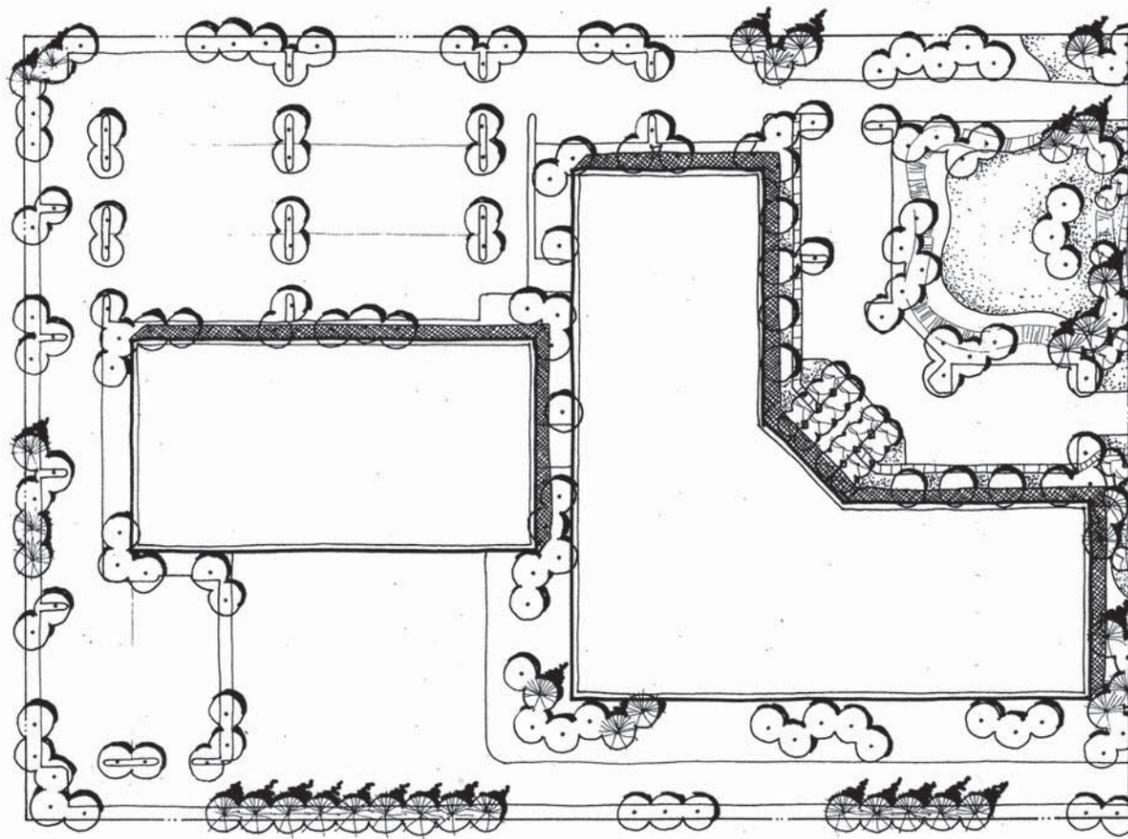
### 2. COORS CORRIDOR PLAN EXCEPTIONS

#### Setbacks

Setbacks along Coors Boulevard shall be in conformance with the Coors Corridor Plan.

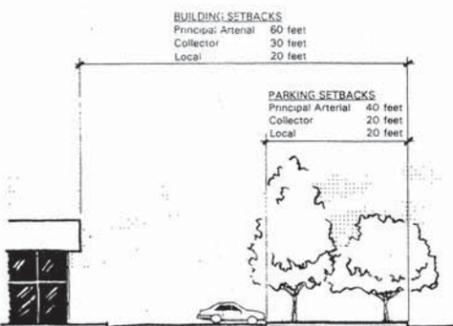
#### Signage

Freestanding signage along Coors Boulevard shall be in conformance with the Coors Corridor Plan with pole mounted signs prohibited.



### SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Atrisco Business Park.



### Building Setbacks

Based on the defined street classifications, the minimum building setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	60 feet
Collector	30 feet
Local	20 feet

To act as a buffer between uses, buildings shall be set back a minimum of ten feet at both the side and rear yard locations. These setback areas shall be landscaped according to the Landscape Standards.

### Parking Area Setbacks

Based on the defined street classifications, the minimum parking area setback lines, as measured from the back of the curb, shall be as follows:

Principal Arterial	40 feet
Collector	20 feet
Local	20 feet

### SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of the Atrisco Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street.

Properties adjacent to Unser Boulevard shall have a 6 foot wide sidewalk with a minimum landscaped area of 12 feet between the back of curb and the sidewalk. All other collector and major local streets within the site shall have 4 foot wide sidewalks. It is recommended that the sidewalk meander in a fluid rhythm. A Sidewalk Variance is required to meander the sidewalk and the layout of the sidewalk should be coordinated with the location of other site functions such as retention basins, street lighting, fire hydrants, etc. If the sidewalk meanders outside of the right-of-way, additional right-of-way or a public sidewalk easement would be required.

In addition to the required sidewalks, the City of Albuquerque has established a bikeway network which identifies several routes through the site (Albuquerque Metropolitan Bicycle Map, April 1992). Along Unser Boulevard, from I-40 to Bluewater Road, a paved bicycle trail is required per City standards. The City is also in the planning stage for developing a recreational trail along I-40. The final alignment of this trail shall be either within the existing easement along the I-40 right-of-way or through the Business Park connecting north to Fortuna Road. Bike routes are planned for Unser Boulevard from Bluewater Road continuing south to Central, along Bluewater from Unser to Coors Road, and along Airport Road from Bluewater south to Central Avenue. Bike routes provide for the shared use of the street by automobiles and bicyclists. Generally, the routes will be marked with identifying signage.

## TYPICAL 10 ACRE SITE

### SITE DATA

Net Site Area:	448,000 s.f. (10.3 ac)
Building Area:	134,400 s.f. (3 FAR)
Parking Spaces Required:	371 (12 hdcp)
Parking Spaces Provided:	376 (12 hdcp)
Landscape Area Required:	89,600 s.f.
Landscape Area Provided:	112,325 s.f.

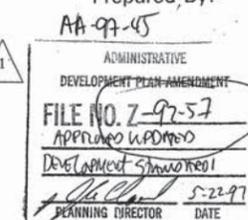
# DEVELOPMENT SKETCHES ATRISCO BUSINESS PARK

Prepared For:

Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By:

Garrett Group, Inc.  
9309 Avenida de la Luna NE  
Albuquerque, New Mexico 87111

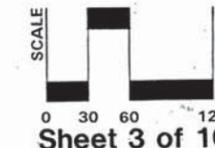


Consensus Planning, Inc.  
610 Gold SW, Suite 216  
Albuquerque, New Mexico 87102

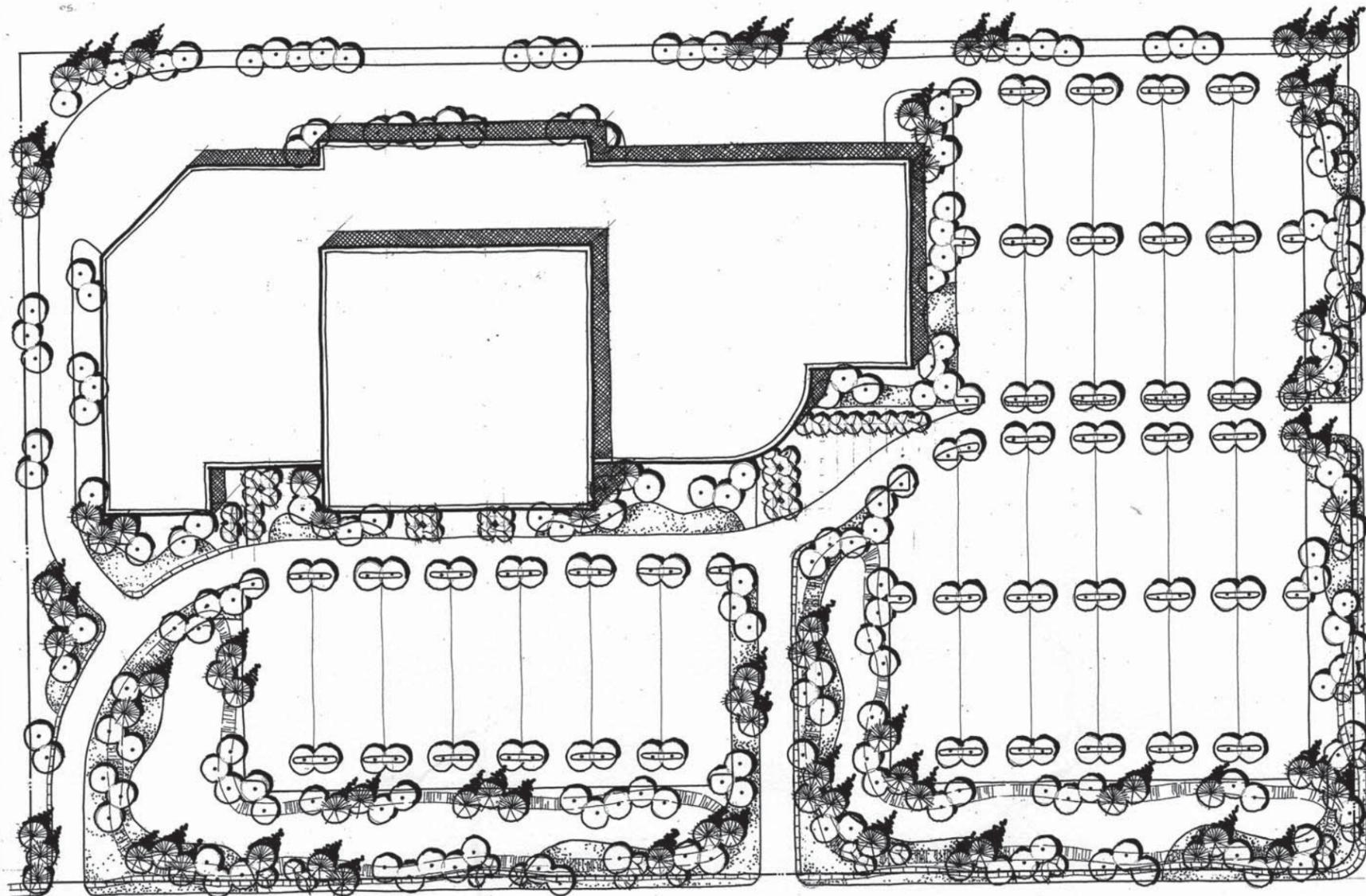
Easterling & Associates, Inc.  
10131 Coors Road NW, Suite H-7  
Albuquerque, New Mexico 87114



CONSENSUS  
October 28, 1992  
Revised April 28, 1997  
Revised May 19, 1997



Sheet 3 of 10



**TYPICAL 20 ACRE SITE**

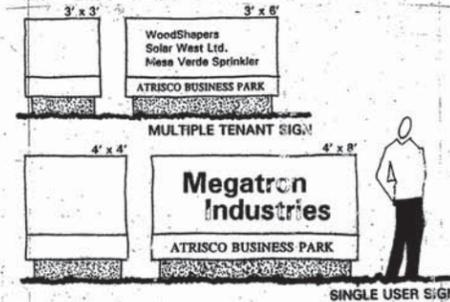
**SITE DATA**

Net Site Area:	911,250 s.f. (20.9 ac)
Building Area:	273,375 s.f. (.3 FAR)
Parking Spaces Required:	840 (20 hdcp)
Parking Spaces Provided:	903 (20 hdcp)
Landscape Area Required:	182,250 s.f.
Landscape Area Provided:	255,570 s.f.

The following are general guidelines for signage design and placement:

- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- Signage may be illuminated by concealed light sources located flush with grade or with back lit channel letters.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- One free-standing sign is allowed for each street frontage of each premises which has at least 200 linear feet of street frontage.

Building identification signs, tenant signs, and directional signs make up the total signage package.



**Building Identification Signs**

These signs identify the complex name of multi-tenant buildings or the company name of single-user buildings. Generally, these will be free-standing signs that shall not exceed 32 square feet in total area and shall be limited to the dimensions indicated below. Free-standing signs shall be placed at the back of the public right-of-way line but outside of the safety vision triangle at entries and intersections.

**DEVELOPMENT SKETCHES**  
**ATRISCO BUSINESS PARK**

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**SCREENING / WALLS AND FENCES**

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions will be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Atrisco Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

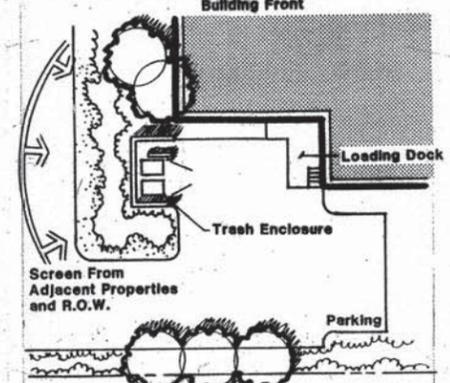
The following are standards to ensure effective screening of negative elements:

Parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 4 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.

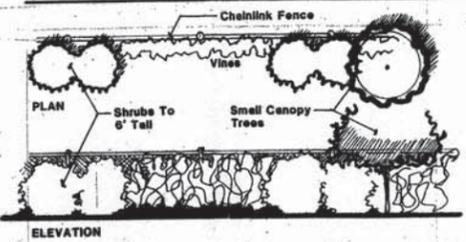
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.



No refuse collection areas shall be allowed between any street and building front.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable in front of the building setback line and shall be visually screened from adjacent public rights-of-way in the built out condition of the park.)

The use of barbed or concertina wire is not permitted on the top of fences or walls.



**LIGHTING STANDARDS**

In order to enhance the safety, security and visual aesthetics of the Atrisco Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

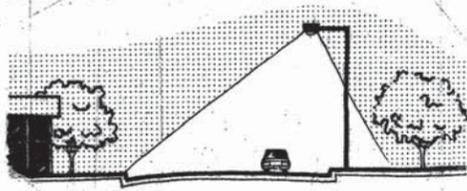
The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standard shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- Street lighting should be designed to enhance the safety of vehicular and pedestrian traffic at key points along the roadway.

Street light standards may range from 30 to 40 feet above the roadway.

The height of parking area lights may range from 20 to 30 feet.

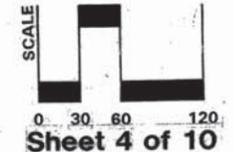
Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either concealed at grade or be mounted in trees to "moonlight" areas.

**SIGNAGE STANDARDS**

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Atrisco Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

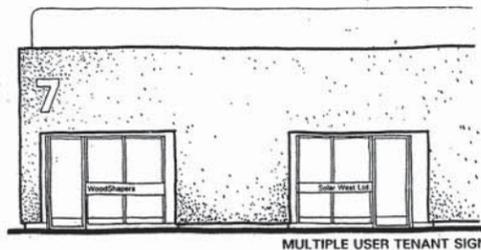


**SIGNAGE (cont.)**

Signage for multi-tenant buildings shall identify the building number, complex name and/or address. The individual businesses will be identified at the tenant's store front and at a centrally located directory sign. For a single-user building, the sign shall identify the user and/or address. The user may also have a wall-mounted sign on the building.

**Tenant Signs**

Within multi-tenant buildings or complexes, the individual tenant signs shall consist of wall-mounted signs which are uniform in terms of color, shape, and dimensions to all such signs within the complex. Wall-mounted signage shall be made of panels. No signage may be printed directly on the wall surface and no individual letters may be attached to the building.



MULTIPLE USER TENANT SIGN

**Directional Signs**

Directional signs are used to direct visitors to individual businesses located within the complex or building. These signs may be either free-standing or wall-mounted but shall be compatible with the design, size, and materials of other signs within the complex.

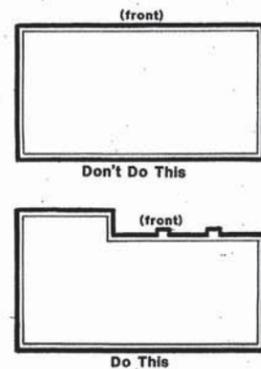
**ARCHITECTURAL OBJECTIVES**

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high degree of quality ensuring pleasing aesthetics throughout the project.

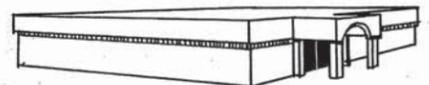
Architectural design should respond to climate, views, solar access, and aesthetic considerations, with development design being in harmony with adjoining projects.

All buildings shall conform to the following requirements:

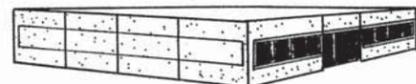
- A. All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- B. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- C. Finished building materials must be applied to all exterior sides of buildings and structures. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. Pre-engineered metal buildings with masonry or equivalent skin applied to all facades are allowed. Metal skin is not considered a finished building material.
- D. Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
  - 1) Employ variety in structural forms that create visual character and interest.
  - 2) Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3' minimum offset, fenestration, material change, etc.).



- 3) Entries to industrial structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- 4) Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- 5) Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- 6) The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from



Indented or colored banding and entry projection



Textured walls, window glazing, and vertical/horizontal seams

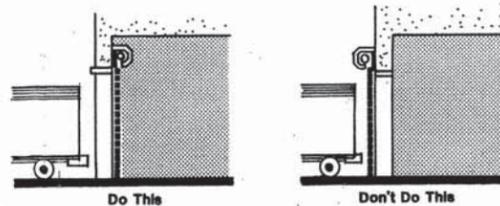


Indented entry, colored banding, and window glazing

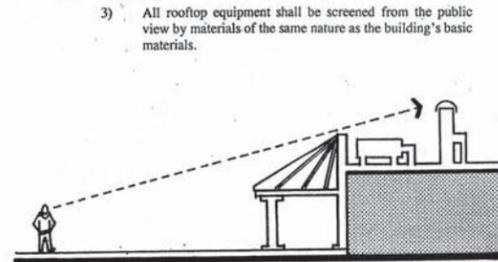
- 7) monotonous expanses of facade. Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.
- E. Design elements which are undesirable and should be avoided include:
  - 1) Highly reflective surfaces at the ground story.
  - 2) Exposed, untreated precision block walls.
  - 3) Chain link fence or barbed wire.
  - 4) Metal used as the main architectural feature.
  - 5) Attached mansard roofs on small portions of the roofline.
  - 6) Materials with high maintenance requirements. Wood facings are expressly prohibited.
- F. Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- G. Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.



- H. Dock doors for loading docks shall be located on the inside of buildings to keep a clean, uncluttered appearance from the exterior.



- J. Design elements for roofs shall be as follows:
  - 1) If mansard roofs are to be used, they shall wrap around the entire perimeter of the structure.
  - 2) The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.



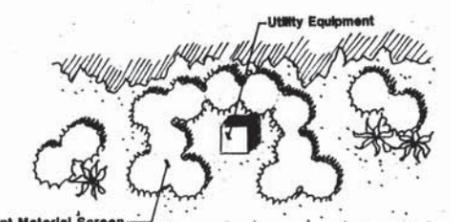
- 3) All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

- 4) Corrugated metal, highly reflective surfaces, and illuminated roofing are not permitted.
- 5) The roof design should be considered an integral part of the overall architectural design theme.
- 6) Concertina and/or barbed wire are not permitted on the roof.

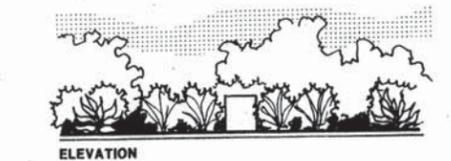
**UTILITIES**

To ensure the overall aesthetic quality of the Atrisco Business Park:

- A. All electric distribution lines within the Park shall be placed underground.
- B. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. The use of pre-fabricated fiberglass enclosures is prohibited.
- C. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.



Plant Material Screen



ELEVATION

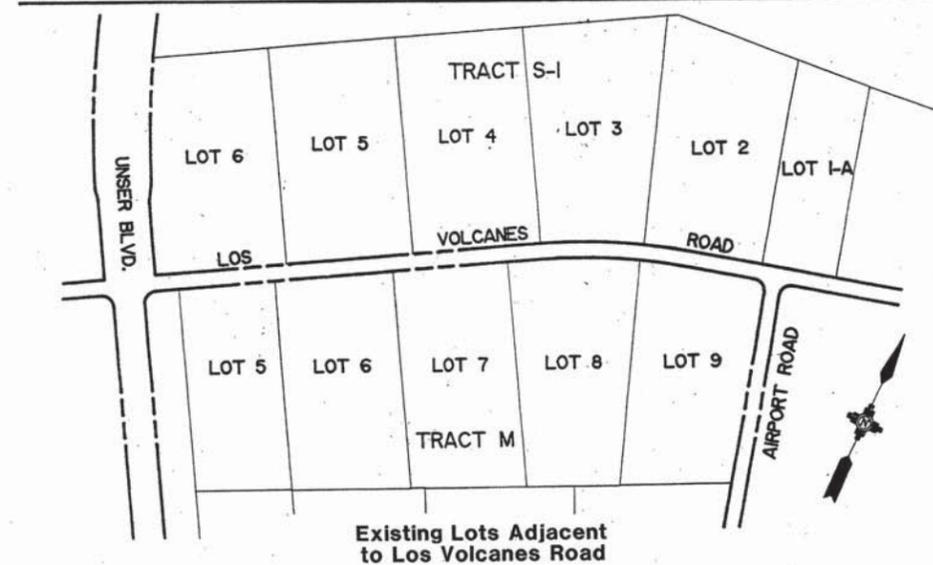
**MASTER DEVELOPMENT PLAN CHECKLIST**

The City of Albuquerque Environmental Planning Commission shall delegate individual site plan and development review to the Development Review Board (DRB) based upon this checklist. The following conditions must be complied with prior to site plan approval by DRB:

A.	Compliance with the Master Development Plan	Reference Sheet No.
1)	Intensity/Floor Area Ratio	3, 4 of 10
2)	Maximum: Average .3	3 of 10
3)	Setbacks	3 of 10
4)	Architecture	5 of 10
5)	Landscaping	3 of 10
6)	Parking	3, 4 of 10
7)	Lighting	4 of 10
8)	Signage	4, 5 of 10
9)	Screening/Refuse/Storage	4 of 10
	Grading and Drainage	6, 8, 9 of 10

If site plan proposals are not in substantial compliance with the Master Development Plan (i.e. FAR/intensity, Land Use Mix, and Design Criteria), amendment of the Master Development Plan by the Environmental Planning Commission may be required.

- B. Public Infrastructure
  - 1) The DRB shall review and approve an infrastructure list as outlined in the Master Development Plan (sheet 5 of 10).



Existing Lots Adjacent to Los Volcanes Road

**Traffic and Air Quality Analyses**

- 1) Conformance with Master Development Plan and Traffic/Air Quality Analysis (dated August 1992 - JHK & Associates, notes on sheet 1 of 10, and subsequent traffic/air quality analysis revisions).

Note: The following assumptions were used in preparation of the above traffic and air quality analyses:

- 1) The timing for development was assumed to be:
 

Year	Floor Area Ratio
2000	.1
2010	.2
Bulldozed	.3
- 2) The Traffic Study assumed the Long Range Major Street Plan network for the year 2000 and 2010.

**INFRASTRUCTURE REQUIREMENTS**

In order to obtain a Building Permit within the 1992 Atrisco Business Park Development Master Plan Area, applicants must meet with the Development Review Board (DRB) to develop an Infrastructure List which identifies the type, extent, and standards for construction of improvements. The Chairman of the DRB shall produce the Infrastructure List or a letter stating that no infrastructure is required. Approved financial guarantees for required infrastructure shall be provided to the City of Albuquerque before issuance of a building permit. The work order process will provide for inspection and acceptance of the infrastructure by the City of Albuquerque.

The Infrastructure List will be developed in accordance with the following:

**Water and Sanitary Sewer:** Water and sanitary sewer facilities required for the proposed development of a lot shall conform to the City of Albuquerque Water and Sewer Extension Policy in effect at the time of development.

**Streets:** Where the lot is adjacent to platted streets which have not been constructed at the time the lot is to develop: One-half (1/2) or a maximum of 24' width of the permanent street section including curb, gutter and sidewalk along the full frontage of the lot and one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter extending to the nearest paved street. In the case of Lots 1-A and 2 through 6 of Tract S-1 and Lots 5 through 9 of Tract M, of Unit 2, Atrisco Business Park adjacent to Los Volcanes Road (see map above), the first lot to develop shall require construction of one-half (1/2) or a maximum of 24' width of the permanent street section including curb and gutter from Unser Boulevard east to Airport Road. At such time that fifty-percent (50%) of these lots are developed, the City may require construction of the full permanent street section including curb and gutter from Unser east to Airport Road. Where the lot may include or is adjacent to future streets proposed in the current "Long Range Major Street Plan for the Albuquerque Urban Area": Dedication of the right-of-way for the planned street and one-half (1/2) or a maximum of 24' width of the street section including curb, gutter and sidewalk along the full frontage of the lot. If the lot fronts a street on both sides, then construction of both sides of the street to a maximum of 48' wide is required.

**Drainage:** Completion of that portion of the downstream public storm drain system defined in the 1992 Master Drainage Plan for the Atrisco Business Park and any subsequent amendments which is required to convey developed drainage from the developing lot. Where the planned storm drain system is intended to serve property upstream of the developing lot, the storm drain shall be extended to the furthest upstream boundary of the developing lot.

**LAND USE MIX**

The following land use mix will control development within the Atrisco Business Park:

	%	Acres
Light Industrial	35.0	123
Distribution Warehouse	20.0	70
Office/Admin.	22.5	78
Office/Warehouse	12.5	44
R & D/Pilot Mfg.	5.0	17
Other (Commercial)	5.0	17
	100.0%	349

Note: Variation from the above mix (greater than 15% of the acreage per land use) may require a re-assessment of the traffic and air quality analyses and possible re-analysis.

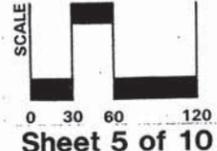
**DEVELOPMENT SKETCHES**  
**ATRISCO BUSINESS PARK**

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
9309 Avenida de la Luna NE  
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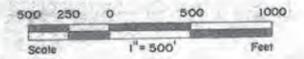




**LEGEND**

- DRAINAGE BASIN BOUNDARY
- DRAINAGE BASIN ID NUMBER
- ANALYSIS POINT
- PROPOSED CHANNEL
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- FUTURE DETENTION POND
- FUTURE STREET BASIN

THIS BASE MAP WAS PRODUCED BY COMPOSITING THE CONTOURS GENERATED BY BOHANNAN-HUSTON, INC., ALBUQUERQUE, NEW MEXICO, FOR THE 1985 FEMA FLOODWAY MAPS AND 1991 RECTIFIED AERIAL PHOTOGRAPHY.



**GENERAL NOTES**

1. FUTURE PONDS ARE SHOWN SCHEMATICALLY ON THIS PLAN ONLY TO REPRESENT THAT CONTROL OF THE FLOW FROM THE UPSTREAM WATERSHED IS REQUIRED. LOCATION AND CONFIGURATION OF ACTUAL DETENTION PONDS SHALL BE APPROPRIATE FOR THE TYPE OF DEVELOPMENT WHICH OCCURS IN THE WATERSHED TO BE CONTROLLED.
2. REFER TO THE REPORT FOR THE MASTER DRAINAGE PLAN FOR THE ATRISCO BUSINESS PARK FOR COMPLETE AHYMO ANALYSIS SUMMARY TABLES AND INPUT DATA.

**KEYED NOTES**

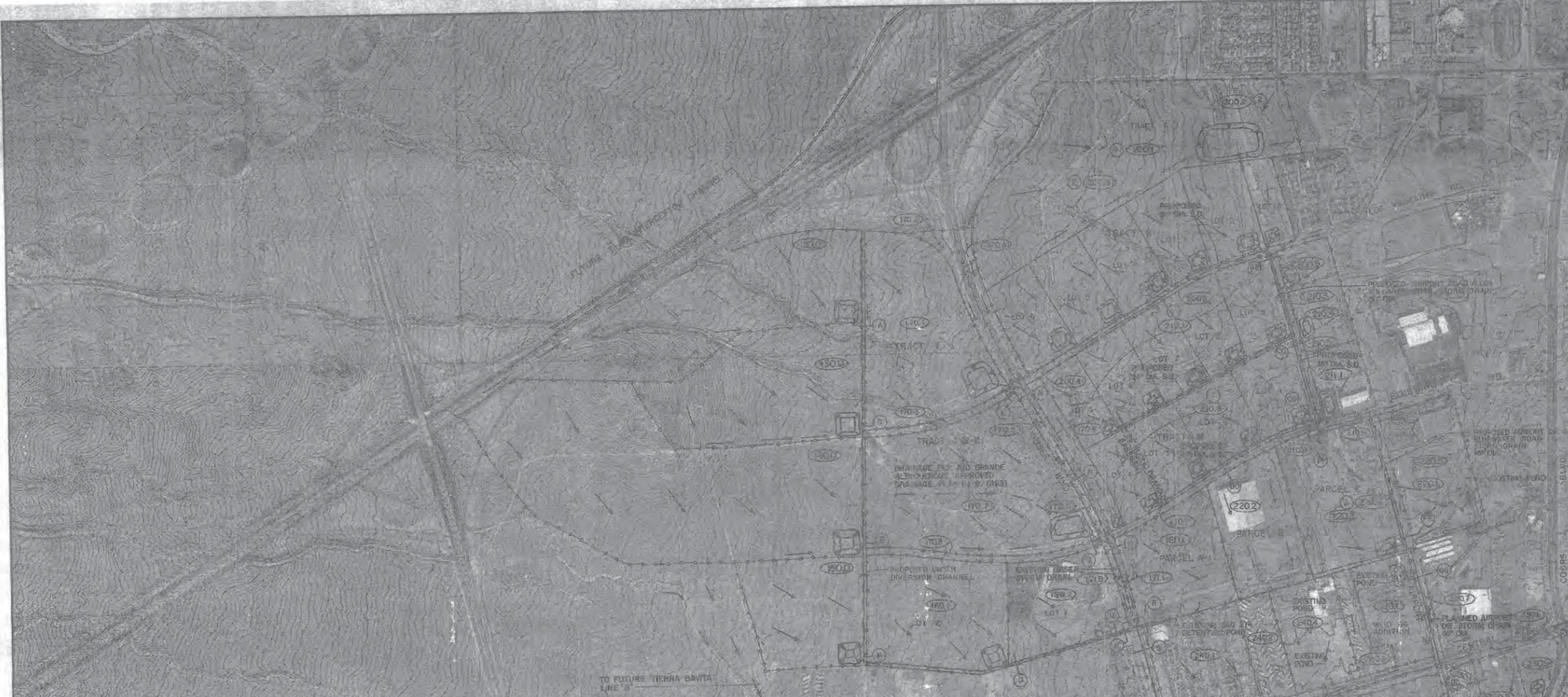
1. FOR THE PURPOSE OF ANALYSIS TRACT "6-1" AND TRACT "M" WERE MODELED AS SINGLE BASINS WITH SINGLE DETENTION PONDS. IF PROPERTY DEVELOPS PER CURRENT SUBDIVISION, EACH LOT WILL REQUIRE A DETENTION POND AS ILLUSTRATED. ALL LOTS WITHIN THESE LARGE TRACTS ARE SUBJECT TO A MAXIMUM ALLOWABLE 100 YEAR PEAK DISCHARGE OF 0.1 CFS/ACRE.
2. TO FACILITATE POSSIBLE FUTURE SUBDIVISION, SOME ESTIMATED FUTURE STREET AREAS WERE INCLUDED IN THE AHYMO MODELING OF THE SYSTEM.

*Easterling & Associates, Inc.*  
 5111  
 7-30-92

**ATRISCO BUSINESS PARK  
 MASTER DRAINAGE PLAN  
 OVERALL DRAINAGE PLAN  
 FULLY DEVELOPED CONDITION**

**EASTERLING & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 1031 Coors Rd., NW, Suite H-716  
 ALBUQUERQUE, NEW MEXICO 87114  
 (505) 898-8021 FAX (505) 898-8501

DESIGNED BY: V.S.F. DRAWN BY: C.L.B. CHECKED BY: C.M.E.  
 JOB NO. 3521 DATE: SEPT., 1992 **Sheet 7 of 10**



**DEVELOPED CONDITION  
 DRAINAGE BASIN DATA**

ANALYSIS POINT	STREET FLOW						STORM DRAIN FLOW						
	SIDE	AHYMO HYD #	Q <sub>100</sub> (cfs)	Q <sub>10</sub> (cfs)	SLOPE (ft./ft.)	FLOW DEPTH (ft.)	V <sub>100</sub> (fps)	AHYMO HYD #	Q <sub>100</sub> (cfs)	Q <sub>10</sub> (cfs)	DIA. (ft.)	SLOPE (ft./ft.)	
L	BOTH	170.30	6.3	9.8	0.015	0.31	0.35	2.6	—	—	—	—	
M	WEST	170.45	9.6	33.7	0.017	0.41	0.63	3.5	170.44	41	41.0	30"	0.010
N	WEST	170.54	0	0	0.020	0	0	0	170.53	50.6	74.7	36"	0.015
O	BOTH	170.80	9.2	14.3	0.014	0.34	0.39	2.7	—	—	—	—	
P	EAST	170.94	0	8.6	0.018	0	0.39	0	170.82	92.0	92.0	42"	0.008
P	WEST	170.95	12.4	48.0	0.019	0.44	0.68	3.8	—	—	—	—	
P	EAST	171.11	3.6	8.6	0.011	0.33	0.43	2.3	—	—	—	—	
Q	WEST	171.02	11.72	50.6	0.011	0.47	0.76	3.1	170.97	92.4	92.9	42"	0.009
R	—	—	—	—	—	—	—	—	172.06	168.7	193.6	C.B.C.	0.005
S	EAST	171.14	0	0.6	0.008	0	0.20	0	—	—	—	—	
S	WEST	171.04	0	20.6	0.008	—	—	—	172.03	310.0	310.0	72"	0.001
AA	BOTH	200.41	17.8	28.4	0.008	0.46	0.52	2.6	—	—	2.2	24"	0.005
BB	BOTH	200.51	16.7	28.3	0.005	0.48	0.57	2.1	200.82	12.4	18.3	30"	0.005
CC	BOTH	210.31	16.0	27.7	0.005	0.47	0.57	2.1	210.43	16.4	31.1	36"	0.005
DD	BOTH	210.70	5.2	8.2	0.003	0.36	0.42	1.4	—	—	2.3	24"	0.006
EE	—	—	—	—	—	—	—	—	211.12	48.1	78.4	48"	0.005
FF	BOTH	220.10	5.5	8.7	0.004	0.36	0.41	1.6	211.13	45.4	73.3	48"	0.003
GG	BOTH	220.70	4.2	6.7	0.004	0.32	0.38	1.5	220.72	55.9	89.3	48"	0.004
HH	BOTH	230.31	12.7	19.0	0.008	0.41	0.46	2.3	220.73	54.8	86.3	48"	0.004
II	—	—	—	—	—	—	—	—	230.51	5.0	6.5	24"	0.006
JJ	—	—	—	—	—	—	—	—	230.82	27.1	36.4	30"	0.010
KK	—	—	—	—	—	—	—	—	230.84	83.3	133.1	48"	0.050
LL	—	270.22	0.0	16.0	0.029	0	0.43	0	270.23	190.3	269.2	54"	0.021
MM	—	—	—	—	—	—	—	—	280.31	201.5	287.3	72"	0.010
NN	—	—	—	—	—	—	—	—	290.12	221.7	316.6	72"	0.005
OO	—	—	—	—	—	—	—	—	290.21	226.8	323.7	72"	0.006
PP	BOTH	210.91	8.9	14.6	0.003	0.43	0.50	1.4	—	—	—	—	
QQ	BOTH	210.51	16.1	30.0	0.005	0.40	0.48	1.7	—	—	—	—	
RR	—	—	—	—	—	—	—	—	230.32	60.8	99.8	48"	0.020

NOTE: STREET FLOW DEPTHS IN OFF-SITE AREAS WERE NOT ANALYZED IN LOCATIONS WHERE THE STORM DRAIN HAS THE CAPACITY TO CARRY ALL OF THE FLOW FROM THE UPSTREAM STREET DUE TO MINOR LOSSES, MUCH OF THE STORM DRAIN WILL OPERATE UNDER PRESSURE FLOW.

**UNSER DIVERSION CHANNEL**

BASIN I.D. NUMBER	ASSUMED LAND USE/ZONING	AREA (AC)	RUNOFF		MAX. ALLOWED Q <sub>100</sub> RELEASE (cfs)
			Q <sub>100</sub> (cfs)	V <sub>100</sub> (ft./ft.)	
120.0	IP	66.0	254.6	9.16	85.6
130.0	IP	44.7	172.9	6.23	58.2
140.0	IP	95.0	365.6	13.22	123.5
150.0	IP	25.3	97.8	3.52	32.8
160.1	IP	33.0	127.9	4.61	43.0
160.2	IP	22.4	86.6	3.12	29.1
170.1	IP	40.5	162.7	5.98	47.2
170.2	IP	55.0	220.5	8.11	56.6
180.1	IP	21.6	79.0	2.81	29.0
200.1	IP	133.2	513.4	23.19	13.3
200.2	Future Street	2.7	10.2	0.45	10.2
200.3	Future Street	4.9	18.0	0.82	18.0
200.6	IP	4.5	17.4	0.78	0.5
210.1	IP	47.9	185.7	8.34	4.8
210.2	Future Street	5.0	18.1	0.84	18.1
210.4	IP	7.5	29.1	1.30	0.7
210.6	IP	44.8	173.8	7.80	4.5
211.1	IP	7.5	29.1	1.30	0.8
220.2	IP	20.0	77.8	3.49	2.0
220.3	IP	28.6	111.1	4.98	2.9
220.4	Future Street	1.2	4.4	0.19	4.4
220.5	IP	20.0	77.8	3.49	2.0
220.6	C-2	12.7	49.2	2.21	1.3
230.1	C-2	1.2	4.5	0.20	3.8
230.2	C-2	3.3	12.9	0.58	10.9
230.3	C-2	4.2	16.6	0.78	6.5
230.8	C-2	7.2	28.1	1.26	15.8
240.1	IP	31.3	81.2	3.58	11
240.2	IP	8.0	25.7	1.32	11
240.3	C-2	5.1	20.1	0.90	11
240.4	Church	14.8	42.5	2.26	11
250.1	C-2, RT	15.8	62.0	2.77	11
250.2	R-1, C-2	5.0	14.9	0.60	11
260.1	C-2, O-1	25.5	97.1	4.28	11
270.1	Mobile Home Park	14.2	54.2	2.39	11
280.1	RA-1	4.2	16.1	0.71	6.6
290.1	Residential	20.1	67.5	2.79	28.8

1 The aggregate peak Q<sub>100</sub> from basins 240.1, 240.2, 240.3, 240.4, 240.5, 240.6, 250.1, 250.2, 260.1, and 270.1 shall not exceed 146 cfs at the point of discharge to the Coors Connection Storm Drain.  
 2 Basin modeled to verify capacity for future public streets.

ANALYSIS POINT	CHANNEL FLOW						
	AHYMO HYD #	Q <sub>100</sub> (cfs)	Q <sub>10</sub> (cfs)	AVG. SLOPE (ft./ft.)	FLOW DEPTH (ft.)	V <sub>100</sub> (fps)	
A	120.02	86.9	87.4	0.015	0.84	8.36	8.36
D	130.02	146.5	146.1	0.024	0.98	11.53	11.53
E	140.02	288.7	288.4	0.010	1.75	10.26	10.26
F	150.02	300.2	300.3	0.004	2.33	7.58	7.58
G	180.12	343.3	343.3	0.007	2.16	9.63	9.63
H	180.22	372.3	372.4	0.007	2.25	9.84	9.84

**HYDROLOGY**

CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q <sub>10</sub> (CFS)	Q <sub>24</sub> (CFS)	V <sub>10</sub> (AC-FT)	V <sub>24</sub> (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)	APPROX. POND VOLUME* REQUIRED (AC-FT)
		A	B	C	D						
UNDEVELOPED	10.0	100	0	0	0	2.3	12.9	0.07	0.37	1.00	
DEVELOPED	10.0	0	15	10	75	23.8	38.1	0.82	1.68	1.00	1.25
UNDEVELOPED	2.5	100	0	0	0	0.6	3.2	0.17	0.09	0.25	
DEVELOPED	2.5	0	15	10	75	6.0	9.5	0.21	0.42	0.25	0.4

\*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

**TYPICAL 10 ACRE SITE**

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 1.25 AC.FT.  
 VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.29 AC.FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $((3.67-2.66) + 12)(10.0 \times 0.75) = 0.63$  AC.FT.  
 $0.29 + 0.63 = 0.92$  AC.FT. < 1.25 AC.FT.

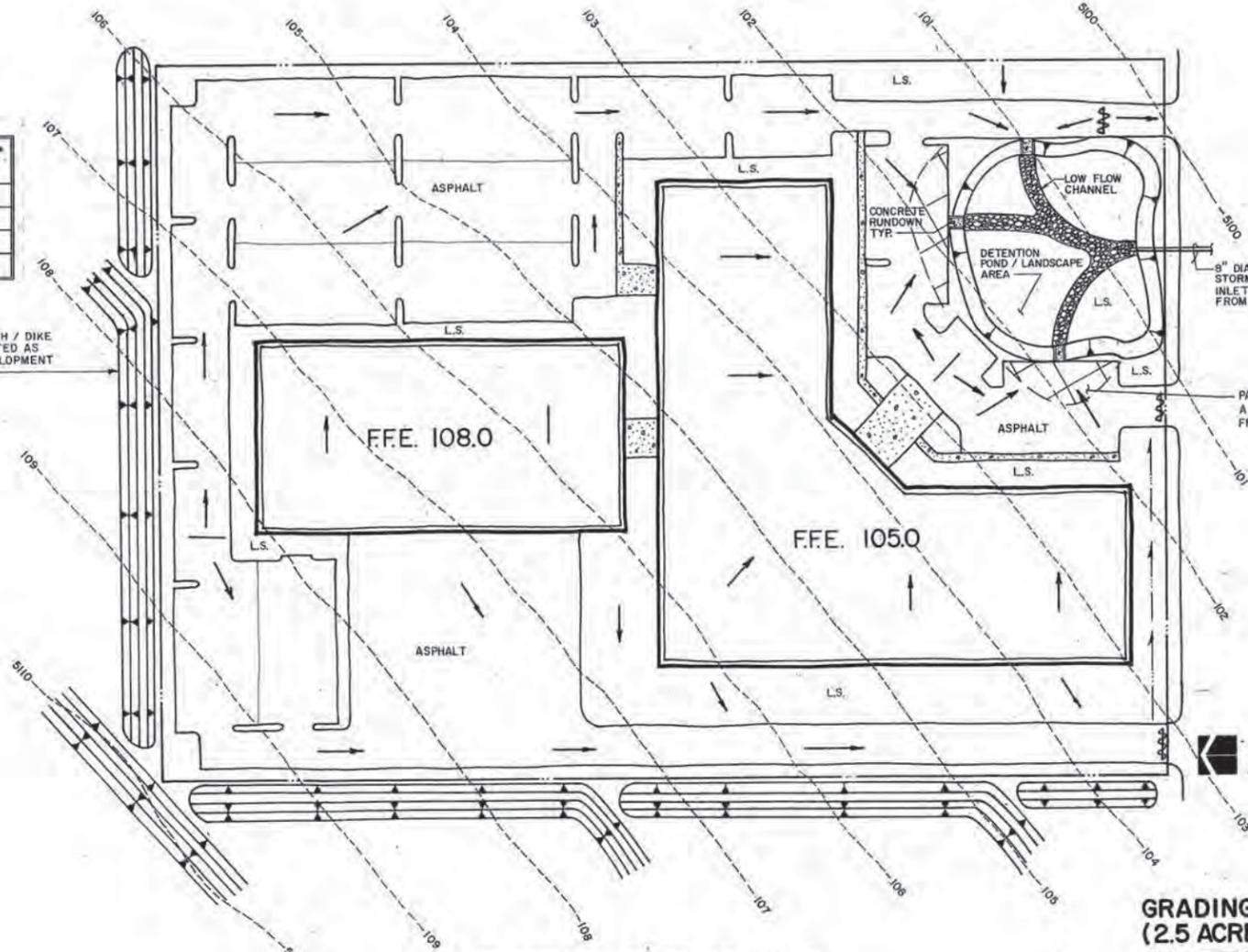
CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

**TYPICAL 2.5ACRE SITE**

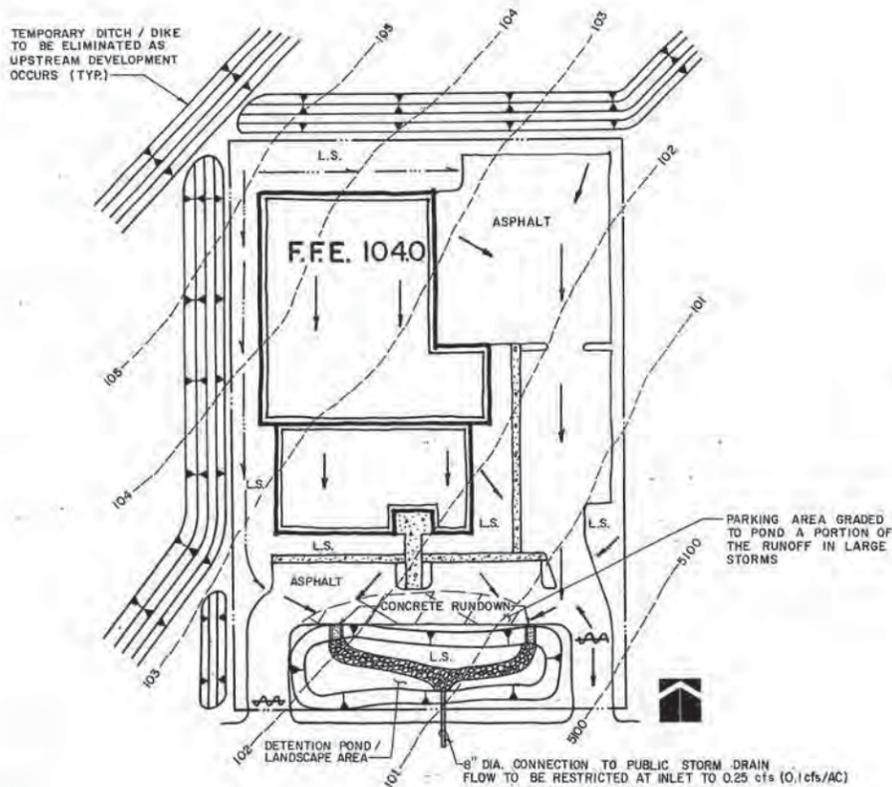
POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 0.4AC.FT.  
 VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.08 AC.FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $((3.67-2.66) + 12)(2.5 \times 0.75) = 0.16$  AC.FT.  
 $0.08 + 0.16 = 0.24$  AC.FT. < 0.4 AC.FT.

CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

TEMPORARY DITCH / DIKE TO BE ELIMINATED AS UPSTREAM DEVELOPMENT OCCURS (TYP.)



**TYPICAL 10 ACRE SITE**



**TYPICAL 2 1/2 ACRE SITE**

**NOTES**

- THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
- THE MAXIMUM ALLOWABLE STORM WATER DISCHARGE RATES FROM SITES EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
  - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
  - SMALL AREAS OF THE SITE MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING.
  - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE SITE SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
  - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE SITE.
  - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE SITE.
- POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
- LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

**LEGEND**

DESCRIPTION	NEW	EXISTING
CONTOURS	-5084	-5084
SPOT ELEVATIONS	@ 5088	@ 5088
DRAINAGE AREA BOUNDARY	-----	-----
DRAINAGE DIVIDE	~ ~ ~ ~ ~	~ ~ ~ ~ ~
WATER BLOCK	=====	=====
DIRECTION OF FLOW	↓	↓
ASPHALT PAVING	ASPHALT	ASPHALT
LANDSCAPING	L.S.	L.S.
CONCRETE	CONCRETE	CONCRETE
SWALE	---	---
PROPERTY LINE	---	---

**CONCEPTUAL GRADING AND DRAINAGE PLAN (2.5 ACRE AND 10 ACRE SITES)**  
**ATRISCO BUSINESS PARK**

Prepared For:

Sunwest Bank  
 Special Assets Department  
 303 Roma Avenue NW  
 Albuquerque, New Mexico 87102

Prepared By:

Garrett Group, Inc.  
 9309 Avenida de la Luna NE  
 Albuquerque, New Mexico 87111

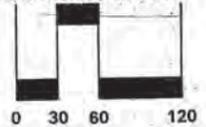


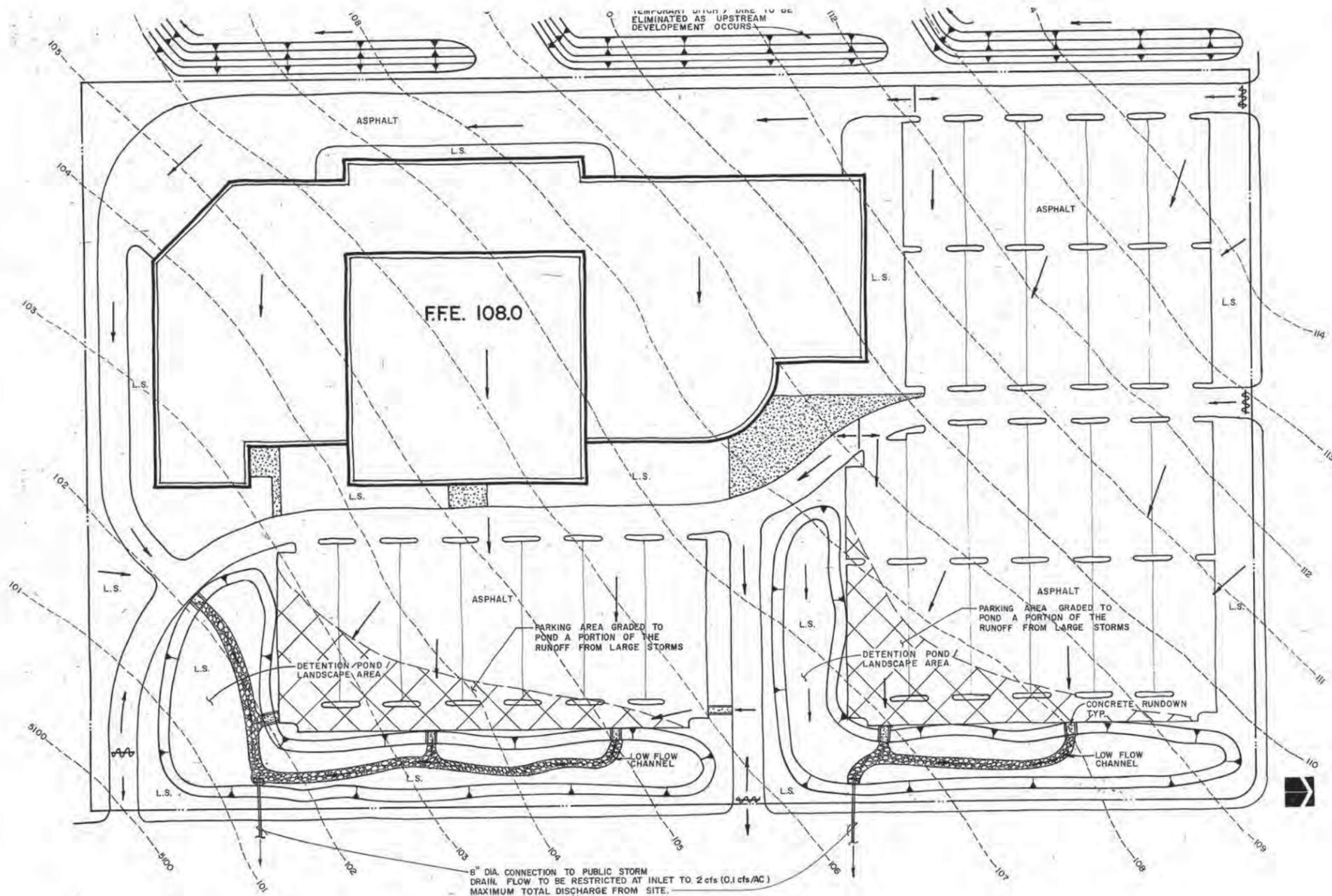
Consensus Planning, Inc.  
 610 Gold SW, Suite 216  
 Albuquerque, New Mexico 87102

Easterling & Associates, Inc.  
 10131 Coors Road NW, Suite H-7  
 Albuquerque, New Mexico 87114



DATE: JULY, 1992





TYPICAL 20 ACRE SITE

NOTES

- THE MAXIMUM ALLOWABLE DISCHARGE RATES SHOWN ON THIS SHEET APPLY TO ALL LOTS LOCATED EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2. THE MAXIMUM ALLOWABLE DISCHARGE RATE FOR LOTS LOCATED WEST OF UNSER BOULEVARD AND PARCEL A-1 SHALL BE AS STATED IN THE "1992 MASTER DRAINAGE PLAN REPORT FOR ATRISCO BUSINESS PARK."
- THE MAXIMUM ALLOWABLE 100 YEAR STORM WATER DISCHARGE RATES FROM LOTS EAST OF UNSER BOULEVARD EXCEPT PARCEL A-1, UNIT 2, AS NOTED ABOVE, SHALL BE LIMITED TO THE FOLLOWING:
  - 0.1 CFS PER ACRE EXCEPT AS PROVIDED BELOW.
  - SMALL AREAS OF LOTS LOCATED ON THE UPHILL SIDE OF A STREET MAY DISCHARGE UNCONTROLLED TO THE STREET WHERE REQUIRED TO FACILITATE GRADING. THIS PROVISION IS SUBJECT TO THE FOLLOWING CRITERIA.
    - THE TOTAL AREA ALLOWED UNCONTROLLED DISCHARGE FROM THE LOT SHALL NOT BE LARGER THAN AN EQUIVALENT AREA 10 FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
    - IMPERVIOUS AREAS ALLOWED UNCONTROLLED DISCHARGE TO THE STREET SHALL NOT BE LARGER THAN AN EQUIVALENT AREA TWO FEET WIDE ALONG THE TOTAL STREET FRONTAGE OF THE LOT.
    - THE UNCONTROLLED DISCHARGE FROM THE SMALL AREAS DEFINED ABOVE SHALL NOT BE CONSIDERED A PART OF THE 0.1 CFS ALLOWABLE DISCHARGE FROM THE LOT.
- POND AREAS OUTSIDE OF THE PARKING AREAS SHALL BE FULLY LANDSCAPED. A MINIMUM OF 85% OF THE SURFACE AREA OF THE POND AREA SHALL CONSIST OF PERVIOUS GROUND TREATMENTS. BARK OR OTHER LANDSCAPE MATERIALS WHICH ARE PRONE TO FLOAT UNDER SUBMERGED CONDITIONS SHALL NOT BE ALLOWED AS A SURFACE TREATMENT MATERIAL WITHIN THE LIMITS OF POND AREAS.
- LOW FLOW CHANNELS SHALL CONNECT ALL INLETS TO THE OUTLET IN THE DETENTION POND(S). LOW FLOW CHANNELS SHALL BE CONSTRUCTED WITH DURABLE, EROSION RESISTANT MATERIALS WHICH FACILITATE LONG TERM MAINTENANCE OF THE POND AREA.

CONCEPTUAL GRADING AND DRAINAGE PLAN (20 ACRE SITE)

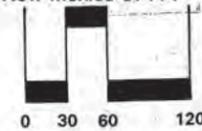
# ATRISCO BUSINESS PARK

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, New Mexico 87102

Prepared By: Garrett Group, Inc.  
9309 Avenida de la Luna NE  
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Albuquerque, New Mexico 87114



DATE: JULY, 1992

Sheet 9 of 10

HYDROLOGY

TYPICAL SITE HYDROLOGY

CONDITION	AREA (AC.)	LAND TREATMENT TYPE (%)				Q <sub>24</sub> (CFS)	Q <sub>10</sub> (CFS)	V <sub>18</sub> (AC-FT)	V <sub>10</sub> (AC-FT)	MAX. ALLOWABLE DISCHARGE (CFS)	APPROX. POND VOLUME* REQUIRED (AC-FT)
		A	B	C	D						
UNDEVELOPED	20.0	100	0	0	0	4.7	25.7	0.13	0.73	2.0	
DEVELOPED	20.0	0	15	10	75	47.6	76.2	1.64	3.36	2.0	2.5

\*POND VOLUME PER AHYMO 100 YEAR 24 HOUR STORM ROUTING. DUE TO SMALL OUTLET SIZE, POND IS NOT COMPLETELY EVACUATED IN 24 HOURS. POND VOLUME CHECKED FOR ADEQUACY IN THE 10 DAY 100 YEAR STORM AS FOLLOWS:

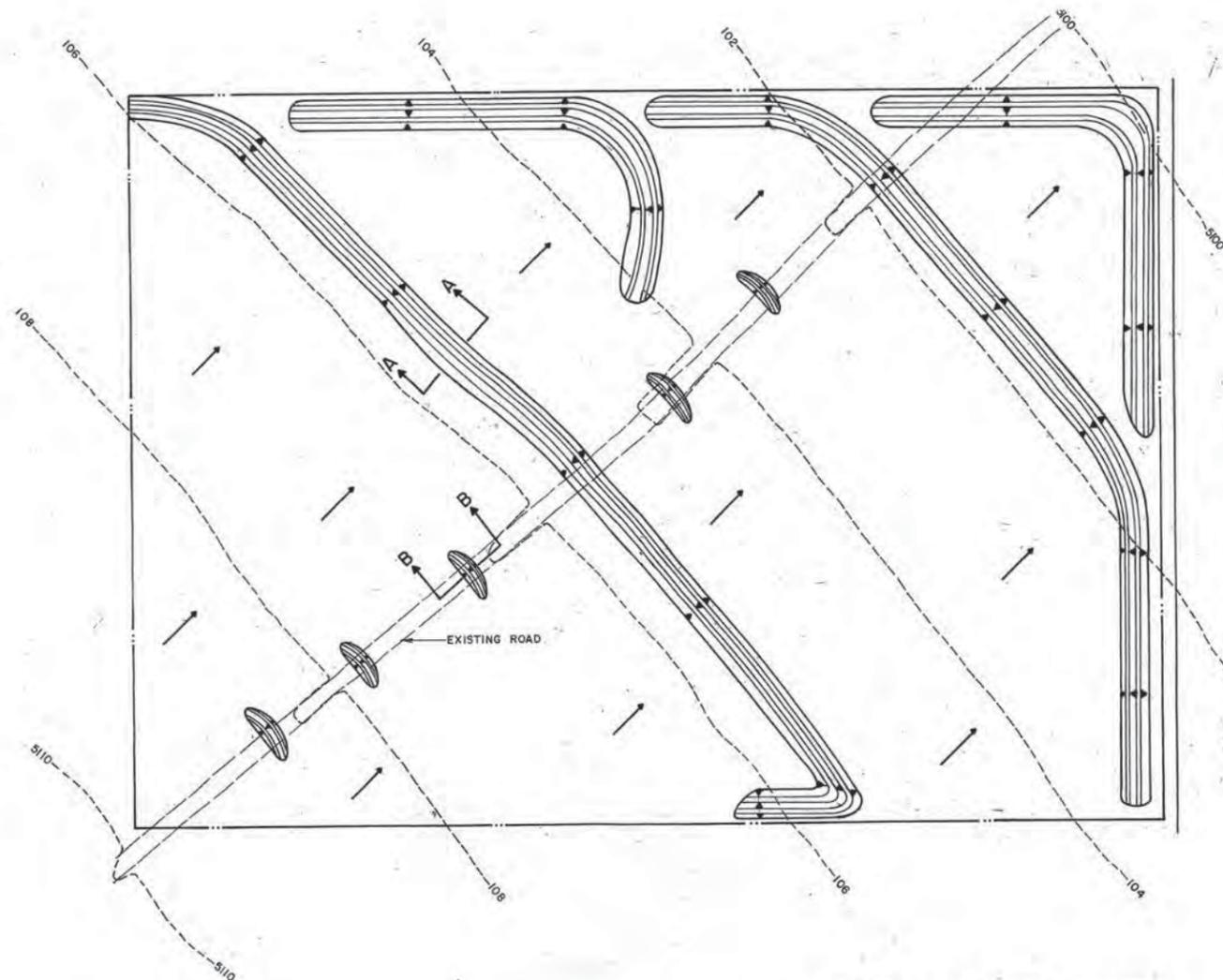
TYPICAL 20 ACRE SITE

POND VOLUME REQUIRED PER 24 HOUR STORM ROUTING = 2.5 AC. FT.  
VOLUME REMAINING IN POND AT END OF 24 HOURS = 0.62 AC. FT.  
 $\Delta V$  24 HOUR - 10 DAY STORM =  $(3.67 - 2.66) + 12)(20.0 \times 0.75) = 1.26$  AC. FT.  
 $0.62 + 1.26 = 1.88$  AC. FT. < 2.5 AC. FT.

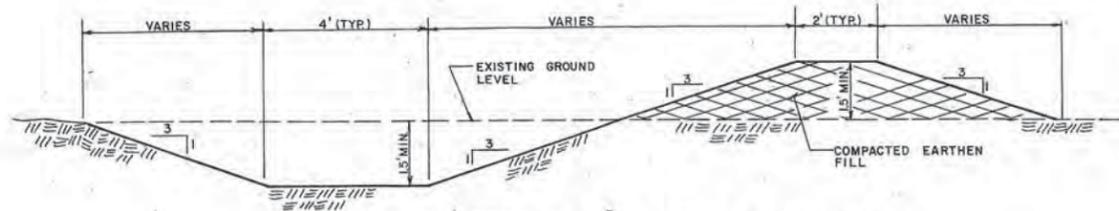
CONCLUSION: AT THE END OF THE 24 HOUR STORM, THE POND HAS ENOUGH VOLUME AVAILABLE TO POND THE ADDITIONAL VOLUME OF THE 10 DAY STORM. SIZE POND FOR 100 YEAR 24 HOUR STORM.

LEGEND

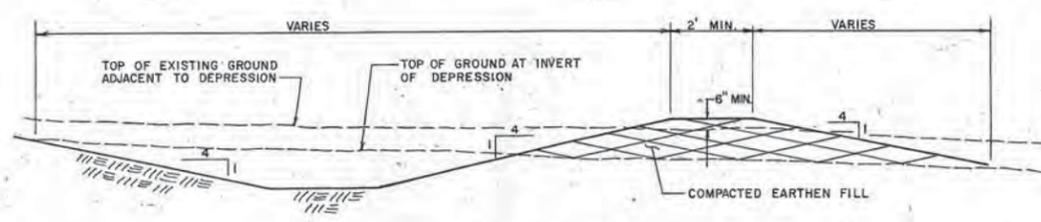
DESCRIPTION	NEW	EXISTING
CONTOURS	5094	5094
SPOT ELEVATIONS	5088	5088
DRAINAGE AREA BOUNDARY	-----	-----
DRAINAGE DIVIDE	~ ~ ~ ~ ~	~ ~ ~ ~ ~
WATER BLOCK	=====	=====
DIRECTION OF FLOW	→	→
ASPHALT PAVING	ASPHALT	ASPHALT
LANDSCAPING	L.S.	L.S.
CONCRETE	CONCRETE	CONCRETE
SWALE	---	---
PROPERTY LINE	---	---



TYPICAL 10 ACRE SITE



DITCH / DIKE RETENTION STRUCTURE SECTION A-A  
SCALE: 1" = 2'



ROAD AND GULLY PLUG SECTION B-B  
SCALE: 1" = 2'

CONCEPTUAL  
GRADING AND DRAINAGE PLAN  
(INTERIM CONDITIONS)

# ATRISCO BUSINESS PARK

Prepared For:

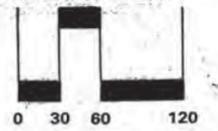
Sunwest Bank  
Special Assets Department  
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